

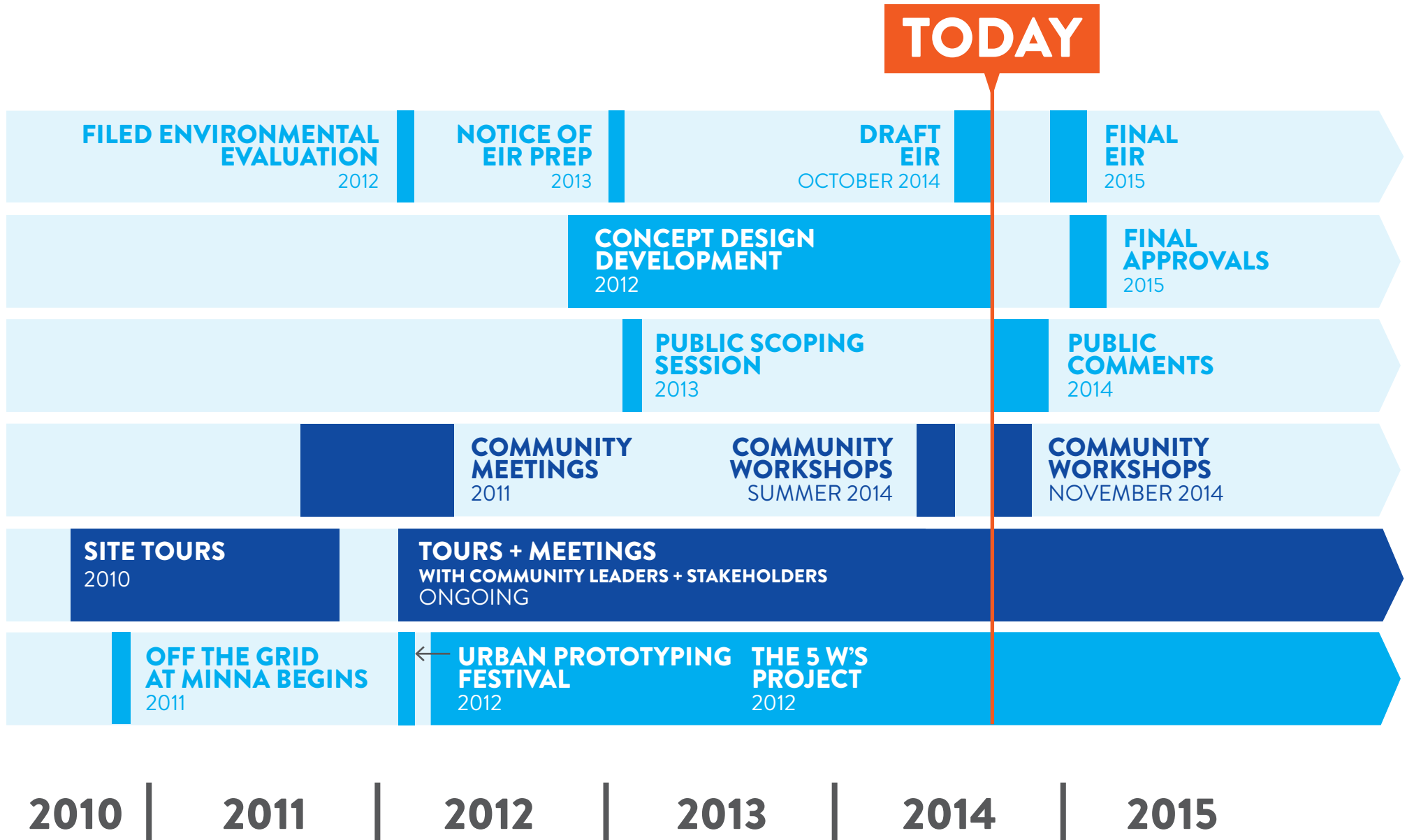
5M PROJECT PRESENTATION

NOVEMBER 20, 2014



5M PROJECT

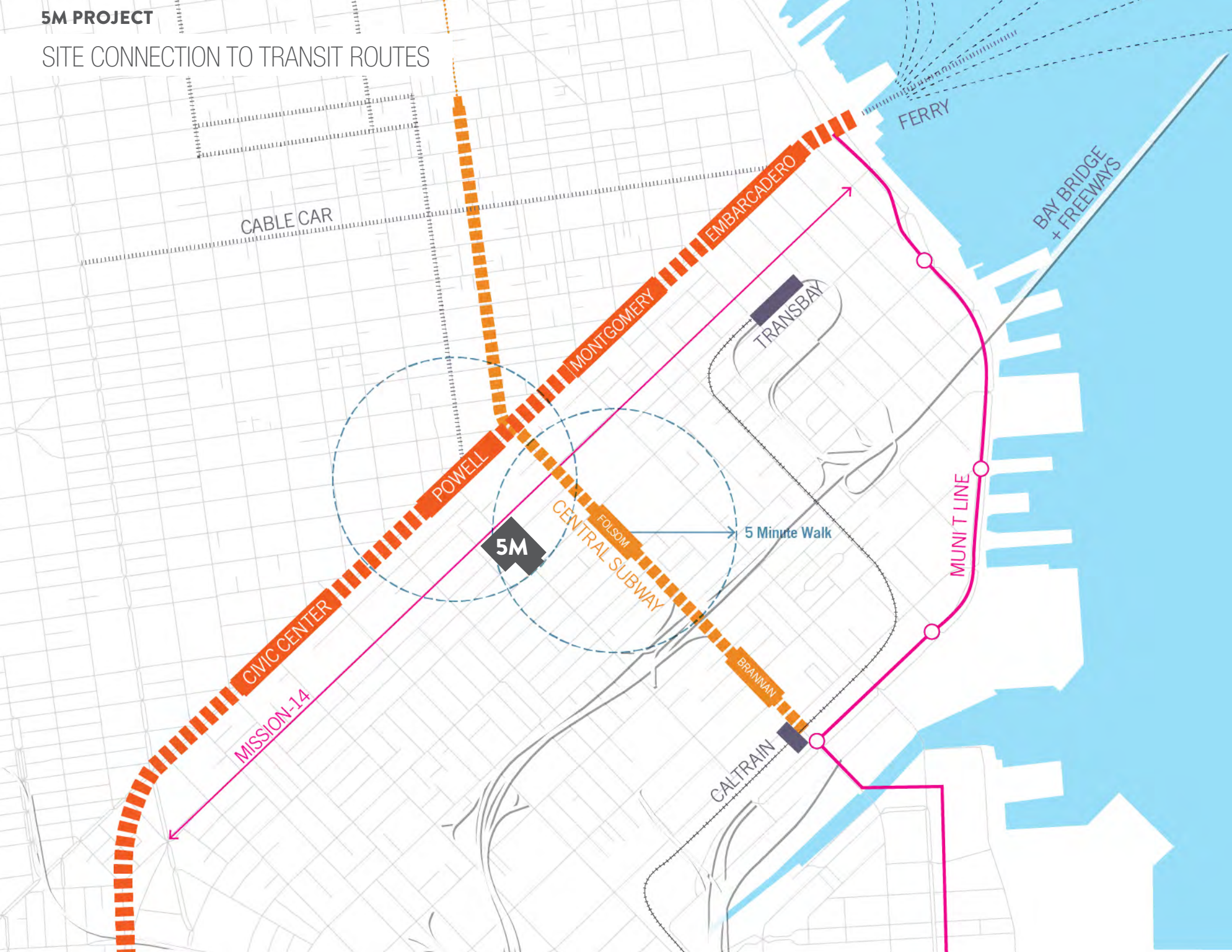
WHAT'S BEEN HAPPENING



* DESIGN DEVELOPMENT BEGINS 2015-2016
CONSTRUCTION BEGINS 2017

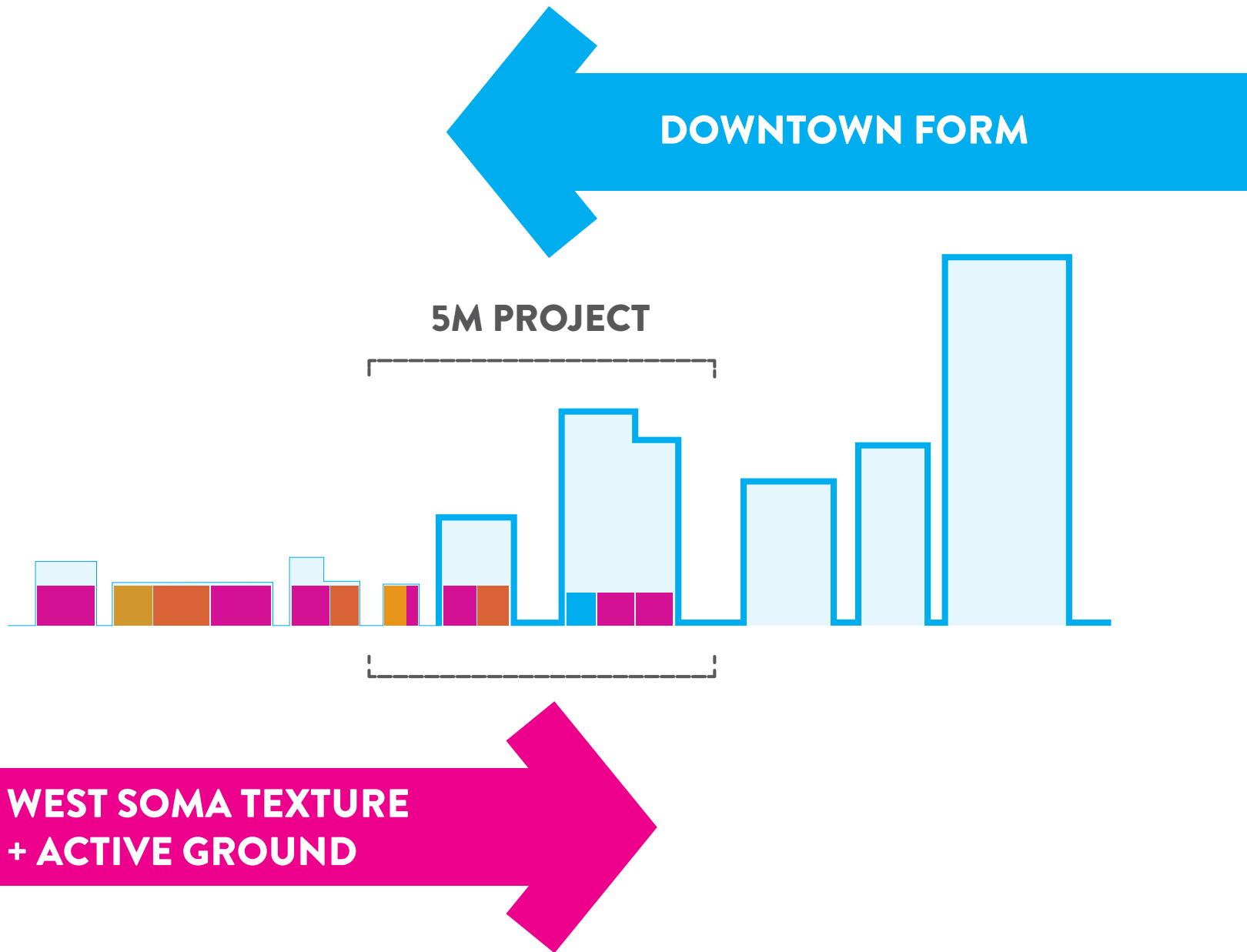
5M PROJECT

SITE CONNECTION TO TRANSIT ROUTES



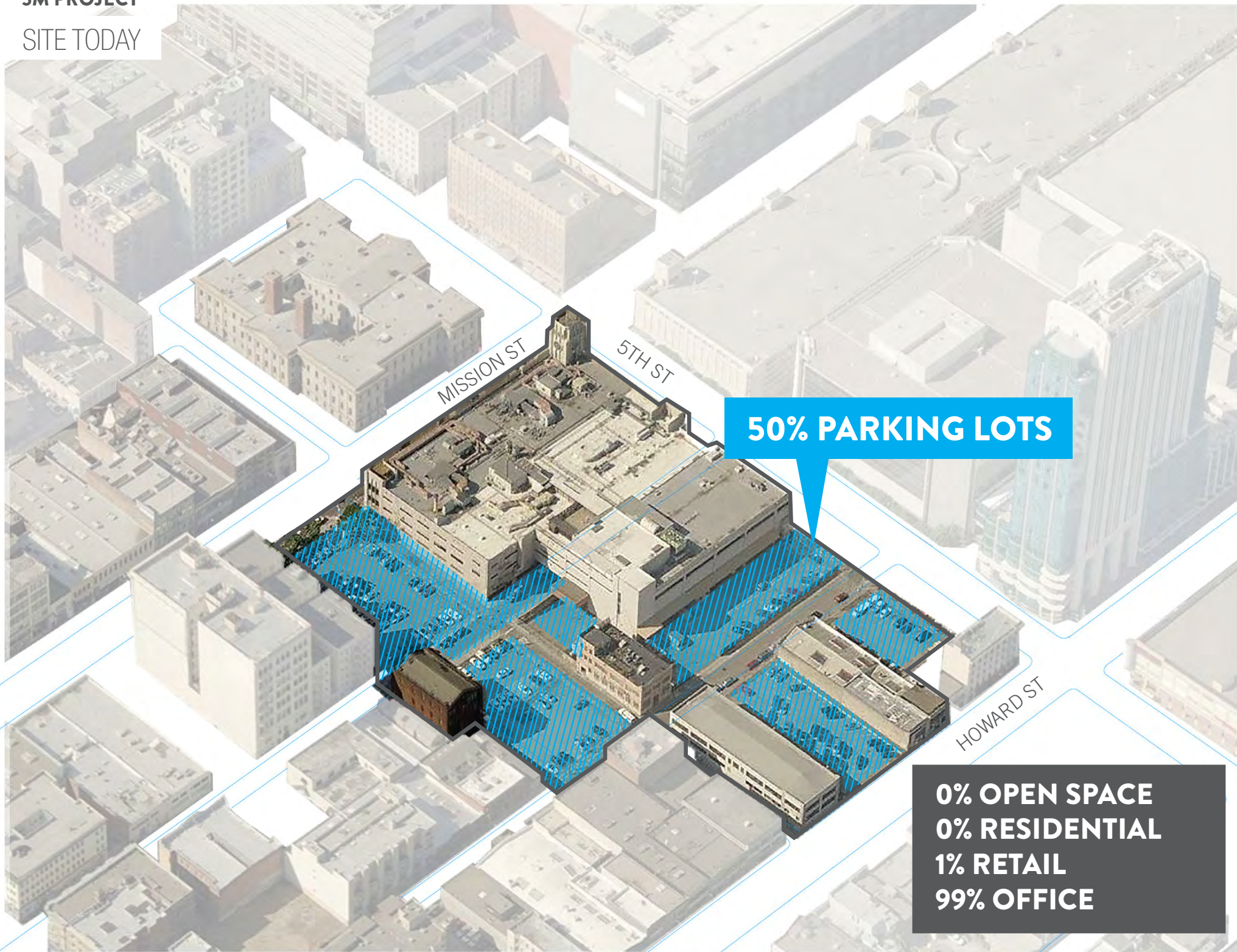
5M PROJECT

NEIGHBORHOOD TEXTURE



5M PROJECT

SITE TODAY



MISSION ST

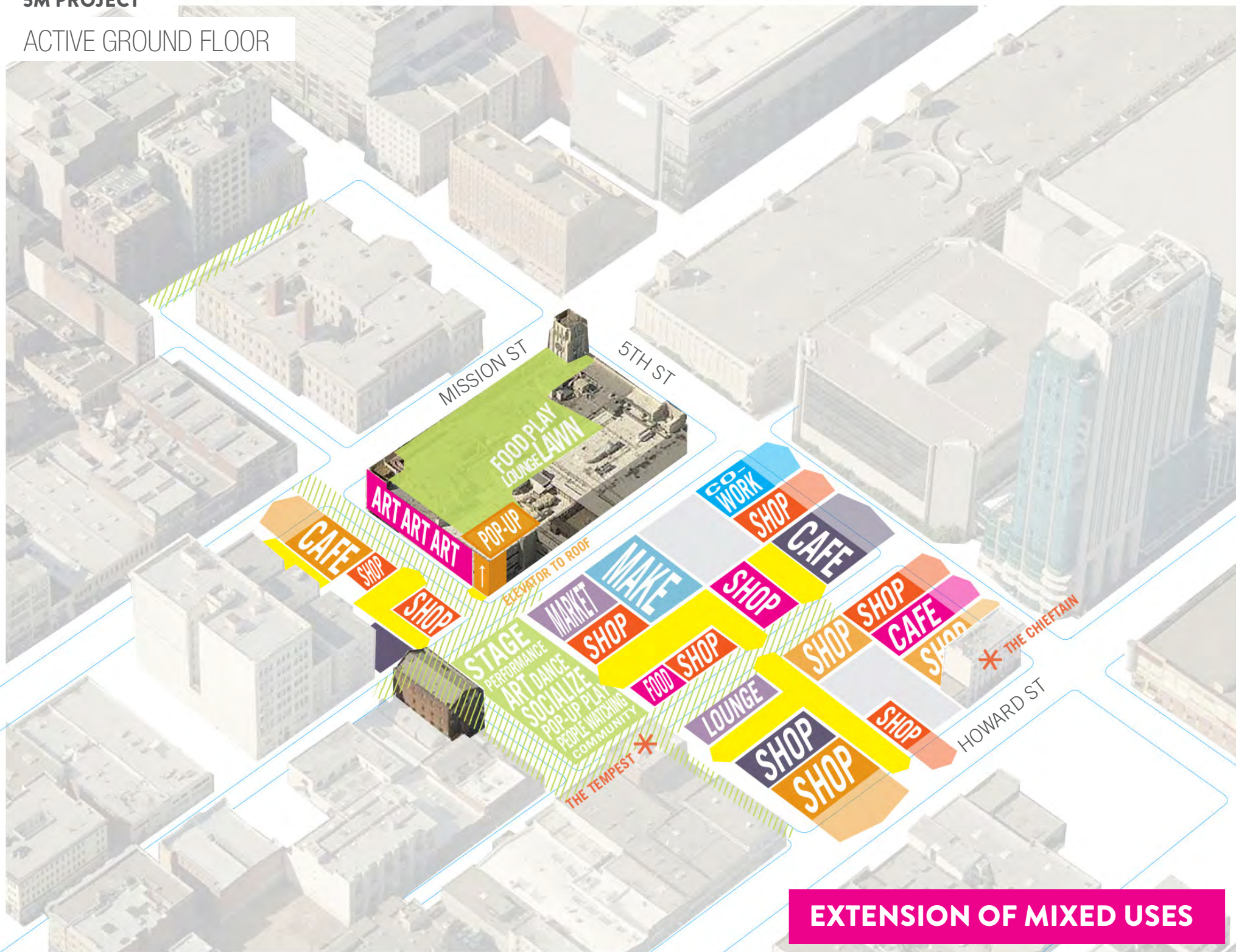
5TH ST

50% PARKING LOTS

HOWARD ST

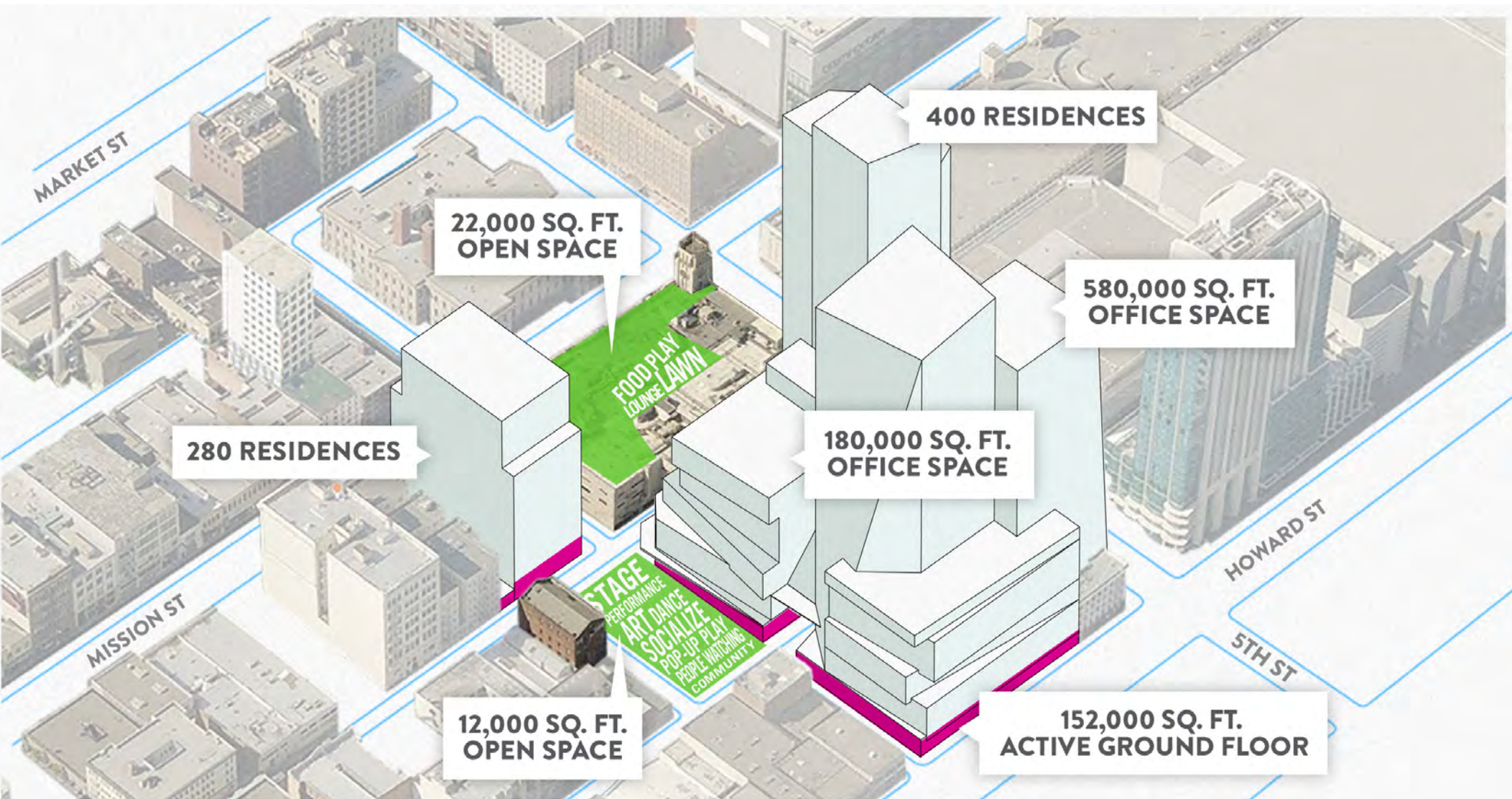
**0% OPEN SPACE
0% RESIDENTIAL
1% RETAIL
99% OFFICE**

ACTIVE GROUND FLOOR



5M PROJECT

ARCHITECTURE OVERVIEW





A PLACE FOR THE PUBLIC

NEIGHBORHOOD TEXTURE

MIX OF USES

LOCALLY-FOCUSED RETAIL

CONTINUUM OF JOBS

MIX OF HOUSING TYPES

**22,000+ SQ. FT. ROOFTOP
ALSO MADE PUBLIC**

MISSION ST

5TH ST

FOOD PLAY
LOUNGE
LAWN

**PEDESTRIAN-ONLY ALLEY
NOT COUNTED IN OS REQS**

**12,450+ SQ. FT.
PUBLIC OPEN SPACE**

STAGE
PERFORMANCE
ART DANCE
SOCIALIZE
POP-UP PLAY
PEOPLE WATCHING
COMMUNITY

HOWARD ST

- Public Open Space
- Pedestrian Only
- Pedestrian-focused

**NEW APPROACH TO OPEN SPACE:
PUBLIC ZONES VERSUS PRIVATE BALCONIES**



5M PROJECT

ART-DRIVEN SPACES



5W's Project (at 5M)

ART FEATURES *



Summer Umbrellas (Portugal)

ART FEATURES *



Play Area (Valencia Street)

ART FEATURES *

MISSION ST

5TH ST

HOWARD ST



Bayview Pop-up Market

STARTER RETAIL



Rickshaw Bagworks (22nd St)

LOCAL RETAIL



The Sentinel (2nd Street)

MICRO RETAIL

3,600+ NEW FULL-TIME JOBS

**OPPORTUNITIES
FOR ARTISTS**

STOREFRONT VARIETY

PEDESTRIAN-ONLY STREET

MARY STREET VIEW LOOKING SOUTH

**MOVEABLE SEATING
& BENCHES**

**ADAPTABLE PLAZA FOR BIG EVENTS
TO EVERYDAY LUNCH BREAKS**

PLAY STRUCTURES

MINNA STREET VIEW ON MARY COURT

**GREENHOUSES FOR
EVENTS AND EDUCATION**

“LAWN AREA” FOR LOUNGING & EVENTS

POP-UP CAFE

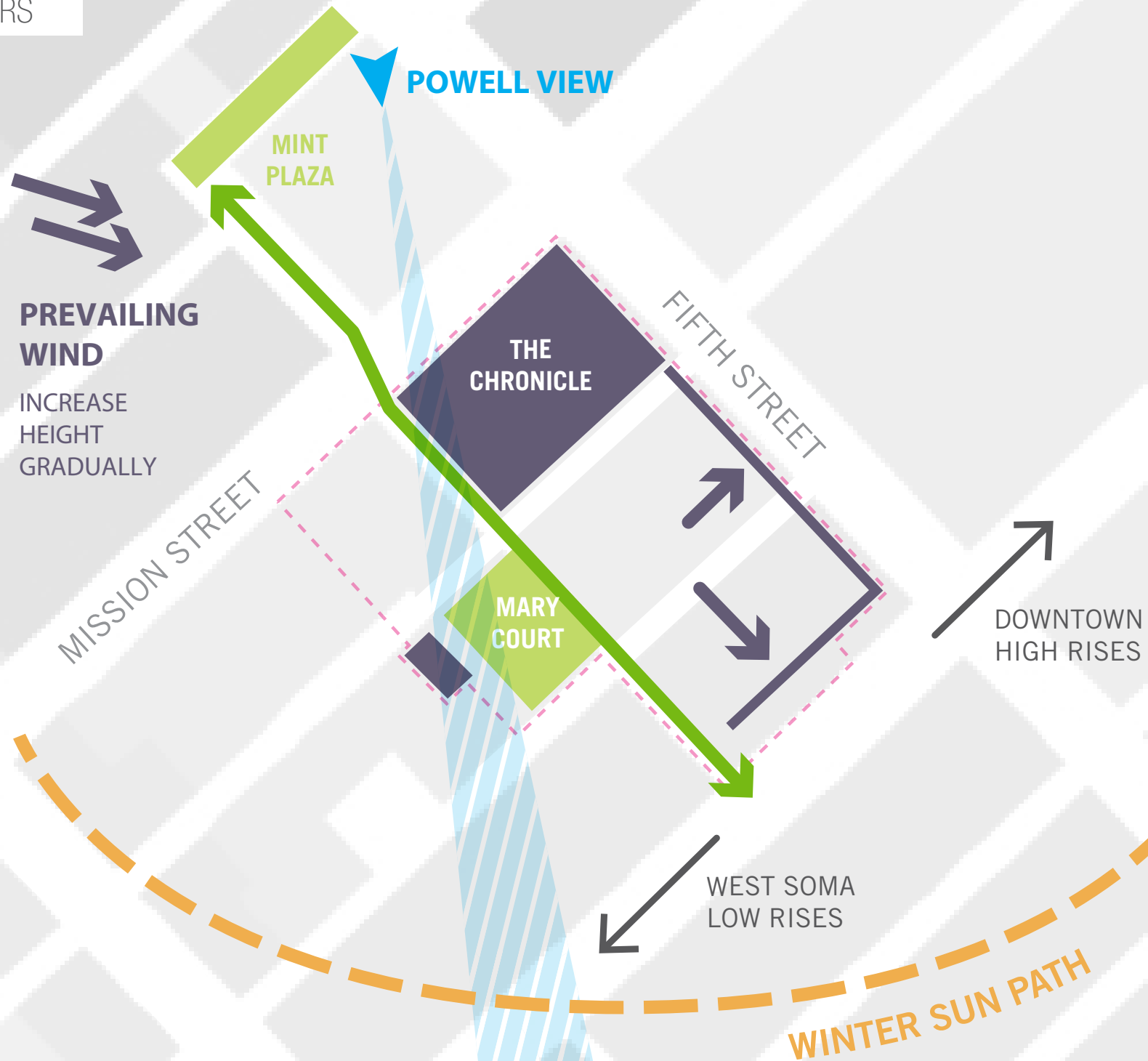
VIEW OF CHRONICLE ROOFTOP TERRACE



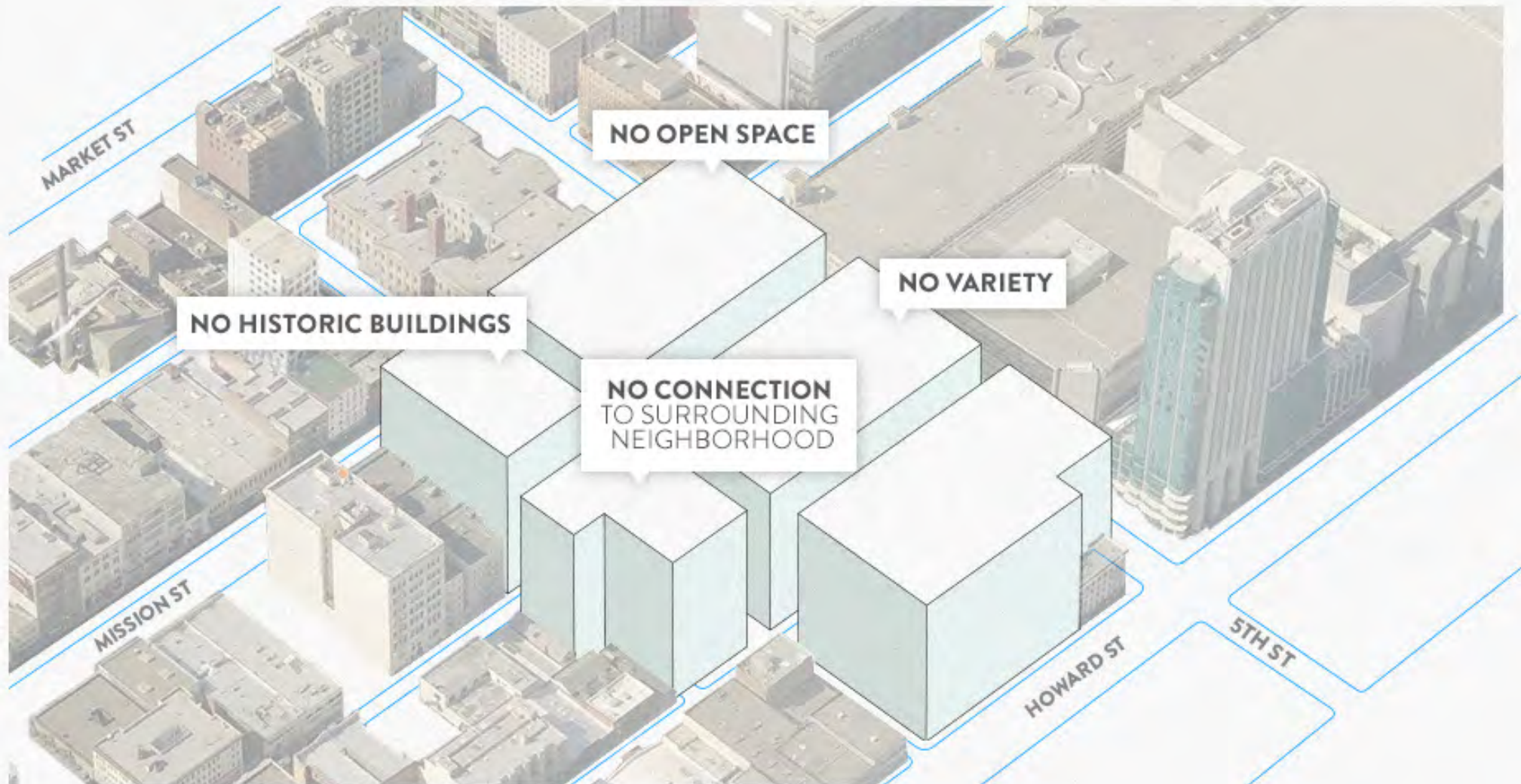
DESIGNING DENSITY FOR A NEIGHBORHOOD

5M PROJECT

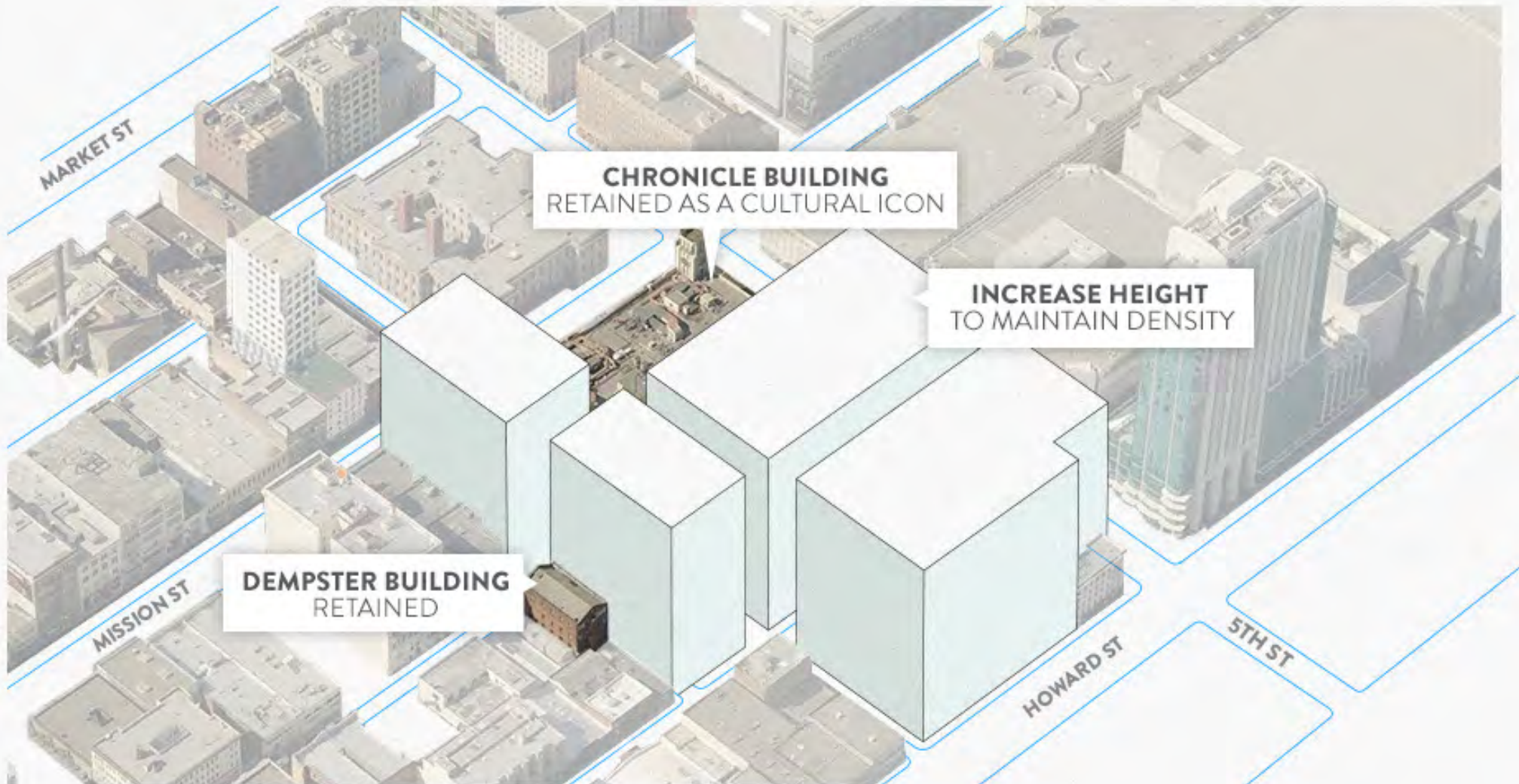
SITE DRIVERS



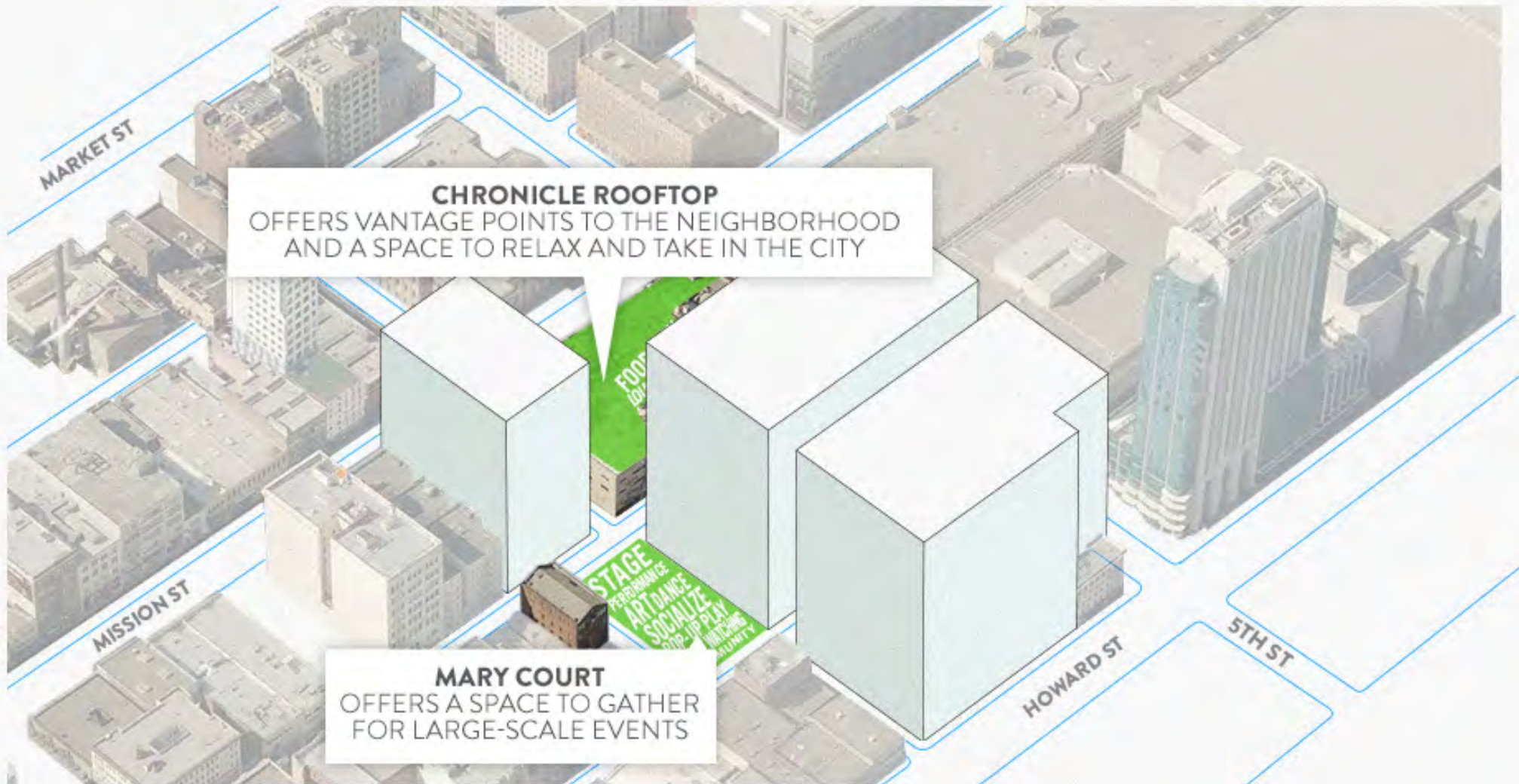
STEP 0: BUILDING WITHOUT VARIETY



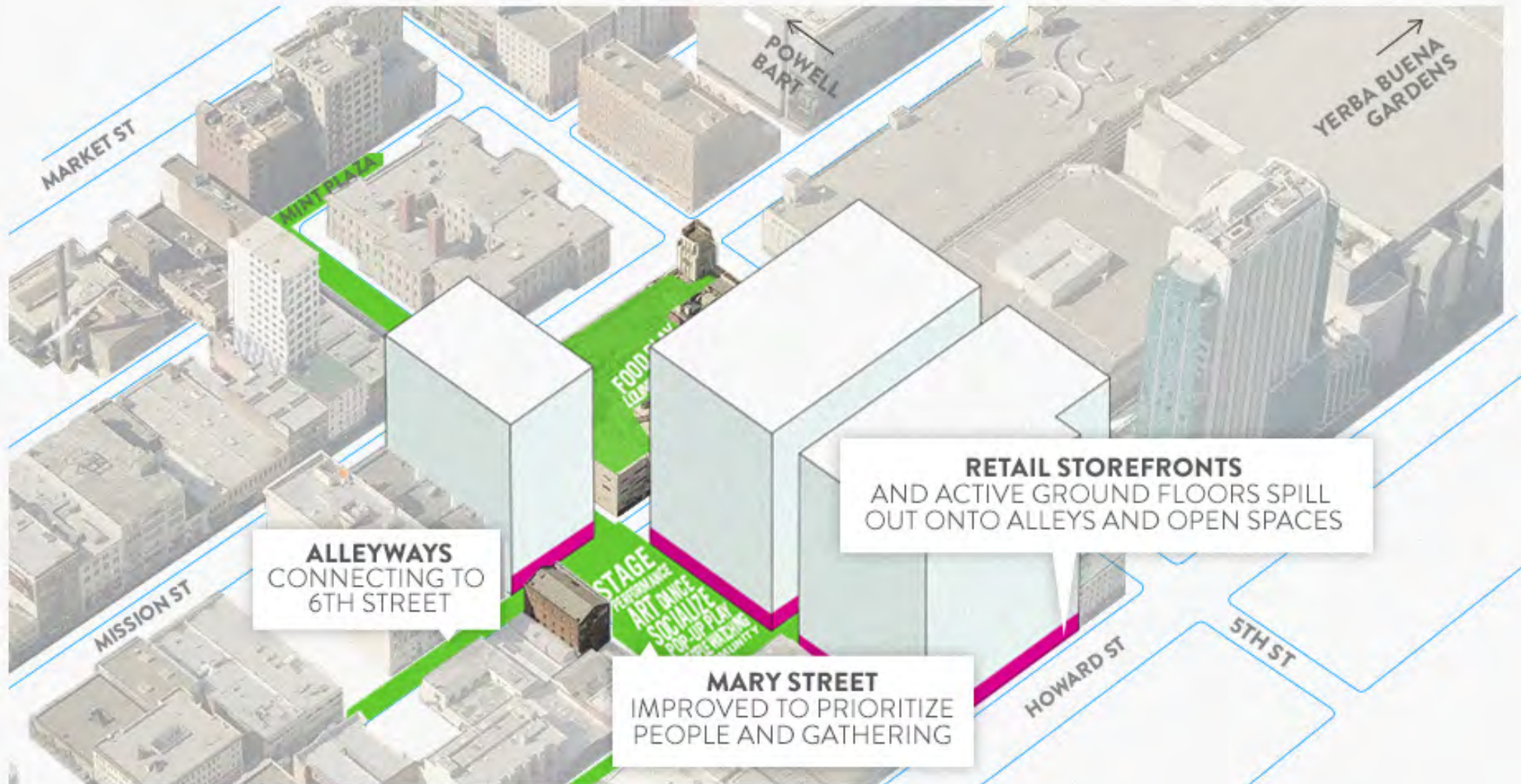
STEP 1: RETAIN HISTORIC BUILDINGS



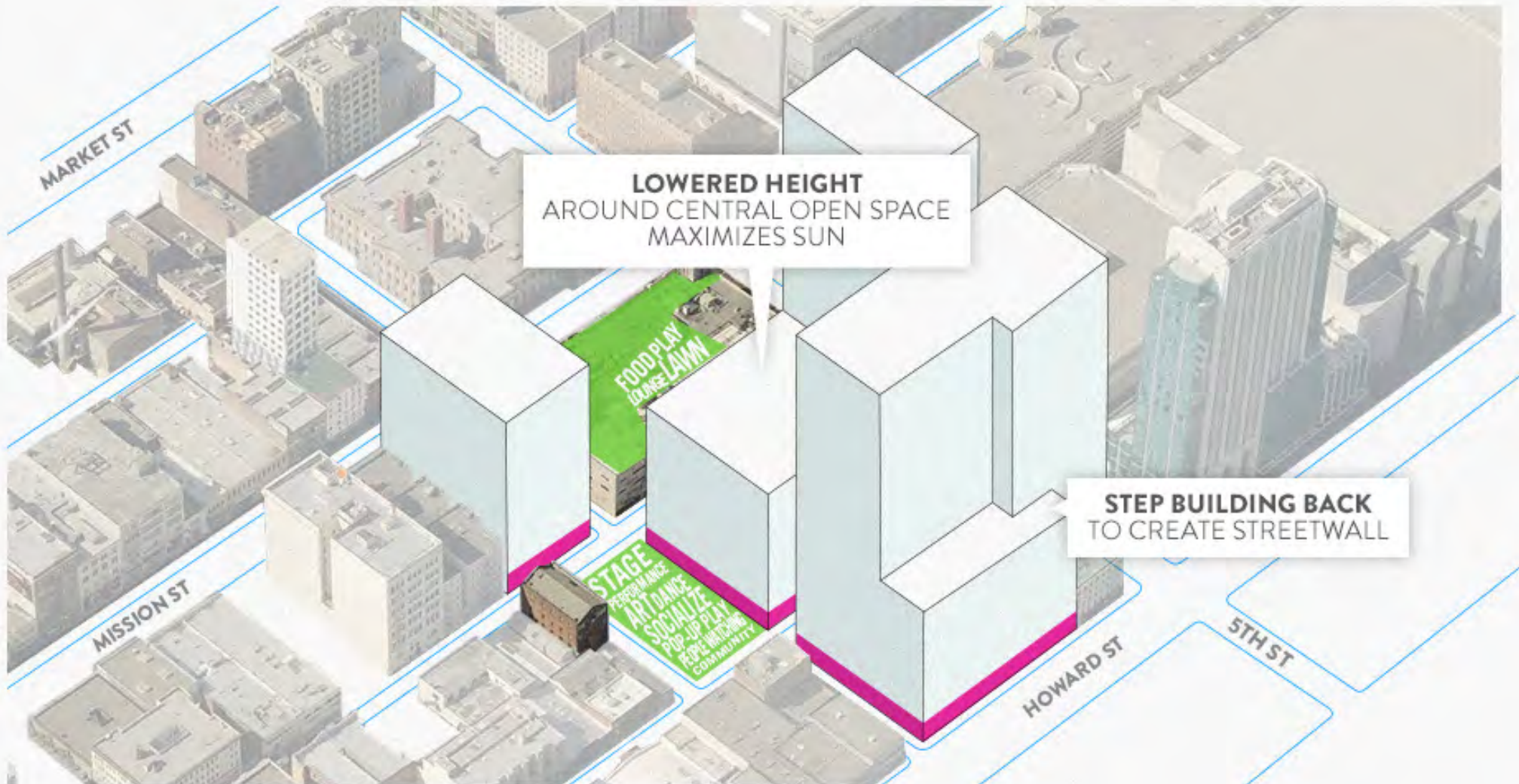
STEP 2: PRIORITIZE AND ACTIVATE NEW OPEN SPACES



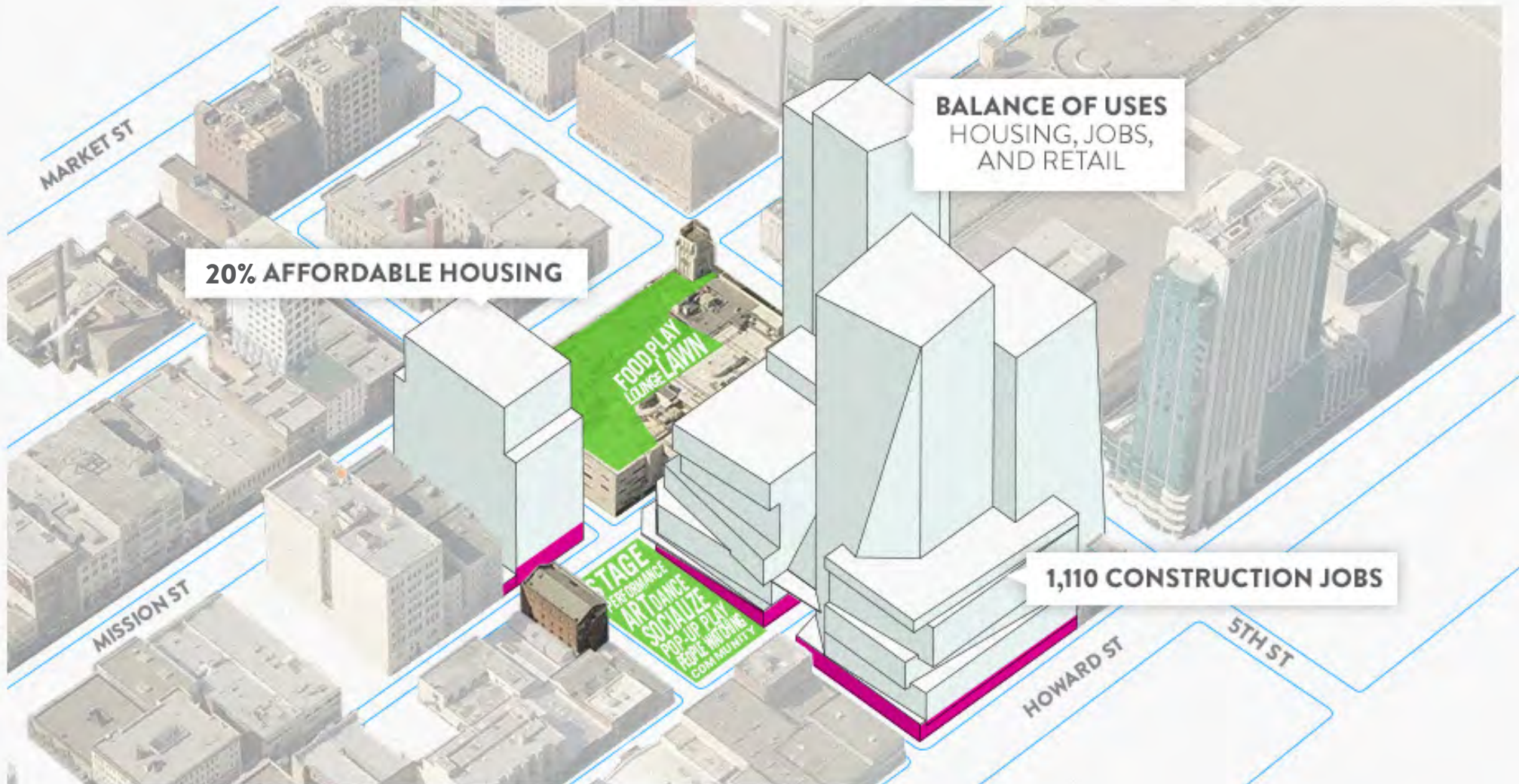
STEP 3: CREATE PEDESTRIAN-FOCUSED ALLEYS AND ACTIVE EDGES



STEP 4: STEP BACK FOR OPEN SPACE AND HISTORIC



STEP 5: DESIGN A MIX OF BUILDING PROGRAMS



BALANCED NEIGHBORHOOD

ABOUT 50% HOUSING AND 50% COMMERCIAL

RANGE OF HOUSING

INCLUDING DEDICATED RENTAL BUILDING WITH ON-SITE AFFORDABLE HOUSING

RANGE OF COMMERCIAL

- > SMALL, LOCAL BUSINESS OPPORTUNITIES THROUGH PORTIONS OF THE *GROUND FLOOR* COMMERCIAL SPACE AND SHARED ALLEYS
- > LARGE OFFICE USER OFFERING A *CONTINUUM OF JOBS* WITH A *LOCAL JOB FACILITATOR*
- > TARGETED PROGRAMS FOR FIRST SOURCE ON *MANAGEMENT JOBS*
- > A PROJECT LABOR AGREEMENT + FIRST SOURCE HIRING FOR *CONSTRUCTION JOBS*

PUBLIC OPEN SPACES

- > SATISFYING THE OPEN SPACE REQUIREMENT THROUGH PUBLICLY ACCESSIBLE OPEN SPACE
- > 2x THE COMMERCIAL REQUIREMENT FOR PUBLICLY ACCESSIBLE OPEN SPACE

AFFORDABILITY

- > A COMPONENT OF SUBSIDIZED NON-PROFIT OFFICE SPACE FOR *INTERSECTION FOR THE ARTS*
- > COMBINATION OF 20% *ONSITE RENTAL AFFORDABLE HOUSING* + FEES TARGETING LOCAL PROJECTS, WHERE POSSIBLE

5M PROJECT

5M PROJECT BENEFITS



5M BASE FEE



5M COMMUNITY FEE



BUILT INTO PROJECT



**AFFORDABLE
HOUSING**



**AFFORDABLE
OFFICE**



**ACCESS
TO JOBS**



**PROGRAMMED
OPEN SPACE**



**SMALL BUSINESS
SUPPORT /
MICRO-RETAIL**

5M PROJECT

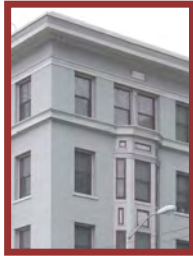
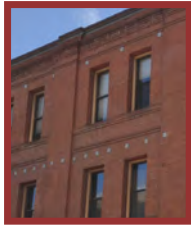


5M PROJECT

BLENDING SOMA + DOWNTOWN



WEST SOMA



5M PROJECT



DOWNTOWN

SOLID + VARIETY OF TEXTURES

SOMA



CONNECTOR ON STEVENSON ST.

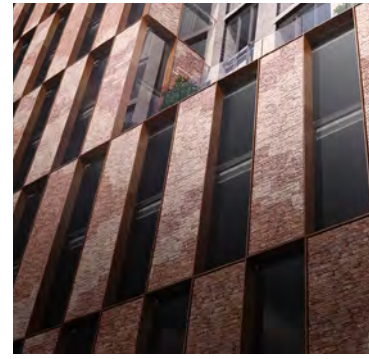
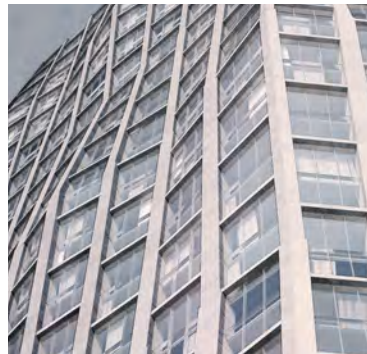
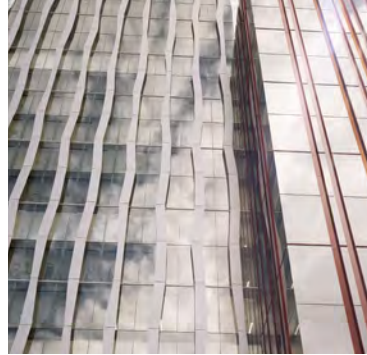


DEMPSTER PRINT BUILDING



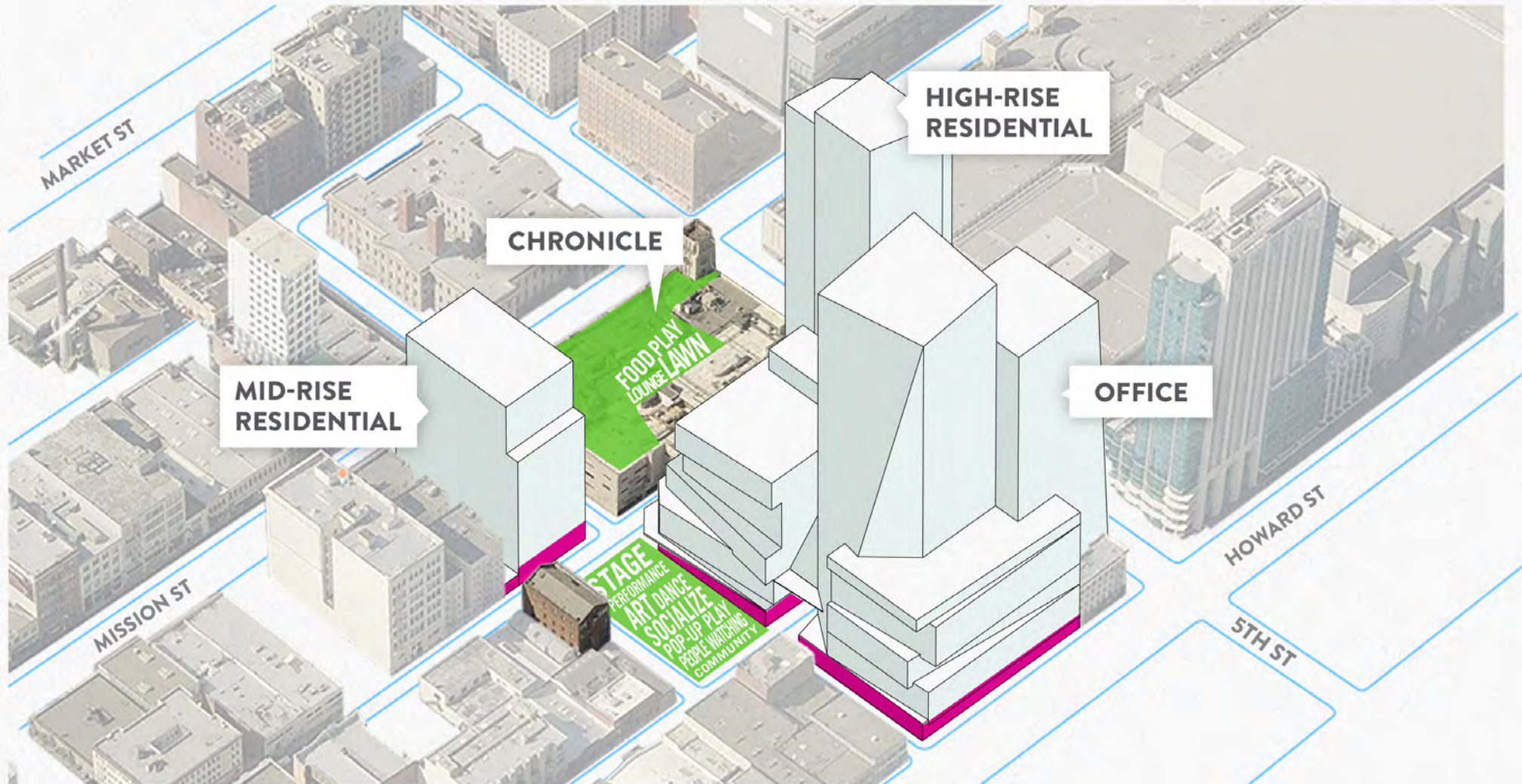
CHRONICLE BUILDING

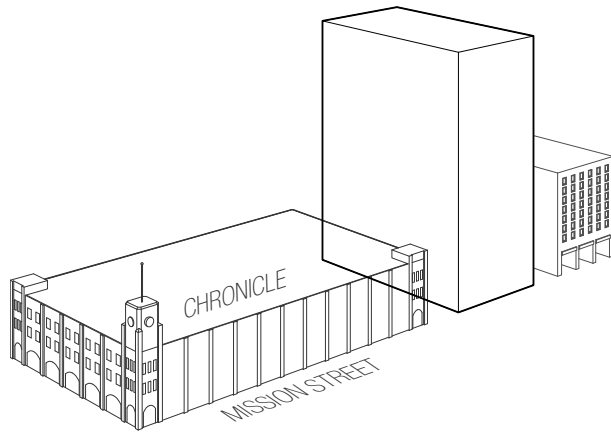
5M



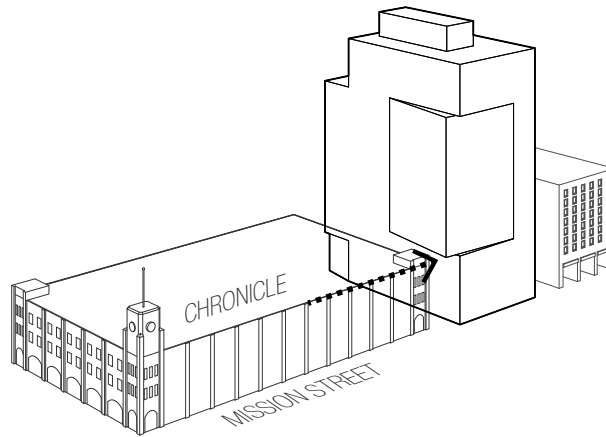
5M PROJECT

ARCHITECTURE OVERVIEW

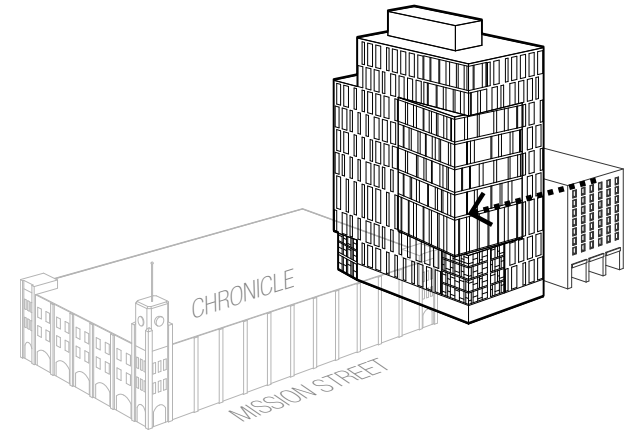




BLOCK



MASSING



TEXTURE

5M PROJECT

MID-RISE RESIDENTIAL



5M PROJECT

MID-RISE RESIDENTIAL



5M PROJECT

MID-RISE RESIDENTIAL



5M PROJECT

MID-RISE RESIDENTIAL

RESPONSIVE
TO CONTEXT

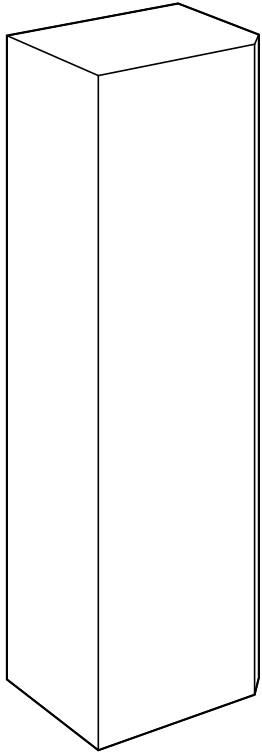


A BALANCED
SENSE OF SCALE

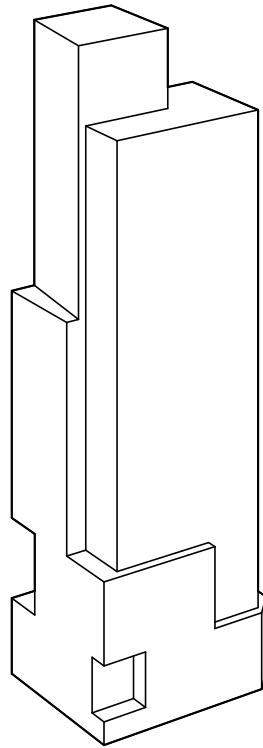


INDUSTRIAL
CHARACTER

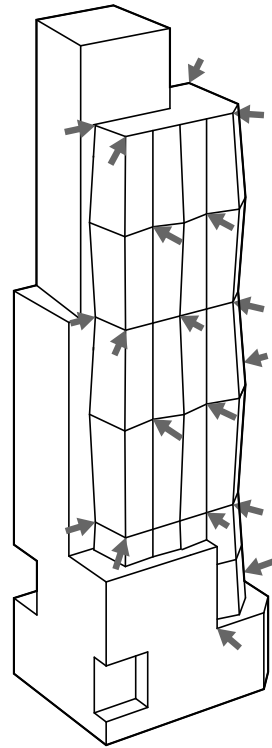




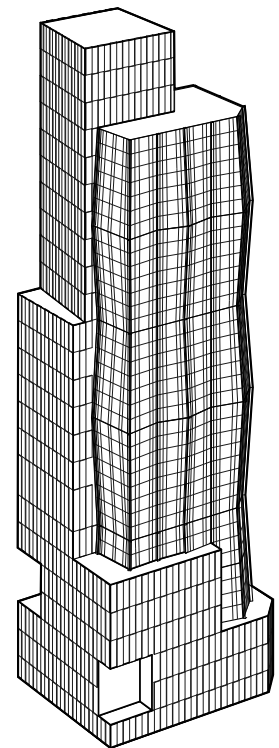
BLOCK



MASSING



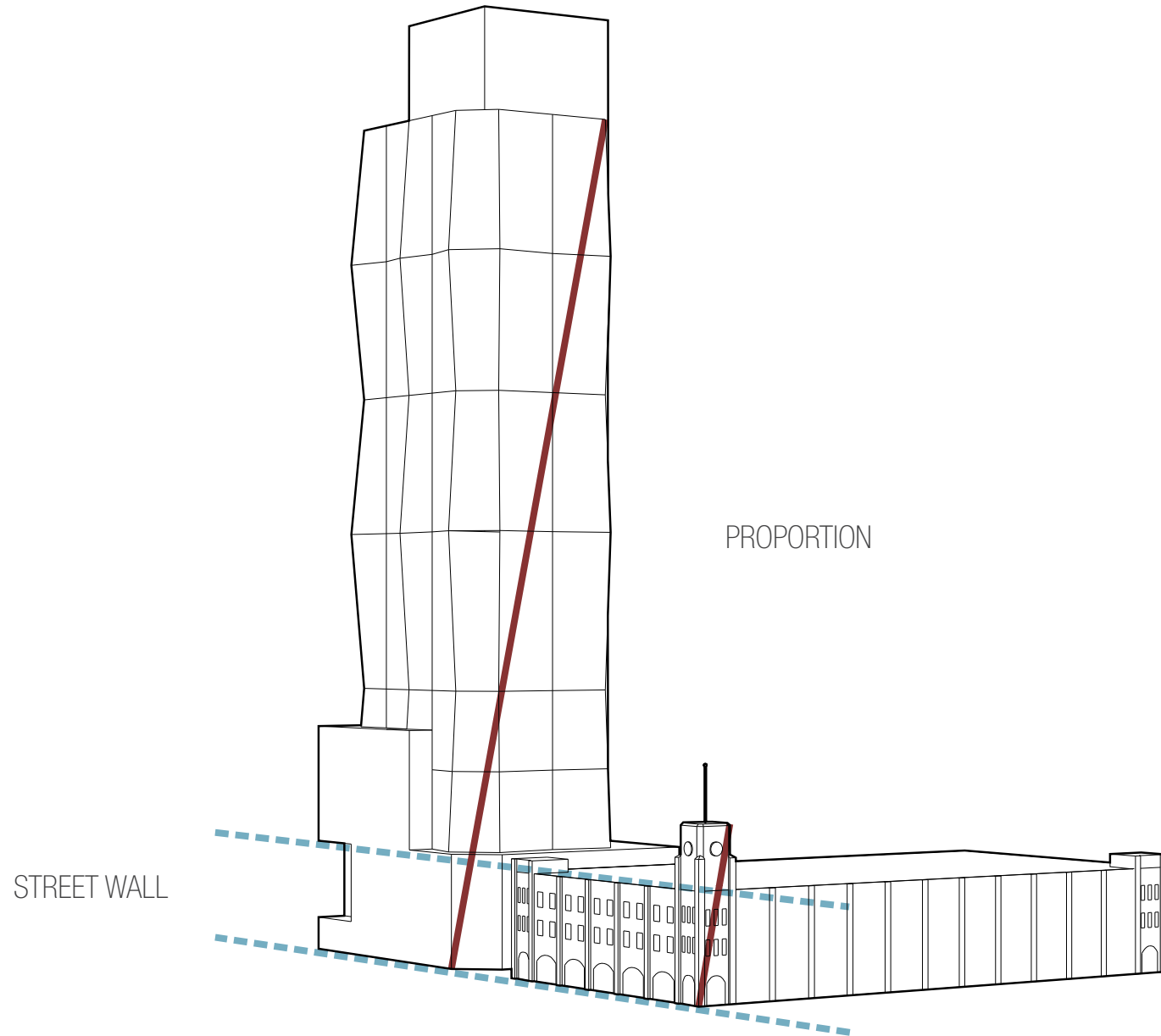
SHAPE



TEXTURE

5M PROJECT

HIGH-RISE RESIDENTIAL



5M PROJECT

HIGH-RISE RESIDENTIAL

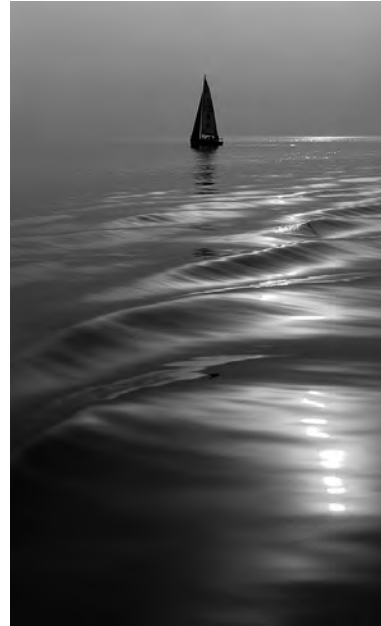


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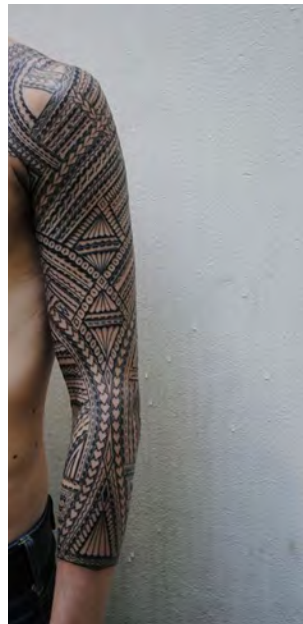
HIGH-RISE RESIDENTIAL



BALANCE OF
HARD AND SOFT



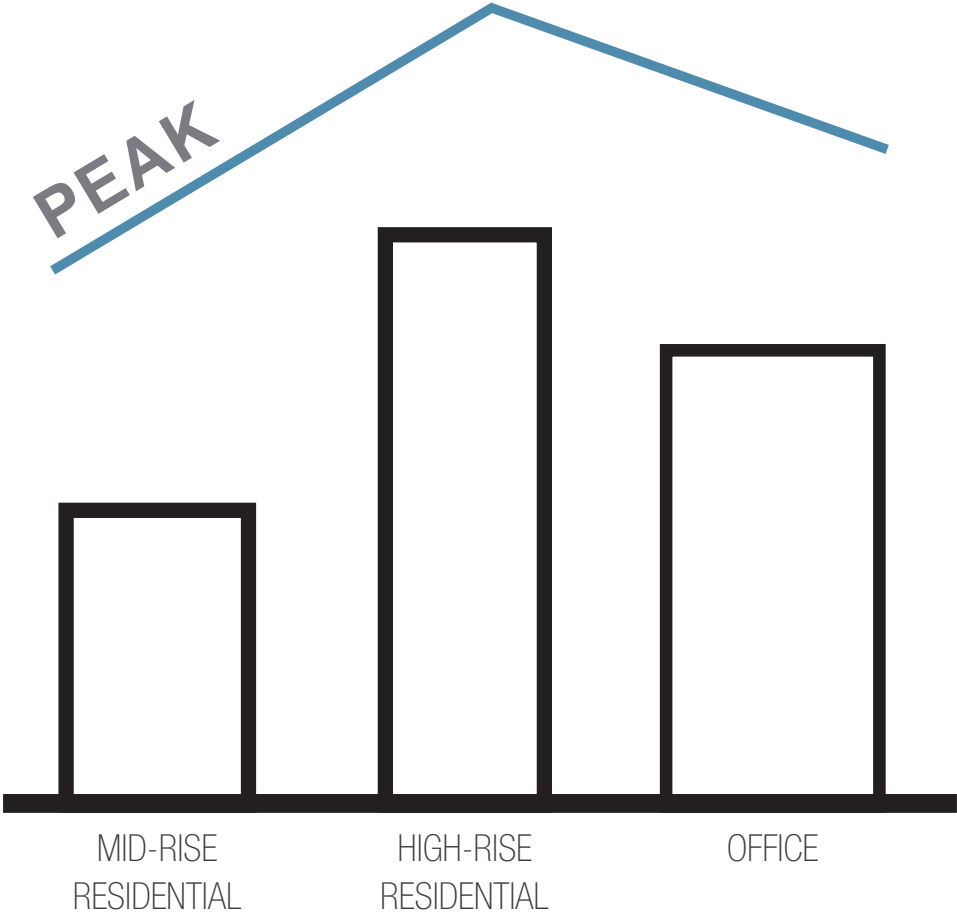
EXPRESSIVE OF
CREATIVE CONTEXT



RESIDENTIAL
SCALE

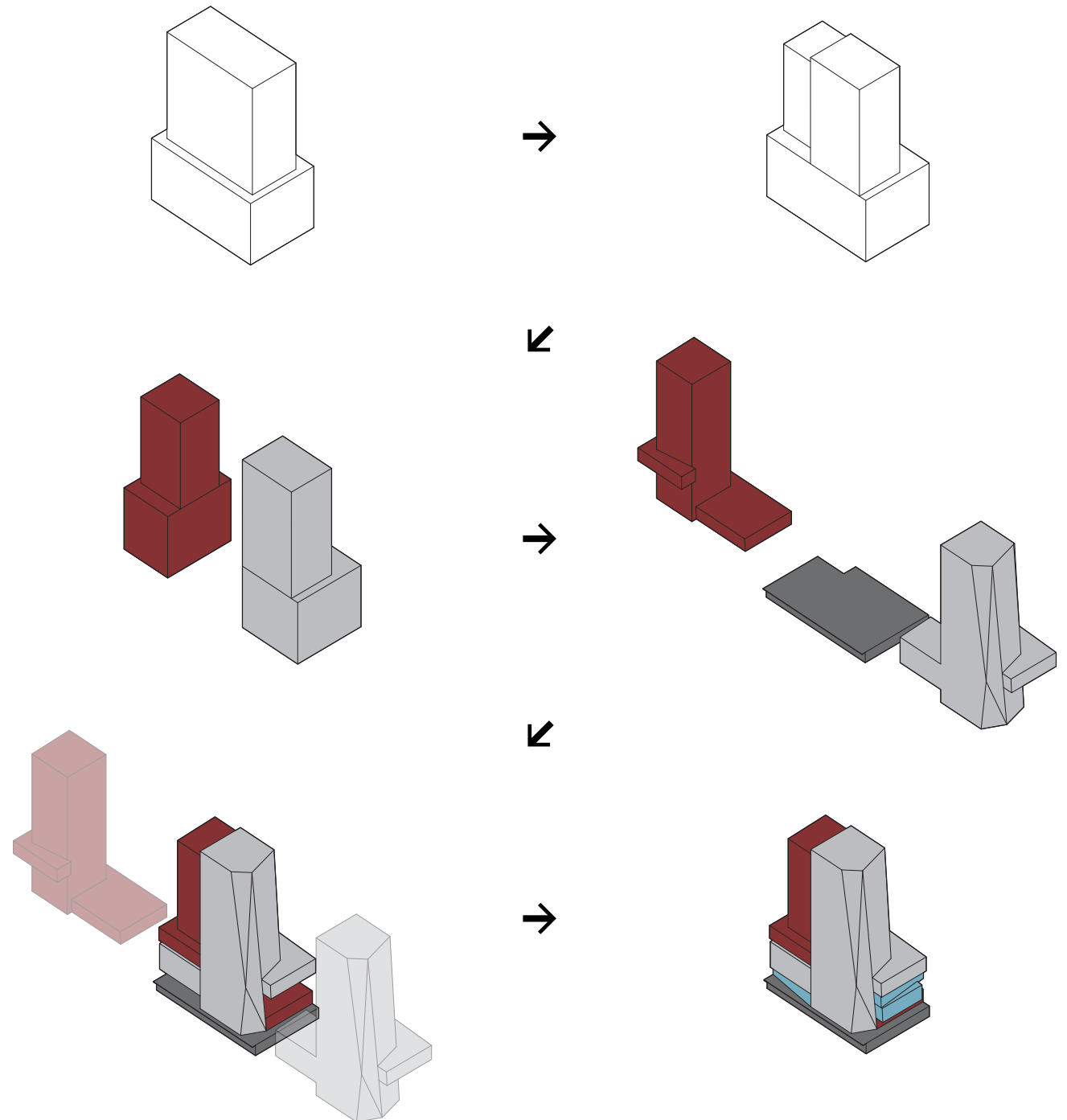
5M PROJECT

HIGH-RISE RESIDENTIAL



5M PROJECT

OFFICE BUILDING ON HOWARD ST.



5M PROJECT

OFFICE BUILDING



5M PROJECT

OFFICE BUILDING



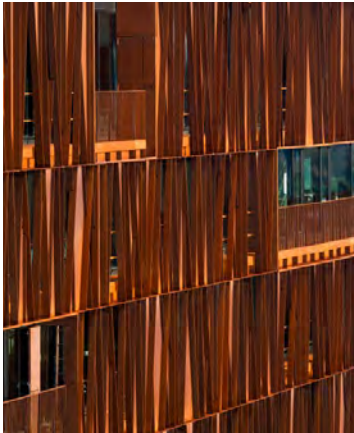
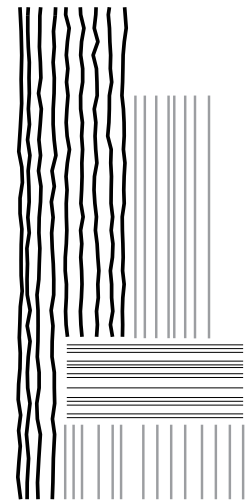
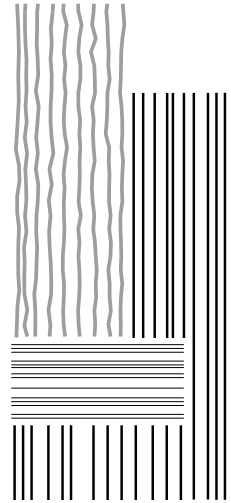
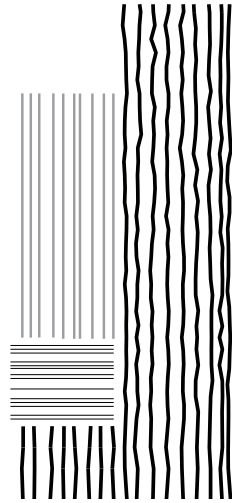
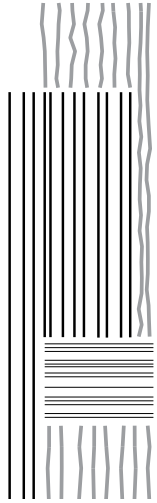
5M PROJECT

OFFICE BUILDING

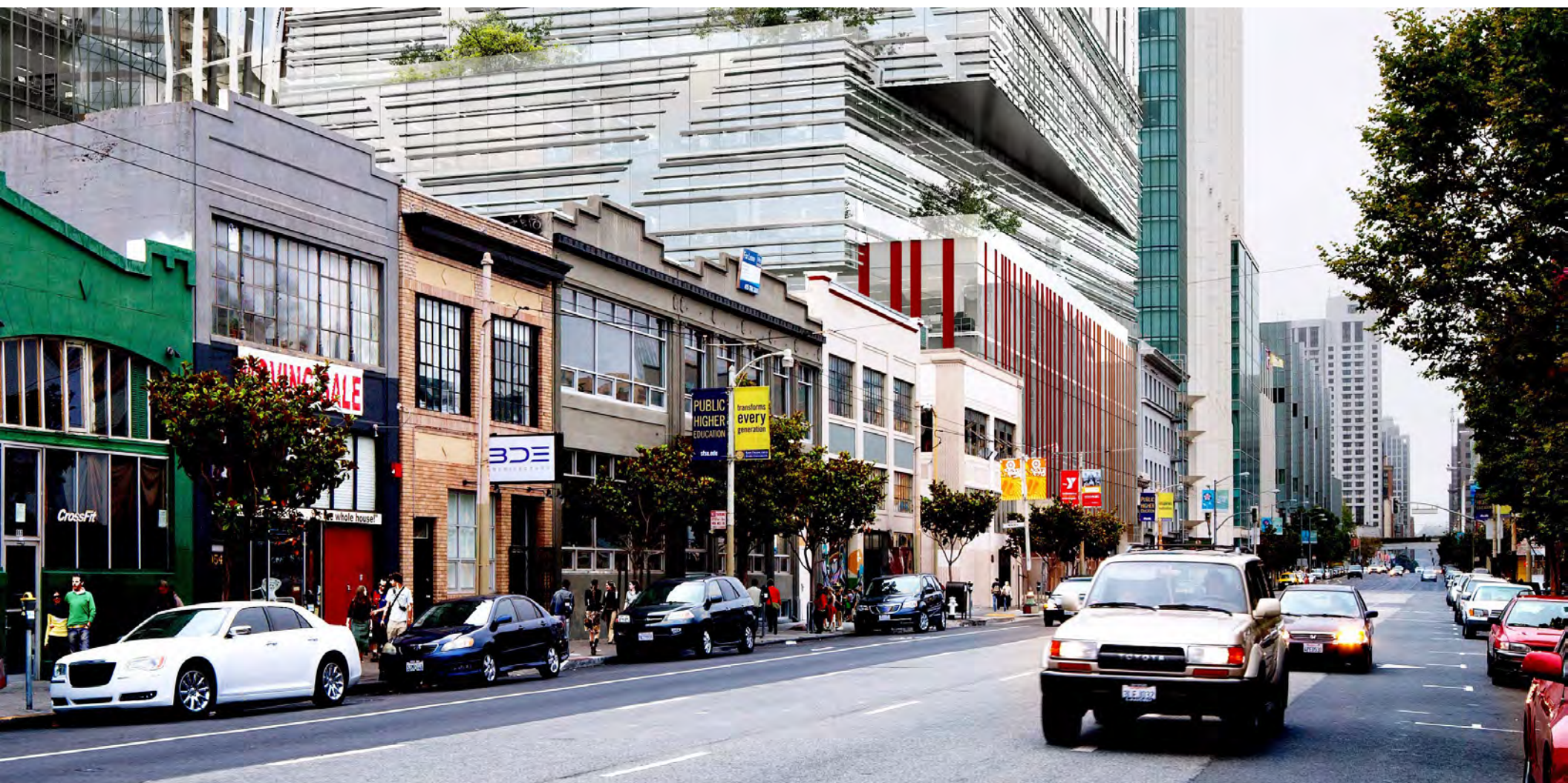


5M PROJECT

OFFICE BUILDING





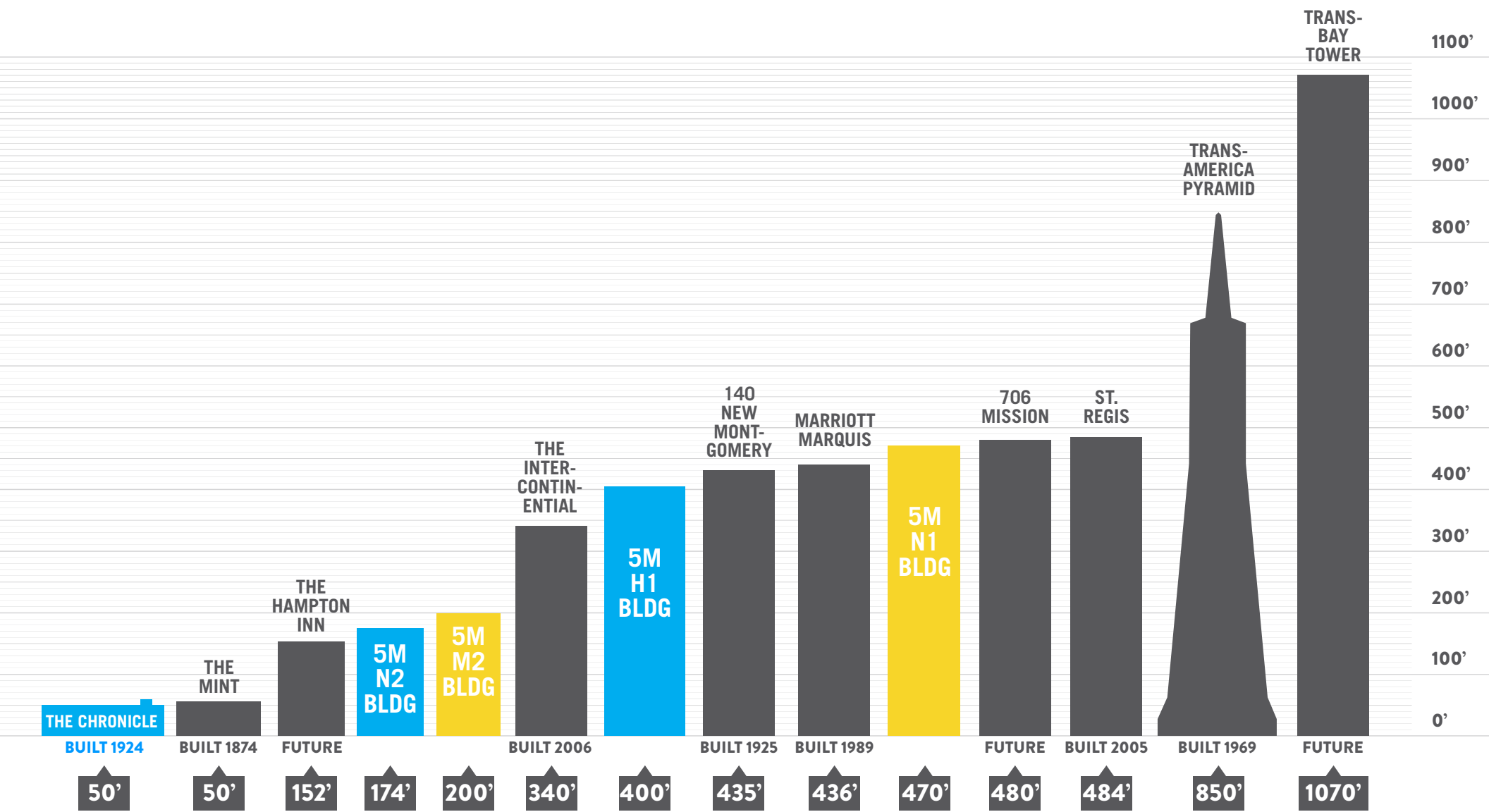




APPENDIX

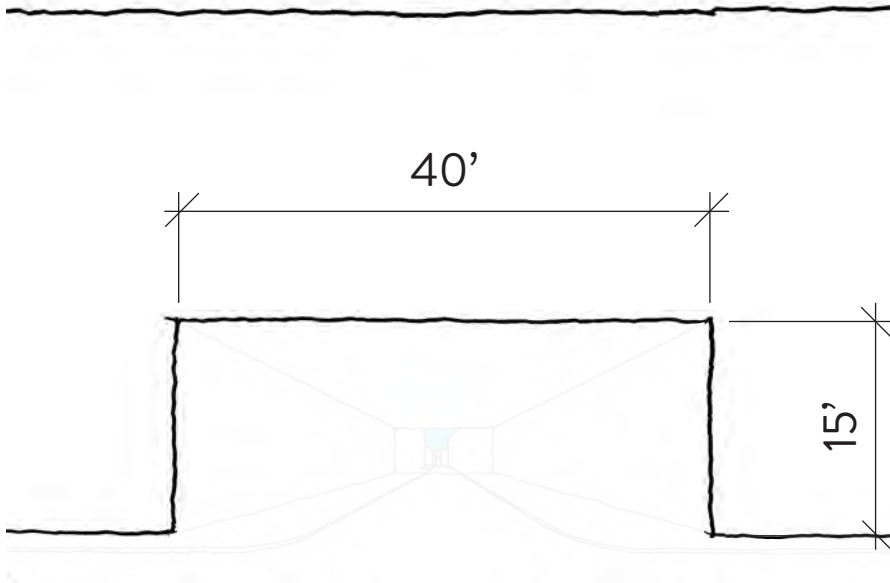
5M PROJECT

THE FUTURE HEIGHTS AT 5M
COMPARED TO EXISTING BUILDING CONTEXT



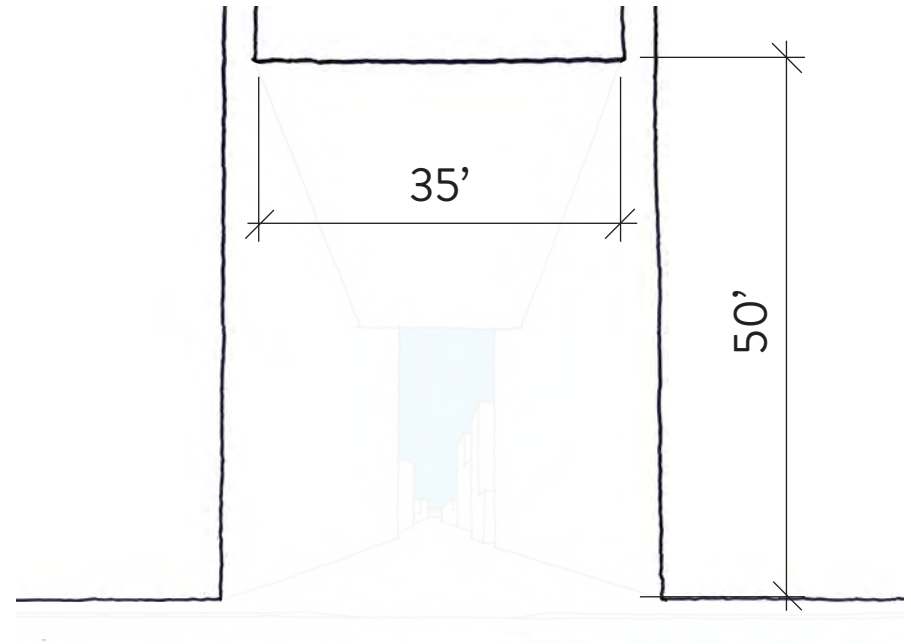
5M PROJECT

A NEW COVERED ALLEYWAY



EXISTING **MINNA STREET**

40' wide x 200' long x 15' above street



NEW **NATOMA STREET**

35' wide x 150' long x 50' above street

