

An aerial photograph of San Francisco, showing the dense urban landscape. The foreground features a residential neighborhood with colorful houses and trees. The middle ground is dominated by the city's skyline, with numerous skyscrapers and buildings. In the background, the San Francisco Bay and the Golden Gate Bridge are visible under a clear blue sky.

RESIDENTIAL ROOF DECKS



San Francisco
Planning

San Francisco



Roof Decks and Discretionary Reviews

- Increasing number of cases / amount of time spent on Discretionary Reviews on projects involving roof decks



Photo credit .Getty Images / MoneySense

Inconsistency of Outcome

- Over the Counter Permits vs. Discretionary Reviews



Photo credit: Zillow



Quality of Life Impacts

- Privacy
- Intensity of use and programming
- Light / shadowing impacts
- Noise
- Visual clutter
 - Neighbors' sight lines
 - Street views
- Light pollution

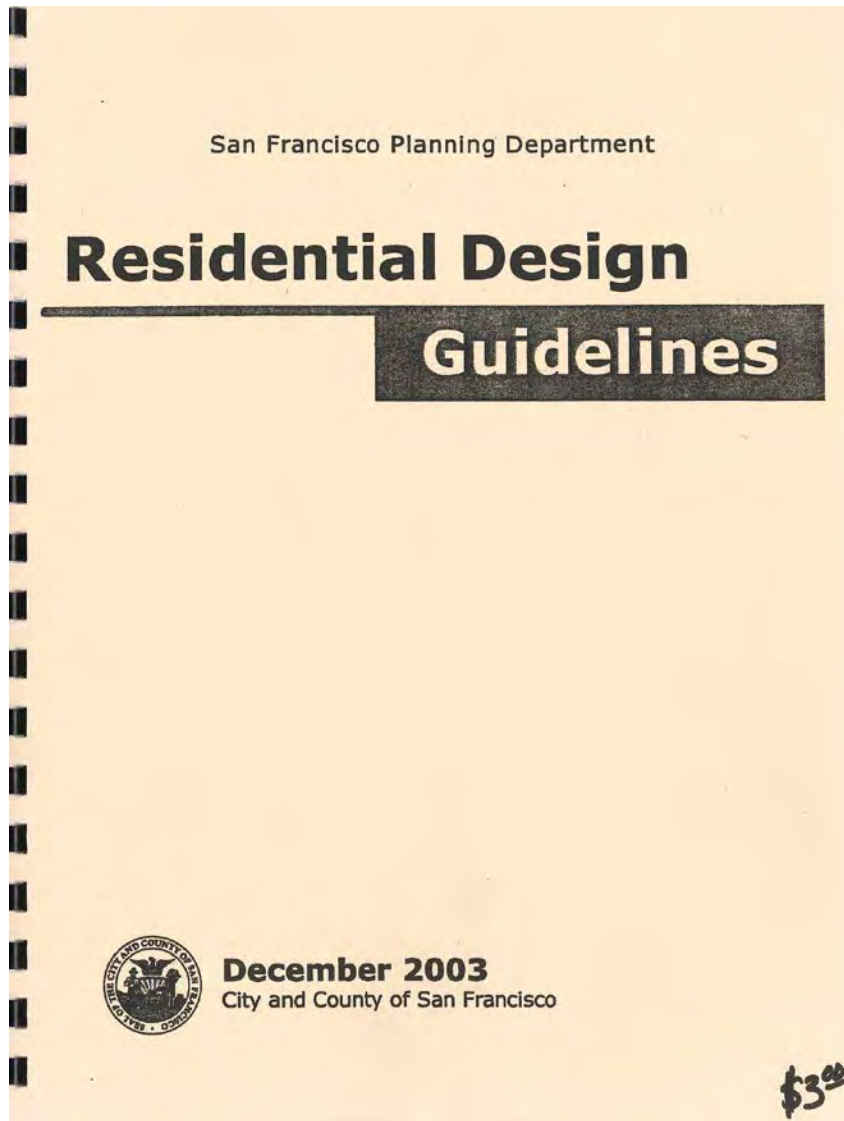


Photo credits. Georgia Schuttish

Roof Features Allowed by Code



Residential Design Guidelines



ROOFTOP ARCHITECTURAL FEATURES

GUIDELINE: Sensitive locate and screen rooftop features so they do not dominate the appearance of a building.

The appearance of a building is affected by the design and placement of all architectural features, including rooftop features. Rooftop features include stair penthouses, parapets, dormers, windscreens and solar collection devices. They can dominate the appearance of a building and the block face if they are not sensitively located and screened.

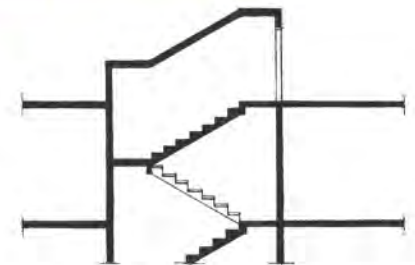
The following design modifications may reduce the impact of rooftop features; other modifications may also be appropriate depending on the circumstances of a particular project:

- Locate rooftop features in a manner that minimizes their visibility from the street and reduces the effect of rooftop clutter.
- Design rooftop features with the smallest possible overall dimensions that meet the requirements of the Building and Planning Codes.
- Limit the number of rooftop features.

Stair Penthouses

GUIDELINE: Design stair penthouses to minimize their visibility from the street.

A stair penthouse is typically constructed to provide roof access for the building. Limit the size of the penthouse in order to reduce its visibility from the street and its impact on light to adjacent buildings. Stair penthouses may also be entirely eliminated through the use of roof hatches, courts with stairs, or exterior rear stairs to the roof.

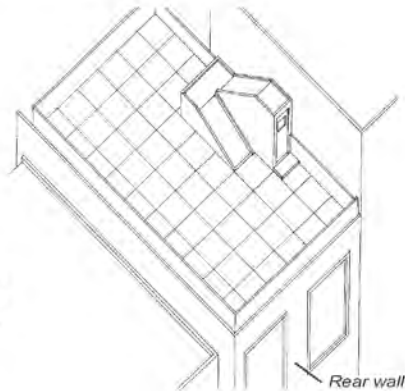


Section drawing of a stair penthouse with a sloped roof.

Residential Design Guidelines

The following design modifications may reduce the impact of stair penthouses; other modifications may also be appropriate depending on the circumstances of a particular project:

- Slope the roof of the penthouse structure to follow the slope of the interior stairway.
- Locate the penthouse against the wall of an adjacent building.



In order to minimize the visibility of this stair penthouse, the roof follows the slope of the interior stairway and the penthouse is located against the wall of an adjacent building.

Parapets

GUIDELINE: Design parapets to be compatible with overall building proportions and other building elements.

Parapets are parts of walls entirely above the surface of the roof. They are sometimes required for fire protection but they may also be decorative and can be used to screen roof features. Design parapets to be compatible with other building elements and overall building proportions. Using a fire-rated roof can eliminate the need for a parapet wall, reducing the height of a building as viewed from the street or mid-block open space.



The parapet provides a distinctive architectural feature to the overall design of the building.

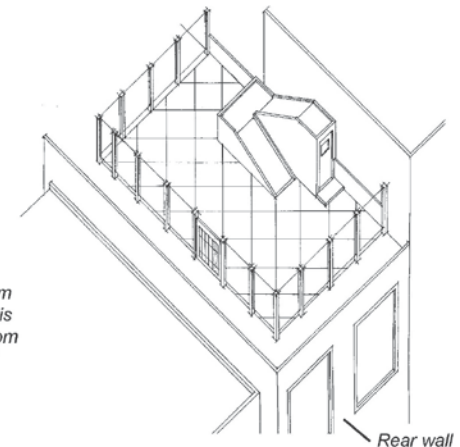
Windscreens

GUIDELINE: Design windscreens to minimize impacts on the building's design and on light to adjacent buildings.

Windscreens provide protection for outdoor areas on rooftops. Design windscreens so they are compatible with the building's design and do not increase the building's apparent height. Also minimize the impact windscreens can have on light to adjacent buildings.

Consider the following in designing windscreens; other measures may also be appropriate depending on the circumstances of a particular project:

- Transparent windscreens are encouraged.
- The maximum recommended height of windscreens is eight feet.
- Where possible, locate the windscreens in a manner that minimizes their visibility from the street and surrounding properties.











To minimize its visibility from the street, this windscreen is transparent and is set in from the front, rear and sides of the property.

Analysis and Recommendations











Photo credits: SF Gate Home

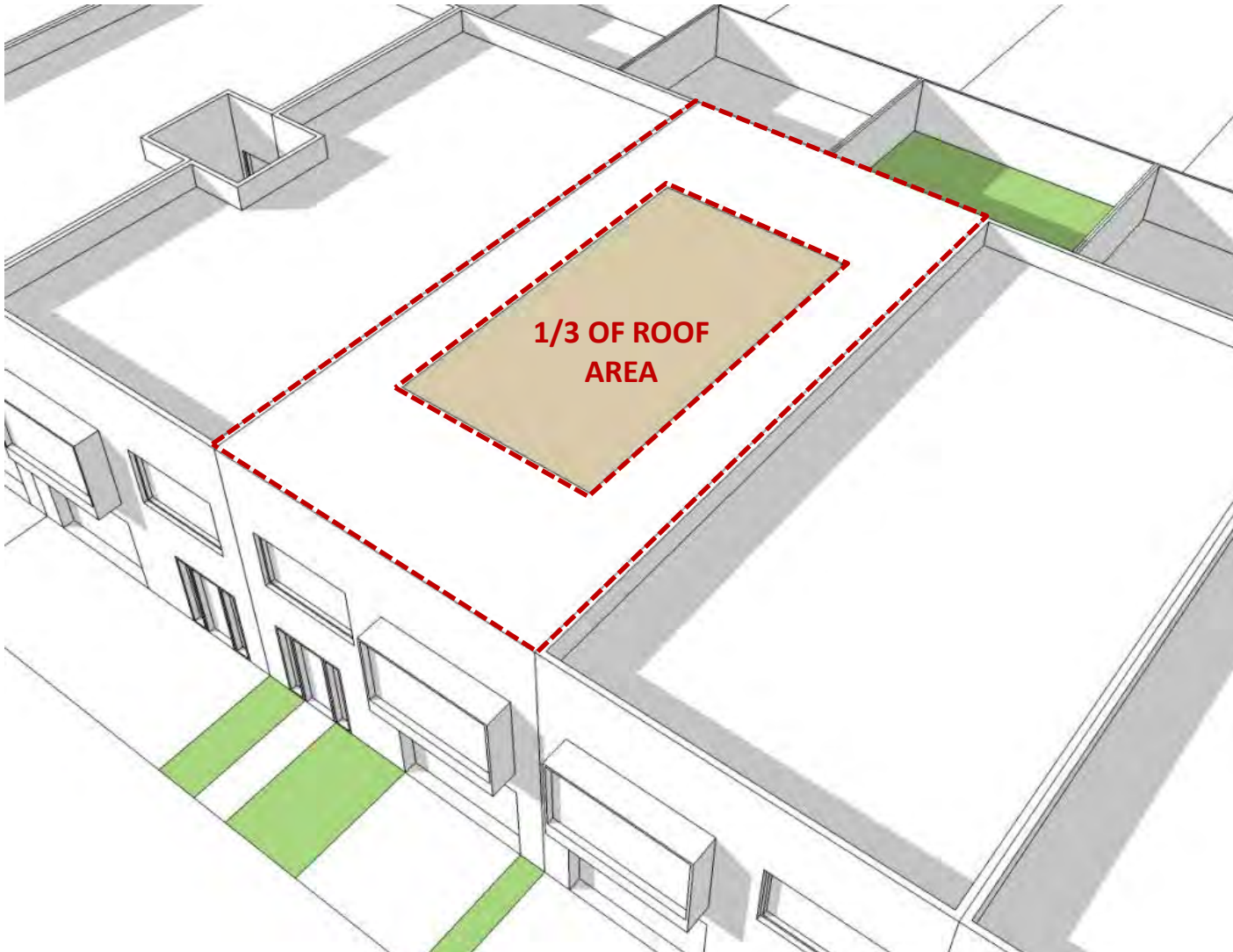
Current Procedures

	ANY SIZE / NO SETBACK NO EXPANSION	ANY SIZE / NO SETBACK STAIR PENTHOUSE / EXPANSION
APPROVAL PROCESS:	Over the Counter	Assigned Planner Review
PRE-APPLICATION MEETING:	 Not Required	 Required
RDAT REVIEW:	 Not Required	 Required
SECTION 311 NEIGHBORHOOD NOTICING:	 Not Required	 Required
DISCRETIONARY REVIEW:	 None	 Potential DR

Proposed Procedures

	LIMITED SIZE / WITH SETBACK NO EXPANSION	LIMITED SIZE / WITH SETBACK STAIR PENTHOUSE / EXPANSION
APPROVAL PROCESS:	Over the Counter	Assigned Planner Review
PRE-APPLICATION MEETING:	 Not Required	 Required
RDAT REVIEW:	 Not Required	 Limited
SECTION 311 NEIGHBORHOOD NOTICING:	 Not Required	 Required
DISCRETIONARY REVIEW:	 None	 Potential Limited DR

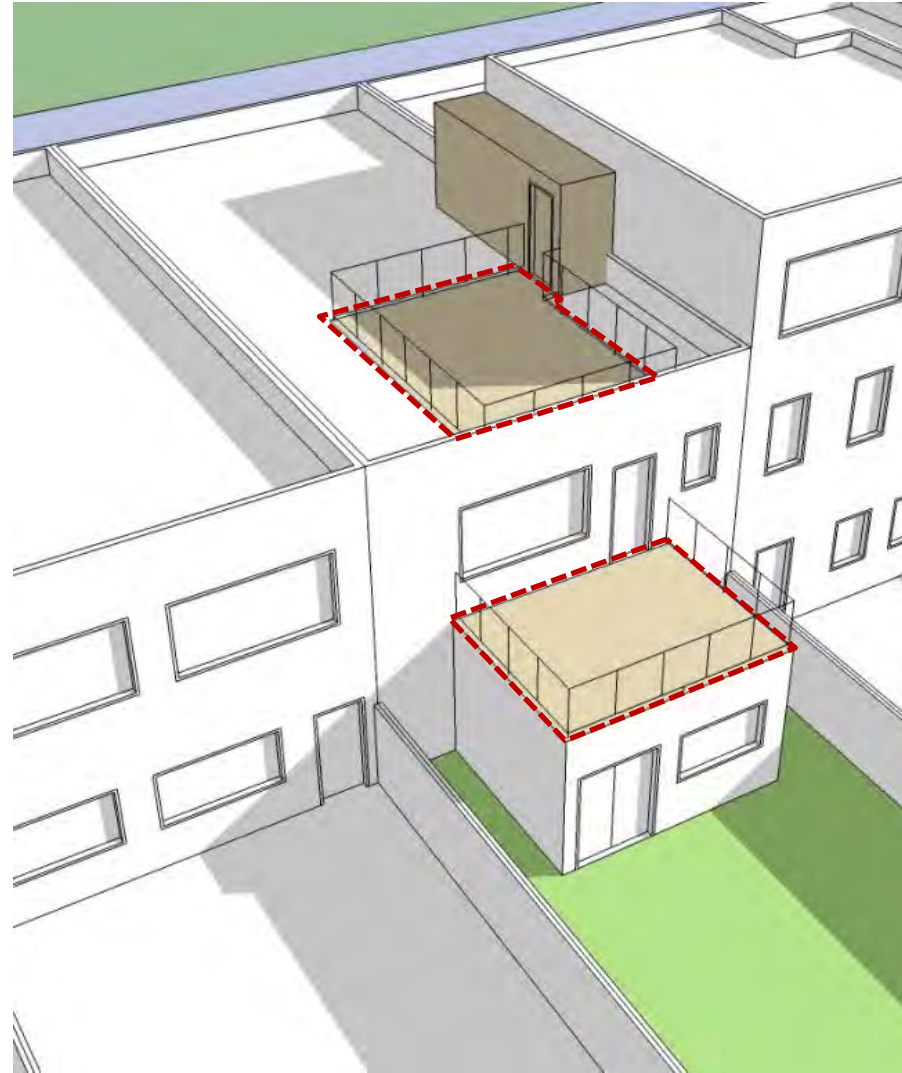
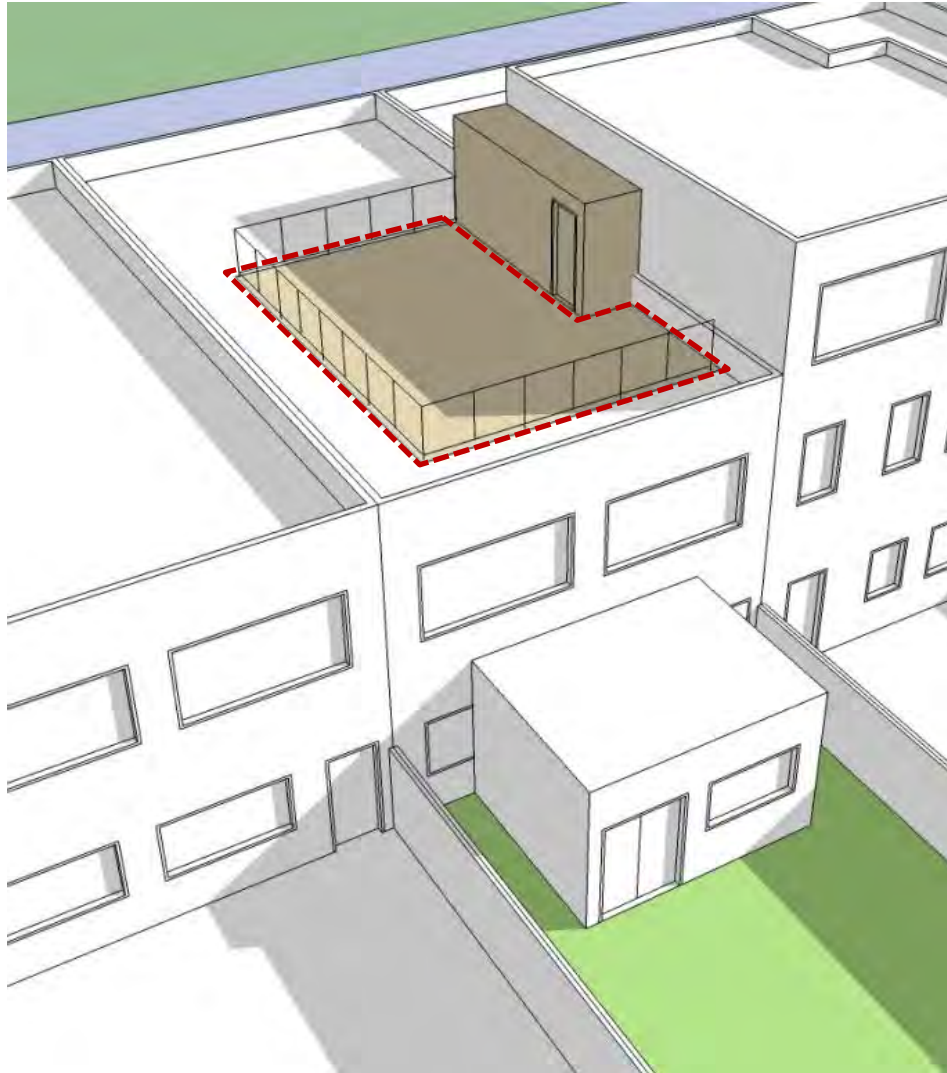
Recommendation: **Roof Deck Area**



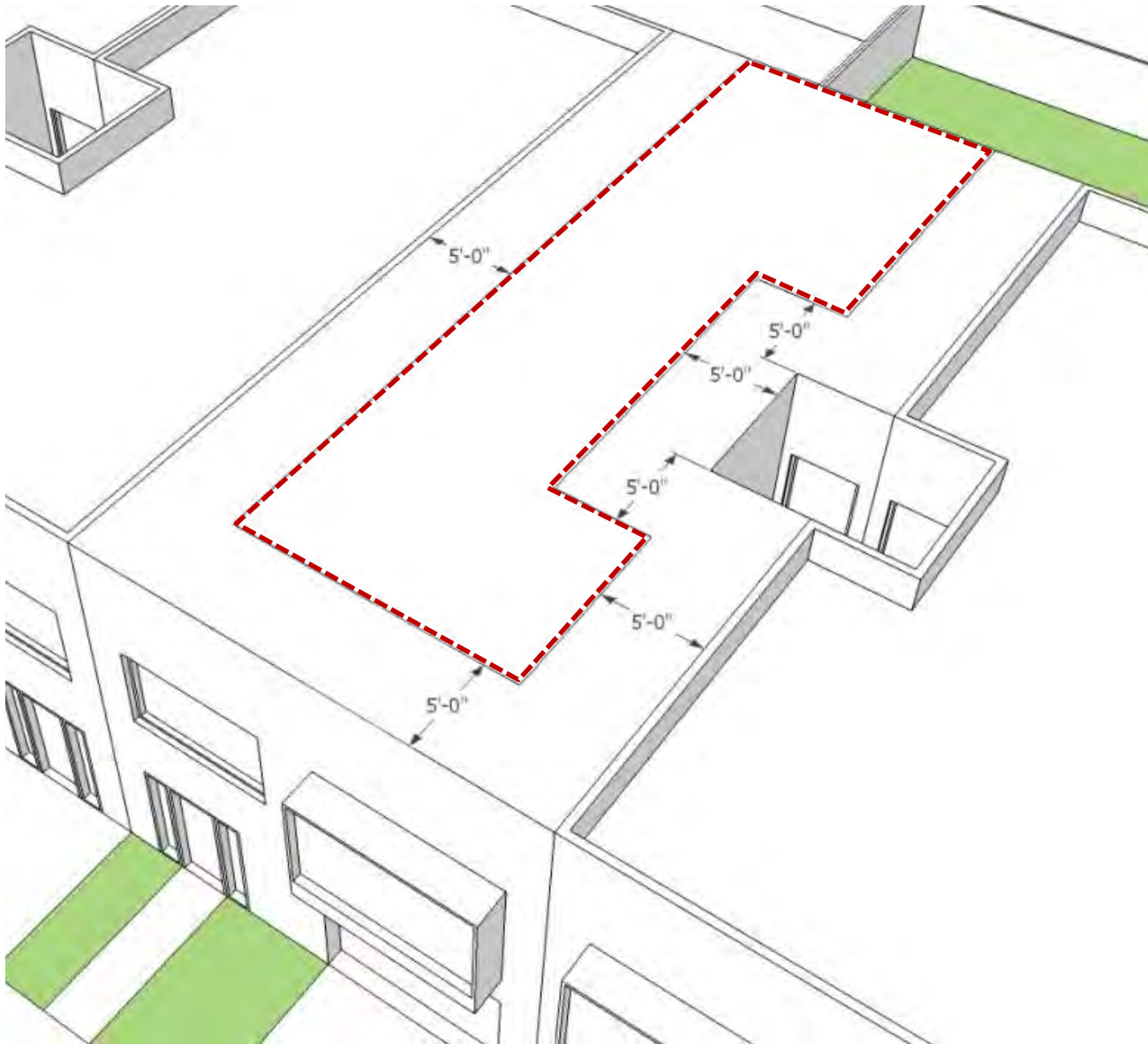
Recommendation: Roof Deck Area



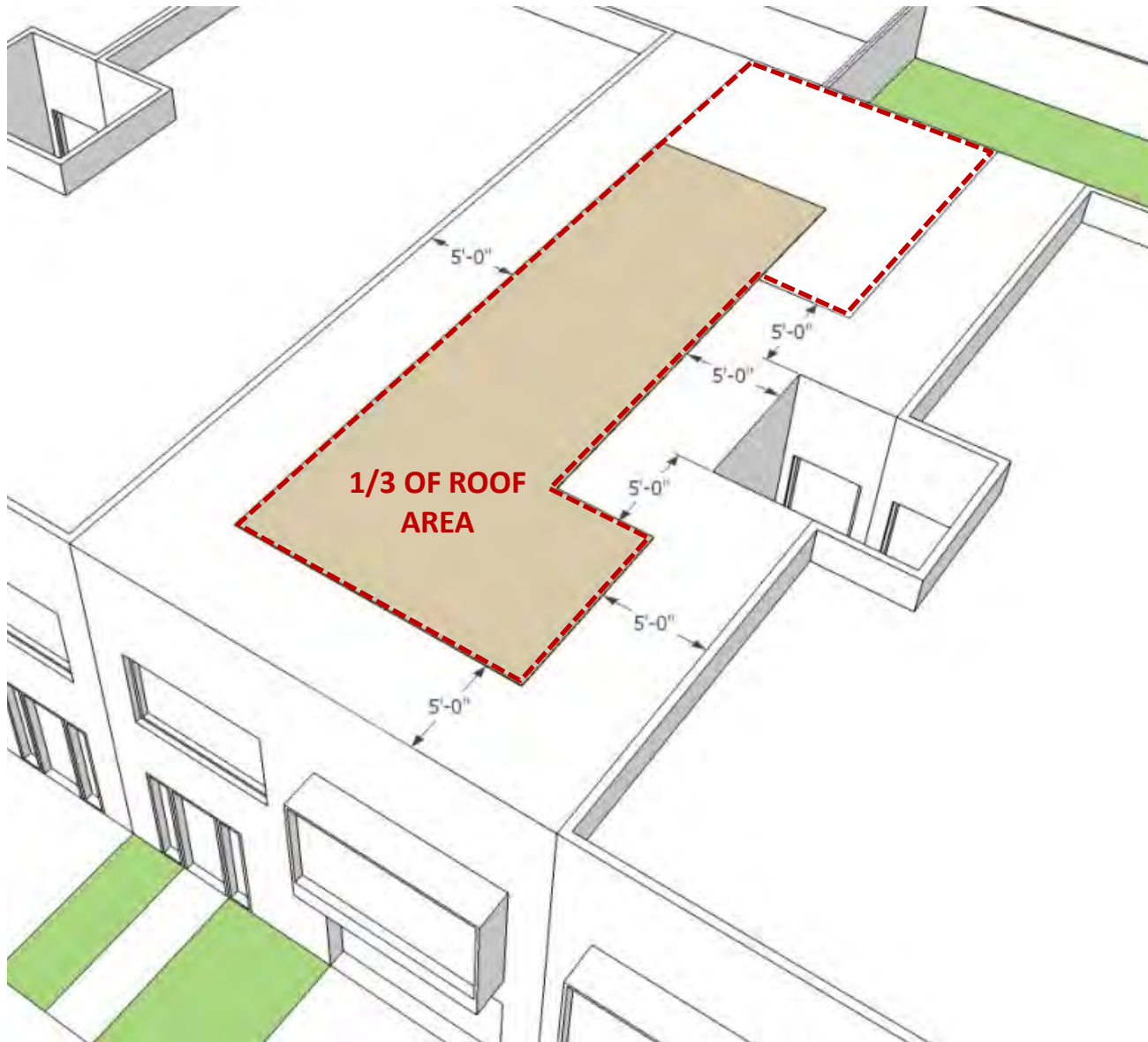
Recommendation: Roof Deck Area



Recommendation: Setbacks



Recommendation: Setbacks



Access **Roof Hatch** with Internalized Stairs

- Roof hatches are allowed to access common or private roof decks in 1 -2 unit buildings (per SFDBI AB57)



Photo credit: <https://deavita.net/roof-hatch-ideas-roof-access-hatches.html>



Photo credit: <http://www.dayliter.com/roof-doors/roof-doors-glass.php>

Access **Internalized Stairs**

- Open stairs are allowed to provide egress and roof access in buildings with 3 dwelling units or more (R-3 Occupancy)

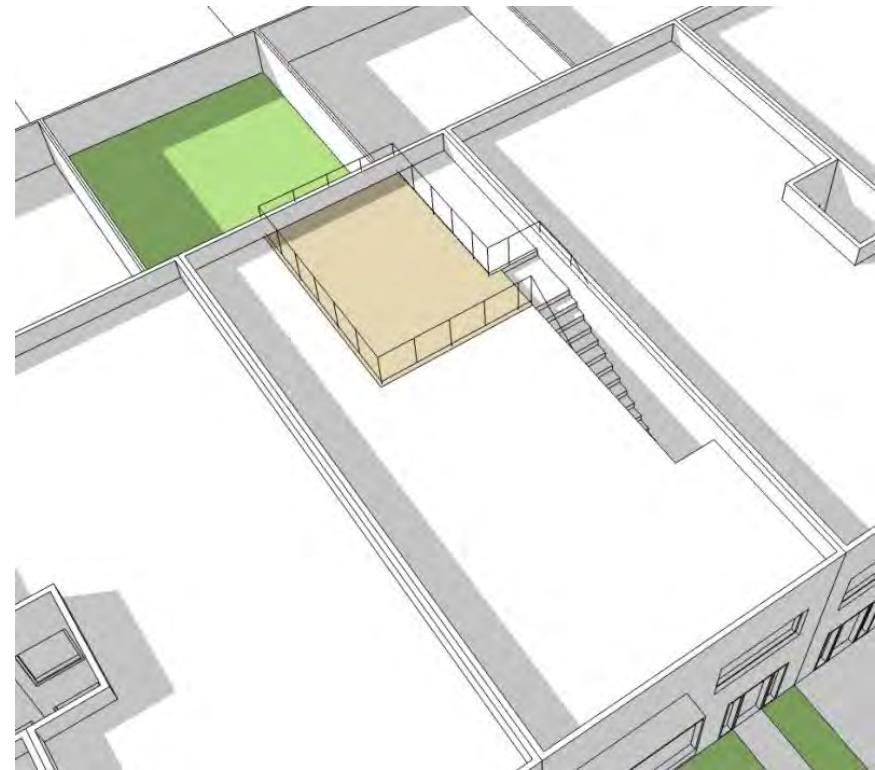



Photo credit: http://www.amagansettbeachhouse.com/gallery/20140525-dsc_0784/

Ongoing Outreach

City and County of
SAN FRANCISCO

Q



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Roof Decks



NEW: Draft on Roof Deck Policy

Roof decks are an opportunity to provide an outdoor amenity area to enrich open space. However, because of their elevated location, they also represent a potential increase of uses that can negatively impact adjacent residents. Therefore, such projects need to be carefully considered in the design review process.

The Planning Commission has asked the Planning Department to develop preliminary recommendations toward ensuring a consistent approach to evaluating rooftop features. This includes taking the following considerations:

ON THIS PAGE

- ▶ GETTING STARTED
- ▶ UNDERSTANDING WHAT'S ALLOWED
- ▶ APPLYING FOR YOUR PERMIT & PAYING FEES
- ▶ PERMIT REVIEW PROCESS
- ▶ INSPECTIONS
- ▶ APPLICATIONS & HANDOUTS

HOW DO I?

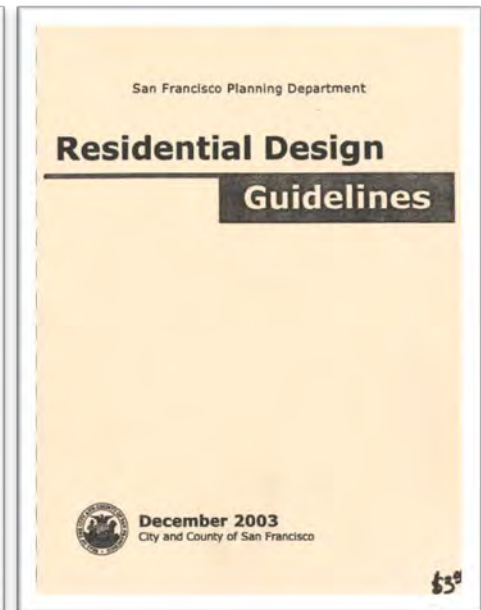
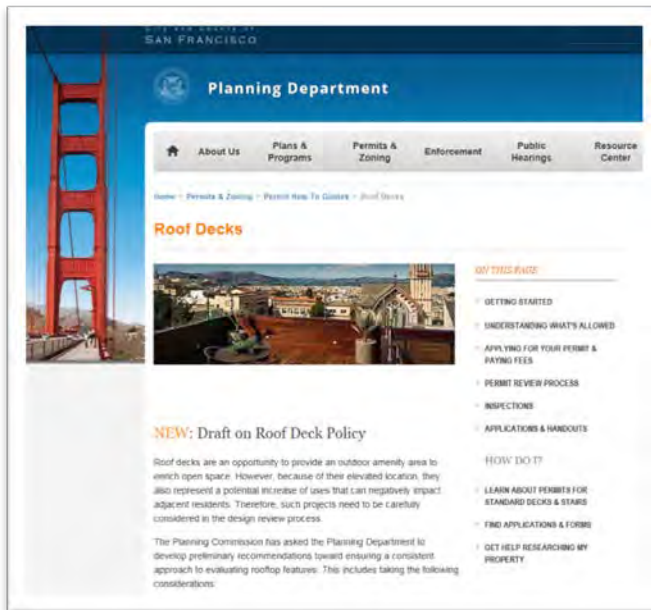
- ▶ LEARN ABOUT PERMITS FOR STANDARD DECKS & STAIRS
- ▶ FIND APPLICATIONS & FORMS
- ▶ GET HELP RESEARCHING MY PROPERTY

PERMITS & ZONING

- [Find My Zoning](#)
- [Planning Information Center \(PIC\)](#)
- [Process Overview](#)
- [Active Permits in My Neighborhood Map](#)
- [Permit How-To Guides](#)
 - [Building Expansion/Change of Use – Commercial or Industrial](#)
 - [Building Expansion/Change of Use – Residential](#)
 - [Chain Stores \(Formula Retail Use\)](#)
 - [Child Care Facilities](#)
 - [Commercial Use in Residential Districts \(ex. Corner Stores\)](#)
 - [Decks & Stairs](#)
 - [Roof Decks](#)**
 - [Fences](#)
 - [Food Trucks/Open Air Sales \(Temporary Use\)](#)

Next Steps

- Additional Outreach
- Develop Implementation Tools
- Draft Resolution – Formal Planning Commission Hearing
- Residential Design Guidelines - Inclusion to RDG's as appendix



THANK YOU



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