



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report

HEARING DATE: AUGUST 7, 2019

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Filing Date: September 26, 2018
Case No.: **2018-013212COA**
Project Address: **78 CARMELITA STREET**
Historic Landmark: Duboce Park Landmark District
Zoning: RH-2 (Residential-House, Two Family)
40-X Height and Bulk District
Block/Lot: 0864/018
Applicant: Gregg De Meza, DMA-SF
60 Santa Marina Street
San Francisco, CA 94110
Staff Contact: Shannon Ferguson - (415) 575-9509
shannon.ferguson@sfgov.org
Reviewed By: Elizabeth Gordon-Jonckheer – (415) 575-8728
Elizabeth.Gordon-Jonckheer@sfgov.org

PROPERTY DESCRIPTION

78 Carmelita Street, east side between Waller Street and Duboce Park, Assessor's Block 00864, Lot 018 (District 8). Built circa 1898, 78 Carmelita Street (subject property) is a wood-frame, single-family house designed in the Queen Anne style. The rectangular-plan building, clad in shiplap siding with decorative shingles, is capped by a gable roof. The primary façade faces west and is 2 bays wide. The first floor features a round turret in the left bay with double-hung, wood-sash windows, a flared pent roof with dentillated cornice, and a conical roof with finial. The main entrance is set in the right bay, accessed via a set of terrazzo steps with concrete parapet walls. The entry is sheltered by a pedimented entry porch with turned posts, brackets, and a spindlework frieze. The half story is divided from the first story with an intermediary frieze and dentil cornice, and has a single, centered window with an entablature surround. All the windows display wooden sashes. The primary façade terminates in a narrow frieze and a projecting, molded cornice. 78 Carmelita Street is contributory building to the Duboce Park Landmark District and is located within a RH-2 (Residential-House, Two Family) Zoning District and a 40-X Height and Bulk District.

PROJECT DESCRIPTION

The proposed project is to enclose an open area under a cantilevered room at the rear (east) elevation; construct a rear yard deck at the side property line that requires construction of a firewall and addition of a spiral stair at the deck; remove a door at the rear elevation; remove and add a window at the north elevation; and interior alterations. All proposed work will occur at the basement level. While the majority of the proposed project includes scopes of work delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process per Motion No. 0376, adopted by the Historic Preservation Commission (HPC) on May 15, 2019, the construction of the firewall exceeds the

minor scopes of work outlined in the delegation agreement and requires HPC review. Therefore, the HPC will evaluate the entire proposed project.

Specifically, the proposed project includes:

- **Enclose open area under cantilevered room:** At the rear (east) elevation, the existing basement wall, which contains two windows, is set back under a cantilevered room above (a previous addition). The basement wall will be demolished, and a new wall will be constructed in plane with the cantilevered room, enclosing the space underneath. The new wall will be clad in painted horizontal wood siding. A new double-hung, wood sash window will be added in the new wall. The north elevation of the enclosure will retain an existing double-hung wood sash window and will add wood French doors to access a new on-grade deck.
- **Rear yard deck, firewall and spiral stair:** The existing rear yard landing and stair will be demolished. A new wood rear yard deck will be constructed. The new deck will be constructed at the south side property line and requires construction of a firewall. The firewall will be 14'-1" high and will be clad in painted horizontal wood siding to match the existing siding at the rear elevation. A metal spiral stair will be adding to the deck to provide access to the rear yard.
- **Remove door:** At the rear elevation, an existing door and concrete steps will be removed and replaced with a new window opening containing a double-hung wood sash window. The infilled area of the door will be clad in painted horizontal wood siding to match existing.
- **Remove/add window:** At the north elevation, an existing window will be infilled. The infilled area will be clad in painted horizontal wood siding to match existing. A new window opening with double-hung, wood sash window will be added.
- **Interior alterations:** The basement will undergo interior alterations, including mechanical, plumbing and structural work with partitions for a bedroom, storage room, bathroom, and family room.

OTHER ACTIONS REQUIRED

Prior to the approval of the associated building permit application, the project will require neighborhood notification in conformance with Section 311 of the Planning Code.

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for

which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a historic district, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

ARTICLE 10, Appendix N – Duboce Park Landmark District

In reviewing an application for a Certificate of Appropriateness, the Historic Preservation Commission must consider whether the proposed work would be compatible with the character of the Duboce Park Landmark District as described in Appendix N of Article 10 of the Planning Code and the character-defining features specifically outlined in the designating ordinance.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The proposed project does not involve a change in use of the property. Therefore, the proposed project complies with Rehabilitation Standard 1.

Standard 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposed project would not remove any historic materials or features that characterize the property, with the exception of the removal of a window opening on the north elevation and door on the east elevation, both of which are not visible from the public right of way. The rear addition appears to have been added to subject property at an early date and has been altered over time. No information has been located to suggest that this addition has acquired historical significance in its own right. The proposed enclosure under the cantilevered addition is located at the rear of the property and will not be visible from the public right of way. The proposed project retains and preserves the Queen Anne style of the property. Therefore, the proposed project complies with Rehabilitation Standard 2.

Standard 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The proposed project does not include the addition of conjectural elements or architectural features from other buildings. Therefore, the proposed project complies with Rehabilitation Standard 3.

Standard 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

The existing rear addition appears to have been constructed sometime around 1899, according to Sanborn map research. There is nothing about the existing rear addition that would allow it to have acquired historical significance in its own right and the rear addition appears to have been modified since its initial construction. Therefore, the proposed project complies with Rehabilitation Standard 4.

Standard 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

No distinctive materials, features, finishes, construction techniques or examples of craftsmanship will be affected by the proposed project, with the exception of the removal a small amount of historic horizontal wood siding at the north elevation for the creation of a new window opening and a door at the rear elevation, both of which are not visible from the public right of way. The overall removal of historic material will be as minimal as possible to allow for the installation of the new windows. The materials of the rear addition proposed to be removed are not distinctive. Therefore, the proposed project complies with Rehabilitation Standard 5.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacements of a distinctive feature, the new feature will match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The proposed project does not call for the replacement or repair of deteriorated historic features. Therefore, the proposed project complies with Rehabilitation Standard 6.

Standard 7: Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The proposed project would not involve chemical or physical treatments that would cause damage to historic materials. Therefore, the proposed project complies with Rehabilitation Standard 7.

Standard 8: Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures will be undertaken.

The proposed project does not include excavation. Therefore, the proposed project complies with Rehabilitation Standard 8.

Standard 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new

work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed project will not destroy historic features that characterize the property, and the new work will be compatible with yet differentiated from the historic elements of the property and the surrounding district. The enclosure is proposed to be clad in painted horizontal wood siding that is compatible with the cladding materials of the subject property and is found throughout the district. New windows at the enclosure, north elevation, and rear elevation will be made of wood, compatible with the wood windows that are typical of the subject property and district. The proposed wood deck and stair is contemporary and compatible with the materials of the subject property and other wood decks found in the district, The firewall is proposed to be clad in painted horizontal wood siding which is compatible with the materials and features of the subject property and historic district. Therefore, the proposed project complies with Rehabilitation Standard 9.

Standard 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed project would not affect the essential form and integrity of the subject property. The proposed enclosure is located at the rear of the subject property, will not be visible from the public right of way, and could be removed in the future without affecting the form and integrity of the building. Proposed windows at the enclosure will match the materials and configuration of the historic windows. The changes to the north elevation of the building are limited to the installation of a new window at the basement level that will match the materials and configuration of the historic windows. This window could be removed in the future, and wood siding could be restored at the opening, without impacting the essential form and integrity of the building. The firewall is proposed to be clad in painted horizontal wood siding and along with the contemporary wood stair and deck, could be removed in the future without impacting the essential form and integrity of the subject property. Therefore, the proposed project complies with Rehabilitation Standard 10.

PUBLIC/NEIGHBORHOOD INPUT

The project team conducted a Pre-Application Meeting on February 28, 2019. The Department has received no public input on the project at the date of this report.

STAFF ANALYSIS

Based on the requirements of Article 10 and the Secretary of Interior's Standards, staff has determined that the proposed work is compatible with the character-defining features of the subject property and the Duboce Park Landmark District.

Enclose open area under cantilevered room: The existing cantilevered room appears to be an early addition to the rear (east) elevation of the subject property, as it is shown on the 1899 Sanborn map. The rear addition appears to have been modified since its initial construction with a second story added at an unknown date. The proposed enclosure of the space under the rear addition (at basement level) is

compatible with the subject property and the district. The enclosure's proposed painted horizontal wood siding is compatible with material, profile and finish found on the subject property and throughout the landmark district. The proposed double-hung, wood sash window is compatible with the configuration, materials and profile that are characteristic of the subject property and the district. The proposed French doors are contemporary and compatible in material with the subject property. The proposed enclosure and window and door openings are located at the basement level of rear elevation and will not be visible from the public right of way.

Rear yard deck, firewall and spiral stair: The existing wood rear yard landing and stair was constructed at an unknown date. The new rear yard wood deck and stair will be contemporary and compatible in terms of location, configuration, materials, and details with the character-defining features of the property and the district. The new firewall with painted horizontal wood siding is compatible with the material, profile and finish of existing siding at the rear elevation of the subject property. The new rear yard deck, firewall and spiral stair will not be visible from the public right of way.

Remove door: It is unknown if the door opening at the basement level of the rear (east) elevation is historic. The removal of the door and replacement with a window is compatible with the subject property and the district. The new window will be within the existing door opening and represents a minor change in the area of less than one hundred square feet. The proposed painted flat wood window trim and double-hung wood sash are compatible with the finish, configuration, materials and profile of the subject property and the historic district. The proposed window opening is located at the basement level of rear elevation and will not be visible from the public right of way.

Remove/add windows: The removal of the existing window at the basement level of the north elevation is compatible with the subject property and district. The infill area will be clad in horizontal wood that will be compatible with the material, profile and finish of siding found on the subject property and within the district. The new window opening is compatible in terms of configuration, material, and exterior profile and dimensions of the windows historically present on the subject property. The removal and addition of windows at the north elevation represent a minor change in a discrete location. The proposed window removal and addition is located at the basement level of rear elevation and will not be visible from the public right of way.

Department staff finds that the proposed work will be in conformance with the *Secretary's Standards* and requirements of Article 10, and that the proposed work is compatible with the character-defining features of the subject site and with the Duboce Park Landmark District.

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Sections 15301 (Class One – Minor Alteration) because the project includes a minor alteration of an existing structure that meets the Secretary of the Interior's Standards.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL of the proposed project as it appears to meet the *Secretary of the Interior Standards for Rehabilitation* and the requirements of Appendix N of Article 10 of the Planning Code for the Duboce Park Landmark District.

ATTACHMENTS

Draft Motion
Parcel Map
1998 Sanborn Map
Duboce Park Landmark District Map
Aerial Photograph
Zoning Map
Site Photographs
Project Application
Project Plans



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission

Motion No.

HEARING DATE: AUGUST 7, 2019

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Case No.: 2018-013212COA
Project Address: 78 CARMELITA STREET
Historic Landmark: Duboce Park Landmark District
Zoning: RH-2 (Residential-House, Two Family)
40-X Height and Bulk District
Block/Lot: 0864/018
Applicant: Gregg De Mezza, DMA-SF
60 Santa Marina Street
San Francisco, CA 94110
Staff Contact Shannon Ferguson – (415) 575-9074
shannon.ferguson@sfgov.org
Reviewed By Elizabeth Gordon-Jonckheer – (415) 575-8728
Elizabeth.Gordon-Jonckheer@sfgov.org

ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 018 IN ASSESSOR'S BLOCK 0864, WITHIN A RH-2 (RESIDENTIAL-HOUSE, TWO FAMILY) ZONING DISTRICT, A 40-X HEIGHT AND BULK DISTRICT, AND THE DUBOCE PARK LANDMARK DISTRICT.

PREAMBLE

WHEREAS, on September 26, 2018 Gregg De Mezza ("Project Sponsor") filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness to enclose an open area under a cantilevered room at the rear (east) elevation; construct a rear yard deck at the side property line that requires construction of a firewall and spiral stair; remove a door at the rear elevation; remove and add a window at the north elevation; and interior alterations all at the basement level.

WHEREAS, the Project was determined by the Department to be exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One-Minor Alteration of Existing facility) and 15303 (Class Three-New Construction or Conversion of Small Structures) because the project is a minor alteration of an existing structure and meets the *Secretary of the Interior's Standards*. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on August 7, 2019, the Commission conducted a duly noticed public hearing on the current project, Case No. 2018-013212COA (Project) for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans labeled Exhibit A on file in the docket for Case 2018-013212COA based on the following conditions and findings:

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historic Preservation Commission has determined that the proposed work is compatible with the character of the landmark as described in the designation report.

- The proposed project will retain the existing residential use of the building.
- The proposed project would not remove any historic materials or features that characterize the property, with the exception of the removal of a window opening on the north elevation and door on the east elevation, both of which are not visible from the public right of way.
- No distinctive materials, features, finishes, construction techniques or examples of craftsmanship will be affected by the proposed project, with the exception of the removal a small amount of historic horizontal wood siding at the north elevation for the creation of a new window opening and a door at the rear elevation, both of which are not visible from the public right of way.
- All new windows will be painted wood and match the configuration and profile of exiting windows, which is compatible with the subject building as well as a character-defining features throughout the District.
- The new firewall at the property line will be clad in painted horizontal wood siding which is compatible with the materials and feates of the subject property and the historic district and may be removed in the future without affecting the essential form and integrity of the property and the district.

- The new wood deck and stairs will be contemporary and compatible with the materials, features and scale of the subject property and the district.
- The proposed project meets the requirements of Article 10, Appendix E of the Planning Code.
- The proposed project meets the following *Secretary of Interior's Standards for Rehabilitation*:

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to

improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the contributory property and landmark district for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:
 - A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project is for the rehabilitation of a residential property and will not have any effect on neighborhood-serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the site and landmark district in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not reduce the affordable housing supply as the existing single-family residential use will not be changed.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake will be improved by the proposed work. The work will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES a Certificate of Appropriateness** for the property located at Lot 018 in Assessor's Block 0864 for proposed work in conformance with the renderings and architectural sketches labeled Exhibit A on file in the docket for Case No. 2018-013212COA.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on August 7, 2019.

Jonas P. Ionin
Commission Secretary

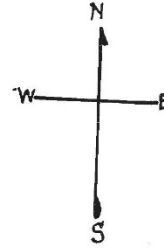
AYES: X

NAYS: X

ABSENT: X

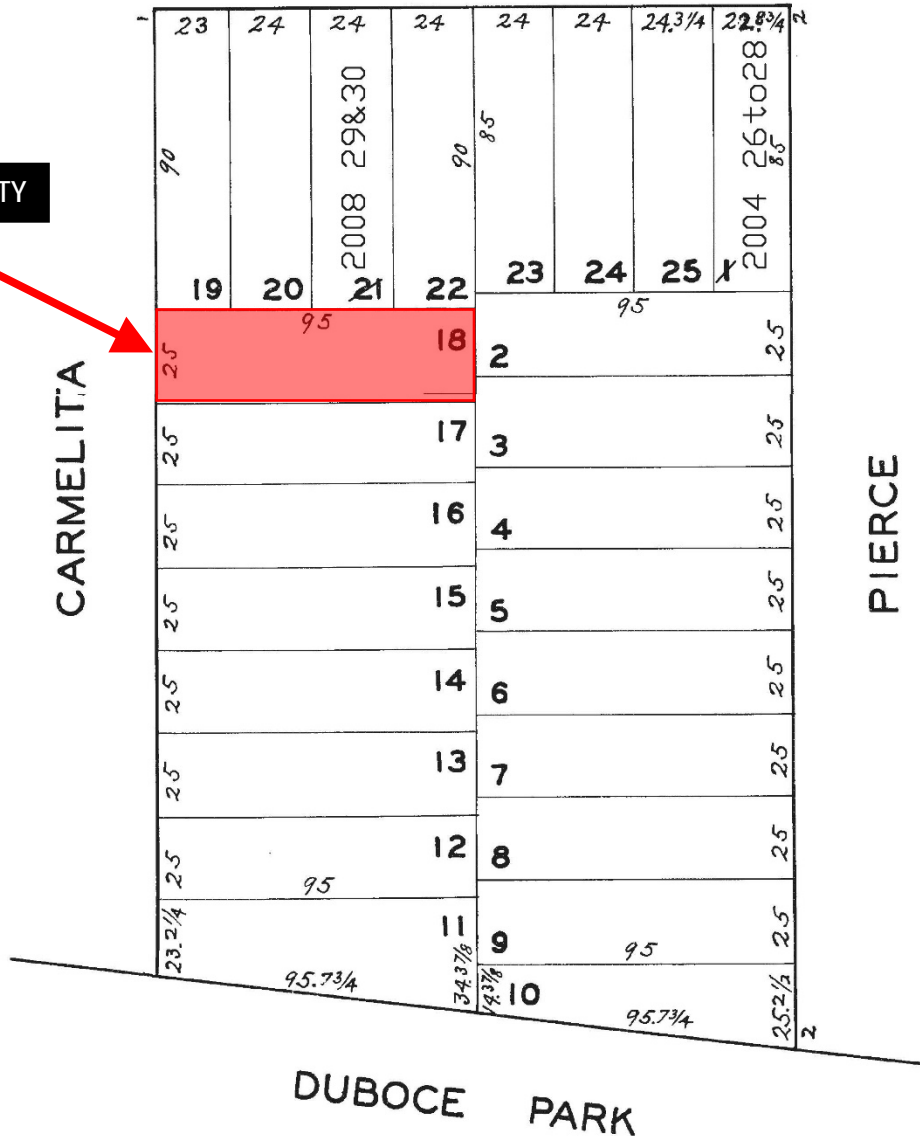
ADOPTED: August 7, 2019

Parcel Map



WALLER

SUBJECT PROPERTY



Certificate of Appropriateness
 Case Number 2018-013212COA
 78 Carmelita Street

Sanborn Map*

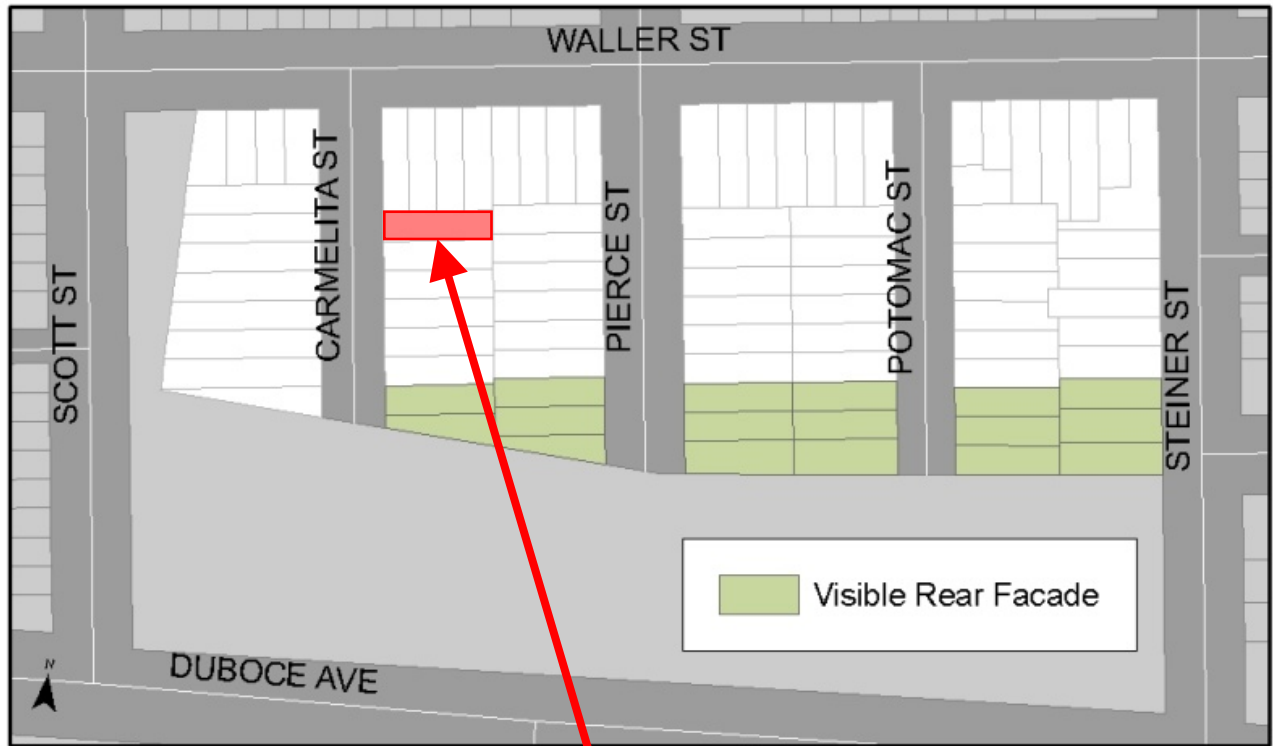


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Certificate of Appropriateness
 Case Number 2018-013212COA
 78 Carmelita Street

Duboce Park Landmark District



SUBJECT PROPERTY



Aerial Photograph

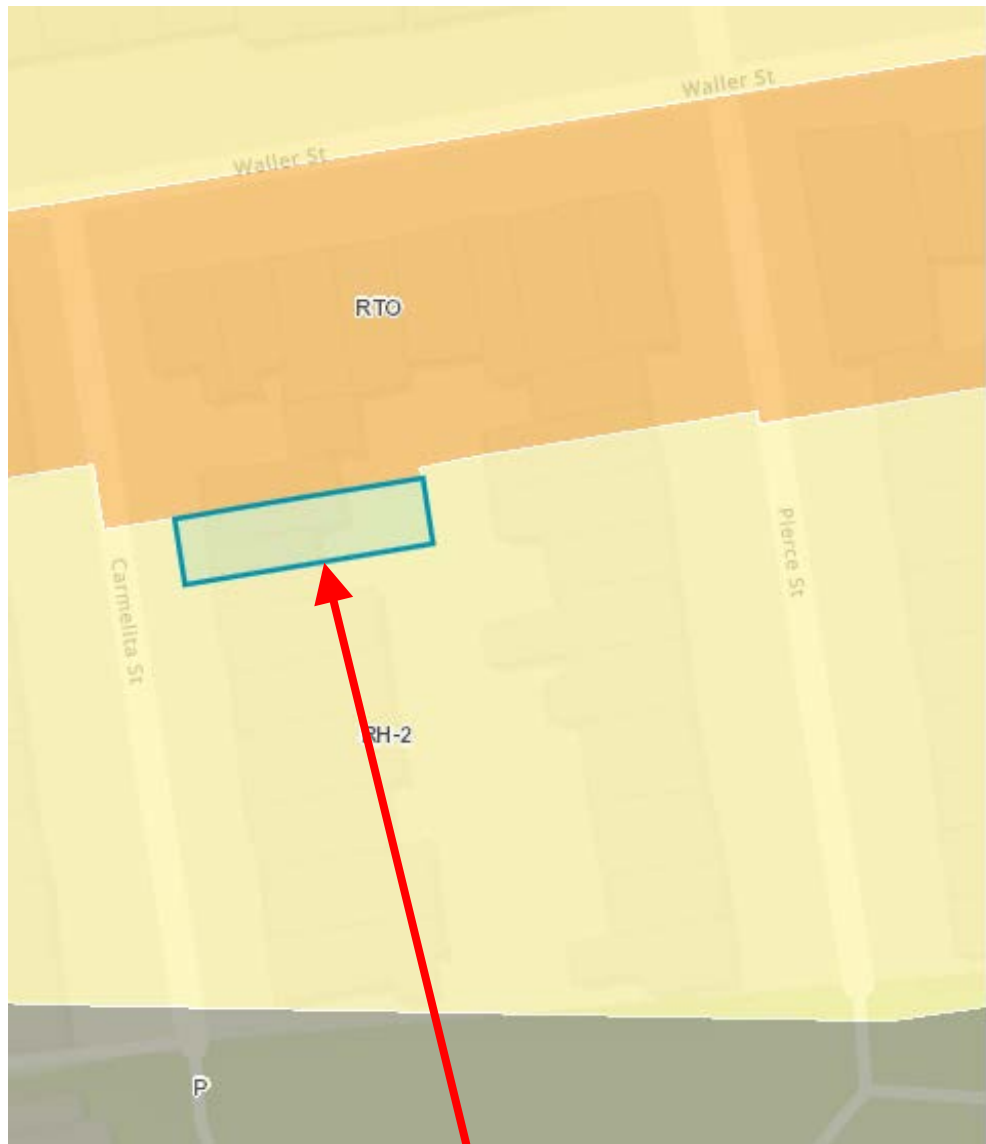


SUBJECT PROPERTY



Certificate of Appropriateness
Case Number 2018-013212COA
78 Carmelita Street

Zoning Map



SUBJECT PROPERTY



Certificate of Appropriateness
Case Number 2018-013212COA
78 Carmelita Street

Site Photo



Certificate of Appropriateness
Case Number 2018-013212COA
78 Carmelita Street



CERTIFICATE OF APPROPRIATENESS

INFORMATIONAL AND SUPPLEMENTAL APPLICATION PACKET

ATTENTION: A Project Application must be completed and/or attached prior to submitting this Supplemental Application. See the Project Application for instructions.

Section 1002(a)(2) states that the Historic Preservation Commission (“HPC”) shall review and decide on applications for construction, alteration, demolition and other applications pertaining to landmark sites and districts regulated under Article 10 of the Planning Code.

For questions, you can call 415.558.6377, email pic@sfgov.org or visit the Planning Information Center (PIC) at 1660 Mission Street, First Floor, San Francisco, where planners are available to assist you.

Español: Si desea ayuda sobre cómo llenar esta solicitud en español, por favor llame al 415.575.9010. Tenga en cuenta que el Departamento de Planificación requerirá al menos un día hábil para responder

中文: 如果您希望獲得使用中文填寫這份申請表的幫助，請致電415.575.9010。請注意，規劃部門需要至少一個工作日來回應。

Tagalog: Kung gusto mo ng tulong sa pagkumpleto ng application na ito sa Filipino, paki tawagan ang 415.575.9120. Paki tandaan na mangangailangan ang Planning Department ng hindi kukulangin sa isang araw na pantrabaho para makasagot.

WHAT IS A CERTIFICATE OF APPROPRIATENESS AND WHEN IS IT NECESSARY?

Incorporated into the Planning Code in 1968, Article 10 outlines the process for the review and entitlement of alterations to properties locally designated as City Landmarks. An individual landmark is a stand-alone building, site, or object that is important for its contributions to San Francisco. A landmark district is a group of properties or a portion of a neighborhood that is architecturally, historically, or culturally important. Designated properties that are recognized for their architectural, historic, and cultural value to the City are subject to the review and entitlement processes outlined in Article 10 of the Planning Code. The Historic Preservation Commission oversees and regulates these properties.

A Certificate of Appropriateness is the entitlement required to alter an individual landmark and any property within a landmark district. A Certificate of Appropriateness is required for any construction, addition, major alteration, relocation, removal, or demolition of a structure, object, or feature on a designated landmark property, in a landmark district, or a designated landmark interior. A hearing before the Historic Preservation Commission is required for work that the Historic Preservation Commission has not identified as Minor Alterations. Projects that consist solely of Minor Alterations qualify for an Administrative Certificates of Appropriateness entitlement and are approved by Planning Department Preservation staff.

HOW DOES THE PROCESS WORK?

Please review the instructions in this packet of information and ask PIC staff if you have any questions. After filling out the application and collecting the required plans, please contact the Planning Department for an intake appointment to process your application. At this appointment a Planner Technician will review your application to ensure that it is complete. The application will then be assigned to a Preservation Planner. The assigned planner will review the application and set a Historic Preservation Commission hearing date. Project must have a 20-day mailed notice and poster erected on the project site. For individual landmarks, notice must be mailed to all owners and occupants of the property and within 150-feet from the property. Interested parties and neighborhood groups must also receive notice. For properties located within historic districts, notice must be mailed to all owners within 300-feet of the property and occupants within 150-feet of the property. The radius includes properties that are located outside of the designated historic district, if applicable. Interested parties and neighborhood groups must also receive notice.

At the public hearing, the Historic Preservation Commission will make a decision on the proposed project and approve, disapprove, or approve with modifications the Certificate of Appropriateness. After the hearing, the Department issues the Certificate of Appropriateness document. Department staff will review the associated building permit to make sure that the work conforms to what the Historic Preservation Commission approved. If the proposed work conforms, the permit will be approved and routed to the Department of Building Inspection for final issuance.

WHO MAY APPLY FOR A CERTIFICATE OF APPROPRIATENESS?

A Certificate of Appropriateness is an entitlement that runs with the property; therefore, the property owner or a party designated as the owner's agent may apply for a Certificate of Appropriateness. [A letter of agent authorization from the owner must be attached.]

FEES

Please refer to the [Planning Department Fee Schedule](#) or at the Planning Information Center (PIC) located at 1660 Mission Street, First Floor, San Francisco. For questions related to the Fee Schedule, please call the PIC at 415.558.6377.

Fees will be determined based on the estimated construction costs. Should the cost of staff time exceed the initial fee paid, an additional fee for time and materials may be billed upon completion of the hearing process or permit approval. Additional fees may also be collected for preparation and recordation of any documents with the San Francisco Assessor-Recorder's office and for monitoring compliance with any conditions of approval.

ENVIRONMENTAL REVIEW

The California Environmental Quality Act (CEQA) and Chapter 31 of the San Francisco Administrative Code implementing that act may require an Environmental Evaluation before the application may be considered. Please consult the Planning Department staff to determine if an Environmental Evaluation application must be submitted with this application. A separate fee is required for environmental review.

HISTORIC PRESERVATION COMMISSION HEARING MATERIAL

This timeline includes a deadline for project sponsors to submit material to staff to be included in the Commission packet. If the Sponsor does not submit the necessary material by the deadline, the project will be continued to a later hearing date.

- Five weeks prior to hearing: Project Sponsor submits draft project graphics (plans, renderings etc) to **project planner**.
- Four weeks prior to hearing: Project planner submits Draft staff report (must include draft attachments) to Team Leader for review.
- Two weeks prior to hearing (5pm on Monday): Deadline for submittal of all other sponsor material and public comment to be included in Commission packets
- One week prior to hearing: Project planner delivers complete Commission packets to the Commission Secretary.



San Francisco Planning

CERTIFICATE OF APPROPRIATENESS

SUPPLEMENTAL APPLICATION

Property Information 78 Carmelita

Project Address: 78 Carmelita St, San Francisco, CA 94117. Block/Lot(s): 0864/018.

Project Description: Residential Remodel and Addition to Lowest Level of Single Family Residence

FINDINGS OF COMPLIANCE WITH PRESERVATION STANDARDS

Article 10 Landmark Name/ Number:

	FINDINGS OF COMPLIANCE WITH PRESERVATION STANDARDS	YES	NO	N/A
1	Is the property being used as it was historically?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2	Does the new use have minimal impact on distinctive materials, features, spaces, and spatial relationship?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3	Is the historic character of the property being maintained due to minimal changes of the above listed characteristics?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4	Are the design changes creating a false sense of history of historical development, possible from features or elements taken from other historical properties?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Are there elements of the property that were not initially significant but have acquired their own historical significance?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Have the elements referenced in Finding 5 been retained and preserved?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7	Have distinctive materials, features, finishes, and construction techniques or examples of fine craftsmanship that characterize the property been preserved?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8	Are all deteriorating historic features being repaired per the Secretary of the Interior Standards?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9	Are there historic features that have deteriorated and need to be replaced?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	Do the replacement features match in design, color, texture, and, where possible, materials?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11	Are any specified chemical or physical treatments being undertaken on historic materials using the gentlest means possible?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12	Are all archeological resources being protected and preserved in place?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13	Do exterior alterations or related new construction preserve historic materials, features, and spatial relationships that are characteristic to the property?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14	Are exterior alterations differentiated from the old, but still compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15	If any alterations are removed one day in the future, will the forms and integrity of the historic property and environment be preserved?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Please summarize how your project meets the Secretary of the Interior's *Standards for the Treatment of Historic Properties*, in particular the *Guidelines for Rehabilitation*, and how the project will retain character-defining features of the building and/or district:

FINDINGS OF COMPLIANCE WITH PRESERVATION STANDARDS

In reviewing applications for Certificate of Appropriateness the Historic Preservation Commission, Department staff, Board of Appeals and/or Board of Supervisors, and the Planning Commission shall be governed by *The Secretary of the Interior's Standards for the Treatment of Historic Properties* pursuant to Section 1006.6 of the Planning Code. Please respond to each statement completely (Note: Attach continuation sheets, if necessary). Give reasons as to *how* and *why* the project meets the ten Standards rather than merely concluding that it does so. IF A GIVEN REQUIREMENT DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

1. The property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The building outline is enhanced by infill under the cantilever of second level. The new feature & finishes are matched with existing. The function of the building does not change.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided.

New addition of walls, windows in the proposal are matched to (E) finishes and features to preserve the historic character.

3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

As there are changes only in the rear side elevation, ~~we~~ the (N) finishes are matched with existing. Other parts of the building ~~are~~ remains same.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

We are not making changes to the original house.

5. Distinctive materials, features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

No modern features are added to the building. The characteristics of the building are preserved by matching the (N) finishes with (E).

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

To maintain consistence in the elevation,
(N) features are matched with (E).
(E) elements remain same.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

No chemical or physical treatment are used.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

No Archeological resources are available in the property.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The existing features of the property are not demolished as ~~we use them~~ ~~the~~ ~~many~~ ~~with~~ (N) features are matched with (E)

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would not be impaired.

As infill proposed doesnot require any
may

PLEASE NOTE: For all applications pertaining to buildings located within Landmark Districts, the proposed work must comply with all applicable standards and guidelines set forth in the corresponding Appendix that describes the District, in addition to the applicable standards and requirements set forth in Section 1006.6. In the event of any conflict between the standards of Section 1006.6 and the standards contained within the Appendix that describes the District, the more protective shall prevail.

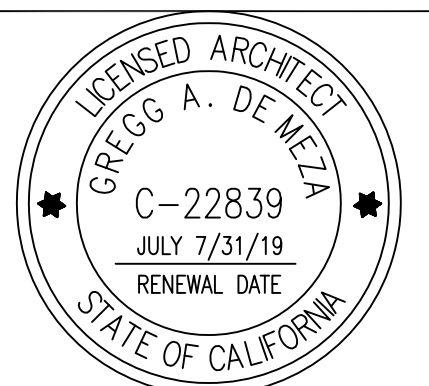
LOWER LEVEL REMODEL

78 CARMELITA STREET
SAN FRANCISCO, CA 94117

CLIENT: CHRIS MOTLEY

No.	DESCRIPTION	DATE
	BUILDING PERMIT	06.08.17
△	REVISION 1	01.11.19
△	REVISION 2	05.22.19
△	CLIENT'S REDESIGN	06.19.19
△	PLANNING COMMENTS	07.10.19

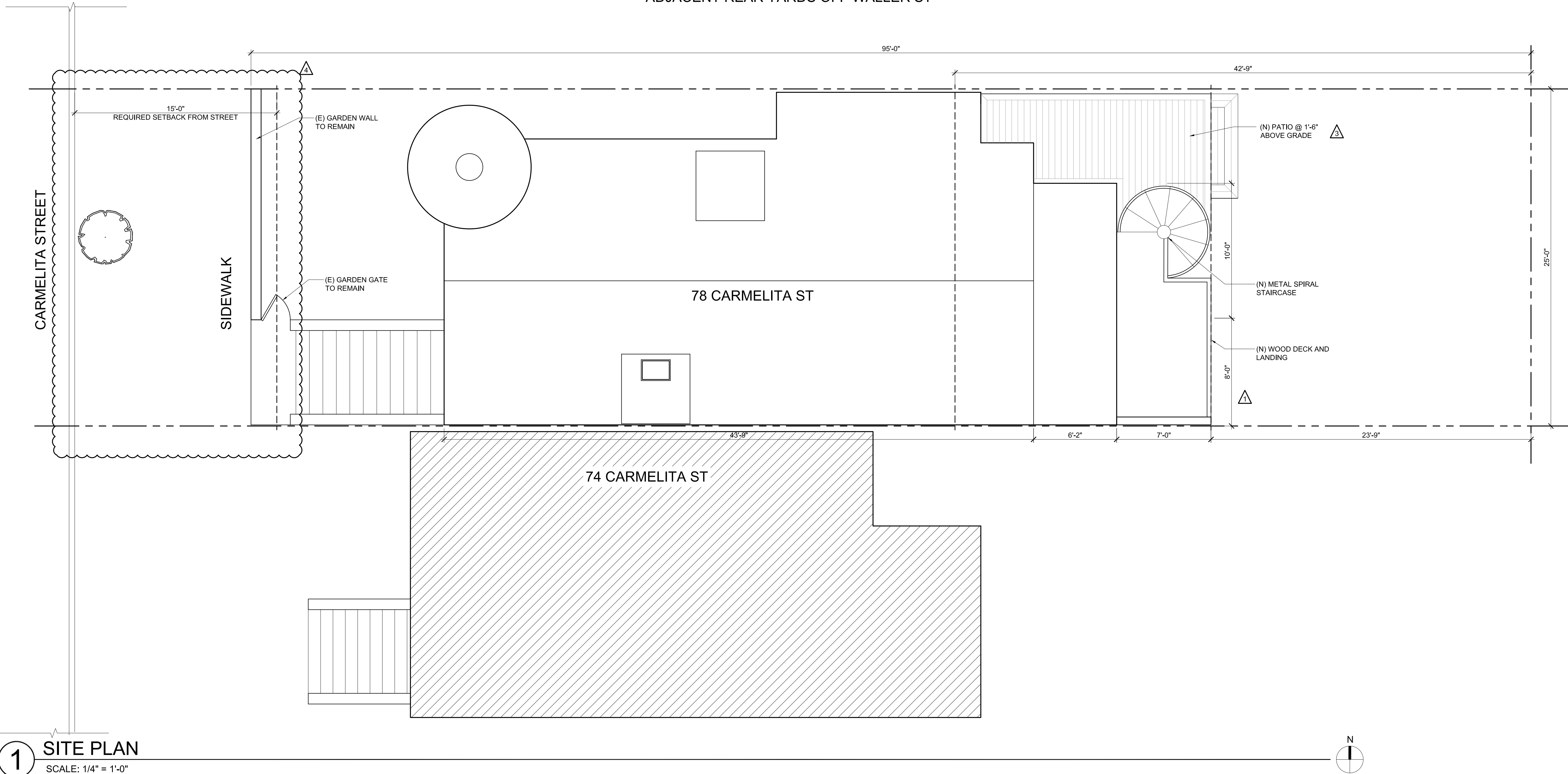
JOB No: 16-202-CM
SCALE: 1/4" = 1'-0"



SHEET TITLE:
SITE PLAN

SHEET No:
A1.00

ADJACENT REAR YARDS OFF WALLER ST



GENERAL NOTES

1. EXTERIOR LANDINGS MAY HAVE A MAXIMUM OF 2% SLOPE PER CRC R311.3
2. ALL LANDSCAPING AND UTILITIES SHOWN ARE EXISTING UNLESS NOTED AS NEW.
3. 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY A REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING.
4. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY, OR A SIMILAR METHOD ACCEPTABLE TO DBI FOR PROTECTION AGAINST RODENTS.

LEGEND

- PROPERTY LINE
- SETBACK
- ▨ ADJACENT PROPERTY

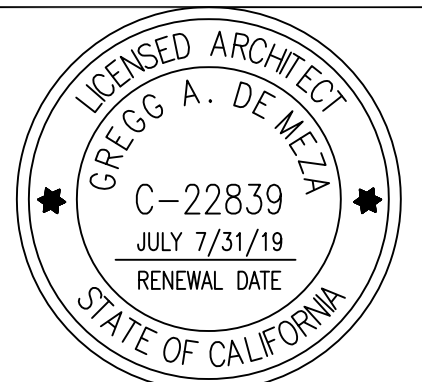
LOWER LEVEL REMODEL

78 CARMELITA STREET
SAN FRANCISCO, CA 94117

CLIENT: CHRIS MOTLEY

No	DESCRIPTION	DATE
	BUILDING PERMIT	06.08.17
▲	REVISION 1	01.11.19
▲	REVISION 2	05.22.19
▲	PLANNING COMMENTS	07.10.19

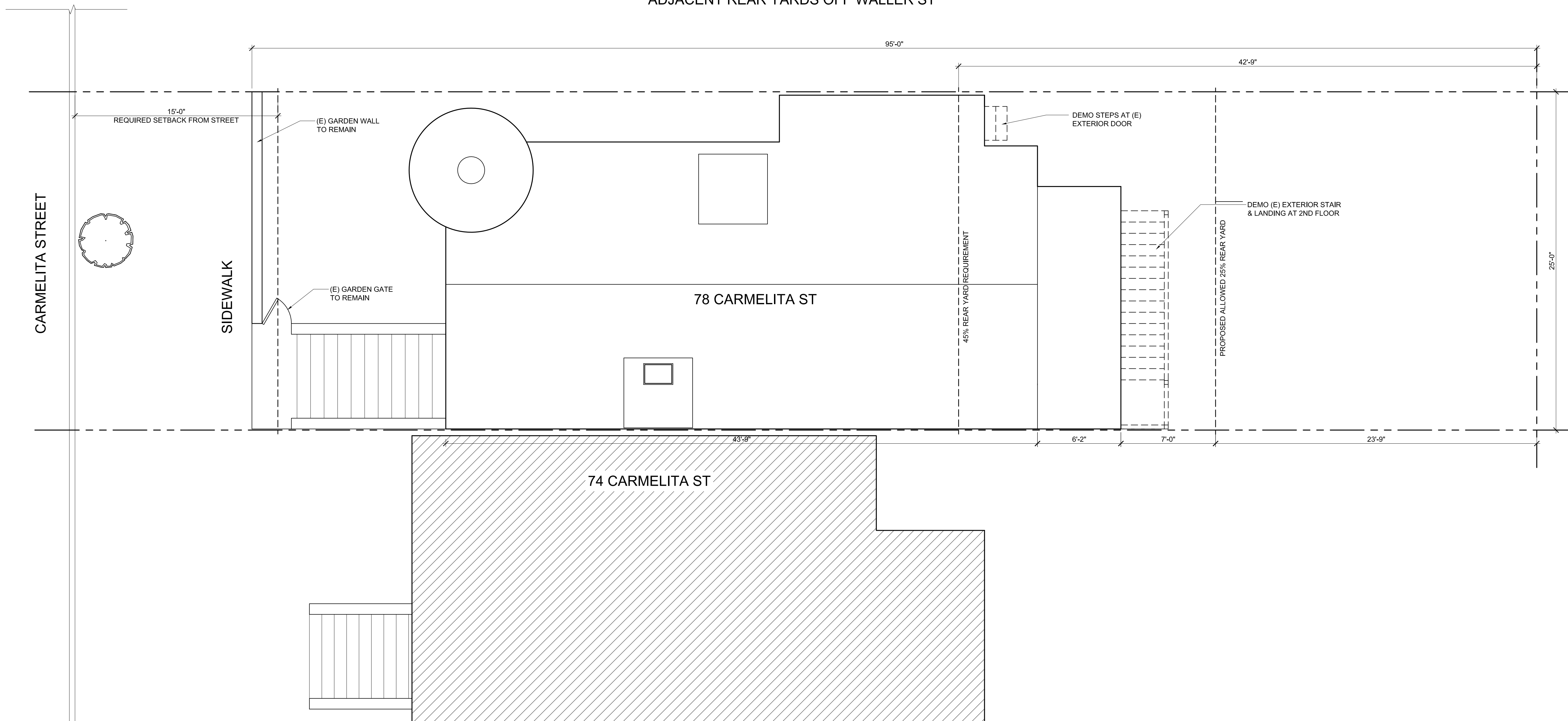
JOB No: 16-202-CM
SCALE: 1/4" = 1'-0"



SHEET TITLE:
DEMO SITE PLAN

SHEET No:
AD1.00

ADJACENT REAR YARDS OFF WALLER ST

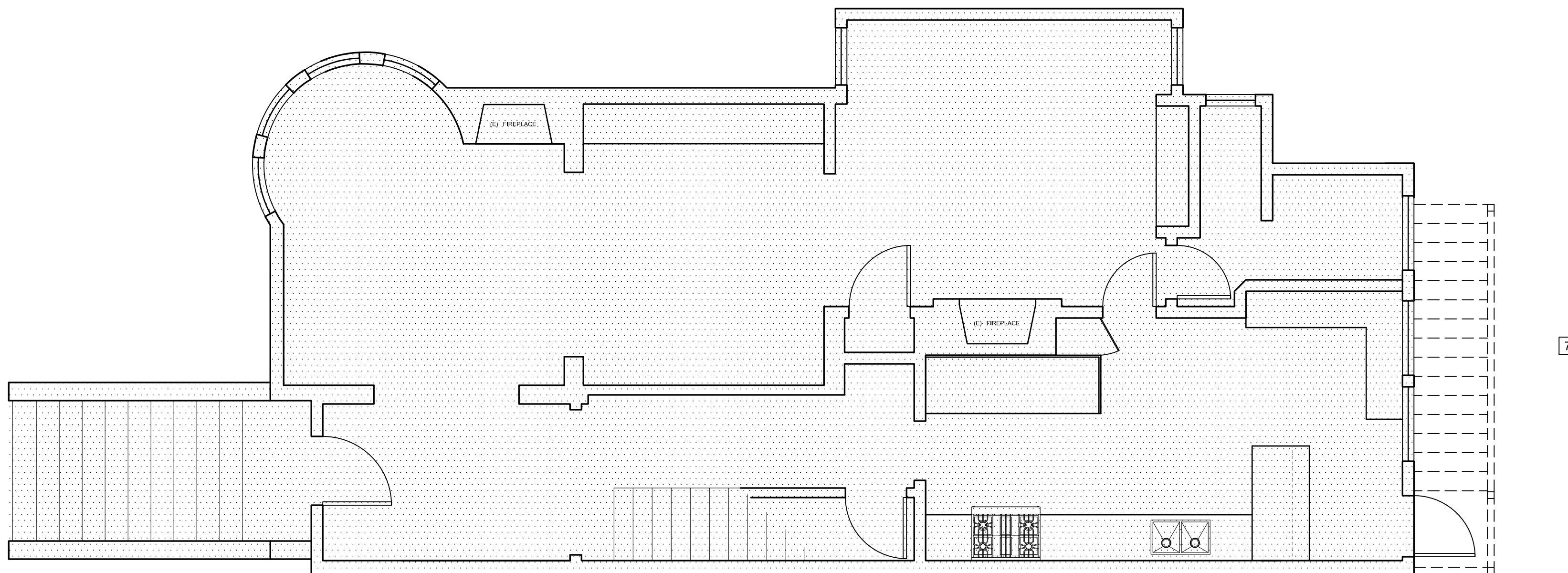


1 DEMO SITE PLAN
SCALE: 1/4" = 1'-0"

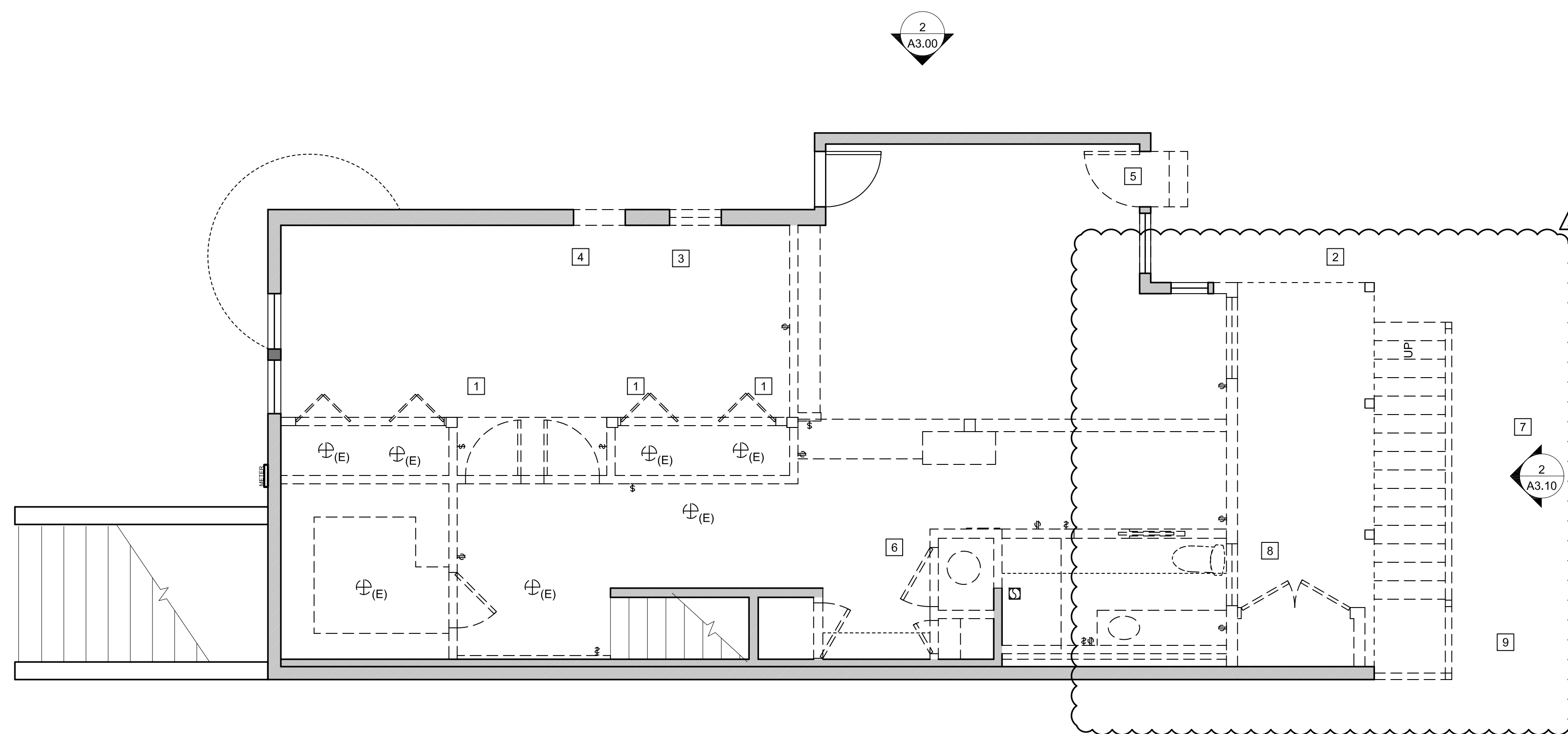
- GENERAL NOTES**
- EXTERIOR LANDINGS MAY HAVE A MAXIMUM OF 2% SLOPE PER CRC R311.3
 - ALL LANDSCAPING AND UTILITIES SHOWN ARE EXISTING UNLESS NOTED AS NEW.
 - 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY A REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING.
 - ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY, OR A SIMILAR METHOD ACCEPTABLE TO DBI FOR PROTECTION AGAINST RODENTS.

LEGEND

	PROPERTY LINE
	SETBACK
	ADJACENT PROPERTY



1 SECOND FLOOR DEMO PLAN
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR DEMO PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

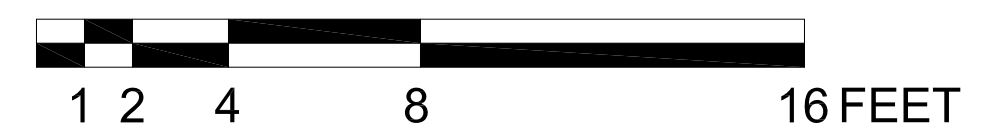
- SEE SHEET A10.00 FOR SCHEDULES
- THE BASE FOR WALL TILE IN TUB AND SHOWER AREAS, AND WALL AND CEILING PANELS IN SHOWER AREAS SHALL BE CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS IN COMPLIANCE WITH ASTM C 1178, C1288, C1325. (R702.4.2)
- THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM BATH TUB FILLS SHALL BE LIMITED TO 120 DEGREES F. OPC 415.5
- SHOWER WALLS SHALL BE FINISHED WITH A HARD, NON-ABRASIVE SURFACE TO A HEIGHT OF NOT LESS THAN 71" ABOVE THE ADJACENT FINISHED FLOOR.
- 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY A REGULAR HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING, IN COMPLIANCE WITH THE SAN FRANCISCO CONSTRUCTION AND DEMOLITION DEBRIS ORDINANCE.
- PROVIDE ADEQUATE SPACE AND EQUAL ACCESS FOR STORAGE, COLLECTION AND LOADING OF COMPOSTABLE, RECYCLABLE AND LANDFILL MATERIALS.
- INSTALL WATER EFFICIENT FIXTURES AS SUMMARIZED IN CALGREEN 4.303 (SEE "INDOOR WATER EFFICIENCY"), REPLACE ALL NONCOMPLIANT FIXTURES IN THE PROJECT AREA (CALGREEN 3.301.1, SAN FRANCISCO HOUSING CODE 12A).
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY, OR A SIMILAR METHOD ACCEPTABLE TO DBI FOR PROTECTION AGAINST RODENTS.
- VERIFY FRAMING DOES NOT EXCEED 19% MOISTURE CONTENT PRIOR TO ENCLOSURE. MATERIALS WITH VISIBLE SIGNS OF MOISTURE DAMAGE SHALL NOT BE INSTALLED. (CALGREEN 4.505.)
- DUCT OPENINGS AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING ALL PHASES OF CONSTRUCTION WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS ENTERING THE SYSTEM.
- HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON INTERIOR OR EXTERIOR SHALL MEET CARB AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD. SEE CALGREEN TABLE 4.504.3.
- COMPLY WITH VOC LIMITS IN THE AIR RESOURCES BOARD ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE AND CALIFORNIA CODE OF REGULATIONS TITLE 17 FOR AEROSOL PAINTS. SEE CALGREEN TABLE 4.504.3.
- FOR LOW VOC CAULKS, CONSTRUCTION ADHESIVES, AND SEALANTS: MEET SCAQMD RULE 1168. SEE CALGREEN TABLES 4.504.1 AND 4.504.2 (CALGREEN 4.504.2.1).

DEMO NOTES

- STRUCTURAL COLUMN TO BE RELOCATED
- STRUCTURE SUPPORTING UPPER LEVEL TO BE REPLACED, REMOVED, OR RELOCATED AS NEEDED
- REMOVE WINDOW AND PATCH WALL
- (N) WINDOW OPENING
- REMOVE DOOR AND EXTERIOR CONCRETE STEPS
- REMOVE (E) FURNACE AND WATER HEATER & RELOCATE
- REBUILD (E) STAIRS AS NEEDED
- DEMO (E) EXTERIOR STORAGE
- DEMO (E) EXTERIOR STAIR

LEGEND

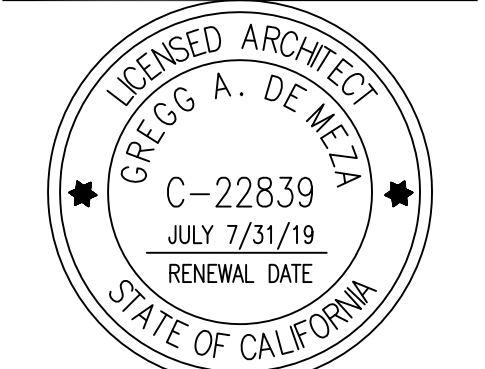
- EXISTING WALL TO REMAIN
- NEW WALL
- DEMO WALL
- N.I.C



LOWER LEVEL REMODEL
78 CARMELITA STREET
SAN FRANCISCO, CA 94117
CLIENT: CHRIS MOTLEY

No	DESCRIPTION	DATE
	BUILDING PERMIT	06.08.17
1	REVISION 1	01.11.19
2	REVISION 2	05.22.19

JOB No: 16-202
SCALE: AS NOTED



SHEET TITLE:
DEMO PLANS

SHEET No:
AD2.00

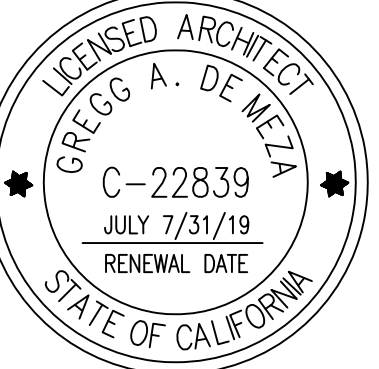
LOWER LEVEL REMODEL

78 CARMELITA STREET
 SAN FRANCISCO, CA 94117

CLIENT: CHRIS MOTLEY

No	DESCRIPTION	DATE
	BUILDING PERMIT	06.08.17
1	REVISION 1	01.11.19
2	REVISION 2	05.22.19
3	CLIENT'S REDESIGN	06.19.19

JOB No: 16-202
 SCALE: AS NOTED



SHEET TITLE:
PROPOSED FLOOR PLANS

SHEET No:
A2.00

GENERAL NOTES

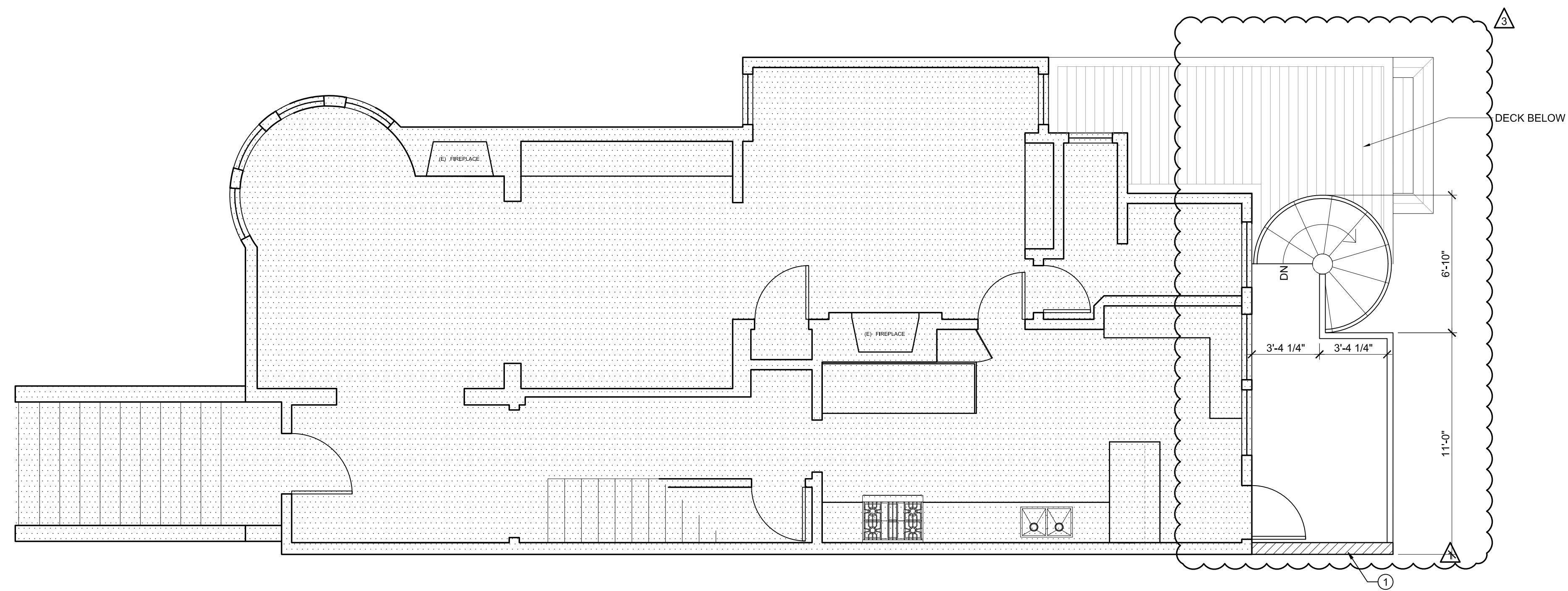
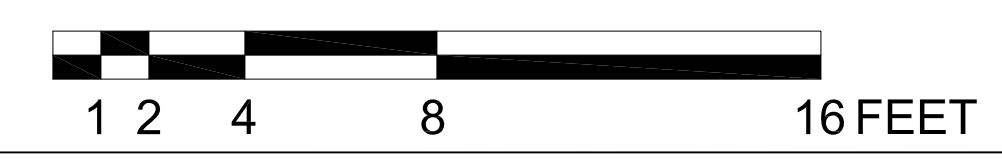
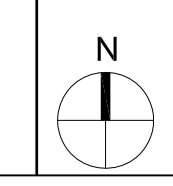
- SEE SHEET A10.00 FOR SCHEDULES
- THE BASE FOR WALL TILE IN TUB AND SHOWER AREAS, AND WALL AND CEILING PANELS IN SHOWER AREAS SHALL BE CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS IN COMPLIANCE WITH ASTM C 1178, C1289, C1325. (R702.4.2)
- THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM BATH TUB FILLS SHALL BE LIMITED TO 120 DEGREES F. CPC 415.5
- SHOWER WALLS SHALL BE FINISHED WITH A HARD, NON-ABRASIVE SURFACE TO A HEIGHT OF NOT LESS THAN 71" ABOVE THE ADJACENT FINISHED FLOOR.
- 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY A REGULAR HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING, IN COMPLIANCE WITH THE SAN FRANCISCO CONSTRUCTION AND DEMOLITION DEBRIS ORDINANCE.
- PROVIDE ADEQUATE SPACE AND EQUAL ACCESS FOR STORAGE, COLLECTION AND LOADING OF COMPOSTABLE, RECYCLABLE AND LANDFILL MATERIALS.
- INSTALL WATER EFFICIENT FIXTURES AS SUMMARIZED IN CALGREEN 4.303 (SEE "INDOOR WATER EFFICIENCY"). REPLACE ALL NONCOMPLIANT FIXTURES IN THE PROJECT AREA (CALGREEN 3.301.1., SAN FRANCISCO HOUSING CODE 12A).
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY, OR A SIMILAR METHOD ACCEPTABLE TO DBI FOR PROTECTION AGAINST RODENTS.
- VERIFY FRAMING DOES NOT EXCEED 19% MOISTURE CONTENT PRIOR TO ENCLOSURE. MATERIALS WITH VISIBLE SIGNS OF MOISTURE DAMAGE SHALL NOT BE INSTALLED. (CALGREEN 4.505.)
- DUCT OPENINGS AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING ALL PHASES OF CONSTRUCTION WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS ENTERING THE SYSTEM.
- HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON INTERIOR OR EXTERIOR SHALL MEET CARB AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD. SEE CALGREEN TABLE 4.504.3.
- COMPLY WITH VOC LIMITS IN THE AIR RESOURCES BOARD ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE AND CALIFORNIA CODE OF REGULATIONS TITLE 17 FOR AEROSOL PAINTS. SEE CALGREEN TABLE 4.504.3.
- FOR LOW VOC CAULKS, CONSTRUCTION ADHESIVES, AND SEALANTS: MEET SCAQMD RULE 1168. SEE CALGREEN TABLES 4.504.1 AND 4.504.2 (CALGREEN 4.504.2.1).

KEY NOTES

- (N) 1-HR RATED WALL
- INFILL DEMO'D WINDOW OPENING, MATCH (E) WOOD SIDING
- FINISHED FLOOR IN SHOWER TO HAVE MINIMUM 1/4" AND MAX 1/2" PER FOOT PITCH TO DRAIN.

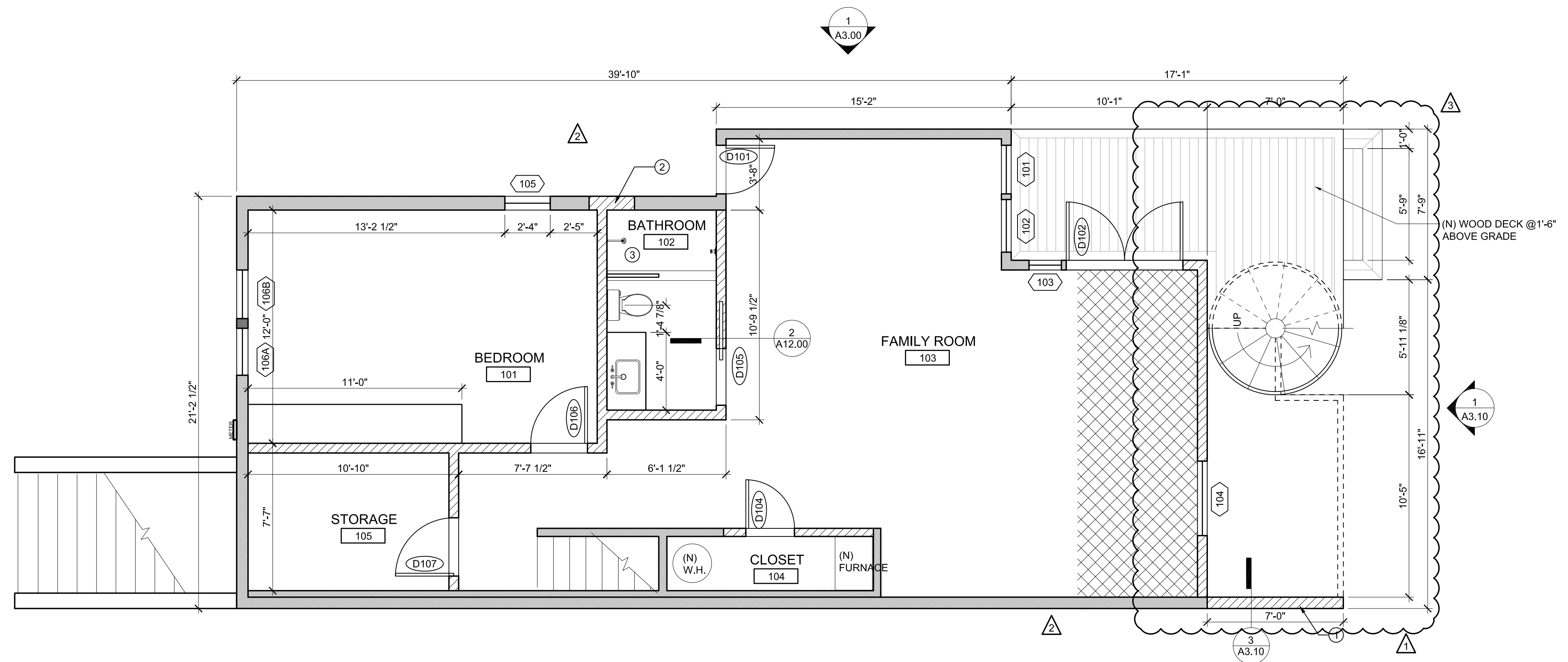
LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- DEMO WALL
- ADDED FLOOR AREA
- N.I.C



2 PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

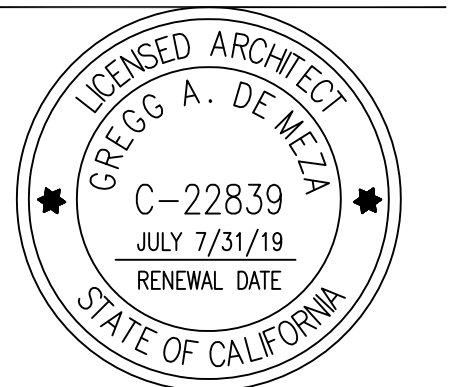
LOWER LEVEL REMODEL

78 CARMELITA STREET
SAN FRANCISCO, CA 94117

CLIENT: CHRIS MOTLEY

No.	DESCRIPTION	DATE
	BUILDING PERMIT	06.08.17
REVISION 1		01.11.19
REVISION 2		05.22.19
CLIENT'S REDESIGN		06.19.19
PLANNING COMMENTS		07.10.19

JOB No: 16-202-CM
SCALE: 1/4" = 1'-0"

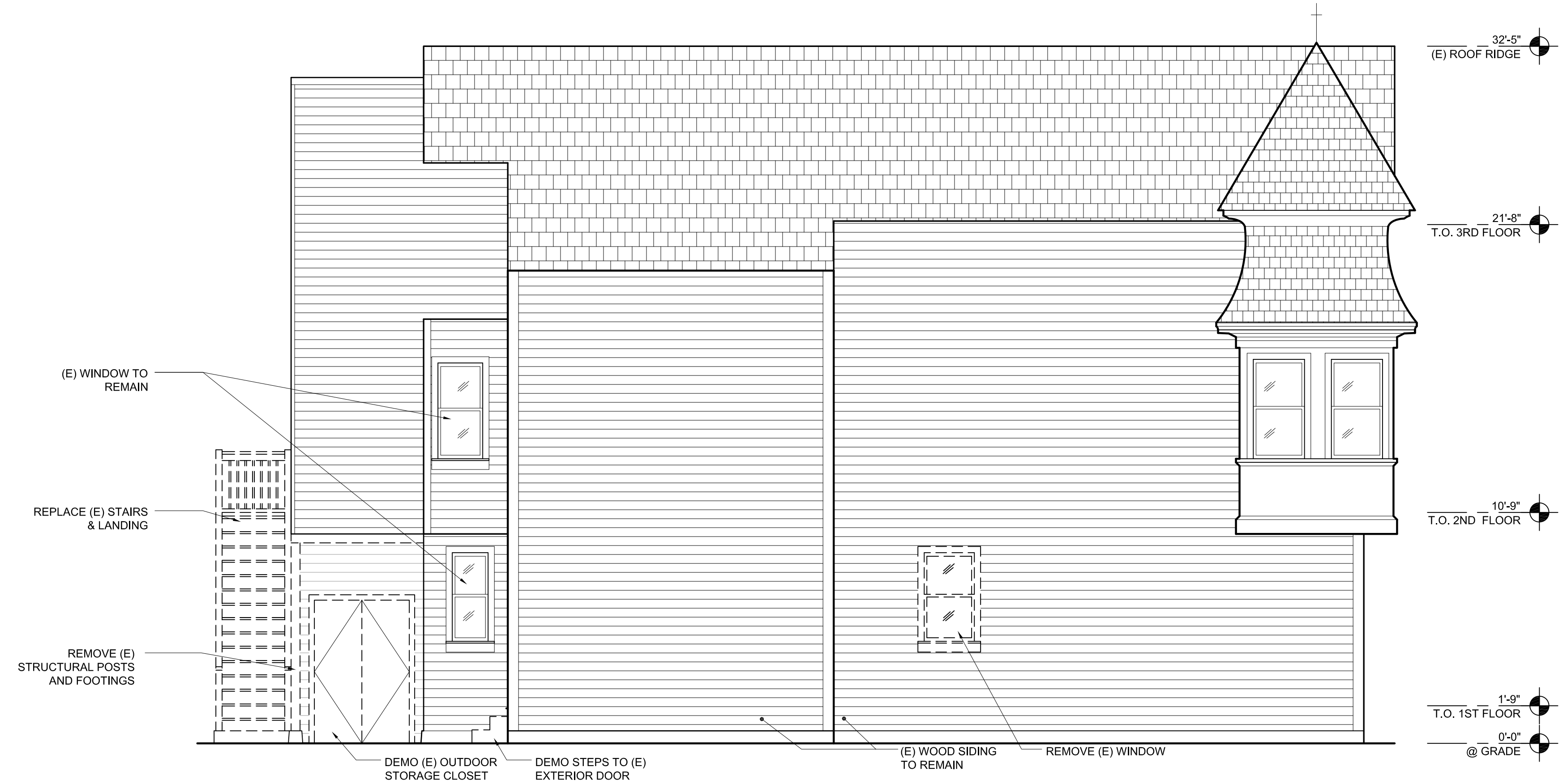


SHEET TITLE:

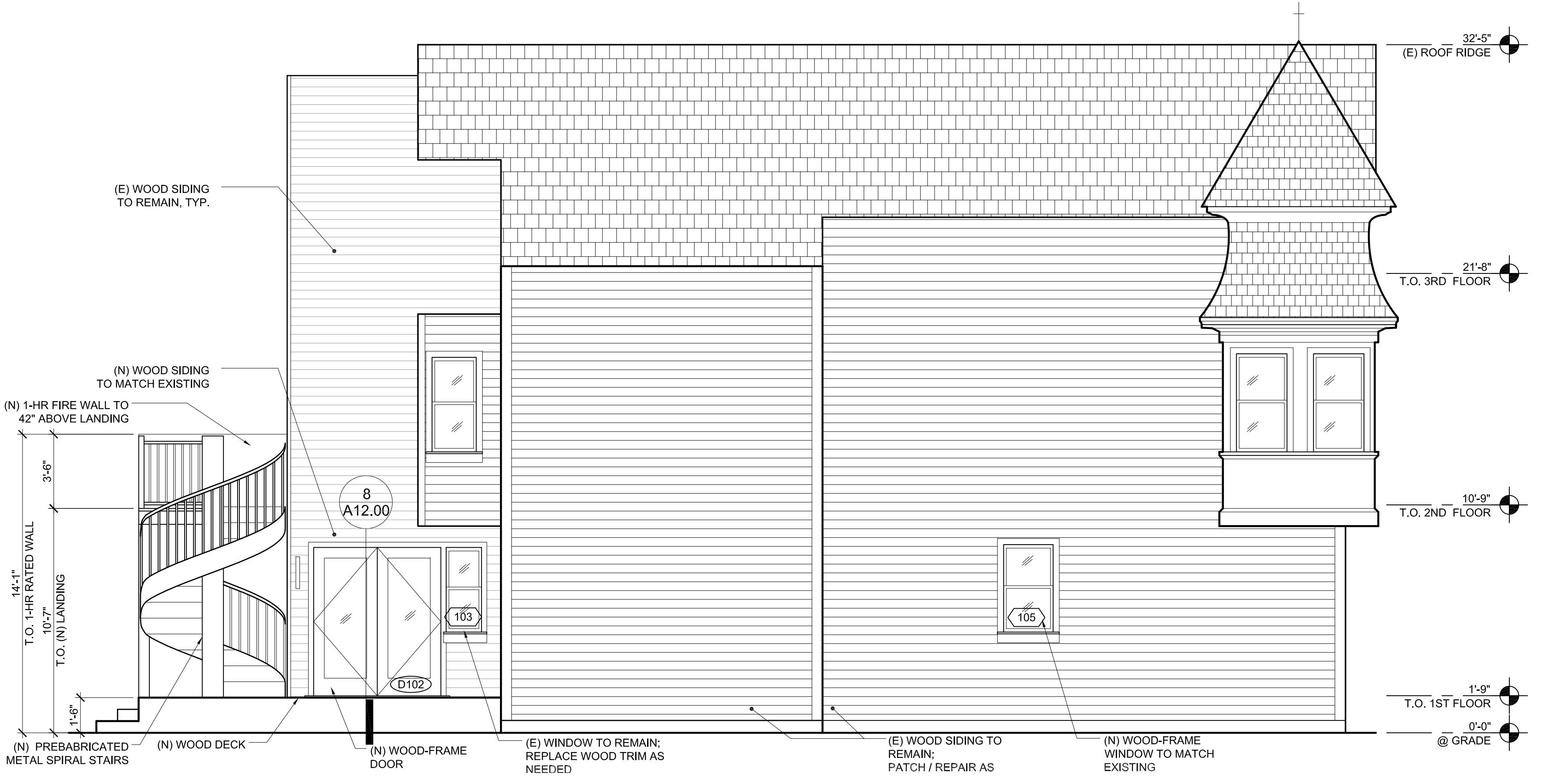
EXTERIOR ELEVATIONS

SHEET No:

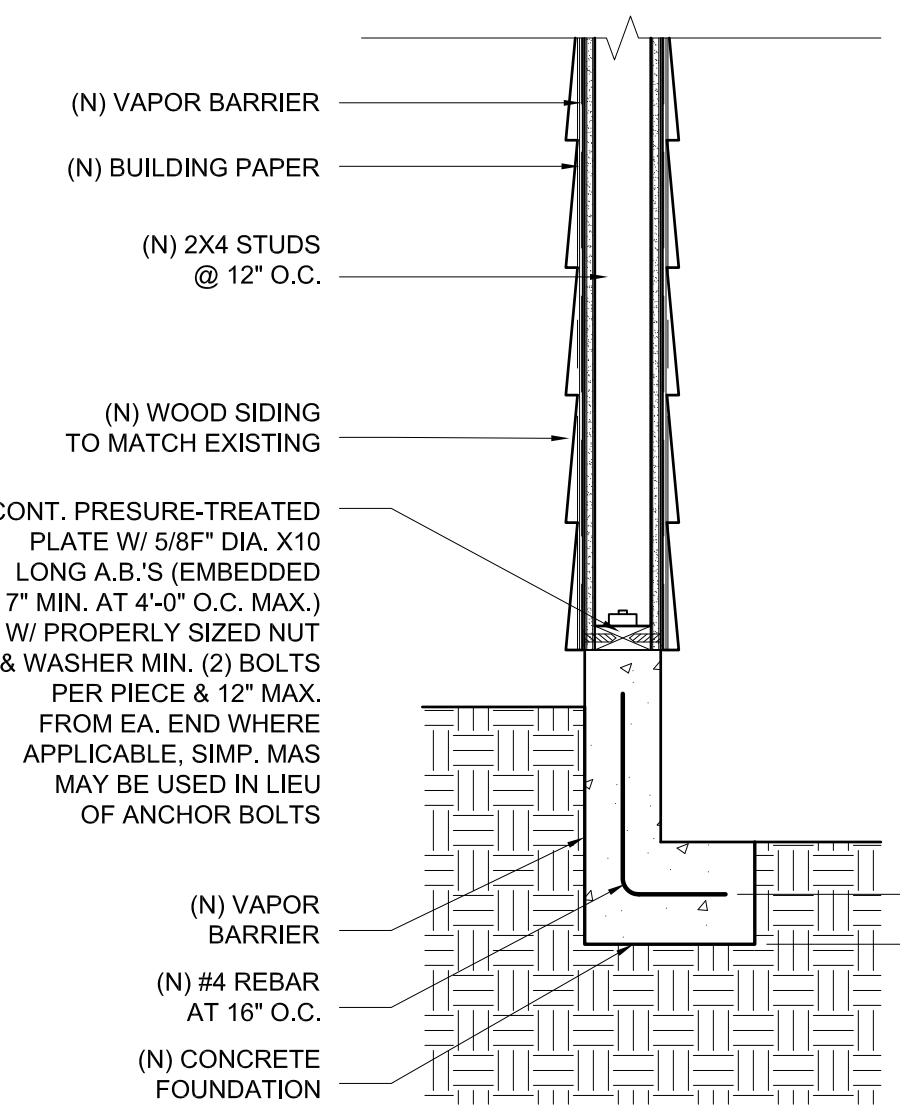
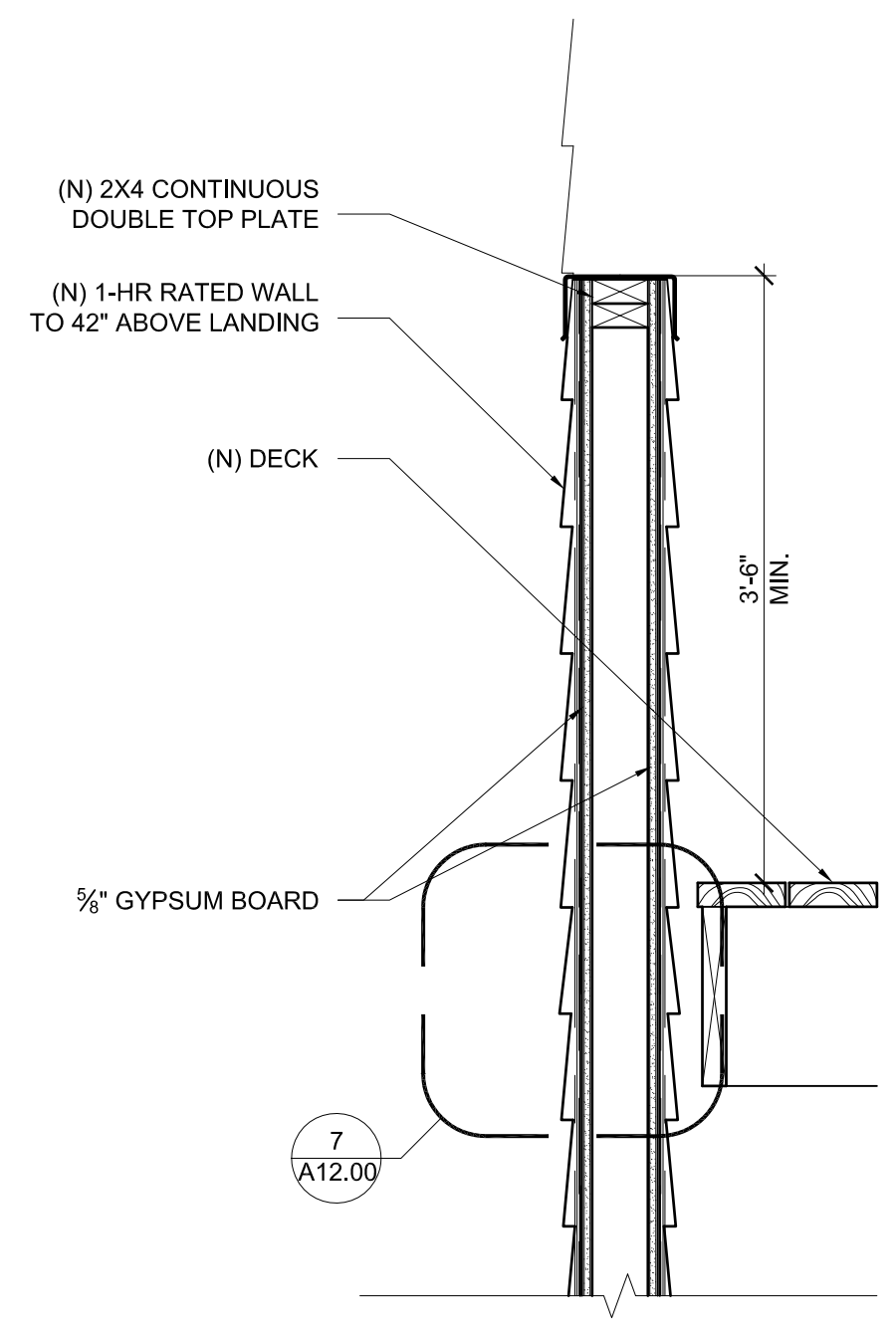
A3.00



2 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 SECTION @ 1-HR WALL
SCALE: 1" = 1'-0"

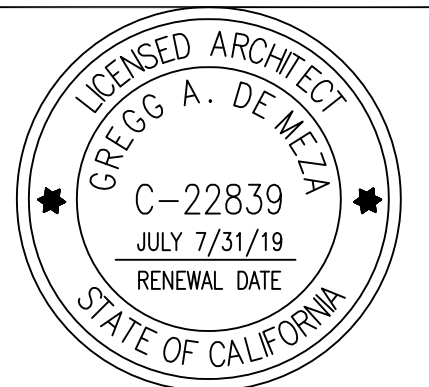
LOWER LEVEL REMODEL

78 CARMELITA STREET
SAN FRANCISCO, CA 94117

CLIENT: CHRIS MOTLEY

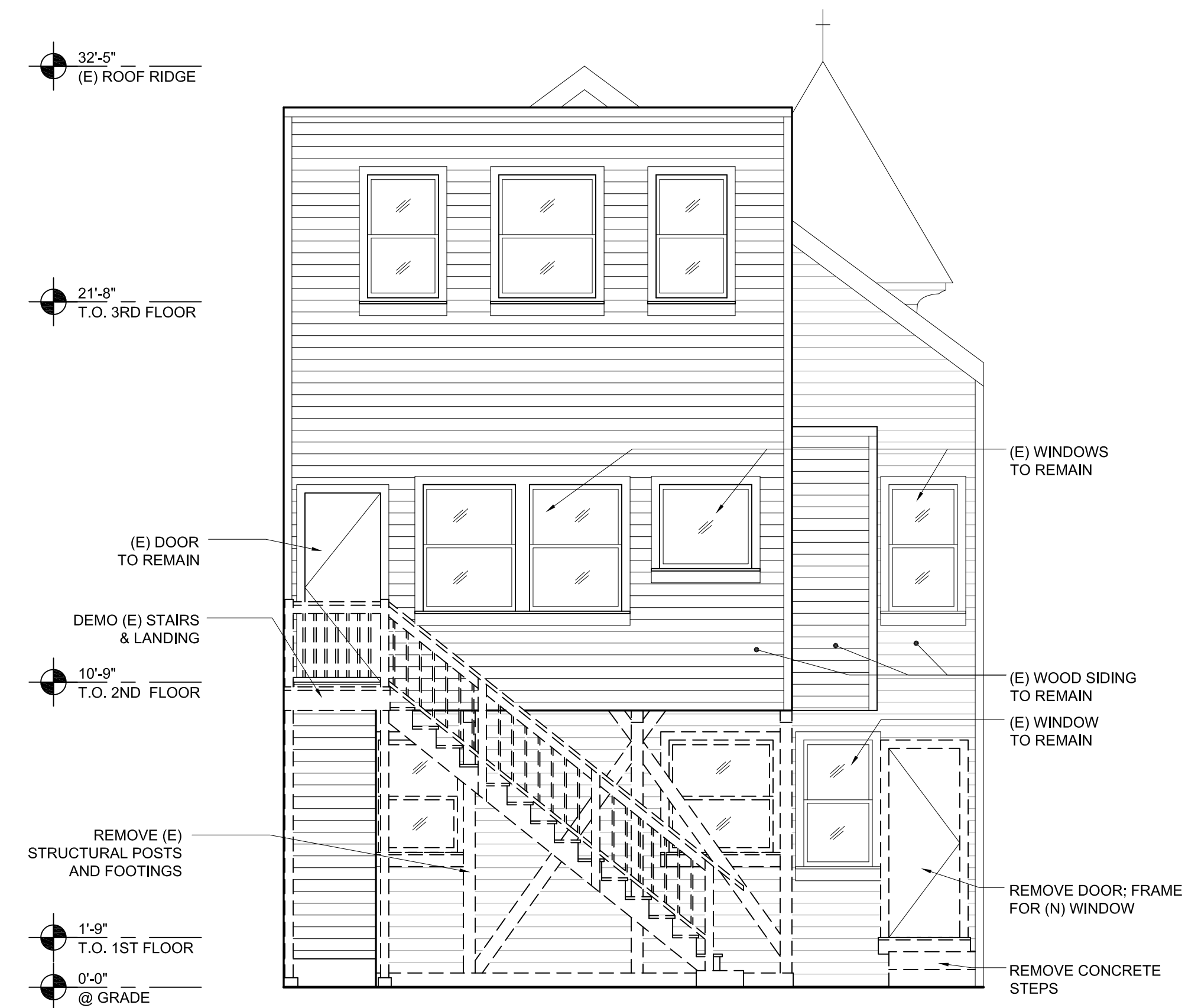
No.	DESCRIPTION	DATE
	BUILDING PERMIT	06.08.17
△	REVISION 1	01.11.19
△	REVISION 2	05.22.19
△	CLIENT'S REDESIGN	06.19.19
△	PLANNING COMMENTS	07.10.19

JOB No: 16-202-CM
SCALE: 1/4" = 1'-0"

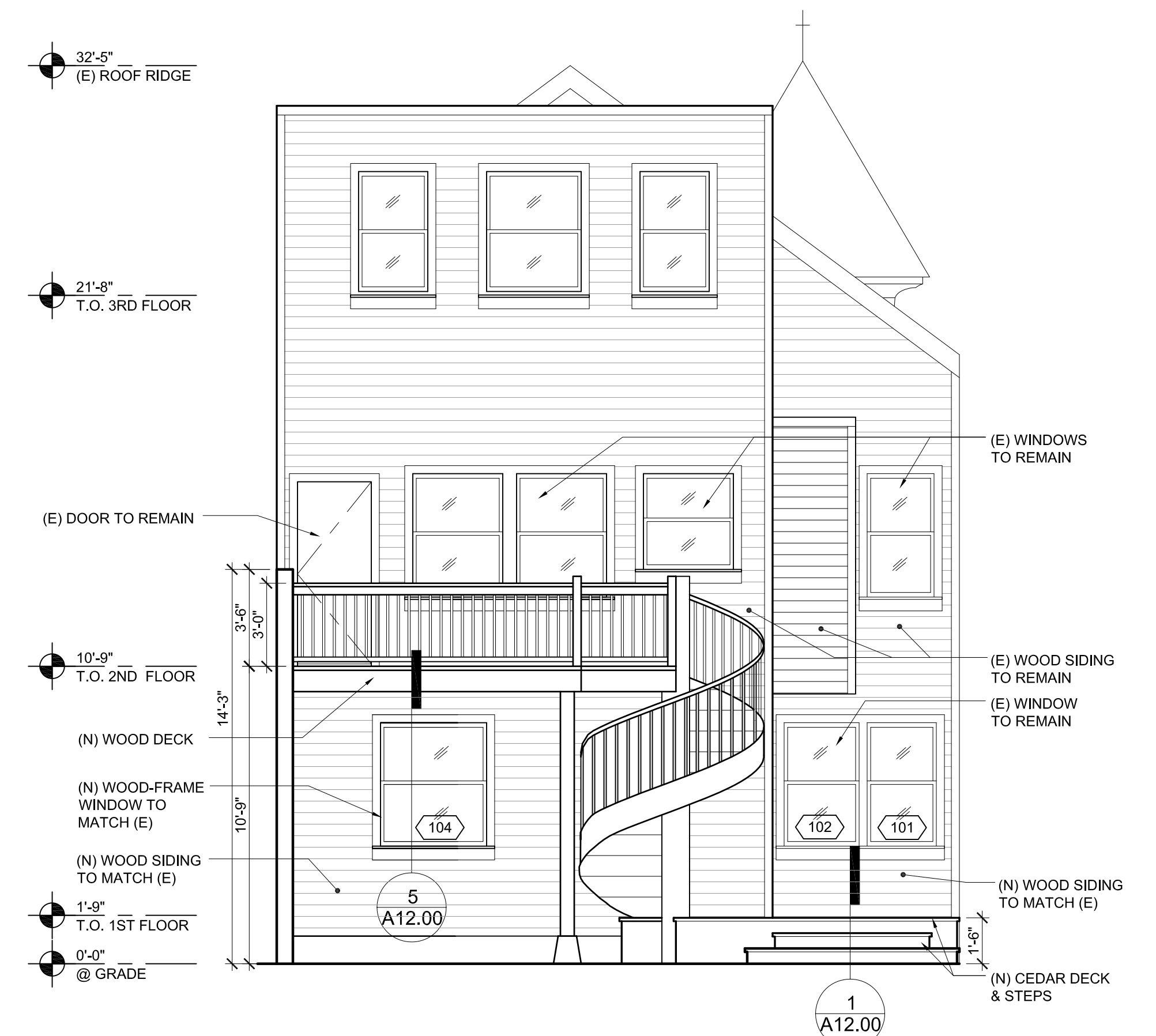


SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET No:
A3.10



2 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

LOWER LEVEL REMODEL

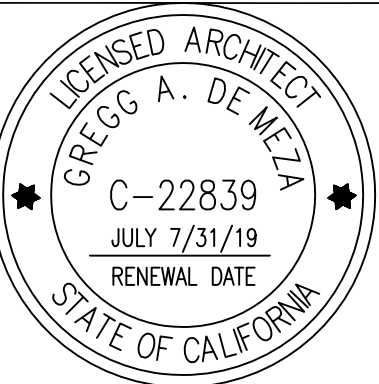
78 CARMELITA STREET
SAN FRANCISCO, CA 94117

CLIENT: CHRIS MOTLEY

No	DESCRIPTION	DATE
	BUILDING PERMIT	06.08.17

JOB No: 16-202

SCALE:



SHEET TITLE:
**FINISH, FIXTURES,
EQUIPMENT & DOOR
SCHEDULES**

SHEET No:

A10.00

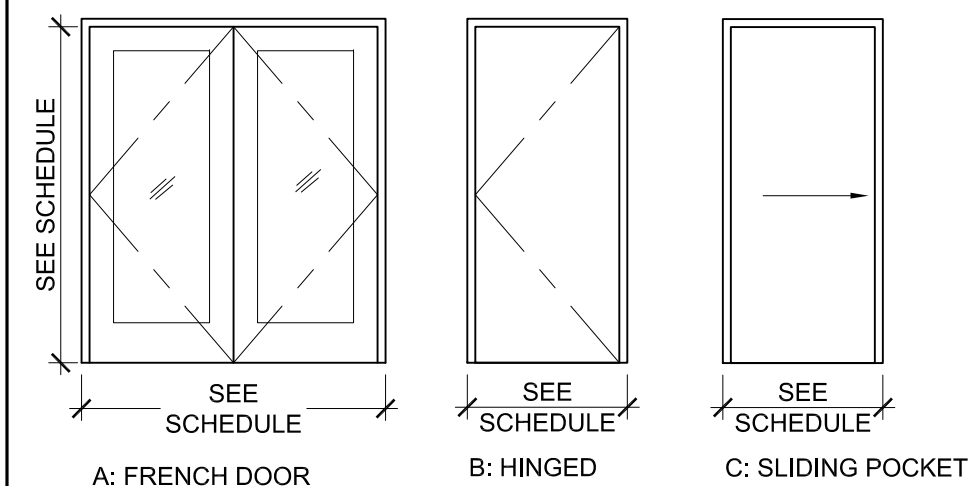
DOOR SCHEDULE

DOOR NUMBER (A)	SIZE (B)	DOOR											REMARKS (K)		
		FRAME					DETAILS			HARDWARE (H) GROUP	FIRE RATING (J)				
		TYPE (C)	HAND (D)	MATERIAL (E)	FINISH (F)	GLAZING (G)	HEAD	JAMB	THRESH.						
D102	6'-0" x 7'-0"	A	-	WD	P	-	WD	P	-	-	-	-	-	-	1, 2, 3
D103	NOT USED														
D104	6'-0" x 2'-6"	B	-	WD	P	-	WD	P	-	-	-	-	-	-	1
D105	6'-0" x 3'-0"	C	-	WD	P	-	WD	P	2A, A12.00	-	2B, A12.00	-	-	-	1
D106	6'-0" x 3'-0"	B	-	WD	P	-	WD	P	-	-	-	-	-	-	1
D107	6'-0" x 3'-0"	B	-	WD	P	-	WD	P	-	-	-	-	-	-	1
-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-

REMARKS:

- DOOR AND FRAME TO BE PAINTED WITH (P-X)
- MANUFACTURED EXTERIOR DOORS MUST BE CERTIFIED AS MEETING AIR LEAKAGE RATE OF 0.3CFM PER SQUARE FOOT OF DOOR AREA AT A PRESSURE DIFFERENTIAL OF 75 PASCAL.
- DOORS WITH A SURFACE AREA GREATER THAN 50 PERCENT GLASS MUST HAVE MAXIMUM GLAZING U-FACTOR OF 0.32 AND SHGC OF 0.25.

DOOR TYPES



HARDWARE GROUPS

GROUP 1: INTERIOR HINGED	GROUP 2: POCKET PAIR	GROUP 3: FOLDING ASSEMBLY
LATCH/LOCKSET: TBD	LOCK/LATCHSET: BALDWIN 8601.056	LOCK/LATCHSET: TBD
LEVER: BALDWIN 5162.056	ACTIVE TRIM INT: TBD	ACTIVE TRIM INT: TBD
ROSE: BALDWIN R017.056	ACTIVE TRIM EXT: TBD	ACTIVE TRIM EXT: TBD
HINGES: TBD	SUSPENSION: HAWA SYMMETRIC 80/Z	TRACK: DOOR MANUFACTURER
STOP: TBD		

GROUP 4: EXTERIOR PIVOT
LEVER: BALDWIN 5162.056
EXTERIOR TRIM: TBD
INTERIOR TRIM: TBD

DOOR SCHEDULE NOTES

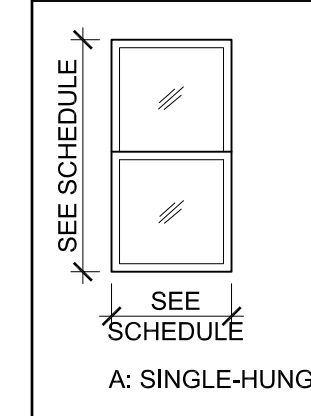
- NOTES BELOW APPLY TO (LETTERS) IN PARENTHESIS ON DOOR SCHEDULE
- (A) NUMBER:
THE DOOR NUMBER INDICATES THE ROOM NUMBER WHERE THE DOOR IS LOCATED. WHERE MORE THAN ONE DOOR IS LOCATED IN A ROOM, A LETTER SUFFIX (EX: A, B, ...ETC.) WILL FOLLOW THE DOOR NUMBER.
- (B) SIZE:
FIELD VERIFY EXISTING OPENINGS.
- (C) TYPE:
A = FRENCH DOOR
B = HINGED
C = SLIDING POCKET
- (D) HANDING:
RH = RIGHT HAND
LH = LEFT HAND
RHR = RIGHT HAND REVERSE
LHR = LEFT HAND REVERSE
- (E) MATERIAL:
WD = WOOD
G = GLASS
AL = ALUMINUM
E = EXISTING, NO CHANGES
- (F) FINISH:
P = PAINT
V = VENEER TO MATCH ADJACENT WALL & TRIM
AN = ANODIZED CLEAR
ST = STEEL
- (G) GLAZING:
FR = FIRE RATED / SAFETY GLASS
L = LAMINATED SAFETY GLASS
T = TEMPERED GLASS
- (H) HARDWARE
SEE HARDWARE GROUPS FOR SPECIFICATIONS.
- (J) FIRE RATING
A. ALL RATED DOOR AND FRAMES TO BE LABELLED. "LABEL" SHALL MEAN ASSEMBLY AS DEFINED IN THE CBC.
B. ALL FIRE RATED ASSEMBLIES SHALL BE PROVIDED WITH APPROVED GASKETING MATERIAL SO INSTALLED TO PROVIDE A SEAL WHERE THE DOOR MEETS THE STOP ON BOTH SIDES AND ACROSS THE TOP.
- (K) REMARKS
NUMBER INDICATES APPLICABLE REMARK AT BASE OF SCHEDULE.

WINDOW SCHEDULE

WINDOW NUMBER (A)	SIZE (B)	WINDOW											REMARKS (K)
		FRAME					DETAILS			HARDWARE (H) GROUP	FIRE RATING (J)		
		TYPE (C)	MATERIAL (E)	FINISH (F)	GLAZING (G)	HEAD	JAMB	SILL					
101	2'-6" x 4'-5 1/2"	A	WD	P	-	5A, A12.00	6, A12.00	5B, A12.00	-	-	-	1, 2, 3	
104	3'-10" x 4'-5 1/2"	A	WD	P	-	5A, A12.00	6, A12.00	5B, A12.00	-	-	-	1, 2, 3	
102	EXISTING, V.I.F.	-	E	P	-	-	-	-	-	-	-	-	
103	EXISTING, V.I.F.	-	E	P	-	-	-	-	-	-	-	-	
105	EXISTING, V.I.F.	-	E	P	-	-	-	-	-	-	-	-	
106A	EXISTING, V.I.F.	-	E	P	-	-	-	-	-	-	-	-	
106B	EXISTING, V.I.F.	-	E	P	-	-	-	-	-	-	-	-	

- REMARKS:
- MUST HAVE MAXIMUM 0.32 U-FACTOR AND 0.25 SHGC
 - ALL MANUFACTURED FENESTRATION TO HAVE TEMPORARY LABEL SHOWING U-FACTOR AND SHGC FOR EACH RATED WINDOW UNIT AND THAT THE PRODUCT MEETS AIR INFILTRATION CRITERIA AS WELL AS PERMANENT LABEL IDENTIFYING THE CERTIFYING ORGANIZATION AND CONTAINING AN ID NUMBER/CODE TO TRACK INFORMATION ON FILE WITH NFRC.
 - MANUFACTURED EXTERIOR WINDOWS MUST BE CERTIFIED AS MEETING AIR LEAKAGE RATE OF 0.3CFM PER SQUARE FOOT OF DOOR AREA AT A PRESSURE DIFFERENTIAL OF 75 PASCAL.

WINDOW TYPES



LOWER LEVEL REMODEL

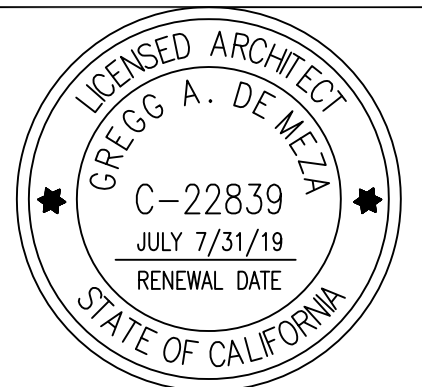
78 CARMELITA STREET
SAN FRANCISCO, CA 94117

CLIENT: CHRIS MOTLEY

PROJECT: No. DESCRIPTION DATE

No.	DESCRIPTION	DATE
	BUILDING PERMIT	06.08.17
▲	PLANNING COMMENTS	07.10.19

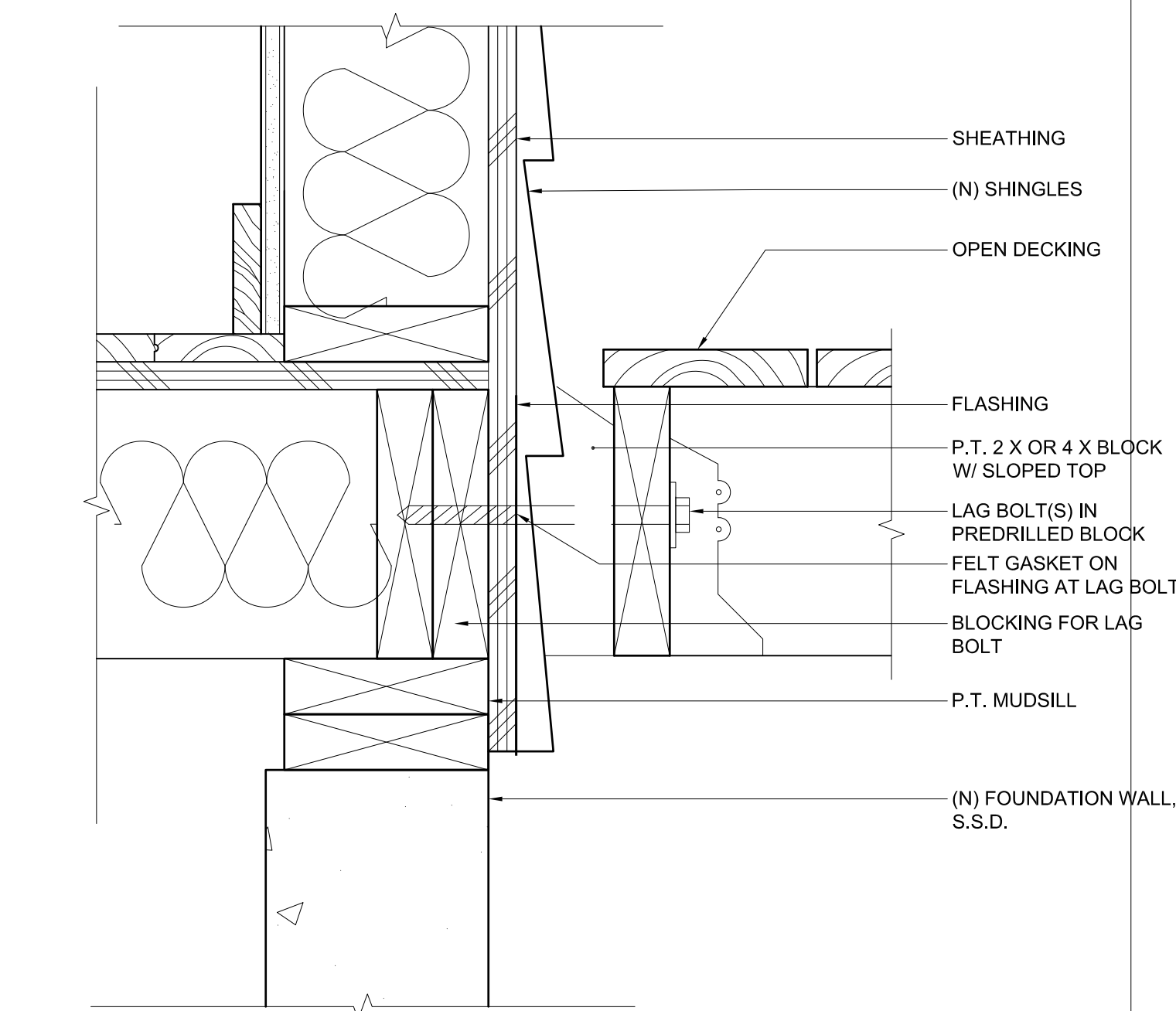
JOB No: 16-202
SCALE: AS NOTED



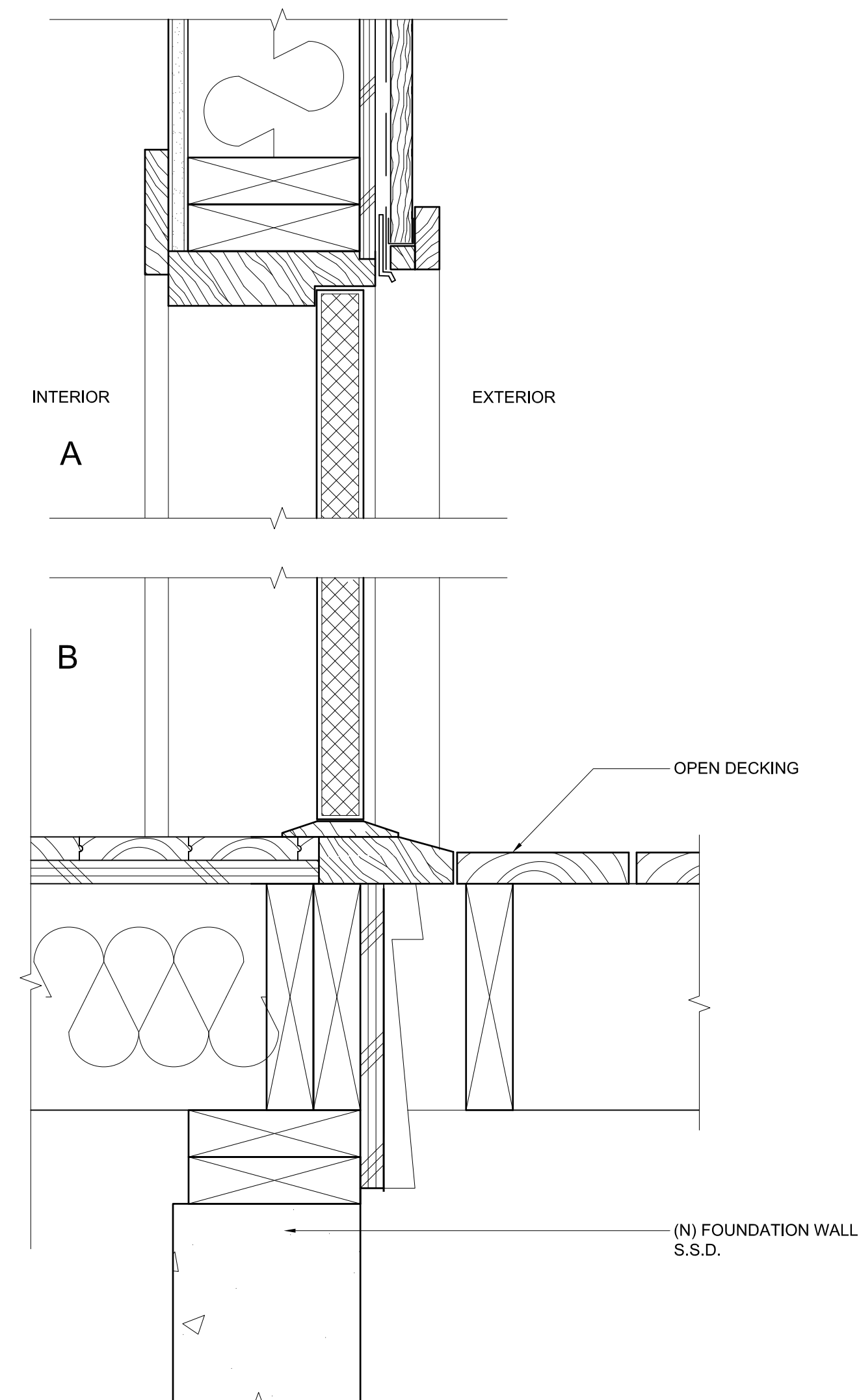
SHEET TITLE: DETAILS

SHEET No:

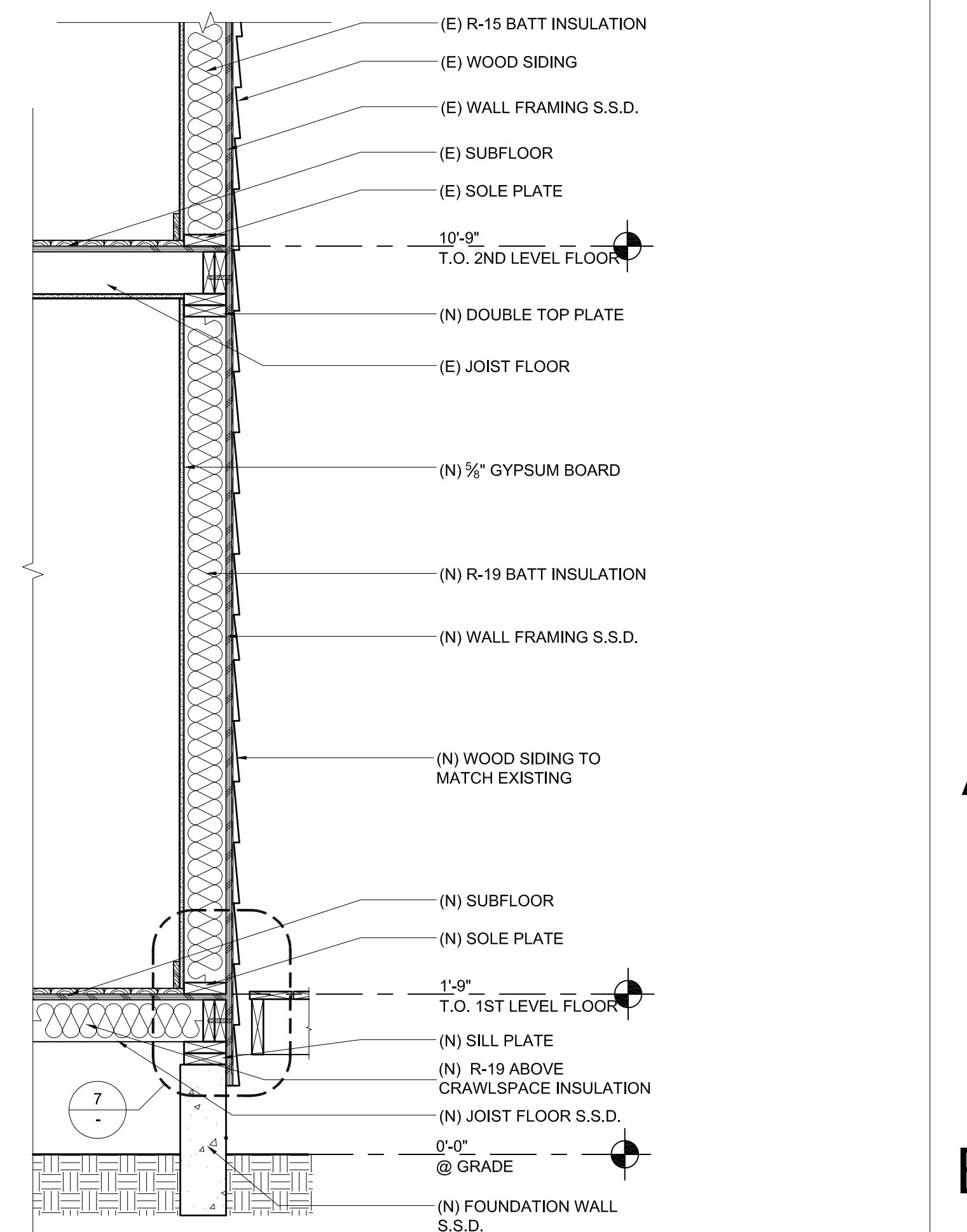
A12.00



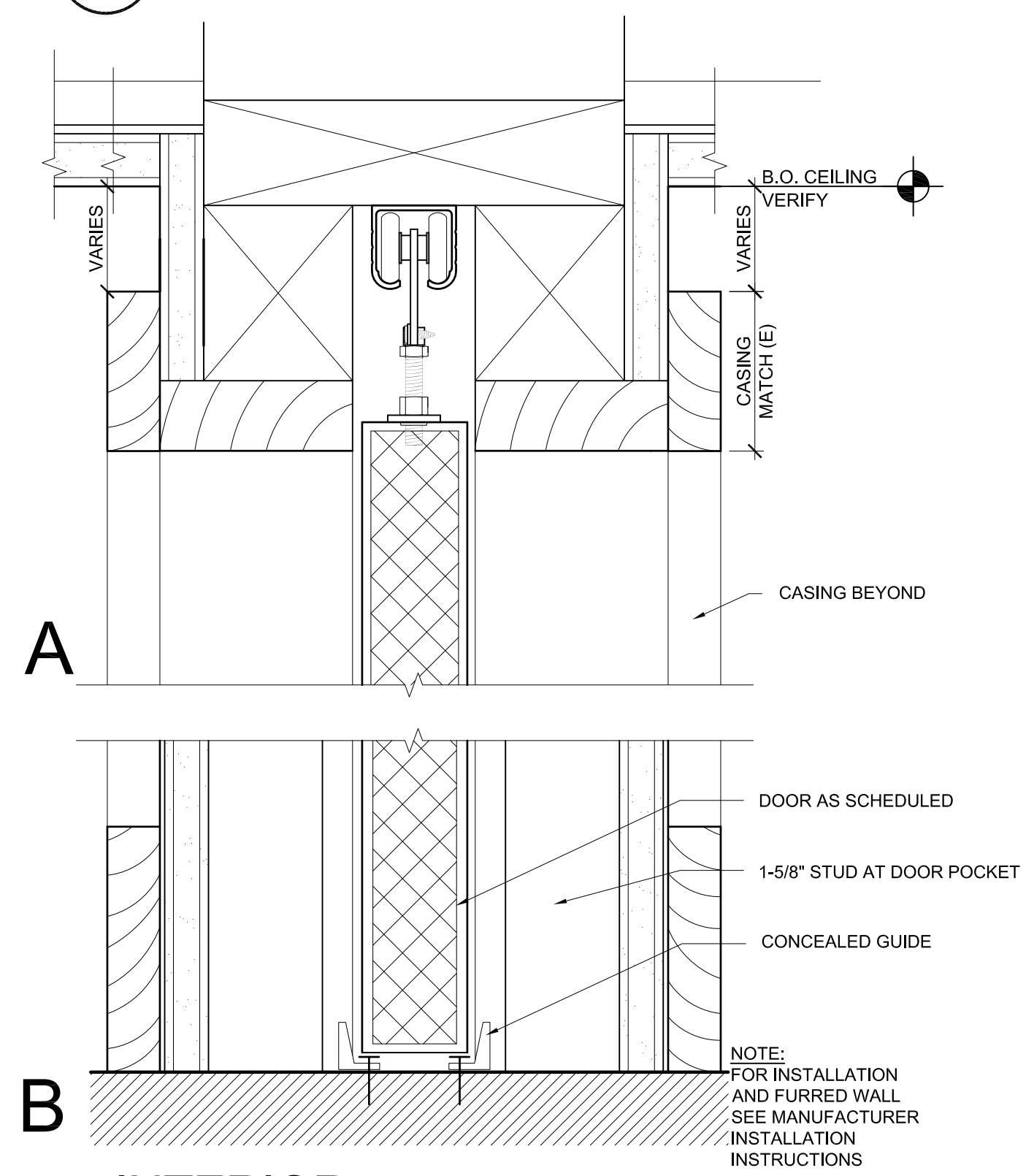
7 OPEN DECK TO WOOD WALL
SCALE: 3"=1'-0"



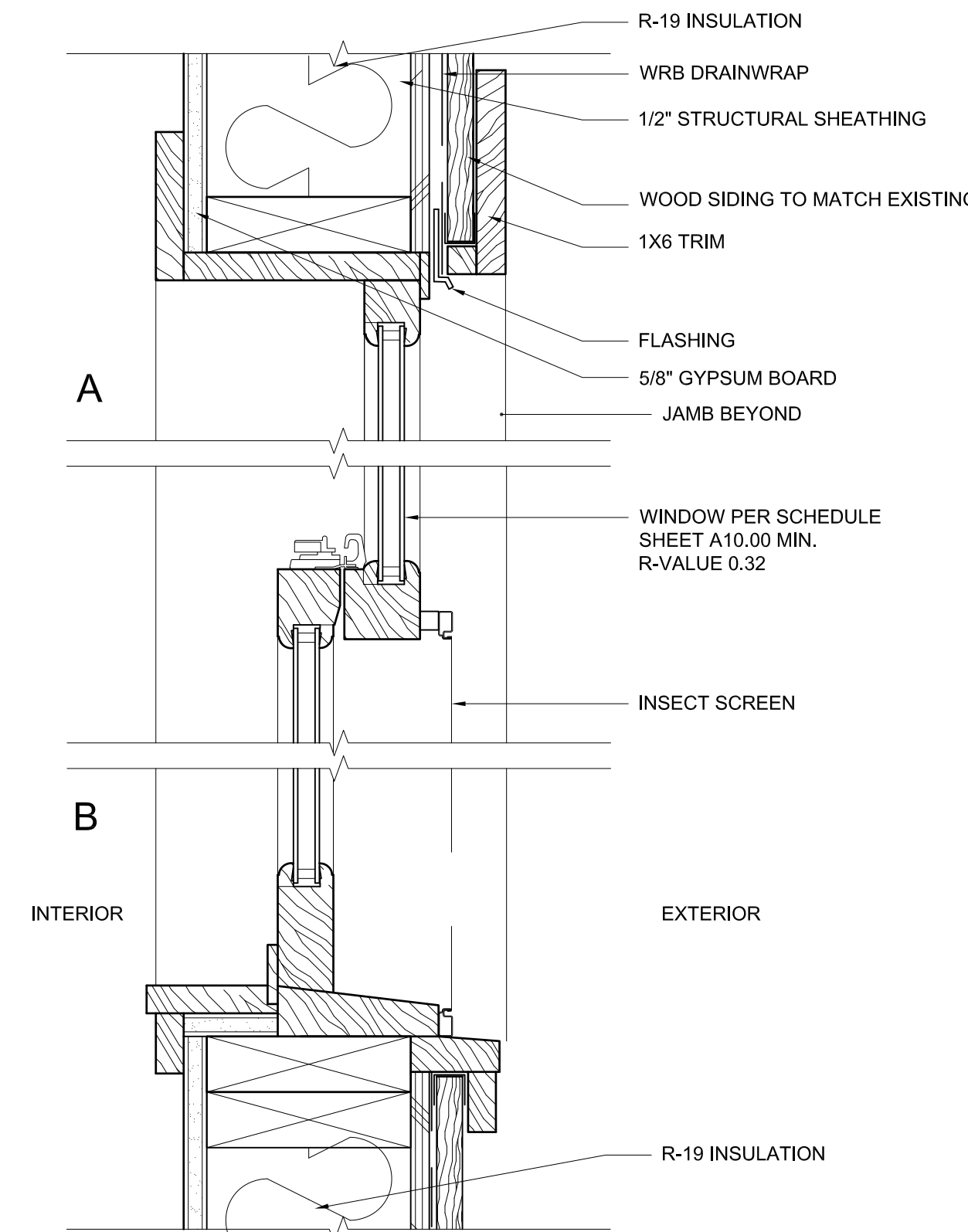
8 EXTERIOR DOOR TO DECK
SCALE: 3"=1'-0"



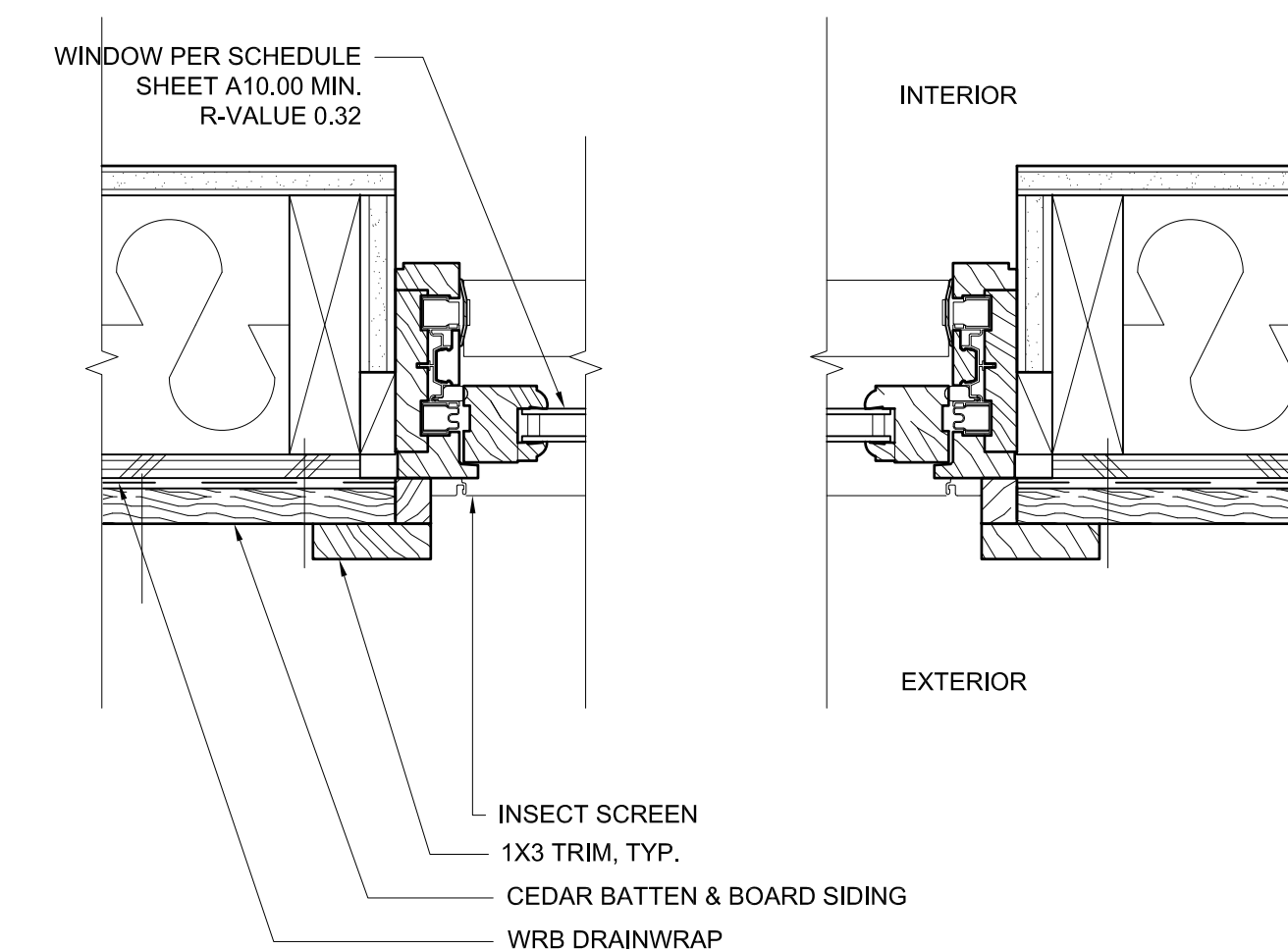
3 WALL SECTION @ (N) ADDITION
SCALE: 3/4"=1'-0"



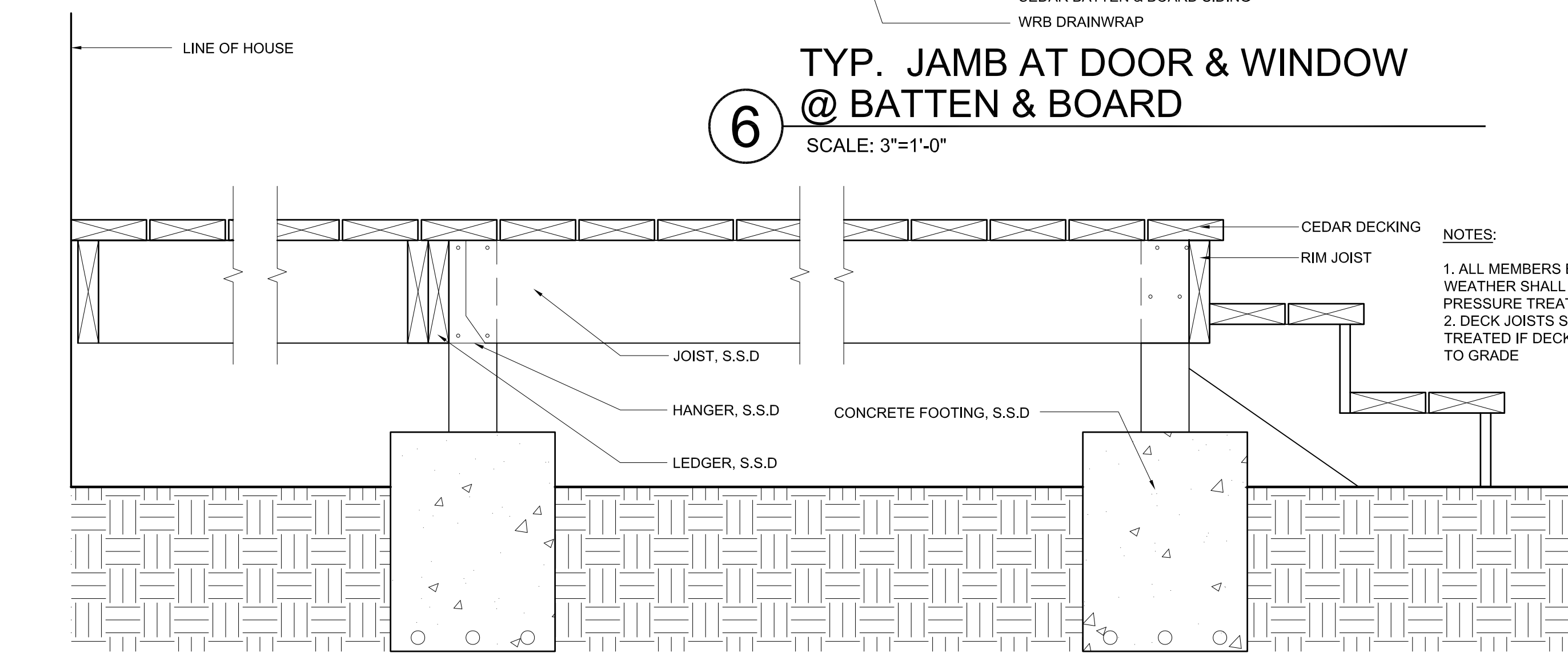
2 INTERIOR POCKET DOOR HEAD & SILL
SCALE: 6"=1'-0"



5 TYP. WINDOW HEAD & SILL
SCALE: 3"=1'-0"



6 TYP. JAMB AT DOOR & WINDOW @ BATTEN & BOARD
SCALE: 3"=1'-0"



1 TYPICAL DECK SECTION
SCALE: 1-1/2"=1'-0"