



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

**DATE:** August 15, 2018

**TO:** **Architectural Review Committee (ARC) of the Historic Preservation Commission**

**FROM:** Stephanie Cisneros, Preservation Planner, (415) 575-9186

**REVIEWED BY:** Tim Frye, Historic Preservation Officer, (415) 575-6822

**RE:** Review and Comment for the proposed new construction at 3620 Buchanan Street (City Landmark No. 58)  
Case No. 2016-010079COA

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## BACKGROUND

The Planning Department (Department) is requesting review and comment before the Architectural Review Committee (ARC) regarding the proposal to demolish an existing one-story garden house currently used as office space and construct a new four-story, eight unit residential building. The existing garden shed structure and new construction will be located on the same parcel as the Merryvale Antiques/San Francisco Gas Light Company (S.F. Gas Light Co.) building designated as City Landmark No. 58 under Article 10, Section 1004 of the Planning Code.

## PROPERTY DESCRIPTION

The Landmark No. 58 property (parcel 0459/003) contains two buildings: the two-story S.F. Gas Light Co. building at the north end of the parcel (3636 Buchanan Street) and a one-story garden house at the southern end of the parcel (3620 Buchanan Street). The two-story brick S.F. Gas Light Co. building was designed in the Richardsonian-Romanesque architectural style by architect Joseph B. Crockett. Constructed 1891-1893, the building was used as the company's administration building. City Landmark No. 58 was designated in 1973 for its association with the development of the S.F. Gas Light Co. and its North Beach Station and as an outstanding example of Richardsonian-Romanesque architecture. The period of significance for Landmark No. 58 is 1893-1958, which is the period of time that the S.F. Gas Light Co. (and later PG&E) owned, occupied and operated out of the property.

### *Historic Context of City Landmark No. 58*

Historically, the S.F. Gas Light Co. was one component of a larger complex known as the Gas House Cove designed by Crockett and comprised of other predominantly brick buildings, an oiler dock, a gasometer, and two storage tanks that collectively came to be known as the gas company's North Beach Station. The surrounding area was also built up around this time to house other industrial plants such as the California Pressed Brick Company, the Pacific Ammonia Chemical Company, and a soap and tallow works. PG&E merged with the S.F. Gas Light Co. in 1905 and retained ownership of the subject property until 1958.

1958

By 1958, the landmarked building that was once the main building of the historically larger complex was the only remaining remnant of the previous industrial use of the area; all other buildings and associated structures had been destroyed during the 1906 Earthquake and fire or demolished to make way for the 1915 Panama Pacific International Exposition. In the mid-1950s, the property was purchased by Mr. and Mrs. Dent W. Macdonough, who began extensive renovations to convert the property into a high-end antique shop. Renovations included a complete restoration and reuse of the extant building as a showroom and offices for the Merryvale Antiques shop, construction of a one-story garden house (completed in 1958) and addition of a garden between the garden house and the S.F. Gas Light Co. building (completed in 1958). The one-story garden house was designed by architect Clifford Conly, Jr. and is a wood-frame structure approximately three bays wide and two bays deep. It is vernacular in nature with minimally applied French ornamentation and underwent alterations in the 1980s. The garden that separates the landmarked building to the north and the garden house to the south was constructed in 1958 and was originally designed by Jean Wolff, a local gardener who often assisted with the construction of Thomas Church commissions. Since construction, the garden has undergone extensive alterations in and possibly before 2000.

#### *1973 Landmark Ordinance*

The 1973 Landmark Ordinance outlines the history and significance of the property associated with the development of the S.F. Gas Light Co. and its North Beach Station. The garden house and adjacent garden were constructed in 1958, as part of a restoration of the S.F. Gas Light Co. building and its conversion to a high-end antiques shop. The garden house and adjacent garden are not considered to be contributing features of the site associated with the landmark's significance. The 1973 Landmark Ordinance does not explicitly identify character-defining features of the site or building but does describe the landmark building in great detail. The character-defining features of Landmark No. 58 (3636 Buchanan Street) are identified as follows:

- Red brick construction
- Rectangular form of 3636 Buchanan Street featuring two stories and an attic
- Corner tower with conical roof (exceeds the height of the main roof)
- Hipped main roof, without projecting eaves, resting on a corbelled cornice
- Brick chimney
- Fenestration at the front (west) one-third that includes windows indicating two floors with a heavy string course of brickwork at the upper floor level
- Fenestration at the rear (east) two-thirds containing tall windows divided into panes with fanlights above, the sill line of which is uniformed with those on the lower floor at the front, and the tops of which extend upward approximately three-quarters of the total wall height
- Decorative terra-cotta lintels divided into sections containing a patera
- Centered arched main entrance resting on short black pilasters framing a recessed doorway
- Two-story opening at the rear (east) façade with flat decorative terra-cotta lintel similar to those above the windows
- Two-story brick pilasters
- Open space surrounding the building, allowing the building to maintain dominance of the corner without being overshadowed by neighbors on either side

## PROJECT DESCRIPTION

The Sponsor proposes to demolish the one-story garden house and a portion of the existing garden and construct a new four-story, 13,279 square foot residential building on the landmark site. The new construction will include eight units, eight bicycle parking spaces, and one accessible vehicle parking space. The portion of the existing garden to remain will be utilized as open space. No interior or exterior changes to the landmark building at 3636 Buchanan Street are proposed.

## OTHER ACTIONS REQUIRED

The proposed project is being brought to the ARC for review and comment prior to review by the HPC of a request for Certificates of Appropriateness pursuant to Article 10 of the Planning Code.

## ENVIRONMENTAL REVIEW

The proposed project is currently undergoing environment review under Case No. 2016-010079ENV.

## PUBLIC/NEIGHBORHOOD INPUT

To date, the Department has received multiple phone calls, emails and written letters in opposition to the proposed project. The main concerns regarding the proposed project were related to loss of views, the possibility of soil contamination, and concern that the garden house and garden adjacent to the landmark building are of individual and/or contributory significance.

## STAFF ANALYSIS

The Department seeks the initial feedback of the ARC regarding the design, materiality and relationship to the setting of the proposed new construction. Additionally, the Department seeks advice of the ARC with regard to compatibility of the project with Article 10 of the Planning Code, the designating Ordinance, and the *Secretary of the Interior's Standards for Rehabilitation* (Secretary's Standards). The project involves proposed changes to a local landmark (Landmark No. 58). For efficiency, the Department is reviewing the proposal under Secretary's Standards unless the designating Ordinance or Appendix to Article 10 includes specific standards. The Department would like the ARC to consider the following information:

### *Secretary of the Interior's Standards for Rehabilitation*

#### ***Standard #2***

The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize the property will be avoided.

#### ***Standard #9***

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

***Standard #10***

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**RECOMMENDATIONS:**

**Secretary of the Interior's Standards:** The proposed project would not destroy or damage any contributing elements of Landmark No. 58. Department staff will undertake a complete analysis of the proposed project per the applicable Standards as part of the environmental review and the subsequent Certificate of Appropriateness. In addition, Department staff will undertake additional analysis of the proposed project per the standards outlined in Article 10 of the Planning Code, specifically to assess the project's conformance to the guidelines for new construction and compatibility with landmark sites.

**Overall Form and Continuity:** The existing landmark site contains a two-story building at the north end presently used as offices and the surrounding context includes two- to four-story, residential and mixed use buildings. The proposed new construction will be a generally rectangular, four-story residential building that is in keeping with the surrounding context. The footprint of the new construction will be smaller than the footprint of the adjacent landmark building and of the new construction occurring immediately to the south. Although a portion of the existing garden will be demolished in order to allow for the new construction, the remaining portion will provide sufficient space to allow the landmark building and its significance to be maintained and read. With regard to visibility of the landmark building, the west elevation of the new construction will be set back from the property line except for a portion that will project out to the property line. This will allow for a stronger visual connection to the landmark building at the pedestrian level. Overall, the Department believes that the form and footprint of the proposed project is compatible with the adjacent landmark site and the surrounding context.

**Recommendation:** None.

**Scale and Proportion:** The new construction will be located at the southern end of the landmark site. The building's overall height will sit below that of the landmark building and below the height of the new construction occurring immediately to the south. The rectangular proportion of the new construction will appear subordinate to the landmark building and is in keeping with the surrounding context.

**Recommendation:** None.

**Fenestration:** The fenestration of the existing landmark building includes punched recessed wood-frame windows with decorative stone arched tops. The proposed fenestration of the new construction will consist of punched openings with recessed, vertically oriented, aluminum frame windows. The windows aligning the portion of the west elevation that projects out to the property line will also include shadow boxes. Generally, the Department believes that the project's overall fenestration is differentiated yet compatible with the adjacent landmark with regard to design, materials, and orientation.

**Recommendation:** None

**Materials:** The landmark building is clad in brick with a heavy stringcourse between the first and second floors. The proposed materials of the new construction will be brick at floors one through three. The horizontal bands between each floor will be composed of sailor course brick veneer oriented vertically, while each of the three floors will be composed of stack bond brick veneer oriented horizontally. The proposed material at the fourth floor will be fiber cement panels.

**Recommendation:** Generally, the Department finds that the proposed materials of the new construction will be compatible with that of the landmark. However, in order to further distinguish the horizontal bands between each floor, the Department recommends that the brick be treated either with a differing texture or projection that draws upon the stringcourse of the landmark building.

**Architectural Details:** The proposed new construction will have no applied architectural details other than at the primary entrance and decorative railings at each proposed balcony. The primary entrance will be located along Buchanan Street and will include a rectangular recessed entryway with a gate along the street frontage that is designed to match the existing gate at the northwest corner of the site. The railings at each proposed balcony will be comprised of a combination of central glass guardrails and aluminum picket guardrails, with the aluminum guardrails being the dominant material.

**Recommendation:** Generally, the Department finds that the proposed guardrail and gate designs are compatible with the design of those found around the landmark building. In order to ensure stronger compatibility with the landmark, the Department recommends that the design of the primary entrance on the new construction be studied further to establish a stronger relationship to entryways on the landmark site.

## REQUESTED ACTION

Specifically, the Department seeks comments on:

- The project recommendations proposed by staff.
- The compatibility of the project with the Secretary of the Interior's Standards.

## ATTACHMENTS

1. Project Sponsor plan submittal entitled, "3620 Buchanan Street Presentation to the San Francisco Historic Preservation Architectural Review Committee," dated July 31, 2018.
2. Merryvale Antiques/S.F. Gas Light Co., Landmark No. 58, Designating Ordinance
3. Letters and emails in opposition to the proposed project



# 3620 BUCHANAN STREET

## PRESENTATION TO THE SAN FRANCISCO HISTORIC PRESERVATION COMMISSION ARCHITECTURAL REVIEW COMMITTEE

Date of Package: July 31, 2018

Project Sponsor:  
Tusker Corporation  
3636 Buchanan St.  
San Francisco, CA 94123

251 south van ness ave, suite 300 - san francisco, ca 94103 - **ian birchall and associates** - p: 415.512.9660 - f:415.512.9663 - [www.ibadesign.com](http://www.ibadesign.com)

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BUCHANAN ST. + NORTH POINT ST. - ADJACENT EXISTING BUILDING ON SHARED PARCEL



BUCHANAN ST. - EXISTING PROPERTY

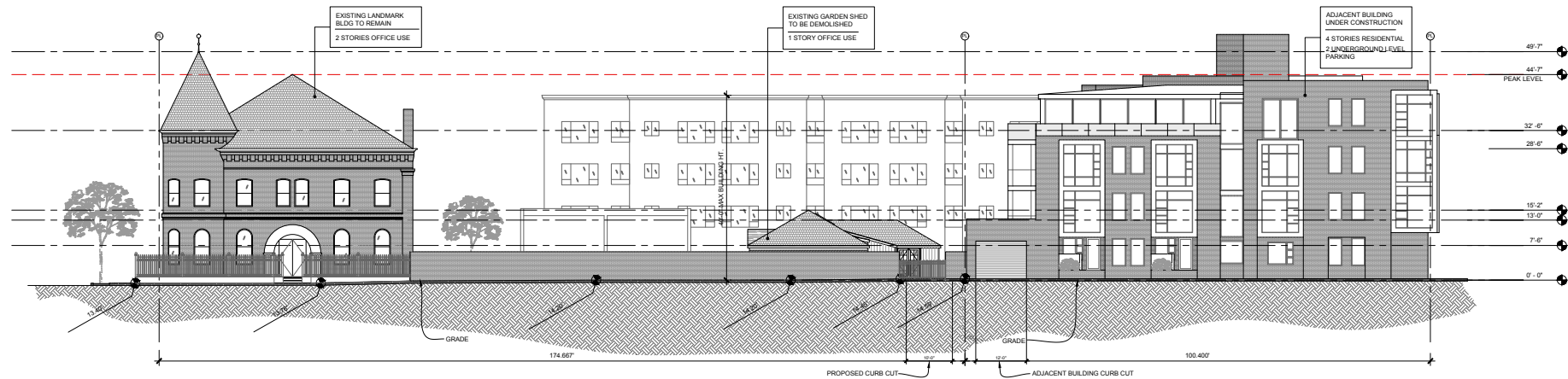


BUCHANAN ST. + BAY ST. - ADJACENT PROPERTY



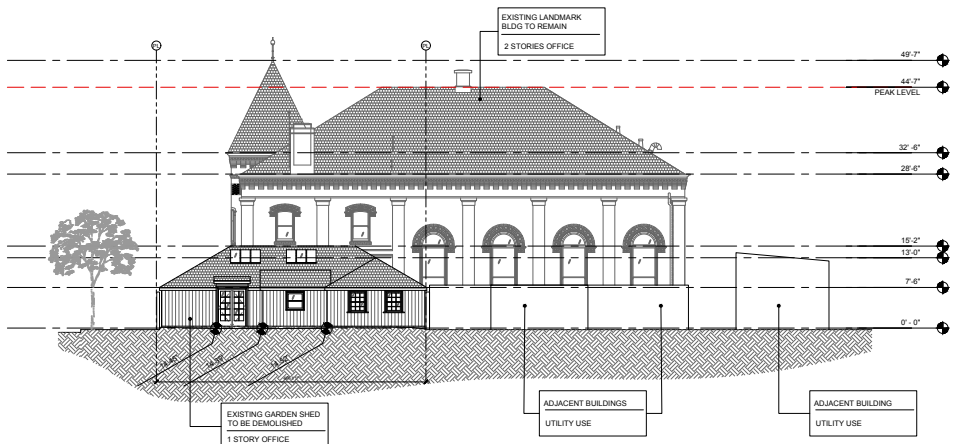
BUCHANAN ST. - ADJACENT PROPERTIES (ACROSS FROM 3620 BUCHANAN)

<p>Tusker Corporation 3636 Buchanan St. San Francisco, CA 94123</p>	<p>Date of Package: July 31, 2018</p>	<p><b>EXISTING SITE IMAGERY</b></p>	<p>3620 BUCHANAN</p> <p>SHEET #: 2</p>	<p><b>ib+a</b> architecture</p> <p>Ian Birchall and Associates 251 South Van Ness Ave, Suite 300 San Francisco, CA 94103 p: 415.512.9660 f: 415.512.9663 www.ibadesign.com</p>
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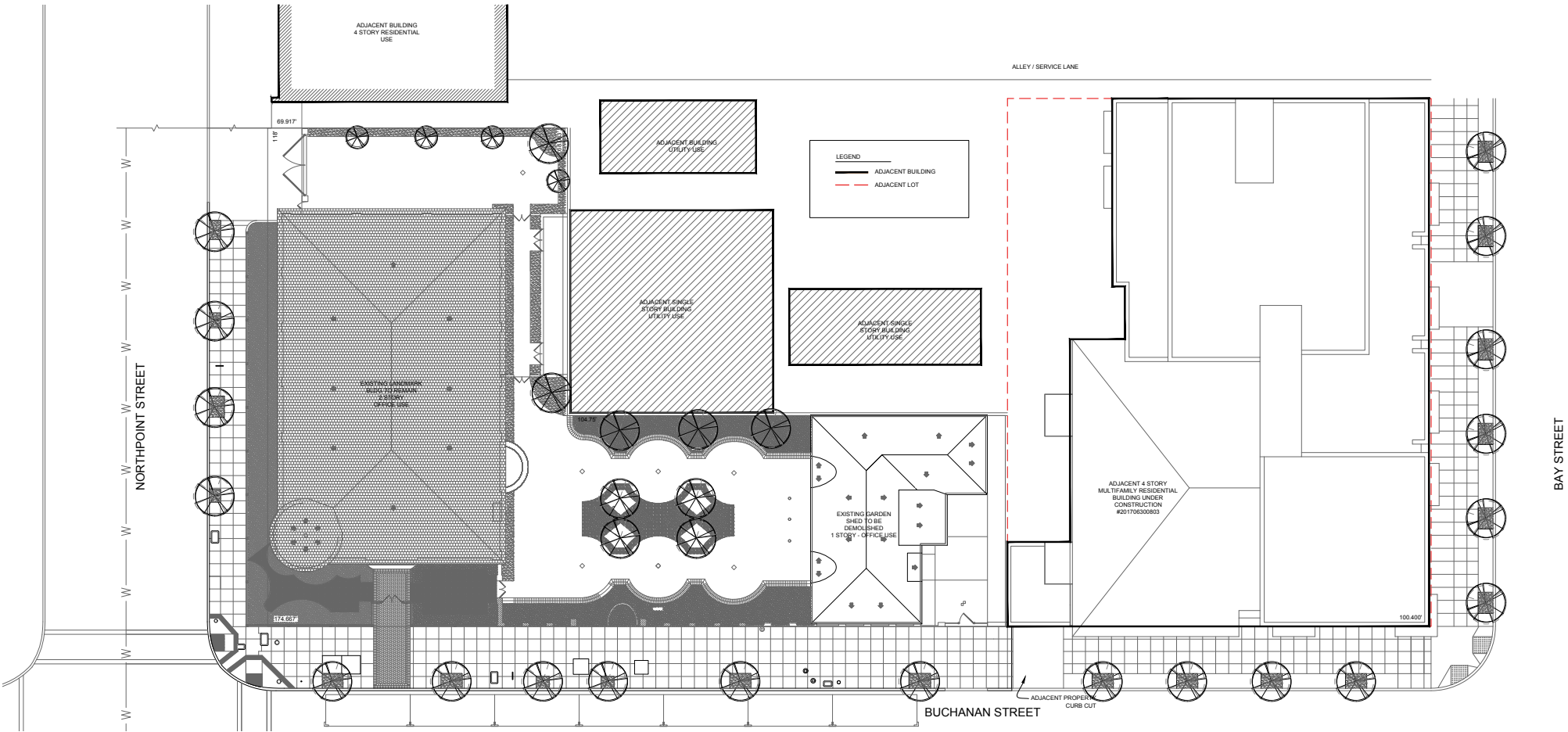
EXISTING STREET ELEVATION

N.T.S



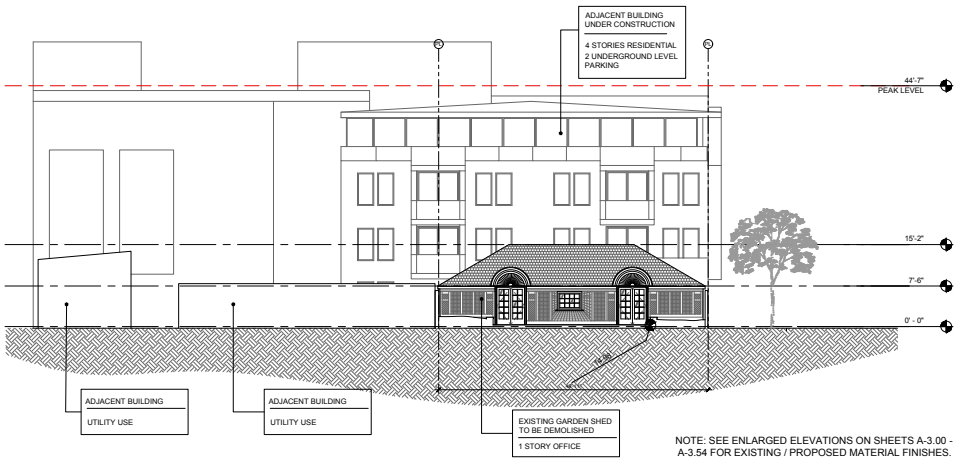
EXISTING SIDE ELEVATION

N.T.S



EXISTING SITE PLAN

N.T.S



EXISTING REAR ELEVATION

N.T.S

Tusker Corporation  
3636 Buchanan St.  
San Francisco, CA 94123

Date of Package:  
July 31, 2018

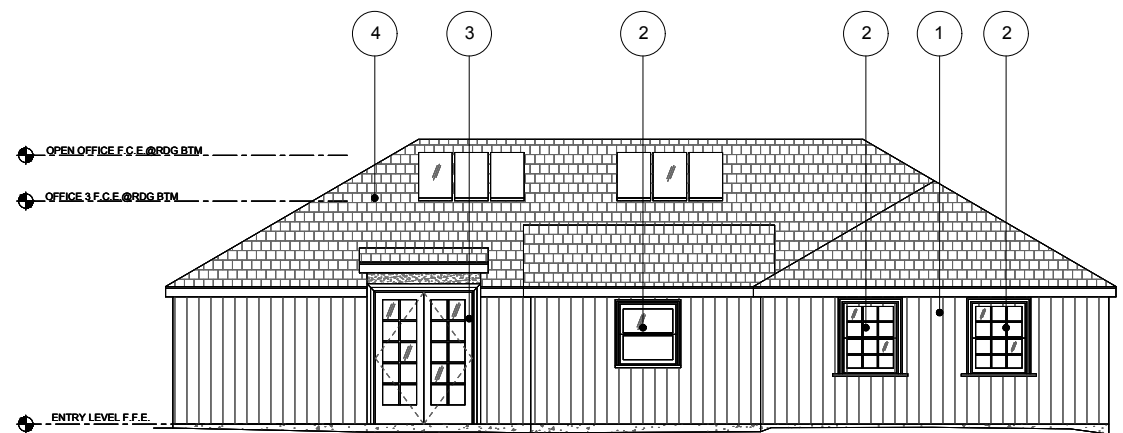
**PROJECT SITE / EXISTING CONDITION  
ELEVATIONS + SITE PLAN**

3620 BUCHANAN

SHEET #: 3

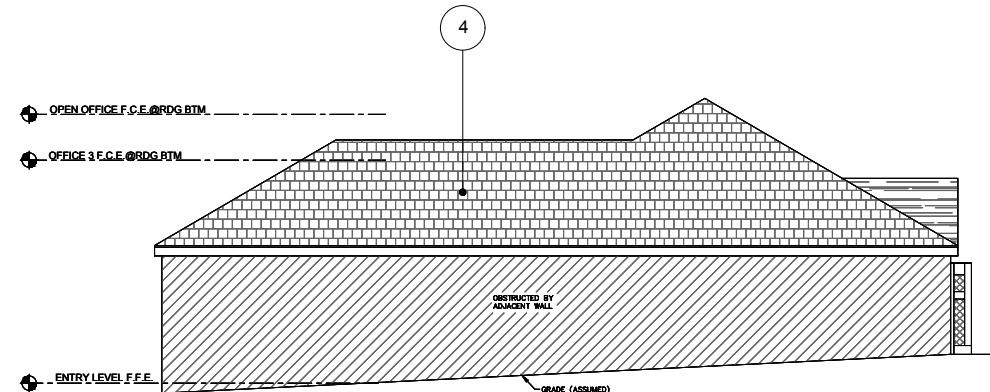
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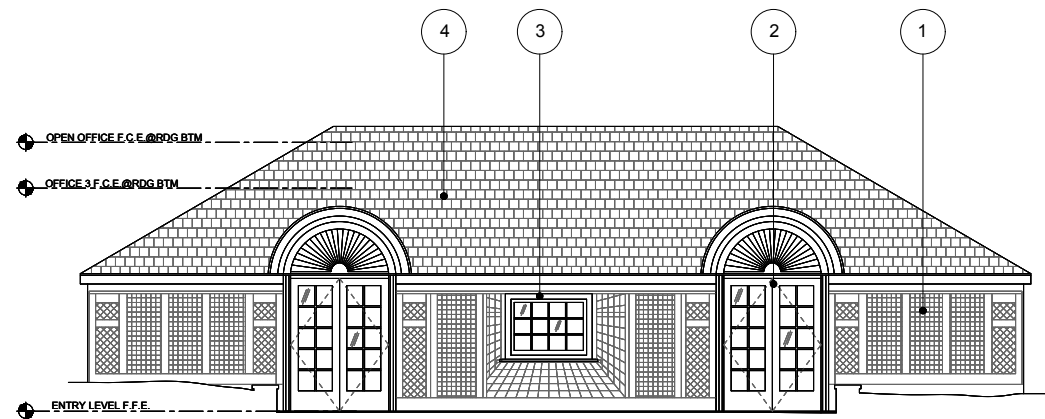
EXISTING GARDEN SHED - SOUTH ELEVATION

N.T.S



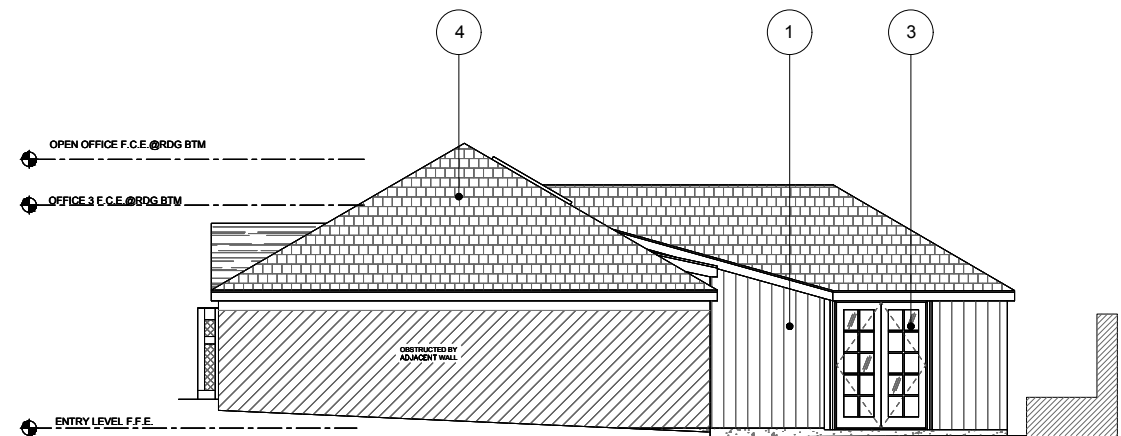
EXISTING GARDEN SHED - EAST ELEVATION

N.T.S



EXISTING GARDEN SHED - NORTH ELEVATION

N.T.S



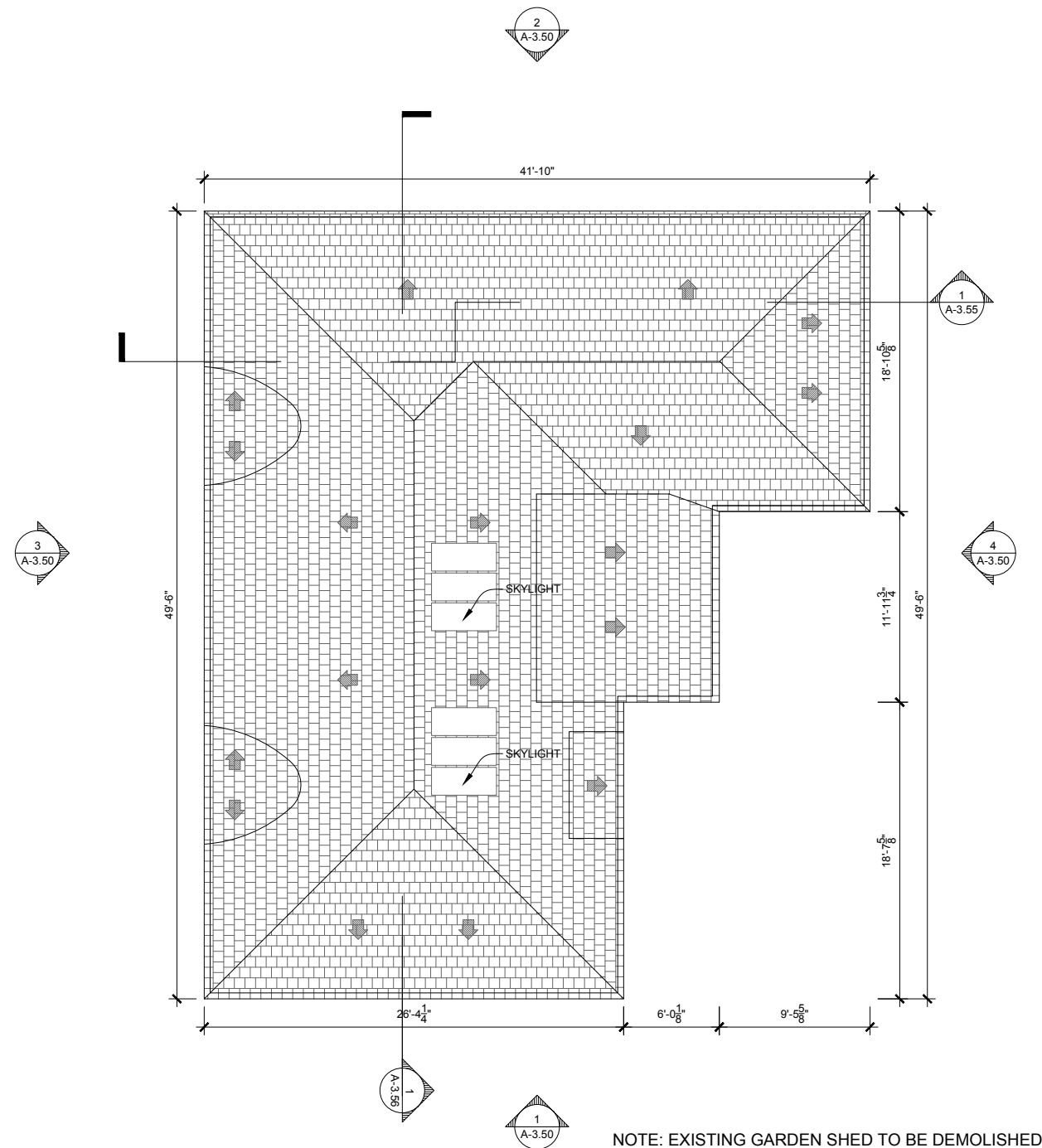
EXISTING GARDEN SHED - WEST ELEVATION

N.T.S

- 1 WOOD SIDING PAINTED
- 2 WOOD FRAME WINDOW PAINTED
- 3 WOOD FRAME DOOR PAINTED
- 4 ASPHALT COMPOSITE SHINGLE

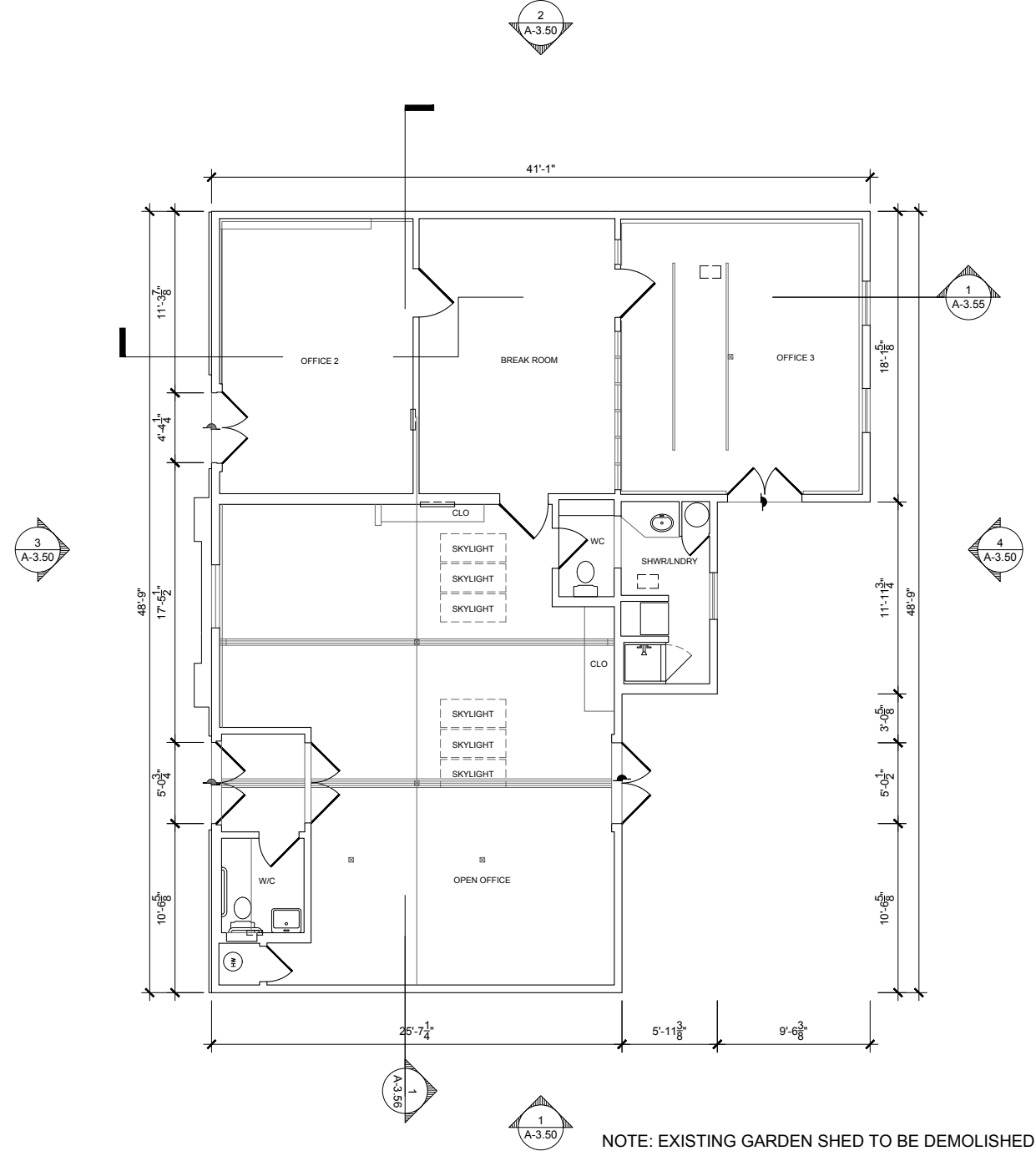
KEYNOTES

<p>Tusker Corporation 3636 Buchanan St. San Francisco, CA 94123</p>	<p>Date of Package: July 31, 2018</p>	<p><b>PROJECT SITE / EXISTING CONDITION</b> <b>GARDEN SHED ELEVATIONS</b> (NOTE: GARDEN SHED TO BE DEMOLISHED)</p>	<p>3620 BUCHANAN</p> <p>SHEET #: 4</p>	<p><b>ib+a</b> architecture</p> <p>Ian Birchall and Associates 251 South Van Ness Ave, Suite 300 San Francisco, CA 94103 p: 415.512.9660 f: 415.512.9663 www.ibadesign.com</p>
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- LEGEND
- 1 HOUR FIRE RATED WALL
  - 2 HOUR FIRE RATED WALL
  - 3 HOUR FIRE RATED WALL

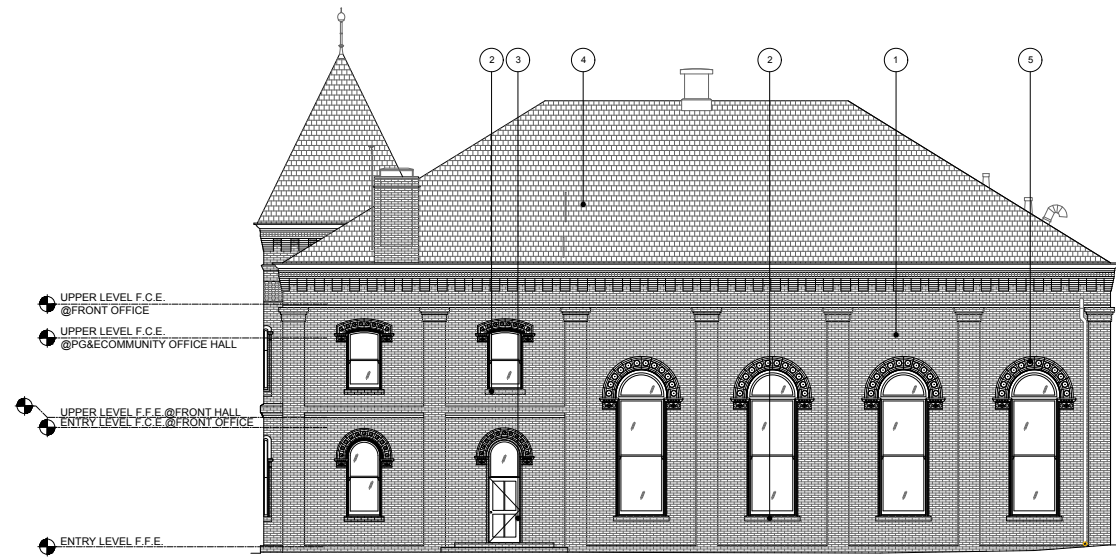
EXISTING GARDEN SHED - ROOF PLAN N.T.S



- LEGEND
- 1 HOUR FIRE RATED WALL
  - 2 HOUR FIRE RATED WALL
  - 3 HOUR FIRE RATED WALL

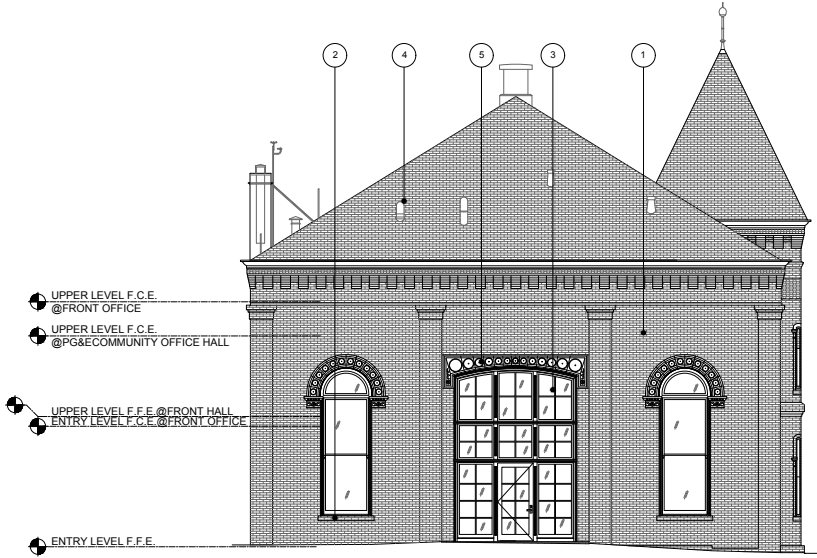
EXISTING GARDEN SHED - P1 PLAN N.T.S

<p>Tusker Corporation 3636 Buchanan St. San Francisco, CA 94123</p>	<p>Date of Package: July 31, 2018</p>	<p><b>PROJECT SITE / EXISTING CONDITION</b> <b>GARDEN SHED PLANS</b> (NOTE: GARDEN SHED TO BE DEMOLISHED)</p>	<p>3620 BUCHANAN</p> <p>SHEET #: 5</p>	<p><b>ib+a</b> architecture</p> <p>Ian Birchall and Associates 251 South Van Ness Ave, Suite 300 San Francisco, CA 94103 p: 415.512.9660 f: 415.512.9663 www.ibadesign.com</p>
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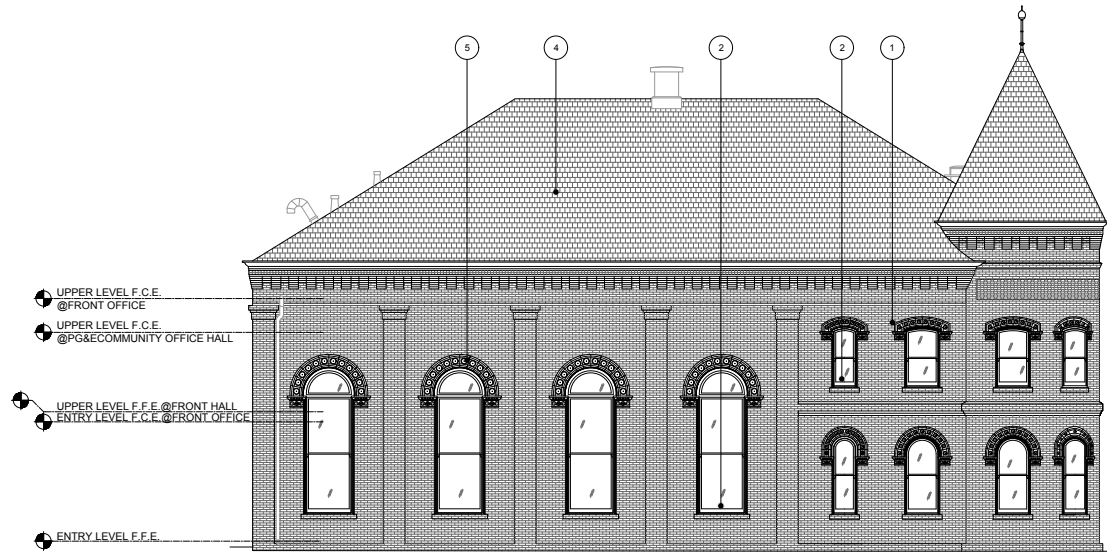
EXISTING LANDMARK BUILDING - SOUTH ELEVATION

N.T.S



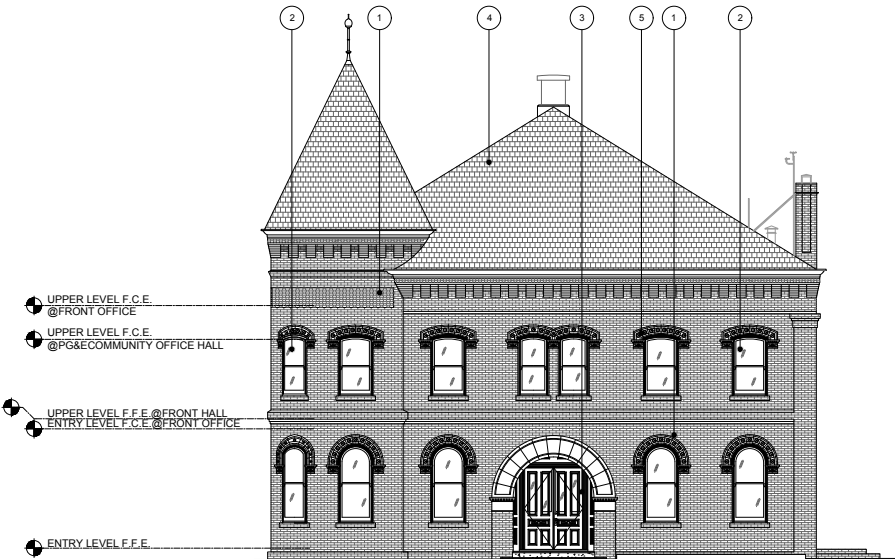
EXISTING LANDMARK BUILDING - EAST ELEVATION

N.T.S



EXISTING LANDMARK BUILDING - NORTH ELEVATION

N.T.S



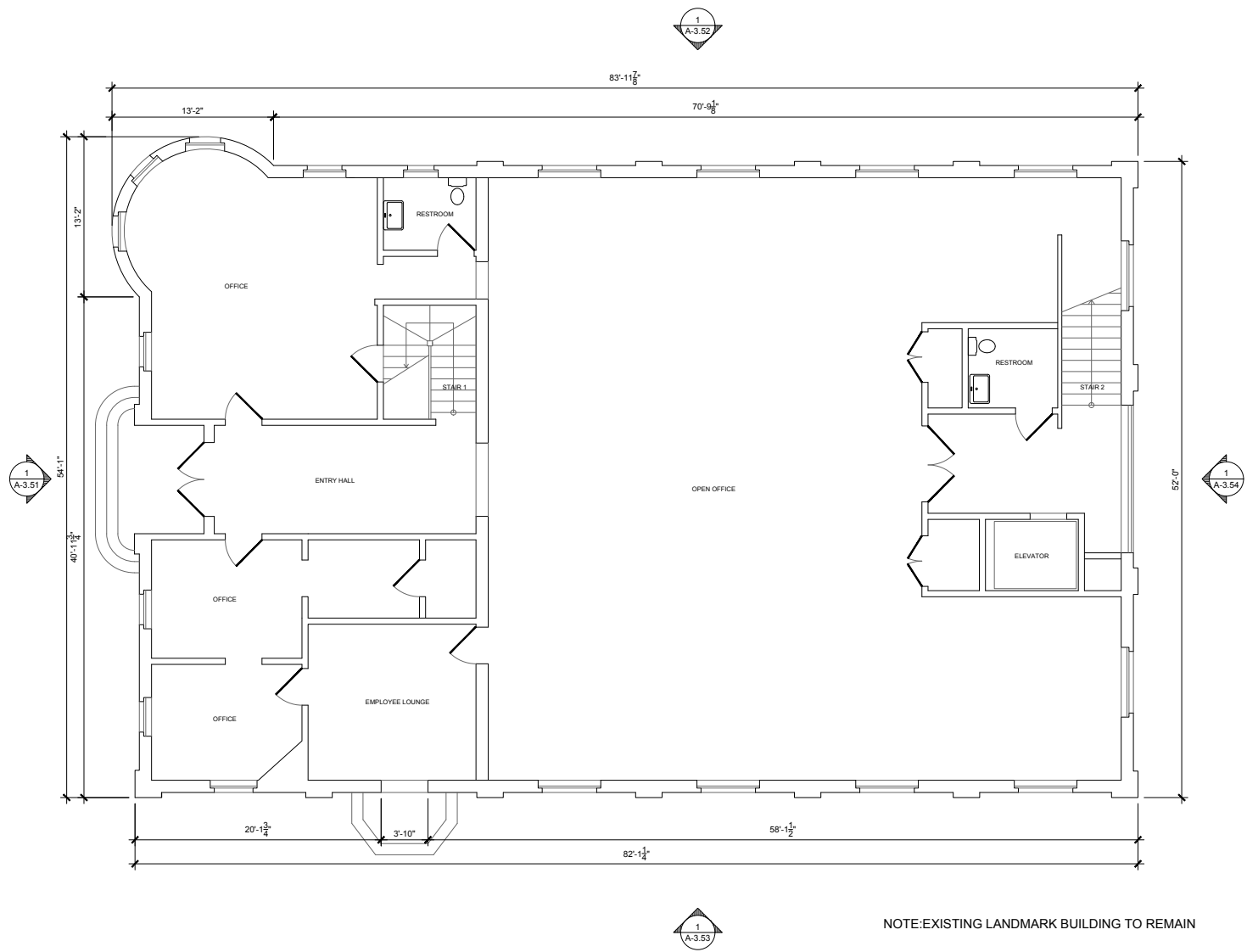
EXISTING LANDMARK BUILDING - WEST ELEVATION

N.T.S

- 1 BRICK WALL
- 2 WOOD FRAME WINDOW PAINTED
- 3 WOOD DOOR NATURAL FINISH
- 4 ASPHALT COMP. SHINGLE
- 5 STONE

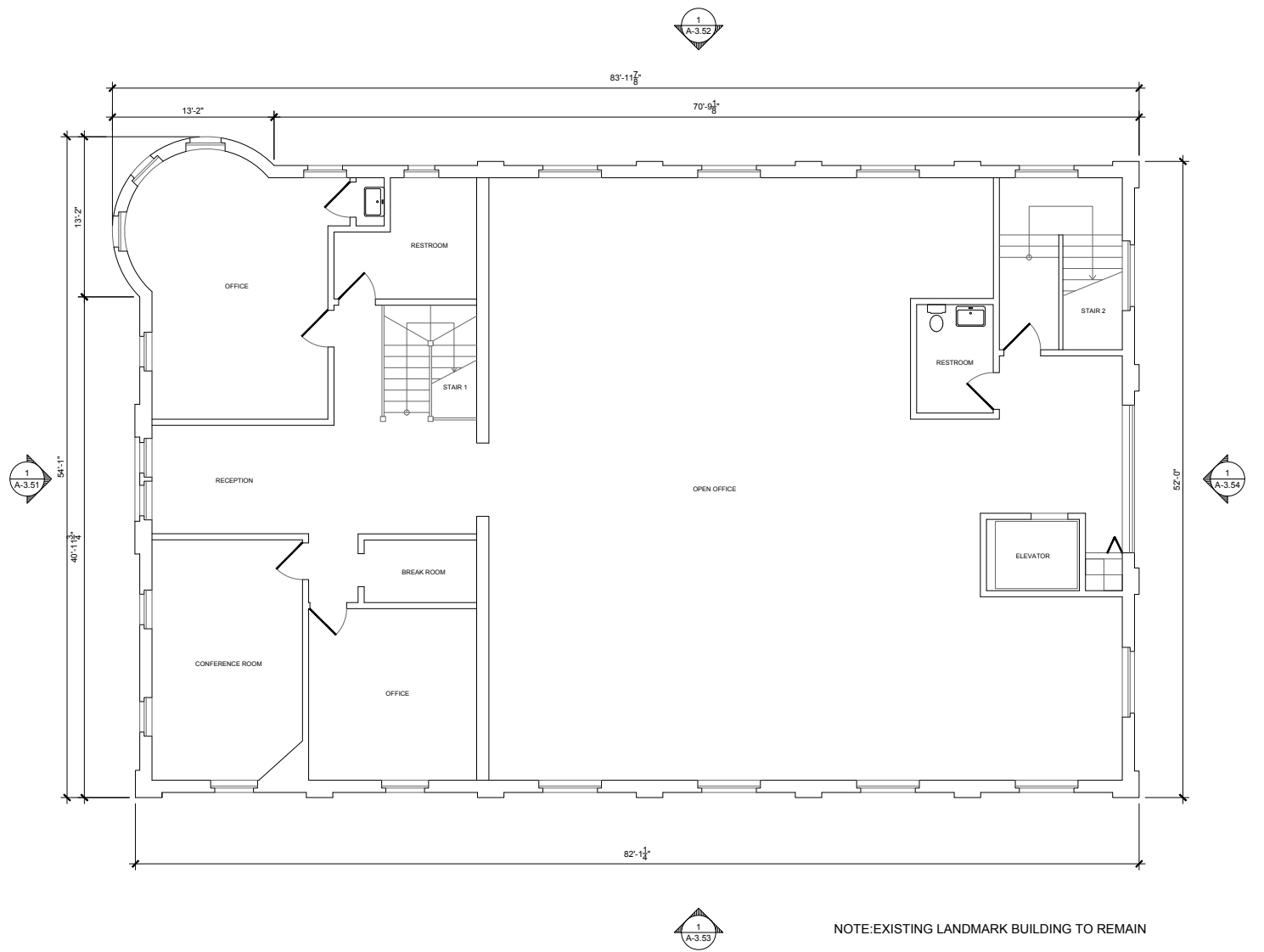
KEYNOTES

<p>Tusker Corporation 3636 Buchanan St. San Francisco, CA 94123</p>	<p>Date of Package: July 31, 2018</p>	<p><b>EXISTING CONDITION</b> <b>LANDMARK BUILDING ELEVATIONS</b> (NOTE: LANDMARK BUILDING TO REMAIN)</p>	<p>3620 BUCHANAN</p> <p>SHEET #: 6</p>	<p><b>ib+a</b> architecture</p> <p>Ian Birchall and Associates 251 South Van Ness Ave, Suite 300 San Francisco, CA 94103 p: 415.512.9660 f: 415.512.9663 www.ibadesign.com</p>
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EXISTING LANDMARK BUILDING - P1 PLAN

N.T.S



EXISTING LANDMARK BUILDING - P2 PLAN

N.T.S

Tusker Corporation  
3636 Buchanan St.  
San Francisco, CA 94123

Date of Package:  
July 31, 2018

**EXISTING CONDITION**  
**LANDMARK BUILDING PLANS**  
(NOTE: LANDMARK BUILDING TO REMAIN)

3620 BUCHANAN

SHEET #: 7

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architecture

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AREA CALCULATIONS

FLOOR	ROOM DESCRIPTION	GROSS AREA (SF)**	NET AREAS (SF)***	GROSS FLOOR AREA*
P4	UNIT 8 - TYPE 2B-C	1049	962	2,588
	UNIT 7 - TYPE 2B-B	1064	981	
	CIRCULATION - (ELEV, CORRIDOR + STAIRS)	475	407	
P3	UNIT 6 - TYPE 1B-D	813	734	2,915
	UNIT 5 - TYPE 1B-C	790	723	
	UNIT 4 - TYPE 1B-B	837	755	
	CIRCULATION - (ELEV, CORRIDOR + STAIRS)	475	407	
P2	UNIT 3 - TYPE 2B-A	1131	1,030	2,915
	UNIT 2 - TYPE 3B-A	1309	1,195	
	CIRCULATION - (ELEV, CORRIDOR + STAIRS)	475	407	
P1	UNIT 1 - TYPE 1B-A	784	694	1,622
	CIRCULATION - (ELEV, CORRIDOR + STAIRS)	838	731	
	PARKING GARAGE	891	808	891
B1	JANITOR	43	33	2,348
	TRASH ROOM	141	112	
	HOA STORAGE	140	117	
	ELECTRICAL ROOM	125	108	
	ELEVATOR MACHINE ROOM	78	61	
	STORAGE LOCKER (SL) - 1	71	56	
	STORAGE LOCKER (SL) - 2	183	143	
	STORAGE LOCKER (SL) - 3	66	59	
	STORAGE LOCKER (SL) - 4	175	144	
	STORAGE LOCKER (SL) - 5	89	71	
	STORAGE LOCKER (SL) - 6	118	102	
	STORAGE LOCKER (SL) - 7	75	67	
	STORAGE LOCKER (SL) - 8	157	127	
	SECURITY CLOSET	14	11	
	CIRCULATION - (ELEV, CORRIDORS + STAIRS)	873	755	
	BIKE STORAGE	165	143	165

****TOTAL BUILDING GROSS AREA	13,279
TOTAL R-2 GROSS AREA	10,040
TOTAL S-1 GROSS AREA	3,404
TOTAL BUILDING NET AREA	11,943

\*Gross floor areas include all circulation areas, interior & exterior walls to outside face of building

\*\* Gross unit areas include all interior & exterior walls within a unit + 50% of shared walls with adjacent units & common areas

\*\*\*Net unit areas include floor area from inside face of interior and exterior walls within a unit

\*\*\*\* Total building gross floor area calculation exclude the square footages of the bike storage (as defined per planning code sec. 102)

PARKING REQUIREMENTS

RESIDENTIAL USE	REQUIREMENT	REQ. QTY	PROVIDED
CLASS 1 BIKE PARKING	1 / DWELLING UNIT	8	8
CLASS 2 BIKE PARKING	1 / 20 DWELLING UNIT	1	4
STANDARD CAR PARKING	1 / DWELLING UNIT	8	0
ACCESSIBLE CAR PARKING	2% OF DWELLING UNITS	1	1
VAN ACCESSIBLE PARKING	1 / 8 ACC. SPACES	1	1

UNIT TYPES	BEDROOM TYPE COUNT	%	% REQUIRED
1B-A	4	50.00%	N/A
1B-B			
1B-C			
1B-D			
2B-A	3	37.50%	N/A
2B-B			
2B-C			
3B-A	1	12.50%	N/A
TOTAL NUMBER OF UNITS	8		

PRIVATE USABLE / COMMON USABLE OPEN SPACE CALCULATIONS

REQUIRED				
100 SQ FT OF PRIVATE USABLE OPEN SPACE (P.U.O.S) FOR EACH DWELLING UNIT   OR   133 SQ FT OF COMMON USABLE OPEN SPACE (C.U.O.S) FOR EACH DWELLING UNIT				
8 UNITS X 100 = <b>800 sf P.U.O.S.</b> OR   8 UNITS X 133 = <b>1064 sf C.U.O.S.</b>				
P.U.O.S.				
FLOOR	LOCATION	PROVIDED	DEFICIENT	CUOS AREAxRATIO
P4	UNIT 8 - TERRACE	101	0	0
	UNIT 7 - TERRACE	136	0	0
P3	UNIT 6 - BALCONY	0	133	133
	UNIT 5 - BALCONY	32	68	91
	UNIT 4 - BALCONY	38	62	83
P2	UNIT 3 - BALCONY	0	133	133
	UNIT 2 - BALCONIES	70	30	40
P1	UNIT 1 - PATIO	100	0	0

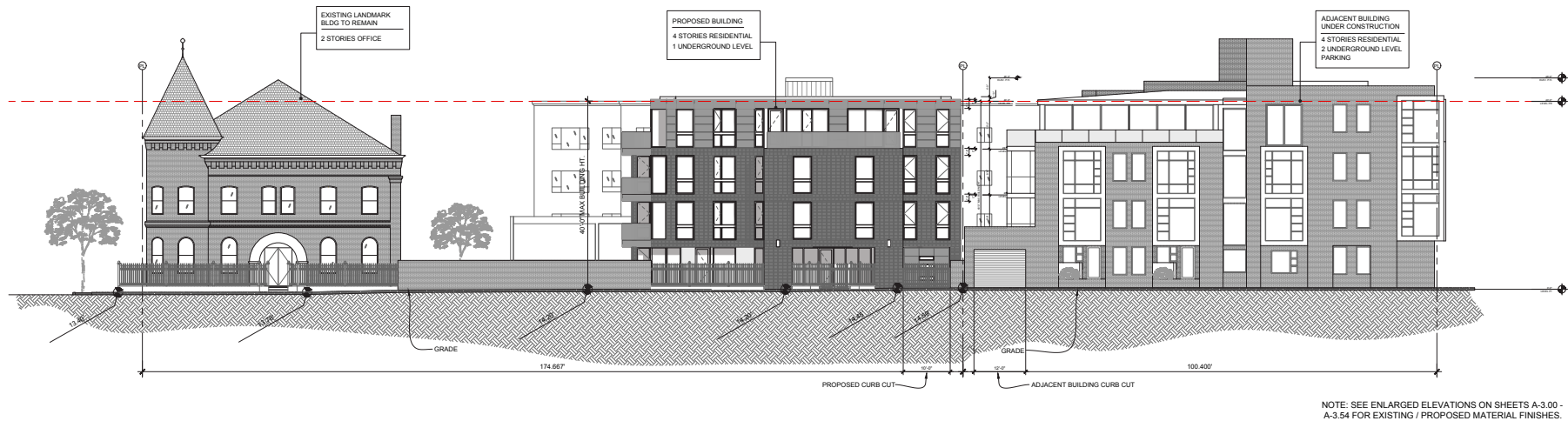
C.U.O.S PROVIDED	480
------------------	-----

C.U.O.S. REQUIRED			
FLOOR	LOCATION	AREA (SF)	SUBTOTAL (SF)
P1	COURTYARD	480	

TOTAL COMMON USABLE OPEN SPACE PROVIDED	480
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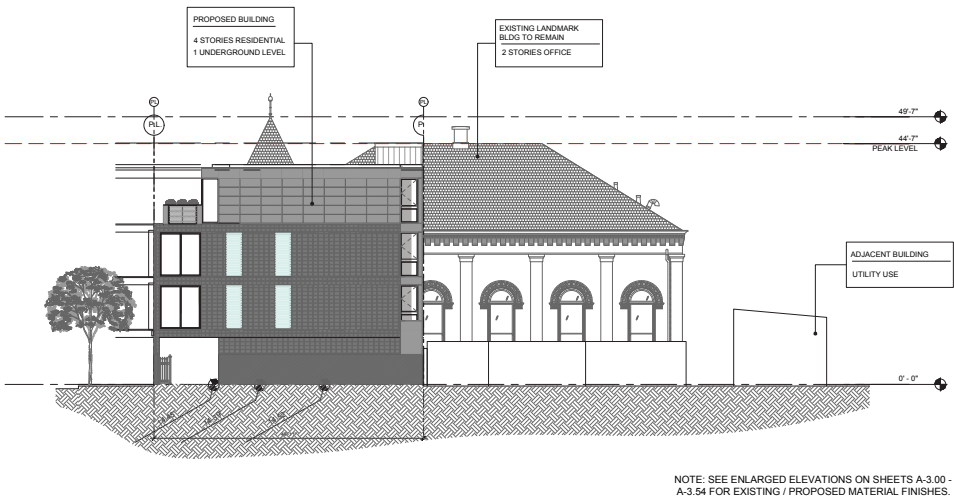
\*Area calculation for the Commomn Usable Open Space shown in the sheet A-1.03

EXCAVATION and SOIL DISTURBANCE				GROSS SQUARE FOOTAGES CALC.		
2. a.i. (NOPDR#2)				1. a.i. (NOPDR#3)		
RESIDENTIAL USE	AREA (SQ.FT.)	MAX. DEPTH (FT)	VOLUME (CY)	GROSS FLOOR AREA (SQ. FT.)	USE	
B1	2351.00	11.83	1030.09	1600.00	EXISTING BUILDING TO BE DEMOLISHED	
ELEVATOR PIT	127.46	6.83	32.24	8407.00	EXISTING BUILDING TO REMAIN (GAS LIGHT BUILDING)	
TOTAL EXCAVATION (CY)			1062.33	13240.00	PROPOSED BUILDING	
					RESIDENTIAL	



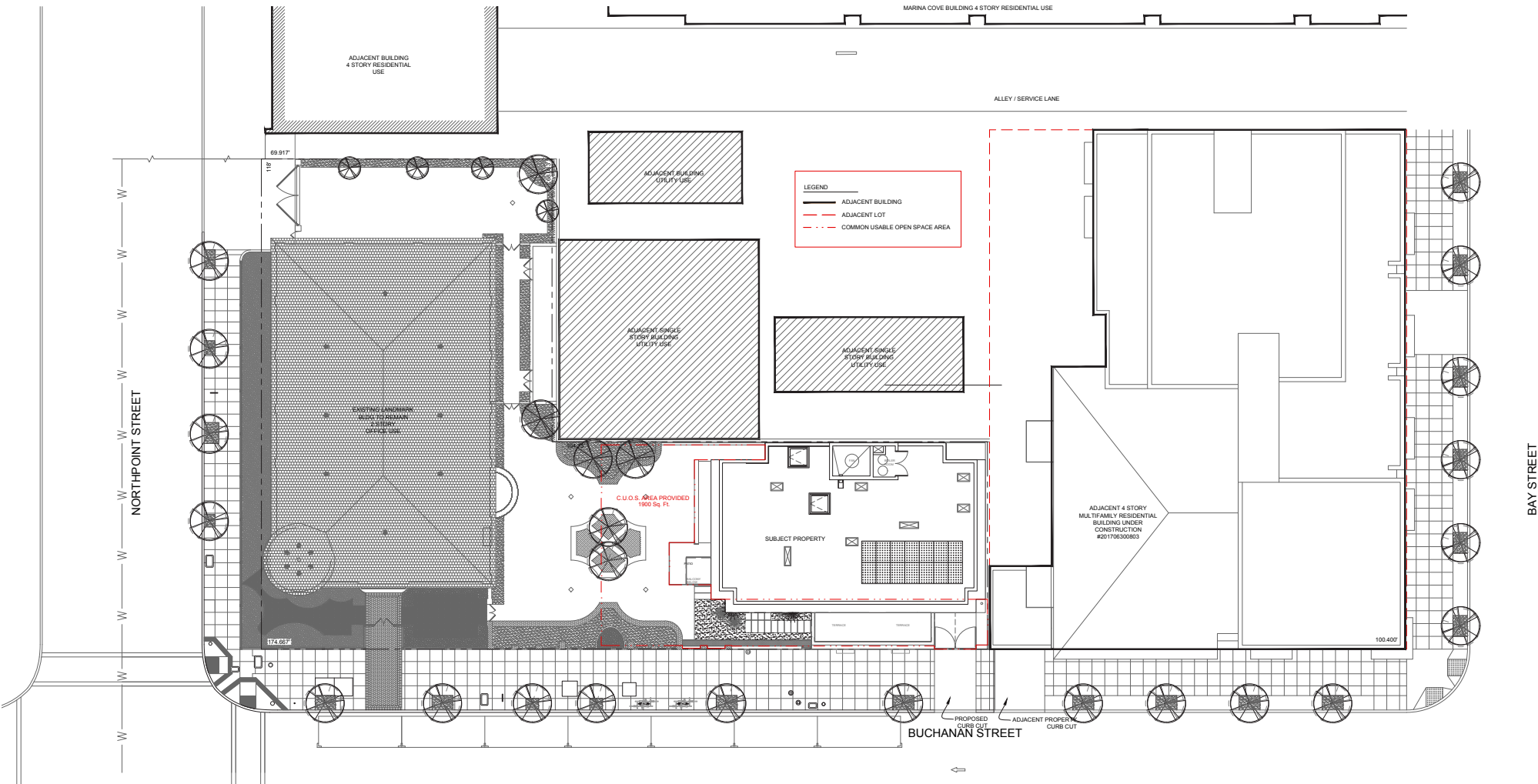
PROPOSED STREET ELEVATION

N.T.S



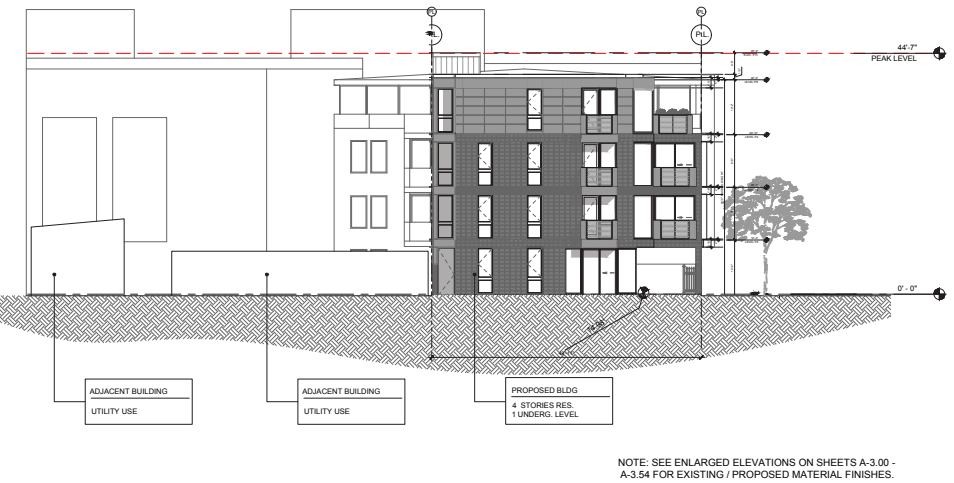
PROPOSED SIDE ELEVATION

N.T.S



PROPOSED SITE PLAN

N.T.S



PROPOSED REAR ELEVATION

N.T.S

<p>Tusker Corporation 3636 Buchanan St. San Francisco, CA 94123</p>	<p>Date of Package: July 31, 2018</p>	<p><b>PROJECT SITE / PROPOSED CONDITION ELEVATIONS + SITE PLAN</b></p>	<p>3620 BUCHANAN</p> <p>SHEET #: 9</p>	<p>ib+a architecture</p> <p>Ian Birchall and Associates 251 South Van Ness Ave, Suite 300 San Francisco, CA 94103 p: 415.512.9660 f: 415.512.9663 www.ibadesign.com</p>
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PROPOSED WEST ELEVATION

N.T.S

KEYNOTES

- 1

THIN BRICK VENEER - STACK BOND (NORMAN SIZE)
- 2

THIN BRICK VENEER - SAILOR COURSE (NORMAN SIZE)
- 3

EQUITONE PANEL (LINEA LT20)
- 4

ALUMINUM WALL PANELS
- 5

CONTROL JOINTS
- 6

GLASS GUARDRAIL
- 7

ALUMINUM PICKET GUARDRAIL
- 8

ALUMINUM WINDOWS - OPERABLE W/ CLEAR GLAZING
- 9

ALUMINUM WINDOWS - NON OPERABLE W/ CLEAR GLAZING
- 10

ALUMINUM WINDOWS - NON OPERABLE W/ FRITTED GLASS
- 11

ALUMINUM SHADOW BOX FRAME
- 12

CUSTOM GARAGE DOOR - WITH EQUITONE PANEL
- 13

ELEVATOR PENTHOUSE - STUCCO
- 14

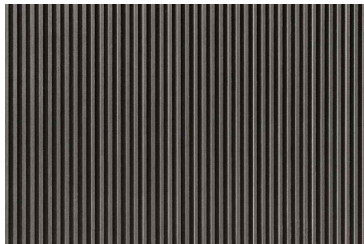
ADJACENT BUILDING
- 15

BUILDING BEYOND
- 16

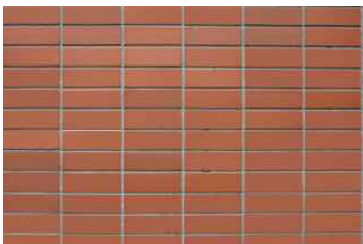
EXISTING BRICK WALL
- 17

WROUGHT IRON FENCE
- 18

CONCRETE CURB



EQUITONE PANEL



THIN BRICK

NOTE: PER PLANNING CODE SECTION 139, BIRD-SAFE GLAZING TREATMENT IS REQUIRED SUCH THAT THE BIRD COLLISION ZONE (SECTION 139(c)(A)(i) AND (iii), FACING THE URBAN BIRD REFUGE CONSISTS OF NO MORE THAN 10% UN-TREATED GLAZING. ADDITIONALLY, MINIMAL LIGHTING SHALL BE USED. LIGHTING SHALL BE SHIELDED, AND NO UPLIGHTING SHALL BE USED.

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PROPOSED WEST ELEVATION

3620 BUCHANAN

SHEET #: 10



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PROPOSED NORTH ELEVATION

N.T.S

KEYNOTES

- 1

THIN BRICK VENEER - STACK BOND (NORMAN SIZE)
- 2

THIN BRICK VENEER - SAILOR COURSE (NORMAN SIZE)
- 3

EQUITONE PANEL (LINEA LT20)
- 4

ALUMINUM WALL PANELS
- 5

CONTROL JOINTS
- 6

GLASS GUARDRAIL

7

ALUMINUM PICKET GUARDRAIL

8

ALUMINUM WINDOWS - OPERABLE W/ CLEAR GLAZING

9

ALUMINUM WINDOWS - NON OPERABLE W/ CLEAR GLAZING

10

ALUMINUM WINDOWS - NON OPERABLE W/ FRITTED GLASS

11

ALUMINUM SHADOW BOX FRAME

12

CUSTOM GARAGE DOOR - WITH EQUITONE PANEL

13

ELEVATOR PENTHOUSE - STUCCO

14

ADJACENT BUILDING

15

BUILDING BEYOND

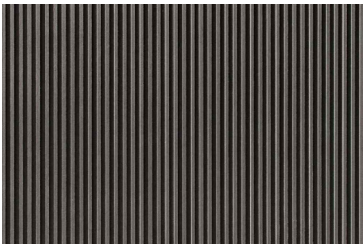
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EXISTING BRICK WALL

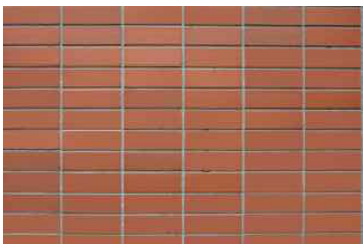
17

WROUGHT IRON FENCE

18

CONCRETE CURB

EQUITONE PANEL



THIN BRICK

NOTE: PER PLANNING CODE SECTION 139, BIRD-SAFE GLAZING TREATMENT IS REQUIRED SUCH THAT THE BIRD COLLISION ZONE (SECTION 139(c)(A)(i) AND (iii), FACING THE URBAN BIRD REFUGE CONSISTS OF NO MORE THAN 10% UNTREATED GLAZING. ADDITIONALLY, MINIMAL LIGHTING SHALL BE USED. LIGHTING SHALL BE SHIELDED, AND NO UPLIGHTING SHALL BE USED.

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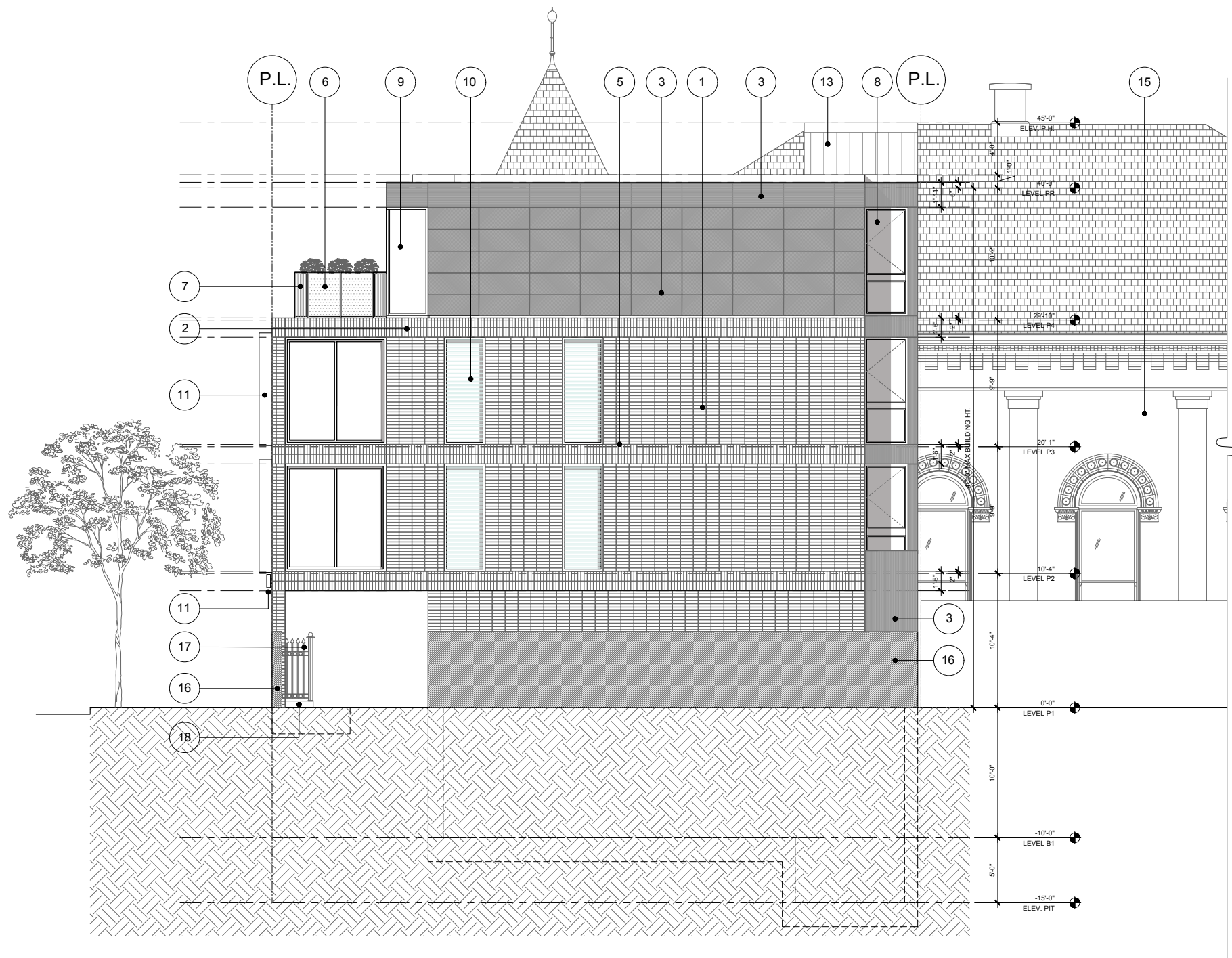
PROPOSED NORTH ELEVATION

3620 BUCHANAN

SHEET #: 11



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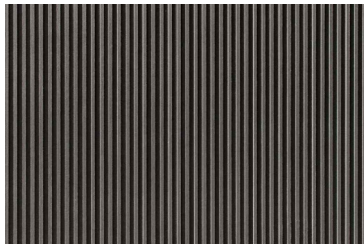


PROPOSED SOUTH ELEVATION

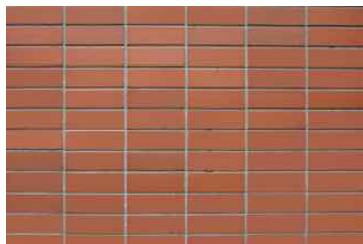
N.T.S

KEYNOTES

- |   |   |                                |
|---|---|--------------------------------|
| 1 THIN BRICK VENEER - STACK BOND (NORMAN SIZE)    | 7 ALUMINUM PICKET GUARDRAIL                         | 13 ELEVATOR PENTHOUSE - STUCCO |
| 2 THIN BRICK VENEER - SAILOR COURSE (NORMAN SIZE) | 8 ALUMINUM WINDOWS - OPERABLE W/ CLEAR GLAZING      | 14 ADJACENT BUILDING           |
| 3 EQUITONE PANEL (LINEA LT20)                     | 9 ALUMINUM WINDOWS - NON OPERABLE W/ CLEAR GLAZING  | 15 BUILDING BEYOND             |
| 4 ALUMINUM WALL PANELS                            | 10 ALUMINUM WINDOWS - NON OPERABLE W/ FRITTED GLASS | 16 EXISTING BRICK WALL         |
| 5 CONTROL JOINTS                                  | 11 ALUMINUM SHADOW BOX FRAME                        | 17 WROUGHT IRON FENCE          |
| 6 GLASS GUARDRAIL                                 | 12 CUSTOM GARAGE DOOR - WITH EQUITONE PANEL         | 18 CONCRETE CURB               |



EQUITONE PANEL



THIN BRICK

NOTE: PER PLANNING CODE SECTION 139, BIRD-SAFE GLAZING TREATMENT IS REQUIRED SUCH THAT THE BIRD COLLISION ZONE (SECTION 139(c)(A)(i) AND (iii), FACING THE URBAN BIRD REFUGE CONSISTS OF NO MORE THAN 10% UNTREATED GLAZING. ADDITIONALLY, MINIMAL LIGHTING SHALL BE USED. LIGHTING SHALL BE SHIELDED, AND NO UPLIGHTING SHALL BE USED.

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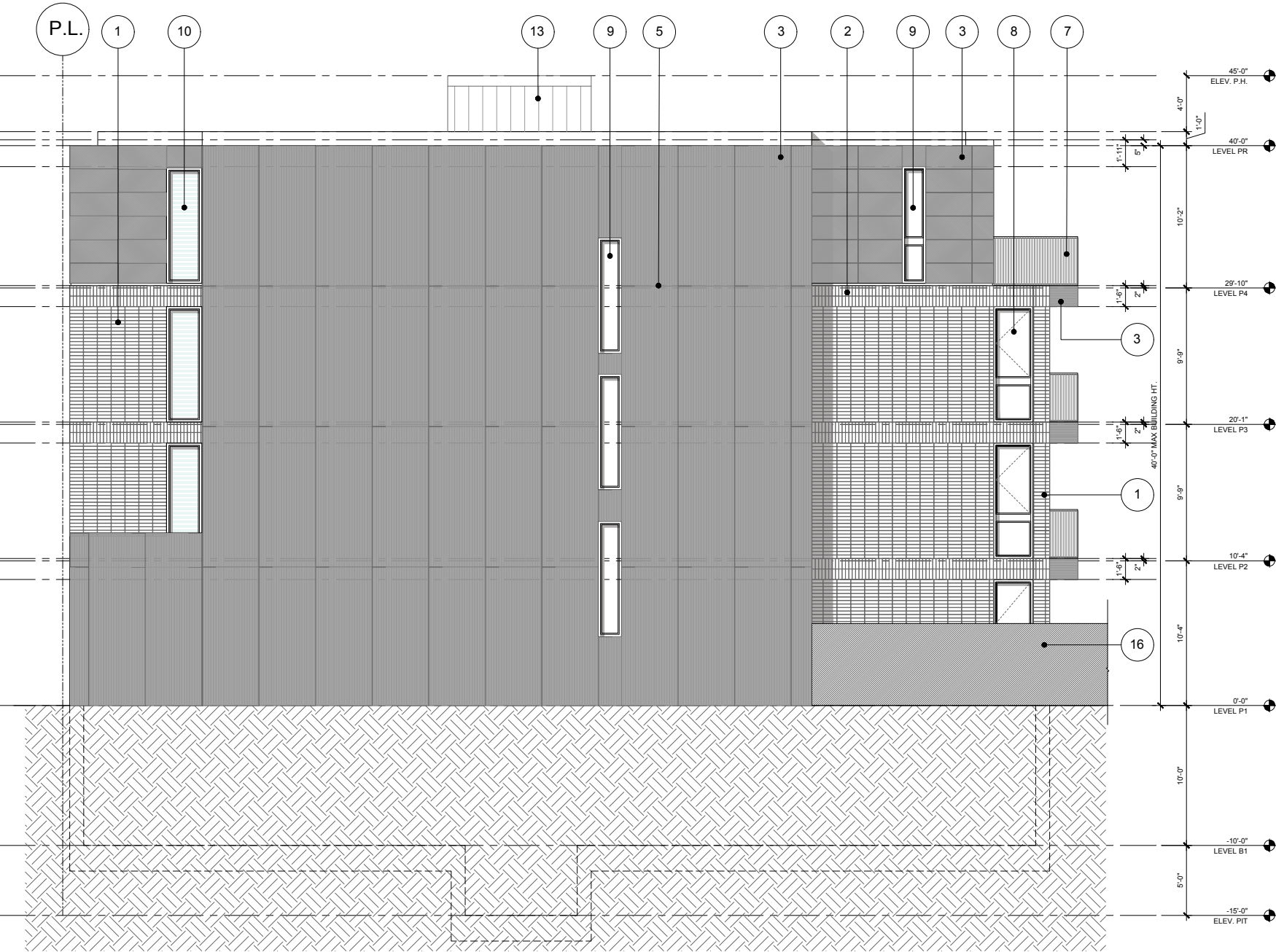
PROPOSED SOUTH ELEVATION

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SHEET #: 12

**ib+a**  
architecture

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PROPOSED EAST ELEVATION

N.T.S

KEYNOTES

- 1

THIN BRICK VENEER - STACK BOND (NORMAN SIZE)
- 2

THIN BRICK VENEER - SAILOR COURSE (NORMAN SIZE)
- 3

EQUITONE PANEL (LINEA LT20)
- 4

ALUMINUM WALL PANELS
- 5

CONTROL JOINTS
- 6

GLASS GUARDRAIL

7

ALUMINUM PICKET GUARDRAIL

8

ALUMINUM WINDOWS - OPERABLE W/ CLEAR GLAZING

9

ALUMINUM WINDOWS - NON OPERABLE W/ CLEAR GLAZING

10

ALUMINUM WINDOWS - NON OPERABLE W/ FRITTED GLASS

11

ALUMINUM SHADOW BOX FRAME

12

CUSTOM GARAGE DOOR - WITH EQUITONE PANEL

13

ELEVATOR PENTHOUSE - STUCCO

14

ADJACENT BUILDING

15

BUILDING BEYOND

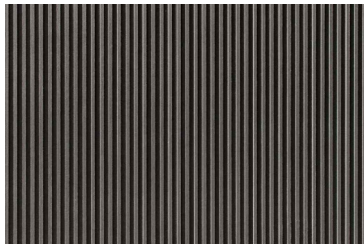
16

EXISTING BRICK WALL

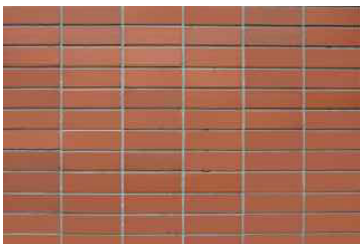
17

WROUGHT IRON FENCE

18

CONCRETE CURB

EQUITONE PANEL



THIN BRICK

NOTE: PER PLANNING CODE SECTION 139, BIRD-SAFE GLAZING TREATMENT IS REQUIRED SUCH THAT THE BIRD COLLISION ZONE (SECTION 139(c)(A)(i) AND (iii), FACING THE URBAN BIRD REFUGE CONSISTS OF NO MORE THAN 10% UNTREATED GLAZING. ADDITIONALLY, MINIMAL LIGHTING SHALL BE USED. LIGHTING SHALL BE SHIELDED, AND NO UPLIGHTING SHALL BE USED.

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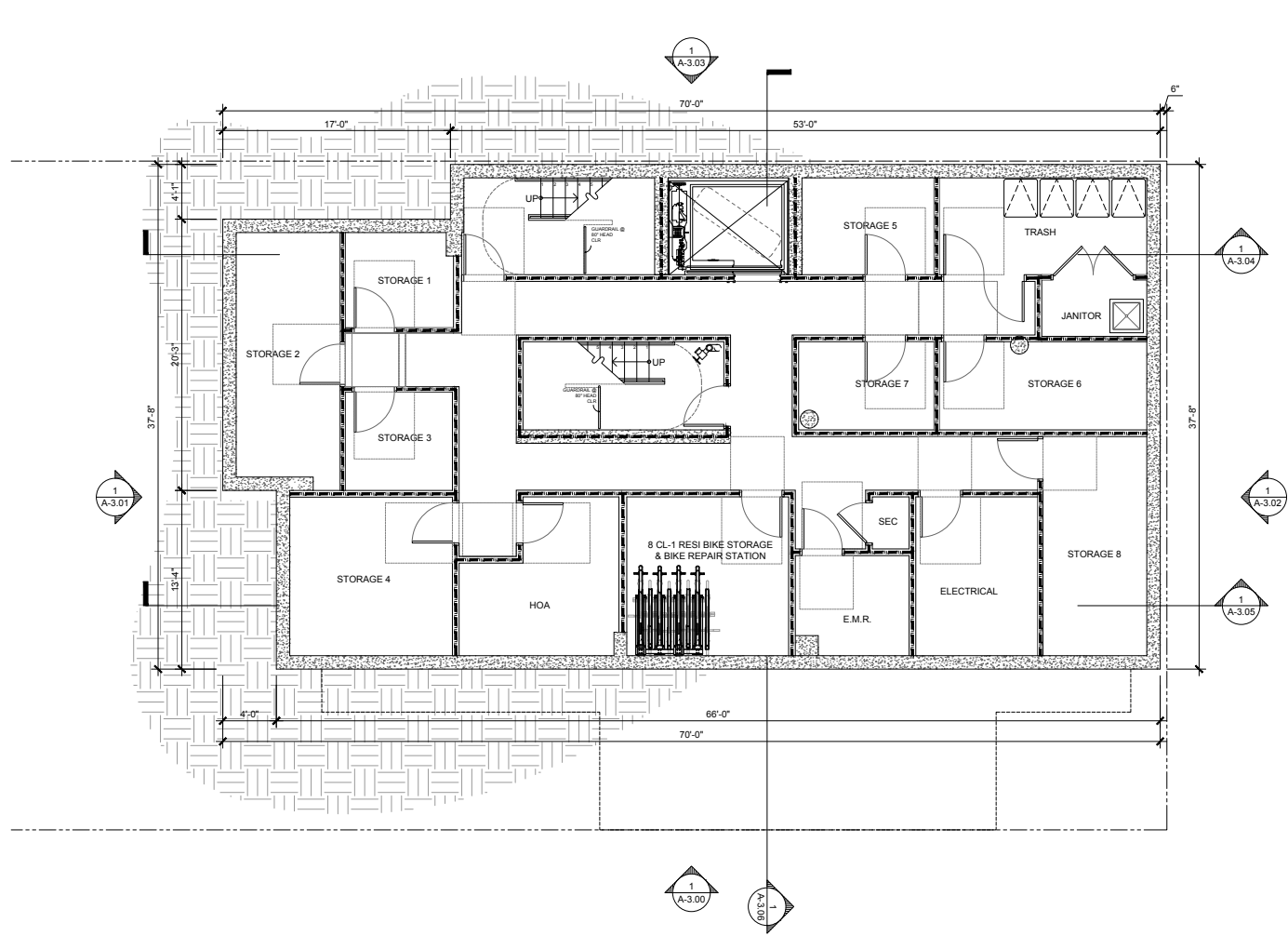
PROPOSED EAST ELEVATION

3620 BUCHANAN

SHEET #: 13



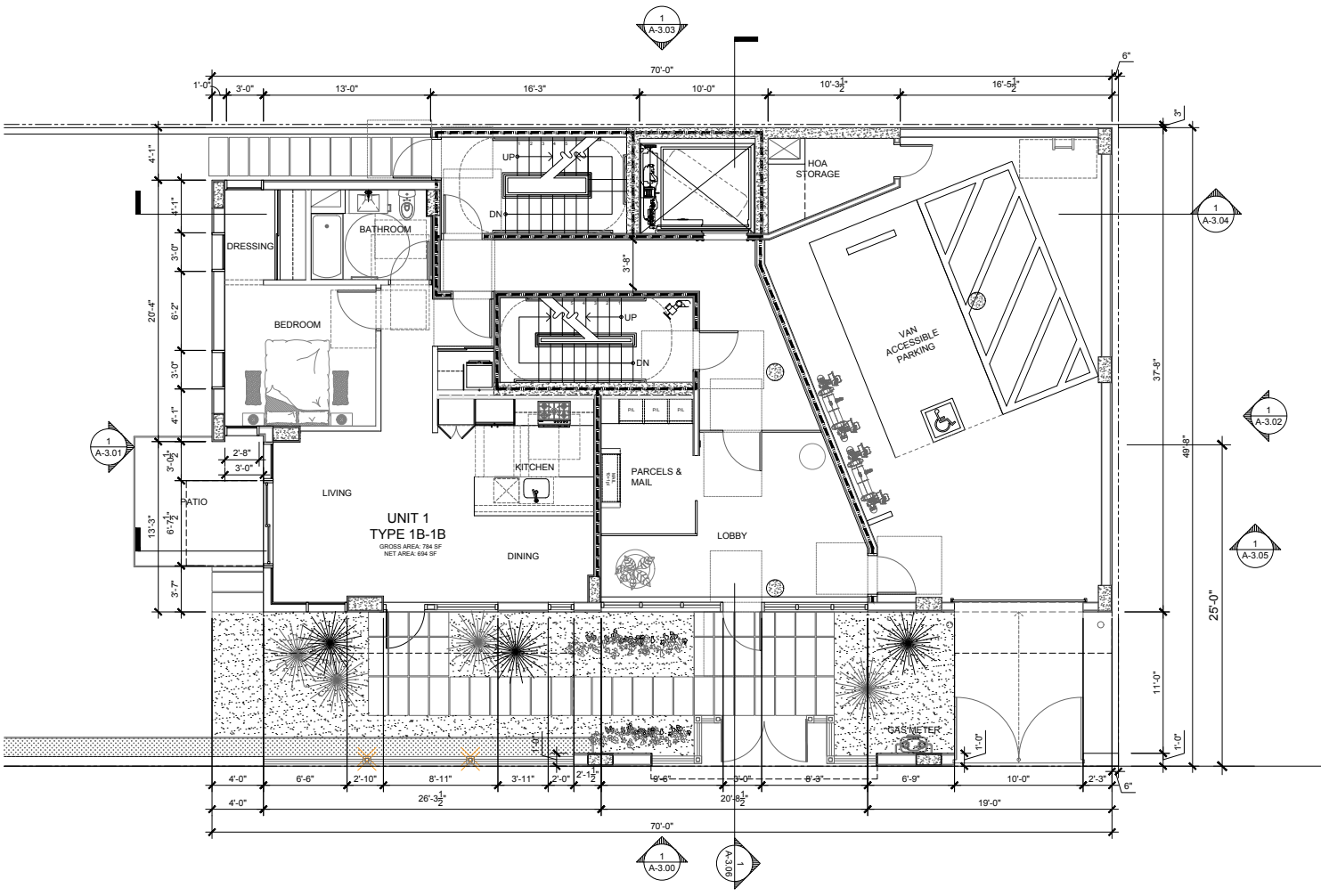
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- LEGEND**
- 1 HOUR FIRE RATED WALL
  - 2 HOUR FIRE RATED WALL
  - 3 HOUR FIRE RATED WALL

PROPOSED B1 PLAN

N.T.S



- LEGEND**
- 1 HOUR FIRE RATED WALL
  - 2 HOUR FIRE RATED WALL
  - 3 HOUR FIRE RATED WALL

PROPOSED P1 PLAN

N.T.S

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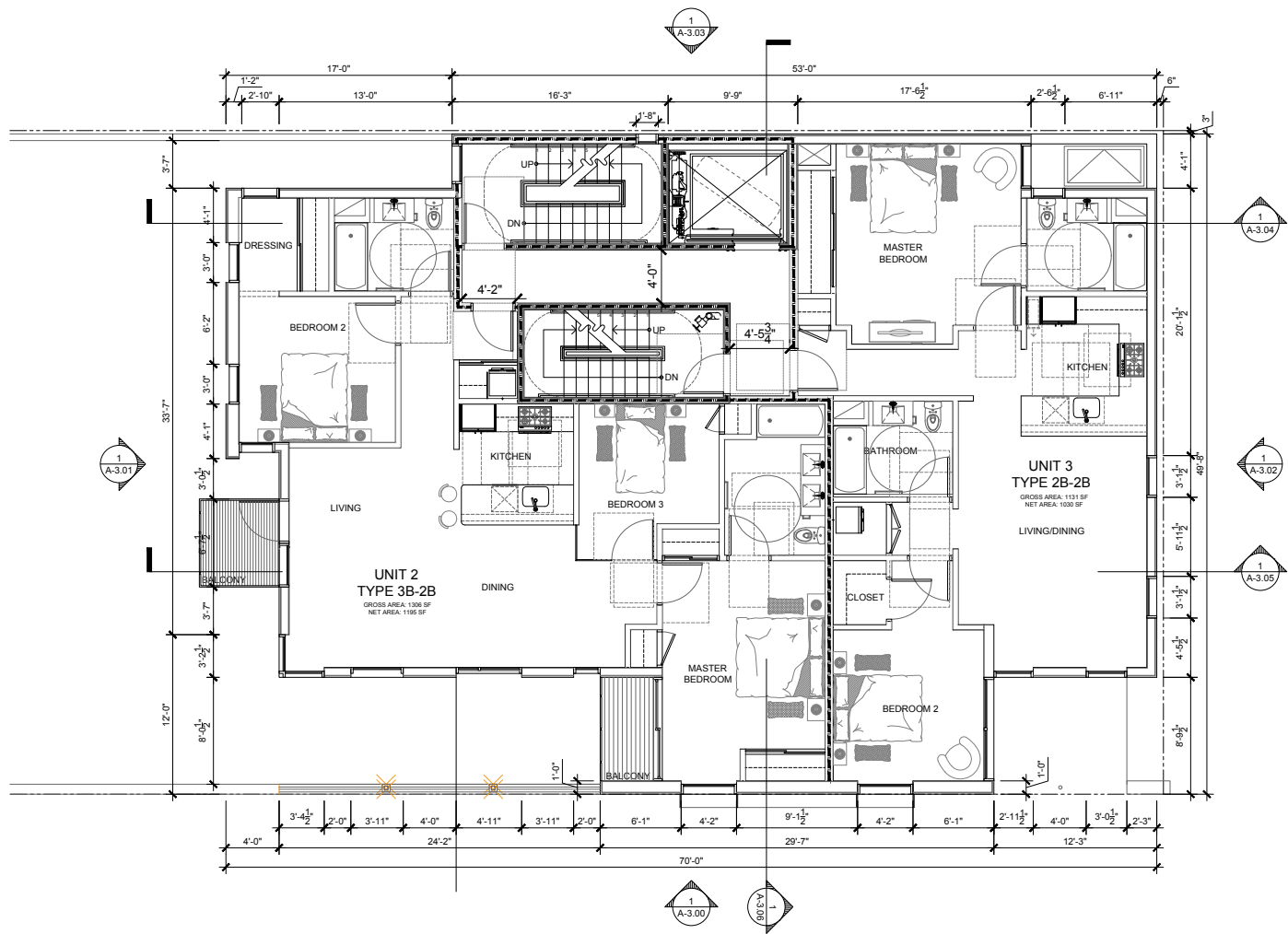
**PROPOSED BUILDING PLANS:  
BASEMENT + FIRST FLOOR**

3620 BUCHANAN

SHEET #: 14



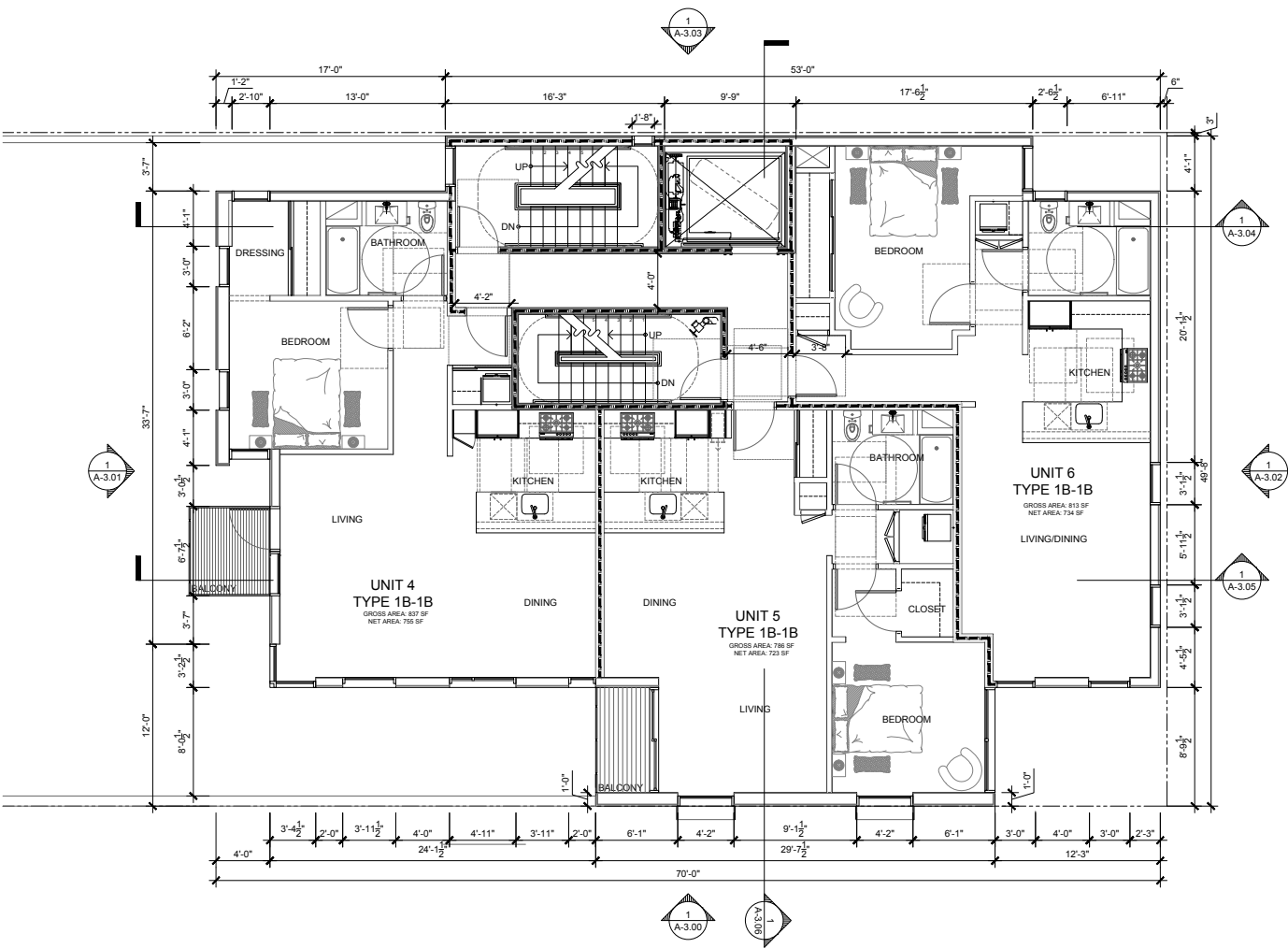
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- LEGEND
- 1 HOUR FIRE RATED WALL
  - 2 HOUR FIRE RATED WALL
  - 3 HOUR FIRE RATED WALL



N.T.S



- LEGEND
- 1 HOUR FIRE RATED WALL
  - 2 HOUR FIRE RATED WALL
  - 3 HOUR FIRE RATED WALL

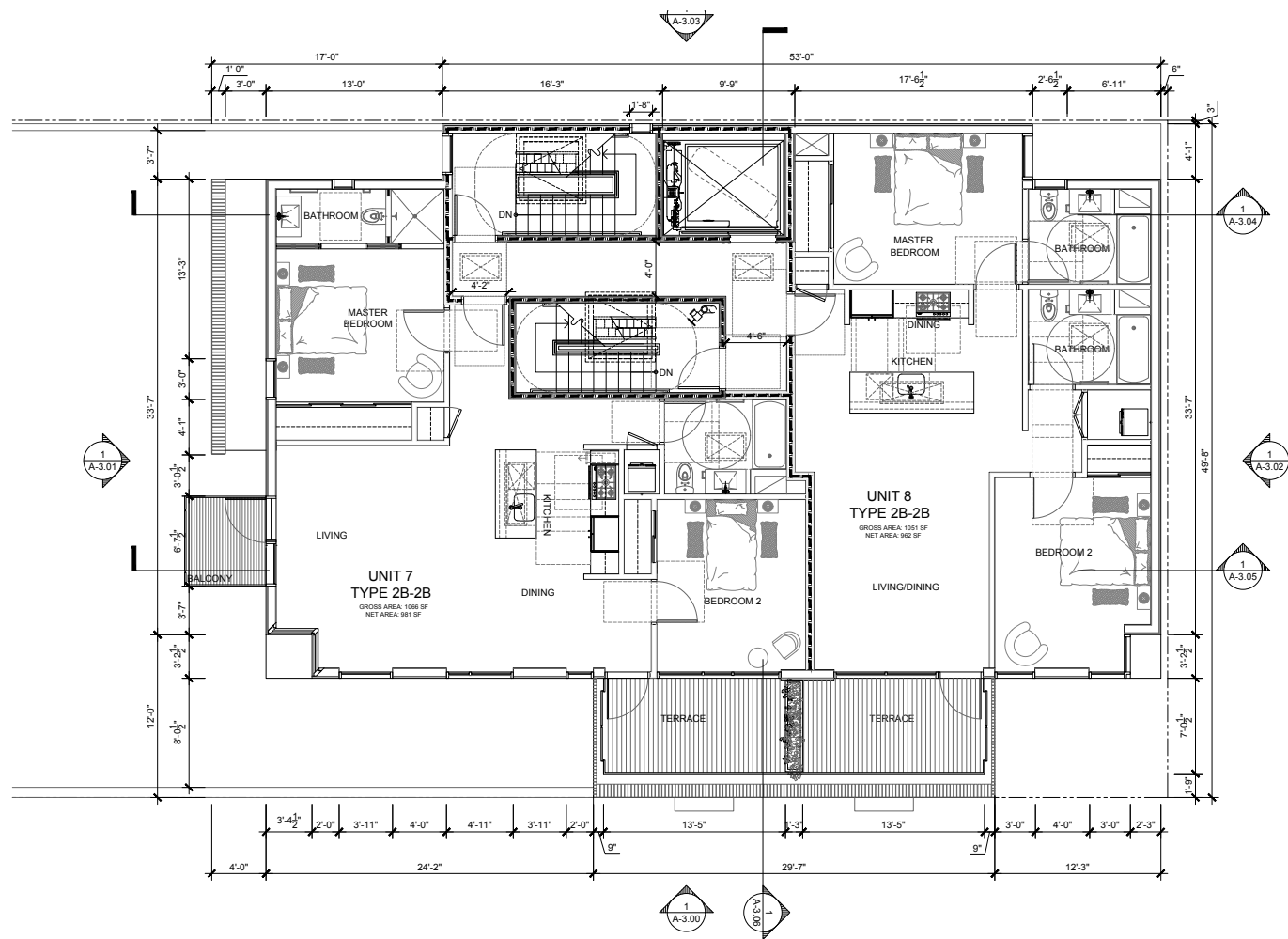


N.T.S

PROPOSED P2 PLAN

PROPOSED P3 PLAN

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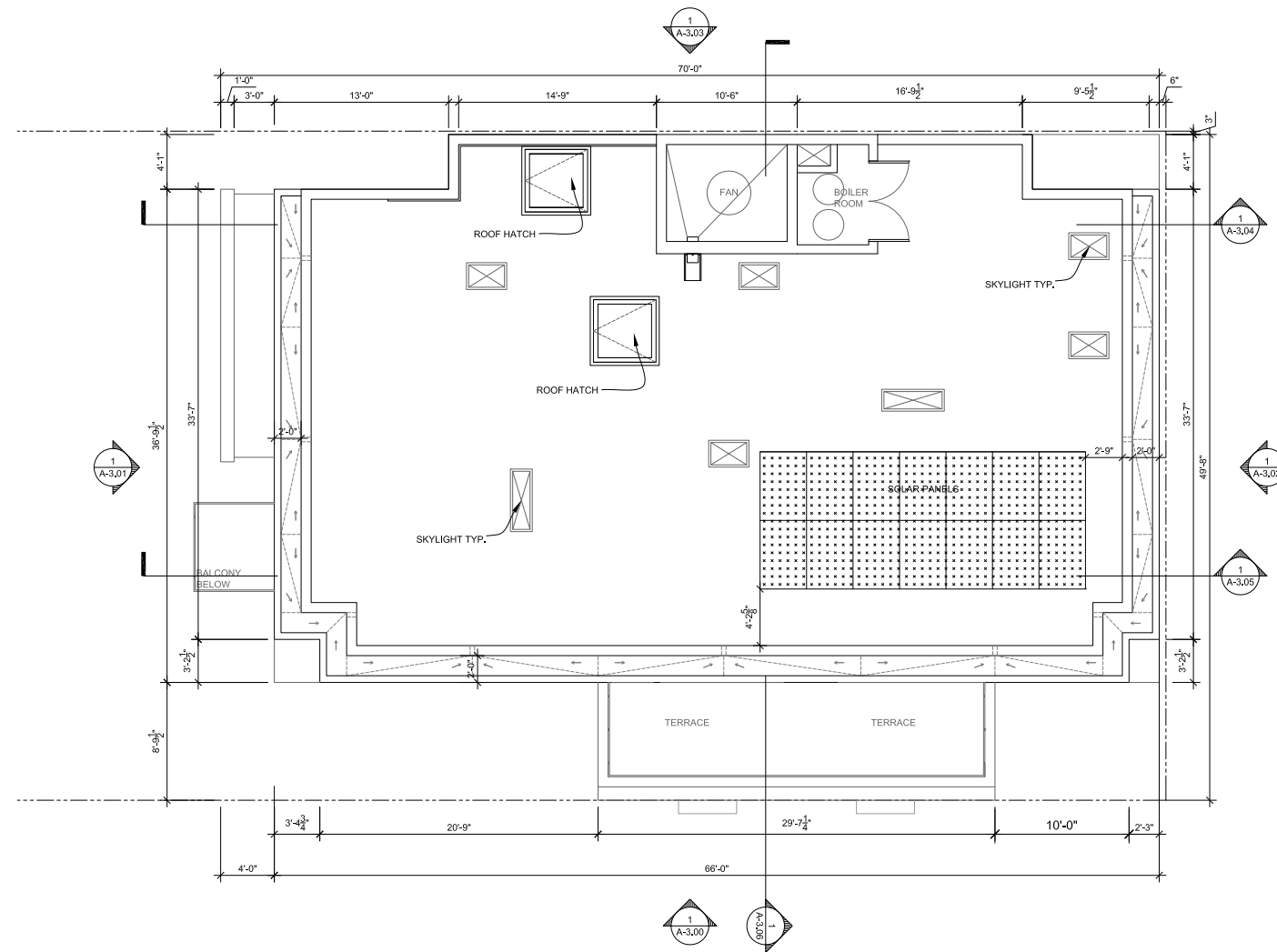


#### LEGEND

- 1 HOUR FIRE RATED WALL
- 2 HOUR FIRE RATED WALL
- 3 HOUR FIRE RATED WALL



N.T.S



#### LEGEND

- 1 HOUR FIRE RATED WALL
- 2 HOUR FIRE RATED WALL
- 3 HOUR FIRE RATED WALL



N.T.S

PROPOSED P4 PLAN

PROPOSED ROOF PLAN

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### PROPOSED BUILDING PLANS FOURTH FLOOR + ROOF

3620 BUCHANAN

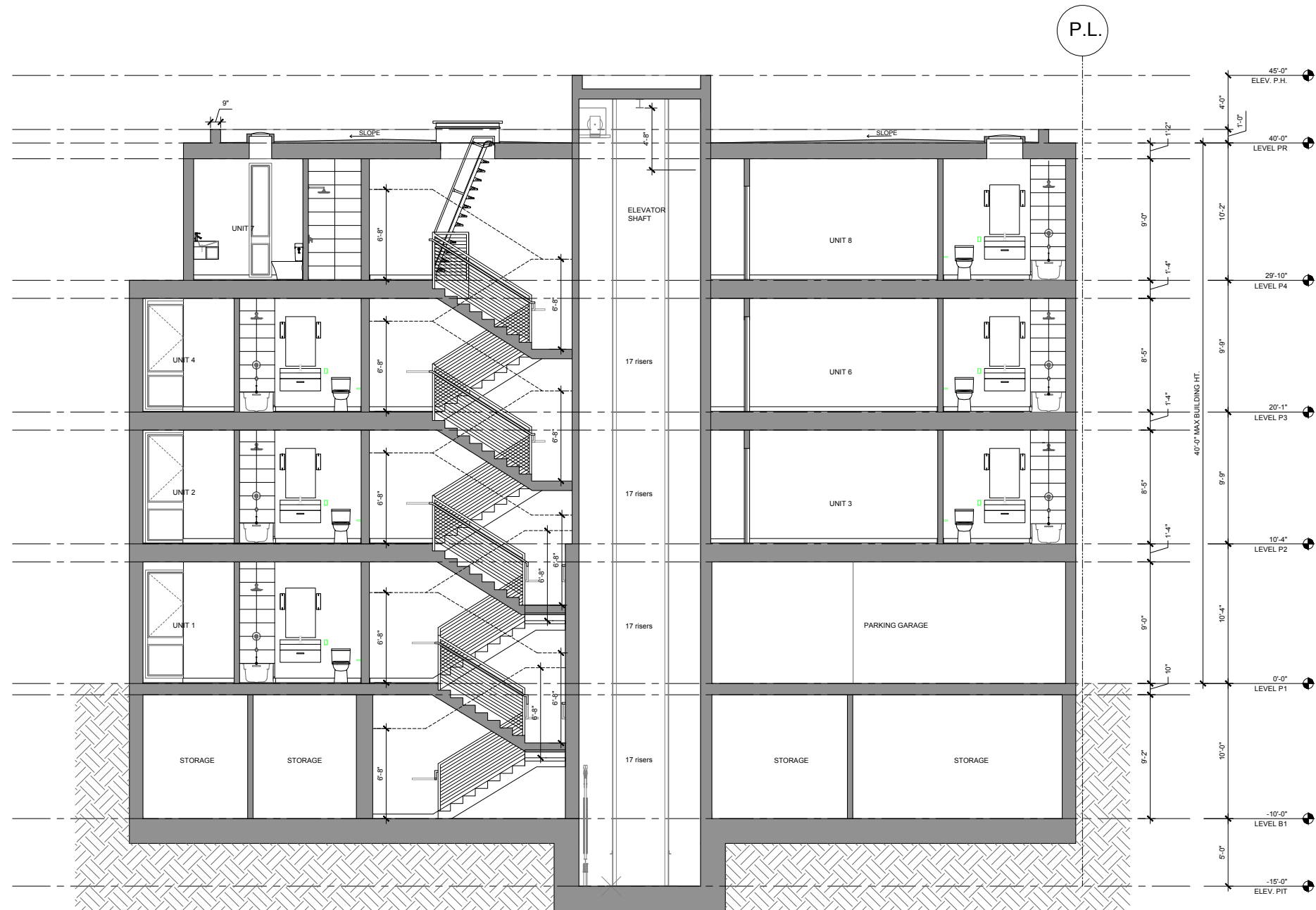
SHEET #: 16



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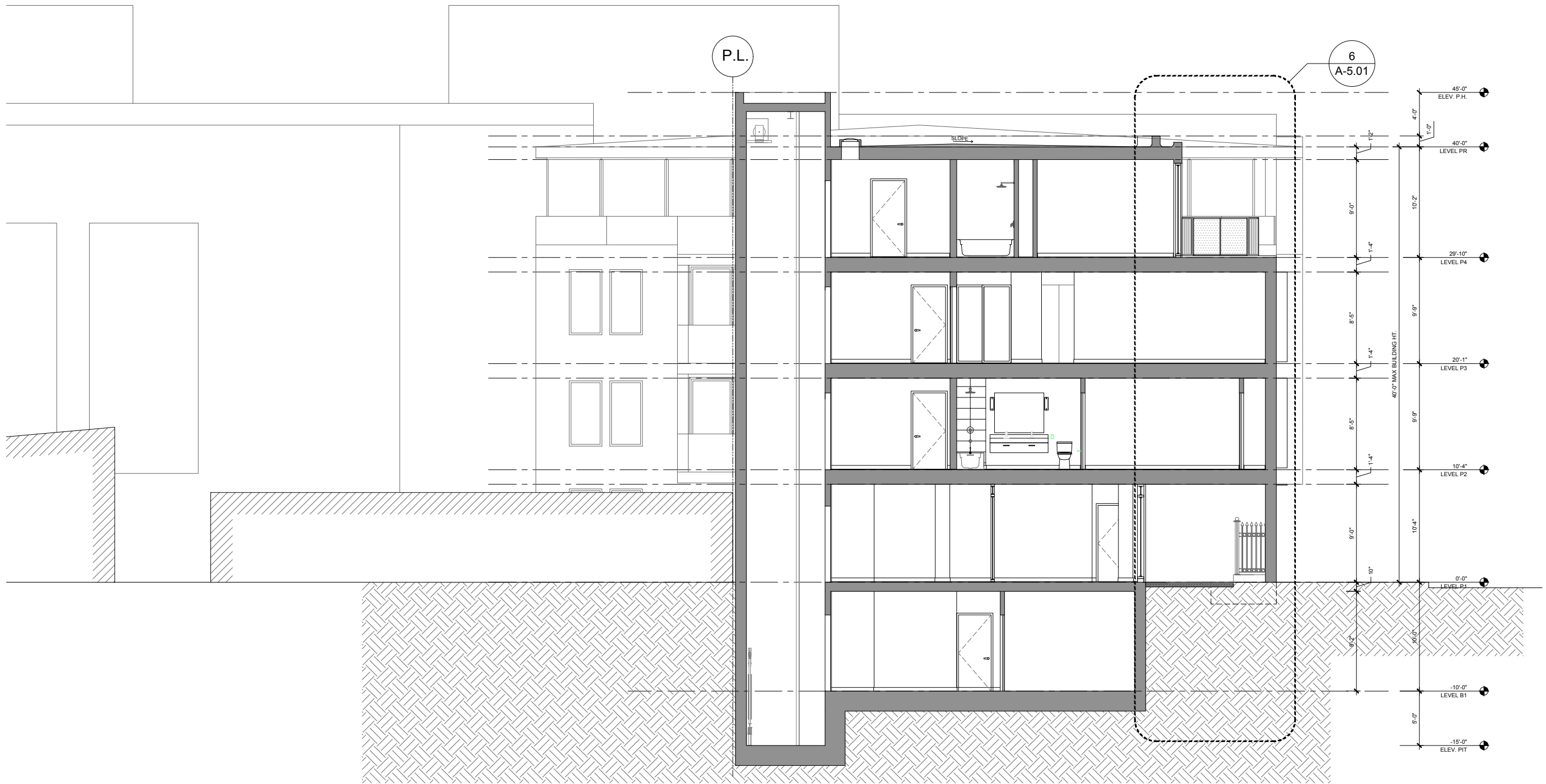
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**BUILDING SECTION 2**

**N.T.S**

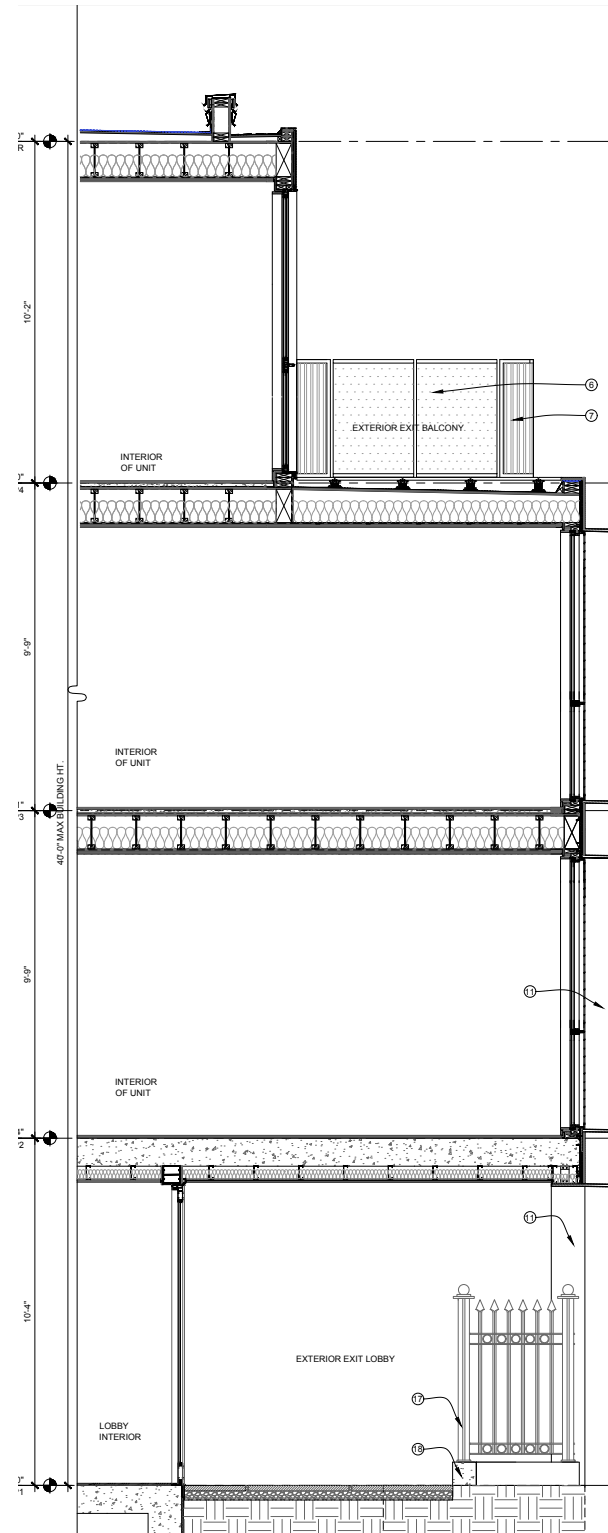
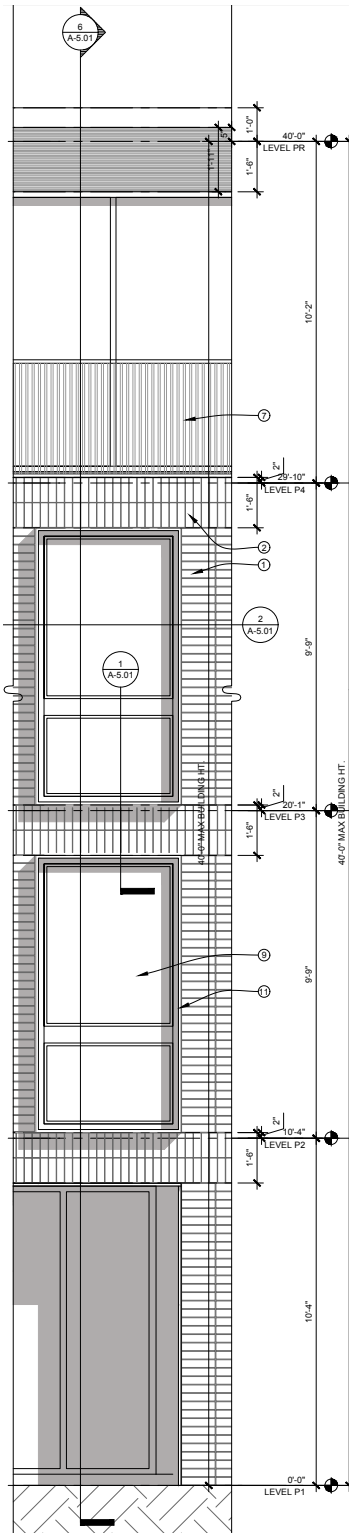
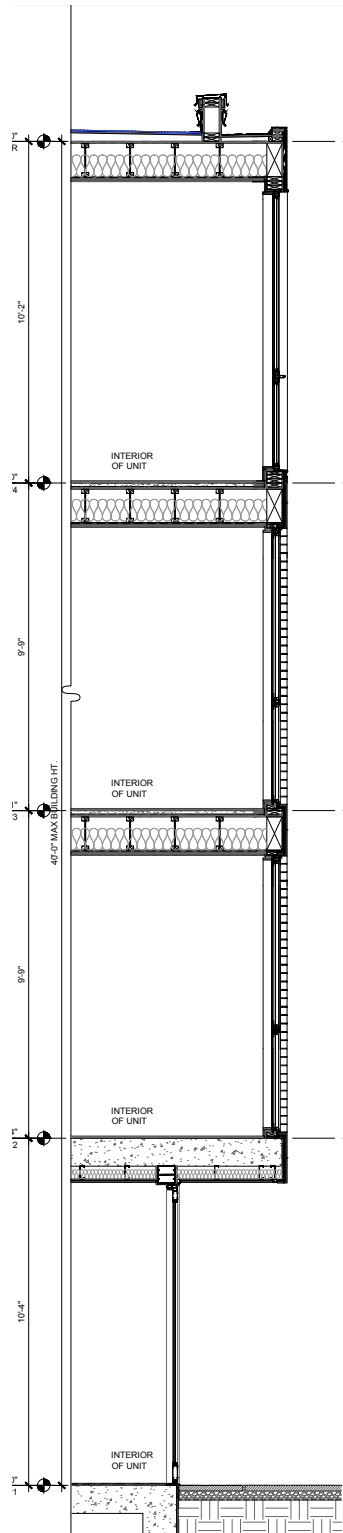
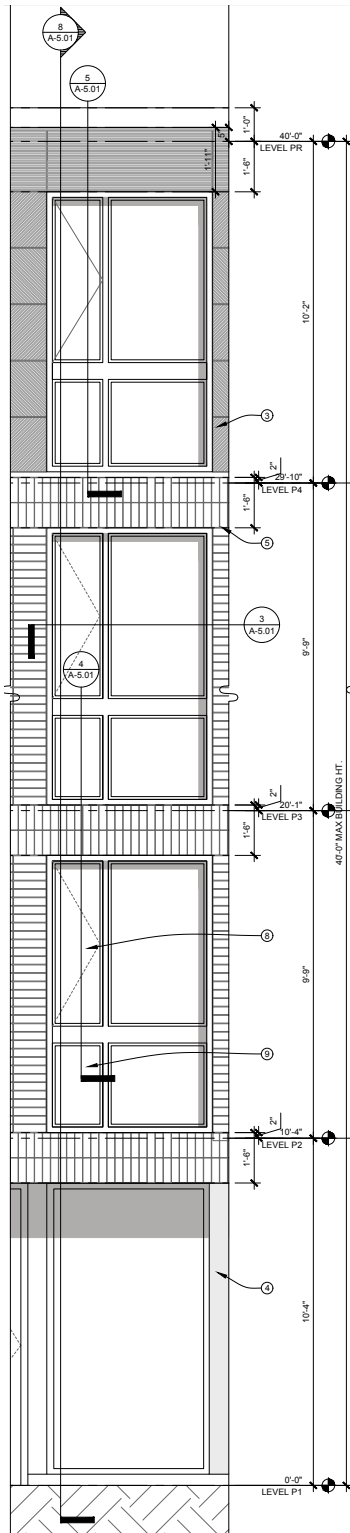
<p>Tusker Corporation 3636 Buchanan St. San Francisco, CA 94123</p>	<p>Date of Package: July 31, 2018</p>	<p><b>PROPOSED BUILDING SECTION</b></p>	<p>3620 BUCHANAN</p> <p>SHEET #: 18</p>	<p><b>ib+a</b> architecture</p> <p>Ian Birchall and Associates 251 South Van Ness Ave, Suite 300 San Francisco, CA 94103 p: 415.512.9660 f: 415.512.9663 www.ibadesign.com</p>
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BUILDING SECTION 3

N.T.S

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			SHEET #: 19	



- 1 THIN BRICK VENEER - STACK BOND (NORMAN SIZE)
- 2 THIN BRICK VENEER - SAILOR COURSE (NORMAN SIZE)
- 3 EQUITONE PANEL (LINEA LT20)
- 4 ALUMINUM WALL PANELS
- 5 CONTROL JOINTS
- 6 GLASS GUARDRAIL
- 7 ALUMINUM PICKET GUARDRAIL
- 8 ALUMINUM WINDOWS - OPERABLE W/ CLEAR GLAZING
- 9 ALUMINUM WINDOWS - NON OPERABLE W/ CLEAR GLAZING
- 10 ALUMINUM WINDOWS - NON OPERABLE W/ FRITTED GLASS
- 11 ALUMINUM SHADOW BOX FRAME
- 12 CUSTOM GARAGE DOOR - WITH EQUITONE PANEL
- 13 ELEVATOR PENTHOUSE - STUCCO
- 14 ADJACENT BUILDING
- 15 BUILDING BEYOND
- 16 EXISTING BRICK WALL
- 17 WROUGHT IRON FENCE
- 18 CONCRETE CURB

FRONT ELEVATION

N.T.S

WALL SECTION

N.T.S

FRONT ELEVATION

N.T.S

WALL SECTION

N.T.S

KEYNOTES

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July 31, 2018

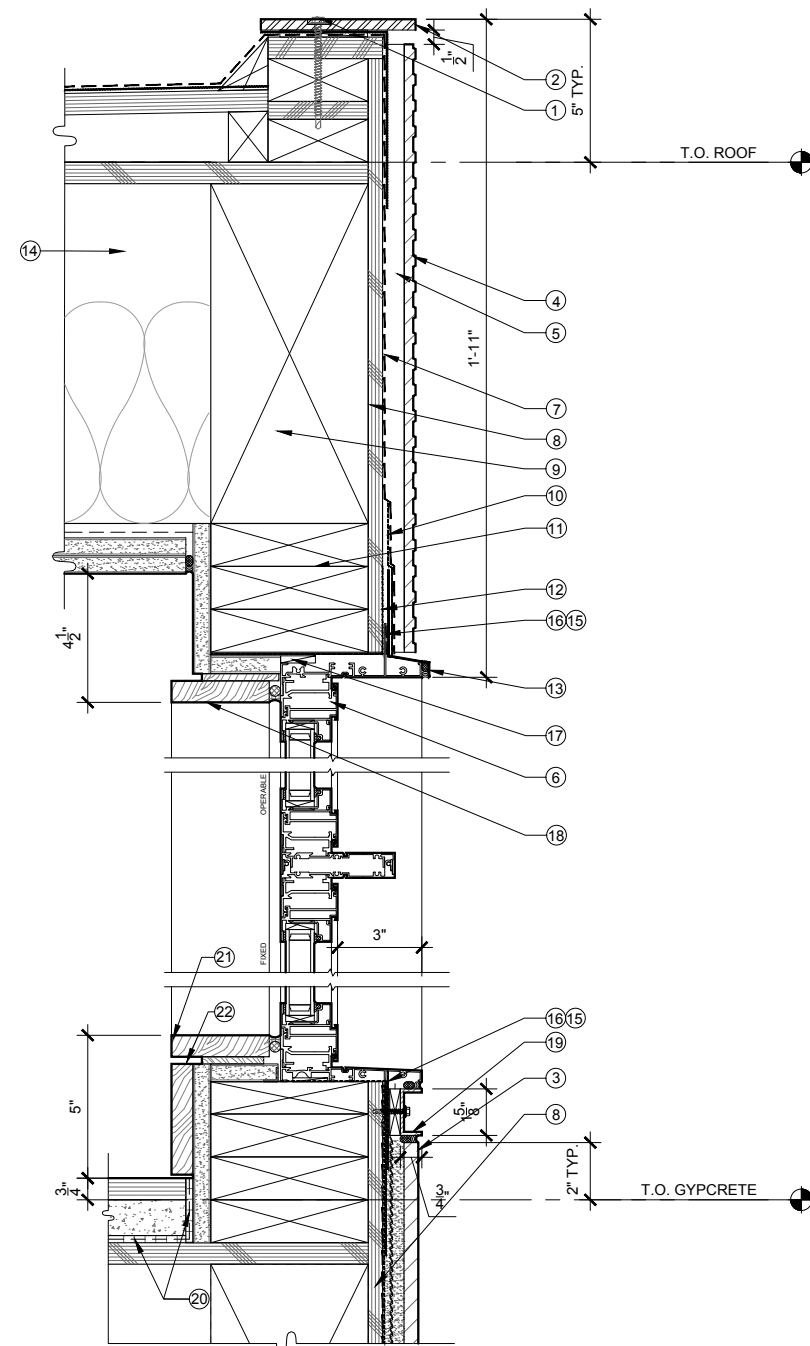
PROPOSED WALL SECTIONS

3620 BUCHANAN

SHEET #: 20

**ib+a**  
architecture

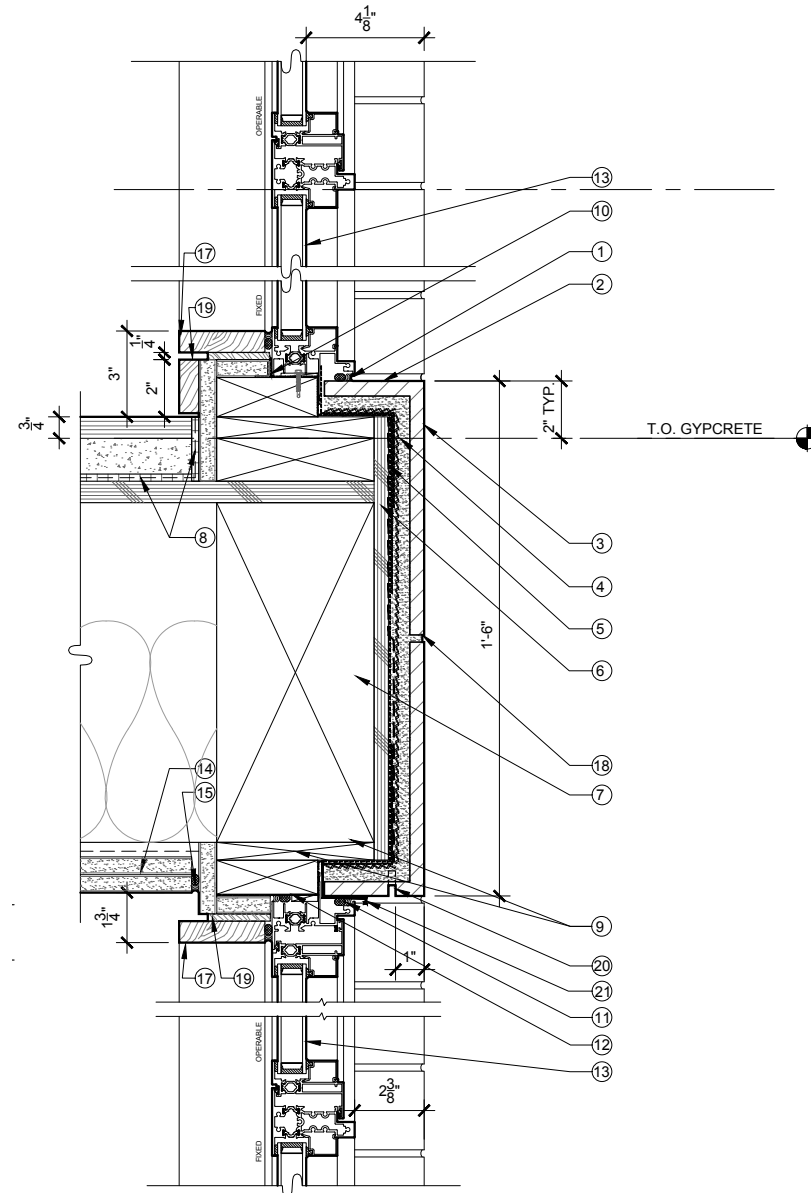
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- ① SSTL  $\frac{3}{8}$ "  $\varnothing$  COACH BOLT & WASHER @ 36" O.C. MAX SET IN 2 CONT. BEADS OF SEALANT
- ② 3/8" ALUM. PC
- ③ THIN BRICK VENEER, SEE SPEC.
- ④ EQUITONE PANEL
- ⑤ FURRING STRIP 16" O.C.
- ⑥ WINDOW HEAD
- ⑦ WRB, 2 LAYERS O/ QUICKFLASH
- ⑧ PLYWOOD AS REQUIRED, S.S.D.
- ⑨ 6X12 RIM JOINT, S.S.D.
- ⑩ 9" WIDE STRAIGHT FLASH O/ HEAD FLASHING
- ⑪ 2X6 TOP PLATES, S.S.D.
- ⑫ 9" FLEX WRAP.
- ⑬ ALUM HEAD FLASHING TO MATCH WINDOW FR. COLOR
- ⑭ 1 HR RATED ROOF ASSEMBLY SEE SCHED
- ⑮ FLUID APPLIED FLASHING AND JOINT COMPOUND O/ NAIL FIN
- ⑯ NAIL FIN O/ CONT. BEAD OF SEALANT
- ⑰ SHIM
- ⑱ TRIM, SEE SPEC.
- ⑲ ALUMINUM C CHANNEL TO MATCH WINDOW O/ FURRING STRIP EMBEDDED IN A CONTINUOUS BEAD OF SEALANT
- ⑳ ACOUSTIC MAT
- ㉑  $\frac{3}{4}$ " WOOD CASING
- ㉒  $\frac{1}{4}$ " BLACKED OUT REVEAL

## WINDOW HEAD @ EQUITONE

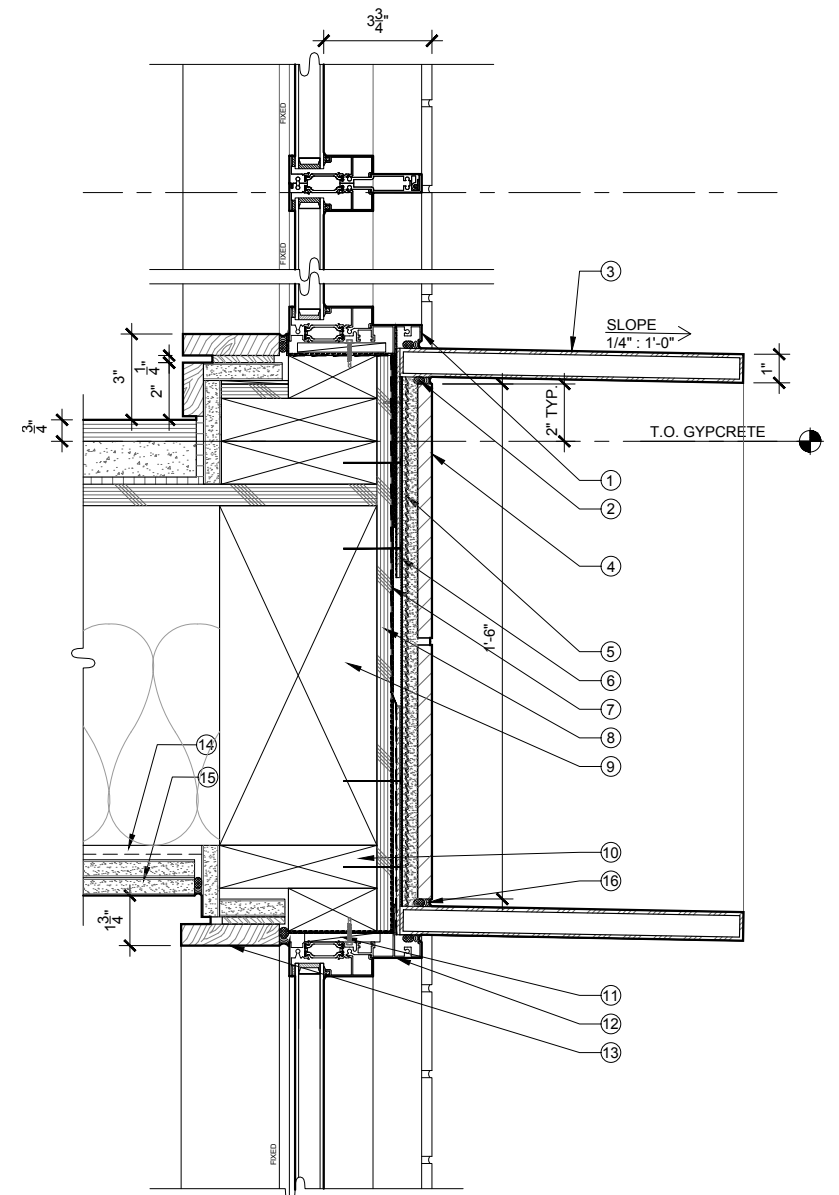
N.T.S



- ① BACKER ROD AND SEALANT WITH WEEPS
- ② WINDOW SILL
- ③ THIN BRICK VENEER, SEE SPEC.
- ④ LATH WITH 1/2" TO 3/4" MODIFIED MORTAR AND 1/8" ADHESIVE
- ⑤ WRB, 2 LAYERS O/ QUICKFLASH
- ⑥ PLYWOOD S.S.D.
- ⑦ 6X12, S.S.D.
- ⑧ ACOUSTIC MAT
- ⑨ BLOCKING, RIP TO FIT
- ⑩ BACK DAM IN FULL BED OF SEALANT
- ⑪ BACKER ROD AND SEALANT
- ⑫ SHIM
- ⑬ THERMALLY BROKEN ALUM. WINDOW
- ⑭ (2) LAYERS OF 5/8" GYP.
- ⑮ BR
- ⑯  $\frac{3}{4}$ " WOOD CASING
- ⑰ MAX  $\frac{1}{8}$ " MORTAR JOINT - RAKED OUT  $\frac{1}{8}$ "
- ⑱  $\frac{1}{4}$ " BLACKED OUT REVEAL
- ㉑  $\frac{1}{4}$ "  $\varnothing$  PLASTIC WEEP PIPES IN JOINTS SET FLUSH W/ MORTAR - 1 PER JOINT
- ㉒ ALUM. HEAD FLASHING - COLOR TO MATCH WINDOW FRAME

## WINDOW SILL AND HEAD @ BRICK

N.T.S



- ① WINDOW SILL
- ② BACKER ROD AND SEALANT
- ③ ALUMINUM TUBE FRAME 12" X1" COLOR TO MATCH WINDOW FRAME
- ④ THIN BRICK VENEER, 1/2" GROUT, SEE SPEC.
- ⑤ LATH OR MESH WITH 1/2" TO 3/4" MODIFIED MORTAR AND 1/8" ADHESIVE, SEE MANU.
- ⑥ ANCHOR PLATE SCREWED TO FRAMING
- ⑦ WRB, 2 LAYERS
- ⑧ PLYWOOD AS REQUIRED, S.S.D.
- ⑨ 6X12, S.S.D.
- ⑩ 2X6 TOP PLATES, S.S.D.
- ⑪ SHIM
- ⑫ WINDOW HEAD
- ⑬ TRIM, SEE SPEC.
- ⑭ ACOUSTIC MAT
- ⑮ (2) LAYERS OF 5/8" GYP.
- ⑯ SEALANT W/ WEEPS

## WINDOW SILL AND HEAD WITH FIN @ BRICK

N.T.S

Tusker Corporation  
3636 Buchanan St.  
San Francisco, CA 94123

Date of Package:  
July 31, 2018

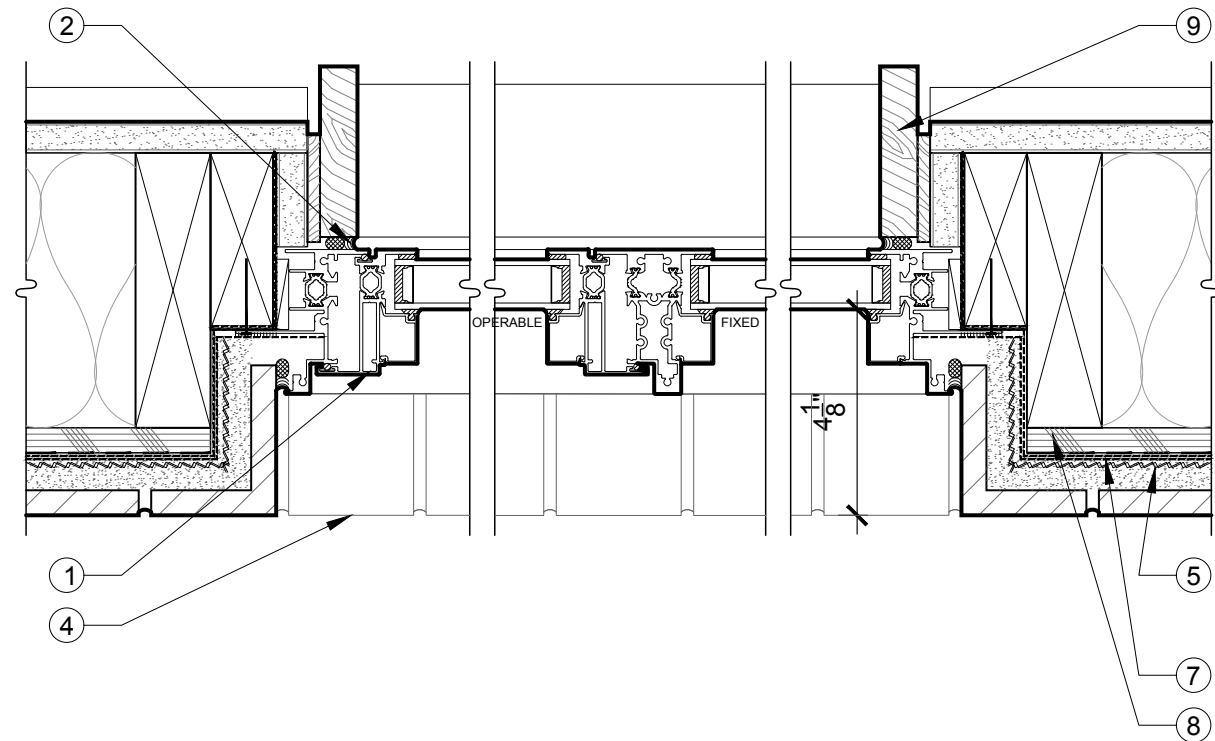
## PROPOSED WALL + WINDOW DETAILS

3620 BUCHANAN

SHEET #: 21

**ib+a**  
architecture

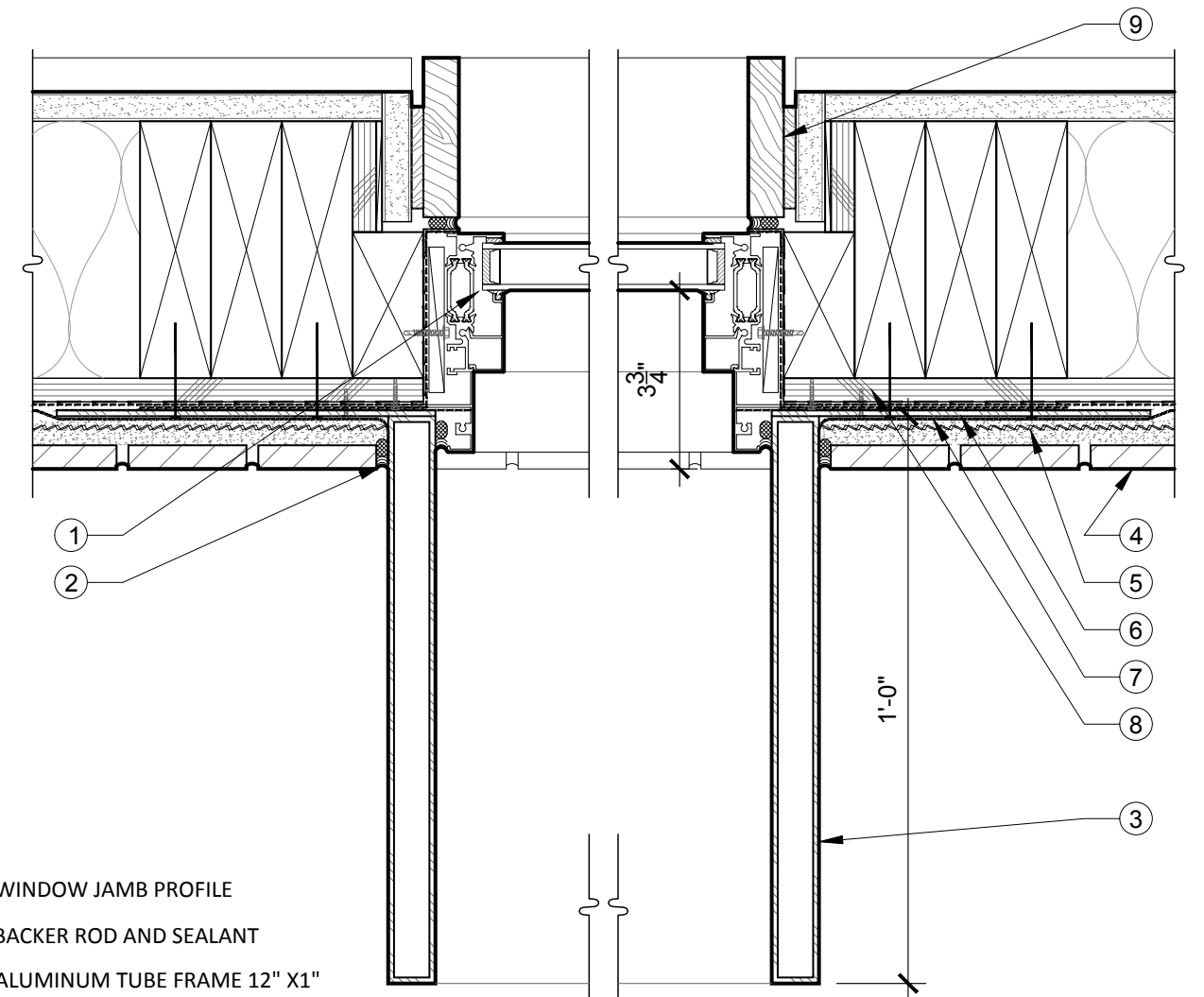
Ian Birchall and Associates  
251 South Van Ness Ave, Suite 300  
San Francisco, CA 94103  
p: 415.512.9660  
f: 415.512.9663  
www.ibadesign.com



- ① WINDOW JAMB PROFILE
- ② BACKER ROD AND SEALANT
- ③ ALUMINUM TUBE FRAME 12" X1" COLOR TO MATCH WINDOW FRAME
- ④ THIN BRICK VENEER, 1/2" GROUT, SEE SPEC.
- ⑤ LATH OR MESH WITH 1/2" TO 3/4" MODIFIED MORTAR AND 1/8" ADHESIVE, SEE MANU.
- ⑥ ANCHOR PLATE SCREWED TO FRAMING
- ⑦ WRB, 2 LAYERS
- ⑧ PLYWOOD AS REQUIRED, S.S.D.
- ⑨ TRIM, SEE SPEC.

#### WINDOW JAMB @ BRICK WALL

N.T.S



- ① WINDOW JAMB PROFILE
- ② BACKER ROD AND SEALANT
- ③ ALUMINUM TUBE FRAME 12" X1" COLOR TO MATCH WINDOW FRAME
- ④ THIN BRICK VENEER, 1/2" GROUT, SEE SPEC.
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- ⑥ ANCHOR PLATE SCREWED TO FRAMING
- ⑦ WRB, 2 LAYERS
- ⑧ PLYWOOD AS REQUIRED, S.S.D.
- ⑨ TRIM, SEE SPEC.

#### WINDOW JAMB WITH FIN @ BRICK WALL

N.T.S

Tusker Corporation  
3636 Buchanan St.  
San Francisco, CA 94123

Date of Package:  
July 31, 2018

#### PROPOSED WALL + WINDOW DETAILS

3620 BUCHANAN

SHEET #: 22

**ib+a**  
architecture

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San Francisco, CA 94103  
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f: 415.512.9663  
www.ibadesign.com



Tusker Corporation  
3636 Buchanan St.  
San Francisco, CA 94123

Date of Package:  
July 31, 2018

# **AERIAL VIEW OF PROPOSED DESIGN FOR 3620 BUCHANAN**

3620 BUCHANAN

SHEET #: 23

**ib+a**  
architecture

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San Francisco, CA 94103  
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Tusker Corporation  
3636 Buchanan St.  
San Francisco, CA 94123

Date of Package:  
July 31, 2018

**VIEW OF PROPOSED DESIGN FOR 3620 BUCHANAN  
FROM THE INTERSECTION OF BUCHANAN AND NORTH POINT**

3620 BUCHANAN

SHEET #: 24

**ib+a**  
architecture

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251 South Van Ness Ave, Suite 300  
San Francisco, CA 94103  
p: 415.512.9660  
f: 415.512.9663  
www.ibadesign.com



Tusker Corporation  
3636 Buchanan St.  
San Francisco, CA 94123

Date of Package:  
July 31, 2018

**VIEW OF PROPOSED DESIGN FROM  
THE LANDMARK BUILDING TOWARDS 3620 BUCHANAN**

3620 BUCHANAN

SHEET #: 25

**ib+a**  
architecture

Ian Birchall and Associates  
251 South Van Ness Ave, Suite 300  
San Francisco, CA 94103  
p: 415.512.9660  
f: 415.512.9663  
[www.ibadesign.com](http://www.ibadesign.com)



Tusker Corporation  
3636 Buchanan St.  
San Francisco, CA 94123

Date of Package:  
July 31, 2018

# **VIEW OF PROPOSED DESIGN FOR 3620 BUCHANAN**

3620 BUCHANAN

SHEET #: 26

**ib+a**  
architecture

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251 South Van Ness Ave, Suite 300  
San Francisco, CA 94103  
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f: 415.512.9663  
www.ibadesign.com



Tusker Corporation  
3636 Buchanan St.  
San Francisco, CA 94123

Date of Package:  
July 31, 2018

# **VIEW OF PROPOSED DESIGN FOR 3620 BUCHANAN**

3620 BUCHANAN

SHEET #: 27

**ib+a**  
architecture

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251 South Van Ness Ave, Suite 300  
San Francisco, CA 94103  
p: 415.512.9660  
f: 415.512.9663  
[www.ibadesign.com](http://www.ibadesign.com)



Tusker Corporation  
3636 Buchanan St.  
San Francisco, CA 94123

Date of Package:  
July 31, 2018

**VIEW FROM 3620 BUCHANAN  
TOWARDS THE LANDMARK BUILDING**

3620 BUCHANAN

SHEET #: 28

**ib+a**  
architecture

Ian Birchall and Associates  
251 South Van Ness Ave, Suite 300  
San Francisco, CA 94103  
p: 415.512.9660  
f: 415.512.9663  
www.ibadesign.com



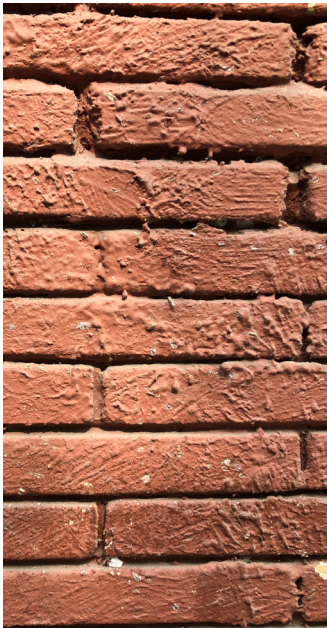
BUCHANAN STREET ELEVATION



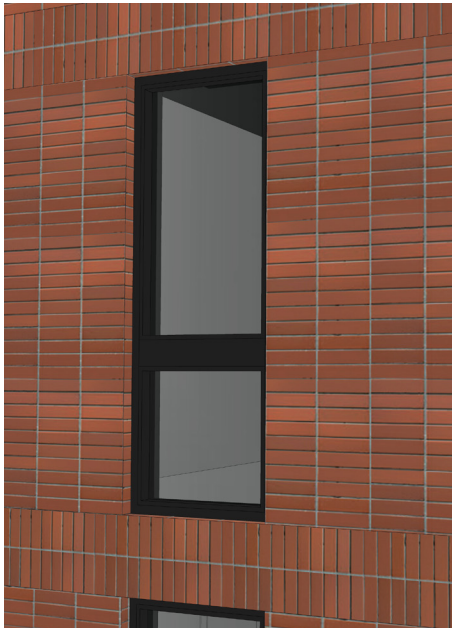
1. LANDMARK BUILDING - TYPICAL WINDOW



2. LANDMARK BUILDING BRICK



3. EXISTING GARDEN WALL BRICK



4. 3620 BUCHANAN - PROPOSED TYPICAL WINDOW



5. PROPOSED BRICK FOR SUBJECT PROPERTY



6. 1598 BAY - TYPICAL WINDOW



7. 1598 BAY ST. BRICK

WINDOW DETAIL IMAGES

Tusker Corporation 3636 Buchanan St. San Francisco, CA 94123	Date of Package: July 31, 2018	VISUAL COMPATABILITY ANALYSIS: EXISTING / PROPOSED WINDOW + BRICK DESIGN	3620 BUCHANAN	 <div>Ian Birchall and Associates 251 South Van Ness Ave, Suite 300 San Francisco, CA 94103 p: 415.512.9660 f: 415.512.9663 www.ibadesign.com</div>
			SHEET #: 29	



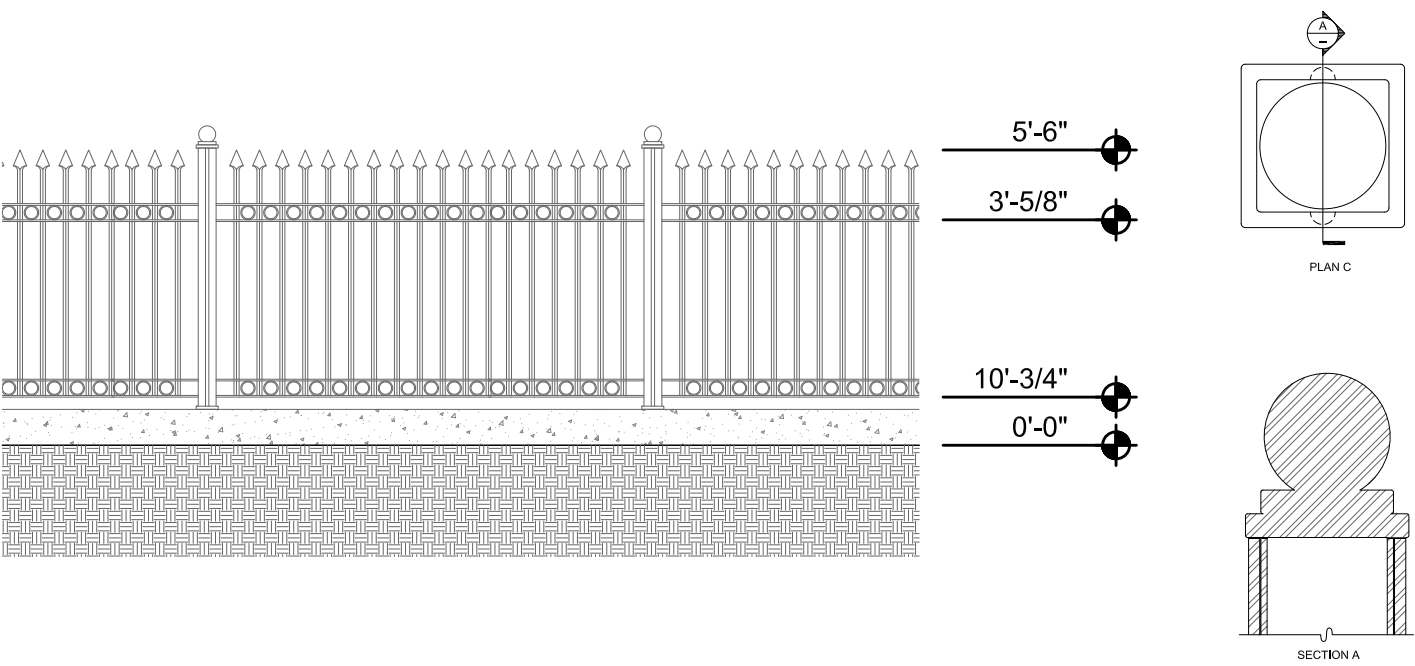
EXISTING FENCE + GATES AT LANDMARK BUILDING



PROPOSED FENCE AT 3620 BUCHANAN

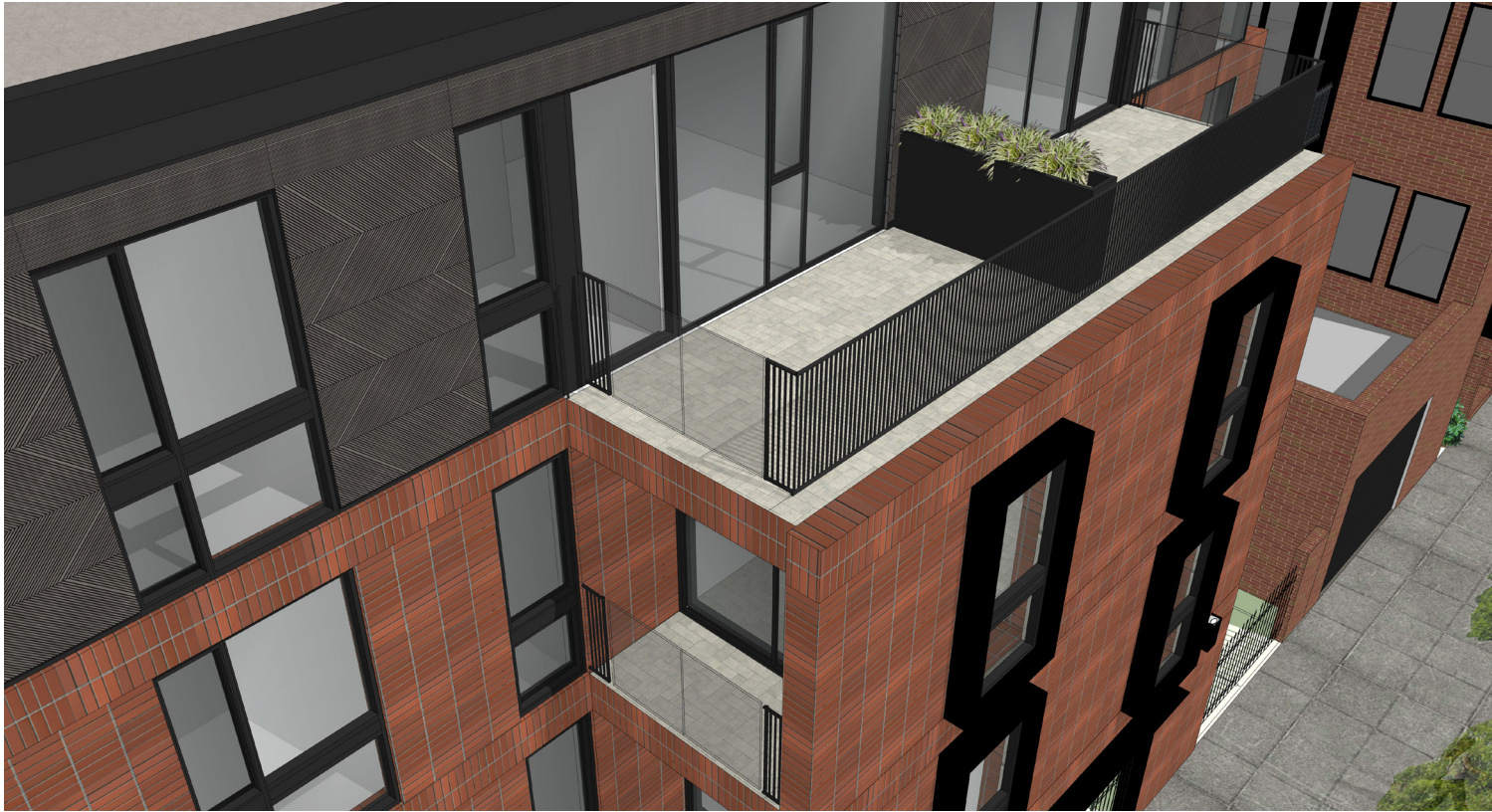
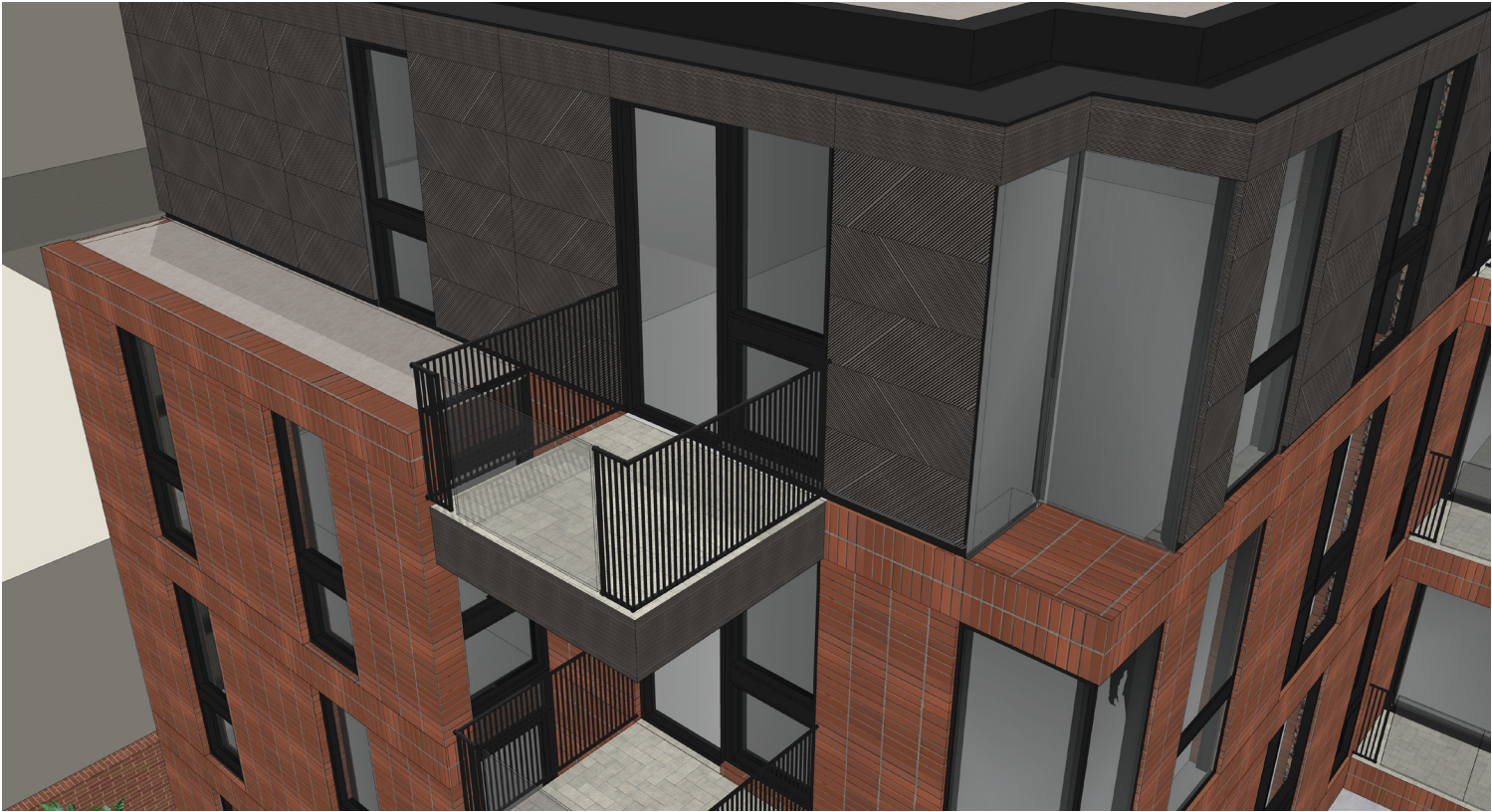


PROPOSED FENCE + GATES AT BUILDING ENTRY



PROPOSED FENCE ELEVATION

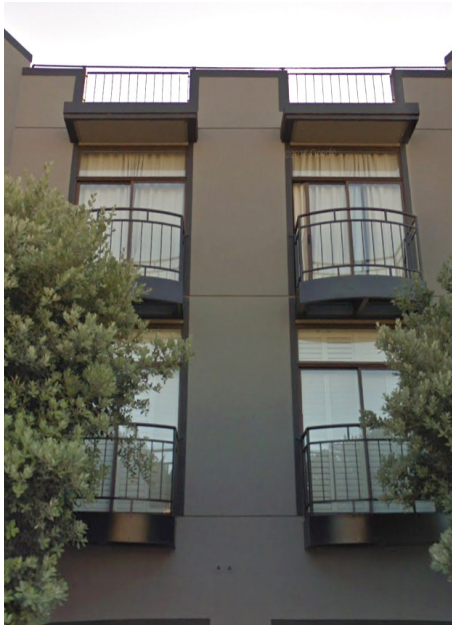
<p>Tusker Corporation 3636 Buchanan St. San Francisco, CA 94123</p>	<p>Date of Package: July 31, 2018</p>	<p><b>VISUAL COMPATABILITY ANALYSIS:</b> <b>EXISTING / PROPOSED FENCE DESIGN</b></p>	<p>3620 BUCHANAN</p> <p>SHEET #: 30</p>	<p><b>ib+a</b> architecture</p> <p>Ian Birchall and Associates 251 South Van Ness Ave, Suite 300 San Francisco, CA 94103 p: 415.512.9660 f: 415.512.9663 www.ibadesign.com</p>
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PROPOSED RAILING DESIGN AT 3620 BUCHANAN



1598 BAY



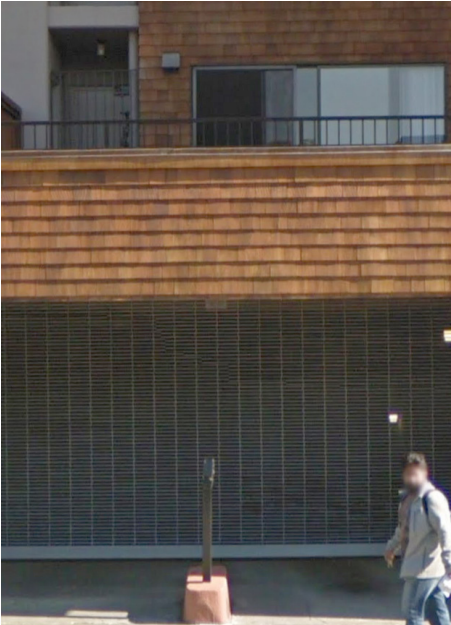
3611 BUCHANAN



1550 BAY



1550 BAY



1515 NORTH POINT



3501 LAGUNA

EXISTING RAILING DESIGNS OF NEIGHBORING PROPERTIES

Tusker Corporation 3636 Buchanan St. San Francisco, CA 94123	Date of Package: July 31, 2018	VISUAL COMPATABILITY ANALYSIS: EXISTING / PROPOSED RAILING DESIGN	3620 BUCHANAN	 <div>Ian Birchall and Associates 251 South Van Ness Ave, Suite 300 San Francisco, CA 94103 p: 415.512.9660 f: 415.512.9663 www.ibadesign.com</div>
			SHEET #: 31	

FILE NO. 90-73-8

ORDINANCE NO. 12-74

1 DESIGNATING MERRYVALE ANTIQUES AS A LANDMARK PURSUANT TO ARTICLE 10 OF THE CITY  
2 PLANNING CODE.

3 Be it ordained by the people of the City and County of San Francisco:

4 Section 1. The Board of Supervisors hereby finds that Merryvale Antiques at  
5 3640 Buchanan Street, being Lot 3 in Assessor's Block 459, has a special character  
6 and special historical, architectural and aesthetic interest and value, and that its  
7 designation as a Landmark will be in furtherance of and in conformance with the  
8 purposes of Article 10 of the City Planning Code and the standards set forth therein.

9 (a) Designation. Pursuant to Section 1004 of the City Planning Code,  
10 Chapter II, Part II of the San Francisco Municipal Code, Merryvale Antiques is  
11 hereby designated as a Landmark, this designation having been duly approved by  
12 Resolution No. 7076 of the City Planning Commission, which Resolution is on file  
13 with the Clerk of the Board of Supervisors under File No.

14 (b) Required Data. The location and boundaries of the landmark site, the  
15 characteristics of the landmark which justify its designation, and the particular  
16 features that should be preserved, described and included in the said Resolution,  
17 are hereby incorporated herein and made a part hereof as though fully set forth.

Passed for Second Reading  
Board of Supervisors, San Francisco  
DEC 26 1973

Ayes: Supervisors Barbagelata, Chinn, Feinstein,  
~~Francis~~, Gonzales, Kopp, Mendelsohn, Molinari,  
Pelosi, Tamaras, von Beroldingen.

Noes: Supervisors

Absent: Supervisors, FRANCIS

 ACTING Clerk

90-73-8  
File No.

JAN 4 1974  
Approved

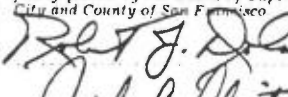
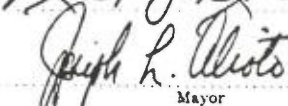
Read Second Time and Finally Passed  
Board of Supervisors, San Francisco  
JAN 2 1974

Ayes: Supervisors Barbagelata, Chinn, Feinstein,  
~~Francis~~, Gonzales, ~~Kopp~~, Mendelsohn, Molinari,  
Pelosi, Tamaras, von Beroldingen.

Noes: Supervisors

Absent: Supervisors, FRANCIS, KOPP

I hereby certify that the foregoing ordinance was  
finally passed by the Board of Supervisors of the  
City and County of San Francisco

 Clerk  
 Mayor

SAN FRANCISCO

CITY PLANNING COMMISSION

RESOLUTION NO. 7076

WHEREAS, A proposal to designate Merryvale at 3640 Buchanan Street as a Landmark pursuant to the provisions of Article 10 of the City Planning Code was initiated by the Landmarks Preservation Advisory Board on August 22, 1973, and said Advisory Board, after due consideration, has recommended approval of this proposal; and

WHEREAS, The City Planning Commission, after due notice given, held a public hearing on September 20, 1973, to consider the proposed designation and the report of said Advisory Board; and

WHEREAS, The Commission believes that the proposed Landmark has a special character and special historical, architectural and aesthetic interest and value; and that the proposed designation would be in furtherance of and in conformance with the purposes and standards of the said Article 10;

NOW THEREFORE BE IT RESOLVED, First, that the proposal to designate Merryvale at 3640 Buchanan Street as a Landmark pursuant to Article 10 of the City Planning Code is hereby APPROVED, the location and boundaries of the landmark site being as follows:

Beginning at the point of intersection of the southerly line of North Point Street and the easterly line of Buchanan Street; thence easterly along the southerly line of North Point Street for a distance of 118 feet; thence at a right angle southerly for a distance of 69.917 feet; thence at a right angle westerly for a distance of 68.803 feet; thence at a right angle southerly for a distance of 104.75 feet; thence at a right angle westerly for a distance of 49.917 feet; thence at a right angle northerly along the easterly line of Buchanan Street for a distance of 174.667 feet to the point of beginning. Being Lot 3 in Assessor's Block 459, which property is known as 3640 Buchanan Street.

Second, That the special character and special historical, architectural and aesthetic interest and value of the said Landmark justifying its designation are set forth in the Landmarks Preservation Advisory Board Resolution No. 88 as adopted on August 22, 1973, which resolution is incorporated herein and made a part hereof as though fully set forth;

Third, That the said Landmark should be preserved generally in all of its particular exterior features as existing on the date hereof and as described and depicted in the photographs, case report and other material on file in the Department of City Planning Docket LM 73.3;

AND BE IT FURTHER RESOLVED, That the Commission hereby directs its Secretary to transmit the proposal for designation, with a copy of this Resolution, to the Board of Supervisors for appropriate action.

CITY PLANNING COMMISSION

RESOLUTION NO. 7076  
Page Two

I hereby certify that the foregoing Resolution was ADOPTED by the City Planning Commission at its regular meeting of September 20, 1973.

Lynn E. Pio  
Secretary

AYES: Commissioners Farrell, Fleishhacker, Porter, Ritchie, Rueda

NOES: None

ABSENT: Commissioners Mellon, Newman

PASSED: September 20, 1973

MERRYVALE ANTIQUES  
(Formerly San Francisco  
Gas Light Company)

OWNER: Merryvale, Incorporated. (Mr. & Mrs. Dent W. Macdonough)

LOCATION: 3640 Buchanan, the southeast corner of Buchanan and North Point Streets, being Lot 3 in Assessor's Block 459.

**HISTORY:** Established in 1873, the San Francisco Gas Light Company was the result of a series of mergers of various companies, the earliest of which was the San Francisco Gas Company, founded in 1852 by Forty-niners Peter Donahue and his brother James. The brothers, with other family members, had previously established the first iron works in California in 1849. Peter Donahue, to whose memory the Mechanics Monument at Market, Bush and Sansome Streets is erected, also headed the successful completion of the second railroad in California which ran between San Francisco and San Jose.

Within the merged gas companies, Peter Donahue held various offices, the last being that of President of San Francisco Gas Light Company from which he resigned in 1883, one year before his death. Upon his resignation, the Presidency of the San Francisco Gas Light Company was passed on to Eugene P. Murphy who was succeeded in 1885 by Joseph B. Crockett. Although still extremely young, Mr. Crockett had been with the company since its founding twelve years earlier during which time he conceived the idea of a new gas works which would not only be modern but would also be more than adequate for the growing City's immediate needs. In 1884, under his direction, the company purchased three blocks between Webster, Laguna and Bay Streets with the northerly boundary being the Bay itself. In 1891 construction began on the predominately brick buildings which would comprise the new gas works. Also included was an oiler dock - oil was to replace more expensive coal in operating the boilers - a gasometer, and two storage tanks, one with a capacity of two million cubic feet making it the largest of its kind west of Chicago.

Upon its completion in 1893, the complex was hailed as the most modern and best designed in the United States, a tribute to Joseph B. Crockett to whom its design and architecture are attributed. The headquarters building, now occupied by Merryvale, Inc., antiques, and which is the only building of the original complex still standing, housed the company's business offices in the front, upstairs living quarters for the plant manager, and in the main room to the rear, two large gas compression cylinders whose operation was dependent on water pumped from the Bay. The warmed water, returned to the Bay through large pipes, made swimming in what has ever since been known as Gas House Cove, popular indeed.

On December 11, 1896, the firm merged with Edison Light and Power, the whole becoming the San Francisco Gas & Electric Company which was absorbed by Pacific Gas & Electric Company in 1905. By 1906, and after, this building was being used solely for storing company records, a use it continued to serve until it was sold to the present owners in the mid-1950's.

The handsomely-landscaped and spacious areas between the buildings in the original complex were ideal for refugees following the 1906 Earthquake and Fire as photographs of the period show. Also shown is the damage to a gas storage tank and an arched brick building.

HISTORY:  
(Continued)

The present owners' restoration by William Wurster of Wurster, Bernardi & Emmons, and re-use of the former headquarters building to display primarily eighteenth century antiques has been masterful. The most impressive interior feature is the main room which formerly housed the turbines. This two-story room is 28 feet high and approximately 50 feet square; large arched windows of hand-rolled glass contrast with walls of exposed brick, the whole being surmounted by a particularly handsome coffered ceiling, each large redwood square of which is set off by great beams. The former front offices are distinguished by paneled dados, high ceilings and tall, narrow doors with transoms above.

A year after Merryvale's formal opening in 1958, the owners added an equally impressive garden shop to the south which is directly accessible from the main building.

Also of interest is the iron fence which encloses the front lawn; it is similar to the original and was placed as part of the restoration.

## ARCHITECTURE:

Richardsonian-Romanesque in its styling, this red brick rectangular building is, except for a corner tower, of uniform height. It is capped by a hipped roof, without projecting eaves, resting on a corbelled cornice. On its narrower facade facing Buchanan Street, a centered arched main entrance is asymmetrically balanced by the Queen Anne tower to the left whose conical roof rises to its apex at an elevation slightly higher than that of the roof ridge behind. From the exterior, the fenestration reflects the interior division of the building into two elements: the front, or westerly, one-third possessing windows indicating two floors with a heavy string course of brickwork at the upper floor level; the remaining two-thirds of the building, equal in height to the front, contains tall windows divided into panes with fanlights above, whose sill line is uniform with those on the lower floor at the front, but whose tops extend upward about three-quarters of the total wall height. On its south elevation, two-story pilasters divide the building into six evenly spaced bays. However, on the north, along North Point Street, this same division is only partially carried out, the pilasters here defining only the four bays containing the taller windows. The rear of the building is divided, also by two-story pilasters, into three bays slightly wider than those on the north and south sides. The center bay houses a double doorway extending its full width and equal in height to the windows in the adjacent bays. The doorway is topped by a flattened arch similar in its arc to that above the second story windows on the front portion of the building; all other windows and the main entry have semi-circular arched tops. All wall openings are surmounted and protected by slightly projecting cast stone moldings and, except for that over the main entrance, are divided into sections containing a patera. The main entrance arch, resting on short brick pilasters, frames a recessed doorway; here a deeper molding than that over the windows retains the name of the original occupant of the structure:

S.F. GAS LIGHT CO.

SURROUNDING LAND  
USE AND ZONING:

Zoning of the subject property is C-2 for a depth of 100 feet along Buchanan Street; the rear 18 feet of the parcel along North Point is zoned R-4. A PG&E substation is located to the east, a service station to the south. An apartment complex occupies most of the remainder of the block. Residential and commercial uses are located across Buchanan Street and a supermarket and parking lot across North Point Street faces into Gas House Cove. Fort Mason lies one block to the east.

October 25, 2017

Stephanie Cisneros  
San Francisco Planning Department  
1650 Mission (400)  
San Francisco, CA. 94103

Dear Ms Cisneros:

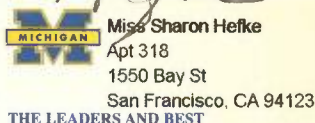
Please do not approve yet **another** toxic cleanup and construction project (3620 Buchanan Street, 2016-010079PRJ) outside our windows! We are being enshrouded by development. We are losing light. We are losing breezes, critical in times of rising temperatures. We've lost views of the sky and Moscone Park. We've lost the relative quiet of our block. We've lost 18 mature 35' trees, their benefits, and their native birds. All of these losses are negative impacts on our lives and environment and they are significant.

The potential dangers and traffic problems at a developing 3620 Buchanan site can be envisioned by having seen the excavators, drilling rigs, trucks, cranes, caterpillars, dewatering tanks, cement trucks, supply storage areas, generators, etc. required for the 1598 Bay / Buchanan Street project. Parking lanes, sidewalks, bike lanes and traffic lanes have been blocked on Bay / Buchanan Streets since June, 2017 to accommodate this equipment. On Buchanan Street add all of the above to the MUNI 43 bus, Safeway trucks, postal vehicles, and you have gridlock and danger.

Sincerely,



Sharon Hefke



415-931-2101

Cc: Rich Hillis, Commission President San Francisco Planning Department  
Margaux Kelly, Supervisor Mark Farrell's Office  
Matier and Ross, San Francisco Chronicle

October 25, 2017

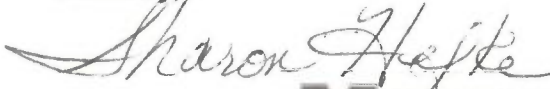
Stephanie Cisneros  
San Francisco Planning Department  
1650 Mission (400)  
San Francisco, CA. 94103

Dear Ms Cisneros:

Please do not approve yet **another** toxic cleanup and construction project (3620 Buchanan Street, 2016-010079PRJ) outside our windows! We are being enshrouded by development. We are losing light. We are losing breezes, critical in times of rising temperatures. We've lost views of the sky and Moscone Park. We've lost the relative quiet of our block. We've lost 18 mature 35' trees, their benefits, and their native birds. All of these losses are negative impacts on our lives and environment and they are significant.

The potential dangers and traffic problems at a developing 3620 Buchanan site can be envisioned by having seen the excavators, drilling rigs, trucks, cranes, caterpillars, dewatering tanks, cement trucks, supply storage areas, generators, etc. required for the 1598 Bay / Buchanan Street project. Parking lanes, sidewalks, bike lanes and traffic lanes have been blocked on Bay / Buchanan Streets since <sup>2016</sup> June, ~~2017~~ to accommodate this equipment. On Buchanan Street add all of the above to the MUNI 43 bus, Safeway trucks, postal vehicles, and you have gridlock and danger.

Sincerely,



Sharon Hefke

 Miss Sharon Hefke  
Apt 318  
1550 Bay St  
San Francisco, CA 94123  
THE LEADERS AND BEST

415-931-2101

Cc: Rich Hillis, Commission President San Francisco Planning Department  
Margaux Kelly, Supervisor Mark Farrell's Office  
Matier and Ross, San Francisco Chronicle

11/14/17 Here is a correction to this  
10/25 letter. Paragraph 2,  
line 5, should be

June, 2016.

174

## Cisneros, Stephanie (CPC)

---

**From:** Arnold Cohn <sfamc2@gmail.com>  
**Sent:** Wednesday, November 01, 2017 4:47 PM  
**To:** Secretary, Commissions (CPC); Frye, Tim (CPC); Cisneros, Stephanie (CPC)  
**Subject:** Historical Preservation Commission Meeting Today  
**Attachments:** AssessorBlock0459.pdf; Resolution 88 scanned.pdf; Recording Resolution 88.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hello:

I gave the following presentation to the San Francisco Historical Commission today, during the general public comment.

My name is Arnold Cohn. I want to talk about 3620 Buchanan your reference 2016-010079COA.

The Board of Supervisors in 1973 passed Resolution 88 that designated 3620 Buchanan, Block 459 Lot 3, the entire area - a designated historical landmark 58.

The boundaries and perimeters of the historical landmark defined in both the Resolution 88 and the recording of the Resolution in the City's official records - the entire area of Block 459 Lot 3.

These documents are in your files at 1650 Mission Street fourth floor.

Do not allow new proposed construction at 3620 Buchanan, because it violates Resolution 88 and may violate CEQA.

-----  
CEQA California Environmental Quality Act

LM 73.3

## NOTICE OF DESIGNATION OF LANDMARK

Notice is hereby given to all persons, pursuant to Section 1004.6 of the City Planning Code, Chapter II, Part II of the San Francisco Municipal Code, that the property described below, of which the current owner is Mr. & Mrs. Dent Macdonough

has been designated as a Landmark by Ordinance No. 12-74 of the Board of Supervisors of the City and County of San Francisco, effective February 4, 1974. A copy of this Ordinance is on file with the Clerk of the said Board of Supervisors. The effect of this designation is to impose certain controls and standards on the said property and on the improvements thereon, as set forth in Article 10 of the City Planning Code and in the designating Ordinance.

The subject property is legally described and known as follows:

Beginning at the point of intersection of the southerly line of North Point Street and the easterly line of Buchanan Street; thence easterly along the southerly line of North Point Street for a distance of 118 feet; thence at a right angle southerly for a distance of 69.917 feet; thence at a right angle westerly for a distance of 68.803 feet; thence at a right angle southerly for a distance of 104.75 feet; thence at a right angle westerly for a distance of 49.917 feet; thence at a right angle northerly along the easterly line of Buchanan Street for a distance of 174.667 feet to the point of beginning; being Lot 3 in Assessor's Block 459.

W45862

BOOK B847 PAGE 109

RECORDED AT REQUEST

CITY &amp; COUNTY OF SAN FRANCISCO

1974 JAN 22 PM 2:30

SAN FRANCISCO, CALIF.  
LAWRENCE A. LEQUE  
RECORDER

Dated: JAN 28 1974

Department of City Planning

By: R. Spencer Steele  
Zoning AdministratorState of California ) ss  
City and County of San Francisco)

On JAN 28 1974, before the undersigned, personally appeared R. Spencer Steele, known to me to be the Zoning Administrator of the City and County of San Francisco, and acknowledged to me that he executed the same on behalf of the City and County of San Francisco.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of my office, the day and year last above written.

By: John C. [Signature]  
Deputy County Recorder

45862

LANDMARKS PRESERVATION ADVISORY BOARD

of the

CITY PLANNING COMMISSION

RESOLUTION NO. 88

WHEREAS, A proposal to designate Merryvale at 3640 Buchanan Street as a Landmark pursuant to the provisions of Article 10 of the City Planning Code has been heard and considered by the Landmarks Preservation Advisory Board; and

WHEREAS, The Advisory Board believes that the proposed Landmark has a special character and special historical, architectural and aesthetic interest and value; and that the proposed designation would be in furtherance of and in conformance with the purposes and standards of said Article 10;

NOW THEREFORE BE IT RESOLVED, First, that this Advisory Board intends to and does hereby formally initiate proceedings for the designation as a Landmark pursuant to the provisions of Article 10 of the City Planning Code of Merryvale at 3640 Buchanan Street; and that this Board recommends to the City Planning Commission that this designation proposal be APPROVED; the location and boundaries of the landmark site being as follows:

Beginning at the point of intersection of the southerly line of North Point Street and the easterly line of Buchanan Street; thence easterly along the southerly line of North Point Street for a distance of 118 feet; thence at a right angle southerly for a distance of 69.917 feet; thence at a right angle westerly for a distance of 68.803 feet; thence at a right angle southerly for a distance of 104.75 feet; thence at a right angle westerly for a distance of 49.917 feet; thence at a right angle northerly along the easterly line of Buchanan Street for a distance of 174.667 feet to the point of beginning.

Being Lot 3 in Assessor's Block 459, which property is known as 3640 Buchanan Street.

Second, that the special character and special historical, architectural and aesthetic interest and value of the said Landmark justifying its designation are as follows:

Established in 1873, the San Francisco Gas Light Company was the result of a series of mergers of various companies, the earliest of which was the San Francisco Gas Company, founded in 1852 by Forty-niners Peter Donahue and his brother James. The brothers, with other family members, had previously established the first iron works in California in 1849. Peter Donahue, to whose memory the Mechanics Monument at Market, Bush and Sansome Streets is erected, also headed the successful completion of the second railroad in California which ran between San Francisco and San Jose.

Within the merged gas companies, Peter Donahue held various offices, the last being that of President of San Francisco Gas Light Company from which he resigned in 1883, one year before his death. Upon his resignation, the Presidency of the San Francisco Gas Light

Company was passed on to Eugene P. Murphy who was succeeded in 1885 by Joseph B. Crockett. Although still extremely young, Mr. Crockett had been with the company since its founding twelve years earlier during which time he conceived the idea of a new gas works which would not only be modern but would also be more than adequate for the growing City's immediate needs. In 1884, under his direction, the company purchased three blocks between Webster, Laguna and Bay Streets with the northerly boundary being the Bay itself. In 1891 construction began on the predominately brick buildings which would comprise the new gas works. Also included was an oiler dock - oil was to replace more expensive coal in operating the boilers - a gasometer, and two storage tanks, one with a capacity of two million cubic feet making it the largest of its kind west of Chicago.

Upon its completion in 1893, the complex was hailed as the most modern and best designed in the United States, a tribute to Joseph B. Crockett to whom its design and architecture are attributed. The headquarters building, now occupied by Merryvale, Inc., antiques, and which is the only building of the original complex still standing, housed the company's business offices in the front, upstairs living quarters for the plant manager, and in the main room to the rear, two large gas compression cylinders whose operation was dependent on water pumped from the Bay. The warmed water, returned to the Bay through large pipes, made swimming in what has ever since been known as Gas House Cove, popular indeed.

On December 11, 1896, the firm merged with Edison Light and Power, the whole becoming the San Francisco Gas & Electric Company which was absorbed by Pacific Gas & Electric Company in 1905. By 1906, and after, this building was being used solely for storing company records, a use it continued to serve until it was sold to the present owners in the mid-1950's.

The handsomely-landscaped and spacious areas between the buildings in the original complex were used by refugees following the 1906 Earthquake and Fire as photographs of the period show. Also shown is the damage to a gas storage tank and an arched brick building.

The extremely sensitive restoration (by Mr. and Mrs. Dent W. MacDonough who engaged William Wurster of Wurster, Bernardi & Ermons for this work) and the re-use of the former headquarters building to display primarily Eighteenth Century antiques has been masterful. The most impressive interior feature is the main room which formerly housed the turbines. This two-story room is 28 feet high and approximately 50 feet square; large arched windows of hand-rolled glass contrast with walls of exposed brick, the whole being surmounted by a particularly handsome coffered ceiling, each large redwood square of which is set off by great beams. The former front offices are distinguished by paneled dados, high ceilings and tall, narrow doors with transoms above.

A year after Merryvale's formal opening in 1958, the owners added an equally impressive garden shop to the south which is directly accessible from the main building.

Also of interest is the iron fence which encloses the front lawn; it is similar to the original and was paced as part of the restoration.

Third, that the said Landmark should be preserved generally in all of its particular exterior features as existing on the date hereof and as described and depicted in the photographs, case report and other material on file in the Department of City Planning in Docket No. LM 73.3, the summary description being as follows:

Richardsonian-Romanesque in its styling, this red brick rectangular building is, except for a corner tower, of uniform height. It is capped by a hipped roof, without projecting eaves, resting on a corbelled cornice. On its narrower facade facing Buchanan Street, a centered arched main entrance is asymmetrically balanced by the Queen Anne tower to the left whose conical roof rises to its apex at an elevation slightly higher than that of the roof ridge behind. From the exterior, the fenestration reflects the interior division of the building into two elements: the front, or westerly, one-third possessing windows indicating two floors with a heavy string course of brickwork at the upper floor level; the remaining two-thirds of the building, equal in height to the front, contains tall windows, divided into panes with fanlights above, whose sill line is uniform with those on the lower floor at the front, but whose tops extend upward about three-quarters of the total wall height. On its south elevation, two-story pilasters divide the building into six evenly spaced bays. However, on the north, along North Point Street, this same division is only partially carried out, the pilasters here defining only the four bays containing the taller windows. The rear of the building is divided, also by two-story pilasters, into three bays slightly wider than those on the north and south sides. The center bay houses a double doorway extending its full width and equal in height to the windows in the adjacent bays. The doorway is topped by a flattened arch similar in its arc to that above the second story windows on the front portion of the building; all other windows and the main entry have semi-circular arched tops. All wall openings are surmounted and protected by slightly projecting cast stone moldings and, except for that over the main entrance, are divided into sections containing a patera. The main entrance arch, resting on short brick pilasters, frames a recessed doorway; here a deeper molding than that over the windows retains the name of the original occupant of the structure:

S.F. GAS LIGHT CO.

AND BE IT FURTHER RESOLVED, That the Board hereby directs its Secretary to report this action and to submit a copy of this Resolution to the Planning Commission for further action in accordance with the said Article 10.

I HEREBY CERTIFY that the foregoing Resolution was adopted by the Landmarks Preservation Advisory Board at its regular meeting of August 22, 1973.

Edward N. Michael  
Secretary to the Board

AYES: de Losada, Jacobs, Platt, Shumate, Whisler

NOES: None

ABSENT: Mailliard, McGloin, Whitaker

DATED: August 22, 1973

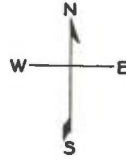
459

SHEET 1

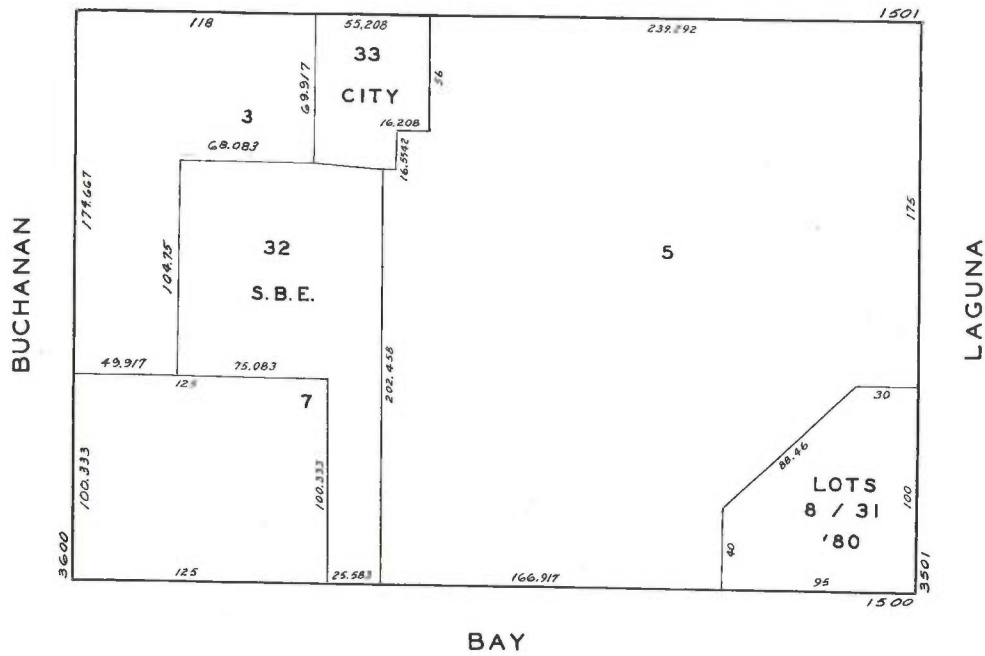
W A BLK. 249

REVISED '60  
" '68  
" '80  
" '83

LOT 1A/1B MERGED INTO LOT 1 - 1943



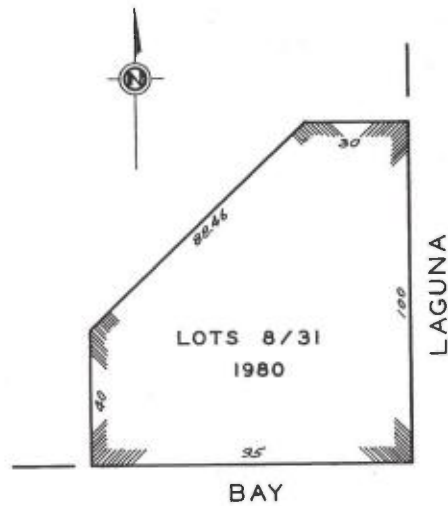
NORTH POINT



# BAY-LAGUNA

## A CONDOMINIUM

LOT NO.	UNIT NO.	%COMMON AREA
8	101	2.787
9	102	3.809
10	103	4.676
11	104	5.258
12	105	5.101
13	106	3.632
14	107	3.056
15	108	5.300
16	201	2.787
17	202	3.809
18	203	4.676
19	204	4.847
20	205	5.117
21	206	3.632
22	207	3.056
23	208	5.300
24	301	2.787
25	302	3.809
26	303	4.676
27	304	4.983
28	305	4.939
29	306	3.607
30	307	3.056
31	308	5.300



## Cisneros, Stephanie (CPC)

---

**From:** Arnold Cohn <sfamc2@gmail.com>  
**Sent:** Friday, June 01, 2018 11:57 AM  
**To:** Cisneros, Stephanie (CPC); Bendix, Brittany (CPC)  
**Cc:** Frye, Tim (CPC)  
**Subject:** Fwd: 2016-010079COA Response to the Page and Turnbull Planning Depart Review Draft

Updates and corrections to the Response to the Page and Turnbull Planning Depart Review Draft.

----- Forwarded message -----

**From:** Arnold Cohn <sfamc2@gmail.com>  
**Date:** Fri, Jun 1, 2018 at 11:41 AM  
**Subject:** 2016-010079COA Response to the Page and Turnbull Planning Depart Review Draft  
**To:** Andrew Wolfram <andrew@tefarch.com>, Aaron Hyland <aaron.hyland.hpc@gmail.com>, ellen.hpc@ellenjohnckconsulting.com, rsejohns <RSEJohns@yahoo.com>, dianematsuda@hotmail.com, Jonathan Pearlman <jonathan.pearlman.hpc@gmail.com>  
**Cc:** Commissions.Secretary@sfgov.org

Commissioners:

RE: 2016-010079COA

The following response to the **Page and Turnbull Planning Depart Review Draft (PTR)** of May, 2016 concerning the historical landmark status of 3620, 3636, 3640 Buchanan and 1595 Northpoint, Block 459 Lot 3 in the Assessor's tax records. The developer of Block 459, Lot 3 sent the PTR to Stephanie Cisneros and Brittany Bendix at the San Francisco Planning Department. I sent copies of the following letter to both ladies.

At your Wednesday meeting June 6 during the public comment, I will provide you a summary of the following document. Please contact me if you have additional questions.

### Response to **Page and Turnbull Planning Depart Review Draft** of May, 2016 (PTR)

The Page and Turnbull document completely ignores the January, 1974 LANDMARKS PRESERVATION ADVISORY BOARD of the CITY PLANNING COMMISSION RESOLUTION NO. 88 which identifies the entire area of Lot 3 in Assessor's Block 459 as the location and boundaries of the landmark site (Landmark No. 58). From the San Francisco Property Information Map, Block 459 Lot 3 includes all of the following designations as the **same location**: 3620, 3636 and 3640 Buchanan, and 1595 Northpoint.

The County of San Francisco recorded Resolution 88 in its official records in Book 847 Page 109 January 22, 1974 at 2:34 p.m., by the Dept. of City Planning, R Spencer Steele Zoning Administrator and John Caail Deputy County Recorder. Notice of Designation of Landmark given to Mr. and Mrs. Dent Macdonough as owners of the property designated as Block 459 Lot 3, that entire area designated Landmark Ordinance No. 12-74 effective February 4, 1974.

The bottom of the PTR, page 1 includes the following sentence: "The purpose of this HRE Part

1 is to determine if the subject building is eligible for the California Register of Historical Resources (California Register) individually or in association with the existing Landmark No. 58 and its setting”.

The PTR goes on to identify government agencies responsible for the identification and recording of historical designated landmarks. The agencies include the National Register of Historic Places, the California Register of Historical Resources and the California Historic Resources Information System (CHRIS) database. These registers do not have an entry for Block 459 Lot 3. From the question in the PTR cited above, who can state why or why not Block 459 Lot 3 does not have an entry in these registries?

From the PTR page 2, “Page & Turnbull prepared this report using research collected at various local repositories, including the San Francisco Department of Building Inspection, the San Francisco Assessor’s Office, the San Francisco Planning Department, and the San Francisco Public Library History Center, as well as various online sources including Ancestry.com and the California Digital Newspaper Collection. Key primary sources consulted and cited in this report include Sanborn Fire Insurance Company maps, City of San Francisco Building Permit Applications, San Francisco City Directories, Assessor’s Office records, and historical newspapers”. The PTR failed to identify Resolution 88 and its recording in city records, as described above. As cited above, Block 459 Lot 3 includes all of the following addresses 3620, 3636, 3640 Buchanan and 1595 Northpoint.

From the PTR page 3, “The subject building at 3620 Buchanan Street is not currently designated as a San Francisco City Landmark or Structure of Merit. However, 3636 Buchanan Street is designated as San Francisco Landmark No. 58 (Merryvale Antiques; originally the San Francisco Gas Light Company). 3620 and 3636 Buchanan Street do not fall within the boundaries of any existing locally designated historic districts or conservation districts”. This reference completely ignores the Landmark Resolution 88 and its official recording as described above. In addition, this sentence also highlights the inadequate research performed in creating the PTR.

From the PTR page 4, “The 1976 Department of City Planning Architectural Quality Survey (1976 DCP Survey) is what is referred to in preservation parlance as a “reconnaissance” or “windshield” survey. 3620 Buchanan Street is not listed in the 1976 DCP Survey; however, 3636 Buchanan Street was listed and was given a survey rating of “3.”” As cited above, 3620 and 3636 Buchanan include the same area identified as Block 459 Lot 3.

In summary, the PTR completely ignores the San Francisco County Resolution 88 and its official recording in Book 847 Page 109, that fully describes the entire designated historic landmark as all of the area making up Block 459 Lot 3. The official Resolution 88 (Landmark No. 58) and its recording make no reference to any specific Buchanan or Northpoint Street addresses.

The PTR should be excluded from the Planning Department's final determination about proposed 3620 construction, due to the inadequate research and references cited above.

Arnold Cohn



THE TRANSAMERICA PYRAMID

600 MONTGOMERY STREET, 14TH FLOOR SAN FRANCISCO, CALIFORNIA 94111

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June 1, 2018

CHARLES R. OLSON

Direct Dial: (415) 955-5020

E-mail: colson@lubinolson.com

E-MAIL

Brittany Bendix, Planner (brittany.bendix@sfgov.org)

Stephanie Cisneros, Historic Preservation Planner (stephanie.cisneros@sfgov.org)

2016-010079PRJ Certificate of Appropriateness, Conditional Use  
Authorization, Variance and Environmental Evaluation of 3620  
Buchanan Street

Dear Ms. Bendix and Ms. Cisneros:

Our firm represents 1598 Bay Condominium Association ("1598 Bay"), the homeowner's association for the property located at 1598 Bay Street, which is immediately adjacent to 3620 Buchanan Street (the "Project"). 1598 Bay is strongly opposed to the Project because it compromises an important historic landmark designated by the Board of Supervisors in Ordinance No. 12-74 on January 4, 1974, known as Merryvale Antiques ("Landmark No. 58"), violates the Planning Code in numerous ways, and the design ignores various Residential Design Guidelines and good neighbor policies. In addition, as the Project would have a substantial adverse effect on a historic resource, it must be reviewed under the California Environmental Quality Act ("CEQA") before any City approvals can occur. These objections to the Project are more specifically outlined below.

*Historic Preservation and CEQA Concerns:* After reviewing the Project's Historic Resource Evaluation dated May 20, 2016 ("HRE"), it appears that the HRE attempts to obfuscate the fact that the entire lot, which includes the Merryvale Antiques building, the courtyard, and the garden house, is designated as part of Landmark No. 58. The various addresses assigned to the buildings located on the lot do not change the fact that the designation of Landmark No. 58 applies to the entirety of the location and boundaries of the Project site. Furthermore, in Ordinance No. 12-74, "the equally impressive garden shop to the south which is directly accessible from the main building," is referred to as part of the special character and special historical, architectural and aesthetic interest justifying the designation of Landmark No. 58. The garden shop is precisely the building which will be demolished as a result of the Project. The existing landscaped courtyard, which is also referred to as part of the "handsomely-landscaped and spacious areas between the buildings" in Ordinance No. 12-74, will also be significantly diminished by approximately 25% to 33%, which will impact the spatial relationships between the Merryvale Antiques historic building and the proposed Project. A substantial adverse change in the significance of the historic resource includes any "physical

demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired.” See CEQA Guidelines 15064.5(b)(1). Considering the historic resources present, any partial or full demolition of any element of the Landmark No. 58, which includes the landscaped courtyard and the garden house, will be a significant impact under CEQA. The Planning Department should require the Project to undergo further environmental review, including the preparation of an initial study and a focused environmental impact report to address this issue.

*NC-2 Small-Scale Neighborhood Commercial District:* As noted in Planning Code Section 711, the small-scale district controls for the NC-2 district provide for mixed-use buildings which approximate or slightly exceed the standard development pattern. Rear yard requirements above the ground story and at residential levels are required to preserve open space corridors of interior blocks. The Project will not meet the design intent of the NC-2 district as it will diminish access to light, air, and views from adjacent properties, including 1598 Bay Street.

*Subdivision:* The Project attempts to squeeze an eight unit residential building into the rear yard for the historic Merryvale Antiques building. The failure to process a subdivision of the Project site into two lots (one lot containing the historic Merryvale Antiques building and the remainder of the landscaped courtyard, the other lot containing the Project) obscures any interpretation of the Planning Code relating to required development standards such as setbacks, rear yard, and open space. It is unclear whether the development of the Project site is permissible as-is without the filing of a subdivision map.

*Rear Yard:* Because the applicant of the Project has not subdivided the Project site, it appears that the proposed Project will encroach into the required rear yard for the historic Merryvale Antiques building. Planning Code Section 134 generally requires that the Project provide a minimum rear yard depth equal to 25% of the total depth of the lot on which the building is situated, but in no case less than 15 feet. Although the rear yard requirements differ for corner lots, given the L-shaped lot configuration, we are assuming that the Project is assuming that the front of the Project is facing Buchanan Street. According to the most recent Project plans, the Project will only be providing a 3” rear yard, which would only be 2% of the required rear yard depth.

While the rear yard requirement may be modified pursuant to the procedures which are applicable to variances, the following three criteria must also be met pursuant to Planning Code Section 134(e)(1): “(A) Residential uses are included in the new or expanding development and a comparable amount of usable open space is provided elsewhere on the lot or within the development where it is more accessible to the residents of the development; (B) The proposed new or expanding structure will not significantly impede the access of light and air to and views from adjacent properties; and (C) The proposed new or expanding structure will not adversely affect the interior block open space formed by the rear yards of adjacent properties.” The Project cannot meet two of the three criteria because the Project will significantly impact 1598 Bay’s access to air, light and views, and will cast dark shadows onto the units in 1598 Bay that face onto the rear yard.

*Open Space:* Planning Code Section 135 requires 133 square feet per unit if common open space. The Project plans appear to utilize some of the existing open space for the landscaped courtyard, which is used by the Merryvale Antiques building, and double counting that open space area to meet the requirements for the proposed residential building.

*Street Frontage:* Planning Code Section 145.1 requires a 25' setback on the ground floor for any off-street parking at street grade. The Project plans do not appear to meet this requirement.

*Off-Street Parking Requirements:* Planning Code Section 151(b) requires a minimum of one off-street parking space per dwelling unit. As the Project proposes eight dwelling units, a minimum of eight parking spaces are required. The current Project plans only show one parking space. While Planning Code Section 161(f) allows the Zoning Administrator to reduce off-street parking requirements in NC districts, Planning Code Section 307(h)(2)(i) requirements must be applied to demonstrate the following: (1) the reduction in the parking requirement is justified by the reasonably anticipated automobile usage by residents of and visitors to the project; (2) the reduction in the parking requirement will not be detrimental to the health, safety, convenience, or general welfare of persons residing in or working in the vicinity; (3) there will be a minimization of conflict of vehicular and pedestrian movements; (4) there are other transportation modes available other than the automobile; (5) the pattern of land use and character of development in the vicinity; and (6) any such other appropriate criteria given the circumstances. This drastic reduction in parking is not warranted given the limited public transportation options in the Project area, the fact that residents of the Project are also likely to be car owners and will need a place in which to park their car, and the proximity of other residential projects in the neighborhood that already crowd very limited on-street parking.

*Development of Large Lots:* Pursuant to Planning Code Section 121.1, the Planning Commission will also have to consider the extent to which the mass and façade of the Project are compatible with the existing scale of the district, and whether the façade of the Project is compatible with design features of adjacent façades that contribute to the positive visual quality of the district. The Project is unable to meet these criteria because it will introduce a large amount of stucco which the adjacent properties do not have, it is a relatively flat façade on Buchanan Street, and will provide a 40' high blank wall built right along the shared property line facing 1598 Bay Street. The Project will not improve pedestrian interest or activate the residential setting as a brick wall will be built along the sidewalk of Buchanan Street.

*General Plan Consistency:* The Project is unable to meet all of the Priority Policies of Planning Code Section 101.1(b). The Project will dwarf an important landmark and historic building by significantly diminishing the landscaped courtyard and removing the spatial relationships that have helped define the aesthetic character of the Merryvale Antiques building. As noted previously, Ordinance No. 12-74 designated the entirety of the Project lot as Landmark No. 58.

*Variance Findings:* If the Project asks for a variance for a modification to the rear yard, street frontage, open space, or other requirements, the Zoning Administrator must specify

in his findings for the variance facts sufficient to establish the following: (1) that there are exceptional or extraordinary circumstances applying to the property involved or to the intended use of the property that do not apply generally to other property or uses in the same class of district; (2) that owing to such exceptional or extraordinary circumstances the literal enforcement of specified provisions of this Code would result in practical difficulty or unnecessary hardship not created by or attributable to the applicant or the owner of the property; (3) that such variance is necessary for the preservation and enjoyment of a substantial property right of the subject property, possessed by other property in the same class of district; (4) that the granting of such variance will not be materially detrimental to the public welfare or materially injurious to the property or improvements in the vicinity; and (5) that the granting of such variance will be in harmony with the general purpose and intent of this Code and will not adversely affect the General Plan. *See Planning Code Section 305.* The requirements for a variance cannot be met, because there are no exceptional or extraordinary circumstances applying to the subject property or the proposed residential use that do not apply generally to other property or uses in the same class of district. Furthermore, the granting of any variance will be materially injurious to 1598 Bay's homeowners and their ability to substantially enjoy their own property. Finally, many of the design choices for the Project are created by the applicant for the Project; it is basic law that any "hardship" supporting a variance cannot be self-imposed.

*Noncompliance with Ground Floor Residential Design Guidelines:* The ground floor residential units do not appear to be consistent with the Ground Floor Residential Design Guidelines as they do not feature walk-up dwelling units with direct access to a public sidewalk.

*Concerns with Project Design and Good Neighbor Policies:* The existing building on the Project lot, which will be demolished, has a setback to the shared property line with 1598 Bay Street of between 5.5' and 23'. The proposed Project will have a setback of 6", which will effectively lead to the construction of a 40' high wall along the shared property line between the Project and 1598 Bay's residential development, which itself provides a 15' setback to that shared property line. If the proposed Project moves forward as constructed, a dark tunnel will result that provides minimal access to light and air to the abutting residential units in 1598 Bay's residential development.

The Project's materials and design are also of concern. First, the Project has included windows that will face directly into the adjacent residential units of 1598 Bay, which causes significant privacy issues for those residents. Second, the Project's rear building façade will be an eyesore for decades to come if it is built as it is currently designed: a windowless, unattractive stucco wall, directly visible from both 1598 Bay and the building to the east (Marina Cove Apartments).

\* \* \* \* \*

Brittany Bendix, Planner  
June 1, 2018  
Page 5

These initial comments are based upon our very preliminary review of Project file materials that are currently available, and we intend to provide further comments as we receive more information about the Project's applications.

Sincerely,

*Candice Lee on behalf of Charles Olson*

Charles R. Olson

CRO/CJL

cc: Andrew Junius, Esq. ([ajunius@reubenlaw.com](mailto:ajunius@reubenlaw.com))  
1598 Bay Condominium Association

**Cisneros, Stephanie (CPC)**

---

**From:** Arnold Cohn <sfamc2@gmail.com>  
**Sent:** Sunday, June 24, 2018 1:53 PM  
**Subject:** 3620 Buchanan Recently Discovered Document  
**Attachments:** LM58 landmark 58 3640 buchanan.pdf

All:

I apologize for not sending you the attached document. I recently discovered this document in my electronic file.

The official recording of the Landmark status of the entire area of Block 459 Lot 3 resulted from a vote of the San Francisco Board of Supervisors as described on the copy of the recording, Book B847 Page 109.

The attached document Landmark 58, Ordinance 12-74, Resolution 7076, Board of Supervisors File No. 90-73-8 describes the actions of the Board of Supervisors in regard to Block 459, Lot 3. This explains why the recording document refers to Ordinance No. 12-74. The recording document states: "The effect of this designation is to impose certain controls and standards on the said property and on the improvement thereon, as set forth in Article 10 of the City Planning Code and in the designating Ordinance."

Arnold Cohn

FILE NO. 90-73-8

ORDINANCE NO. 12-74

1 DESIGNATING MERRYVALE ANTIQUES AS A LANDMARK PURSUANT TO ARTICLE 10 OF THE CITY  
2 PLANNING CODE.

3 Be it ordained by the people of the City and County of San Francisco:

4 Section 1. The Board of Supervisors hereby finds that Merryvale Antiques at  
5 3640 Buchanan Street, being Lot 3 in Assessor's Block 459, has a special character  
6 and special historical, architectural and aesthetic interest and value, and that its  
7 designation as a Landmark will be in furtherance of and in conformance with the  
8 purposes of Article 10 of the City Planning Code and the standards set forth therein.

9 (a) Designation. Pursuant to Section 1004 of the City Planning Code,  
10 Chapter II, Part II of the San Francisco Municipal Code, Merryvale Antiques is  
11 hereby designated as a Landmark, this designation having been duly approved by  
12 Resolution No. 1076 of the City Planning Commission, which Resolution is on file  
13 with the Clerk of the Board of Supervisors under File No.

14 (b) Required Data. The location and boundaries of the landmark site, the  
15 characteristics of the landmark which justify its designation, and the particular  
16 features that should be preserved, described and included in the said Resolution,  
17 are hereby incorporated herein and made a part hereof as though fully set forth.

Passed for Second Reading  
Board of Supervisors, San Francisco  
DEC 26 1973

Ayes: Supervisors Barbagelata, Chinn, Feinstein,  
~~Evans~~, Gonzales, Kopp, Mendelsohn, Molinari,  
Pelosi, Tamaras, von Beroldingen.

Noes: Supervisors

Absent: Supervisors, FRANCOIS

*Philip P. [Signature]* ACTING Clerk

90-73-8  
File No.

JAN 4 1974  
Approved

Read Second Time and Finally Passed  
Board of Supervisors, San Francisco  
JAN 2 1974

Ayes: Supervisors Barbagelata, Chinn, Feinstein,  
~~Evans~~, Gonzales, Kopp, Mendelsohn, Molinari,  
Pelosi, Tamaras, von Beroldingen.

Noes: Supervisors

Absent: Supervisors, FRANCOIS, KOPP

I hereby certify that the foregoing ordinance was  
finally passed by the Board of Supervisors of the  
City and County of San Francisco

*[Signature]* Clerk  
*Joseph L. [Signature]* Mayor

SAN FRANCISCO

CITY PLANNING COMMISSION

RESOLUTION NO. 7076

WHEREAS, A proposal to designate Merryvale at 3640 Buchanan Street as a Landmark pursuant to the provisions of Article 10 of the City Planning Code was initiated by the Landmarks Preservation Advisory Board on August 22, 1973, and said Advisory Board, after due consideration, has recommended approval of this proposal; and

WHEREAS, The City Planning Commission, after due notice given, held a public hearing on September 20, 1973, to consider the proposed designation and the report of said Advisory Board; and

WHEREAS, The Commission believes that the proposed Landmark has a special character and special historical, architectural and aesthetic interest and value; and that the proposed designation would be in furtherance of and in conformance with the purposes and standards of the said Article 10;

NOW THEREFORE BE IT RESOLVED, First, that the proposal to designate Merryvale at 3640 Buchanan Street as a Landmark pursuant to Article 10 of the City Planning Code is hereby APPROVED, the location and boundaries of the landmark site being as follows:

Beginning at the point of intersection of the southerly line of North Point Street and the easterly line of Buchanan Street; thence easterly along the southerly line of North Point Street for a distance of 118 feet; thence at a right angle southerly for a distance of 69.917 feet; thence at a right angle westerly for a distance of 68.803 feet; thence at a right angle southerly for a distance of 104.75 feet; thence at a right angle westerly for a distance of 49.917 feet; thence at a right angle northerly along the easterly line of Buchanan Street for a distance of 174.667 feet to the point of beginning. Being Lot 3 in Assessor's Block 459, which property is known as 3640 Buchanan Street.

Second, That the special character and special historical, architectural and aesthetic interest and value of the said Landmark justifying its designation are set forth in the Landmarks Preservation Advisory Board Resolution No. 88 as adopted on August 22, 1973, which resolution is incorporated herein and made a part hereof as though fully set forth;

Third, That the said Landmark should be preserved generally in all of its particular exterior features as existing on the date hereof and as described and depicted in the photographs, case report and other material on file in the Department of City Planning Docket LM 73.3;

AND BE IT FURTHER RESOLVED, That the Commission hereby directs its Secretary to transmit the proposal for designation, with a copy of this Resolution, to the Board of Supervisors for appropriate action.

CITY PLANNING COMMISSION

RESOLUTION NO. 7076  
Page Two

I hereby certify that the foregoing Resolution was ADOPTED by the City Planning Commission at its regular meeting of September 20, 1973.

Lynn E. Pio  
Secretary

AYES: Commissioners Farrell, Fleishhacker, Porter, Ritchie, Rueda

NOES: None

ABSENT: Commissioners Mellon, Newman

PASSED: September 20, 1973

LANDMARKS PRESERVATION ADVISORY BOARD  
Gas Light Company Antiques Building

MERRYVALE ANTIQUES  
(Formerly San Francisco  
Gas Light Company)

OWNER: Merryvale, Incorporated. (Mr. & Mrs. Dent W. Macdonough)

LOCATION: 3640 Buchanan, the southeast corner of Buchanan and North Point Streets, being Lot 3 in Assessor's Block 459.

HISTORY: Established in 1873, the San Francisco Gas Light Company was the result of a series of mergers of various companies, the earliest of which was the San Francisco Gas Company, founded in 1852 by Forty-niners Peter Donahue and his brother James. The brothers, with other family members, had previously established the first iron works in California in 1849. Peter Donahue, to whose memory the Mechanics Monument at Market, Bush and Sansome Streets is erected, also headed the successful completion of the second railroad in California which ran between San Francisco and San Jose.

Within the merged gas companies, Peter Donahue held various offices, the last being that of President of San Francisco Gas Light Company from which he resigned in 1883, one year before his death. Upon his resignation, the Presidency of the San Francisco Gas Light Company was passed on to Eugene P. Murphy who was succeeded in 1885 by Joseph B. Crockett. Although still extremely young, Mr. Crockett had been with the company since its founding twelve years earlier during which time he conceived the idea of a new gas works which would not only be modern but would also be more than adequate for the growing City's immediate needs. In 1884, under his direction, the company purchased three blocks between Webster, Laguna and Bay Streets with the northerly boundary being the Bay itself. In 1891 construction began on the predominately brick buildings which would comprise the new gas works. Also included was an oiler dock - oil was to replace more expensive coal in operating the boilers - a gasometer, and two storage tanks, one with a capacity of two million cubic feet making it the largest of its kind west of Chicago.

Upon its completion in 1893, the complex was hailed as the most modern and best designed in the United States, a tribute to Joseph B. Crockett to whom its design and architecture are attributed. The headquarters building, now occupied by Merryvale, Inc., antiques, and which is the only building of the original complex still standing, housed the company's business offices in the front, upstairs living quarters for the plant manager, and in the main room to the rear, two large gas compression cylinders whose operation was dependent on water pumped from the Bay. The warmed water, returned to the Bay through large pipes, made swimming in what has ever since been known as Gas House Cove, popular indeed.

On December 11, 1896, the firm merged with Edison Light and Power, the whole becoming the San Francisco Gas & Electric Company which was absorbed by Pacific Gas & Electric Company in 1905. By 1906, and after, this building was being used solely for storing company records, a use it continued to serve until it was sold to the present owners in the mid-1950's.

The handsomely-landscaped and spacious areas between the buildings in the original complex were ideal for refugees following the 1906 Earthquake and Fire as photographs of the period show. Also shown is the damage to a gas storage tank and an arched brick building.

HISTORY:  
(Continued)

The present owners' restoration by William Wurster of Wurster, Bernardi & Emmons, and re-use of the former headquarters building to display primarily eighteenth century antiques has been masterful. The most impressive interior feature is the main room which formerly housed the turbines. This two-story room is 28 feet high and approximately 50 feet square; large arched windows of hand-rolled glass contrast with walls of exposed brick, the whole being surmounted by a particularly handsome coffered ceiling, each large redwood square of which is set off by great beams. The former front offices are distinguished by paneled dados, high ceilings and tall, narrow doors with transoms above.

A year after Merryvale's formal opening in 1958, the owners added an equally impressive garden shop to the south which is directly accessible from the main building.

Also of interest is the iron fence which encloses the front lawn; it is similar to the original and was placed as part of the restoration.

## ARCHITECTURE:

Richardsonian-Romanesque in its styling, this red brick rectangular building is, except for a corner tower, of uniform height. It is capped by a hipped roof, without projecting eaves, resting on a corbelled cornice. On its narrower facade facing Buchanan Street, a centered arched main entrance is asymmetrically balanced by the Queen Anne tower to the left whose conical roof rises to its apex at an elevation slightly higher than that of the roof ridge behind. From the exterior, the fenestration reflects the interior division of the building into two elements: the front, or westerly, one-third possessing windows indicating two floors with a heavy string course of brickwork at the upper floor level; the remaining two-thirds of the building, equal in height to the front, contains tall windows divided into panes with fanlights above, whose sill line is uniform with those on the lower floor at the front, but whose tops extend upward about three-quarters of the total wall height. On its south elevation, two-story pilasters divide the building into six evenly spaced bays. However, on the north, along North Point Street, this same division is only partially carried out, the pilasters here defining only the four bays containing the taller windows. The rear of the building is divided, also by two-story pilasters, into three bays slightly wider than those on the north and south sides. The center bay houses a double doorway extending its full width and equal in height to the windows in the adjacent bays. The doorway is topped by a flattened arch similar in its arc to that above the second story windows on the front portion of the building; all other windows and the main entry have semi-circular arched tops. All wall openings are surmounted and protected by slightly projecting cast stone moldings and, except for that over the main entrance, are divided into sections containing a patera. The main entrance arch, resting on short brick pilasters, frames a recessed doorway; here a deeper molding than that over the windows retains the name of the original occupant of the structure:

S. F. G A S L I G H T C O.

SURROUNDING LAND  
USE AND ZONING:

Zoning of the subject property is C-2 for a depth of 100 feet along Buchanan Street; the rear 18 feet of the parcel along North Point is zoned R-4. A PG&E substation is located to the east, a service station to the south. An apartment complex occupies most of the remainder of the block. Residential and commercial uses are located across Buchanan Street and a supermarket and parking lot across North Point Street faces into Gas House Cove. Fort Mason lies one block to the east.