



SAN FRANCISCO PLANNING DEPARTMENT

Architectural Review Committee Executive Summary

HEARING DATE: JANUARY 15, 2020

Record No.: 2017-013752COA
Project Address: 1772 VALLEJO ST
Landmark: Landmark No. 31
Zoning: RH-2 RESIDENTIAL- HOUSE, TWO FAMILY Zoning District
40-X Height and Bulk District
Block/Lot: 0552/029
Project Sponsor: Garavaglia Architecture
582 Market Street, Suite 1800
San Francisco, CA 94104
Staff Contact: Shannon M. Ferguson - 415-575-9074
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PROPERTY DESCRIPTION

1772 VALLEJO STREET (subject property) is located on the north side of Vallejo Street between Franklin and Gough streets in San Francisco's Pacific Heights neighborhood. Also known as the Burr House, the subject property is designated as City Landmark No. 31 (1970), holds a Mills Act Contract (2013) and is listed on the National Register of Historic Places (2014).

Designed with a blend of Italianate and Second Empire style influences, the building is a three-story-over-raised-basement single-family dwelling constructed circa 1878 by former San Francisco mayor, Ephraim W. Burr, as a wedding gift for his son, Edmund Burr (a chemical engineer), and his wife Anna Barnard. The design is attributed to the builder, Edmund M. Wharf. The subject property is an extremely rare example of an Italianate and Second Empire style residence located within a large garden setting and exemplifies the type of Gilded Age properties constructed in Pacific Heights during the last quarter of the nineteenth century.

Alterations

The exterior of the house has been minimally altered since its completion in 1878. Historic photographs and Sanborn maps show that the current columns and roof on the porch at the east elevation indicate this was added to an existing porch sometime between 1899 and 1913. As an integral architectural feature of the main entrance, it has attained significance. The first and second stories of the rear (north) elevation of the main house have been altered. Sanborn Maps indicate that an enclosed porch at the second story was constructed around the same time as the house. Circa 1970 photographs show that an enclosed room at the first story was a later addition. 1996 building permits indicate that the porch and enclosed room were removed for a new second story deck, and windows at the second story were altered for a kitchen remodel.

Character-Defining Features

Contributing features of the subject property include the large garden setting, main house and a one-story, wood-frame vernacular cottage behind the main house. Non-contributing features include an adjacent one-story, wood-frame automobile garage. As work is proposed to the main house, its character-defining features include:

- Italianate style with elaborate carved wood architectural detailing
- Angled bay windows spanning multiple floors
- Distinctive mansard roof
- Rusticated horizontal wood siding
- Carved wood ornamentation on all elevations, including quoins, hood molding, colonnettes, brackets, and cornice.
- Covered entry porch with carved wood balusters at steps and roof
- Arched double-hung, wood-sash windows

PROJECT DESCRIPTION

The proposed project is a three-story vertical addition at the rear (north) elevation of the main house. The footprint of the addition will be approximately 9-feet by 33-feet and set in from the east and west elevations of the house. The first and second stories will be nearly the full width of the rear elevation and the third story will extend approximately half the width of the rear elevation. The addition will be clad in plaster at the first story and “V” rusticated siding to match the spacing and align with the existing channel rustic siding. A porch with wood railings will access a door with arched transom at the first story. Balconettes with metal railings will be located at the second story. Roof decks with metal railings will be located at the third and fourth stories. Windows at the addition will consist of two narrow double-hung wood sashes with arched head flanked by wider arched double-hung wood sashes with arched head. The bank of four windows will be unified by hood molding and will have trim with a plain profile. The west elevation of the addition will have one rectangular fixed wood window at the second story. The east elevation will have paired double hung wood window sash with arched heads at the first and second stories and a door at the third story will access the new roof deck.

Please see photographs and plans for details.

ISSUES & OTHER CONSIDERATIONS

None

PUBLIC/NEIGHBORHOOD INPUT

The Department has received no public inquiries for general information about the proposed project.

STAFF ANALYSIS

Staff reviewed project plans dated December 24, 2019 for conformance with the *Secretary of the Interior's Standards for Rehabilitation*. Applicable *Standards* include:

Standard 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The property will remain a single family home. The addition will be at the rear elevation of the main house and appears to be minimally visible from the street.

Standard 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The addition will remove a substantial portion of the rear elevation. However, the first and second stories have been previously altered with an enclosed room, removal of an enclosed porch and alterations to windows. The third story portion of the addition removes two historic windows. Staff recommends retaining the westernmost window at the third story as the addition is proposed to be set in at this location. The addition appears to retain visibility of the historic quoining at the sides the house. The roof deck at the third story will be below the bay window, which appears to allow the historic features below the bay window to remain visible. Staff recommends eliminating the roof deck at the fourth story as it appears to impede visibility of the brackets below the mansard roof.

Standard 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The balconettes at the first story and use of banks of arched windows throughout the addition appear to add conjectural architectural elements. Staff recommends eliminating the balconettes and using single windows with arched heads.

Standard 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

The previous alterations to the first and second stories of the rear elevation do not appear to have acquired significance in their own right.

Standard 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

The addition appears to retain visibility of the historic quoining at the sides the house. The roof deck at the third story will be below the bay window, allowing the features below the bay window to remain visible. Staff recommends eliminating the roof deck at the fourth story to allow the brackets below the mansard roof to remain visible. Staff also recommends retaining the westernmost window at the second story in order to retain the distinctive hood molding and surround.

Standard 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The massing, size and scale of the new addition appears to be compatible with the main house. However, architectural features such as banks of arched windows, rectangular window at the east elevation of the addition, balconettes, and metal railings at balconettes and roof decks do not appear compatible with the character of the property. Staff recommends individual arched windows, eliminating the balconettes and fourth story roof deck, and using wood railings at the third story roof deck.

Standard 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The new addition appears to be constructed in a manner that may be removed in the future. The first and second stories have undergone previous alterations. At the first story, this area was previously enclosed. Also at the first story, windows proposed for infill may be opened in the future. The second story wall will be removed nearly in its entirety; however, this portion of the house has been previously altered. At the third story, two windows will be removed. One window will be used as an opening into the addition, while the other will be infilled. Staff recommends retaining the westernmost window instead of infilling it.

REQUESTED ACTION

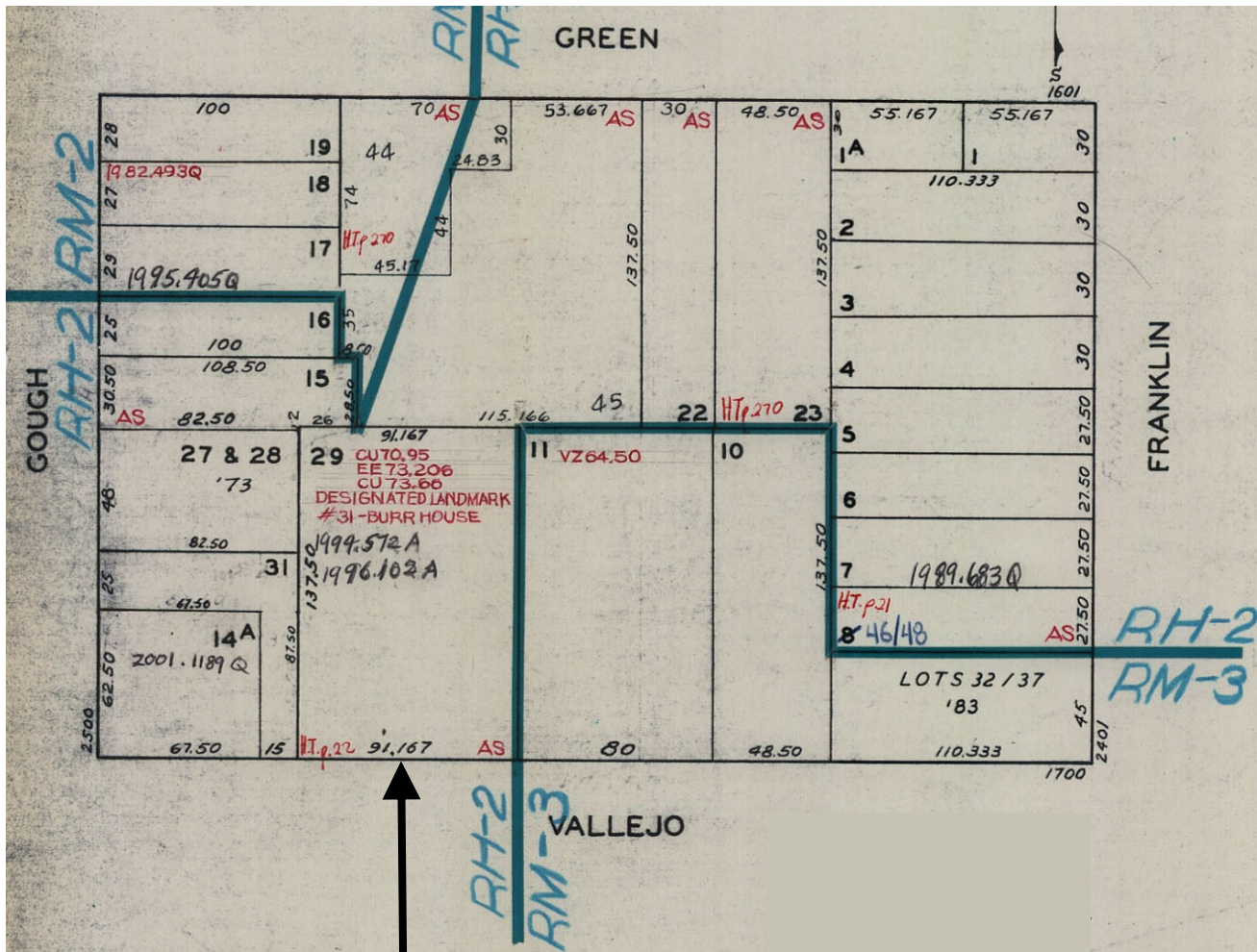
The Department seeks review and comment on the following aspects of the proposed project with regard to their compatibility with the subject property:

- Size, scale, massing and location of the addition
- Architectural features and details of the addition

ATTACHMENTS

Plans and Renderings
Maps and Context Photos

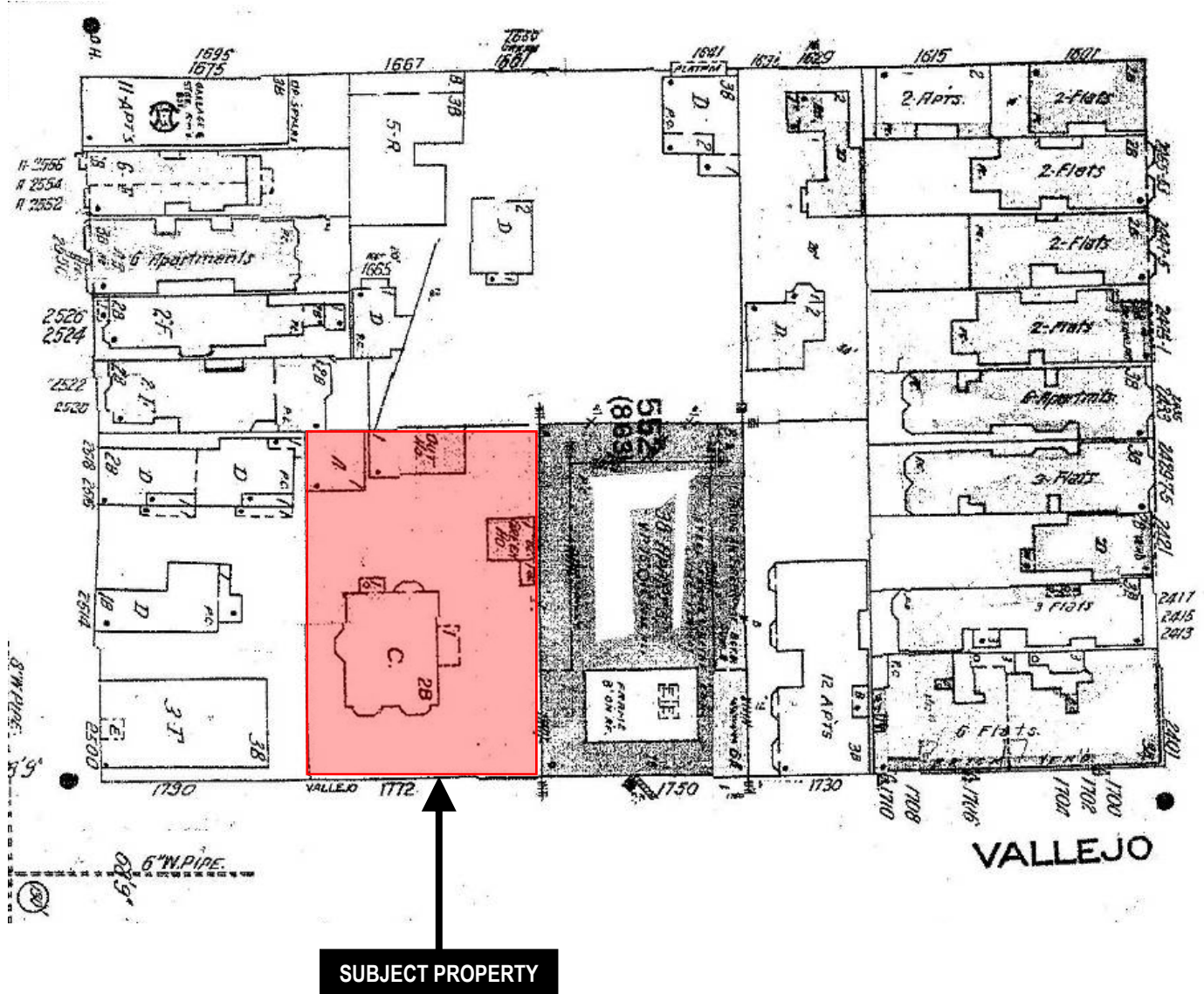
Parcel Map



SUBJECT PROPERTY

Architectural Review Committee
Case Number 2017-013752COA
1772 Vallejo Street
January 15, 2020

Sanborn Map*



Note: Greenhouse is no longer extant.

*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Aerial Photo – View 1



SUBJECT PROPERTY



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Case Number 2017-013752COA
1772 Vallejo Street
January 15, 2020

Site Photo



Front (south) elevation

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Site Photo



Existing rear (north) elevation

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Historic Photo



Rear (north) elevation c. 1970

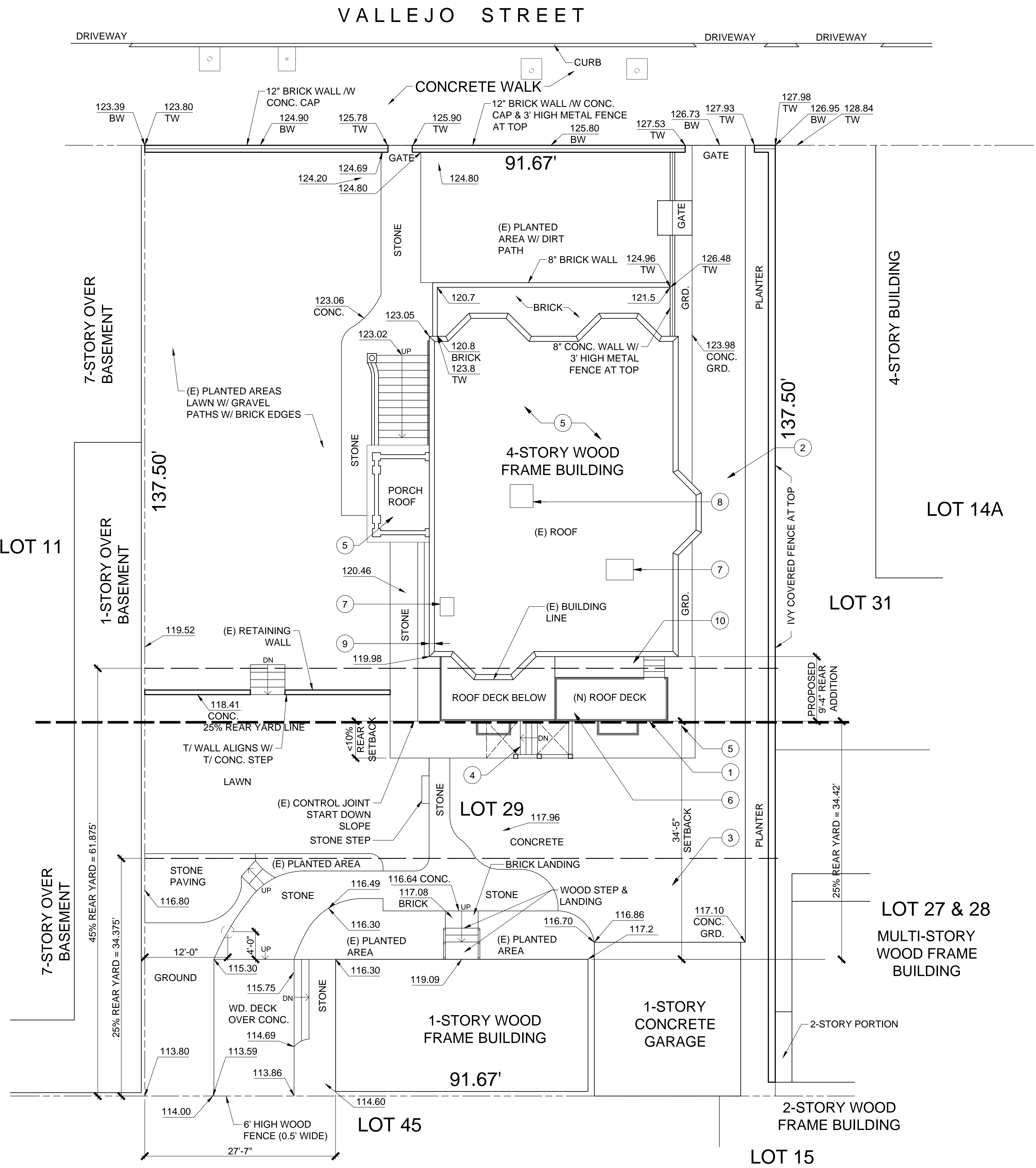
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Historic Photo



Rear (north) elevation c. 1970

Architectural Review Committee
Case Number 2017-013752COA
1772 Vallejo Street
January 15, 2020



SHEET NOTES

1. PROPERTY LINES, EXISTING STRUCTURE LOCATION, SITE FEATURES, CONTOURS & SPOT ELEVATIONS ARE BASED ON A SURVEY PREPARED BY MARTIN M. RON ASSOCIATES, DATED 11/22/94.
2. SETBACKS SHOWN ARE PER ZONING CODE SECTION 134, APPLICABLE FOR PROPOSED USE.



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MORAN RESIDENCE

1772 VALLEJO STREET
SAN FRANCISCO, CA 94123

KEY NOTES

- 1 (N) REAR ADDITION
- 2 (E) DRIVEWAY
- 3 (E) PARKING AREA
- 4 (N) STAIR TO GRADE
- 5 REROOF w/ TPO ROOFING
- 6 (N) ROOF TOP REAR DECK
- 7 REMOVE (E) CHIMNEY, FRAME OPENING AS REQUIRED
- 8 (E) SKYLIGHT
- 9 (E) MANSARD ROOF
- 10 (N) SKYLIGHT BELOW

PROGRESS PRINT

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24 DEC 2019

SITE PLAN

PROPOSED

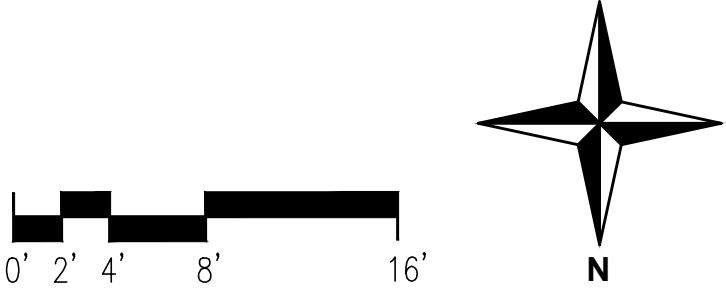
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SCALE 1/8"=1'-0"
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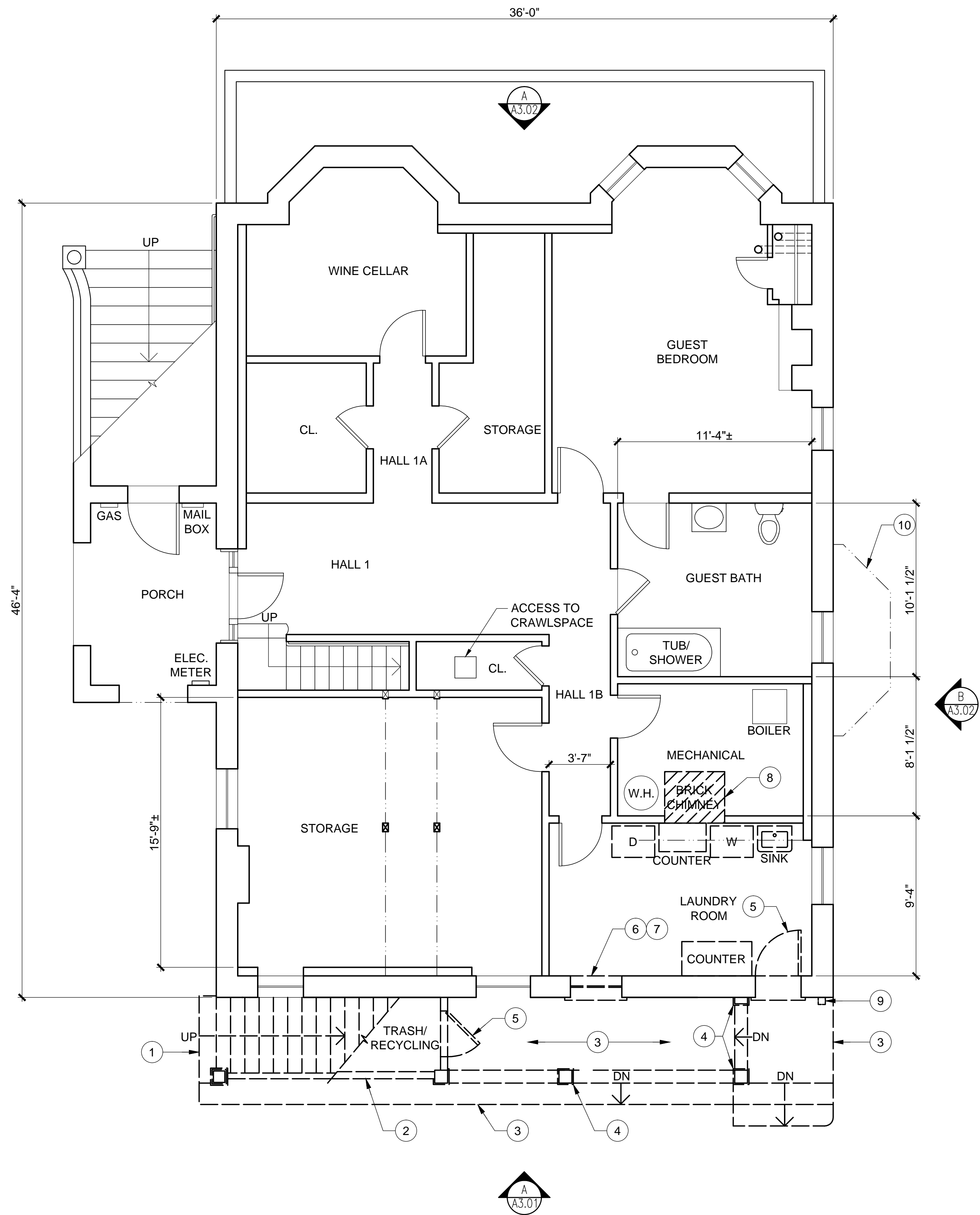
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1 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



SHEET NOTES

1. PRIOR TO START OF REMOVAL, PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
2. DEMOLISH AND REMOVE COMPLETE, ITEMS SHOWN DASHED AND NOTED FOR DEMOLITION.
3. MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE, U.O.N.
4. WALL FINISH NOTED FOR DEMOLITION TO BE REMOVED BACK TO FACE OF STUD, U.O.N.
5. COORDINATE DEMOLITION SCOPE W/ STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW STRUCTURAL ELEMENTS.
6. REFER TO ARCHITECTURAL GENERAL NOTES FOR ADDITIONAL DEMOLITION-SPECIFIC REQUIREMENTS.

KEY NOTES

- 1 REMOVE (E) STAIRS TO 2ND FLOOR.
- 2 REMOVE (E) WALLS AT STORAGE ROOM.
- 3 REMOVE (E) CONC. STEPS, LANDING & PORCH FLOOR.
- 4 REMOVE (E) WD. POSTS & TRIM.
- 5 REMOVE & (E) WD. DOOR, FRAME & TRIM.
- 6 REMOVE & (E) WD. WINDOW, FRAME & TRIM.
- 7 AFTER REMOVAL OF (E) WINDOW, ENLARGE OPENING TO ACCOMMODATE PROPOSED (N) DOOR.
- 8 REMOVE (E) BRICK CHIMNEY, FROM TOP TO 6" BELOW FINISH FLOOR LEVEL. PATCH (E) FLOOR TO MATCH ADJACENT.
- 9 REMOVE (E) "JOMY" FIRE ESCAPE LADDER.
- 10 (E) BAY WINDOW ABOVE TO REMAIN. PROTECT IN PLACE.



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PROGRESS PRINT

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FLOOR PLAN

DEMOLITION
1ST FLOOR

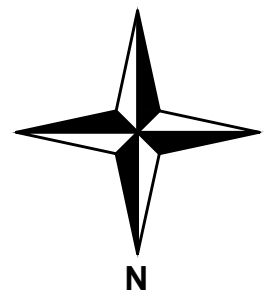
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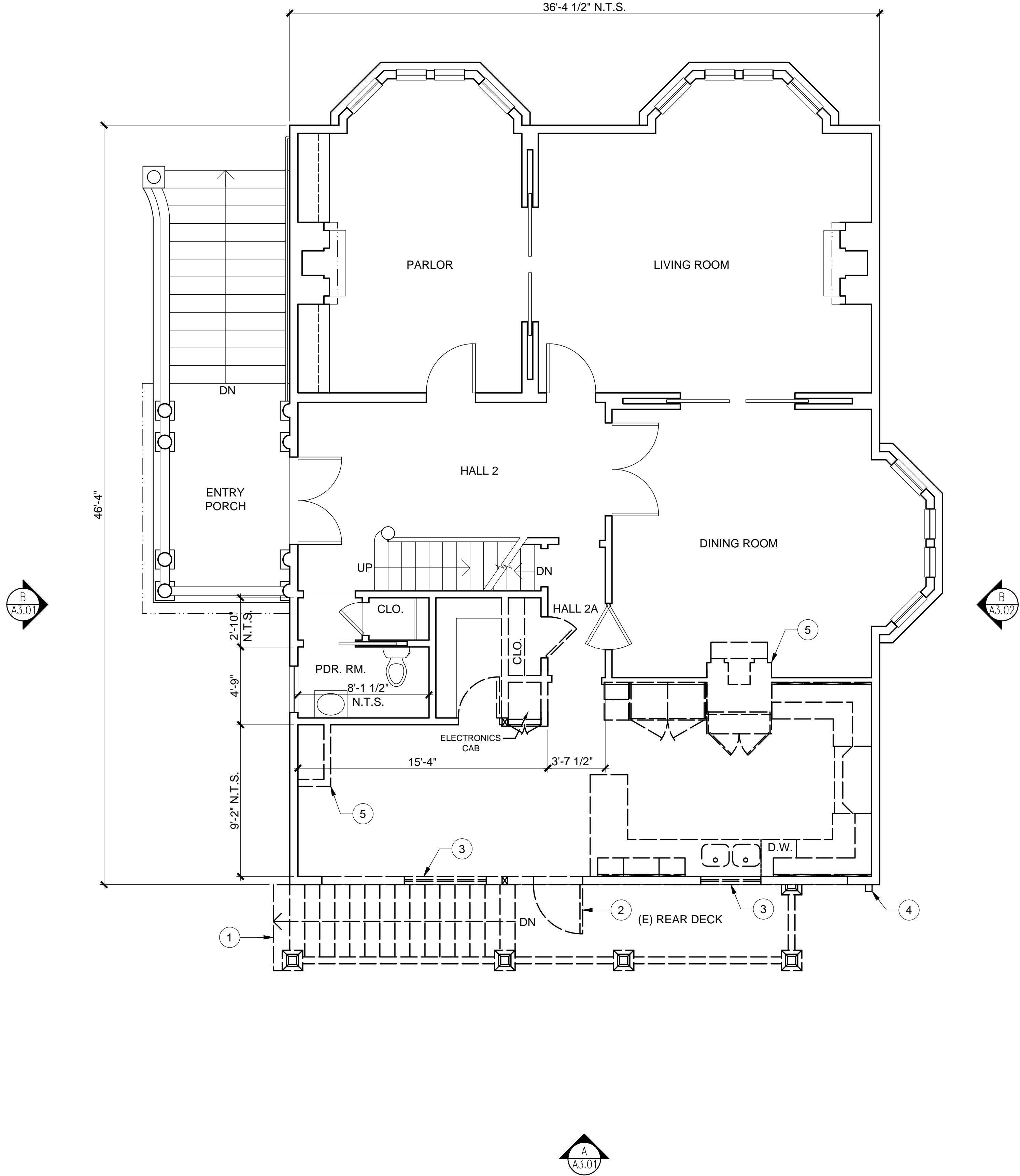
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3. MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE, U.O.N.
4. WALL FINISH NOTED FOR DEMOLITION TO BE REMOVED BACK TO FACE OF STUD, U.O.N.
5. COORDINATE DEMOLITION SCOPE W/ STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW STRUCTURAL ELEMENTS.
6. REFER TO ARCHITECTURAL GENERAL NOTES FOR ADDITIONAL DEMOLITION-SPECIFIC REQUIREMENTS.



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KEY NOTES

- 1 REMOVE (E) REAR DECK & STAIRS TO GRADE.
- 2 REMOVE (E) WD. DOOR, FRAME & TRIM.
- 3 REMOVE (E) WD. WINDOW, FRAME & TRIM.
- 4 REMOVE (E) "JOMY" FIRE ESCAPE LADDER.

REMOVE (E) MASONRY CHIMNEY;
SALVAGE MANTLE & SURROUND WHERE OCCURS

PROGRESS PRINT

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24 DEC 2019

FLOOR PLAN

DEMOLITION
2ND FLOOR

PROJ. NO. 2017-003
SCALE 1/4"=1'-0"
DATE 20 JUNE 2017
PHASE SD
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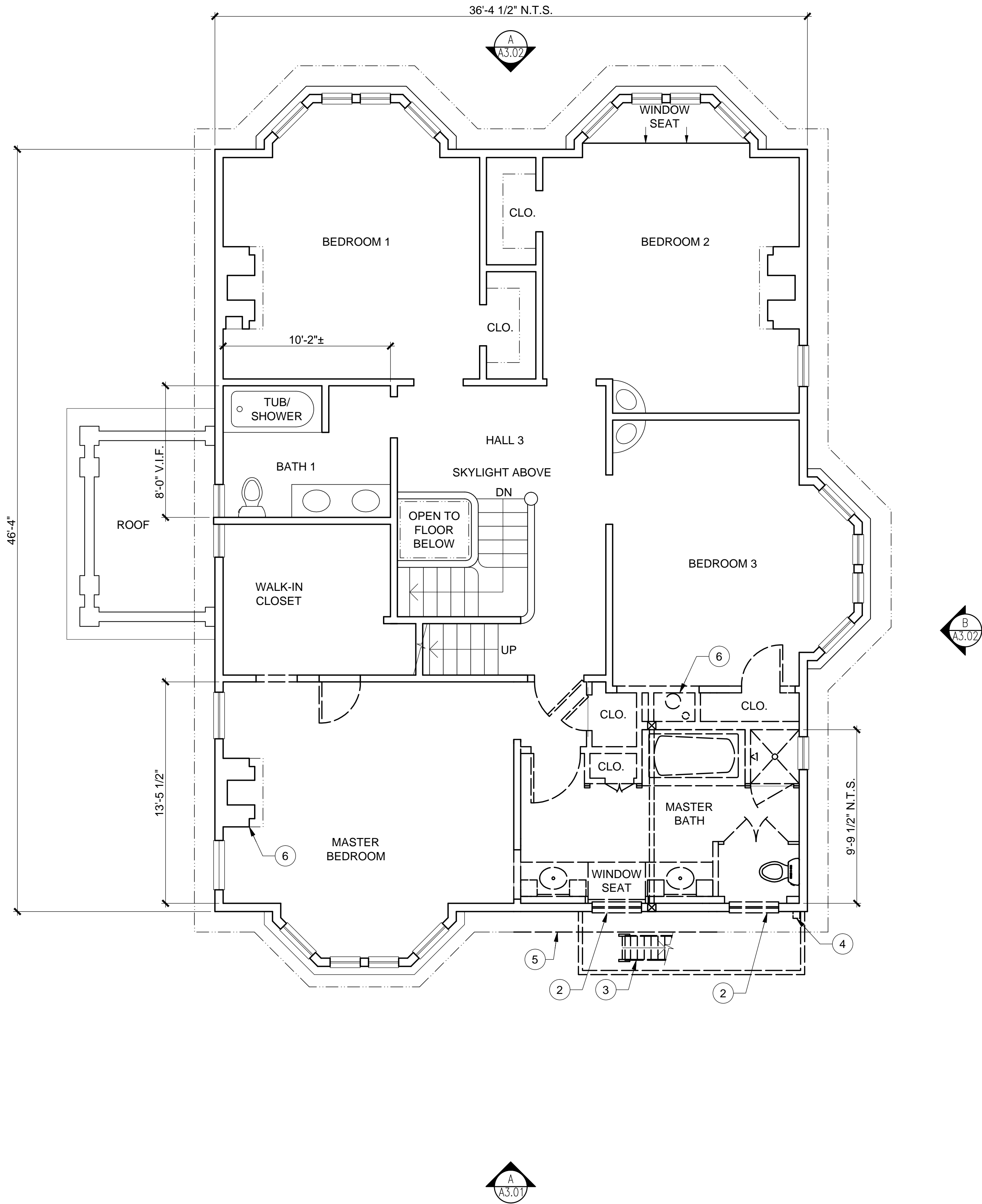
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



1 THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"



SHEET NOTES

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3. MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE, U.O.N.
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5. COORDINATE DEMOLITION SCOPE W/ STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW STRUCTURAL ELEMENTS.
6. REFER TO ARCHITECTURAL GENERAL NOTES FOR ADDITIONAL DEMOLITION-SPECIFIC REQUIREMENTS.

KEY NOTES

- 1 REMOVE & SALVAGE (E) BAY WINDOW & CORNICE WHOLE FOR RE-INSTALLATION IN (N) ADDITION.
- 2 REMOVE (E) WOOD WINDOW.
- 3 REMOVE (E) FIRE ESCAPE.
- 4 REMOVE (E) "JOMY" FIRE ESCAPE LADDER.
- 5 OVERHANG OF (E) ROOF CORNICE ABOVE.
- 6 REMOVE (E) MASONRY CHIMNEY; SALVAGE MANTLE & SURROUND WHERE OCCURS



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FLOOR PLAN

DEMOLITION
3RD FLOOR

PROJ. NO. 2017-003
SCALE 1/4"=1'-0"
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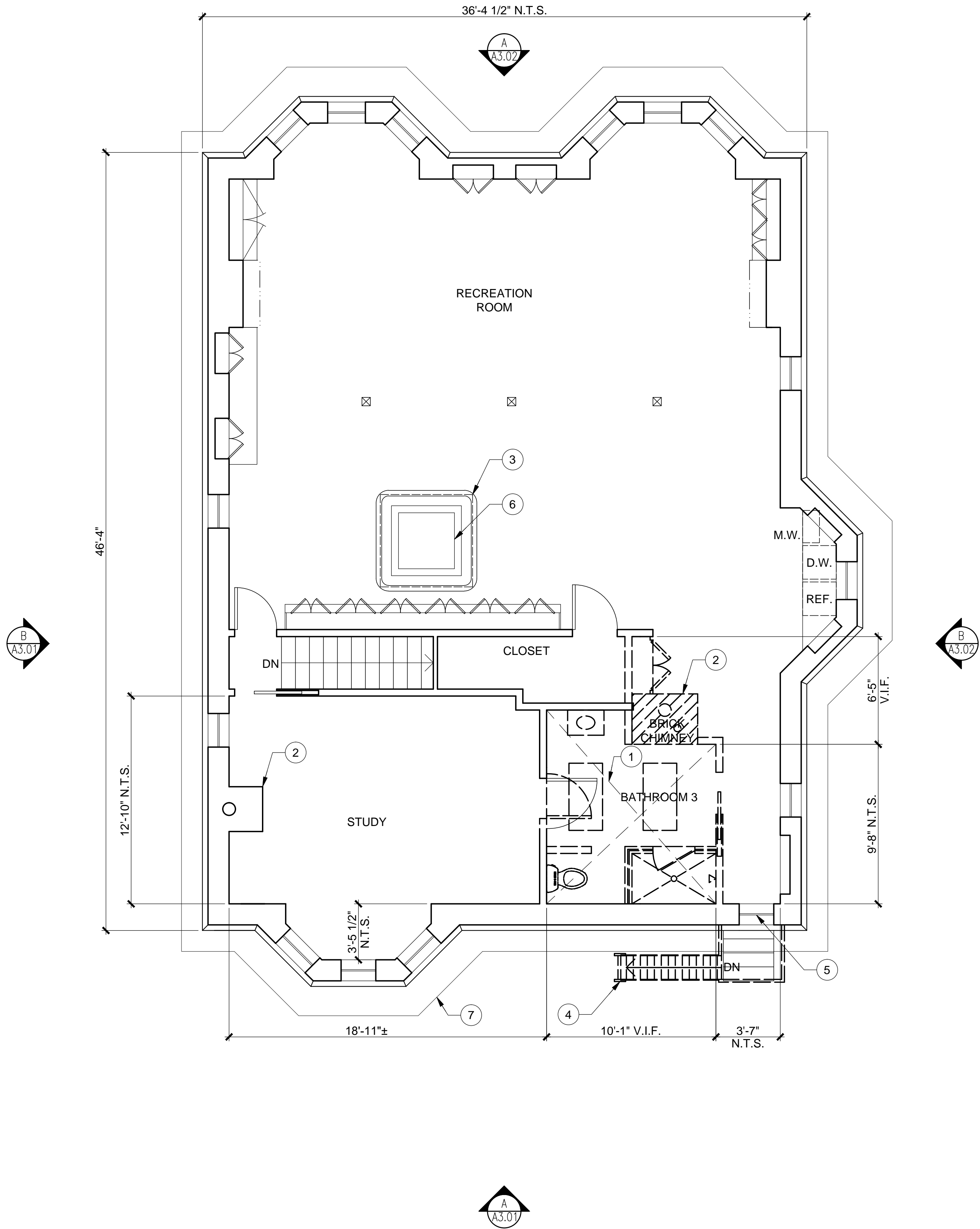
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1 FOURTH FLOOR PLAN

SCALE: 1/4" = 1'-0"



SHEET NOTES

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2. DEMOLISH AND REMOVE COMPLETE, ITEMS SHOWN DASHED AND NOTED FOR DEMOLITION.
3. MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE, U.O.N.
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KEY NOTES

- 1 REMOVE FIXTURES & FINISHES BACK TO FOS & T.O. SUBFLOOR
- 2 REMOVE (E) BRICK CHIMNEY COMPLETE
- 3 (E) SKYLIGHT ABOVE; PROTECT IN PLACE.
- 4 REMOVE (E) FIRE ESCAPE & LADDER.
- 5 (E) WD WINDOW TO REMAIN. PROTECT IN PLACE.
- 6 (E) STAINED GLASS SKYLIGHT AT FLOOR LEVEL w/ (E) WOOD RAILING TO REMAIN
- 7 (E) BAY WINDOW AND CORNICE TO REMAIN



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FLOOR PLAN

DEMOLITION
4TH FLOOR

PROJ. NO. 2017-003
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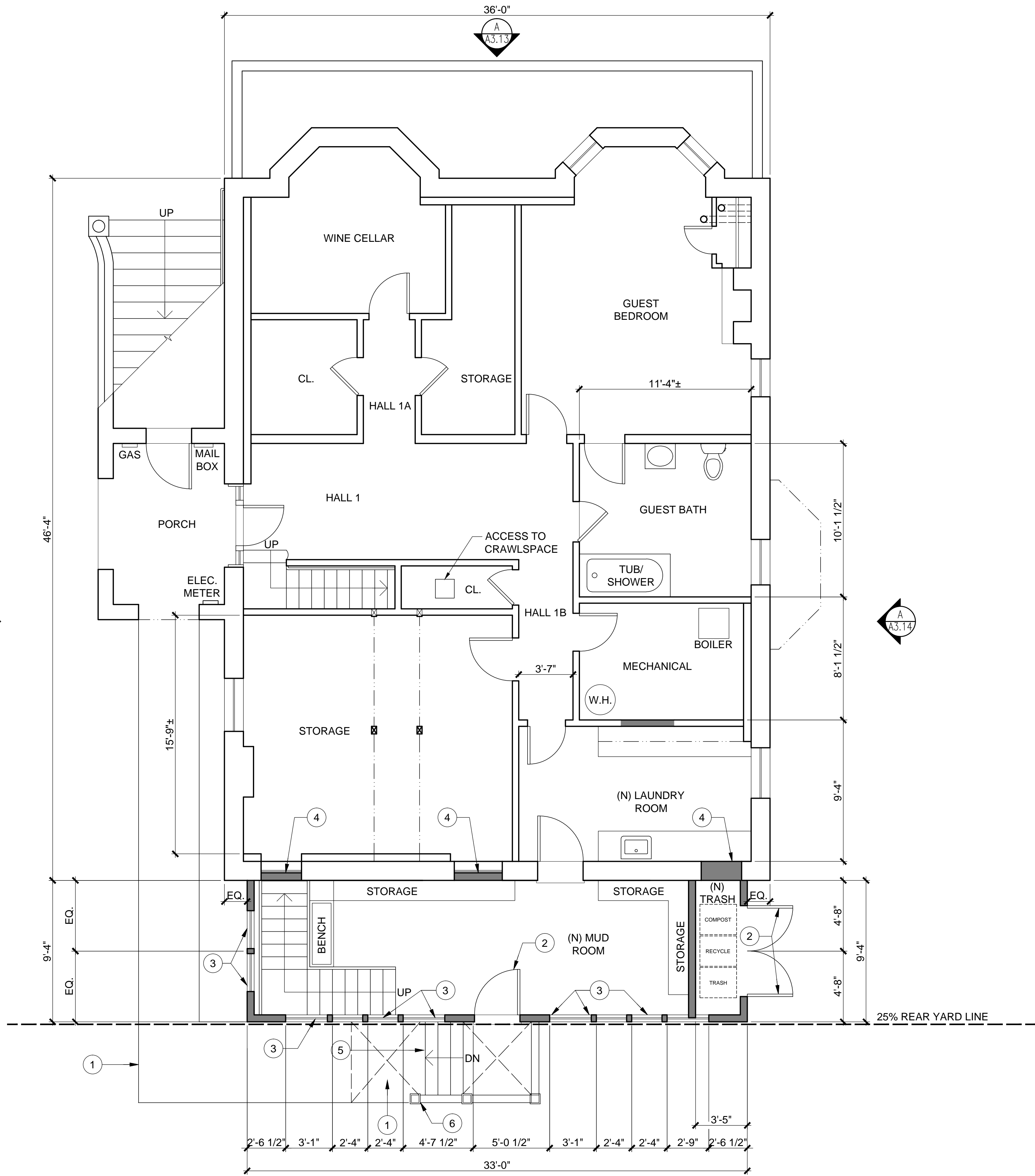
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1 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



SHEET NOTES

1. PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
2. BUILD WALLS, DOORWAYS AND WINDOW OPENINGS AS LOCATED.
3. COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF STRUCTURAL & OTHER BUILDING ELEMENTS.
4. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS ARE TO REMAIN IN PLACE & BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION, UON.



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KEY NOTES

- 1 REQUIRED LEVEL LANDING
- 2 (N) DOORWAY
- 3 (N) WINDOW OPENING
- 4 (N) WALL INFILL AT (E) OPENING
- 5 (N) STAIR
- 6 (N) STAIR RAILING

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FLOOR PLAN

PROPOSED
1ST FLOOR

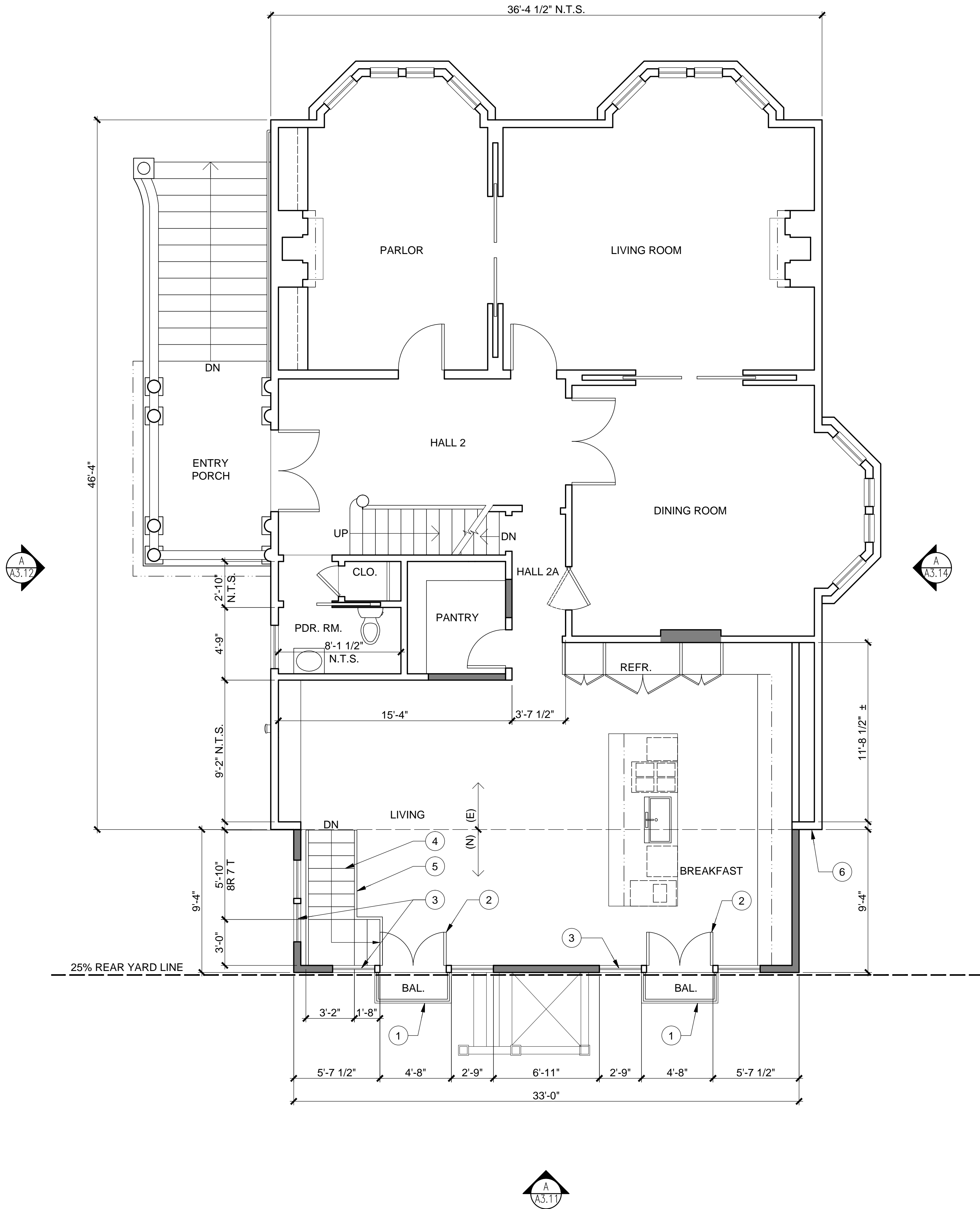
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2. BUILD WALLS, DOORWAYS AND WINDOW OPENINGS AS LOCATED.
3. COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF STRUCTURAL & OTHER BUILDING ELEMENTS.
4. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS ARE TO REMAIN IN PLACE & BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION, UON.



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KEY NOTES

- 1 (N) BALCONY AND WROUGHT IRON RAILING
- 2 (N) FRENCH DOORS
- 3 (N) WINDOWS, TYP.
- 4 (N) STAIR
- 5 (N) STAIR RAILING
- 6 (E) QUOINS TO REMAIN

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	<u>11 SEPT 2017</u>	<u>C.O.A. APPLICATION</u>
	<u>24 DEC 2019</u>	<u>ARC REVIEW</u>

SHEET NO.

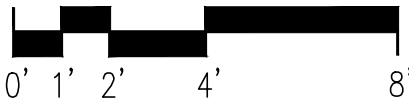
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1

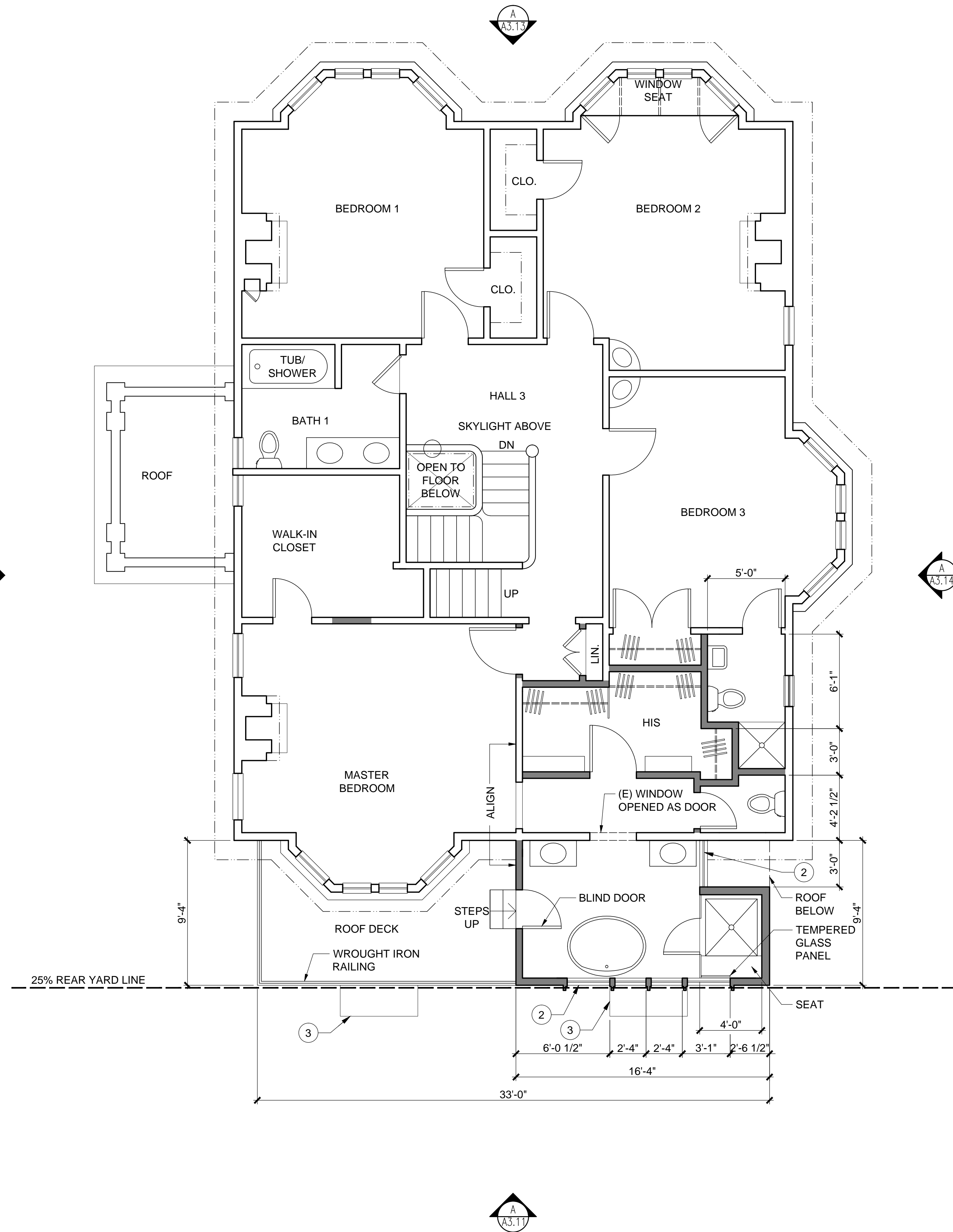
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



1 THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"



SHEET NOTES

1. PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
2. BUILD WALLS, DOORWAYS AND WINDOW OPENINGS AS LOCATED.
3. WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF STRUCTURAL & OTHER BUILDING ELEMENTS.
4. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS ARE TO REMAIN IN PLACE & BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION, UON.

KEY NOTES

- 1 NOT USED
- 2 (N) WINDOWS, TYP.
- 3 LINE OF (N) BALCONY BELOW
- 4 NOT USED
- 5 RELOCATED (E) BAY WINDOW AND CORNICE



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FLOOR PLAN

PROPOSED
3RD FLOOR

PROJ. NO. 2017-003
SCALE 1/4"=1'-0"
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SHEET NOTES

1. PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN. TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
2. BUILD WALLS, DOORWAYS AND WINDOW OPENINGS AS LOCATED.
3. COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF STRUCTURAL& OTHER BUILDING ELEMENTS.
4. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS ARE TO REMAIN IN PLACE & BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION, UON.

KEY NOTES

- 1 (N) WROUGHT IRON RAILING
- 2 (N) STAIRS TO ROOF DECK
- 3 (N) SKYLIGHT AT HYPHEN
- 4 (E) WINDOW TO REMAIN
- 5 (E) BAY WINDOW

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FLOOR PLAN

PROPOSED 4TH FLOOR

PROJ. NO. 2017-003

SCALE 1/4"=1'-0"

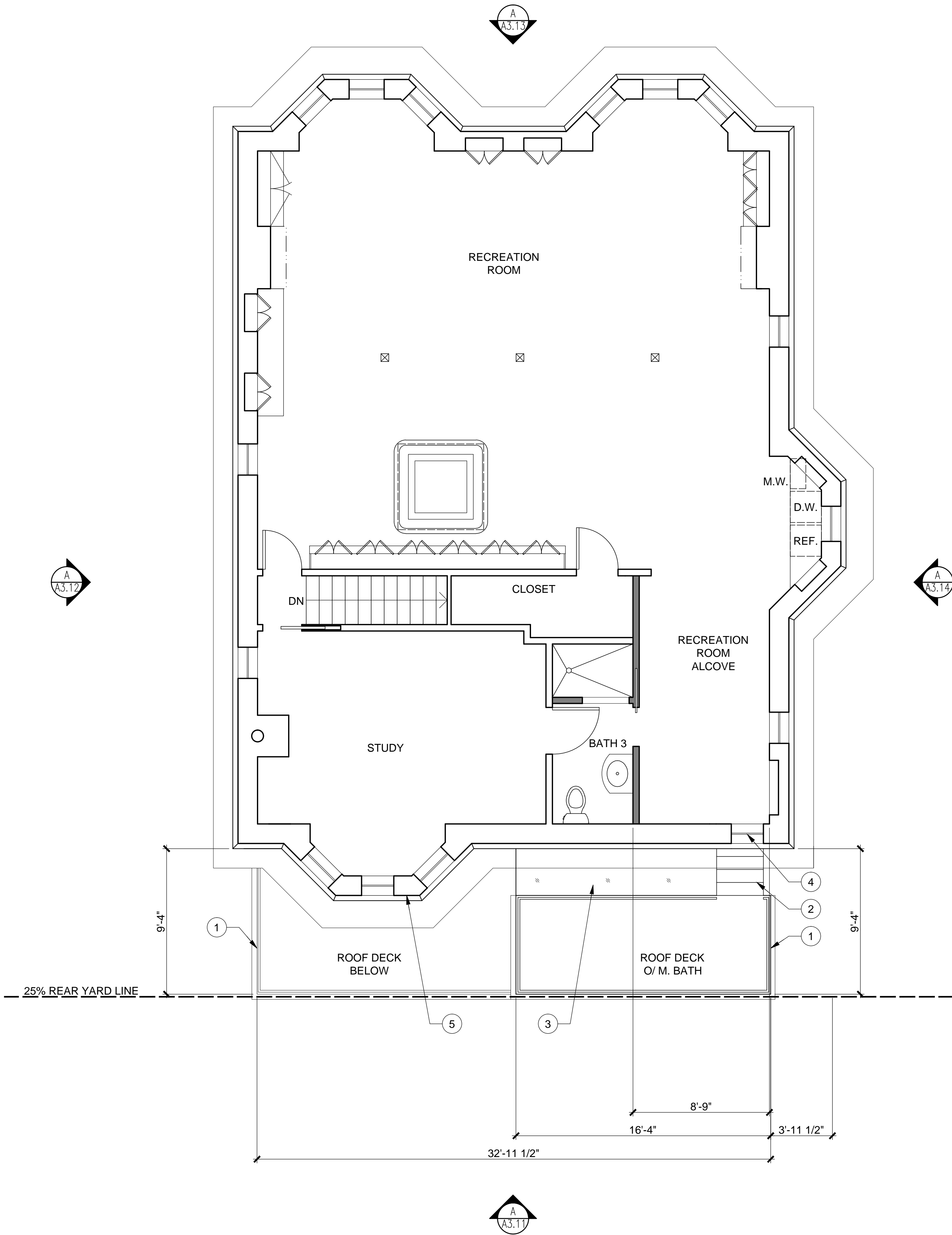
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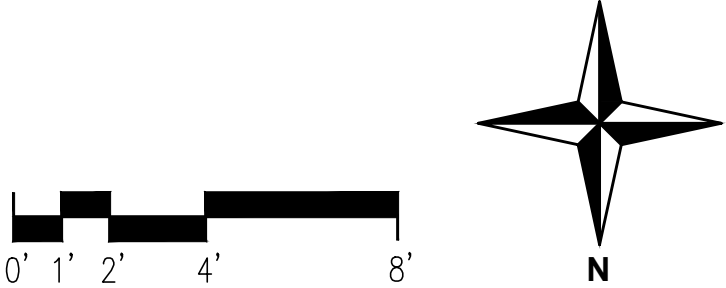
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1

FOURTH FLOOR PLAN

SCALE: 1/4" = 1'-0"



SHEET NOTES

1.

PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
2.

DEMOLISH AND REMOVE COMPLETE, ITEMS SHOWN DASHED AND NOTED FOR DEMOLITION.
3.

MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE, U.O.N.
4.

WALL FINISH NOTED FOR DEMOLITION TO BE REMOVED BACK TO FACE OF STUD, U.O.N.
5.

COORDINATE DEMOLITION SCOPE W/ STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW STRUCTURAL ELEMENTS.
6.

REFER TO ARCHITECTURAL GENERAL NOTES FOR ADDITIONAL DEMOLITION-SPECIFIC REQUIREMENTS.



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KEY NOTES

- 1

REMOVE (E) STAIRS TO 2ND FLOOR.
- 2

REMOVE (E) WALLS AT STORAGE ROOM.
- 3

REMOVE (E) CONC. STEPS, LANDING & PORCH FLOOR.
- 4

REMOVE & (E) WD. POSTS & TRIM.
- 5

REMOVE & (E) WD. DOOR, FRAME & TRIM.
- 6

REMOVE & (E) WD. WINDOW, FRAME & TRIM.
- 7

ENLARGE (E) WINDOW OPENING TO ACCOMMODATE PROPOSED (N) DOOR.
- 8

(E) JOMY FIRE ESCAPE LADDER TO REMAIN. PROTECT IN PLACE.
- 9

REMOVE (E) REAR DECK.
- 10

REMOVE (E) WD. WINDOW, FRAME & TRIM.
- 11

REMOVE & SALVAGE (E) BAY WINDOW & CORNICE AS WHOLE ASSEMBLY FOR RE-INSTALLATION IN (N) ADDITION.
- 12

REMOVE (E) FIRE ESCAPE & LADDER.
- 13

(E) WD. WINDOW TO REMAIN. PROTECT IN PLACE.
- 14

CUT OPENING FOR (N) DOOR.
- 15

CUT OPENING FOR (N) WINDOW.
- 16

CUT (E) CORNICE FOR (N) DOOR. V.I.F. WIDTH OF CUT. ALLOW FOR INSTALLATION OF (N) DOOR PAN FLASHING. DO NOT CUT ANY (E) BRACKETS IN CORNICE. REMOVE & SALVAGE ANY (E) BRACKETS AT CUT AREA.
- 17

(E) QUOINS TO REMAIN. PROTECT IN PLACE.
- 18

(E) BAY WINDOW TO REMAIN. PROTECT IN PLACE. PROVIDE TEMPORARY SUPPORT BEFORE REMOVING (E) CORNICE BELOW.

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EXTERIOR ELEVATION

DEMOLITION

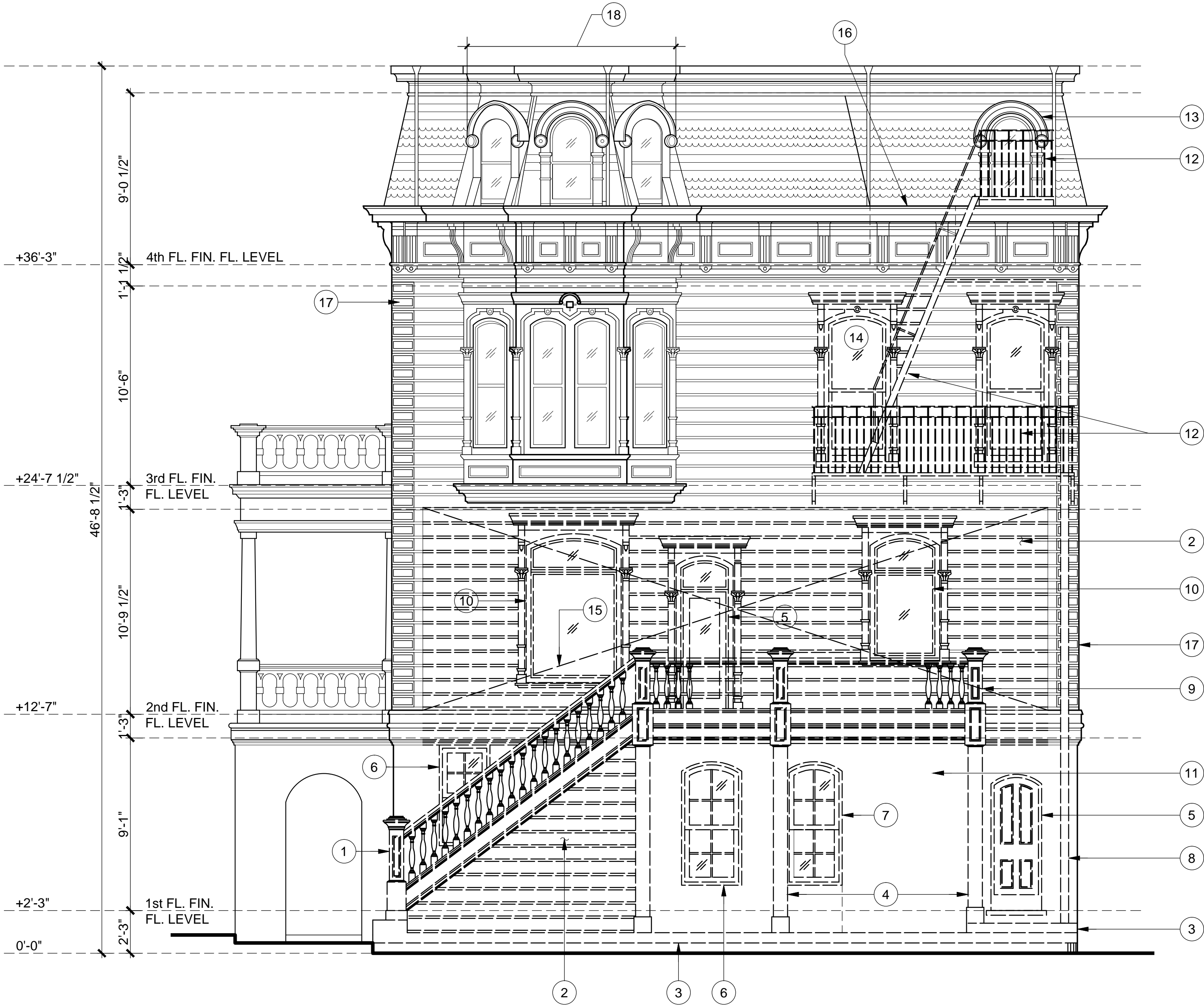
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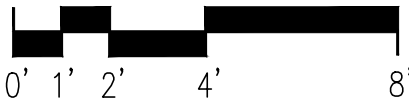
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A NORTH
SCALE: 1/4" = 1'-0"



SHEET NOTES

1. PRIOR TO START OF REMOVAL, PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
2. DEMOLISH AND REMOVE COMPLETE, ITEMS SHOWN DASHED AND NOTED FOR DEMOLITION.
3. MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE, U.O.N.
4. WALL FINISH NOTED FOR DEMOLITION TO BE REMOVED BACK TO FACE OF STUD, U.O.N.
5. COORDINATE DEMOLITION SCOPE W/ STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW STRUCTURAL ELEMENTS.
6. REFER TO ARCHITECTURAL GENERAL NOTES FOR ADDITIONAL DEMOLITION-SPECIFIC REQUIREMENTS.



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KEY NOTES

- 1 REMOVE (E) STAIRS TO 2ND FLOOR.
- 2 REMOVE (E) REAR DECK.
- 3 NOT USED
- 4 (E) BAY WINDOW TO REMAIN.
- 5 (E) QUOINS TO REMAIN. PROTECT IN PLACE.

PROGRESS PRINT

NOT FOR CONSTRUCTION

24 DEC 2019

EXTERIOR ELEVATION
DEMOLITION

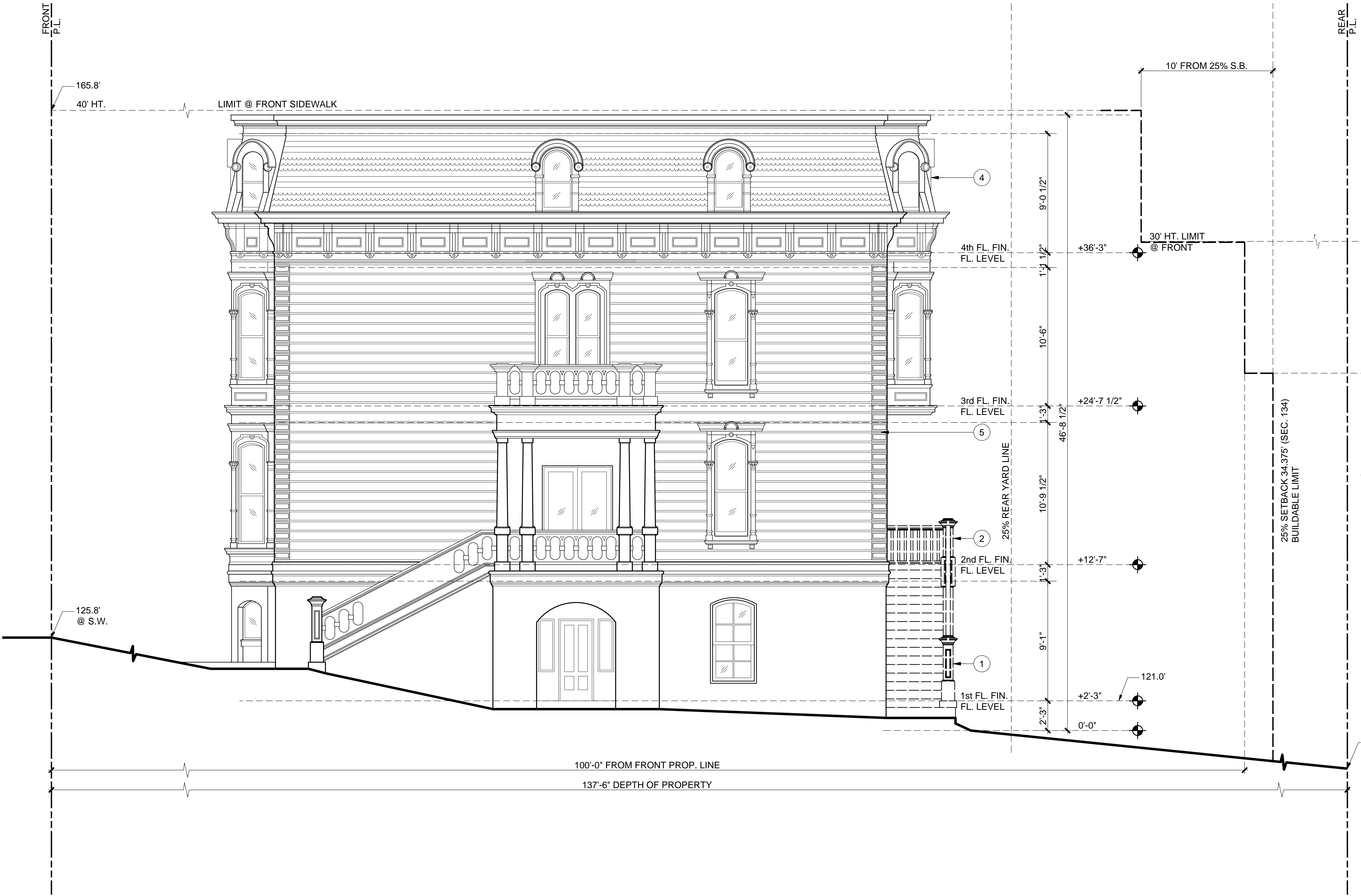
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A EAST
SCALE: 1/4" = 1'-0"



SHEET NOTES

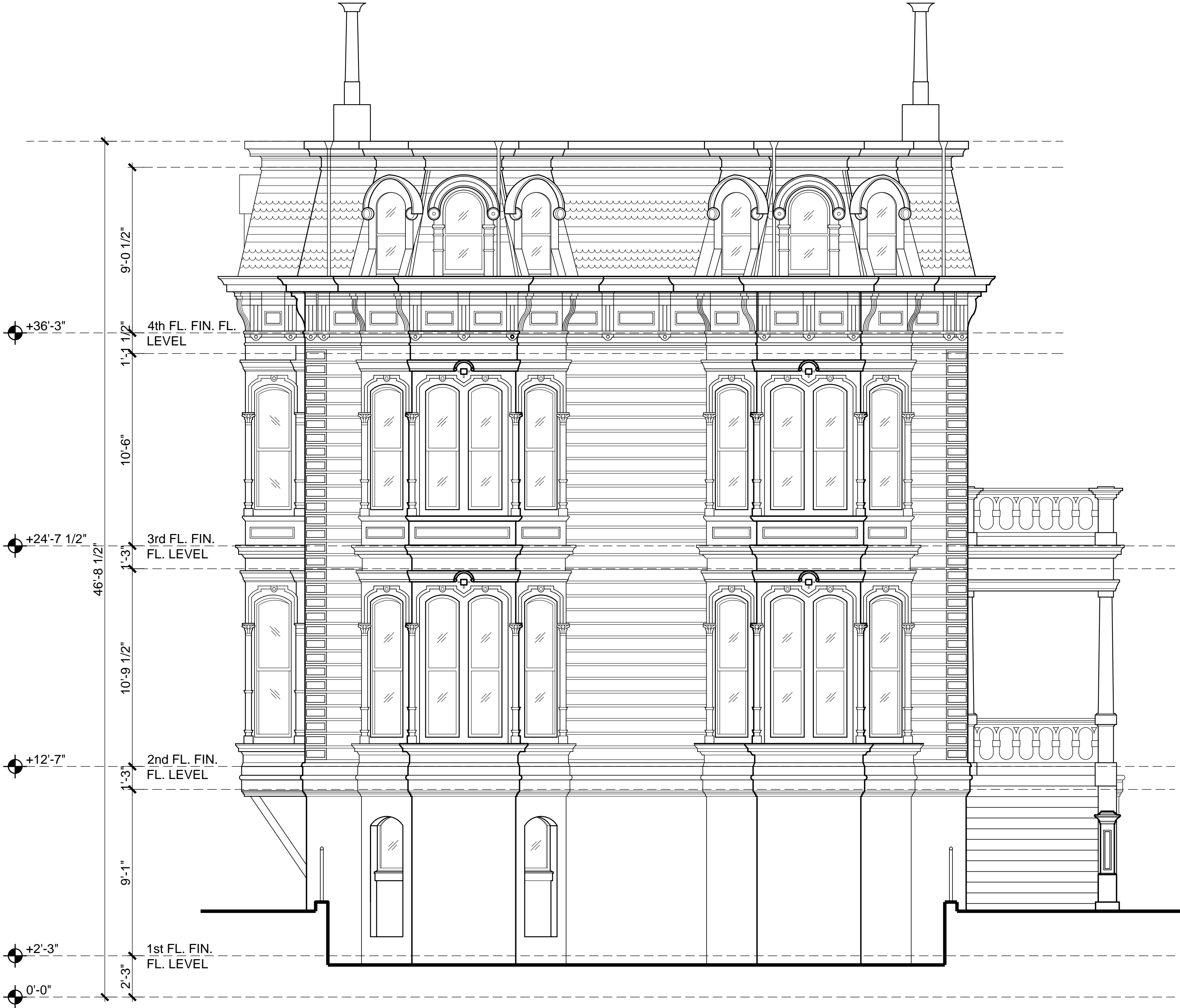
1. NO SHEET NOTES APPLICABLE TO THIS ELEVATION. ALL EXISTING ELEMENTS TO REMAIN IN PLACE.



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KEY NOTES

1. NO KEY NOTES APPLICABLE TO THIS ELEVATION. ALL EXISTING ELEMENTS TO REMAIN IN PLACE.

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EXTERIOR ELEVATION

EXISTING

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A SOUTH
SCALE: 1/4" = 1'-0"



SHEET NO.

A-3.03

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SHEET NOTES

- 1. PRIOR TO START OF REMOVAL, PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
- 2. DEMOLISH AND REMOVE COMPLETE, ITEMS SHOWN DASHED AND NOTED FOR DEMOLITION.
- 3. MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE, U.O.N.
- 4. WALL FINISH NOTED FOR DEMOLITION TO BE REMOVED BACK TO FACE OF STUD, U.O.N.
- 5. COORDINATE DEMOLITION SCOPE W/ STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW STRUCTURAL ELEMENTS.
- 6. REFER TO ARCHITECTURAL GENERAL NOTES FOR ADDITIONAL DEMOLITION-SPECIFIC REQUIREMENTS.



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KEY NOTES

- 1 REMOVE (E) WALLS AT STORAGE ROOM.
- 2 REMOVE (E) CONC. STEPS, LANDING & PORCH FLOOR.
- 3 REMOVE (E) WD. POSTS & TRIM.
- 4 REMOVE (E) WD. DOOR, FRAME & TRIM.
- 5 REMOVE(E) "JOMY" FIRE ESCAPE LADDER
- 6 REMOVE (E) REAR DECK
- 7 REMOVE (E) FIRE ESCAPE & LADDER.
- 8 (E) QUOINS TO REMAIN. PROTECT IN PLACE.

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EXTERIOR ELEVATION

DEMOLITION

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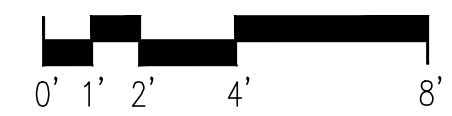
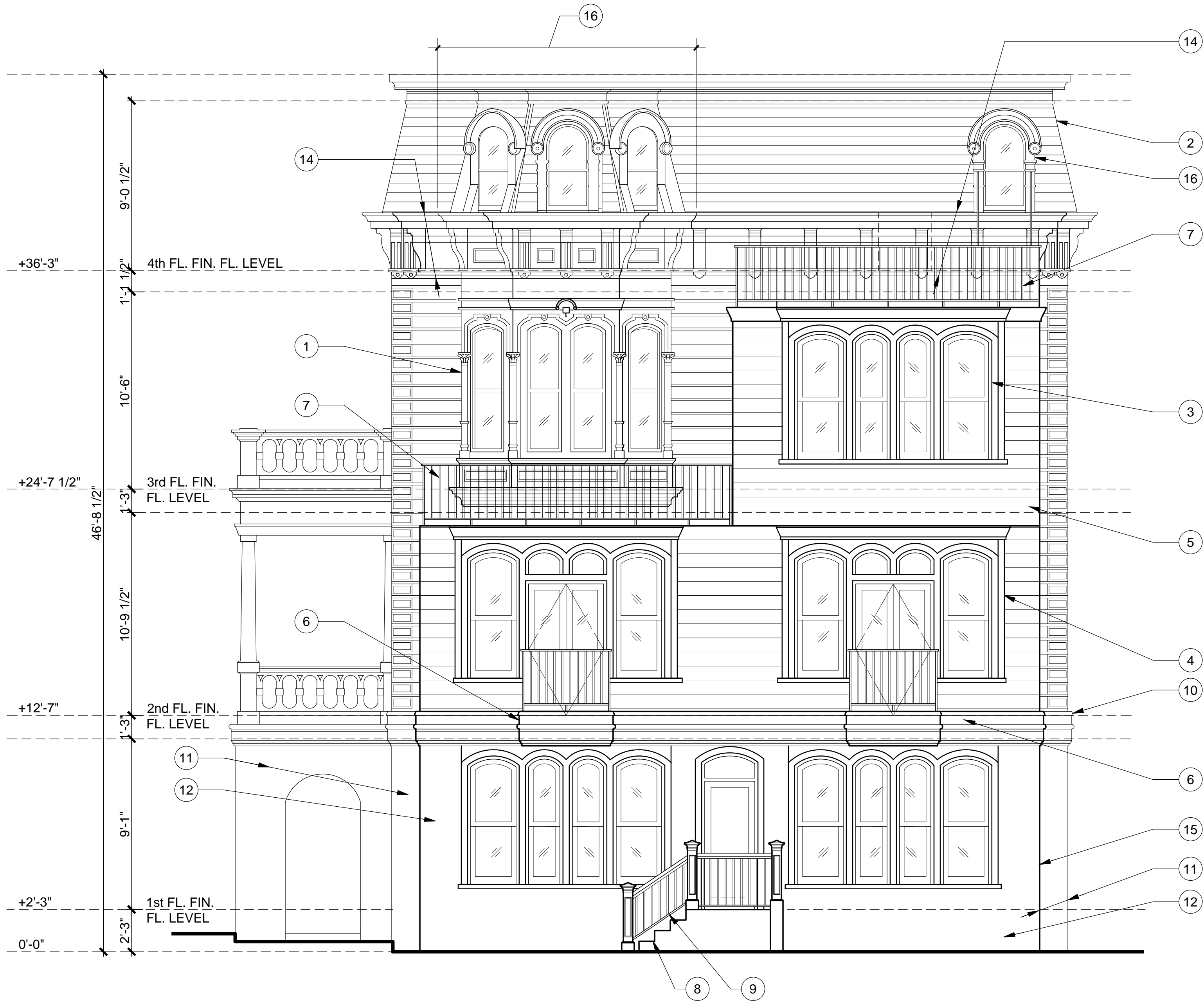


A

WEST

SCALE: 1/4" = 1'-0"





SHEET NOTES

1. PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING WORK IN ADJACENT AREAS.
2. COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF (N) STRUCTURAL & OTHER BUILDING ELEMENTS.
3. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS THAT ARE TO REMAIN IN PLACE MUST BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
4. ALL SIDING & TRIM TO BE PRIMED AND PAINTED PER FINISH SCHEDULE WITH EXPOSED FOUNDATION TO BE PAINTED ADJACENT BODY COLOR.
5. FURNISH REQUIRED ATTIC VENTILATION, PER CBC SECTION 1203 IN LOCATIONS NOTED.

KEY NOTES

- ① (E) BAY WINDOW & CORNICE TO REMAIN; PROTECT IN PLACE
- ② (E) MANSARD ROOF ASSEMBLY TO REMAIN
- ③ (N) WINDOWS TO BE ARCH TOP SIMILAR TO (E) HISTORIC
- ④ (N) WINDOW TRIM TO BE SIMILAR BUT WITH PLAIN PROFILE COMPARED TO (E) HISTORIC TRIM
- ⑤ (N) "V" RUSTICSIDING TO MATCH SPACING AND ALIGN w/ (E) CHANNEL RUSTIC SIDING
- ⑥ (N) BALCONY w/ WROUGHT IRON RAILING
- ⑦ (N) WROUGHT IRON RAILING
- ⑧ (N) WOOD STEPS TO GRADE
- ⑨ (N) OPEN WOOD RAILING
- ⑩ (N) CORNICE TO ALIGN w/ (E) CORNICE
- ⑪ (E) BRICK WALL
- ⑫ (N) CEMENT PLASTER WALL FINISH AT ADDITION
- ⑬ NOT USED
- ⑭ PROTECT (E) CORNICE, TYPICAL
- ⑮ (N) TRASH/RECYCLE ROOM FIN.FLOOR LEVEL TO MATCH ADJACENT GRADE.
- ⑯ (E) WINDOW TO REMAIN



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SHEET NOTES

1. PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING WORK IN ADJACENT AREAS.
2. COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF (N) STRUCTURAL & OTHER BUILDING ELEMENTS.
3. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS THAT ARE TO REMAIN IN PLACE MUST BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
4. ALL SIDING & TRIM TO BE PRIMED AND PAINTED PER FINISH SCHEDULE WITH EXPOSED FOUNDATION TO BE PAINTED ADJACENT BODY COLOR.
5. FURNISH REQUIRED ATTIC VENTILATION, PER CBC SECTION 1203 IN LOCATIONS NOTED.

KEY NOTES

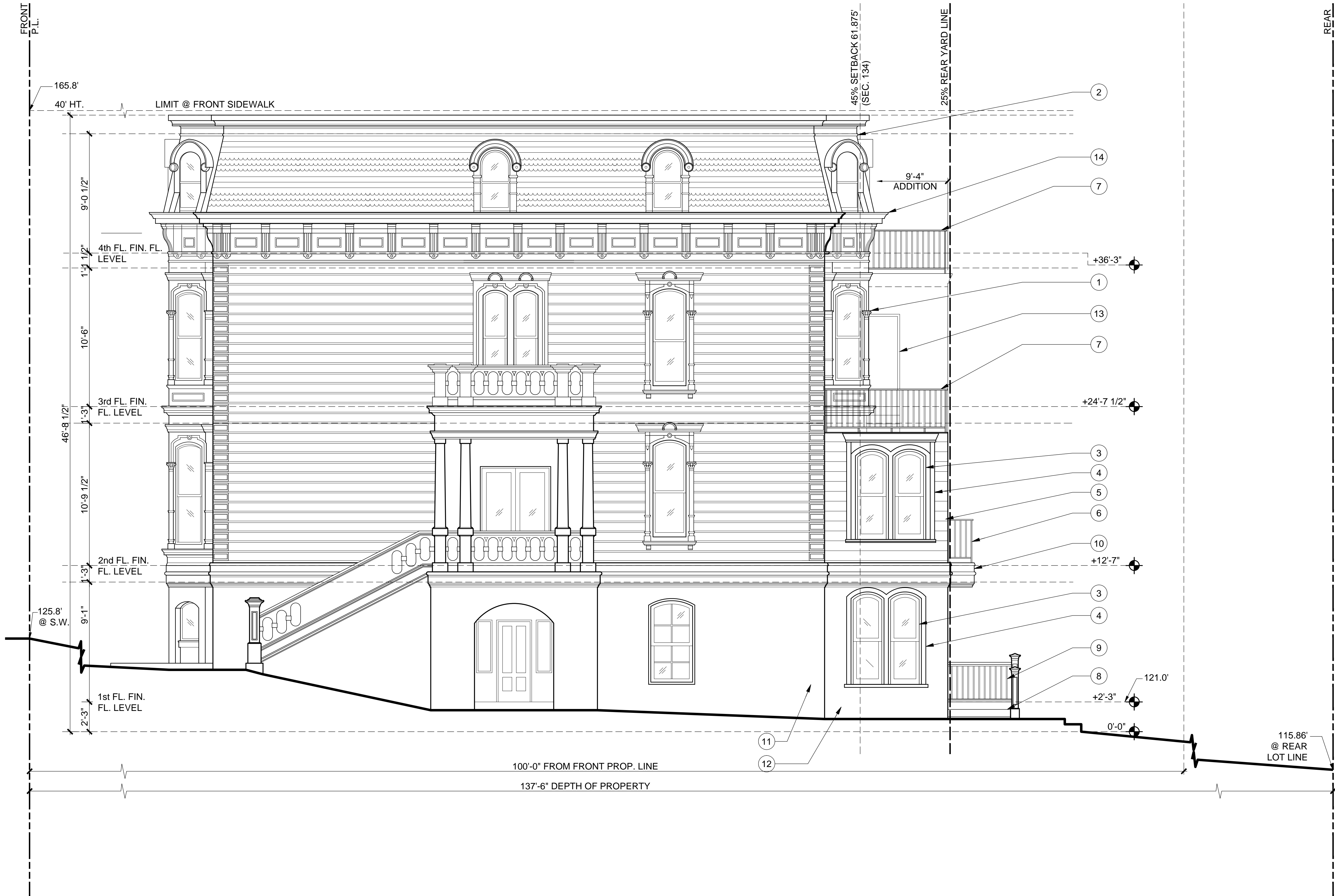
- 1 (E) BAY WINDOW & CORNICE TO REMAIN; PROTECT IN PLACE
- 2 (E) MANSARD ROOF ASSEMBLY TO REMAIN
- 3 (N) WINDOWS TO BE ARCH TOP SIMILAR TO (E) HISTORIC
- 4 (N) WINDOW TRIM TO BE SIMILAR BUT WITH PLAIN PROFILE COMPARED TO (E) HISTORIC TRIM
- 5 (N) "V" RUSTICSIDING TO MATCH SPACING AND ALIGN w/ (E) CHANNEL RUSTIC SIDING
- 6 (N) BALCONY w/ WROUGHT IRON RAILING
- 7 (N) WROUGHT IRON RAILING
- 8 (N) WOOD STEPS TO GRADE
- 9 (N) OPEN WOOD RAILING
- 10 (N) CORNICE TO ALIGN w/ (E) CORNICE
- 11 (E) BRICK WALL
- 12 (N) CEMENT PLASTER WALL FINISH AT ADDITION
- 13 (N) DOOR FROM BATH, SEE SCHEDULE
- 14 PROTECT (E) CORNICE, TYPICAL

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PROPOSED

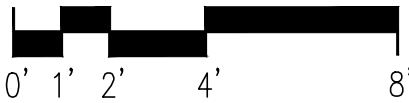
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A EAST
SCALE: 1/4" = 1'-0"



SHEET NOTES

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- 2. COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF (N) STRUCTURAL & OTHER BUILDING ELEMENTS.
- 3. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS THAT ARE TO REMAIN IN PLACE MUST BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- 4. ALL SIDING & TRIM TO BE PRIMED AND PAINTED PER FINISH SCHEDULE WITH EXPOSED FOUNDATION TO BE PAINTED ADJACENT BODY COLOR.
- 5. FURNISH REQUIRED ATTIC VENTILATION, PER CBC SECTION 1203 IN LOCATIONS NOTED.

GARAVAGLIA

GA

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MORAN RESIDENCE

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KEY NOTES

- 1 (E) BAY WINDOW
- 2 (E) MANSARD ROOF ASSEMBLY TO REMAIN
- 3 (E) SIDING
- 4 (E) ENTRY STAIRS
- 5 (E) BRICK WALL

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EXTERIOR ELEVATION

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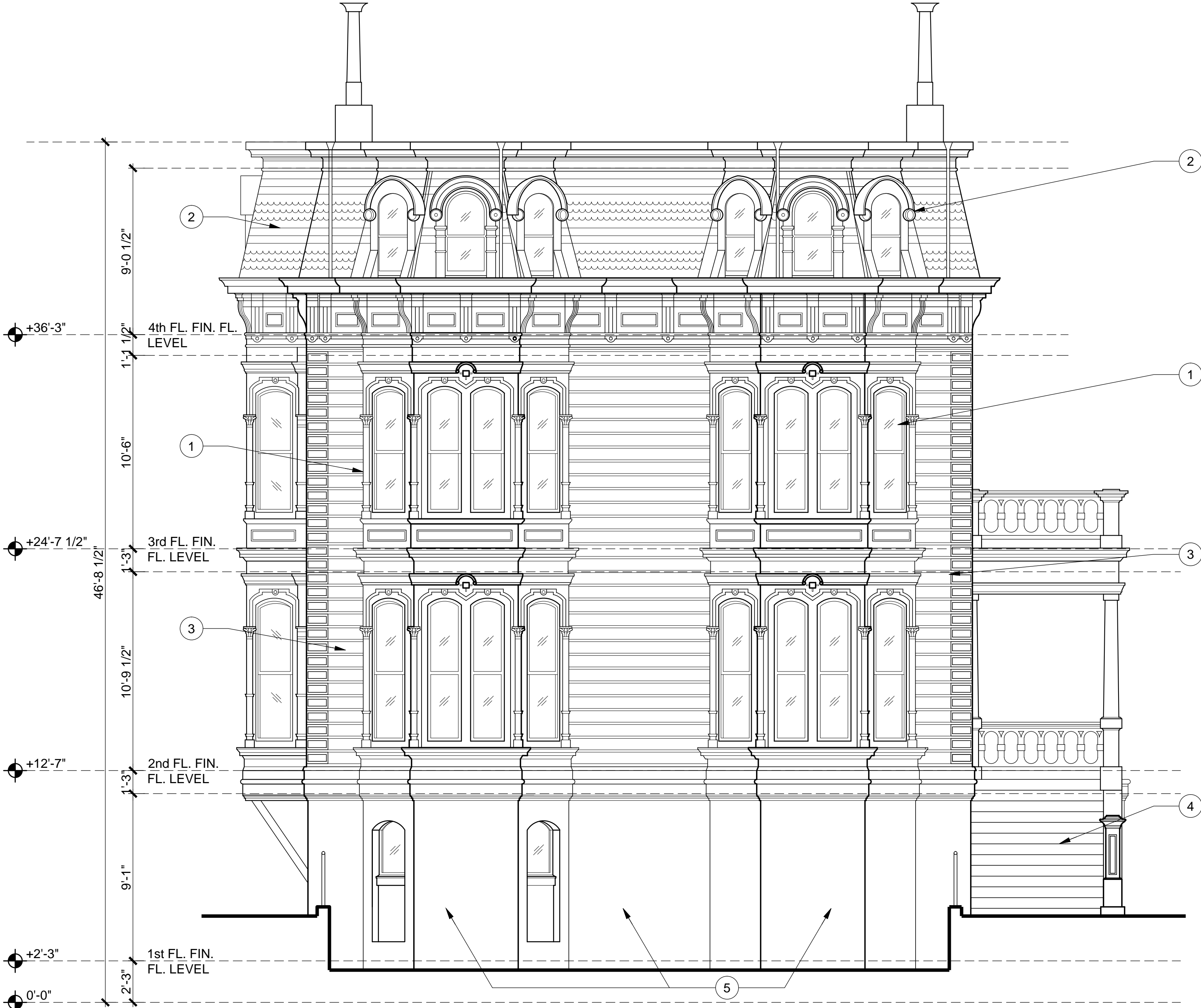
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SHEET NOTES

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5. FURNISH REQUIRED ATTIC VENTILATION, PER CBC SECTION 1203 IN LOCATIONS NOTED.



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KEY NOTES

- 1 NOT USED
- 2 (E) MANSARD ROOF ASSEMBLY TO REMAIN
- 3 (N) WINDOWS TO BE ARCH TOP SIMILAR TO (E) HISTORIC
- 4 (N) WINDOW TRIM TO BE SIMILAR BUT WITH PLAIN PROFILE COMPARED TO (E) HISTORIC TRIM
- 5 (N) SIDING TO MATCH SPACING AND ALIGN WITH (E) SIDING
- 6 (N) GALVANIZED STEEL FIRE ESCAPE PLATFORM AND LADDER
- 7 NOT USED
- 8 WD. STEPS TO GRADE
- 9 (N) OPEN WOOD RAILING
- 10 NOT USED
- 11 (E) BRICK WALL
- 12 (N) CEMENT PLASTER WALL FINISH AT ADDITION
- 13 (E) "JOMY" LADDER

PROGRESS PRINT

NOT FOR CONSTRUCTION

24 DEC 2019

EXTERIOR ELEVATION
PROPOSED

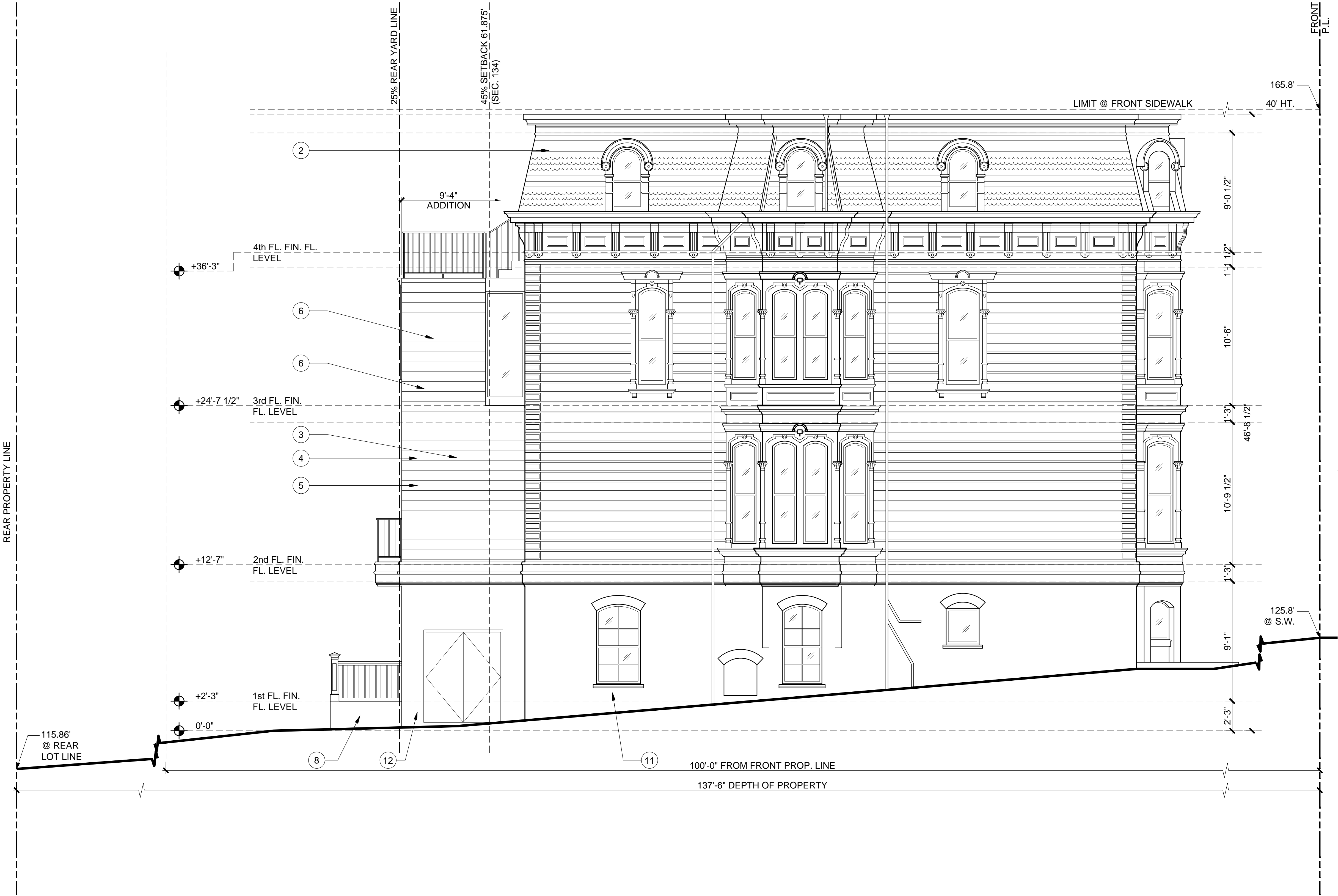
PROJ. NO. 2017-003
SCALE 1/4"=1'-0"
DATE 20 JUNE 2017
PHASE SD
DRAWN HA
CHECKED AW

NO.	DATE	REVISION
	<u>18 JUL 2017</u>	<u>PLANNING REVIEW</u>
	<u>11 SEPT 2017</u>	<u>C.O.A. APPLICATION</u>
	<u>24 DEC 2019</u>	<u>ARC REVIEW</u>

SHEET NO.

A-3.14

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A

WEST

SCALE: 1/4" = 1'-0"

