



233 GEARY STREET

SAN FRANCISCO, CA 94102

May 19, 2021

SAN FRANCISCO ARCHITECTURAL
REVIEW COMMITTEE

Sand Hill Property Company

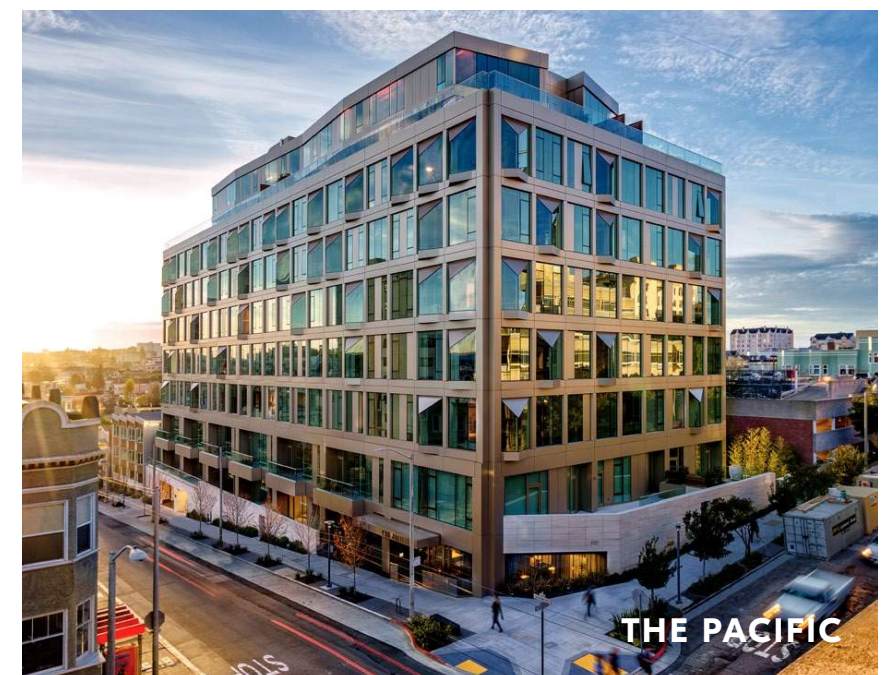
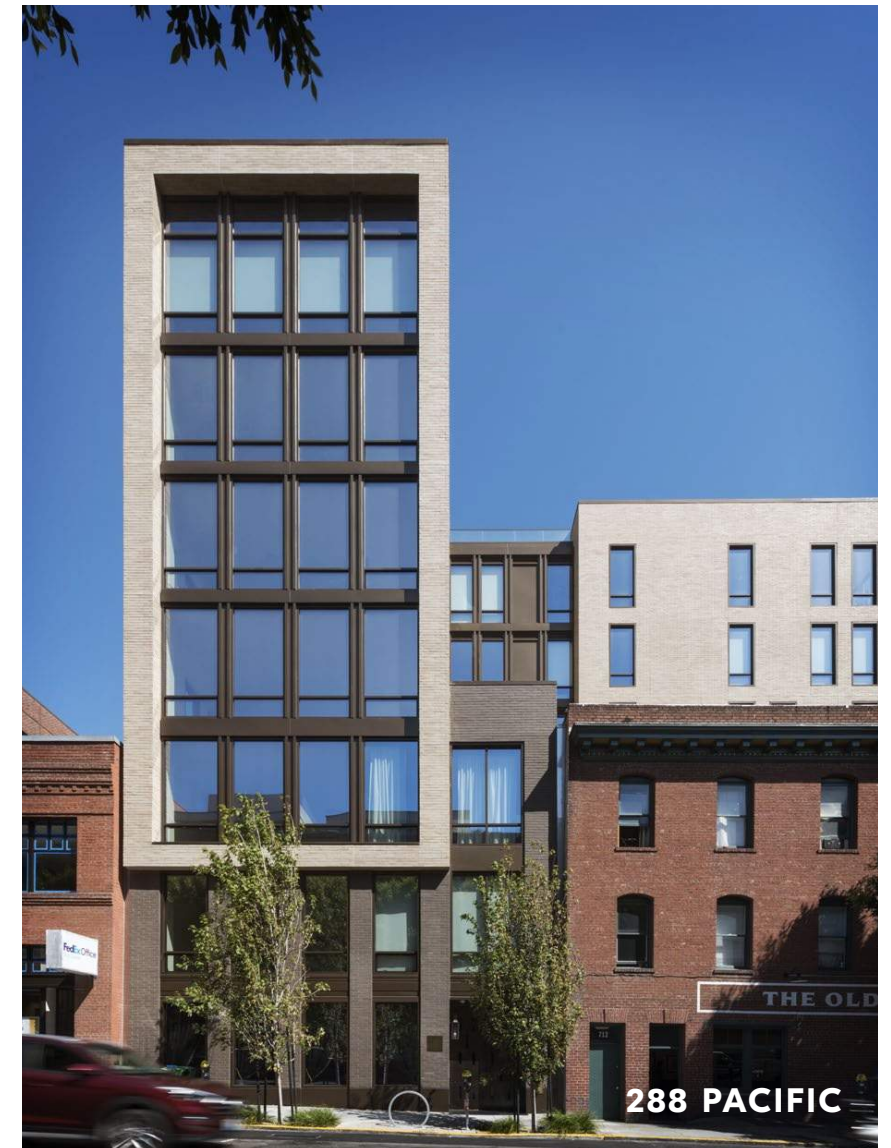
HANDEL ARCHITECTS LLP

MEETING AGENDA

1. Project Team Introductions
2. Project Summary
3. Review of Existing Building
4. Proposed Scheme
5. Alternate Scheme
6. Next Steps

HANDEL ARCHITECTS
SAN FRANCISCO

- 1001 VAN NESS
- 120 HAWTHORNE
- 1601 MISSION
- 288 PACIFIC
- 301 MISSION
- 340 FREMONT
- 36 TEHAMA
- 360 5TH
- 450 HAYES
- 531 BRYANT
- 570 JESSIE
- 950 TENNESSEE
- BLU RESIDENCES
- FOUR SEASONS 706 MISSION
- FOUR SEASONS HOTEL & RESIDENCES
- KONRAD ON THE PARK
- MURANO
- NEMA
- NOVE
- PIER 70 PARCEL K NORTH
- ROWAN
- SERIF & THE LINE HOTEL
- SONY METREON
- THE OAK
- THE PACIFIC
- UNION HOUSE



PROJECT SUMMARY

- 3 Floors and 21 New Residential Units
- 4 floors of office, consisting of approximately 49,900 SF of new area and including retention of existing corporate office space
- 3+ floors of retail, including retention of existing ground floor tenants
- No parking; loading served by existing loading dock/access below Macy's
- Entitlement applications: Downtown 309 Review, Conditional Use, Office Allocation, Permit to Alter

HISTORIC RESOURCE EVALUATION SUMMARY

Current Historic Status:

- Within the Kearny-Market-Mason-Sutter Conservation District
- Article 11 Category V – Unrated Building

California Register Evaluation (Planning Department HRER Part 1, April 30, 2021):

- Significant under three criteria:
- Criterion 1 (Events): local, distinct representation of the national shift in the character of department stores immediately following World War II
- Criterion 2 (Persons): associated with Grover Magnin and the overall Magnin family and business. Grover Magnin was also instrumental in the design of the building's remodel;
- Criterion 3 (Architecture): possesses high architectural merit as a progressive Art Moderne and International Style design by master architect Timothy Pflueger.
- Period of significance identified as 1948, the year of completion of Pflueger's complete remodel of both the interior and exterior and opening of the building as the flagship I. Magnin store
- Exterior retains integrity to the period of significance, interior mostly does not.

HISTORIC RESOURCE EVALUATION SUMMARY

Exterior Character-Defining Features:

- Rectilinear, box-like massing
- Mid-rise (10 stories over basement) height
- Curved building corner
- Uniform, largely unarticulated facades
- Flat roof/roofline
- White, Vermont marble cladding
- Black granite at the base and around ground floor openings
- Uniform grid of windows located above the ground level
- Single-light, aluminum framed windows that project from the face of the building
- Double-height entry openings, uniformly and symmetrically placed at the ground floor
- Square display window openings, uniformly and symmetrically placed at the ground floor
- Parapet pierced with rectangular openings

HISTORIC RESOURCE EVALUATION SUMMARY

Interior Character-Defining Features:

- Sixth floor women's powder room, consisting of:
 - Dark green and cream-colored marble finishes
 - Gold leaf ceiling
 - Three intact original sinks with marble basin surrounds and brass faucets
 - Brass-framed mirrors
 - Exposed bulb light fixtures
 - Toilet stalls with full height mirrored doors.

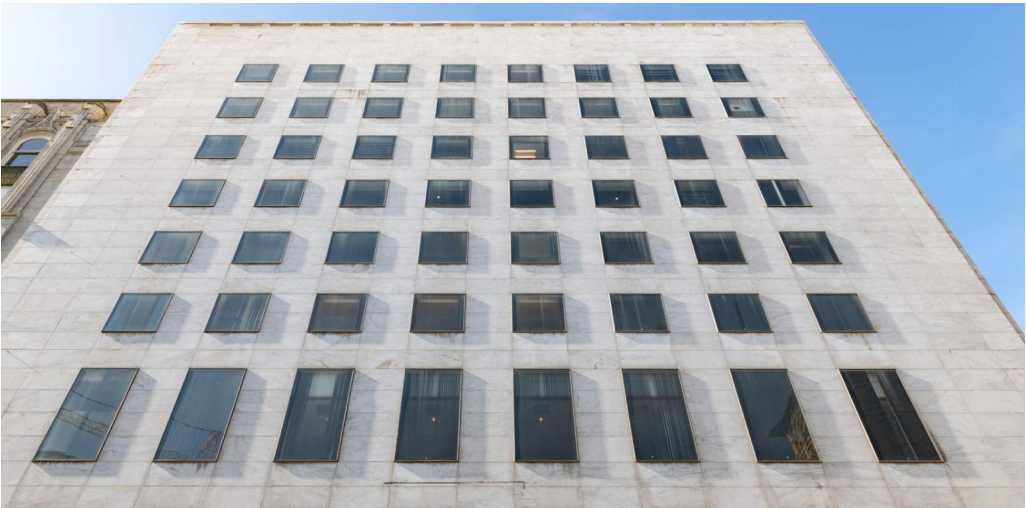
PROJECT SITE CONTEXT



STREET VIEWS OF EXISTING BUILDING



View 1: From Stockton looking south



View 2: From Geary



View 3: From Stockton looking north



View 4: From Union Square looking south



View 5: Along Geary



View 6: Along Geary



View 6: From Market & Geary

ADAPTIVE REUSE EVOLUTION



Circa 1905, the Beaux Arts style mixed-use "Butler Building" supported medical offices and commercial retail uses.

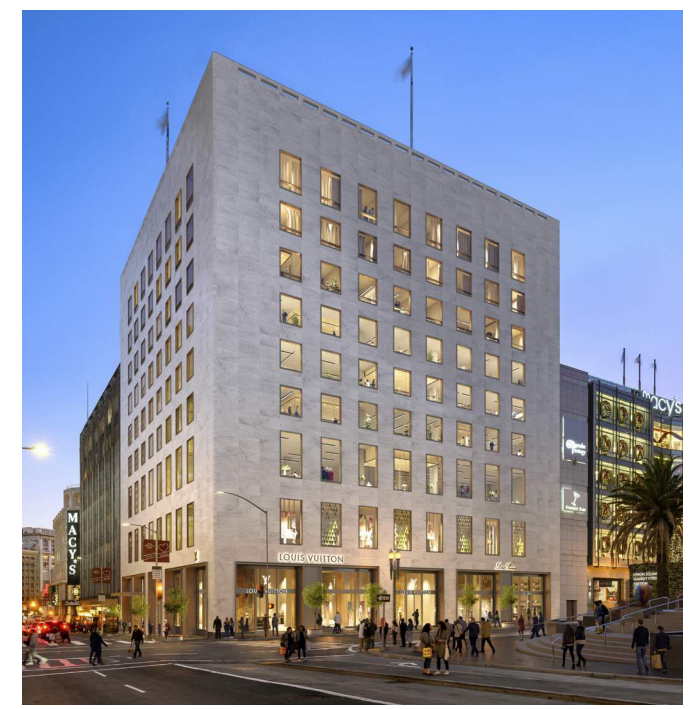


Circa 1996, the building became absorbed within the multi-building Macy's city block complex, with multiple retail tenant spaces at the ground floor.

Circa 1946, the heavily remodelled building transformed into the single-use, I. Magnin department store, with new exterior facades.

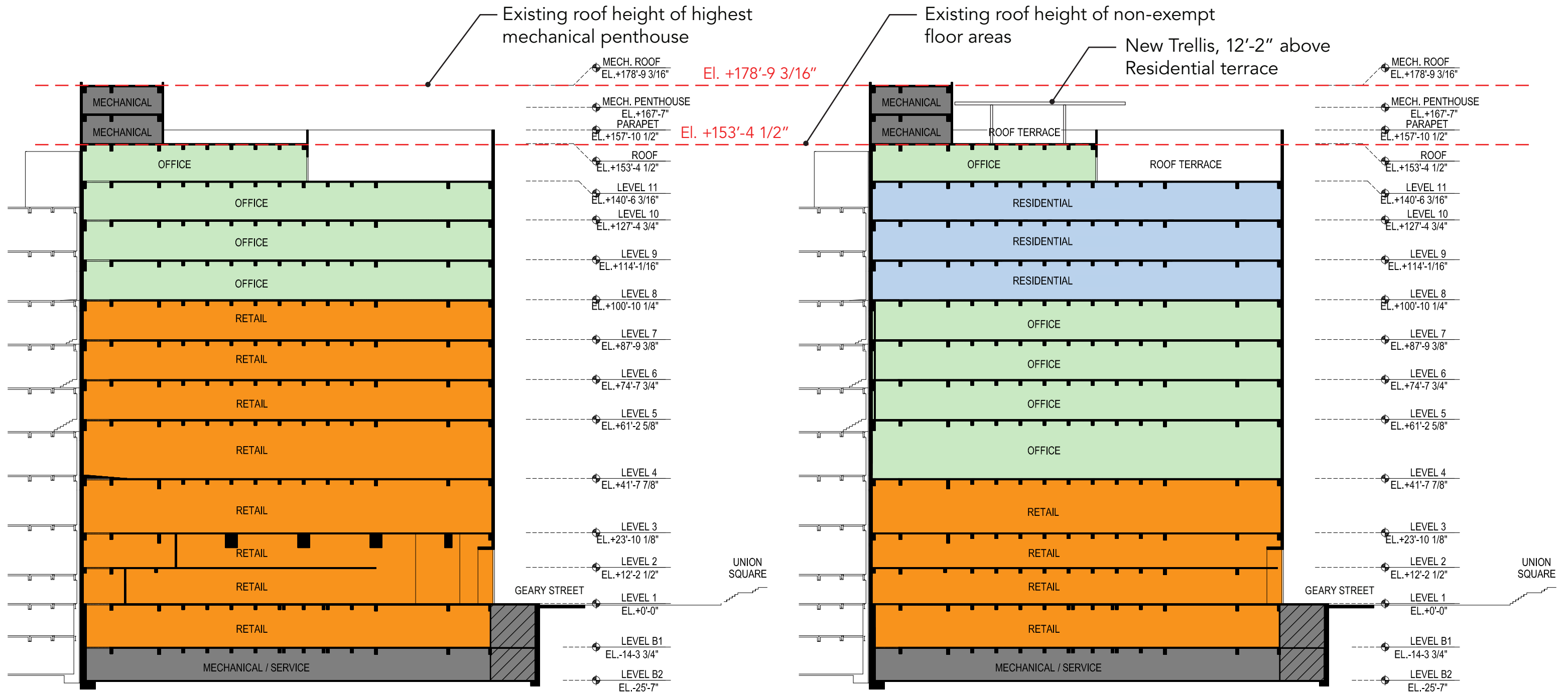


Proposed Future, Sand Hill Property Company proposes a mixed-use development incorporating retail, office and residential uses.



LAND USE & BUILDING HEIGHT DIAGRAM

Existing and Proposed Building Section Looking West



Existing

Multi-tenant, single-use department store

Proposed

Multi-tenant, mixed-use building

NORTH ELEVATION - GEARY STREET

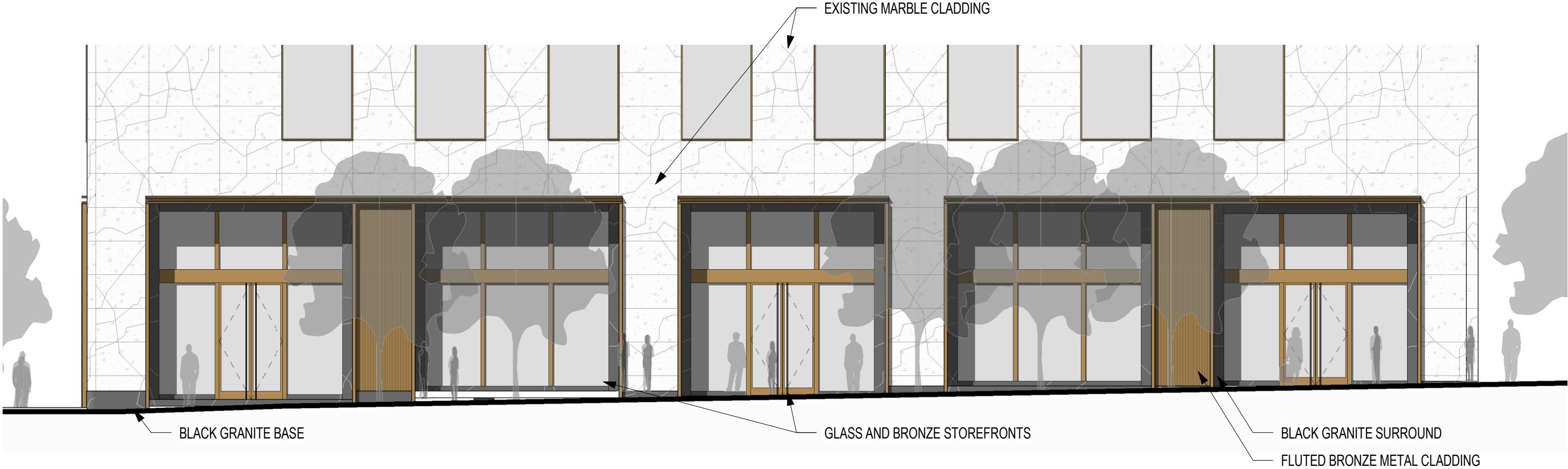
Existing and Proposed



Existing

Proposed

NORTH ELEVATION - ENLARGED



MASTER SIGN PROGRAM HAS NOT YET BEEN FINALIZED AND IS NOT SUBJECT TO CURRENT REVIEW BY ARC/HPC. MASTER SIGN PROGRAM PROPOSAL WILL BE SUBMITTED FOR REVIEW AT A LATER TIME.

PROPOSED GEARY STREET STOREFRONT FACADE

View from Union Square and Central Subway Station Exit



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EAST ELEVATION - STOCKTON STREET

Existing and Proposed



EAST ELEVATION - ENLARGED

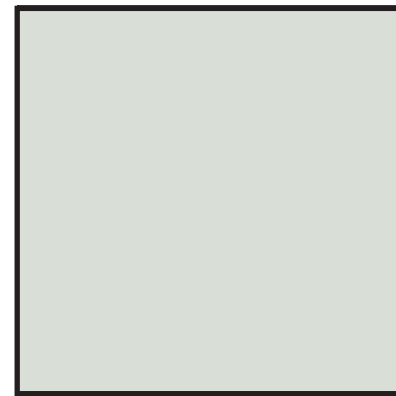
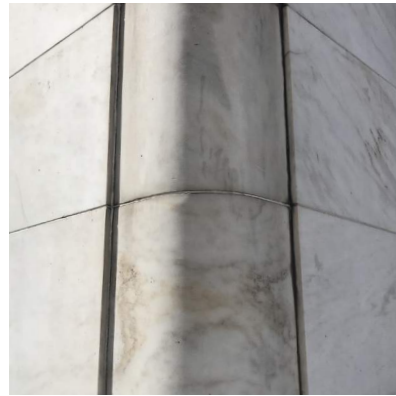


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STONE - WHITE VERMONT MARBLE

TO MATCH HISTORIC STONE
COLOR: IMPERIAL DANBY



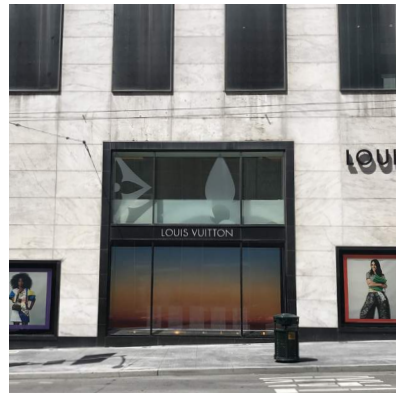
GLASS - RETAIL

COLOR: LOW IRON, ULTRA CLEAR
MFR: GUARDIAN OR SIMILAR



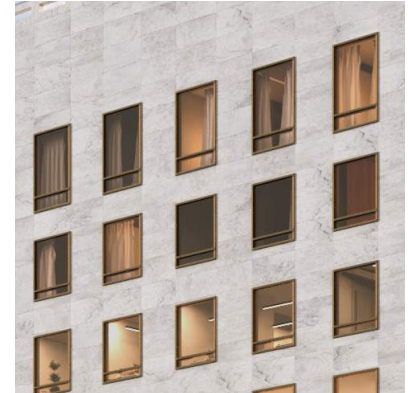
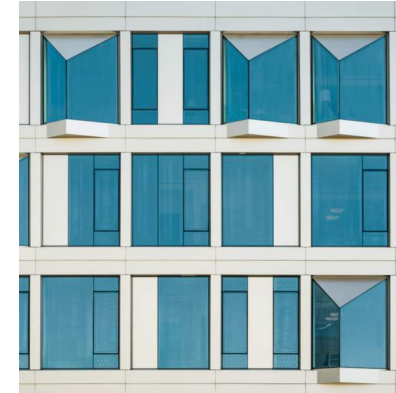
STONE - BLACK GRANITE

TO MATCH HISTORIC STONE
COLOR: ANDES BLACK



GLASS - OFFICE & RESIDENTIAL

COLOR: SUPERNEUTRAL 68 ON CLEAR GLASS
MFR: GUARDIAN OR SIMILAR



METAL - MULLIONS & PANELS

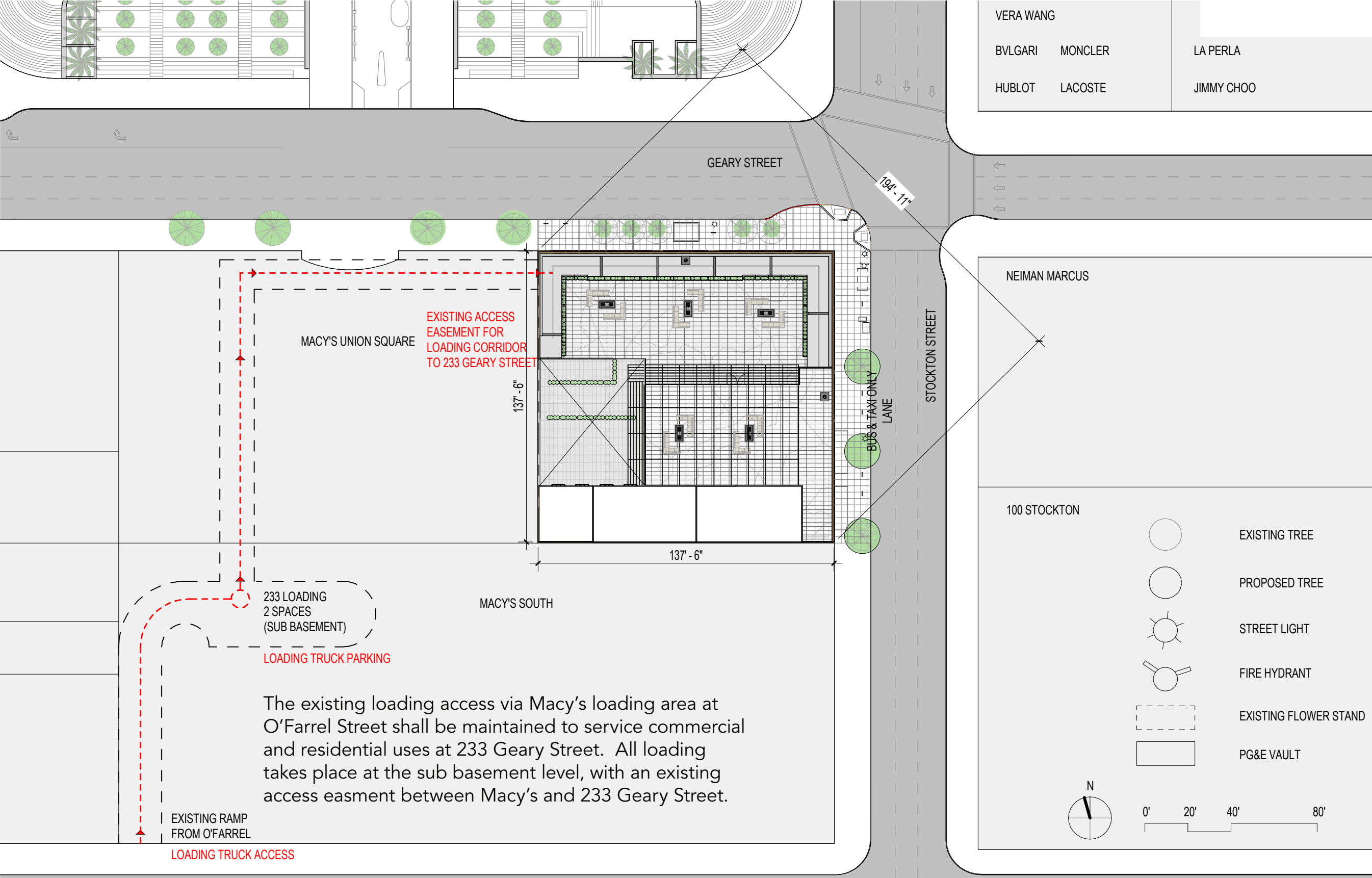
COLOR: BRONZE, MEDIUM STATUARY



MATERIAL BOARD

233 GEARY STREET

PROPOSED ROOF SITE PLAN & LOADING ACCESS

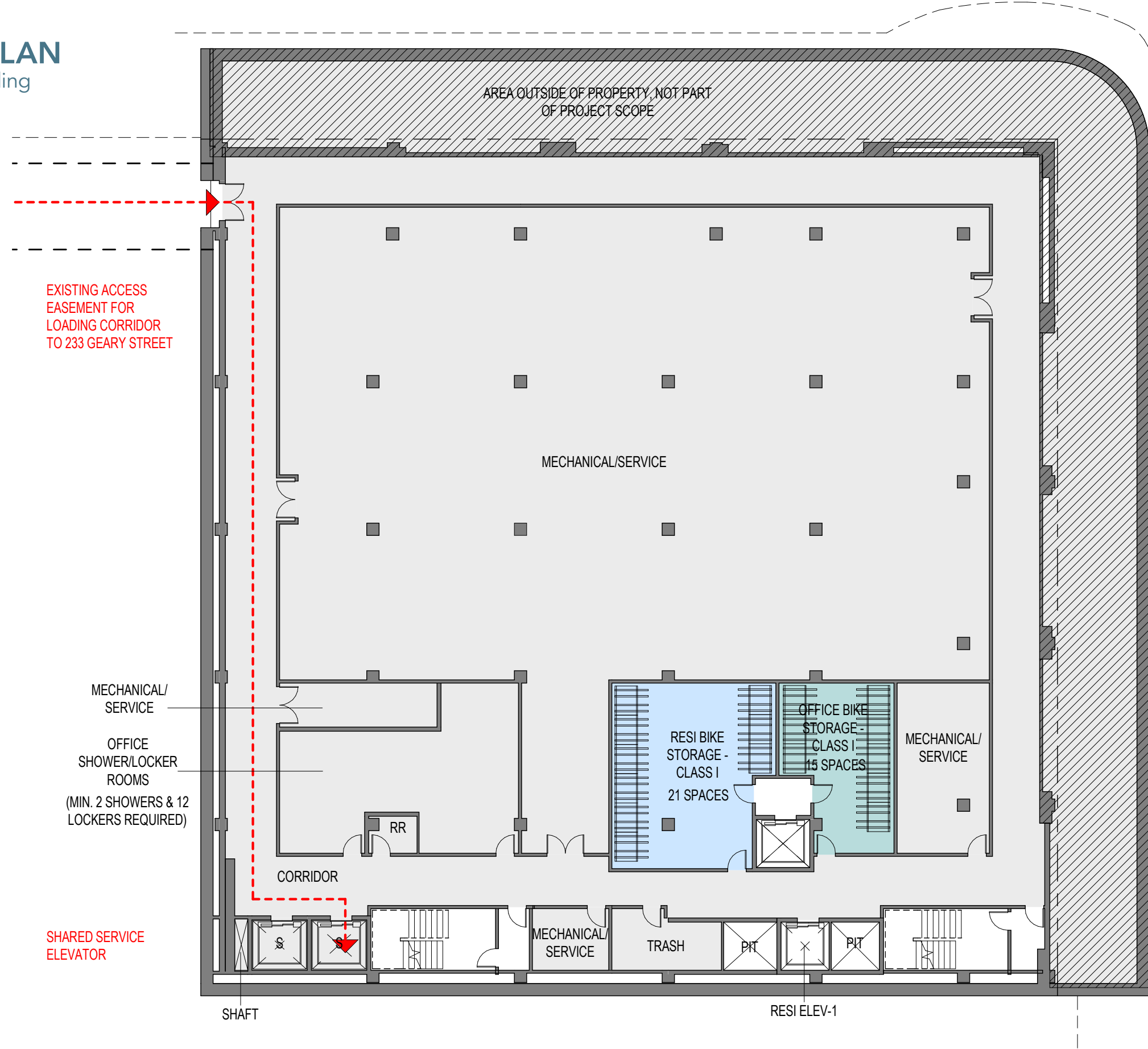


PROPOSED GROUND FLOOR SITE PLAN



LEVEL B2 PLAN

Mechanical, Loading



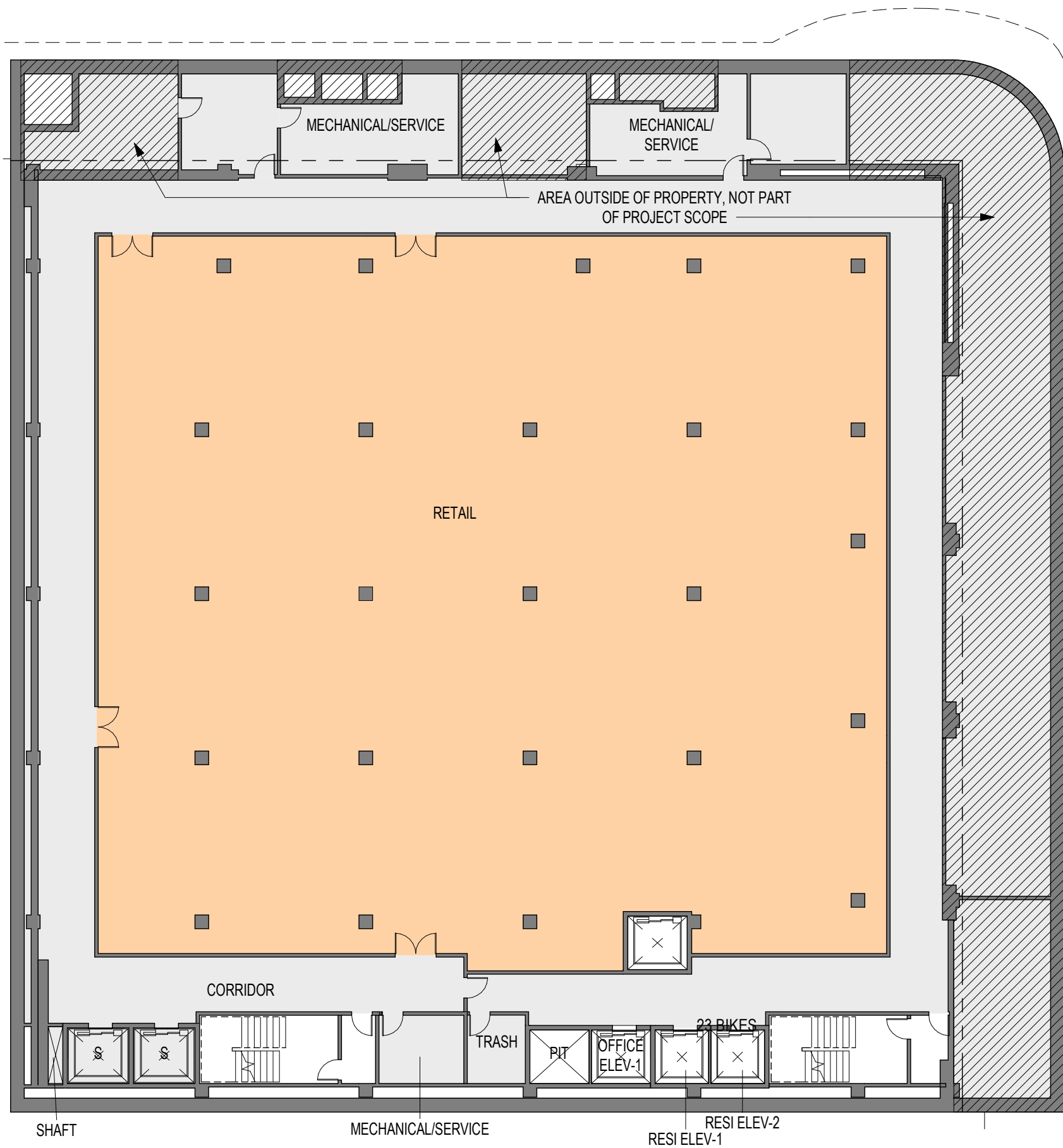
LEGEND

- RETAIL
- OFFICE
- SERVICE/MECHANICAL
- RESIDENTIAL
- COURTYARD

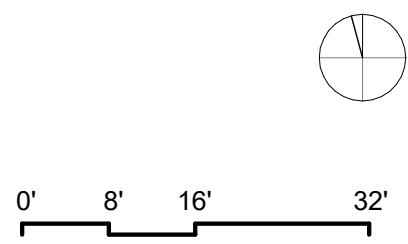
*Square footages provided on plans are gross estimates only.

LEVEL B1 PLAN

Retail Level, Bike Storage & Lockers



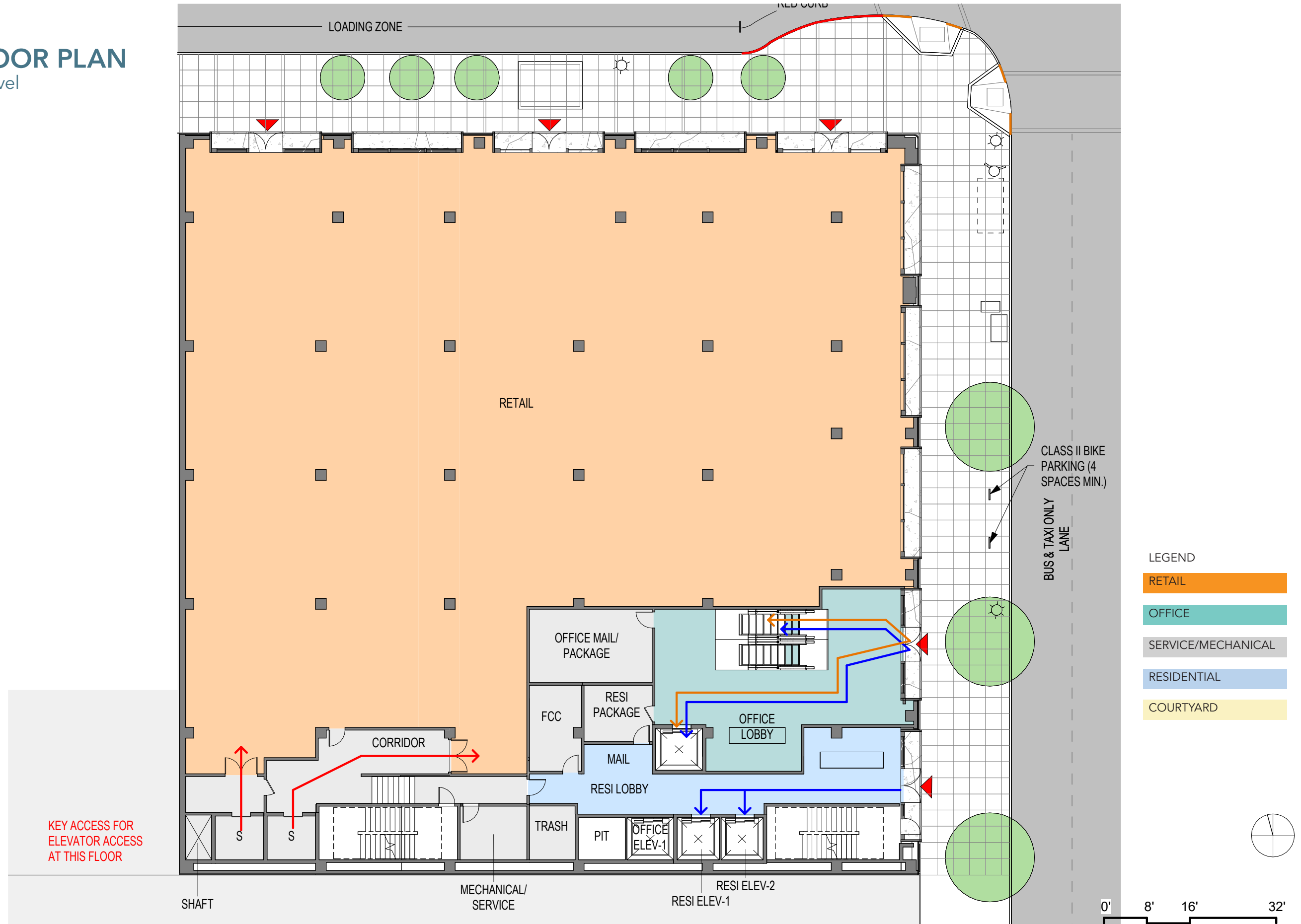
- LEGEND
- RETAIL
 - OFFICE
 - SERVICE/MECHANICAL
 - RESIDENTIAL
 - COURTYARD



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LEVEL 1 FLOOR PLAN

Retail & Lobby Level

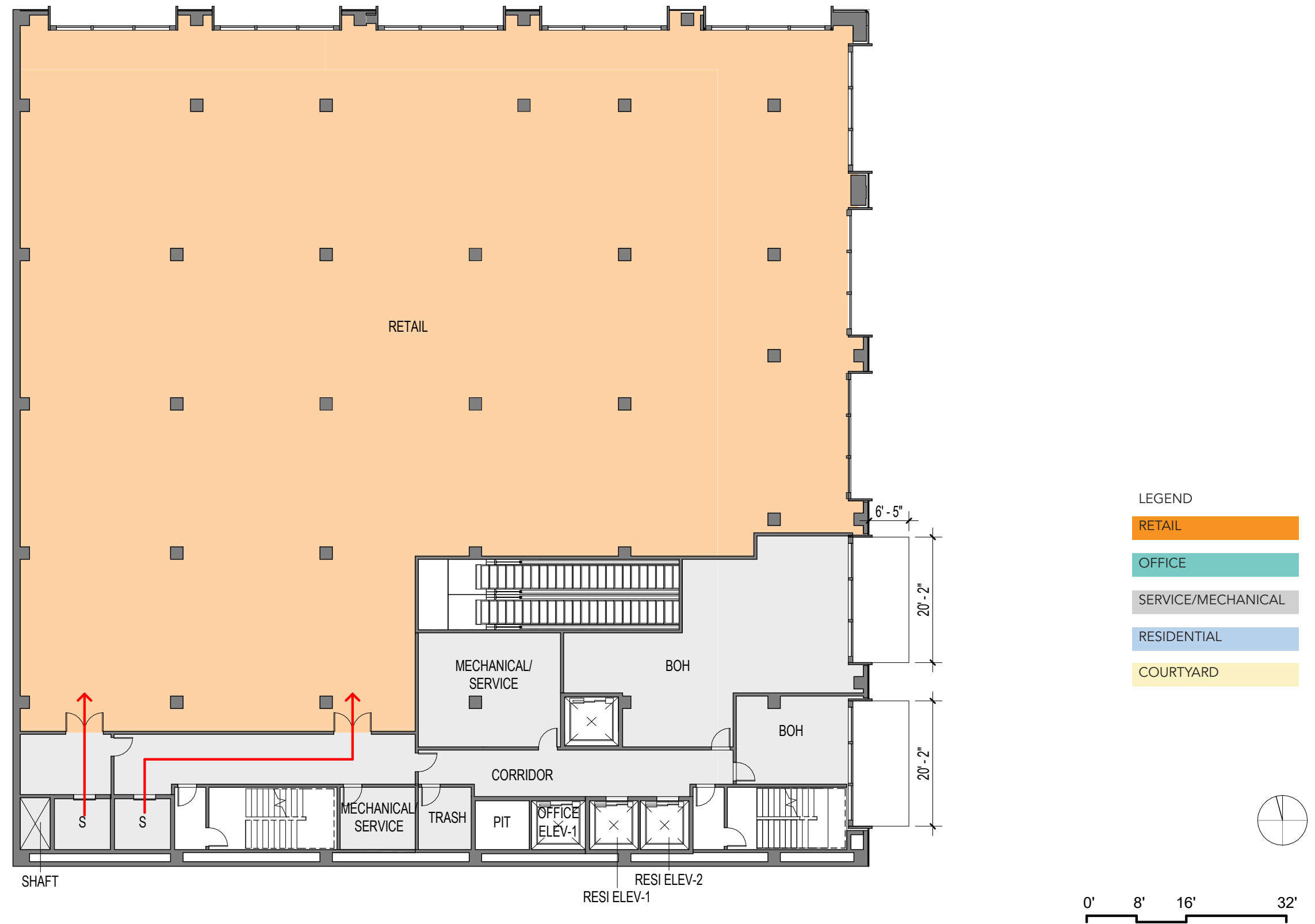


KEY ACCESS FOR ELEVATOR ACCESS AT THIS FLOOR

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LEVEL 2 FLOOR PLAN

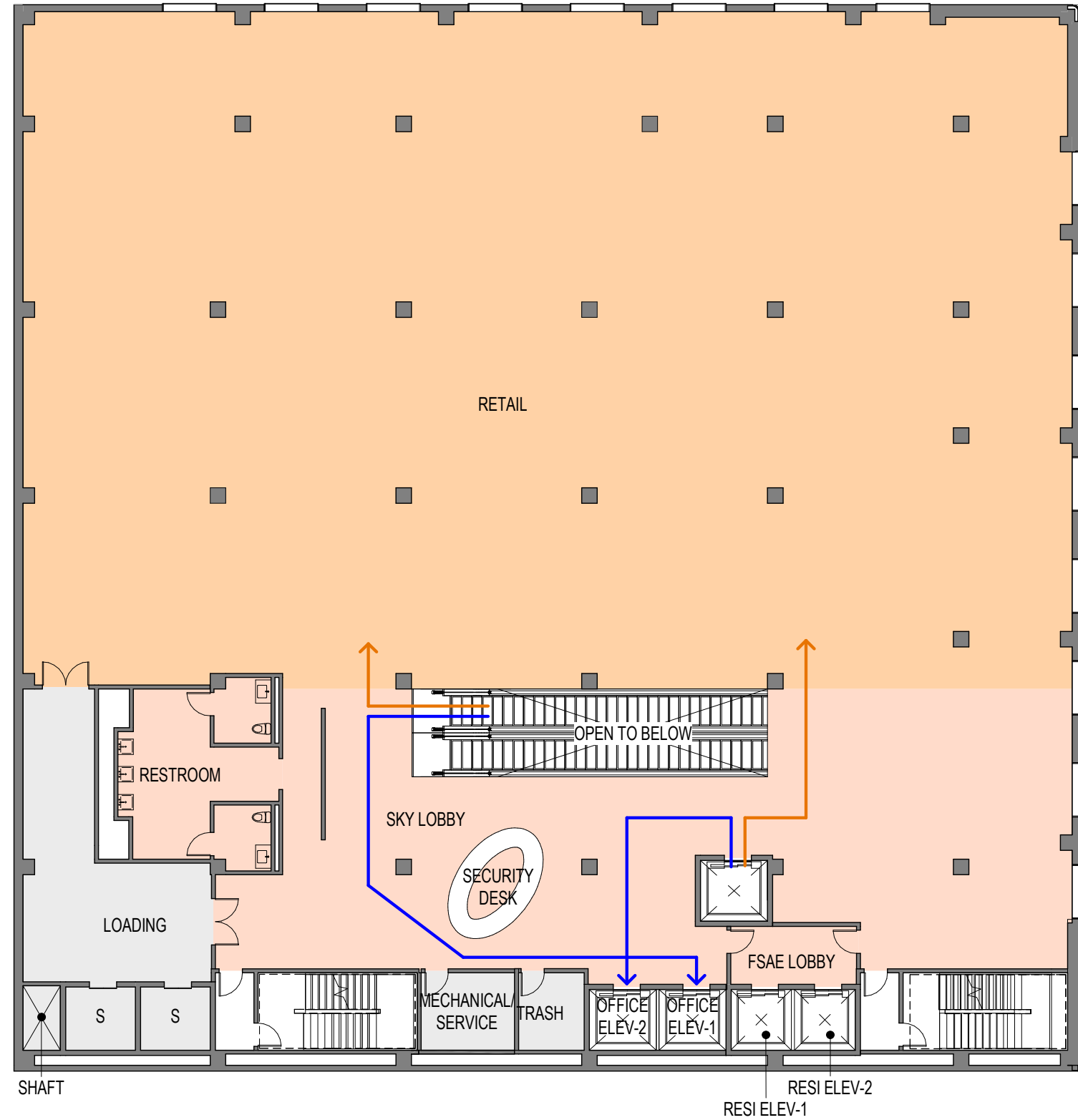
Retail



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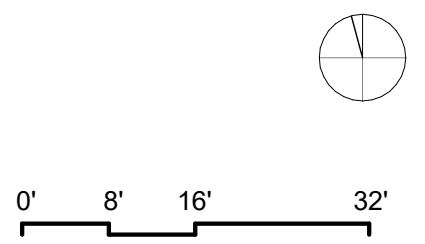
LEVEL 3 FLOOR PLAN

Retail



LEGEND

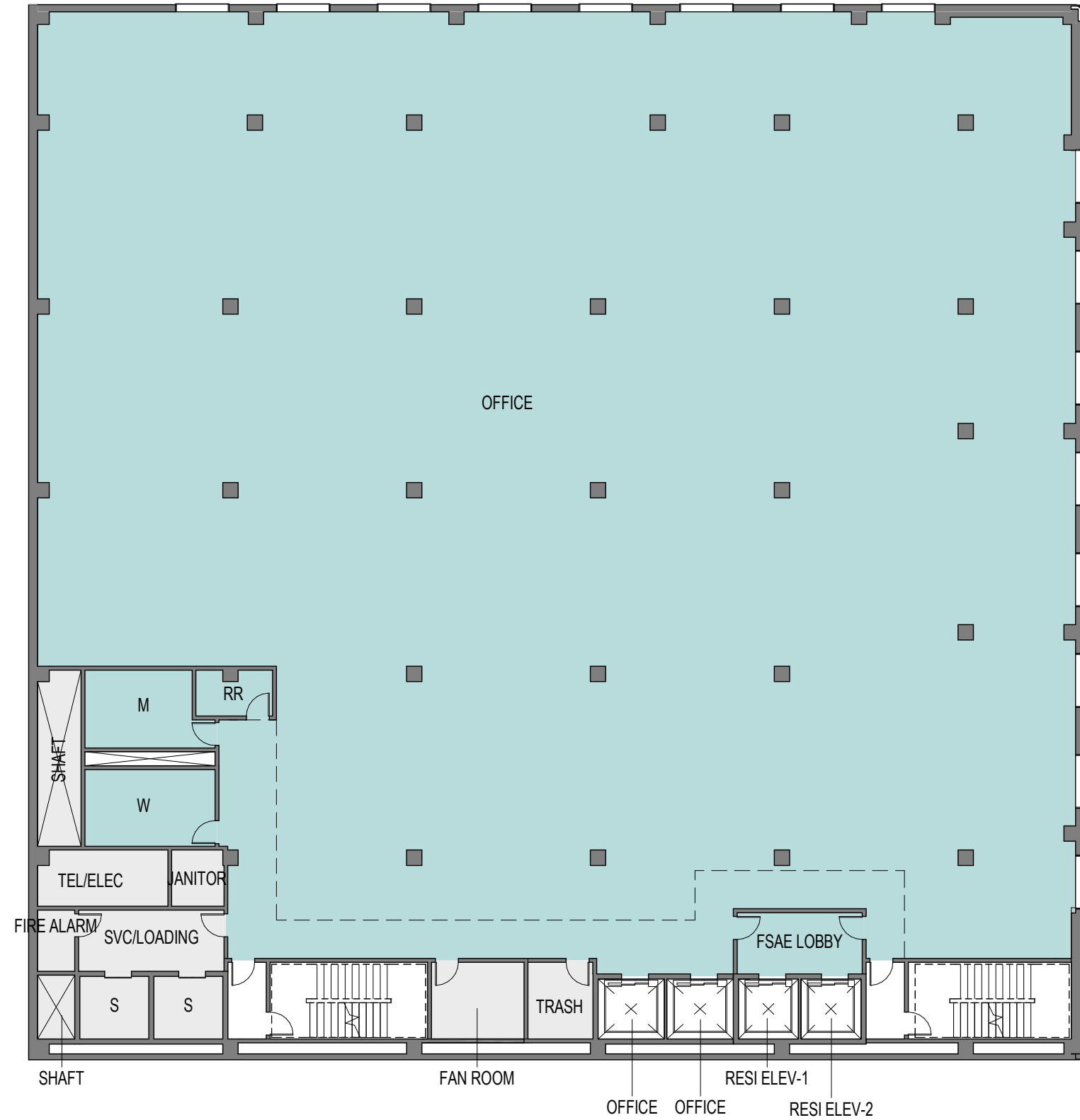
- RETAIL
- OFFICE
- SERVICE/MECHANICAL
- RESIDENTIAL
- COURTYARD



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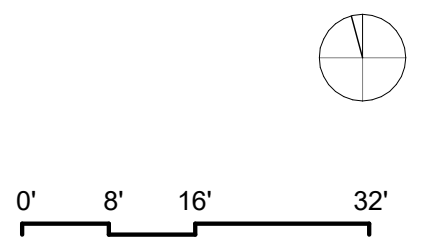
LEVEL 4-7 FLOOR PLAN

Office



LEGEND

- RETAIL
- OFFICE
- SERVICE/MECHANICAL
- RESIDENTIAL
- COURTYARD



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LEVEL 8 FLOOR PLAN

Residential



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LEVEL 9 & 10 FLOOR PLAN

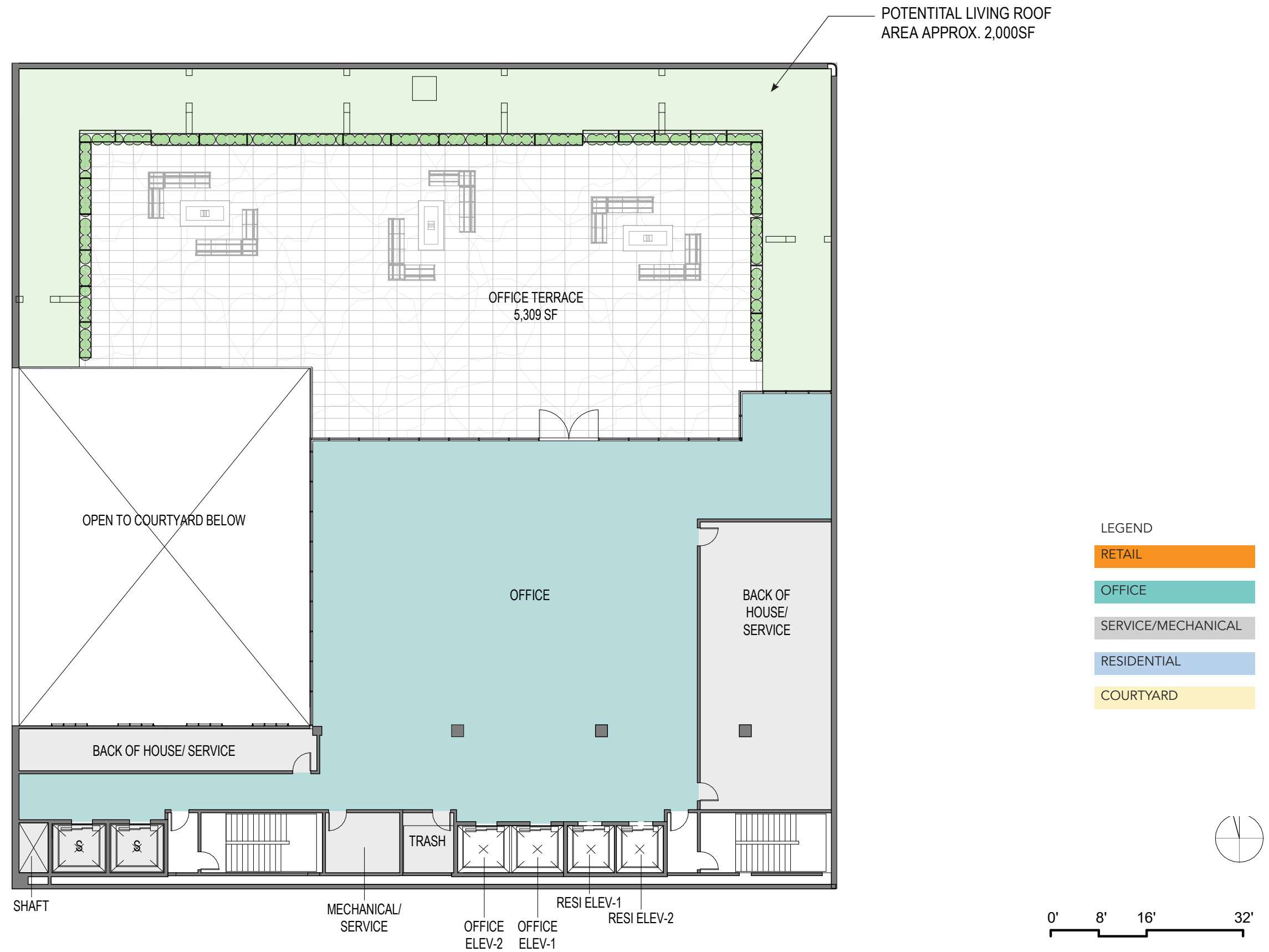
Residential



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LEVEL 11 FLOOR PLAN

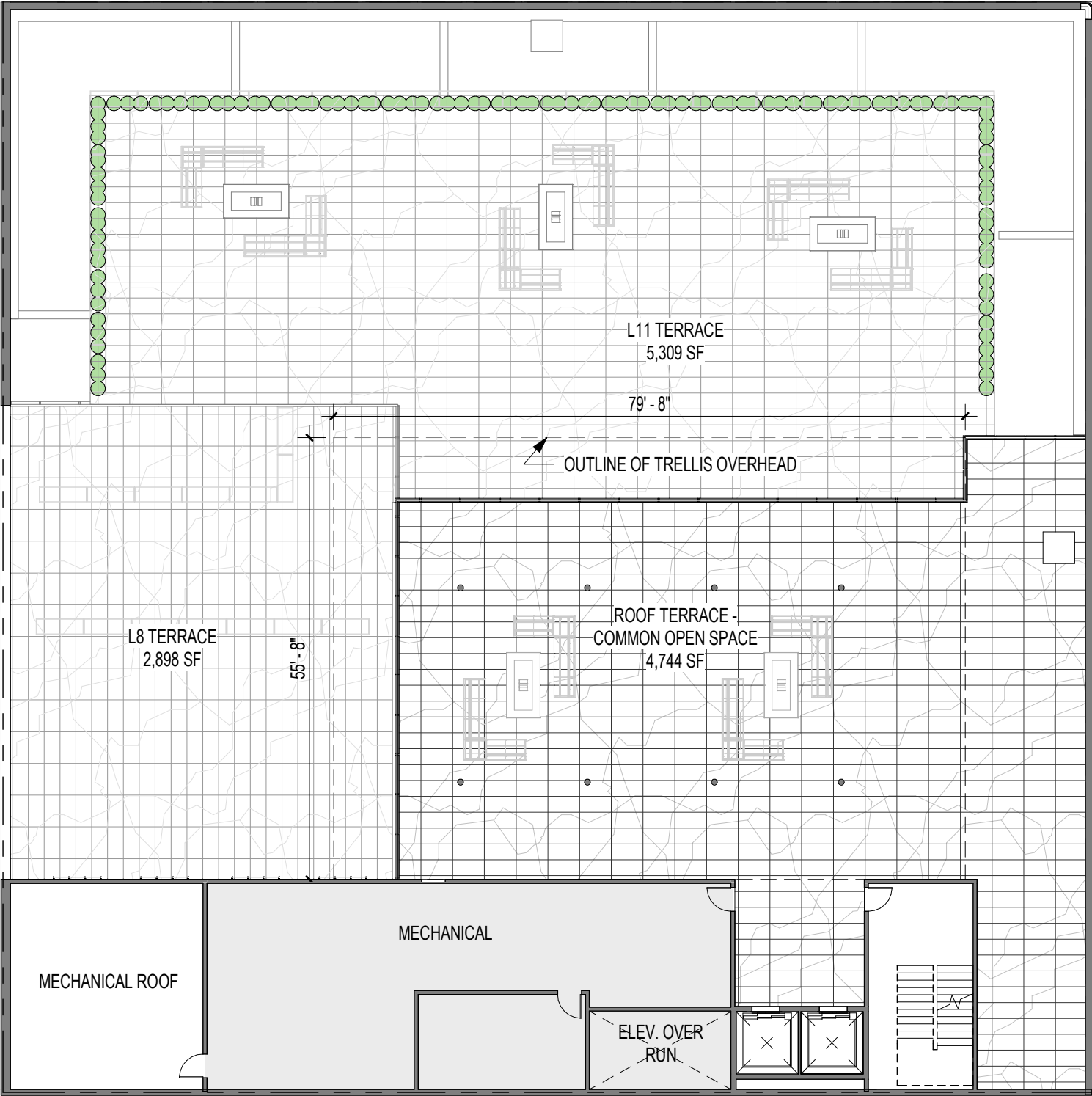
Office & Office Terrace



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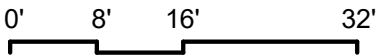
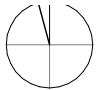
ROOF PLAN

Outdoor Roof Terrace



LEGEND

- RETAIL
- OFFICE
- SERVICE/MECHANICAL
- RESIDENTIAL
- COURTYARD



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PROPOSED VIEW FROM STOCKTON STREET



Existing Condition



Project Application Proposal

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PROPOSED VIEW FROM UNION SQUARE PLAZA



Existing Condition



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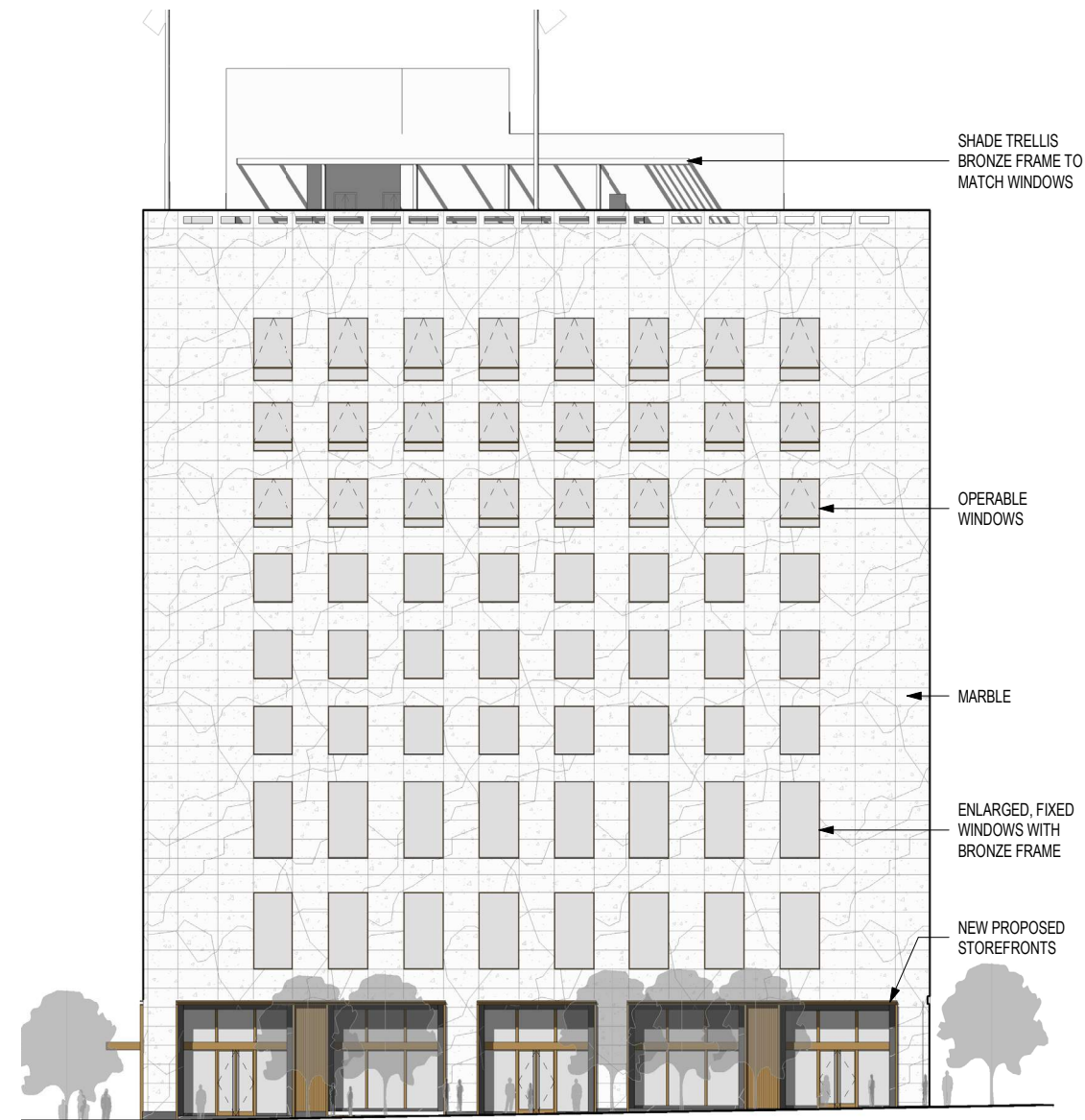
EXISTING ROOFSCAPE



PROPOSED ROOFSCAPE



ALTERNATE SCHEME - GEARY STREET ELEVATION



Project Application Revision
(Geary Street)



Option with Added Windows
(Geary Street)

ALTERNATE SCHEME - PROPOSED VIEW FROM UNION SQUARE PLAZA



Project Application Revision



Option with Added Windows

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ALTERNATE DESIGN STUDY - PROPOSED VIEW FROM STOCKTON STREET



Project Application Revision



Design Study with Added Half Windows

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ALTERNATE SCHEME - PROPOSED VIEW FROM STOCKTON STREET



Project Application Revision



Option with Added Windows

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MACY'S

macys

Ghirardelli Factory

Forever Bar

UNION SQUARE MARKET STREET STATION

UNION SQUARE
SAN FRANCISCO STARTS HERE

Geary

BUS ONLY

Geary



Macy's

THE CROCKER FACTOR

UNION SQUARE
SAN FRANCISCO
STARTS HERE

Geary

dyson

NO PARKING
ANY TIME

NO LEFT TURN
ON RED LIGHT



Geary

UNION SQUARE
SAN FRANCISCO
STARTS HERE

Cascadia
Factory

UNION SQUARE
SAN FRANCISCO
STARTS HERE

dyson

NO PARKING
ANY TIME

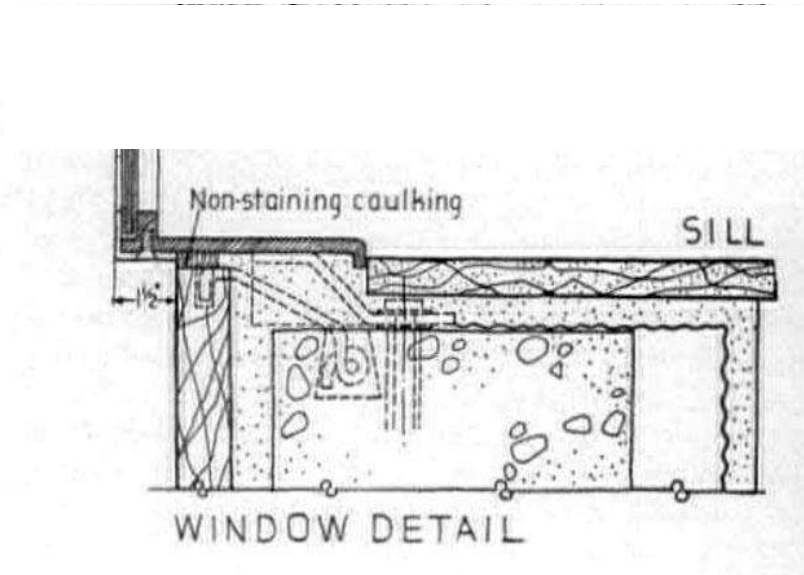
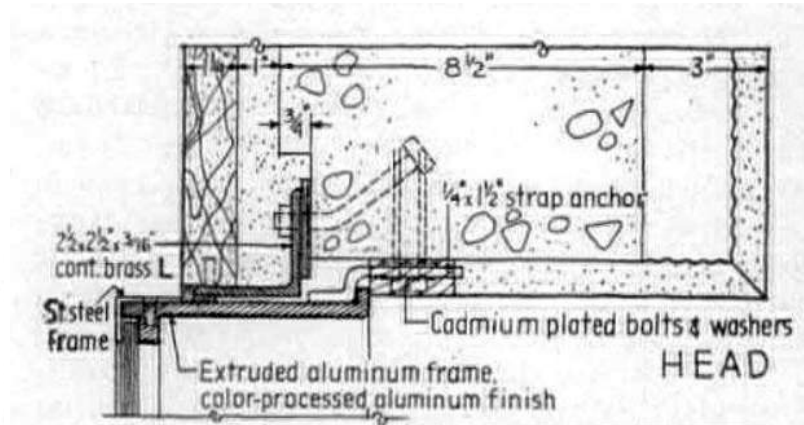
NO LEFT TURN
ON RED LIGHT

FRANCISCO
BIG BUS
SAN FRANCISCO

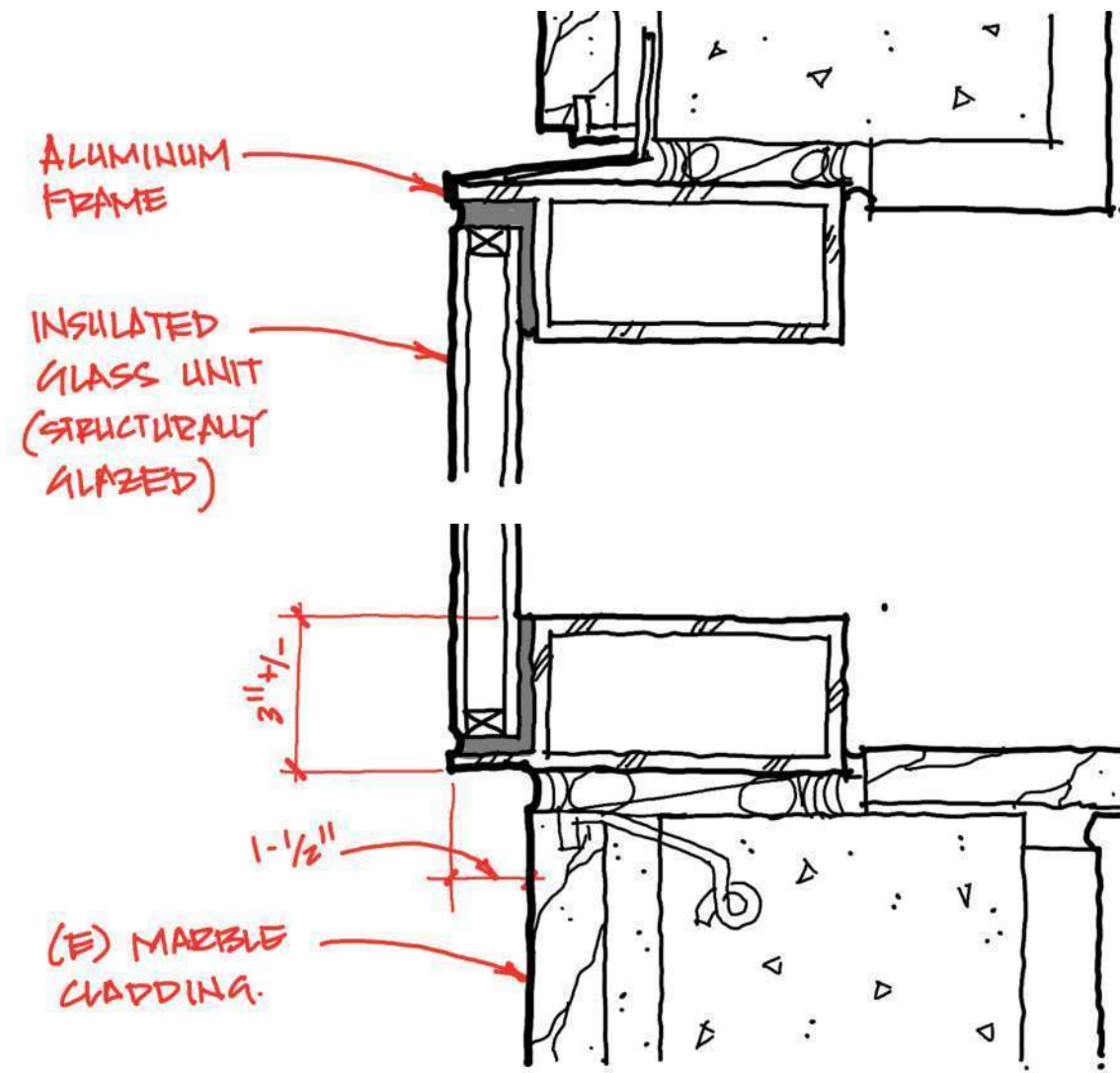
UNION SQUARE
SAN FRANCISCO
STARTS HERE

WINDOW DETAILS

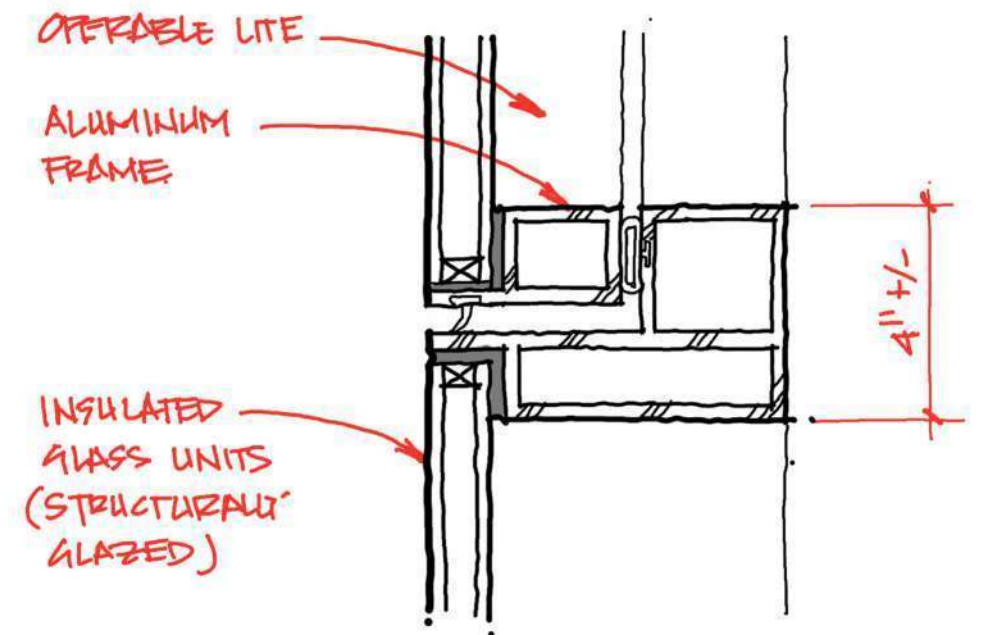
NOT TO SCALE



Existing Head & Sill Detail



Proposed Head & Sill Detail
(Jamb Similar)



Proposed Detail
at Operable Transom

