



HISTORIC PRESERVATION COMMISSION & VARIANCE HEARING

OCTOBER 6th, 2021

714 STEINER STREET, SAN FRANCISCO, CA 94117



VIEW FROM ALAMO PARK LOOKING EAST AT "PAINTED LADIES"

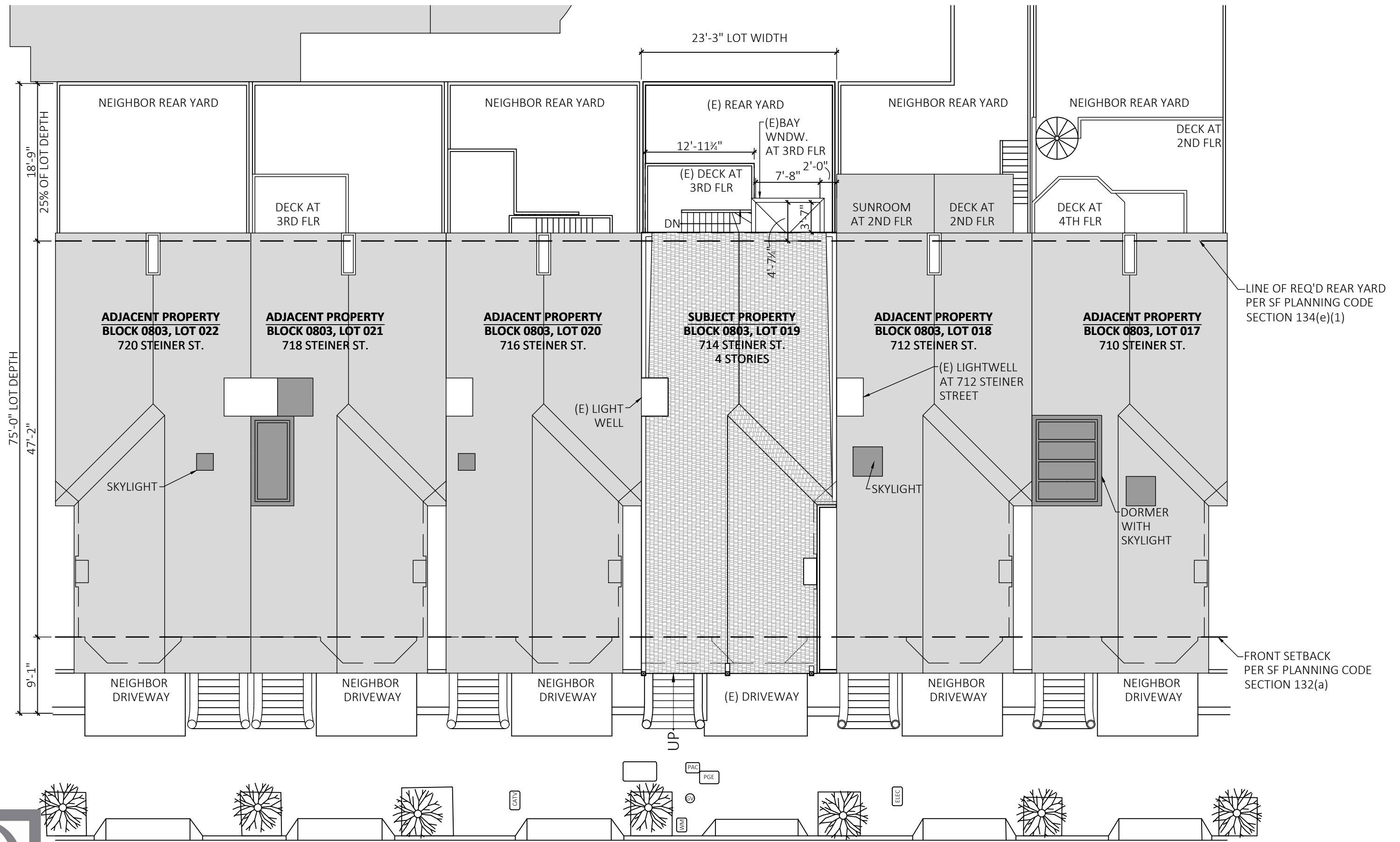
714 STEINER IS A CONTRIBUTING STRUCTURE TO ALAMO SQUARE HISTORIC DISTRICT



SUBJECT PROPERTY

- FOUR-STORY WOOD-FRAMED HOUSE
- BUILT BY MATTHEW KAVANAUGH CIRCA 1895
- QUEEN ANNE STYLE





STEINER STREET
 EXISTING SITE PLAN
 SCALE: 3/32" = 1'-0"
 714 STEINER STREET, SAN FRANCISCO, CA 94117

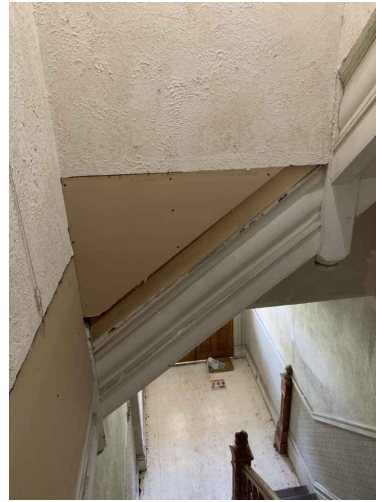


FIG.1: INTERIOR STAIRS ENCLOSED WITH WALLS



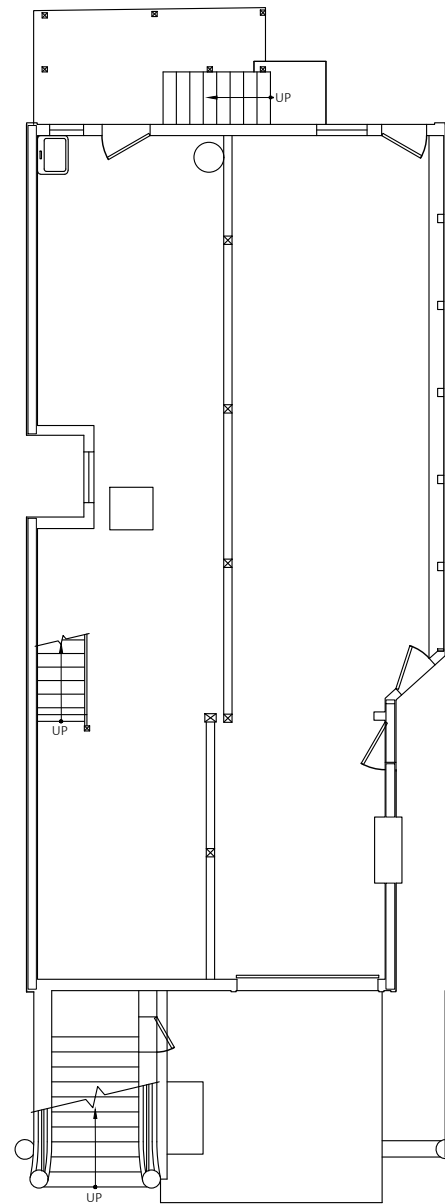
FIG.2: NEW WALLS CONVERTED DOUBLE-PARLOR TO BEDROOM ON ENTRY LEVEL



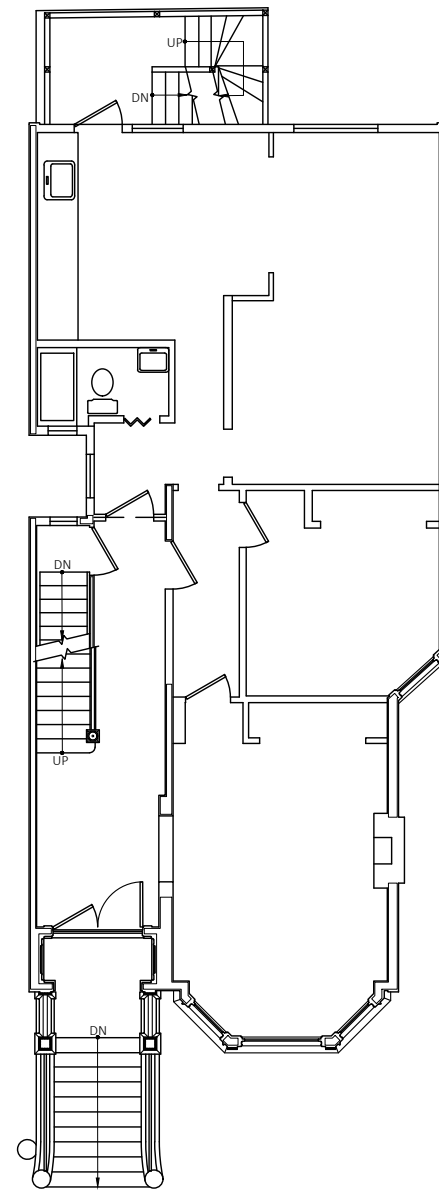
FIG.3: CURRENT KITCHEN



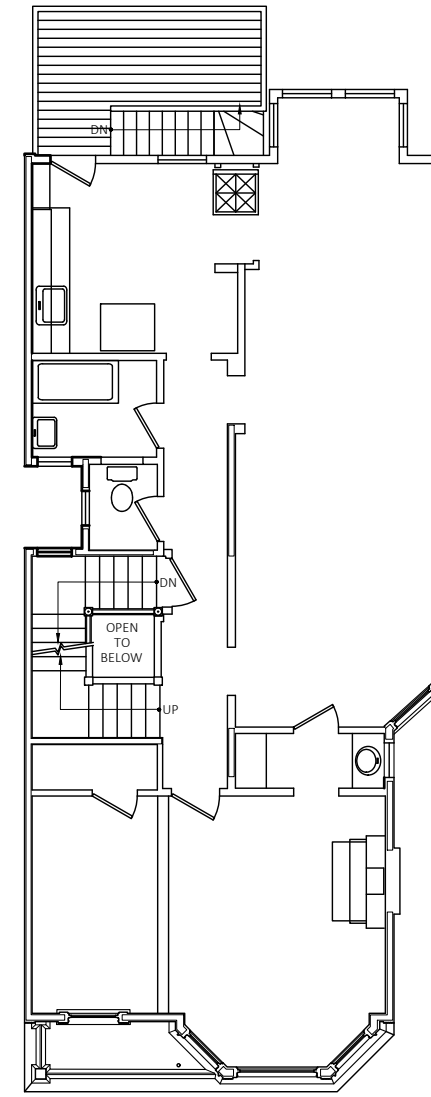
FIG.4: INTERIOR DOOR OPENINGS INFILLED TO CREATE COMMON ENTRY HALL



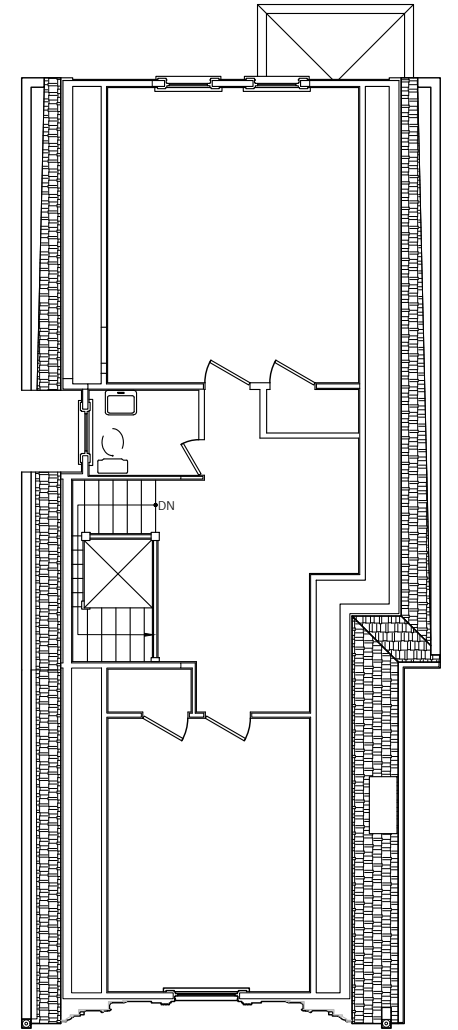
1ST



2ND



3RD



4TH

EXISTING CONFIGURATION ON ENTRY LEVEL

- ORIGINALLY CONSTRUCTED AS SINGLE-FAMILY DWELLING WITH CLASSIC DOUBLE-PARLOR CONFIGURATION ON ENTRY LEVEL
- CONVERTED TO TWO DWELLING UNITS IN 1960

EXISTING FLOOR PLANS

SCALE: 3/32" = 1'-0"





FRONT



FIG.1: EXISTING GARAGE



FIG.2: BRICK IN CHIMNEY



FIG. 3: REAR MULTI-STORY WOOD DECK



REAR

EXISTING ELEVATIONS

SCALE: 3/16" = 1'-0"

714 STEINER STREET, SAN FRANCISCO, CA 94117



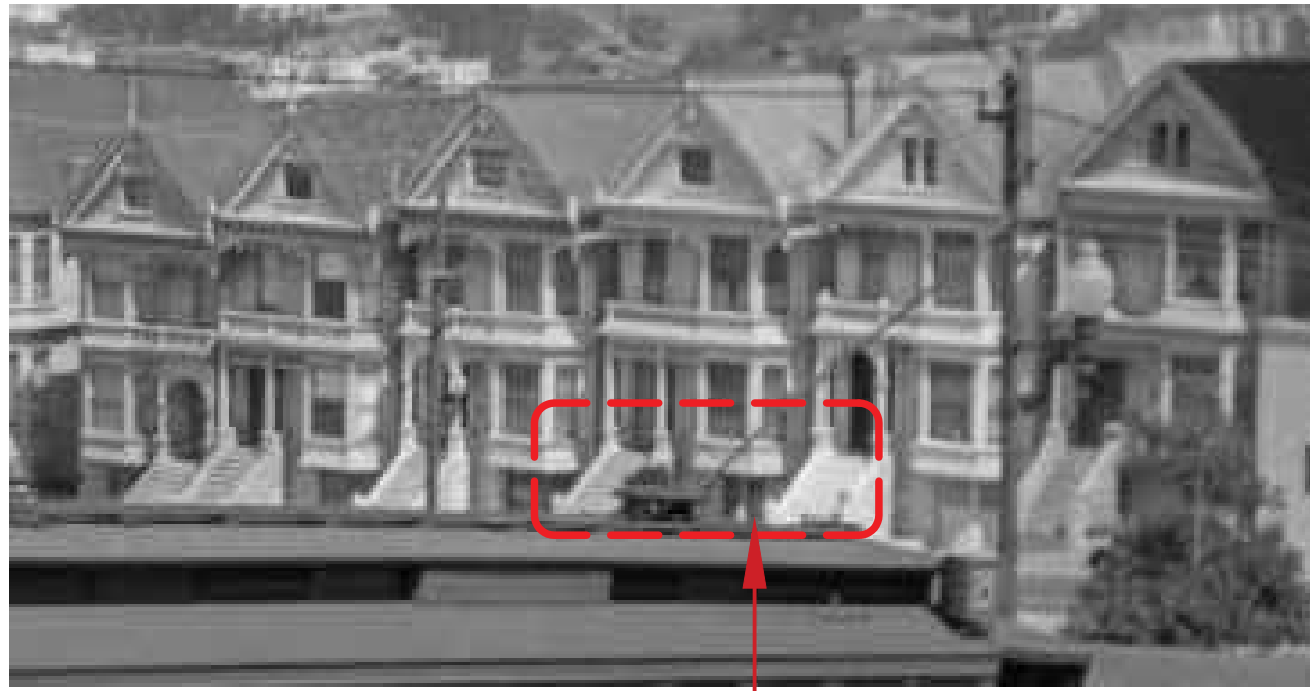


FIG. 1: 714 STEINER STREET SEEN IN 1947 WITH ORIGINAL FIRST FLOOR WINDOWS



FIG. 2: EXISTING FRONT STAIR LANDING AT PORCH



FIG. 3: LATE 1940'S PHOTO SHOWING ORIGINAL LOW WALL WITH IRONWORK FENCE



PROPOSED FRONT ELEVATION

SCALE: 3/16" = 1'-0"

RENOVATION WILL:

- REFURBISH ORIGINAL FRONT DOORS, WINDOWS AND DECORATIVE MILLWORK ON UPPER LEVELS
- REPAINT ENTIRE EXTERIOR
- REBUILD CHIMNEY IN WOOD FRAMING WITH SCORED STUCCO EXTERIOR FINISH TO REPLICATE EXISTING CHIMNEY





ARCHED OPENING IN SOUTH WALL OF FRONT STAIR LEADS TO NEW LOWER ENTRANCE TO UPPER UNIT AS WELL AS REQ'D TRASH STORAGE

MECHANICAL BIKE STORAGE ENCLOSURE COMPLETELY CONCEALED FROM PUBLIC VIEW

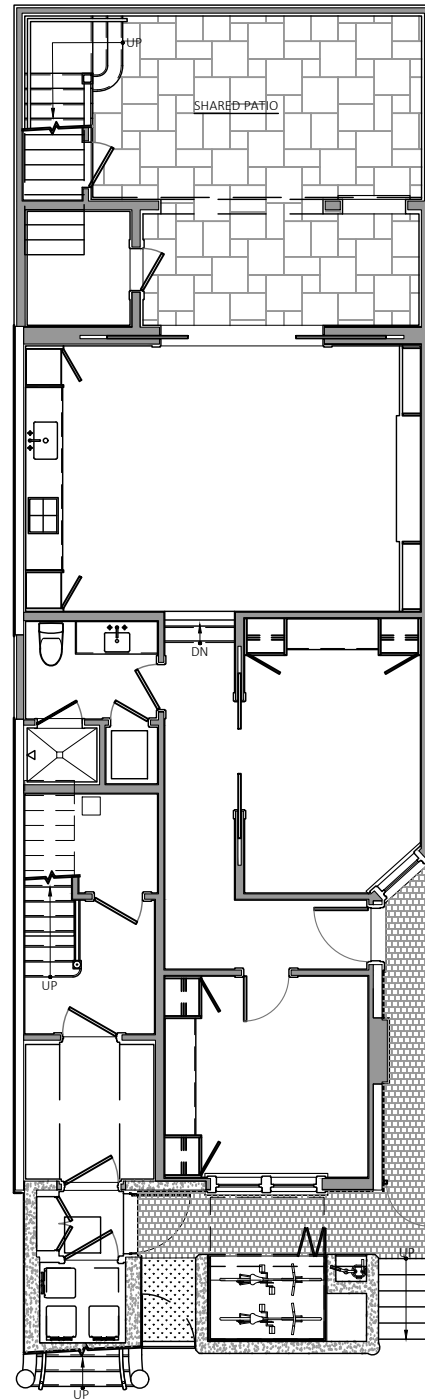
RESTORE HISTORIC WINDOW CONFIGURATION

DECORATIVE WROUGHT IRON FENCE ENCLOSES NEW LANDSCAPE PLANTER THAT REPLICATES ORIGINAL FRONT GARDEN SEEN IN VINTAGE PHOTOS

PROPOSED FRONT AREA

714 STEINER STREET, SAN FRANCISCO, CA 94117





PROPOSED 1ST FLOOR PLAN

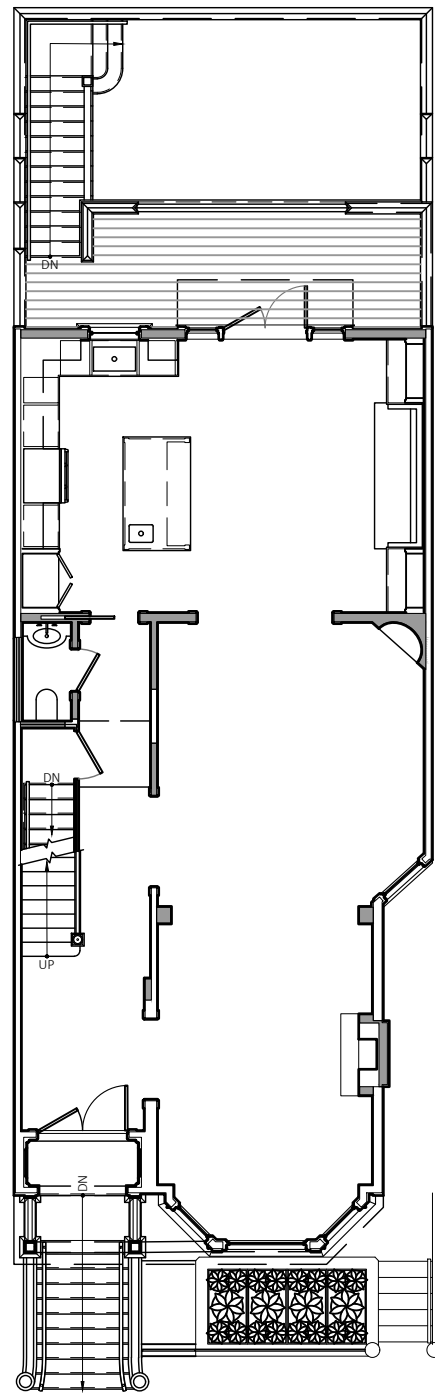
SCALE: 3/32" = 1'-0"

NEW LAYOUT:

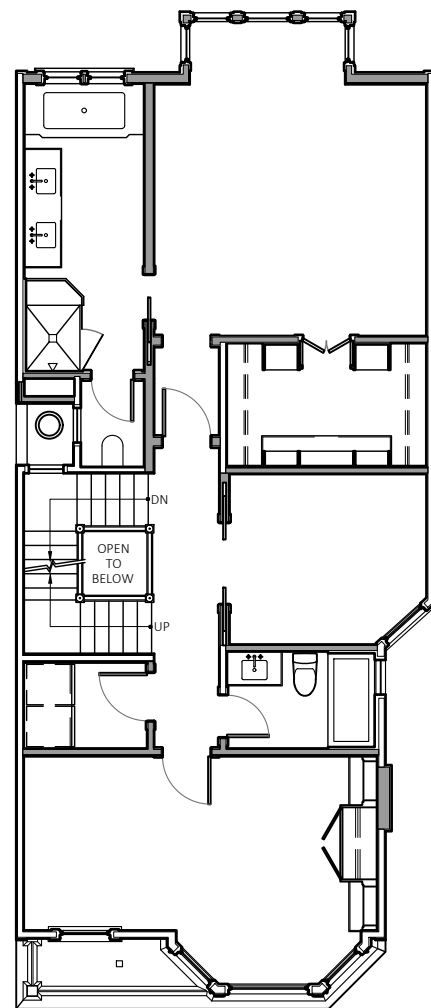
- REMOVE GARAGE
- MAINTAIN FRONT-FACING TWO-BEDROOM CONFIGURATION OF EXISTING SECOND FLOOR UNIT
- HAS EXPOSURE TO BOTH FRONT AND REAR IN ALIGNMENT WITH CITY'S FLATS POLICY
- HAS ACCESS TO SHARED OUTDOOR SPACE IN REAR GARDEN

714 STEINER STREET, SAN FRANCISCO, CA 94117

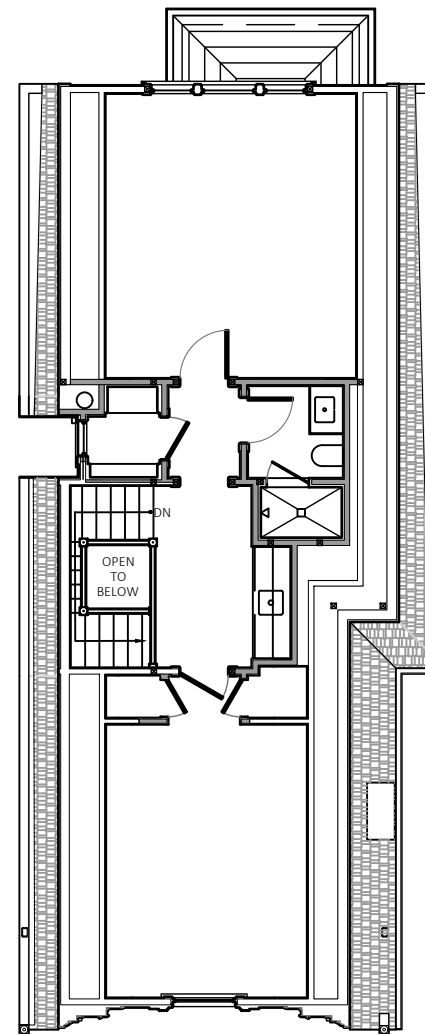




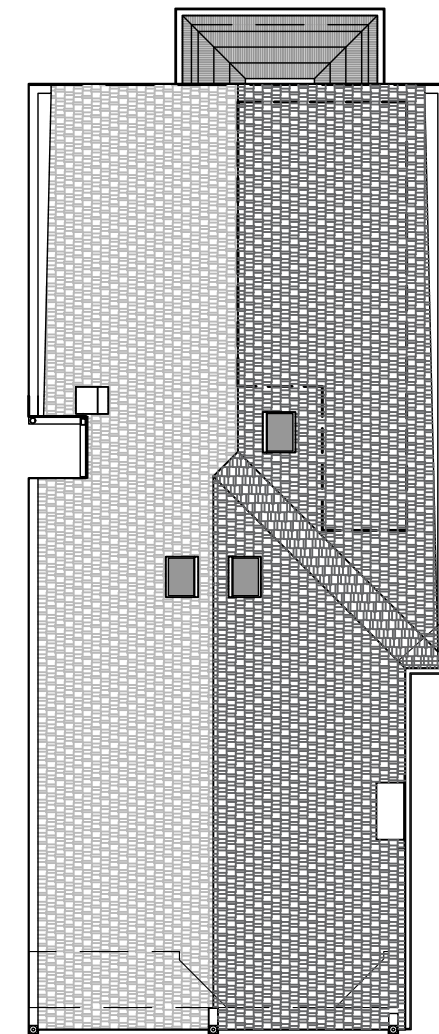
2ND



3RD



4TH



ROOF

PROPOSED FLOOR PLANS

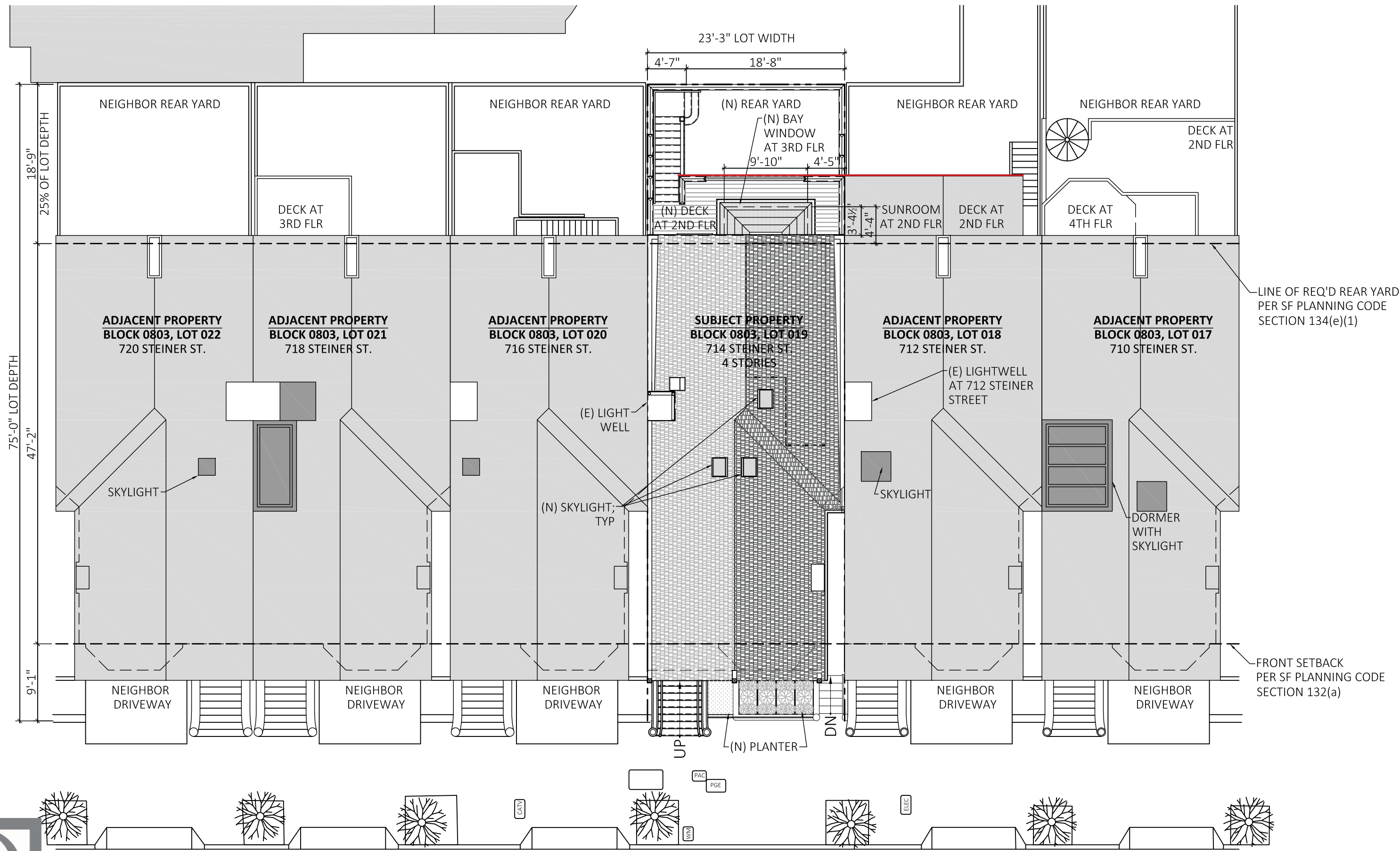
SCALE: 3/32" = 1'-0"

RENOVATION WILL:

- RESTORE ORIGINAL ARCHITECTURAL PARAMETERS OF HOUSE ON UPPER THREE FLOORS FOR USE AS LONG-TERM RESIDENCE
- CREATE NEW, HIGH-QUALITY DWELLING UNIT ON GROUND FLOOR
- REPLACE ALL ELECTRICAL, PLUMBING, AND MECHANICAL SYSTEMS
- INSTALL NEW FOUNDATION
- STRUCTURALLY UPGRADE BUILDING TO LATEST SEISMIC SAFETY STANDARDS TO PREP IT FOR NEXT 100 YEARS OF ITS LIFE
- BRING NATURAL LIGHT TO CURRENTLY DARK AREA OF TOP FLOOR WITH THREE NEW SKYLIGHTS NEAR CENTER OF ROOF

714 STEINER STREET, SAN FRANCISCO, CA 94117







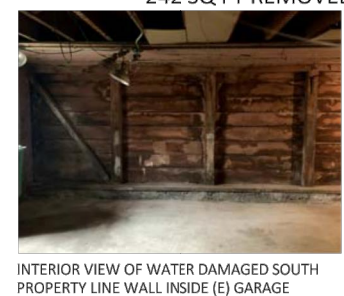
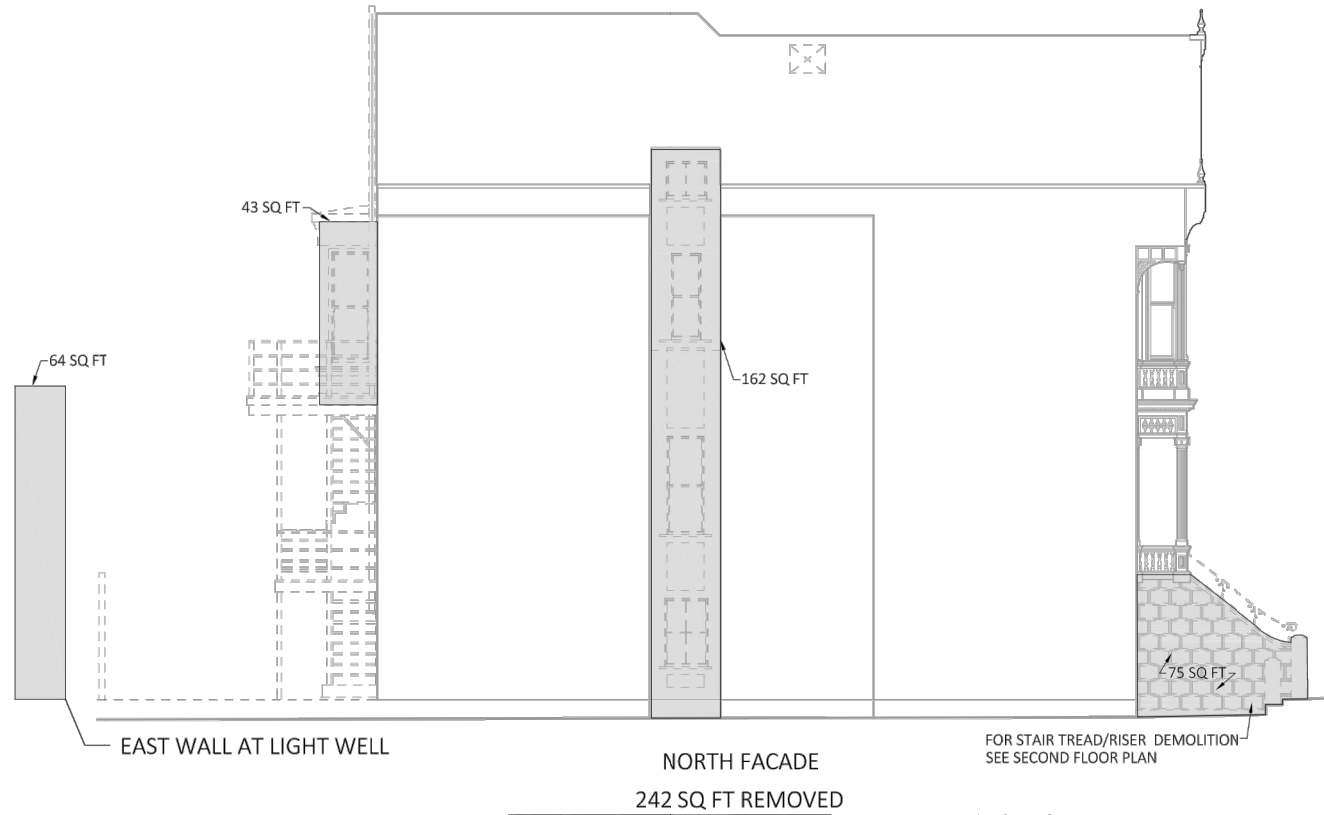
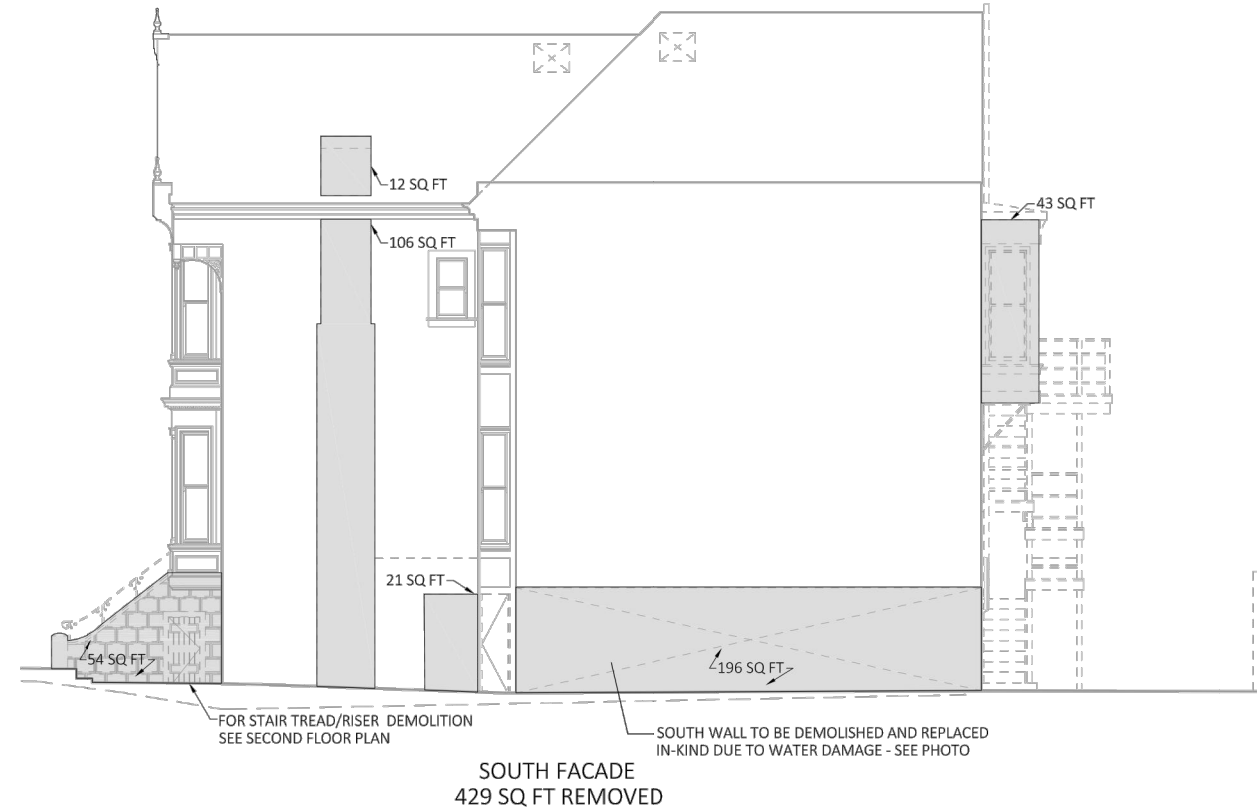
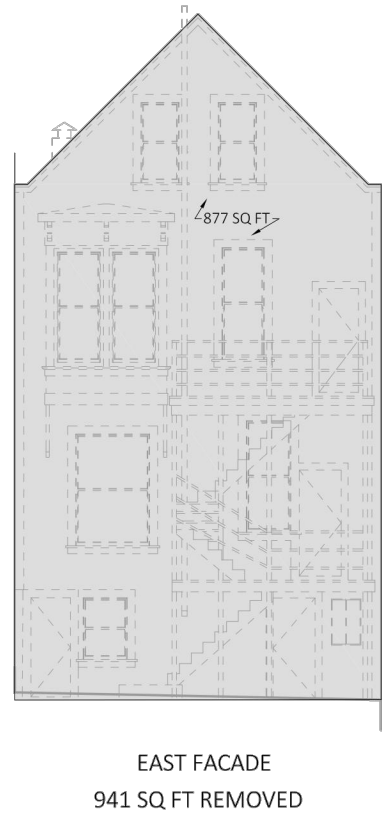
EXISTING REAR YARD



PROPOSED REAR YARD

- REPLACE ALL EXTERIOR SIDING AND TRIM TO MATCH EXISTING PROFILES
- PROVIDE NEW PAINTED WOOD WINDOWS AND EXTERIOR DOORS
- REMOVE EXISTING BAY WINDOW
- NEW BAY WINDOW OF SIMILAR PERIMETER LENGTH
- SHIFT NEW WINDOW FURTHER FROM PROPERTY LINE TO ALIGN WITH NEW SET OF DOORS BELOW





INTERIOR VIEW OF WATER DAMAGED SOUTH PROPERTY LINE WALL INSIDE (E) GARAGE

DRAWING LEGEND

- ARTICLE 10 SEC 1005(F)(2) AND 1005(F)(3) DEMOLISHED WALLS
- DEMOLISHED LINEAR FOOTAGE ELEMENTS
- DEMOLISHED INTERIOR WALLS; LINEAR FOOTAGE ELEMENTS
- RETAINED LINEAR FOOTAGE ELEMENTS

SAN FRANCISCO PLANNING CODE ARTICLE 10 SECTION 1005 (F) CALCULATION TABLE

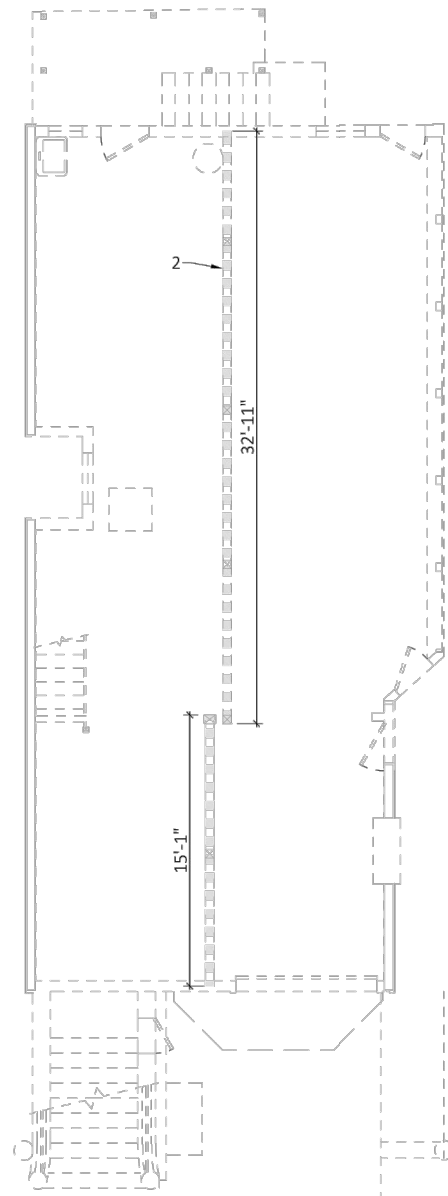
1005(F)(1) SURFACE AREA OF ALL EXTERIOR WALLS FACING PUBLIC STREET(S) (SQUARE FEET)						
LOCATION	(E) AREA (SF)	AREA REMOVED (SF)	% REMOVED	PROPOSED % REMOVED	SECTION 1005 (F)(1) LIMITS	COMPLIES WITH PLANNING CODE
FRONT FACADE	849	130	15.3%	15.3%	25% OR LESS	YES
1005(F)(2) ALL EXTERNAL WALLS FROM THEIR FUNCTION AS EXTERNAL WALLS (SQUARE FEET)						
FLOOR	(E) AREA (SF)	AREA REMOVED (SF)	% REMOVED	PROPOSED % REMOVED	SECTION 1005 (F)(2) LIMITS	COMPLIES WITH PLANNING CODE
NORTH	1,770	280	15.8%	35.7%	50% OR LESS	YES
EAST	968	941	97.2%			
SOUTH	1,580	432	27.3%			
WEST	938	221	23.6%			
TOTAL	5,256	1,874	35.7%			
1005(F)(3) ALL EXTERNAL WALLS FROM THEIR FUNCTION AS EITHER EXTERNAL OR INTERNAL WALLS (SQUARE FEET)						
FLOOR	(E) AREA (SF)	AREA REMOVED (SF)	% REMOVED	PROPOSED % REMOVED	SECTION 1005 (F)(3) LIMITS	COMPLIES WITH PLANNING CODE
NORTH	1,770	280	15.8%	35.7%	25% OR LESS	NO
EAST	968	941	97.2%			
SOUTH	1,580	432	27.3%			
WEST	938	221	23.6%			
TOTAL	5,256	1,874	35.7%			
1005(F)(4) ALL EXISTING INTERNAL FRAMEWORK OR FLOOR PLATES						
INTERNAL STRUCTURAL FRAMEWORK (LINEAR FEET OF INTERIOR PARTITIONS, LOAD BEARING WALLS, COLUMNS, ETC.)				PROPOSED % REMOVED	SECTION 1005 (F)(4) LIMITS	COMPLIES WITH PLANNING CODE
FLOOR	(E) LINEAL FT	LINEAL FT REMOVED	% REMOVED	72.4%***	75% OR LESS	YES
FIRST FLOOR	48'-0"	48'-0"	100.0%			
SECOND FLOOR	129'-6"	106'-7"	82.3%			
THIRD FLOOR	104'-11"	84'-8"	80.7%			
FOURTH FLOOR	145'-3"	70'-3"	48.4%			
TOTAL	427'-8"	309'-6"	72.4%			
AREA OF ROOF AND FLOOR PLATES EXCEPT AT/BELOW GRADE (SQUARE FEET)				4.60%***	75% OR LESS	YES
FLOOR	(E) AREA (SF)	AREA REMOVED (SF)	% REMOVED			
FIRST FLOOR	0	0	-			
SECOND FLOOR	1,140	75	6.6%			
THIRD FLOOR	1,145	28	2.4%			
FOURTH FLOOR	1,121	84**	7.5%			
ROOF	1,118	20	1.8%			
TOTAL	4,524	207	4.6%			

* (E) POST AND BEAM SYSTEM TO BE REMOVED AND REPLACED WITH (N) LOAD-BEARING WALLS AS PART OF FULL SEISMIC UPGRADE OF STRUCTURE
 ** (E) ORIGINAL STAIR TO BE REMOVED DUE TO SUBSTANTIAL DAMAGE FROM 1960S ILLEGAL SUBDIVISION OF HOME - WILL BE REPLACED WITH A NEW STAIR TO MATCH ORIGINAL
 *** INTERNAL STRUCTURAL FRAMEWORK DEMOLITION CALCULATIONS INCLUDE REMOVAL OF STRUCTURAL ELEMENTS FROM THE ORIGINAL CONSTRUCTION AS WELL AS THE 1960s WHEN THE RESIDENCE WAS DIVIDED INTO TWO UNITS WITHOUT A PERMIT, THEN SUBSEQUENTLY LEGALIZED.

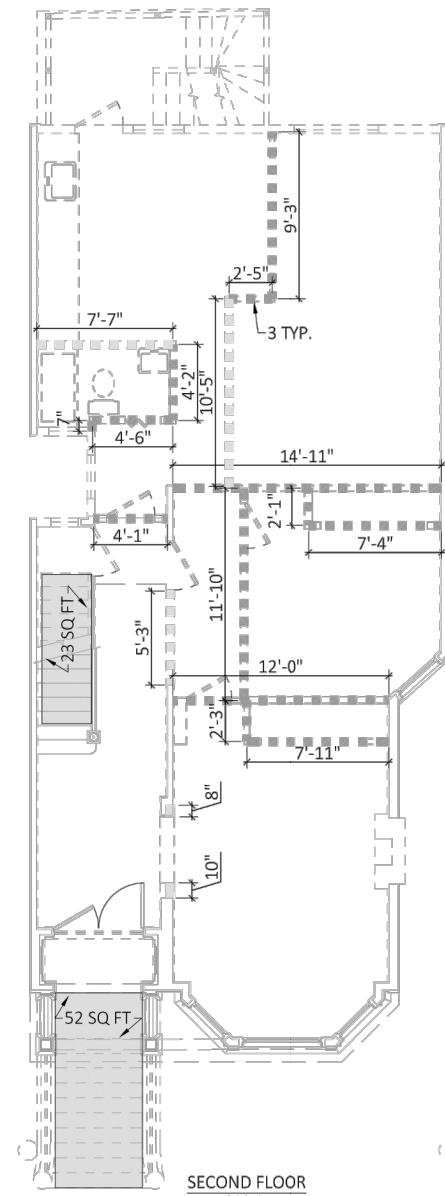
INTERNAL STRUCTURAL FRAMEWORK (LINEAR FEET OF INTERIOR PARTITIONS, LOAD BEARING WALLS, COLUMNS, ETC.) - ORIGINAL 1894 CONSTRUCTION						
FLOOR	(E) LINEAL FT	LINEAL FT REMOVED	% REMOVED	65.4%	75% OR LESS	YES
FIRST FLOOR	48'-0"	48'-0"	100.0%			
SECOND FLOOR	46'-2"	24'-9"	53.6%			
THIRD FLOOR	98'-1"	77'-10"	79.4%			
FOURTH FLOOR	145'-3"	70'-3"	48.4%			
TOTAL	337'-6"	220'-10"	65.4%			
INTERNAL STRUCTURAL FRAMEWORK (LINEAR FEET OF INTERIOR PARTITIONS, LOAD BEARING WALLS, COLUMNS, ETC.) - 1960s ALTERATIONS						
FLOOR	(E) LINEAL FT	LINEAL FT REMOVED	% REMOVED	100.0%	75% OR LESS	NO
FIRST FLOOR	0'-0"	0'-0"	-			
SECOND FLOOR	83'-4"	83'-4"	100.0%			
THIRD FLOOR	6'-10"	6'-10"	100.0%			
FOURTH FLOOR	0'-0"	0'-0"	-			
TOTAL	90'-2"	90'-2"	100.0%			

NOTES
 1 SEE SHEET G2.3 FOR FLOOR PLAN DIAGRAMS
 2 FOR THE PURPOSES OF ARTICLE 10 SECTION 1005 (F), DEMOLITION SHALL BE DEFINED AS ANY ONE OF THE FOLLOWING:
 (1) REMOVAL OF MORE THAN 25 PERCENT OF THE SURFACE OF ALL EXTERIOR WALLS FACING A PUBLIC STREET(S); OR
 (2) REMOVAL OF MORE THAN 50 PERCENT OF ALL EXTERIOR WALLS FROM THEIR FUNCTION AS ALL EXTERIOR WALLS; OR
 (3) REMOVAL OF MORE THAN 25 PERCENT OF EXTERIOR WALLS FROM FUNCTION AS EITHER EXTERNAL OR INTERNAL WALLS; OR
 (4) REMOVAL OF MORE THAN 75 PERCENT OF THE BUILDING'S EXISTING INTERNAL STRUCTURAL FRAMEWORK OR FLOOR PLATES UNLESS THE CITY DETERMINES THAT SUCH REMOVAL IS THE ONLY FEASIBLE MEANS TO MEET THE STANDARDS FOR SEISMIC LOAD & FORCES OF THE LATEST ADOPTED VERSION OF THE SAN FRANCISCO BUILDING CODE AND THE STATE HISTORICAL BUILDING CODE.
 (5) IF REMOVAL AND REPLACEMENT OF ADDITIONAL BUILDING ELEMENTS CONSIDERED BEYOND REPAIR IS REQUIRED DURING CONSTRUCTION, CONTACT THE PLANNING DEPARTMENT IMMEDIATELY FOR REVIEW AND APPROVAL. THIS INCLUDES FLOOR FRAMING, SIDEWALLS AND OTHER STRUCTURAL MEMBERS NOT VISIBLE FROM THE PUBLIC RIGHT-OF-WAY. REMOVAL OF ELEMENTS BEYOND PERCENTAGES SUBMITTED ABOVE IS CONSIDERED A VIOLATION. IF REMOVAL IS BEYOND PERCENTAGES OUTLINED IN PLANNING CODE SECTION 1005, FURTHER ENVIRONMENTAL REVIEW BY THE PLANNING DEPARTMENT IS REQUIRED.

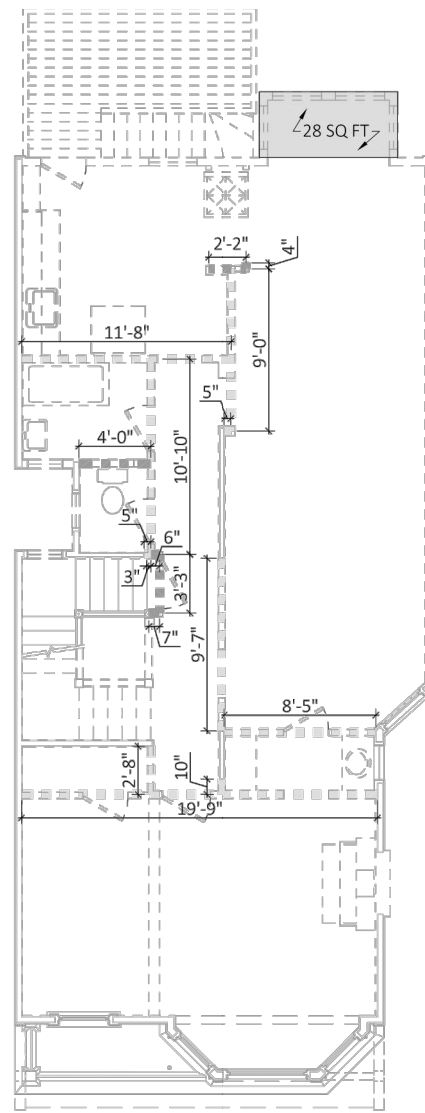




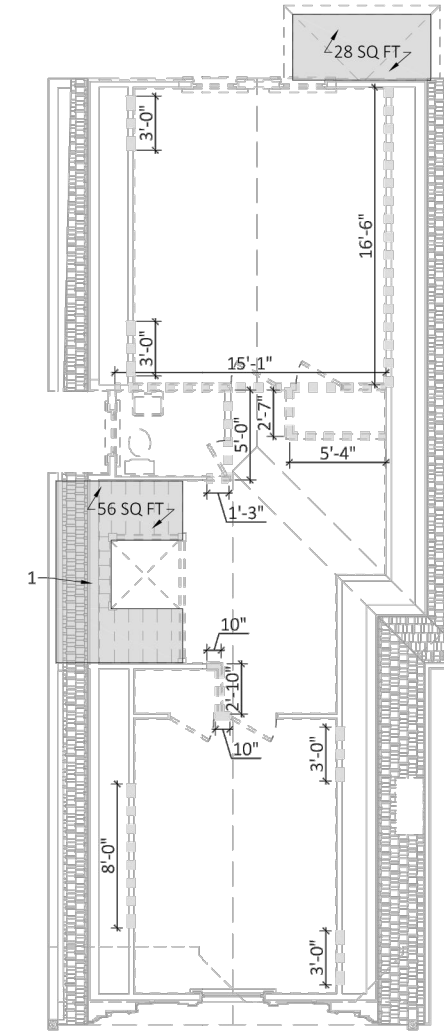
FIRST FLOOR
 1005(f)(4) INTERNAL STRUCTURAL FRAMEWORK:
 48'-0" REMOVED IN TOTAL (1894)
 FLOOR PLATES: 0 SQ FT REMOVED



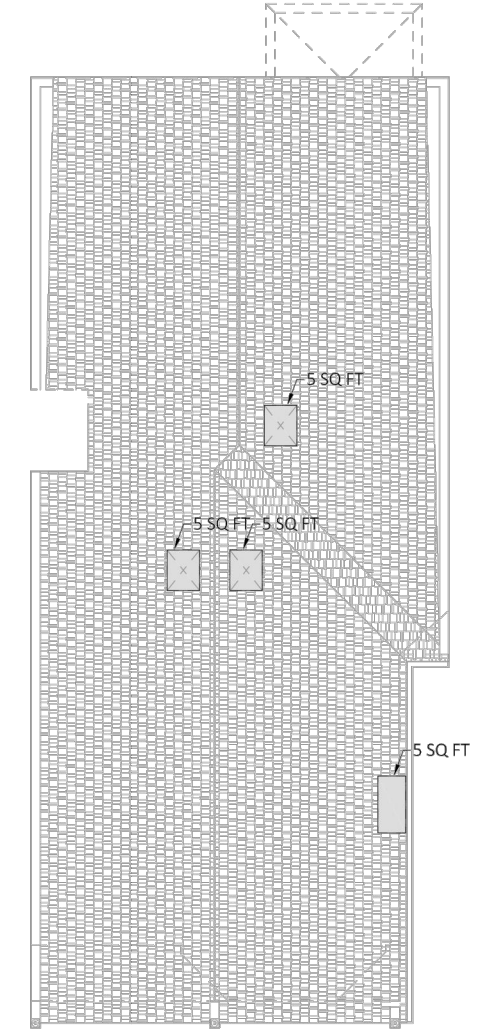
SECOND FLOOR
 1005(f)(4) INTERNAL STRUCTURAL FRAMEWORK:
 106'-7" REMOVED IN TOTAL
 24'-9" (1894) + 83'-4" (1960s)
 FLOOR PLATES: 75 SQ FT REMOVED



THIRD FLOOR
 1005(f)(4) INTERNAL STRUCTURAL FRAMEWORK:
 84'-8" REMOVED IN TOTAL
 77'-10" (1894) + 6'-10" (1960s)
 FLOOR PLATES: 28 SQ FT REMOVED



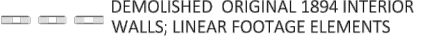
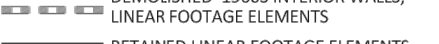



FOURTH FLOOR
 1005(f)(4) INTERNAL STRUCTURAL FRAMEWORK:
 70'-3" REMOVED IN TOTAL (1894)
 FLOOR PLATES: 56 SQ FT REMOVED



ROOF
 FLOOR PLATES: 20 SQ FT REMOVED

DRAWING LEGEND

-  ARTICLE 10 SEC 1005(F)(4) HORIZONTAL ELEMENTS
-  DEMOLISHED LINEAR FOOTAGE ELEMENTS
-  DEMOLISHED ORIGINAL 1894 INTERIOR WALLS; LINEAR FOOTAGE ELEMENTS
-  DEMOLISHED 1960S INTERIOR WALLS; LINEAR FOOTAGE ELEMENTS
-  RETAINED LINEAR FOOTAGE ELEMENTS

NOTES

- 1 (E) ORIGINAL STAIR TO BE REMOVED DUE TO SUBSTANTIAL DAMAGE FROM 1960S ILLEGAL SUBDIVISION OF HOME - WILL BE REPLACED WITH A NEW STAIR TO MATCH ORIGINAL CONFIGURATION AND ARCHITECTURAL DETAILS
- 2 (E) POST AND BEAM SYSTEM TO BE REMOVED AND REPLACED WITH (N) LOAD-BEARING WALLS AS PART OF FULL SEISMIC UPGRADE OF STRUCTURE
- 3 ALL 1960S WALLS TO BE REMOVED, TO RESTORE ORIGINAL INTERIOR SPATIAL CONFIGURATION

