



2021 MILLS ACT HISTORICAL PROPERTY CONTRACTS EXECUTIVE SUMMARY

HEARING DATE: OCTOBER 6, 2021

Re: 2021 Mills Act Historical Property Contracts
Staff Contact: Shannon Ferguson - 628-652-7354
Shannon.Ferguson@sfgov.org
Reviewed By: Elizabeth Gordon-Jonckheer- 628-652-7352
Elizabeth.Gordon-Jonckheer@sfgov.org

Record No.: 2021-004327MLS
Project Address: 714 Steiner Street
Zoning: RH-2 - Residential- House, Two-Family
Height & Bulk: 40-X Height and Bulk District
Historic District: Alamo Square Historic District
Block/Lot: 0803/019
Project Sponsor: Leah Culver
Property Owner: Leah Culver Revocable Trust
30 Walter Street
San Francisco, CA 94114
412-608-7984
leah.culver@gmail.com

Property Description

714 Steiner Street is a contributing building to the Article 10 Alamo Square Historic District. It is located on the east side of Steiner Street between Hayes and Grove Streets, Assessor's Block 0803 Lot 019. The subject property is located within a RH-2 (Residential-House, Two-Family District) zoning district and a 40-X Height and Bulk district. 714 Steiner Street is one of the Queen Anne buildings on "Postcard Row" directly across from Alamo Square. The building is a three story over garage, wood-frame, two-unit residential building constructed in 1895 and features a gable roof and bay window.

Project Description

This project is for Mills Act Historical Property Contracts for 714 Steiner Street.

Ordinance No. 191-96 amended the San Francisco Administrative Code by adding Chapter 71 to implement the California Mills Act, California Government Code Sections 50280 et seq (the Mills Act). The Mills Act authorizes local governments to enter into contracts with owners of a qualified historical property who will rehabilitate, restore, preserve, and maintain the property. As consideration for the rehabilitation, restoration, preservation and maintenance of the qualified historical property, the City and County of San Francisco may provide certain property tax reductions in accordance with Article 1.9 (commencing with Section 439) of Chapter 3 of Part 2 of Division 1 of the California Revenue and Taxation Code.

San Francisco contains many historic buildings that add to its character and international reputation. Many of these buildings have not been adequately maintained, may be structurally deficient, or may need rehabilitation. The costs of properly rehabilitating, restoring and preserving historic buildings may be prohibitive for property owners. Implementation of the Mills Act in San Francisco will make the benefits of the Mills Act available to many property owners.

The benefits of the Mills Act to the individual property owners as well as the historical value of the individual buildings proposed for historical property contracts must be balanced with the cost to the City and County of San Francisco of providing the property tax reductions set forth in the Mills Act.

Eligibility

QUALIFIED HISTORICAL PROPERTY

An owner, or an authorized agent of the owner, of a qualified historical property may apply for a historical property contract. For purposes of Chapter 71, "qualified historical property" means privately owned property that is not exempt from property taxation and that either has submitted a complete application for listing or designation, or has been listed or designated in one of the following ways on or before December 31 of the year before the application is made:

- (1) Individually listed in the National Register of Historic Places;
- (2) Listed as a contributor to an historic district included on the National Register of Historic Places;
- (3) Designated as a City landmark pursuant to San Francisco Planning Code Article 10;
- (4) Designated as contributory to a landmark district designated pursuant to San Francisco Planning Code Article 10; or
- (5) Designated as significant (Categories I or II) or contributory (Categories III or IV) to a conservation district designated pursuant to San Francisco Planning Code Article 11.

LIMITATIONS ON ELIGIBILITY

Eligibility for historical property contracts is limited to sites, buildings, or structures with an assessed valuation as of December 31 of the year before the application is made of \$3,000,000 or less for single-family dwellings and \$5,000,000 or less for multi-unit residential, commercial, or industrial buildings, unless the individual property is granted an exemption from those limitations by the Board of Supervisors. For the purposes of this section, "assessed valuation" shall not include any portion of the value of the property that is already exempt from payment of property taxes.

EXEMPTION FROM LIMITATIONS ON ELIGIBILITY

The Historic Preservation Commission may recommend that the Board of Supervisors grant an exemption from the limitations imposed by this section upon finding that:

- (1) The site, building, or structure is a particularly significant resource; and
- (2) Granting the exemption will assist in the preservation of a site, building, or structure that would otherwise be in danger of demolition, substantial alteration, or disrepair.

Properties applying for an exemption must provide evidence that it meets the exemption criteria, including a Historic Structure Report (HSR) to substantiate the exceptional circumstances for granting the exemption.

The Board of Supervisors may approve a historical property contract not otherwise meeting the eligibility requirements if it finds that the property is a qualified historical property that meets exemption criteria listed above and is especially deserving of a contract due to the exceptional nature of the property and other special circumstances.

Application for Mills Act Historical Property Contract

WHO MAY APPLY AND APPLICATION CONTENT

An owner, or an authorized agent of an owner, of a qualified historical property may submit an application for a historical property contract to the Planning Department on forms provided by the Planning Department. The property owner is required to provide, at a minimum, the address and location of the qualified historical property, evidence that the property is a qualified historical property and meets the valuation requirements of Chapter 71, the nature and cost of the rehabilitation, restoration or preservation work to be conducted on the property, financial information necessary for the Assessor-Recorder to conduct the valuation assessment under the Mills Act, including any information regarding income generated by the qualified historical property, and a plan for continued maintenance of the property. The Planning Department, the Historic Preservation Commission, or the Assessor-Recorder may require any further information necessary to make a recommendation on or conduct the valuation of the historical property contract.

APPLICATION DEADLINES

The annual application deadline for a historical property contract is May 1. Application for a historical property contract may be submitted to the Planning Department between January 1 and May 1 of each year.

Approval Process

ASSESSOR-RECORDER REVIEW

Once an application has been received and found to be complete, the Planning Department refers the application for a historical property contract to the Assessor-Recorder for review and recommendation. Within 60 days of the receipt of a complete application, the Assessor-Recorder is required to provide to the Board of Supervisors and Historic Preservation Commission a report estimating the yearly property tax revenue to the City under the proposed Mills Act contract valuation method and under the standard method without the proposed Mills Act contract, and showing the difference in property tax assessments under the two valuation methods. If the Assessor-Recorder determines that the proposed rehabilitation includes substantial new construction or a change of use, or the valuation is otherwise complex the Assessor-Recorder may extend this period for up to an

additional 60 days by providing written notice of the extension to the applicant, the Historic Preservation Commission, and the Board of Supervisors. Such notice shall state the basis for the extension. If the Assessor-Recorder fails to provide a report and recommendation within the time frames set forth here, the Historic Preservation Commission and Board of Supervisors may proceed with their actions without such report and recommendation.

HISTORIC PRESERVATION COMMISSION REVIEW

The Historic Preservation Commission has the authority to recommend approval, disapproval, or modification of historical property contracts to the Board of Supervisors. For this purpose, the Historic Preservation Commission is required to hold a public hearing to review the application for the historical property contract and make a recommendation regarding whether the Board of Supervisors should approve, disapprove, or modify the historical property contract within 90 days of receipt of the Assessor-Recorder's report or within 90 days of the date the report should have been provided if none is received. The recommendation of the Historic Preservation Commission may include recommendations regarding the proposed rehabilitation, restoration, and preservation work, the historical value of the qualified historical property, and any proposed preservation restrictions or maintenance requirements to be included in the historical property contract. The Planning Department forwards the application and the recommendation of the Historic Preservation Commission to approve or modify a historical property contract to the Board of Supervisors. Failure of the Historic Preservation Commission to act within the 90-day time limit constitutes a recommendation of disapproval, and the Planning Department is required to notify the property owner in writing of the Historic Preservation Commission's failure to act. If the Historic Preservation Commission recommends disapproval of the historical property contract, such decision is final unless the property owner files an appeal with the Clerk of the Board of Supervisors within 10 days of the final action of the Historic Preservation Commission or within 10 days of the Planning Department's notice of the Historic Preservation Commission's failure to act.

BUDGET ANALYST REVIEW

Upon receipt of the recommendation of the Historic Preservation Commission or upon receipt of a timely appeal, the Clerk of the Board of Supervisors is required to forward the application and Assessor-Recorder's report to the Budget Analyst, who, then prepares a report to the Board of Supervisors on the fiscal impact of the proposed historical property contract.

BOARD OF SUPERVISORS DECISION

The Board of Supervisors is required to conduct a public hearing to review the Historic Preservation Commission's recommendation, the Assessor-Recorder's report if provided, the Budget Analyst's report, and any other information the Board requires in order to determine whether the City should execute a historical property contract for a particular property. The Board of Supervisors has full discretion to determine whether it is in the public interest to enter into a historical property contract regarding a particular qualified historical property. The Board of Supervisors may approve, disapprove, or modify and approve the terms of the historical property contract. Upon approval, the Board of Supervisors authorizes the Director of Planning and the Assessor-Recorder to execute the historical property contract.

Terms of the Mills Act Historical Property Contract

The historical property contract sets forth the agreement between the City and the property owner that as long as the property owner properly rehabilitates, restores, preserves and maintains the qualified historical property as set forth in the contract, the City shall comply with California Revenue and Taxation Code Article 1.9 (commencing with Section 439) of Chapter 3 of Part 2 of Division 1, provided that the specific provisions of the Revenue and Taxation Code are applicable to the property in question. A historical property contract is required to contain, at a minimum, the following provisions:

- (1) The initial term of the contract, which shall be for a minimum period of 10 years;
- (2) The owner's commitment and obligation to preserve, rehabilitate, restore and maintain the property in accordance with the rules and regulations of the Office of Historic Preservation of the California Department of Parks and Recreation and the United States Secretary of the Interior's Standards for the Treatment of Historic Properties;
- (3) Permission to conduct periodic examinations of the interior and exterior of the qualified historical property by the Assessor-Recorder, the Department of Building Inspection, the Planning Department, the Office of Historic Preservation of the California Department of Parks and Recreation and the State Board of Equalization as may be necessary to determine the owner's compliance with the historical property contract;
- (4) That the historical property contract is binding upon, and shall inure to the benefit of, all successors in interest of the owner;
- (5) An extension to the term of the contract so that one year is added automatically to the initial term of the contract on the anniversary date of the contract or such other annual date as specified in the contract unless notice of nonrenewal is given as provided in the Mills Act and in the historical property contract;
- (6) Agreement that the Board of Supervisors may cancel the contract, or seek enforcement of the contract, when the Board determines, based upon the recommendation of any one of the entities listed in Subsection (3) above, that the owner has breached the terms of the contract. The City shall comply with the requirements of the Mills Act for enforcement or cancellation of the historical property contract. Upon cancellation of the contract, the property owner shall pay a cancellation fee of 12.5 percent of the full value of the property at the time of cancellation (or such other amount authorized by the Mills Act), as determined by the Assessor-Recorder without regard to any restriction on such property imposed by the historical property contract; and
- (7) The property owner's indemnification of the City for, and agreement to hold the City harmless from, any claims arising from any use of the property.

The City and the qualified historical property owner shall comply with all provisions of the Mills Act, including amendments thereto. The Mills Act, as amended from time to time, shall apply to the historical property contract process and shall be deemed incorporated into each historical property contract entered into by the City.

The Planning Department shall maintain a standard form "Historical Property Contract" containing all required provisions specified by this section and state law. Any modifications to the City's standard form contract made by the applicant shall be subject to approval by the City Attorney prior to consideration by the Historic Preservation Commission and the Board of Supervisors.

Departmental Monitoring Report

Since March 31, 2013 and every three years thereafter, the Assessor-Recorder and the Planning Department has submitted a joint report to the Board of Supervisors and the Historic Preservation Commission providing the Departments' analysis of the historical property contract (Mills Act) program. The next report will be calendared for hearing before the Board of Supervisors and the Historic Preservation Commission in 2022. In addition, the Planning Department conducts annual monitoring to determine the owner's compliance with the historical property contract. Please see Attachment B for an update on annual monitoring.

Priority Criteria Considerations

In addition, the Department reviews all applications on the merits of five Priority Consideration. The five priority considerations are:

Necessity: The project will require a financial incentive to help ensure the preservation of the property. This criterion will establish that the property is in danger of deterioration and in need of substantial rehabilitation and restoration that has significant associated costs. Properties with open complaints, enforcement cases or violations will not meet this criterion.

Investment: The project will result in additional private investment in the property other than for routine maintenance. This may include seismic retrofitting and substantial rehabilitation and restoration work. This criterion will establish that the owner is committed to investing in the restoration, rehabilitation and maintenance the property.

Distinctiveness: The project preserves a distinctive example of a property that is especially deserving of a contract due to its exceptional nature.

Recently Designated City Landmarks: properties that have been recently designated landmarks will be given priority consideration.

Legacy Business: The project will preserve a property at which a business included in the Legacy Business Registry is located. This criterion will establish that the owner is committed to preserving the property, including physical features that define the existing Legacy Business.

Issues & Other Considerations

714 Steiner Street: The subject property is listed as a contributor to the Alamo Square Historic District and is thus a qualified historical property. The subject property is currently valued by the Assessor's Office as over \$3,000,000 and required a Historic Structure Report (see attached) to substantiate the exceptional circumstances for granting an exemption from the limitations on eligibility.

The property meets the requirements for granting an exemption from the limitations on eligibility. The property is a particularly significant resource because it was constructed as early as 1895, survived the 1906 earthquake and fires, and went on to become internationally renowned as one of the buildings forming "Postcard Row"

directly across from Alamo Square. 714 Steiner Street is an important contributor to the Alamo Square Historic District for its early construction date, its survival through the ravages of the 1906 earthquake and fires, and for its architectural design, which includes its gabled roof and bay window. The building contributes to the narrative of Alamo Square as a highly intact, significant collection of residential architecture designed by distinguished architects spanning from the 1870s into the 1920s. Although the property is not in danger of demolition or substantial alteration, staff supports an eligibility exemption because of the applicant's commitment to preserving the building, including address deferred maintenance and remove the non-original garage/driveway in order to restore lower-level windows and siding. The proposed rehabilitation program also includes the repair and/or restoration of the front entry stair, windows throughout, decorative trim and window surrounds, and the front door and entryway millwork, among other items.

The owner of the qualified historical property submitted an application for a historical property contract and a Historic Structure Report to the Department by the May 1, 2021 application deadline.

The Assessor-Recorder estimated the property owner will receive an estimated \$31,578 in property tax savings in the first year as a result of the Mills Act Contract. Please refer to the attached Market Analysis and Income Approach Report and Preliminary Valuation spreadsheet prepared by the Assessor-Recorder for detailed information.

As detailed in the application, the applicant proposes to rehabilitate and maintain the historic property. The proposed Rehabilitation Plan (Exhibit A) proposes to perform seismic work, replace the roof, repair and paint the siding, remove the garage, restore historic location of two street-facing windows, restore historic low wall and railing, replace steps, and restore/repair windows and doors. The estimated cost of the proposed rehabilitation work is \$1,259,900.00

The proposed Maintenance Plan (Exhibit B) proposes to inspect and make any necessary repairs to the foundation, roof, siding, windows and doors, and stairs on an annual basis. The estimated cost of maintenance work is \$5,400 annually.

No changes to the use of the property are proposed. The Department has determined that the proposed work, as detailed in Exhibits A and B, will be in conformance with the *Secretary of Interior's Standards for Rehabilitation*. Please refer to the attached Rehabilitation and Maintenance Plan for a full description of the proposed work.

The subject property meets three of the five Priority Considerations: Necessity, Investment and Distinctiveness. The proposed rehabilitation will require significant associated costs to ensure the preservation of the subject property. The property owner will invest additional money towards the rehabilitation other than for routine maintenance, including structural upgrades. Finally, the proposed rehabilitation project will preserve and enhance the integrity of one of the renowned "Postcard Row" buildings. The subject property does not meet the Recently Designated City Landmarks or the Legacy Business criteria. Alamo Square was designated an Article 10 landmark district in 1984 and therefore is not a recent landmark. A Legacy Business is not located at the subject property.

Public/Neighborhood Input

The Department has received no inquiries from the public about the proposed project.

Environmental Review Status

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 31 categorical exemption as the proposed project is limited to maintenance, repair, stabilization, restoration, conservation, or reconstruction of the subject property in a manner consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties.

Basis for Recommendation

714 Steiner Street: The Department recommends **APPROVAL** of the Mills Act Historical Property Contract as it meets the provisions of Chapter 71 of the Administration Code and the Priority Considerations. The proposed rehabilitation and maintenance work conforms with the *Secretary of Interior’s Standards for Rehabilitation*. Granting the Mills Act historical property contract will help the property owner mitigate rehabilitation expenditures and adequately maintain the property in the future.

Attachments

Attachment A – 714 Steiner Street

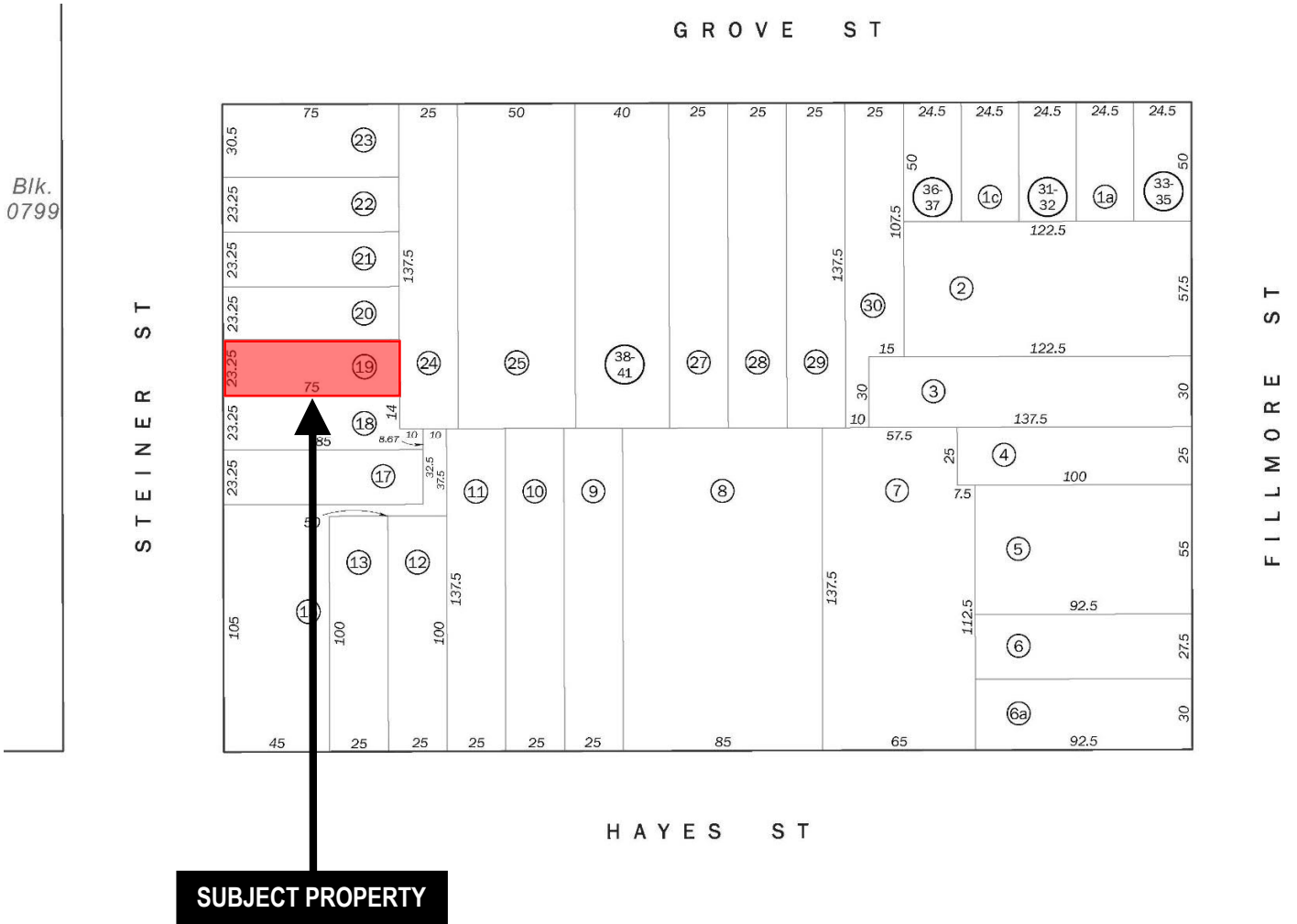
- Maps and Context Photos
- Draft Resolution
- Draft Mills Act Contract
- Exhibits A & B: Draft Rehabilitation and Maintenance Plan
- Draft Mills Act Valuation provided by the Assessor-Recorder’s Office
- Categorical Exemption
- Pre-Approval Inspection Report
- Mills Act Application & Historic Structure Report

Attachment B – Planning Department Annual Monitoring Information

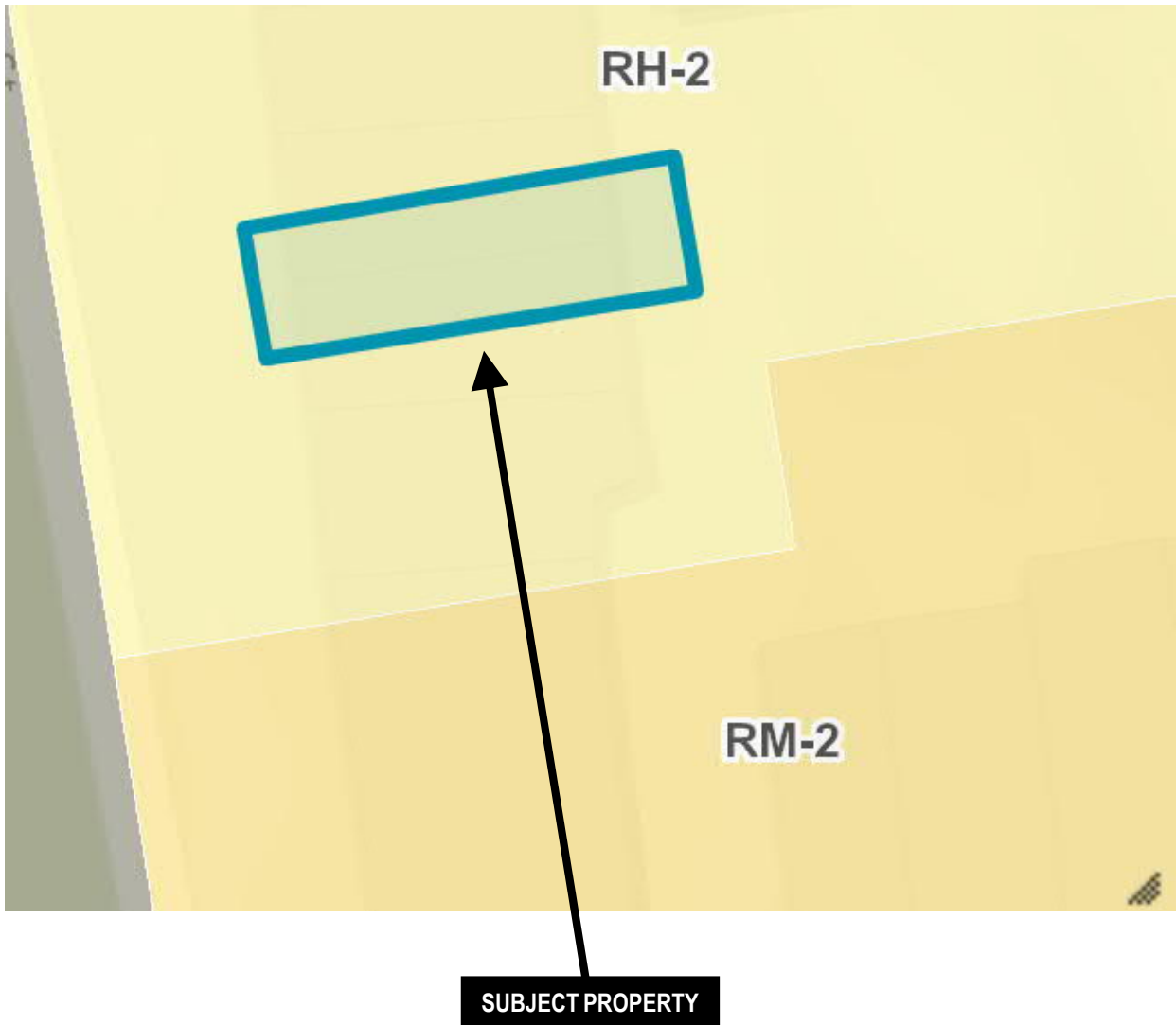
Attachment C – Current Mills Act Valuations provided by the Assessor-Recorder’s Office

Attachment A
714 Steiner Street

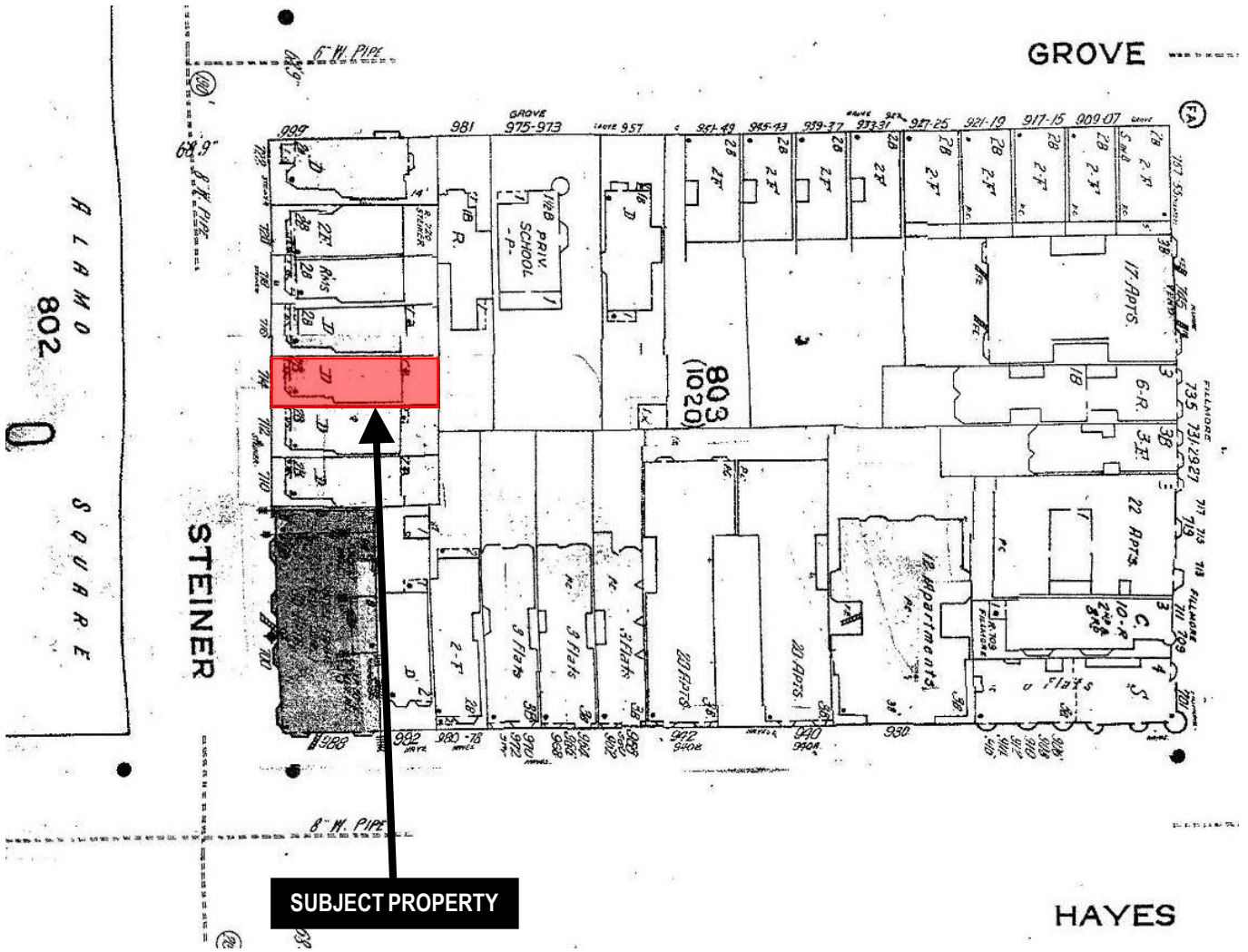
Parcel Map



Zoning Map



Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Record Number: 2021-004327MLS
714 Steiner Street
Mills Act Historical Property Contract

Aerial Photo



SUBJECT PROPERTY



Record Number: 2021-004327MLS
714 Steiner Street
Mills Act Historical Property Contract

Site Photo



Record Number: 2021-004327MLS
714 Steiner Street
Mills Act Historical Property Contract



HISTORIC PRESERVATION COMMISSION DRAFT RESOLUTION

HEARING DATE: OCTOBER 6, 2021

Record No.: 2021-004327MLS
Project Address: 714 Steiner Street
Zoning: RH-2 - Residential- House, Two-Family
Height & Bulk: 40-X Height and Bulk District
Historic District: Alamo Square Historic District
Block/Lot: 0803/019
Project Sponsor: Leah Culver
Property Owner: Leah Culver Revocable Trust
30 Walter Street
San Francisco, CA 94114
412-608-7984
leah.culver@gmail.com
Staff Contact: Shannon Ferguson – (628) 652-7354
Shannon.Ferguson@sfgov.org

ADOPTING FINDINGS RECOMMENDING TO THE BOARD OF SUPERVISORS APPROVAL OF THE DRAFT MILLS ACT HISTORICAL PROPERTY CONTRACT, REHABILITATION PROGRAM, AND MAINTENANCE PLAN FOR 714 STEINER STREET.

WHEREAS, The Mills Act, California Government Code Sections 50280 et seq. (“the Mills Act”) authorizes local governments to enter into contracts with owners of private historical property who assure the rehabilitation, restoration, preservation and maintenance of a qualified historical property; and

WHEREAS, in accordance with Article 1.9 (commencing with Section 439) of Chapter 3 of Part 2 of Division 1 of the California Revenue and Taxation Code, the City and County of San Francisco may provide certain property tax reductions, such as those provided for in the Mills Act; and

WHEREAS, Ordinance No. 191-96 amended the San Francisco Administrative Code by adding Chapter 71, to implement Mills Act locally; and

WHEREAS, The Planning Department has determined that the actions contemplated in this Resolution are categorically exempt from with the California Environmental Quality Act (California Public Resources Code Sections 21000 et seq.) under section 15331; and

WHEREAS, the existing building located at 714 Steiner Street is located in the Alamo Square Historic District; and

WHEREAS, The Planning Department has reviewed the Mills Act Application, Historic Structure Report, draft Historical Property Contract, Rehabilitation Program, and Maintenance Plan for 714 Steiner, which are located in Case Docket No. 2021-004327MLS. The Planning Department recommends approval of the draft Mills Act historical property contract, rehabilitation program, and maintenance plan; and

WHEREAS, The Historic Preservation Commission (HPC) recognizes the historic building at 714 Steiner Street as a qualified historical property, and agrees with the Planning Department's recommendation that it meets the criteria for granting an exemption from the limitations on eligibility, and believes the Rehabilitation Program and Maintenance Plan are appropriate for the property; and

WHEREAS, at a duly noticed public hearing held on October 6, 2021, the HPC reviewed documents, correspondence and heard oral testimony on the Mills Act Application, Historic Structure Report, Draft Historical Property Contract, Rehabilitation Program, and Maintenance Plan for 714 Steiner Street, which are located in Case Docket No. 2021-004327MLS.

THEREFORE, BE IT RESOLVED That the HPC hereby recommends that the Board of Supervisors approve the Draft Mills Act Historical Property Contract, including the Rehabilitation Program, and Maintenance Plan for the historic building located at 714 Steiner Street, attached herein as Exhibits A and B, and fully incorporated by this reference.

BE IT FURTHER RESOLVED That the HPC hereby directs its Commission Secretary to transmit this Resolution, the Draft Mills Act Historical Property Contract, including the Rehabilitation Program, and Maintenance Plan for 714 Steiner Street, and other pertinent materials in the case file 2021-004327MLS to the Board of Supervisors.

I hereby certify that the foregoing Resolution was ADOPTED by the Historic Preservation Commission on October 6, 2021.

Jonas P. Ionin
Commissions Secretary

AYES:

NOES:

ABSENT:

Draft Resolution
October 6, 2021

RECORD NO. 2021-004327MLS
714 Steiner Street

ADOPTED: October 6, 2021

EXHIBITS A & B

Mills Act Historical Property Contract, including the Rehabilitation Program (Exhibit A), and Maintenance Plan (Exhibit B) for the historic building located at 714 Steiner Street.

Recording Requested by, and
when recorded, send notice to:
Shannon Ferguson
49 South Van Ness Avenue, Suite 1400
San Francisco, CA 94103-2414

CALIFORNIA MILLS ACT HISTORIC PROPERTY AGREEMENT

THIS AGREEMENT is entered into by and between the City and County of San Francisco, a California municipal corporation ("City") and Leah Culver Revocable Trust ("Owner").

RECITALS

Owner is the owner of the property located at 714 Steiner Street, in San Francisco, California (Block 0803, Lot 019). The building located at 714 Steiner is a contributor to the Alamo Square Historic District pursuant to Article 10 of the Planning Code, and is also known as the "Historic Property". The Historic Property is a Qualified Historic Property, as defined under California Government Code Section 50280.1.

Owner desires to execute a rehabilitation and ongoing maintenance project for the Historic Property. Owner's application calls for the rehabilitation and restoration of the Historic Property according to established preservation standards, which it estimates will cost one million two hundred fifty nine thousand nine hundred dollars (\$1,259,900.00). (See Rehabilitation Plan, Exhibit A.) Owner's application calls for the maintenance of the Historic Property according to established preservation standards, which is estimated will cost approximately five thousand four hundred dollars (\$5,400) annually (See Maintenance Plan, Exhibit B).

The State of California has adopted the "Mills Act" (California Government Code Sections 50280-50290, and California Revenue & Taxation Code, Article 1.9 [Section 439 et seq.]) authorizing local governments to enter into agreements with property Owner to reduce their property taxes, or to prevent increases in their property taxes, in return for improvement to and maintenance of historic properties. The City has adopted enabling legislation, San Francisco Administrative Code Chapter 71, authorizing it to participate in the Mills Act program.

Owner desires to enter into a Mills Act Agreement (also referred to as a "Historic Property Agreement") with the City to help mitigate anticipated expenditures to restore and maintain the Historic Property. The City is willing to enter into such Agreement to mitigate these expenditures and to induce Owner to restore and maintain the Historic Property in excellent condition in the future.

NOW, THEREFORE, in consideration of the mutual obligations, covenants, and conditions contained herein, the parties hereto do agree as follows:

1. Application of Mills Act. The benefits, privileges, restrictions and obligations provided for in the Mills Act shall be applied to the Historic Property during the time that this Agreement is in effect commencing from the date of recordation of this Agreement.
2. Rehabilitation of the Historic Property. Owner shall undertake and complete the work set forth in Exhibit A ("Rehabilitation Plan") attached hereto according to certain standards and

requirements. Such standards and requirements shall include, but not be limited to: the Secretary of the Interior's Standards for the Treatment of Historic Properties ("Secretary's Standards"); the rules and regulations of the Office of Historic Preservation of the California Department of Parks and Recreation ("OHP Rules and Regulations"); the State Historical Building Code as determined applicable by the City; all applicable building safety standards; and the requirements of the Historic Preservation Commission, the Planning Commission, and the Board of Supervisors, including but not limited to any Certificates of Appropriateness approved under Planning Code Article 10. The Owner shall proceed diligently in applying for any necessary permits for the work and shall apply for such permits within no more than six (6) months after recordation of this Agreement, shall commence the work within six (6) months of receipt of necessary permits, and shall complete the work within three (3) years from the date of receipt of permits. Upon written request by the Owner, the Zoning Administrator, at his or her discretion, may grant an extension of the time periods set forth in this paragraph. Owner may apply for an extension by a letter to the Zoning Administrator, and the Zoning Administrator may grant the extension by letter without a hearing. Work shall be deemed complete when the Director of Planning determines that the Historic Property has been rehabilitated in accordance with the standards set forth in this Paragraph. Failure to timely complete the work shall result in cancellation of this Agreement as set forth in Paragraphs 12 and 13 herein.

3. Maintenance. Owner shall maintain the Historic Property during the time this Agreement is in effect in accordance with the standards for maintenance set forth in Exhibit B ("Maintenance Plan"), the Secretary's Standards; the OHP Rules and Regulations; the State Historical Building Code as determined applicable by the City; all applicable building safety standards; and the requirements of the Historic Preservation Commission, the Planning Commission, and the Board of Supervisors, including but not limited to any Certificates of Appropriateness approved under Planning Code Article 10.

4. Damage. Should the Historic Property incur damage from any cause whatsoever, which damages fifty percent (50%) or less of the Historic Property, Owner shall replace and repair the damaged area(s) of the Historic Property. For repairs that do not require a permit, Owner shall commence the repair work within thirty (30) days of incurring the damage and shall diligently prosecute the repair to completion within a reasonable period of time, as determined by the City. Where specialized services are required due to the nature of the work and the historic character of the features damaged, "commence the repair work" within the meaning of this paragraph may include contracting for repair services. For repairs that require a permit(s), Owner shall proceed diligently in applying for any necessary permits for the work and shall apply for such permits within no more than sixty (60) days after the damage has been incurred, commence the repair work within one hundred twenty (120) days of receipt of the required permit(s), and shall diligently prosecute the repair to completion within a reasonable period of time, as determined by the City. Upon written request by the Owner, the Zoning Administrator, at his or her discretion, may grant an extension of the time periods set forth in this paragraph. Owner may apply for an extension by a letter to the Zoning Administrator, and the Zoning Administrator may grant the extension by letter without a hearing. All repair work shall comply with the design and standards established for the Historic Property in Exhibits A and B attached hereto and Paragraph 3 herein. In the case of damage to twenty percent (20%) or more of the Historic Property due to a catastrophic event, such as an earthquake, or in the case of damage from any cause whatsoever that destroys more than fifty percent (50%) of the Historic Property, the City and Owner may mutually agree to terminate this Agreement. Upon such termination, Owner shall not be obligated to pay the cancellation fee set forth in Paragraph 13 of this Agreement. Upon such termination, the City shall assess the full value of the Historic Property without regard to any restriction imposed upon the Historic Property by this Agreement and Owner shall pay property taxes to the City based upon the valuation of the Historic Property as of the date of termination.

5. Insurance. Owner shall secure adequate property insurance to meet Owner's repair and replacement obligations under this Agreement and shall submit evidence of such insurance to the City upon request.

6. Inspections and Compliance Monitoring. Prior to entering into this Agreement and every five years thereafter, and upon seventy-two (72) hours advance notice, Owner shall permit any representative of the City, the Office of Historic Preservation of the California Department of Parks and Recreation, or the State Board of Equalization, to inspect of the interior and exterior of the Historic Property, to determine Owner's compliance with this Agreement. Throughout the duration of this Agreement, Owner shall provide all reasonable information and documentation about the Historic Property demonstrating compliance with this Agreement, as requested by any of the above-referenced representatives.

7. Term. This Agreement shall be effective upon the date of its recordation and shall be in effect for a term of ten years from such date ("Term"). As provided in Government Code section 50282, one year shall be added automatically to the Term, on each anniversary date of this Agreement, unless notice of nonrenewal is given as set forth in Paragraph 9 herein.

8. Valuation. Pursuant to Section 439.4 of the California Revenue and Taxation Code, as amended from time to time, this Agreement must have been signed, accepted and recorded on or before the lien date (January 1) for a fiscal year (the following July 1-June 30) for the Historic Property to be valued under the taxation provisions of the Mills Act for that fiscal year.

9. Notice of Nonrenewal. If in any year of this Agreement either the Owner or the City desire not to renew this Agreement, that party shall serve written notice on the other party in advance of the annual renewal date. Unless the Owner serves written notice to the City at least ninety (90) days prior to the date of renewal or the City serves written notice to the Owner sixty (60) days prior to the date of renewal, one year shall be automatically added to the Term of the Agreement. The Board of Supervisors shall make the City's determination that this Agreement shall not be renewed and shall send a notice of nonrenewal to the Owner. Upon receipt by the Owner of a notice of nonrenewal from the City, Owner may make a written protest. At any time prior to the renewal date, City may withdraw its notice of nonrenewal. If either party serves notice of nonrenewal of this Agreement, this Agreement shall remain in effect for the balance of the period remaining since the original execution or the last renewal of the Agreement, as the case may be. Thereafter, the Owner shall pay property taxes to the City without regard to any restriction imposed on the Historic Property by this Agreement, and based upon the Assessor's determination of the fair market value of the Historic Property as of expiration of this Agreement.

10. Payment of Fees. As provided for in Government Code Section 50281.1 and San Francisco Administrative Code Section 71.6, upon filing an application to enter into a Mills Act Agreement with the City, Owner shall pay the City the reasonable costs related to the preparation and approval of the Agreement. In addition, Owner shall pay the City for the actual costs of inspecting the Historic Property, as set forth in Paragraph 6 herein.

11. Default. An event of default under this Agreement may be any one of the following:

- (a) Owner's failure to timely complete the rehabilitation work set forth in Exhibit A, in accordance with the standards set forth in Paragraph 2 herein;
- (b) Owner's failure to maintain the Historic Property as set forth in Exhibit B, in accordance with the requirements of Paragraph 3 herein;
- (c) Owner's failure to repair any damage to the Historic Property in a timely manner, as provided in Paragraph 4 herein;

- (d) Owner's failure to allow any inspections or requests for information, as provided in Paragraph 6 herein;
- (e) Owner's failure to pay any fees requested by the City as provided in Paragraph 10 herein;
- (f) Owner's failure to maintain adequate insurance for the replacement cost of the Historic Property, as required by Paragraph 5 herein; or
- (g) Owner's failure to comply with any other provision of this Agreement.

An event of default shall result in Cancellation of this Agreement as set forth in Paragraphs 12 and 13 herein, and payment of the Cancellation Fee and all property taxes due upon the Assessor's determination of the full value of the Historic Property as set forth in Paragraph 13 herein. In order to determine whether an event of default has occurred, the Board of Supervisors shall conduct a public hearing as set forth in Paragraph 12 herein prior to cancellation of this Agreement.

12. Cancellation. As provided for in Government Code Section 50284, City may initiate proceedings to cancel this Agreement if it makes a reasonable determination that Owner has breached any condition or covenant contained in this Agreement, has defaulted as provided in Paragraph 11 herein, or has allowed the Historic Property to deteriorate such that the safety and integrity of the Historic Property is threatened or it would no longer meet the standards for a Qualified Historic Property. In order to cancel this Agreement, City shall provide notice to the Owner and to the public and conduct a public hearing before the Board of Supervisors as provided for in Government Code Section 50285. The Board of Supervisors shall determine whether this Agreement should be cancelled.

13. Cancellation Fee. If the City cancels this Agreement as set forth in Paragraph 12 above, and as required by Government Code Section 50286, Owner shall pay a Cancellation Fee of twelve and one-half percent (12.5%) of the fair market value of the Historic Property at the time of cancellation. The City Assessor shall determine fair market value of the Historic Property without regard to any restriction imposed on the Historic Property by this Agreement. The Cancellation Fee shall be paid to the City Tax Collector at such time and in such manner as the City shall prescribe. As of the date of cancellation, the Owner shall pay property taxes to the City without regard to any restriction imposed on the Historic Property by this Agreement and based upon the Assessor's determination of the fair market value of the Historic Property as of the date of cancellation.

14. Enforcement of Agreement. In lieu of the above provision to cancel the Agreement, the City may bring an action to specifically enforce or to enjoin any breach of any condition or covenant of this Agreement. Should the City determine that the Owner has breached this Agreement, the City shall give the Owner written notice by registered or certified mail setting forth the grounds for the breach. If the Owner does not correct the breach, or do not undertake and diligently pursue corrective action to the reasonable satisfaction of the City within thirty (30) days from the date of receipt of the notice, then the City may, without further notice, initiate default procedures under this Agreement as set forth in Paragraph 12 and bring any action necessary to enforce the obligations of the Owner set forth in this Agreement. The City does not waive any claim of default by the Owner if it does not enforce or cancel this Agreement.

15. Indemnification. The Owner shall indemnify, defend, and hold harmless the City and all of its boards, commissions, departments, agencies, agents and employees (individually and collectively, the "City") from and against any and all liabilities, losses, costs, claims, judgments, settlements, damages, liens, fines, penalties and expenses incurred in connection with or arising in whole or in part from: (a) any accident, injury to or death of a person, loss of or damage to property occurring in or about the Historic Property; (b) the use or occupancy of the Historic Property by the Owner, their Agents or Invitees; (c) the condition of the Historic Property; (d)

any construction or other work undertaken by Owner on the Historic Property; or (e) any claims by unit or interval Owner for property tax reductions in excess those provided for under this Agreement. This indemnification shall include, without limitation, reasonable fees for attorneys, consultants, and experts and related costs that may be incurred by the City and all indemnified parties specified in this Paragraph and the City's cost of investigating any claim. In addition to Owner's obligation to indemnify City, Owner specifically acknowledges and agrees that they have an immediate and independent obligation to defend City from any claim that actually or potentially falls within this indemnification provision, even if the allegations are or may be groundless, false, or fraudulent, which obligation arises at the time such claim is tendered to Owner by City, and continues at all times thereafter. The Owner's obligations under this Paragraph shall survive termination of this Agreement.

16. Eminent Domain. In the event that a public agency acquires the Historic Property in whole or part by eminent domain or other similar action, this Agreement shall be cancelled and no cancellation fee imposed as provided by Government Code Section 50288.

17. Binding on Successors and Assigns. The covenants, benefits, restrictions, and obligations contained in this Agreement shall run with the land and shall be binding upon and inure to the benefit of all successors in interest and assigns of the Owner. Successors in interest and assigns shall have the same rights and obligations under this Agreement as the original Owner who entered into the Agreement.

18. Legal Fees. In the event that either the City or the Owner fail to perform any of their obligations under this Agreement or in the event a dispute arises concerning the meaning or interpretation of any provision of this Agreement, the prevailing party may recover all costs and expenses incurred in enforcing or establishing its rights hereunder, including reasonable attorneys' fees, in addition to court costs and any other relief ordered by a court of competent jurisdiction. Reasonable attorneys' fees of the City's Office of the City Attorney shall be based on the fees regularly charged by private attorneys with the equivalent number of years of experience who practice in the City of San Francisco in law firms with approximately the same number of attorneys as employed by the Office of the City Attorney.

19. Governing Law. This Agreement shall be construed and enforced in accordance with the laws of the State of California.

20. Recordation. Within 20 days from the date of execution of this Agreement, the parties shall cause this Agreement to be recorded with the Office of the Recorder of the City and County of San Francisco. From and after the time of the recordation, this recorded Agreement shall impart notice to all persons of the parties' rights and obligations under the Agreement, as is afforded by the recording laws of this state.

21. Amendments. This Agreement may be amended in whole or in part only by a written recorded instrument executed by the parties hereto in the same manner as this Agreement.

22. No Implied Waiver. No failure by the City to insist on the strict performance of any obligation of the Owner under this Agreement or to exercise any right, power, or remedy arising out of a breach hereof shall constitute a waiver of such breach or of the City's right to demand strict compliance with any terms of this Agreement.

23. Authority. If the Owner signs as a corporation or a partnership, each of the persons executing this Agreement on behalf of the Owner does hereby covenant and warrant that such entity is a duly authorized and existing entity, that such entity has and is qualified to do business in California, that the Owner has full right and authority to enter into this Agreement, and that each and all of the persons signing on behalf of the Owner are authorized to do so.

24. Severability. If any provision of this Agreement is determined to be invalid or unenforceable, the remainder of this Agreement shall not be affected thereby, and each other provision of this Agreement shall be valid and enforceable to the fullest extent permitted by law.

25. Tropical Hardwood Ban. The City urges companies not to import, purchase, obtain or use for any purpose, any tropical hardwood or tropical hardwood product.

26. Charter Provisions. This Agreement is governed by and subject to the provisions of the Charter of the City.

27. Signatures. This Agreement may be signed and dated in parts

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as follows:

CITY AND COUNTY OF SAN FRANCISCO:

By: _____
Carmen Chu, Assessor-Recorder

DATE: _____

By: _____
Rich Hillis, Director of Planning

DATE: _____

APPROVED AS TO FORM:
DENNIS J. HERRERA
CITY ATTORNEY

By: _____
Andrea Ruiz-Esquide, Deputy City Attorney

DATE: _____

OWNER

By: _____
Leah Culver, Leah Culver Revocable Trust, Owner

DATE: _____

OWNER(S)' SIGNATURE(S) MUST BE NOTARIZED.
ATTACH PUBLIC NOTARY FORMS HERE.

Exhibit A - Rehabilitation/Restoration Plan
714 Steiner Street, San Francisco, CA

Scope: # 1			
Building Feature: Structural / Seismic Improvement – Foundation			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$339,000.00			
Description of Work: Seismic strengthening including whole house engineered shoring system, hard demolition and off-hauling, install 18-inch concrete mat-slab foundation. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> .			

Scope: # 2			
Building Feature: Structural / Seismic Improvement – Replace Brick Chimney			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$62,000.00			
Description of Work: Remove the entire brick chimney at south elevation; off-haul materials; install new wood-framed chimney and metal lined flue and copper cap; score exterior of new chimney stucco to match historic configuration. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> .			

Scope: # 3			
Building Feature: Site Drainage Improvements & Waterproofing			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$83,500.00			
Description of Work: Provide foundation and sub-slab waterproofing and drainage: Improve site drainage at location of driveway and garage to accommodate reconfigured dwelling unit at lower level by installing trench and perimeter sub-grade drains; Tie surface drains and roof leader to house sewer-line; Provide roof drains including at light well; Repair south wall of lower story where significant water damage has occurred. Correct cause of water intrusion. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> .			

**Exhibit A - Rehabilitation/Restoration Plan
714 Steiner Street, San Francisco, CA**

Scope: # 4			
Building Feature: Main Roof Upgrade and New Roofing Material			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$191,400.00			
Description of Work: The roof was last replaced in 2008 (Building Permit #1159979). This was a re-roofing only project and did not include any structural sheathing. The proposed scope will remove the existing composition shingles and any underlying roofing material; demolition and off-hauling; provide and install new roofing waterproofing membrane; provide structural improvements; improve waterproofing; install new flashing; replace all gutters and downspouts or provide new flashing and waterproof membrane to dutch gutters and downspouts to improve drainage from roof; and provide new composition shingle roofing material. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> .			

Scope: # 5			
Building Feature: Roof at Steiner Street Porch			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$17,000.00			
Description of Work: Above the porch, remove the existing sheet metal pan roof, repair underlying wood, provide new waterproofing membrane and install new copper sheet metal pan over roof. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> .			

Scope: # 6			
Building Feature: Steiner Street and South Façades – Wood Decorative Trim and Window Surround Repair			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$112,500.00			
Description of Work: Repair areas of dry rot or damage to decorative wood trim at Steiner Street façade; for missing wood elements or those damaged beyond repair replace in kind (materials and decorative profile). Repair wood window surrounds and sills where damaged. Leave surfaces ready for primer and paint. Caulk elements were necessary. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> and NPS publication <i>Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings</i> .			

**Exhibit A - Rehabilitation/Restoration Plan
714 Steiner Street, San Francisco, CA**

Scope: # 7				
Building Feature: Steiner Street Façade – Decorative Wood Front Door and Entryway Wood Paneling				
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Completed	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023				
Total Cost: \$25,000.00				
Description of Work: Remove hardware and prepare surfaces; remove doors and correct alignment as necessary; replace broken beveled glass at front door; paint and reinstall doors. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> and NPS publication <i>Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings</i> .				

Scope: # 8				
Building Feature: Steiner Street Double-hung wood windows with ogee lugs				
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Completed	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023				
Total Cost: \$104,000.00				
Description of Work: Repair and rehabilitate wood windows; carefully remove window sash and frames, strip old paint layers, patch wood in locations of previous security measures or inappropriate hardware (bolts, etc); remove window castings re-install windows with new sash cord and weights so that all windows are operable; re-glaze as necessary; waterproof openings; prepare surfaces for primer and paint. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> and NPS publications <i>Preservation Brief # 9: The Repair of Historic Wooden Windows</i> and <i>Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings</i> .				

Scope: # 9				
Building Feature: Steiner Street Façade – Front Main Entry Stair				
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Completed	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023				
Total Cost: \$61,000.00				
Description of Work: Rebuild front stair to address significant deficiencies, dry rot and deteriorating structure under terrazzo. Remove landing balustrade for restoration; remove existing stair and off-haul; excavate and pour new concrete structure at stair; waterproof stair; install new terrazzo treads and risers; provide bronze handrails; new decorative stucco cladding at stairs to match existing. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> .				

**Exhibit A - Rehabilitation/Restoration Plan
714 Steiner Street, San Francisco, CA**

Scope: # 10			
Building Feature: Steiner Street Façade – Remove Garage opening and Restore Lower Story Windows and Horizontal Wood Siding			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$30,500.00			
Description of Work: Remove garage opening and rehabilitate lower portion of west façade to historical configuration, including two new double-hung wood windows and horizontal wood siding to match siding at upper stories. Provide waterproofing and vapor barrier at new siding. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> .			

Scope: # 11			
Building Feature: Steiner Street Façade – Rehabilitate side walkway metal gate			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$10,100.00			
Description of Work: Remove non-original and incompatible metal side walkway gate and off-haul; provide new, more compatible metal security gate at this location. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> .			

Scope: # 12			
Building Feature: Restore Pedestrian Door at South Elevation Walkway			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$9,300.00			
Description of Work: Restore the infilled door at the south elevation and repair siding at the south elevation. Provide a new glazed wood door, framing, new wood casings to match existing, and hardware in the location of boarded side door. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> .			

**Exhibit A - Rehabilitation/Restoration Plan
714 Steiner Street, San Francisco, CA**

Scope: # 13			
Building Feature: Exterior Painting all Façades			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Completed
			Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$160,000.00			
Description of Work: Scaffold and net for lead paint containment; wash using gentlest means possible with mild soap, water and sponges (no power washing), prime, prep and paint all facades; Re-paint all previously painted exterior wood surfaces. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> and <i>NPS Publication Preservation Brief #10 Exterior Paint Problems on Historic Woodwork</i> and <i>Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings</i> .			

Scope: # 14			
Building Feature: Remove Driveway and Install Restored Decorative Railing and Gate			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Completed
			Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$54,600.00			
Description of Work: Remove the driveway paving, off-haul materials, and prepare area to construct concrete stem wall and metal bronze decorative railing. Repair concrete bollards as needed. Wall and railing design based on historic photograph. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> .			

Exhibit B - Maintenance Plan
714 Steiner Street, San Francisco, CA

Maintenance Plan - Scope: # 1			
Building Feature: Steiner Street Façade – Yearly Cleaning			
Rehab / Restoration	Maintenance	<input checked="" type="checkbox"/>	Completed
			Proposed <input checked="" type="checkbox"/>
Contract year work completion: once a year			
Total Cost: \$900.00 per year			
<p>Description of Work: The primary, Steiner Street façade, including the front stairs, should be cleaned once a year with mild soap, large sponges and very low-pressure water rinse. There are several excellent service companies that specialize in cleaning elaborate Victorian facades in San Francisco. High pressure washing is not an appropriate treatment. Pressure washing many result in damage to the historic materials and cause water to become trapped behind features. Façade cleaning should be scheduled for late spring after the rainy season. All work will conform with <i>the Secretary of the Interior's Standards</i> and NPS publication <i>Preservation Brief # 47: Maintaining the Exterior of Small and Medium Size Historic Buildings</i>.</p>			

Maintenance Plan - Scope: # 2			
Building Feature: Steiner Street Façade - Maintain Exterior Wood Siding, Shingles, Trim or Decorative Features			
Rehab / Restoration	Maintenance	<input checked="" type="checkbox"/>	Completed
			Proposed <input checked="" type="checkbox"/>
Contract year work completion: once a year			
Total Cost: \$1,000.00 per year			
<p>Description of Work: Any deteriorated or rotted segments of the exterior, including shingles, sidings, or decorative wood trim elements, should be repaired or replaced in kind. Damaged siding should be removed and replaced in kind with the same wood species. Composite materials should be avoided since they inherently have either a highly smooth finish or a very artificial, repetitive grain that will be incompatible with the existing materials. At the time of each spring façade cleaning (Maintenance Plan Scope #1) the exterior wood materials at the Steiner Street façade should be inspected and any repairs made after the cleaning is complete and all surfaces are dry. All work will conform with <i>the Secretary of the Interior's Standards</i> and NPS publications <i>Preservation Brief # 10 Exterior Paint Problems on Historic Woodwork</i> and <i>Preservation Brief # 47: Maintaining the Exterior of Small and Medium Size Historic Buildings</i>.</p>			

Exhibit B - Maintenance Plan
714 Steiner Street, San Francisco, CA

Maintenance Plan - Scope: # 3			
Building Feature: Steiner Street Façade - Maintain Paint Coatings			
Rehab / Restoration	Maintenance	<input checked="" type="checkbox"/>	Completed
			Proposed <input checked="" type="checkbox"/>
Contract year work completion: once a year			
Total Cost: \$2,000.00 per year			
<p>Description of Work: Maintaining paint coatings on wood frame buildings is one of the most important maintenance practices. Paint coatings should be inspected each year upon completion of Maintenance Scopes 1 and 2 detailed above. Preparation for new paint is very important. Loose paint should be removed to allow for proper adhesion of the new finish. For wood surfaces, gentle scraping and sanding with non-metallic tools is appropriate. Chemical removal systems and heat-based systems for paint removal should be avoided. Loose paint can be removed with a soft bristle brush, however more complete paint removal requires testing by a trained professional to determine a safe and effective means for removing paint. Pressure washing is not appropriate and may cause more damage to the historic materials than necessary. After inspection and cleaning, paint coatings should be reapplied where previous coatings are failing. All work will conform with <i>the Secretary of the Interior's Standards</i> and NPS publication <i>Preservation Brief # 47: Maintaining the Exterior of Small and Medium Size Historic Buildings</i>.</p>			

Maintenance Plan - Scope: # 4			
Building Feature: All exterior façades - Inspect, Repair and Maintain Windows and Doors			
Rehab / Restoration	Maintenance	<input checked="" type="checkbox"/>	Completed
			Proposed <input checked="" type="checkbox"/>
Contract year work completion: once a year			
Total Cost: \$500.00 per year			
<p>Description of Work: Once a year, inspect the operability of all windows and doors. This includes the stained glass window at the interior stair. During the rainy season, wood windows and doors can expand and contract with moisture levels. Ensure that no water intrusion is occurring at window and doors and their flashing locations. Upon conclusion of the rainy season, complete repairs as needed to ensure operability and that flashing is properly installed. All work will conform with <i>the Secretary of the Interior's Standards</i> and NPS publications <i>Preservation Brief # 47: Maintaining the Exterior of Small and Medium Size Historic Buildings</i>.</p>			

Exhibit B - Maintenance Plan
714 Steiner Street, San Francisco, CA

Maintenance Plan - Scope: # 5 Building Feature: Roof and Roof Drainage			
Rehab / Restoration	Maintenance	<input checked="" type="checkbox"/>	Proposed <input checked="" type="checkbox"/>
Contract year work completion: once a year			
Total Cost: \$500.00 per year			
Description of Work: Once a year, just before the rainy season, a licensed roofing contractor should inspect the roof, pursuant to the roofing manufacturer's warranty. Roof flashing and sheathing materials should be inspected for any inadvertent water intrusion. Further, gutters, leaders and downspouts should be inspected, cleared of debris and tested for operability prior to rain. All work will conform with <i>the Secretary of the Interior's Standards</i> and NPS publication <i>Preservation Brief # 47: Maintaining the Exterior of Small and Medium Size Historic Buildings</i> .			

Maintenance Plan - Scope: # 6 Building Feature: Site Drainage			
Rehab / Restoration	Maintenance	<input checked="" type="checkbox"/>	Proposed <input checked="" type="checkbox"/>
Contract year work completion: once a year			
Total Cost: \$500.00 per year			
Description of Work: Once a year, just before the rainy season, inspect the areas where all downspouts meet the ground to ensure proper drainage and that there is no blockage. Ensure that drains and the pathways to the drains should remain clear of debris. Determine if there are any areas of the site that are not properly draining and correct issues if found. All work will conform with <i>the Secretary of the Interior's Standards</i> and NPS publication <i>Preservation Brief # 47: Maintaining the Exterior of Small and Medium Size Historic Buildings</i> .			



Office of the Assessor / Recorder - City and County of San Francisco
Mills Act Valuation



714 Steiner Street

OFFICE OF THE ASSESSOR-RECORDER - CITY & COUNTY OF SAN FRANCISCO
MILLS ACT VALUATION

APN:	0803 019	Lien Date:	7/1/2021
Address:	714 Steiner Street	Application Date:	5/28/2021
SF Landmark No.:	N/A	Application Term:	12 Months
Applicant's Name:	LEAH CULVER REVOC TRUST		
Agt./Tax Rep./Atty:	Reuben, Junius & Rose, LLP	Last Sale Date:	1/29/2020
Fee Appraisal Provided:	No	Last Sale Price:	\$3,550,000

FACTORED BASE YEAR (Roll) VALUE		INCOME CAPITALIZATION APPROACH		SALES COMPARISON APPROACH	
Land	\$2,152,066	Land	\$571,070	Land	\$1,500,000
Imps.	\$1,434,711	Imps.	\$380,714	Imps.	\$1,000,000
Personal Prop		Personal Prop	\$0	Personal Prop	\$0
Total	\$3,586,777	Total	\$951,784	Total	\$2,500,000

Property Description

Property Type:	Multi-Family Residential	Year Built:	1890s	Neighborhood:	Alamo Square
Type of Use:	Two Family Dwelling	(Total) Rentable Area:	2752	Land Area:	1,742
Owner-Occupied:	1 Dwelling - Yes 1 Dwelling - No	Stories:	3	Zoning:	RH-2
Unit Types:	Multi-Family Residential	Parking Spaces:	Garage / Tandem 3 *		
Total No. of Units:	2				

* As of 7/1/2021 date of this appraisal. In the proposed renovation, the garage will be converted into a 2nd unit

Special Conditions (Where Applicable)

Subject property has been vacant since purchase on 1/29/2020. The existing building is three stories, two-units, and 2,975 gross square feet. The current valuation is based upon the existing 2,752 square feet of living area with 223 square feet of common area, and assumes the top unit would be owner occupied and lower unit for rental use. The applicant / owner plans to renovate and merge the existing two units into a 3,109 square feet single unit and convert the unfinished basement / garage into a new 845 square feet ground floor rental apartment unit for a total living area of 3,954 square feet. This conversion would result in the relocation of the existing smaller second unit into the converted garage space and the existing smaller unit would then be merged with the first unit to create a large primary residence for the applicant. The total number of units before and after the renovation / conversion will remain the same at two-units. At the time of this valuation, the Assessor's Office does not know if the proposed lower apartment unit will be included in the Mills Act Historical contract.

Existing Bldg.: 2/F Unit 1 - 2 Bedrooms, 1 Bath, 1 Kitchen, 1 Dining, 1 Living room, total 5 rooms 884 SqFt; and 223 SqFt Common Entry area;
 3/F - 4/F Unit 2 - 3 Bedrooms, 1.5 Baths, 1 Kitchen, 1 Dining, 1 Living room, 1 Den, total 7 rooms 1,868 SqFt.
 Proposed Plan: G/F Unit 1 - 2 Bedrooms, 1 Bath w/ Laundry, & 1 Kitchen / Family room combo, total 3 rooms 854 SqFt (garage conversion);
 2/F - 4/F Unit 2 - 5 Bedrooms, 3.5 Baths, 1 Laundry, 1 Kitchen, 1 Dining, 1 Living room, total 9 rooms 3,109 SqFt (existing 2 units' conversion).

Conclusions and Recommendations

	Per Unit	Per SF	Total
Factored Base Year Roll	\$ 1,793,389	\$ 1,303	\$ 3,586,777
Income Approach - Direct Capitalization	\$ 475,892	\$ 346	\$ 951,784
Sales Comparison Approach	\$ 1,250,000	\$ 908	\$ 2,500,000
Recommended Value Estimate	\$ 475,892	\$ 346	\$ 951,784

Appraiser: Kenneth Chan **Principal Appraiser:** Orla Fahy **Hearing Date:**

SUBJECT PHOTOGRAPHS AND LOCATOR MAP

Address: 714 Steiner Street

APN: 0803 019

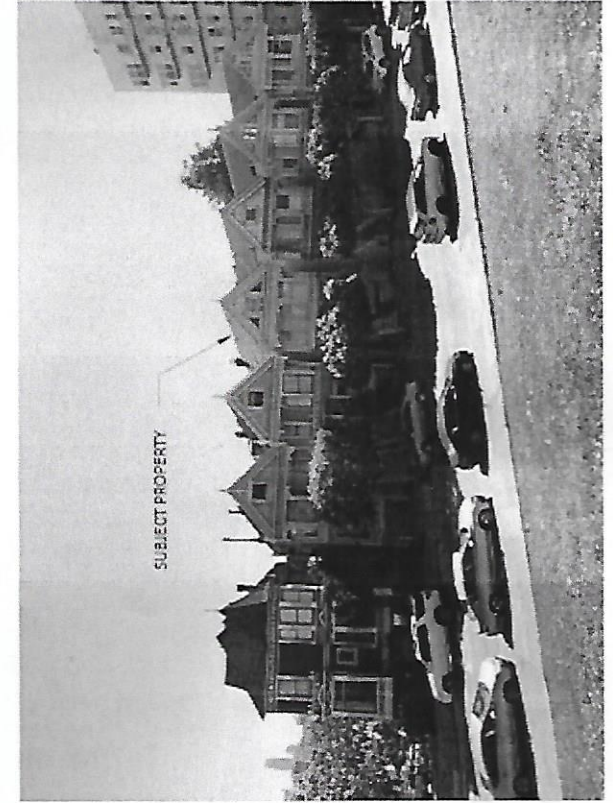


The Painted Ladies

4.4 ★★★★★ 17,129 reviews
Historical landmark

- Directions
- Save
- Nearby
- Send to your phone
- Share

Historical row of Victorian houses well-known for appearances on movies, TV shows & postcards.



REAR FACADES

INCOME APPROACH

Address: 714 Steiner Street
Lien Date: 7/1/2021

	\$ PSF / Mo.	Size (Sq.Ft.)	Rent Per Mo.		Annualized	
Potential Gross Income						
Upper Unit	\$4.50	1,686	\$7,587	x	12	\$91,044
Lower Unit	\$4.00	884	\$3,536	x	12	\$42,432
Total	\$4.33	2,570	\$11,123			\$133,476
Less: Vacancy & Collection Loss					3%	(\$4,004)
Effective Gross Income						\$129,472
Less: Anticipated Operating Expenses (Pre-Property Tax)*					15%	(\$19,421)
Net Operating Income (Pre-Property Tax)						\$110,051

Restricted Capitalization Rate

2021 interest rate per State Board of Equalization	3.0000%	
Risk rate (4% owner occupied / 2% all other property types)	3.3642%	
2020 property tax rate **	1.1984%	
Amortization rate for improvements only		
Remaining economic life (Years)	10	0.1000
Improvements constitute % of total property value	40%	4.0000%
		11.5626%

RESTRICTED VALUE ESTIMATE

\$951,784

Rent Roll as of

Unit	Bdrm/Ba	SF	Move In Date	Monthly Contract Rent	Annual Rent	Annual Rent / Foot
1	3/2	1,686	Vacant			
2	2/1	884	Vacant			
Common area		223				
Total:		2,793		\$0	\$0	\$0.00

Notes:

* Annual operating expenses include water & garbage service, refuse collection, insurance, and regular maintenance items. Assumes payment of PG&E by lessee.

** The 2021 property tax rate will be determined in September 2021.

*** The remaining economic life reflects the poor condition of the property as of the date of this report and will be revised in subsequent years as progress on the new construction permit # 2021-0323-7149 reaches completion.

Permit 202103237149 Rehabilitate structure, include seismic upgrades, interior alterations throughout, relocate dwelling unit to ground fl, construction of 1-story rear addition @ the ground fl w/ deck, (n) bay window @ rear, install dormer & skylights @ roof, & rebuild front entrance stairs, landing & garage opening.
 Filed - 3/23/2021 \$585,000.00

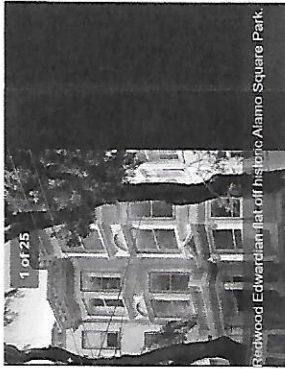
Weighted Risk Rate - Owner-Occupied and Leased Units

	Rent Per Mo.	Rent	%	Pre-Set Risk Rates	=	Weighted Risk Rate
Owner-Occupied Monthly Income	\$4.50	\$7,587	68.2%	4.00%	=	0.027284006
Leased Monthly Income	\$4.00	\$3,536	31.8%	2.00%	=	0.006357997
Total		\$11,123				0.033642003

Rent Comparables

Address: 714 Steiner Street
Lien Date: 7/1/2021

Rental Comp #1



Listing Agent: Daria Saraf
Address: 960 Hayes St
Cross Streets: Steiner Street
SF: 2,000
Layout: 1 Unit: 4/2 (two .5 baths) No Parking
Monthly Rent: \$9,500 (Rent included Water & Garbage)
Renti/Foot/Mo: \$4.25
Annual Rent/Foot: \$51.00
Date Rented: 5/21/2021

Rental Comp #2



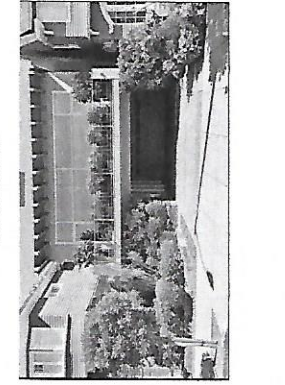
Owner Agent: Daria Saraf
Address: 958 Hayes St
Cross Streets: Steiner Street
SF: 2,000
Layout: 1 Unit: 4/2 (two .5 baths) No Parking
Monthly Rent: \$7,200 (Rent included Water & Garbage)
Renti/Foot/Mo: \$3.60
Annual Rent/Foot: \$43.20
Date Rented: 5/22/2021

Rental Comp #3



Compass
Address: 828 Ashbury St
Cross Streets: Frederick Street
SF: 4,125
Layout: 1 unit: 5/3.5, 2 Gar parking
Monthly Rent: \$9,750
Renti/Foot/Mo: \$2.36
Annual Rent/Foot: \$28.36
Date Rented: 12/14/2020

Rental Comp #4



North Point Real Estate
Address: 58 Jordan Ave
Cross Streets: Lake Street
SF: 2,906
Layout: 1 Unit: 6/5, 2 Gar /4 Driveway parkings
Monthly Rent: \$10,000
Renti/Foot/Mo: \$3.44
Annual Rent/Foot: \$41.29
Date Rented: 11/17/2020

Rental Comp #5



Compass
Address: 3234 Ord St
Cross Streets: 17th Street
SF: 4,085
Layout: 1 unit: 5/6.5, Gar parking
Monthly Rent: \$18,000
Renti/Foot/Mo: \$4.46
Annual Rent/Foot: \$53.53
Date Rented: 9/9/2020

Rental Comp #6



Natras Realty
Address: 1150 Stanyan Street
Cross Streets: Alma Street
SF: 1,752
Layout: 1 unit: 3/2, 1 Gar parking
Monthly Rent: \$7,950
Renti/Foot/Mo: \$4.54
Annual Rent/Foot: \$54.45
Date Rented: 7/21/2021

Pending Rental Comp #7



Listing Agent:
Address: 920 Haight St
Cross Streets: Divisadero St
SF: 3,150
Layout: 1 Unit: 7/3 2 Garage Parkings
Monthly Rent: \$15,000
Renti/Foot/Mo: \$4.76
Annual Rent/Foot: \$57.14
Current Listing

Pending Rental Comp #8



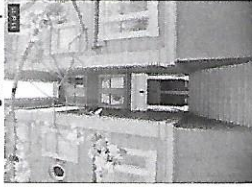
RentalsF
Address: 439 Broderick Street
Cross Streets: Fell St
SF: 1,800
Layout: 1 Unit: 4/3
Monthly Rent: \$7,995
Renti/Foot/Mo: \$4.44
Annual Rent/Foot: \$53.30
Current Listing

Pending Rental Comp #9






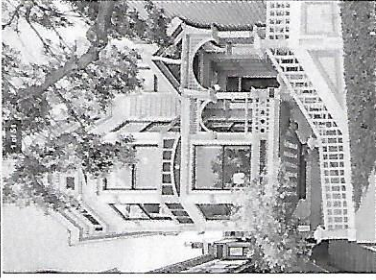
OMAR KHAYAT
Address: 1247 Fulton St Apt 10
Cross Streets: 950
SF: 1,100
Layout: 1 unit: 4/1
Monthly Rent: \$5,795
Renti/Foot/Mo: \$6.10
Annual Rent/Foot: \$73.20
Current Listing

Pending Rental Comp #10



Eddie O'Sullivan
Address: 869 Grove St
Cross Streets: Fillmore St
SF: 1,100
Layout: 1 unit: 3/2
Monthly Rent: \$5,200
Renti/Foot/Mo: \$4.73
Annual Rent/Foot: \$56.73
Current Listing

SALES COMPARISON APPROACH

Subject		Sale 1		Sale 2		Sale 3	
APN	0803 019	0797-018	0824-001H	0823-014			
							
Address	714 Steiner Street	882 Grove Street	1125 Hayes Street	1027 Hayes Street			
		\$2,500,000	\$4,675,000	\$3,650,000			
Date of Valuation/Sale	07/01/21	04/30/21	12/14/20	05/10/2021 Pending			
Neighborhood	Alamo Square	Alamo Square	Alamo Square	Alamo Square			
Proximity to Subject		1 block East	1 block SW	1 block SW			
Lot Size	1,742	1,572	5218 T shape	3,712			
View	Front Park view all levels/ back partial City views	City view on 3rd level, no park view	Park/ City Hill	Park/City			
Year Blt/Year Renovated	1890s	1893	1930/1999	1891			
Condition	Poor	Fair	Good/Remodeled	Average			(\$365,000)
Construction Quality	1900 Victorian style/ average	1900 Victorian style	Spanish Colonial	1900 Victorian style			
Gross Living Area	2,752	3,786	4,630	3,585			(\$291,550)
Total Rooms	10	13	13	18			
Bedrooms	5	8	4	5			
Bathrooms	5	6 (4/4)	3.5	4			\$30,000
Stories	3	4	3	3			
Parking	Garage / Tandem 3	none	Driveway / Tandem 2	1 car			\$100,000
Units	2	2	1	3			
Net Adjustments		\$8,100	(\$1,457,300)				(\$526,550)
Indicated Value	\$2,500,000	\$2,508,100	\$3,217,700	\$3,123,450			
Adjust. \$ Per Sq. Ft.	\$908	\$662	\$695	871			

VALUE RANGE: \$2,508,100 to 3,217,700 **VALUE CONCLUSION:** \$2,500,000

REMARKS: Subject is in fair/poor fixer-up condition pending a full renovation. The current owner purchased the subject property for \$3.55M on Jan. 29, 2020. An Estimated \$1.64M repair/renovation is planned/pending (see "Subject Repair Costs" tab for details). Comp 1 is the best match to the subject based upon similar conditions & location with an estimated \$1M in repairs needed.

Rehab plan Proposed to complete 2023

Scope: # 1: Building Feature: Structural / Seismic Improvement – Foundation	\$339,000
Scope: # 2: Building Feature: Structural / Seismic Improvement – Replace Brick Chimney	\$62,000
Scope: # 3: Building Feature: Site Drainage Improvements & Waterproofing	\$83,500
Scope: # 4: Building Feature: Main Roof Upgrade and New Roofing Material	\$191,400
Scope: # 5: Building Feature: Roof at Steiner Street Porch	\$17,000
Scope: # 6: Building Feature: Steiner Street and South Façades – Wood Decorative Trim and Window Surround Repair	\$112,500
Scope: # 7: Building Feature: Steiner Street Façade – Decorative Wood Front Door and Entryway Wood Paneling	\$25,000
Scope: # 8: Building Feature: Steiner Street Double-hung wood windows with ogee lugs	\$104,000
Scope: # 9: Building Feature: Steiner Street Façade – Front Main Entry Stair	\$61,000
Scope: # 10: Building Feature: Steiner Street Façade – Remove Garage opening and Restore Lower Story Windows and Horizontal Wood Siding	\$30,500
Scope: # 11: Building Feature: Steiner Street Façade – Rehabilitate side walkway metal gate	\$10,100
Scope: # 12: Building Feature: Restore Pedestrian Door at South Elevation Walkway Rehab /	\$9,300
Scope: # 13: Building Feature: Exterior Painting all Façades	\$160,000
Scope: # 14: Building Feature: Remove Driveway and Install Restored Decorative Railing and Gate	\$54,600
Gen Requirements, Fees (P&O), Insurance, Tax	\$1,259,900
Sub-Total	\$377,970
Total	\$1,637,870

Post-Rehabilitation Maintenance Plan

	\$ per Year
Maintenance Plan - Scope: # 1: Building Feature: Steiner Street Façade – Yearly Cleaning	\$900
Maintenance Plan - Scope: # 2: Building Feature: Steiner Street Façade - Maintain Exterior Wood Siding, Shingles, Trim or Decorative Features	\$1,000
Maintenance Plan - Scope: # 3: Building Feature: Steiner Street Façade - Maintain Paint Coatings	\$2,000
Maintenance Plan - Scope: # 4: Building Feature: All exterior façades - Inspect, Repair and Maintain Windows and Doors	\$500
Maintenance Plan - Scope: # 5: Building Feature: Roof and Roof Drainage	\$500
Maintenance Plan - Scope: # 6: Building Feature: Site Drainage	\$500
Total	\$5,400

BUILDING DATA / PROJECT SUMMARY TABLE

BLOCK / LOT NO.	0803 / 019	MAX DEPTH EXCAVATION	3'-0"	(E) CONSTRUCTION TYPE	V-B
LOT AREA	23'-3" X 75' = 1,743.75 SQ.FT	SOIL DISTURBANCE	168 CUBIC YARDS	(N) CONSTRUCTION TYPE	V-B
ZONING DISTRICT	RH-2	EXCAVATION AREA	1567 SQ.FT	(E) NO. OF STORIES	4
HEIGHT & BULK	40-X	EXISTING OCCUPANCY	R-3, U	(N) NO. OF STORIES	4
EXISTING HEIGHT	43'-3" ABOVE CURB		2 FAMILY DWELLING, GARAGE		
PROPOSED HEIGHT	43'-3" ABOVE CURB	PROPOSED OCCUPANCY	R-3, 2 FAMILY DWELLING		

SF PLANNING CODE SECTION 102: GROSS AREA CALCULATIONS

LEVEL	EXISTING RESIDENTIAL USE		PROPOSED RESIDENTIAL USE		EXISTING USABLE OPEN SPACE	PROPOSED USABLE OPEN SPACE (SHARED)	PROPOSED USABLE OPEN SPACE (PRIVATE)
	UNIT #1 (2-BEDROOM)	UNIT #2 (3-BEDROOM)	UNIT #1 (2-BEDROOM)	UNIT #2 (5-BEDROOM)			
1ST FLOOR	0	0	845	113	414 (SHARED)	196	133 (UNIT 1)
2ND FLOOR	884	0	0	1,121	47	---	163 (UNIT 2)
3RD FLOOR	0	1,114	0	1,116	86	---	
4TH FLOOR	0	754	0	759	0	---	
TOTAL GSF	884	1,868	223	3,109	547	196	
OVERALL GSF	2,975		4,024				

# VEHICLE PARKING SPACES	# EXISTING VEHICLE PARKING SPACES	# PROPOSED VEHICLE PARKING SPACES	PROPOSED VEHICLE PARKING AREA, SQ. FT	# EXISTING BICYCLE PARKING SPACES	# PROPOSED BICYCLE PARKING SPACES	'U' OCCUPANCY (SQ. FT.)		'R' OCCUPANCY (SQ. FT.)	
						EXISTING	PROPOSED	EXISTING	PROPOSED
	3	0	399	0	2				

CBC SECTION 502: BUILDING AREA CALCULATIONS

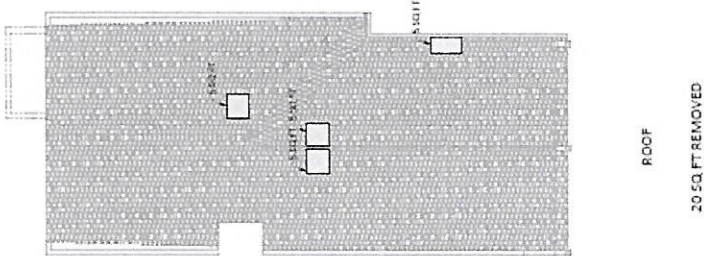
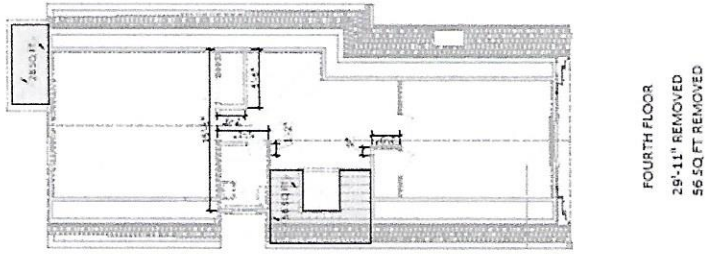
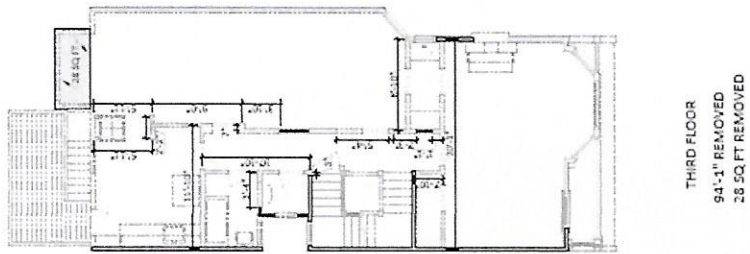
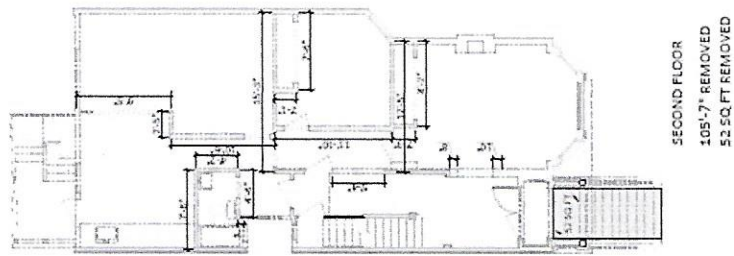
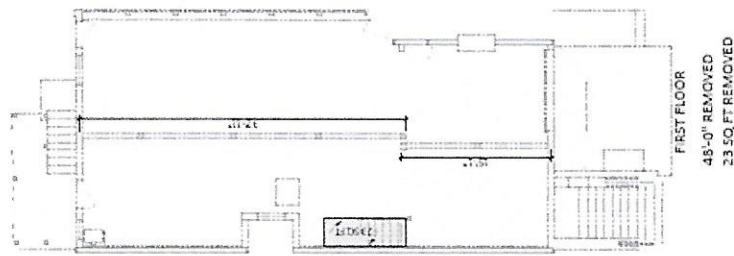
LEVEL	EXISTING	PROPOSED
1ST FLOOR	984	1,170
2ND FLOOR	987	1,004
3RD FLOOR	1,040	1,042
4TH FLOOR	687	707
TOTAL AREA	3,698	3,923

CBC SECTION 502: GROSS FLOOR AREA CALCULATIONS

LEVEL	'U' OCCUPANCY (SQ. FT.)	'R' OCCUPANCY (SQ. FT.)
	EXISTING	PROPOSED
1ST FLOOR	984	313
2ND FLOOR	0	0
3RD FLOOR	0	0
4TH FLOOR	0	0
TOTAL AREA	984	313

SCOPE OF WORK

REHABILITATION OF THE STRUCTURE, INCLUDING SEISMIC UPGRADES, INTERIOR ALTERATIONS THROUGHOUT, RELOCATION OF A DWELLING UNIT TO THE GROUND FLOOR, THE CONSTRUCTION OF A ONE-STORY REAR ADDITION AT THE GROUND FLOOR WITH DECK, NEW BAY WINDOW AT REAR, INSTALLATION OF SKYLIGHTS AT THE ROOF, AND REBUILDING FRONT ENTRANCE STAIRS, LANDING, AND GARAGE OPENING



NOTES: SEE SHEET G2.2 FOR AREA TO BE REMOVED CALCULATION TABLE

DRAWING LEGEND

- MATERIAL TO BE REMOVED
- STRUCTURAL ELEMENTS
- DEMOLISHED INTERIOR WALLS, LIGHT FIXTURES
- DEMOLISHED INTERIOR WALLS, LIGHT FIXTURES
- RETAINMENT OUTSIDE ELEMENTS



CULVER RESIDENCE

774 STEINER STREET, SAN FRANCISCO, CA 94117

DATE	02/15/17
BY	02/15/17
REVISION	02/15/17
SCALE	1/4" = 1'-0"
SHEET	1
TOTAL SHEETS	1

A1.1

NOTES: PROPOSED

- 1 IN CONCRETE WITH REINFORCED
- 2 IN CONCRETE WITH REINFORCED
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NOTES: EXISTING

- 01 EXISTING TO BE
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GENERAL NOTES

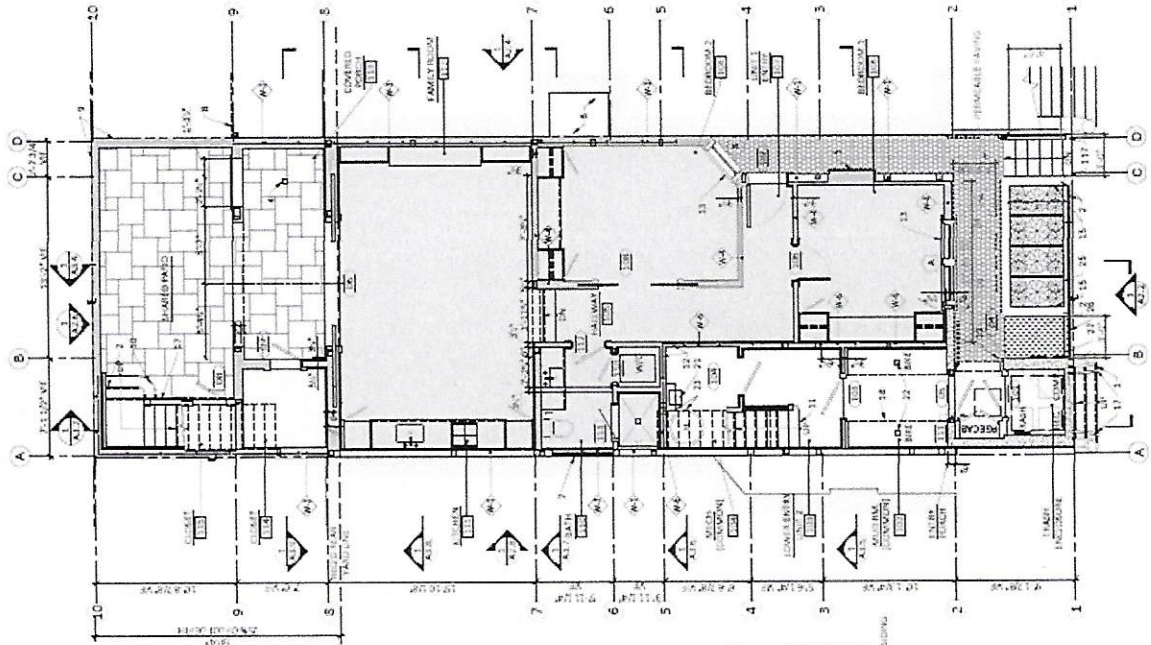
- 1 SHEET GLASS FOR THE
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- 25 SHEET GLASS FOR THE
- 26 SHEET GLASS FOR THE



FIG. 1 EXISTING DOOR IN GARAGE TO BE REMOVED BY DEMOLITION



FIG. 2 EXISTING DOOR



FIRST FLOOR PLAN - PROPOSED

FIRST FLOOR PLAN - EXISTING AND DEMOLITION

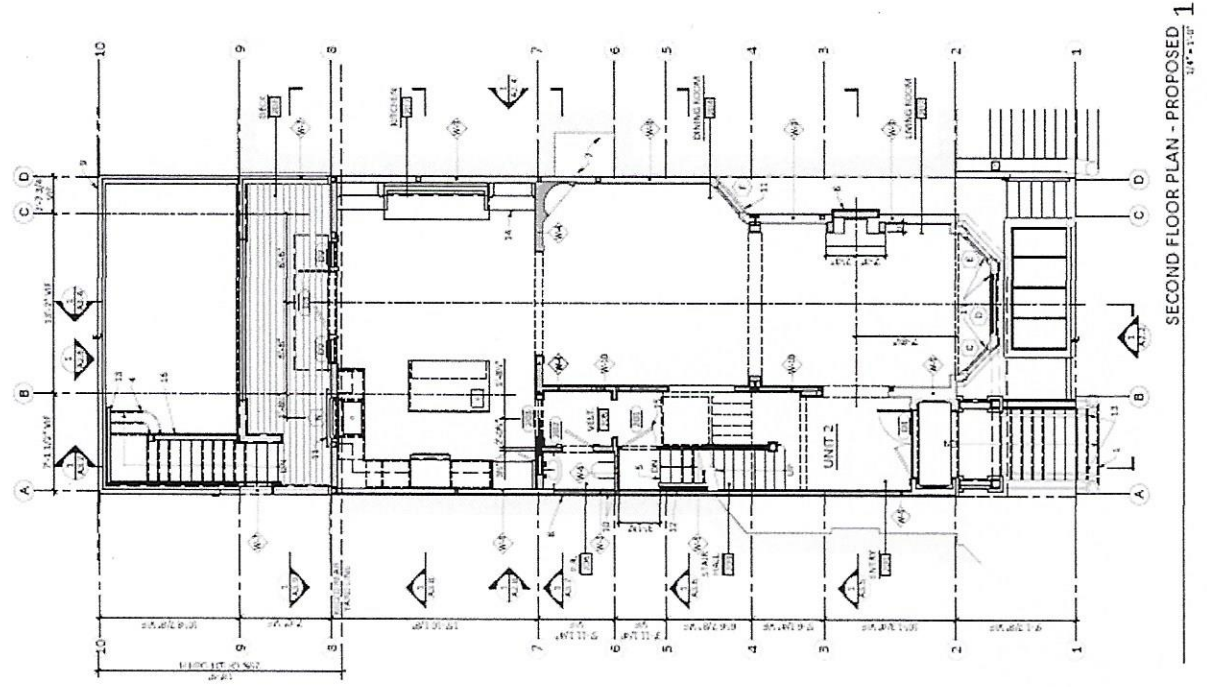


CULVER RESIDENCE

774 STEINER STREET, SAN FRANCISCO, CA 94117

DATE	02/22/12
DESIGNER	CEC 1212
PROJECT NO.	121212
CLIENT	121212
SCALE	1/4" = 1'-0"

- NOTES - PROPOSED**
1. IN CONCRETE WALL WITH REINFORCED TRUSS & RIBS AS PER SEC 1021
 2. IN CONCRETE WALL WITH REINFORCED TRUSS & RIBS AS PER SEC 1021
 3. IN CONCRETE WALL WITH REINFORCED TRUSS & RIBS AS PER SEC 1021
 4. WOOD FRAMED STAIR PER SEC 1021
 5. WOOD FRAMED STAIR PER SEC 1021
 6. WOOD FRAMED STAIR PER SEC 1021
 7. WOOD FRAMED STAIR PER SEC 1021
 8. WOOD FRAMED STAIR PER SEC 1021
 9. WOOD FRAMED STAIR PER SEC 1021
 10. IN THE BASED WALL ASSEMBLY SEE ASSEMBLY DETAIL ON SHEET A1.2.1
 11. IN THE BASED WALL ASSEMBLY SEE ASSEMBLY DETAIL ON SHEET A1.2.1
 12. WINDOW SCHEDULE FOR WINDOW INFORMATION SEE WINDOW SCHEDULE FOR WINDOW INFORMATION
 13. IN THE BASED WALL ASSEMBLY SEE ASSEMBLY DETAIL ON SHEET A1.2.1
 14. IN THE BASED WALL ASSEMBLY SEE ASSEMBLY DETAIL ON SHEET A1.2.1
 15. IN THE BASED WALL ASSEMBLY SEE ASSEMBLY DETAIL ON SHEET A1.2.1
 16. IN THE BASED WALL ASSEMBLY SEE ASSEMBLY DETAIL ON SHEET A1.2.1

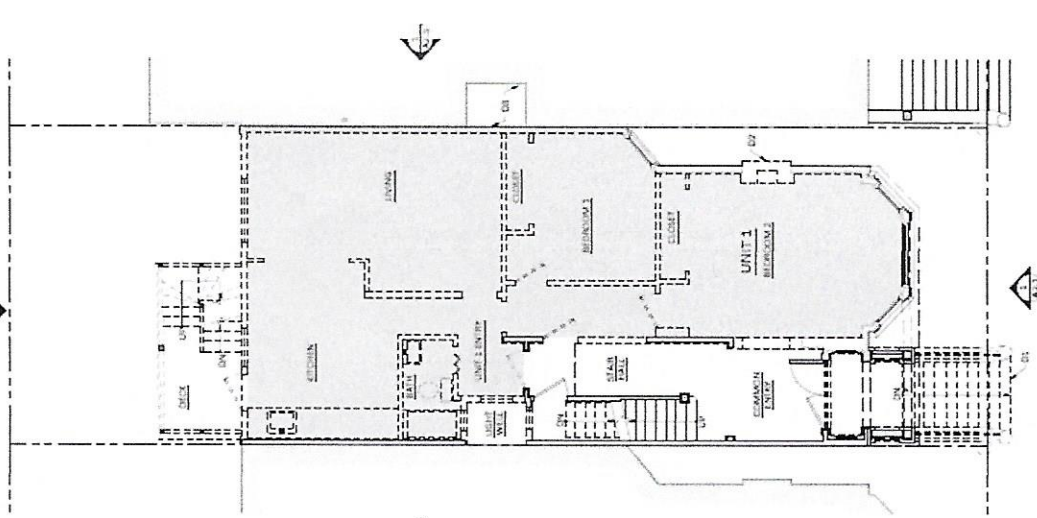


SECOND FLOOR PLAN - PROPOSED 1/4" = 1'-0"

- NOTES - EXISTING**
- E1. ELEMENTS TO BE DEMOLISHED
 - E2. ELEMENTS TO BE DEMOLISHED
 - E3. ELEMENTS TO BE DEMOLISHED

GENERAL NOTES

A. SEE SHEETS FOR THE REQUIRED SCISSORING AND VENTILATION DETAIL



SECOND FLOOR PLAN - EXISTING AND DEMOLITION 1/4" = 1'-0"

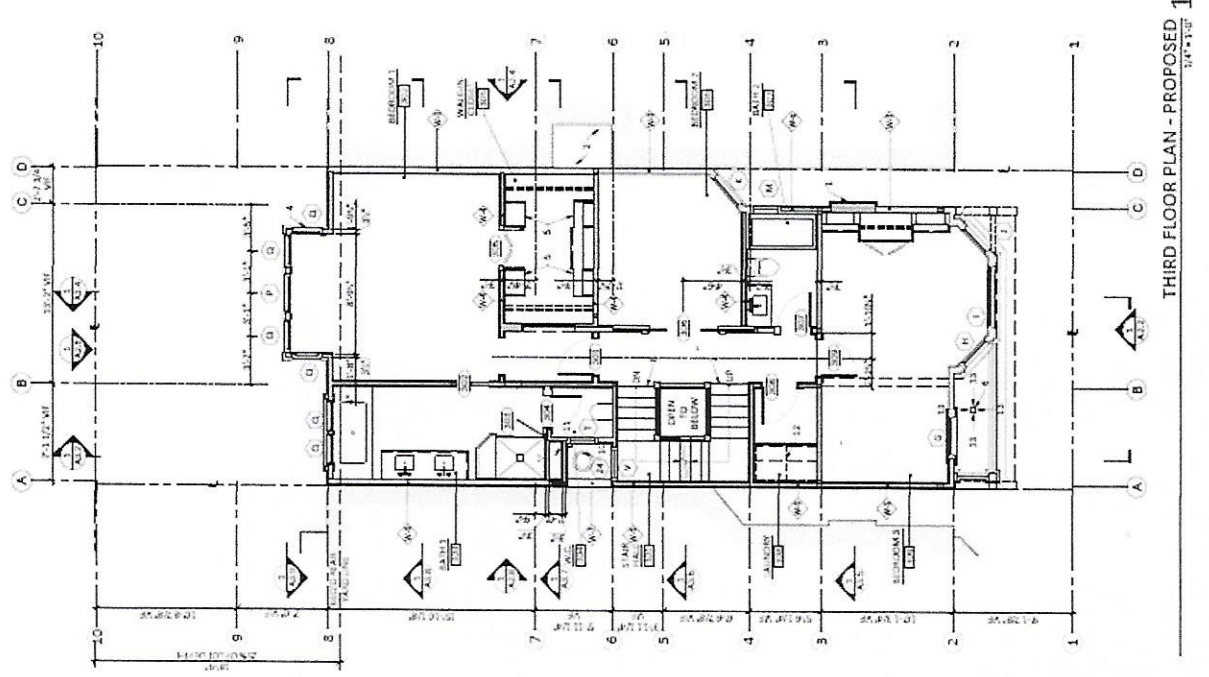


CULVER RESIDENCE
714 STEINER STREET, SAN FRANCISCO, CA 94117

DATE	DESCRIPTION
02/23/17	CONCEPT
03/27/17	SCHEMATIC DEVELOPMENT
05/17/17	PRELIMINARY DESIGN
07/11/17	FINAL DESIGN
08/14/17	PERMITS
09/11/17	CONSTRUCTION
10/10/17	COMPLETION

A1.3
SCALE: 1/4" = 1'-0"

- NOTES - PROPOSED**
- (1) WOOD FRAMED CHIMNEY WITH SCHEDULE 40 PIPING TO MATCH EXISTING.
 - (2) 1/2" WOOD TRIM TO MATCH EXISTING.
 - (3) (1) IN THE PAINT WALL ASSEMBLY, SEE ASSEMBLY DETAILS ON SHEETS A2.1.1.
 - (4) WINDOW SCHEDULE FOR MORE.
 - (5) (1) IN CASE WORK ON CABINETS.
 - (6) (1) IN CASE WORK ON CABINETS.
 - (7) (1) IN CASE WORK ON CABINETS.
 - (8) (1) IN CASE WORK ON CABINETS.
 - (9) (1) IN CASE WORK ON CABINETS.
 - (10) (1) IN CASE WORK ON CABINETS.
 - (11) (1) IN CASE WORK ON CABINETS.
 - (12) (1) IN CASE WORK ON CABINETS.
 - (13) (1) IN CASE WORK ON CABINETS.



THIRD FLOOR PLAN - PROPOSED
1/4" = 1'-0" 1

- NOTES - EXISTING**
- (1) BRICK CHIMNEY TO BE DEMOLISHED.
 - (2) 1/2" WOOD TRIM TO BE DEMOLISHED.
 - (3) 1/2" WOOD TRIM TO BE DEMOLISHED.
 - (4) CHANGING FROM TO BE DEMOLISHED.
 - (5) (1) ADVANCED METAL ROOFING TO BE DEMOLISHED.
 - (6) (1) ADVANCED METAL ROOFING TO BE DEMOLISHED.

- GENERAL NOTES**
- SEE SHEET C-1.1 FOR THE REQUIRED SCHEDULING AND VENTILATION TABLE.
 - REMOVE (1) GAS-WANDED METAL ROOFING AND REPLACE WITH ADVANCED METAL ROOFING.
 - REMOVE (1) TANK AND REPLACE.

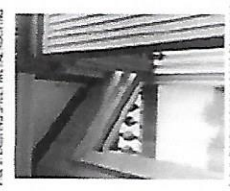
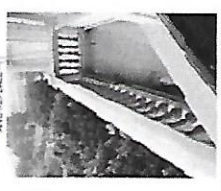
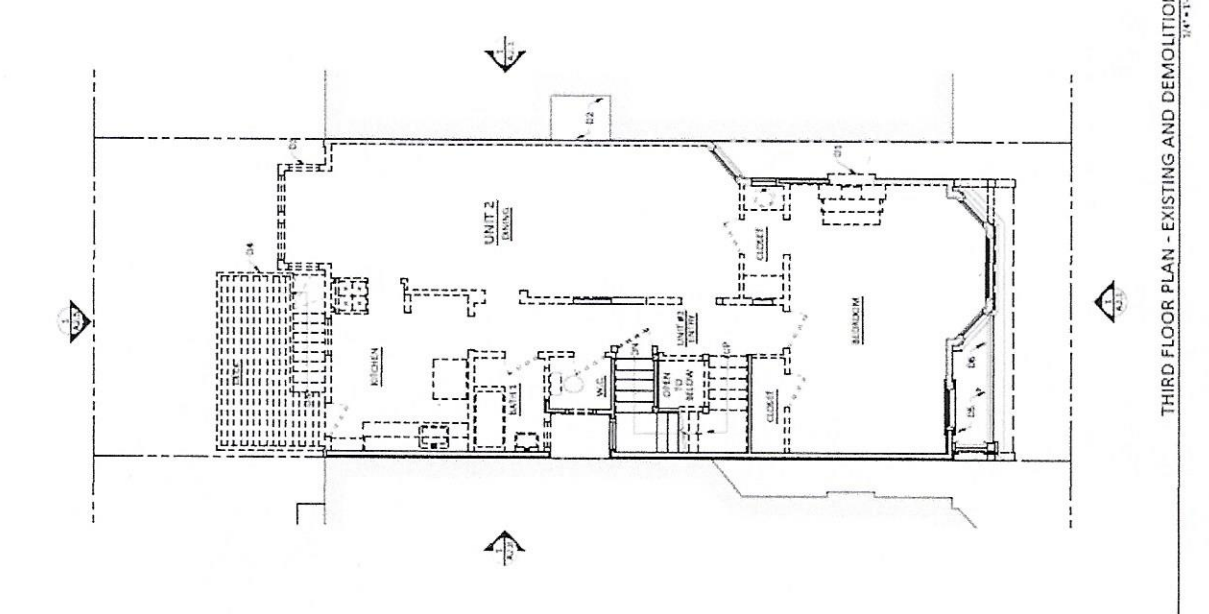


FIG. 1: EXISTING SHEET METAL ROOFING
FIG. 2: EXISTING TANK ROOF DRAIN PIPE



THIRD FLOOR PLAN - EXISTING AND DEMOLITION
1/4" = 1'-0" 2



1000 AVENUE 17
SAN FRANCISCO, CA 94117
TEL: 415 774 1800



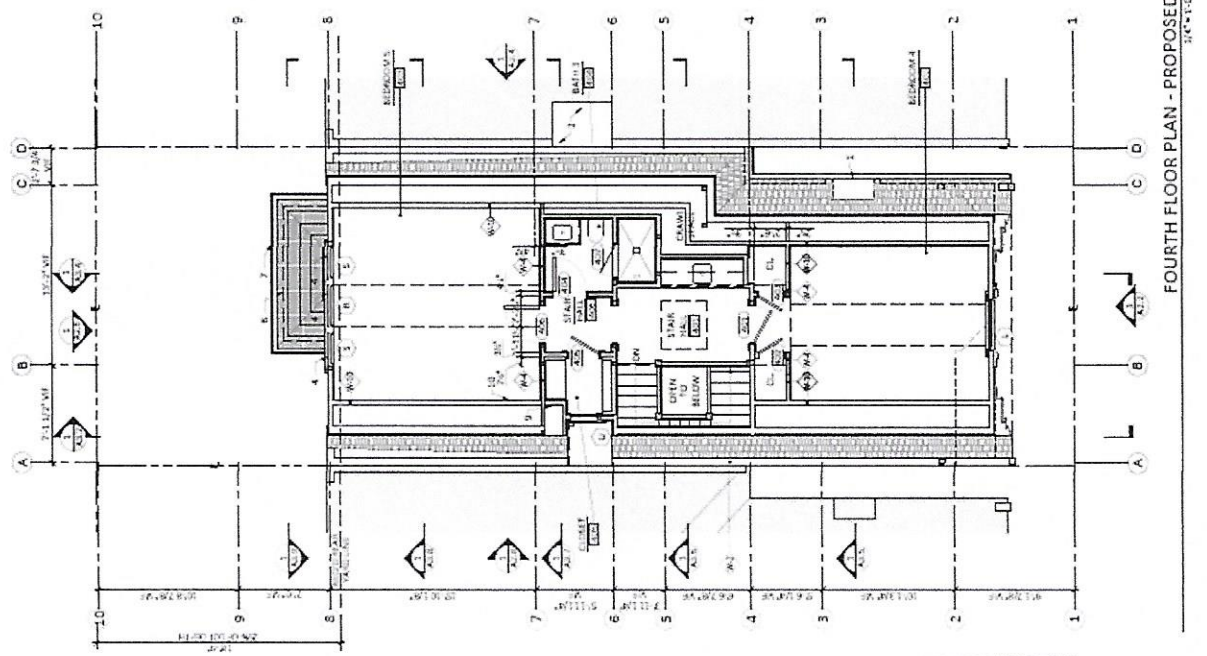
CULVER RESIDENCE

714 STEINER STREET, SAN FRANCISCO, CA 94117

DATE	DESCRIPTION
01/11/17	ISSUED FOR PERMITS
02/13/17	ISSUED FOR PERMITS
03/13/17	ISSUED FOR PERMITS
04/13/17	ISSUED FOR PERMITS
05/13/17	ISSUED FOR PERMITS
06/13/17	ISSUED FOR PERMITS
07/13/17	ISSUED FOR PERMITS
08/13/17	ISSUED FOR PERMITS
09/13/17	ISSUED FOR PERMITS
10/13/17	ISSUED FOR PERMITS
11/13/17	ISSUED FOR PERMITS
12/13/17	ISSUED FOR PERMITS

A1.4
SCALE: 1/4" = 1'-0"

- NOTES - PROPOSED**
1. IN WOOD FRAMED CHIMNEY WITH SECRETED WOOD FINISH TO MATCH EXISTING.
 2. IN THE RATED WALL ASSEMBLY SEE ANS-107 FOR FALL PROTECTION AND ANS-108 FOR FALL PROTECTION AND ANS-109 FOR FALL PROTECTION.
 3. IN THE RATED WALL ASSEMBLY SEE ANS-107 FOR FALL PROTECTION AND ANS-108 FOR FALL PROTECTION AND ANS-109 FOR FALL PROTECTION.
 4. IN PAINTED WOOD WINDOW SEE WINDOW SCHEDULE FOR NOTE.
 5. IN BUILT-IN NETWORK OR CABINETRY SEE SCHEDULE FOR NOTE.
 6. IN THE RATED WALL ASSEMBLY SEE ANS-107 FOR FALL PROTECTION AND ANS-108 FOR FALL PROTECTION AND ANS-109 FOR FALL PROTECTION.
 7. IN THE RATED WALL ASSEMBLY SEE ANS-107 FOR FALL PROTECTION AND ANS-108 FOR FALL PROTECTION AND ANS-109 FOR FALL PROTECTION.
 8. IN THE RATED WALL ASSEMBLY SEE ANS-107 FOR FALL PROTECTION AND ANS-108 FOR FALL PROTECTION AND ANS-109 FOR FALL PROTECTION.
 9. IN THE RATED WALL ASSEMBLY SEE ANS-107 FOR FALL PROTECTION AND ANS-108 FOR FALL PROTECTION AND ANS-109 FOR FALL PROTECTION.
 10. IN THE RATED WALL ASSEMBLY SEE ANS-107 FOR FALL PROTECTION AND ANS-108 FOR FALL PROTECTION AND ANS-109 FOR FALL PROTECTION.



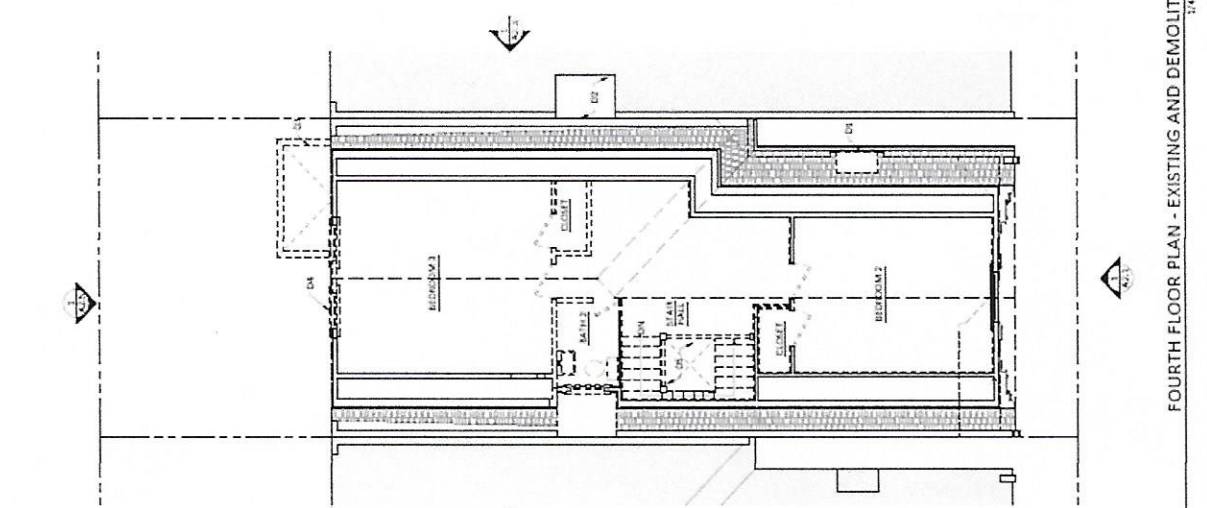
FOURTH FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

- NOTES - EXISTING**
01. EXISTING CHIMNEY TO BE DEMOLISHED.
 02. EXISTING WOOD FINISH TO BE DEMOLISHED.
 03. EXISTING WOOD WINDOW TO BE DEMOLISHED.
 04. EXISTING WOOD WINDOW TO BE DEMOLISHED.
 05. EXISTING WOOD WINDOW TO BE DEMOLISHED.

- GENERAL NOTES**
- A. SEE NOTES FOR THE REQUIRED USE OF THE VENTILATION FAN.



FIG. 1. EXISTING STAIR



FOURTH FLOOR PLAN - EXISTING AND DEMOLITION
SCALE: 1/4" = 1'-0"

2021 MILLS ACT APPLICATIONS
 ASSESSOR PRELIMINARY VALUATIONS

As of July 1, 2021

Upon recording of the Mills Act contract by December 31, 2021 the first year of the Mills Act Value will be for the 2022-2023 fiscal year

APN	Address	Property Type	Owner Occupied	Year Built	Square Feet	2021 Factored Base Year Value	Restricted Income Approach Value	Market Value	Taxable Mills Act Value	Reduction in Assessed Value	Percentage % Reduction From FBV	2020 * Property Tax Rate	Estimated Property Taxes without Mills Act	Estimated Property Taxes with Mills Act	Estimated Property Tax Savings
0803 019	714 Steiner St	2 units	Vacant	1890's	2,752	\$3,586,777	\$951,784	\$2,500,000	\$951,784	(\$2,634,993)	-73.46%	1.1984%	\$42,984	\$11,406	(\$31,578)

- Remarks:
- (a) 2021 property tax rate will not be established until late September 2021
 - (b) Historical property contract must be recorded by December 31, 2021
 - (c) Mills Act valuation becomes effective as of January 1, 2022 for the Fiscal year July 1, 2022 to June 30, 2023



CEQA CATEGORICAL EXEMPTION DETERMINATION

Property Information/Project Description

Project Address	Block/Lot(s)
714 Steiner St	0803/019
Case No.	Permit No.
2021-004327MLS	
<input checked="" type="checkbox"/> Addition Alteration <input type="checkbox"/> Demolition (requires HRE for Category B Building) <input type="checkbox"/> New Construction	
Project Description	
<ul style="list-style-type: none"> • Mills Act Historical Property Contract 	

STEP 1: Exemption Class

<input type="checkbox"/> Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/> Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/> Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: <ol style="list-style-type: none"> The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. The project site has no value as habitat for endangered rare or threatened species. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. The site can be adequately served by all required utilities and public services. <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input checked="" type="checkbox"/> Class 31 – Historical Resource Restoration/Rehabilitation. Projects limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation, or reconstruction of historical resources in a manner consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties.

STEP 2: CEQA Impacts

To Be Completed By Project Planner

If any box is checked below, an <i>Environmental Evaluation Application</i> is required.	
<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)</i></p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance – or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must enroll in or seek a waiver from the Department of Public Health’s (DPH’s) Maher program. Exceptions: do not check box if the applicant presents documentation of enrollment in or waiver from the DPH Maher program or other documentation from Environmental Planning staff that hazardous material effects would be less than significant <i>(refer to EP_ArcMap > Maher layer).</i></p>
<input type="checkbox"/>	<p>Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 square feet or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</i></p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)</i></p>
<input type="checkbox"/>	<p>Slope = or > 25%: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 5,000 cubic yards or more of soil, (3) new construction? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)</i> If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 5,000 cubic yards or more of soil, (3) new construction? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones)</i> If box is checked, a geotechnical report is required.</p>
<input type="checkbox"/>	<p>Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 5,000 cubic yards or more of soil, (3) new construction? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones)</i> If box is checked, a geotechnical report will likely be required.</p>
<p>Comments and Planner Signature (optional):</p> 	

STEP 3: Property Status - Historic Resource

To Be Completed By Project Planner

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: Proposed Work Checklist

To Be Completed By Project Planner

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input checked="" type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department’s <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA Impacts - Advanced Historical Review

To Be Completed By Project Planner

Check all that apply to the project.	
<input checked="" type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not “in-kind” but are consistent with existing historic character.
<input checked="" type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input checked="" type="checkbox"/>	6. Restoration based upon documented evidence of a building’s historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior’s Standards for Rehabilitation</i> .
<input checked="" type="checkbox"/>	8. Other work consistent with the Secretary of the Interior Standards for the Treatment of Historic Properties (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments):
(Requires approval by Senior Preservation Planner/Preservation Coordinator)	
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation
<input type="checkbox"/> Reclassify to Category A a. Per HRER dated b. Other (specify):	<input type="checkbox"/> Reclassify to Category C (attach HRER)
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: <i>Shannon Ferguson</i>	

STEP 6: Categorical Exemption Determination

To Be Completed By Project Planner

<input checked="" type="checkbox"/> No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
Project Approval Action: HPC Motion	
If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	Signature: <i>Shannon Ferguson</i>
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.	
In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	



PRE-APPROVAL INSPECTION REPORT

Report Date: May 28, 2021

Inspection Date: May 13, 2021
Filing Date: April 30, 2021

Case No.: 2021-004327MLS
Project Address: 714 Steiner Street
Block/Lot: 0803/1019
Eligibility: Contributor to Alamo Square Historic District
Zoning: RH-2 – Residential-House, Two-Family
Height & Bulk: 40-X

Supervisor District: District 5 (Dean Preston)

Project Sponsor: Leah Culver Revocable Trust
Address: 30 Walter Street
San Francisco, CA 94114
412-608--7984
leah.culver@gmail.com

Staff Contact: Michelle Taylor – (628) 652-7352
michelle.taylor@sfgov.org

Reviewed By: Elizabeth Gordon-Jonckheer – (628)-652-7365
elizabeth.gordon-jonckheer@sfgov.org

Pre-Inspection

- Application fee paid
- Record of calls or e-mails to applicant
 - Throughout March and Early April: Regular email correspondence between Planning Department and Project Team regarding question about the Mills Act application process and to coordinate a

project review meeting time.

- April 5, 2021: Draft application and draft HSR provided by project team.
- April 6, 2021: Project review meeting with project sponsor team.
- May 11, 2021: Email correspondence with property owner to schedule a site visit.

Inspection Overview

Date and time of inspection: Tuesday, May 13, 2021; 1:00pm

Parties present: Michelle Taylor
Leah Culver

Inspect property. If multi-family or commercial building, inspection included a:

- Thorough sample of units/spaces
- Representative
- Limited

Review any recently completed and in progress work to confirm compliance with Contract.

Review areas of proposed work to ensure compliance with Contract.

Review proposed maintenance work to ensure compliance with Contract.

Identify and photograph any existing, non-compliant features to be returned to original condition during contract period. n/a

Yes No Does the application and documentation accurately reflect the property's existing condition? If no, items/issues noted:

Yes No Does the proposed scope of work appear to meet the Secretary of the Interior's Standards? If no, items/issues noted: See below

Yes No Does the property meet the exemption criteria, including architectural style, work of a master architect, important persons or danger of deterioration or demolition without rehabilitation? If no, items/issues noted:

Yes No Does the property meet the priority considerations including necessity, investment, distinctiveness, recently designated city landmark or legacy business? If no, items/issues noted:
Staff has performed an initial review of the application and determined that the subject property appears to meet three of the five Priority Considerations: Distinctiveness, Necessity

and Investment. The subject property represents a distinctive and well-preserved example of the Queen Anne style architecture and the property is in danger of deterioration without rehabilitation. Additionally, the property owner will be investing additional money towards the rehabilitation other than for routine maintenance. The subject property does not meet the recently designated landmark and Legacy Business criteria.

Notes

714 Steiner Street is a contributing building to the Article 10 Alamo Square Historic District. It is located on the east side of Steiner Street between Hayes and Grove Streets, Assessor's Block 0803 Lot 019. The subject property is located within a RH-2 (Residential-House, Two-Family District) zoning district and a 40-X Height and Bulk district. 714 Steiner Street is one of the Queen Anne buildings on "Postcard Row" directly across from Alamo Square. The building is a three story over garage, wood-frame, two-unit residential building constructed in 1895 and features a gable roof and bay window.

The subject property is currently valued by the Assessor's Office at more than \$3,000,000. Therefore, an exemption from the tax assessment value is required.

The rehabilitation plan proposes to perform seismic work, replace the roof, repair and paint the siding, remove the garage, restore historic location of two street-facing windows, restore historic low wall and railing, replace steps, and restore/repair windows and doors. The estimated cost of the proposed rehabilitation work is \$1,259,900.00

The maintenance plan proposes to inspect and make any necessary repairs to the foundation, roof, siding, windows and doors, and stairs on an annual basis. The estimated cost of maintenance work is \$5,400 annually.

The application is complete and will be forwarded to the Assessor-Recorder on June 1, 2021.

Photographs



Front Elevation



Bay Window detail



Front door detail

714 Steiner Street, San Francisco, California

Block 0803 Lot 019

Mills Act Application

May 28, 2021



714 Steiner Street
Mills Act Application
May 28, 2021

Check List

MILLS ACT HISTORICAL PROPERTY CONTRACT APPLICATION CHECKLIST:

Applicants should complete this checklist and submit along with the application to ensure that all necessary materials have been provided. **Any application found to be incomplete may nullify the timelines in this application.**

Applications must be submitted as a hard copy and a digital copy to the Planning Department Mills Act Coordinator by **May 1st** in order to comply with the established timelines.

1. Mills Act Application

YES NO Has each property owner signed?

YES NO Has each signature been notarized?

2. High Property Value Exemption Form & Historic Structure Report (if applicable)

Required for Residential properties with an assessed value over \$3,000,000 and Commercial/Industrial properties with an assessed value over \$5,000,000.

YES NO Have you included a separate sheet of paper adequately justifying how the property meets the following exemption criteria and why it should be exempt from the property tax valuations?

YES NO Have you included a copy of the Historic Structure Report completed by a qualified consultant?

3. Priority Consideration Criteria Checklist

YES NO Have you included a separate sheet of paper adequately justifying how the property meets three or more priority consideration criteria?

4. Draft Mills Act Historical Property Contract

YES NO Have you reviewed the Planning Department's standard "Historical Property Contract"?

5. Notary Acknowledgement Form

YES NO Is the Acknowledgement Form complete?

YES NO Do the signatures match the names and capacities of signers?

This was submitted with original application on April 26, 2021 - per Michelle Taylor at Planning Department form does not need to be submitted for revised application dated May 26, 2021

6. Draft Rehabilitation/Restoration and Draft Maintenance Plans

YES NO Have you identified and completed the Rehabilitation/Restoration, and Maintenance Plans organized by contract year, including all supporting documentation, such as photographs and contractor's estimates related to the scopes of work?

7. Photographic Documentation

YES NO Have you provided both interior and exterior images (either digitally or on separate sheets of paper)? Are the images properly labeled?

8. Site Plan

- YES NO Does your site plan show all buildings on the property including lot boundary lines, street name(s), north arrow and dimensions?

9. Tax Bill

- YES NO Did you include a copy of your most recent tax bill?

10. Rental Income Information

- YES NO Did you include information regarding any rental income on the property, including anticipated annual expenses, such as utilities, garage, insurance, building maintenance, etc.?

11. Application Fee Payment

- YES NO Did you include a check payable to the San Francisco Planning Department? The current fee schedule for applications can be found on the Planning Department website.

12. Eligibility

- YES NO Is your property a qualified historic property?
- YES NO If no, did you submit a complete city landmark designation application before December 31 of the previous year.

13. Project Review Meeting

- YES NO Did you attend a Project Review Meeting with Preservation Staff?

If yes, please provide date of Project Review Meeting. Date: _____

714 Steiner Street
Mills Act Application
May 28, 2021

Application Form



MILLS ACT HISTORICAL PROPERTY CONTRACT

SUPPLEMENTAL APPLICATION

Note: Applications must be submitted in both hard copy and digital copy form to the Planning Department at 49 South Van Ness Avenue., Suite 1400 by May 1 in order to comply with the timelines established in the Application Guide. Please submit only the Application and required documents.

Property Information

Project Address: _____

Block/Lot(s): _____

Is the entire property owner-occupied?

Yes No

If **NO**, please provide an approximate square footage for owner-occupied areas vs. rental income (non-owner-occupied areas). Attach a separate sheet of paper if necessary.

Rental Income Information

Include information regarding any rental income on the property, including anticipated annual expenses, such as utilities, garage, insurance, building maintenance, etc.? Attach a separate sheet of paper if necessary.

Property Owner's Information

(If more than three owners attach additional sheets as necessary. Property owner names must be listed exactly as listed on the deed)

Name (Owner 1): _____

Company/Organization: _____

Address: _____

Email Address: _____

Telephone: _____

Name (Owner 2): _____

Company/Organization: _____

Address: _____

Email Address: _____

Telephone: _____

Name (Owner 3): _____

Company/Organization: _____

Address: _____

Email Address: _____

Telephone: _____

Do you own other property in the City and County of San Francisco?

Yes No

If **YES**, please list the addresses and Block/Lot(s) for all other property owned within the City of San Francisco.

Applicant Information Same as above

Name:

Company/Organization:

Address:

Email Address:

Telephone:

Please Select Billing Contact Owner Applicant

Name:

Email Address:

Telephone:

Please Select Primary Project Contact: Owner Applicant

Qualified Historic Property

- Individually Designated Pursuant to Article 10 of the Planning Code.
Landmark No.:____ Landmark Name: _____
- Contributing Building in a Landmark District Designated Pursuant to Article 10 of the Planning Code.
Landmark District Name: _____
- Significant (Category I or II) Pursuant to Article 11 of the Planning Code.
- Contributory (Category III) Pursuant to Article 11 of the Planning Code
- Contributory (Category IV) to a Conservation District Pursuant to Article 11 of the Planning Code.
- Individual Landmark under the California Register of Historical Resources
- Contributory Building in California Register of Historical Resources Historic Districts.
- Individual Landmark listed in the National Register of Historic Places.
- Contributory Building listed in the National Register of Historic Places as a Historic District.
- Submitted a complete application for listing or designation on or before December 31 of the year before the application is made.

Are there any outstanding violations on the property from the San Francisco Planning Department or the Department of Building Inspection? If **YES**, all outstanding violations must be abated and closed for eligibility for the Mills Act.

Yes No

Are taxes on all property owned within the City and County of San Francisco paid to date? If **NO**, all property taxes must be paid for eligibility for the Mills Act.

Yes No

NOTE: All property owners are required to include a copy of their most recent property tax bill.

Tax Assessment Value

Most Recent Assessed Value: \$

Choose one of the following options:

The property is a Residential Building valued at less than \$3,000,000

Yes No

The property is a Commercial/Industrial Building valued at less than \$5,000,000

Yes No

Exemption from Tax Assessment Value

If the property value exceeds the Tax Assessment Value, please explain below how the property meets the following two criteria and why it should be exempt from the Tax Assessment Value.

1. The site, building, or object, or structure is a particularly significant resource and represents an exceptional example of an architectural style, the work of a master, or is associated with the lives of significant persons or events important to local or natural history;

2. Granting the exemption will assist in the preservation of a site, building, or object, or structure that would otherwise be in danger of demolition, substantial alteration, or disrepair.

NOTE: A Historic Structures Report, completed by a qualified historic preservation consultant, must be submitted in order to apply for an exemption from the tax assessment value.

Property owner will ensure that a portion of the Mills Act tax savings will be used to finance the preservation, rehabilitation, and maintenance of the property.

Yes No

Priority Consideration Criteria

Please check the appropriate criteria as they apply to your property and explain on a separate piece of paper how the property meets the stated Priority Consideration Criteria. Only properties qualifying in three of the five categories are given priority consideration.

- Necessity:** The project will require a financial incentive to help ensure the preservation of the property. This criterion will establish that the property is in danger of deterioration and in need of substantial rehabilitation and restoration that has significant associated costs. Properties with open complaints, enforcement cases or violations will not meet this criterion.

- Investment:** The project will result in additional private investment in the property other than for routine maintenance. This may include seismic retrofitting and substantial rehabilitation and restoration work. This criterion will establish that the owner is committed to investing in the restoration, rehabilitation and maintenance the property.

- Distinctiveness:** The project preserves a distinctive example of a property that is especially deserving of a contract due to its exceptional nature.

- Recently Designated City Landmarks:** properties that have been recently designated landmarks will be given priority consideration.

- Legacy Business:** The project will preserve a property at which a business included in the Legacy Business Registry is located. This criterion will establish that the owner is committed to preserving the property, including physical features that define the existing Legacy Business.

Photographic Documentation

Provide both interior and exterior images (either on separate sheets of paper or digitally) and label the images properly.

Site Plan

On a separate sheet of paper, show all buildings on the property including lot boundary lines, street name(s), north arrow and dimensions on a site plan.

Rehabilitation/Restoration & Maintenance Plans

A 10 Year Rehabilitation/Restoration Plan, including estimates prepared by qualified contractors, has been submitted detailing work to be performed on the subject property

Yes No

A 10 Year Maintenance Plan has been submitted detailing work to be performed on the subject property

Yes No

Proposed work will meet the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, the California Historic Building Code and all applicable Codes and Guidelines, including the Planning Code and Building Code.

Yes No

Rehabilitation/Restoration Plan (Exhibit A)

Use this form to outline your Rehabilitation/Restoration Plan. Copy this page as necessary to include all rehabilitation and restoration scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

Scope: #	Building Feature:		
<input type="checkbox"/> Maintenance	<input type="checkbox"/> Rehab/Restoration	<input type="checkbox"/> Completed	<input type="checkbox"/> Proposed
Contract year work completion:			
Total Cost: \$			
Description of work:			

Maintenance Plan (Exhibit B)

Use this form to outline your Maintenance Plan. Copy this page as necessary to include all maintenance scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

Scope: #	Building Feature:
<input type="checkbox"/> Maintenance	<input type="checkbox"/> Rehab/Restoration
<input type="checkbox"/> Completed	<input type="checkbox"/> Proposed
Contract year work completion: Annually	
Total Cost: \$	
Description of work:	

Signature and Notary Acknowledgement Form

By signing below, I/we acknowledge that I/we am/are the owner(s) of the structure referenced above and by applying for exemption from the limitations certify, under the penalty of perjury, that the information attached and provided is accurate. Attach notary acknowledgement.

Name (Print)

Date

Leah Culver

Signature

Name (Print)

Date

Signature

Name (Print)

Date

Signature

Public Information Release

Please read the following statements and check each to indicate that you agree with the statement. Then sign below in the space provided.

I understand that submitted documents will become public records under the California Public Records Act, and that these documents will be made available upon request to members of the public for inspection and copying.

I acknowledge that all photographs and images submitted as part of the application may be used by the City without compensation.

Name (Print)

Date

Leah Culver

Signature

Public Information Release

Please read the following statements and check each to indicate that you agree with the statement. Then sign below in the space provided.

- I understand that submitted documents will become public records under the California Public Records Act, and that these documents will be made available upon request to members of the public for inspection and copying.

- I acknowledge that all photographs and images submitted as part of the application may be used by the City without compensation.

Name (Print)

Date



Signature

714 Steiner Street
Mills Act Application
May 28, 2021

Attachment A: Rental Income Information

714 Steiner Street, San Francisco, California – Block 0803 Lot 019
Attachment A
Rental Income Information

Rental Income:

\$0.00

Anticipated Annual Expenses:

PGE: \$650 / Month - \$7,800.00 / Year

Water: \$350 / Month - \$4,200.00 / Year

Garbage: \$100 / Month – \$1,200.00 / year

Insurance: \$500 / Month - \$6,000.00 / Year

Building Maintenance, Including Deferred Maintenance Reserve, Avg.: \$1,000.00 / Month -
\$12,000.00 year

Total - \$31,200.00 per year

714 Steiner Street

Mills Act Application

May 28, 2021

Attachment B: Statement of Exemption

714 Steiner Street, San Francisco, California – Block 0803 Lot 019
Attachment B
Mills Act Statement of Exemption

714 Steiner is a contributing building within the boundaries of the Alamo Square Landmark Historic District Designated Pursuant to Appendix E of Article 10 of the San Francisco Planning Code (Ord. 324-84, App. 7/6/84).

The assessed value of 714 Steiner Street is over \$3,000,000.00; therefore, a Mills Act contract for this property must meet the two exemption criteria below.

- 1) The qualified historic property is an exceptional example of architectural style or represents a work of a master architect or is associated with the lives of persons important to local or national history; or
- 2) Granting the exemption will assist in the preservation and rehabilitation of a historic structure (including unusual and/or excessive maintenance requirements) that would otherwise be in danger of demolition, deterioration, or abandonment.

Exemption 1: Exceptional Example

The house at 714 Steiner is an exceptional example of a Queen Anne, Victorian-era house in San Francisco. The house is an integral component of a small grouping of homes that face Alamo Square and are often photographed as iconic San Francisco residences. Designed and built by master builder Matthew Kavanagh, the house reflects his common business practice of assembling several lots and building high quality dwellings on speculation, and then selling the houses for a profit. In 1976, 714 Steiner was listed as a Category 4 building in the City of San Francisco Department of City Planning Architectural Survey, indicating a high level of individual architectural significance (including design features, the urban design context, and overall environmental significance).

Exemption 2: Danger of Further Deterioration

The property had been detrimentally neglected for a long period of time prior to purchase in 2019. The required investment to correct structural deficiencies, repair water infiltration and damage, and rectify previous poorly executed interventions is quite extensive. The state of deterioration and the extent of repair required is detailed in the Existing Conditions section of the Historic Structure Report (HSR) included in the Mills Act Application. The following are the significant qualifying actions that are required and detailed in the Rehabilitation Plan:

1. structural, seismic improvements;
2. replace brick chimney for seismic reasons;
3. site drainage and waterproofing;
4. main roof seismic upgrade and new roofing material;
5. roof at Steiner Street porch;
6. restoration and repair of decorative wood details ;
7. restoration and repair of front door and wood paneling;
8. repair wood windows with ogee lugs at Steiner and South facades;
9. rebuild front stairs and balustrade;
10. remove garage and restore lower story of front façade to historic window configuration;
11. rehabilitate side walkway metal gate;
12. restore pedestrian door at south façade;
13. paint all facades, including abating lead paint;

14. remove driveway and restore low wall and fence;
15. stained glass restoration;
16. Years 9-10 painting of the entire building exterior;

Further, upon completion of the Rehabilitation Plan yearly maintenance is set forward in the detailed Maintenance Plan which includes such scheduled items such as:

- façade cleaning;
- maintaining and repairing the decorative wood features on the Steiner Street façade;
- maintaining paint coatings;
- roof inspection and repair;
- window inspection and repair; and
- site drainage;

All of these items add up to a considerable investment and the relief from property tax will assist the project sponsor in achieving the goals of both the Rehabilitation and Maintenance plans providing for the long-term care of this currently deteriorating significant historic resource.

714 Steiner Street

Mills Act Application

May 28, 2021

Attachment C: Priority Consideration Criteria

714 Steiner Street, San Francisco, California – Block 0803 Lot 019
Attachment C
Mills Act Priority Consideration Criteria

This project meets the necessity, investment and distinctiveness criteria outlined in the exemption criteria as follows:

Necessity:

The necessary repairs to correct poor past interventions and current seismic and code conditions are extreme. The required investment is such that it would be very difficult to carry out the rehabilitation without the tax relief. The Rehabilitation Plan lays out a comprehensive scope of work to achieve a high-quality rehabilitation and investment in this property.

Investment:

Given the level of investment and the commitment to rehabilitate and maintain this treasured San Francisco house, situated along Alamo Square's famous Post Card Row, the project sponsor seeks relief from property taxes through a Mills Act contract with the City of San Francisco. The total cost of investment in qualifying scope of work, also detailed in the attached Rehabilitation Plan and cost estimate is \$1,259,900 and \$377,970 in insurance, taxes, and fees for a total of \$1,637,870.00. This is a significant investment in this important historic resource. Further, the Maintenance Plan outlines yearly costs for overall preventative measures to ensure that the Rehabilitation Investment is maintained.

Distinctiveness:

The loss of one of the houses in this distinctive row of Victorian-era, Queen Anne residences would be detriment to the Alamo Square Historic District, to the historic streetscape along Steiner Street, to "Post Card Row," and the City of San Francisco given the iconic character of this collection of houses.

The other two criteria (recently designated landmark and legacy business) are not applicable to this application.

714 Steiner Street
Mills Act Application
May 28, 2021

Attachment D: Rehabilitation Plan

**714 Steiner Street, San Francisco, CA – Mills Act Application – May 28, 2021
Rehabilitation Plan**

Scope: # 1			
Building Feature: Structural / Seismic Improvement – Foundation			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Completed
			Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$339,000.00			
Description of Work: Seismic strengthening including whole house engineered shoring system, hard demolition and off-hauling, install 18-inch concrete mat-slab foundation. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> .			

Scope: # 2			
Building Feature: Structural / Seismic Improvement – Replace Brick Chimney			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Completed
			Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$62,000.00			
Description of Work: Remove the entire brick chimney at south elevation; off-haul materials; install new wood-framed chimney and metal lined flue and copper cap; score exterior of new chimney stucco to match historic configuration. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> .			

Scope: # 3			
Building Feature: Site Drainage Improvements & Waterproofing			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Completed
			Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$83,500.00			
Description of Work: Provide foundation and sub-slab waterproofing and drainage: Improve site drainage at location of driveway and garage to accommodate reconfigured dwelling unit at lower level by installing trench and perimeter sub-grade drains; Tie surface drains and roof leader to house sewer-line; Provide roof drains including at light well; Repair south wall of lower story where significant water damage has occurred. Correct cause of water intrusion. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> .			

**714 Steiner Street, San Francisco, CA – Mills Act Application – May 28, 2021
Rehabilitation Plan**

Scope: # 4			
Building Feature: Main Roof Upgrade and New Roofing Material			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$191,400.00			
Description of Work: The roof was last replaced in 2008 (Building Permit #1159979). This was a re-roofing only project and did not include any structural sheathing. The proposed scope will remove the existing composition shingles and any underlying roofing material; demolition and off-hauling; provide and install new roofing waterproofing membrane; provide structural improvements; improve waterproofing; install new flashing; replace all gutters and downspouts or provide new flashing and waterproof membrane to dutch gutters and downspouts to improve drainage from roof; and provide new composition shingle roofing material. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> .			

Scope: # 5			
Building Feature: Roof at Steiner Street Porch			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$17,000.00			
Description of Work: Above the porch, remove the existing sheet metal pan roof, repair underlying wood, provide new waterproofing membrane and install new copper sheet metal pan over roof. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> .			

Scope: # 6			
Building Feature: Steiner Street and South Façades – Wood Decorative Trim and Window Surround Repair			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$112,500.00			
Description of Work: Repair areas of dry rot or damage to decorative wood trim at Steiner Street façade; for missing wood elements or those damaged beyond repair replace in kind (materials and decorative profile). Repair wood window surrounds and sills where damaged. Leave surfaces ready for primer and paint. Caulk elements were necessary. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> and NPS publication <i>Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings</i> .			

**714 Steiner Street, San Francisco, CA – Mills Act Application – May 28, 2021
Rehabilitation Plan**

Scope: # 7				
Building Feature: Steiner Street Façade – Decorative Wood Front Door and Entryway Wood Paneling				
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Completed	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023				
Total Cost: \$25,000.00				
Description of Work: Remove hardware and prepare surfaces; remove doors and correct alignment as necessary; replace broken beveled glass at front door; paint and reinstall doors. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> and NPS publication <i>Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings</i> .				

Scope: # 8				
Building Feature: Steiner Street Double-hung wood windows with ogee lugs				
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Completed	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023				
Total Cost: \$104,000.00				
Description of Work: Repair and rehabilitate wood windows; carefully remove window sash and frames, strip old paint layers, patch wood in locations of previous security measures or inappropriate hardware (bolts, etc); remove window castings re-install windows with new sash cord and weights so that all windows are operable; re-glaze as necessary; waterproof openings; prepare surfaces for primer and paint. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> and NPS publications <i>Preservation Brief # 9: The Repair of Historic Wooden Windows</i> and <i>Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings</i> .				

Scope: # 9				
Building Feature: Steiner Street Façade – Front Main Entry Stair				
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Completed	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023				
Total Cost: \$61,000.00				
Description of Work: Rebuild front stair to address significant deficiencies, dry rot and deteriorating structure under terrazzo. Remove landing balustrade for restoration; remove existing stair and off-haul; excavate and pour new concrete structure at stair; waterproof stair; install new terrazzo treads and risers; provide bronze handrails; new decorative stucco cladding at stairs to match existing. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> .				

**714 Steiner Street, San Francisco, CA – Mills Act Application – May 28, 2021
Rehabilitation Plan**

Scope: # 10			
Building Feature: Steiner Street Façade – Remove Garage opening and Restore Lower Story Windows and Horizontal Wood Siding			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$30,500.00			
Description of Work: Remove garage opening and rehabilitate lower portion of west façade to historical configuration, including two new double-hung wood windows and horizontal wood siding to match siding at upper stories. Provide waterproofing and vapor barrier at new siding. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> .			

Scope: # 11			
Building Feature: Steiner Street Façade – Rehabilitate side walkway metal gate			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$10,100.00			
Description of Work: Remove non-original and incompatible metal side walkway gate and off-haul; provide new, more compatible metal security gate at this location. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> .			

Scope: # 12			
Building Feature: Restore Pedestrian Door at South Elevation Walkway			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$9,300.00			
Description of Work: Restore the infilled door at the south elevation and repair siding at the south elevation. Provide a new glazed wood door, framing, new wood casings to match existing, and hardware in the location of boarded side door. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> .			

**714 Steiner Street, San Francisco, CA – Mills Act Application – May 28, 2021
Rehabilitation Plan**

Scope: # 13			
Building Feature: Exterior Painting all Façades			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$160,000.00			
Description of Work: Scaffold and net for lead paint containment; wash using gentlest means possible with mild soap, water and sponges (no power washing), prime, prep and paint all facades; Re-paint all previously painted exterior wood surfaces. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> and <i>NPS Publication Preservation Brief #10 Exterior Paint Problems on Historic Woodwork</i> and <i>Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings</i> .			

Scope: # 14			
Building Feature: Remove Driveway and Install Restored Decorative Railing and Gate			
Rehab / Restoration	<input checked="" type="checkbox"/>	Maintenance	Proposed <input checked="" type="checkbox"/>
Contract year work completion: 2023			
Total Cost: \$54,600.00			
Description of Work: Remove the driveway paving, off-haul materials, and prepare area to construct concrete stem wall and metal bronze decorative railing. Repair concrete bollards as needed. Wall and railing design based on historic photograph. All work will be performed in conformance with <i>the Secretary of the Interior's Standards</i> .			

Culver Residence

714 Steiner Street, San Francisco, CA

Estimator - EF/DF

Last Updated: 05/26/21

ARROW BUILDERS, INC.

135 Rafael Drive, San Rafael, CA 94901

(415) 994-4549

License No. 1022682

Mills Act Application Conceptual Estimate

Plans Dated 03/29/21

Item	Description	Quantity	Unit	Unit Cost	Total
Scope 1 Structural/Seismic Improvement - Foundation (Seismic-Specific)					
	Shoring - Whole House Engineered Shoring System	4,200	sf x	\$ 25 =	\$ 105,000
	Hard Demolition & Offhaul (90% of total)	1	ls x	\$ 54,000 =	\$ 54,000
	18" Mat Slab Foundation	90	cy x	\$ 2,000 =	\$ 180,000
	Underpin 712 Steiner - Excluded		sf x	=	\$ -
					\$ 339,000
Scope 2 Structural/Seismic Improvement - Remove Brick Chimney					
	Demolition & Offhaul	1	ls x	\$ 25,000 =	\$ 25,000
	Framing	1	ls x	\$ 15,000 =	\$ 15,000
	Metal Flue & Copper Cap	1	ls x	\$ 12,000 =	\$ 12,000
	Scored Stucco to Match Existing	1	ls x	\$ 10,000 =	\$ 10,000
					\$ 62,000
Scope 3 Site Drainage Improvements & Waterproofing					
	Foundation and Sub-slab Waterproofing and Drainage	1	ls x	\$ 40,000 =	\$ 40,000
	Trench & Install Perimeter French Drain and Connect	1	ls x	\$ 10,000 =	\$ 10,000
	Tie in Surface Drains and Roof Leader to Tight-Line	15	ea x	\$ 500 =	\$ 7,500
	Site Drains, Including Light Well	6	ea x	\$ 1,500 =	\$ 9,000
	Repair South Wall of Lower Story Where Water Damage has Occurred	1	ls x	\$ 17,000 =	\$ 17,000
					\$ 83,500
Scope 4 Main Roof (Structure + Finishes)					
	Demolition & Offhaul of Roof Finishes	1	ls x	\$ 10,000 =	\$ 10,000
	Demolition & Offhaul of Roof Framing	1	ls x	\$ 10,000 =	\$ 10,000
	Framing + Sheathing	2,000	sf x	\$ 30 =	\$ 60,000
	Composition Shingle Roofing	2,000	sf x	\$ 20 =	\$ 40,000
	Copper Dutch Gutters, Internal Downspouts, Misc Flashing	4,200	sf x	\$ 17 =	\$ 71,400
	Cost of Scaffold Included in Scope #15		sf x	=	\$ -
					\$ 191,400
Scope 5 Roof Over Bay Window at Steiner St. Façade					
	Remove Existing Sheetmetal Pan Roofing	1	ls x	\$ 500 =	\$ 500
	Repair Underlying Wood	1	ls x	\$ 2,500 =	\$ 2,500
	Waterproofing	1	ls x	\$ 2,000 =	\$ 2,000
	Copper Pan Roofing	1	ls x	\$ 12,000 =	\$ 12,000
	Restoration of Wood Railing is Excluded		ls x	=	\$ -
					\$ 17,000
Scope 6 Steiner Street Façade - Wood Decorative Trim and Window Surround Repair					
	Repair Dry Rot at Decorative Wood Trim	1	ls x	\$ 15,000 =	\$ 15,000
	Replace Missing Details or Details Damaged Beyond Repair	1	ls x	\$ 15,000 =	\$ 15,000
	Repair Wood Window, Surrounds, and Sills Where Damaged	11	ea x	\$ 7,500 =	\$ 82,500
					\$ 112,500

**Mills Act Application
 Conceptual Estimate**

Plans Dated 03/29/21

Item	Description	Quantity	Unit	Unit Cost	Total
Scope 7 Steiner Street Façade - Decorative Wood Front Door and Entryway Wood Paneling					
	Remove Hardware & Prep Surfaces	1	ls x	\$ 5,000 =	\$ 5,000
	Paint	1	ls x	\$ 12,000 =	\$ 12,000
	Reinstall	1	ls x	\$ 8,000 =	\$ 8,000
					\$ 25,000
Scope 8 Steiner Street Façade - Double-Hung Wood Windows With Ogee Lugs					
	Remove Window Sash & Frames and Restore	8	ea x	\$ 5,000 =	\$ 40,000
	Remove Window Casings and Install New Sash Cord & Weight	8	ea x	\$ 1,000 =	\$ 8,000
	Restore Window Casings	8	ea x	\$ 2,000 =	\$ 16,000
	Re-Glaze Window Sash	8	ea x	\$ 1,000 =	\$ 8,000
	Framing at Openings to Square	8	ea x	\$ 1,500 =	\$ 12,000
	Waterproof Openings	8	ea x	\$ 500 =	\$ 4,000
	Install Window Frames, Sash, Trim	8	ea x	\$ 2,000 =	\$ 16,000
	Prep Surfaces for Paint (See Scope of Work #15).		sf x	=	\$ -
					\$ 104,000
Scope 9 Steiner Street Façade - Front Main Entry Stairs					
	Remove Landing Balustrade for Restoration	1	ls x	\$ 2,000 =	\$ 2,000
	Remove Existing Stair & Offhaul	1	ls x	\$ 3,000 =	\$ 3,000
	Excavation & Concrete at Main Entry Stairs	1	ls x	\$ 15,000 =	\$ 15,000
	Waterproofing	1	ls x	\$ 5,000 =	\$ 5,000
	Terrazzo Treads & Risers	1	ls x	\$ 8,000 =	\$ 8,000
	Bronze Handrails	18	lf x	\$ 1,000 =	\$ 18,000
	Decorative Stucco Cladding at Stair Walls	1	ls x	\$ 10,000 =	\$ 10,000
					\$ 61,000
Scope 10 Steiner Street Façade - Remove Garage Opening and Restore Lower Story Windows and Horizontal Wood Siding					
	Demolition & Offhaul	1	ls x	\$ 2,500 =	\$ 2,500
	Framing	1	ls x	\$ 8,000 =	\$ 8,000
	Windows & Waterproofing	2	ea x	\$ 5,000 =	\$ 10,000
	Vapor Barrier & Siding	1	ls x	\$ 8,000 =	\$ 8,000
	Window Casings	1	ls x	\$ 2,000 =	\$ 2,000
					\$ 30,500
Scope 11 Steiner Street Façade - Rehabilitate Side Entry Metal Gate					
	Demolition & Offhaul	1	ls x	\$ 1,600 =	\$ 1,600
	Metal Security Gate	1	ls x	\$ 8,500 =	\$ 8,500
					\$ 10,100
Scope 12 Steiner Street Façade - Restore Pedestrian Door at South Elevation at Walkway					
	Demolition & Offhaul	1	ls x	\$ 2,400 =	\$ 2,400
	Framing	1	ls x	\$ 2,400 =	\$ 2,400
	Door + Door Hardware	1	ls x	\$ 3,500 =	\$ 3,500
	Door Casings	1	ls x	\$ 1,000 =	\$ 1,000
					\$ 9,300

Culver Residence

714 Steiner Street, San Francisco, CA

Estimator - EF/DF

Last Updated: 05/26/21

ARROW BUILDERS, INC.

135 Rafael Drive, San Rafael, CA 94901

(415) 994-4549

License No. 1022682

Mills Act Application Conceptual Estimate

Plans Dated 03/29/21

Item	Description	Quantity	Unit	Unit Cost	Total
Scope 13 Exterior Painting All Facades					
	Scaffold & Net for Lead Paint Containment	1	ls x	\$ 40,000 =	\$ 40,000
	Power Wash, Prep, Prime, Paint at North, South, East Facades	1	ls x	\$ 50,000 =	\$ 50,000
	Power Wash, Chemical Peel, Prime, Paint West Façade.	1	ls x	\$ 70,000 =	\$ 70,000
					\$ 160,000
Scope 14 Remove Driveway and Install Restored Fence and Gate					
	Demolition & Offhaul	1	ls x	\$ 10,000 =	\$ 10,000
	Earthwork & Concrete at Sidewalk & Curb	320	sf x	\$ 40 =	\$ 12,800
	Concrete at Bollards & Stem Wall	1	ls x	\$ 15,000 =	\$ 15,000
	Bronze Guardrail + Gate	14	lf x	\$ 1,200 =	\$ 16,800
					\$ 54,600
Subtotal					\$ 1,259,900
Gen Requirements, Fees (P&O), Insurance, Tax					\$ 377,970
Total					\$ 1,637,870

714 Steiner Street
Mills Act Application
May 28, 2021

Attachment E: Maintenance Plan

**714 Steiner Street, San Francisco, CA – Mills Act Application – May 28, 2021
Maintenance Plan**

Post-Rehabilitation Maintenance Plan

Maintenance Plan - Scope: # 1			
Building Feature: Steiner Street Façade – Yearly Cleaning			
Rehab / Restoration	Maintenance	<input checked="" type="checkbox"/>	Completed
			Proposed <input checked="" type="checkbox"/>
Contract year work completion: once a year			
Total Cost: \$900.00 per year			
<p>Description of Work: The primary, Steiner Street façade, including the front stairs, should be cleaned once a year with mild soap, large sponges and very low-pressure water rinse. There are several excellent service companies that specialize in cleaning elaborate Victorian facades in San Francisco. High pressure washing is not an appropriate treatment. Pressure washing many result in damage to the historic materials and cause water to become trapped behind features. Façade cleaning should be scheduled for late spring after the rainy season. All work will conform with <i>the Secretary of the Interior's Standards</i> and NPS publication <i>Preservation Brief # 47: Maintaining the Exterior of Small and Medium Size Historic Buildings</i>.</p>			

Maintenance Plan - Scope: # 2			
Building Feature: Steiner Street Façade - Maintain Exterior Wood Siding, Shingles, Trim or Decorative Features			
Rehab / Restoration	Maintenance	<input checked="" type="checkbox"/>	Completed
			Proposed <input checked="" type="checkbox"/>
Contract year work completion: once a year			
Total Cost: \$1,000.00 per year			
<p>Description of Work: Any deteriorated or rotted segments of the exterior, including shingles, sidings, or decorative wood trim elements, should be repaired or replaced in kind. Damaged siding should be removed and replaced in kind with the same wood species. Composite materials should be avoided since they inherently have either a highly smooth finish or a very artificial, repetitive grain that will be incompatible with the existing materials. At the time of each spring façade cleaning (Maintenance Plan Scope #1) the exterior wood materials at the Steiner Street façade should be inspected and any repairs made after the cleaning is complete and all surfaces are dry. All work will conform with <i>the Secretary of the Interior's Standards</i> and NPS publications <i>Preservation Brief # 10 Exterior Paint Problems on Historic Woodwork</i> and <i>Preservation Brief # 47: Maintaining the Exterior of Small and Medium Size Historic Buildings</i>.</p>			

**714 Steiner Street, San Francisco, CA – Mills Act Application – May 28, 2021
Maintenance Plan**

Maintenance Plan - Scope: # 3 Building Feature: Steiner Street Façade - Maintain Paint Coatings			
Rehab / Restoration	Maintenance	<input checked="" type="checkbox"/>	Completed
			Proposed <input checked="" type="checkbox"/>
Contract year work completion: once a year			
Total Cost: \$2,000.00 per year			
<p>Description of Work: Maintaining paint coatings on wood frame buildings is one of the most important maintenance practices. Paint coatings should be inspected each year upon completion of Maintenance Scopes 1 and 2 detailed above. Preparation for new paint is very important. Loose paint should be removed to allow for proper adhesion of the new finish. For wood surfaces, gentle scraping and sanding with non-metallic tools is appropriate. Chemical removal systems and heat-based systems for paint removal should be avoided. Loose paint can be removed with a soft bristle brush, however more complete paint removal requires testing by a trained professional to determine a safe and effective means for removing paint. Pressure washing is not appropriate and may cause more damage to the historic materials than necessary. After inspection and cleaning, paint coatings should be reapplied where previous coatings are failing. All work will conform with <i>the Secretary of the Interior's Standards</i> and NPS publication <i>Preservation Brief # 47: Maintaining the Exterior of Small and Medium Size Historic Buildings</i>.</p>			

Maintenance Plan - Scope: # 4 Building Feature: All exterior façades - Inspect, Repair and Maintain Windows and Doors			
Rehab / Restoration	Maintenance	<input checked="" type="checkbox"/>	Completed
			Proposed <input checked="" type="checkbox"/>
Contract year work completion: once a year			
Total Cost: \$500.00 per year			
<p>Description of Work: Once a year, inspect the operability of all windows and doors. This includes the stained glass window at the interior stair. During the rainy season, wood windows and doors can expand and contract with moisture levels. Ensure that no water intrusion is occurring at window and doors and their flashing locations. Upon conclusion of the rainy season, complete repairs as needed to ensure operability and that flashing is properly installed. All work will conform with <i>the Secretary of the Interior's Standards</i> and NPS publications <i>Preservation Brief # 47: Maintaining the Exterior of Small and Medium Size Historic Buildings</i>.</p>			

**714 Steiner Street, San Francisco, CA – Mills Act Application – May 28, 2021
Maintenance Plan**

Maintenance Plan - Scope: # 5 Building Feature: Roof and Roof Drainage			
Rehab / Restoration	Maintenance	<input checked="" type="checkbox"/>	Completed
			Proposed <input checked="" type="checkbox"/>
Contract year work completion: once a year			
Total Cost: \$500.00 per year			
Description of Work: Once a year, just before the rainy season, a licensed roofing contractor should inspect the roof, pursuant to the roofing manufacturer's warranty. Roof flashing and sheathing materials should be inspected for any inadvertent water intrusion. Further, gutters, leaders and downspouts should be inspected, cleared of debris and tested for operability prior to rain. All work will conform with <i>the Secretary of the Interior's Standards</i> and NPS publication <i>Preservation Brief # 47: Maintaining the Exterior of Small and Medium Size Historic Buildings</i> .			

Maintenance Plan - Scope: # 6 Building Feature: Site Drainage			
Rehab / Restoration	Maintenance	<input checked="" type="checkbox"/>	Completed
			Proposed <input checked="" type="checkbox"/>
Contract year work completion: once a year			
Total Cost: \$500.00 per year			
Description of Work: Once a year, just before the rainy season, inspect the areas where all downspouts meet the ground to ensure proper drainage and that there is no blockage. Ensure that drains and the pathways to the drains should remain clear of debris. Determine if there are any areas of the site that are not properly draining and correct issues if found. All work will conform with <i>the Secretary of the Interior's Standards</i> and NPS publication <i>Preservation Brief # 47: Maintaining the Exterior of Small and Medium Size Historic Buildings</i> .			

714 Steiner Street

Mills Act Application

May 28, 2021

Attachment F: Property Tax Bills and Payment Receipts



Treasurer & Tax Collector
CITY AND COUNTY OF SAN FRANCISCO

Property Tax Account at 714 STEINER ST

Account 0803-019

See all bills for Current Owner

2020 Secured Annual Bill #20200084517

✓ Paid

[View Bill](#)

Bill Information

Bill #: 20200084517
Assessment Year: 2020
Tax Year: 2020
Account Number: 0803-019
Tax Rate Area: 001-000
Total: **\$1,644.18**

Property

Address
714 STEINER ST

Bill Status and Payment

2020 Secured Annual Bill #20200084517 Assessee: Current Owner	1st Installment Delinquent After 12/10/2020	\$822.09	PAID 11/13/2020
	2nd Installment Delinquent After 04/12/2021	\$822.09	PAID 11/13/2020

Ad Valorem Taxes

Taxing Authority	Rate	Assessed	Exemptions	Taxable	Total Tax
General City Bond Debt Fund	0.11972733%	\$67,091	\$0	\$67,091	\$80.32
S.F. Community College District Bond Fund	0.01973594%	\$67,091	\$0	\$67,091	\$13.24
S.F. Unified School Dist. Bond Fund	0.04510041%	\$67,091	\$0	\$67,091	\$30.24
San Francisco Bay Area Rapid Transit District	0.01390000%	\$67,091	\$0	\$67,091	\$9.32
Countywide Tax (Secured)	1.00000000%	\$67,091	\$0	\$67,091	\$670.90

Special Assessments and Direct Charges

Levying Authority	Phone Number	Tax
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29 - Rent Stabilization Fee	(415) 252-4600	\$100.00
45 - Living Wage for Educators 2018 Tax	(415) 355-2203	\$319.76
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
89 - SFUSD Facilities District	(415) 355-2203	\$39.04
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$270.36
Total: \$1,644.18		

Combined taxes and assessments: **\$1,644.18**

[Help - Contact us - Treasurer & Tax Collector home](#)

[Terms of Service](#)



Treasurer & Tax Collector
CITY AND COUNTY OF SAN FRANCISCO

Property Tax Account at 714 STEINER ST

Account 0803-019

See all bills for Current Owner

2020 Secured Supplemental Bill #20200969271

✓ Paid

[View Bill](#)

Bill Information

Bill #: 20200969271
 Assessment Year: 2020
 Tax Year: 2020
 Account Number: 0803-019
 Tax Rate Area: 001-000
 Assessment Event: General
 Event Date: 01/29/2020
 Billable Period: 07/01/2020 - 06/30/2021
 Total: **\$41,741.36**

Property

Address
 714 STEINER ST

Bill Status and Payment

2020 Secured Supplemental Bill #20200969271 Assessee: Current Owner	1st Installment Delinquent After 12/10/2020	\$20,870.68	PAID 11/13/2020
	2nd Installment Delinquent After 04/12/2021	\$20,870.68	PAID 11/13/2020

Ad Valorem Taxes

Taxing Authority	Rate	Assessed	Exemptions	Taxable	Factor	Total Tax
General City Bond Debt Fund	0.11972733%	\$3,482,909	\$0	\$3,482,909	0.00%	\$4,169.98
S.F. Community College District Bond Fund	0.01973594%	\$3,482,909	\$0	\$3,482,909	0.00%	\$687.38
S.F. Unified School Dist. Bond Fund	0.04510041%	\$3,482,909	\$0	\$3,482,909	0.00%	\$1,570.80
San Francisco Bay Area Rapid Transit District	0.01390000%	\$3,482,909	\$0	\$3,482,909	0.00%	\$484.12
Countywide Tax (Supplemental)	1.00000000%	\$3,482,909	\$0	\$3,482,909	0.00%	\$34,829.08

Total: \$41,741.36

Combined taxes and assessments: **\$41,741.36**

[Help - Contact us - Treasurer & Tax Collector home](#)

[Terms of Service](#)



City & County of San Francisco
 José Cisneros, Treasurer
 David Augustine, Tax Collector
Supplemental Property Tax Bill (Secured)
 For Fiscal Year July 1, 2020 through June 30, 2021

1 Dr. Carlton B. Goodlett Place
 City Hall, Room 140
 San Francisco, CA 94102
 www.sftreasurer.org

Vol 06	Block 0803	Lot 019	Tax Bill No 20200969271	Mail Date October 30, 2020	Property Location 714 STEINER ST
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Assessee: NAME WITHHELD PER CA AB 2238

**ADDRESS INFORMATION
 NOT AVAILABLE ONLINE**

▶ TOTAL DUE		\$41,741.36
First Installment	Second Installment	
\$20,870.68	\$20,870.68	
Due 12/10/2020	Due 04/12/2021	

Important Messages


Tax Summary	
For The Period 07/01/2020 - 06/30/2021	
Event Date 01/29/2020	
Tax Rate 1.19846368%	Rate Factor 100.00%

Description	Assessed Value		
	New Base Year Value	Prior Value	Supplemental Assessment
Land	\$2,130,000	\$22,772	\$2,107,228
Structure	\$1,420,000	\$44,319	\$1,375,681
Fixtures			
Personal Property			
Gross Assessed Value	\$3,550,000	\$67,091	\$3,482,909
Less HO Exemption	\$0	\$0	\$0
Less Other Exemption	\$0	\$0	\$0
Net Assessed Value	\$3,550,000	\$67,091	\$3,482,909

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
 Supplemental Property Tax Bill (Secured)
 For the period 07/01/2020 through 06/30/2021

Pay online at www.sftreasurer.org

Vol 06	Block 0803	Lot 019	Tax Bill No 20200969271	Mail Date October 30, 2020	Property Location 714 STEINER ST
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Write your block and lot on your check.
 2nd installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
 Secured Supplemental Property Tax
 P.O. Box 7426
 San Francisco, CA 94120-7426

2

2nd Installment Due		
Pay by	April 12, 2021	\$20,870.68
If paid after includes 10% penalty and applicable fees	April 12, 2021	\$23,002.74
Paid 11/13/2020		



City & County of San Francisco
 Supplemental Property Tax Bill (Secured)
 For the period 07/01/2020 through 06/30/2021

Pay online at www.sftreasurer.org

Vol 06	Block 0803	Lot 019	Tax Bill No 20200969271	Mail Date October 30, 2020	Property Location 714 STEINER ST
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Write your block and lot on your check.

San Francisco Tax Collector
 Secured Supplemental Property Tax
 P.O. Box 7426
 San Francisco, CA 94120-7426

1

1st Installment Due		
Pay by	December 10, 2020	\$20,870.68
If paid after includes 10% penalty and applicable fees	December 10, 2020	\$22,957.74
Paid 11/13/2020		

Pay Now	Contact Us	Tax Rate Information	
<p>Online: www.sftreasurer.org</p> <p>Mail a check payable to "SF Tax Collector" with the bottom portion of bill in the enclosed envelope</p>	<p>Free language assistance</p> <p>Call: 3-1-1 415-701-2311 from outside of San Francisco</p> <p>Submit questions online: www.sftreasurer.org/contact-us</p>	<p>Countywide Tax (Supplemental)</p> <p>General City Bond Debt Fund</p> <p>S.F. Community College District Bond Fund</p> <p>S.F. Unified School Dist. Bond Fund</p> <p>San Francisco Bay Area Rapid Transit District</p> <p>TOTAL</p>	<p>1.00000000%</p> <p>0.11972733%</p> <p>0.01973594%</p> <p>0.04510041%</p> <p>0.01390000%</p> <p>1.19846368%</p>

Supplemental tax bills are issued in addition to the annual tax bill, generally due to a change in ownership or new construction in accordance with Article XIII A of the California Constitution.

If you disagree with the assessed value as shown on your tax bill, you have the right to an informal assessment review by the Assessor-Recorder's Office. Visit www.sfassessor.org for more information. You also have the right to file an application for reduction in assessment for the following year by filing a written application with the Assessment Appeals Board, City Hall, 1 Dr. Carlton B. Goodlett Place, Room 405, San Francisco, CA 94102. The filing period is July 2 to September 15. Visit www.sfgov.org/aab or call 415- 554-6778 for more information. If an informal or formal assessment review is requested, relief from penalties shall apply only to the difference between the Assessor-Recorder's final determination of value and the value on the assessment roll for the fiscal year covered.

Property Tax Postponement for Senior Citizens, Blind, or Disabled Persons

The State Controller's Office (SCO) administers the Property Tax Postponement (PTP) program, which allows eligible homeowners to postpone payment of current year property taxes on their primary residence. PTP applications are accepted from October 1 to February 10 each year. Go to the SCO website at www.sco.ca.gov/ardtax_prop_tax_postponement.html for more information. If you have any questions or to request an application, call 1-800-952-5661 or email postponement@sco.ca.gov

Did you...

Submit payment for the exact amount?

Confirm that you have sufficient funds in your account? If your payment is not honored by the bank, the payment is null and void and a \$50.00 "Payment Failure Fee" will be charged in addition to any late payment penalties.

If the delinquent date falls on a Saturday, Sunday or legal holiday, no penalty is charged if payment is made by 5 PM on the next business day.

If any portion of the total amount due is unpaid after 5 PM on June 30, 2021, it will be necessary to pay (a) delinquent penalties, (b) costs, (c) redemption penalties, and (d) a redemption fee. After 5 years of tax delinquency, the Tax Collector has the power to sell tax-defaulted property that is not redeemed.

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City & County of San Francisco
 José Cisneros, Treasurer
 David Augustine, Tax Collector
 Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
 City Hall, Room 140
 San Francisco, CA 94102
 www.sftreasurer.org

For Fiscal Year July 1, 2020 through June 30, 2021

Vol 06	Block 0803	Lot 019	Bill No 20200084517	Mail Date October 15, 2020	Property Location 714 STEINER ST
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Assessed on January 1, 2020 at 12:01am
 To: NAME WITHHELD PER CA AB 2238

**ADDRESS INFORMATION
 NOT AVAILABLE ONLINE**

▶ TOTAL DUE		\$1,644.18
1st Installment	2nd Installment	
\$822.09	\$822.09	
Due 12/10/2020	Due 04/12/2021	

Important Messages

Assessed Value	
Description	Full Value
Land	\$22,772
Structure	\$44,319
Fixtures	
Personal Property	
Gross Taxable Value	\$67,091
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$67,091
Tax Amount	\$804.02

Direct Charges and Special Assessments		
Type	Telephone	Amount Due
29 - Rent Stabilization Fee	(415) 252-4600	\$100.00
45 - Living Wage for Educators 2018 Tax	(415) 355-2203	\$319.76
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
89 - SFUSD Facilities District	(415) 355-2203	\$39.04
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$270.36
Total Direct Charges and Special Assessments		\$840.16

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
 Property Tax Bill (Secured)
 For Fiscal Year July 1, 2020 through June 30, 2021

Pay online at www.sftreasurer.org

Vol 06	Block 0803	Lot 019	Bill No 20200084517	Property Location 714 STEINER ST
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Check if contribution to Arts Fund is enclosed.
 For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
 2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
 Secured Property Tax
 P.O. Box 7426
 San Francisco, CA 94120-7426

2nd Installment Due		
Pay by	April 12, 2021	\$822.09
If paid after includes 10% penalty and applicable fees	April 12, 2021	\$949.29
Paid 11/13/2020		

SECURED 2



City & County of San Francisco
 Property Tax Bill (Secured)
 For Fiscal Year July 1, 2020 through June 30, 2021

Pay online at www.sftreasurer.org

Vol 06	Block 0803	Lot 019	Bill No 20200084517	Property Location 714 STEINER ST
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Check if contribution to Arts Fund is enclosed.
 For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
 If property has been sold, please forward bill to new owner.

San Francisco Tax Collector
 Secured Property Tax
 P.O. Box 7426
 San Francisco, CA 94120-7426

1st Installment Due		
Pay by	December 10, 2020	\$822.09
If paid after December 10, 2020 includes 10% penalty	December 10, 2020	\$904.29
Paid 11/13/2020		

SECURED 1

Pay Now	Contact Us	Tax Rate Information	
<p>Online: www.sftreasurer.org</p> <p>Mail a check payable to "SF Tax Collector" with the bottom portion of bill in the enclosed envelope</p>	<p>Free language assistance</p> <p>Call: 3-1-1 415-701-2311 from outside of San Francisco</p> <p>Submit questions online: www.sftreasurer.org/contact-us</p>	<p>Countywide Tax (Secured) 1.00000000%</p> <p>General City Bond Debt Fund 0.11972733%</p> <p>S.F. Community College District Bond Fund 0.01973594%</p> <p>S.F. Unified School Dist. Bond Fund 0.04510041%</p> <p>San Francisco Bay Area Rapid Transit District 0.01390000%</p>	<p>TOTAL 1.19846368%</p>

If you disagree with the assessed value as shown on your tax bill, you have the right to an informal assessment review by the Assessor-Recorder's Office. Visit www.sfassessor.org for more information. You also have the right to file an application for reduction in assessment for the following year with the Assessment Appeals Board. The filing period is July 2 to September 15. Visit www.sfgov.org/aab or call 415-554-6778 for more information. If an informal or formal assessment review is requested, relief from penalties shall apply only to the difference between the Assessor-Recorder's final determination of value and the value on the assessment roll for the fiscal year covered.

If a "**Tax-Defaulted**" message is shown on the front of this bill, it indicates that prior year taxes are unpaid.

New owners and current owners with new construction may be required to pay a **supplemental tax bill**. Supplemental tax bills are issued in addition to this annual tax bill.

Property Tax Postponement for Senior Citizens, Blind, or Disabled Persons

The State Controller's Office (SCO) administers the Property Tax Postponement (PTP) program, which allows eligible homeowners to postpone payment of current year property taxes on their primary residence. PTP applications are accepted from October 1 to February 10 each year. Go to the SCO website at www.sco.ca.gov/ardtax_prop_tax_postponement.html for more information. If you have any questions or to request an application, call 1-800-952-5661 or email postponement@sco.ca.gov

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714 Steiner Street

Mills Act Application

May 28, 2021

**Attachment G: Historic Structure Report
including photographs and condition assessment**



mills act application
historic structure report
714 steiner street, san francisco, ca

completed for:
leah culver revocable trust

may 28, 2021

submitted by:

architecture + history, llc
san francisco, ca
415 760 4318
bridget@architecture-history.com
www.architecture-history.com

714 Steiner Street, San Francisco, Historic Structure Report Mills Act Application – May 28, 2021

Introduction

The subject property (APN Number 0803-019) is located on Steiner Street directly across from Alamo Square Park. The house sits in the Western Addition / Alamo Square neighborhood of San Francisco. The surrounding area is residential in nature. 714 Steiner Street is part of a row of seven Queen Anne and Victorian-style homes known as the “Seven Sisters” or, more popularly, the “Painted Ladies” or “Postcard Row.” 714 Steiner Street is located within an RH-2 (Residential House-Two Family) Zoning District, and a 40-X Height and Bulk District. The house is also within the boundaries of the Alamo Square Historic District designated pursuant to Article 10 of the San Francisco Planning Code.

This Historic Structure Report has been requested in support of a Mills Act Contract application for the rehabilitation of 714 Steiner Street. The Mills Act Contract is an agreement between the City and County of San Francisco and the owner of a qualified property based on California Government Code, Article 12, Sections 50280-50290 (Mills Act). This state law, enacted in 1972, grants the City and County of San Francisco the authority to enter into contracts with owners of qualified historic properties who actively participate in the restoration and maintenance of their historic properties while receiving property tax relief. Owners of qualifying historic properties who agree to comply with certain preservation restrictions receive a potential property tax savings to help offset the costs to restore, rehabilitate, and maintain their historic property according to the Secretary of the Interior’s Standards and the California Historical Building Code. The Mills Act allows historic property owners to restore their historic buildings; obligates future owners to the maintenance and care of the property; and may provide significant property tax savings to the property owner, particularly to smaller, single-family homeowners. The San Francisco Board of Supervisors approves all final contracts. Once executed, the contract is recorded on the property and leads to reassessment of the property the following year.

The house at 714 Steiner is eligible for the Mills Act Contract Program as a “qualified historic property” because it is a contributor to the Alamo Square Historic District, a formally designated City Landmark Historic District. The property tax savings from the Mills Act contract will enable the property owners to preserve and rehabilitate the historic structure, and to continue to maintain and care for the property for many years in the future.

Purpose

Historic Structure Reports (HSRs) are the primary planning documents for the treatment of historic properties. The development of an HSR is the preferred first phase of any historic preservation effort, preceding design and implementation of the selected treatment and use for the property. HSRs provide historical information about the resource, document existing conditions, changes over time, and serve as a basis for planning for rehabilitation. This HSR generally follows the National Park Service’s Technical Preservation Service’s Preservation Brief 43: *The Preparation and Use of Historic Structure Reports* (2004) by Deborah Slaton.



714 Steiner Street, San Francisco, Historic Structure Report Mills Act Application - May 28, 2021

Methodology

Architecture + history, has closely collaborated with the architect and structural engineer for the rehabilitation: David Armour Architecture and Strandberg Engineering. This HRS has been completed in concert with a Certificate of Appropriateness application for alternations to a designed historic district contributor under Article 10 of the Planning Code.

The house and site were toured and photographed and existing conditions documented. Historical research was conducted through the following collections:

- San Francisco History Center, San Francisco Public Library
- Mechanic's Institute Library
- FIMO - Sanborn Fire Insurance Maps
- David Rumsey Maps, Stanford University and online
- Office of the Assessor-Recorder, City & County of San Francisco
- Department of Building Inspection, City & County of San Francisco
- Victorian Alliance Collection of Tour Brochures on archive.org
- Online Archive of California (AOC)
- United States Census Bureau, 1910-1940, via www.ancestry.com
- San Francisco Newspapers archived through Newspapers.com and the California Digital Newspaper Collection

The Article 10 Historic District documentation was reviewed. Joseph B. Pecora's book *The Storied Houses of Alamo Square*, and several Victorian Alliance Tour Brochures of the area were also invaluable.

Summary of Significance

714 Steiner Street is a Historic Resource as determined by the City & County of San Francisco. It is located within the Alamo Square Historic District, as designated in 1984, and is a contributing resource to the district. Prior to the creation of the historic district, it was listed as part of the Painted Ladies of Alamo Square in *Here Today: San Francisco's Architectural Heritage* (1968), prepared by the Junior League of San Francisco. The Board of Supervisors as an officially recognized architectural survey adopted *Here Today*. In 1976, it was listed as a Category 4 building in the City of San Francisco Department of City Planning Architectural Survey, indicating a high level of architectural significance (including design features, the urban design context, and overall environmental significance).

The building remains a significant contributor to the Alamo Square Historic District due to its high level of integrity relative to its period of significance (1892-1929). As one of the famed "Seven Sisters" designed and built by Matthew Kavanagh, 714 Steiner Street is an exceptional example of the Queen Anne style of architecture in San Francisco.

The statement of significance for the Alamo Square Historic District states:



714 Steiner Street, San Francisco, Historic Structure Report Mills Act Application - May 28, 2021

The Alamo Square Historic District is significant as a continuum of distinguished residential architecture by distinguished architects spanning the period from the 1870s to the 1920s. The towered Westerfeld House (1198 Fulton Street), the renowned “Postcard Row” with its background of the downtown skyline, and the neighboring streetscapes are as identified worldwide with San Francisco as the cable cars and Coit Tower. With a variety of architectural styles, the District is unified in its residential character, relatively small scale, construction type, materials (principally wood), intense ornamentation (especially at entry and cornice) and use of basements and retaining walls to adjust for hillside sites. Boundaries include the park, its edges, the nearby buildings rated highest on the city’s architectural survey, and infill structures for rational planning. Most of the original owner-residents were designed by architects, including a virtual cross-section of the city’s better professionals. The District has always housed a varied ethnic group. With a high degree of integrity to its original designs, the District clearly serves as a visual reminder of how businessmen lived two to four generations ago.¹

Alamo Square Park is bound by Scott Street, Fulton Street, Hayes Street, and Steiner Street. The 12.7-acre located at the center of the Alamo Square Landmark District and is the district’s primary landscape feature.

Period of Significance

According to the San Francisco Planning Department, the period of significance for the Alamo Square Historic District is 1870–1929. For 714 Steiner Street, the period of significance is adjusted from 1896–1929, reflecting its year of construction to the end of the historic district period of significance.

Neighborhood Background

Alamo Square

The area that is now Alamo Square Park and the surrounding neighborhood was originally part of the Western Addition of San Francisco. The name refers to the area between the original surveyed boundaries of the city, which ended between Larkin and Van Ness Streets, and Divisadero Street. The Van Ness Ordinance of 1855 cleared title to the land and extended the established, standard grid pattern of streets, and set aside a number of parks and squares.² The following year, the city set aside land for a public park bound by Hayes, Steiner, Folsom, and Scott Streets, naming it Alamo Square. Extensive settlement of this area of San Francisco began in earnest around 1869. Due to the views, weather, and accessibility from the newly constructed McAllister and Hayes Streets cable cars, more residents began to move westward.³ Many of these newcomers were professionals who had commissioned architects and well-known builders to design single-family residences. Eventually, Alamo Square and the surrounding neighborhood became a very desirable place to live for San Francisco’s growing professional class.



714 Steiner Street, San Francisco, Historic Structure Report
Mills Act Application - May 28, 2021

The area was spared from destruction in the 1906 earthquake and fires, as it was just outside of the extensive “burned district.” Photographs taken the day after the earthquake from Alamo Square shows the row of houses on Steiner Street in the background as San Franciscans were fleeing the on-going conflagration consuming downtown. Post-earthquake Fillmore Street became a temporary commercial district, and remained primarily commercial after downtown was rebuilt. By the 1920s through World War II, many of the residents of Alamo Square were German-Americans, Italians, and many Jewish families.⁴ During and after World War II, the area was occupied by an increasing African-American population, who had relocated to California to take advantage of war-time job opportunities and then remained after the war.

In the late 1970s and early 1980s, young professionals, some of whom were gay men, began to move into the houses surrounding Alamo Square, attracted to the large homes with their historic ornamentation still intact. A renewed awareness in the neighborhood, the park, and the surrounding historic homes forged an increased interest in historic preservation.⁵ In 1984, the city, in part spurred by the work of the Alamo Square Neighborhood Association, designated Alamo Square, through Article 10 of the Planning Code, as a San Francisco Historic District.⁶



714 Steiner Street, San Francisco, Historic Structure Report Mills Act Application - May 28, 2021

“Seven Sisters” of Post Card Row

Though not designated separately, this cluster of houses along Steiner Street facing Alamo Square constitute a specific subset of the Alamo Square Historic District. The group, all built by builder-contractor Matthew Kavanagh, were constructed within a roughly three-year period, with Kavanagh’s own home, 722 Steiner constructed first. Below are the Spring Valley Water Tap Records for 710-722 Steiner all issued to Kavanagh.⁷

710 - #77525 - August 3, 1894

712 - #77426 - January 14, 1895

714 - #77427 - May 18, 1895

716 - #77428 - May 22, 1895

718 - #77429 - October 22, 1895

720 - #77430 - October 22, 1895

722 - #77431 - June 11, 1892

Builder - Matthew Kavanagh

Matthew Kavanagh (Kavanaugh) was born in County Wexford, Ireland in 1845. He immigrated to the United States in 1869. During the 1870s and 1880s, he worked as a coachman and later became an agent and collector for Joseph Emric (Emeric), a wealthy realtor from France. Emric, who passed away in 1889, considered Kavanagh an "old friend and faithful employee." Kavanagh went on to become an independent real estate developer and builder in the 1890s.

Kavanagh was the Vice President of the Alamo Square Improvement Club, a club formed by property owners of Alamo Square in 1892. He advocated for urgent attention to crime around the Square. Kavanagh himself resided at 722 Steiner Street after its construction in 1895, but he only lived there for five years before moving to San Rafael with his wife Catherine. Kavanagh also built two houses in the 800 block of Steiner Street, 896-896 Steiner (the Mertens Flats) and 812-814 Steiner.⁸

The Kavanaghs donated a stained-glass window to Sacred Heart Catholic Church on Fillmore Street. The window incorporates the likenesses of their patron saints, Catherine of Alexandria and Matthew the Apostle. Kavanagh was an active member and advocate within the Irish American community in San Francisco. He died on January 6, 1911 at the age of 66. He is buried at Holy Cross Cemetery in Colma, California.



714 Steiner Street, San Francisco, Historic Structure Report Mills Act Application - May 28, 2021

Summary of Occupants

The house at 714 Steiner Street was built in 1894 by builder Matthew Kavanagh. By 1900, William N. Hannigan owned the property and resided in the house with his wife Emily, a young son Thomas, and a servant identified as Hannah M. English, according to the census. William N. Hannigan was a native of Ireland who immigrated to the United States in 1890. He worked as a Steward-Steamer. By 1910, Herbert M. Greene began renting the house. Green worked as a clerk in the stoves and metal industry. According to the 1920 census, Green lived in the house with his wife of 28 years, Jennie, a daughter Marie, and sons William and Raymond. They also had a roomer named William Mullins, who was a salesman of dry goods.

By 1920, the house was owned by Agnes Downs, a 58-year-old widow who was likely retired. Living with Ms. Downs were her brother-in-law William, who worked as a nightman for the American Red Cross, roomer Helena Anican, who immigrated from France around 1910 and worked as a clerk, lodger C. H. Schultheis, a widower who immigrated from Switzerland in 1911 and was a merchant, and lodger John Tullock, who immigrated from Scotland and worked as a carpenter. A young couple named Elmo and Mabel Lake also lived in the house as roomers. Elmo was a machinist in the oil business, while Mabel worked as a bookkeeper at a grocery store. Ms. Downs continued to own and occupy 714 Steiner over the next two decades. According to the census, her home was valued at \$10,000 by 1930. In that year, it was recorded that Ms. Downs had only one roomer named Frances Hiddie, who was a supervisor in the telephone industry. The value of her home was identified as \$4,000 in 1940. By then, Ms. Downs had several lodgers again: Edwin J. Hermany; Adam Cneesh, who was from Lithuania and worked as a presser; and Frank Ledwith, who was a general laborer and used to reside in Spokane, Washington. Ms. Downs died in 1948.

After 1948, property appears to have been owned by G. L. Berton for a short time. By 1955, James McLemore owned the property. The house was identified as vacant in 1960, and was converted from a single-family dwelling to two residential units around that time. By 1965, the house was occupied by Mrs. Evelyn A. Bowens who worked as a clerk, and the rear of the house was occupied by Georgia L. Williams. Neither woman appears to have owned the house. Between 1970 and 1982, 714A was rented by Mrs. Sarah A. Lum, who worked as a United States government employee. During these years, 714B was occupied by various renters. According to the city directories, John R. P. Saint lived in the unit in 1970; Gary Scanlan lived there by 1975; and Dwight Lum, an employee of Harry Young Furniture, lived in the house between 1980 and 1982.



714 Steiner Street, San Francisco, Historic Structure Report Mills Act Application - May 28, 2021

Description

Overview

714 Steiner Street is located on the east side of Steiner Street between Hayes and Grove Streets across from Alamo Square Park. It is within the boundaries of the Alamo Square historic district. The house is a two-story-over-garage wood-frame, Queen Anne style residential structure. Constructed circa 1895, it is one of seven houses in this row that were constructed by builder Matthew Kavanagh, including his own home at 722 Steiner at the corner of Grove. Kavanagh's own house, situated on a prominent corner lot is slightly different than the other six houses, which share many features and elements. The house at 714 Steiner Street was originally built as a single family home, but was converted into two dwelling units in the late 1940s.

Site

Situated on Steiner Street facing Alamo Square, the house at 714 Steiner Street sits on a lot measuring 23 x 75 feet. There is a curb cut to accommodate a later first story garage.

Steiner Street Exterior

The Steiner Street façade is the contributing element to the Alamo Square Historic District. At the lower story there is a garage opening and a modern metal pedestrian access gate. The front stairs, which are not likely original, consist of terrazzo treads and risers, textured stucco side walls and a wood balustrade. The front entry had paneled side walls and a wood and glazed double front door. There is a prominent angled bay window at the first and second story. The bay overhangs the garage entry. Above the entry there is a flat roof with a wood balustrade. A double hung window and one of the bay windows overlooks this feature. The house is capped with a gable roof with the front facing gable having a decorative attic window. The gable has a decorative cornice with swags and dentils. There are finials at the gable ends and at the apex. The house has many of the same features as its immediate neighbors, which were all designed and built by the same Victorian-era builder.

Interior

The interior of this house was divided into two units in 1960. It has been significantly changed over time and much of the interior finishes are in poor condition.



**714 Steiner Street, San Francisco, Historic Structure Report
Mills Act Application - May 28, 2021**

Construction Chronology & History of Alterations

The information within this construction chronology was developed from City of San Francisco Department of Building Inspection (DBI) records for the property. It is possible that not all of the alterations were legally permitted and, as such, may not have been recorded.

Date	Permit Number	Names	Description / Cost
May 18, 1895	N/A – Spring Valley Water Tap #77427	William Kavanagh	N/A
5/4/1948 (filed) 6/14/1948 (withdrawn)	N/A	G J Cuddir (owner) Contractor (listed as owner)	Partitions for front room first floor and partitions for front room second floor / \$500
6/14/1948 (filed) 10/28/1948 (issued) 3/15/1949 (certificate of final completion)	108642	G J Cuddir and Roger L. Widtfeldt (owner) Contractor (listed as owner)	Restore to original condition; preplace partitions each that have been removed / \$500
6/27/1960 (filed) 7/22/1960 (issued)	213157	Mrs. Mildred Frieman (owner) Timothy Evans (general contractor)	Make alterations (illegible text) to plans and specifications...alter to 2 family -- \$6,000
1/20/1975 (issued) 5/15/1975 (completed)	386743	S. Lum & Z. Wong (owners) Robert Cole Smith (general contractor)	To conform to F.A.C.E. specifications, File # 803-19-5 / \$13,000
6/22/1984 (filed) 7/17/1984 (issued)	518061	Dwight Lum (owner)	Replace back stairs – old stairs rotting away / \$8,000
7/10/2008	1159979	Dwight Lum (owner) Tom Lee Roofing Inc (general contractors)	Reroofing permit: no change to the façade roofline or appearance / \$19,000

See Appendix Two of this HSR for a series of historic photographs of the house.



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Existing Conditions

Overall, the house at 714 Steiner has not received proper maintenance for many years. Its use as a rental property resulted in the conversion of a single-family house to two units that have not been upgraded or systematically maintained in many years. The following are the conditions of the related features and elements included in the Mills Act Qualifying Scope Items.

See Appendix One of this HSR for current photographs of the exterior and interior of the house. Specific photograph numbers are noted below regarding specific conditions.

Structure, Foundation and Seismic

Condition - Poor

This house has not been previously seismically strengthened. The current foundation system is built of un-reinforced poured in place concrete. The existing foundation is not sufficient to support other components required by the building code to meet seismic resistance requirements therefore a new mat-slab foundation is recommended. *See Appendix Nine of this HSR for structural report and photographs. See Appendix One Photographs 50-54 of garage level conditions.*

Brick Chimney

Condition - Poor

The brick chimney at the south elevation is a seismic hazard. A portion of the un-reinforced brick was removed out of the lower portion of the chimney to accommodate the garage door track leaving a large hole which significantly undermines the structural integrity of the chimney. As a result, the mortar has begun to visibly fail in other locations of the chimney. The structural engineer has determined that the brick chimney is a hazard and needs replacement (see Appendix Nine of this HSR). The project proposes to replace the un-reinforced masonry chimney with a new wood framed structural meeting current building code regulations for life and safety. The exterior finish of the new chimney will be scored stucco to match the existing. *See Appendix One Photographs 53-54 for chimney conditions.*

Site Drainage

Condition – Poor to Fair

Water infiltration is occurring at the property line walls most visibly at the first floor, garage level. The water infiltration has significantly damaged many wood framing members along the south side walls of the garage. Wall framing which shows visible sign of water damage are proposed to be replaced with new framing members. As not all the wall framing is exposed at this time and cannot be fully inspected for damages, there may be additional wall framing members which will require replacement once construction has commenced. *See Appendix One Photograph 52 for water infiltration conditions.*



Roof and Roofing Material

Condition – Poor to Fair

The finished roofing material was last replaced in 2008. However, the roof structure itself has never been strengthened or updated. It appears that the last re-roofing did not remove the previous roof finish materials or the skip-sheathing underlayment. The roof requires reinforcement and replacement of portions of the ridge framing members to strengthen the building from a seismic perspective and to improve the horizontal/shear rigidity so that the new composition shingle finished roofing material and a photo-voltaic electric system can be installed to ensure a long-term watertight roof as well as seismic and structural stability in the future. *See Appendix One Photographs 33-34 for roof and roofing conditions.*

Roof at Steiner Street Porch

Condition - Poor

The sheet metal cap roofing material over the Steiner Street porch requires replacement. There appears to be some water infiltration and the wood decking is likely water damaged and will require replacement. The damaged framing and sheathing require repair or replacement, and a new modern waterproofing membrane is also required to prevent future water damage. A new copper roof finish is also necessary to cover the waterproofing materials. *See Appendix One Photograph 17 for porch roof location.*

Decorative Wood Details

Condition – Poor to Fair

The Steiner Street façade has many decorative wood details typical of Victorian era housing. These details are character-defining features and should be retained unless damaged beyond repair or missing. Some of these features, especially at areas where previous intervention has occurred (the garage and the porch) are missing, altered or in poor condition. There is some evidence of wood rot but again this has occurred mostly where past interventions have not been properly sealed. The wood features at the second and attic story are in fairly good condition. These features should be carefully maintained and conditioned prior to repainting and refinishing. *See Appendix One Photographs 10, 17-22 for exterior wood conditions.*

Front Door

Condition - Poor

The wood front door was stripped of paint at some point and is in need of repair, gentle sanding and new paint coatings. As indicated in the architectural plans, the beveled glazing in the doors and transom is proposed to be replaced as it has been previously damaged. The bottom rails of the doors were previously damaged and are in poor condition. The wood is very dry from not having protective paint coatings. The wood is cracked and deteriorating such that some new elements may be necessary in areas that are beyond repair. *See Appendix One Photographs 8-11 for door conditions.*



Wood Windows with Ogee Lugs at Steiner Street and South Façade (walkway)

Condition – Poor to Fair

The wood windows with ogee sash horns or lugs are original to the building but are in need to repair. Many are not operable because they have either been painted shut or the cords and weights are no longer intact or operable. Many of the wood sills and wood surrounds are also in poor condition. All of the wood window sashes exhibit some degree of dry rot or other similar damage and are proposed to be replaced in kind to match existing windows sashes. Window glazing is in poor condition and will be repaired and / or replaced on a case-by-case basis with historically matching single pane glazing. *See Appendix One Photographs 18, 20, 21 and 24 for window conditions.*

Front Stairs and Balustrade

Condition - Poor

The front stairs lack a strong sense of craftsmanship. They were insensitively designed and installed without taking into consideration the proper relationship between the walls below the front porch and original column pedestal above. The original architectural millwork detailing was removed to facilitate the stair construction. Cement plaster overlaps wood creating likely dry rot conditions that will need to be repaired. The stair walls are wider than the column pedestal, which is not consistent with Victorian-era examples found nearby. It is very possible these stairs were modified after the 1929 end date of the period of significance for the historic district and should therefore be considered non-contributing. The stucco-clad concrete walls also awkwardly protrude through the porch landing and cut into the millwork bases of the column pedestals. The structural engineer has determined that the stairs are a hazard and recommends they be replaced (see Appendix Nine for structural report). It should be noted that the front stair at 710 Steiner Street was recently rebuilt, likely for similar reasons. *See Appendix One Photographs 6-16 for porch conditions.*

Garage Entry

Condition - Poor

The garage is not original to the house and was likely constructed beyond the period of significance for the historic district and is thus not character-defining. The front two windows at this location should be restored. The wood siding and trim around the windows should also be restored. The proposed alteration restores the two front windows and architectural millwork features. *See Appendix One Photographs 3, 5, 51 and 53 for garage entry conditions.*

Side Gate Access to Walkway

Condition - Poor

The metal side gate is not original to the building and is not of a compatible design to the Victorian-era façade. This feature detracts from the overall design of the historic front façade. A new metal side gate that is more appropriate to the building should be installed. The proposed architectural plans indicate the replacement of this gate with a more sensible design. *See Appendix One Photographs 3-4 for gate conditions.*



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Driveway and Landscaped Yard

Condition – Poor (no longer extant)

The driveway was inserted when the garage was installed. Historic photographs show a low wall and bollards adjacent to the front stair. The bollards remain but the low wall and metal railing (just trying to use consistent language from the architectural drawings) have been removed. Given that there is ample evidence, this feature is proposed to be re-introduced. *See Appendix One Photographs 3-6 for driveway conditions.*

Wood Door at South Façade (walkway)

Condition - Poor

At some point the door at the first level which accessed the original first floor level was covered over at the exterior south façade. This is evidenced both in the poor repairs at the exterior siding and by the door that was retained at the interior of the garage (the architectural drawings show photos of this). This feature should be re-introduced to the south façade. The proposed first floor plan restores this entrance to the building. *See Appendix One Photographs 23-24, 54 for south wood door conditions.*

Exterior Paint Coatings

Condition - Poor

The house requires new paint coatings and finishes at all elevations and removal and proper abatement of lead paint. The wood elements should be stripped of old paint and repaired where necessary before new paint coatings are applied. Elements should be primed and then painted with the final paint layer (or applied as prescribed by manufacturer specifications).

Stained Glass Window:

Condition - Poor

There is one decorative, stained glass window at the mid-landing of the interior stairs from the first to second story. This window faces onto the north wall interior light well. The lead in this window is significantly sagging, deformed, and is as a result failing. The window requires careful removal, restoration at a stained glass studio, and re-installation. *See Appendix One Photographs 36-38 for stained glass window conditions.*



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Character-Defining Features

Character-defining features are the visual aspects and physical features that comprise the appearance of an historic building. Character-defining features include the overall shape of the building, its materials, craftsmanship, stylistic elements, decorative details, interior spaces and features, as well as the various aspects of its site and environment. The character-defining features of the entire Alamo Square Historic District, as determined by the San Francisco Planning Department, are as follows:

- Small-scale residences with typical building heights of two to three stories
- Principally wood buildings
- Intense ornamentation (especially at entry and cornice)
- The use of basements and retaining walls to adjust for hillside sites

The street facing character-defining features of the house at 714 Steiner Street include the following:

- *Consistent setback equal to the other houses in this row*
- *Front stairs width and shape as well as elevated main entry landing*
- *Double wood paneled and glazed front entry doors with fan motifs*
- *Angled bay windows*
- *Double-hung wood windows with ogee lugs*
- *Queen Anne façade ornamentation*
- *Gable roof with decorative finials and roof profile and pitch*
- *Cornice with dentils and swag motifs*
- *Centered window at street-facing gable end*
- *Wood columns, pilasters, turned motifs and paneling emblematic of wood-frame Queen Anne style houses*

Non-Contributing

These elements are typically from outside the period of significance, are of poor quality, are still commercially available or are not related to the period of significance or any figures or events associated with the historic interpretation of the resource.

Non-contributing elements are:

- *Garage entry and panel door*
- *Curb cut and driveway*
- *Metal gate at south side access alley*
- *Under stair access panel*
- *Replacement composition shingles covering roof*
- *Terrazzo at stairs is later material (not identified as CDF for other houses along this row, including 722 and 710 Steiner).*



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Endnotes

¹ San Francisco Planning Code Article 10

² The Junior League of San Francisco, Inc., *Here Today: San Francisco's Architectural Heritage*. (San Francisco: Chronicle Books, 1973), 112.

³ San Francisco Planning Code Article 10

⁴ Jeanne Alexander, "History of Alamo Square," San Francisco Neighborhood Park Council, Parks Report 42 (Fall 2007).

⁵ Jeanne Alexander, "History of Alamo Square," San Francisco Neighborhood Park Council, Parks Report 42 (Fall 2007).

⁶ San Francisco Planning Code Article 10

⁷ Spring Valley Water Company Ledger Records San Francisco Public Library and 1905 Sanborn Map, David Rumsey Maps.

⁸ Joseph P. Pecora. *The Storied Houses of Alamo Square*. San Francisco: Norfolk Press, 2014: 190-192.



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APPENDIX ONE – Current Photographs



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Photograph 1:
714 Steiner, primary Steiner Street façade from Alamo Square



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Photograph 2:
714 Steiner, primary Steiner Street façade, overview with street trees.



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Photograph 3:
714 Steiner, primary Steiner Street façade, detail of garage and side access gate



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Photograph 4:
714 Steiner, primary Steiner Street façade, detail of side walkway access gate



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Photograph 5:
714 Steiner, primary Steiner Street façade, detail of driveway



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Photograph 6:
714 Steiner, primary Steiner Street façade, detail of under-stair door



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Photograph 7:
714 Steiner, primary Steiner Street façade, close up detail of under-stair door



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Photograph 8:
714 Steiner, primary Steiner Street façade, detail of entry stair and front door.



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Photograph 9:
714 Steiner, primary Steiner Street façade, detail of entry landing and front door.



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Photograph 10:
714 Steiner, primary Steiner Street façade, detail of front door.



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Photograph 11:
714 Steiner, primary Steiner Street façade, detail of wood paneling adjacent to front door.



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Photograph 12:
714 Steiner, primary Steiner Street façade, detail of stair railing



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Photograph 13:
*714 Steiner, primary Steiner Street façade, detail of stair bollards and
“rusticated” concrete pattern on stairs.*



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Photograph 14:
714 Steiner, primary Steiner Street façade, detail of stair landing and balustrade



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Photograph 15:
714 Steiner, primary Steiner Street façade, detail of porch posts, engaged pilasters and capitals



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Photograph 16:
*714 Steiner, primary Steiner Street façade, detail of porch terrazzo condition
and past intervention at porch*



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Photograph 17:
714 Steiner, primary Steiner Street façade, detail of porch and bay window



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Photograph 18:
714 Steiner, primary Steiner Street façade, detail of bay window



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Photograph 19:
714 Steiner, primary Steiner Street façade, detail of upper story



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Photograph 20:
*714 Steiner, primary Steiner Street façade, detail of upper story bay window
and decorative detail*



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Photograph 21:
714 Steiner, primary Steiner Street façade, detail of angled bay window at upper story



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Photograph 22:
714 Steiner, primary Steiner Street façade, detail of balcony above porch



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Photograph 23:
714 Steiner, south façade, detail of passageway between 714 and 712 Steiner with pedestrian door into garage and location of infilled door at left with mismatched patched siding and edge of chimney with scoring.



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Photograph 24:
714 Steiner, south façade, detail of windows.



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Photograph 25:
714 Steiner, south façade, detail of brick chimney with stucco scoring.



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Photograph 26:
Aerial photograph showing of rear, east façade with project box bay and porch



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Photograph 27:
Detail of rear, east façade, lower level with door, window and stair



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Photograph 28:
Detail of rear, east façade, upper level with boxed bay window and supports



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Photograph 29:
Detail of rear, east façade, stair and secondary door underneath.



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Photograph 30:
Detail of rear, east façade, stairs to upper level deck



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Photograph 31:
Detail of rear, east façade, stairs, paved yard and secondary door.



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Photograph 32:
Detail of lightwell at stained glass window



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Photograph 33:
Detail of light well and roof shingles



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Photograph 34:
Detail of roof near light well showing chimney covering and roofing composition shingles, looking east toward City Hall.



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Photograph 35:
View of entry hall looking toward front door



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Photograph 36:
Interior stair



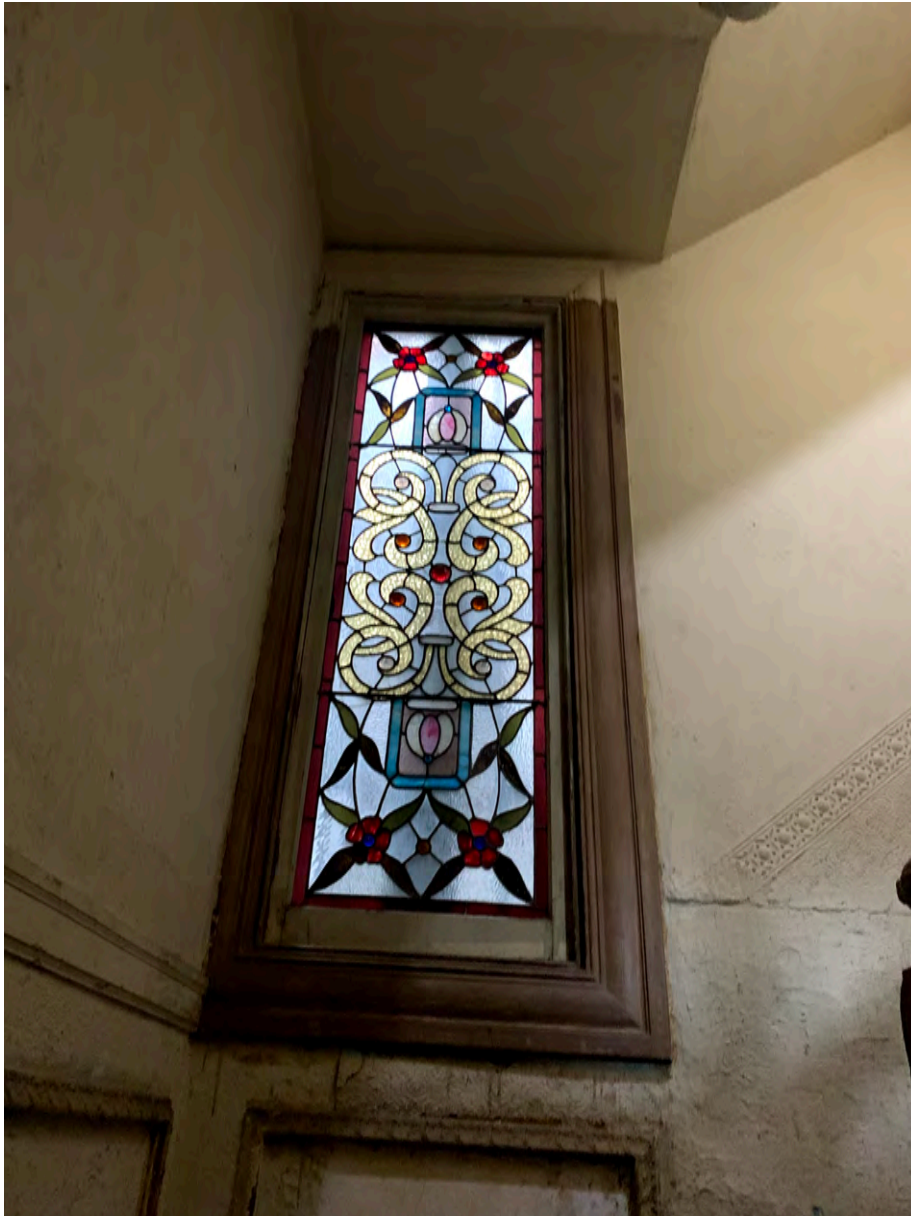
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Photograph 37:
Stair landing and stained glass window



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Photograph 38:
Detail of stained glass window



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Photograph 36
Typical door first floor hallway



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Photograph 39:
Kitchen at first floor



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Photograph 40:
Rear door at kitchen first floor



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Photograph 41:
Dining Room



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Photograph 42:
Dining Room and Kitchen



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Photograph 43:
Dining Room

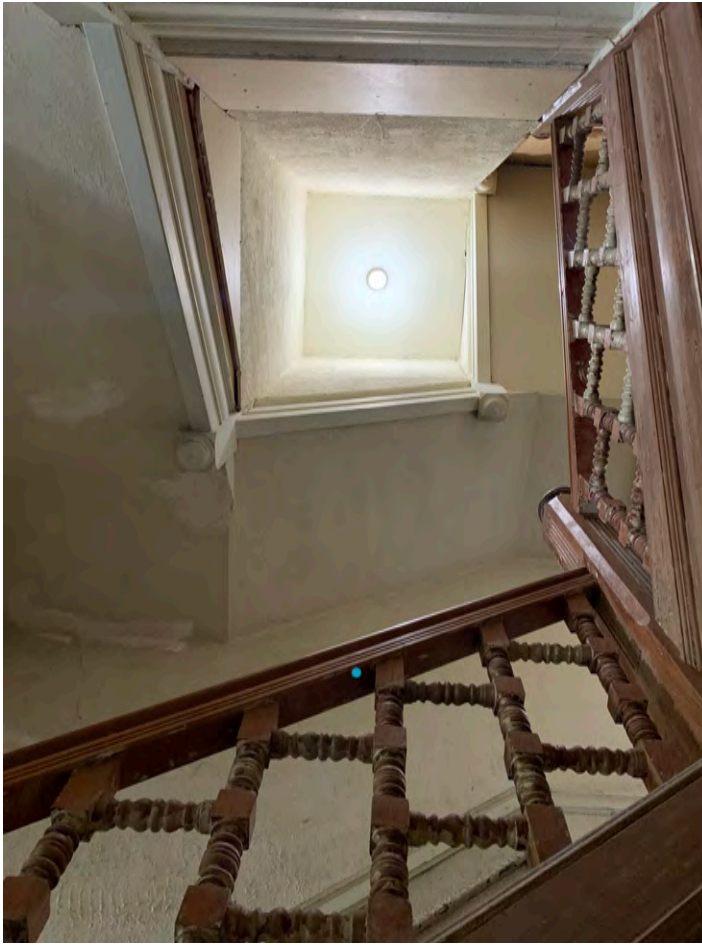




Photograph 44:
Detail of light fixture



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Photograph 45:
Stair Hall and railings



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Photograph 46:
Stairs to attic level



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Photograph 47:
Bedroom bay window



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Photograph 48:
Bathroom conditions



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Photograph 49:
Plywood ceiling separating floor levels and stair well



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Photograph 50:
Garage interior



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Photograph 51:
Garage showing inserted door



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Photograph 52:
South wall conditions in garage showing water damage





Photograph 53:
South wall showing chimney condition with garage track damage.



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Photograph 54:
South wall showing chimney condition with garage track damage.



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APPENDIX TWO – Historic Photographs



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Historic Photograph 1:
710 Steiner showing the paired window below the bay window. Unfortunately, there is not a similar detailed photograph of 714 Steiner Street. Source: Storied Houses of Alamo Square Page 179.



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Historic Photograph 2:

A detail of historic photograph 1 showing the paired window below the bay window prior to insertion of garage at a later date. Also visible is the door under the stairway and the low curb of the planting bed. Source: Storied Houses of Alamo Square Page 179.



Historic Photograph 3:

Alamo Square, view to the east and Steiner Street. This photograph was taken on April 19, 1906, as the post-earthquake fires devastated the city. Source: UCB Bancroft.



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Historic Photograph 4:
Alamo Square circa 1940 with 710, 712 and 714 Steiner Street houses in the background. It is difficult to see the configuration of the lower story in this photograph. Source: OpenSFHistory.org (wnp27.1236.jpg).



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Historic Photograph 5:
Steiner Street circa late 1940s early 1950s showing low wall, gate and landscaping in front of 714 Steiner Street. Source: Owner, 712 Steiner Street.



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Historic Photograph 6:
Detail of historic photograph 5. The low wall, gate and landscaping in front of 714 Steiner Street, including the bollards. Source: Owner, 712 Steiner Street.



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Historic Photograph 7:

Barely visible above the roof of this trolley is the lower portion of 714 Steiner which at this time did not have a garage. The two windows at the ground story are just visible below the bay window. June 1947, Source: OpenSFHistory.org (wnp27.50440.jpg).

Historic Photograph 8:

Detail of historic photograph 7, above. Source: OpenSFHistory.org (wnp27.50440.jpg).



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Historic Photograph 9:
View from Alamo Square of Steiner Street Row, 1968. Source: SFPL (AAA-6688).



Historic Photograph 10:
Detail of above Historic Photograph 9, showing garage at 714 Steiner. Source: SFPL (AAA-6688).



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APPENDIX THREE - Building Permits

Date	Permit Number	Names	Description / Cost
5/4/1948 (filed) 6/14/1948 (withdrawn)	N/A	G J Cuddir (owner) Contractor (listed as owner)	Partitions for front room first floor and partitions for front room second floor / \$500
6/14/1948 (filed) 10/28/1948 (issued) 3/15/1949 (certificate of final completion)	108642	G J Cuddir and Roger L. Widtfeldt (owner) Contractor (listed as owner)	Restore to original condition; preplace partitions each that have been removed / \$500
6/27/1960 (filed) 7/22/1960 (issued)	213157	Mrs. Mildred Frieman (owner) Timothy Evans (general contractor)	Make alterations (illegible text) to plans and specifications...alter to 2 family. 1 – remove attic apartment plumbing and bathroom fixtures 2 – attic -- only 3 – re-- near stairs 4 – repair -- 5 - -- / \$6,000
1/20/1975 (issued) 5/15/1975 (completed)	386743	S. Lum & Z. Wong (owners) Robert Cole Smith (general contractor)	To conform to F.A.C.E. specifications, File # 803-19-5 / \$13,000
6/22/1984 (filed) 7/17/1984 (issued)	518061	Dwight Lum (owner)	Replace back stairs – old stairs rotting away / \$8,000
7/10/2008	1159979	Dwight Lum (owner) Tom Lee Roofing Inc (general contractors)	Reroofing permit: no change to the façade roofline or appearance / \$19,000



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CENTRAL PERMIT BUREAU F. NO. 488

Write in Ink—File Two Copies

CITY AND COUNTY OF SAN FRANCISCO

DEPARTMENT OF PUBLIC WORKS
BLDG. FORM

CENTRAL PERMIT BUREAU

APPLICATION FOR BUILDING PERMIT

ADDITIONS, ALTERATIONS OR REPAIRS

3/4 1948

Application is hereby made to the Department of Public Works of the City and County of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

- (1) Location 714 Steiner St.
- (2) Present use of building Vacant No. of families +2
- (3) Use of building hereafter Demolishing No. of families +3
- (4) Total Cost \$ 500

NO R.C. WORK TO BE PERFORMED YES NO
PLUMBING WORK TO BE PERFORMED YES NO

(5) Description of work to be done
Partitions on front room 1st floor.
Partitions in front room 2nd floor.

(6) APPLICANT MUST FILL OUT COMPENSATION INSURANCE DATA ON REVERSE SIDE

(7) Supervision of construction by _____

Address _____

(8) Architect _____

Certificate No. _____ License No. _____
State of California _____ City and County of San Francisco

Address _____

(9) Engineer _____

Certificate No. _____ License No. _____
State of California _____ City and County of San Francisco

Address _____

(10) Plans and specifications prepared by _____
Other than Architect or Engineer _____

Address _____

(11) Contractor Owner

License No. _____ License No. _____
State of California _____ City and County of San Francisco

Address _____

I hereby certify and agree, if a permit is issued herein that all the provisions of the BUILDING LAW AND BUILDING ZONE ORDINANCES, SET-BACK LINE REQUIREMENTS AND FIRE ORDINANCES OF THE CITY AND COUNTY OF SAN FRANCISCO, the STATE HOUSING ACT OF CALIFORNIA, and of said permit will be complied with, whether specified herein or shown on any plans submitted herewith, and hereby agree to save, indemnify and keep harmless the City and County of San Francisco and its officials against all damages, liabilities, judgments, costs and expenses which may in anywise accrue against said City and County or any of its officials in consequence of the granting of this permit, or from the use or occupancy of any sidewalk, street, or sub-sidewalk space by virtue thereof, and will in all things strictly comply with the conditions of this permit. The foregoing covenants shall be binding upon the owner of said property, the applicant, their heirs, successors and assignees.

(12) Owner E. J. Cuddis

Address 718 Steiner St

By Owner

Owner's Authorized Agent

THE DEPARTMENT WILL CALL UP TELEPHONE NO. 907-5878
IF ANY ALTERATIONS OR CHANGES ARE NECESSARY ON THE PLANS SUBMITTED.



BLDG. FORM

No. 3 APPLICATION

Owner *E. J. Lueddie*

FOR PERMIT TO MAKE ADDITIONS, ALTERATIONS or REPAIRS TO BUILDING

Location *714 Steiner St*

Cost \$ *500.00*

Filed *MAY -5 1948*

194

Approved: **WITHDRAWN**

JUN 14 1948

Signature *E. J. Lueddie*

Superintendent Bureau of Building Inspection

Permit No.

194

Issued *P JUN 11 1948*

- REFER TO
- BUREAU OF ENGINEERING
 - ESI STRUCT. ENGINEER
 - BOILER INSPECTOR
 - ART COMMISSION
 - DEPT. OF PUBLIC HEALTH

Unfavorable
Count too narrow

3 story building
no fire proofing to meet
Dept. of Public Health

5-6-48

Existing building has
4 stories of occupancy
above ceiling is less than
8 ft in height
Plan shows no bathroom
for front app of two
means of egress from
each app

THIS APPLICATION WAS REFERRED TO DEPT. OF PUBLIC HEALTH WHO RETURNED SAME WITHOUT COMMENT.

C. N. Carter 5-12-48 Date

Approved:

Superintendent Bureau of Building Inspection

Zoning: *2nd.*

Approved:

[Signature]
City Planning Commission

Approved:

Director of Public Health

Approved:

Department of Electricity

Approved:

Bureau of Engineering

Approved:

Art Commission

APPROVED:

ACTION No. *477 361*

PLAINTIFF'S EXHIBIT No. *21 - 101114*

A. D. [Signature]

Deputy Clerk

IN EVIDENCE
JULY 7/59

J. J. O'Connor, Clerk

Division of Fire Prevention and Investigation

Workmen's Compensation Insurance Policy or Certificate filed with Central Permit Bureau

No Workmen's Compensation Insurance Policy or Certificate on file for reason of exclusion checked:
(a) No one to be employed

(b) Casual labor only to be employed

(c) Services or labor to be performed in return for aid or sustenance only, received from any religious, charitable or relief organization

OFFICIAL COPY

SAN FRANCISCO

DEPARTMENT OF PUBLIC WORKS
BUILDING SECTION

CENTRAL PERMIT BUREAU P. 100-438

Write in Ink—File Two Copies

CITY AND COUNTY OF SAN FRANCISCO

DEPARTMENT OF PUBLIC WORKS
BLDG FORM

CENTRAL PERMIT BUREAU

APPLICATION FOR BUILDING PERMIT

ADDITIONS, ALTERATIONS OR REPAIRS

3

3/9 1948

Application is hereby made to the Department of Public Works of the City and County of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

- (1) Location 714 Steiner St.
- (2) Present use of building Vacant No. of families 2
- (3) Use of building hereafter Dwelling No. of families 2
- (4) Total Cost \$ 500

- (5) Description of work to be done
Partition on front room 1st floor.
Partition in front room 2nd floor.

(6) APPLICANT MUST FILL OUT COMPENSATION INSURANCE DATA ON REVERSE SIDE.

(7) Supervision of construction by _____

Address _____

(8) Architect _____

Certificate No. _____ License No. _____
State of California _____ City and County of San Francisco

Address _____

(9) Engineer _____

Certificate No. _____ License No. _____
State of California _____ City and County of San Francisco

Address _____

(10) Plans and specifications prepared by
Other than Architect or Engineer _____

Address _____

(11) Contractor Dewey

License No. _____ License No. _____
State of California _____ City and County of San Francisco

Address _____

I hereby certify and agree, if a permit is issued herein that all the provisions of the BUILDING LAW AND BUILDING ZONE ORDINANCES, SET-BACK LINE REQUIREMENTS AND FIRE ORDINANCES OF THE CITY AND COUNTY OF SAN FRANCISCO, the STATE HOUSING ACT OF CALIFORNIA, and of said permit will be complied with, whether specified herein or shown on any plans submitted herewith, and hereby agree to save, indemnify and keep harmless the City and County of San Francisco and its officials against all damages, liabilities, judgments, costs and expenses which may in anywise accrue against said City and County or any of its officials in consequence of the granting of this permit, or from the use or occupancy of any sidewalk, street, or sub-sidewalk space by virtue thereof, and will in all things strictly comply with the conditions of this permit. The foregoing covenants shall be binding upon the owner of said property, the applicant, their heirs, successors and assigns.

(12) Owner E. J. Gaddis

Address 718 Steiner St.

By Dewey

Owner's Authorized Agent.

THE DEPARTMENT WILL CALL UP TELEPHONE NO. 10-7-5878
IF ANY ALTERATIONS OR CHANGES ARE NECESSARY ON THE PLANS SUBMITTED.

BLDG. FORM

APPLICATION OF

Owner

FOR PERMIT TO MAKE ADDITIONS, ALTERATIONS OR REPAIRS TO BUILDING

Location 214 [unclear] St

Cost \$500

MAY - 5 1948

Approver

WITHDRAWN

Superintendent Bureau of Building Inspection

Permit No.

Issued

194

JUN 11 1948

REFER TO

BUREAU OF CONNECTING PERMITS FOR ELECTRICAL WORK ARE IN CHARGE FOR DEPT. OF PUBLIC HEALTH

Count to members of County building... 5-6-48... 4 stories of occupancy... also ceiling & the floor... 8 ft in height... Plans show no bathroom... show how app's to be... means of egress from each app't

THIS APPLICATION WAS REFERRED TO DEPT. OF PUBLIC HEALTH WHO RETURNED SAME WITHOUT COMMENT.

Signature Date 5-11-48

Approved:

Superintendent Bureau of Building Inspection

Zoning: 2nd

Approved:

City Planning Commission

Approved:

Director of Public Health

Approved:

Department of Electricity

Approved:

Bureau of Engineering

Approved:

Art Commission

APPROVED:

ACTION No. 477-361

PLAINTIFF'S EXHIBIT No. 21-1414 6/16/49

Deputy Clerk

IN EVIDENCE JULY 7/59

J. O'Connor, Clerk

Division of Fire Prevention and Investigation

Workmen's Compensation Insurance Policy or Certificate filed with Central Bureau

- No Workmen's Compensation Insurance Policy or Certificate on file for reason of applicant checked: (a) No one to be employed (b) Casual labor only to be employed (c) Services or labor to be performed in return for aid or sustenance only, received from any religious, charitable or relief organization

ADDRESS: [REDACTED] LOCATION: [REDACTED] PERMIT NO.: [REDACTED]
 ESTIMATED COST: [REDACTED] DATE: [REDACTED]

CLASS OF CONSTRUCTION [REDACTED]

CLASS 'C'	CLASS 'B'	CLASS 'A'	FRAME	ALTERATIONS	ADD. ROOMS	RIGHTS IN	RIGHTS TO	STOPS FOR	MARKING	DATE

No. OF STORIES: [REDACTED]
 No. OF PARTIAL FLOOR: [REDACTED]
 No. OF PARTIAL PLANT: [REDACTED]

CONTRACTOR: [REDACTED]
 ARCHITECT: [REDACTED]
 ADDRESS: [REDACTED]

DEPARTMENT OF PUBLIC WORKS, COUNTY OF SAN FRANCISCO
 ADDRESS: [REDACTED]

T M F
O N S

57
D
BU



INSPECTOR'S REPORT

WORK COMMENCED

194

WORK COMPLETED

194

715 Broadway

REPORTED

HOUSE NO.

STREET

ELECTRICAL

PLUMBING

BOILER OR PRESSURE VESSEL TAG OR NO.

TAG NO.

J. J. Stewart

INSPECTOR OF BUILDINGS

DEPARTMENT OF PUBLIC WORKS

BUREAU OF BUILDING INSPECTION

CITY AND COUNTY OF SAN FRANCISCO

OFFICIAL COPY



Write in Ink—File Two Copies

CITY AND COUNTY OF SAN FRANCISCO

DEPARTMENT OF PUBLIC WORKS

CENTRAL PERMIT BUREAU

APPLICATION FOR BUILDING PERMIT

ADDITIONS, ALTERATIONS OR REPAIRS

6-14-1948

Application is hereby made to the Department of Public Works of the City and County of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

- (1) Location 714 Steiny St
(2) Present use of building Vacant
(3) Use of building hereafter Dwelling
(4) Total Cost \$ 500.00
(5) Description of work to be done

Restore to original condition

(6) APPLICANT MUST FILL OUT COMPENSATION INSURANCE DATA ON REVERSE SIDE

- (7) Supervision of construction by
(8) Architect
(9) Engineer
(10) Plans and specifications prepared by
(11) Contractor

I hereby certify and agree, if a permit is issued herein that all the provisions of the BUILDING LAW AND BUILDING ZONE ORDINANCES, SET-BACK LINE REQUIREMENTS AND FIRE ORDINANCES OF THE CITY AND COUNTY OF SAN FRANCISCO, the STATE HOUSING ACT OF CALIFORNIA, and of said permit will be complied with...

- (12) Owner
Address
By

THE DEPARTMENT WILL CALL UP TELEPHONE NO. IF ANY ALTERATIONS OR CHANGES ARE NECESSARY ON THE PLANS SUBMITTED.



BLDG. FORM

No. 3

APPLICATION

Owner

FOR PERMIT TO MAKE

ADDITIONS, ALTERATIONS or REPAIRS TO BUILDING

Location 714 Steiner St

Cost \$ 500.00

JUN 14 1948

Filed 194

Approved:

APPROVED
Superintendent of Public Works
JUN 29 1948

Superintendent of Building Inspection

Permit No. 1108642

OCT 24 1948

Issued 194

- REFER TO
- BUREAU OF ENGINEERING
 - ECI STRUCT. ENGINEER
 - BOILER INSPECTOR
 - ART COMMISSION
 - DEPT. OF PUBLIC HEALTH

Report favorable
Replace partitions, ect
that have been removed
for use as a dwelling only

Janded Stewart
10.25.45

OWNER'S ATTORNEY

Roger F. W. [Signature]

OWNER'S PERMIT NO. 1108642
APPROVED
JUN 14 1948
SUPERINTENDENT OF BUILDING INSPECTION

APPROVED:

Superintendent Bureau of Building Inspection

Zoning: 2nd

Approved:

City Planning Commission

Approved:

Director of Public Health

Approved:

Department of Electricity

Approved:

Bureau of Engineering

Approved:

Art Commission

Division of Fire Prevention and Investigation

Workmen's Compensation Insurance Policy or Certificate filed with Central Permit Bureau

No Workmen's Compensation Insurance Policy or Certificate on file for reason of exclusion checked: (a) No one to be employed

(b) Casual labor only to be employed

(c) Services or labor to be performed in return for aid or sustenance only, received from any religious, charitable or relief organization

10/25/45



SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION

BLDG. FORM

APPLICANT: *Raymond J. ...* Owner

FOR PERMIT TO MAKE ADDITIONS, ALTERATIONS or REPAIRS TO BUILDING

Location: *714 ...*

Cost: *500.00*

JUN 14 1948

Approved: *[Signature]*

Superintendent Bureau of Building Inspection

Permit No. *170864*

ISSUED OCT 24 1948

REFER TO BUREAU OF ENGINEERING ARCHITECT, ENGINEER, ELEC. INSPECTOR, ART COMMISSION, DEPT. OF PUBLIC HEALTH

Refer to ... Police - partitions ... that have been removed for use as a dwelling only

Dan ... 10.25.48

OWNER'S REPRESENTATIVE

[Signature]

Handwritten notes and stamps, including 'RECEIVED' and 'APPROVED' marks.

Approved:

Superintendent Bureau of Building Inspection

Zoning: *2nd*

Approved:

[Signature]
City Planning Commission

Approved:

Director of Public Health

Approved:

Department of Electricity

Approved:

Bureau of Engineering

Approved:

Art Commission

APPROVED:

Handwritten initials and date.

Division of Fire Prevention and Investigation

Workmen's Compensation Insurance Policy or Certificate filed with Central Permit Bureau

No Workmen's Compensation Insurance Policy or Certificate on file for reason of exclusion checked:

(a) No one to be employed

(b) Casual labor only to be employed

(c) Services or labor to be performed in return for aid or assistance only, received from any religious, charitable or relief organization

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SAN FRANCISCO
DEPARTMENT OF PUBLIC WORKS
BUILDING INSPECTION

SC0
CENTRAL PERMIT BUREAU FORM
BLDG. FORM

Write in Ink—File Two Copies

CITY AND COUNTY OF SAN FRANCISCO

DEPARTMENT OF PUBLIC WORKS

CENTRAL PERMIT BUREAU

APPLICATION FOR BUILDING PERMIT

ADDITIONS, ALTERATIONS OR REPAIRS

3

6-14-1948

Application is hereby made to the Department of Public Works of the City and County of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

- (1) Location 714 Steiny St
- (2) Present use of building Vacant No. of families _____
- (3) Use of building hereafter Dwelling No. of families 1
- (4) Total Cost \$ 500.00 ELECTRIC WORK TO BE PERFORMED YES NO
- (5) Description of work to be done PLUMBING WORK TO BE PERFORMED YES NO

Restore to original condition

(6) APPLICANT MUST FILL OUT COMPENSATION INSURANCE DATA ON REVERSE SIDE.

(7) Supervision of construction by _____

Address _____

(8) Architect _____

Certificate No. _____ License No. _____
State of California _____ City and County of San Francisco

Address _____

(9) Engineer _____

Certificate No. _____ License No. _____
State of California _____ City and County of San Francisco

Address _____

(10) Plans and specifications prepared by
Other than Architect or Engineer _____

Address _____

(11) Contractor Owner

License No. _____ License No. _____
State of California _____ City and County of San Francisco

Address _____

I hereby certify and agree, if a permit is issued herein that all the provisions of the BUILDING LAW AND BUILDING ZONE ORDINANCES, SET-BACK LINE REQUIREMENTS AND FIRE ORDINANCES OF THE CITY AND COUNTY OF SAN FRANCISCO, the STATE HOUSING ACT OF CALIFORNIA, and of said permit will be complied with, whether specified herein or shown on any plans submitted herewith, and hereby agree to save, indemnify and keep harmless the City and County of San Francisco and its officials against all damages, liabilities, judgments, costs and expenses which may in anywise accrue against said City and County or any of its officials in consequence of the granting of this permit, or from the use or occupancy of any sidewalk, street, or sub-sidewalk space by virtue thereof, and will in all things strictly comply with the conditions of this permit. The foregoing covenants shall be binding upon the owner of said property, the applicant, their heirs, successors and assigns.

(12) Owner John Ludwig Rapp J. Weisfeldt

Address 718 Steiny

By Owner

Owner's Authorized Agent

THE DEPARTMENT WILL CALL UP TELEPHONE NO. 5878
IF ANY ALTERATIONS OR CHANGES ARE NECESSARY ON THE PLANS SUBMITTED.



BLDG. FORM

No. 13

APPLICATION FOR

Owner

FOR PERMIT TO MAKE

ADDITIONS, ALTERATIONS OR REPAIRS TO BUILDING

Location 714 Steiner St

Cost \$ 500.00

JUN 14 1948

Filed _____ 194

Approved: _____

W. W. W. W. W.

Superintendent Bureau of Building Inspection

Permit No. _____

Issued _____

194

- REFER TO BUREAU OF ENGINEERING
- IN STRUCT. ENGINEER
- ELEVATOR INSPECTOR
- ART COMMISSION
- DEPT. OF PUBLIC HEALTH

Report provided
Replace partitions in respect
that have been removed
for use as a dwelling only

J. J. Stewart
10.25.48

OWNER'S AUTHORITY
Robert F. W. W. W.

ACCORD NO. 17361
 PLASTER'S ENTRY NO. 20
 T. J. W. W. W.
 12/3/48

APPROVED:

Approved:

Superintendent Bureau of Building Inspection

Zoning: 2nd

Approved:

City Expanding Commission

Approved:

Director of Public Health

Approved:

Department of Electricity

Approved:

Bureau of Engineering

Approved:

Art Commission

Division of Fire Prevention and Investigation

Workers' Compensation Insurance Policy or Certificate filed with Central Bureau

No Workers' Compensation Insurance Policy or Certificate on file for reason of exclusion checked: (a) No one to be employed

(b) Casual labor only to be employed

(c) Services or labor to be performed in return for aid or sustenance only, received from any religious, charitable or relief organization

OFFICIAL COPY

SAN FRANCISCO
CENTRAL PERMIT BUREAU F. NO. 488
DEPARTMENT OF PUBLIC WORKS
BLDG. FORM
BUILDING INSPECTION

Write in Ink—File Two Copies

CITY AND COUNTY OF SAN FRANCISCO

CENTRAL PERMIT BUREAU

APPLICATION FOR BUILDING PERMIT

ADDITIONS, ALTERATIONS OR REPAIRS

6-14-1948

Application is hereby made to the Department of Public Works of the City and County of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

- (1) Location 714-Steiner St.
- (2) Present use of building Vacant No. of families _____
- (3) Use of building hereafter Dwelling No. of families 1
- (4) Total Cost \$ 500⁰⁰ ELECTRIC WORK TO BE PERFORMED YES _____ NO
- (5) Description of work to be done _____ PLUMBING WORK TO BE PERFORMED YES NO _____

Restore to original condition

(6) APPLICANT MUST FILL OUT COMPENSATION INSURANCE DATA ON REVERSE SIDE.

(7) Supervision of construction by _____

Address _____

(8) Architect _____

Certificate No. _____ License No. _____
State of California _____ City and County of San Francisco

Address _____

(9) Engineer _____

Certificate No. _____ License No. _____
State of California _____ City and County of San Francisco

Address _____

(10) Plans and specifications prepared by
Other than Architect or Engineer _____

Address _____

(11) Contractor Owner

License No. _____ License No. _____
State of California _____ City and County of San Francisco

Address _____

I hereby certify and agree, if a permit is issued herein that all the provisions of the BUILDING LAW AND BUILDING ZONE ORDINANCES, SET-BACK LINE REQUIREMENTS AND FIRE ORDINANCES OF THE CITY AND COUNTY OF SAN FRANCISCO, the STATE HOUSING ACT OF CALIFORNIA, and of said permit will be complied with, whether specified herein or shown on any plans submitted herewith, and hereby agree to save, indemnify and keep harmless the City and County of San Francisco and its officials against all damages, liabilities, judgments, costs and expenses which may in anywise accrue against said City and County or any of its officials in consequence of the granting of this permit, or from the use or occupancy of any sidewalk, street, or sub-sidewalk space by virtue thereof, and will in all things strictly comply with the conditions of this permit. The foregoing covenants shall be binding upon the owner of said property, the applicant, their heirs, successors and assigns.

(12) Owner J. J. Cuddihy Roger J. Winfield

Address 718 Steiner

By Owner

Owner's Authorized Agent

THE DEPARTMENT WILL CALL UP TELEPHONE NO. 9.0.7-5878
IF ANY ALTERATIONS OR CHANGES ARE NECESSARY ON THE PLANS SUBMITTED.

OWNER
Roger F. Middlefold
ADDRESS
714 Steiner St.

3

APPL.

LOCATION
714 Steiner St.
BLOCK NO.
3

ESTIMATED COST
\$ 900.
FILE
10-1
DATE APPLICATION
10/20/48

PERMIT ISSUED
Oct. 20, 1948
CLASS OF CONSTRUCTION
Alt. Drilling

PERMIT NO.
20000-10-26-48

6111111

PURPOSE OF OCCUPANCY

NO. OF STORIES

NO. OF FAMILIES

PLANS

ELECTRIC

PLUMBING

NO

NO

CONTRACTOR

ADDRESS

ALTERATIONS
Alt. Drilling

BILL BOARDS

SIGNS (ELECTRIC)

SIGNS (OTHER)
DIAGRAM
NO
ACT 2-9-1948

ADDRESS WORK TO BE PERFORMED

ADDRESS

ADDRESS WORK TO BE PERFORMED

ADDRESS

DEPT. BUREAU OF BUILDING INSPECTION
CITY AND COUNTY OF SAN FRANCISCO

BUILDING RECORD
CITY AND COUNTY OF SAN FRANCISCO

CENTRAL PERMIT BUREAU

OWNER

LOCATION

Roger F. Middlefold

714 Steiner St.

APPL. NO.

10000



INSPECTOR'S REPORT

WORK COMMENCED *Oct 2* 194*5*
WORK COMPLETED *3-15* 194*9*

- Oct 25 / 1st floor*
- Nov 18 Ceilings*
- Dec 17 - Put down plaster*
- 1-2-27 - Paristole on floor*
- 1-10 finishing*
- 2-2 Party*
- 2-18 "*
- 3-15 Complete*

Dist. No.

Donald Stewart
INSPECTOR OF BUILDINGS

DEPARTMENT OF PUBLIC WORKS

BUREAU OF BUILDING INSPECTION

CITY AND COUNTY OF SAN FRANCISCO

Boiler or Pressure Vessel (Yes or No) *None*

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF PUBLIC WORKS
BUREAU OF BUILDING INSPECTION

108612

CERTIFICATE OF FINAL COMPLETION

714 Alameda

Ermauer Building
Construction

March 15, 1914

Demond Miller

UNDER THE PROVISIONS OF SEC. 807, SAN FRANCISCO BUILDING CODE, THIS BUILDING MAY NOW BE OCCUPIED

OFFICIAL COPY

SAN FRANCISCO



CENTRAL PERMIT BUREAU FORM

Write in Ink—File Two Copies

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF PUBLIC WORKS

RECEIVED
DEPT. OF PUBLIC WORKS
CENTRAL PERMIT BUREAU
1960 JUN 27 PM 3:17

DEPARTMENT OF PUBLIC WORKS
BUILDING INSPECTION DIV. FORM

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS WILLING INSPECTION

3

Application is hereby made to the Department of Public Works of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

- (1) Location 714 Steiner St
- (2) Total Cost \$ 6,000 (3) No. of stories 3 (4) Basement Yes
Yes or No
- (5) Present use of building Dwelling (6) No. of families 1
- (7) Proposed use of building Dwelling (8) No. of families 2
- (9) Type of construction Frame (10) R 5
1, 2, 3, 4, or 5 Building Code Occupancy Classification
- (11) Any other building on lot No (Must be shown on plot plan if answer is Yes.)
Yes or No
- (12) Does this alteration create an additional floor of occupancy No
Yes or No
- (13) Does this alteration create an additional story to the building No
Yes or No
- (14) Electrical work to be performed No Plumbing work to be performed No
Yes or No Yes or No
- (15) Ground floor area of building 1125 sq. ft. (16) Height of building 36 ft.
- (17) Detailed description of work to be done

Make Alterations According to Plans & Specifications alter to 2 family

(18) No portion of building or structure or scaffolding used during construction, to be closer than 6'0" to any wire containing more than 750 volts. See Sec. 385, California Penal Code.

(19) Supervision of construction by _____ Address _____

(20) General contractor Timothy Evans California License No. 120064
Address 6320 Baker St, Oakland

(21) Architect _____ California Certificate No. _____
Address _____

(22) Engineer _____ California Certificate No. _____
Address _____

(23) I hereby certify and agree that if a permit is issued for the construction described in this application, all the provisions of the permit and all laws and ordinances applicable thereto will be complied with. I further agree to save San Francisco and its officials and employees harmless from all costs and damages which may accrue from use or occupancy of the sidewalk, street or subsidewalk space or from anything else in connection with the work included in the permit. The foregoing covenant shall be binding upon the owner of said property, the applicant, their heirs, successors and assignees.

(24) Owner Mrs. Mildred Freeman (Phone _____)
(For Contact by Bureau)

Address 707 Scott St

By Timothy Evans Address 6320 Baker St.
Owner's Authorized Agent to be Owner's Authorized Architect, Engineer or General Contractor.

PERMIT OF OCCUPANCY MUST BE OBTAINED ON COMPLETION OF HOTEL OR APARTMENT HOUSE PURSUANT TO SEC. 808 SAN FRANCISCO BUILDING CODE.



Approved: B-5
Zone
CPC Setback

Approved: M. P. Ross 6/27/60
Department of City Planning

Comply with City Dept Rego

Approved: Richard S. Conti - 7.6.60
Bureau of Fire Prevention & Public Safety

Approved: _____
Structural Engineer, Bureau Building Inspection

_____ Bureau of Engineering

7-9-60 Approved: Foll & Family
W. L. 7

J. D. Bamford
ELLIS D. SOX
Department of Public Health

JUL 8 1960

Approved: _____
Department of Electricity

Approved: _____
Art Commission

Approved: _____
Boiler Inspector

Workman's Compensation Insurance Policy or Certificate filed with Central Permit Bureau

No Workman's Compensation Insurance Policy or Certificate on file for reason of exclusion checked:

- (a) No one to be employed
- (b) Casual labor only to be employed
- (c) Services or labor to be performed in return for aid or assistance only, received from any religious, charitable or relief organization

REFER TO:

- Bureau of Engineering
- HBI Struct. Engineer
- Boiler Inspector
- Art Commission
- Dept. of Public Health

Approved: 7/5/60

Remove attic spout
plumbing and bath
fixtures
Attic storage
only
Rebuild rear stairs
Repair front stairs
5 applications must
be posted on premises

J. H. M. M. M.
Building Inspector, Bureau of Building Inspection

I agree to comply with all conditions or stipulations of the various Bureaus or Departments noted herein.

James H. Evans
Owner or Owner's Authorized Agent

BLDG. FORM

3

APPLICATION OF

Mrs Mildred Freeman Owner

FOR PERMIT TO MAKE
ADDITIONS, ALTERATIONS or REPAIRS
TO BUILDING

714 Stanton
Location 707 Scott St

Total Cost \$ 6,000.00

Filed _____ 19__

Approved: _____

APPROVED
A
Dept. Public Works

JUL 21 1960

Robert C. Long
SUPERVISOR
BUREAU OF BUILDING INSPECTION

Superintendent, Bureau of Building Inspection

Permit No. 213157

Issued JUL 2 - 1960 19__

OFFICIAL COPY



FOR DEPARTMENTAL USE ONLY

APPROVED FOR ISSUANCE

APPROVED Dept. Public Works

1/20/75 Alfred Holdway DEPARTMENT OF PUBLIC WORKS

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

APPLICATION IS HEREBY MADE BY THE DEPARTMENT OF PUBLIC WORKS OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HEREWITH AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREAFTER SET FORTH:

(1) STREET ADDRESS OF JOB

714 STEINER ST

(2) ESTIMATED COST OF JOB

\$ 13,000.00 G.O.W.

DATE FILED PERMITS FOR RECEIPT NO.

PERMIT NO. 386743 DATED 1/20/75

DESCRIPTION OF EXISTING BUILDING

Table with 6 columns: (A) TYPE OF CONSTRUCTION, (B) NUMBER OF STORIES OF OCCUPANCY, (C) NUMBER OF BUSINESS AND CELLARS, (D) PROPOSED USE, (E) BUILDING CODE OCCUP. CLASS, (F) TYPE OF CHANGING OVER.

DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

Table with 6 columns: (A) TYPE OF CONSTRUCTION, (B) NUMBER OF STORIES OF OCCUPANCY, (C) NUMBER OF BUSINESS AND CELLARS, (D) PROPOSED USE, (E) BUILDING CODE OCCUP. CLASS, (F) TYPE OF CHANGING OVER. Includes sub-sections for alterations like 'DOES THIS ALTERATION CREATE ADDITIONAL STORY TO BUILDING?' and 'WILL THERE BE ANY CHANGES TO EXISTING STRUCTURE?'.

(3) ARCHITECT OR ENGINEER FOR DESIGN ADDRESS: P.C. SMITH 101 RANDOLL ST. CALIF. LICENSE NO. 72245

(4) ARCHITECT OR ENGINEER FOR CONSTRUCTION ADDRESS: CALIF. LICENSE NO.

(5) OWNER - NAME SHOW ONE ADDRESS: S. LUM E 2. WALK 714 STEINER. PHONE FOR CONSTRUCTION

(6) WHERE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION REFERENCE TO PLANS IS NOT NECESSARY.

TO CONFORM TO F.A.C.E. SPECIFICATIONS FILE # 803-19-5

IMPORTANT NOTICES

Plans shall be made to the designer of the occupancy or use without full compliance with Building Permit including such changes. No portion of building or structure or scaffolding used during construction to be above than 60' in any one direction over than 720 sq. ft. Any violation of this code may be appealed. Building not to be occupied until certificate of final completion is posted on the building or permit of occupancy granted. Approval of this application does not constitute an approval for the electrical wiring or plumbing installations. A separate permit for the wiring and plumbing must be obtained. Separate permits are required if answer is 'YES' to any of above questions (13) (14) (17) (20) or (22). THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED BY THIS APPLICATION, ALL THE RESPONSIBILITIES OF THIS PERMIT AND ALL LAWS AND ORDINANCES THEREON SHALL BE COMPLIED WITH. I CERTIFY THAT IN THE PERFORMANCE OF THE ABOVE WORK I SHALL NOT EMPLOY ANY PERSON IN VIOLATION OF THE LABOR CODE OF CALIFORNIA, RELATIVE TO WORKMEN'S COMPENSATION INSURANCE. I FURTHER AGREE TO SAVE SAN FRANCISCO AND ITS OFFICIALS AND EMPLOYEES HARMLESS FROM ALL COSTS AND DAMAGES WHICH MAY ACCRUE FROM USE OR OCCUPANCY OF THE SIDEWALK, STREET OR SIDE-SIDEWALK SPACE OR FROM ANYTHING ELSE IN CONNECTION WITH THE WORK ENCLOSED IN THE PERMIT. THE FOREGOING COVENANT SHALL BE BINDING UPON THE OWNER OF SAID PROPERTY, THE APPLICANT, THEIR HEIRS, SUCCESSORS AND ASSIGNEES.

SIGNATURE OF OWNER OR AUTHORIZED AGENT

CHECK APPROPRIATE BOX: OWNER, ARCHITECT, ENGINEER, LESSEE, AGENT WITH POWER OF ATTORNEY, CONTRACTOR, ATTORNEY IN FACT

OFFICIAL COPY



CONDITIONS AND STIPULATIONS

<p>APPROVED: <i>Approved - Subject to requirements listed in Property Conservation Report of Condition.</i></p> <p><i>Any electrical or plumbing work will require appropriate separate permits.</i></p> <p><i>A.D. Nelson</i> BUILDING INSPECTOR, BUREAU OF BURG. INSP.</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<p>APPROVED: <i>Not reviewed by the Department of City Planning. Issuance of the requested permit constitutes no indication that use of the property does or does not conform to the City Planning Code.</i></p> <p><i>[Signature]</i> DEPARTMENT OF CITY PLANNING</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<p>APPROVED: _____</p> <p>BUREAU OF FIRE PREVENTION & PUBLIC SAFETY</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<p>APPROVED: _____</p> <p>CIVIL ENGINEER, BUREAU OF BURG. INSPECTION</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<p>APPROVED: _____</p> <p>BUREAU OF ENGINEERING</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<p>APPROVED: _____</p> <p>DEPARTMENT OF PUBLIC HEALTH</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<p>APPROVED: _____</p> <p>REDEVELOPMENT AGENCY</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<p>APPROVED: _____</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>

VOID SECTION IF NOT SAVED AND VALUE OF ALL MEMORANDUMS NOTIFIED WITHIN PERMITTED

I AGREE TO COMPLY WITH ALL CONDITIONS OR STIPULATIONS OF THE VARIOUS BUREAUS OR DEPARTMENTS NOTED ON THIS APPLICATION AND ATTACHED STATEMENTS OF CONDITIONS OR STIPULATIONS, IF ANY, MADE A PART OF THIS APPLICATION.

NUMBER OF ATTACHMENTS:

[Signature]
SIGNATURE OF OWNER, LESSEE OR AUTHORIZED AGENT FOR OWNER OR LESSEE

OFFICIAL COPY



OWNER OR LESSEE		JOB LOCATION		APP. NO		
S. Lun & Z. Wong		714 Steiner Street		441179		
OWNER OR LESSEE'S ADDRESS		BLOCK - LOT		HOUSE NO		
ESTIMATED COST		DATE APPLICATION				
\$ 13,000.00		1/20/75				
PERMIT ISSUED		PERMIT NO.		INSPECTOR		
1/20/75		386743		A. O. Nelson		
ERECT/ALTER	BLDG. TYPE	OCCUPANCY		PLANS	NUMBER OF	
		CODE	DESCRIPTION		STORIES	FAM.
Alter	SN	1	Dwelling		3	2
CONTRACTOR		ADDRESS				
Robert Cole Salth		101 Randall St. SF				
ARCHITECT		ADDRESS				
ENGINEER		ADDRESS				
BUILDING RECORD DEPARTMENT OF PUBLIC WORKS CITY AND COUNTY OF SAN FRANCISCO						
S. Lun & Z. Wong		714 Steiner Street		441179		
OWNER OR LESSEE		JOB LOCATION		APP. NO.		

BUILDING INSPECTORS JOB RECORD

DATE: 1/1/75
 DEPARTMENT OF
 BUILDING INSPECTION

WORK COMMENCED WORK IN PROGRESS

1 1 FOUNDATION FORMS INSPECTED. O.K. TO POUR

1 1 LATHING PERMISSION TAG POSTED

1 1 FLUES BY _____ NO. _____

1 1 EXTERIOR OR STRUCTURAL PLASTERING OK

1 1 ALL SPECIAL INSPECTION REPORTS RECEIVED.

1 1 FIRE ESCAPE INSTALLED PER APPROVED PLAN.

1/13/75 REPAIR - WINDOWS, FLOORS, DOORS.

2/18/75 WORK IN PROGRESS

3/20/75 WORK IN PROGRESS

4/10/75 PAINTING.

5/11/75 PAINTING

1 1

1 1

1 1

1 1

1 1

1 1

5/15/75 WORK COMPLETED PER F.A.C.E.

1 1 FILE # 803-19-5

WORK COMPLETED. FINAL CERTIFICATE POSTED.

Appl. #441179

A. D. Nelson
 BUILDING INSPECTOR

OFFICIAL COPY

SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION

APPROVED Dept. Public Works

JUL 17 1984

BE CHAIRSP... DIST 14... TITLE 24.2... YES NO... EXPEDIENT

APPROVED FOR ISSUANCE JUL 12 1984

378 APPLICATION NUMBER 08100824 NUMBER: OSHA APPROVAL REQD

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS

FORM 3 [X] PRE-APPROVAL SITE INSPECTION REQUIRED FORM 8 [] OVER-THE-COUNTER ISSUANCE

OFFICE COPY APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF PUBLIC WORKS OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HEREWITH AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

0 NUMBER OF PLAN SETS N/A

DATE FILED 6/22/84 PERMIT NO. 518061 PERMITS RECEIPT NO. 130398 STREET ADDRESS OF JOB 714 STENER ST. ESTIMATED COST OF JOB 8,000

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

DESCRIPTION OF EXISTING BUILDING (A) TYPE OF CONSTR. 5-N (B) NO. OF STORES OF OCCUPANCY 3 (C) NO. OF BASEMENTS AND CELLARS 1 (D) PROPOSED USE RESIDENTIAL (E) OCCUP. CLASS R-3 (F) NO. OF DWELLING UNITS 2

ADDITIONAL INFORMATION - FORM 3 APPLICANTS ONLY

(17) DOES THIS ALTERATION CREATE ADDITIONAL STORY TO BUILDING? YES [] NO [X] (18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT FT. (19) DOES THIS ALTERATION CREATE DECK OR PORCH, EXTENSION TO BUILDING? YES [] NO [X] (20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA SQ. FT.

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit... No portion of building or structure or scaffolding used during construction, to be closer than 40" to any wire containing more than 750 volts... ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE: The Permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands and actions.

- () I. Certificate of Consent to Self-insure issued by the Director of Industrial Relations. () II. Certificate of Workman's Compensation Insurance issued by an admitted insurer. () III. An exact copy or duplicate of (I) certified by the Director or (II) certified by the insurer. (X) IV. I certify that in the performance of the work for which this Permit is issued, I shall not employ any person in any manner so as to become subject to the workman's compensation laws of California, I further acknowledge that I understand, in the event that I should become subject to the workman's compensation provisions of the Labor Code of California and fail to comply forthwith with the provisions of Section 3800 of the Labor Code, that the Permit herein applied for shall be deemed revoked. () VI. I certify as the owner (or the agent of the owner) that in the performance of the work for which this Permit is issued, I will employ a contractor who complies with the workman's compensation laws of California and whomever on file, or prior to the commencement of any work, will file, with the Central Permit Bureau evidence that workman's compensation insurance is carried.

CHECK APPROPRIATE BOX OWNER [] ARCHITECT [] ENGINEER [] LESSEE [] AGENT WITH POWER OF ATTORNEY [] CONTRACTOR [] ATTORNEY IN FACT APPLICANT'S CERTIFICATION I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPLIED WITH.

Applicant's Signature Date 6-22-84

OFFICIAL COPY

SAN FRANCISCO
DEPARTMENT OF
BUILDING INSPECTION

CONDITIONS AND STIPULATIONS

REFER TO: APPROVED:

DATE: _____
REASON: _____

Notify Building Inspector at start of Job.

[Signature]
BUILDING INSPECTOR, BUR. OF BLDG. INSP.

NOTIFIED MR. _____

APPROVED:

OFFICE COPY

Not reviewed by the Department of City Planning. Issuance of the requested permit constitutes no indication that use of this property does or does not conform to the City Planning Code.

DEPARTMENT OF CITY PLANNING

DATE: _____
REASON: _____

NOTIFIED MR. _____

APPROVED:

BUREAU OF FIRE PREVENTION & PUBLIC SAFETY

DATE: _____
REASON: _____

NOTIFIED MR. _____

APPROVED:

CIVIL ENGINEER, BUR. OF BLDG. INSPECTION

DATE: _____
REASON: _____

NOTIFIED MR. _____

APPROVED:

BUREAU OF ENGINEERING

DATE: _____
REASON: _____

NOTIFIED MR. _____

APPROVED:

DEPARTMENT OF PUBLIC HEALTH

DATE: _____
REASON: _____

NOTIFIED MR. _____

APPROVED:

REDEVELOPMENT AGENCY

DATE: _____
REASON: _____

NOTIFIED MR. _____

APPROVED:

RESIDENTIAL-ENV. INSPECTOR, DIV. OF APT. & HOTEL INSP., S.B.I.

DATE: _____
REASON: _____

NOTIFIED MR. _____

APPROVED:

[Signature]
OWNER'S AUTHORIZED AGENT

DATE: _____
REASON: _____

NOTIFIED MR. _____

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

OFFICIAL COPY

SAN FRANCISCO

CENTRAL PERMIT BUREAU
450 McALLISTER STREET
SAN FRANCISCO, CA 94102
DEPARTMENT OF BUILDING INSPECTION

Appl. # _____
Address _____

LICENSED CONTRACTOR'S STATEMENT

Licensed Contractor's Declaration

Pursuant to the Business and Professions Code Sec. 7031.5, I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, and that my license is in full force and effect.

License Number _____ License Class _____

Expiration Date _____ Contractor _____

PRINT

SIGNATURE

Owner-Builder Declaration

I hereby affirm that I am exempt from the Contractor's License Law, Business and Professions Code (Sec. 7031.5). (Mark the appropriate box below.)

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044). I further acknowledge that I understand and agree that in the event that any work is commenced contrary to the representations contained herein, that the Permit herein applied for shall be deemed cancelled.

architect, agent

I, as owner, am contracting with licensed contractors to construct this project (Sec. 7044). I certify that at the time such contractors are selected, I will have them file a copy of this form (Licensed Contractors Declaration) prior to the commencement of any work. I further acknowledge that I understand and agree that, in the event that said contractors fail to file a copy of the Declaration with the Central Permit Bureau, that the Permit herein applied for shall be deemed cancelled.

I am exempt under Business and Professions Code Sec. _____

Reason _____

Architect (PRINT) _____

Date 6-22-84

Agent (PRINT) _____

Owner (PRINT) DWIGHT LUM

(SIGNATURE) 

NOTICE: "Any violation of the Bus. & Prof. Code Sec. 7031.5 by any permit applicant shall be subject to a civil penalty of not more than five hundred dollars (\$500)." Bus. & Prof. Code Sec. 7031.5.

OFFICIAL COPY



CERTIFICATION OF AUTHORIZED AGENT

I hereby certify that for the purpose of filing an application for a building or other permit with the Central Permit Bureau, or completion of any form related to the S.F. Building Code, or to City and County ordinances and regulations, or to State laws and codes, I am the agent of the owner and am authorized to sign all documents connected with this application or permit.

I declare under penalty of perjury that the foregoing is true and correct.

[Handwritten Signature]

Applicant's Signature

DWIGHT LAM

Type or Print Name

110326744

Identification (Drivers Lic. No., etc.)

[Handwritten Signature]

Owner/Lessee

6-22-84

Date

OFFICIAL COPY



WAIVER OF TIME RESTRICTION ON REQUESTS
FOR ADDITIONAL INFORMATION

I hereby waive all time restrictions relative to submission of additional information. This waiver applies to those provisions of law which limit the City and County of San Francisco's ability to require further information for this project application. These provisions of law include Sections 65943 and 65944 of Chapter 4.5 of Division 1 of Title 7 of the Government Code (Review and Approval of Development Projects).

Dwight Lum

Applicant's/Owner's Signature

DWIGHT LUM

Type or Print Name

6-22-84

Date

Application No.

714 STEINER ST.

Address

SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION

APPROVED Dept. Public Works

JUL 17 1984

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3 [X] PRE-APPROVAL SITE INSPECTION REQUIRED FORM 8 [] OVER-THE-COUNTER ISSUANCE

0 NUMBER OF PLAN SETS

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF PUBLIC WORKS OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

OFFICE COPY

APPROVED FOR ISSUANCE JUL 12 1984 378 8408824

SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS

Form fields: DATE (6/22/84), PERMIT NO. (518061), ADDRESS OF JOB (714 STENER ST.), ESTIMATED COST OF JOB (8,000), DATE (7/17/84)

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

Table with columns: (S) TYPE OF CONSTR., (S) NO. OF STORIES OF OCCUPANCY, (S) NO. OF ELEVATORS AND ESCALATORS, (P) PROPOSED USE, (S) OCCUP. CLASS, (P) NO. OF DWELLING UNITS. Includes rows for existing and proposed alterations.

Form fields: (13) OWNER (Dwight Lum), ADDRESS (714 Stener St.), PHONE FOR CONTACT BY BUREAU (567-0223), (14) NATURE OF ALL WORK TO BE PERFORMED (REPLACE BACK STAIRS - OLD STAIRS ROTTING AWAY)

ADDITIONAL INFORMATION - FORM 3 APPLICANTS ONLY

Table with columns: (17) DOES THE ALTERATION CREATE ADDITIONAL STORY TO BUILDING?, (18) IS 17' IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT, (19) DOES THE ALTERATION CREATE OR INCREASE EXTENSION TO BUILDING?, (20) IF YES, STATE NEW GROUPING FLOOR AREA, (21) WILL EXISTING OR NEW SUB-BOTTOM SPACE BE REMOVED OR ALTERED?, (22) WILL BUILDING EXTEND BEYOND PROPERTY LINE?, (23) ANY OTHER EXISTING CODE OR CITY OF YES, SHOW ON PLAN, (24) DOES THE ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY?

(25) ARCHITECT OR ENGINEER (CONSTRUCTION) ADDRESS

IMPORTANT NOTICES: No change shall be made in the character of the occupancy or use without first obtaining a Building Permit... CHECK APPROPRIATE BOX: OWNER [X], ARCHITECT [], ENGINEER [], LESSEE [], AGENT WITH POWER OF ATTORNEY [], CONTRACTOR [], ATTORNEY IN FACT []

APPLICANT'S CERTIFICATION: I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPLIED WITH.

NOTICE TO APPLICANT: HOLD HARMLESS CLAUSE: The Permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages... I certify that in the performance of the work for which this Permit is issued, I shall not employ any person in any manner so as to become subject to the workman's compensation laws of California...

Signature: Dwight Lum, Date: 6-22-84

OFFICIAL COPY



CONDITIONS AND STIPULATIONS

<p>APPROVED: _____</p> <p><i>Notify Building Inspector at start of job.</i></p> <p><i>7-11-84</i></p> <p>BUILDING INSPECTOR, DIV. OF BLDG. Insp.</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<p>APPROVED: _____</p> <p>OFFICE COPY</p> <p>Reviewed by the Department of City Planning. Issuance of the requested permit constitutes no indication that use of this property does or does not conform to the City Planning Code.</p> <p>DEPARTMENT OF CITY PLANNING</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<p>APPROVED: _____</p> <p><input type="checkbox"/></p> <p>BUREAU OF FIRE PREVENTION & PUBLIC SAFETY</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<p>APPROVED: _____</p> <p><input type="checkbox"/></p> <p>CIVIL ENGINEER, DIV. OF BLDG. INSPECTION</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<p>APPROVED: _____</p> <p><input type="checkbox"/></p> <p>BUREAU OF ENGINEERING</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<p>APPROVED: _____</p> <p><input type="checkbox"/></p> <p>DEPARTMENT OF PUBLIC HEALTH</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<p>APPROVED: _____</p> <p><input type="checkbox"/></p> <p>REDEVELOPMENT AGENCY</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<p>APPROVED: _____</p> <p><input type="checkbox"/></p> <p>RESIDENTAL UNIT INSPECTOR, DIV. OF AP & HOTEL Insp. & S.</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<p>APPROVED: _____</p> <p><input type="checkbox"/></p> <p>_____</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments, name on this document, and approved conditions of conditions or stipulations, which are hereby making part of the conditions.

Number of conditions: _____

[Signature]
REDEVELOPMENT AGENCY



CENTRAL PERMIT BUREAU
450 McALLISTER STREET
SAN FRANCISCO, CA 94102

Appl. # _____
Address _____

LICENSED CONTRACTOR'S STATEMENT

Licensed Contractor's Declaration

Pursuant to the Business and Professions Code Sec. 7031.5, I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, and that my license is in full force and effect.

License Number _____ License Class _____
Expiration Date _____ Contractor _____
PRINT

Owner-Builder Declaration

SIGNATURE

I hereby affirm that I am exempt from the Contractor's License Law, Business and Professions Code (Sec. 7031.5). (Mark the appropriate box below.)

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044). I further acknowledge that I understand and agree that in the event that any work is commenced contrary to the representations contained herein, that the Permit herein applied for shall be deemed cancelled.

_____ architect, agent

I, as owner, am contracting with licensed contractors to construct this project (Sec. 7044). I certify that at the time such contractors are selected, I will have them file a copy of this form (Licensed Contractors Declaration) prior to the commencement of any work. I further acknowledge that I understand and agree that, in the event that said contractors fail to file a copy of the Declaration with the Central Permit Bureau, that the Permit herein applied for shall be deemed cancelled.

I am exempt under Business and Professions Code Sec. _____

Reason _____

Date 6-22-84 _____

Architect (PRINT) _____

Agent (PRINT) _____

Owner (PRINT) DWIGHT LUI

(SIGNATURE) _____

NOTICE: "Any violation of the Bus. & Prof. Code Sec. 7031.5 by any permit applicant shall be subject to a civil penalty of not more than five hundred dollars (\$500)." Bus. & Prof. Code Sec. 7031.5.



CERTIFICATION OF AUTHORIZED AGENT

I hereby certify that for the purpose of filing an application for a building or other permit with the Central Permit Bureau, or completion of any form related to the S.F. Building Code, or to City and County ordinances and regulations, or to State laws and codes, I am the agent of the owner and am authorized to sign all documents connected with this application or permit.

I declare under penalty of perjury that the foregoing is true and correct.

[Handwritten Signature]
Applicant's Signature

DAUGHT LAM
Type or Print Name

111326744
Identification (Drivers Lic. No., etc.)

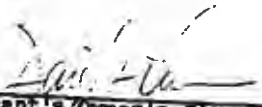
[Handwritten Signature]
Owner/lessee

6-22-54
Date



WAIVER OF TIME RESTRICTION ON REQUESTS
FOR ADDITIONAL INFORMATION

I hereby waive all time restrictions relative to submission of additional information. This waiver applies to those provisions of law which limit the City and County of San Francisco's ability to require further information for this project application. These provisions of law include Sections 65943 and 65944 of Chapter 4.5 of Division 1 of Title 7 of the Government Code (Review and Approval of Development Projects).


Applicant's/Owner's Signature

Dought Linn
Type of Print Name

6-22-86
Date

Application No.

714 SEINER ST.
Address

OFFICIAL COPY



ADDRESS OF JOB		BLOCK/LOT		APPLICATION NO.	
714 STEINER ST		0803 /019		8408824	
OWNER NAME				TELEPHONE	
DWIGHT LUM				567-0523	
ESTIMATED COST	FILE DATE	DISPOSITION	DISPOSITION DATE	PERMIT NO	EXPIRE DATE
\$8,000	6/22/84	ISSUED	07/17/84	518061	07/17/85
FORM CONST TYPE	OCCUPANCY CODES	PLANS	STORIES	UNITS	DISTRICT
3 5 R-3		0	3	2	BID-INSP 14
CONTACT NAME				TELEPHONE	
STANDARD DESCRIPTION/BLDG USE				OTHER DESCRIPTION	
APARTMENTS				REPLACE BACK STAIRS	
SPECIAL INSPECTIONS?	NO	FIRE ZONE			
SPECIAL USE DISTRICT		TIDF	NO		
		PENALTY	NO		
				COMPLIANCE WITH REPORTS	
NOTES					
PERMIT INSPECTION RECORD DEPARTMENT OF PUBLIC WORKS CITY AND COUNTY OF SAN FRANCISCO BUILDING INSPECTION JOB CARD					

OFFICIAL COPY

SAN FRANCISCO
DATE
3/26/85
DEPARTMENT
BUILDING INSPECTION

BUILDING INSPECTORS' JOB RECORD

Edgell

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~~WORK COMPLETED FINAL CERTIFICATE POSTED~~

APP. NO.

8468824

[Signature]

BUILDING INSPECTOR

OFFICIAL COPY



REEROOFING

APPROVED
City of Building Insp

JUL 10 2008

APPROVED ASSISTANCE
JUL 10 2008

BDDG FORM 3/8
Application Number 2008-07-10-6466

OSHA APPROVAL REQ

PLEASE CALL THE BUILDING INSPECTION DIVISION FOR A FINAL INSPECTION APPOINTMENT NEW OR REPLACEMENT SHEATHING AND SLIGHT REPAIRS REQUIRING A SEPARATE BUILDING PERMIT

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3 [] OTHER AGENCIES REVIEW REQUIRED
FORM 8 [X] OVER THE COUNTER ISSUANCE
NUMBER OF PLAN SETS 1/109

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH

Table with 4 columns: DATE FILED, FILING FEE RECEIPT NO, (1) STREET ADDRESS OF JOB, BLOCK & LOT. Includes permit number 1159979 and cost \$19,000.

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING and DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION. Includes details on type of construction, use, and proposed changes.

IMPORTANT NOTICES
No change shall be made in the character of the use of any building without the approval of the Board of Building Permitting...

NOTICE TO APPLICANT
HOLD HARMLESS CLAUSE
I hereby affirm and I represent that I am the owner of the property...

CHECK APPROPRIATE BOX
[] OWNER [] ARCHITECT
[] LESSOR [] AGENT
[X] CONTRACTOR [] ENGINEER
APPLICANT'S CERTIFICATION
I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION...

OFFICIAL COPY

SAN FRANCISCO

CONDITIONS AND STIPULATIONS

DEPARTMENT OF
BUILDING INSPECTION

REFER TO APPROVED

**THE DEPT INSPECTION SERVICE'S (BUILDING) AT 6180 ET 14350
BUREAU FROM 9:00 AM TO 3:00 PM PRIOR TO THE START OF WORK
ON THE BUILDING PERMIT APPLICATION. REFER TO THE
APPLICATION IS APPROVED AND MUST BE INSPECTED BY THE
BUILDING OR ELECTRICAL PLUMBING AND MECHANICAL DEPARTMENT
AN APPROVAL OF THE BUILDING WORK MUST BE OBTAINED BEFORE IN
ACCORDANCE WITH ALL APPLICABLE CODES. ANY ALTERATIONS
OR PLUMBING WORK @ ALL HEIGHTS (APPROVED) IS SUBJECT TO THE
AND TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.**

DATE _____
REASON _____
By *B*
BRENDA YAN DB
NOTIFIED MR _____

APPROVED
OFFICE COPY
DEPARTMENT OF CITY PLANNING

DATE _____
REASON _____
NOTIFIED MR _____

APPROVED
BUREAU OF FIRE PREVENTION & PUBLIC SAFETY

DATE _____
REASON _____
NOTIFIED MR _____

APPROVED
MECHANICAL ENGINEER DEPT OF BLDG INSPECTION

DATE _____
REASON _____
NOTIFIED MR _____

APPROVED
CIVIL ENGINEER DEPT OF BLDG INSPECTION

DATE _____
REASON _____
NOTIFIED MR _____

APPROVED
BUREAU OF ENGINEERING

DATE _____
REASON _____
NOTIFIED MR _____

APPROVED
DEPARTMENT OF PUBLIC HEALTH

DATE _____
REASON _____
NOTIFIED MR _____

APPROVED
REDEVELOPMENT AGENCY

DATE _____
REASON _____
NOTIFIED MR _____

APPROVED
HOUSING INSPECTION DIVISION

DATE _____
REASON _____
NOTIFIED MR _____

I agree to comply with all conditions or stipulations of the various bureaus or department noted on the application and attached statements of conditions or stipulations which are hereby made a part of this application

Number of attachments

OWNER'S AUTHORIZED AGENT _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

OFFICIAL COPY



DEPARTMENT OF BUILDING INSPECTION

City & County of San Francisco 1660 Mission Street San Francisco California 94101 2414 DATE 7/9/08

PERMIT APPLICANT AND AUTHORIZED AGENT DISCLOSURE AND CERTIFICATION

Permit Application No Job Address 714 Steiner St SF CA 94117

This form must be completed in its entirety in connection with an application for a building permit (Forms 1/2, 3/8, 4/7, 5 and 8). The form must be amended for all new information or change in information for duration of project. Please be advised that the Department does not regulate permit expeditors/consultants or afford them preferential treatment.

A Permit Applicant Information

I hereby certify that for the purpose of filing an application for a building or other permit with the Central Permit Bureau or completion of any form related to the San Francisco Building Code or to City and County ordinances and regulations or to state laws and codes I am the owner, the lessee or the agent of the owner/lessee and am authorized to sign all documents connected with this application or permit.

I declare under penalty of perjury that the foregoing is true and correct. I am the permit applicant and I am (check box(es))

- The owner (A) The lessee (C) The authorized agent (check entity(s)) Architect (D) Engineer (E) Contractor (F) Attorney (G) Permit Consultant/Expeditor (H) Other (I)

Permit Applicant Name Cathina Lee Sign Name Cathina Lee Driver's License Number C1518337 Expiration Date 8/18/2009

B Owner Information

Name Dwight Lum Phone (415) 567 0523 Address 714 Steiner Street San Francisco, CA 94117 City State Zip

C Lessee Information

Name Phone Address N/A City State Zip

D Architect / Engineer Information

None or I list all Architect(s)/Engineer(s) on project 1 Name Phone No Firm Name License # Expiration Date Firm Address City State Zip

2 Name Phone No Firm Name License # Expiration Date Firm Address City State Zip

3 Name Architect Engineer Phone No Firm Name License # Expiration Date Firm Address City State Zip

E General Contractor Information

Note: Complete separate licensed contractor's statement also.

Name Tom and Howard Lee Phone (415) 333 5373 Firm Name Tom Lee Roofing, Inc License # 731731 Expiration Date 1/31/2009 Firm address 243 Onondaga Avenue San Francisco, CA 94112 City State Zip

- Contractor not yet selected if this box is checked submit an amended form when known. Owner - Builder if this box is checked submit owner/builder declaration form.

F Attorney Information

Name Phone Firm Name License # Expiration Date Firm Address City State Zip

G Permit Consultant / Expeditor

Name Phone Firm Name License # Expiration Date Firm Address City State Zip

H Authorized Agent - Others

Name Phone Firm Name License # Expiration Date Firm Address City State Zip

Please describe your relationship with the owner Roofing Contractor

OFFICIAL COPY



DEPARTMENT OF BUILDING INSPECTION

City & County of San Francisco
1660 Mission Street, San Francisco, California 94103 2414
CENTRAL PERMIT BUREAU
1660 MISSION STREET SAN FRANCISCO CA 94103

Appl #
Address 714 Steiner St
San Francisco, CA 94117

LICENSED CONTRACTOR'S STATEMENT

Licensed Contractor's Declaration

Pursuant to the Business and Professions Code Sec 7031.5 I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Sec 7000) of Division 3 of the Business and Professions Code and that my license is in full force and effect

License Number 731731

License Class e 34

Expiration Date 1 31 2009

Contractor Tom Lee Roofing
PRINT

SIGNATURE

Owner-Builder Declaration

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law Business and Professions Code (Sec 7031.5) (Mark the appropriate box below)

I, as owner of the property or my employees with wages as their sole compensation will do the work, and the structure is not intended or offered for sale (Sec 7044) I further acknowledge that I understand and agree that in the event that any work is commenced contrary to the representations contained herein, that the Permit herein applied for shall be deemed suspended
architect, agent

I, as owner of the property am exclusively contracting with licensed contractors to construct this project (Sec 7044) I certify that at the time such contractors are selected, I will have them file a copy of this form (Licensed Contractor's Declaration) prior to the commencement of any work. I further acknowledge that I understand and agree that, in the event that said contractors fail to file a copy of the Declaration with the Central Permit Bureau that the Permit herein applied for shall be deemed suspended

I am exempt under Business and Professions Code Sec

Reason

Architect (PRINT)

Date Agent (PRINT)

Owner (PRINT)

(SIGNATURE)

NOTICE Any violation of the Bus & Prof Code Sec 7031.5 by any permit applicant shall be subject to a civil penalty of not more than five hundred dollars (\$500) Bus & Prof Code Sec 7031.5 Revised 09/03/01

OFFICIAL COPY



ADDRESS OF JOB: 714 STEINER ST BLOCK/LOT: 0803/019 APPLICATION NO: 200807106406

OWNER NAME: DWIGHT LIM TELEPHONE: (415) 567-0523

ESTIMATED COST: \$19,000 FILE DATE: 07/10/08 DISPOSITION: ISSUED DISPOSITION DATE: 07/10/08 PERMIT NO.: 200807106406 EXPIRATION DATE: 01/10/09

FORM: 8 CONST. TYPE: R-3 OCCUPANCY CODES: 0 PLANS: 10 STORIES: BID-INSE UNITS: DISTRICT:

CONTACT NAME: TOM LEE ROEING INC TELEPHONE: 4153335373

DESCRIPTION/BLDG. USE: REROOFING OTHER DESCRIPTION:

1 FAMILY DWELLING

SPECIAL INSPECTIONS? NO FIRE ZONE NO

SPECIAL USE DISTRICT T/O/F

PENALTY NO COMPLIANCE WITH REPORTS

9003-15

106

PERMIT INSPECTION RECORD
DEPARTMENT OF BUILDING INSPECTION
CITY AND COUNTY OF SAN FRANCISCO
BUILDING INSPECTION JOB CARD

714 Steiner Street San Francisco, Historic Structure Report
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APPENDIX FOUR – Sanborn Maps

1905 Sanborn Map Volume 3, Sheet 308

1915 Sanborn Map Volume 4, Sheet 349

1950 Sanborn Map Volume 4, Sheet 349

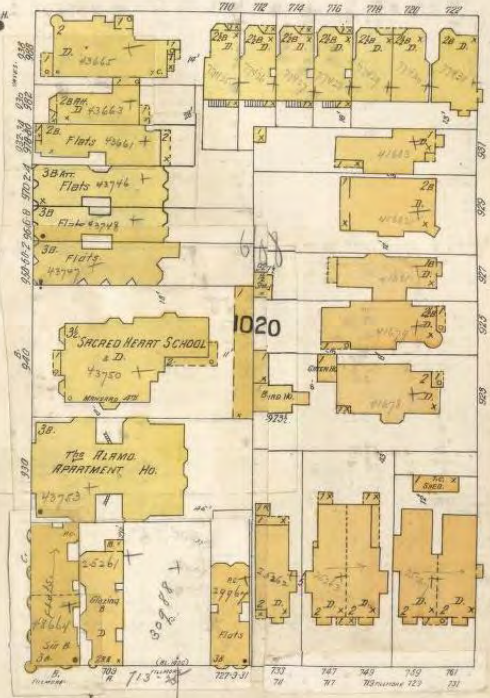
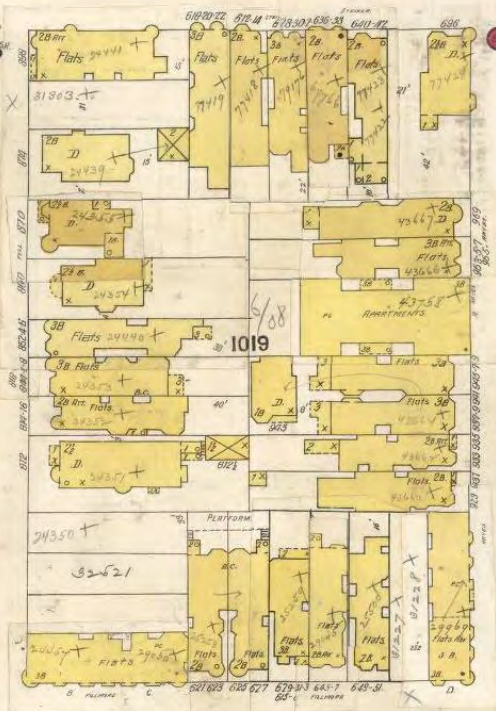
1990s Sanborn Map Volume 4, Sheet 349



331

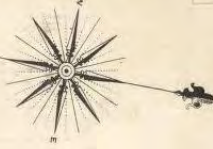
STEINER

ST.



689 ft wide

ST.



FILLMORE

689 ft wide

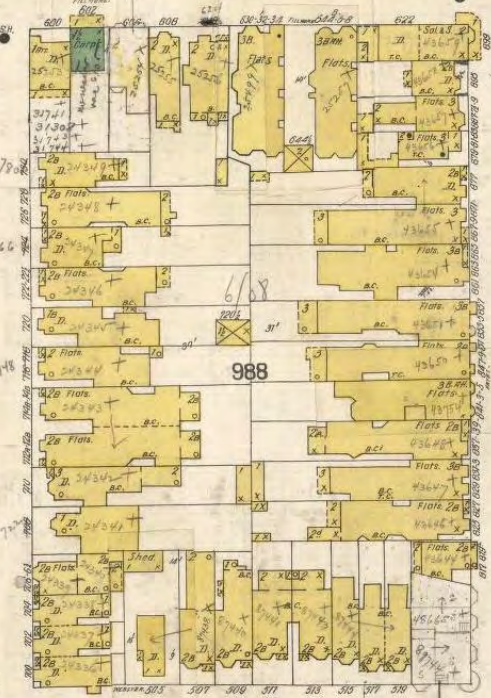
309

307

FELL

HAYES

GROVE



286

ST.

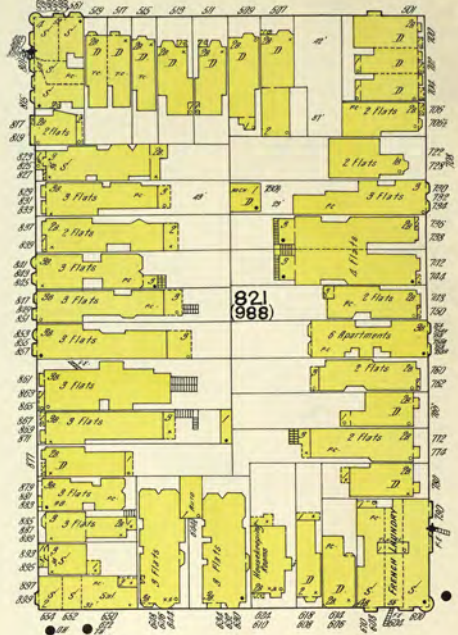
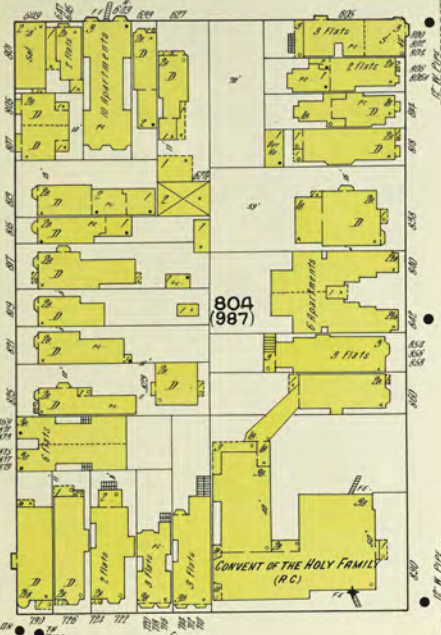
WEBSTER

IVY DR.

349

341

WEBSTER



348

FILLMORE

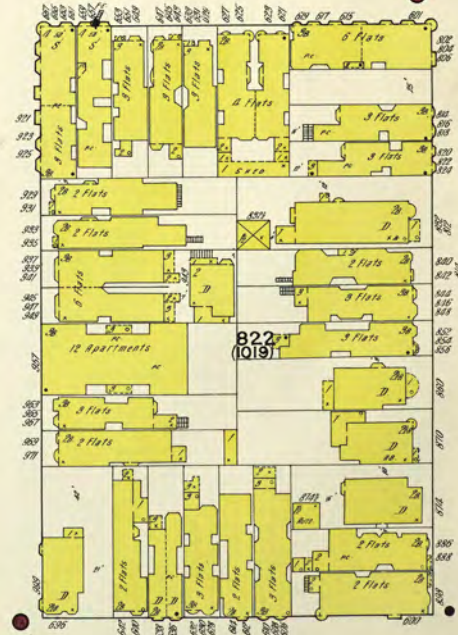
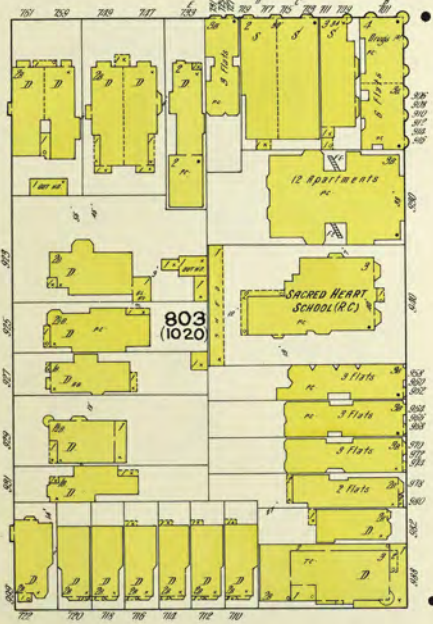


68' 3" wide

350

GROVE

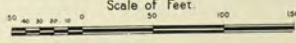
HAYES



FELL

STEINER

Scale of Feet



ALAMO SQUARE
802
NO EXPOSURE

358

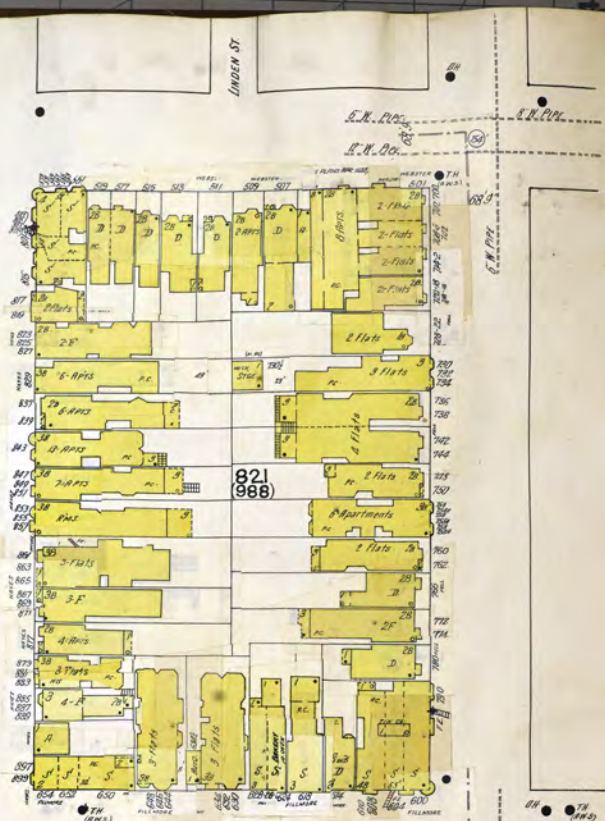
The Insurance Map Collection
Geography and Map Division
Library of Congress

349

CAL...088



341

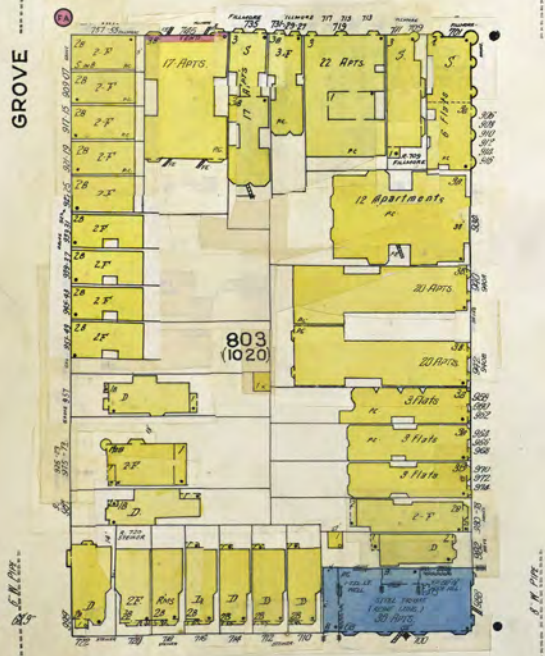


LINCOLN ST

348



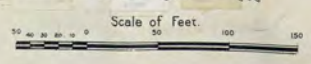
FILLMORE



HAYES

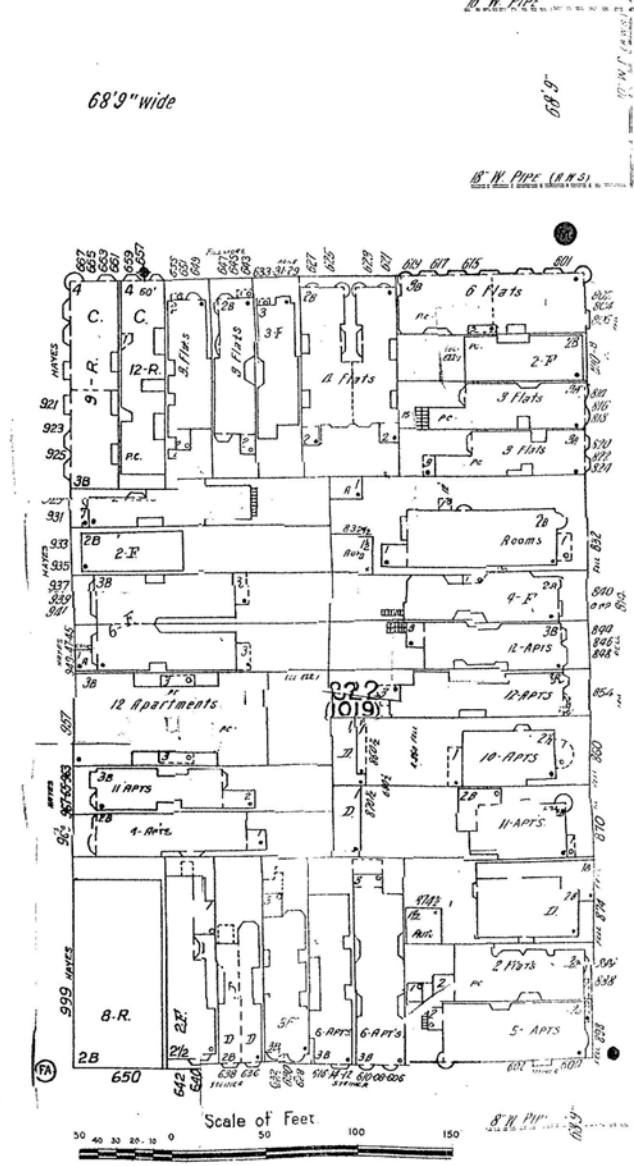
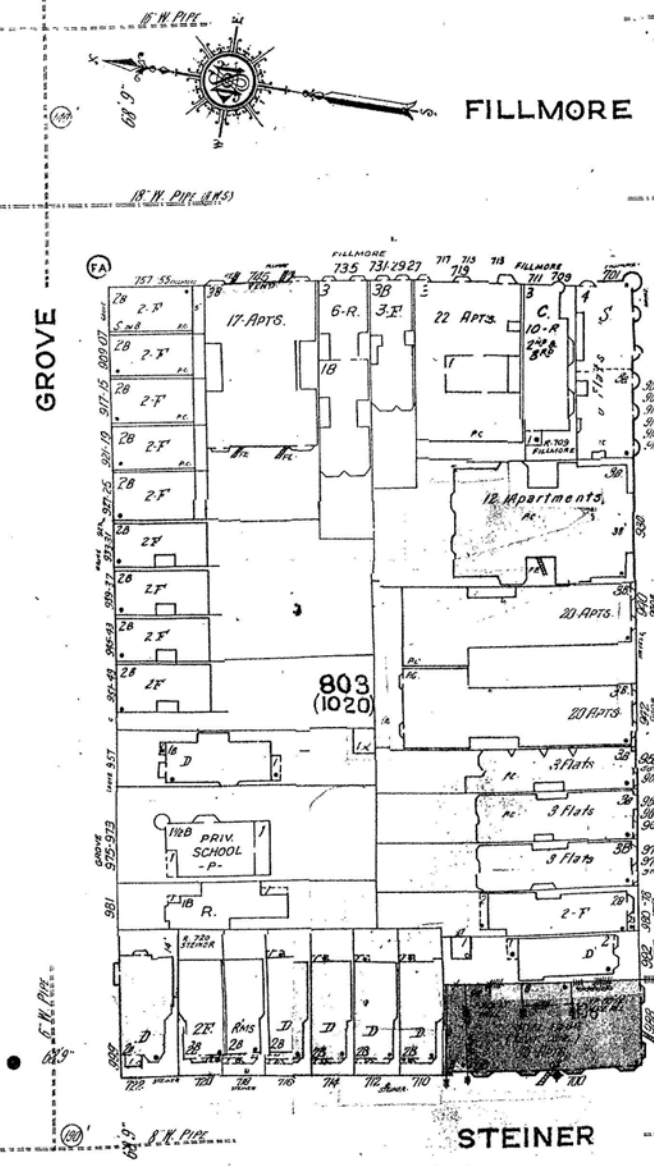
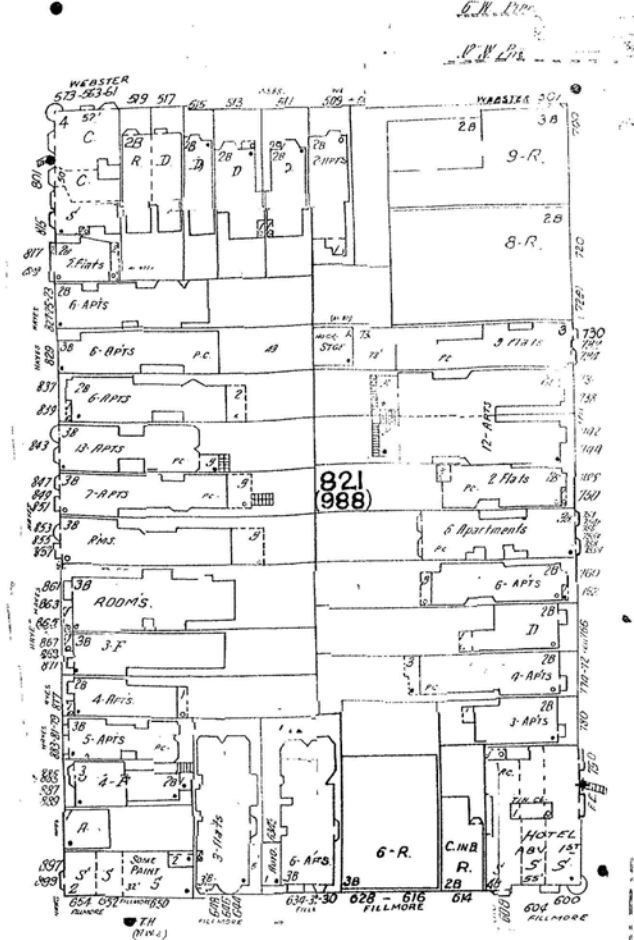
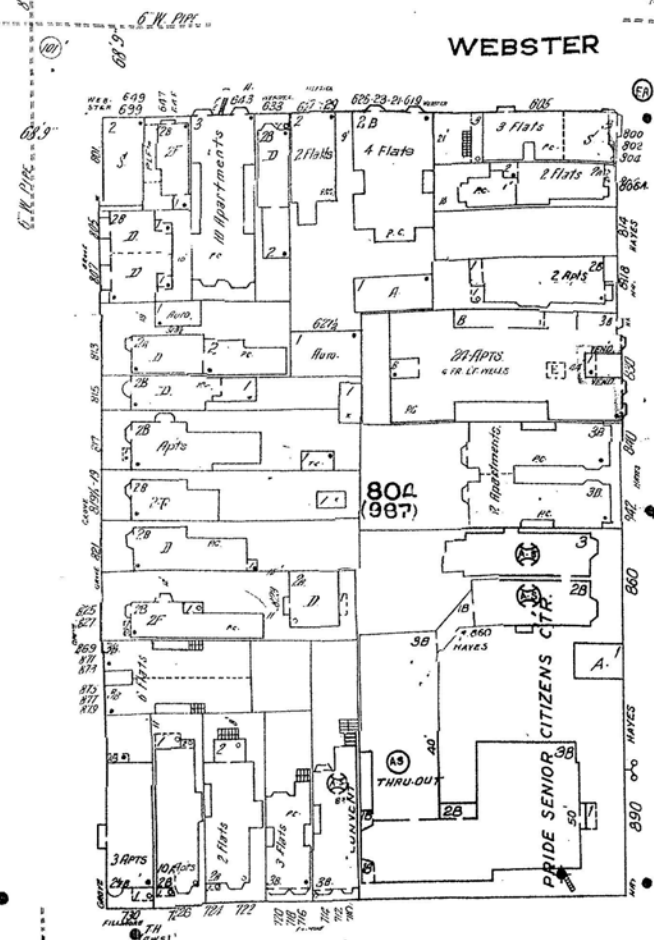


350



358

A LAND SOURCE NO EX SUPE



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APPENDIX FIVE – Water Tap Records



Street

DATE	NAME	WATER NO.	STREET NO.	LOCATION	CORPORATION STOP		STOP COCK		LEAD PIPE		IRON PIPE	
					No.	Size	No.	Size	Size	Feet	Size	Feet
		72823	77380	104	W. E. Leonard							
Oct 30/90	Iberg	72826	77386	110								
	Frank Bragg	72830	77388	116-18								
Mich 10/90	Carter Houston	72833	77389	128-30	Retap 1/20/29					3/4	Service	
Feby 1/90	Mrs Comper	72835	77390	132-4								
Mar 1/91	Mrs B. Simpson	72837	77391	146								
April 1/86	J. H. Scammon		77392	215-17								
June 29/91	Robinson	72840	77394	200								
June 1/91	Easton Eldredge	72844	77396	210								
June 1/91	Easton Eldredge	72844	77396	212								
Feby 1/91	A. W. Stott	72843	77395	219-23	Retap 8/17/26					3/4	Service	
Sept 2/90	H. Raven		77397	225-27								
June 19/91	S. B. Whitehead	72846	77398	212								
Dec 1/88	Christerson	72847	77399	206	JAN 21 1904					5/8	5/8	8
June 1/81	Easton Eldredge	72850	77402	216								
Feby 1/91	A. W. Stott	72851	77403	207								
June 24/91	Mrs. Rees	72852	77404	209-23								
Mich 10/91	A. Foreman	72853	77405	210-12								
Mich 1/91	Mrs. Alex	72855	77407	211								
Mich 1/90	Jas. W. Miller	72854	77406	315-12								
June 2/91	Louis Muller	72858	77410	314-16								
April 8/89	L. Holm	72860	77411	312								
Dec 4/86	S. A. Earle	72859	77409	410								
Oct 21/90	A. J. Fairweather	72861	77412	430								
Oct 12/86	Mrs. Day	72863	77414	435-41								
June 14/91	L. McHally	72865	77415	407-9								
Nov 21/90	Philip Prior	72871	77416	416-18								
June 24/90	T. R. Hensel	72873	77417	507	Retap 7/26/28					1"	Service	
June 24/90	Jno. A. Doane	72888	77431	533-								
June 11/92	H. Karanagh	72893	77435	509								
Dec 21/88	H. Karanagh	72894	77436	602								
Aug 24/86	Hunkel		77437	774								
April 11/85	E. M. Root	72895	77438	602								
Oct 21/85	A. Mussel	72897	77439	774								
April 20/89	Wm. V. Gray	72899	77441	896-8								
May 25/88	McLormick	72896	77440	902								
Nov 11/89	R. Flaherty	72901	77443	903-6								
Jan 11/92	Isaac Anderson	72898	77442	904								
Nov 11/89	R. Flaherty	72903	77445	906								
Nov 11/89	J. Andra	72900	77444	907								
		72900	77444	908								
		72900	77444	909								
		72900	77444	910								
		72900	77444	911								

R 508

R

R

J. E. Croore

Retap Jan 21/27 3/4 service

1 1/2 1 5/8 5/8 3/4

Munier

Street

DATE	NAME	WATER NO.	STREET NO.	LOCATION	CORROSION STOP		STOP COCK		LEAD PIPE		IRON PIPE	
					No.	Size.	No.	Size.	Size.	Feet	Size.	Feet
1862	Norma Cornakien	72579	77422	642	ES 50 S Hayes	1	1/2	1	5/8	5/8		8
1862	Norma Cornakien	72880	77423	640	ES 50 S Hayes	1	3/4	1	5/8	5/8		8
May	Jacross	73080	77564	3016	ES D Gilbert	1	1/2	1	3/4	5/8		6
May	M. Kavanagh	72884	77427	714	ES D Grove	1	1/2	1	3/4	5/8		8
May	M. Kavanagh	72885	77428	716		1	1/2	1	3/4	5/8		8
July	W. Miller	72998	77514	943-5	NS 65 S Haigh	1	1/2	1	3/4	5/8		35
April	Orly	72862	77413	2019	ES 100 St Oak	1	1/2	1	3/4	5/8		8
Sept	Miller	72886	77429	502-4		1	1/2	1	3/4	5/8		8
Oct	M. Kavanagh	72887	77450	718		1	1/2	1	3/4	5/8		8
Oct	M. Kavanagh	73044	77555	720		1	1/2	1	3/4	5/8		36
Nov	Mrs. Packman	73047	77556	2605	NS D Broadway	1	1/2	1	3/4	5/8		36
Nov	Mrs. E. S. S. S.	72889	77432	2623	NS 25 D Broadway	1	1/2	1	3/4	5/8		36
Dec	M. Schaefer	72857	77408	81-4	ES 137 1/2 N Grove	1	1/2	1	3/4	5/8		7
Dec	Ella Judson	73028	77544	400	NS Cage	1	1/2	1	3/4	5/8		7
Dec	Mrs. C. S. S.	73050	77561	2302	NS S Broadway	1	1/2	1	3/4	5/8		8
Sept	C. R. Havens	73079	77565	2714	ES St Broadway	1	1/2	1	3/4	5/8		3
Dec	A. B. Clute	72993	77509	3027-38	NS 137 1/2 N Union	1	1/2	1	3/4	5/8		3
March	A. Comte	73083	77567	1906-8	ES St Bush	1	1/2	1	3/4	5/8		36
July	Anna G. Aiton	73085	77568	3121	NS 100 St Filbeck	1	1/2	1	3/4	5/8		37
July	Ch. Pries	72872	77419	3125	NS 175 St Filbeck	1	1/2	1	3/4	5/8		9
Aug	Maria Kessler	72891	77434	606-10	ES 100 St Fell	1	1/2	1	3/4	5/8		7
Aug	A. B. Beckstedt	73089	77569	820	ES 55 S Stulton	1	1/2	1	3/4	5/8		7
Oct	Chas. S. Kern	73049	77560	3143	NS 75 S Louisa	1	1/2	1	3/4	5/8		37
Nov	Chas. S. Kern	72834	77571	2715	NS St Broadway	1	1/2	1	3/4	5/8		36
Nov	A. R. Denke	25182	44603	133-5	NS 105 S Haller	1	1/2	1	3/4	5/8		37
Feb.	C. E. Ritter	72890	77433		N. N. Filbeck	1	1/2	1	3/4	5/8		7
Feb.	L. Harts	73091	77573	818	ES 90 S Stulton	1	1/2	1	3/4	5/8		36
April	Walter Goodrich	72904	77574	3151-3		1	1/2	1	3/4	5/8		36
June	Mrs. A. Eggen	77566	77577	943-5	NS 75 S Mall	1	1/2	1	3/4	5/8		36
July	Jacob Streb	5183	73034	3045-47	St. H. Filbeck	1	3/4	1	1"	1"		7
Sept	C. G. Schmiedel	72902	77576	2402	ES St. of Wash.	1	1/2	1	3/4	5/8		35
Oct	Schwarz	72876	77576	937	NS 110 S of Mall	1	1/2	1	3/4	5/8		7
Nov	L. C. Lee	73051	77577	2744	ES bet Broadway & Vallejo	1	3/4	1	1 1/4	3/4		8
Jan	E. G. Schmiedell	73033	77578	2400	St. E. Wash.	1	3/4	1	1 1/4	3/4		7
Jan	Chas. M. Lindsay	73084	77584		St. E. Ripley av	1	1/2	1	3/4	5/8		37
Feb.	Emma F. Beardsley	73046	77579	2659-61	NS bet Pacific & Broadway	1	1/2	1	3/4	5/8		37
Mar	H. H. Young	73059	77588	2765	NS 90 S of Vallejo	1	1/2	1	3/4	5/8		7
Apr	Jat. F. R. Drinkhouse	73058	77582	2850	ES S of Green	1	1/2	1	3/4	5/8		7
Apr	Jat. F. R. Drinkhouse	73061	77583	2852-4	ES S of Green	1	1/2	1	3/4	5/8		7
Apr	Jat. F. R. Drinkhouse	73058	77583	2848	ES S of Green	1	1/2	1	3/4	5/8		7

1" service

1/2 service

1/2 service

1/2 service

1/2 service

1/2 service

1/2 service

1/2 service

1/2 service

1/2 service

1/2 service

1/2 service

1/2 service

1/2 service

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APPENDIX SIX – Block Book Pages

1894 Block Book

1901 Block Book

1906 January Block Book

1906 October Block Book

1910 Block Book



(200) **STEINER**

373 Geo. H Newman	25	25	25	25	25	25	25	25
75	Jas. Scobie	P. and A.E. McGinty	Thos Molloy	Bertha Thompson	Anna Cornatrense	F.A. McCormick	106.3	
376	W A Martin	W E. Murphy						25
		Chas. W. Baird						25
376	Nathan Cahn							
50	Wm McCracken	368 J. J. and J. Mahoney						75
1376	Chas. F. Brauer	Edw L. Christiany						75
50	Cath. M. Freese							
25	Danl. Harney	Saml. Morgenstern	David Halpin	Minna Levy	Alfred C. Gehret	Fredk. Fisher	Rand. McElroy	106.3
25	Katie F. Courneen							
50.3	Sarah Miller							

(215) **ST.** (190)

105	Pio M. Morbio	1376	Matthew Kavanagh	75	ST.
35	Georgia A. Randolph	85	Matthew Kavanagh	25	
100	Brat. Moyles	1376	T. F. Brennan	50	
376	Adolph Sutro	367	Louisa I. Amos	30	
			Anna Shuly	35	
			Geo W Smith	60	
			Wm Costello	15	
			Jas West	52.6	
			Jane A. Brickwedel	122.6	
			Cath. Bigley		

(195) **FILLMORE**

700	Jas Fogarty	23	Emily L. Squire	27	Annie A Hill	80	A.P. Hotaling	F.E. 70 Boeger	226	Thos Canfield	226	Danl. Swannack	226	M.E. Medovich	226
25	H.S. Murphy	Francis W Arnold						476							
25	Annie F. McDermott	Sarah Mier						35							
25	Mary D. Ruhling	H.F. Blancher						25							
25	W. Olsen	Otto and E. Friedlander						25							
25	Herman G. Trautner	Kate F. Austin						25							
25	Danl. Sullivan	Peter & A. Sullivan						25							
1376	Mary A. Mercer	Hanorah Shannon						35							
30	Mary A. Provost	Jno. W. Reid						25							
476	Jno. W. Root	Jno. W. Root						52.6							
52.6	Jno. Hughes	W.W. Atkinson						376							
57	Lawrence Palmer	Betsy Meyer						376							

(169) **HAYES** (140) **ST.**

1376	P.W. Riordan	30	Maagie J. Walker	276	Cath. Curley	276	Cath. M. Molloy	276	Mary J. Brady	25	Susan Lowe	
			Chas. Casassa	376								
276	P. Gallagher	Margt. Gorman						376				
276	Mary A. Joy	300 Rose A. Moran						25				
56.70	Alice W. Scott	Josiah H. Locke						25				
		Charlotte A. Jones						50				
62	Est. of T. Adam	Geo M. Mitchell						30				
26	Hyman Kirschbaum	Henry M. Rosekrans						376				
25	Ninie E. Commary	Dennis T. O'Brien						376				
25	Martin Bauer	Peter Bohli						52.8				
25.2	Emile Orton	Jas. Loring						97.6				



STEINER

240

313	100	25	25	25	25	25	50
Geo. H. Newman		Maria Kessler	P.J. & A.E. Mc Ginty	Thos. Molloy	Bertha Thompson	Anna Cornahrens	T. A. McCormick
75	Jas. Scobie						
375	Ada M. Martin	Bernardina Hildebrandt					
376	Nathan Cohn	Michl. J. Conboy					
376	Francis L. Makepeace	J.J. & J. Mahoney					
50	Christina L. Purlenky	Mary O.N. Baker					
25	Cath. M. Freese	Wm. Gallagher					
50	A.C. Freese	Mary J. & Margt. McClain					
25	Katie F. Courneen	Sam'l. Morgenstern	David Halpin	Minna Levy	Christian Gehret	Fredk. Fisher	Martha M.H. Donald
25	Sarah Miller						
563	100	50	25	25	25	25	25

368

215

ST

190

45	105	233	233	233	233	233	233	0.0
Pio. M. Morbio		Anna M. Hunt	Chra M. Platt	W.N. & Hannigan	Simon Kartin	Mary E. Eshner	Ella & Jos. Seelley	Fredk. & Annk. Klopfer
25	Georgia A. Pandolph							
25	Brigt. Moyler	T. F. Brennan						
25	Henry P. Conrady	Louisa I. Amos						
50	Matthew Kavanagh	Wm. Fk. Chas. A. Schulz						
137.6	Roman Cath. Archbshp. of S. F.	Geo. W. Smith						
292.6	Jas. West	Wm. Costello						
100	Jane A. Brickwedel	Emil Woenne						
112.6	85	57.6	50					

367

195

FILLMORE

100	75	23	27	80	70
Jas. Fogarty	Emily L. Squire	Annie A. Hill	A.P. Hotaling	F.E. Boger	J.J. Dunleavy
				Dnl Swannack	W. & R. Watson
25	Mary T. Farrell & al.	Francis W. Arnold			
25	Annie F. Mc Dermott	Sarah Mier			
25	Mary D. Ruhling	H.F. Blanchet			
25	W. Olsen	Otto & E. Friedlander			
25	Herin. G. Trautner	Kate F. Austin			
50	Danl. Sullivan	Peter & H. Sullivan			
25	Fredk. A. Kuhls	Hanorah Shannon			
20	Mary A. Provost	Maria Reid			
87.4	Jno. W. Root	Jno. Hughes	Lawrence W. Palmer	Jacob Apple	Jno. Hughes
57.6	57	48	75	37.6	Carl & Lena Schaefer

299

169

ST.

140

137.6	30	27.6	27.6	27.6	25
Roman Cath Archbshp. of S. F.	Flora Eliaser	Cath. Curley	Cath. M. Molloy	Lillian F. Brady	Susan Lowe
27.6	Mary Gallagher	Chas. Casassa			
27.6	Eliza H. Stevens	Margt. Gorman			
27.6	Eliza H. Stevens	Rose A. Moran			
56.10	Alice W. Smith	Josiah H. Locke			
62	Est. of T. Adam	Charlotte A. Jones			
15	Benj. Harris	Geo. M. Mitchell			
15	Ninie E. Commary	H. E. Bothin			
15	Martin Bauer	Jas. Layng			
25	August Ortion	Pauline Leopold			
100	37.6	37.6	52.8	47.4	

300

154

WEBSTER

124

ST.

100

STEINER

240	100	25	25	25	25	25	50
37.5	Geo H Newman						
30	Robt E Dickinson						
45	Agnes A Scobie						
137.6	Ada M Martin	137.6	Jos Gardella				
37.6	Nathan Cahn		Michl J Conboy				
50	Frances L Makepeace	368	Aust & Marie Schaefer				
25	Sarah Miller	137.6	Mary O.N. Baker				
50	Cath M. Freese		Wm. Gallagher				
25	A. C. Freese		Mary J & Margt McClain				
25	Katie F. Courneen		Soml. Mergenstern				
45	Sarah Miller		David Halpin				
31.3	Jas. E. Brill Jr		Martha B Smith				
100			Phi Conny				
			Fredk. Fisher				
			Thos Crowley				

ST

215	100	25.5	25.5	25.5	25.5	25.5	100
6	Pio M. Morbio						
25	Edith L. C. Clark						
25	Drigt. Moyler						
25	Sam Garber						
25	Mrs E. Flanagan						
25	Jas. T. Donahue						
137.6	Roman Catholic Archbshp of S.F.						
25	Wm Goeggel						
112.6	George & Bern Hildebrand						
25	Jacob Kahn						
25	Jac Kahn						
100	Carl Granz						
172.6	Jas. Weir						
30	Jane A. Brickwedel						
57.6	Emil Woenne						

FILLMORE ← 169 (7) → **ST.**

FELL

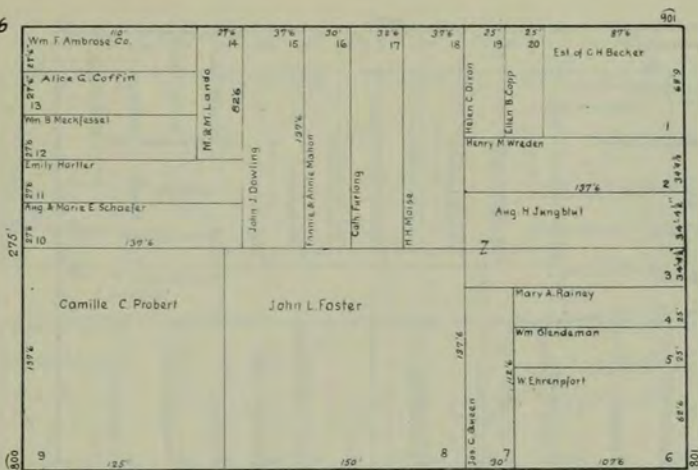
195	50	25	25	33.10	46.2	70
70	Reidmond W. Payne					
25	Jno. T. Fogarty					
25	Emily L. Squire					
25	Annie H. Hill					
25	Mary Dale					
25	Wm Olsen					
25	F.E. Boeger					
25	J.J. Dunleavy					
25	Dil Swannack					
25	Clarice Kedon					
25	Francis W. Arnold					
25	Mary T. Farrell & al					
25	Mary Morrissey					
25	Mary D. Ruhling					
25	Lisette Dinkalepiel					
25	H.F. Blanchet					
25	W. Olsen					
25	Otto & E. Friedlander					
25	Eliz. Trautner					
25	TC Tognazzini					
25	Alice Leland					
25	Peter & H. Sullivan					
25	Fredk. A. Kuhls					
25	Honorah Shannon					
25	Mary A. Provost					
25	Hulda Jacobs					
25	Jno. W. Root					
25	Jno. Hughes					
25	Lawrence W. Palmer					
25	Flora Flynn					
25	Mard E. Wickes					
25	Jas. Ward					

HAYES

190	137.6	20	27.0	27.0	27.0	25
137.6	Roman Cath Archbshp of S.F.					
20	Flores Eliezer					
27.0	Jno J. Piner					
27.0	Cath M. Malloy					
27.0	Lillian F. Brady					
25	Susan Lowe					
27.0	Rosa Cowan					
25	Mary Gallagher					
25	Margt. Gorman					
25	Jas. Lyng					
25	Rose A. Moran					
25	Alice W. Smith					
25	Carrie A. Lock					
25	Charlotte A. Jones					
25	Est of T. Adam					
25	Geo. M. Mitchell					
25	Fred & Rose Pritchard					
25	Ninie E. Conmary					
25	Dennis T. Brien					
25	Martin Bauer					
25	Fayline Leopold					
25	Victorina Baruly					

WEBSTER ← 124 → **ST.**

366

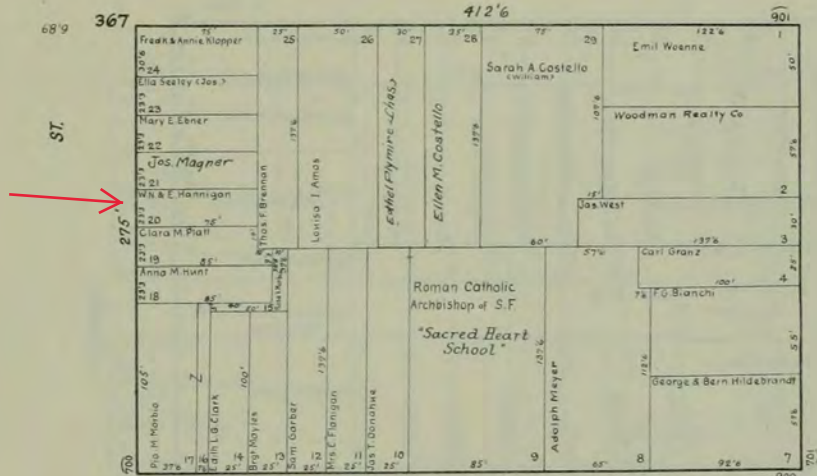


689

GROVE

ST.

367

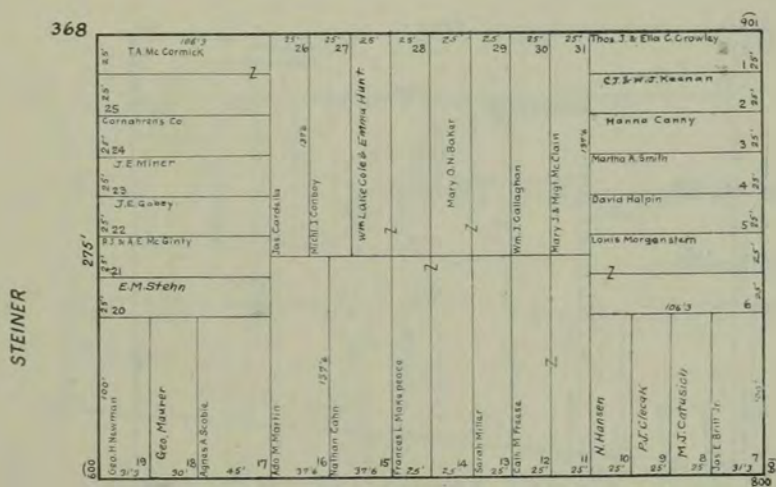


689

HAYES

ST.

368



689

FELL

ST.

FILLMORE



714 Steiner Street San Francisco, Historic Structure Report
Mills Act Application – May 28, 2021

APPENDIX SEVEN – Census Records

1900 Census

1910 Census (2 pages)

1920 Census

1930 Census

1940 Census



SCHEDULE NO. 1. POPULATION

LOCATOR	NAME	RELATION	PERSONAL DESCRIPTION	NATIVITY	TENURE	INDUSTRY	EDUCATION	PREVIOUS SERVICE
711 9	Wheat, James	Head	W 14 Aug. 1856 43 74	Ireland	Ireland	0	you you you	O F H
	John	Son	W 23 Sept 1881 35 74	California	Ireland	2	you you you	
	John	Son	W 14 June 1872 45	California	Ireland	5	you you you	
	Henry H.	Daughter	W 25 June 1874 45	California	Ireland	5	you you you	
710 10 10	Mrs. Mahan, Della	Daughter	W 25 June 1874 45	Ireland	Ireland	5	you you you	
711 11	Obenvelt, J. A.	Head	W 24 Nov. 1875 45	California	Ireland	5	you you you	
	Thomas	Wife	W 24 Nov. 1875 45	Ireland	Ireland	5	you you you	
	Bridget	Wife	W 27 Nov. 1859 61	Germany	Ireland	7	you you you	
	James	Son	W 24 July 1872 45	California	Ireland	5	you you you	
710 12 13	Murray, Patrick	Head	W 24 Oct. 1868 32 74	California	Ireland	6	you you you	
	Patrick	Wife	W 24 Oct. 1868 32 74	California	Ireland	6	you you you	
	Edith M.	Daughter	W 24 Nov. 1875 45	California	Ireland	5	you you you	
	James	Daughter	W 24 Nov. 1875 45	California	Ireland	5	you you you	
	John C.	Daughter	W 24 Nov. 1875 45	California	Ireland	5	you you you	
712 13 14	Platt, Frank S.	Head	W 24 Aug. 1855 37 74	Pennsylvania	New York	8	you you you	
	Clare M.	Wife	W 27 Dec. 1870 30 74	New York	New York	5	you you you	
	R. Albert	Son	W 24 Sept. 1861 15	California	New York	5	you you you	
	John	Son	W 24 Aug. 1855 37 74	Ireland	New York	8	you you you	
	William	Son	W 27 Dec. 1870 30 74	New York	New York	5	you you you	
714 15	Hannigan, William	Head	W 27 Dec. 1870 30 74	Ireland	Ireland	7	you you you	
	Emily	Wife	W 27 Dec. 1870 30 74	Ireland	Ireland	7	you you you	
	Thomas	Son	W 24 Dec. 1894 5	Ireland	Ireland	5	you you you	
	English, Thomas	Son	W 24 Aug. 1894 5	Ireland	Ireland	5	you you you	
	Simon	Son	W 24 Aug. 1894 5	Ireland	Ireland	5	you you you	
716 15 16	Little	Head	W 24 Aug. 1855 37 74	Germany	Ireland	8	you you you	
	Wife	Wife	W 24 Aug. 1855 37 74	Germany	Ireland	8	you you you	
	Wife	Wife	W 24 Aug. 1855 37 74	Germany	Ireland	8	you you you	
	Wife	Wife	W 24 Aug. 1855 37 74	Germany	Ireland	8	you you you	
	Wife	Wife	W 24 Aug. 1855 37 74	Germany	Ireland	8	you you you	
710 16 17	Shaw, William	Head	W 24 Aug. 1855 37 74	California	California	7	you you you	
	Wife	Wife	W 24 Aug. 1855 37 74	California	California	7	you you you	
	Wife	Wife	W 24 Aug. 1855 37 74	California	California	7	you you you	
	Wife	Wife	W 24 Aug. 1855 37 74	California	California	7	you you you	
	Wife	Wife	W 24 Aug. 1855 37 74	California	California	7	you you you	
720 17 18	Wright, William	Head	W 24 Aug. 1855 37 74	California	California	7	you you you	
	Wife	Wife	W 24 Aug. 1855 37 74	California	California	7	you you you	
	Wife	Wife	W 24 Aug. 1855 37 74	California	California	7	you you you	
	Wife	Wife	W 24 Aug. 1855 37 74	California	California	7	you you you	
	Wife	Wife	W 24 Aug. 1855 37 74	California	California	7	you you you	
722 18 19	Wright, William	Head	W 24 Aug. 1855 37 74	California	California	7	you you you	
	Wife	Wife	W 24 Aug. 1855 37 74	California	California	7	you you you	
	Wife	Wife	W 24 Aug. 1855 37 74	California	California	7	you you you	
	Wife	Wife	W 24 Aug. 1855 37 74	California	California	7	you you you	
	Wife	Wife	W 24 Aug. 1855 37 74	California	California	7	you you you	
724 19 20	Wright, William	Head	W 24 Aug. 1855 37 74	California	California	7	you you you	
	Wife	Wife	W 24 Aug. 1855 37 74	California	California	7	you you you	
	Wife	Wife	W 24 Aug. 1855 37 74	California	California	7	you you you	
	Wife	Wife	W 24 Aug. 1855 37 74	California	California	7	you you you	
	Wife	Wife	W 24 Aug. 1855 37 74	California	California	7	you you you	

150

SUPERVISOR'S DISTRICT NO. 4th City SHEET NO. B

EMERATED BY ME ON THE DAY OF 1910

NAME OF INSTITUTION

STATE California COUNTY Los Angeles TOWNSHIP OF OTHER DIVISION OF COUNTY

NAME OF INCORPORATED PLACE San Francisco

WARD OF CITY

Ward of City

Ward of City

Ward of City

Ward of City

Ward of City

Ward of City

Ward of City

Ward of City

Ward of City

Ward of City

Ward of City

Ward of City

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Ward of City

Ward of City

Ward of City

Ward of City

Table with columns: SEX, RELATION, RESIDENCE DESCRIPTION, BIRTH, CITIZENSHIP, EDUCATION, OCCUPATION, and various other demographic and social data points for individuals.

Vertical text on the right edge of the page, possibly a page number or reference code.

STATE California COUNTY San Francisco TOWNSHIP OF OTHER DIVISION OF COUNTY 5th Assembly District West of Mt. Diabolo

DEPARTMENT OF COMMERCE AND LABOR - BUREAU OF THE CENSUS THIRTEENTH CENSUS OF THE UNITED STATES: 1910 - POPULATION

145 SUPERVISOR'S DISTRICT NO. 48284 SHEET NO. A WARD 45-CITY San Francisco ENUMERATED BY ME ON THE 20th DAY OF April 1910. NAME OF INCORPORATED PLACE San Francisco

Table with columns: NAME, SEX, BIRTH, PERSONAL DESCRIPTION, ETHNICITY, PLACE OF BIRTH, LANGUAGE, OCCUPATION, EDUCATION, and NUMBER OF YEARS IN THIS COUNTRY. Contains handwritten entries for various individuals.

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50

STATE California
 COUNTY San Francisco
 TOWNSHIP OR OTHER DIVISION OF COUNTY Practical #10 Prospect Heights

DEPARTMENT OF COMMERCE—BUREAU OF THE CENSUS
 FOURTEENTH CENSUS OF THE UNITED STATES: 1920—POPULATION
 NAME OF INCORPORATED PLACE San Francisco City
 SUPERVISOR'S DISTRICT NO. 4
 ENUMERATION DISTRICT NO. 77
 NAME OF CITY San Francisco

WAS OF CITY 107
 SHEET NO. B
 107

NAME OF INSTITUTION _____
 ENUMERATED BY ME ON THE 14 DAY OF January, 1920. May E. Hoffman ENUMERATOR

No.	Sex	Date of Birth	Marital Status	Color	Race	Religion	Profession, Occupation, or Trade	Place of Birth	Citizenship	Naturalized	Parents		Grandparents		Maiden Name	Education	Literacy	Remarks
											Male	Female	Male	Female				
815	F	1872	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
816	M	1873	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
817	M	1874	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
818	F	1875	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
819	M	1876	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
820	F	1877	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
821	M	1878	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
822	F	1879	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
823	M	1880	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
824	F	1881	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
825	M	1882	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
826	F	1883	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
827	M	1884	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
828	F	1885	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
829	M	1886	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
830	F	1887	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
831	M	1888	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
832	F	1889	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
833	M	1890	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
834	F	1891	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
835	M	1892	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
836	F	1893	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
837	M	1894	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
838	F	1895	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
839	M	1896	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
840	F	1897	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
841	M	1898	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
842	F	1899	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
843	M	1900	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
844	F	1901	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
845	M	1902	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
846	F	1903	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
847	M	1904	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
848	F	1905	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
849	M	1906	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
850	F	1907	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
851	M	1908	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
852	F	1909	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
853	M	1910	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
854	F	1911	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
855	M	1912	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
856	F	1913	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
857	M	1914	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
858	F	1915	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
859	M	1916	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
860	F	1917	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
861	M	1918	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
862	F	1919	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	
863	M	1920	W	W	English	Wife	Housewife	England	English	English	England	England	England	England	W	17	10	

Serial No. **7 B**
 Enumeration District No. **38-133**
 Supervisor's District No. **7**
New Road

DEPARTMENT OF COMMERCE—BUREAU OF THE CENSUS
 FIFTEENTH CENSUS OF THE UNITED STATES: 1930
POPULATION SCHEDULE

Incorporated place **San Francisco City**
 Ward of city **18**
 Enumeration District No. **38-133**

Enumerated by me on **Apr 9 1930**
 Date of birth of each person mentioned in this schedule should be given in full, including the month and day, and the year, in the case of those born in the United States, and in the case of those born abroad, the place as well as the date, and the country, and the year, in the case of those born in a foreign country.

Serial No.	Sex	Color or race	Date of birth		Place of birth	Naturalized citizen	Mental defect	Mental retardation	Blind	Deaf	Dumb	Epileptic	Paralyzed	Other physical defect	Education				Occupation and industry	Value of real estate owned	Value of personal property owned	Total value of property owned	
			Month	Day											Year	Grade	Kind	Value					Value
1	M	W	24	11	1855										1	1	1	1	1				
2	F	W	10	12	1860										2	2	2	2	2				
3	M	W	15	1	1870										3	3	3	3	3				
4	F	W	20	3	1875										4	4	4	4	4				
5	M	W	25	5	1880										5	5	5	5	5				
6	F	W	30	7	1885										6	6	6	6	6				
7	M	W	35	9	1890										7	7	7	7	7				
8	F	W	40	11	1895										8	8	8	8	8				
9	M	W	45	13	1900										9	9	9	9	9				
10	F	W	50	15	1905										10	10	10	10	10				
11	M	W	55	17	1910										11	11	11	11	11				
12	F	W	60	19	1915										12	12	12	12	12				
13	M	W	65	21	1920										13	13	13	13	13				
14	F	W	70	23	1925										14	14	14	14	14				
15	M	W	75	25	1930										15	15	15	15	15				
16	F	W	80	27	1935										16	16	16	16	16				
17	M	W	85	29	1940										17	17	17	17	17				
18	F	W	90	31	1945										18	18	18	18	18				
19	M	W	95	1	1950										19	19	19	19	19				
20	F	W	100	3	1955										20	20	20	20	20				

ALL INFORMATION ON THIS SCHEDULE IS TO BE KEPT SEPARATE AND CONFIDENTIAL. IT IS TO BE DESTROYED 10 YEARS AFTER THE CENSUS IS COMPLETED.
 THE FOLLOWING ARE THE NAMES OF THE PERSONS WHOSE NAMES ARE LISTED ON THIS SCHEDULE AS BEING DEAF, DUMB, OR EPILEPTIC:
 (List of names and addresses)

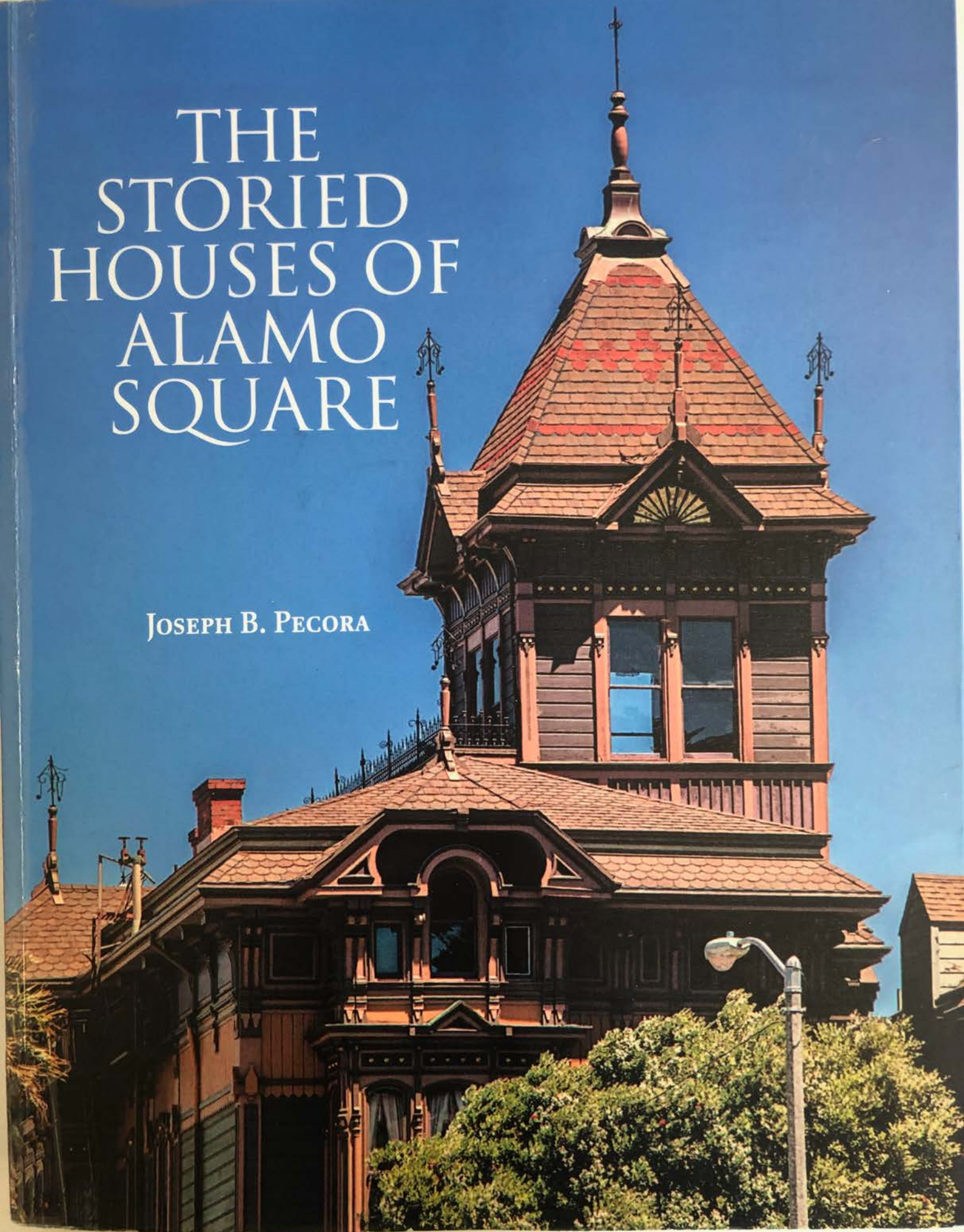
714 Steiner Street San Francisco, Historic Structure Report
Mills Act Application – May 28, 2021

APPENDIX EIGHT – Relevant Pages *Storied Houses of Alamo Square*



THE STORIED HOUSES OF ALAMO SQUARE

JOSEPH B. PECORA



Published by Norfolk Press
398 Eleventh Street, 2nd Floor
San Francisco, CA 94103
www.norfolkpress.com

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For information please contact
Norfolk Press or alamosquare.net.

ISBN: 978-1-60052-092-1

Printed in the United States

\$45

THE JAMES FRANK MORONEY HOUSE

710 STEINER STREET



THE SEVEN Queen Anne cottages that form what is now known as "Post Card Row" on Steiner Street's 700 block were constructed from 1892 to 1895 by carpenter-builder Matthew Kavanaugh. He designed the first one built, 722 Steiner, for his own residence. The second at 710 Steiner, erected in 1894, he sold to newlyweds James Frank and Anna Hunt Moroney.

OWNERS AND OCCUPANTS: Both born of pioneer California families that originated from New York, James Moroney and Anna were the earliest occupants of the

row. James (1869–1919), the son of a successful Gold-Rush era stockbroker, Paul Moroney, was at various times employed as an agent for A. P. Hotaling's real estate firm; as president of his father-in-law's wholesale wine and liquor distillery, the Jessie Moore Hunt Company; as secretary of the Pacific Stock Exchange; and, finally, as president of his own insurance firm, Moroney and Grant. He was a member of the Native Sons, the Family, and the Bohemian Clubs. In 1889 and '90 he was billiard champion of the Olympic Club. Anna was the daughter of Henry B. Hunt, who had arrived alone in San Francisco in 1849, at age 9, after losing his guardian-uncle to yellow fever in Panama. Known as "The Baby Pioneer," he had supported himself with odd jobs until his financial success in the liquor industry.¹ Anna, who was 19 when she married James, was described in one press release as "one of the most popular girls in the younger society set, as well as being acclaimed the most beautiful."

During their first few years at 710 Steiner the Moroneys had two daughters, Ethel Anne (b. 1895) and Marion Theresa (b. 1897). Their African-American servant from Louisiana, Jennie J. Howard, and her husband, John, a printer, born in Pennsylvania, were also in residence. In 1909 Anna and James separated and moved from 710

Steiner. In 1913 Anna married again, this time to Dr. Edward N. Short, a recently divorced dentist, amateur athlete and clubman. In 1919 James Moroney, then residing at the Palace Hotel, died at age 50. The next year the joint engagements and subsequent weddings of the Moroneys' daughters received extensive pictorial coverage in the society pages. Marion became Mrs. Augustine Warner Bliss; Ethel, Mrs. John B. Winston.

In 1910 marine engineer Charles Brown rented 710 Steiner for his family of six and four roomers from the new owner, Mary Daly. She subsequently let the house to

the families of Edward Newman and Walter Heckman before selling it in 1921. From 1923 to 1943 the owner-occupants were Julius and Anna Stegman; from 1943 to 1958, Anatole and Stefana Sims; from 1958 to 1967 George Posner, investigator and skilled photographer, resided there with his family.

In 1967, Gregoire Calegari, a CPA, and his wife Cathy, an airline attendant, purchased 710 Steiner for \$32,000. They replumbed and rewired the entire house, added a central vacuum system, a new kitchen, bookcases and a back deck. When the French American School was in the process of acquiring the Probert House at Grove and Steiner Streets, the Calegaris allowed the school to use their front parlor as interim administrative offices. They later selected that school for their two sons, Jean Paul and Jean Claude. Gregoire Calegari remembers his years residing across from Alamo Square as an exciting time, during which the neighborhood successfully united to thwart the Redevelopment Agency's plans to expand its renewal programs into the area.

In 1974 the Calegaris sold 710 Steiner for \$87,500 and moved to the Richmond District. Barbara Bladen and her husband Bill Porter occupied the house from 1976 until the early 1990s, when they moved to their ranch near San Miguel Allende, Mexico.

Since 1993 the Moroney House has been owned and occupied by Hollis Hardin, CPA, and Paul Vestal, an insurance broker. Mr. Hardin

came to California from Illinois in 1948; Mr. Vestal, to San Francisco from Woodbridge, Connecticut, in 1954. Mr. Vestal, whose family home in Connecticut dates to 1730, is — like the original owner of 710 Steiner — a member of the Olympic and Bohemian Clubs.



This early to mid-twentieth century photo was attached to a for sale listing with an asking price of \$8,000. It was described as a completely furnished twelve room house sublet as house-keeping apartments. At this time, the residence retained its fancy porch fretwork and lacked a garage. Author's collection



James Frank Moroney (1869–1919), the first owner and occupant of 710 Steiner Street, posed for this photo at age 24 for the 1893 publication “History of the Olympic Club”. He and his family resided at 710 Steiner from late 1894 to 1909.

THE HOUSE: The Moroney House is one of a row of Queen Anne style townhouses united by form but individualized by detailing. It is distinctive for its elaborately ornate gable, shingled surfaces and spindle work, and the pattern of its jewel-encrusted stained glass windows. In 1994, the house was reroofed, its chimneys relined and (at roof-level) rebricked. That same year it was painted in three lightly-hued earth tones and its ornament gold-leafed.

Original features of the interior include fireplace mantles, tiles, ceiling medallions, chandeliers, figural brackets, pocket doors and a dining-room floor parquet frieze in a Greek Key motif. A small washroom located at the rear of the downstairs hallway now displays Bradbury & Bradbury wallpapers in a Neo-Grec pattern of terracotta

and black. The well of the handsomely designed staircase is brightened by a long, vertical, stained glass panel, inset with a painted country scene. On the second floor are three bedrooms; on the top floor, two more, which serve as guest rooms.

As part of their kitchen remodeling, for which interior designer Paul Duchsherer was a consultant, Paul and Hollis added cabinetry faced with elegant, beveled-glass doors and a ceiling-frieze of hand-painted Lincrusta Walton. Just off the kitchen two stately redwood trees shade the rear deck.

THE BUILDER: Matthew Kavanaugh (1845–1912), immigrated to America from County Wexford, Ireland (a coastal district south of Dublin), at age 24. In the 1870s and '80s, he was first employed as a coachman and later as an agent and collector for French realtor Joseph Emeric. By the 1890s he was self-employed as a developer of his own real estate holdings.

Matthew Kavanaugh and James Frank Moroney share a common resting place: both are interred at Holy Cross Cemetery in Colma.

Testimony of Harry Hunt, grandson of Henry B. Hunt. See a substantially different account in F. B. Millard's History of the San Francisco Bay Region, vol. 2 (1924), p. 237.

Article written February 1996

THE FRANK LAFAYETTE PLATT HOUSE

712 STEINER STREET

IN EARLY 1895, BUILDER Matthew Kavanaugh offered for sale six recently-constructed Queen Anne style cottages across from Alamo Square. The first buyers of these dwellings were predominantly young couples eager to leave the older congested downtown area for the amenities of a more fashionable district. The heads of these households included the president of a wholesale wine and liquor distillery, a dentist, the Chief Steward of the steamer *Mariposa*, a receiving teller at Crocker-Woolworth National Bank, a lace and fancy goods importer, and a physician. Most of the residents were of Irish and German descent and all had live-in ser-

vants. The young couple purchasing 712 Steiner Street in March of 1895 were Frank LaFayette Platt, a dentist, and his wife, Clare Emelia.

OWNERS AND OCCUPANTS: Frank Platt, a native of LeRoy, New York, was 9 years old in 1873 when his parents, George and Elizabeth, brought him and his brother Ralph to Vacaville, California, where the family would farm an eighty-nine-acre spread. A graduate of the Vacaville Normal School in 1887, Frank then earned a degree from the Philadelphia Dental College, which he attended for three years. In 1891 he established

a dental practice in downtown San Francisco and, in 1892, married Miss Clare E. McKevitt, whose family, like his own, had migrated from New York to rural Vacaville.

By the 1890s, the art of dentistry in urban areas had dramatically improved in technique, and Frank Platt was one of its foremost and respected practitioners. While practicing his profession out of an office in the Flood Building on Market Street, he also edited the *Pacific Dental Gazette* from 1897 to 1913, was president of the San Francisco Dental Society from 1897 to 1899, and served on the faculty of both the U.C. Dental School and the College of Physicians & Surgeons of San Francisco.

According to the Federal census of 1900, Frank and Clare shared 712 Steiner with a boarder, Dr. Herbert Clement, and a then 18-year-old servant, Sarah McDonnell. The Platts' purchase of their picturesque four-story gabled dwelling in the Western Addition was their first venture into home ownership and they would have remained there longer than eleven years were it not for the consequences of the fire and earthquake of 1906. Faced with the loss of his downtown dental office, Frank relocated his practice to 712 Steiner and changed his residence to 2733 Russell Street in Berkeley. Eventually Frank reestablished his practice in downtown San Francisco, commuting from the east bay by ferry boat. It is shortly after they left the City that Frank and Clare adopted their only child, Polly Elizabeth.

Mary Daly, a real estate investor, purchased 712 and 710 Steiner for rental property in 1910 and sold them both in 1921. New owners of 712 were three siblings, Mary Brennan, a dress-maker; her brother Edward, a ship's builder; and her sister Elizabeth, 30, who had rented the house since 1915. The Brennans, all single, had previously lived on Fillmore Street's 200 block, where their parents had settled in 1897. Mary resided in the house into her 80s and, after its sale in 1957, stayed on for an additional year or two as a tenant.

The new absentee owners, Sophie and Daniel Partridge, kept the Platt House for five years before selling it for approximately \$14,000 in 1963 to a neighboring homeowner, Bernie Senger, of 716 Steiner. Mr. Senger bought the house for investment purposes and leased it to a series of tenants for thirteen years. He finally parted with the Platt house in 1976 for approximately \$120,000.

A succession of four more owners occupied 712 before Catherine Horsfall, a third generation San Franciscan, acquired the residence in 2001. Catherine's paternal grandparents, the Sheehans, arrived in San



Francisco separately from Ireland in the late 1850s and 1870s, settling first on Rincon Hill, after their marriage, and later in the Mission.

Her mother, Magnhilde, immigrated to America in 1923 from the small Swedish Island of Reso near Norway. Before earning a teaching credential at U.C. Berkeley, Cathy attended Star of the Sea Elementary in the Richmond, and Presentation High in the Western Addition. After forty years as a reading specialist in Daly City's Jefferson School District, Cathy retired.

THE HOUSE: 712 and its neighbors, important components of the Alamo Square Historic District, are representative of the front gabled, profusely ornamented Queen Anne style row house popular in San Francisco during the 1890s. Missing features are once prominent brick chimneys and with one exception, fenced front gardens.



This portrait of Dr. Platt, the first owner-occupant of 712 Steiner Street, appeared in *Men of the Pacific Coast*, 1902-03.

Inside, Kavanaugh's floor plans and furnishings, like his exteriors, varied little from dwelling to dwelling. Although most of the interiors have been modified in some way, noteworthy features still shared by many include decorative plasterwork that demarks the division of the parlors, unusually ornate stairway balusters, and the placement of a painted glass window above the first landing.

After Cathy Horsfall purchased the house, she painted outside and in, added a new roof, refin-

ished and installed new flooring, wallpapered, and restored the fireplaces. George Horsfall, one of her two sons, the owner of two San Francisco inns, has been a major contributor to the restoration efforts.

The first floor of 712 remains relatively intact. A long entry hall, as it leads to the kitchen, opens to the

parlors and dining room to the right and a small half bath near its end. The public rooms are decorated in Victorian style ceiling and frieze paper designed and manufactured by Bradbury & Bradbury of Benicia.

Upstairs, to the right, the hall passes a middle bedchamber and terminates in a light and airy, street-facing master bedroom. Overlooking Alamo Square, it is connected to the second chamber by a small restored washroom. At the opposite end of the hall, two of the house's smaller apartments were combined by a past owner to form a large bedroom, a dressing room and a spacious bath.

San Francisco history buffs will be fascinated by the owner's attic level exhibit of family mementos. In display cases located between a rear guest bedroom and the small work room facing the park are older books, one inscribed by Mark Twain, that belonged to her paternal grandfather; Treasure Island memorabilia; Cathy's childhood toys; furniture and photos.

The Platt House garden, thanks to being built at the juncture of two disparately shaped lot lines, is configured like a reverse L. Formal in design, laid mostly in brick and cobblestones, it features statuary and a small fountain, potted plants and a good-sized wisteria. Over the trellised fence, one can see other well-kept gardens and, in the distance, the dome of City Hall.

THE BUILDER: Matthew Kavanaugh combined two separate parcels to prepare for the 700 block Steiner Street development. The largest, purchased in April 1891 for \$8,150, extended from Grove for 135'5" south up the hill, into a portion of what is now 712. Acquisition of a second adjacent uphill parcel, on which a portion of 712 and all of 710 now stand, enabled the builder to divide the row into six 23'3" lots and one of 30'6" for his own residence. The first five and one-half lots are 75" deep while the second parcel was 85" deep, resulting in the oddly shaped back garden of the Platt house.

Two other residences built by Matthew Kavanaugh in the Alamo Square Historic District are 812-814 Steiner (1896) and 896-898 Steiner (1888).

Sources consulted: California State Library *Biographical File*, *San Francisco Real Estate Circular*, June 1888; *Who's Who in California*, Royal Edition 1928-29.



Launching day in the Richmond shipyards of the S.S. "Sidney H. Short," February 28, 1944. Catherine Horsfall, left, is the present owner of 712 Steiner Street. Courtesy the Horsfall family.

Article written April 2005

THE KAVANAUGH-SHANNON HOUSE

722 STEINER STREET

POPULARIZED IN DOZENS of TV. commercials, movies, and periodicals, the photogenic tower house at 722 Steiner Street and the adjacent six gabled Queen Anne cottages have become the most prominent symbols of the Alamo Square neighborhood. Various referred to as the "Seven Sisters," "The Painted Ladies," and "Postcard Row," they were all constructed by contractor-builder Matthew Kavanaugh in the 1890s. Before developing his uphill parcels, Matthew built his own corner abode in 1892, where he would reside with his wife Catherine until the turn of the century.

OWNERS AND OCCUPANTS: Five years after Matthew's townhouses were completed in 1895, he and his wife moved to San Rafael. Aside from their nationally famed row houses, sited directly east of Alamo Square, the couple is memorialized by a large stained glass window that they donated to Fillmore Street's Sacred Heart church. Located on the northern wall of the nave, and probably dating from 1898, it features painted portraits of their patron saints, Catherine of Alexandria and Matthew the Apostle.

Succeeding the Kavanaughs was the three generation German-American family of Fred Klopper, a leather dealer, and his wife Anna. Residing with them, according to the 1900 census, were three of their four children, Fred, 18; Herman, 10; their married daughter, Louise Schnabel, 28; and her two children. Another adult married daughter, Marie Bette, lived elsewhere. Frank passed away in 1917 and his children sold the house in 1922.

By 1975 the property, which had changed hands approximately ten times, had been condemned and, to make way for a parking lot, slated for demolition. Saviors of the building were new owners Michael Shannon and his partner, Dr. James Voigeny, who proceeded to bring it up to code by replacing all wiring, water and gas lines, and installing a new heating system and reinforced foundation. Michael, in the late 1970s and early 1980s, was one of the neighborhood activists whose efforts were responsible for creating the Alamo Square Historic District.

THE HOUSE: This four-story house of 4,500 square feet has been so wonderfully restored and handsomely dec-



orated with a mix of antiques and contemporary furnishings that it is visited regularly by tour groups. The interior includes steel furnishings manufactured by the company Shannon & Jeal whose shop and offices were first located at 722 Steiner. The main floor features working gas lights in the parlor and dining room.

Because of its prime corner location, 722's garage was placed on its Grove Street side; thus, unlike its neighbors, the house was able to preserve its street side garden and wrought iron fencing. Aside from the front tower, the house is distinguished by its hipped roof, second-story fish scale shingles, decorative frieze bands and glassed-in portico. Its northern exposure is enlivened by a rectangular bay and two small gables.

Article written July 1991

714 Steiner Street San Francisco, Historic Structure Report
Mills Act Application – May 28, 2021

APPENDIX NINE – Structural Report



May 25, 2021

City and County of San Francisco
Department of Building Inspection
49 South Van Ness Avenue
San Francisco, California 94103
dbi.specialinspections@sfgov.org

Structural Evaluation

Culver Residence – Chimney and Entry Stair Evaluation
714 Steiner Street, San Francisco, CA 94117
SFDBI PA #2021 – 0323 – 7149

To whom it may concern:

We visited the site on March 22, 2021 to observe the existing conditions of the above residence. Two main areas that we would like to address are the following:

1. The existing brick chimney on the northwest side of the building that runs the full height of the building.
2. The existing entry stairs.

Our site visits included a review of the existing construction in which we observed exposed elements, and damages to finishes that might be indicative of larger structural issues. This report provides a summary of our findings and recommendations to demolish and rebuild-in-kind both the chimney and entry stairs. Replacing the chimney will avoid the danger the chimney poses to those in close proximity, such as neighbors, during a seismic event. Replacing the entry stairs will provide safe access to the main entrance.

I. Description of Existing Construction

CHIMNEY

The existing brick chimney appears to be made of a single course of unreinforced masonry, based on the exposed brick at the garage level, see attached Photo 1. Per the photo, the garage door was installed by demolishing a portion of the existing supporting brick. Photo also shows cracking along right side of chimney between brick and adjacent walls. The condition of the existing brick at the above floors were covered by finishes and inaccessible for observation.

ENTRY STAIRS

The existing entry stairs leading from the side walk to the main entry on the second floor appear to be unlevel, potentially creating a tripping hazard. The exposed stairs have evidence of staining where water typically pools and leaks to framing below, see Photos 2 – 4. Cracks and gaps are observed throughout indicating possible foundation settlement. The existing foundation appears to be unreinforced brick masonry with portions of concrete, indicating attempts to patch previous cracks and leaks. Some portions of stair construction appear to be flat 1x untreated wood framing currently supporting heavy stone steps and mortar bed above. The existing 1x untreated wood framing shows signs of water intrusion, water damage, buckling, and areas of dry rot. There is no waterproofing barrier between any of the untreated wood framing surfaces and concrete, or brick interface.

II. Inspection Findings and Recommendations

CHIMNEY

Based on our observations, the existing chimney does not appear to have adequate bracing to be laterally tied back to the building structure and shows signs of distress that we assume propagates throughout the chimney above.

It is our professional opinion that the existing unreinforced brick chimney poses a danger to anyone on site and within close proximity of the chimney during a seismic event. We recommend that the existing brick chimney be removed and replaced by wood framed chimney constructed per current applicable building codes and standards.

ENTRY STAIRS

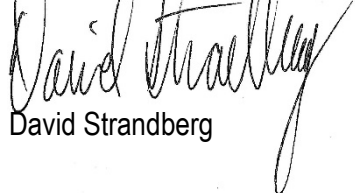
Based on our observations, the water damage, existing cracks, and uneven stair treads, are signs indicative of foundation settlement and framing instability. Existing patchwork has been shown to be ineffective due to re-emerging signs of distress. Delaying action may compound the issues by allowing existing cracks to grow over time leading to further water intrusion and stair misalignment.

It is our professional opinion that the entry stairs should be demolished and rebuilt in order to provide safe access to the residence's main entry rather than continued patchwork. Other factors may also be contributing to the instability of the existing stair construction but cannot be determined at this time.

Photos provided below for reference.

Please do not hesitate to call 415-778-8726 if you have any questions regarding this report.

Best Regards,



David Strandberg



Photo 1: Existing brick framing where installation of garage door exposes damage to brick work. Large crack indicates separation between building and brick framing.



Photo 2: Untreated wood framing showing water damage, buckling, and staining.



Photo 3: Cracking and gaps in concrete stairs allowing water to seep into enclosed crawlspace below stairs.



Photo 4: Cracking and gaps in concrete stairs allowing water to seep into enclosed crawlspace below stairs.

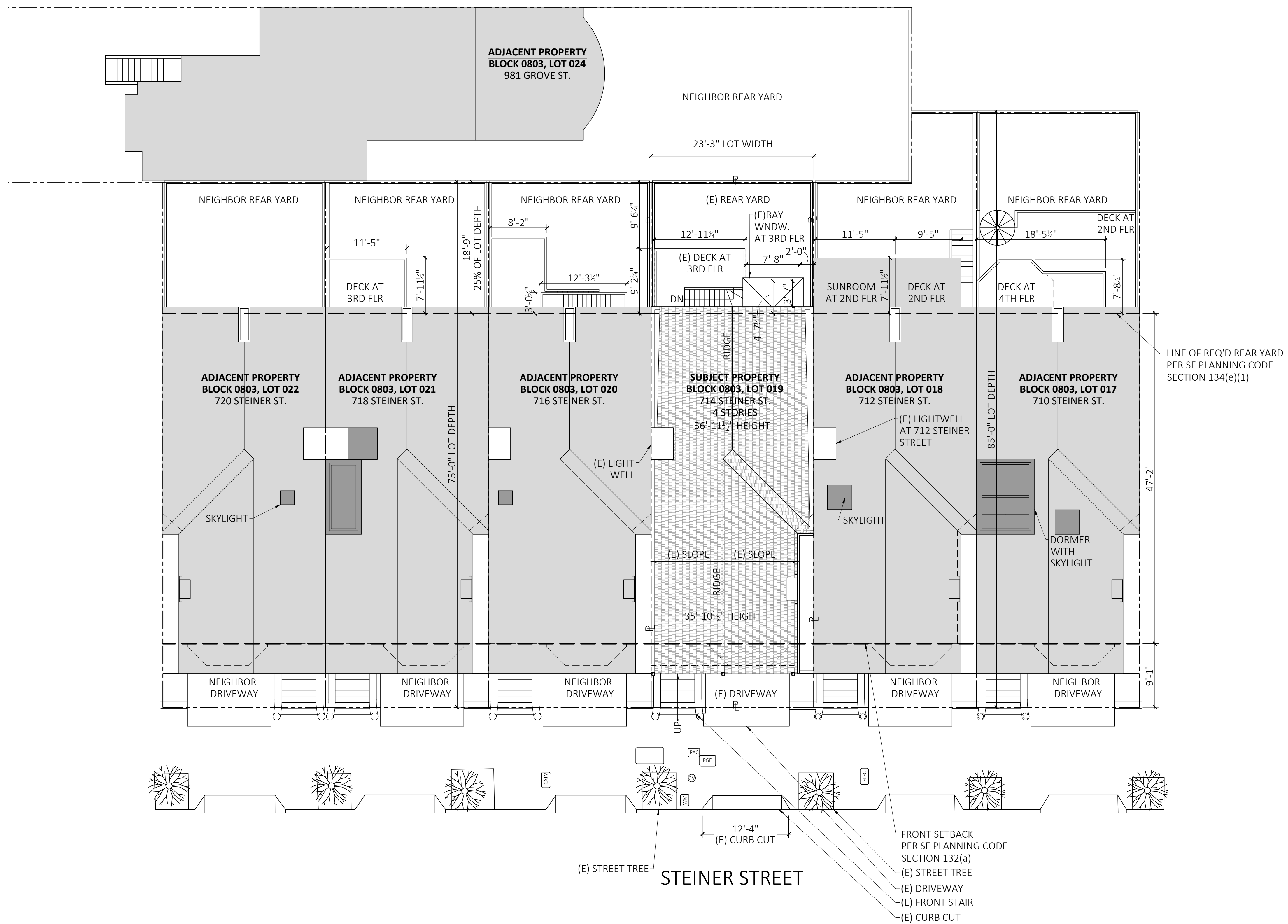
714 Steiner Street

Mills Act Application

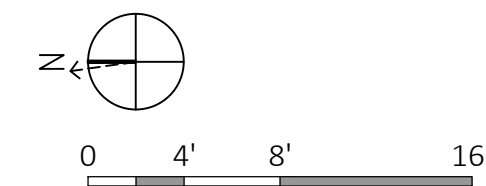
May 28, 2021

Attachment H: Site Plan

**completed by David Armour Architecture
Submitted separately 11 x 17 format**



SITE PLAN - EXISTING 1
1/8" = 1'-0"



DAVID ARMOUR ARCHITECTURE
498 HAIGHT STREET
SAN FRANCISCO, CA 94117
(415) 440-2880



CULVER RESIDENCE
714 STEINER STREET, SAN FRANCISCO, CA 94117

ISSUANCE	DATE
CofA/VARIANCE	05.26.21
BUILDING PERMIT	03.29.21
MILLS ACT APP.	05.26.21

JOB # 2004

SITE PLAN - EXISTING

A0.1

SCALE: 1/8" = 1'-0"

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Attachment B
Annual Monitoring Information

Contract #	Mills Act Property Address	Contract Year	2020 Work Scheduled?	Status	Notes
1	460 Bush Street	2002	No	Complete	
2	1080 Haight Street	2007	Yes	Complete	Emailed applicant on 9/9/2021 to confirm receipt of 2020 monitoring affidavit and to inform them that no further action is needed at this time. Noted that painting will need to occur in 2021.
3	1735 Franklin Street	2007	No	Complete	Emailed applicant on 4/27/21 to confirm the Dept.'s receipt of 2020 monitoring affidavit and to inform them that no further action is needed at this time.
4	690 Market Street	2009	Yes	Complete	Property is in compliance
5	1818 California Street	2009	Yes	Complete	Emailed applicant on 7/29/2021 to confirm receipt of 2020 monitoring affidavit and to inform them that no further action is needed at this time. Property in compliance.

Contract #	Mills Act Property Address	Contract Year	2020 Work Scheduled?	Status	Notes
6	201 Buchanan Street	2011	Yes	Complete	Emailed applicant on 5/7/2021 to confirm receipt of 2020 monitoring affidavit and to inform them that no further action is needed at this time.
7	2550 Webster Street	2013	No	Complete	Inspections completed
8	3769 20th Street	2013	No	Complete	emailed them on 9/9/21 to ask if annual maintenance work was complete. Responded 9/9 annual maintenance complete.
9	1019 Market Street			In process	Waiting for further info. on facade survey, otherwise property is in compliance. Holding off on sending compliance letter pending further information on facade survey.
10	1772 Vallejo Street	2013	Yes	Complete	Property is in compliance
11	50 Carmelita Street	2013	Yes	Complete	Emailed applicant on 5/7/2021 to confirm receipt of 2020 monitoring affidavit and to inform them that no further action is needed at this time.
12	66 Carmelita Street	2013	Yes - postponed to 2021	Complete	Emailed applicant on 5/7/2021 to confirm receipt of 2020 monitoring affidavit and to inform them that no further action is needed at this time. Noted that painting will need to occur in 2021.

Contract #	Mills Act Property Address	Contract Year	2020 Work Scheduled?	Status	Notes
13	56 Pierce Street	2013	Yes	Complete	Emailed applicant on 5/27/21 to confirm the Dept.'s receipt of 2020 monitoring affidavit and to inform them that no further action is needed at this time.
14	64 Pierce Street	2013	Yes	Complete	
15	56 Potomac Street	2013	Yes	Complete	Property is in compliance. Owners to update 2021 cycle with window repair for 3 windows at rear. BPA for this work obtained (2021-0910-8130)
16	66 Potomac Street	2013	Yes	Complete	Property is in compliance
17	68 Pierce Street	2014	Yes	Complete	Completed work carried over from 2016 permit. Inspections also completed.
18	563-567 Waller Street	2014	No	Complete	emailed notice of completeness on 9/15/21
19	621 Waller Street	2014	No	Under enforcement	Enforcement case open and application submitted to address years of delinquent and incomplete scopes of work.
20	722 Steiner	2015	Yes	Complete	Property is in compliance

Contract #	Mills Act Property Address	Contract Year	2020 Work Scheduled?	Status	Notes
21	807 Montgomery	2015	Yes	Complete	
22	761 Post	2015		In Process	Emailed applicant that affidavit has not been received. Former contact had left the company, and same email notice was sent to new contact within the organization.
23	1036 Vallejo Street	2016	Yes	Complete	Property is in compliance
24	101-105 Steiner Street	2016	Yes - postponed to 2021	Complete	BPA for scopes of work are being sought but are delayed due to COVID-19. Emailed applicant on 5/27/21 to confirm the Dept.'s receipt of 2020
25	361 Oak Street	2016	Yes	Complete	Property is in compliance, and notice of compliance was emailed to property owner and uploaded to M Files on 4/22/2021
26	215 and 229 Haight Street / 55 Laguna (Filed under 200 Buchanan)	2017	No	Complete	Emailed applicant on 4/27/21 to confirm the Dept.'s receipt of 2020 monitoring affidavit and to inform them that no further action is needed at this time.

Contract #	Mills Act Property Address	Contract Year	2020 Work Scheduled?	Status	Notes
27	101 Vallejo Street	2017		Complete	Property is in compliance, and notice of compliance was emailed to property owner and uploaded to M Files on 8/2/2021
28	627 Waller Street	2017	Yes per 2019 affidavit/2020 differs	In Process	New owner has purchased property. Staff working with new property owner to ensure that work from previous owner is completed in a timely manner.
29	940 Grove Street	2017	Yes	Complete	
30	973 Market Street	2017		In process	Emailed applicant (and other managing director of organization that affidavit has not been received. 9/20 Applicant following up with assest manager regarding affidavit.
31	60-62 Carmelita Street	2017	No	Complete	Emailed applicant on 7/1/2021 to confirm receipt of 2020 monitoring affidavit and to inform them that no further action is needed at this time. Noted that painting will need to occur in 2021.
32	2253 Webster Street	2018	Yes	Complete	Inspection work completed; Owner requested to postpone Mills Act work (handrail) to 2021
33	353 Kearny Street	2018		In Process	Emailed applicant that affidavit has not been received.

Contract #	Mills Act Property Address	Contract Year	2020 Work Scheduled?	Status	Notes
34	465-467 Oak Street	2018	Yes	Complete	Property is in compliance, and notice of compliance was emailed to property owner and uploaded to M Files on 4/27/2021
35	587 Waller Street	2018	Yes	Complete	Emailed applicant 9/15 to confirm complete affidavit.
36	354-356 San Carlos Street	2018	Yes	Complete	Emailed applicant on 5/7/2021 to confirm receipt of 2020 monitoring affidavit and to inform them that no further action is needed at this time.
37	811 Treat Avenue	2018	No	Complete	Emailed applicants on 8/26 as a few maintenance requirements were not listed on the affidavit. Once applicants confirmed work was complete, emailed applicants on 8/30/2021 to inform them that no further action is needed at this time.
38	2251 Webster Street	2019	Yes	Complete	Emailed applicant on 4/6/21 to confirm the Dept.'s receipt of 2020 monitoring affidavit and to inform them that no further action is needed at this time.

Contract #	Mills Act Property Address	Contract Year	2020 Work Scheduled?	Status	Notes
39	1401 Howard Street	2019	No	Complete	emailed applicant on 8/26 to ask about annual maintenance as those were not mentioned on affidavit. Once applicants confirmed work was complete, emailed applicants on 9/2/2021 to inform them that no further work is necessary.
40	64 Potomac Street	2019	Yes	Complete	Property in compliance. Letter issued 8/2/21 to document 4 scopes of work now proposed for 2021 cycle. Window repair will now be window replacement under BPA No. 201812219020
41	2168 Market Street	2019	Yes	Complete	
42	2731-2735 Folsom Street	2019	Yes	Complete	

Attachment C
Current Mills Act Valuations
Provided by the Assessor-Recorder

FY 2021 - 2022 MILLS ACT VALUES AND TAX SAVINGS

AS OF SEPTEMBER 12, 2021

Summary table with columns D, E, F, G, H, I, J. Rows include 2021-2022 Factored Base Year Value, 2021-2022 Taxable Mills Act Value, Reduction in Assessed Value, Percentage % Reduction From FBVY, 2020-2021 Property Tax Rate, Estimated Property Tax Savings, and Remarks. Total row shows values: \$384,827,203, \$270,158,471, \$(114,668,732), -29.80%, 1.1984%, (\$1,374,190).

Main data table with columns A-J. Includes APN, Address, Property Type, 2021-2022 Factored Base Year Value, 2021-2022 Taxable Mills Act Value, Reduction in Assessed Value, Percentage % Reduction From FBVY, 2020-2021 Property Tax Rate, Estimated Property Tax Savings, and Remarks. Includes a SUBTOTAL row.

Table listing individual property units (APNs 0311 016 to 0311 079) with columns A-J. Includes APN, Address (690 Market Street Unit...), Property Type, 2021-2022 Factored Base Year Value, 2021-2022 Taxable Mills Act Value, Reduction in Assessed Value, Percentage % Reduction From FBVY, 2020-2021 Property Tax Rate, Estimated Property Tax Savings, and Remarks. Includes a 690 MARKET SUBTOTAL (Non-Renewal) row.