



CERTIFICATE OF APPROPRIATENESS EXECUTIVE SUMMARY

HEARING DATE: OCTOBER 6, 2021

Record No.: 2020-011214COA
Project Address: 714 STEINER ST
Landmark: Contributor, Alamo Square Landmark District
Zoning: RH-2 RESIDENTIAL- HOUSE, TWO FAMILY Zoning District
40-X Height and Bulk District
Block/Lot: 0803/019
Project Sponsor: Chloe Angelis, Reuben, Junius & Rose, LLP
One Bush Street, Suite 600
San Francisco, CA 94104
Staff Contact: Michelle A. Taylor - 628-652-7352
Michelle.Taylor@sfgov.org

Recommendation: Approval

Property Description

714 STEINER ST is located on the east side of Steiner Street between Hayes and Grove Streets (Assessor's Block 0803; Lot 019). The subject building is a contributor to the Alamo Square Landmark District, locally designated under Article 10, Appendix E of the Planning Code.

714 Steiner Street is one of the Queen Anne buildings on "Postcard Row" directly across from Alamo Square. The building is a three story over garage, wood-frame, two-unit residential building constructed in 1895 and features a gable roof and bay window.

Project Description

The proposed project includes a horizontal rear addition, new deck, and new openings at the rear of an existing two-unit residential building. Additional alterations include conversion of a garage into habitable space and replacement of the garage door with new windows at front elevation. Restoration work includes full replacement of the front stairs, repairs to street-facing windows, and repair of ornamental wood detailing. Work also includes

interior remodeling of both units, seismic strengthening, and new skylights. Please see photographs and plans for details.

Compliance With Planning Code

PLANNING CODE DEVELOPMENT STANDARDS.

The proposed project requires a front yard setback Variance (Planning Code Section 132) and a rear yard Variance (Planning Code Section 134). All required applications are on file with the Planning Department. The proposed project is in compliance with all other provisions of the Planning Code.

In order to proceed, a building permit from the Department of Building Inspection is required.

APPLICABLE PRESERVATION STANDARDS.

The proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 1006.6 of the Planning Code, and complies with the *Secretary of the Interior's Standards for Rehabilitation*, in that:

- the proposal respects the character-defining features of the subject building;
- the architectural character of the subject building will be maintained and that replacement elements will not affect the building's overall appearance;
- the integrity of distinctive stylistic features and examples of skilled craftsmanship that characterize the building shall be preserved;
- new and restored features will be based on existing documentation and neighboring properties; and,
- all new materials shall match the historic material in composition, design, color, texture, finish and other visual qualities and shall be based on accurate duplication of features.

The Department has determined that the proposed work will be in conformance with the requirements of Article 10 and the *Secretary of Interior's Standards for Rehabilitation*. Proposed work will not damage or destroy distinguishing original qualities or character of the subject building. The overall proposal includes restoration of windows and ornamental detailing. The proposal includes replacement of the existing front stairs to match neighboring properties in size, design, profile, color, texture, and finish. Work will also include replacement of the garage opening with new siding to match existing and two windows similar to historic condition. The Department finds that the historic character of the building will be retained and preserved and will not result in the removal of historic fabric.

Public/Neighborhood Input

The Department has received one public inquiry for general information about the proposed project and four letters in support of the proposed sensitive rehabilitation of the building and landscape.

Issues & Other Considerations

The proposed project requires a front yard setback Variance (Planning Code Section 132) and a rear yard Variance (Planning Code Section 134). Planning Code Section 132 requires the subject property to maintain a front setback of approximately 9 feet 1 inch. The proposed bicycle storage unit and planter will be approximately 8 feet and 8 ½ inches in length by 4 feet and ½ inch in width and will encroach into the front yard setback. Therefore, the project requires a front setback variance.

Planning Code Section 134 requires the subject property to maintain a rear yard of approximately 18.75 feet. The proposal replaces an existing deck, bay window, and stairs within the required rear yard. The proposed deck will extend 7 feet 11 ½ inches into the required rear yard and the proposed stairs will extend to the rear property line. The proposed bay window will be wider than the existing window but set back further from the side property line. Therefore, the project requires a rear yard variance.

Environmental Review Status

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 categorical exemption.

Basis for Recommendation

The Department recommends approval of the proposed project as it meets the provisions of Article 10 of the Planning Code regarding Major Alteration to a contributing resource in a Landmark District and the *Secretary of the Interior Standards for Rehabilitation*.

Attachments

- Draft Motion – Certificate of Appropriateness
- Exhibit A – Plans and Renderings
- Exhibit B – Categorical Exemption
- Exhibit C – Maps and Context Photos
- Exhibit D – Structural Evaluation of Front Entry Stairs, Strandberg Engineering dated March 31, 2021
- Exhibit E – Undated historic photograph of 710 Steiner Street
- Exhibit F - Project Sponsor Brief and Letters of Support



CERTIFICATE OF APPROPRIATENESS DRAFT MOTION

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR MAJOR ALTERATIONS DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10 OF THE SAN FRANCISCO PLANNING CODE, AND TO MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 019 IN ASSESSOR'S BLOCK 0803 IN A RH-2 RESIDENTIAL- HOUSE, TWO FAMILY ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

Preamble

On December 1, 2020, Reuben, Junius & Rose, LLP (hereinafter "Project Sponsor") filed Application No. 2020-011214COA (hereinafter "Application") with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness for an exterior restoration at the subject building located on Lot 019 in Assessor's Block 0803, which is a contributing resource to Alamo Square Landmark District and locally designated under Article 10, Appendix E of the Planning Code.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

On October 6, 2021, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Certificate of Appropriateness Application No. 2020-011214COA.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2020-011214COA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby **APPROVES** the Certificate of Appropriateness, as requested in Application No. 2020-011214COA in conformance with the architectural plans dated August 24, 2021 and labeled Exhibit A based on the following findings:

Findings

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. **The above recitals are accurate and also constitute findings of the Commission.**
2. **Project Description.** The proposed project includes a horizontal rear addition, new deck, and new openings at the rear of an existing two-unit residential building. Additional alterations include conversion of a garage into habitable space and replacement of the garage door with new windows at front elevation. Restoration work includes full replacement of the front stairs, repairs to street-facing windows, and repair of ornamental wood detailing. Work also includes interior remodeling of both units, seismic strengthening, and new skylights. Please see photographs and plans for details.
3. **Property Description.** 714 STEINER STREET is located on the east side of Steiner Street between Hayes and Grove Streets (Assessor's Block 0803; Lot 019). The subject building is a contributor to the Alamo Square Landmark District, locally designated under Article 10, Appendix E of the Planning Code. 714 Steiner Street is one of the Queen Anne buildings on "Postcard Row" directly across from Alamo Square. The building is a three story over garage, wood-frame, two-unit residential building constructed in 1895 and features a gable roof and bay window.
4. **Surrounding Properties and Neighborhood.** 714 Steiner Street is one of six nearly identical Queen Anne houses known as "Postcard Row" and directly opposite of Alamo Square. The surrounding area is unified in residential character, relatively small scale, construction type, materials, and ornamentation
5. **Public Outreach and Comments.** The Department has received public correspondence from one individual requesting more information about the project and four letters in support of the proposed sensitive rehabilitation of the building and landscape.

6. **Planning Code Compliance.** The Commission has determined that the proposed work is compatible with the exterior character-defining features of the subject property and meets the requirements of Article 10 of the Planning Code in the following manner:

A. **Article 10 of the Planning Code.** Pursuant to Section 1006.6 of the Planning Code, the proposed alteration shall be consistent with and appropriate for the effectuation of the purposes of this Article 10.

The proposed project scope includes demolition that exceeds demolition calculation minimums per Planning Code Section 1005(f)(3) - all external walls from their function as either external or internal walls (square feet). However, the removal of non-original garage door and structurally compromised front stairs are proposed with the intent of restoring these features based on existing documentation and neighboring properties. Therefore, staff finds that the proposed project is consistent with Article 10 of the Planning Code. See Exhibit D for a structural evaluation of the existing front entry stairs. See Exhibit E for a historic photo of a neighboring property with a pair of wood-sash windows at the ground floor.

B. **Secretary of the Interior's Standards.** Pursuant to Section 1006.6(b) of the Planning Code, the proposed work shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties for significant and contributory buildings, as well as any applicable guidelines, local interpretations, bulletins, or other policies. Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

(1) **Standard 1:** A [property](#) shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The proposal will retain the existing two-family use.

(2) **Standard 2:** The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposal intends to modify the building in a manner that will retain and preserve features, forms, and finishes that characterize the building. The proposal includes repair and restoration of front wood-sash windows and ornamental details. Work will also include replacement of a non-character defining garage door and driveway with appropriate wood-sash windows and siding to match existing, to accommodate habitable space at the ground floor. Due to structural failures and poor repairs, the front entry stairs will be removed and reconstructed based on historic documentation and neighboring properties. The rear of the building is not visible from the public right of way and does not exhibit distinctive features; therefore, alteration of this elevation will not diminish the architectural character of the property. The proposed changes will not irreversibly alter features that characterize the building.

(3) **Standard 3:** Each property will be recognized as a physical record of its time, place and use.

Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.

The proposal includes the use of materials and details that are compatible without providing a false sense of historical development. To differentiate new ground floor windows from the upstairs original openings, new double-hung wood-sash windows will be surrounded by a simple wood trim. Additionally, the existing stairs, which exhibit signs of failure, will be removed and the front entry stairs will be restored based on historic documentation and neighboring properties. In place of the driveway, the project proposes to construct a modest new curb wall and low iron fence. There is evidence that the original design included these features, however to avoid conjecture the design of these re-introduced elements will be simple in design.

- (4) **Standard 4:** Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

The proposed project will remove alterations made over time such as the garage and driveway, neither of which have acquired historic significance in their own right.

- (5) **Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property shall be preserved.

The distinctive features and finishes of the building will be retained and preserved, including the overall form and massing of the building, along with horizontal wood siding, fenestration, roof forms, and ornamental detailing.

- (6) **Standard 6:** Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The proposed project will repair all original street-facing windows in kind rather than full replacement. The front entry stairs exhibit signs of structural failing and require reconstruction. The new stair will match the old in design, color, texture, and other visual qualities and will be based on existing evidence and surrounding properties.

- (7) **Standard 7:** Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The proposed project includes cleaning and restoration of the front façade cladding and ornamentation. The treatment of the surface will be undertaken using the gentlest means possible.

- (8) **Standard 8:** Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Not Applicable.

- (9) **Standard 9:** New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the [property](#). The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the [property](#) and its environment.

The proposed scope of work at the front of the property, including window repair, ground floor modifications, landscaping, and front stair restoration were designed to be compatible with the building and largely restorative in nature. In addition to work at the front of the property, the proposed project scope includes modification of the rear façade along with a new a ground floor horizontal rear addition and rear deck. Work at the rear of the property will not be visible from the public right of way and will not destroy materials that characterize the property.

- (10) **Standard 10:** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic [property](#) and its environment would be unimpaired.

The proposed work will not affect the essential form and integrity of the landmark district. The proposed scope of work, including window repair, ground floor modifications, and front stair restoration were designed to be compatible with the building and landmark district. Additionally, alterations and new fenestration at the rear of the building will not remove original materials and will not be visible from the public right of way. If removed in the future the new rear addition and deck would not negatively affect architectural features that characterize the building.

- C. **Historic District.** Article 10 of the Planning Code outlines specific findings for the Commission to consider when evaluating applications for alterations to Landmarks or within designated Historic Districts.

Historic Districts

1. Pursuant to Section 1006.6(d) of the Planning Code, for applications pertaining to property in historic districts, other than on a designated landmark site, any new construction, addition or exterior change shall be compatible with the character of the historic district as described in the designating ordinance; and, in any exterior change, reasonable efforts shall be made to preserve, enhance or restore, and not to damage or destroy, the exterior architectural features of the subject property which are compatible with the character of the historic district.

The project is in conformance with Article 10 and as outlined in Appendix E of Article 10, as the work shall not adversely affect the Landmark site.

2. Pursuant to Section 1006.6(e) of the Planning Code, for applications pertaining to all property in historic districts, the proposed work shall also conform to such further standards as may be embodied in the ordinance designating the historic district.

The project is in conformance with Article 10, and as outlined in Appendix E, as the work is compatible with the Landmark district.

- 7. General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT concerns the physical character and order of the city, and the relationship between people and their environment.

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2:

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

Policy 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

Policy 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject property for the future enjoyment and education of San Francisco residents and visitors.

- 8. Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have an impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not affect the City's affordable housing supply.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking. It will provide sufficient off-street parking for the proposed units.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project is located on Steiner Street in a residential neighborhood and will not have a direct impact on the displacement of industrial and service sectors.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code. As such, this Project will improve the property's ability to withstand an earthquake.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

9. For these reasons, the proposal overall, appears to meet the Secretary of the Interior's Standards and the provisions of Article 10 of the Planning Code regarding Major Alterations.

Decision

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES a Certificate of Appropriateness** for the subject property located at Lot **019** in Assessor's Block **0803** for proposed work in conformance with the architectural submittal dated August 24, 2021 and labeled Exhibit A on file in the docket for Record No. **2020-011214COA**.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days after the date of this Motion No. XXXXXX. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 49 South Van Ness Ave, Suite 1475 or call (628) 652-1150.

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on October 6, 2021.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

RECUSE:

ADOPTED: October 6, 2021

Exhibit A:

Plans and Renderings

Certificate of Appropriateness
Case Number 2020-011214COA
714 Steiner Street

CULVER RESIDENCE

714 STEINER STREET, SAN FRANCISCO, CA 94117



498 HAIGHT STREET
SAN FRANCISCO, CA 94117
(415) 440-2880



CULVER RESIDENCE
714 STEINER STREET, SAN FRANCISCO, CA 94117

SCOPE OF WORK

REHABILITATION OF THE STRUCTURE, INCLUDING SEISMIC UPGRADES, INTERIOR ALTERATIONS THROUGHOUT, RELOCATION OF A DWELLING UNIT TO THE GROUND FLOOR, THE CONSTRUCTION OF A ONE-STORY REAR ADDITION AT THE GROUND FLOOR WITH DECK, NEW BAY WINDOW AT REAR, INSTALLATION OF SKYLIGHTS AT THE ROOF, AND REBUILDING FRONT ENTRANCE STAIRS, LANDING, AND GARAGE OPENING

PROJECT DIRECTORY

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BUILDING DATA / PROJECT SUMMARY TABLE

BLOCK / LOT NO.	0803 / 019	MAX DEPTH EXCAVATION	3'-0"	(E) CONSTRUCTION TYPE	V-B
LOT AREA	23'-3" X 75' = 1,743.75 SQ.FT	SOIL DISTURBANCE	168 CUBIC YARDS	(N) CONSTRUCTION TYPE	V-B
ZONING DISTRICT	RH-2	EXCAVATION AREA	1567 SQ.FT	(E) NO. OF STORIES	4
HEIGHT & BULK	40-X	EXISTING OCCUPANCY	R-3, U	(N) NO. OF STORIES	4
EXISTING HEIGHT	43'-3" ABOVE CURB		2 FAMILY DWELLING, GARAGE		
PROPOSED HEIGHT	43'-3" ABOVE CURB	PROPOSED OCCUPANCY	R-3, 2 FAMILY DWELLING		

SF PLANNING CODE SECTION 102: GROSS AREA CALCULATIONS

LEVEL	EXISTING RESIDENTIAL USE			PROPOSED RESIDENTIAL USE			EXISTING USABLE OPEN SPACE (COMMON)	PROPOSED USABLE OPEN SPACE (COMMON)	PROPOSED USABLE OPEN SPACE (PRIVATE)
	UNIT #1 (2-BEDROOM)	UNIT #2 (3-BEDROOM)	COMMON	UNIT #1 (2-BEDROOM)	UNIT #2 (5-BEDROOM)	COMMON			
1ST FLOOR	0	0	0	889	183	186	387	327	0
2ND FLOOR	892	0	215	0	1,121	0	41	0	115 (UNIT 2)
3RD FLOOR	0	1,114	0	0	1,122	0	0	0	0
4TH FLOOR	0	744	0	0	747	0	0	0	0
TOTAL GSF	892	1,858	215	889	3,173	186	428	327	115
OVERALL GSF	2,965			4,248					
# VEHICLE PARKING SPACES	# EXISTING VEHICLE PARKING SPACES	# PROPOSED VEHICLE PARKING SPACES	EXISTING VEHICLE PARKING AREA, SQ. FT.	PROPOSED VEHICLE PARKING AREA, SQ. FT.	# EXISTING BICYCLE PARKING SPACES	# PROPOSED BICYCLE PARKING SPACES			
	3	0	399	0	0	2			

CBC SECTION 502: BUILDING AREA CALCULATIONS

LEVEL	EXISTING		PROPOSED	
	EXISTING	PROPOSED	EXISTING	PROPOSED
1ST FLOOR	1,057	1,259	1,057	1,259
2ND FLOOR	1,086	1,101	1,086	1,101
3RD FLOOR	1,114	1,122	1,114	1,122
4TH FLOOR	741	747	741	747
TOTAL AREA	3,998	4,229	3,998	4,229

CBC SECTION 502: GROSS FLOOR AREA CALCULATIONS

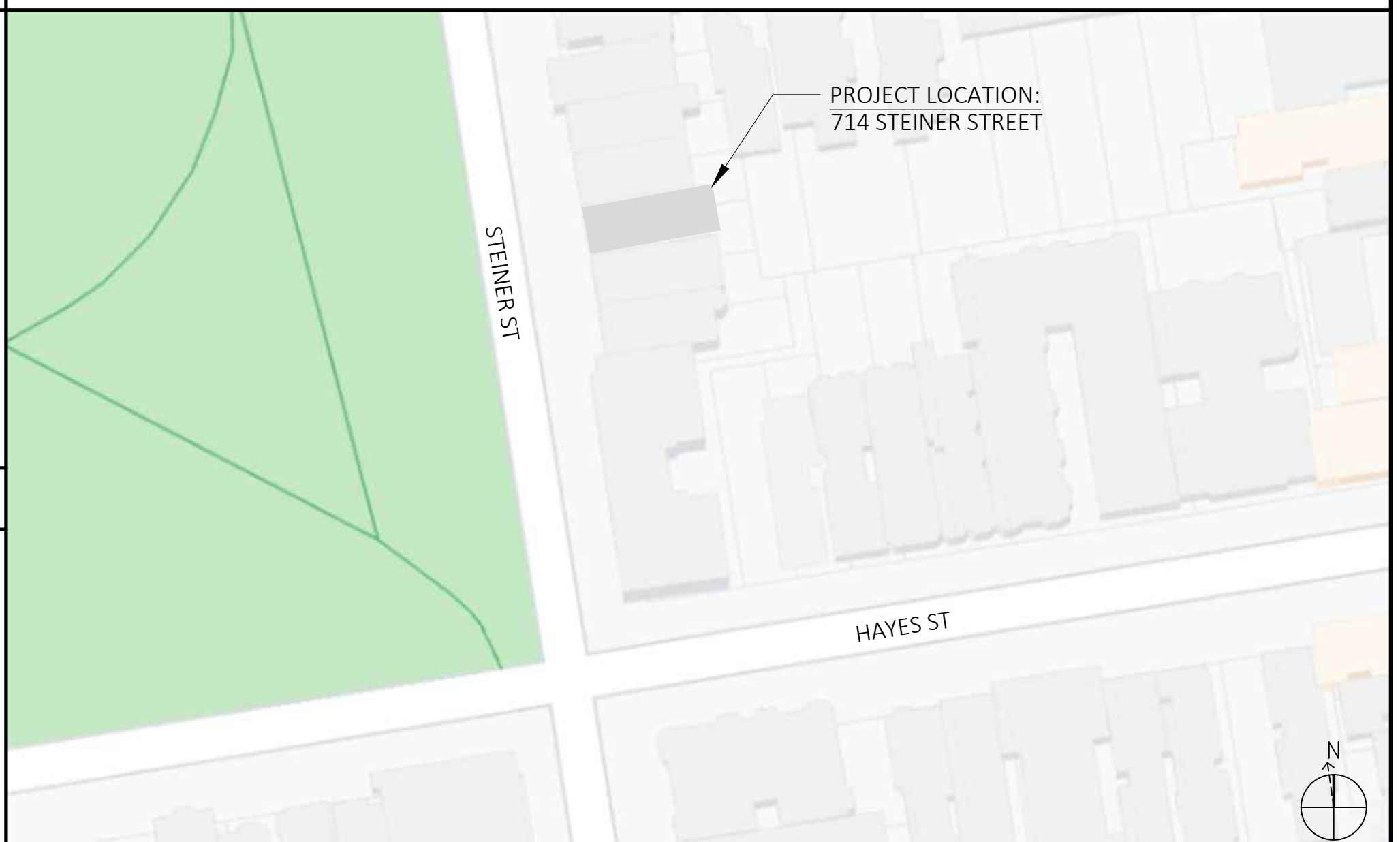
LEVEL	'U' OCCUPANCY (SQ. FT.)		'R' OCCUPANCY (SQ. FT.)	
	EXISTING	PROPOSED	EXISTING	PROPOSED
1ST FLOOR	982	0	0	1,144
2ND FLOOR	0	0	1,001	1,013
3RD FLOOR	0	0	1,041	1,043
4TH FLOOR	0	0	686	665
TOTAL AREA	982	0	2,728	3,865

EFFECTIVE CODES

2019 CBC & SF AMENDMENTS
2019 CHBC
2019 CMC & SF AMENDMENTS
2019 CPC & SF AMENDMENTS
2019 CALIFORNIA ELECTRICAL CODE & SF AMENDMENTS
2019 CALIFORNIA ENERGY CODE & SF AMENDMENTS

BUILDING TO RECEIVE AUTOMATIC SPRINKLER SYSTEM PER 2019 CBC SECTION 903.2.8.1 AND INSTALLED PER 2019 CBC SECTION 903.3.1.3 (SEE "SEPARATE PERMITS" BELOW)

VICINITY MAP



SEPARATE PERMITS

1. AUTOMATIC SPRINKLER SYSTEM

ISSUANCE	DATE
CofA/VARIANCE	05.26.21
BUILDING PERMIT	03.29.21
MILLS ACT APP.	05.26.21
PLAN CHECK	08.24.21
RESPONSE	

JOB # 2004

PROJECT INFORMATION & SHEET INDEX

G1.0

SCALE: N.T.S.

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GENERAL NOTES

- THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS FOR DIMENSIONS. IF A DIMENSION IS REQUIRED BUT NOT INDICATED, THE CONTRACTOR SHALL IMMEDIATELY REQUEST THE REQUIRED INFORMATION FROM THE ARCHITECT PRIOR TO PERFORMING THE WORK IN QUESTION.
- ALL INTERIOR WALL DIMENSIONS ARE POSITIONED AT FACE OF STUD WALL UNLESS OTHERWISE NOTED.
- (+/-) DIMENSIONS PROVIDED SHALL BE VERIFIED IN FIELD
- THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS BETWEEN THE INFORMATION GIVEN IN THE CONSTRUCTION DOCUMENTS AND THE EXISTING FIELD CONDITIONS PRIOR TO PERFORMING THE WORK IN QUESTION.

SYMBOL LEGEND

PROPERTY LINE		EXISTING WALL	
CENTER LINE		PROPOSED WALL	
DEMO LINE		PROPOSED 1 HOUR RATED WALL	
ABOVE LINE			
HIDDEN LINE			

NORTH ARROW		PROJECT NORTH TRUE NORTH
EXTERIOR ELEVATION		ID NUMBER SHEET NUMBER
SECTION CALLOUT		ID NUMBER SHEET NUMBER
DETAIL SECTION CALLOUT		ID NUMBER SHEET NUMBER
ENLARGED DETAIL CALLOUT		ID NUMBER SHEET NUMBER
INTERIOR ELEVATION CALLOUTS		ID NUMBER SHEET NUMBER FLOOR NAME
ELEVATION DATUM		LEVEL ELEV. +0.0 HEIGHT
WALL/FLOOR TYPE TAG		WALL/FLOOR TYPE NUMBER SEE WALL/FLOOR ASSEMBLY
WINDOW TAG		WINDOW NUMBER, SEE WINDOW SCHEDULE
DOOR TAG		EXTERIOR DOOR(D) OR INTERIOR DOOR NUMBER, SEE DOOR SCHEDULE EXT. DOOR INT. DOOR
OPENING TAG		CASED OPENING, SEE OPENING SCHEDULE OPNG.

ABBREVIATIONS

SYMBOLS		SYMBOLS	
	PROPERTY LINE	EP	ELECTRICAL PANEL
	SQUARE FEET	ETR	EXISTING TO REMAIN
	AND	EQUIP	EQUIPMENT
	ANGLE	EQ	EQUAL
	AT	EXPO	EXPOSED
	DIAMETER	EXP	EXPANSION
	PERPENDICULAR	EXT	EXTERIOR
	POUND OR NUMBER		
	GREATER THAN	F	FINISH
	LESS THAN	FD	FLOOR DRAIN
	CENTERLINE	FDN	FOUNDATION
		FF	FINISH FACE OR FINISH FLOOR
		FL	FLOOR
		FIN	FINISH
		FL	FLOOR
		FLASH	FLASHING
		FLOUR	FLOURESCENT
		FO	FACE OF
		FOC	FACE OF CONCRETE
		FOF	FACE OF FINISH
		FOS	FACE OF STUD
		FPRF	FIREPROOF
		FTG	FOOTING
		FURR	FURRING
		FUT	FUTURE
		G	GAUGE
		GA	GAUGE
		GALV	GALVANIZED
		GB	GRAB BAR
		GDRL	GUARDRAIL
		GL	GRIDLINE
		GLS	GLASS
		GFCI	GROUND FAULT CIRCUIT INTERRUPT
		GND	GROUND
		GR	GRADE
		GYP	GYP SUM
		GBB	GYP SUM BACKER BOARD
		GWB	GYP SUM WALL BOARD
		GI	GALVANIZED IRON
		H	HOSE BIB
		HB	HOSE BIB
		HC	HOLLOW CORE
		HDWD	HARDWOOD
		HDWR	HARDWARE
		HDRL	HANDRAIL
		HM	HOLLOW METAL
		HORIZ	HORIZONTAL
		HP	HIGH POINT
		HR	HOUR
		HT	HEIGHT
		I	INSIDE DIAMETER
		ID	INSIDE DIAMETER
		INFO	INFORMATION
		INSUL	INSULATION
		INT	INTERIOR
		J	JOINT
		JT	JOINT
		K	KITCHEN
		KIT	KITCHEN
		L	LAMINATE
		LAM	LAMINATE
		LAV	LAVATORY
		LED	LIGHT EMITTING DIODE FIXTURE
		LT	LIGHT
		LP	LOW POINT
		LV	LOW VOLTAGE
		LW	LIGHTWELL
		M	MAXIMUM
		MAX	MAXIMUM
		MC	MEDICINE CABINET
		MECH	MECHANICAL
		MEMB	MEMBRANE
		MET	METAL
		MFR	MANUFACTURER
		MIN	MINIMUM
		MISC	MISCELLANEOUS
		MUL	MULLION
		N	NEW
		(N)	NEW
		N.	NORTH
		NIC	NOT IN CONTRACT
		NOM	NOMINAL
		NTS	NOT TO SCALE
		O	ON CENTER
		OC	ON CENTER
		OPNG	OPENING
		OPP	OPPOSITE
		P	PLATE
		PL	PLATE
		PLAS	PLASTER
		PLY	PLYWOOD
		PNL	PANEL
		PT	POINT
		PR	PAIR
		PT	PRESURE TREATED
		PTD	PAINTED
		PTN	PARTITION
		Q	QUANTITY
		QUAN	QUANTITY
		R	RISER
		R	RISER
		REINF	REINFORCING
		RD	ROOF DRAIN
		REQ'D	REQUIRED
		RESIL	RESILIENT
		REV	REVISION
		RO	ROUGH OPENING
		RWD	REDWOOD
		RWL	RAINWATER LEADER
		S	SOUTH
		S.	SOUTH
		SC	SOLID CORE
		SCH'D	SCHEDULE
		SH	SHelf
		SHW'R	SHOWER
		SHT	SHEET
		SIM	SIMILAR
		SL	SLAB
		SPEC	SPECIFICATION
		SS	STAINLESS STEEL
		SSD	SEE STRUCTURAL DRAWINGS
		STD	STANDARD
		STL	STEEL
		STOR	STORAGE
		STR	STRUCTURAL
		SV	SHEET VINYL
		SYM	SYMMETRICAL
		T	TREAD
		T	TREAD
		TB	TOWEL BAR
		TEL	TELEPHONE
		TEMP	TEMPERED
		T&G	TONGUE & GROOVE
		TH	THRESHOLD
		THK	THICK
		TL	TILE
		TO.	TOP OF
		TOW	TOP OF WALL
		TPD	TOILET PAPER DISPENSER
		TS	TUB STEEL
		TV	TELEVISION
		TYP	TYPICAL
		U	UNFINISHED
		UNF	UNFINISHED
		UON	UNLESS OTHERWISE NOTED
		V	VENEER
		VEN	VENEER
		VERT	VERTICAL
		VEST	VESTIBULE
		VIF	VERIFY IN FIELD
		VT	VINYL TILE
		W	WEST
		W.	WEST
		W/	WITH
		WD	WOOD
		WO	WHERE OCCURS
		W/O	WITHOUT
		WP	WATERPROOFING
		WR	WATER RESISTANT
		WT	WIEGHT



498 HAIGHT STREET
SAN FRANCISCO, CA 94117
(415) 440-2880



CULVER RESIDENCE
714 STEINER STREET, SAN FRANCISCO, CA 94117

ISSUANCE	DATE
CofA/VARIANCE	05.26.21
BUILDING PERMIT	03.29.21
MILLS ACT APP.	05.26.21
PLAN CHECK	08.24.21
RESPONSE	

JOB # 2004

ABBREVIATIONS, SYMBOL LEGEND AND GENERAL NOTES

G1.1

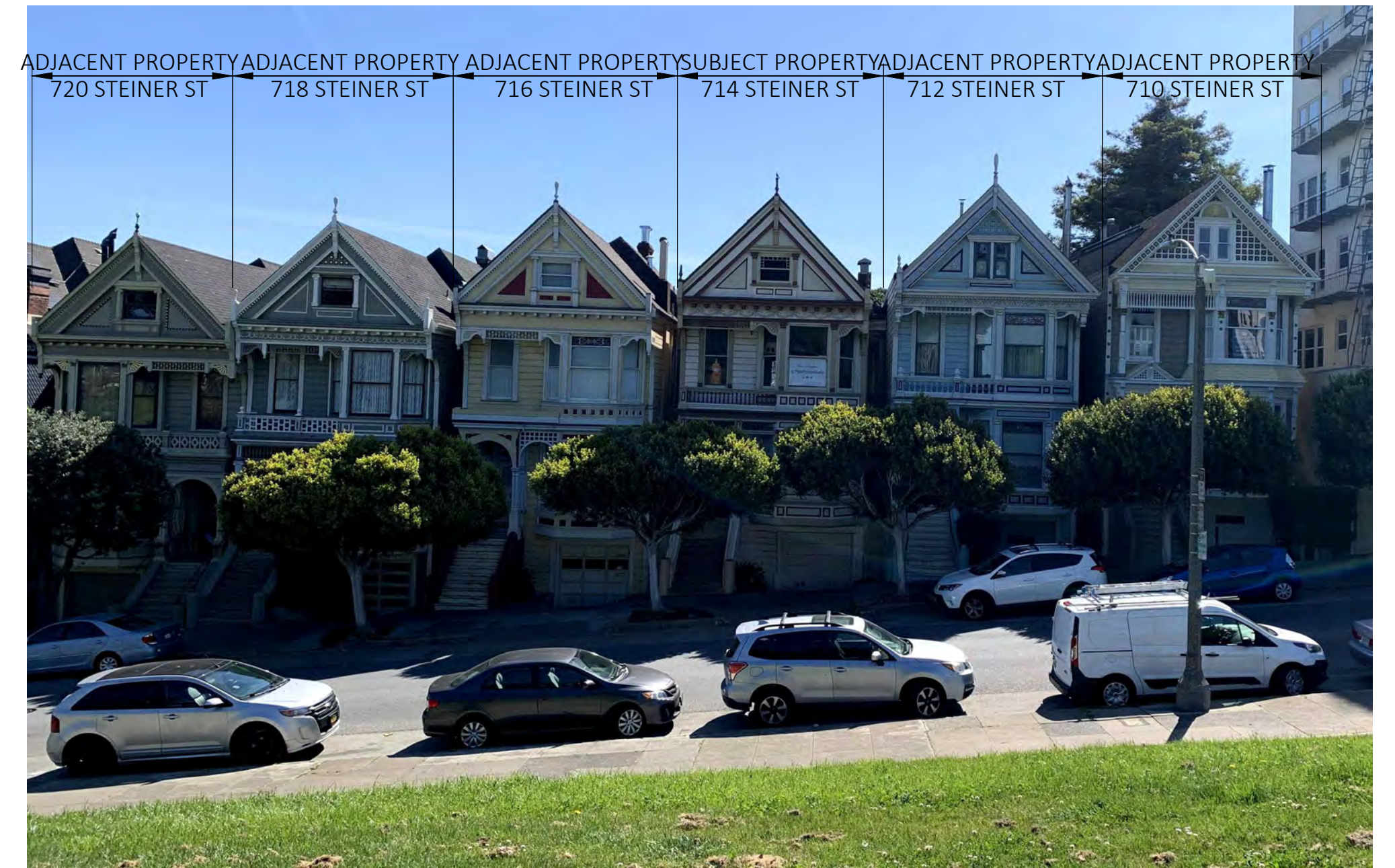
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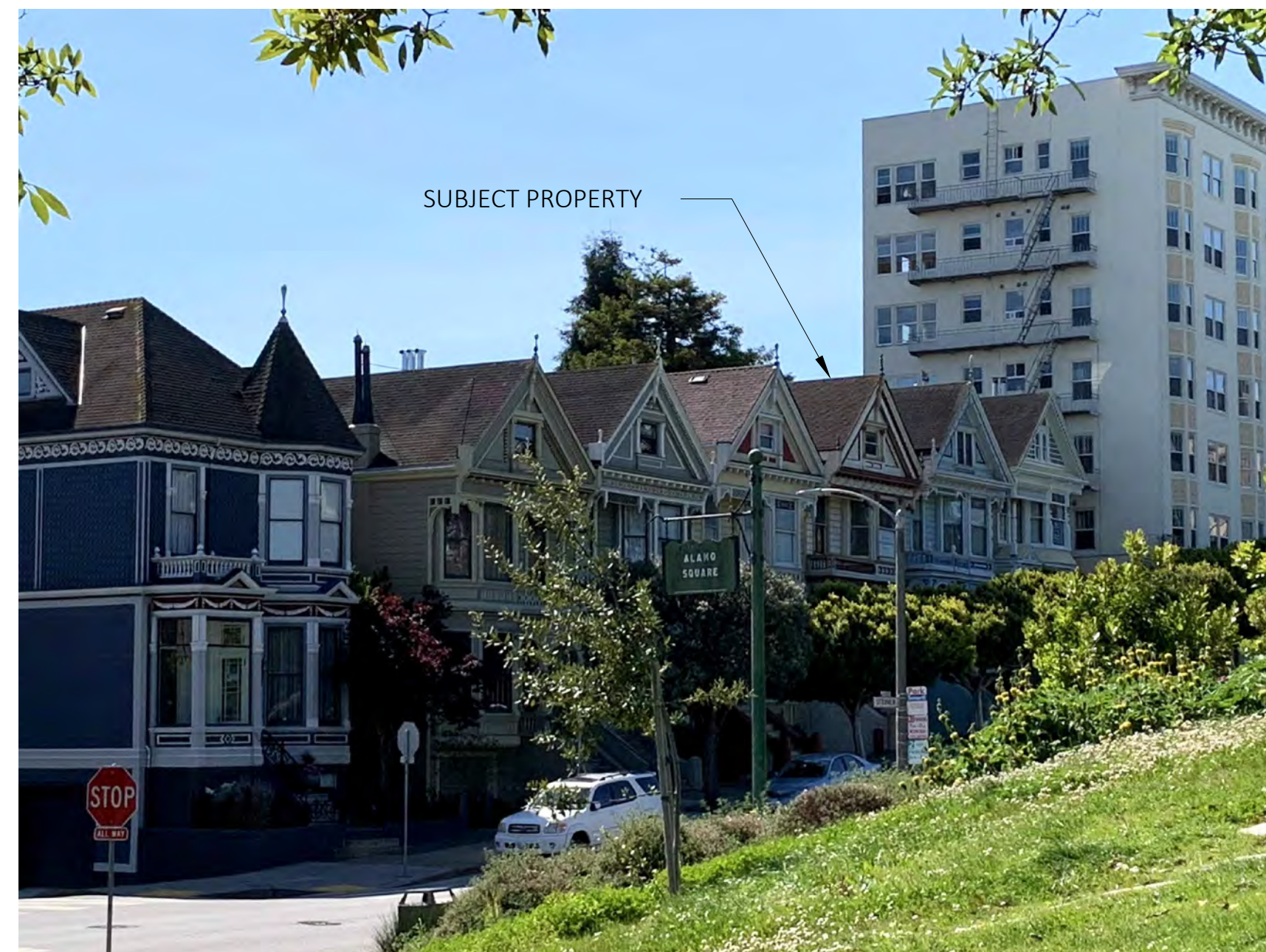
714 STEINER STREET FRONT FACADE 7



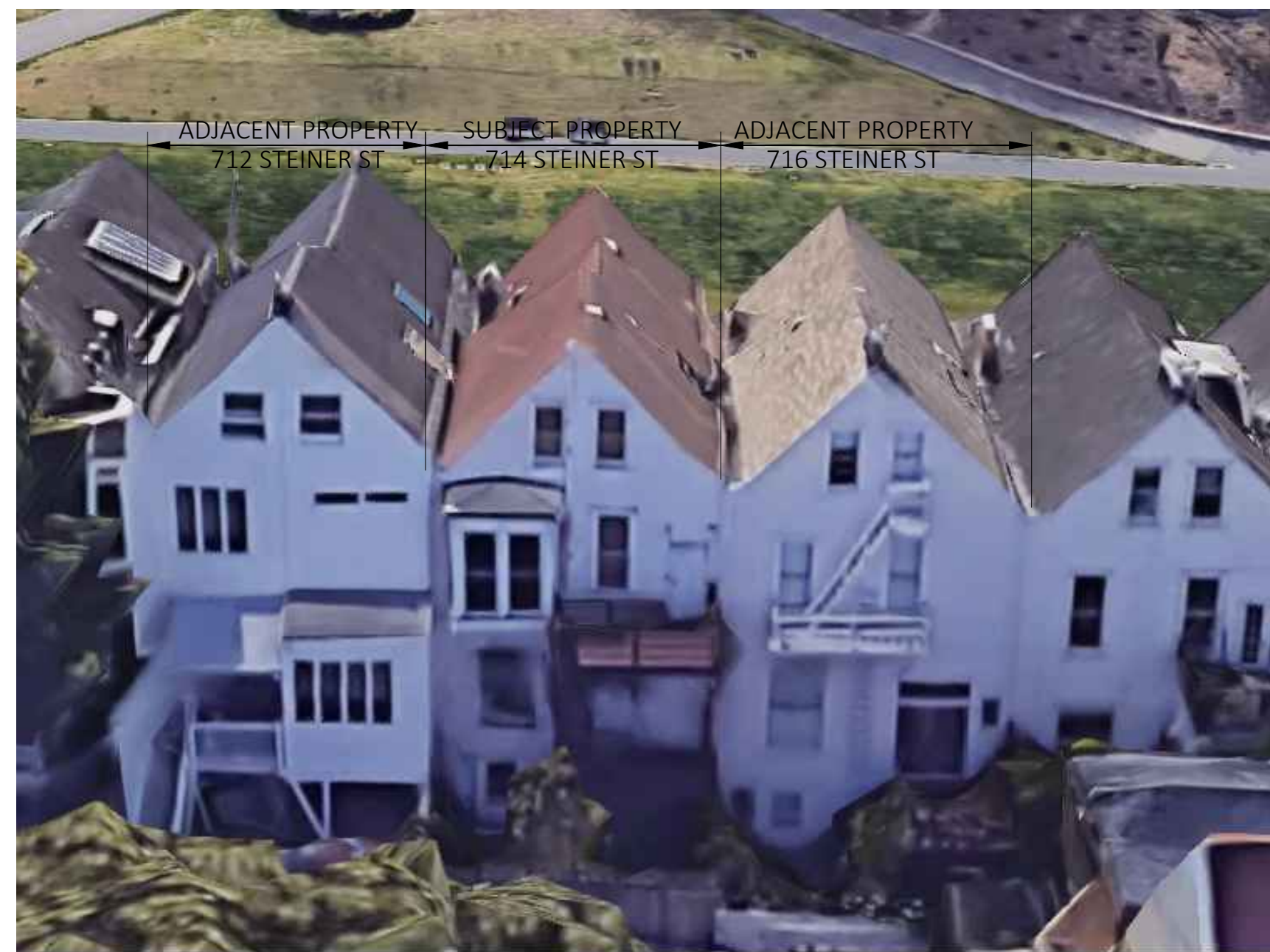
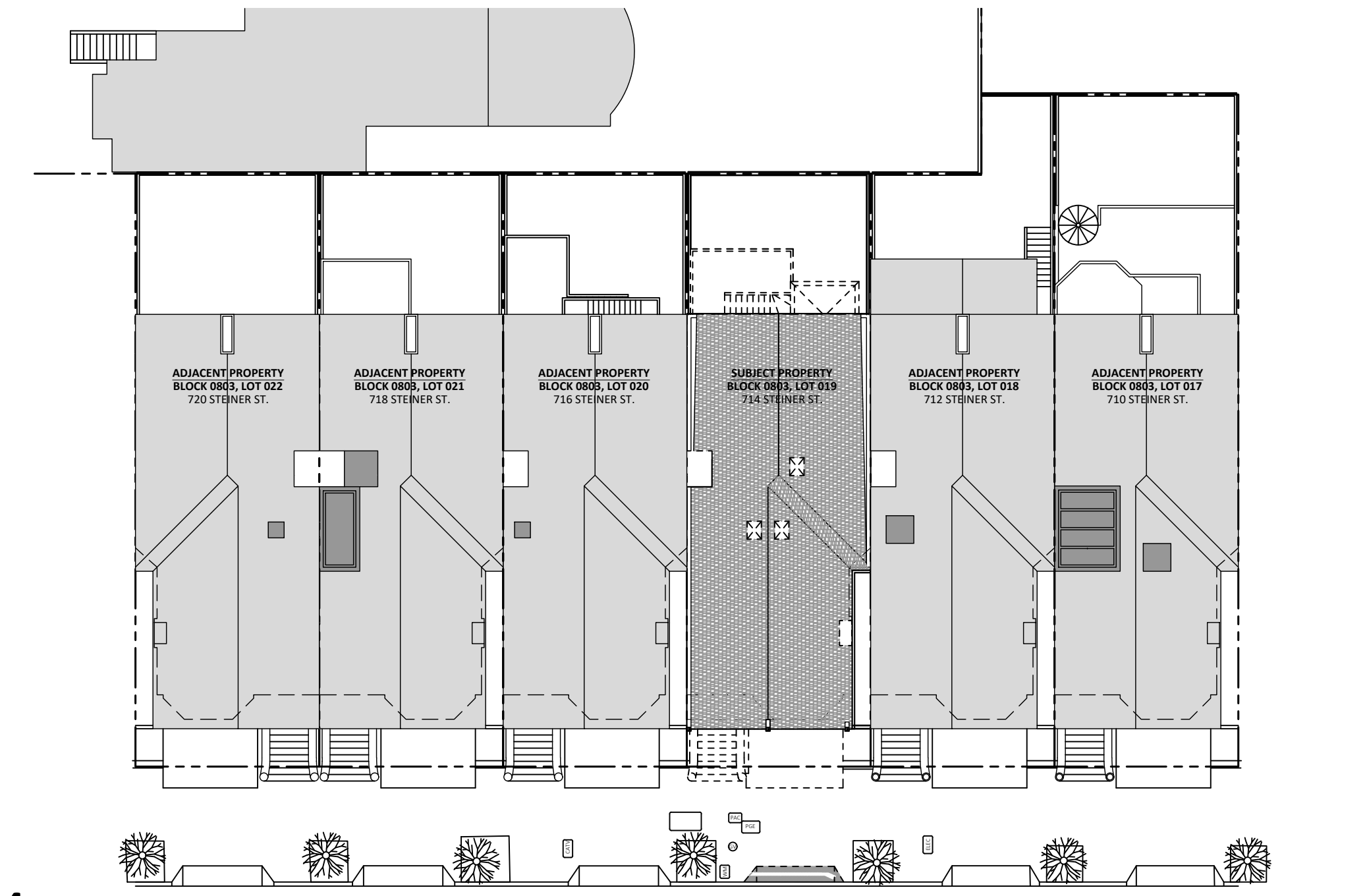
VIEW LOOKING NORTHEAST 5



VIEW LOOKING EAST 2



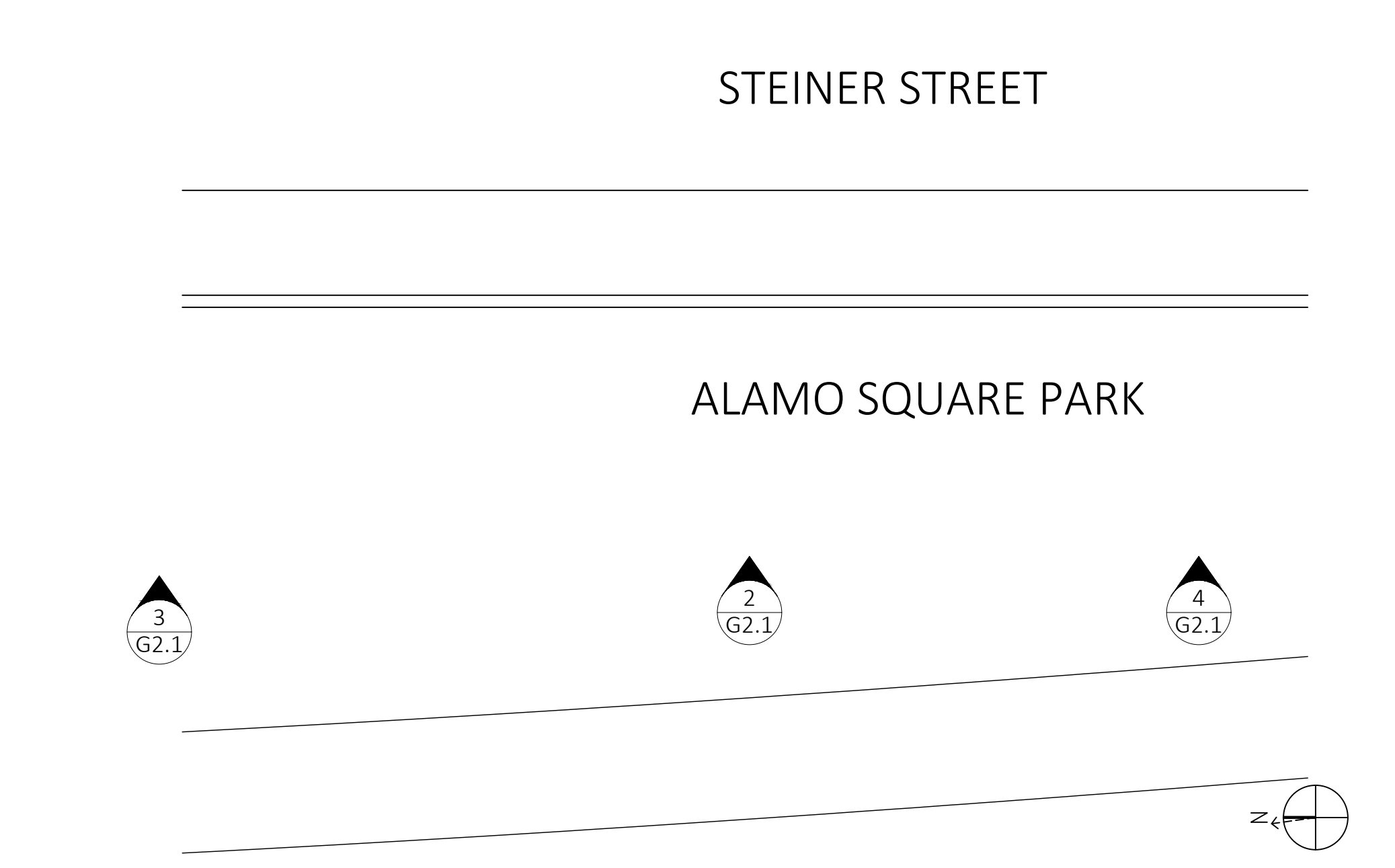
VIEW LOOKING SOUTHEAST 4



REAR FACADES 6



VIEW LOOKING SOUTHEAST 3



PHOTOGRAPH KEYPLAN 1



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SITE PHOTOS

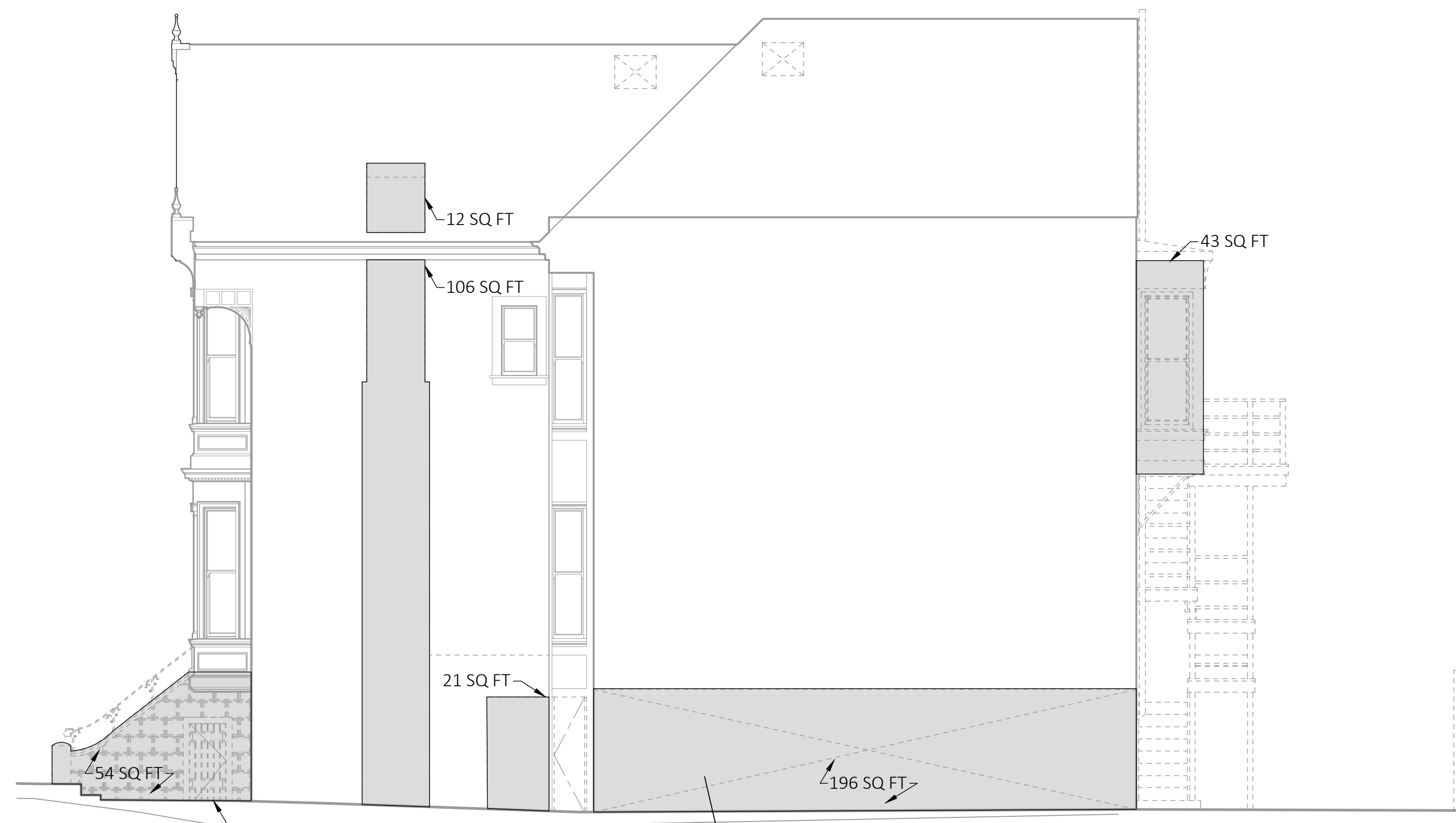
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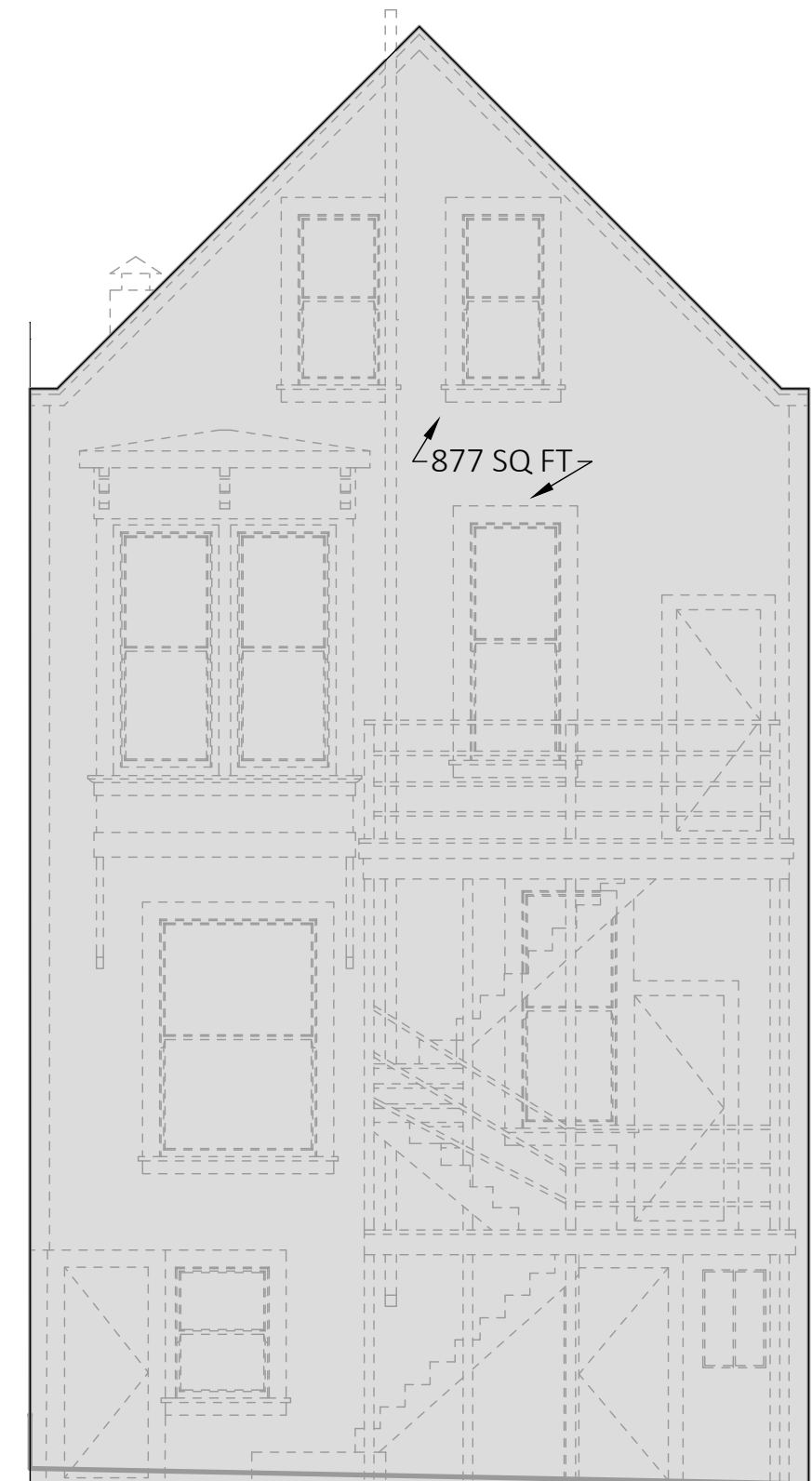
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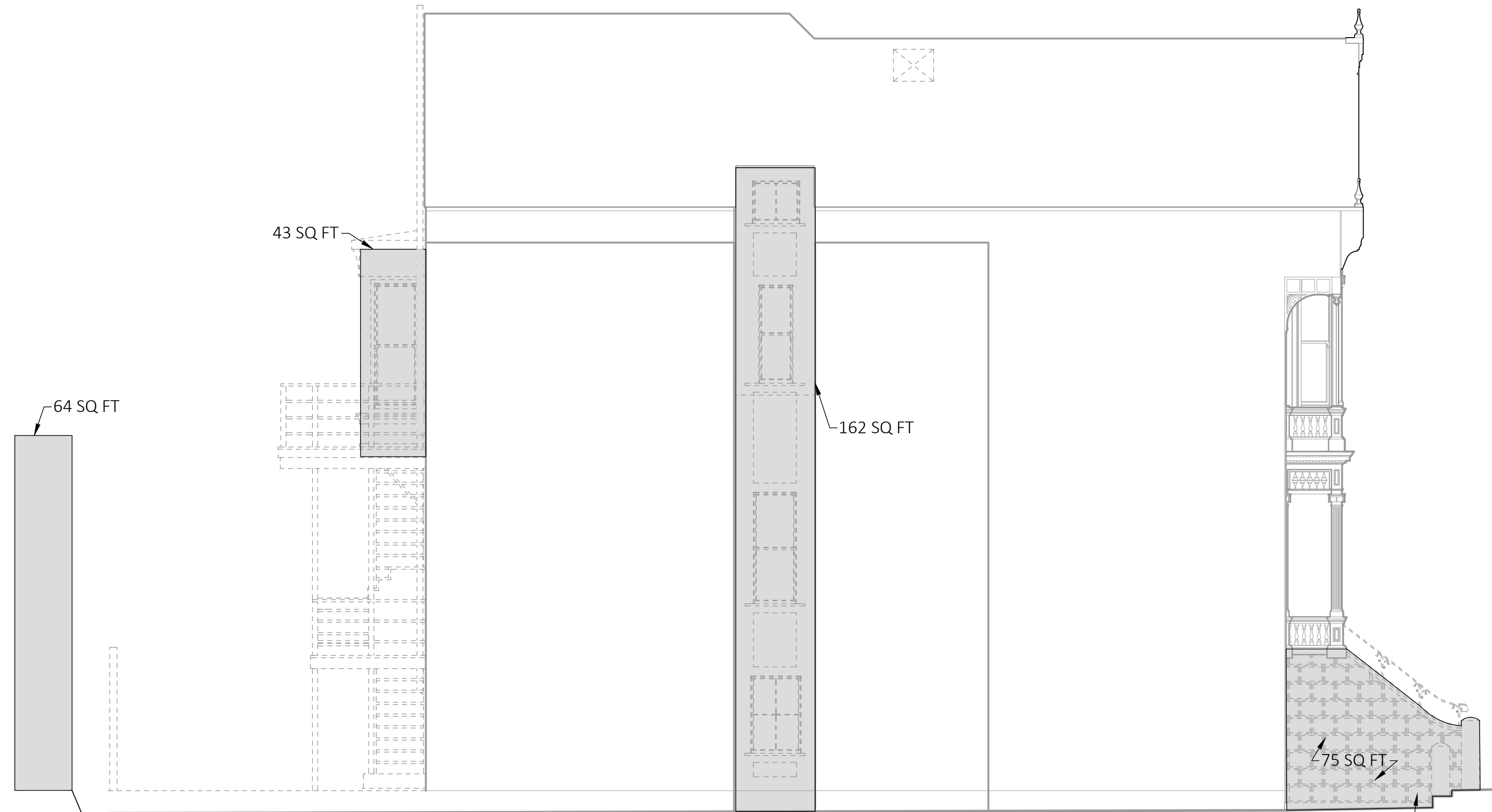
WEST WALL AT LIGHT WELL WEST FACADE
277 SQ FT REMOVED



SOUTH FACADE
429 SQ FT REMOVED



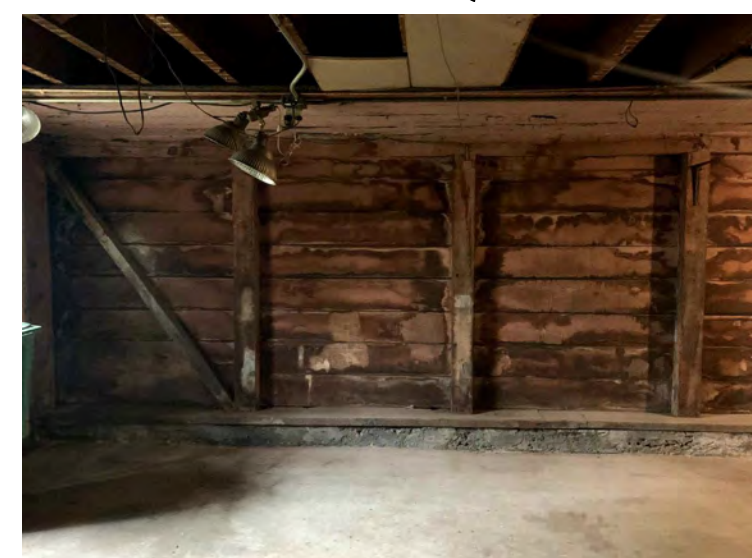
EAST FACADE
941 SQ FT REMOVED



NORTH FACADE
242 SQ FT REMOVED

EAST WALL AT LIGHT WELL

FOR STAIR TREAD/RISER DEMOLITION
SEE SECOND FLOOR PLAN



INTERIOR VIEW OF WATER DAMAGED SOUTH PROPERTY LINE WALL INSIDE (E) GARAGE

DRAWING LEGEND

- ARTICLE 10 SEC 1005(F)(2) AND 1005(F)(3) DEMOLISHED WALLS
- DEMOLISHED LINEAR FOOTAGE ELEMENTS
- DEMOLISHED INTERIOR WALLS; LINEAR FOOTAGE ELEMENTS
- RETAINED LINEAR FOOTAGE ELEMENTS

SAN FRANCISCO PLANNING CODE ARTICLE 10 SECTION 1005 (F) CALCULATION TABLE						
1005(F)(1) SURFACE AREA OF ALL EXTERIOR WALLS FACING PUBLIC STREET(S) (SQUARE FEET)						
LOCATION	(E) AREA (SF)	AREA REMOVED (SF)	% REMOVED	PROPOSED % REMOVED	SECTION 1005 (F)(1) LIMITS	COMPLIES WITH PLANNING CODE
FRONT FACADE	849	130	15.3%	15.3%	25% OR LESS	YES
1005(F)(2) ALL EXTERNAL WALLS FROM THEIR FUNCTION AS EXTERNAL WALLS (SQUARE FEET)						
FLOOR	(E) AREA (SF)	AREA REMOVED (SF)	% REMOVED	PROPOSED % REMOVED	SECTION 1005 (F)(2) LIMITS	COMPLIES WITH PLANNING CODE
NORTH	1,770	280	15.8%	35.7%	50% OR LESS	YES
EAST	968	941	97.2%			
SOUTH	1,580	432	27.3%			
WEST	938	221	23.6%			
TOTAL	5,256	1,874	35.7%			
1005(F)(3) ALL EXTERNAL WALLS FROM THEIR FUNCTION AS EITHER EXTERNAL OR INTERNAL WALLS (SQUARE FEET)						
FLOOR	(E) AREA (SF)	AREA REMOVED (SF)	% REMOVED	PROPOSED % REMOVED	SECTION 1005 (F)(3) LIMITS	COMPLIES WITH PLANNING CODE
NORTH	1,770	280	15.8%	35.7%	25% OR LESS	NO
EAST	968	941	97.2%			
SOUTH	1,580	432	27.3%			
WEST	938	221	23.6%			
TOTAL	5,256	1,874	35.7%			
1005(F)(4) ALL EXISTING INTERNAL FRAMEWORK OR FLOOR PLATES						
INTERNAL STRUCTURAL FRAMEWORK (LINEAR FEET OF INTERIOR PARTITIONS, LOAD BEARING WALLS, COLUMNS, ETC.)				PROPOSED % REMOVED	SECTION 1005 (F)(4) LIMITS	COMPLIES WITH PLANNING CODE
FLOOR	(E) LINEAL FT	LINEAL FT REMOVED	% REMOVED	72.4%***	75% OR LESS	YES
FIRST FLOOR	48'-0"	48'-0"*	100.0%			
SECOND FLOOR	129'-6"	106'-7"	82.3%			
THIRD FLOOR	104'-11"	84'-8"	80.7%			
FOURTH FLOOR	145'-3"	70'-3"	48.4%			
TOTAL	427'-8"	309'-6"	72.4%			
AREA OF ROOF AND FLOOR PLATES EXCEPT AT/BELOW GRADE (SQUARE FEET)						
FLOOR	(E) AREA (SF)	AREA REMOVED (SF)	% REMOVED	4.60%***	75% OR LESS	YES
FIRST FLOOR	0	0	-			
SECOND FLOOR	1,140	75	6.6%			
THIRD FLOOR	1,145	28	2.4%			
FOURTH FLOOR	1,121	84**	7.5%			
ROOF	1,118	20	1.8%			
TOTAL	4,524	207	4.6%			

- * (E) POST AND BEAM SYSTEM TO BE REMOVED AND REPLACED WITH (N) LOAD-BEARING WALLS AS PART OF FULL SEISMIC UPGRADE OF STRUCTURE
- ** (E) ORIGINAL STAIR TO BE REMOVED DUE TO SUBSTANTIAL DAMAGE FROM 1960S ILLEGAL SUBDIVISION OF HOME - WILL BE REPLACED WITH A NEW STAIR TO MATCH ORIGINAL
- *** INTERNAL STRUCTURAL FRAMEWORK DEMOLITION CALCULATIONS INCLUDE REMOVAL OF STRUCTURAL ELEMENTS FROM THE ORIGINAL CONSTRUCTION AS WELL AS THE 1960s WHEN THE RESIDENCE WAS DIVIDED INTO TWO UNITS WITHOUT A PERMIT, THEN SUBSEQUENTLY LEGALIZED.

INTERNAL STRUCTURAL FRAMEWORK (LINEAR FEET OF INTERIOR PARTITIONS, LOAD BEARING WALLS, COLUMNS, ETC.) - ORIGINAL 1894 CONSTRUCTION						
FLOOR	(E) LINEAL FT	LINEAL FT REMOVED	% REMOVED	65.4%	75% OR LESS	YES
FIRST FLOOR	48'-0"	48'-0"	100.0%			
SECOND FLOOR	46'-2"	24'-9"	53.6%			
THIRD FLOOR	98'-1"	77'-10"	79.4%			
FOURTH FLOOR	145'-3"	70'-3"	48.4%			
TOTAL	337'-6"	220'-10"	65.4%			
INTERNAL STRUCTURAL FRAMEWORK (LINEAR FEET OF INTERIOR PARTITIONS, LOAD BEARING WALLS, COLUMNS, ETC.) - 1960s ALTERATIONS						
FLOOR	(E) LINEAL FT	LINEAL FT REMOVED	% REMOVED	100.0%	75% OR LESS	NO
FIRST FLOOR	0'-0"	0'-0"	-			
SECOND FLOOR	83'-4"	83'-4"	100.0%			
THIRD FLOOR	6'-10"	6'-10"	100.0%			
FOURTH FLOOR	0'-0"	0'-0"	-			
TOTAL	90'-2"	90'-2"	100.0%			

- NOTES**
- SEE SHEET G2.3 FOR FLOOR PLAN DIAGRAMS
 - FOR THE PURPOSES OF ARTICLE 10 SECTION 1005 (F), DEMOLITION SHALL BE DEFINED AS ANY ONE OF THE FOLLOWING:
 - REMOVAL OF MORE THAN 25 PERCENT OF THE SURFACE OF ALL EXTERNAL WALLS FACING A PUBLIC STREET(S); OR
 - REMOVAL OF MORE THAN 50 PERCENT OF ALL EXTERNAL WALLS FROM THEIR FUNCTION AS ALL EXTERNAL WALLS; OR
 - REMOVAL OF MORE THAN 25 PERCENT OF EXTERNAL WALLS FROM FUNCTION AS EITHER EXTERNAL OR INTERNAL WALLS; OR
 - REMOVAL OF MORE THAN 75 PERCENT OF THE BUILDING'S EXISTING INTERNAL STRUCTURAL FRAMEWORK OR FLOOR PLATES UNLESS THE CITY DETERMINES THAT SUCH REMOVAL IS THE ONLY FEASIBLE MEANS TO MEET THE STANDARDS FOR SEISMIC LOAD & FORCES OF THE LATEST ADOPTED VERSION OF THE SAN FRANCISCO BUILDING CODE AND THE STATE HISTORICAL BUILDING CODE.
 - IF REMOVAL AND REPLACEMENT OF ADDITIONAL BUILDING ELEMENTS CONSIDERED BEYOND REPAIR IS REQUIRED DURING CONSTRUCTION, CONTACT THE PLANNING DEPARTMENT IMMEDIATELY FOR REVIEW AND APPROVAL. THIS INCLUDES FLOOR FRAMING, SIDEWALLS AND OTHER STRUCTURAL MEMBERS NOT VISIBLE FROM THE PUBLIC RIGHT-OF-WAY. REMOVAL OF ELEMENTS BEYOND PERCENTAGES SUBMITTED ABOVE IS CONSIDERED A VIOLATION. IF REMOVAL IS BEYOND PERCENTAGES OUTLINED IN PLANNING CODE SECTION 1005, FURTHER ENVIRONMENTAL REVIEW BY THE PLANNING DEPARTMENT IS REQUIRED.



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CULVER RESIDENCE
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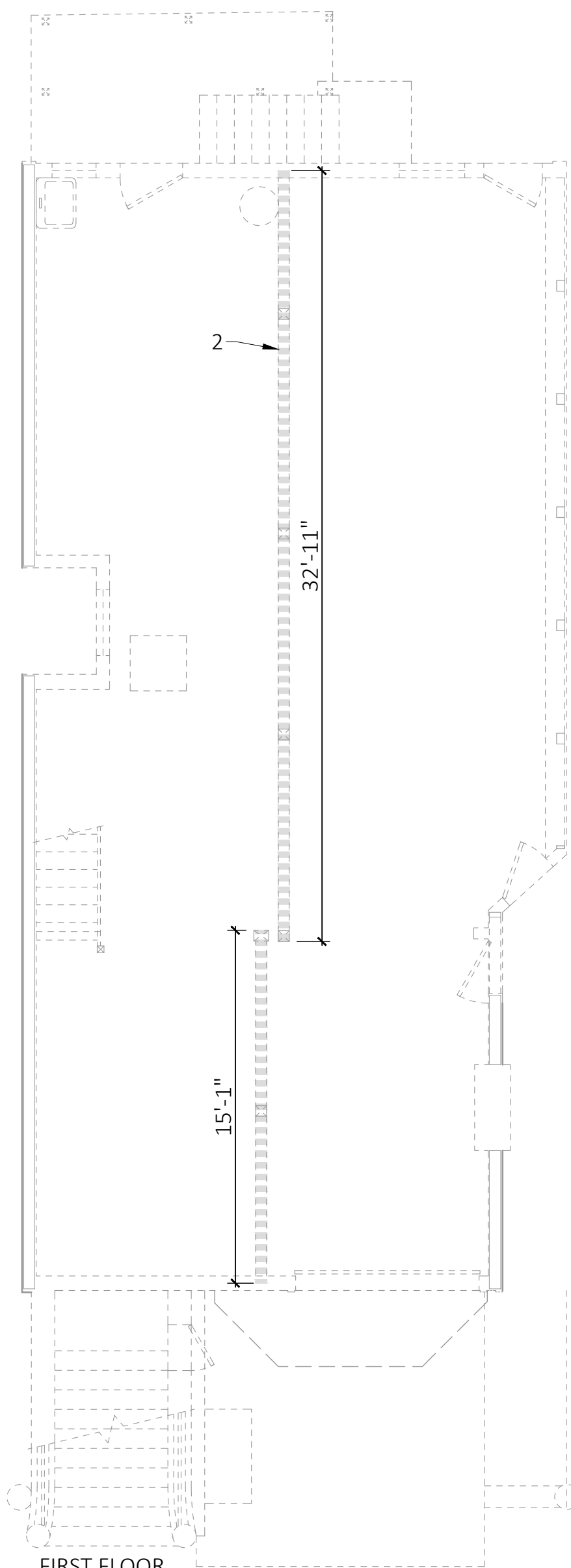
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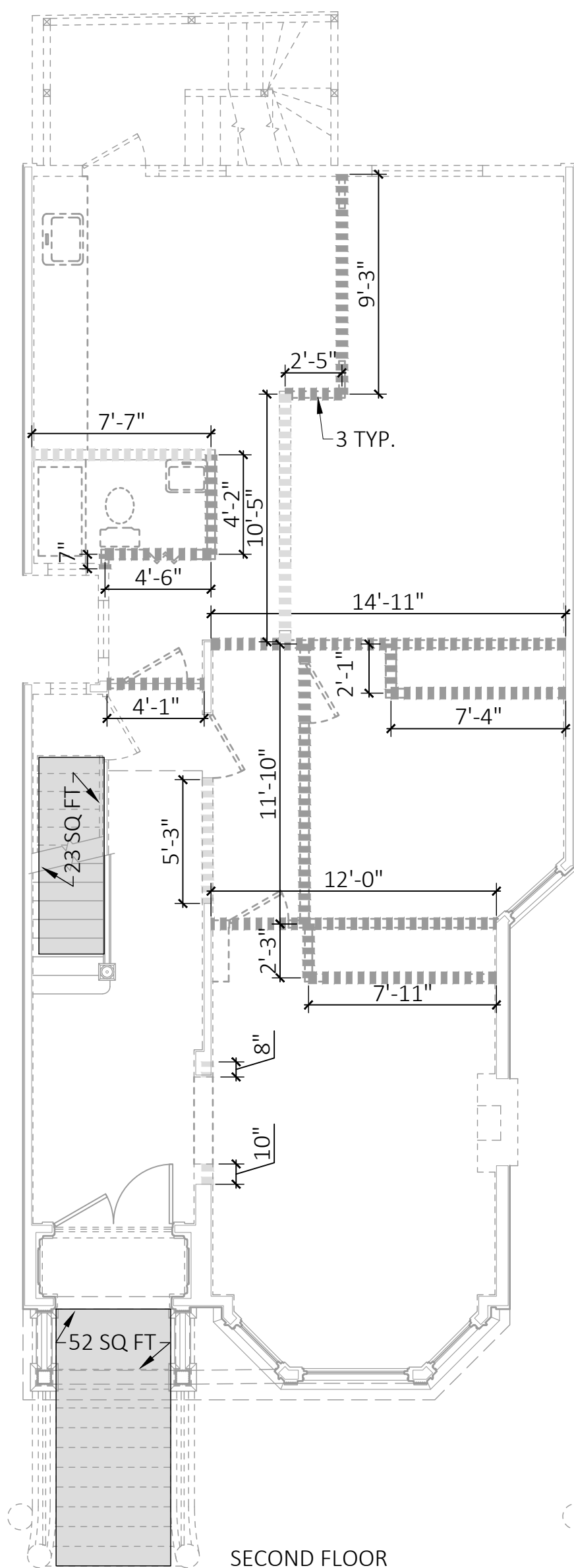
PLANNING CODE COMPLIANCE: ARTICLE 10 DEMOLITION CALCULATIONS

G2.2

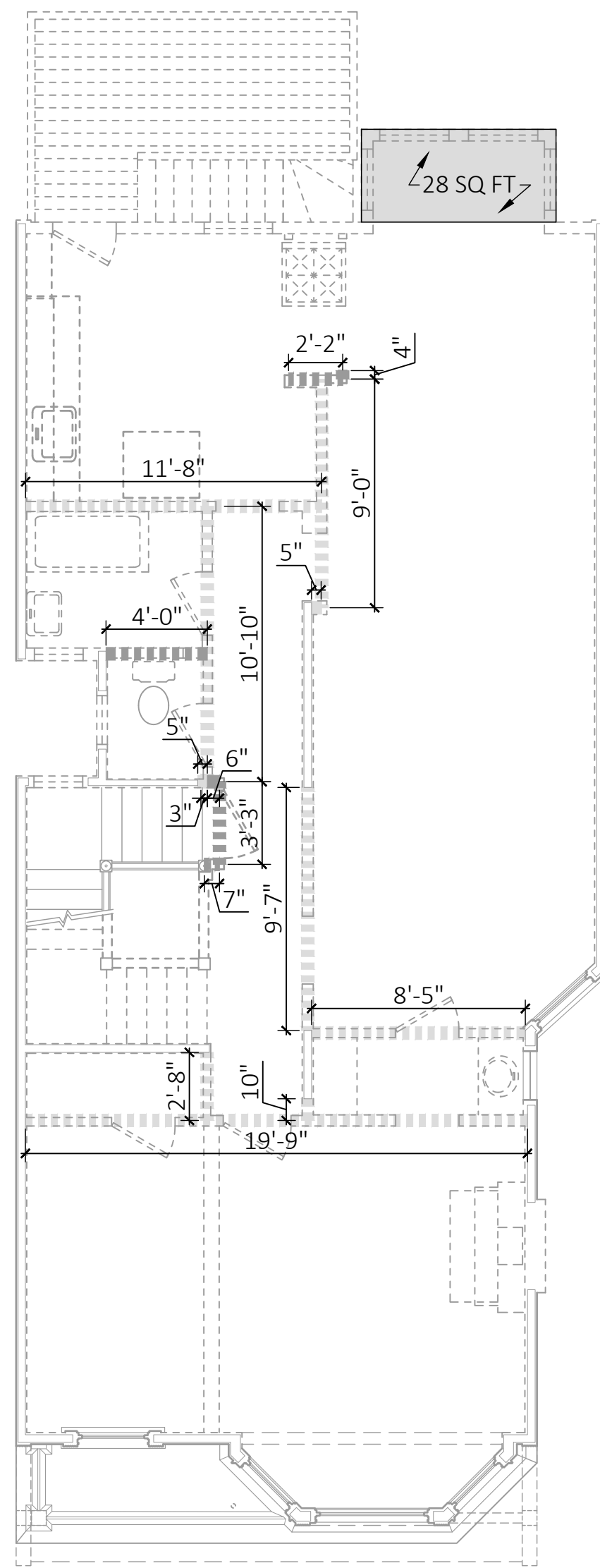
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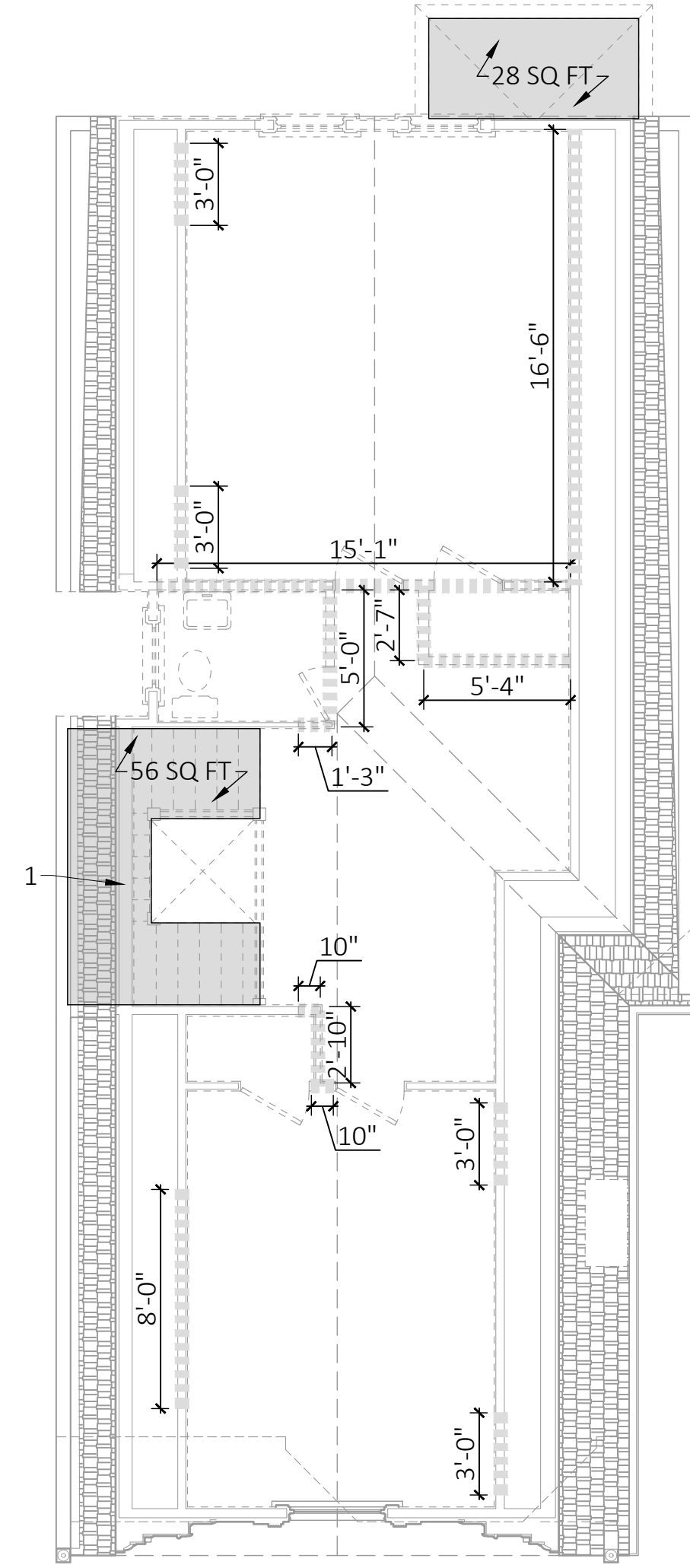
FIRST FLOOR
1005(F)(4) INTERNAL STRUCTURAL FRAMEWORK:
48'-0" REMOVED IN TOTAL (1894)
FLOOR PLATES: 0 SQ FT REMOVED



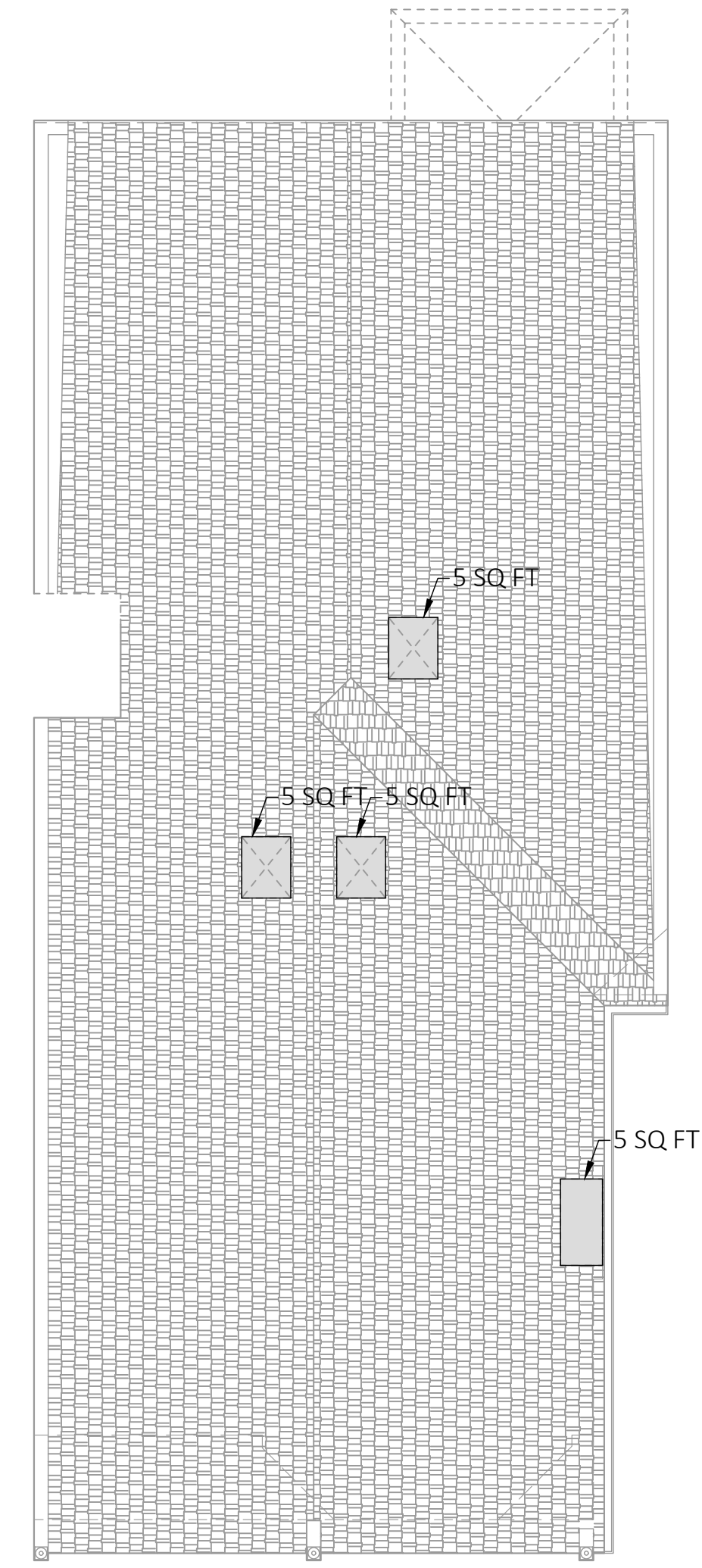
SECOND FLOOR
1005(F)(4) INTERNAL STRUCTURAL FRAMEWORK:
106'-7" REMOVED IN TOTAL
24'-9" (1894) + 83'-4" (1960s)
FLOOR PLATES: 75 SQ FT REMOVED



THIRD FLOOR
1005(F)(4) INTERNAL STRUCTURAL FRAMEWORK:
84'-8" REMOVED IN TOTAL
77'-10" (1894) + 6'-10" (1960s)
FLOOR PLATES: 28 SQ FT REMOVED



FOURTH FLOOR
1005(F)(4) INTERNAL STRUCTURAL FRAMEWORK:
70'-3" REMOVED IN TOTAL (1894)
FLOOR PLATES: 56 SQ FT REMOVED



ROOF
FLOOR PLATES: 20 SQ FT REMOVED

DRAWING LEGEND

- ARTICLE 10 SEC 1005(F)(4) HORIZONTAL ELEMENTS
- DEMOLISHED LINEAR FOOTAGE ELEMENTS
- DEMOLISHED ORIGINAL 1894 INTERIOR WALLS; LINEAR FOOTAGE ELEMENTS
- DEMOLISHED 1960S INTERIOR WALLS; LINEAR FOOTAGE ELEMENTS
- RETAINED LINEAR FOOTAGE ELEMENTS

NOTES

- 1 (E) ORIGINAL STAIR TO BE REMOVED DUE TO SUBSTANTIAL DAMAGE FROM 1960S ILLEGAL SUBDIVISION OF HOME - WILL BE REPLACED WITH A NEW STAIR TO MATCH ORIGINAL CONFIGURATION AND ARCHITECTURAL DETAILS
- 2 (E) POST AND BEAM SYSTEM TO BE REMOVED AND REPLACED WITH (N) LOAD-BEARING WALLS AS PART OF FULL SEISMIC UPGRADE OF STRUCTURE
- 3 ALL 1960S WALLS TO BE REMOVED, TO RESTORE ORIGINAL INTERIOR SPATIAL CONFIGURATION

415 | 7788726 | 1511 13TH STREET SAN FRANCISCO CALIFORNIA 94133 | STRANDBERG ENGINEERING

August 4, 2021

City and County of San Francisco
Department of Building Inspection
49 South Van Ness Avenue
San Francisco, California 94103
dbi.specialinspections@sfgov.org

Structural Evaluation
Culver Residence – Chimney and Entry Stair Evaluation
714 Steiner Street, San Francisco, CA 94117
SFDBI PA #2021 – 0323 – 7149

To whom it may concern:

We visited the site on March 22, 2021 to observe the existing conditions of the above residence. The main areas that we would like to address are the following:

1. The existing brick chimney on the northwest side of the building that runs the full height of the building.
2. The existing entry stairs.
3. The existing framing supporting the second floor along south wall and central bearing line.

Our site visits included a review of the existing construction in which we observed exposed elements, and damages to finishes that might be indicative of larger structural issues. This report provides a summary of our findings and recommendations to demolish and rebuild-in-kind the chimney, entry stairs, and framing supporting the second floor. Replacing the chimney will avoid the danger the chimney poses to those in close proximity, such as neighbors, during a seismic event. Replacing the entry stairs will provide safe access to the main entrance. Replacing the first floor walls ensures framing is adequate, properly waterproofed, fire rated, and conforms to current seismic resistance standards.

I. Description of Existing Construction

CHIMNEY

The existing brick chimney appears to be made of a single course of unreinforced masonry, based on the exposed brick at the garage level, see attached Photo 1. Per the photo, the garage door was installed by demolishing a portion of the existing supporting brick. Photo also shows cracking along right side of chimney between brick and adjacent walls. The condition of the existing brick at the above floors were covered by finishes and inaccessible for observation.

ENTRY STAIRS

The existing entry stairs leading from the side walk to the main entry on the second floor appear to be unlevel, potentially creating a tripping hazard. The exposed stairs have evidence of staining where water typically pools and leaks to framing below, see Photos 2 – 4. Cracks and gaps are observed throughout indicating possible foundation settlement. The existing foundation appears to be unreinforced brick masonry with portions of concrete, indicating attempts to patch previous cracks and leaks. Some portions of stair construction appear to be flat 1x untreated wood framing currently supporting heavy stone steps and mortar bed above. The existing 1x untreated wood framing shows signs of water intrusion, water damage, buckling, and areas of dry rot. There is no waterproofing barrier between any of the untreated wood framing surfaces and concrete, or brick interface.

EXISTING FIRST FLOOR WALL FRAMING

The existing framing supporting the second floor are 4x6 posts and beams along the rear south wall and central bearing line. The exterior finish appears to have been applied directly to the existing 4x6 framing without adequate waterproofing. Existing structural framing shows signs of water intrusion, water damage, and areas of dry rot.

II. Inspection Findings and Recommendations

CHIMNEY

Based on our observations, the existing chimney does not appear to have adequate bracing to be laterally tied back to the building structure and shows signs of distress that we assume propagates throughout the chimney above.

It is our professional opinion that the existing unreinforced brick chimney poses a danger to anyone on site and within close proximity of the chimney during a seismic event. We recommend that the existing brick chimney be removed and replaced by wood framed chimney constructed per current applicable building codes and standards.

ENTRY STAIRS

Based on our observations, the water damage, existing cracks, and uneven stair treads, are signs indicative of foundation settlement and framing instability. Existing patchwork has been shown to be ineffective due to re-emerging signs of distress. Delaying action may compound the issues by allowing existing cracks to grow over time leading to further water intrusion and stair misalignment.

It is our professional opinion that the entry stairs should be demolished and rebuilt in order to provide safe access to the residence's main entry rather than continued patchwork. Other factors may also be contributing to the instability of the existing stair construction but cannot be determined at this time.

EXISTING FIRST FLOOR WALL FRAMING

Based on our observations, the existing framing has been minimally infilled and is now showing signs of water damage and dry rot.

It is our professional opinion that the existing framing along the rear south wall should be demolished and rebuilt in order to provide proper waterproofing and adequate fire rated construction that also conforms to current seismic resistance standards. For the central bearing line the existing beam and post system is inadequate per the current Code and should be replaced by our new engineered solution.

Photos provided below for reference.

Please do not hesitate to call 415-778-8726 if you have any questions regarding this report.

Best Regards,
David Strandberg
David Strandberg

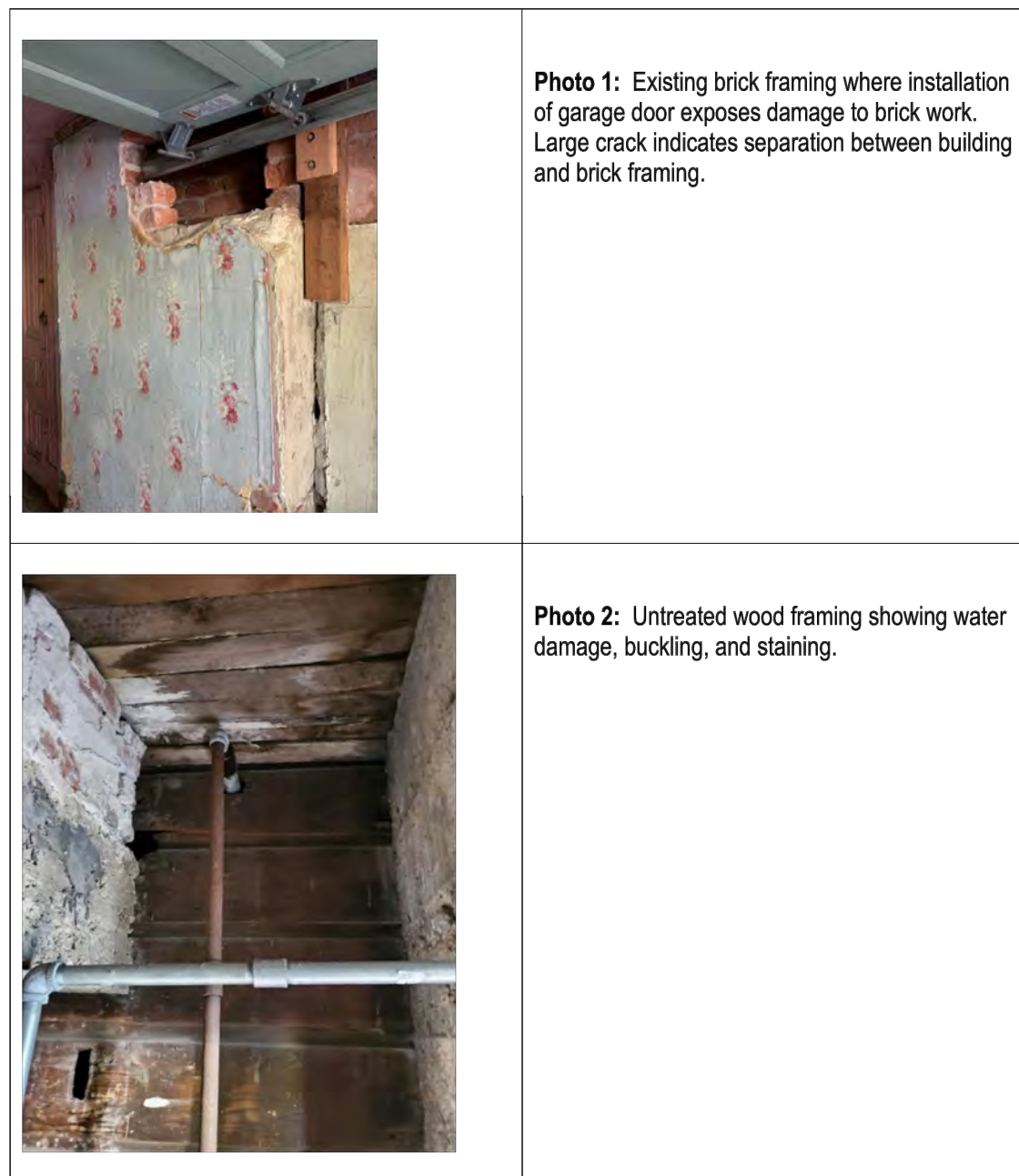


Photo 1: Existing brick framing where installation of garage door exposes damage to brick work. Large crack indicates separation between building and brick framing.



Photo 2: Untreated wood framing showing water damage, buckling, and staining.

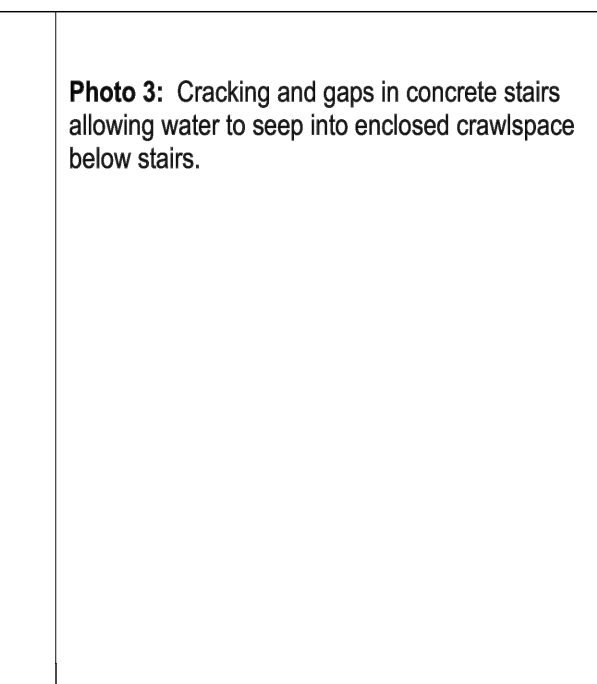


Photo 3: Cracking and gaps in concrete stairs allowing water to seep into enclosed crawlspace below stairs.

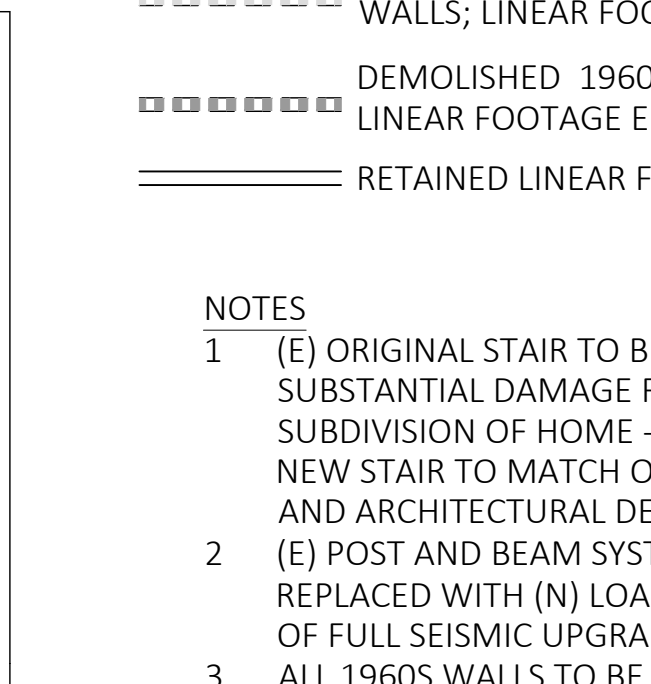


Photo 4: Cracking and gaps in concrete stairs allowing water to seep into enclosed crawlspace below stairs.

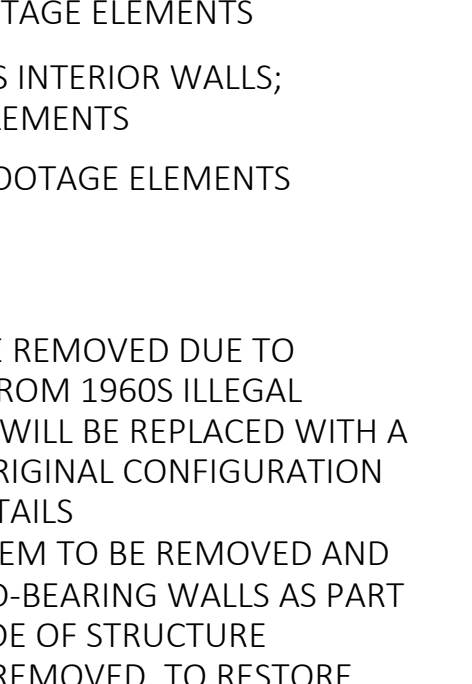


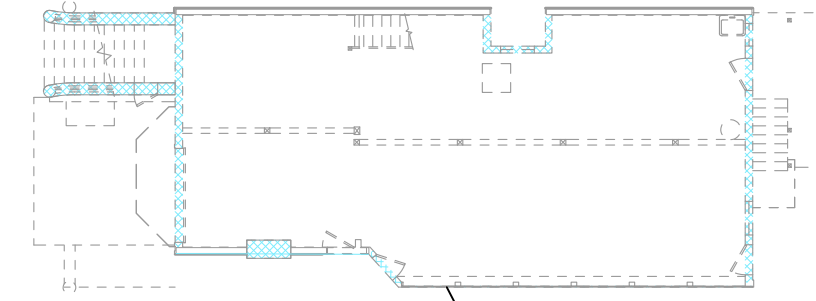
Photo 5: Existing first floor wall framing with water damage along south wall.



INTERIOR VIEW OF WATER DAMAGED SOUTH PROPERTY LINE WALL INSIDE (E) GARAGE

B1 - REMOVAL OF FRONT AND REAR FACADES
 (E) TOTAL LENGTH: 45'-2"
 TOTAL LENGTH REMOVED: 45'-2"

B2 - REMOVAL OF ALL EXTERIOR WALLS
 (E) TOTAL LENGTH: 166'-2"
 TOTAL LENGTH REMOVED: 80'-7"



SOUTH WALL TO BE DEMOLISHED AND REPLACED IN-KIND DUE TO WATER DAMAGE - NOT INCLUDED IN DEMOLITION CALCULATIONS PER SECTION 317 (b)(9)

WEST FACADE*
 (E) LENGTH: 25'-6"
 LENGTH REMOVED: 25'-6"
 * INCLUDES LIGHT WELL

SOUTH FACADE
 (E) LENGTH: 56'-8"
 LENGTH REMOVED: 14'-8"

EAST FACADE*
 (E) LENGTH: 24'-11"
 LENGTH REMOVED: 24'-11"
 * INCLUDES LIGHT WELL

NORTH FACADE
 (E) LENGTH: 59'-1"
 LENGTH REMOVED: 15'-6"

B1 + B2 EXTERIOR FACADE/WALL REMOVAL - LINEAL FOUNDATION MEASUREMENTS

SAN FRANCISCO PLANNING CODE SEC. 317(b)(2) DEFINITION "DEMOLITION OF RESIDENTIAL BUILDINGS"

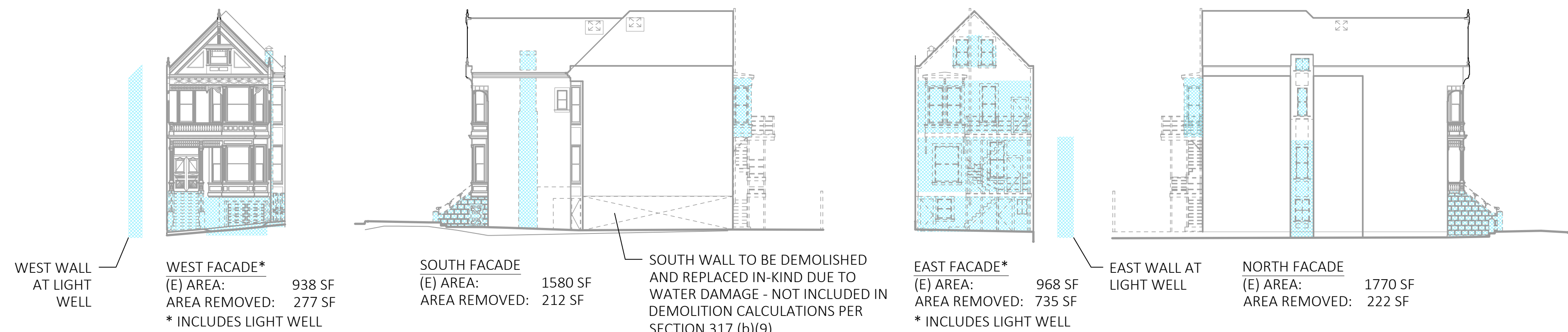
FOR THE PURPOSES OF THIS SECTION, "DEMOLITION OF RESIDENTIAL BUILDINGS" SHALL MEAN ANY OF THE FOLLOWING:

- (A) ANY WORK ON A RESIDENTIAL BUILDING FOR WHICH THE DEPARTMENT OF BUILDING INSPECTION DETERMINES THAT AN APPLICATION PERMIT IS REQUIRED, OR
- (B1) A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT FACADE AND REAR FACADE AND
- (B2) ALSO PROPOSES THE REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL, OR
- (C1) A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS AND
- (C2) MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.
- (9) WHERE EXTERIOR ELEMENTS OF A BUILDING ARE REMOVED AND REPLACED FOR REPAIR OR MAINTENANCE, IN LIKE MATERIALS, WITH NO INCREASE IN THE EXTENT OF THE ELEMENT OR VOLUME OF THE BUILDING, SUCH REPLACEMENT SHALL NOT BE CONSIDERED REMOVAL FOR THE PURPOSES OF THIS SECTION.

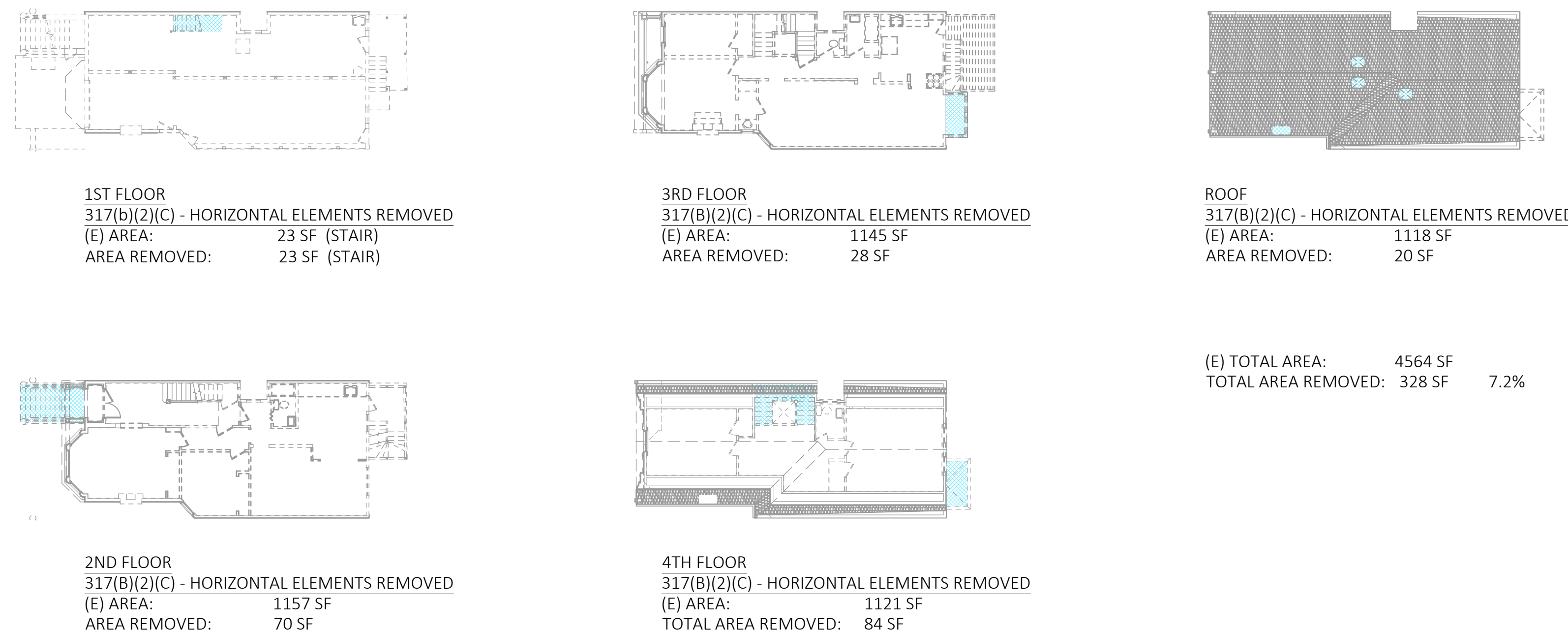
CONCLUSION: NOT A DEMOLITION

B1 IS GREATER THAN 50% BUT B2 IS LESS THAN 65%
 C1 IS LESS THAN 50%
 C2 IS LESS THAN 50%

EXTERIOR FACADES - LINEAL FOUNDATION MEASUREMENTS					
		(E) LENGTH	LENGTH REMOVED	% REMOVED	TOTAL % REMOVED
B1	FRONT FACADE*	22'-11"	22'-11"	100%	100%
	REAR FACADE	22'-3"	22'-3"	100%	
	TOTAL	45'-2"	45'-2"	100%	
* INCLUDES ANGLED WALL					
EXTERIOR WALLS - LINEAL FOUNDATION MEASUREMENTS					
		(E) LENGTH	LENGTH REMOVED	% REMOVED	TOTAL % REMOVED
B2	WEST FACADE*	25'-6"	25'-6"	100%	48%
	SOUTH FACADE	56'-8"	14'-8"	26%	
	EAST FACADE**	24'-11"	24'-11"	100%	
	NORTH FACADE	59'-1"	15'-6"	20%	
	TOTAL	166'-2"	80'-7"	48%	
* INCLUDES ANGLED WALL & LIGHT WELL ** INCLUDES LIGHT WELL					
VERTICAL ENVELOPE ELEMENTS - SURFACE AREA MEASUREMENTS					
		(E) AREA	AREA REMOVED	% REMOVED	TOTAL % REMOVED
C1	WEST FACADE*	938	277	30%	24%
	SOUTH FACADE	1580	212	13%	
	EAST FACADE*	968	735	76%	
	NORTH FACADE	1770	22	1%	
	TOTAL	5256	1246	24%	
* INCLUDES LIGHT WELL					
HORIZONTAL ENVELOPE ELEMENTS - SURFACE AREA MEASUREMENTS					
		(E) AREA	AREA REMOVED	% REMOVED	TOTAL % REMOVED
C2	FIRST FLOOR	23	23	100%	4.9%
	SECOND FLOOR	1157	70	6%	
	THIRD FLOOR	1145	28	2.4%	
	FOURTH FLOOR	1121	84	7.5%	
	ROOF	1118	20	1.8%	
	TOTAL	4564	328	7.2%	



C1 VERTICAL ENVELOPE ELEMENTS - SURFACE AREA MEASUREMENTS



1ST FLOOR
 317(B)(2)(C) - HORIZONTAL ELEMENTS REMOVED
 (E) AREA: 23 SF (STAIR)
 AREA REMOVED: 23 SF (STAIR)

3RD FLOOR
 317(B)(2)(C) - HORIZONTAL ELEMENTS REMOVED
 (E) AREA: 1145 SF
 AREA REMOVED: 28 SF

ROOF
 317(B)(2)(C) - HORIZONTAL ELEMENTS REMOVED
 (E) AREA: 1118 SF
 AREA REMOVED: 20 SF

2ND FLOOR
 317(B)(2)(C) - HORIZONTAL ELEMENTS REMOVED
 (E) AREA: 1157 SF
 AREA REMOVED: 70 SF

4TH FLOOR
 317(B)(2)(C) - HORIZONTAL ELEMENTS REMOVED
 (E) AREA: 1121 SF
 TOTAL AREA REMOVED: 84 SF

(E) TOTAL AREA: 4564 SF
 TOTAL AREA REMOVED: 328 SF 7.2%

C2 HORIZONTAL ENVELOPE ELEMENTS - LINEAL FOUNDATION MEASUREMENTS

LEGEND

- DEMOLISHED HORIZONTAL / VERTICAL ELEMENTS
- DEMOLISHED LINEAR FOOTAGE ELEMENTS
- RETAINED LINEAR FOOTAGE ELEMENTS



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 SAN FRANCISCO, CA 94117
 (415) 440-2880



CULVER RESIDENCE
 714 STEINER STREET, SAN FRANCISCO, CA 94117

ISSUANCE	DATE
CofA/VARIANCE	05.26.21
BUILDING PERMIT	03.29.21
MILLS ACT APP.	05.26.21
PLAN CHECK	08.24.21
RESPONSE	

JOB # 2004

PLANNING CODE COMPLIANCE: ARTICLE 10 DEMOLITION CALCULATIONS

G2.4

SCALE: N.T.S.

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October 6, 2020

RE: 714 Steiner – AB-028 Pre-application Plan review meeting summary

A pre-application meeting was conducted by video conference on July 17, 2020 and was attended by Mark Walls of SFDPI, Architect David Armour and Eric Jacobs of Gary Bell and Associates.

The plans that were submitted with the pre-application meeting request were reviewed. The findings of that meeting are included below as an amendment to the original pre-application meeting letter.

Subsequent to the July 17 meeting, the design was modified to conform with commentary received from the San Francisco Planning Department, leading to the removal of the garage and a revised first floor plan which places the two first floor bedrooms in a street-facing position, allowing for a code-compliant arrangement of the Emergency Escape and Rescue Openings (EEROs) per 2-19 CBC Section 1030. The revised floor plans follow this letter.

There will now only be one new rear-facing bedroom, located on the third floor. When the subject building was originally constructed, there were two rear-facing bedrooms on the third floor. The proposed design restores one of those original rear-facing bedrooms in its original location.

Given the proposed changes, would the provision of a fully sprinklered NFPA-13R sprinkler system, and fire-rated occupancy separation between the two units be an acceptable equivalency for compliant EEROs in a two-unit building? *Note: Retard separation also required at any interior common space. MGW*

10/26/2020 - Per discussion with Mark Walls, yes, an NFPA-13R sprinkler system is acceptable.

Thank you for your attention to this matter.

David Armour, Architect

Mark Walls, DBI
NOV 03 2020



June 19, 2020

October 1, 2020 – Amended with summary of pre-application meeting

RE: 714 Steiner – AB-028 Pre-application Plan review request

714 Steiner Street is a landmark, 4-story, Type V structure located on San Francisco's famous Postcard Row in the Alamo Square Landmark District. The structure was originally built in 1894 as a single-family home but was converted in 1960 to two dwelling units. The existing building consists of unrated construction and is not fire sprinklered. The structure is designated as a Category "A" Historic Resource under CEQA and is eligible for review under the California Historic Building Code (CHBC).

The lot dimensions are 23'-3" wide x 75' long and currently there is a 9' 6"-1/4" deep rear yard open space. The original single-family dwelling configuration featured 3 rear-facing bedrooms and two front-facing bedrooms. The current two-unit configuration consists of five front-facing bedrooms and one rear-facing bedroom.

The proposed project involves the relocation of the second-floor dwelling unit to the first floor to restore the original single-family configuration on the upper three floors. The relocated unit will be accessed from the public way by an open space on the south side of the house. **The first floor unit has two rear-facing bedrooms that open onto a 10'-9 5/8" deep rear yard.** The project will include new fire-rated construction for code-compliant occupancy separation between the individual dwelling units as well as between the garage and the dwelling units and the entire structure will be fully sprinklered to NFPA 13. The rear wall of the first floor will be fire-rated and fire sprinklers will be installed above the exterior doors on the first floor that open onto the rear yard. *Fire Construction & Fire Sprinkler protection required above all openings at the building's rear wall. MGW*

1. Is it possible to use the California Historic Building Code for the relocated unit on the first floor? If so, is the attached configuration acceptable? Regarding the 36" minimum width of the Exit Discharge as required by Section 1028.4.1 of the SFBC, would Section 8502.2 of the California Historic Building Code permit an exit discharge width of 32'-3/4" over a travel distance of 17'-7" of which a 3'-8" portion has a 29" width? The exit discharge will serve an individual dwelling unit with an occupant load of four on the first story of a NFPA-13, fully sprinklered two-unit building.

10/1/2020 - Per the pre-app meeting conducted July 17, 2020 with Mark Walls, yes, it is acceptable to apply the California Historic Building Code to the project. *MGW*

2. I understand that, per code, emergency escape and rescue openings are required below the fourth floor.

I further understand that Section 1030.1 of the SFBC - Emergency Escape and Rescue Opening (EERO) requirement as well as SFDPI Information Sheet EG-02 modifies the 50' minimum depth requirement to 25' for yards that do not open to public way. The existing rear yard depth is 9'-6 1/4", the proposed rear yard depth is 10'-9 5/8". Would the provision of a fully sprinklered NFPA-13 sprinkler system, and fire-rated occupancy separation between the two units be an acceptable equivalency for compliant EEROs in a two-unit building?

10/1/2020 - Per the pre-app meeting conducted July 17, 2020 with Mark Walls, yes, it is acceptable to locate new bedrooms at the rear of the subject property under the following conditions:

- One-hour rated separation between the individual dwelling units
- Installation of NFPA-13 sprinkler system.

Note: There are no new bedrooms at the rear. The updated pre-app dated 10-6-20, places one existing bedroom to remain at the rear on the 3rd floor. See first page for update fire sprinkler system. MGW

Signed:

Mark Walls
Senior building Inspector
San Francisco Department of Building Inspection

Mark Walls, DBI
NOV 03 2020

(At the request of SFDPI Reviewer Mark Walls we ask that Preservation Planning acknowledge this pre-application scope and the landmark status of the building. SF PLANNING involvement is for visibility only as this is an active project, under review and which will be heard by the SFHPC when approval has been recommended by staff)

Elizabeth Gordon-Jonckheer
Principal Planner
Northwest team and Historic Preservation, Current Planning Division
10/26/2020

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EXPOSURE, VENTILATION (CBC 1202), & LIGHTING (CBC 1204) TABLE						
LOCATION		ROOM AREA (SQ FT)	VENTILATION		LIGHTING	
RM. #	ROOM NAME		REQ'D AREA	PRV'D AREA	REQ'D AREA	PRV'D AREA
106	BEDROOM 1	126.09 SF	5.04 SF	11.63 SF	10.09 SF	18.60 SF
108	BEDROOM 2	145.39 SF	5.81 SF	8.25 SF	11.63 SF	13.62 SF
112	FAMILY ROOM	161.79 SF	6.47 SF	33.50 SF	12.94 SF	24.52 SF
202	LIVING ROOM	194.50 SF	7.78 SF	31.46 SF	15.56 SF	82.16 SF
204	DINING ROOM	225.05 SF	9.00 SF	10.50 SF	18.00 SF	16.08 SF
302	BEDROOM 1	242.01 SF	8.85 SF	36.54 SF	17.70 SF	57.24 SF
306	BEDROOM 2	100.00 SF	4.73 SF	10.50 SF	9.46 SF	16.08 SF
309	BEDROOM 3	215.52 SF	8.62 SF	40.63 SF	17.24 SF	97.77 SF
402	BEDROOM 4	170.05 SF	6.80 SF	4.69 SF	13.60 SF	7.37 SF
403	BEDROOM 5	220.52 SF	8.82 SF	11.75 SF	17.64 SF	29.64 SF

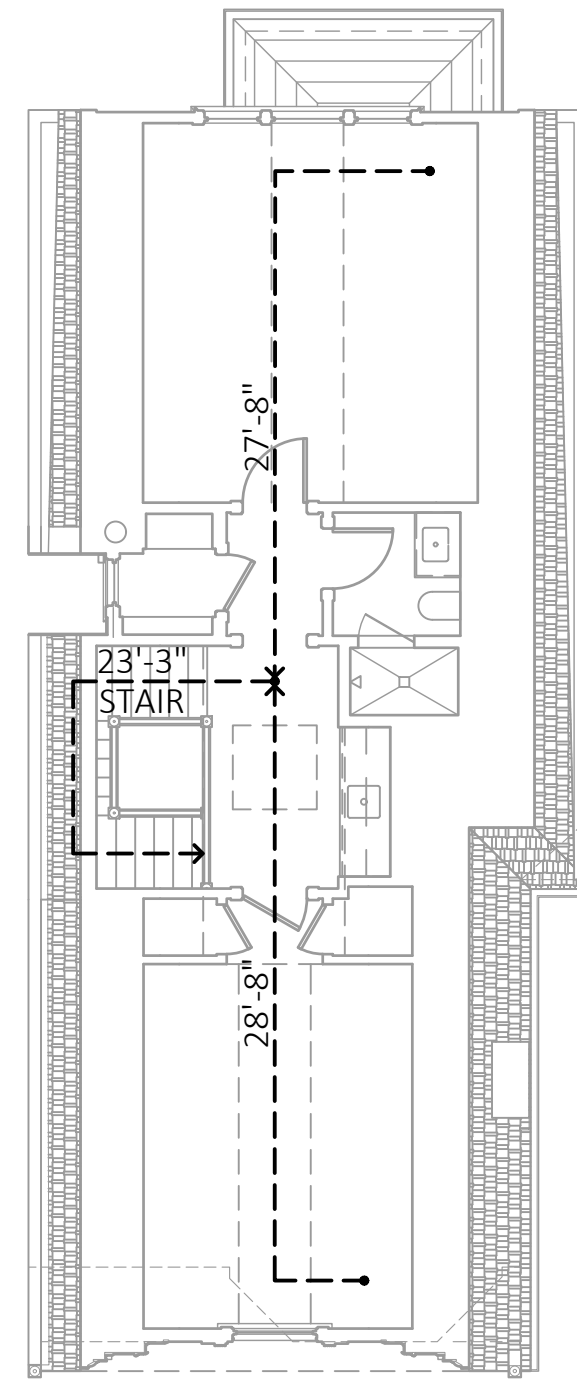
NOTE:
1. BEDROOM 1, ROOM 106, MEETS THE MINIMUM EXPOSURE REQUIREMENTS: FLOOR AREA IS GREATER THAN 120 SQ FT, NATURAL LIGHTING IS 8.51 SQ FT GREATER THAN REQUIRED MINIMUM.



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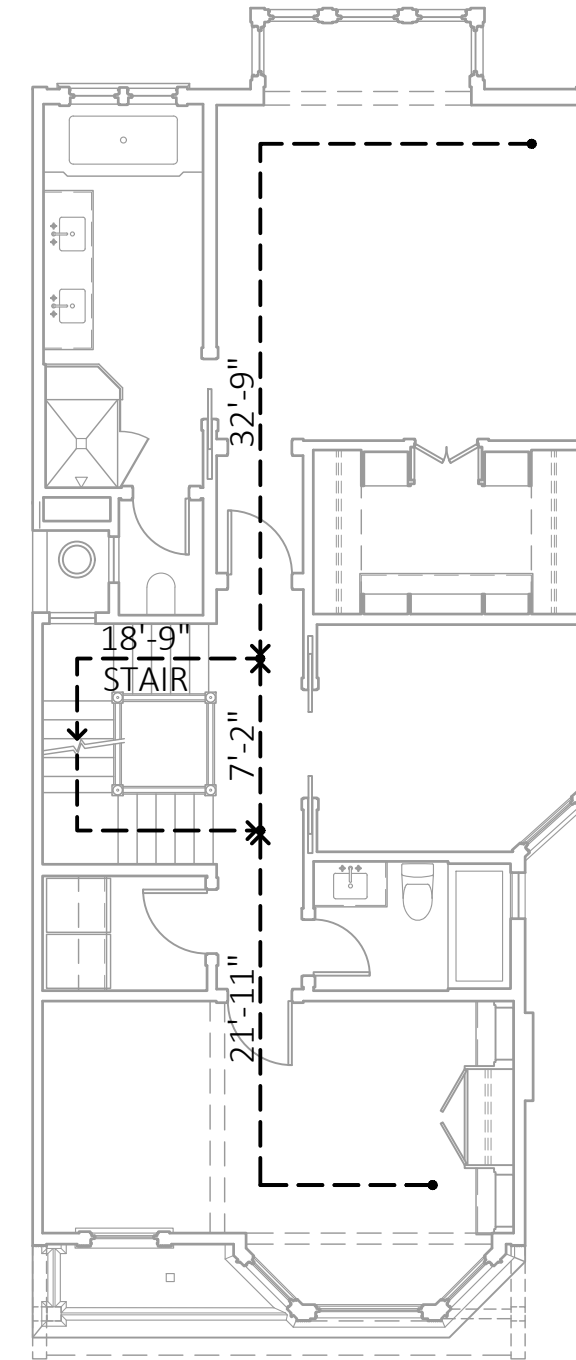
4TH FLOOR
EXIT ACCESS TRAVEL DISTANCE CALCULATED BY FLOOR:

FOURTH	28'-8"
STAIR	23'-3"
THIRD	7'-2"
SECOND	18'-9"
SECOND	5'-0" + 6'-10"
TOTAL =	89'-8"

PER CBC TABLE 1006.2.2 EXCEPTION 1: EXIT ACCESS TRAVEL DISTANCE FOR BUILDINGS WITH ONE EXIT: 125'

ACTUAL: 89'-8" < 125' MAX

CONCLUSION: ALLOWABLE W/SPRINKLER



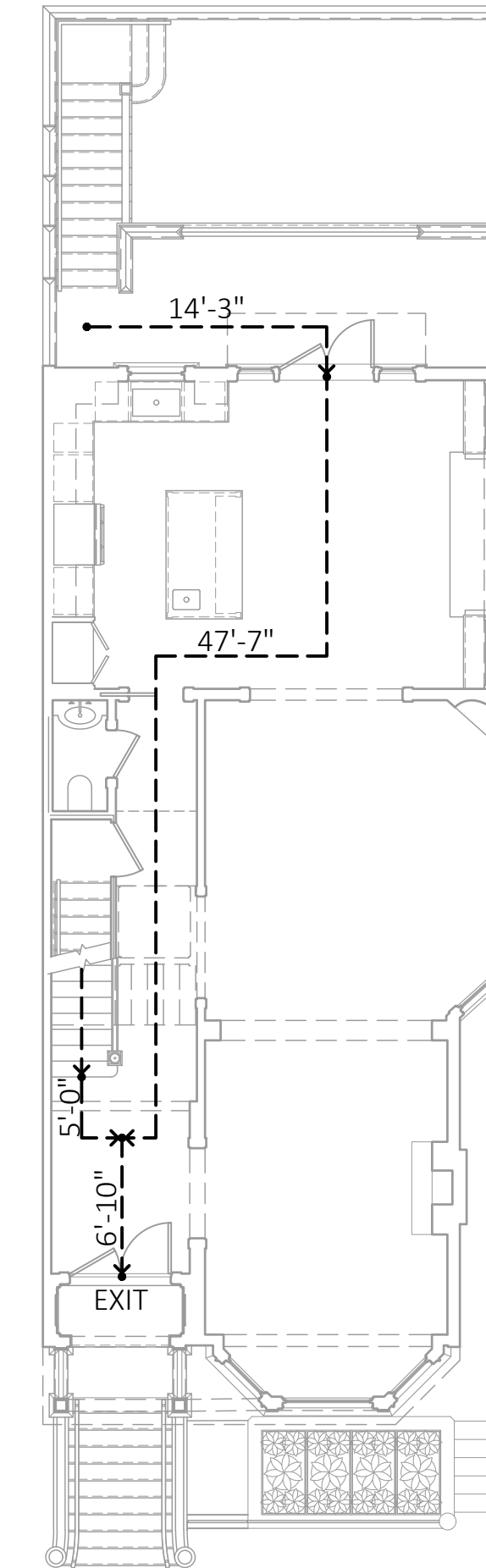
3RD FLOOR
EXIT ACCESS TRAVEL DISTANCE CALCULATED BY FLOOR:

THIRD	32'-9"
STAIR	18'-9"
SECOND	5'-0" + 6'-10"
TOTAL =	63'-4"

PER CBC TABLE 1006.2.2 EXCEPTION 1: EXIT ACCESS TRAVEL DISTANCE FOR BUILDINGS WITH ONE EXIT: 125'

ACTUAL: 63'-4" < 125' MAX

CONCLUSION: ALLOWABLE W/SPRINKLER



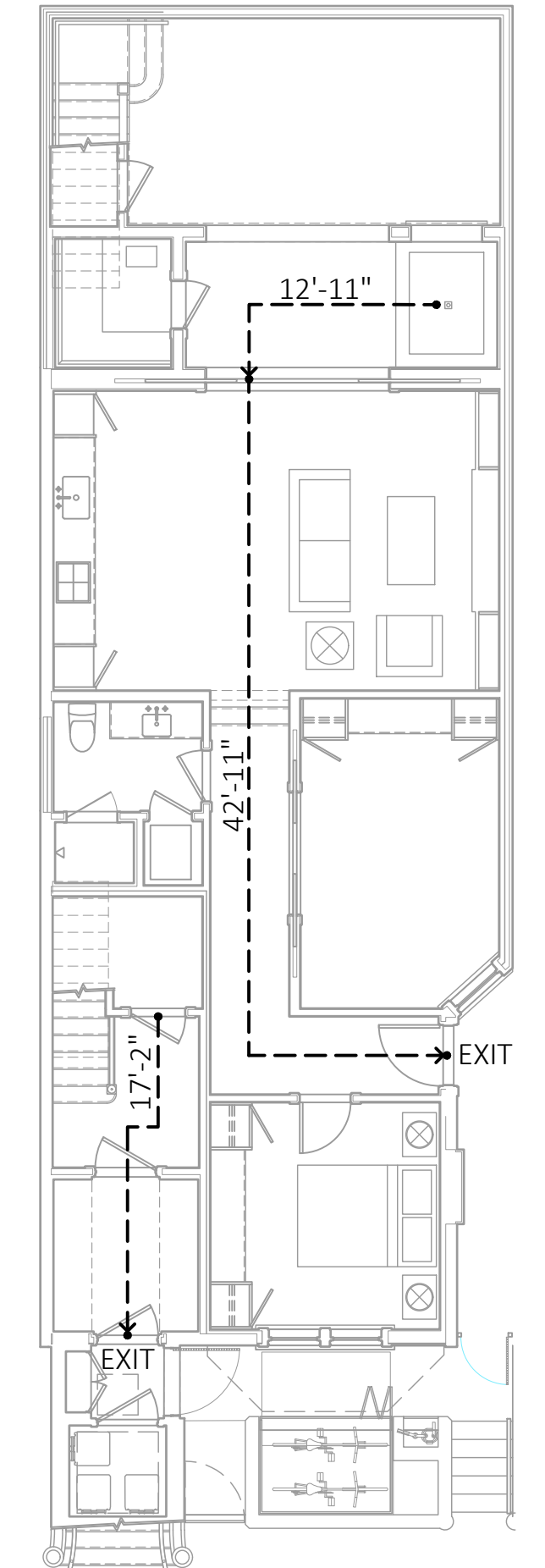
2ND FLOOR
EXIT ACCESS TRAVEL DISTANCE CALCULATED BY FLOOR:

SECOND	14'-3"
FIRST	47'-7" + 5'-0" + 6'-10"
TOTAL	= 68'-11"

PER CBC TABLE 1006.2.2 EXCEPTION 1: EXIT ACCESS TRAVEL DISTANCE FOR BUILDINGS WITH ONE EXIT: 125'

ACTUAL: 68'-11" < 125' MAX

CONCLUSION: ALLOWABLE W/SPRINKLER



1ST FLOOR
EXIT ACCESS TRAVEL DISTANCE CALCULATED BY FLOOR:

FIRST	12'-11" + 42'-11"
TOTAL	= 55'-10"

PER CBC TABLE 1006.2.2 EXCEPTION 1: EXIT ACCESS TRAVEL DISTANCE FOR BUILDINGS WITH ONE EXIT: 125'

ACTUAL: 55'-10" < 125' MAX

CONCLUSION: ALLOWABLE W/SPRINKLER

EGRESS DIAGRAMS
FOR REFERENCE ONLY 1

ISSUANCE	DATE
CofA/VARIANCE	05.26.20
BUILDING PERMIT	03.29.21
MILLS ACT APP.	05.26.21
PLAN CHECK	08.24.21
RESPONSE	

JOB # 2004

BLDG CODE COMPLIANCE-EGRESS DIAGRAMS AND LIGHT AND VENT REQUIREMENTS

G2.5

SCALE: N.T.S.

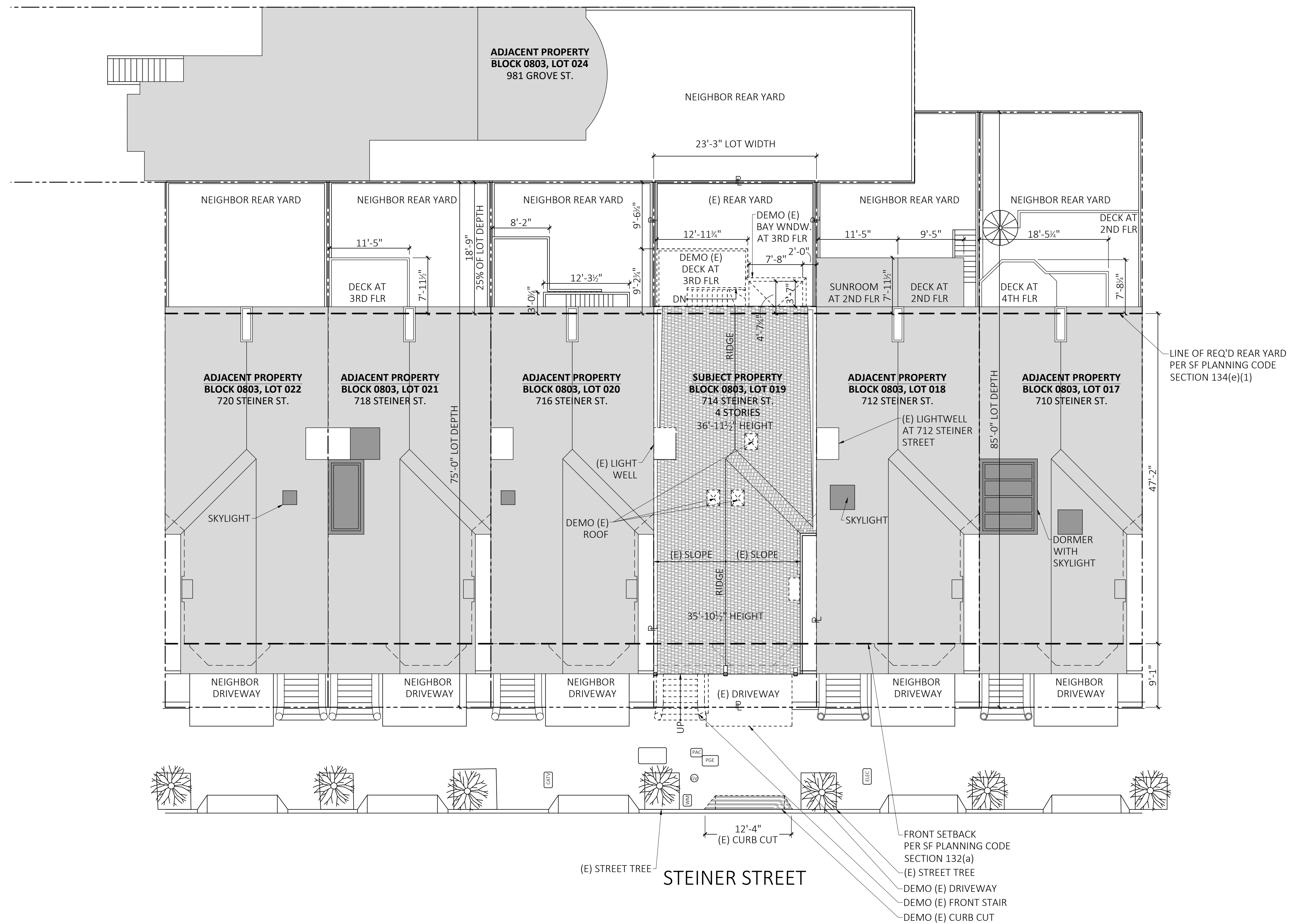
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GS5: San Francisco Green Building Submittal Form for Residential Alteration + Addition Projects

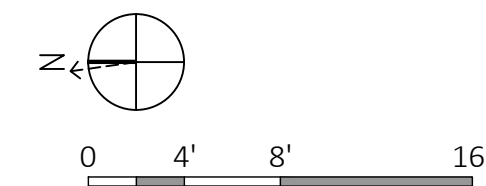
Form version: March 11, 2020 (For permit applications January 2020 - December 2022)

INSTRUCTIONS:				OTHER RESIDENTIAL ALTERATIONS + ADDITIONS	VERIFICATION
1. Fill out the project information in the Verification box at the right. 2. Submittal must be a minimum of 11" x 17". 3. This form is for permit applications submitted January 2020 through December 2022.				adds any amount of conditioned area, volume, or size	Indicate below who is responsible for ensuring green building requirements are met. Projects that increase total conditioned floor area by ≥1,000 sq. ft. are required to have a Green Building Compliance Professional of Record as described in Administrative Bulletin 93. For projects that increase total conditioned floor area by <1,000 sq. ft., the applicant or design professional may sign below, and no license or special qualifications are required. FINAL COMPLIANCE VERIFICATION form will be required prior to Certificate of Completion CULVER RESIDENCE PROJECT NAME 0803/019 BLOCK/LOT 714 STEINER STREET ADDRESS R-3 PRIMARY OCCUPANCY 3,610 SQ FT GROSS BUILDING AREA 909 SQ FT INCREASE IN CONDITIONED FLOOR AREA <i>I have been retained by the project sponsor to verify that approved construction documents and construction fulfill the requirements of San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, if I am no longer the Green Building Compliance Professional of Record for the project, or if I am otherwise no longer responsible for assuring the compliance of the project with the San Francisco Green Building Code.</i> LICENSED PROFESSIONAL (sign & date) May be signed by applicant when <1,000 sq. ft. is added. AFFIX STAMP BELOW: GREEN BUILDING COMPLIANCE PROFESSIONAL (name & contact phone #) FIRM <input type="checkbox"/> I am a LEED Accredited Professional <input type="checkbox"/> I am a GreenPoint Rater <input type="checkbox"/> I am an ICC Certified CALGreen Inspector GREEN BUILDING COMPLIANCE PROFESSIONAL (sign & date) Signature by a professional holding at least one of the above certifications is required. If the Licensed Professional does not hold a certification for green design and/or inspection, this section may be completed by another party who will verify applicable green building requirements are met.
TITLE	SOURCE OF REQUIREMENT	DESCRIPTION OF REQUIREMENT		if applicable	
RESIDENTIAL	GRADING & PAVING	CALGreen 4.106.3	Show how surface drainage (grading, swales, drains, retention areas) will keep surface water from entering the building.		
	RODENT PROOFING	CALGreen 4.406.1	Seal around pipe, cable, conduit, and other openings in exterior walls with cement mortar or DBI-approved similar method.	•	
	FIREPLACES & WOODSTOVES	CALGreen 4.503.1	Install only direct-vent or sealed-combustion, EPA Phase II-compliant appliances.	•	
	CAPILLARY BREAK, SLAB ON GRADE	CALGreen 4.505.2	Slab on grade foundation requiring vapor retarder also requires a capillary break such as: 4 inches of base 1/2-inch aggregate under retarder; slab design specified by licensed professional.	•	
	MOISTURE CONTENT	CALGreen 4.505.3	Wall + floor <19% moisture content before enclosure.	•	
	BATHROOM EXHAUST	CALGreen 4.506.1	Must be ENERGY STAR compliant, ducted to building exterior, and its humidistat shall be capable of adjusting between <50% to >80% (humidistat may be separate component).	•	
MATERIAL EMISSIONS	LOW-EMITTING MATERIALS	CALGreen 4.504.2.1-5, SFGBC 4.103.3.2	Use products that comply with the emission limit requirements of 4.504.2.1-5, 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products.	•	
WATER	INDOOR WATER USE REDUCTION	CALGreen 4.303.1, SF Housing Code sec.12A10	Meet flush/flow requirements for: toilets (1.28 gpf); urinals (0.125 gpf wall, 0.5 gpf floor); showerheads (1.8 gpm); lavatories (1.2 gpm private, 0.5 gpm public/common); kitchen faucets (1.8 gpm); wash fountains (1.8 gpm); metering faucets (0.2 gpc); food waste disposers (1 gpm/8 gpm). Residential major improvement projects must upgrade all non-compliant fixtures per SF Housing Code sec.12A10.	•	
	WATER-EFFICIENT IRRIGATION	Administrative Code ch.63	If modified landscape area is ≥1,000 sq.ft., use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated ETAF of ≤.55 or by prescriptive compliance for projects with ≤2,500 sq.ft. of landscape area.	•	
ENERGY	ENERGY EFFICIENCY	CA Energy Code	Comply with all provisions of the CA Energy Code.	•	
PARKING	BICYCLE PARKING	Planning Code sec.155.1-2	Provide short- and long-term bike parking to meet requirements of SF Planning Code sec.155.1-2.	if applicable	
RESOURCE RECOVERY	RECYCLING BY OCCUPANTS	SF Building Code 106A.3.3, CalGreen 5.410.1, AB-088	Provide adequate space and equal access for storage, collection, and loading of compostable, recyclable and landfill materials.	•	
	CONSTRUCTION & DEMOLITION (C&D) DISCARDS MANAGEMENT	Environment Code ch. 14 SFGBC 4.103.2.3 CalGreen 4.408.2, 4.408.5	Construction Discards Management - 100% of mixed debris must be taken by a Registered Transporter to a Registered facility and processed for recycling. Demonstrate ≥65% recovery. See www.dbi.org for details.	•	
HVAC	HVAC INSTALLER QUALS	CALGreen 4.702.1	Installers must be trained in best practices.	•	
	HVAC DESIGN	CALGreen 4.507.2	HVAC shall be designed to ACCA Manual J, D, and S.	•	
GOOD NEIGHBOR	BIRD-SAFE BUILDINGS	Planning Code sec.139	Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity.	•	
	TOBACCO SMOKE CONTROL	Health Code art.19F	Prohibit smoking within 10 feet of building entries, air intakes, and operable windows and enclosed common areas.	•	
POLLUTION PREVENTION	STORMWATER CONTROL PLAN	Public Works Code art.4.2 sec.147	Projects disturbing ≥5,000 sq.ft. in combined or separate sewer areas, or replacing ≥2,500 impervious sq.ft. in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements.	if project extends outside envelope	
	CONSTRUCTION SITE RUNOFF	Public Works Code art.4.2 sec.146	Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	if project extends outside envelope	
INDOOR AIR QUALITY	AIR FILTRATION (CONSTRUCTION)	CALGreen 4.504.1	Seal permanent HVAC ducts/equipment stored onsite before installation.	•	

<b style="writing-mode: vertical-rl; transform: rotate(180deg);">FOR YOUR INFORMATION: INDOOR WATER EFFICIENCY <div style="text-align: center; font-weight: bold; font-size: small;">Indoor Water Efficiency</div> <div style="text-align: center; font-size: x-small;">Each fixture must not exceed CALGreen 4.303 maximum flow rates:</div> <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th style="text-align: left;">FIXTURE TYPE</th> <th style="text-align: left;">MAXIMUM FIXTURE FLOW RATE</th> </tr> </thead> <tbody> <tr> <td>Showerheads²</td> <td>1.8 gpm @ 80 psi</td> </tr> <tr> <td>Lavatory Faucets: residential</td> <td>1.2 gpm @ 60 psi</td> </tr> <tr> <td>Kitchen Faucets</td> <td>1.8 gpm @ 60 psi default</td> </tr> <tr> <td>Wash Fountains</td> <td>1.8 gpm / 20 [rim space (inches) @ 60 psi]</td> </tr> <tr> <td>Metering Faucets</td> <td>.20 gallons per cycle</td> </tr> <tr> <td>Tank-type water closets</td> <td>1.28 gallons / flush¹ and EPA WaterSense Certified</td> </tr> <tr> <td>Flushometer valve water closets</td> <td>1.28 gallons / flush¹</td> </tr> <tr> <td>Urinals</td> <td>Wall mount: 0.125 gallons / flush Floor mount: 0.5 gallons / flush</td> </tr> </tbody> </table>	FIXTURE TYPE	MAXIMUM FIXTURE FLOW RATE	Showerheads ²	1.8 gpm @ 80 psi	Lavatory Faucets: residential	1.2 gpm @ 60 psi	Kitchen Faucets	1.8 gpm @ 60 psi default	Wash Fountains	1.8 gpm / 20 [rim space (inches) @ 60 psi]	Metering Faucets	.20 gallons per cycle	Tank-type water closets	1.28 gallons / flush ¹ and EPA WaterSense Certified	Flushometer valve water closets	1.28 gallons / flush ¹	Urinals	Wall mount: 0.125 gallons / flush Floor mount: 0.5 gallons / flush	<b style="text-align: center; font-weight: bold; font-size: small;">Water Efficiency of Existing Non-Compliant Fixtures <div style="font-size: x-small;">All fixtures that are not compliant with the San Francisco Commercial Water Conservation Ordinance that serve or are located within the project area must be replaced with fixtures or fittings meeting the maximum flow rates and standards referenced above. For more information, see the Commercial Water Conservation Program Brochure, available at SFDBI.org.</div> <div style="font-weight: bold; font-size: x-small; margin-top: 10px;">NON-COMPLIANT PLUMBING FIXTURES INCLUDE:</div> <ol style="list-style-type: none"> 1. Any toilet manufactured to use more than 1.6 gallons/flush 2. Any urinal manufactured to use more than 1 gallon/flush 3. Any showerhead manufactured to have a flow capacity of more than 2.5 gpm 4. Any interior faucet that emits more than 2.2 gpm <div style="font-size: x-small; margin-top: 10px;">Exceptions to this requirement are limited to situations where replacement of fixture(s) would detract from the historic integrity of the building, as determined by the Department of Building Inspection pursuant to San Francisco Building Code Chapter 13A.</div>	<div style="font-size: x-small; margin-top: 10px;">NOTES:</div> <ol style="list-style-type: none"> 1. For dual flush toilets, effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. The referenced standard is ASME A112.19.14 and USEPA WaterSense Tank-Type High Efficiency Toilet Specification – 1.28 gal (4.8L) 2. The combined flow rate of all showerheads in one shower stall shall not exceed the maximum flow rate for one showerhead, or the shower shall be designed to allow only one showerhead to be in operation at a time (CALGreen 5.303.2.1)
FIXTURE TYPE	MAXIMUM FIXTURE FLOW RATE																			
Showerheads ²	1.8 gpm @ 80 psi																			
Lavatory Faucets: residential	1.2 gpm @ 60 psi																			
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Metering Faucets	.20 gallons per cycle																			
Tank-type water closets	1.28 gallons / flush ¹ and EPA WaterSense Certified																			
Flushometer valve water closets	1.28 gallons / flush ¹																			
Urinals	Wall mount: 0.125 gallons / flush Floor mount: 0.5 gallons / flush																			



SITE PLAN - EXISTING AND DEMOLITION 1
1/8" = 1'-0"



CULVER RESIDENCE
714 STEINER STREET, SAN FRANCISCO, CA 94117

ISSUANCE	DATE
CofA/VARIANCE	05.26.21
BUILDING PERMIT	03.29.21
MILLS ACT APP.	05.26.21
PLAN CHECK	08.24.21
RESPONSE	

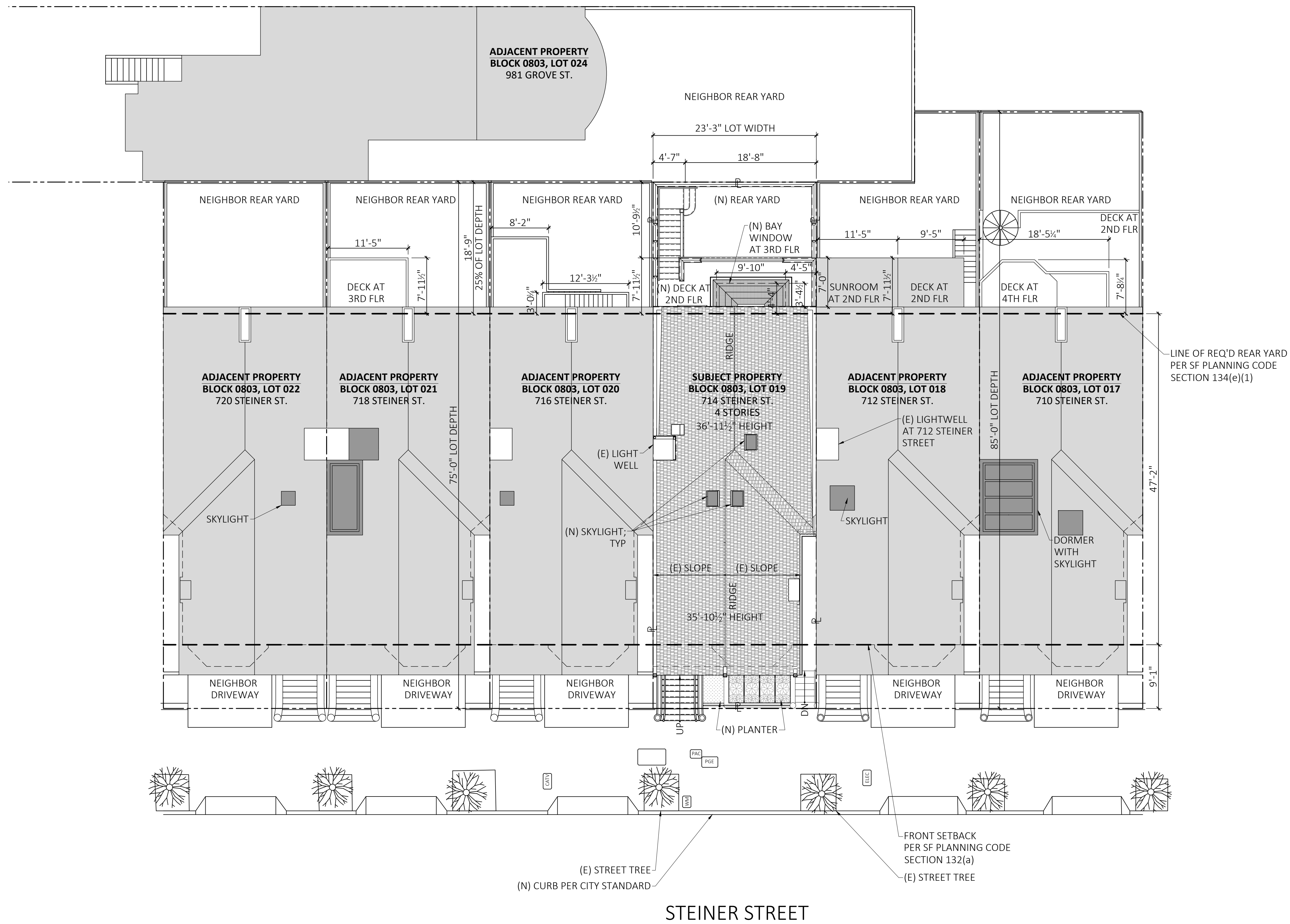
JOB # 2004

SITE PLAN - EXISTING AND DEMOLITION

A0.1

SCALE: 1/8" = 1'-0"

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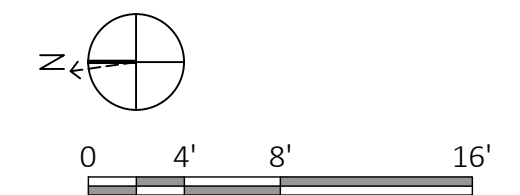


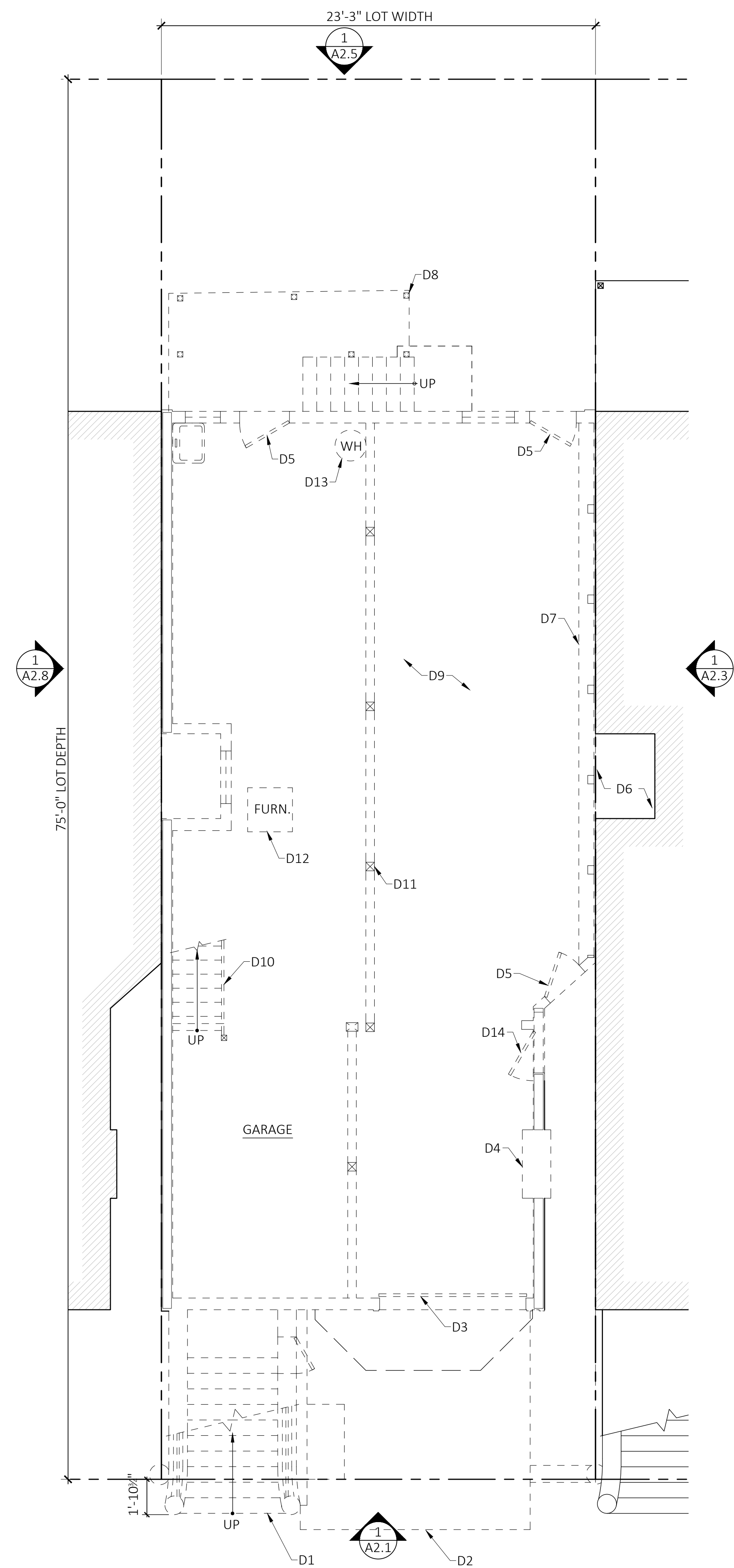
- GENERAL NOTES**
- SEE PROPOSED FIRST FLOOR PLAN ON SHEET A1.1 FOR LANDSCAPE DIMENSIONS

SAN FRANCISCO PLANNING CODE SECTION 134(e)(1) TABLE

NET FRONT SETBACK AREA	PERMEABLE AREA PROVIDED	LANDSCAPE AREA PROVIDED
139 SQ. FT.	73 SQ. FT. (53%)	35 SQ. FT. (25%)

SITE PLAN - PROPOSED
1/8" = 1'-0" 1





FIRST FLOOR PLAN - EXISTING AND DEMOLITION
1/4" = 1'-0" 2

NOTES: EXISTING

- D1 (E) FRONT STAIR TO BE DEMOLISHED
- D2 (E) DRIVEWAY TO BE DEMOLISHED
- D3 (E) GARAGE DOOR TO BE DEMOLISHED
- D4 (E) BRICK CHIMNEY TO BE DEMOLISHED
- D5 (E) DOOR TO BE DEMOLISHED
- D6 LIGHT WELL AT 712 STEINER
- D7 (E) WATER DAMAGED BLIND WALL TO BE REMOVED - SEE PHOTO ON G2.2
- D8 (E) WOOD DECK AND STAIR TO BE DEMOLISHED
- D9 (E) SLAB ON GRADE TO BE DEMOLISHED
- D10 (E) STAIR TO BE DEMOLISHED
- D11 (E) POST AND BEAM SYSTEM TO BE DEMOLISHED
- D12 (E) HVAC SYSTEM TO BE DEMOLISHED
- D13 DEMOLISH (E) PLUMBING FIXTURE/ EQUIPMENT
- D14 (E) DOOR TO BE REPLACED

GENERAL NOTES

- A SEE SHEET G2.5 FOR THE REQUIRED LIGHTING AND VENTILATION TABLE
- B ALL GRIDLINES ARE TO FACE OF (E) OR (N) STUD UON (GENERAL NOTE ON ALL PLANS, ELEVATIONS, & BUILDING SECTIONS)



FIG. 1: EXISTING DOOR IN GARAGE COVERED BY SIDING

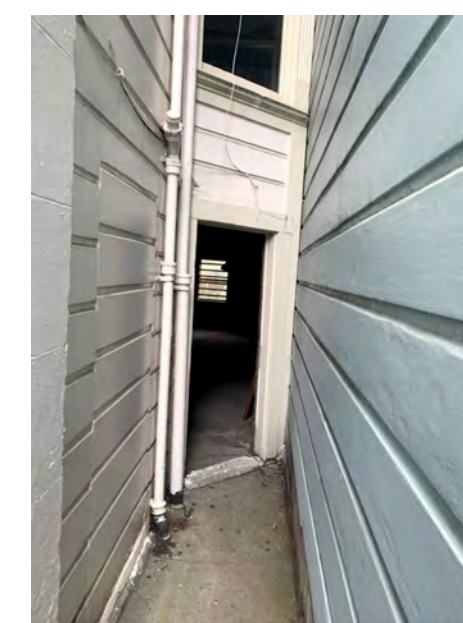
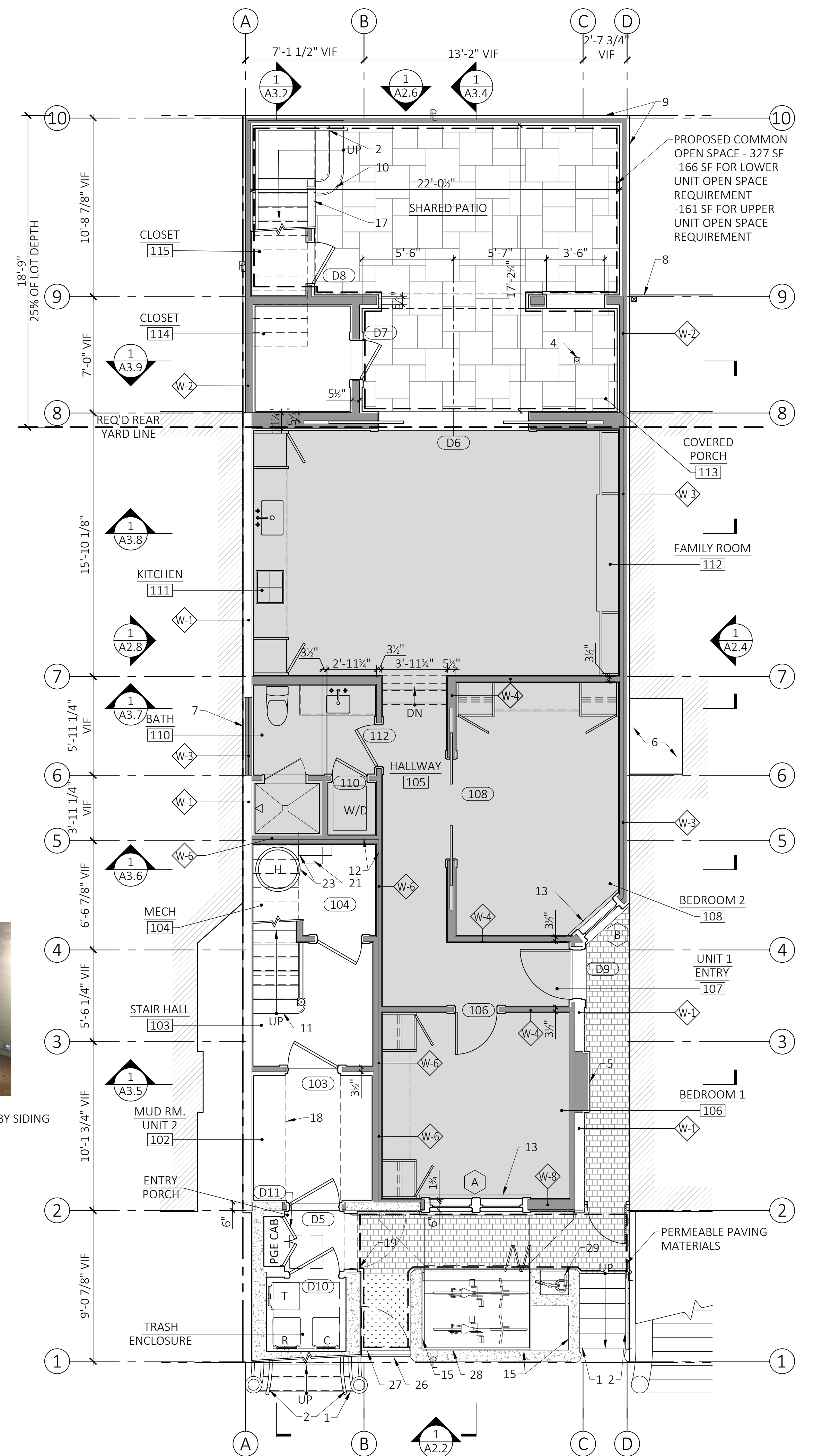


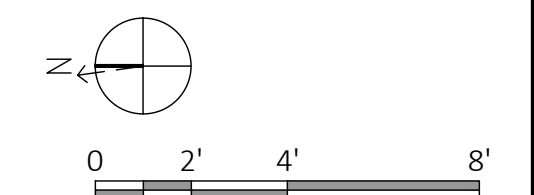
FIG. 2: SIDING OVER DOOR



FIRST FLOOR PLAN - PROPOSED
1/4" = 1'-0" 1

NOTES: PROPOSED

- 1 (N) CONCRETE STAIR WITH TERRAZZO TREADS & RISERS PER CBC 1011
- 2 (N) DECORATIVE METALWORK; GUARDRAILING PER CBC 1015; HANDRAILING PER CBC 1014
- 3 (N) TERRAZZO BIKE RAMP
- 4 (N) FLOOR DRAIN
- 5 (N) WOOD FRAMED CHIMNEY WITH SCORED STUCCO FINISH TO MATCH (E); INSTALL STUCCO PER CBC 2512
- 6 LIGHT WELL AT 712 STEINER STREET
- 7 (E) LIGHT WELL TO BE FILLED IN
- 8 EXTENT OF SUNROOM ABOVE AT 712 STEINER STREET
- 9 (N) PAINTED WOOD FENCE; 10'-0" MAX HEIGHT
- 10 (N) WOOD FRAMED STAIR PER CBC 1011
- 11 (N) WOOD FRAMED STAIR; NON-EGRESS COMPONENT
- 12 (N) FIRE RATED WALL ASSEMBLY; SEE ASSEMBLY DETAILS ON SHEETS A8.2.1 AND A8.2.2
- 13 (N) PAINTED WOOD WINDOW; SEE WINDOW SCHEDULE FOR MORE INFORMATION
- 14 (N) PAINTED METAL GATE
- 15 (N) CONCRETE SITE WALL WITH STUCCO FINISH
- 16 (N) PAINTED WOOD HANDRAIL PER CBC 1014
- 17 (N) PAINTED WOOD GUARDRAIL PER CBC 1015
- 18 (N) BUILT-IN CASEWORK OR CABINETRY
- 19 (N) FIRE-RATED DOOR ASSEMBLY PER CBC 716.2
- 20 (N) HVAC EQUIPMENT; SEE SHEET A7.5
- 21 (N) ACID RESISTANT FLOOR SINK
- 22 (N) FLOOR DRAIN
- 23 (N) BOILER AND WATER STORAGE TANK
- 24 SF PLANNING CODE SECTION 140 OPEN SPACE REQUIREMENT
- 25 (N) LANDSCAPE PLANTER
- 26 MAINTENANCE ACCESS PANEL
- 27 LANDSCAPE AREA
- 28 (N) CONCRETE VAULT STRUCTURE FOR BICYCLE STORAGE
- 29 (N) GAS METER LOCATION



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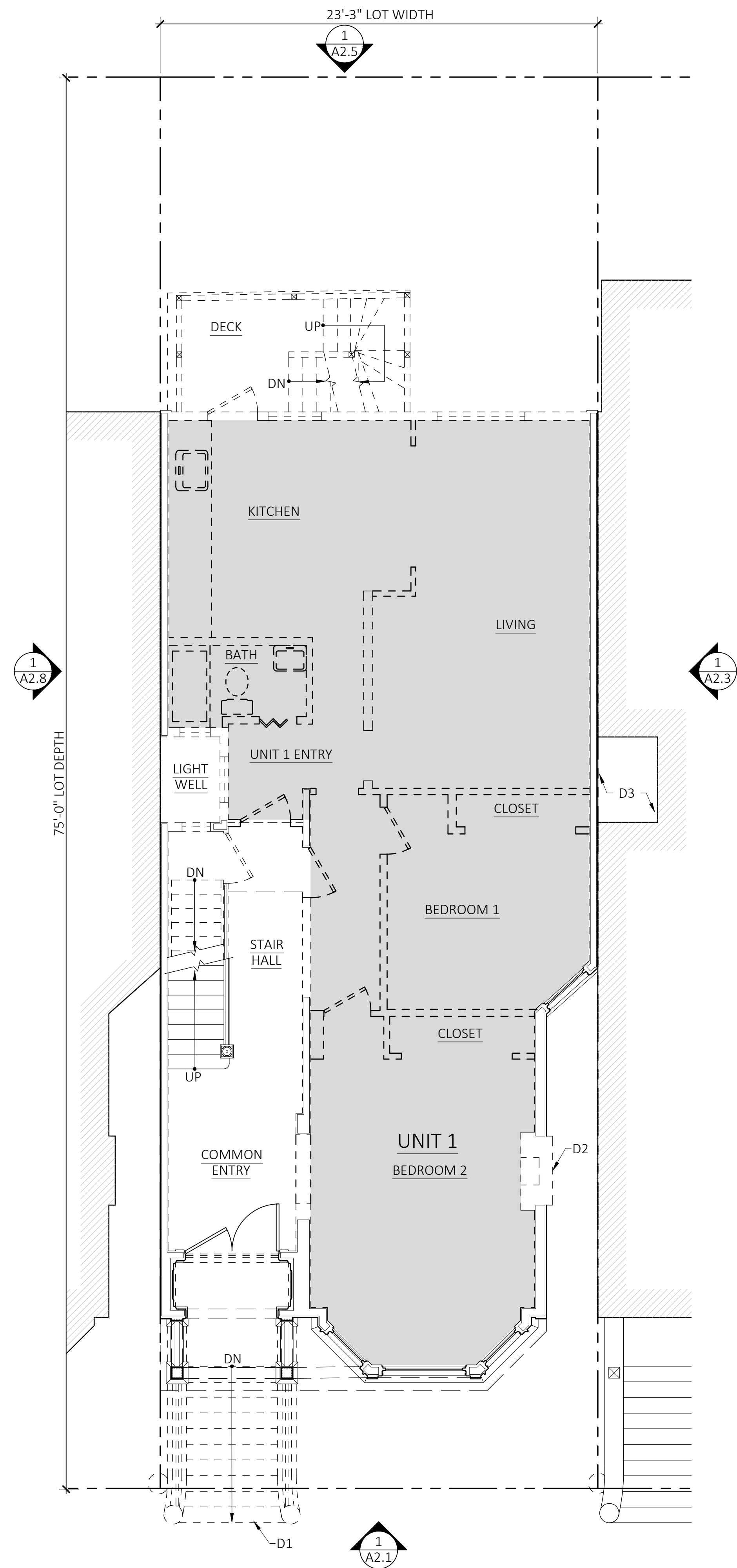
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FIRST FLOOR PLAN - EXISTING AND DEMOLITION AND PROPOSED

A1.1

SCALE: 1/4" = 1'-0"

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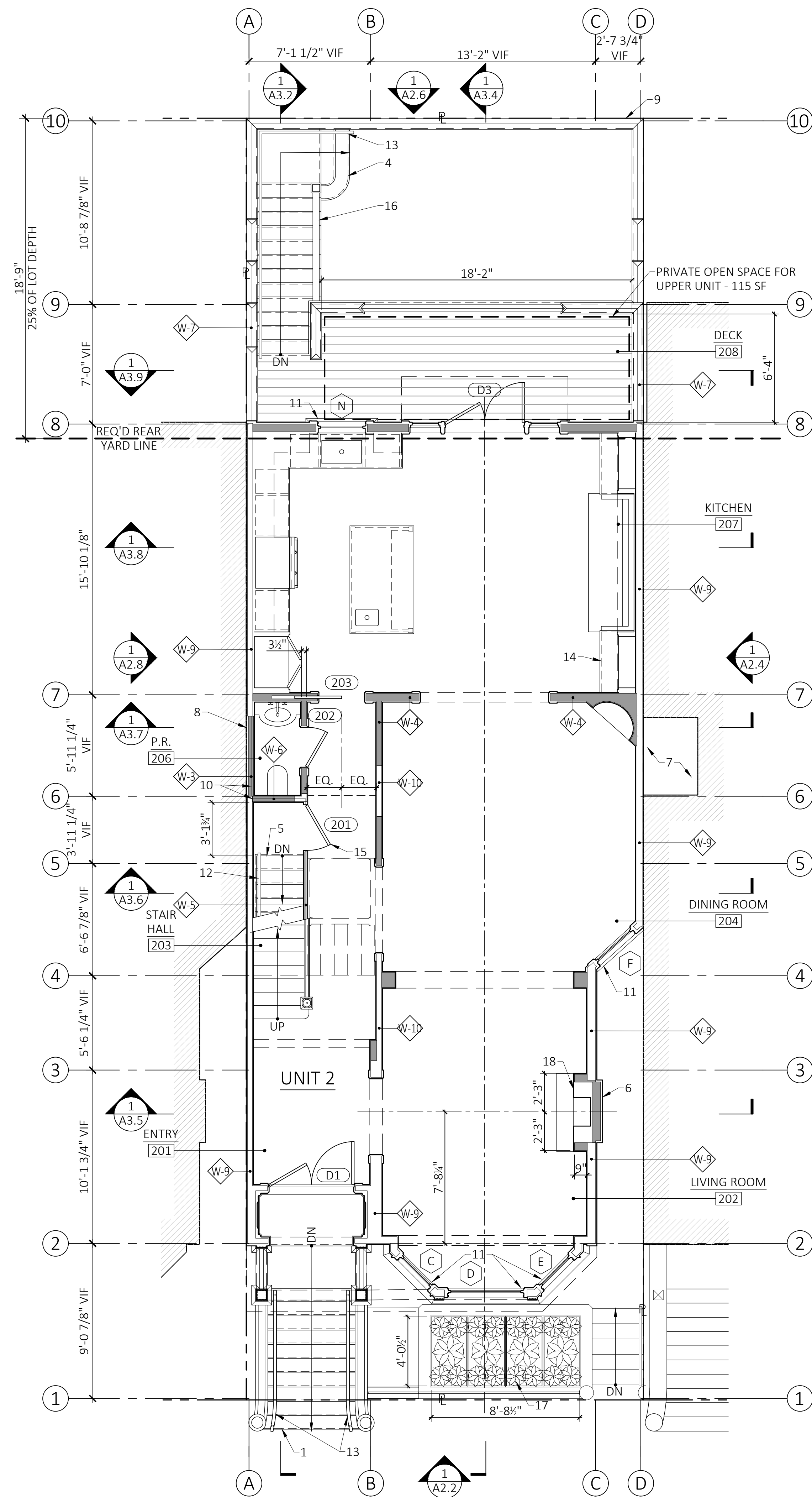
SECOND FLOOR PLAN - EXISTING AND DEMOLITION 2
1/4" = 1'-0"

NOTES: EXISTING

- D1 (E) FRONT STAIR TO BE DEMOLISHED
- D2 (E) BRICK CHIMNEY TO BE DEMOLISHED
- D3 LIGHT WELL AT 712 STEINER

GENERAL NOTES

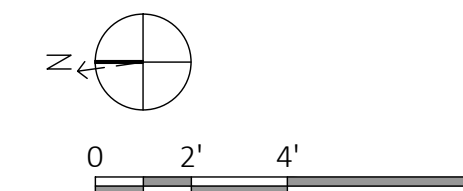
- A SEE SHEET G2.5 FOR THE REQUIRED LIGHTING AND VENTILATION TABLE



SECOND FLOOR PLAN - PROPOSED 1
1/4" = 1'-0"

NOTES: PROPOSED

- 1 (N) CONCRETE STAIR WITH TERRAZZO TREADS & RISERS PER CBC 1011
- 2 (N) DECORATIVE METALWORK; GUARDRAILING PER CBC 1015; HANDRAILING PER CBC 1014
- 3 (N) TERRAZZO BIKE RAMP
- 4 (N) WOOD FRAMED STAIR PER CBC 1011
- 5 (N) WOOD FRAMED STAIR; NON-EGRESS COMPONENT
- 6 (N) WOOD FRAMED CHIMNEY WITH SCORED STUCCO FINISH TO MATCH (E); INSTALL STUCCO PER CBC 2512
- 7 (E) LIGHT WELL AT 712 STEINER STREET
- 8 (E) LIGHT WELL TO BE FILLED IN
- 9 (N) PAINTED WOOD FENCE; 10'-0" MAX HEIGHT
- 10 (N) FIRE RATED WALL ASSEMBLY; SEE ASSEMBLY DETAILS ON SHEETS A8.2.1 AND A8.2.2
- 11 (N) PAINTED WOOD WINDOW; SEE WINDOW SCHEDULE FOR MORE INFORMATION
- 12 (N) PAINTED WOOD HANDRAIL PER CBC 1014
- 13 (N) NATURAL PATINA BRONZE HANDRAIL PER CBC 1014
- 14 (N) BUILT-IN CASEWORK OR CABINETRY
- 15 (N) FIRE-RATED DOOR ASSEMBLY PER CBC 716.2
- 16 (N) PAINTED WOOD GUARDRAIL PER CBC 1015
- 17 (N) LANDSCAPE PLANTER ABOVE (N) BICYCLE STORAGE BELOW
- 18 (N) GAS FIREPLACE



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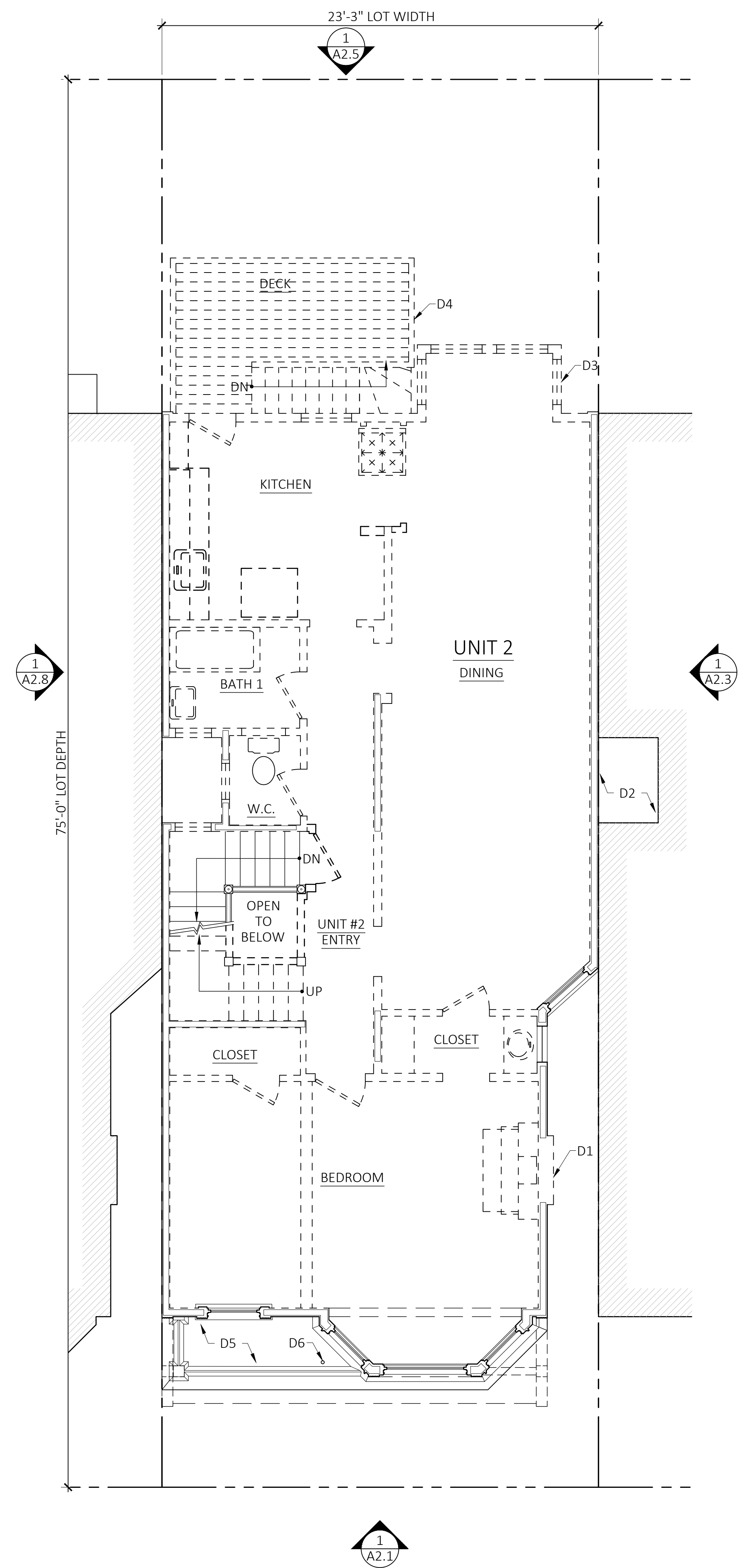
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SECOND FLOOR PLAN - EXISTING AND DEMOLITION AND PROPOSED

A1.2

SCALE: 1/4" = 1'-0"

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THIRD FLOOR PLAN - EXISTING AND DEMOLITION
1/4" = 1'-0" 2

- NOTES: EXISTING
- D1 (E) BRICK CHIMNEY TO BE DEMOLISHED
 - D2 LIGHT WELL AT 712 STEINER
 - D3 (E) BAY WINDOW TO BE DEMOLISHED
 - D4 (E) DECK AND STAIR TO BE DEMOLISHED
 - D5 (E) GALVANIZED METAL ROOFING TO BE DEMOLISHED
 - D6 DEMOLISH (E) EXPOSED DRAIN PIPE

- GENERAL NOTES
- A SEE SHEET G2.5 FOR THE REQUIRED LIGHTING AND VENTILATION TABLE
 - REMOVE (E) GALVANIZED METAL ROOFING AND REPLACE WITH COPPER
 - REMOVE (E) TRIM AND REPLACE



FIG. 1: EXISTING SHEET METAL ROOFING

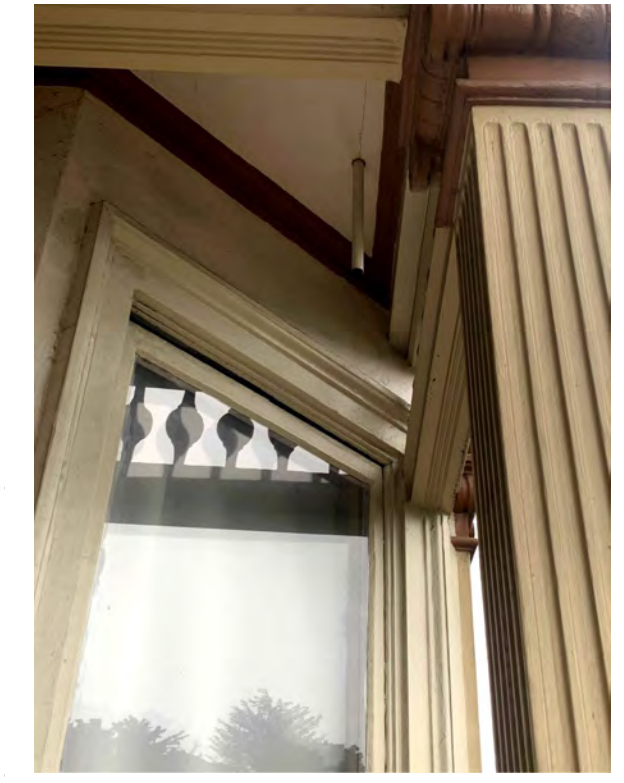
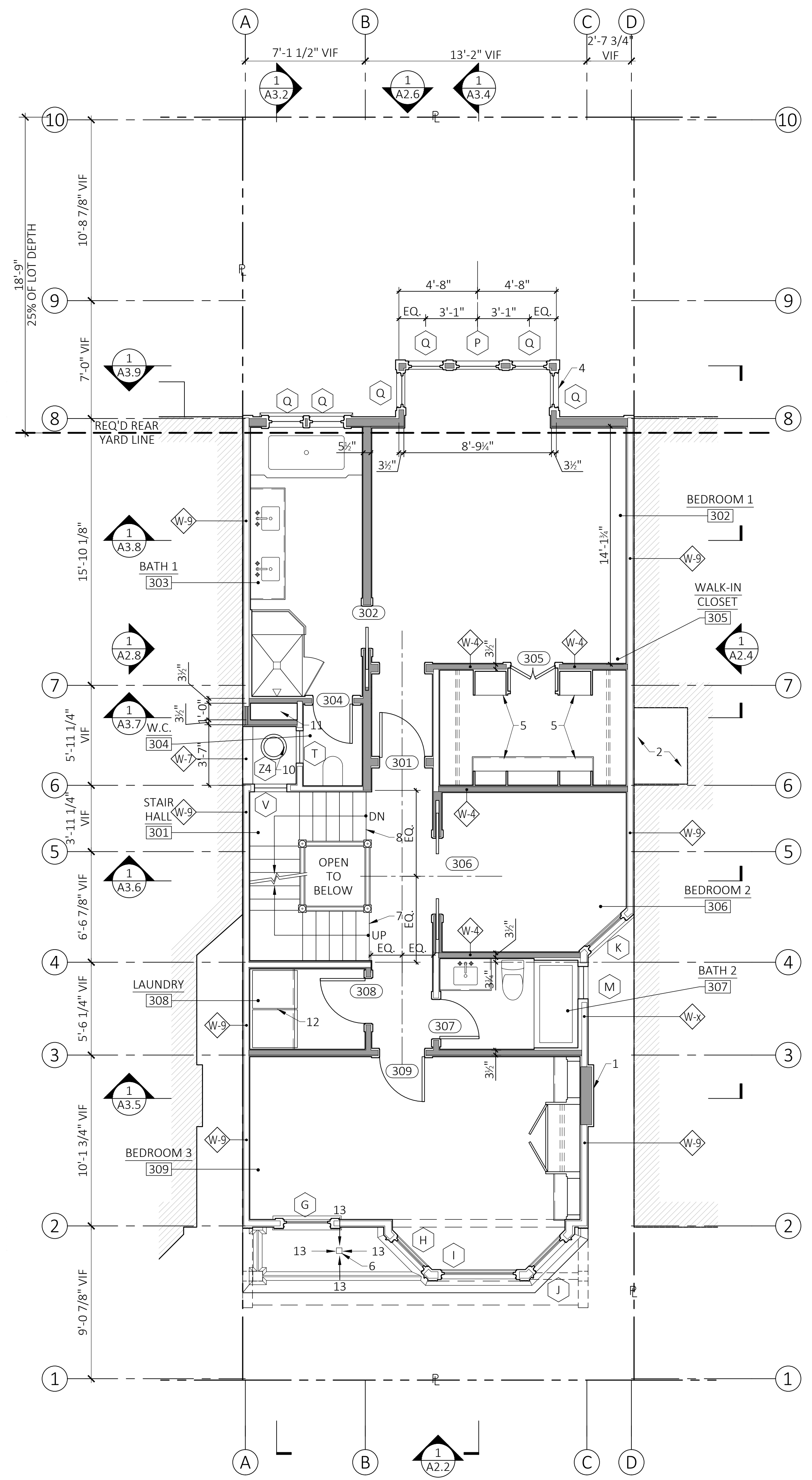
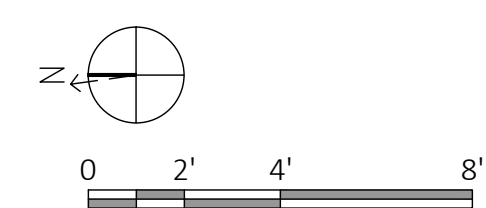


FIG. 2: EXISTING PORCH ROOF DRAIN PIPE



THIRD FLOOR PLAN - PROPOSED
1/4" = 1'-0" 1

- NOTES: PROPOSED
- 1 (N) WOOD FRAMED CHIMNEY WITH SCORED STUCCO FINISH TO MATCH (E); INSTALL STUCCO PER CBC 2512 (E);
 - 2 LIGHT WELL AT 712 STEINER STREET
 - 3 (N) FIRE RATED WALL ASSEMBLY; SEE ASSEMBLY DETAILS ON SHEETS A8.2.1 AND A8.2.2
 - 4 (N) PAINTED WOOD WINDOW; SEE WINDOW SCHEDULE FOR MORE INFORMATION
 - 5 (N) BUILT-IN CASEWORK OR CABINETRY
 - 6 (N) COPPER ROOF AND DRAIN OVER (N) WATERPROOFING MEMBRANE
 - 7 (N) STAIR IN-KIND TO REPLACE (E) DAMAGED STAIR
 - 8 (E) STAIR RAISED TO ALIGN TO (N) FINISHED FLOOR LEVEL
 - 9 (N) SKYLIGHT; SEE SCHEDULE
 - 10 (N) VELUX RIGID SUN TUNNEL TLR; SEE SCHEDULE
 - 11 (N) 10" RANGE HOOD VENT
 - 12 (N) 2" FLOOR DRAIN
 - 13 ROOF SLOPING 1/4" PER FOOT TO DRAIN



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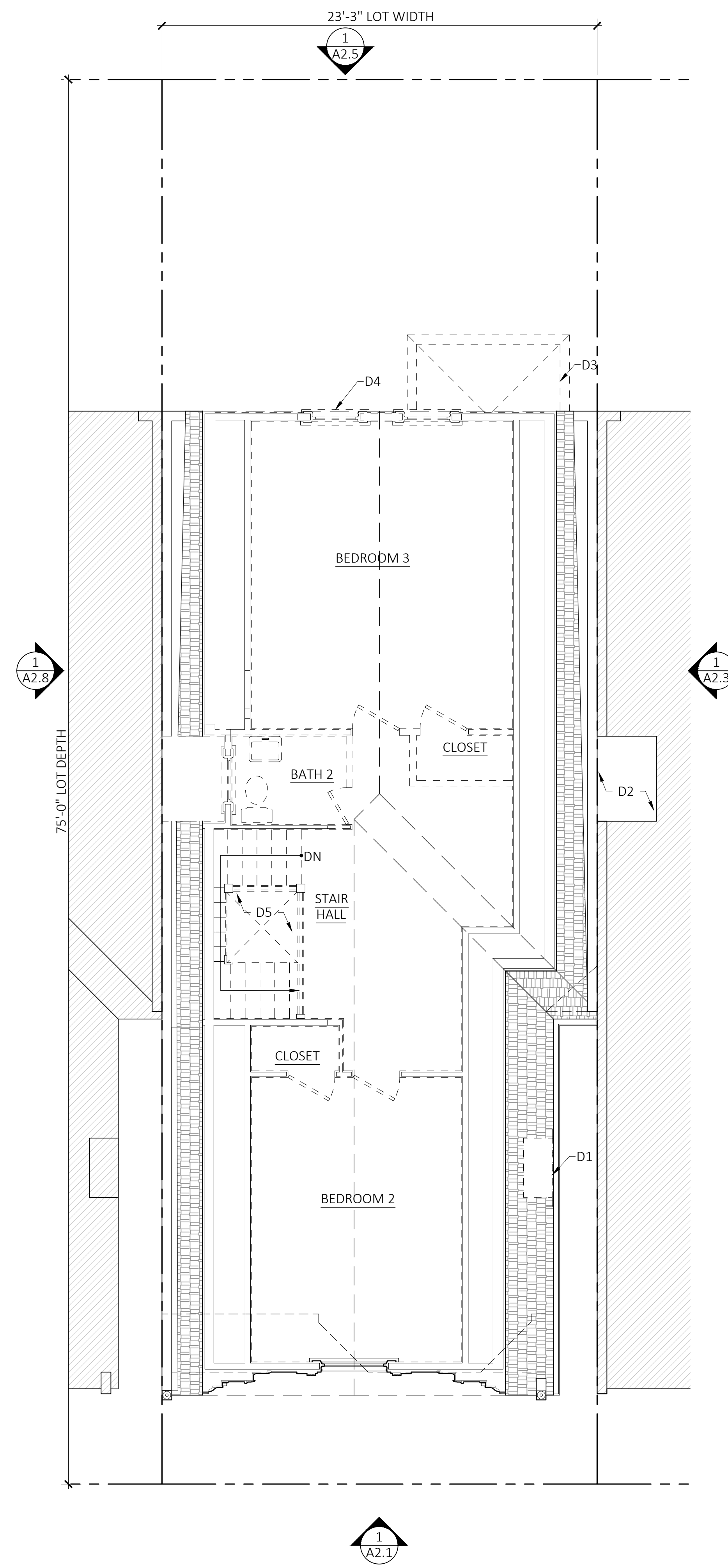
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THIRD FLOOR PLAN - EXISTING AND DEMOLITION AND PROPOSED

A1.3

SCALE: 1/4" = 1'-0"

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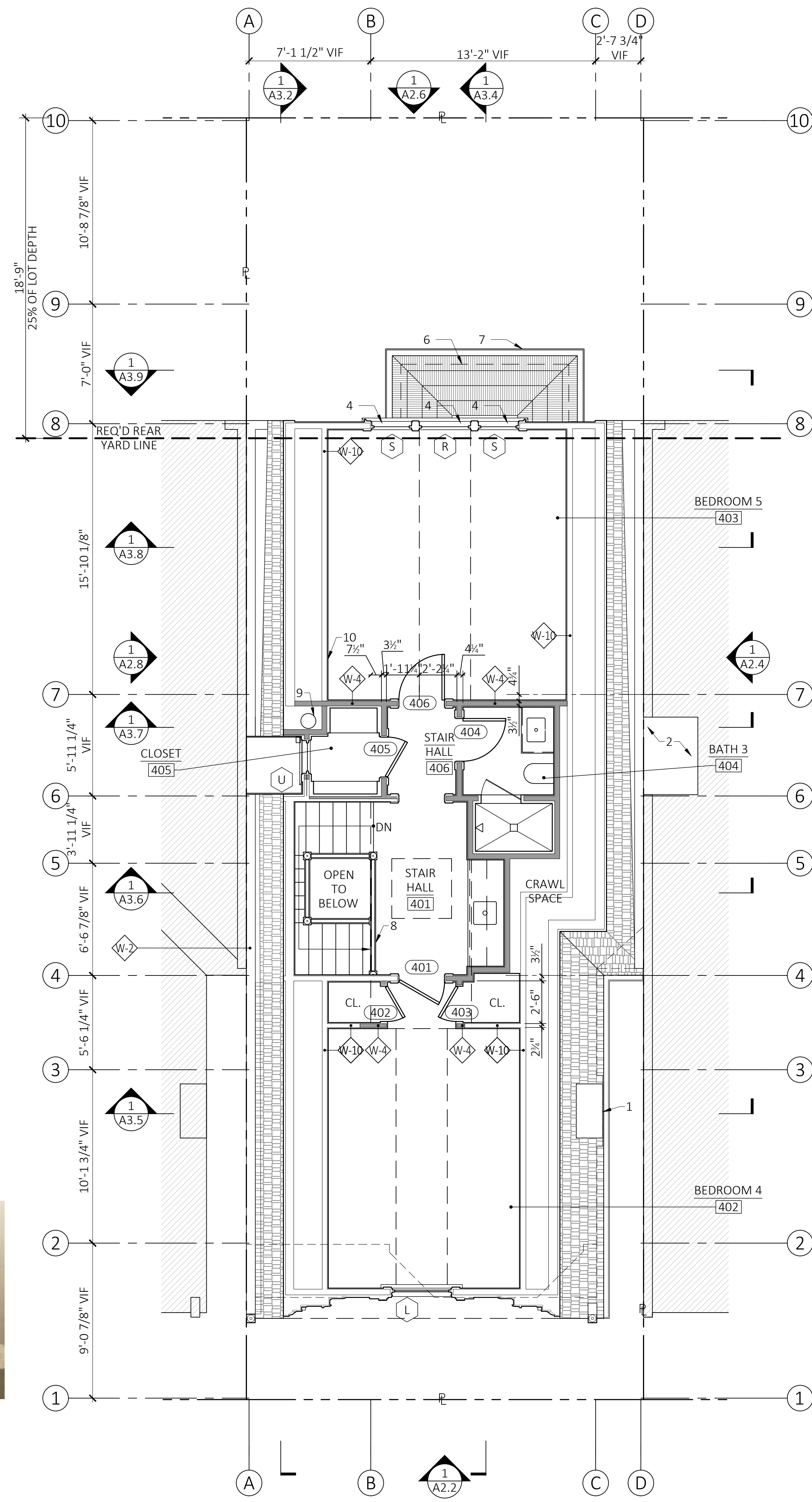
FOURTH FLOOR PLAN - EXISTING AND DEMOLITION
1/4" = 1'-0" 2

- NOTES: EXISTING
- D1 (E) BRICK CHIMNEY TO BE DEMOLISHED
 - D2 LIGHT WELL AT 712 STEINER
 - D3 (E) BAY WINDOW BELOW TO BE DEMOLISHED
 - D4 (E) WINDOWS TO BE DEMOLISHED
 - D5 (E) STAIR AND ENCLOSING WALLS TO BE DEMOLISHED

- GENERAL NOTES
- A SEE SHEET G2.5 FOR THE REQUIRED LIGHTING AND VENTILATION TABLE



FIG. 1: EXISTING STAIR



FOURTH FLOOR PLAN - PROPOSED
1/4" = 1'-0" 1

- NOTES: PROPOSED
- 1 (N) WOOD FRAMED CHIMNEY WITH SCORED STUCCO FINISH TO MATCH (E); INSTALL STUCCO PER CBC 2512
 - 2 LIGHT WELL AT 712 STEINER STREET
 - 3 (N) FIRE RATED WALL ASSEMBLY; SEE ASSEMBLY DETAILS ON SHEETS A8.2.1 AND A8.2.2
 - 4 (N) PAINTED WOOD WINDOW; SEE WINDOW SCHEDULE FOR MORE INFORMATION
 - 5 (N) BUILT-IN CASEWORK OR CABINETS
 - 6 (N) COPPER FLAT-SEAM ROOFING FINISH OVER WATERPROOFING MEMBRANE
 - 7 (N) COPPER GUTTER WITH INTERNAL LEADER
 - 8 (N) 36" AFF GUARDRAIL PER CHBC CODE SECTION 8-504
 - 9 (N) KITCHEN HOOD VENT



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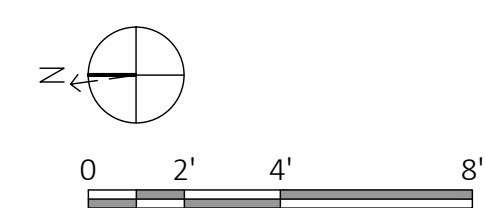
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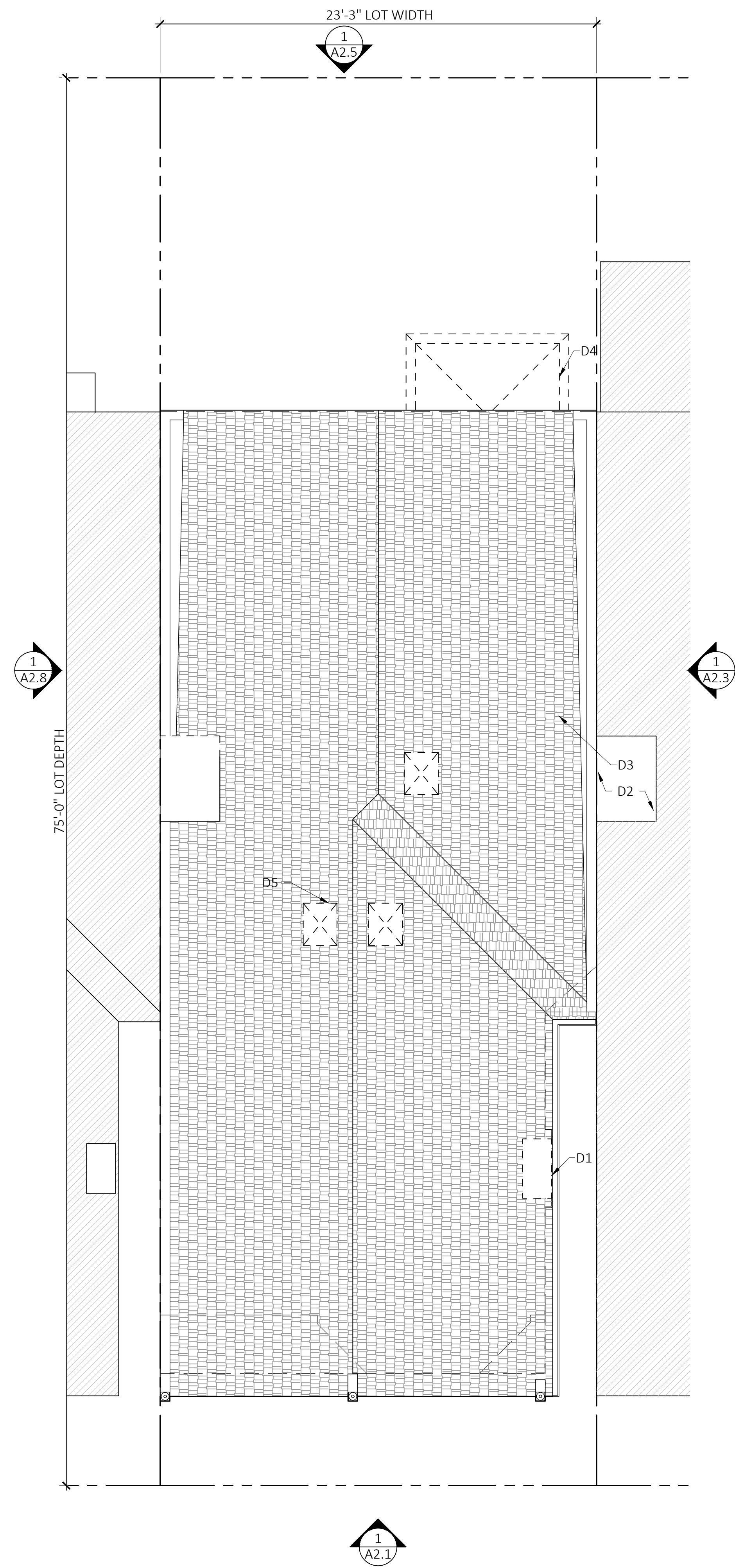
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FOURTH FLOOR PLAN - EXISTING AND DEMOLITION AND PROPOSED

A1.4

SCALE: 1/4" = 1'-0"



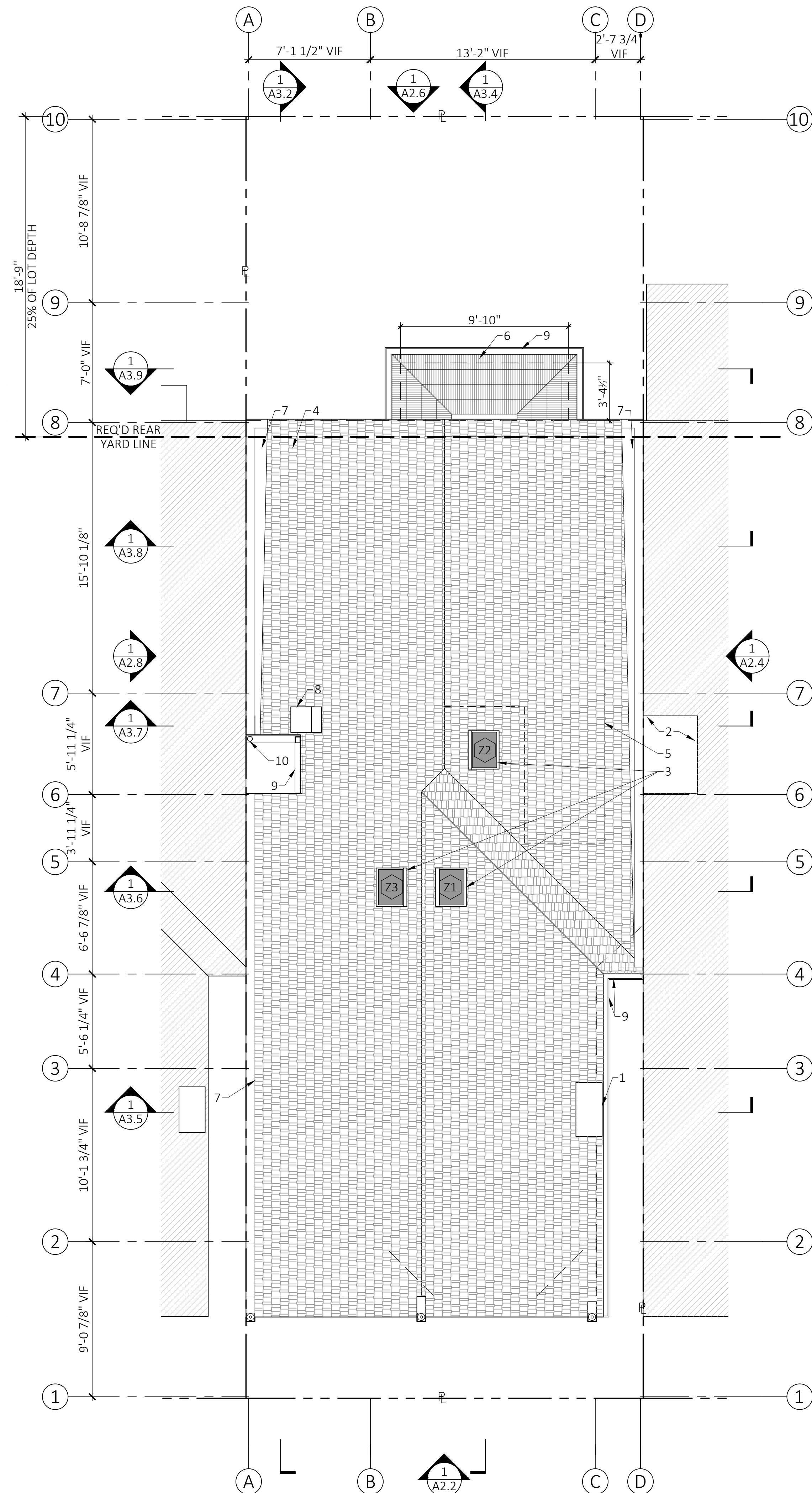


ROOF PLAN - EXISTING AND DEMOLITION
1/4" = 1'-0" 2

NOTES: EXISTING

- D1 (E) BRICK CHIMNEY TO BE DEMOLISHED
- D2 LIGHT WELL AT 712 STEINER
- D3 REMOVE (E) COMP. SHINGLE ROOFING
- D4 (E) BAY WINDOW BELOW TO BE DEMOLISHED
- D5 AREA OF (E) ROOF TO BE DEMOLISHED

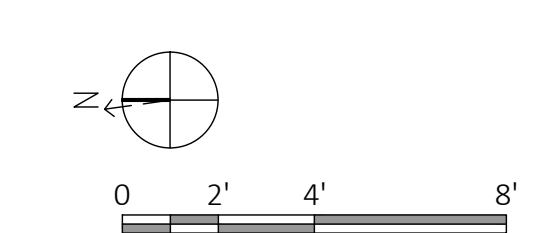
GENERAL NOTES



ROOF PLAN - PROPOSED
1/4" = 1'-0" 1

NOTES: PROPOSED

- 1 (N) COPPER CHIMNEY CAP
- 2 LIGHT WELL AT 712 STEINER STREET
- 3 (N) SKYLIGHT; SEE SCHEDULE
- 4 (N) COMP. SHINGLE ROOFING
- 5 AREA FOR PHOTO VOLTAIC PANEL ARRAY
- 6 (N) COPPER FLAT-SEAM ROOFING FINISH OVER WATERPROOFING MEMBRANE
- 7 (E) DUTCH GUTTER WITH (N) COPPER LINING
- 8 (N) REMOTE BLOWER FOR KITCHEN HOOD
- 9 (N) COPPER GUTTER
- 10 (N) COPPER DOWN SPOUT
- 11 (N) INTERNAL LEADER
- 12 (N) OVERFLOW



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ROOF PLAN - EXISTING AND DEMOLITION AND PROPOSED

A1.5

SCALE: 1/4" = 1'-0"

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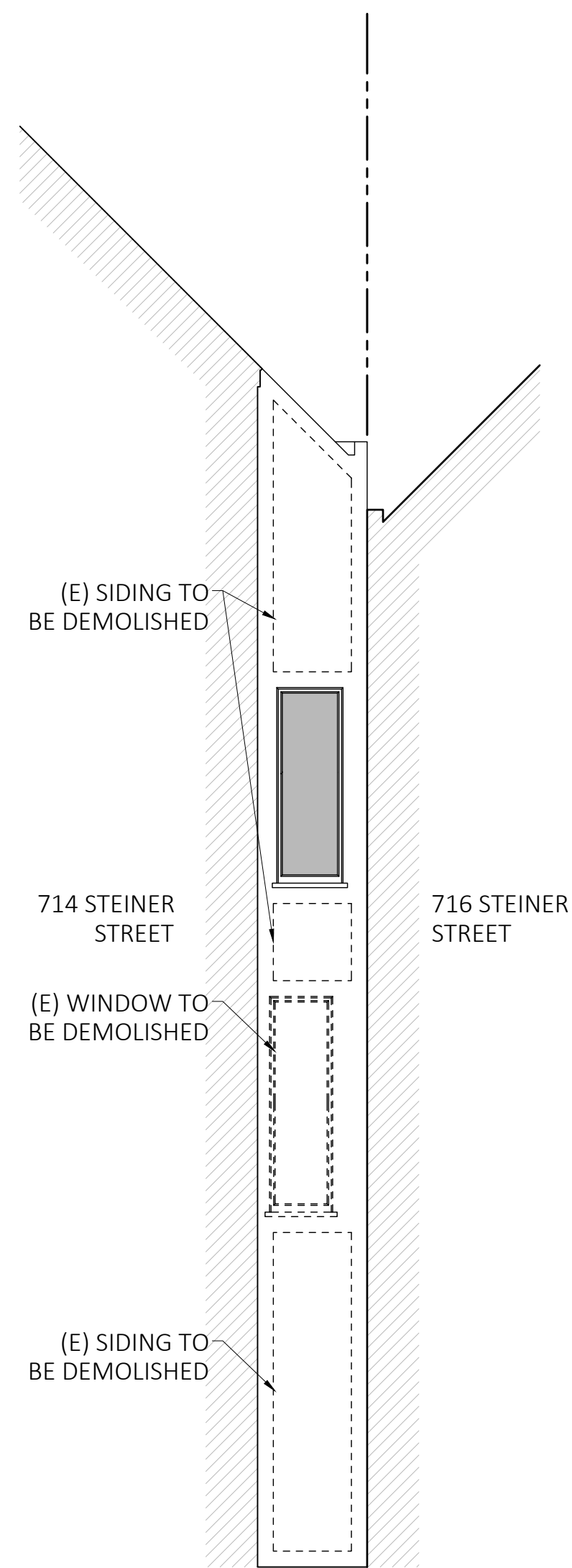
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CULVER RESIDENCE

714 STEINER STREET, SAN FRANCISCO, CA 94117



(E) SIDING TO BE DEMOLISHED

714 STEINER STREET

(E) WINDOW TO BE DEMOLISHED

716 STEINER STREET

(E) SIDING TO BE DEMOLISHED



ADJACENT PROPERTY
BLOCK 0803, LOT 020
716 STEINER ST.

SUBJECT PROPERTY
BLOCK 0803, LOT 019
714 STEINER ST.

ADJACENT PROPERTY
BLOCK 0803, LOT 018
712 STEINER ST.

MAX HEIGHT 40'-0"
UPPER ROOF HEIGHT 36'-11 1/2"
LOWER ROOF HEIGHT 35'-10 1/2"

35'-10 1/2"
T.O. CURB 0'-0"

NORTH

SOUTH

(E) SIDING AT FIRST FLOOR TO BE REMOVED
(E) FRONT ENTRY STAIR TO BE DEMOLISHED
(E) GATE TO BE REMOVED
(E) GARAGE DOOR TO BE REMOVED

GENERAL NOTES

- A. ALL WORK OUTSIDE OF THE SCOPE OF WORK BUBBLE ON THE STREET-FACING FACADES TO BE LIMITED TO:
- REFURBISHMENT AND/OR REPLACEMENT OF WINDOW SASHES AS INDICATED ON A 4.1
 - REFURBISHMENT, REPAIR AND/OR REPLACEMENT IN-KIND OF ANY SIGNIFICANTLY DAMAGED TRIM OR MOLDING
 - PAINTING

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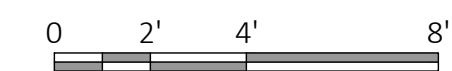
WEST ELEVATION - EXISTING

A2.1

SCALE: 1/4" = 1'-0"

WEST LIGHT WELL - EXISTING 2
1/4" = 1'-0"

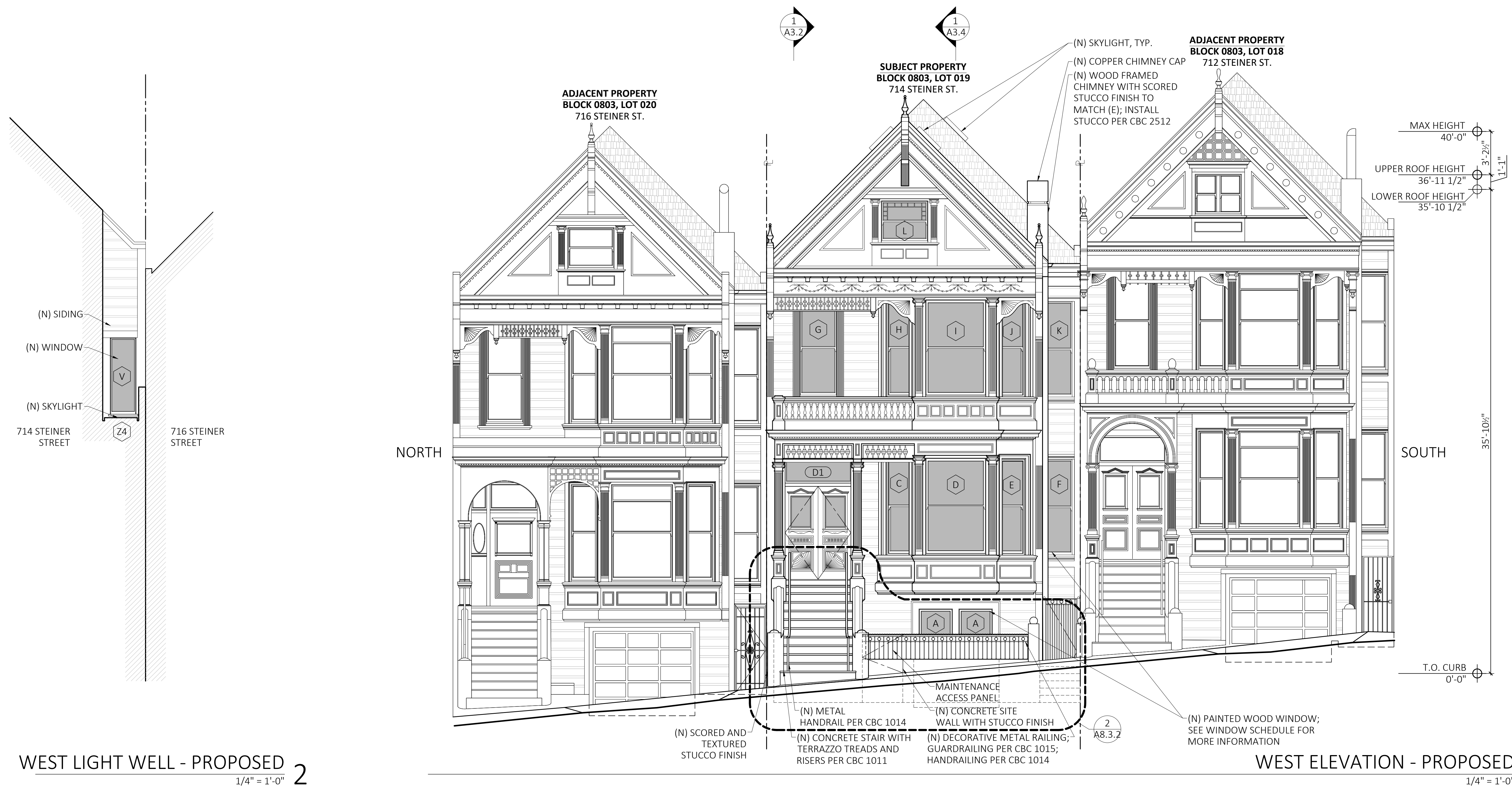
WEST ELEVATION - EXISTING 1
1/4" = 1'-0"



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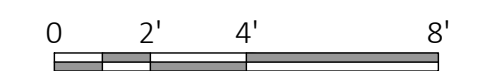
PHOTO SHOWING POSTCARD ROW IN THE LATE 1940s 3



WEST LIGHT WELL - PROPOSED 2
1/4" = 1'-0"

WEST ELEVATION - PROPOSED 1
1/4" = 1'-0"

- GENERAL NOTES**
- A. ALL WORK OUTSIDE OF THE SCOPE OF WORK BUBBLE ON THE STREET-FACING FACADES TO BE LIMITED TO:
- REFURBISHMENT AND/OR REPLACEMENT OF WINDOW SASHES AS INDICATED ON A 4.1
 - REFURBISHMENT, REPAIR AND/OR REPLACEMENT IN-KIND OF ANY SIGNIFICANTLY DAMAGED TRIM OR MOLDING
 - PAINTING



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CULVER RESIDENCE
714 STEINER STREET, SAN FRANCISCO, CA 94117

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WEST ELEVATION - PROPOSED	
A2.2	
SCALE: 1/4" = 1'-0"	

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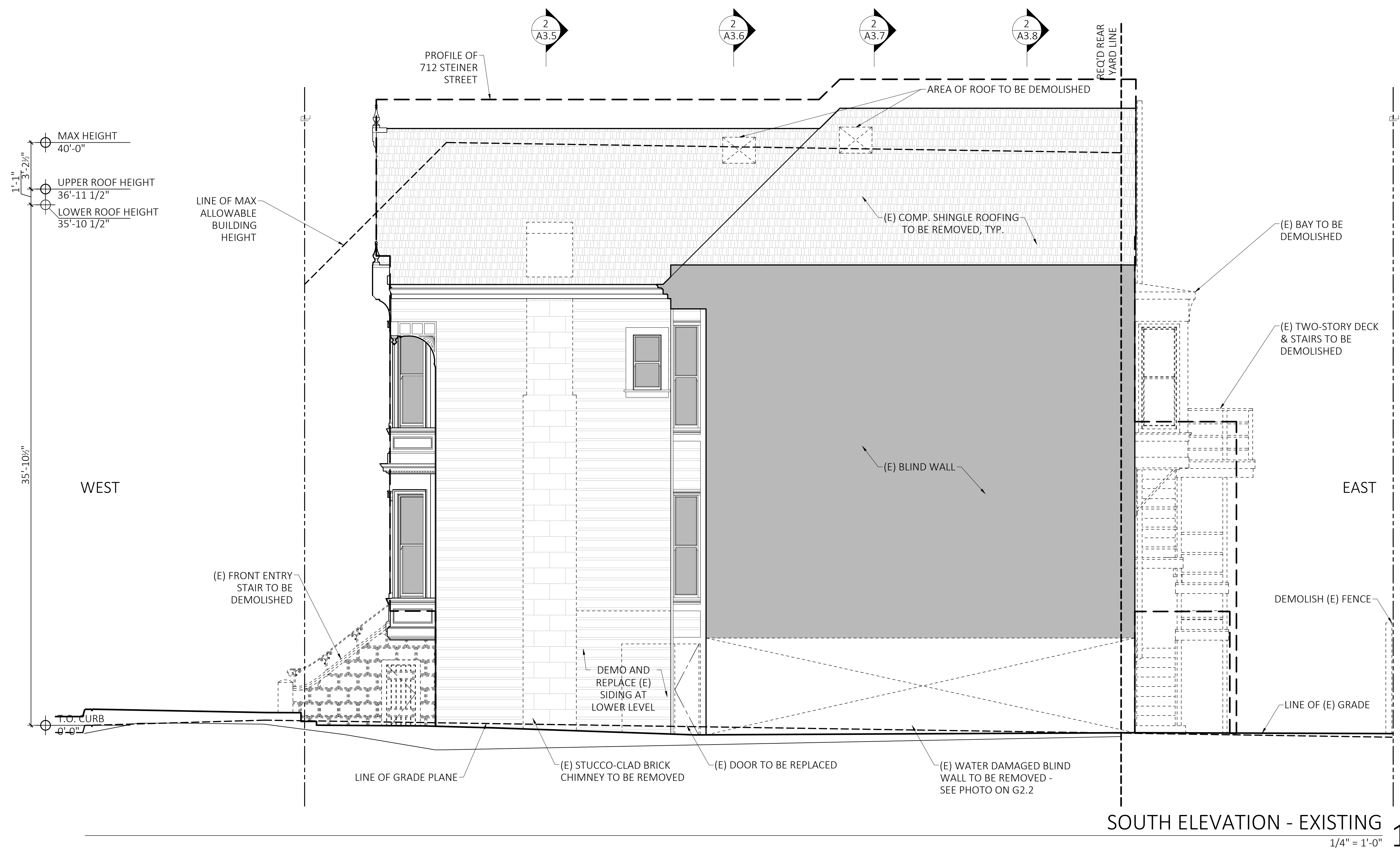
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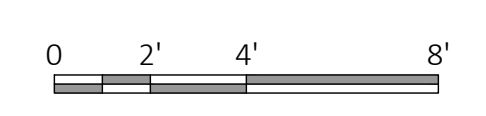
- GENERAL NOTES**
- A. ALL WORK OUTSIDE OF THE SCOPE OF WORK BUBBLE ON THE STREET-FACING FACADES TO BE LIMITED TO:
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SOUTH ELEVATION - EXISTING

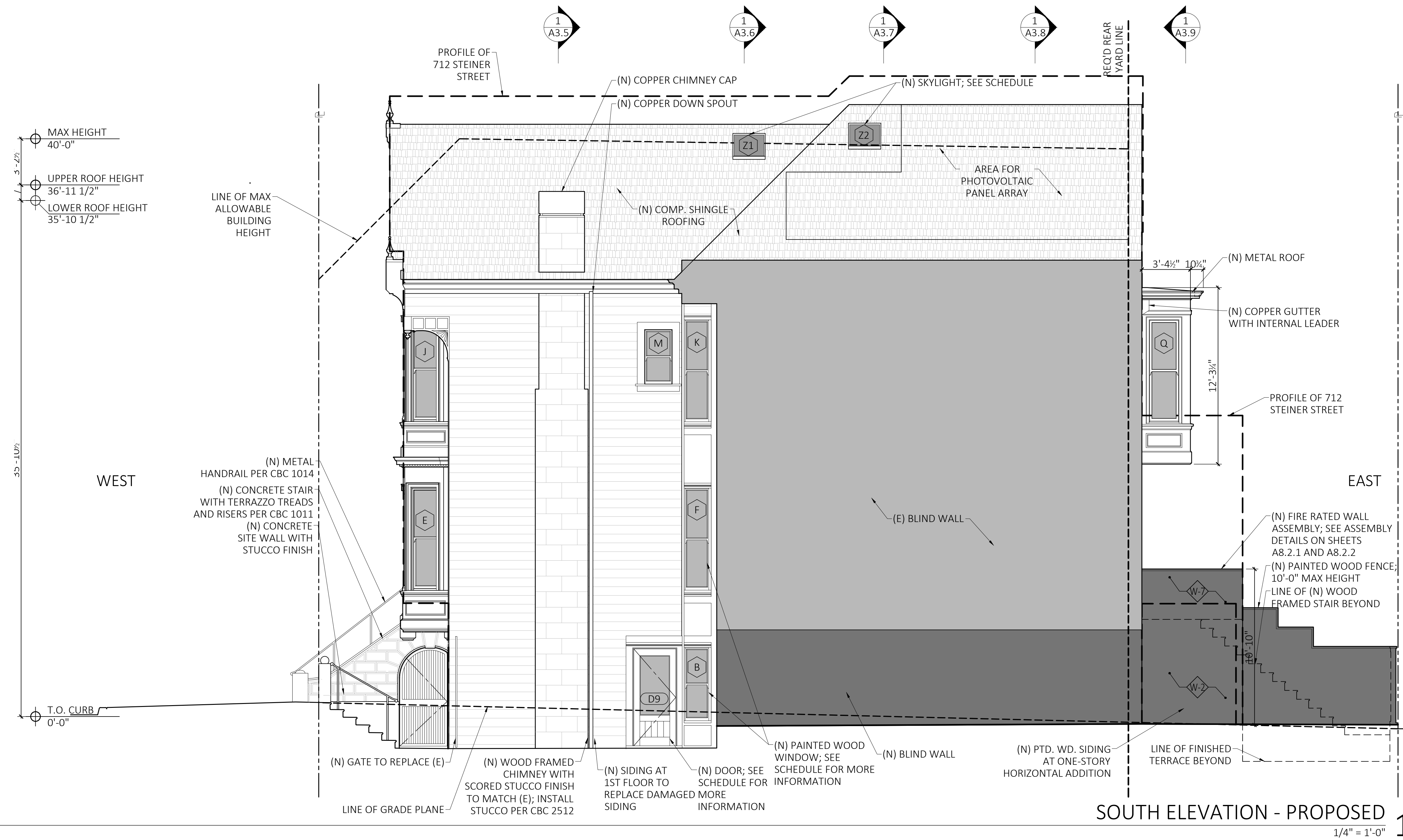
A2.3

SCALE: 1/4" = 1'-0"

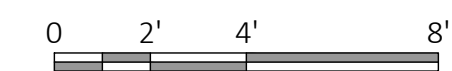




EXISTING CHIMNEY 3



- GENERAL NOTES**
- A. ALL WORK OUTSIDE OF THE SCOPE OF WORK BUBBLE ON THE STREET-FACING FACADES TO BE LIMITED TO:
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EAST LIGHT WELL - EXISTING
1/4" = 1'-0" 2

EAST ELEVATION - EXISTING
1/4" = 1'-0" 1

GENERAL NOTES

GENERAL NOTES

- A. ALL WORK OUTSIDE OF THE SCOPE OF WORK BUBBLE ON THE STREET-FACING FACADES TO BE LIMITED TO:
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EAST ELEVATION - EXISTING

A2.5

SCALE: 1/4" = 1'-0"



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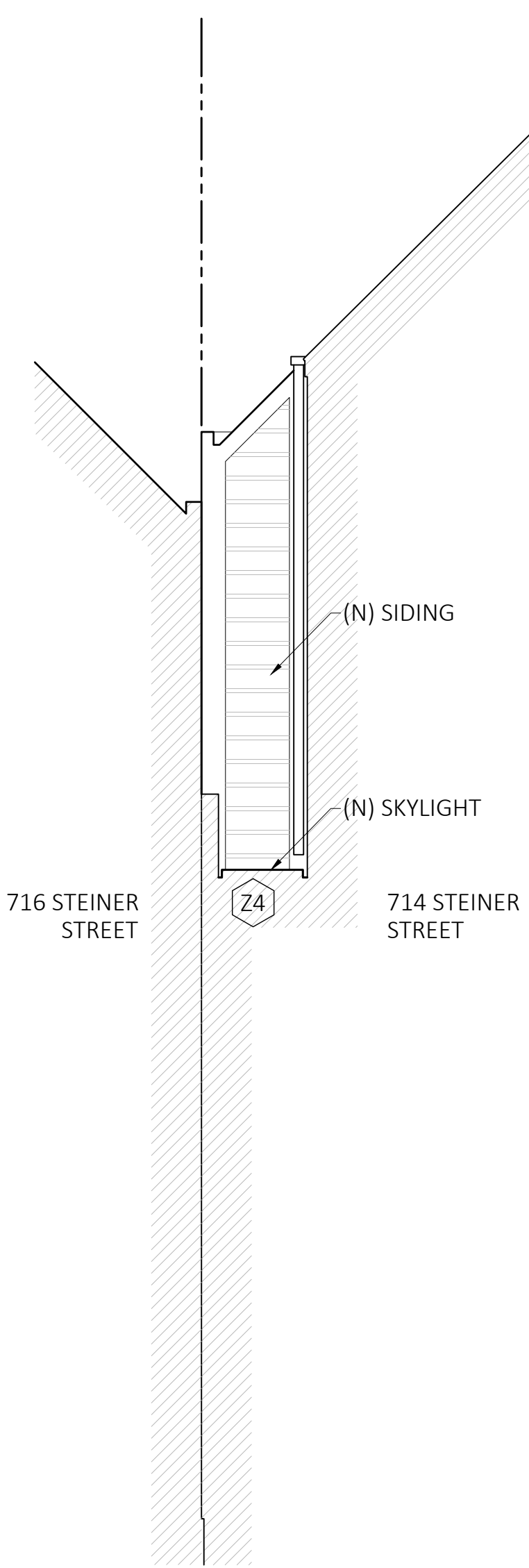
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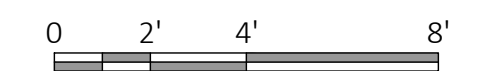


EAST LIGHT WELL - PROPOSED 2
1/4" = 1'-0"



EAST ELEVATION - PROPOSED 1
1/4" = 1'-0"

- GENERAL NOTES**
- A. ALL WORK OUTSIDE OF THE SCOPE OF WORK BUBBLE ON THE STREET-FACING FACADES TO BE LIMITED TO:
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EAST ELEVATION - PROPOSED	
A2.6	
SCALE: 1/4" = 1'-0"	

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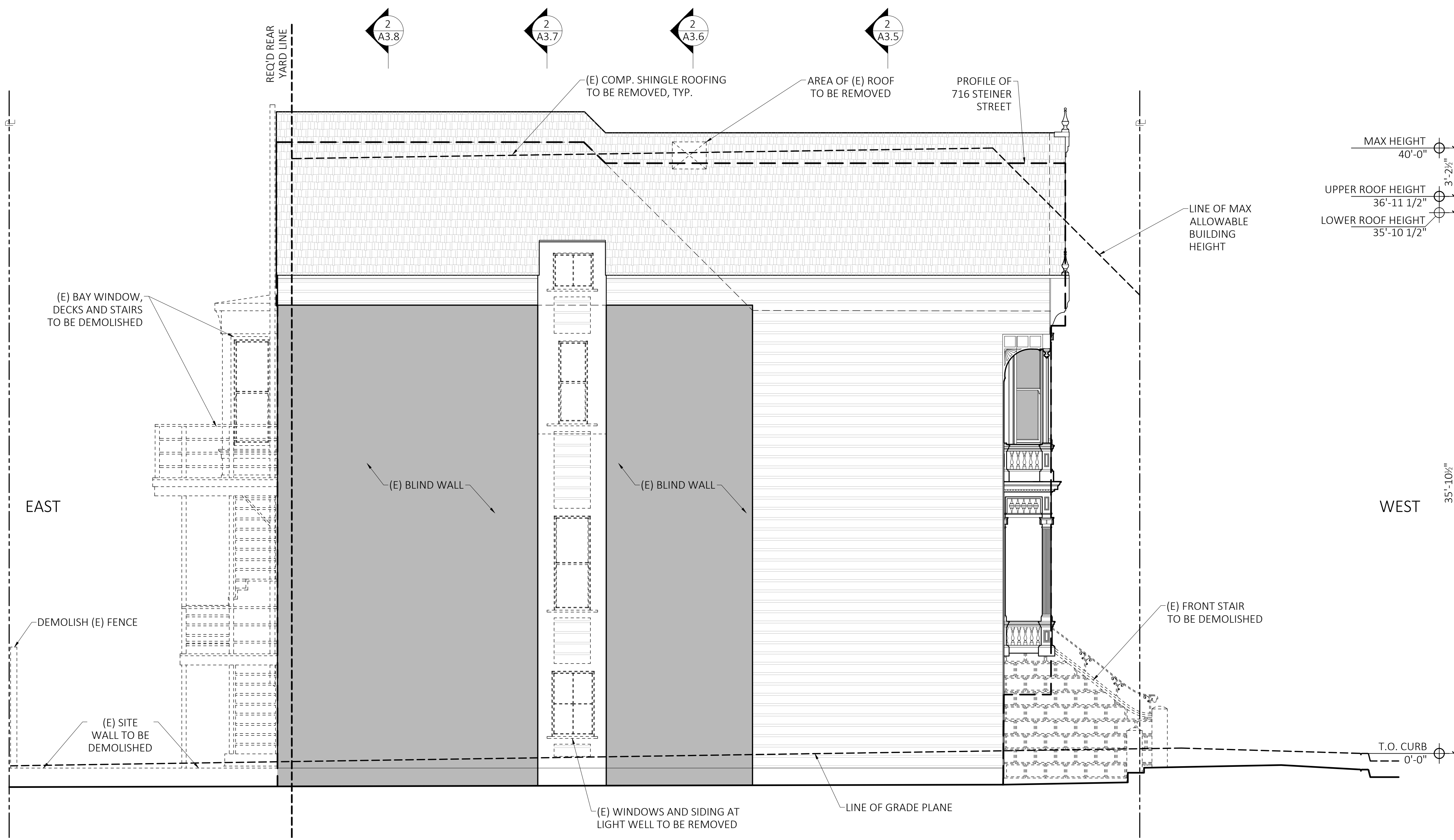
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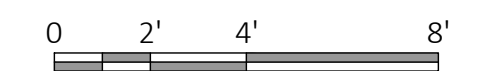
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NORTH ELEVATION - EXISTING 1

1/4" = 1'-0"



GENERAL NOTES

- A. ALL WORK OUTSIDE OF THE SCOPE OF WORK BUBBLE ON THE STREET-FACING FACADES TO BE LIMITED TO:
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NORTH ELEVATION - EXISTING

A2.7

SCALE: 1/4" = 1'-0"

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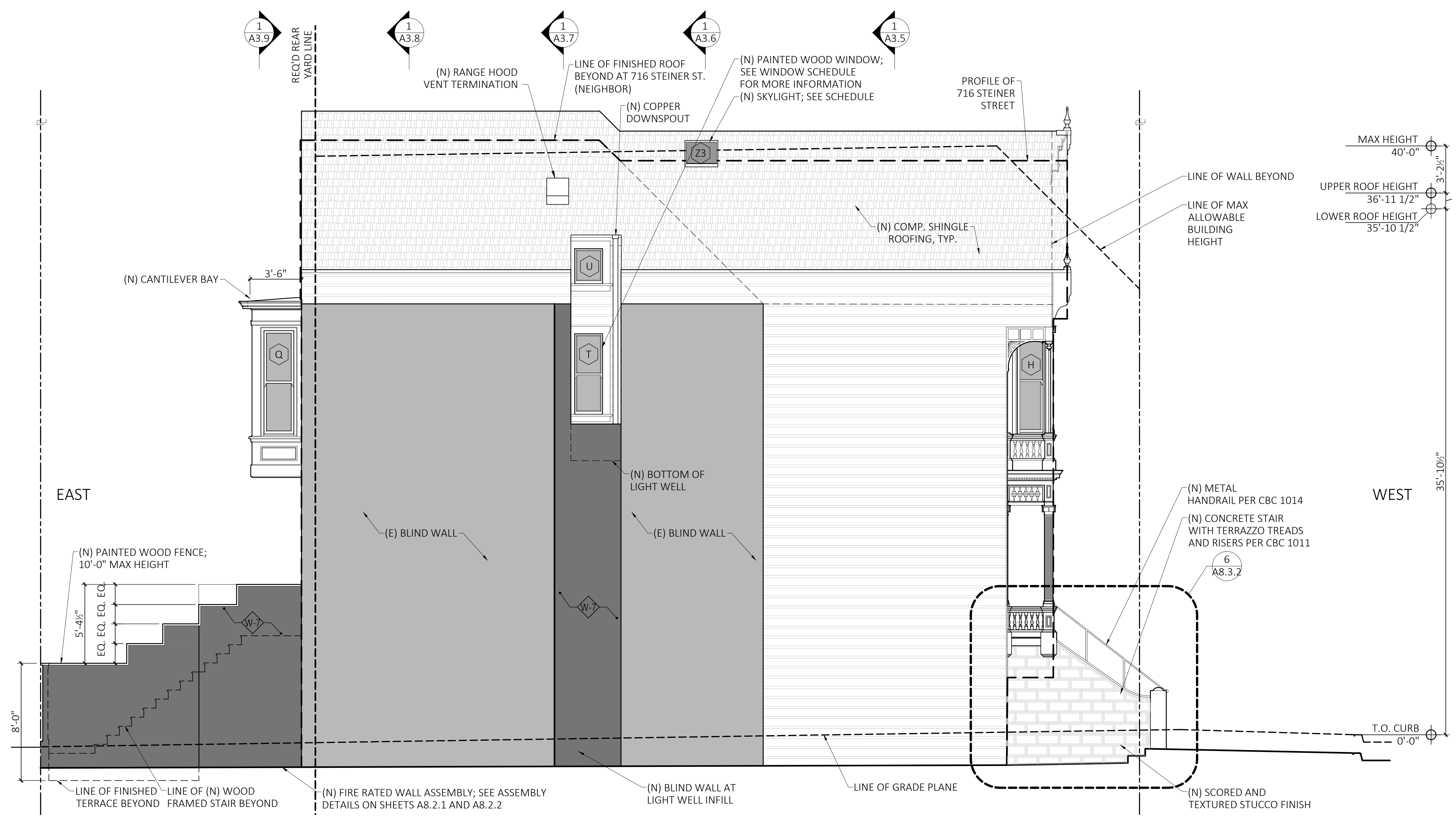
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- GENERAL NOTES**
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NORTH ELEVATION - PROPOSED

A2.8

SCALE: 1/4" = 1'-0"

NORTH ELEVATION - PROPOSED 1
1/4" = 1'-0"



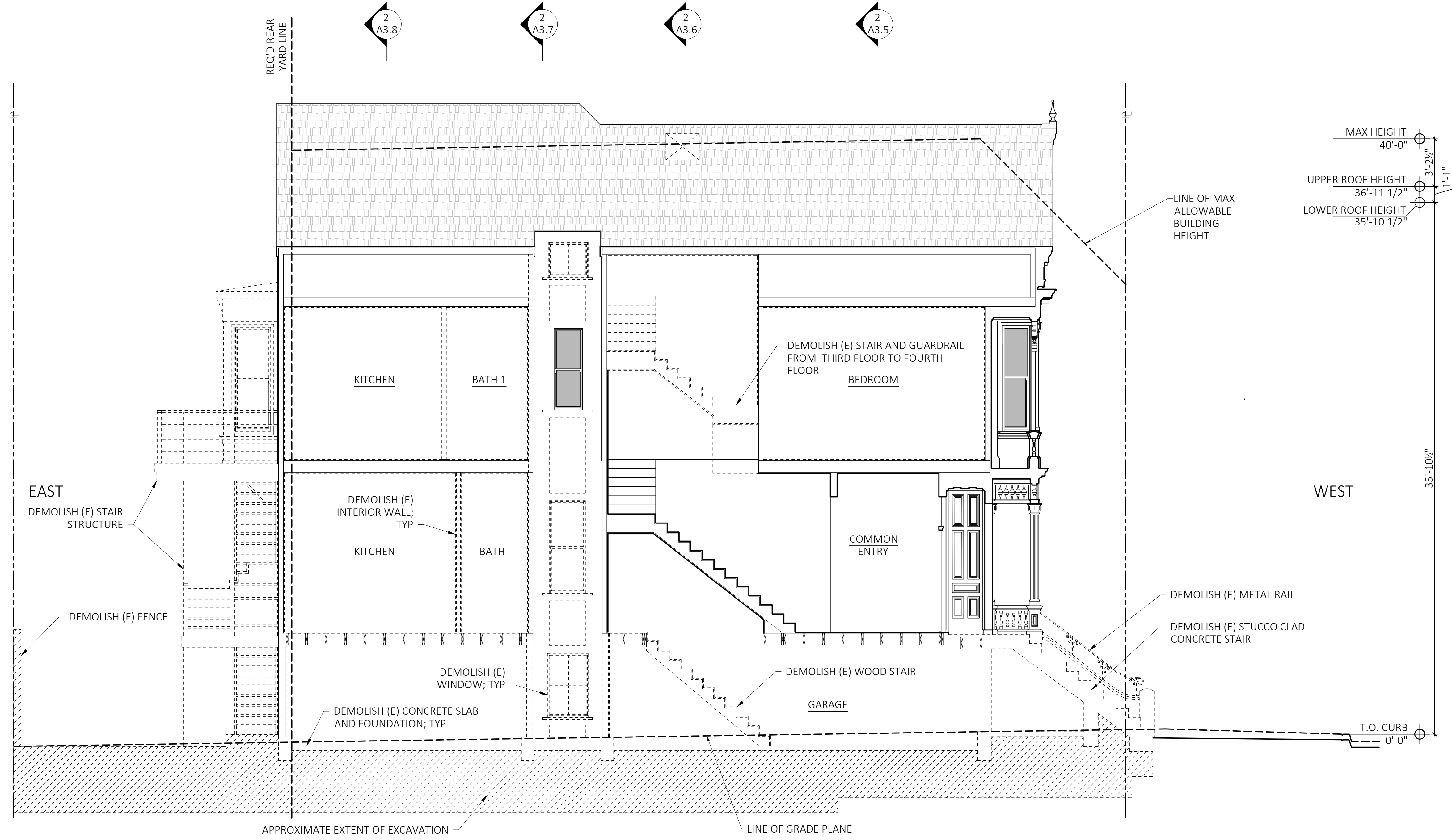
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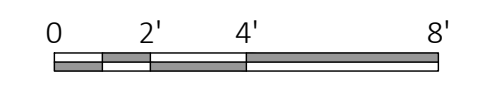
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LONGITUDINAL BUILDING SECTION - EXISTING & DEMOLITION

1/4" = 1'-0" 1



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JOB # 2004

BUILDING SECTION

A3.1

SCALE: 1/4" = 1'-0"

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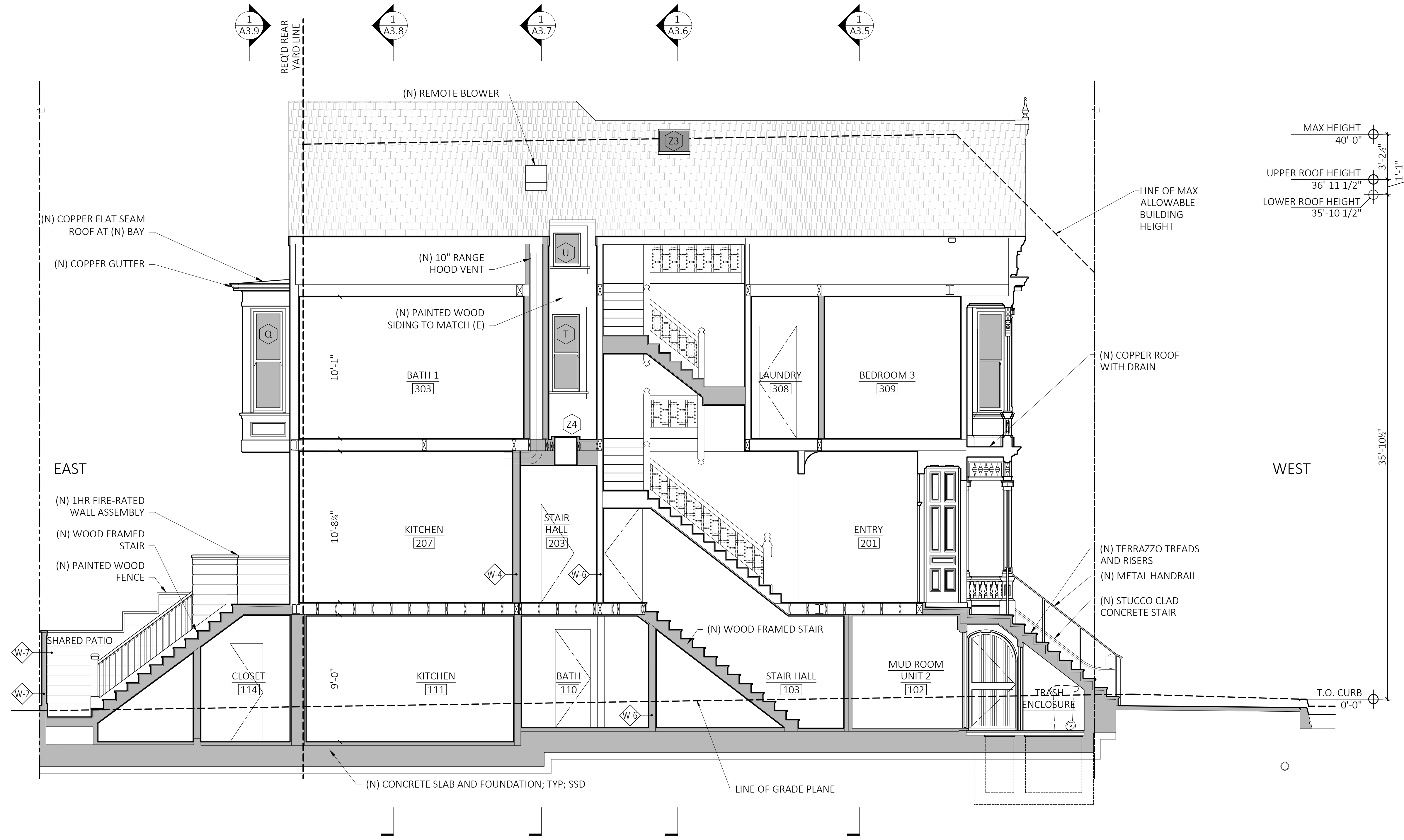
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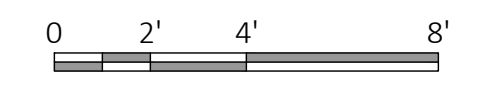
MAX HEIGHT 40'-0"
 UPPER ROOF HEIGHT 36'-11 1/2"
 LOWER ROOF HEIGHT 35'-10 1/2"

35'-10 1/2"

T.O. CURB 0'-0"

LONGITUDINAL BUILDING SECTION - PROPOSED

1/4" = 1'-0" 1



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BUILDING SECTION

A3.2

SCALE: 1/4" = 1'-0"

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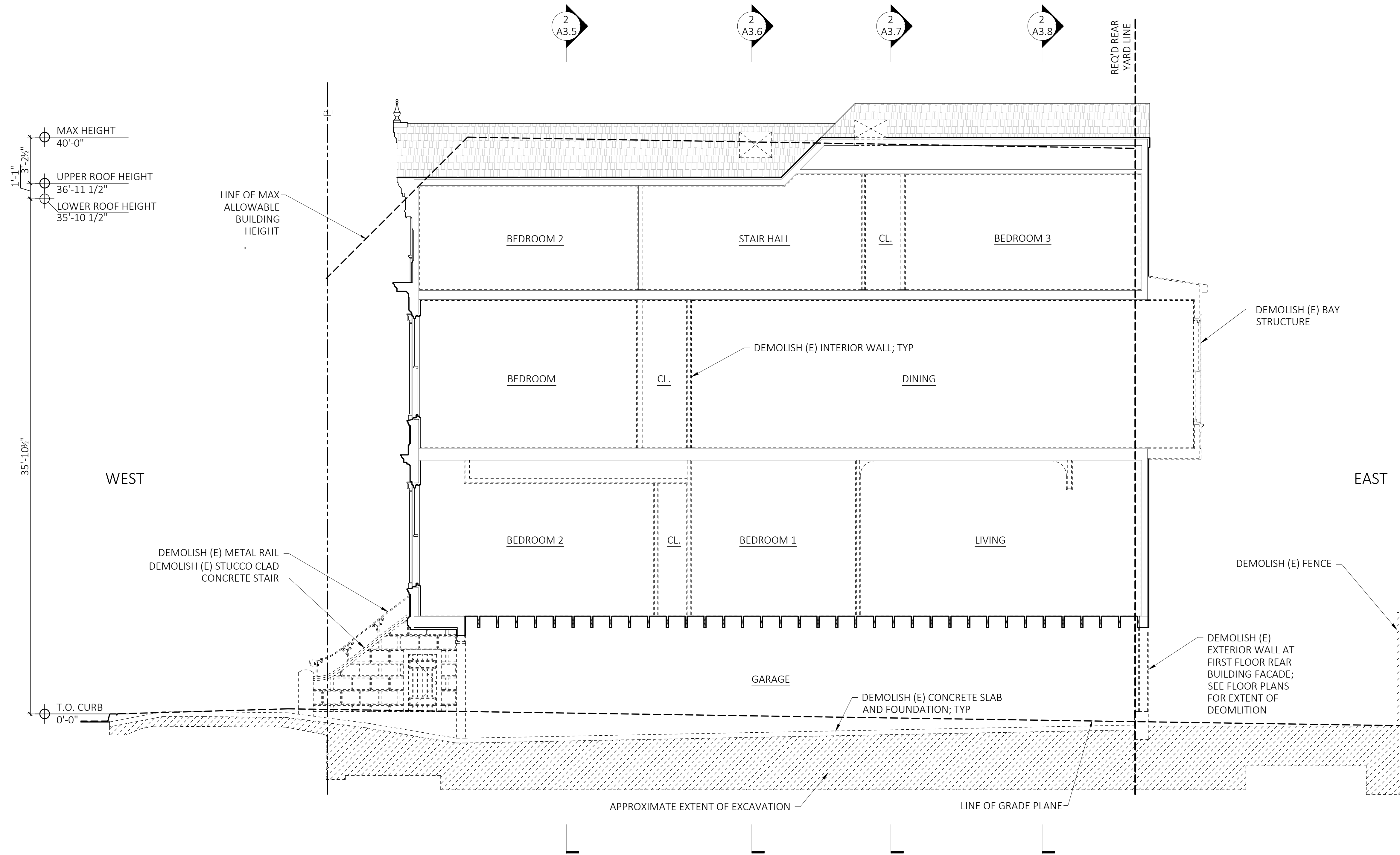


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LONGITUDINAL BUILDING SECTION - EXISTING & DEMOLITION

1/4" = 1'-0"

1



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JOB # 2004

BUILDING SECTION

A3.3

SCALE: 1/4" = 1'-0"

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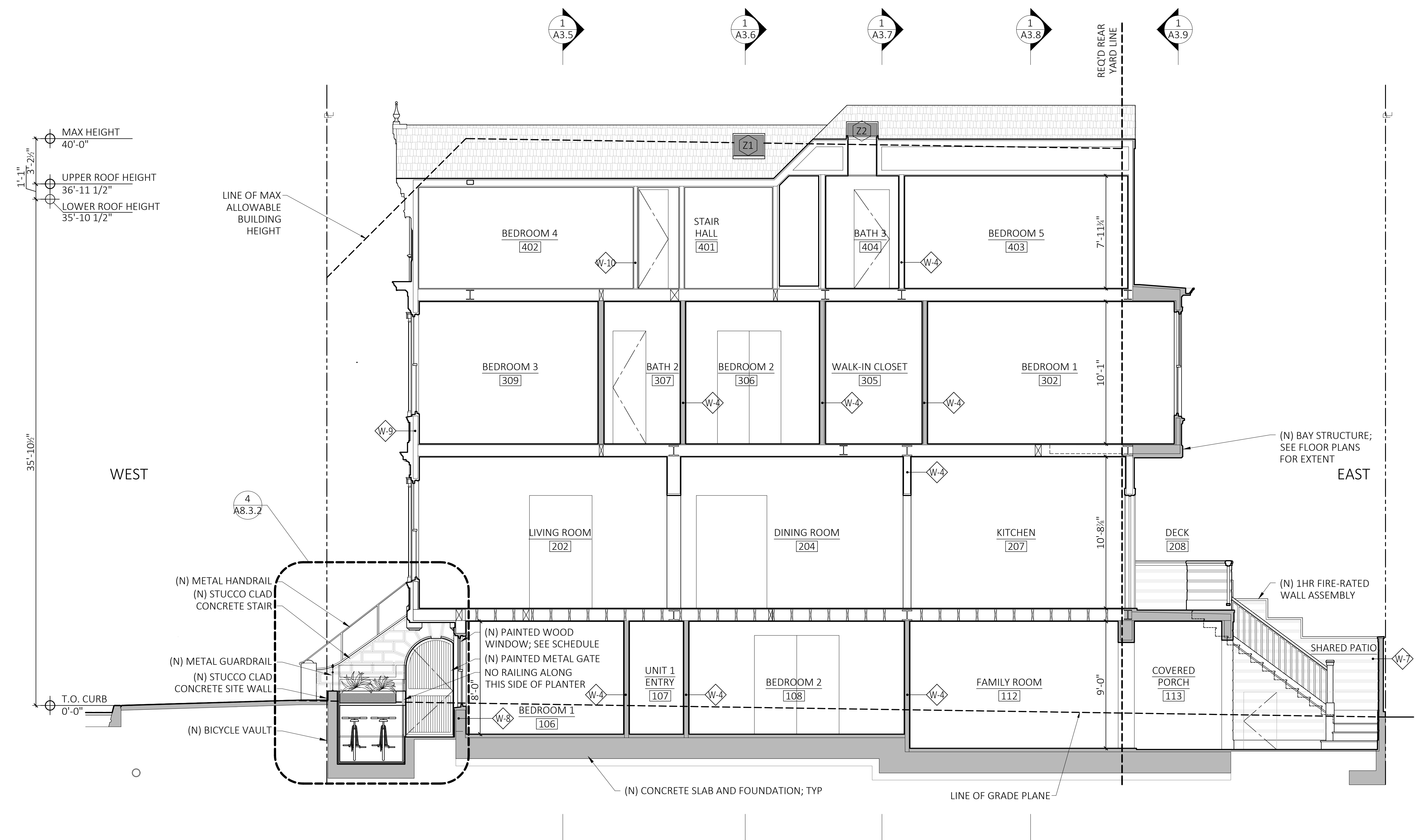
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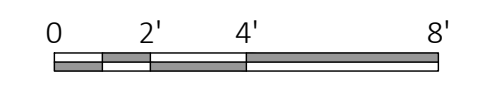
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LONGITUDINAL BUILDING SECTION - PROPOSED 1

1/4" = 1'-0"



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JOB # 2004

BUILDING SECTION

A3.4

SCALE: 1/4" = 1'-0"

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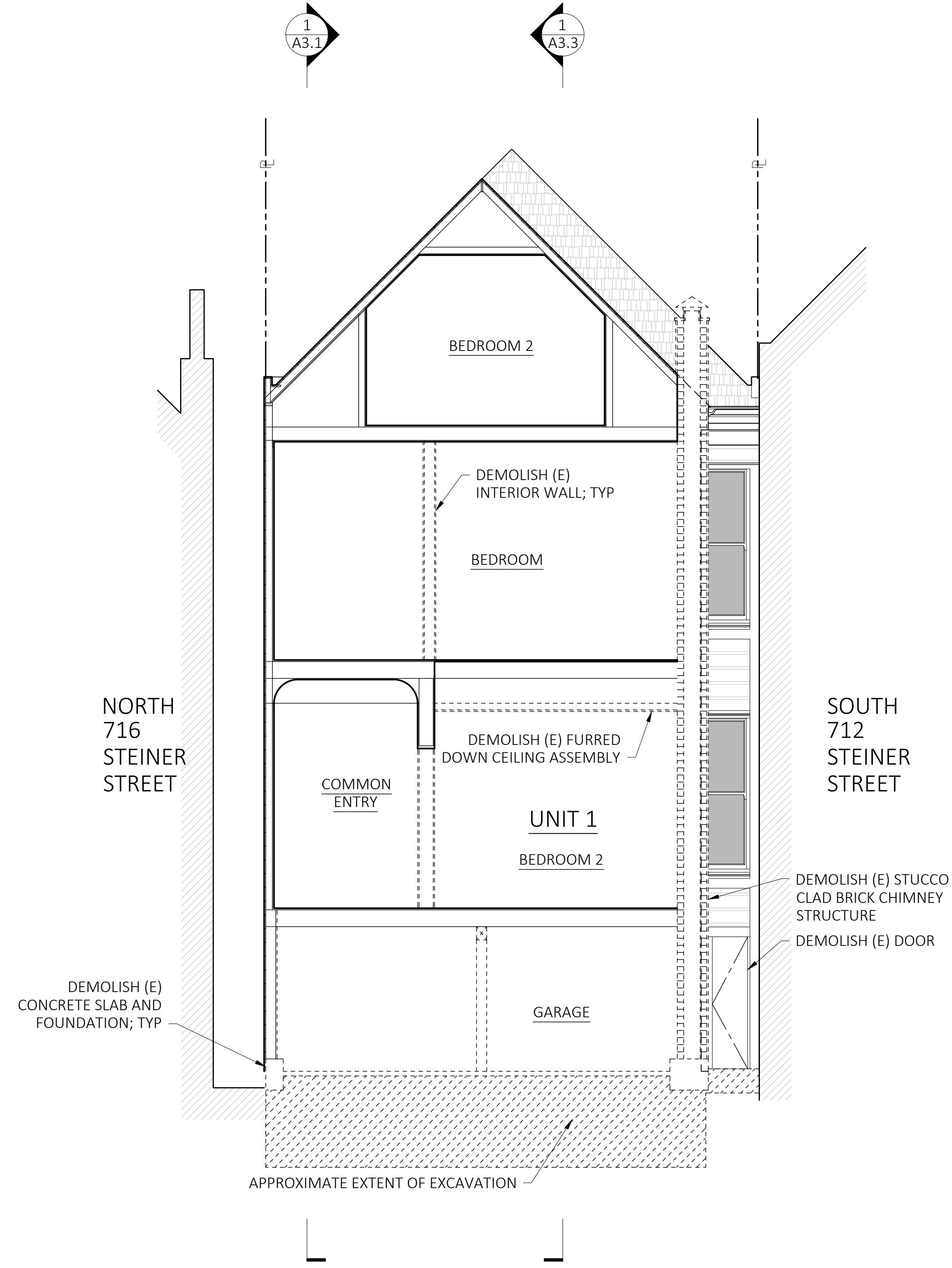
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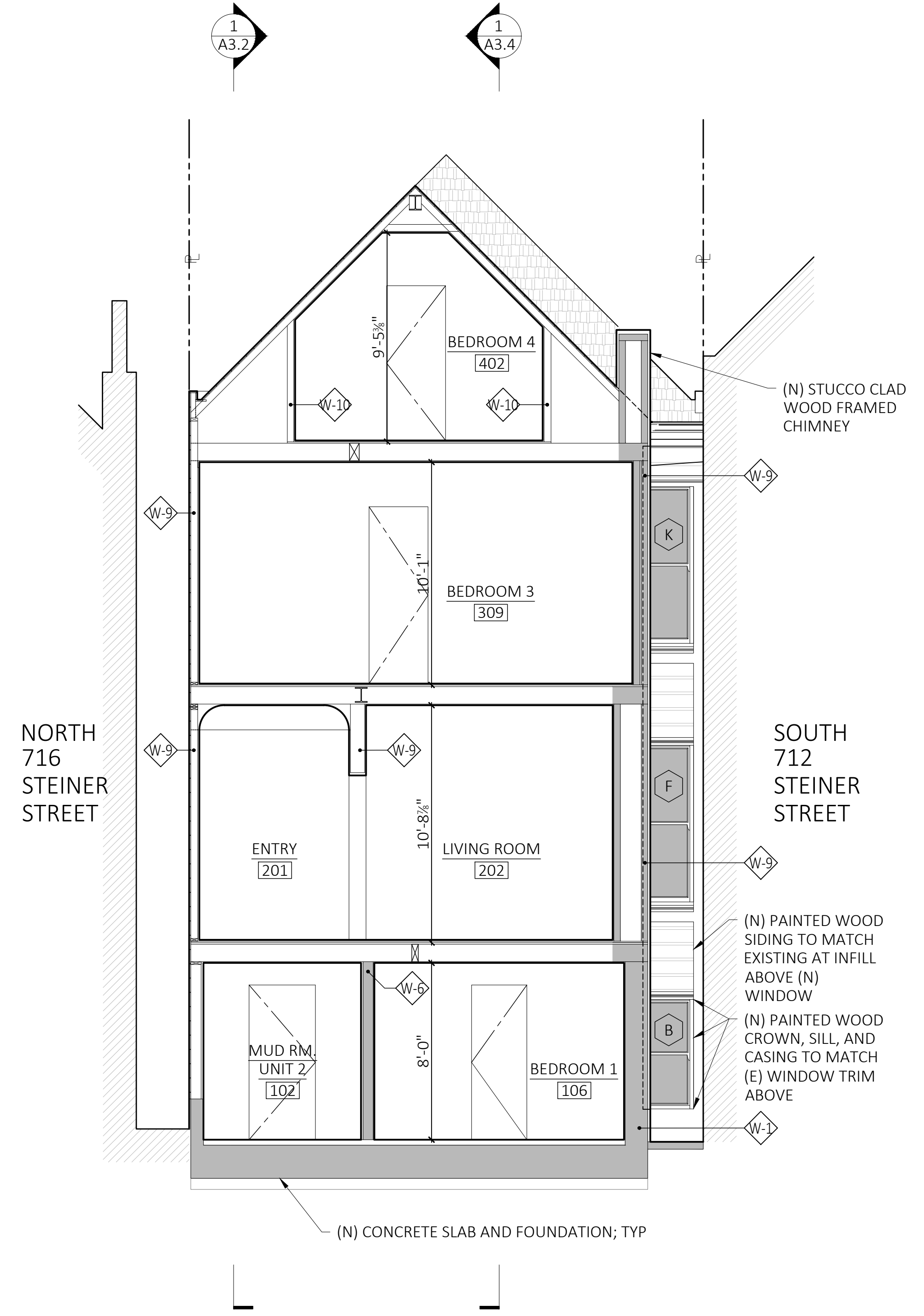


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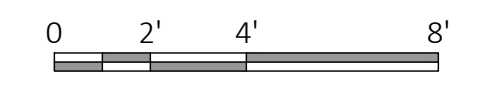
ISSUANCE	DATE
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BUILDING SECTIONS	
A3.5	
SCALE: 1/4" = 1'-0"	



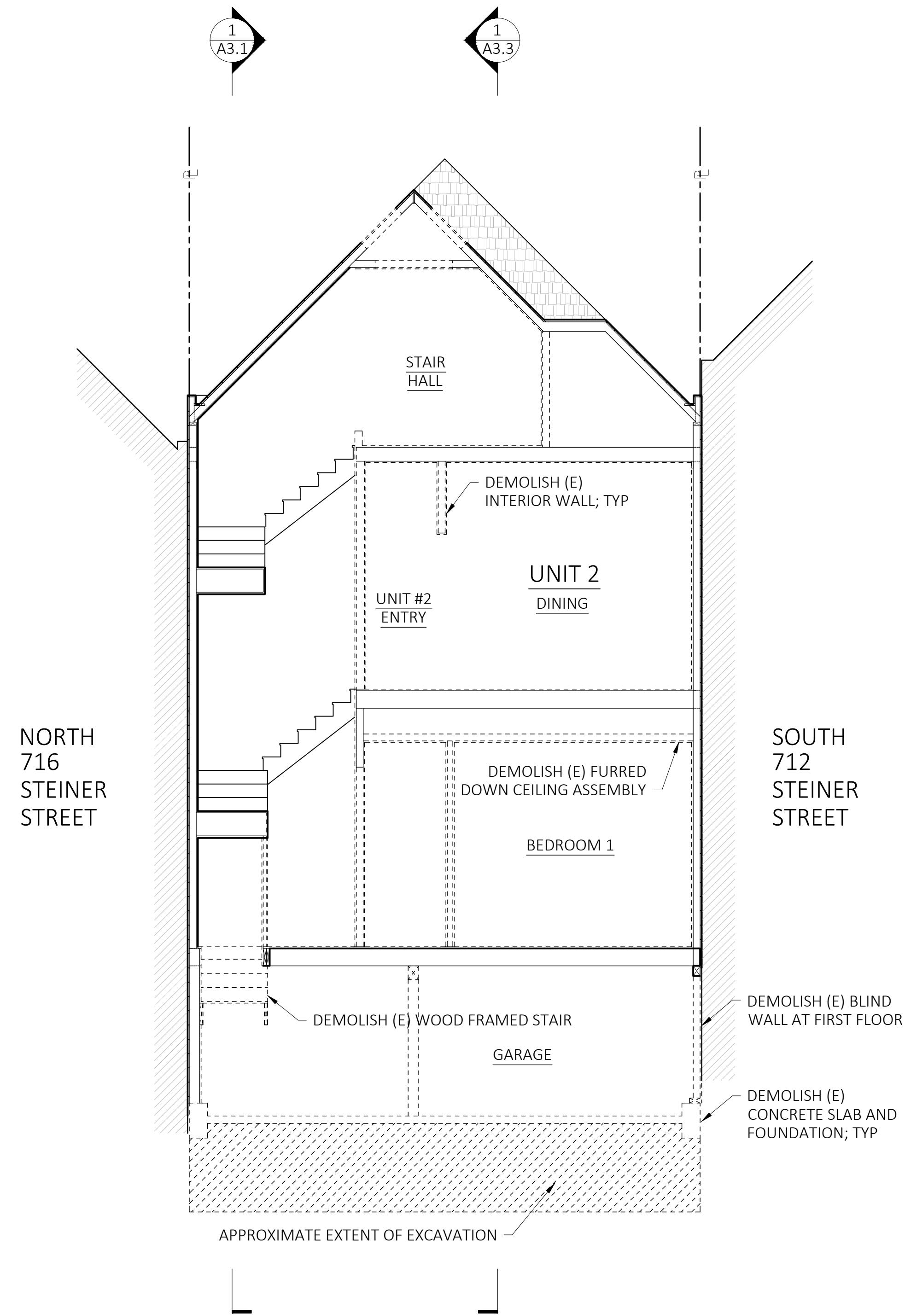
TRANSVERSE BUILDING SECTION - EXISTING & DEMOLITION 2
1/4" = 1'-0"



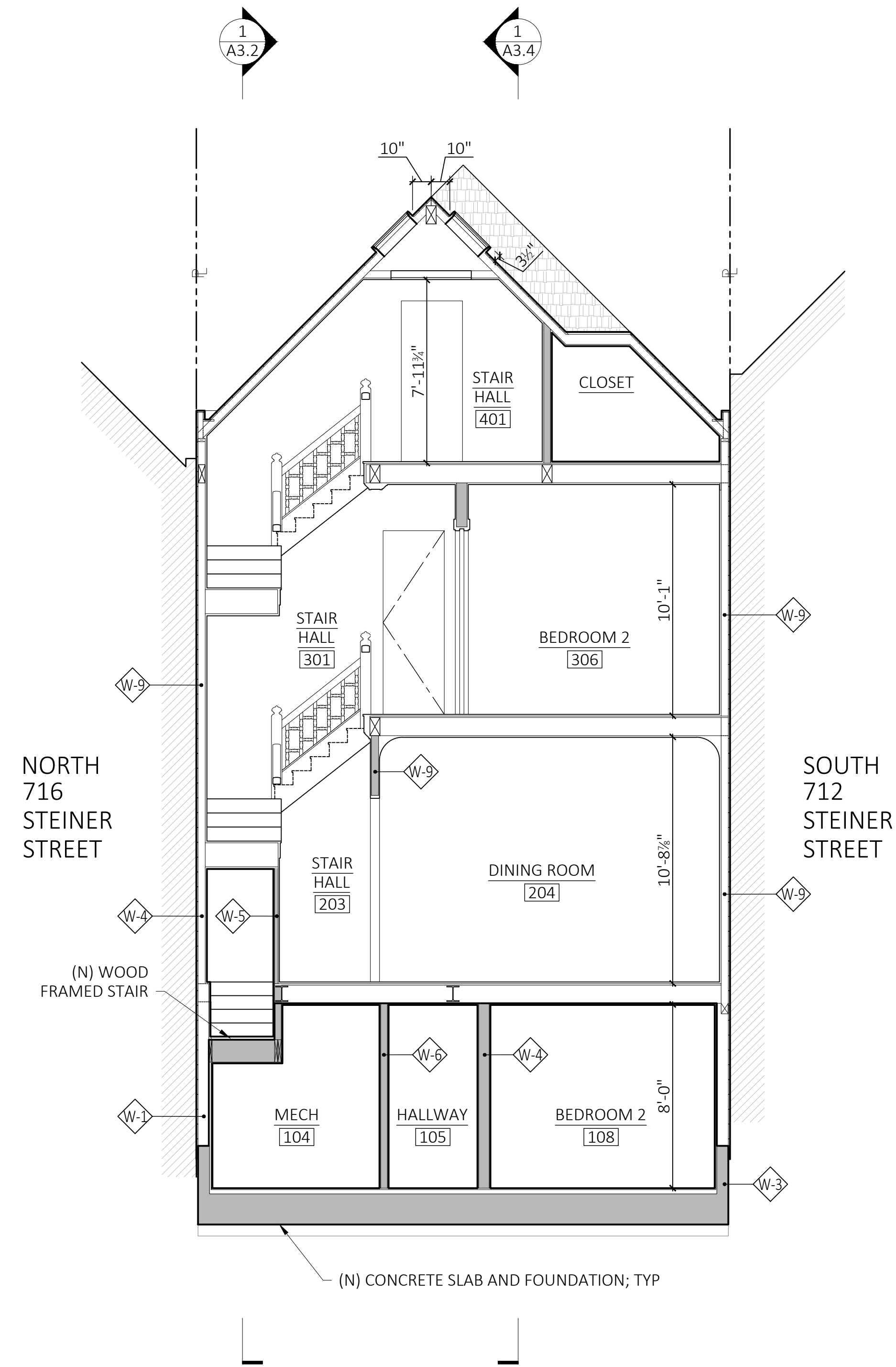
TRANSVERSE BUILDING SECTION - PROPOSED 1
1/4" = 1'-0"



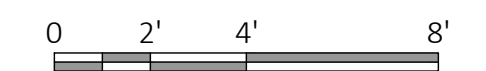
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TRANSVERSE BUILDING SECTION - EXISTING & DEMOLITION 2
1/4" = 1'-0"



TRANSVERSE BUILDING SECTION - PROPOSED 1
1/4" = 1'-0"



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JOB # 2004

BUILDING SECTIONS

A3.6

SCALE: 1/4" = 1'-0"

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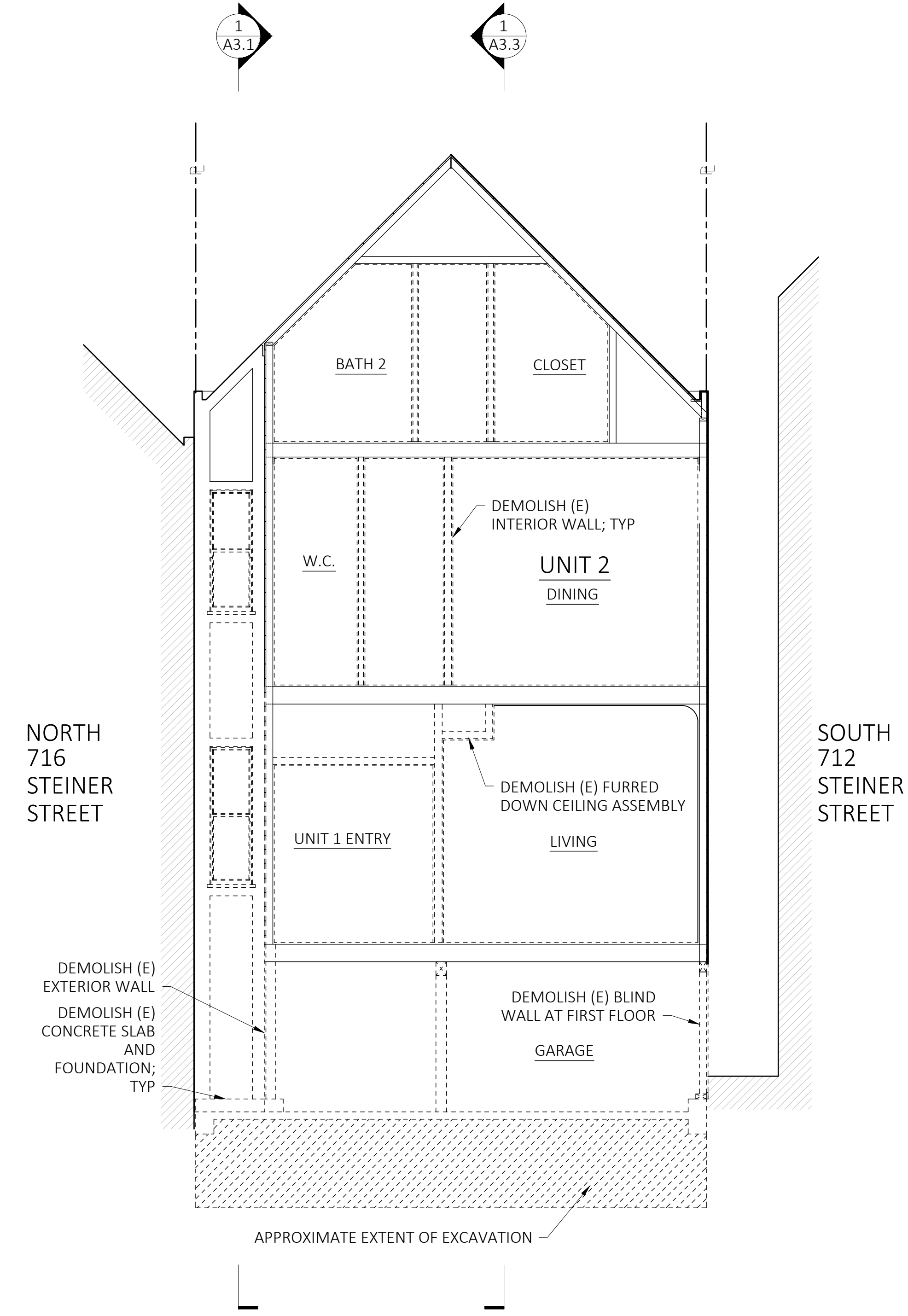
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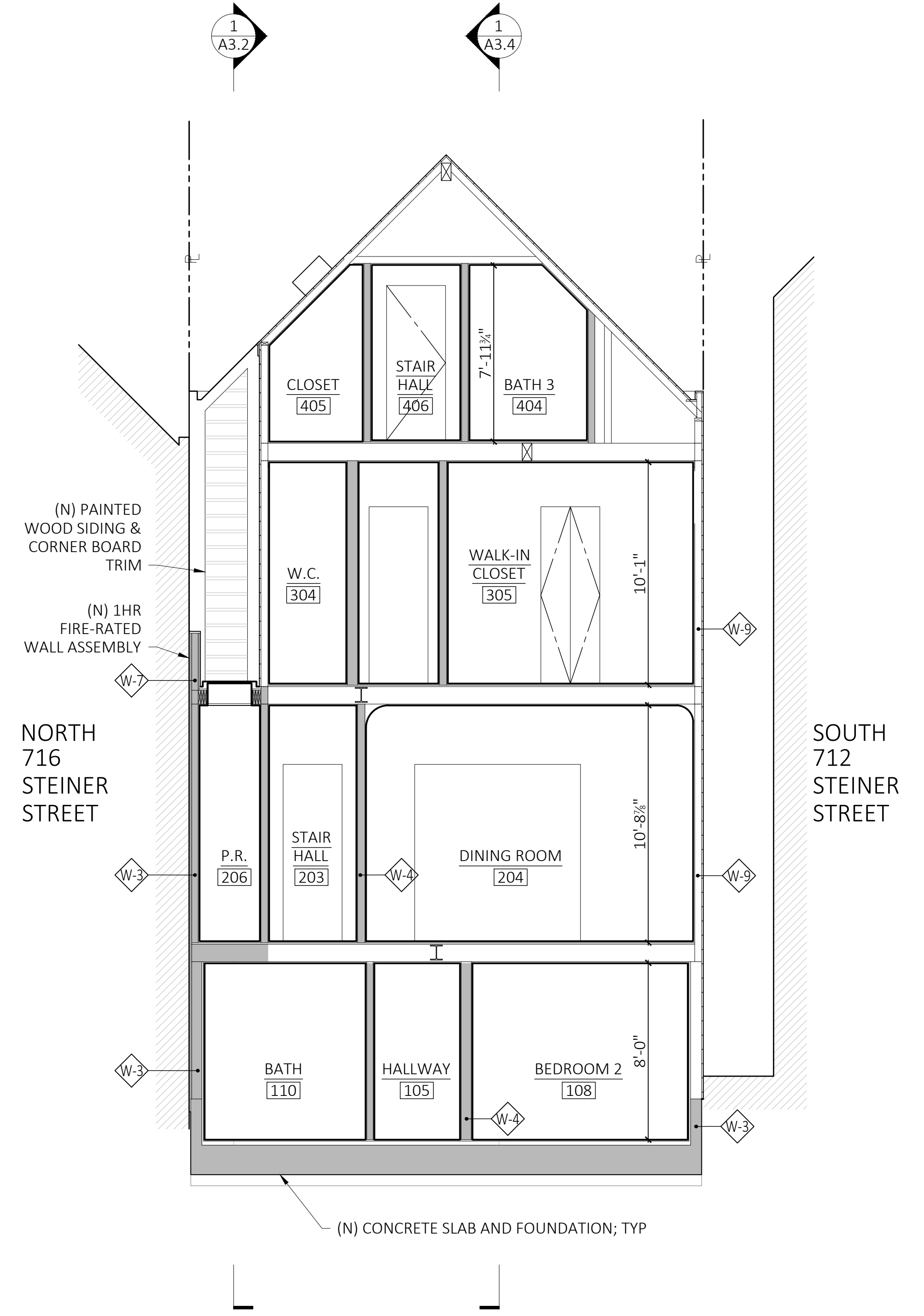


CULVER RESIDENCE

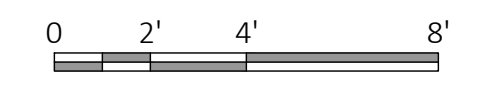
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TRANSVERSE BUILDING SECTION - EXISTING & DEMOLITION 2
1/4" = 1'-0"



TRANSVERSE BUILDING SECTION - PROPOSED 1
1/4" = 1'-0"



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JOB #	2004
BUILDING SECTIONS	
A3.7	
SCALE: 1/4" = 1'-0"	

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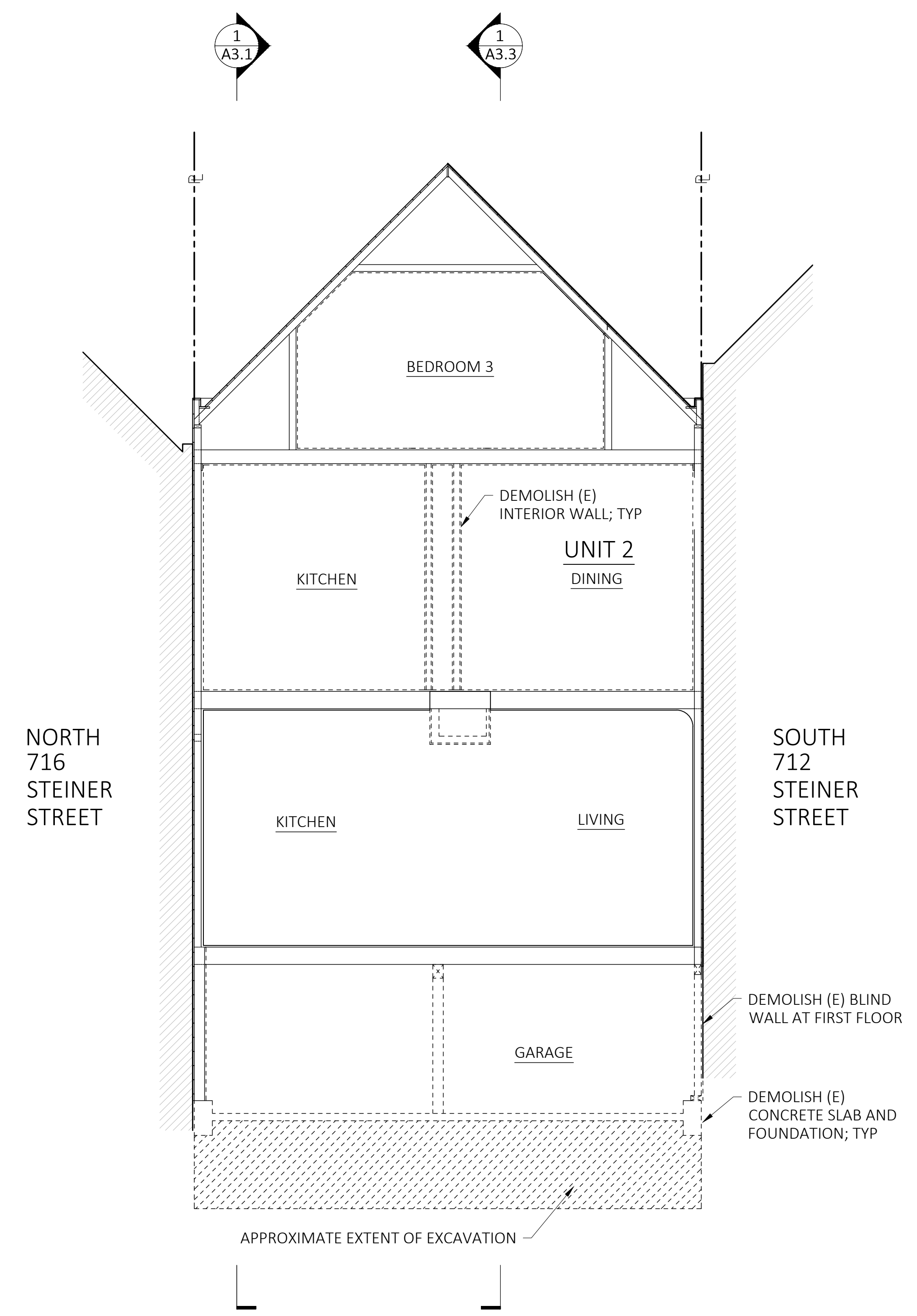


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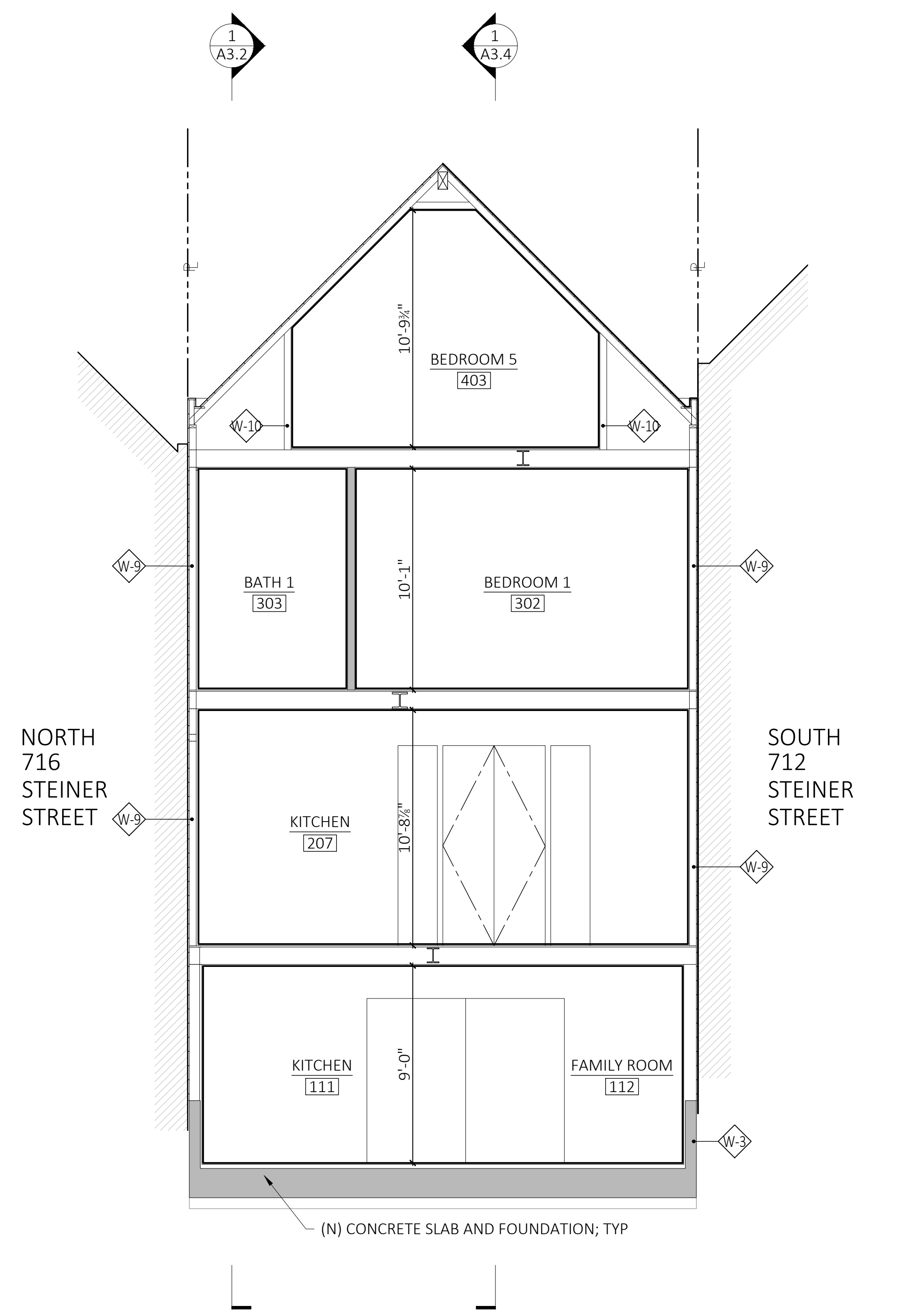
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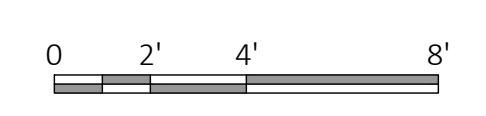
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TRANSVERSE BUILDING SECTION - EXISTING & DEMOLITION 2
1/4" = 1'-0"



TRANSVERSE BUILDING SECTION - PROPOSED 1
1/4" = 1'-0"



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JOB #	2004
SECTIONS	
A3.8	
SCALE: 1/4" = 1'-0"	

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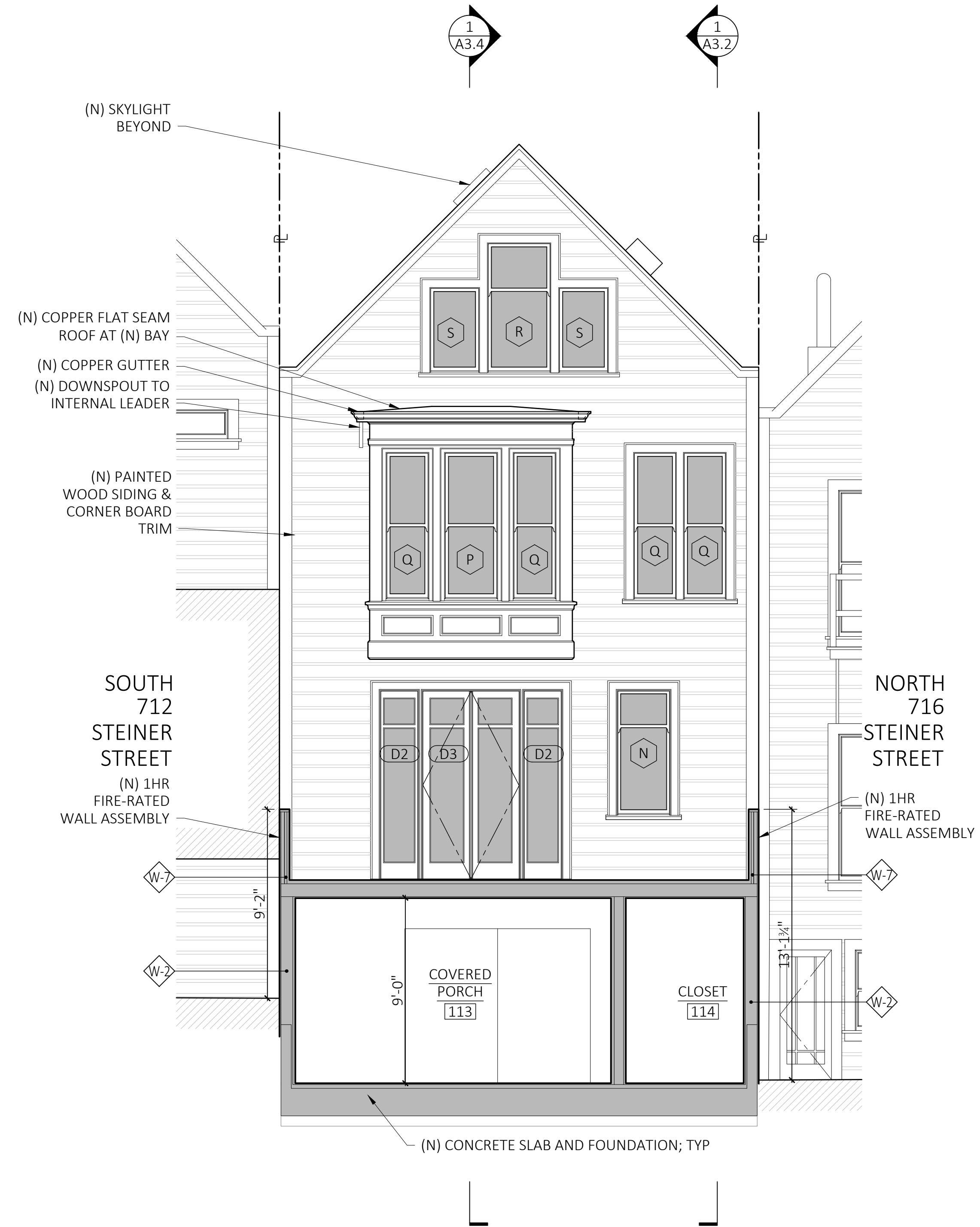


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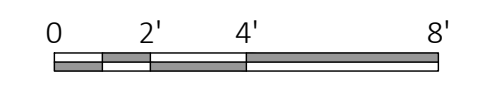


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TRANSVERSE BUILDING SECTION - PROPOSED 1

1/4" = 1'-0"



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JOB # 2004

BUILDING SECTION

A3.9

SCALE: 1/4" = 1'-0"

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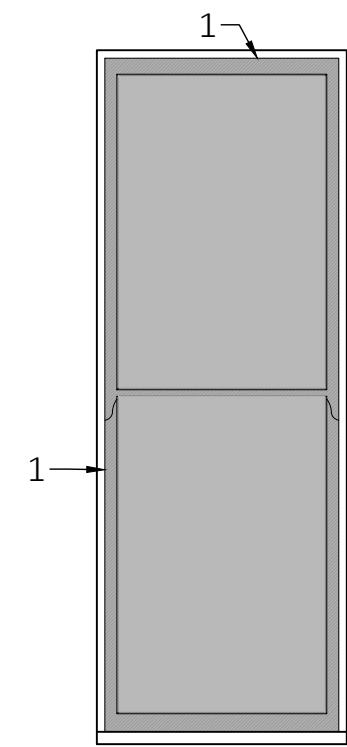
EXISTING FRONT BAY WINDOW SASH 2

WINDOW NOTES

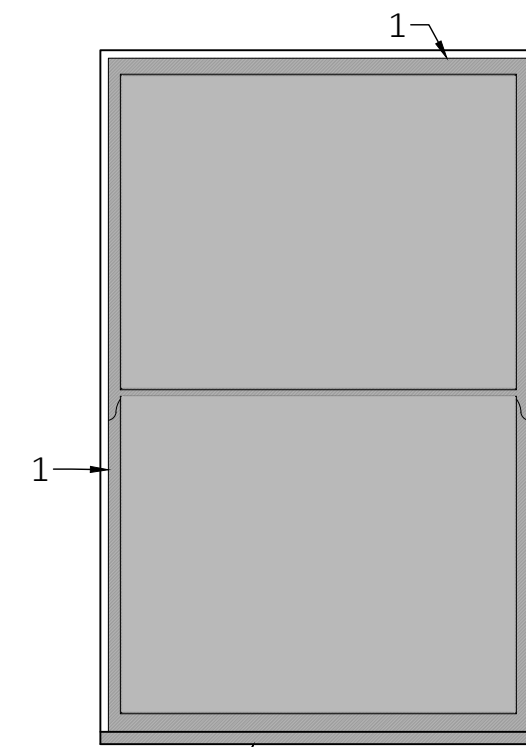
1. REPLACE WINDOW SASH WITH NEW, MATCH EXISTING PROFILES;
REPLACE GLAZING WITH CLEAR 1/4" LAMINATED GLASS (CLOSEST
CODE-COMPLIANT MODERN EQUIVALENT TO EXISTING)
2. REFURBISH WINDOW SILL, MATCH EXISTING
3. REFURBISH LEADED GLASS

*WINDOW E IS NOT ORIGINAL

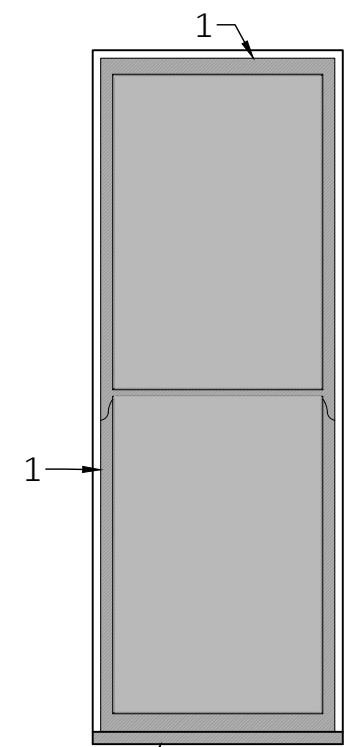
EXISTING WINDOWS



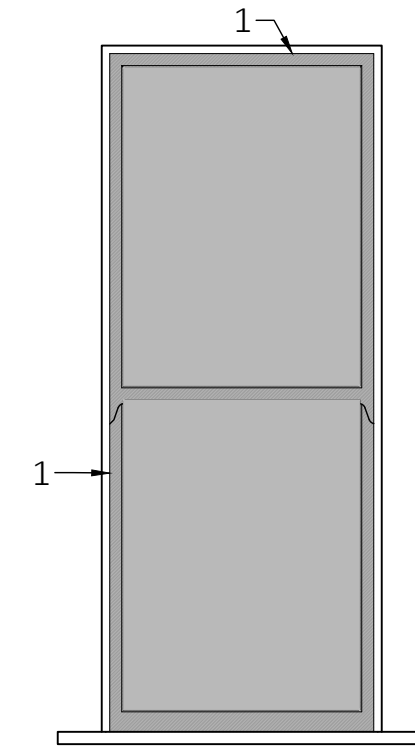
C



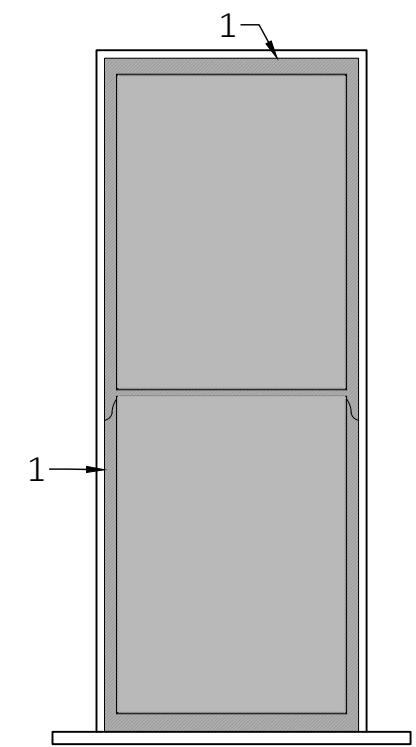
D



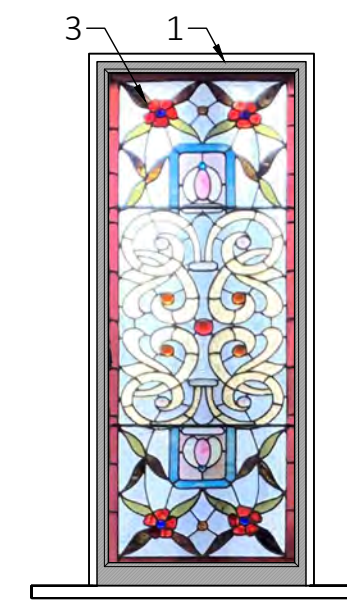
E



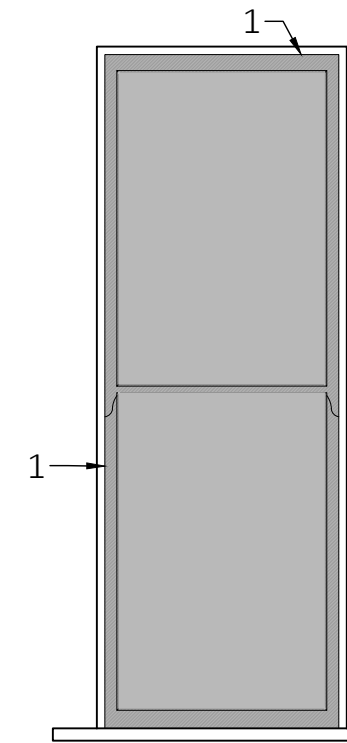
F



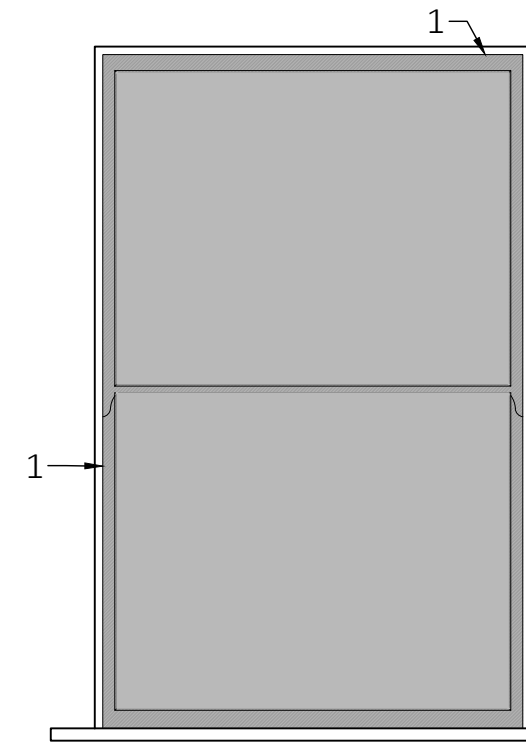
G



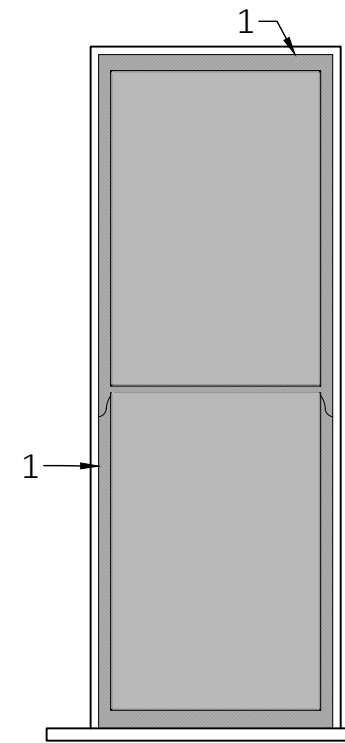
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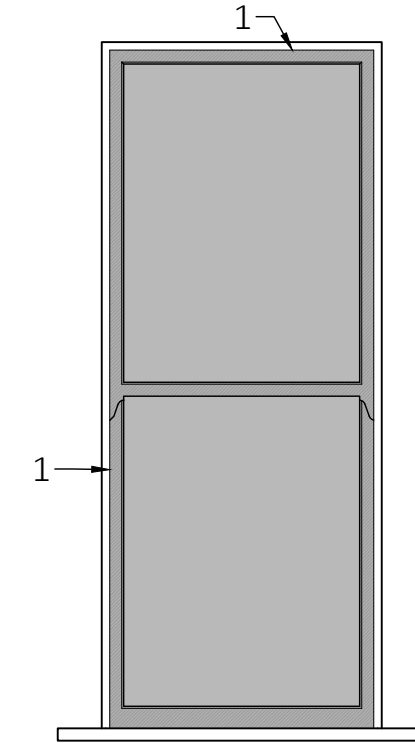
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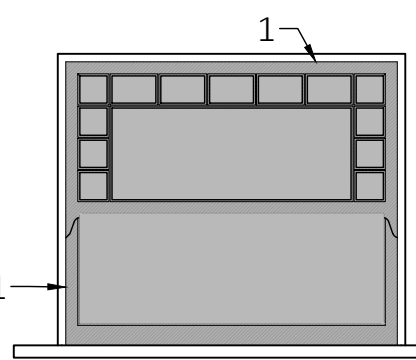
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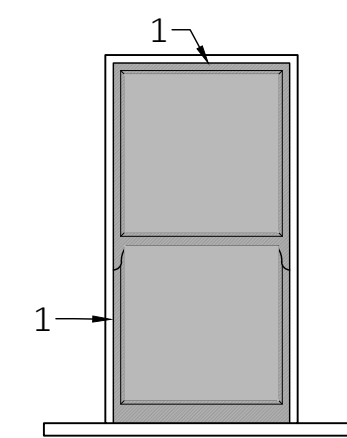
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K



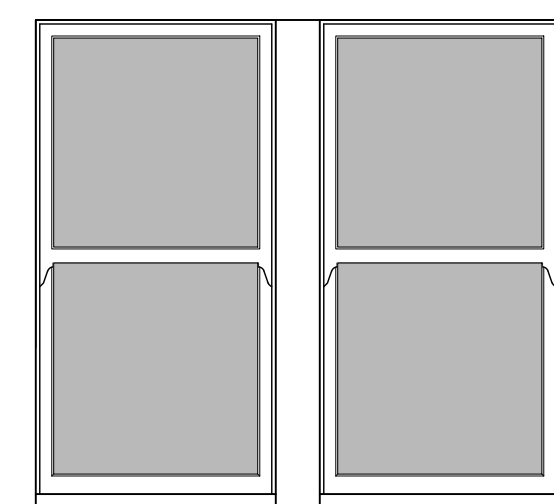
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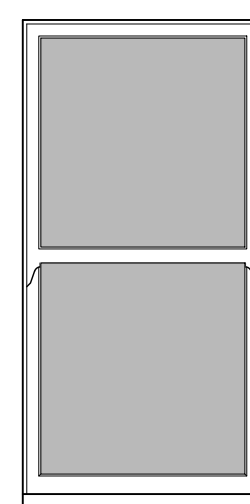
M

WINDOW SCHEDULE														
#	TYPE	DESCRIPTION	SIZE		GLAZING			WINDOW			DETAILS			NOTES
			WIDTH	HEIGHT	GLASS	U-VALUE	SHGC	MATERIAL	INT FINISH	EXT FINISH	SILL	HEAD	JAMB	
A	1		2'-6"	5'-0"				WOOD	PAINT	PAINT	TBD	TBD	TBD	NEW WINDOW
B	2		MATCH WINDOW "F"	5'-0"				WOOD	PAINT	PAINT	TBD	TBD	TBD	NEW WINDOW
C	N/A		NO CHANGE	NO CHANGE	-	-	-	WOOD	PAINT	PAINT	TBD	TBD	TBD	EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS
D	N/A		NO CHANGE	NO CHANGE	-	-	-	WOOD	PAINT	PAINT	TBD	TBD	TBD	EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS
E	N/A		NO CHANGE	NO CHANGE	-	-	-	WOOD	PAINT	PAINT	TBD	TBD	TBD	EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS
F	N/A		NO CHANGE	NO CHANGE	-	-	-	WOOD	PAINT	PAINT	TBD	TBD	TBD	EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS
G	N/A		NO CHANGE	NO CHANGE	-	-	-	WOOD	PAINT	PAINT	TBD	TBD	TBD	EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS
H	N/A		NO CHANGE	NO CHANGE	-	-	-	WOOD	PAINT	PAINT	TBD	TBD	TBD	EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS
I	N/A		NO CHANGE	NO CHANGE	-	-	-	WOOD	PAINT	PAINT	TBD	TBD	TBD	EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS
J	N/A		NO CHANGE	NO CHANGE	-	-	-	WOOD	PAINT	PAINT	TBD	TBD	TBD	EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS
K	N/A		NO CHANGE	NO CHANGE	-	-	-	WOOD	PAINT	PAINT	TBD	TBD	TBD	EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS
L	N/A		NO CHANGE	NO CHANGE	-	-	-	WOOD	PAINT	PAINT	TBD	TBD	TBD	EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS
M	N/A		NO CHANGE	NO CHANGE	-	-	-	WOOD	PAINT	PAINT	TBD	TBD	TBD	EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS
N	3		2'-10"	6'-7"				WOOD	PAINT	PAINT	TBD	TBD	TBD	NEW WINDOW
P	2		2'-6"	7'-2"				WOOD	PAINT	PAINT	TBD	TBD	TBD	NEW DOUBLE-HUNG WINDOW
Q	2		2'-0"	7'-2"				WOOD	PAINT	PAINT	TBD	TBD	TBD	NEW DOUBLE-HUNG WINDOW
R	4		3'-0"	6'-3"				WOOD	PAINT	PAINT	TBD	TBD	TBD	NEW COTTAGE STYLE DOUBLE-HUNG WINDOW
S	4		2'-4"	4'-1"				WOOD	PAINT	PAINT	TBD	TBD	TBD	NEW CASEMENT WINDOW
T	2		MATCH EXISTING	MATCH EXISTING	-	-	-	WOOD	PAINT	PAINT	TBD	TBD	TBD	NEW WINDOW
U	5		1'-11"	2'-4 3/4"	-	-	-	WOOD	PAINT	PAINT	TBD	TBD	TBD	NEW WINDOW
V	N/A		MATCH EXISTING	MATCH EXISTING	-	-	-	WOOD	PAINT	PAINT	TBD	TBD	TBD	EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS

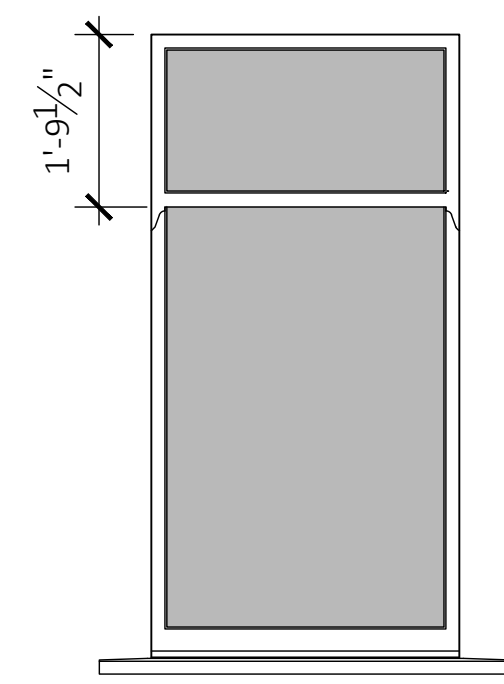
NEW WINDOWS



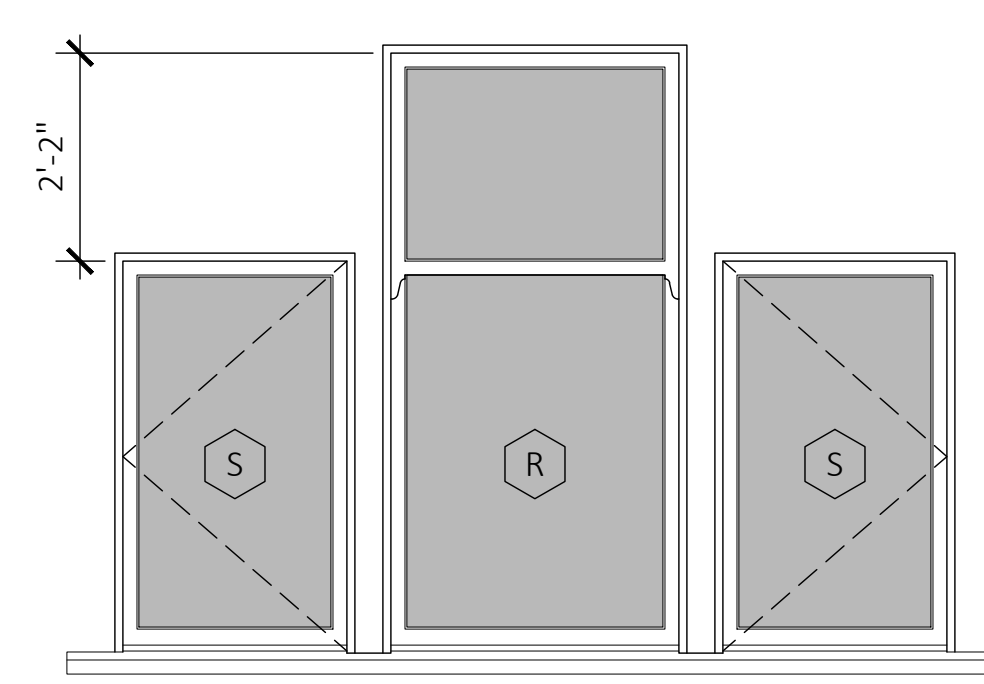
TYPE 1
PAIRED DOUBLE-HUNG



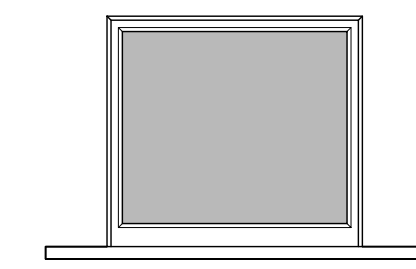
TYPE 2
DOUBLE-HUNG



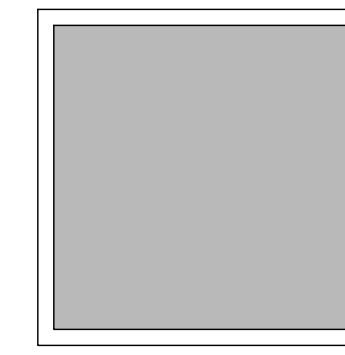
TYPE 3
COTTAGE STYLE
DOUBLE-HUNG



TYPE 4
CASEMENT - DOUBLE-HUNG - CASEMENT



TYPE 5
AWNING



TYPE 6
SKYLIGHT

ENLARGED WINDOW ELEVATIONS 1

1/2" = 1'-0"



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BUILDING PERMIT	03.29.21
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PLAN CHECK	08.24.21
RESPONSE	

JOB # 2004

WINDOW SCHEDULES & TYPES

A4.1

SCALE: NA

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FIG. 3: WINDOWS WITH TYPICAL INTERIOR SASH CONDITIONS SUCH AS WATER DAMAGE

CORNER CUT OUT OF WINDOW RAIL AND BOTTOM SASH

FIG. 2: WINDOW J

BROKEN BEVELED GLAZING
FIG. 1: FRONT DOOR

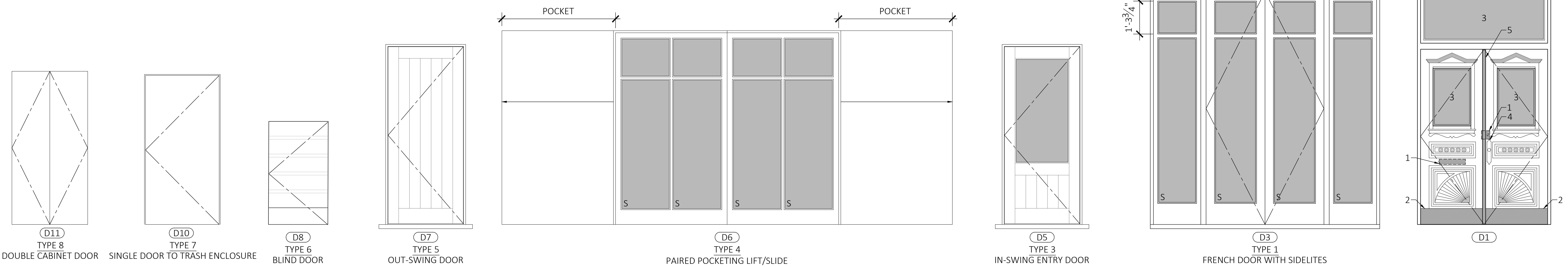
DOOR NOTES

1. PATCH AND INFILL CUT-OUT IN DOOR
 2. REPLACE BOTTOM RAIL
 3. REPLACE GLAZING
 4. NEW DOOR HARDWARE
 5. REPAIR AND REFURBISH ASTRAGAL
 6. "S" DENOTES SAFETY GLAZING
- EXISTING DOOR

EXTERIOR DOOR SCHEDULE

#	TYPE	DESCRIPTION	SIZE			DOOR			GLAZING			HARDWARE TYPE	DETAILS			NOTES
			WIDTH	HEIGHT	THICKNESS	MATERIAL	INT FINISH	EXT FINISH	GLASS	U-VALUE	SHGC		TH	HEAD	JAMB	
D1	N/A	(E) FRENCH ENTRY DOOR	NO CHANGE	NO CHANGE	NO CHANGE	WOOD	PAINT	PAINT				ENTRY				
D2		NOT USED														
D3	1	OUT-SWING FRENCH DOOR	4'-8"	9'-2"		WOOD	PAINT	PAINT				MULTI-POINT				
D4		NOT USED														
D5	3	IN-SWING ENTRY DOOR	3'-0"	7'-0"		WOOD	PAINT	PAINT								
D6	4	PAIRED POCKETING LIFT/SLIDE	9'-1"	7'-8"		WOOD	PAINT	PAINT	lowE2							
D7	5	OUT-SWING DOOR	2'-6"	7'-8"		WOOD	PAINT	PAINT								
D8	6	BLIND DOOR	2'-4"	4'-1"		WOOD	PAINT	PAINT								
D9	3	IN-SWING ENTRY DOOR	2'-11"	6'-9"		WOOD	PAINT	PAINT								
D10	7	SINGLE TRASH ENCLOSURE DOOR	3'-0"	5'-10 3/4"		WOOD	PAINT	PAINT								
D11	8	DOUBLE CABINET DOOR	3'-0"	5'-10 3/4"		WOOD	PAINT	PAINT								

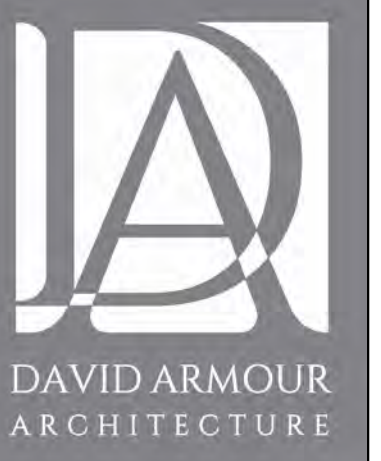
NEW DOORS



ENLARGED DOOR ELEVATIONS
1/2" = 1'-0" 1

SKYLIGHT SCHEDULE

#	TYPE	DESCRIPTION	MANUFACTURER	MODEL	SIZE		GLAZING			MATERIAL	FINISH	DETAIL	NOTES
					WIDTH	HEIGHT	GLASS	U-VALUE	SHGC				
Z1	1	LOW PROFILE SYSTEM DECK MOUNT	WASCO BY VELUX	LPG	2-3"	2-3"	LAM SAFETY			ALUMINUM	ANODIZED	TBD	
Z2	1	LOW PROFILE SYSTEM DECK MOUNT	WASCO BY VELUX	LPG	2-3"	2-3"	LAM SAFETY			ALUMINUM	ANODIZED	TBD	
Z3	1	LOW PROFILE SYSTEM DECK MOUNT	WASCO BY VELUX	LPG	2-3"	2-3"	LAM SAFETY			ALUMINUM	ANODIZED	TBD	
Z4	2		VELUX	TLR-014	BY MANF	BY MANF	LAM SAFETY			ALUMINUM	ANODIZED		



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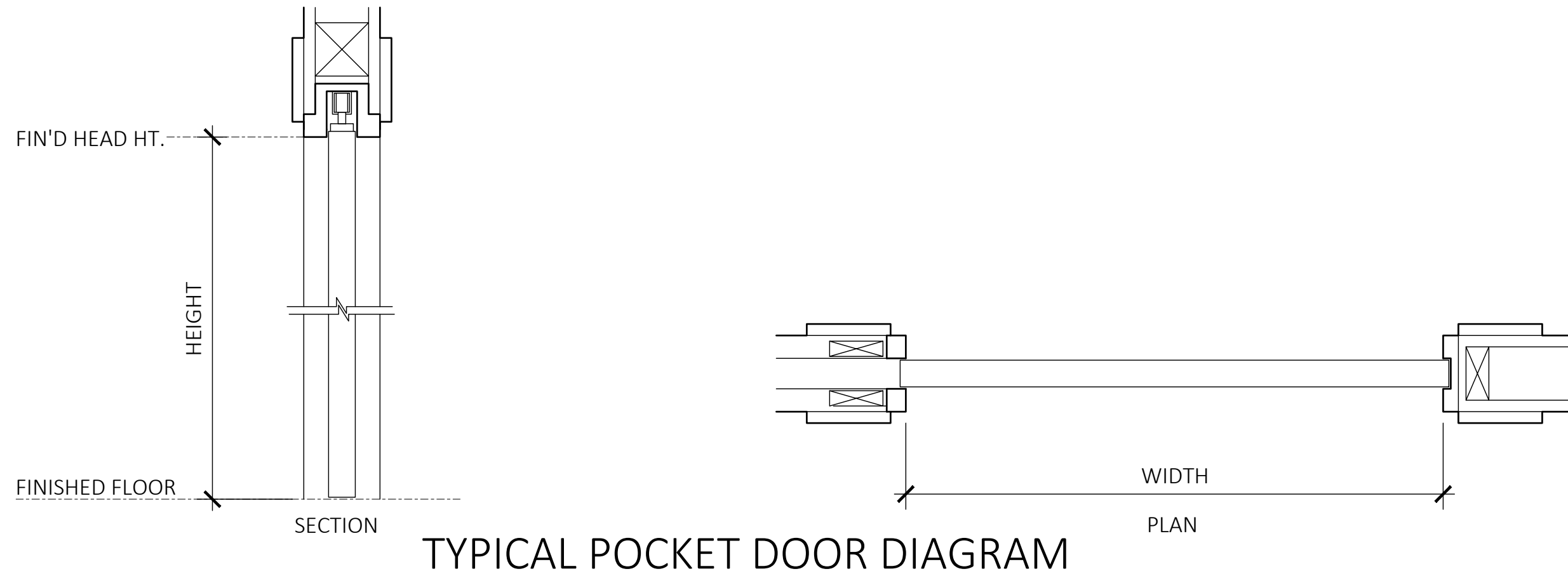
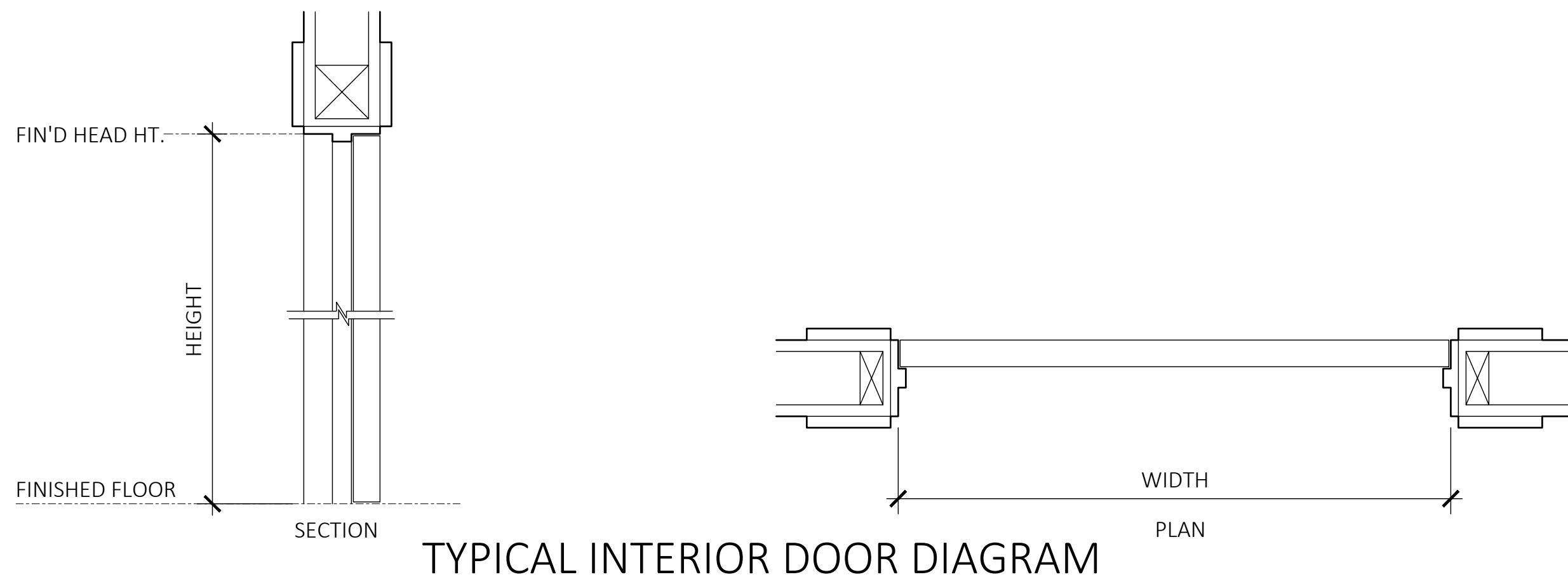
JOB # 2004

EXTERIOR DOOR AND SKYLIGHT SCHEDULE & TYPES

A4.2

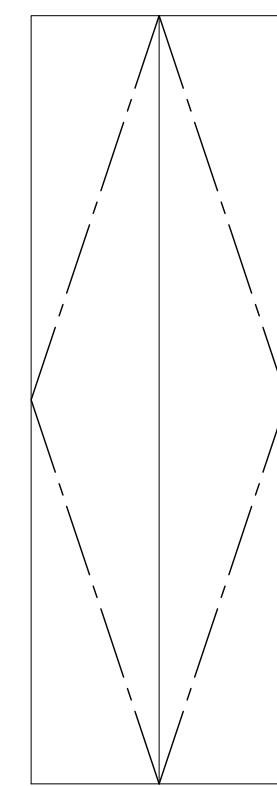
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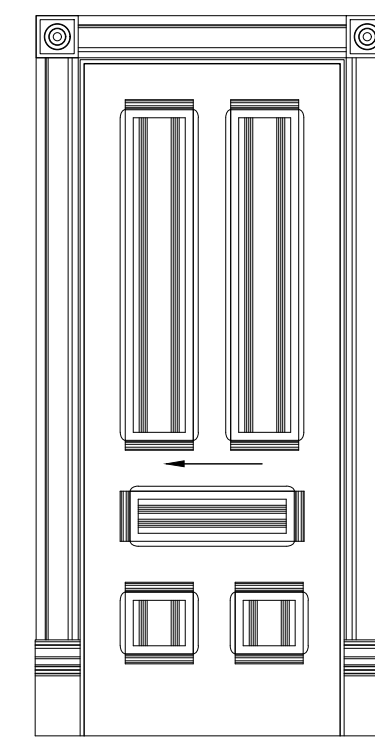


INTERIOR DOOR SCHEDULE													
#	TYPE	DESCRIPTION	SIZE			DOOR			HARDWARE TYPE	DETAILS			NOTES
			WIDTH	HEIGHT	THICKNESS	MATERIAL	FRAME FINISH	DOOR FINISH		HEAD	SADDLE	JAMB	
101		NOT USED											
102		NOT USED											
103	2	SINGLE	3'-0"	7'-0"	1-3/4"								
104	2	SINGLE	2'-8"	7'-0"	1-3/4"								
105		NOT USED											
106	2	SINGLE	2'-8"	7'-0"	1-3/4"								
107		NOT USED											
108	3	DOUBLE POCKET DOOR	6'-2"	7'-0"	1-3/4"								
109		NOT USED											
110	2	SINGLE	2'-6"	7'-0"	1-3/4"								
111		NOT USED											
112	2	SINGLE	2'-10"	7'-0"	1-3/4"								
113		NOT USED											
201	2	SINGLE	(E)	(E)	1-3/4"								
202	2	SINGLE	2'-4"	7'-0"	1-3/4"								
203	6	SINGLE POCKET DOOR	2'-9"	7'-0"	1-3/4"								
301	2	SINGLE	2'-8"	7'-0"	1-3/4"								
302	6	SINGLE POCKET DOOR	2'-6"	7'-0"	1-3/4"								
303		NOT USED											
304	2	SINGLE	2'-4"	7'-0"	1-3/4"								
305	7	DOUBLE DOOR	2'-8"	7'-0"	1-3/4"								
306	3	DOUBLE POCKET DOOR	4'-6"	7'-0"	1-3/4"								
307	2	SINGLE	2'-4"	7'-0"	1-3/4"								
308	2	SINGLE	2'-8"	7'-0"	1-3/4"								
309	2	SINGLE	2'-8"	7'-0"	1-3/4"								
401	2	SINGLE	2'-8"	7'-0"	1-3/4"								
402	2	SINGLE	2'-0 3/4"	7'-0"	1-3/4"								
403	2	SINGLE	2'-0 3/4"	7'-0"	1-3/4"								
404	2	SINGLE	2'-6"	7'-0"	1-3/4"								
405	2	SINGLE	2'-4"	7'-0"	1-3/4"								
406	2	SINGLE	2'-8"	7'-0"	1-3/4"								
407		NOT USED											

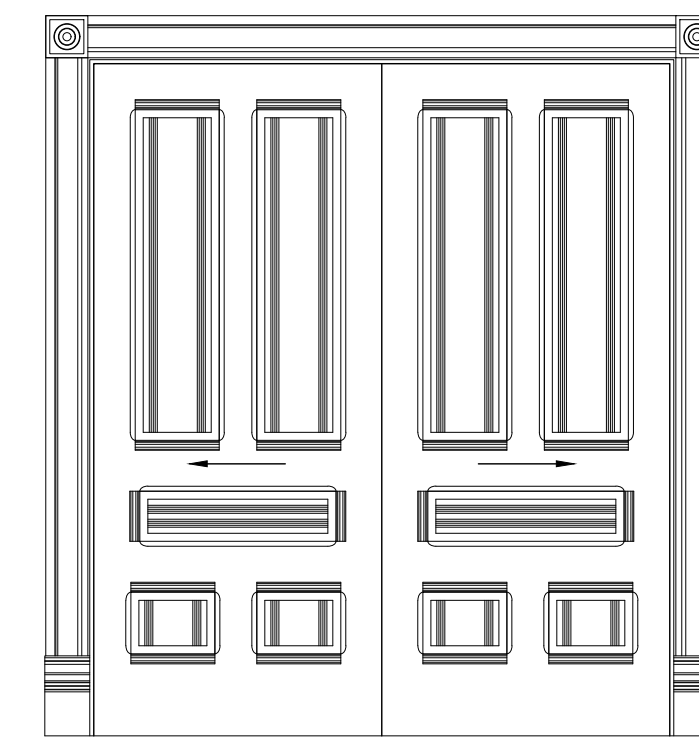
DOOR NOTES



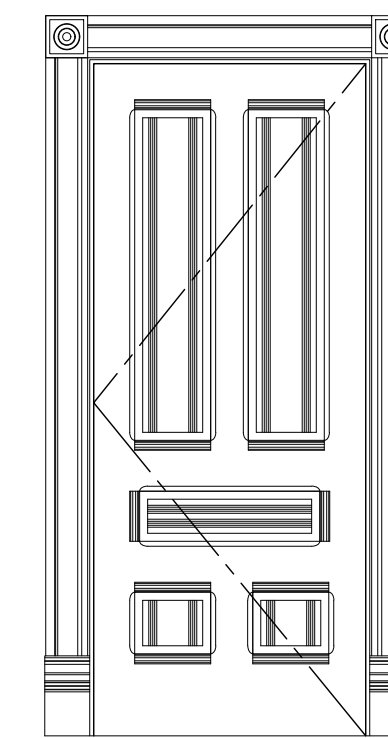
TYPE 7
DOUBLE DOOR



TYPE 6
SINGLE POCKET DOOR



TYPE 3
DOUBLE POCKET DOOR



TYPE 2
SINGLE DOOR

ENLARGED DOOR ELEVATIONS

1/2" = 1'-0"

1



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RESPONSE	

JOB # 2004

INTERIOR DOOR AND
OPENING SCHEDULE & TYPES

A4.3

SCALE: NA

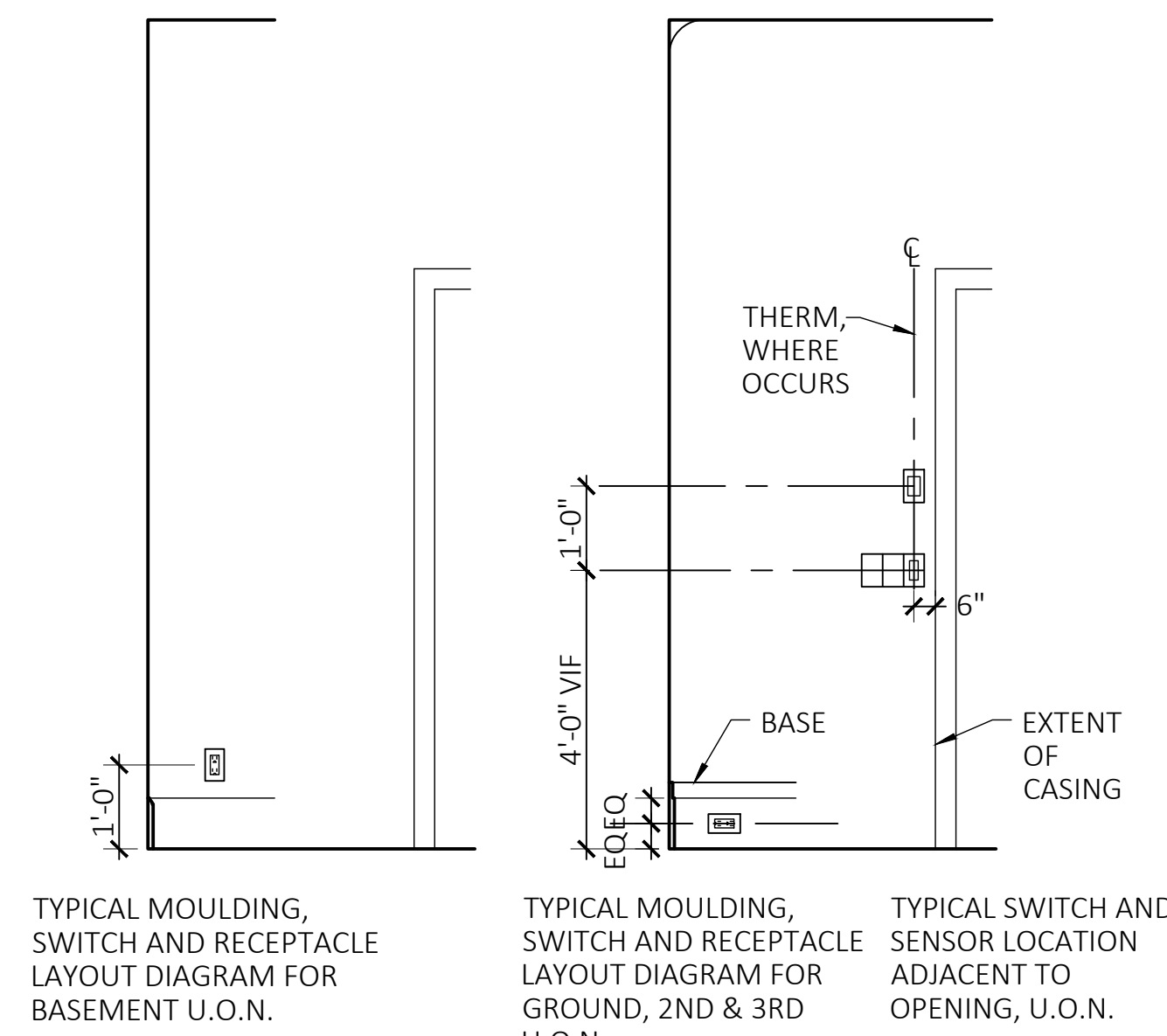
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MECHANICAL/PLUMBING NOTES

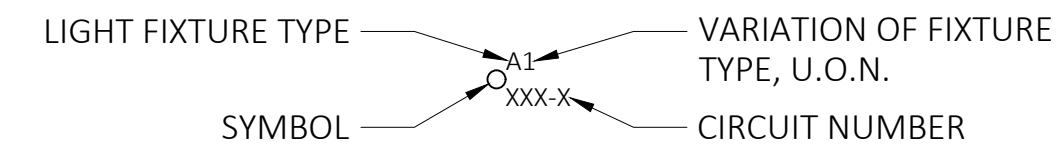
- ALL EXISTING INTERIOR MECHANICAL AND PLUMBING INFRASTRUCTURE / FIXTURES TO BE DEMOLISHED.
- PROVIDE W.C. VENTILATION DIRECT TO EXTERIOR, BACKDRAFT PROTECTED PER CBC 1203.5.2.1
- FURNACE COMPARTMENT: PROVIDE COMBUSTION AIR VENTS WITHIN 12 INCHES OF FLOOR AND CEILING PER CMC 701.11
- CLOTHES DRYER: MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14'-0" WITH TWO ELBOWS. THIS SHALL BE REDUCED 2'-0" FOR EVERY ELBOW IN EXCESS OF TWO. PROVIDE MINIMUM 4" DIAMETER, SMOOTH, METAL DUCT, AND SHOW DUCT ROUTE ON PLAN. CMC §504.4.2. AN OPENING NOT LESS THAN 100 SQUARE INCHES FOR MAKEUP AIR SHALL BE PROVIDED IN THE DOOR OR BY OTHER APPROVED MEANS PER CMC §504.4.1(1)
- ENVIRONMENTAL AIR DUCTS SHALL TERMINATE 3 FEET FROM THE PROPERTY LINE AND 3 FEET FROM OPENINGS INTO THE BUILDING PER CMC §502.2.1 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC §504.1.1. EXHAUST SHALL NOT DISCHARGE ONTO A PUBLIC WALKWAY
- GARAGE VENTILATION: 200 SQ. IN. OPEN FREE AREA TO BE PROVIDED FOR GARAGE VENTILATION
- PROVIDE A MECHANICAL VENTILATING SYSTEM FOR ALL BATHROOMS CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR PER CBC 1203.3
- GAS VENT TERMINATIONS SHALL MEET THE REQUIREMENTS OF CMC §802.6 AND TERMINATE A MINIMUM 4' FROM THE PROPERTY LINE PER SFMC §802.6.1. THROUGH WALL VENT TERMINATION PER SFMC §802.2.6
- COMPLY WITH SHAFT ENCLOSURE & FIRE / SMOKE DAMPER REQUIREMENTS PER CMC 711 & 713
- PROVIDE 100-SQ. INCH MIN. MAKEUP AIR OPENING FOR DOMESTIC DRYER PER CMC 504.3.2
- PROVIDE COMBUSTION AIR OPENINGS FOR FUEL BURNING EQUIPMENTS PER CMC 702, 703, 704 AND TABLE 7-1
- PROVIDE MIN. 26 GAUGE STEEL DUCT WITHIN GARAGE SPACE.
- DRYER VENT DUCT TO BE 4" DIA. MAX.
- GAS-FIRED APPLIANCES SHALL HAVE INTERMITTENT IGNITION DEVICE. GAS SHUT OFF VALVES SHALL BE WITHIN 3 FEET OF APPLIANCE SERVED. WATER HEATER BLANKET INSULATION: MIN. R-12. FIRST FIVE FEET OF PIPES CLOSEST TO WH: MIN. R-4
- PROVIDE 18" MIN. PLATFORM & SEISMIC STRAPS FOR WATER HEATER.
- BUILDING SHALL COMPLY WITH THE REQUIREMENTS OF ASHRAE 62.2, INCLUDING WHOLE BUILDING VENTILATION AND LOCAL EXHAUST REQUIREMENTS PER CALIFORNIA ENERGY CODE 150.0(o), SEE TABLE 4.1 BELOW FOR MIN. CFM REQUIREMENTS
- GAS FIRED WATER HEATER COMPARTMENTS WITHIN A BUILDING SHALL HAVE AT LEAST TWO OPENINGS LOCATED WITHIN THE UPPER AND LOWER 12" OF THE ENCLOSURE FOR COMBUSTION AIR. EACH OPENING SHALL BE SIZED AT 1 SQ. INCH PER 1,000 BTU/H WITH AN AREA OF AT LEAST 100 SQ. INCH. CPC §506.3
- GAS FIRED WATER HEATER MUST BE STRAPPED AT UPPER ONE-THIRD (1/3) AND THE LOWER ONE-THIRD (1/3) FOR LATERAL SUPPORT. CPC § 507.2
- PER CMC §304.4 A.ATTIC ACCESS OPENING OF 22"x30" OR LARGER TO ACCOMMODATE THE REMOVAL OF THE LARGEST EQUIPMENT AND LOCATED NOT OVER 20'-0" FROM EQUIPMENT; PROVIDE UNOBSTRUCTED PASSAGE 24" WIDE WITH SOLID CONTINUOUS FLOORING FROM ACCESS TO EQUIPMENT/CONTROL PANEL; PROVIDE A LEVEL, UNOBSTRUCTED WORK PLATFORM, MINIMUM 30"x30" IN FRONT OF THE EQUIPMENT WITH 30" HEADROOM; PROVIDE A LIGHT OVER EQUIPMENT WITH SWITCH AT ACCESS
- DOMESTIC RANGE HOOD VENTS SHALL MEET THE REQUIREMENTS OF CMC §504.3 AND COMPLY WITH CMC TABLE §403.7 AND THE CALIFORNIA ENERGY CODE
-

LIGHTING/ELECTRICAL NOTES

- ALL EXISTING ELECTRICAL/ POWER WIRING, SWITCHES & RECEPTACLES TO BE REMOVED AND REPLACED, UNLESS OTHERWISE NOTED.
- ALL INDOOR AND OUTDOOR LIGHTING FOR NEW HOMES MUST BE HIGH EFFICACY PER 2019 CALIFORNIA ENERGY CODE.
- PLEASE VERIFY TRIM SELECTION WITH ARCHITECT BEFORE PURCHASING UNIT
- A RECEPTACLE OUTLET MUST BE INSTALLED FOR EVERY KITCHEN AND DINING COUNTER WALL SPACE, 12-INCHES OR WIDER. RECEPTACLES MUST BE INSTALLED SO THAT NO POINT ALONG THE COUNTER WALL SPACE IS MORE THAN 24-INCHES (2-FEET), MEASURED HORIZONTALLY, FROM A RECEPTACLE OUTLET. CEC ARTICLE 210.52(C)(1).
- PROVIDE GROUND-FAULT CIRCUIT-INTERRUPTERS (GFI) PROTECTION FOR 15-AMP AND 20-AMP OUTLETS IN BATHROOM, ON COUNTER-TOP OF A KITCHEN SINK, ON ISLAND OF KITCHEN, WITHIN 6'-0" OF THE OUTER EDGE OF A WET BAR/LAUNDRY/UTILITY SINK, OUTDOOR, IN GARAGE, AND IN BASEMENT. CEC ARTICLE 210.8(A).
- PROVIDE COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTERS (AFCI) PROTECTION FOR ALL NEW OUTLETS (LIGHTS, SMOKE/CO ALARMS, RECEPTACLES) IN ALL ROOMS EXCEPT KITCHENS, BATHROOMS, GARAGE, AND BASEMENT. CEC ARTICLE 210.12
- NEW RECEPTACLES SHALL BE TAMPERED-PROOF
- PROVIDE AT LEAST ONE ELECTRICAL RECEPTACLE OUTLET ACCESSIBLE AT GRADE LEVEL AND NOT MORE THAN 6'-6" ABOVE GRADE LEVEL AT FRONT AND BACK OF BUILDING. RECEPTACLE OUTLETS TO BE GFI PROTECTED WITH WEATHERPROOF CASINGS. CEC ARTICLE 210-52(2).
- PROVIDE ONE LIGHT OUTLET (WALL SWITCH-CONTROLLED) ON THE EXTERIOR SIDE OF OUTDOOR ENTRANCES AND EXITS. CEC ARTICLE 210- 70(2)(B).
- CARBON MONOXIDE DETECTION: SHALL BE INSTALLED IN ACCORDANCE WITH CBC SEC. 915
- SMOKE ALARM DETECTION: SHALL BE INSTALLED IN ACCORDANCE WITH BATTERY BACKUP PER CBC SEC. 907.2.11.2



LIGHTING LEGEND



CEILING

- A xxx-x RECESSED HIGH EFFICACY LIGHT
- B xxx-x RECESSED ADJUSTABLE HIGH EFFICACY LIGHT
- C xxx-x CEILING MOUNTED FIXTURE
- D xxx-x PENDANT
- E xxx-x CHANDELIER
- F xxx-x CEILING MOUNTED FLUORESCENT LIGHT

WALL

- G xxx-x WALL MOUNTED FIXTURE
- H xxx-x STEP LIGHT
- I xxx-x CLOSET LIGHT

CABINETRY

- K xxx-x RECESSED CABINET LIGHT

LANDSCAPE

- L xxx-x PATHWAY LIGHT/UPLIGHT

LIGHTING CONTROL LEGEND

- SWITCH TYPE xxx-x CIRCUIT NUMBER
- xxx-x SINGLE POLE SWITCH
 - xxx-x MULTI-CIRCUIT SWITCH
 - xxx-x SWITCH WITH VACANCY SENSOR
 - xxx-x TIMER SWITCH
 - xxx-x JAMB SWITCH
 - xxx-x EXTERIOR SWITCH
 - xxx-x SINGLE POLE DIMMER
 - xxx-x MULTI-CIRCUIT DIMMER
 - xxx-x DIMMER WITH VACANCY SENSOR

SAFETY LEGEND

- SMOKE AND CARBON MONOXIDE DETECTOR, HARD WIRED W/ BATTERY BACK-UP
- CARBON MONOXIDE SENSOR
- FIRE SPRINKLER HEAD

RECEPTACLE LEGEND

- GFCI GFCI RECEPTACLE
- +54" DUPLEX RECEPTACLE
- FOURLEX RECEPTACLE
- xxx-x RECEPTACLE FOR DIMMING USE
- xxx-x SPLIT RECEPTACLE HALF FOR DIMMING USE
- DEDICATED 120V RECEPTACLE
- DEDICATED 240V RECEPTACLE
- FLOOR RECEPTACLE
- CEILING RECEPTACLE
- WP WEATHERPROOF GFCI RECEPTACLE
- PLUG MOLD RECEPTACLE (CONCEALED)
- DATA RECEPTACLE JACK
- ELECTRICAL SUB-PANEL

HEATING LEGEND

- FAU FORCED AIR UNIT
- MANIFOLD
- RADIANT HEATING ZONE
- # ZONE NUMBER
- THERMOSTAT
- # TEMPERATURE SENSOR

VENTILATION LEGEND

- M 101-1 CEILING EXHAUST FAN: PANASONIC WHISPERSGREEN SELECT, FV-05-11VKS1: 30 TO 110 CFM INTEGRATED MULTI-SPEED
- M1 101-1 WHOLE HOUSE CEILING EXHAUST FAN: PANASONIC WHISPERSGREEN SELECT, FV-05-11VKS1: 30 TO 110 CFM INTEGRATED MULTI-SPEED WHOLE HOUSE FAN TO PROVIDE A MINIMUM 105 CFM CONTINUOUS VENTILATION REQUIREMENTS PER TABLE 4.1 FROM ASHRAE 62.2, SHEET A7.0.
- KITCHEN EXHAUST

PLUMBING LEGEND

- H HOT WATER TANK
- HB HOSE BIBB - STANDARD
- GV GAS VALVE / KEY
- G GAS METER
- BOILER BOILER



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JOB # 2004

POWER AND LIGHTING
NOTES, LEGEND, AND
INSTALLATION DIAGRAMS

A7.0

SCALE: 1/4" = 1'-0"



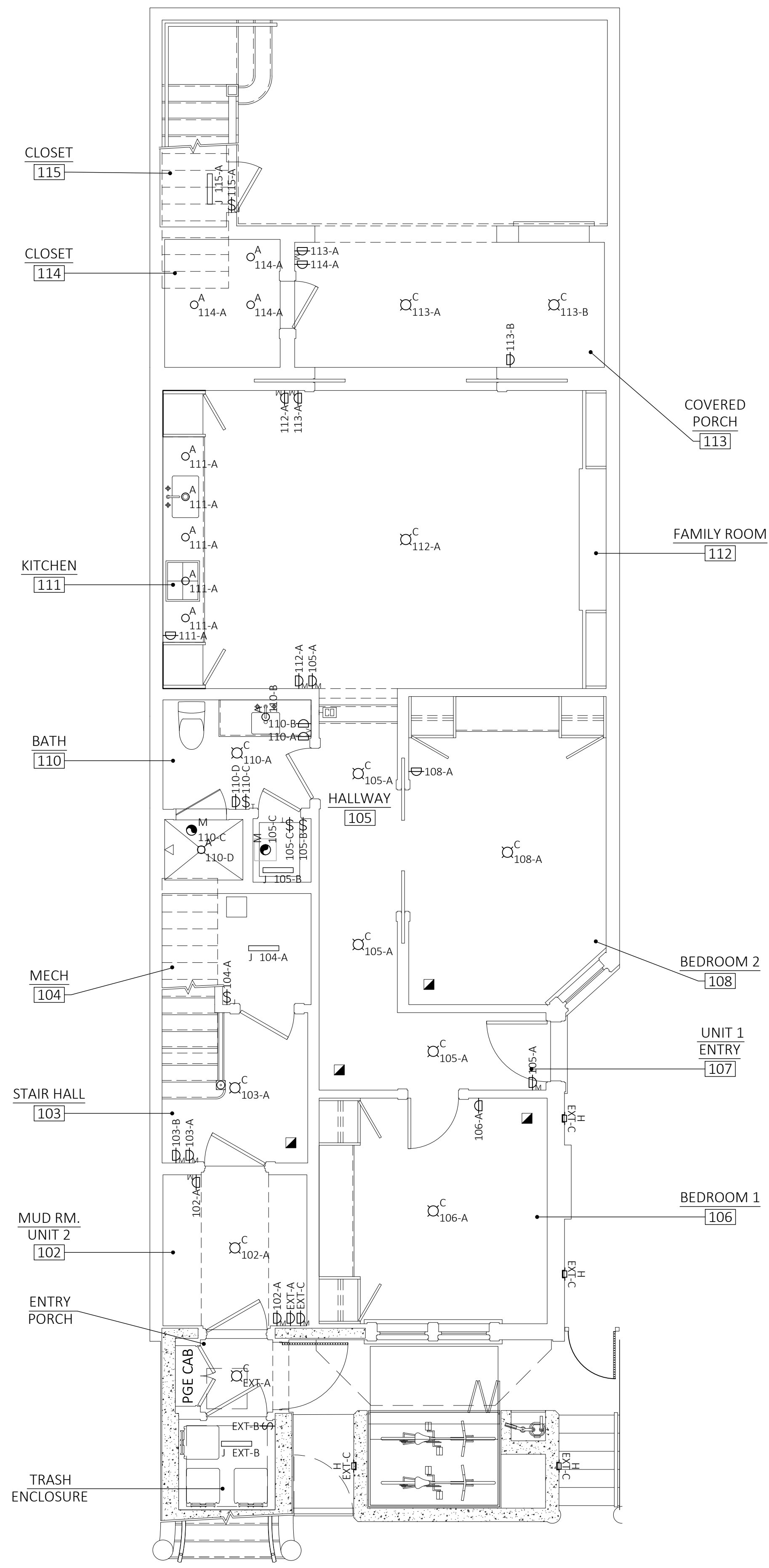
DAVID ARMOUR
ARCHITECTURE

498 HAIGHT STREET
SAN FRANCISCO, CA 94117
(415) 440-2880



CULVER RESIDENCE

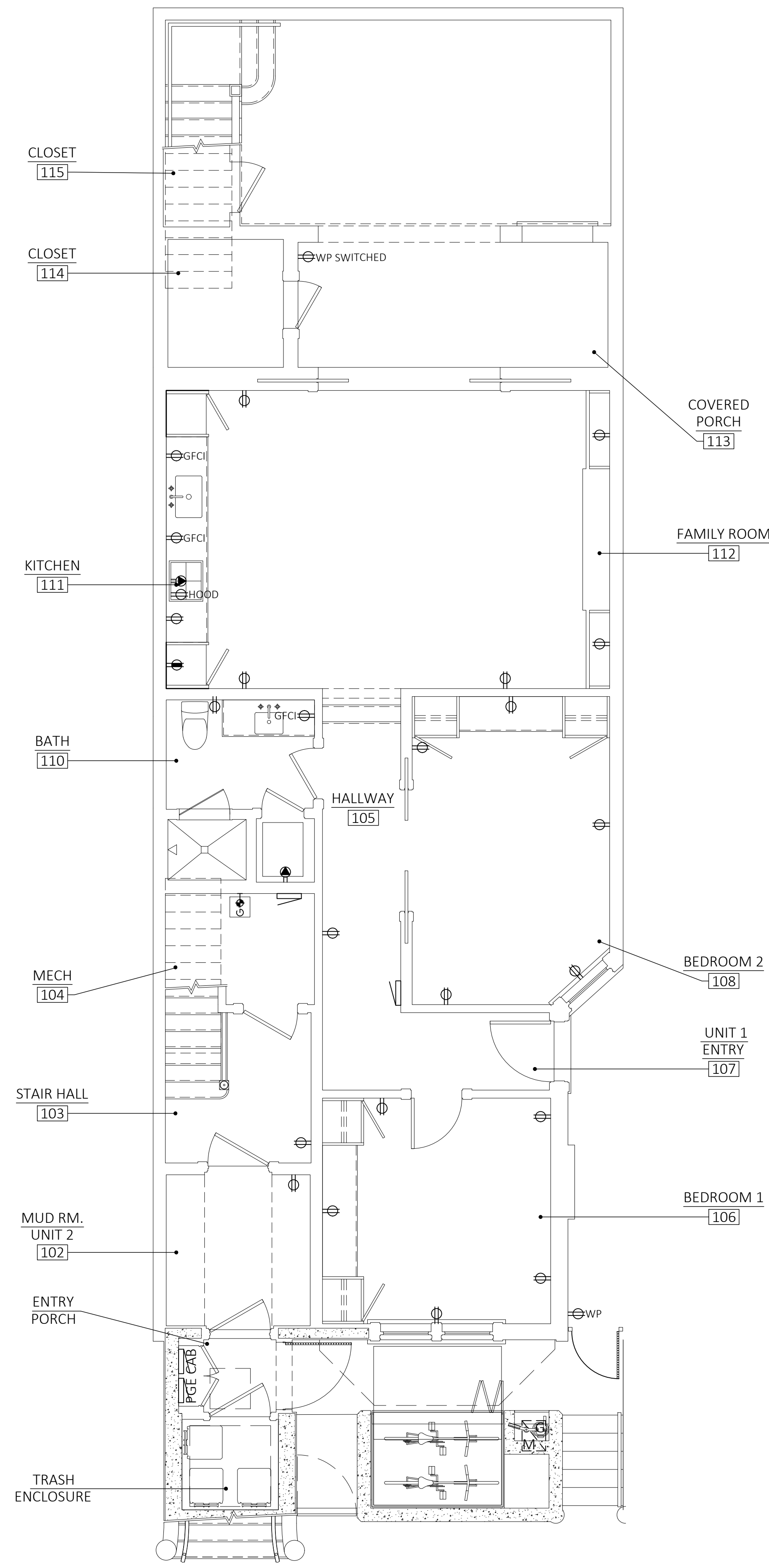
714 STEINER STREET, SAN FRANCISCO, CA 94117



FIRST FLOOR PLAN - LIGHTING

1/4" = 1'-0"

2



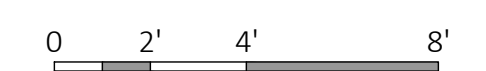
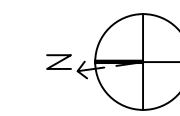
FIRST FLOOR PLAN - POWER

1/4" = 1'-0"

1

GENERAL NOTES

- 1 SEE SHEET A7.0 FOR DRAWING LEGEND



ISSUANCE	DATE
CofA/VARIANCE	05.26.21
BUILDING PERMIT	03.29.21
MILLS ACT APP.	05.26.21
PLAN CHECK	08.24.21
RESPONCE	

JOB # 2004

FIRST FLOOR PLAN -
POWER AND LIGHTING

A7.1

SCALE: 1/4" = 1'-0"

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CULVER RESIDENCE
714 STEINER STREET, SAN FRANCISCO, CA 94117

ISSUANCE	DATE
CofA/VARIANCE	05.26.21
BUILDING PERMIT	03.29.21
MILLS ACT APP.	05.26.21
PLAN CHECK	08.24.21
RESPONCE	

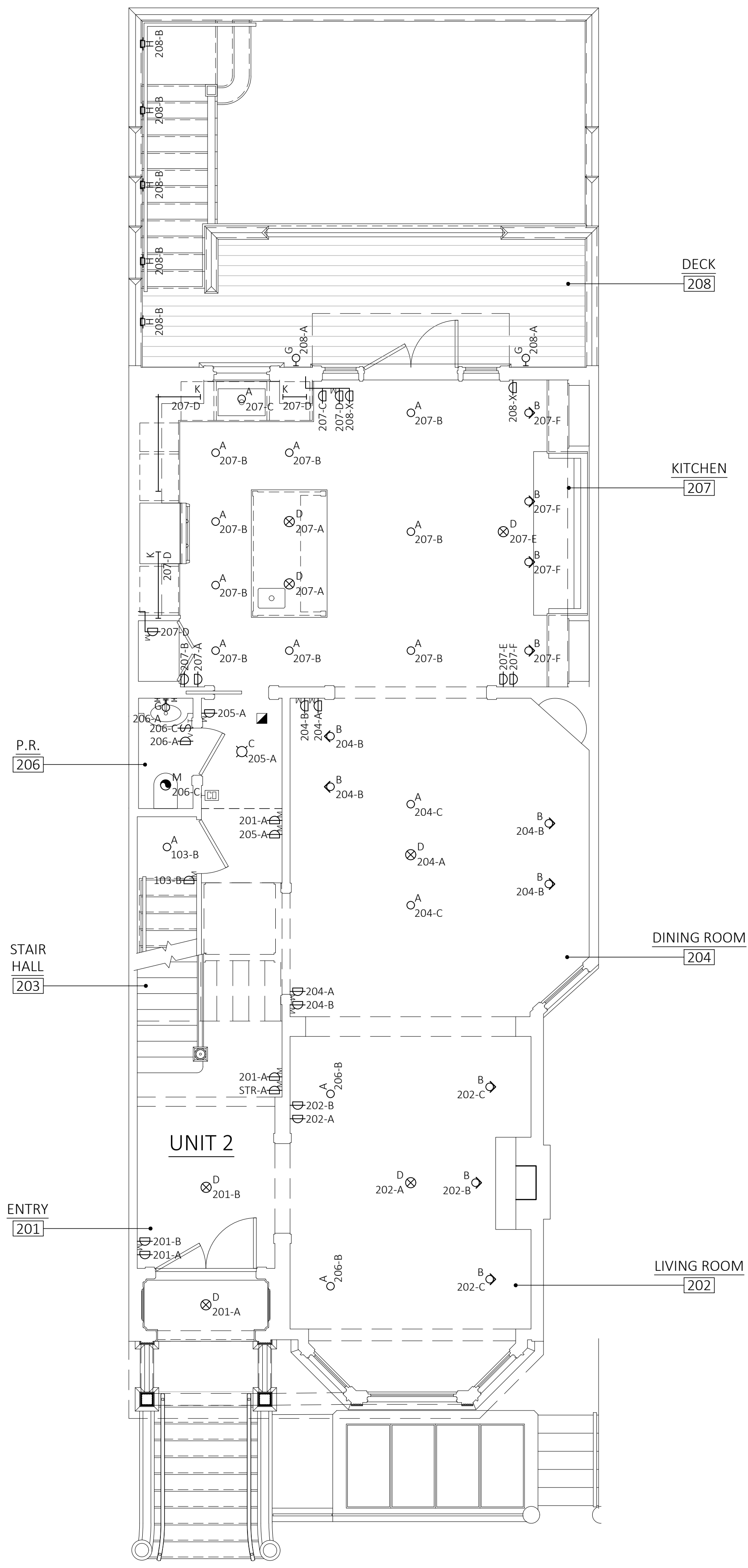
JOB # 2004

SECOND FLOOR PLAN -
POWER AND LIGHTING

A7.2

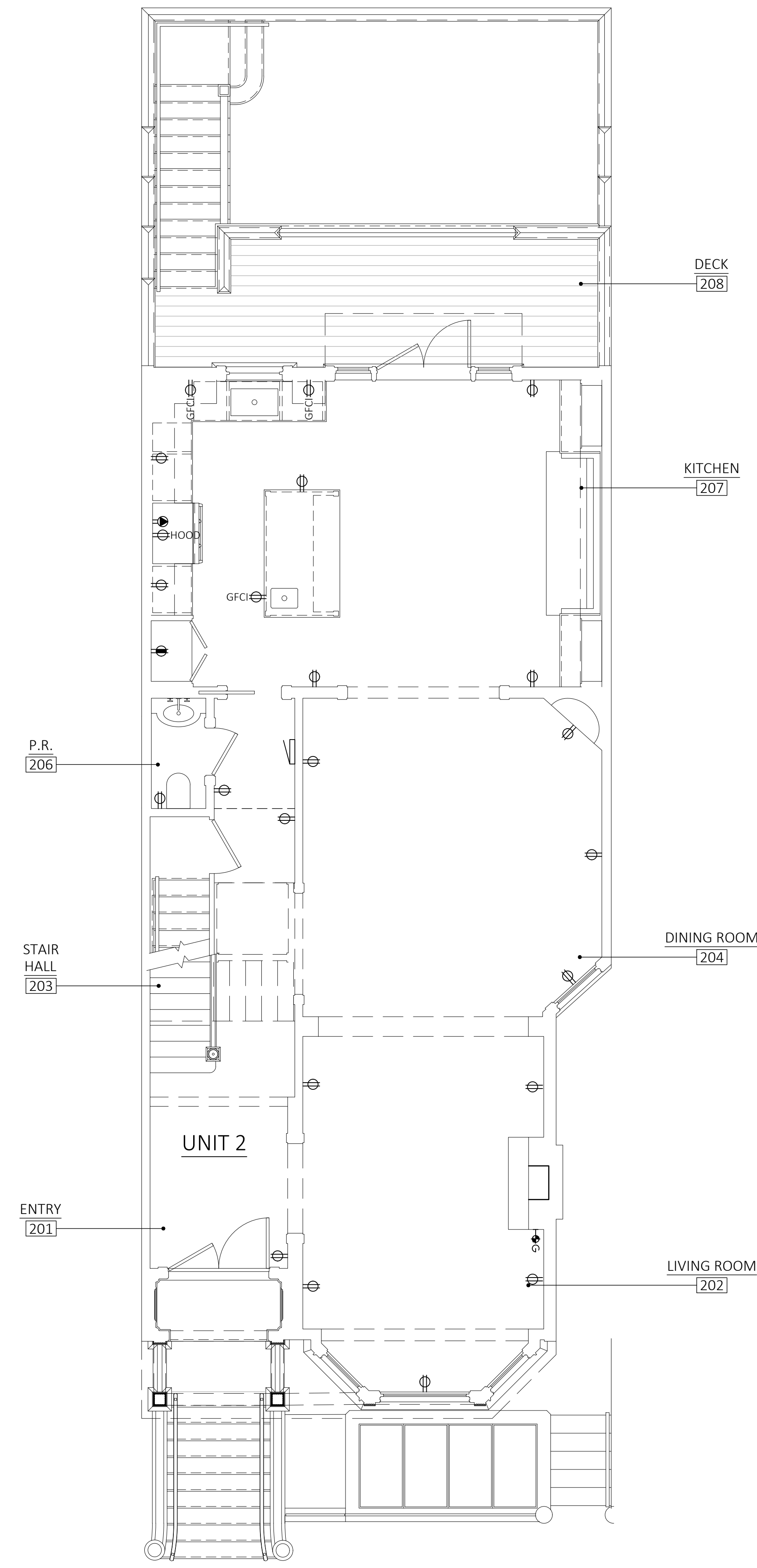
SCALE: 1/4" = 1'-0"

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SECOND FLOOR PLAN - LIGHTING

1/4" = 1'-0" 2

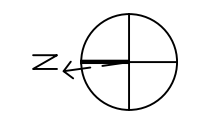


SECOND FLOOR PLAN - POWER

1/4" = 1'-0" 1

GENERAL NOTES

- SEE SHEET A7.0 FOR DRAWING LEGEND





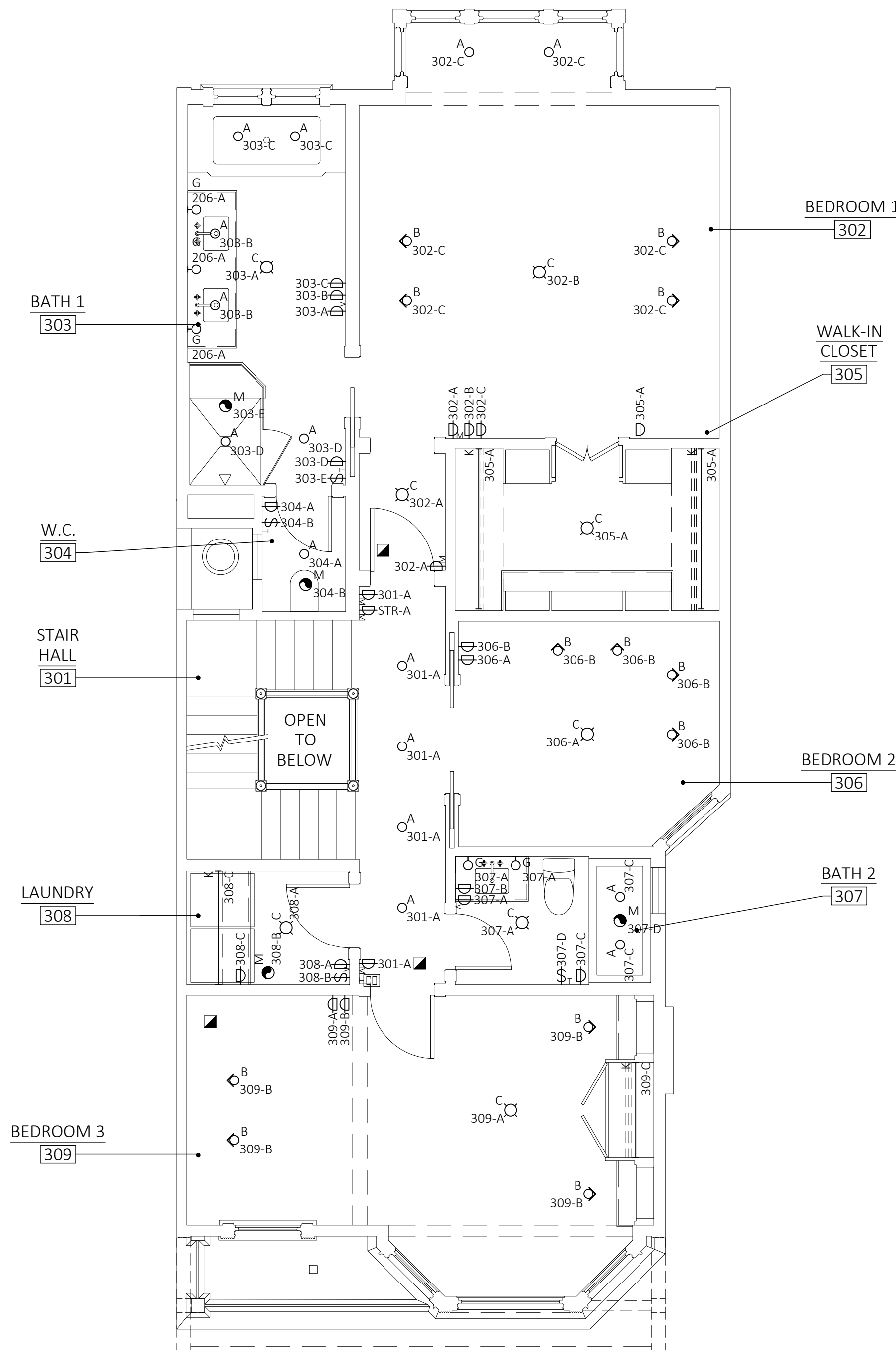
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CULVER RESIDENCE

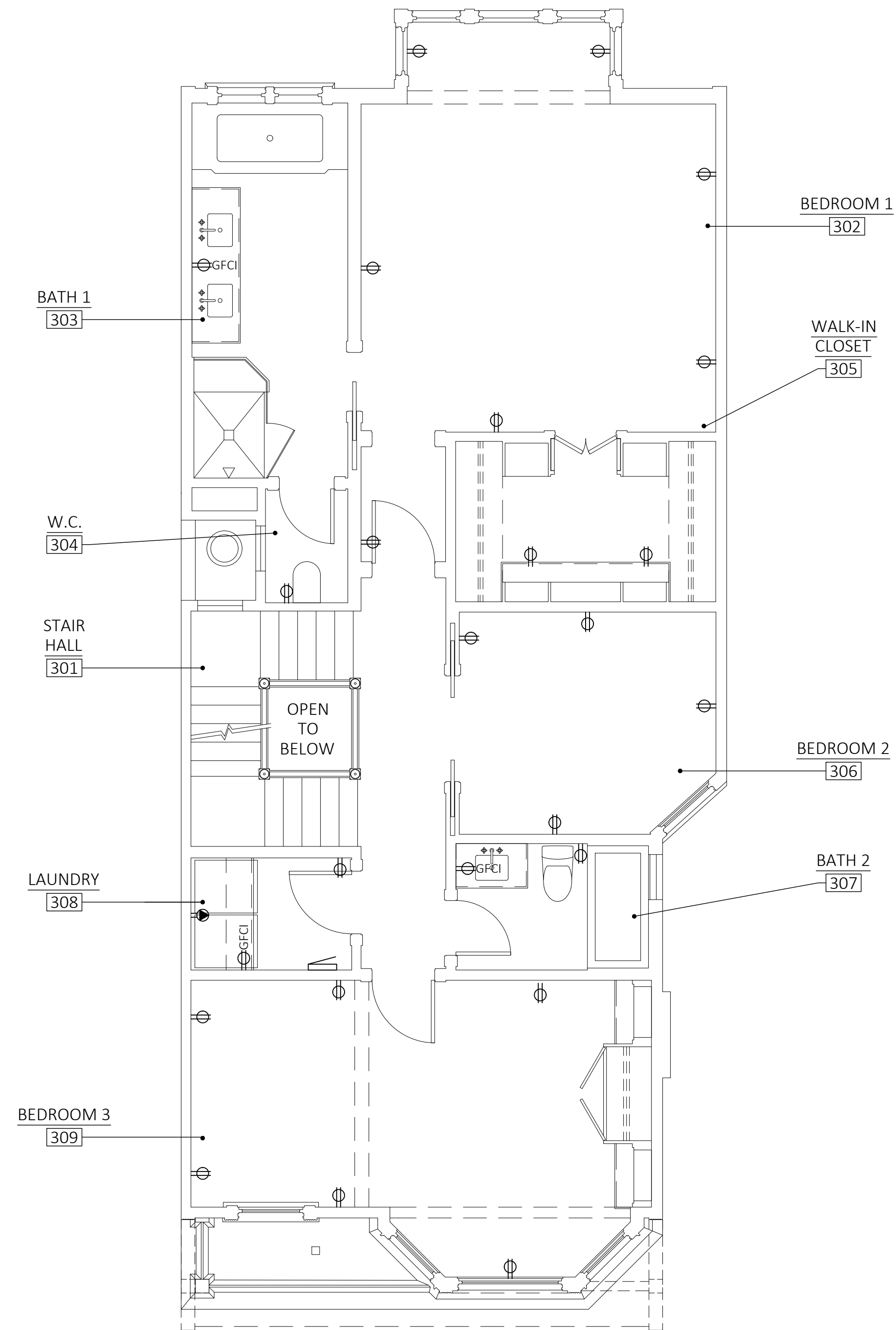
714 STEINER STREET, SAN FRANCISCO, CA 94117



THIRD FLOOR PLAN - LIGHTING

1/4" = 1'-0"

2

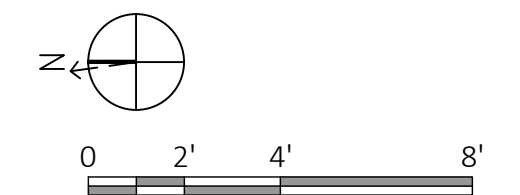


THIRD FLOOR PLAN - POWER

1/4" = 1'-0"

1

GENERAL NOTES
1 SEE SHEET A7.0 FOR DRAWING LEGEND



ISSUANCE	DATE
CofA/VARIANCE	05.26.21
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RESPONCE	

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THIRD FLOOR PLAN - POWER AND LIGHTING

A7.3

SCALE: 1/4" = 1'-0"

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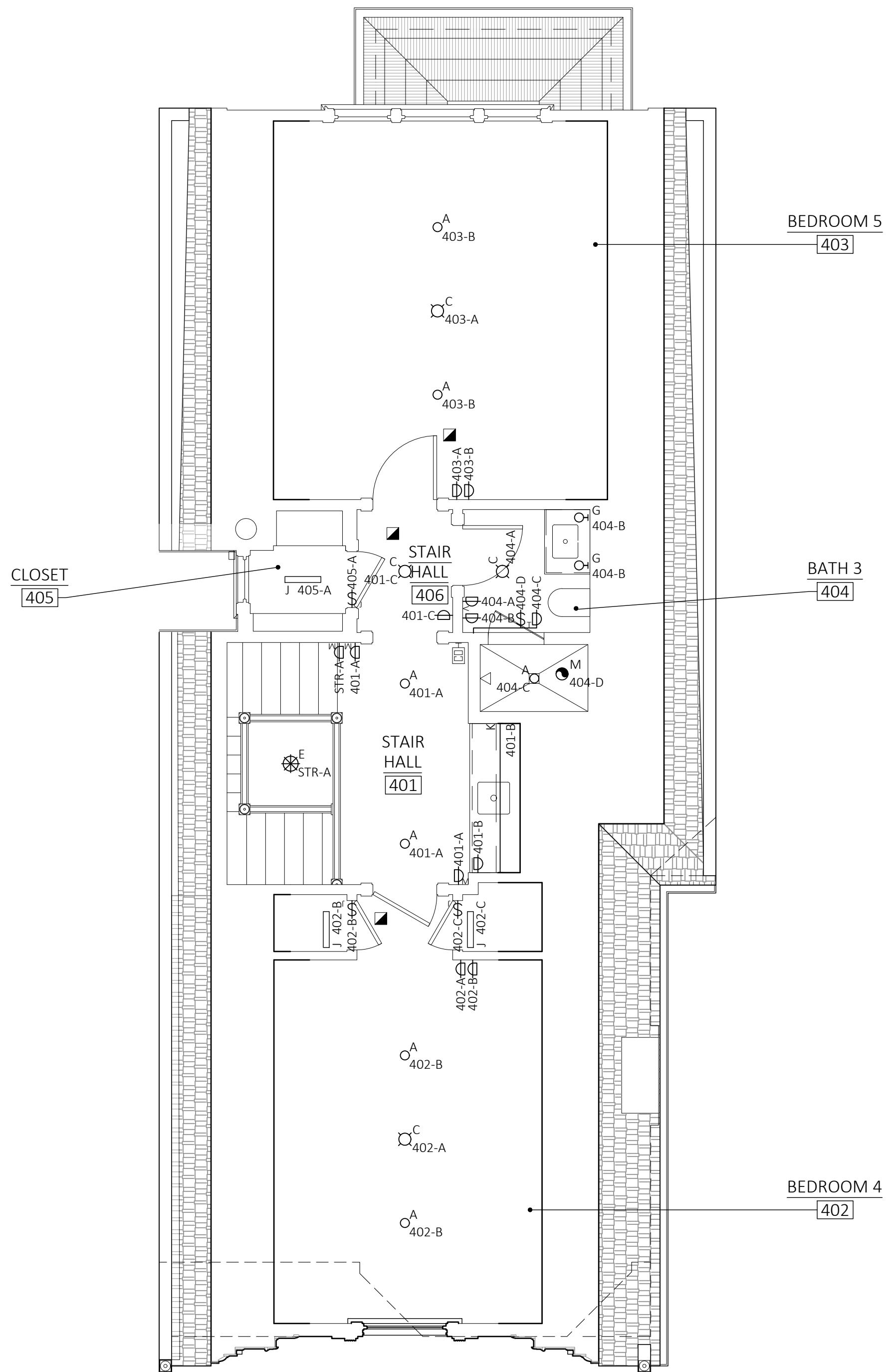
DAVID ARMOUR ARCHITECTURE

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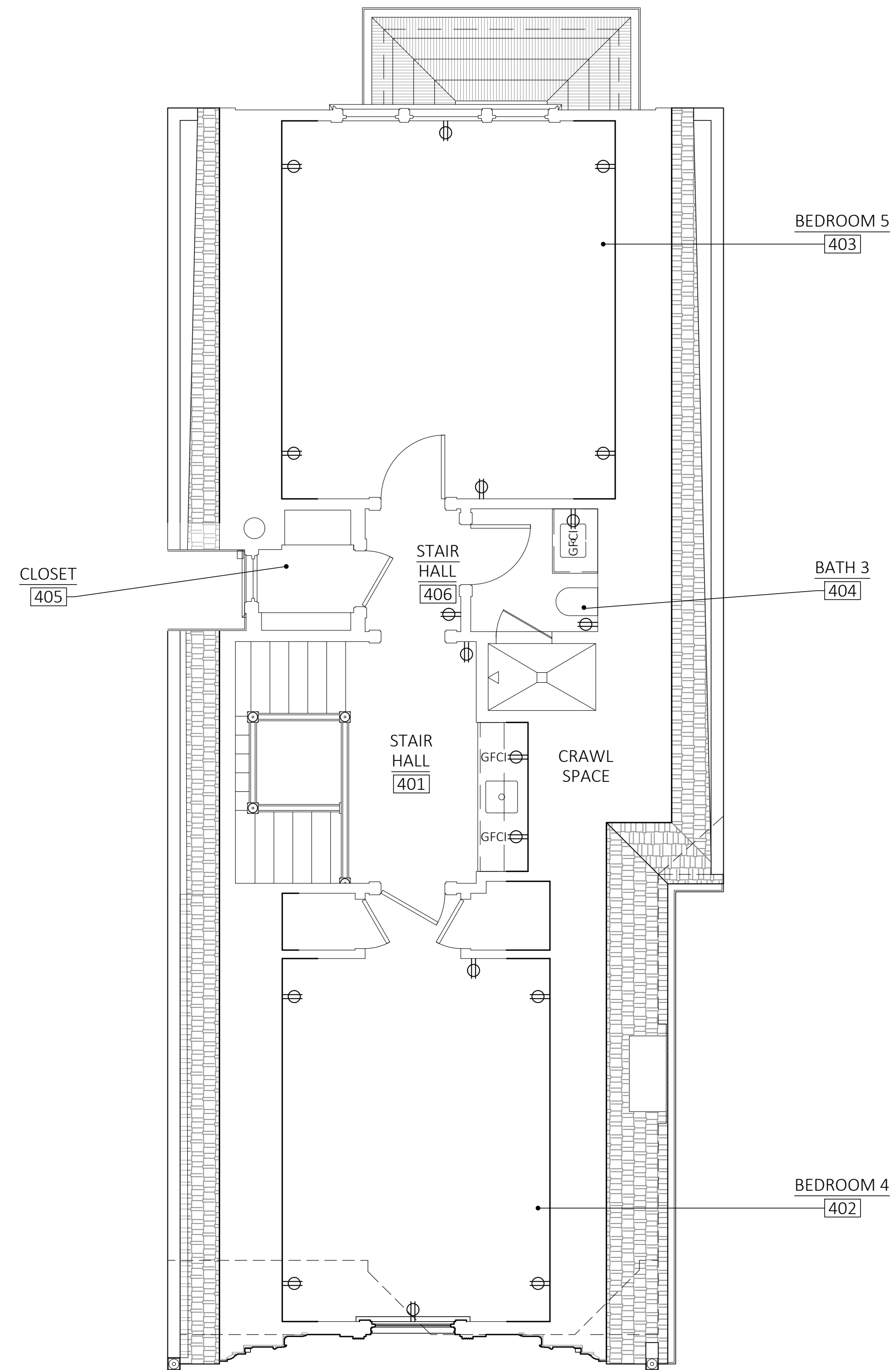


CULVER RESIDENCE
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ISSUANCE	DATE
CofA/VARIANCE	05.26.21
BUILDING PERMIT	03.29.21
MILLS ACT APP.	05.26.21
PLAN CHECK	08.24.21
RESPONCE	
JOB #	2004
FOURTH FLOOR PLAN - POWER AND LIGHTING	
A7.4	
SCALE: 1/4" = 1'-0"	

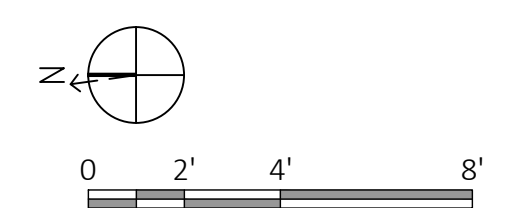


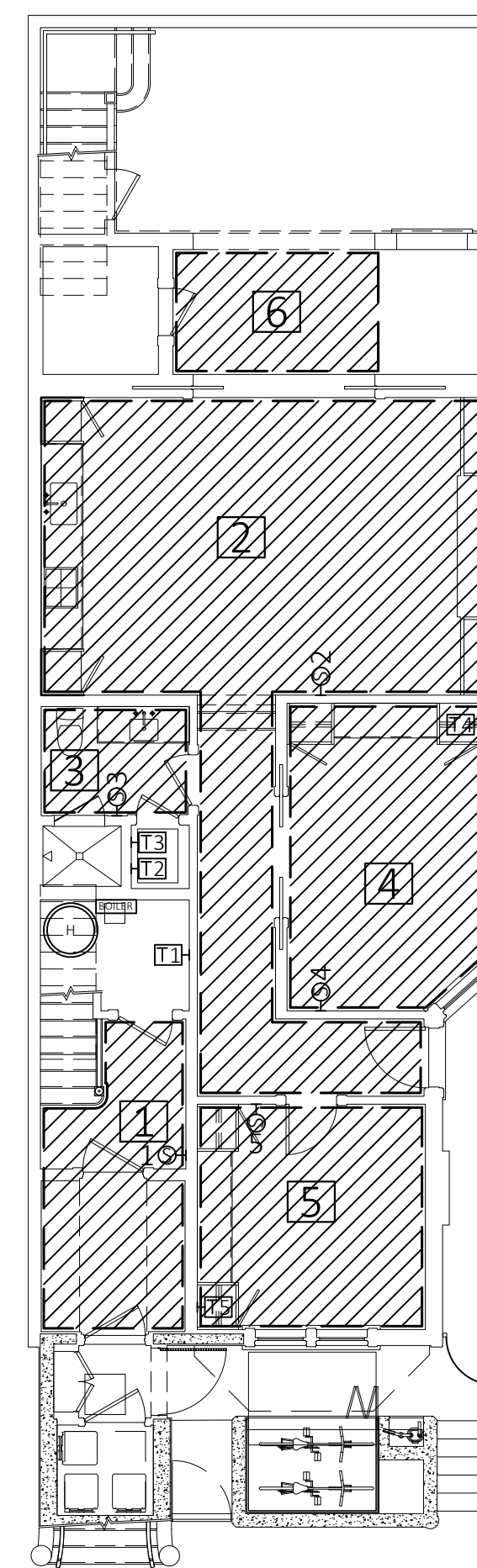
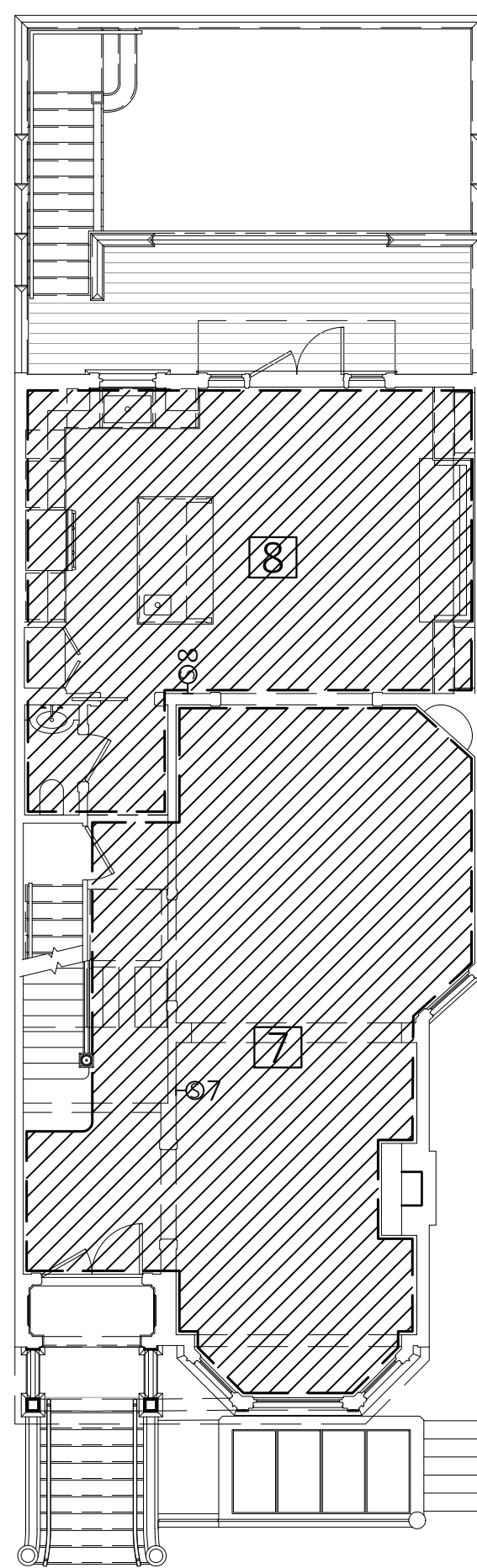
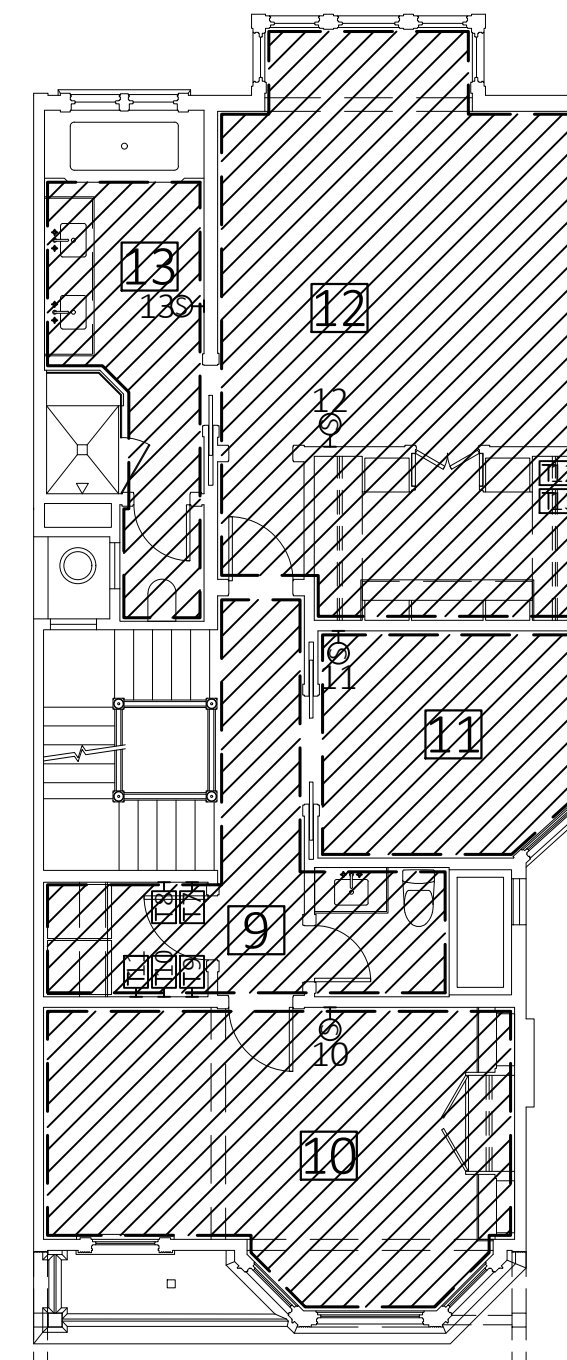
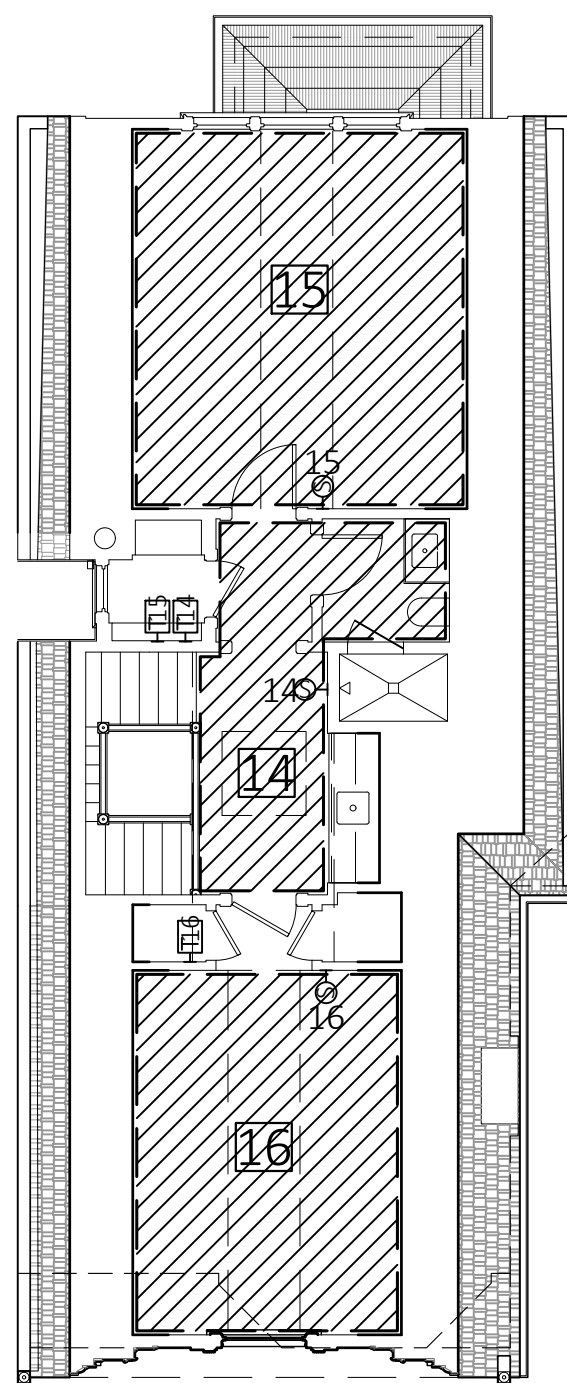
FOURTH FLOOR PLAN - LIGHTING
1/4" = 1'-0" 2



FOURTH FLOOR PLAN - POWER
1/4" = 1'-0" 1

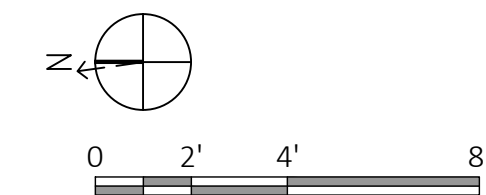
GENERAL NOTES
1 SEE SHEET A7.0 FOR DRAWING LEGEND



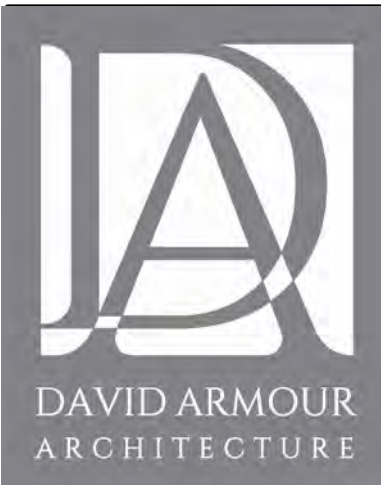


FLOOR PLANS - HYDRONIC HEATING ZONE 1

1/8" = 1'-0"



GENERAL NOTES
 1 SEE SHEET A7.0 FOR DRAWING LEGEND



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CULVER RESIDENCE
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ISSUANCE	DATE
CofA/VARIANCE	05.26.21
BUILDING PERMIT	03.29.21
MILLS ACT APP.	05.26.21
PLAN CHECK	08.24.21
RESPONCE	

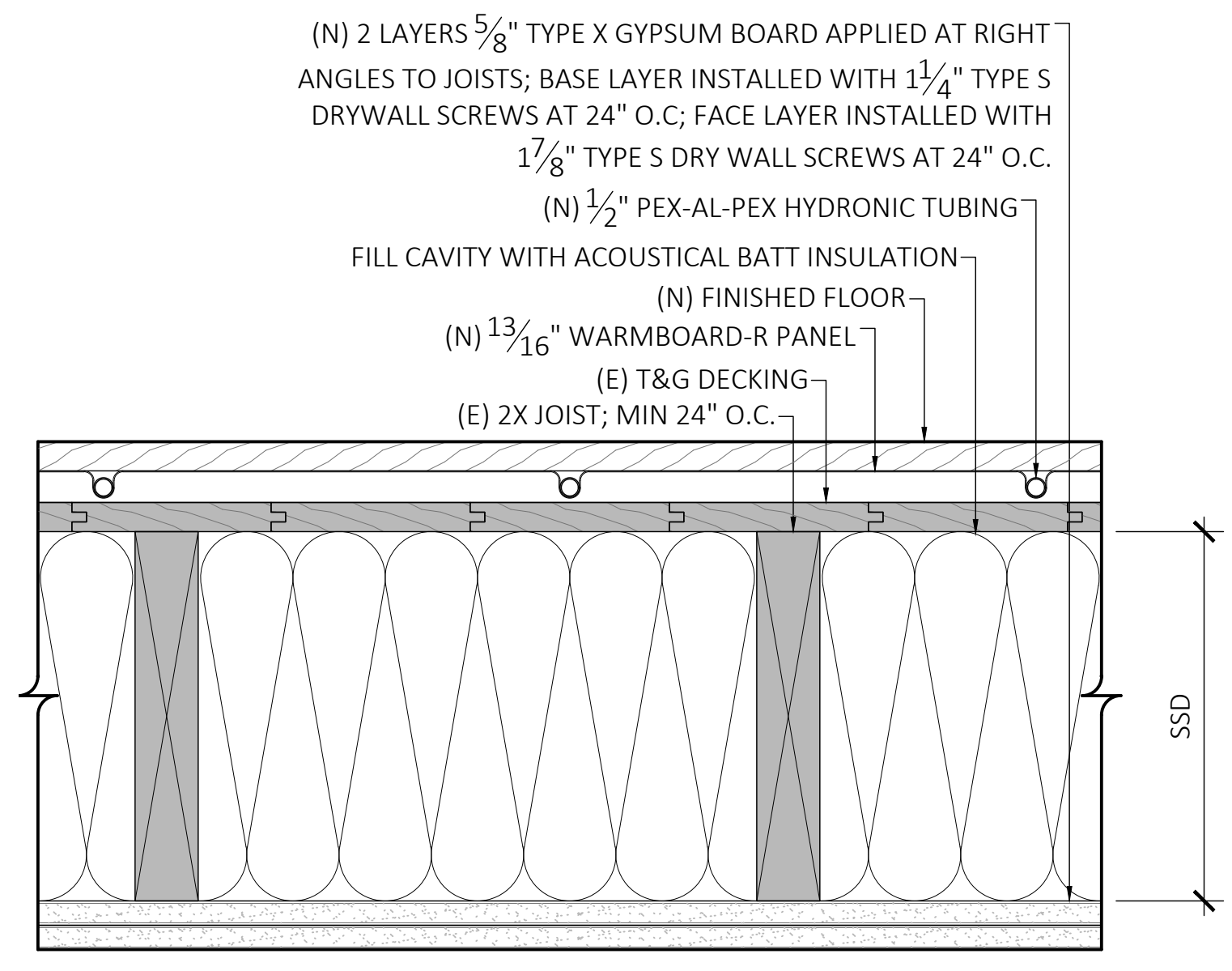
JOB # 2004

HYDRONIC PLANS

A7.5

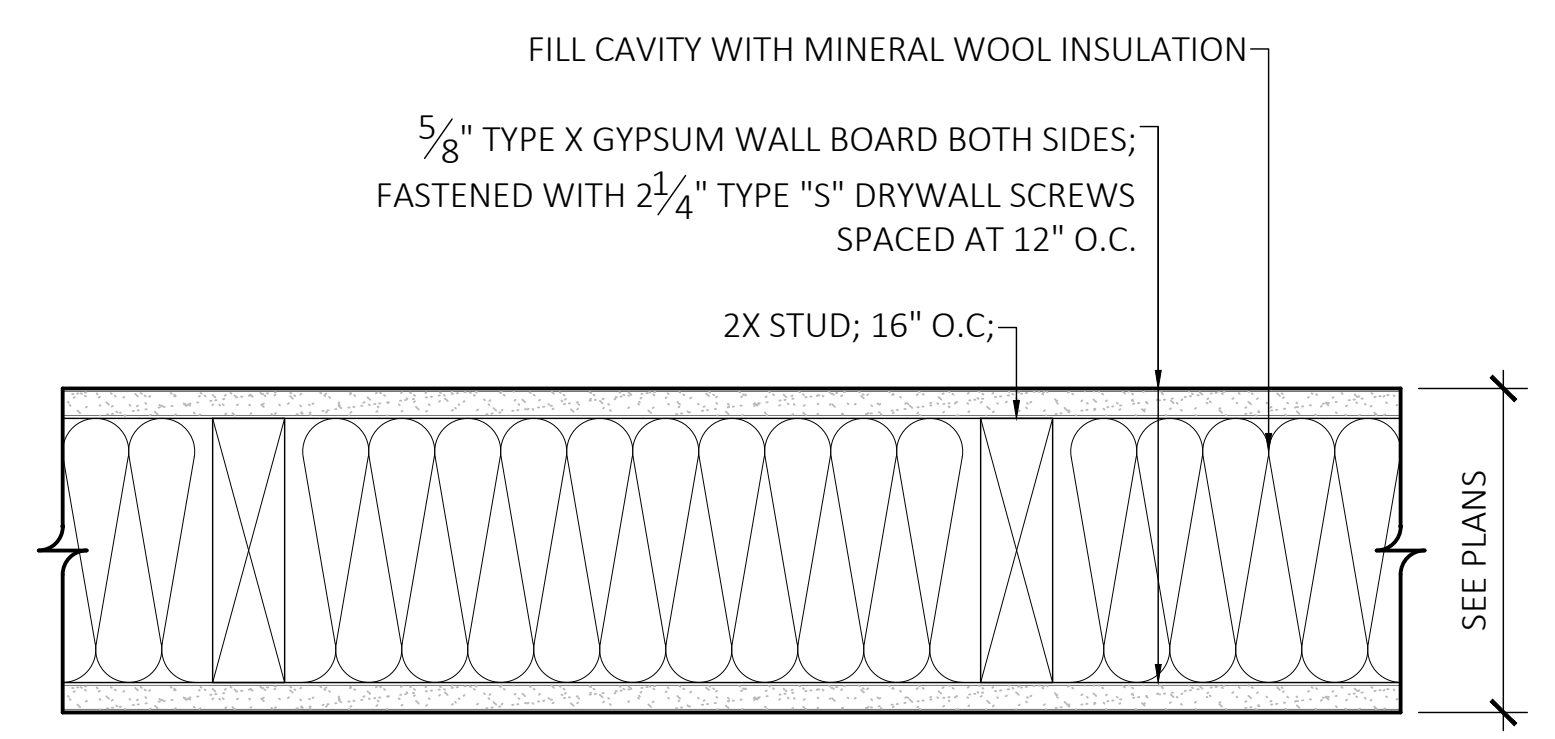
SCALE: 1/8" = 1'-0"

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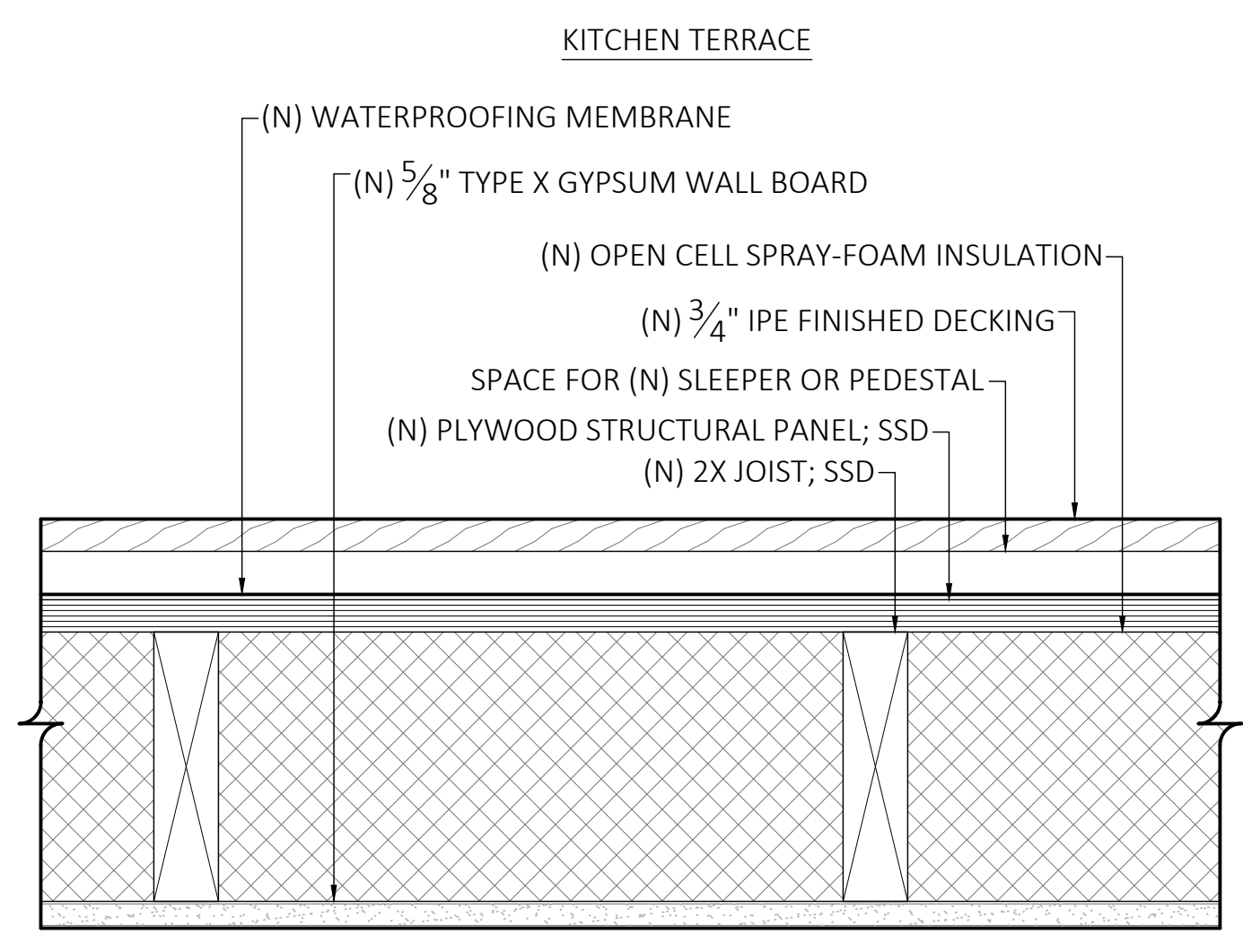
F-6 REFERENCE: CBC 721.1(3) 21-1.1

INTERIOR FLOOR ASSEMBLY 12
3" = 1'-0"



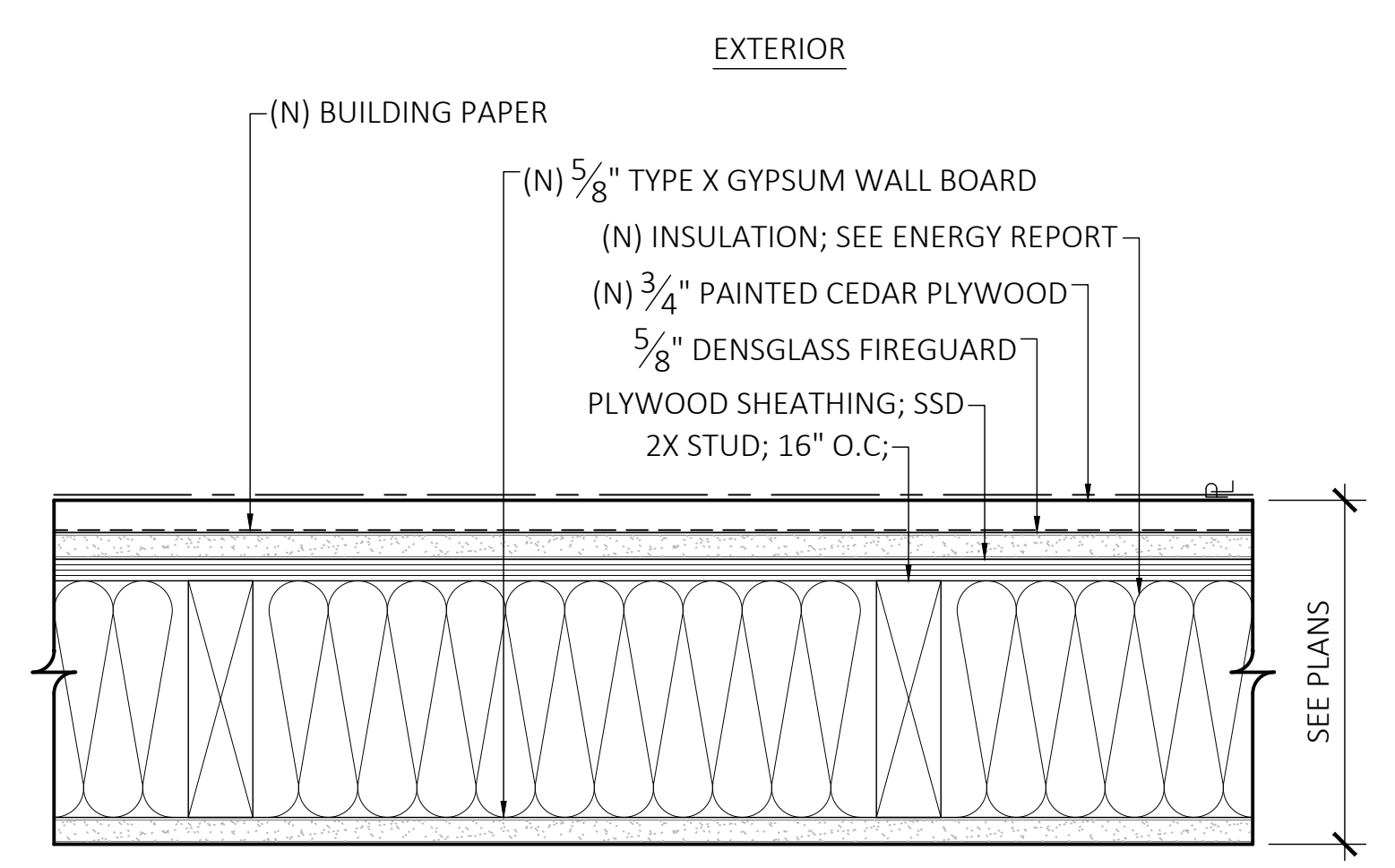
W-6 REFERENCE: (2X4 STUDS) CBC 721.1(2) 15-1.15; (2X6 STUDS) CBC 721.1(2) 15-1.12

INTERIOR WALL ASSEMBLY 9
3" = 1'-0"



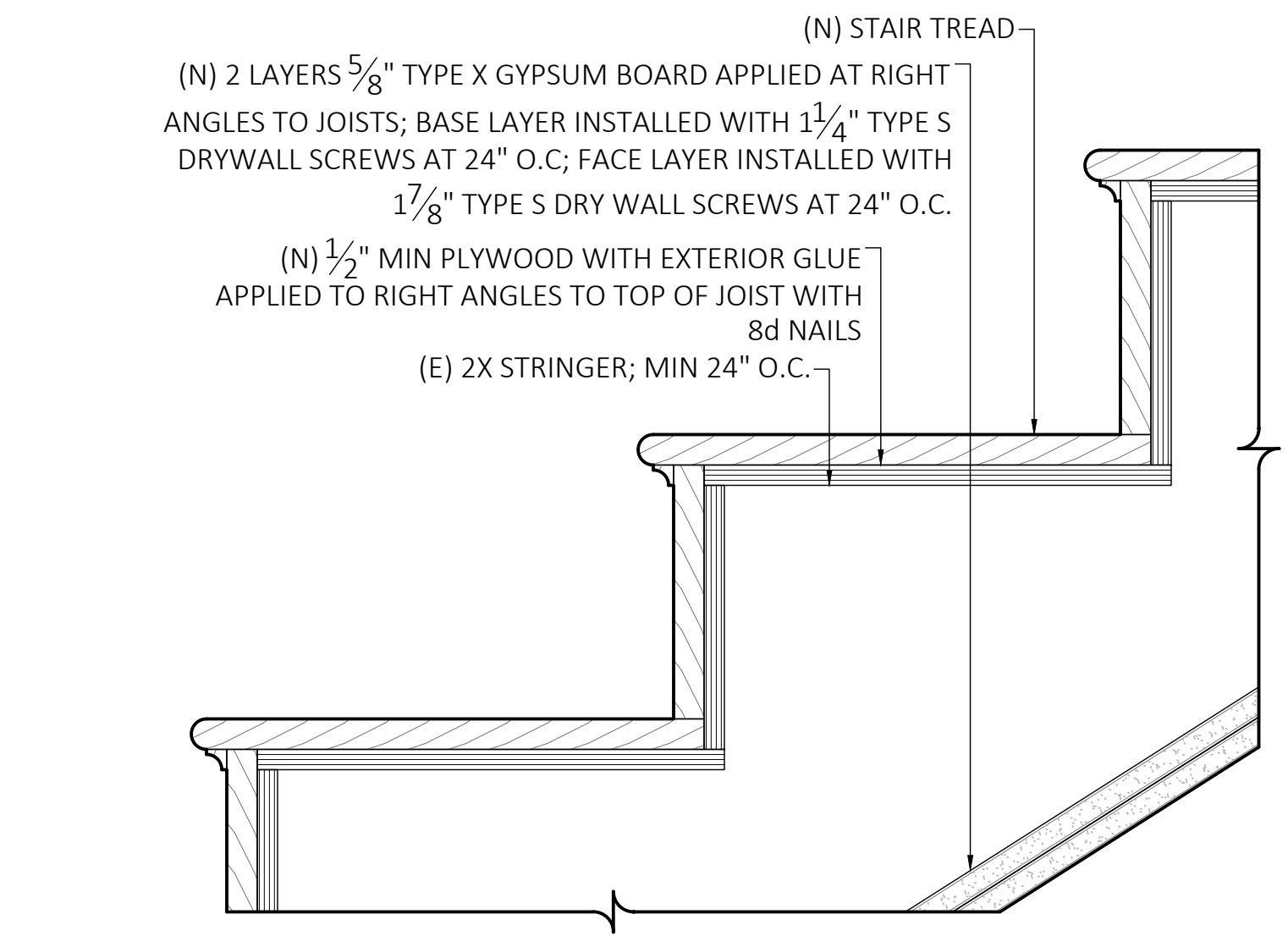
F-3

EXTERIOR FLOOR ASSEMBLY 6
3" = 1'-0"



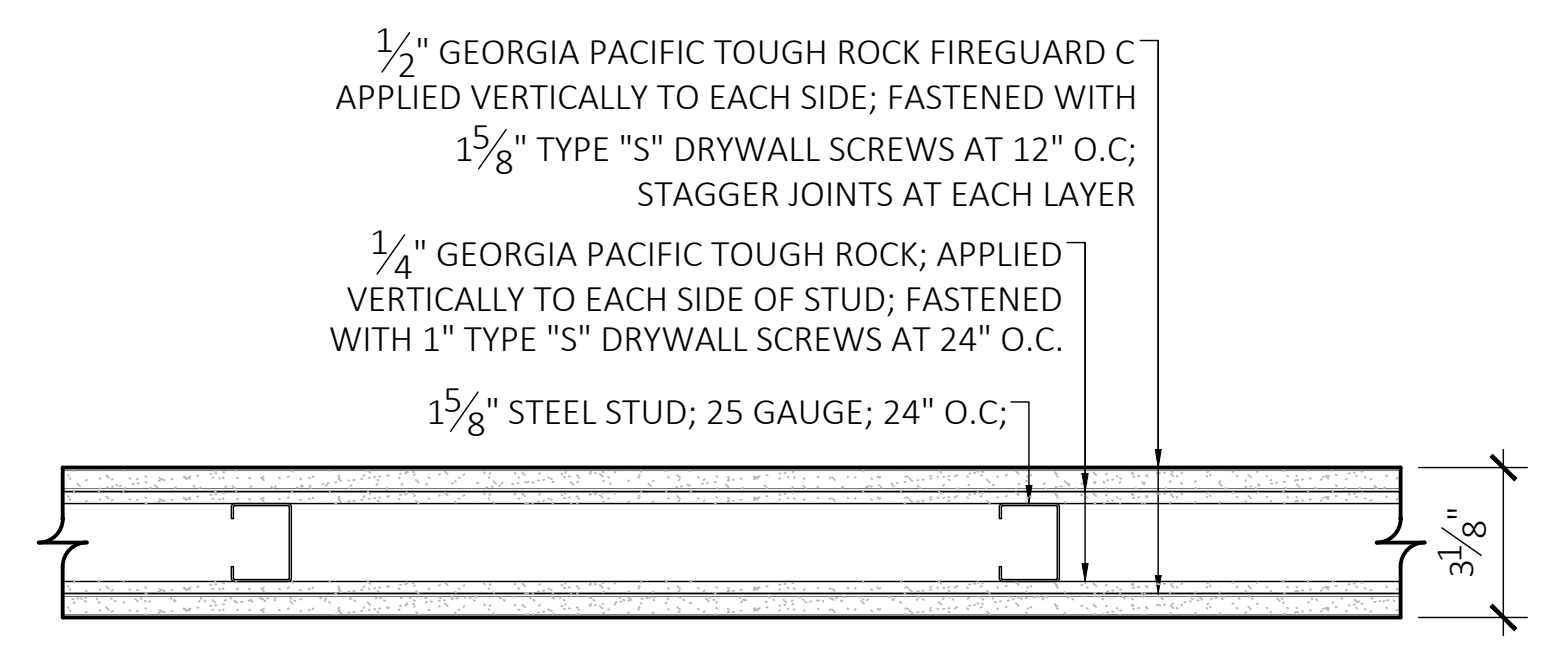
W-3 REFERENCE: 1 HR.-RATED WALL PER CBC 721.1(2) ITEM 15-1.13

EXTERIOR WALL ASSEMBLY 3
3" = 1'-0"



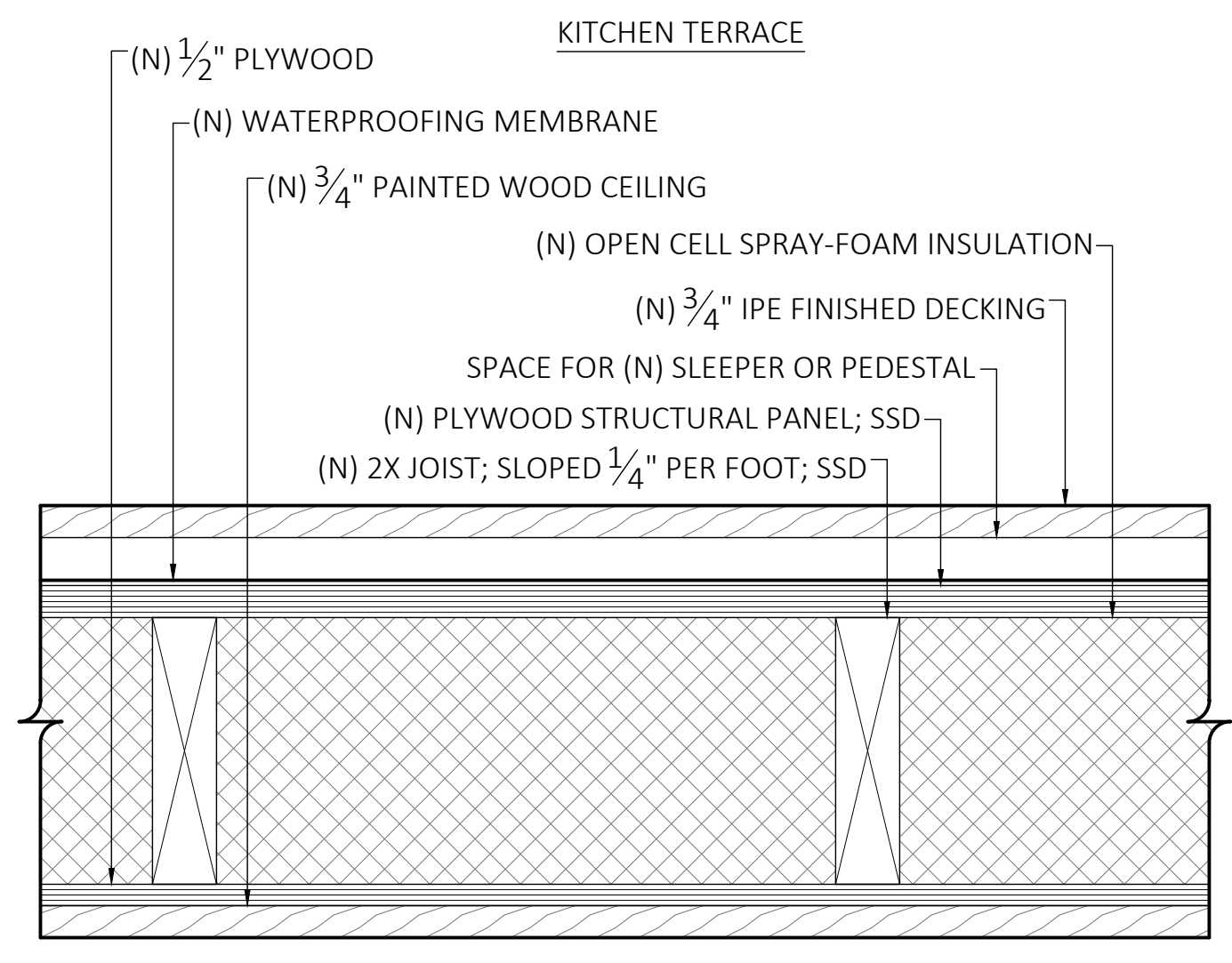
F-5 REFERENCE: CBC 721.1(3) 21-1.1

INTERIOR FLOOR ASSEMBLY 11
3" = 1'-0"



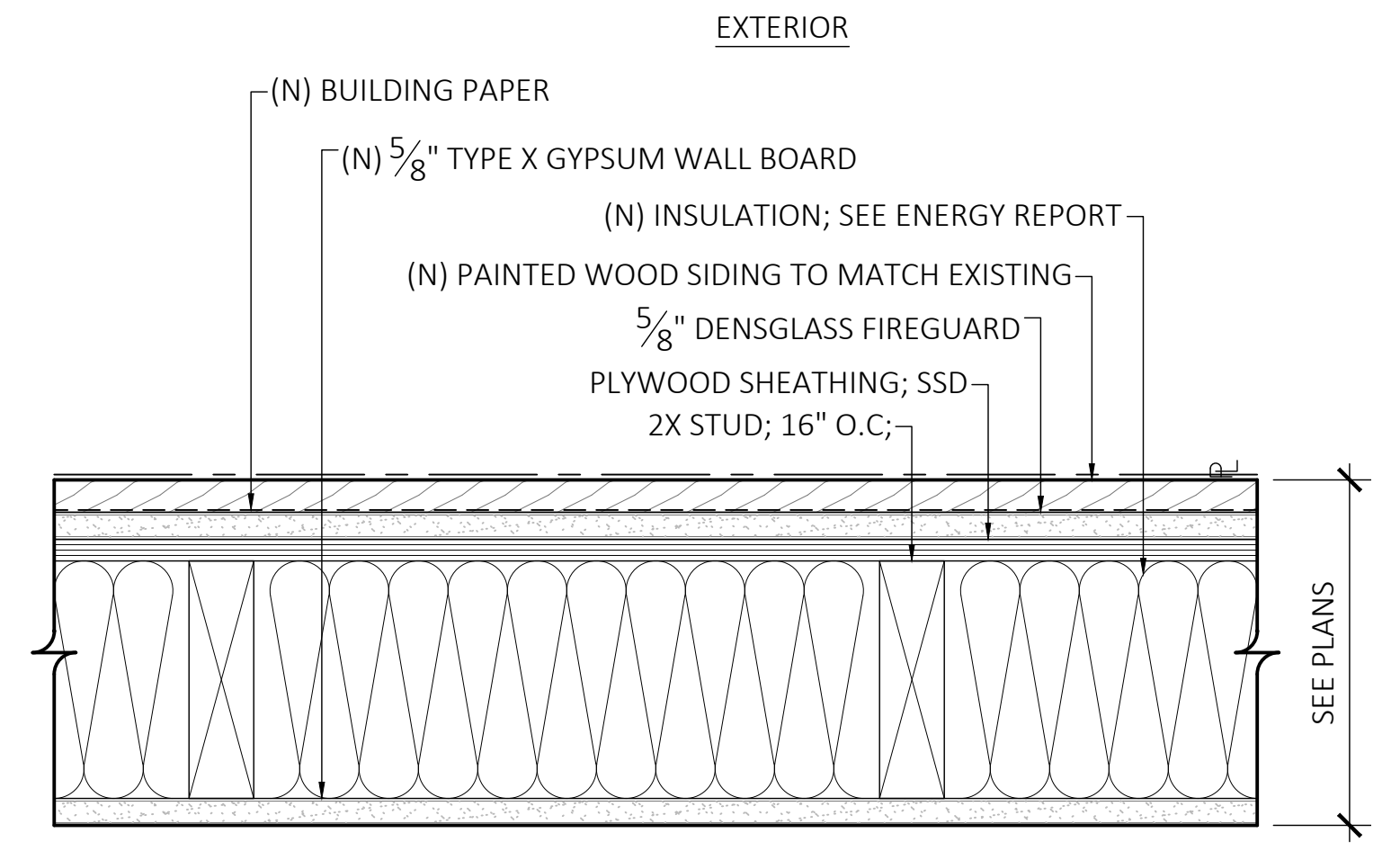
W-5 REFERENCE: GEORGIA PACIFIC FIRE TEST GA WP 1429

INTERIOR WALL ASSEMBLY 8
3" = 1'-0"



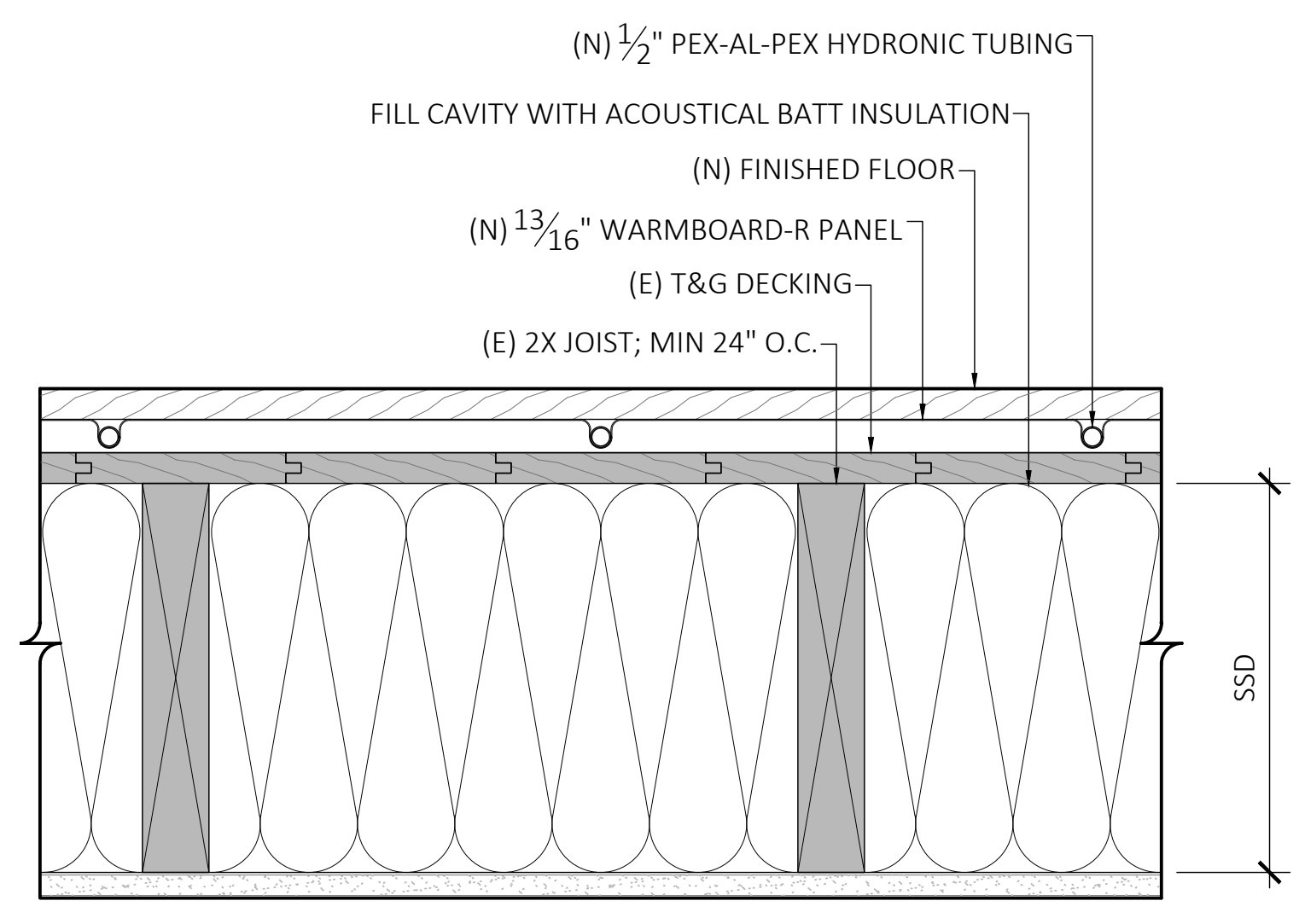
F-2

EXTERIOR FLOOR ASSEMBLY 5
3" = 1'-0"



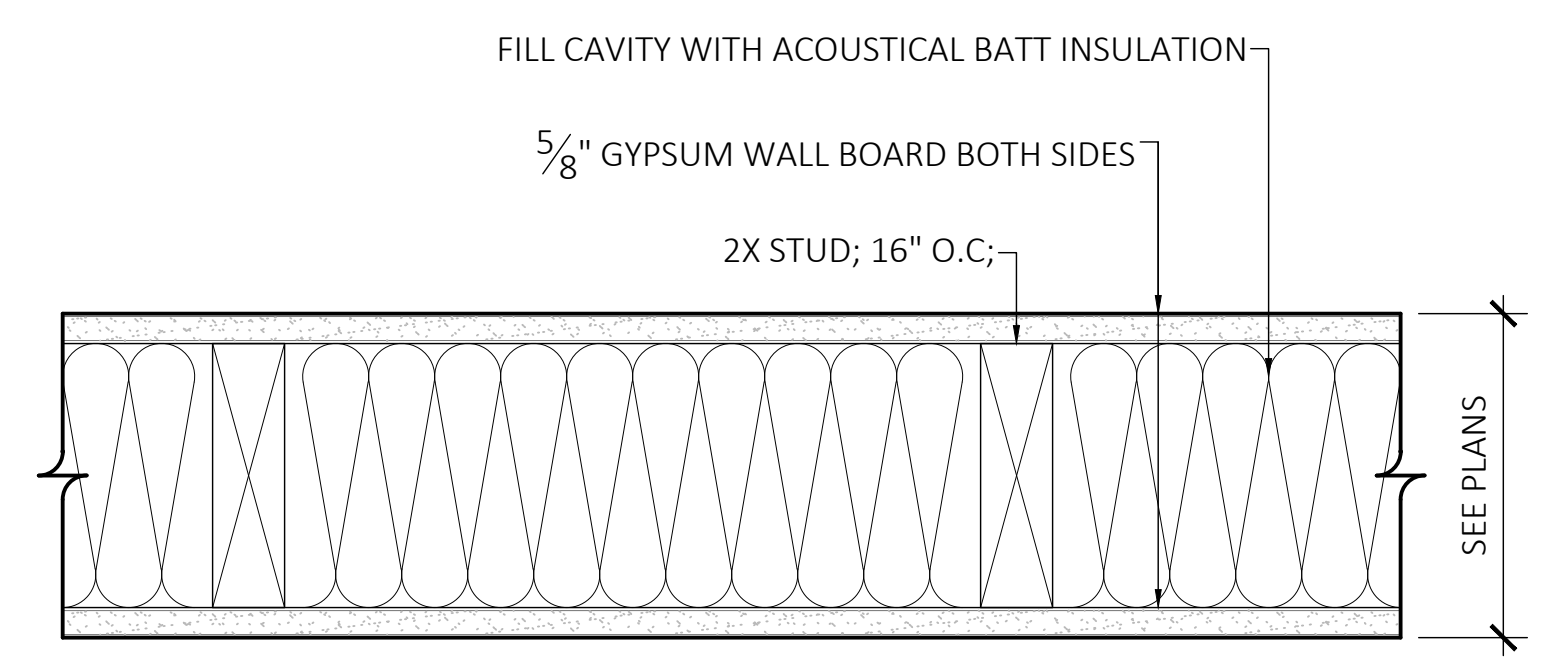
W-2 REFERENCE: 1 HR.-RATED WALL PER CBC 721.1(2) ITEM 15-1.13

EXTERIOR WALL ASSEMBLY 2
3" = 1'-0"



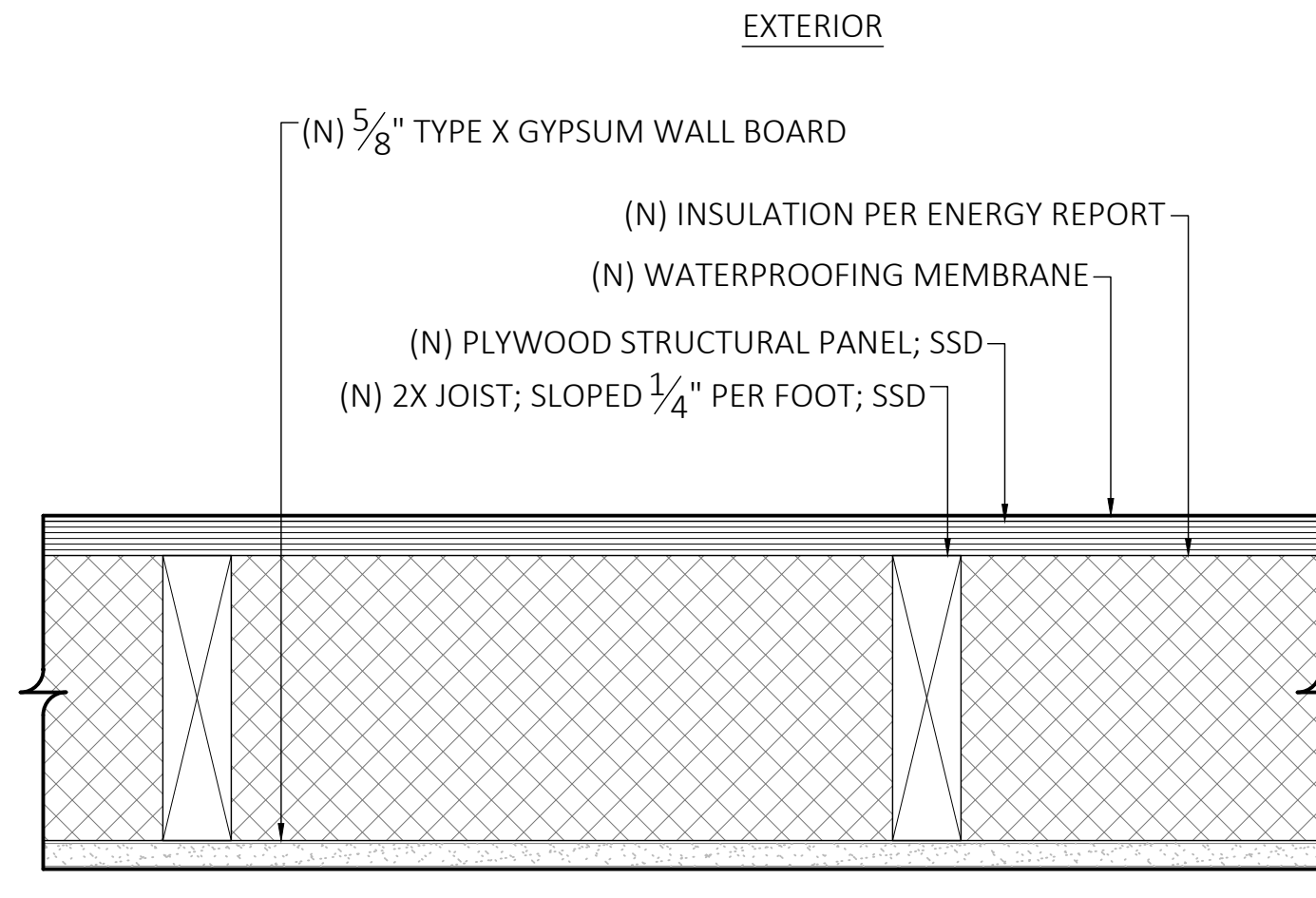
F-4

INTERIOR FLOOR ASSEMBLY 10
3" = 1'-0"



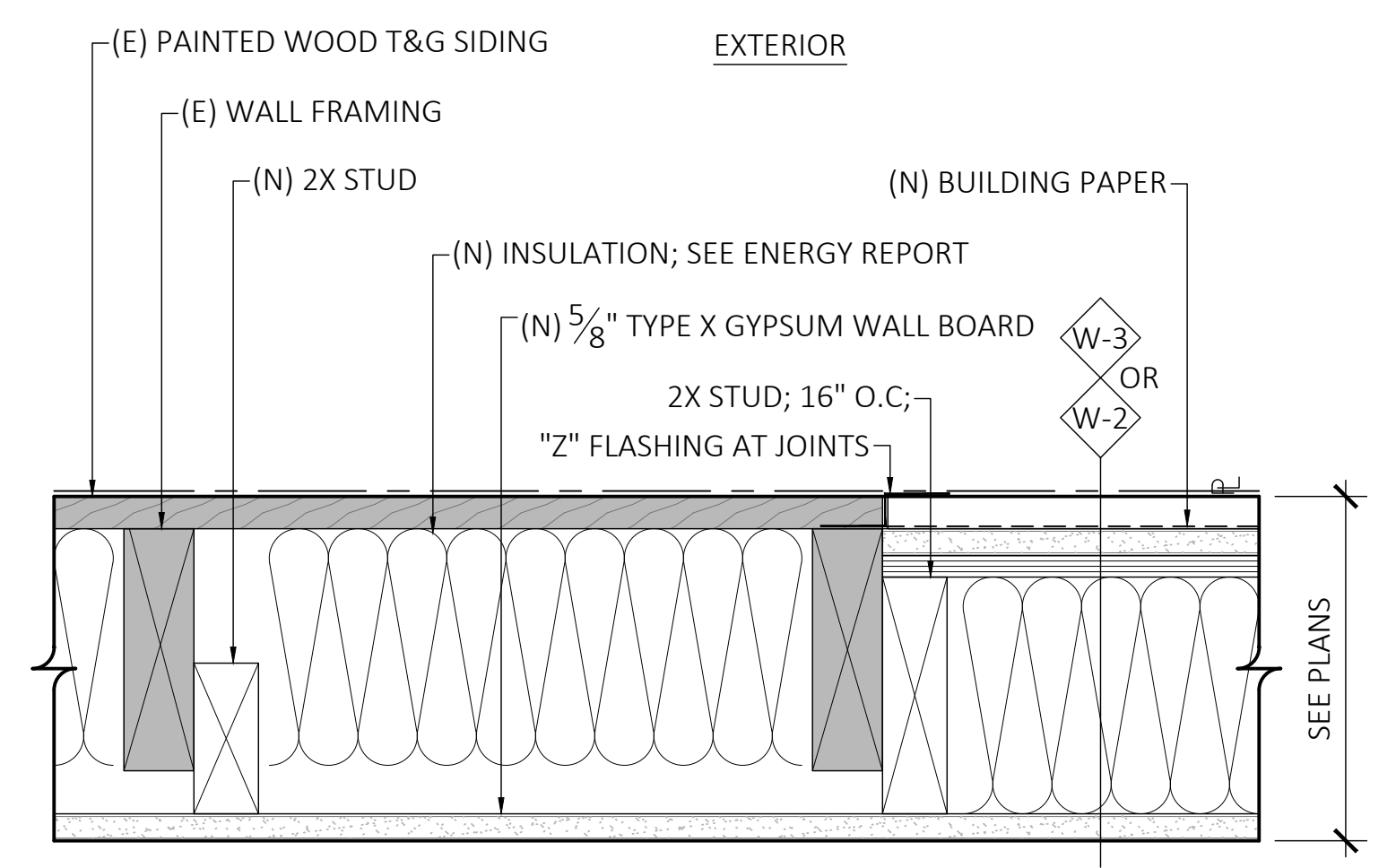
W-4

INTERIOR WALL ASSEMBLY 7
3" = 1'-0"



F-1

EXTERIOR FLOOR ASSEMBLY 4
3" = 1'-0"



W-1

EXTERIOR WALL ASSEMBLY 1
3" = 1'-0"

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RESPONSE	

JOB # 2004

ASSEMBLY DETAILS

A8.2.1

SCALE: 3" = 1'-0"

ISSUANCE	DATE
CoFA/VARIANCE	05.26.21
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RESPONCE	

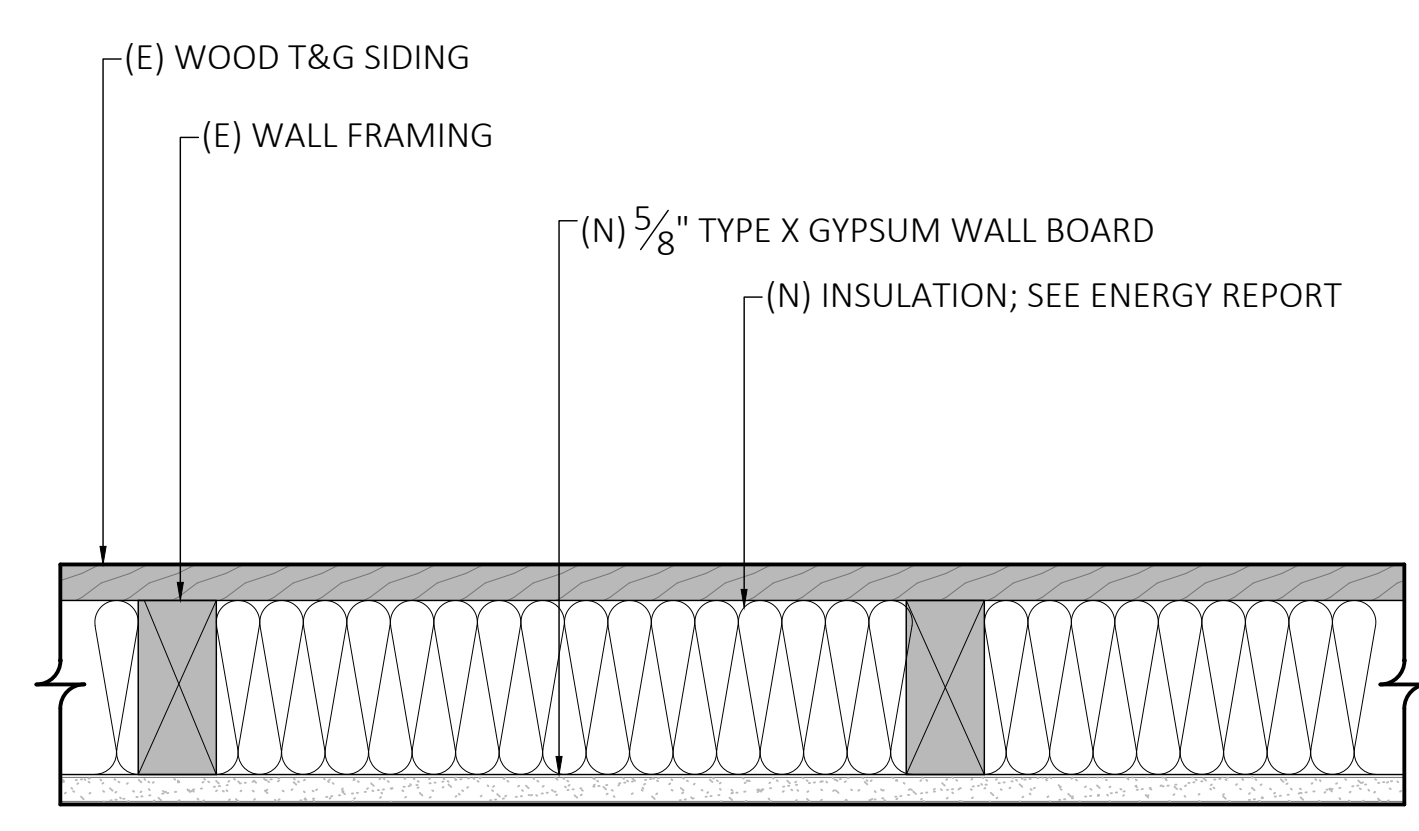
JOB # 2004

ASSEMBLY DETAILS

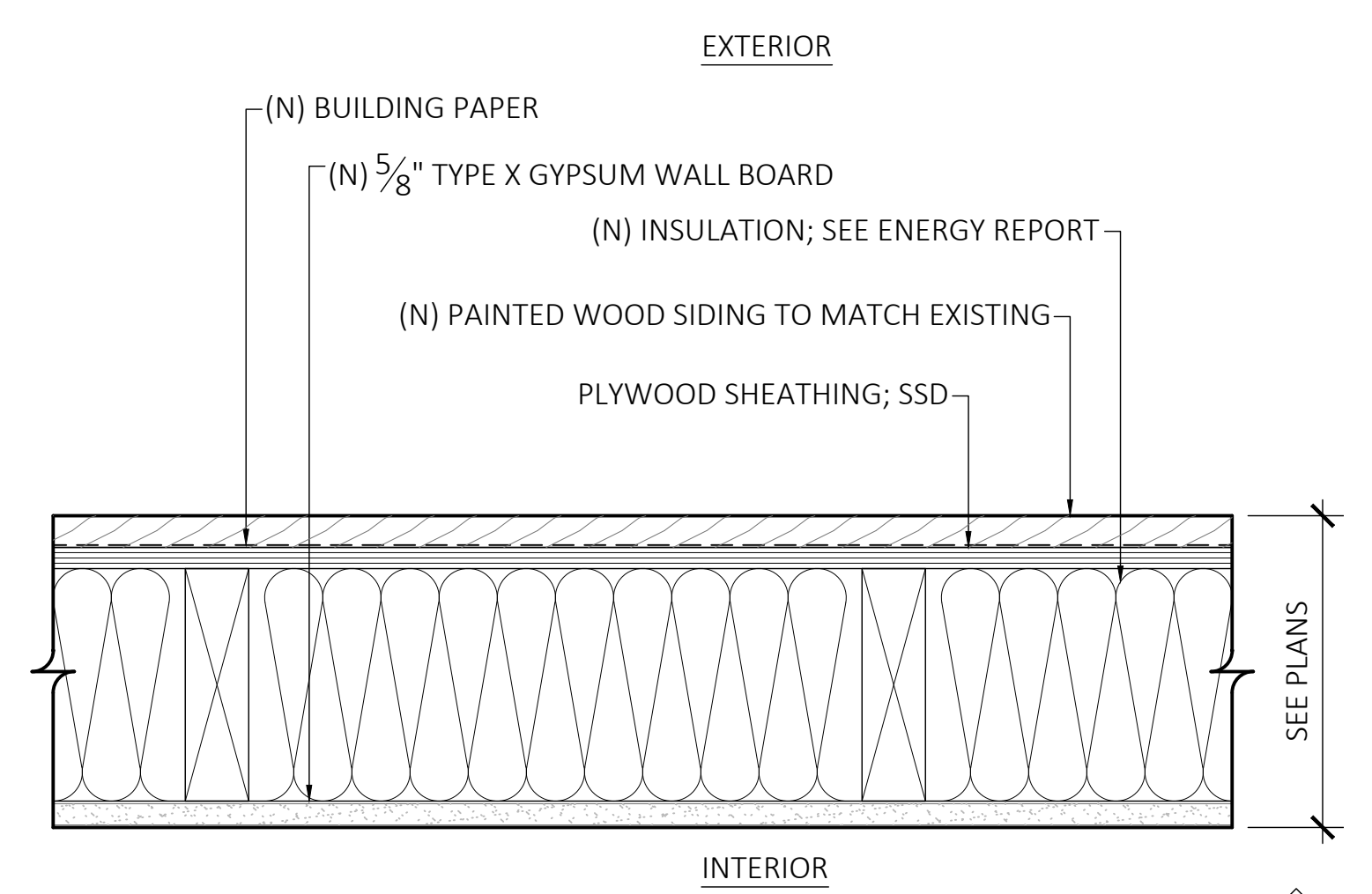
A8.2.2

SCALE: 3" = 1'-0"

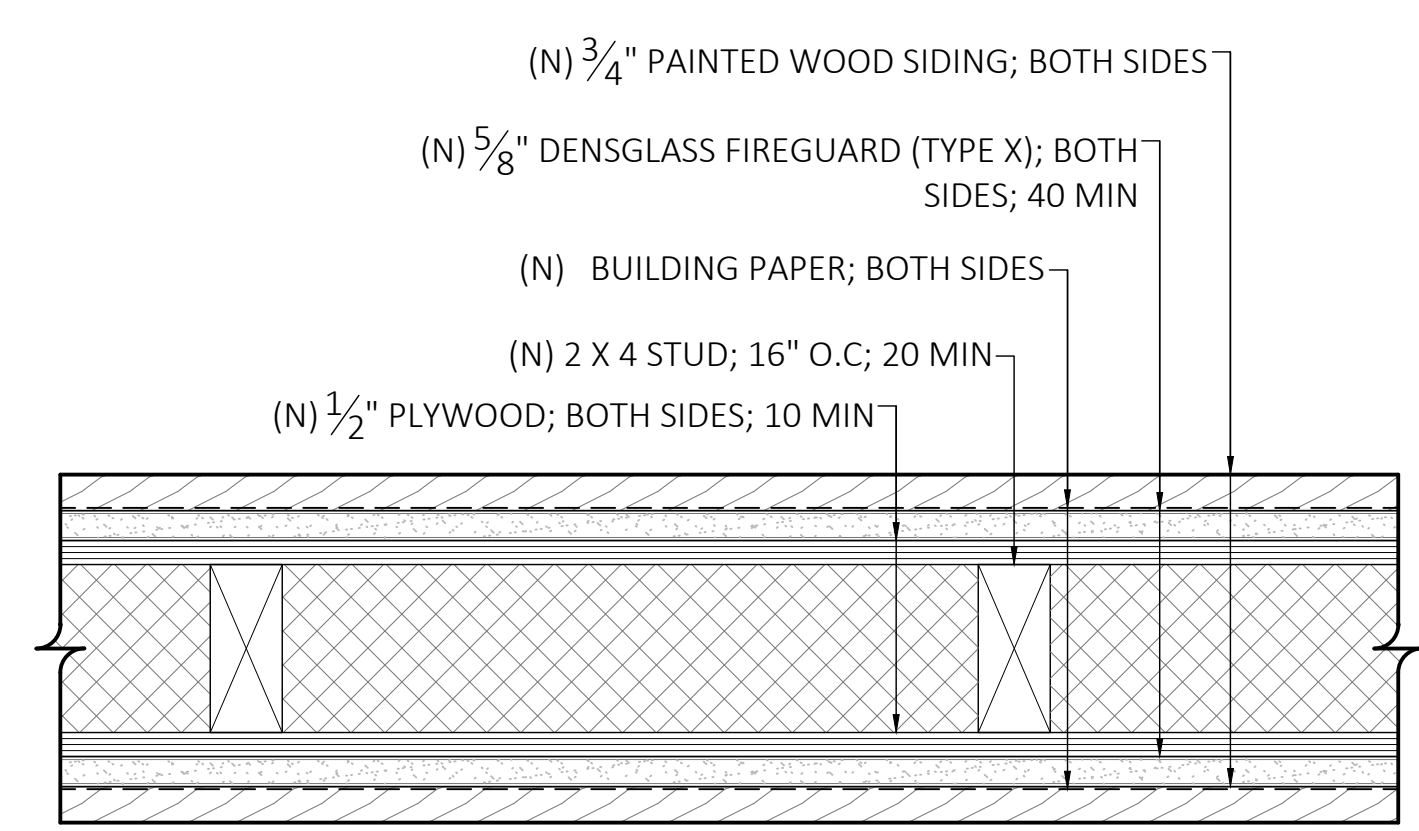
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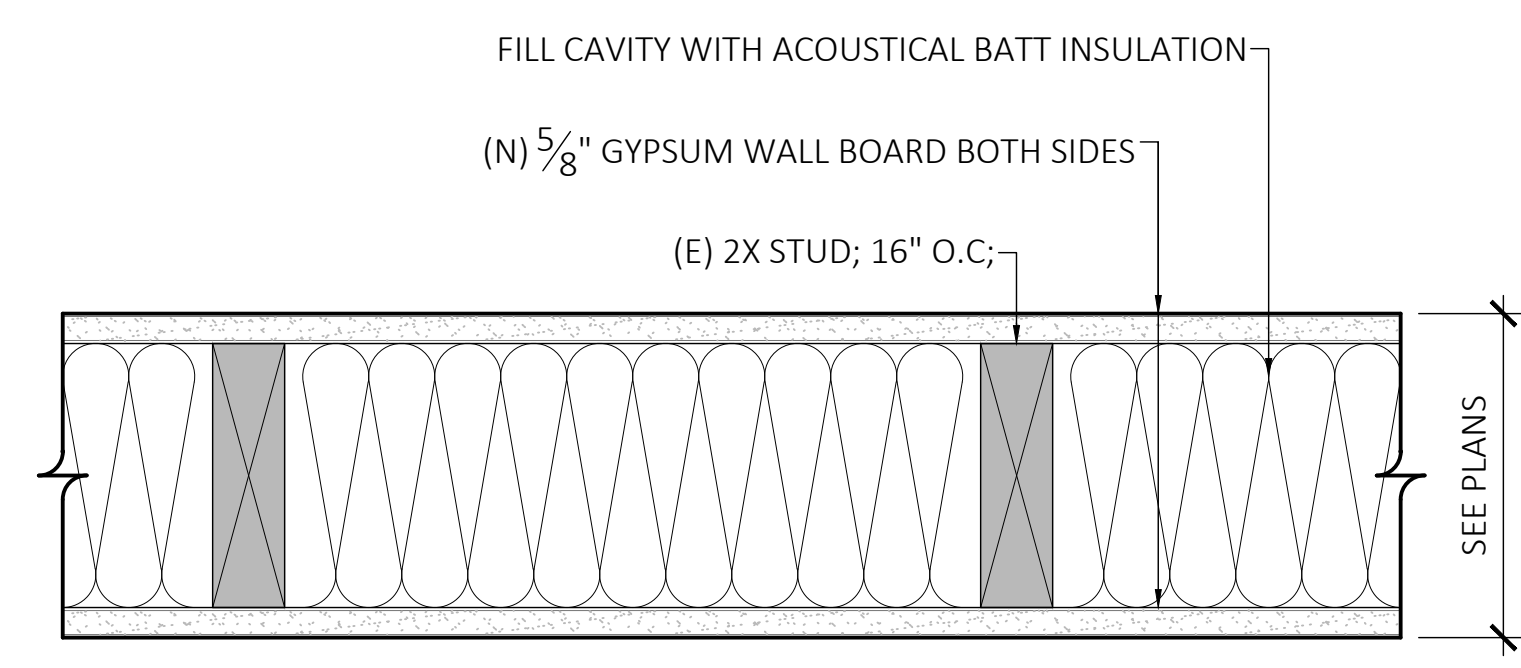
EXTERIOR WALL ASSEMBLY ^{W-9} 3
3" = 1'-0"



EXTERIOR WALL ASSEMBLY ^{W-8} 2
3" = 1'-0"



EXTERIOR WALL ASSEMBLY ^{W-7} 1
3" = 1'-0" REFERENCE: CBC 722.6.2



INTERIOR WALL ASSEMBLY ^{W-10} 7
3" = 1'-0"

	720 STEINER STREET	718 STEINER STREET	716 STEINER STREET	714 STEINER STREET	712 STEINER STREET	710 STEINER STREET
WATER CONNECTION DATE	OCTOBER 22, 1895	OCTOBER 22, 1895	MAY 22, 1895	MAY 18, 1895	JANUARY 14, 1895	AUGUST 3, 1894
IMAGE						
VISIBLE MATERIAL OF TREADS AND RISERS	TERRAZZO	TERRAZZO	MARBLE AND TOP STEP IS TERRAZZO	TERRAZZO	MARBLE AND TOP STEP IS PAINTED TERRAZZO	TERRAZZO AND CONCRETE
VISIBLE MATERIAL OF WING WALLS	CEMENT PLASTER SCORED TO LOOK LIKE SMOOTH STONE	CEMENT PLASTER SCORED TO LOOK LIKE SMOOTH STONE	CEMENT PLASTER SCORED TO LOOK LIKE RUSTICATED STONE	CEMENT PLASTER SCORED TO LOOK LIKE RUSTICATED STONE	CEMENT PLASTER SCORED TO LOOK LIKE SMOOTH STONE	CEMENT PLASTER SCORED TO LOOK LIKE SMOOTH STONE AND TERRAZZO CAP
VISIBLE MATERIAL OF NEWEL POSTS	BOTTOM: SAME AS WING WALLS TOP: WOOD	BOTTOM: SAME AS WING WALLS TOP: SAME AS WING WALLS WITH TERRAZZO CAP	BOTTOM: SAME AS WING WALLS TOP: WOOD	BOTTOM: SAME AS WING WALLS TOP: WOOD	BOTTOM: SAME AS WING WALLS TOP: WOOD	BOTTOM: SAME AS WING WALLS TOP: SAME AS WING WALLS
VISIBLE FORM OF NEWEL POSTS	BOTTOM: OCTAGONAL WITH OCTAGONAL RAISED CAP TOP: SQUARED WITH MOLDING, SUPPORTING PORTICO COLUMNS	BOTTOM: OCTAGONAL WITH OCTAGONAL RAISED CAP TOP: SQUARED WITH FLAT CAPS, SUPPORTING PORTICO COLUMNS	BOTTOM: CYLINDRICAL WITH CENTERED HALF-CIRCULAR CAP TOP: SQUARED WITH MOLDING, SUPPORTING PORTICO COLUMNS	BOTTOM: CYLINDRICAL WITH A FLAT TOP TOP: SQUARED WITH MOLDING AND PANELING DETAIL, SUPPORTING PORTICO COLUMNS	BOTTOM: CYLINDRICAL WITH CENTERED HALF-CIRCULAR CAP TOP: SQUARED WITH MOLDING AND PANELING DETAIL, SUPPORTING PORTICO COLUMNS	BOTTOM: SQUARED WITH FLAT CAPS TOP: SQUARED WITH FLAT CAPS, SUPPORTING ONE PORTICO COLUMN

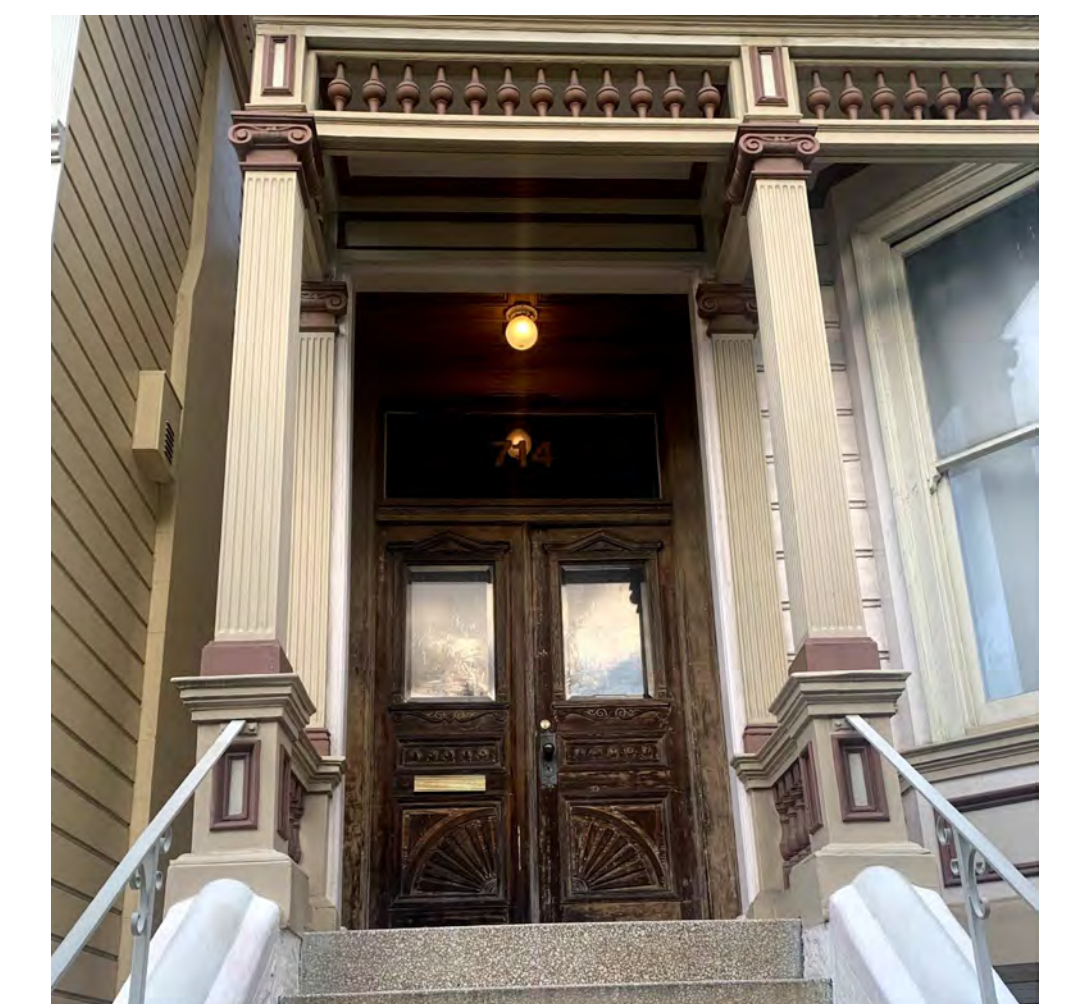
NEIGHBORING FRONT STAIR MATRIX 1



EXISTING FRONT STAIR 4
N.T.S.



EXISTING GARAGE DOOR 3
N.T.S.

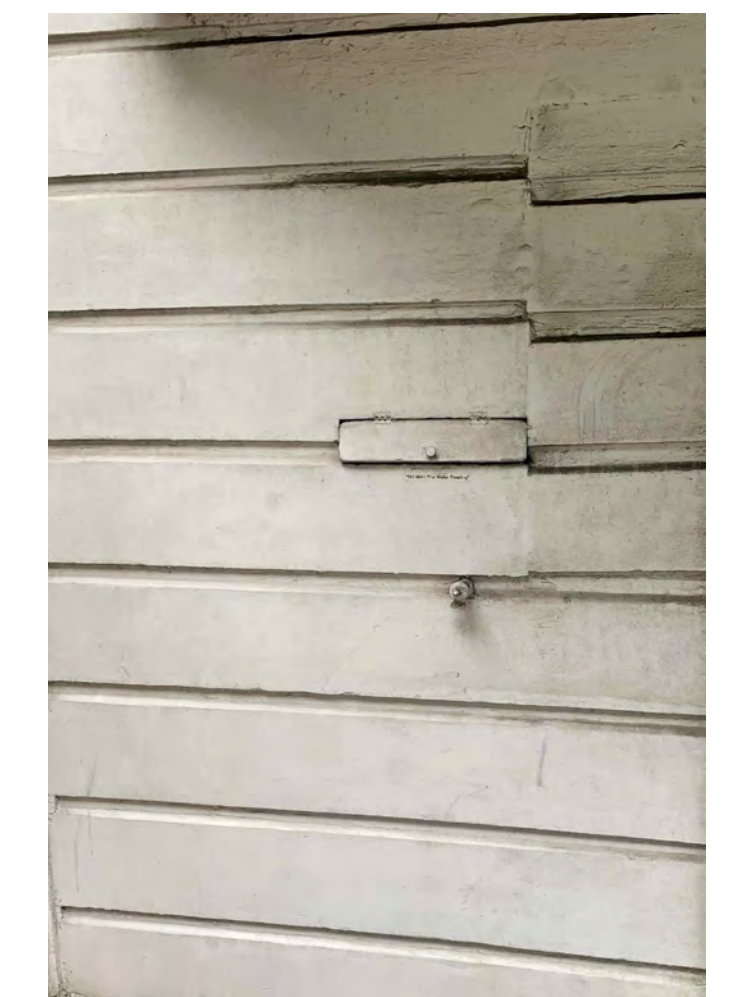


EXISTING FRONT PORCH 2
N.T.S.

EXISTING NON-ORIGINAL BASE CAP TO BE REMOVED AND REPLACED WITH BASE CAP TO MATCH ORIGINAL ON PILASTER



EXISTING COLUMN BASE PROFILES 6
N.T.S.



EXISTING SIDING 5
N.T.S.



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RESPONCE	

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C OF A: EXISTING ENTRY STAIR AND CHARACTER PHOTOS

A8.3.1

SCALE: N.T.S.

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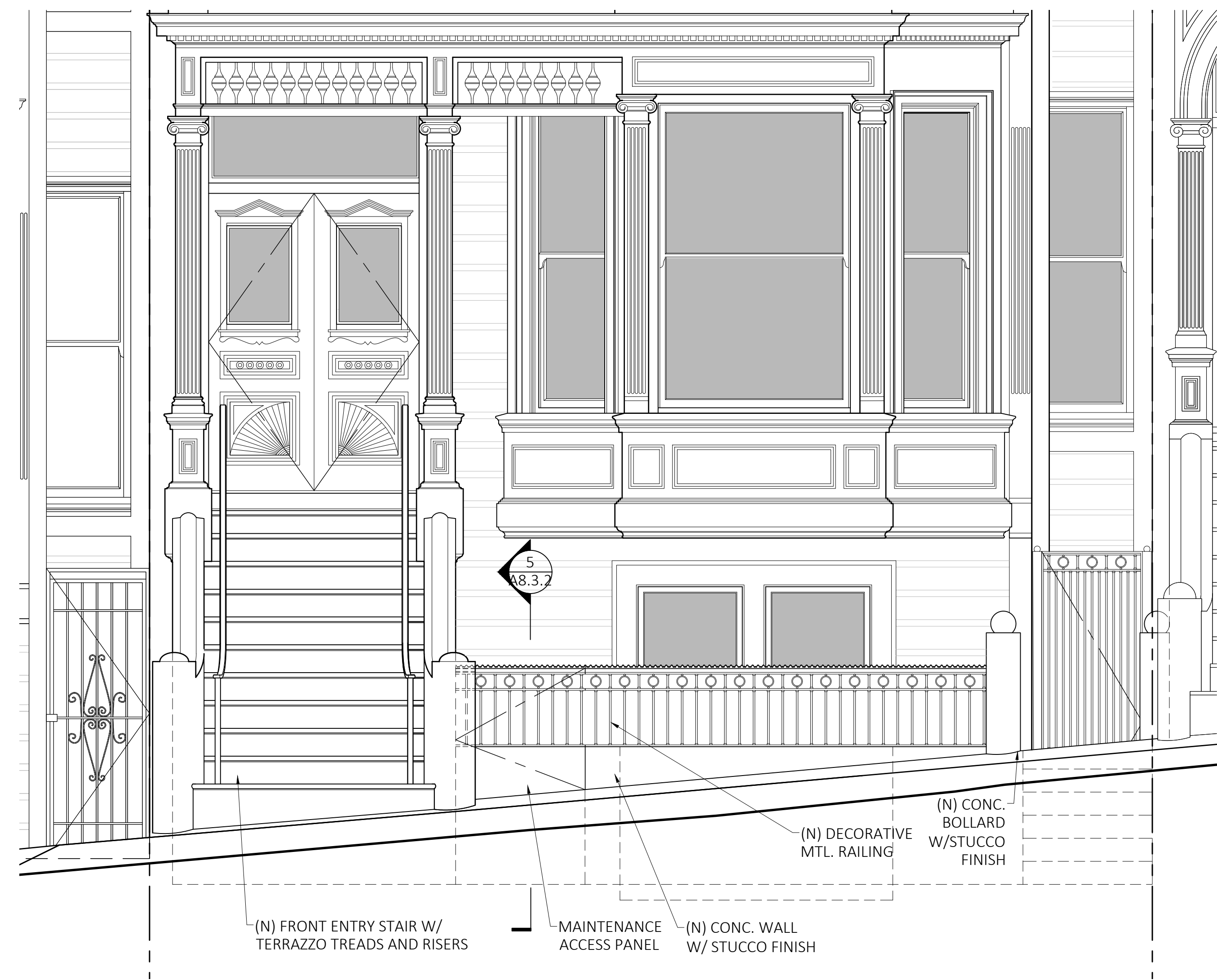
ISSUANCE	DATE
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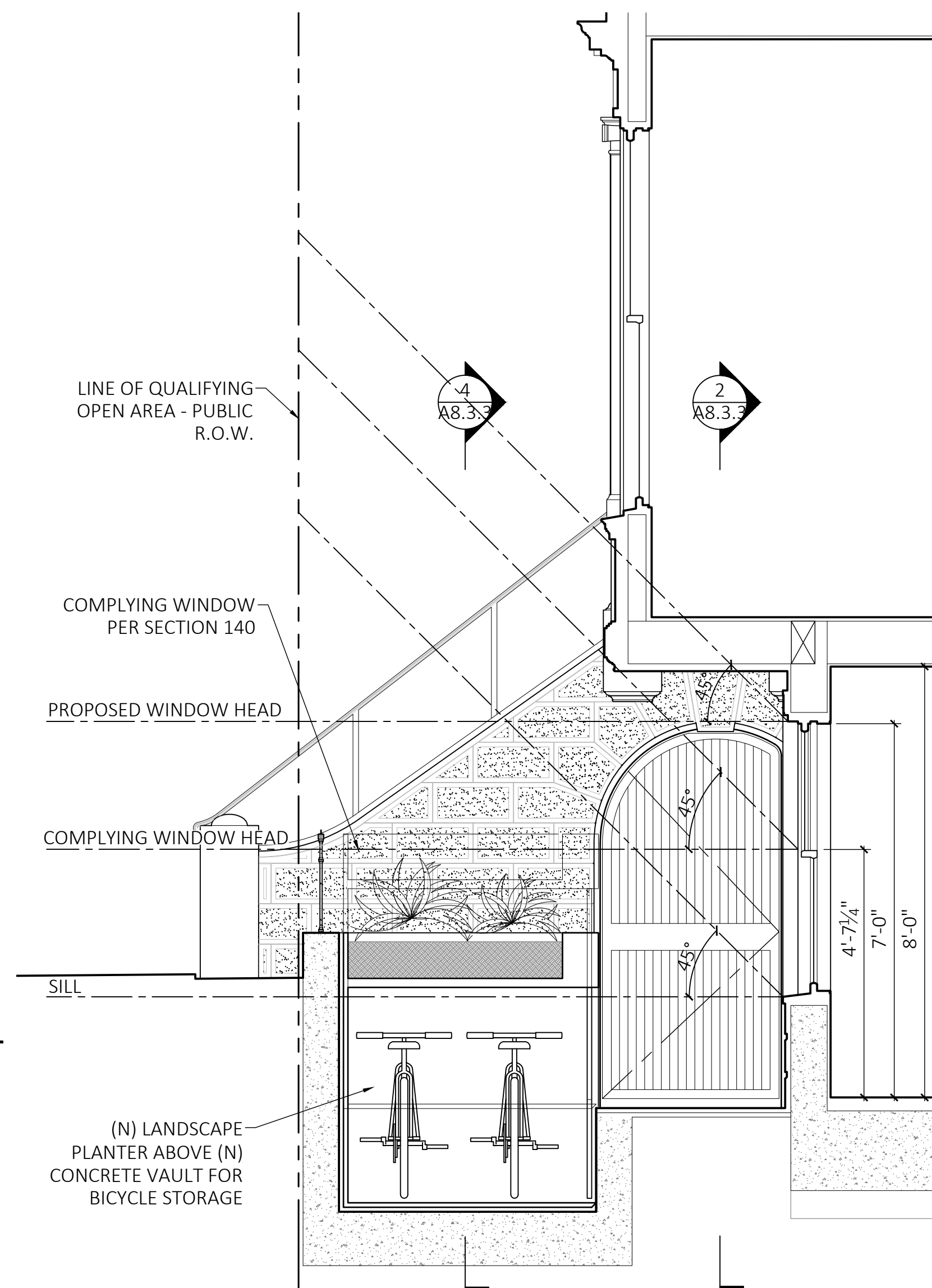
ENTRY STAIR: ENLARGED PLANS, ELEVATIONS, & SECTIONS

A8.3.2

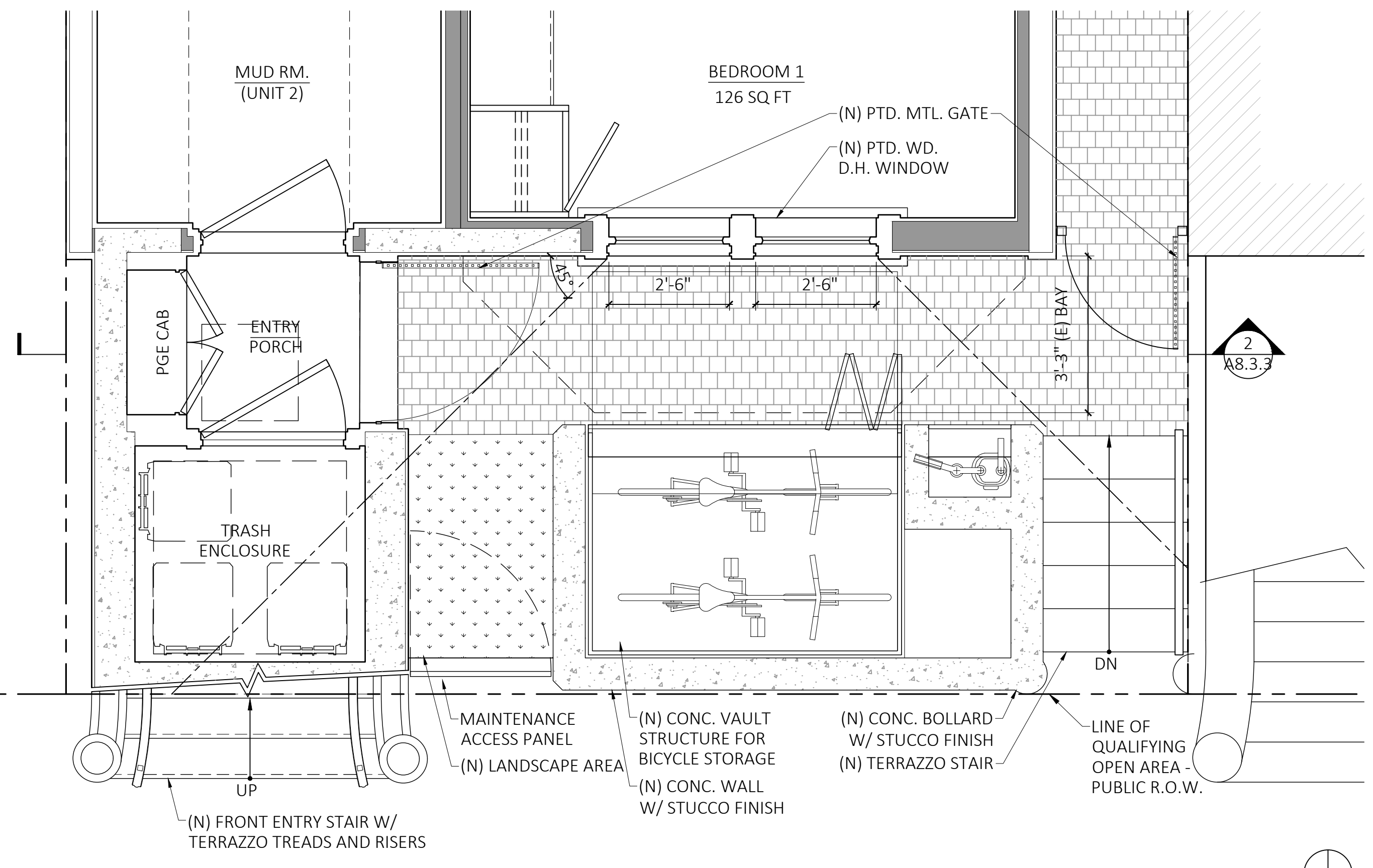
SCALE: 1/2" = 1'-0"



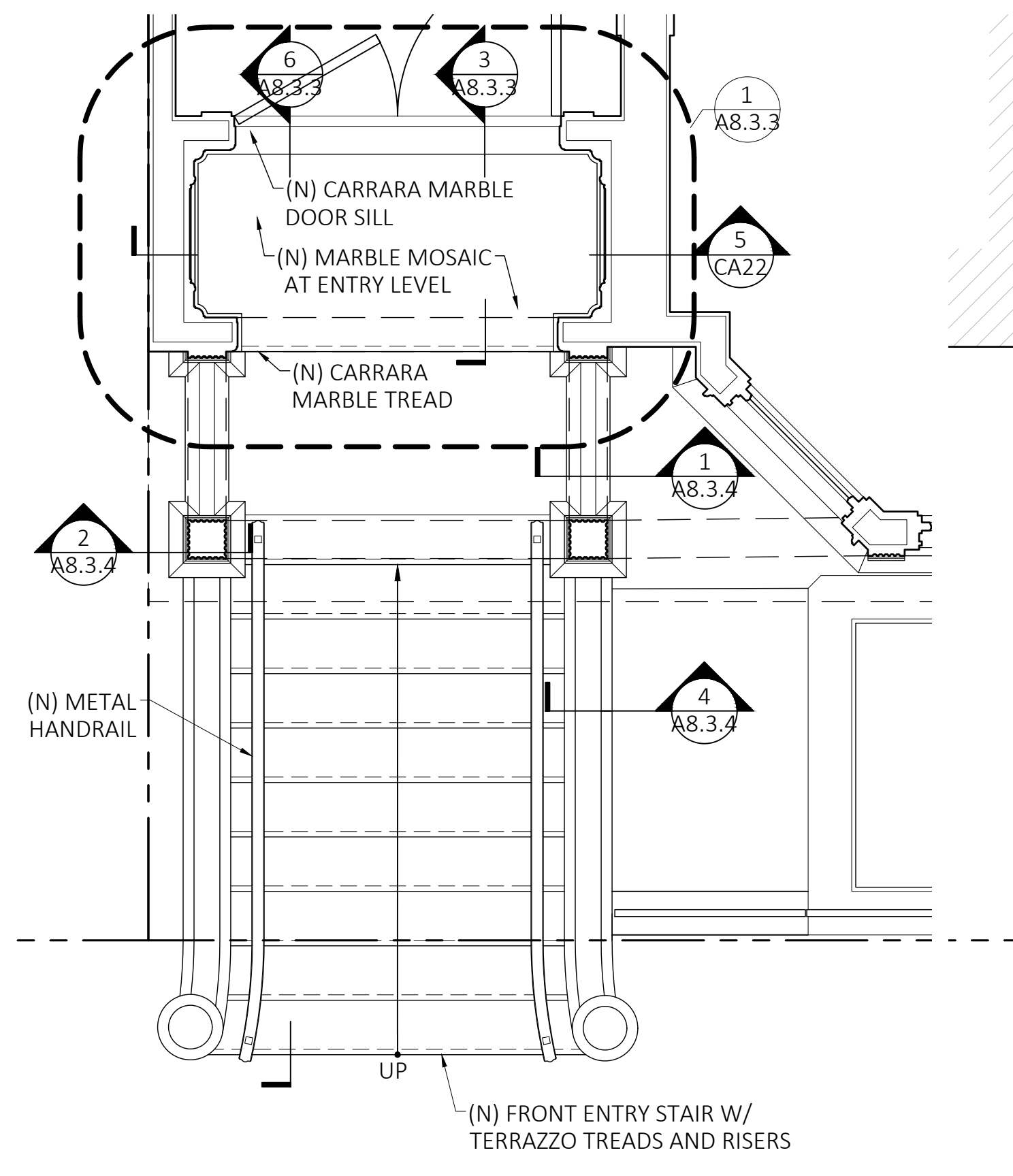
ENLARGED WEST ELEVATION - PROPOSED 2
1/2" = 1'-0"



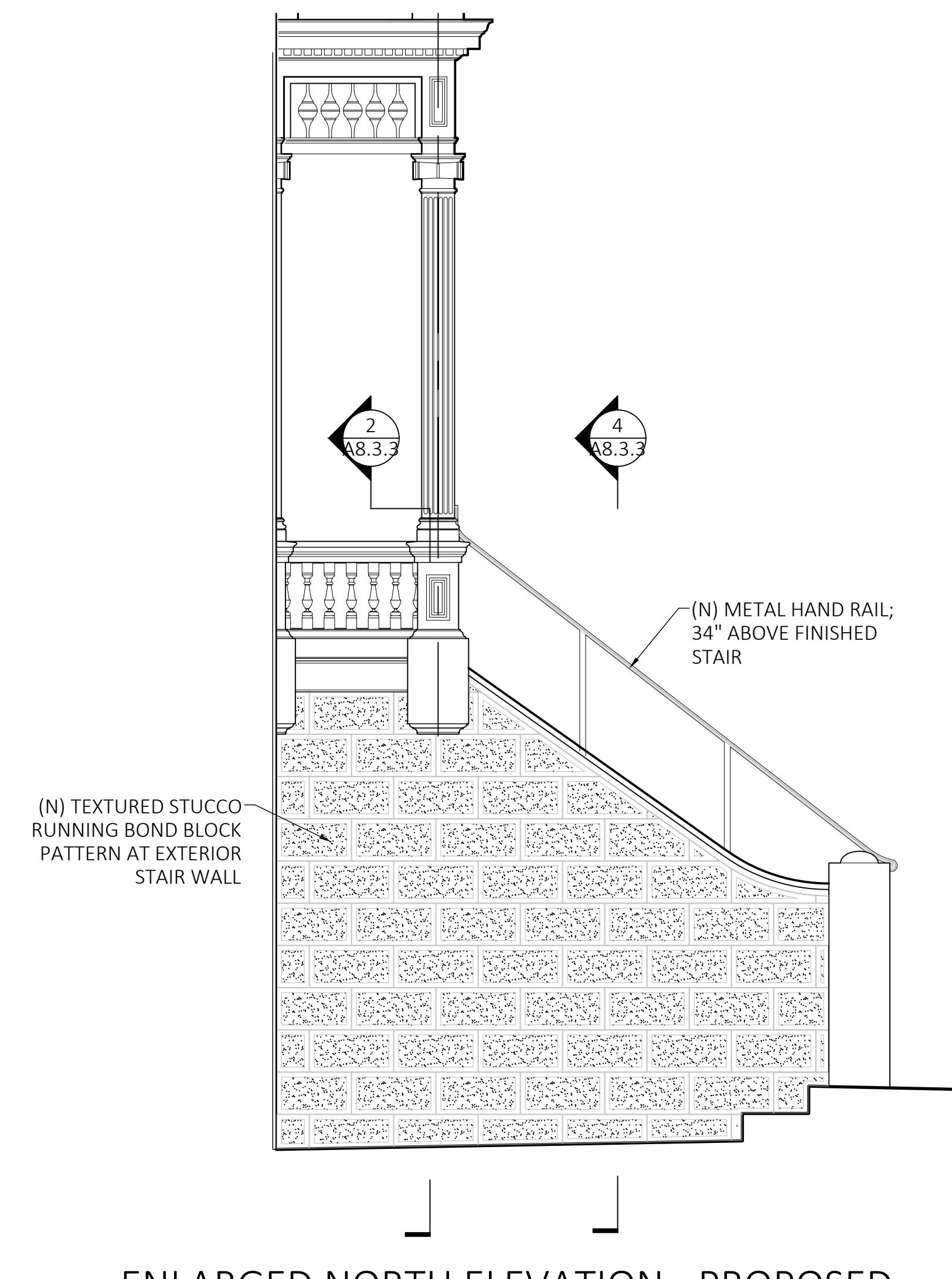
ENLARGED SECTION - PROPOSED 4
1/2" = 1'-0"



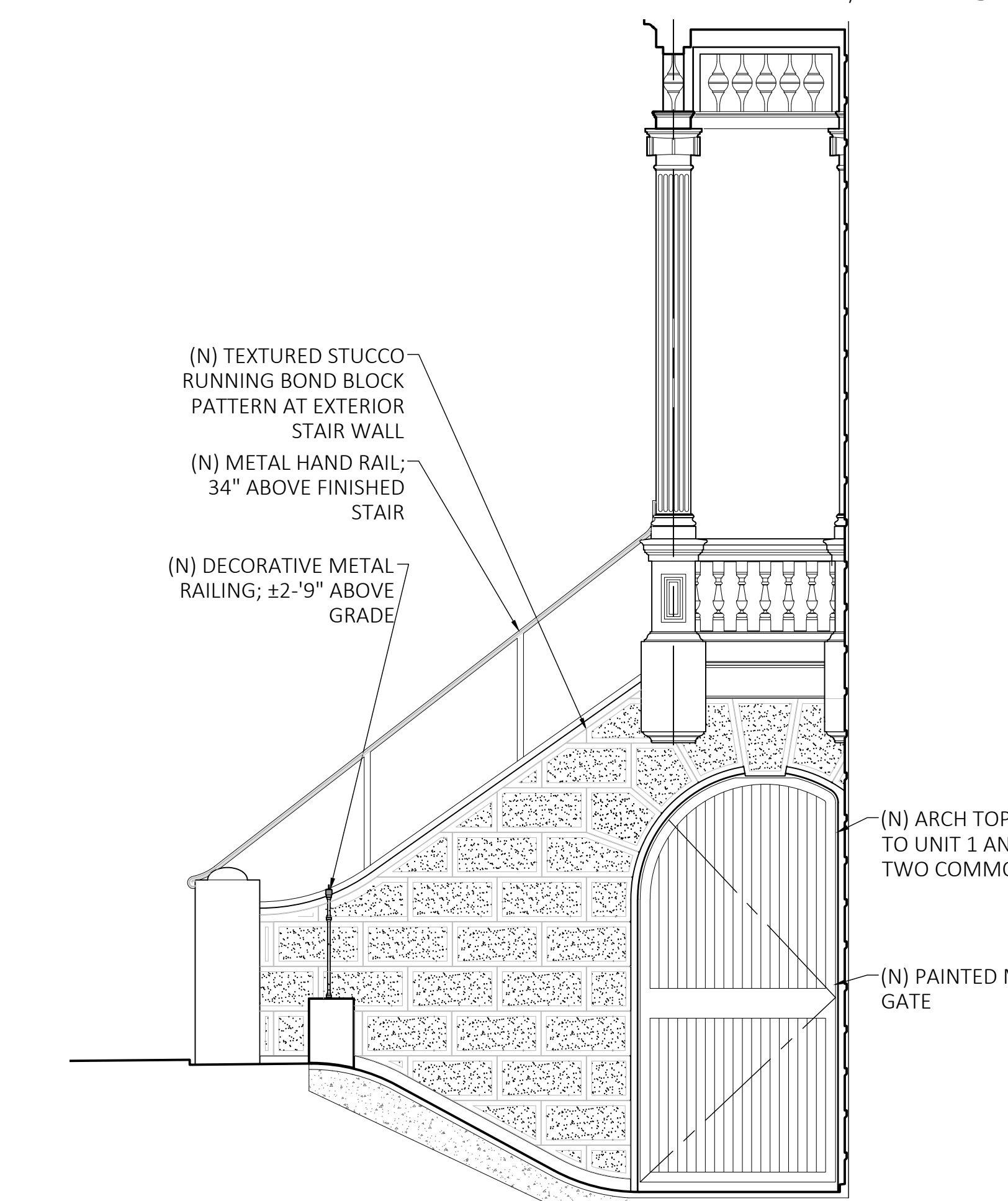
ENLARGED PLAN - PROPOSED 1
1/2" = 1'-0"



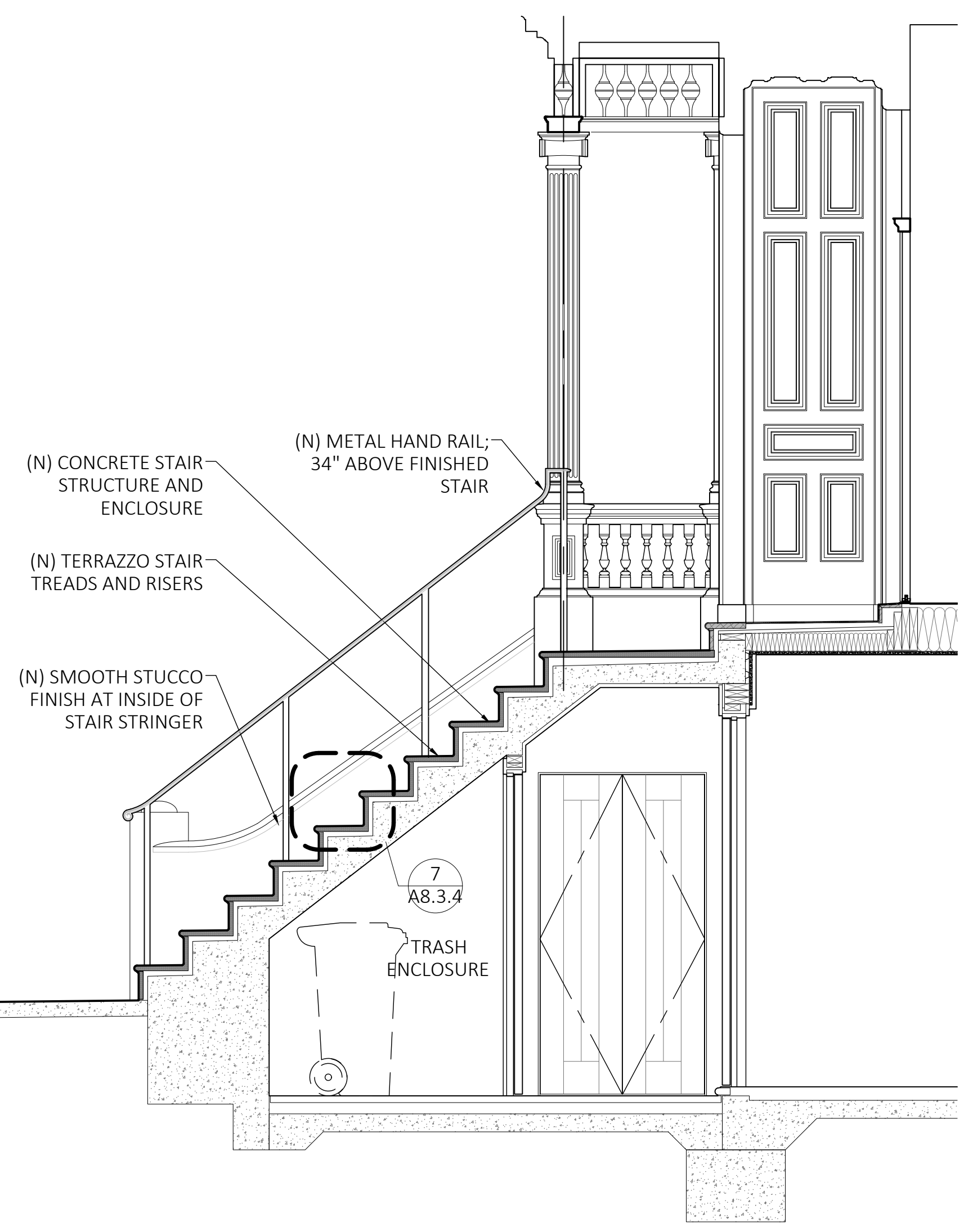
ENLARGED PLAN - PROPOSED 3
1/2" = 1'-0"



ENLARGED NORTH ELEVATION - PROPOSED 6
1/2" = 1'-0"



ENLARGED SOUTH ELEVATION - PROPOSED 5
1/2" = 1'-0"



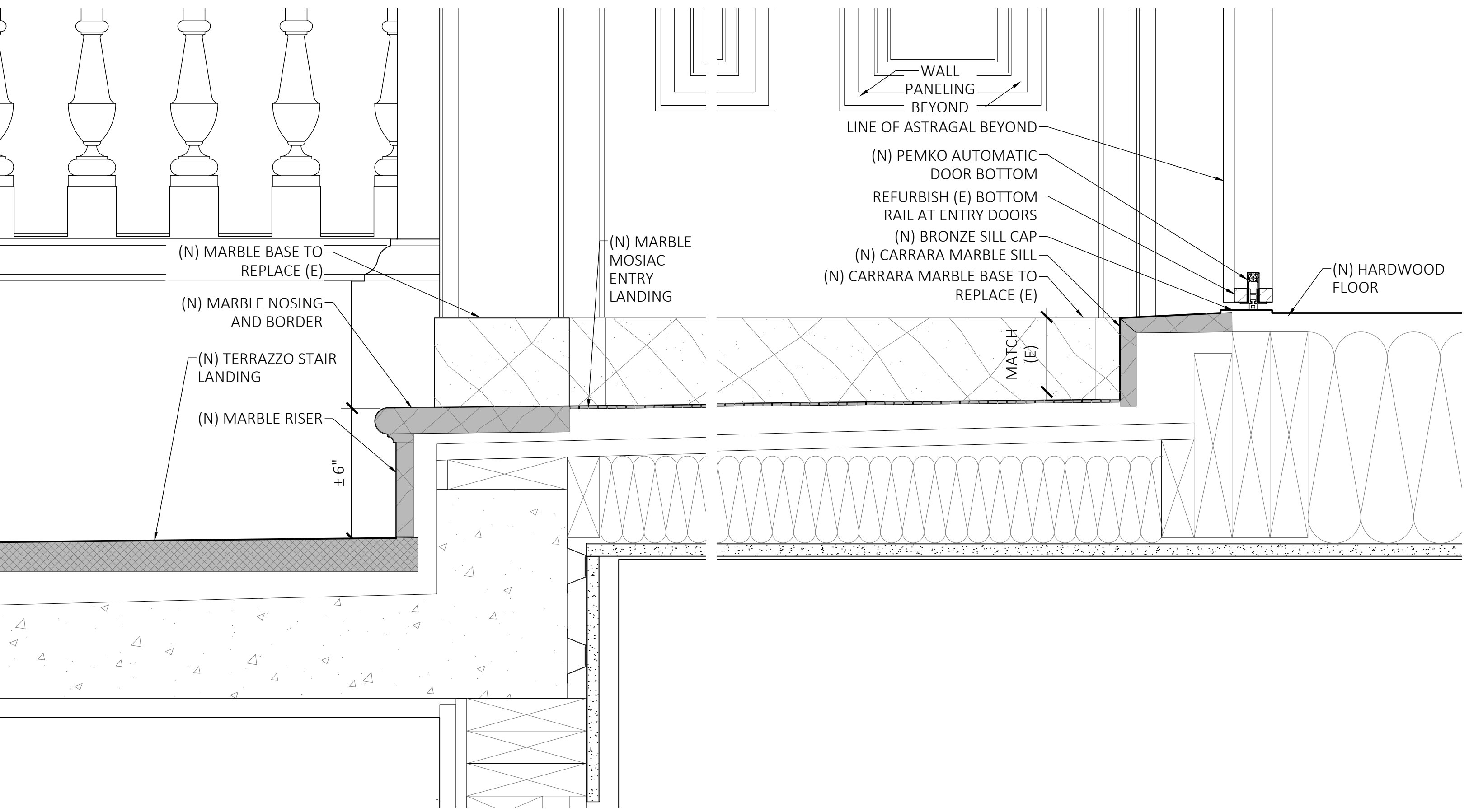
SECTION AT LOWER ENTRY - PROPOSED 6
1/2" = 1'-0"



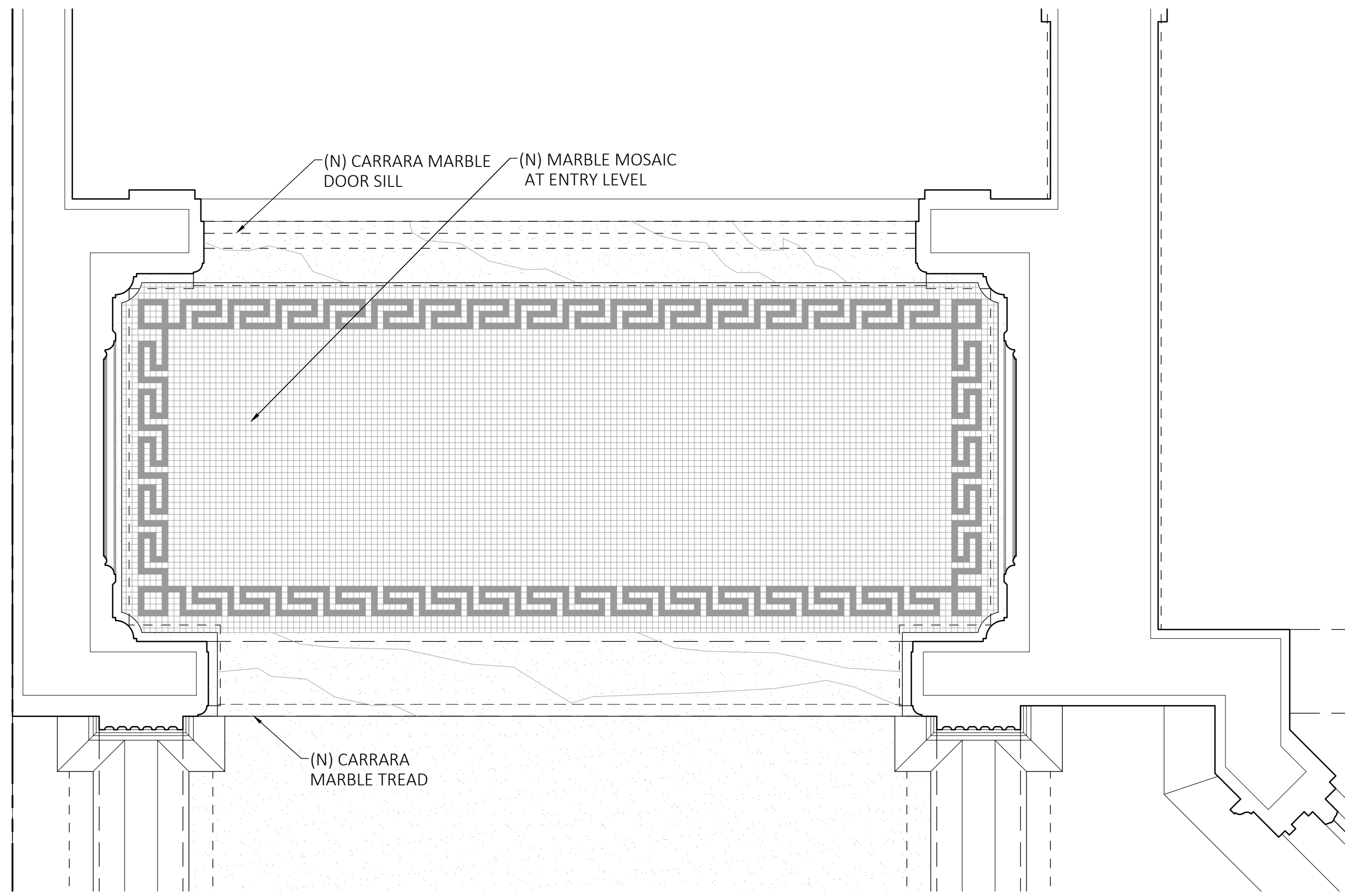
SECTION AT STAIR - PROPOSED 4
1/2" = 1'-0"



SECTION AT STAIR LANDING - PROPOSED 2
1/2" = 1'-0"

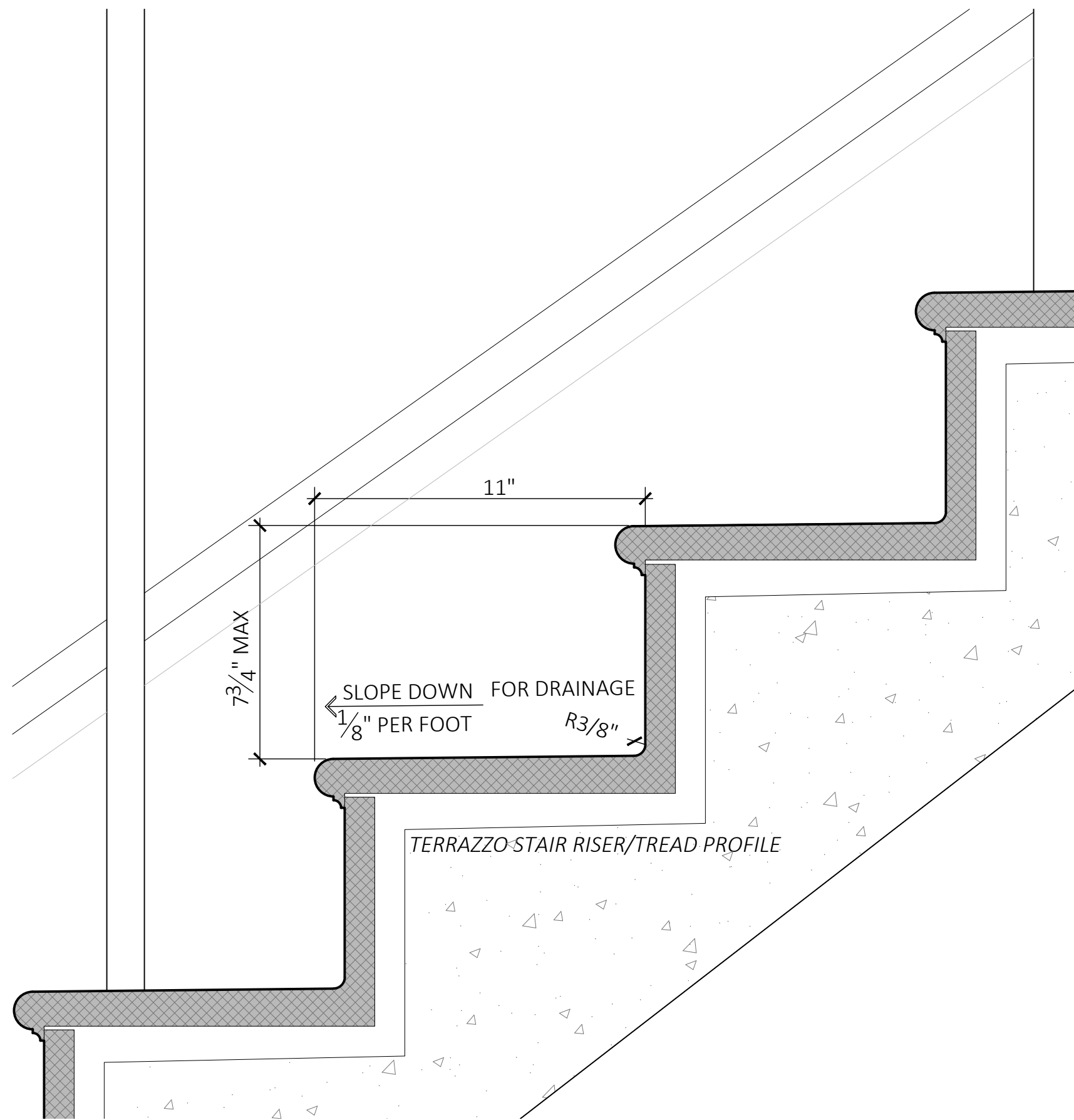


DETAIL AT UNIT 2 ENTRY LANDING - PROPOSED 3
3" = 1'-0"

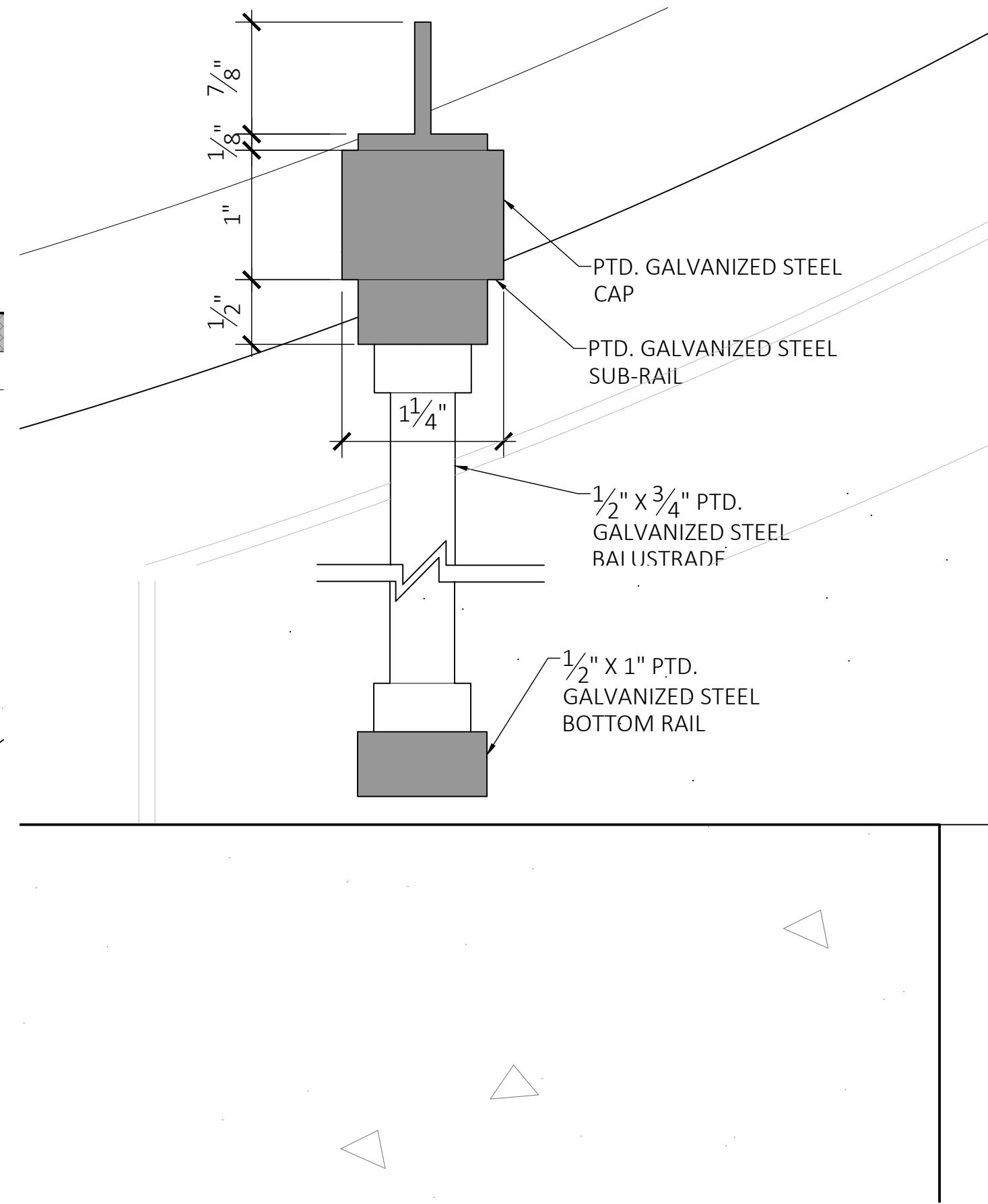


ENLARGED PORCH PLAN - PROPOSED 1
1-1/2" = 1'-0"

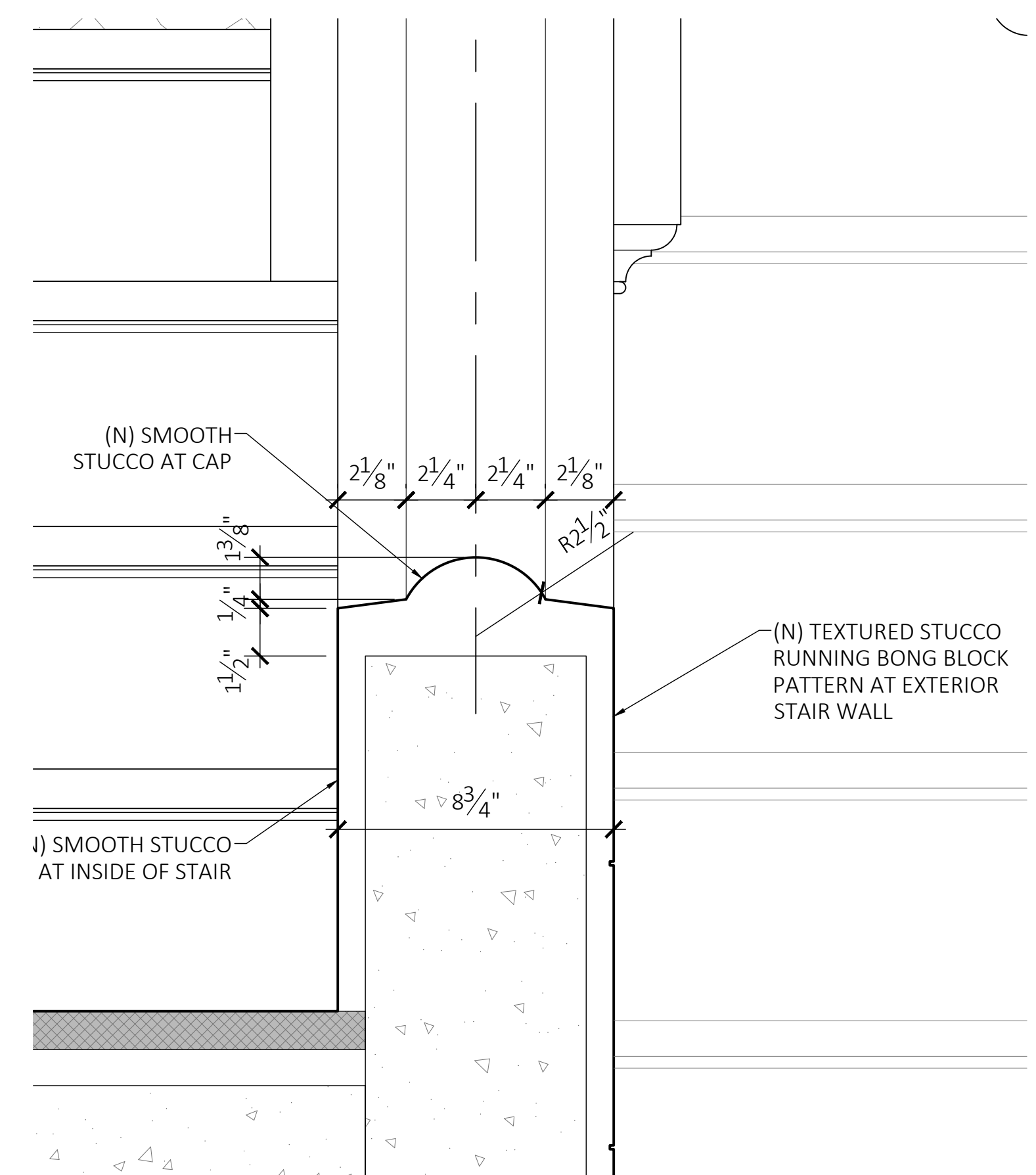
ISSUANCE	DATE
CofA/VARIANCE	05.26.21
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MILLS ACT APP.	05.26.21
PLAN CHECK	08.24.21
RESPONSE	
JOB #	2004
ENTRY STAIR: SECTIONS & ENLARGED DETAILS	
A8.3.3	
SCALE:	AS NOTED



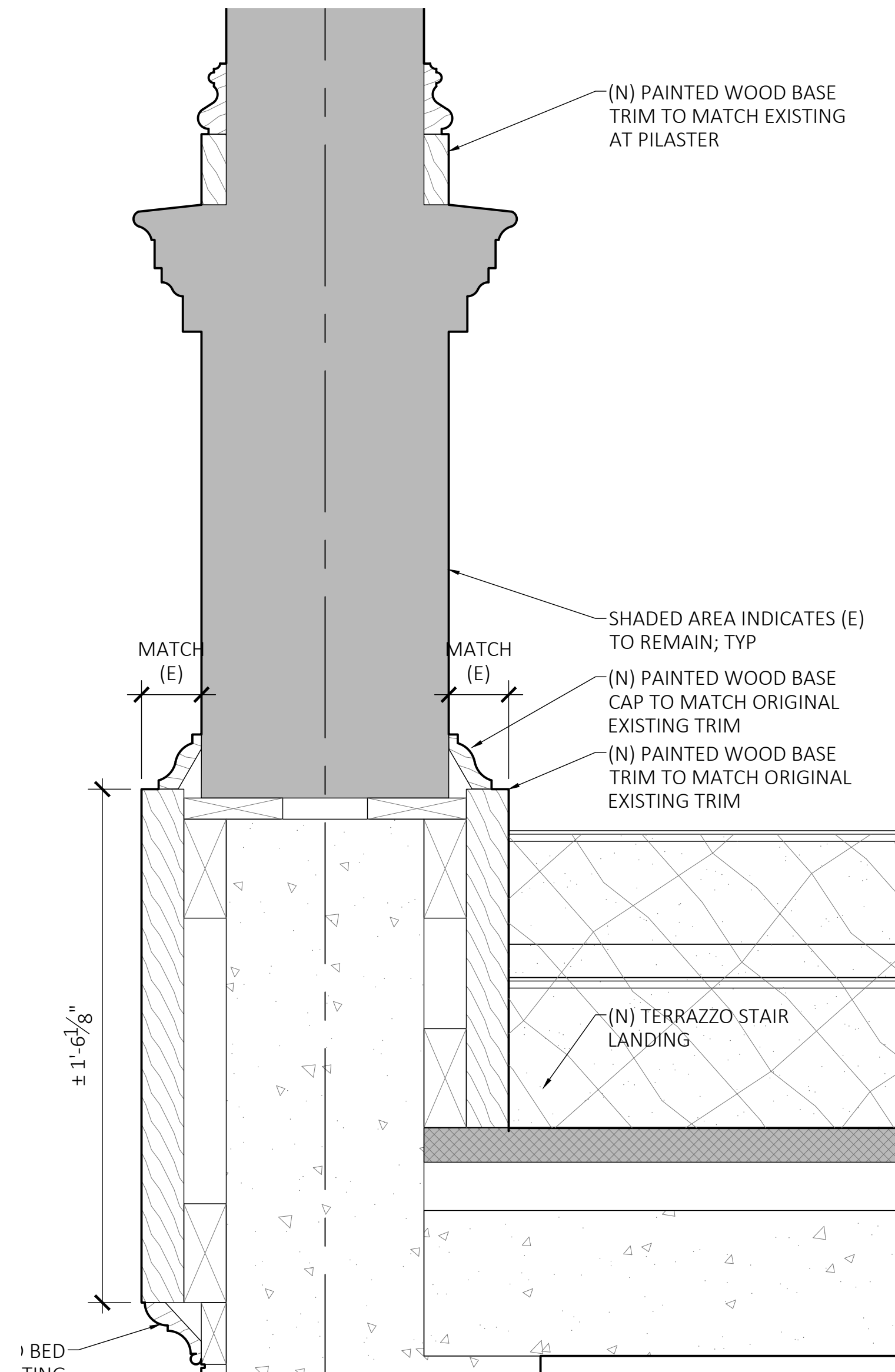
DETAIL AT STAIR TREAD/RISER - PROPOSED 7
3" = 1'-0"



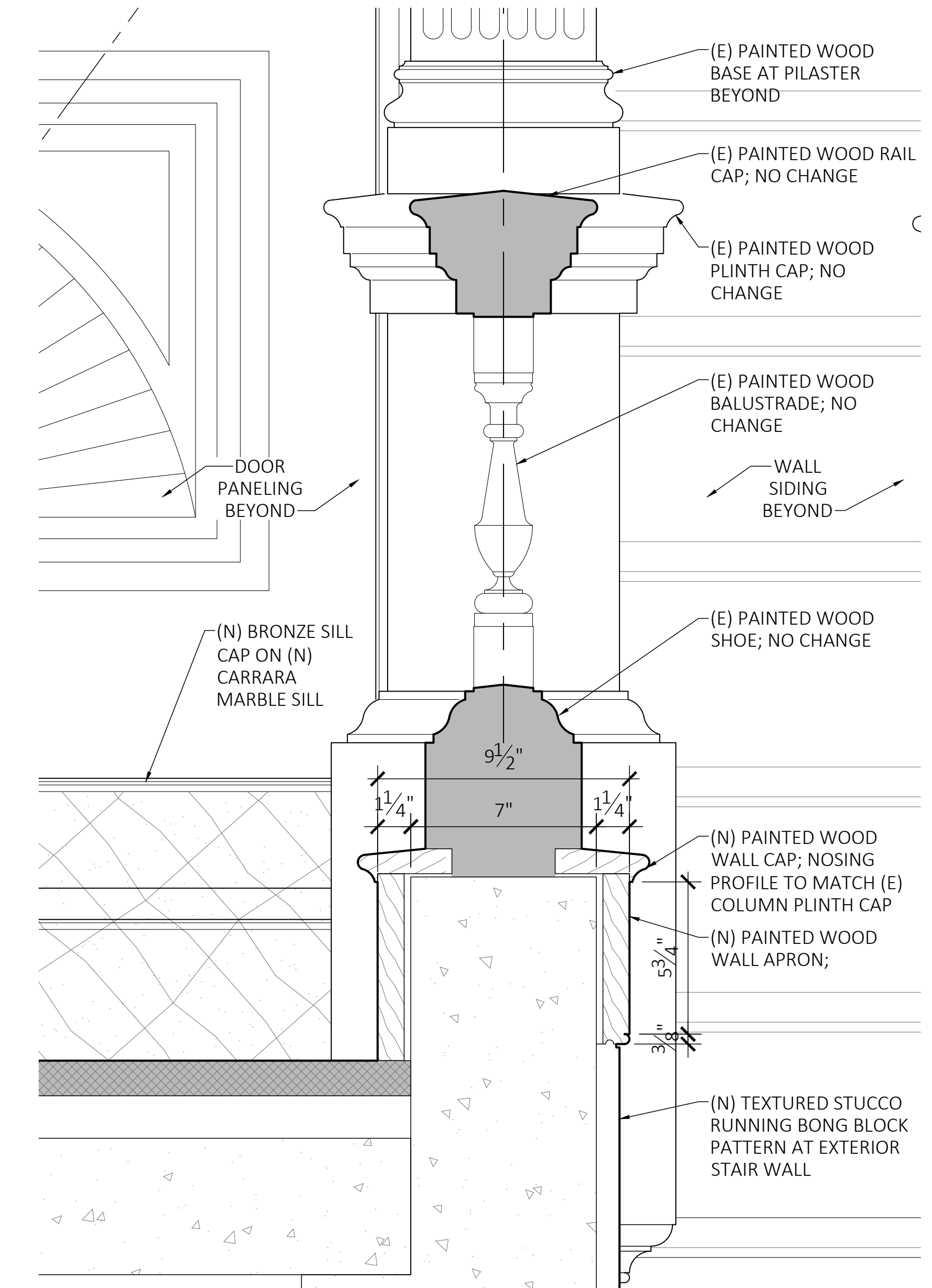
RAILING ALONG FRONT P.L. PLANTER WALLS - PROPOSED 6
1'-0" = 1'-0"



DETAIL AT STAIR WALL - PROPOSED 4
3" = 1'-0"



DETAIL AT COLUMN BASE - PROPOSED 2
3" = 1'-0"



DETAIL AT (E) BALASTER - PROPOSED 1
3" = 1'-0"

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PLAN CHECK	08.24.21
RESPONSE	

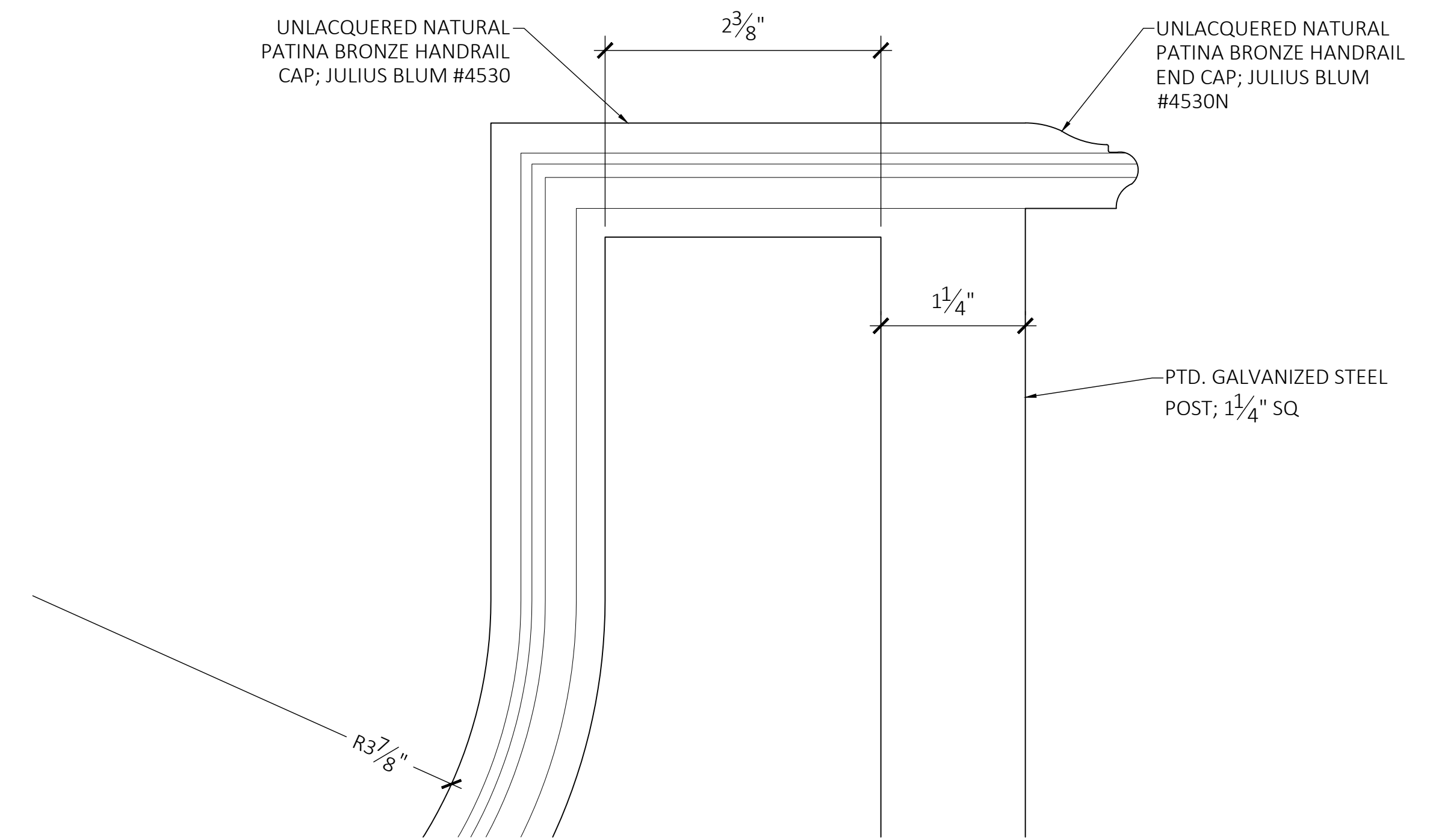
JOB # 2004

UNIT 1 ENTRY AND LANDSCAPE

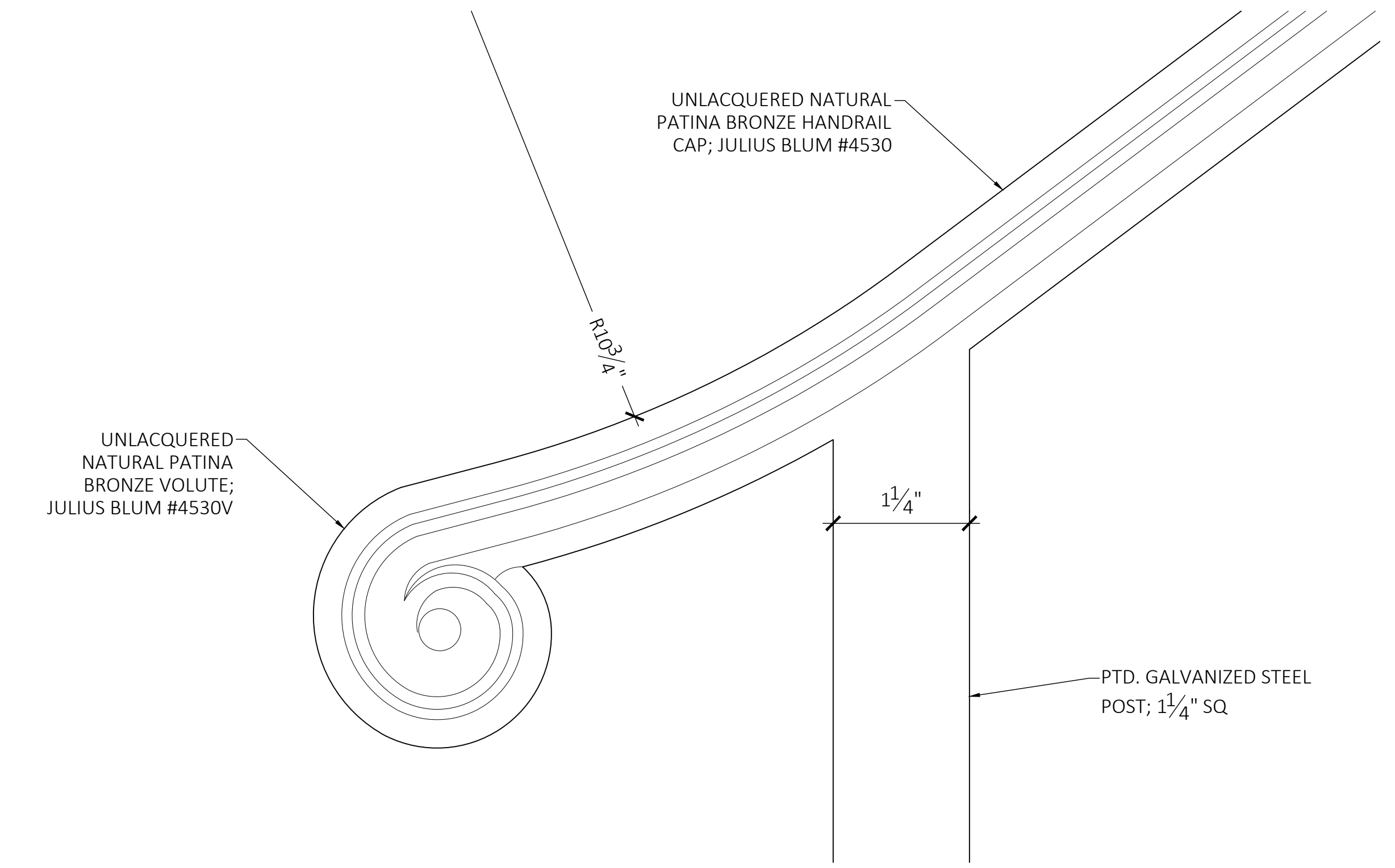
A8.3.4

SCALE: AS NOTED

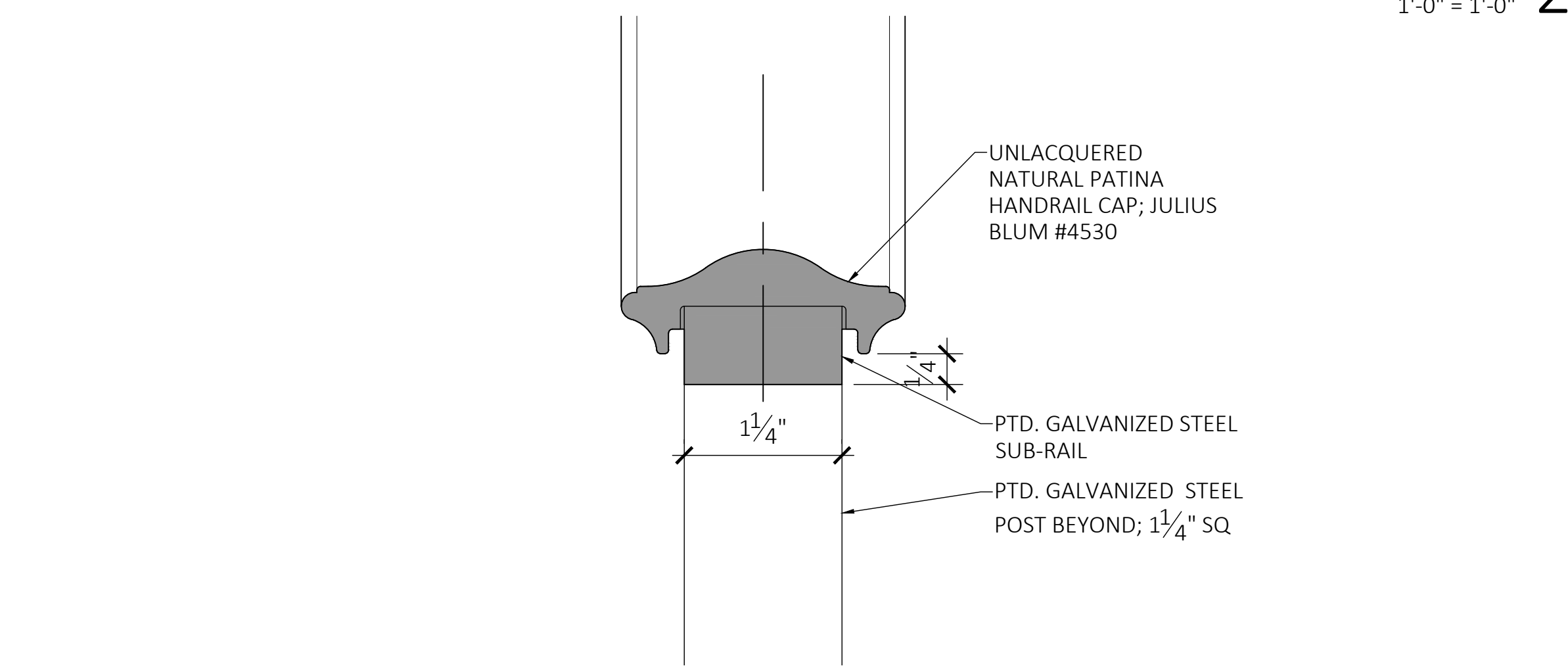
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TOP OF STAIR RAIL DETAIL 3
1'-0" = 1'-0"



BOTTOM OF STAIR RAIL DETAIL 2
1'-0" = 1'-0"



STAIR RAIL CAP DETAIL 1
1'-0" = 1'-0"

ISSUANCE	DATE
CofA/VARIANCE	05.26.21
BUILDING PERMIT	03.29.21
MILLS ACT APP.	05.26.21
PLAN CHECK	08.24.21
RESPONCE	

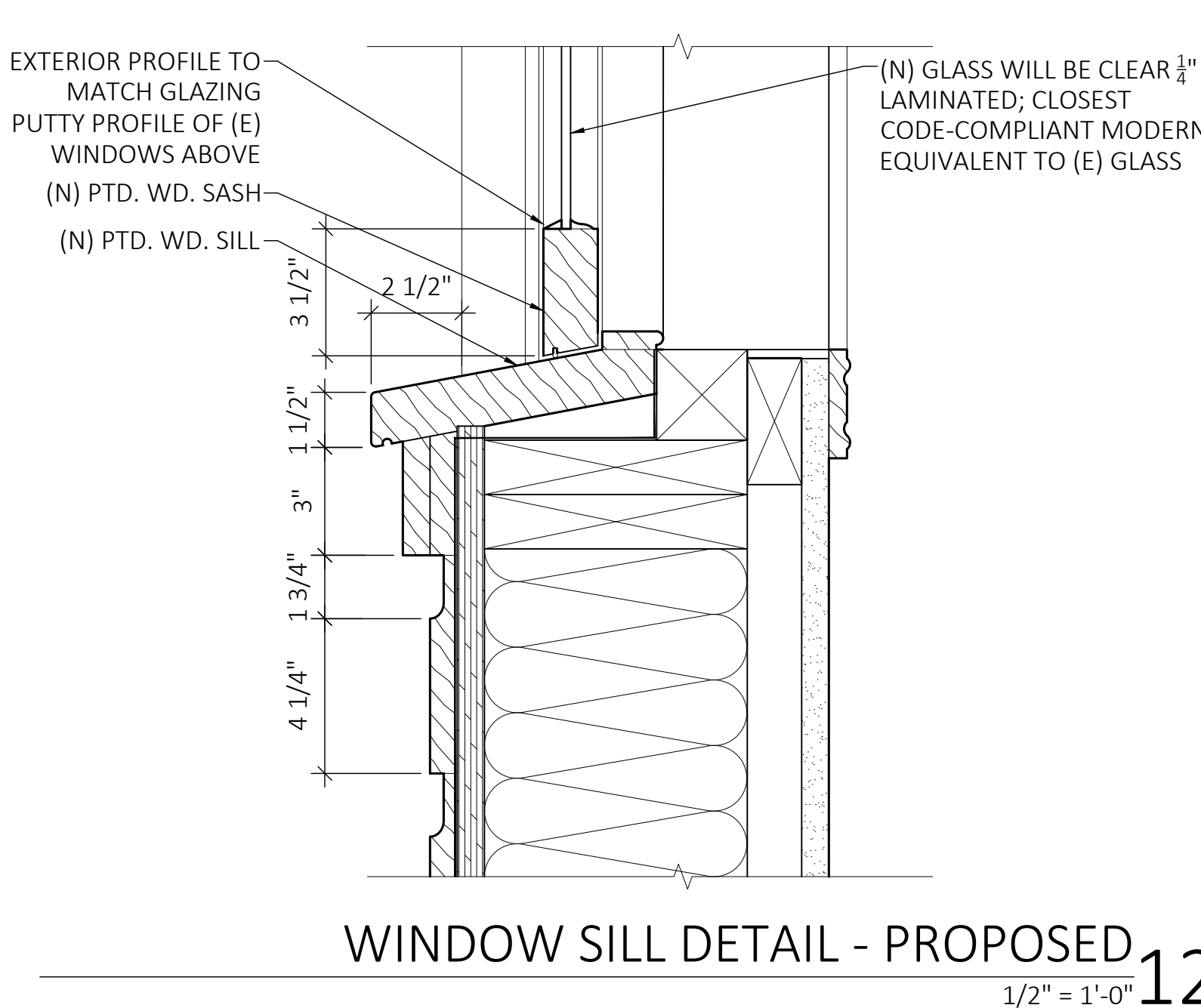
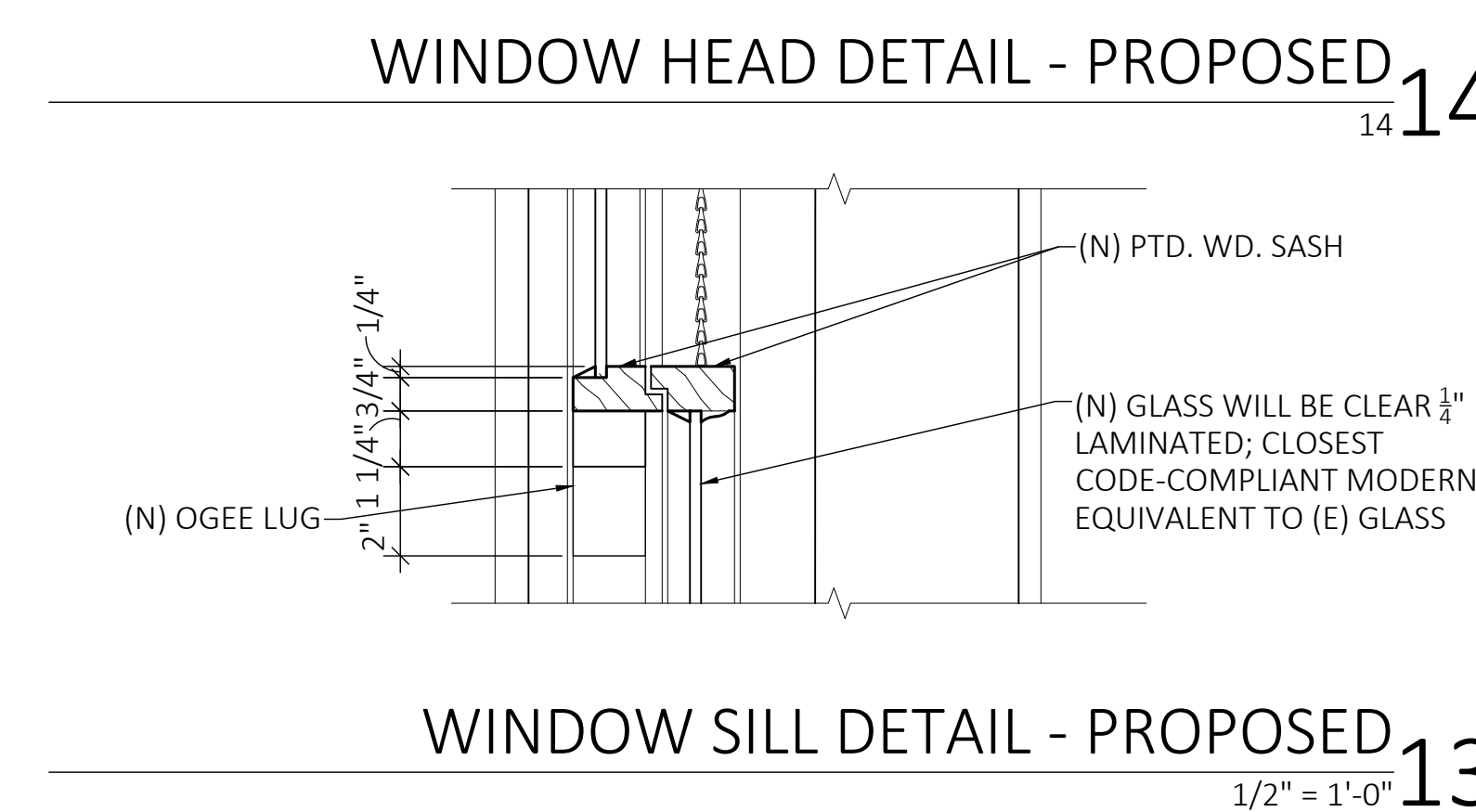
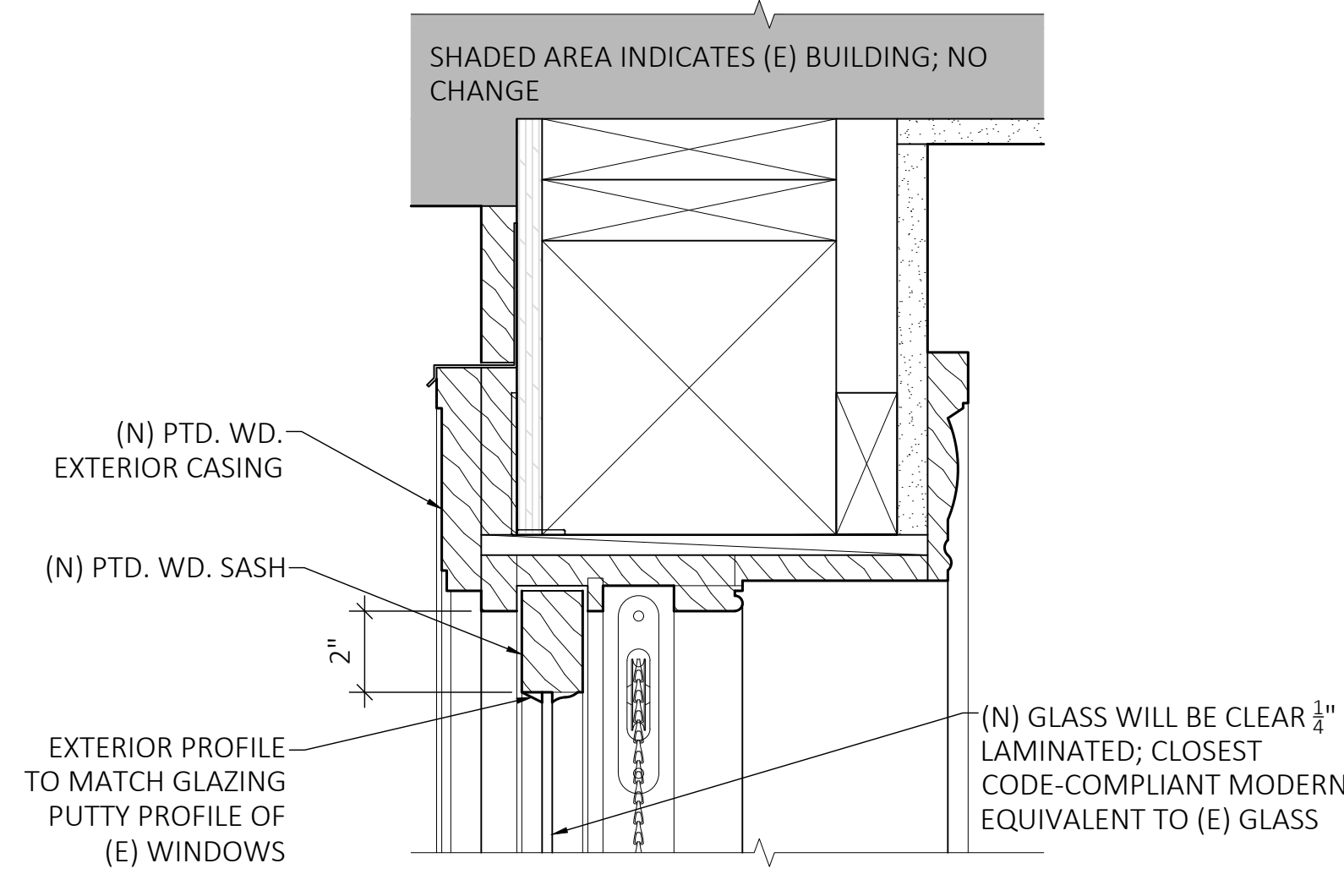
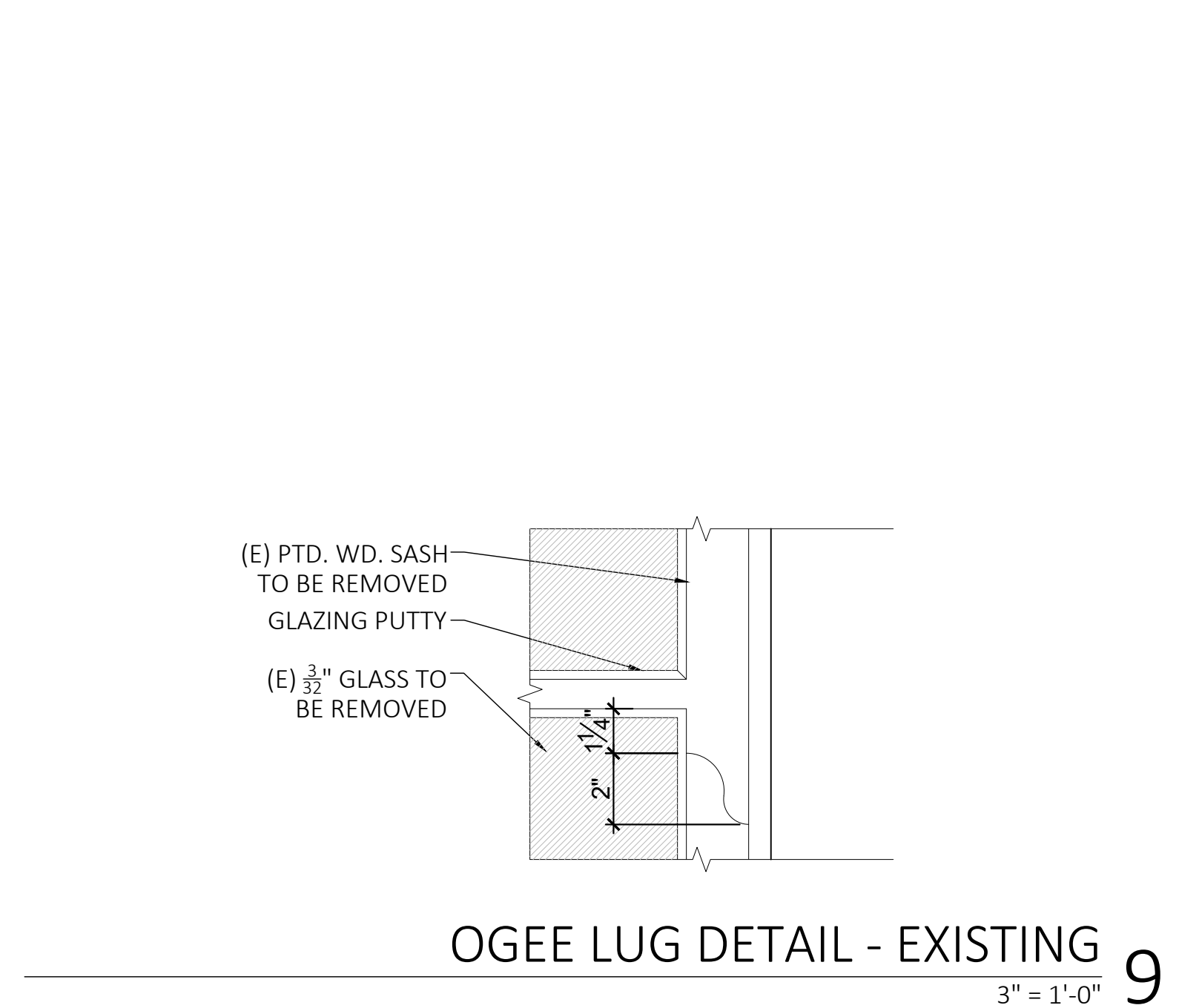
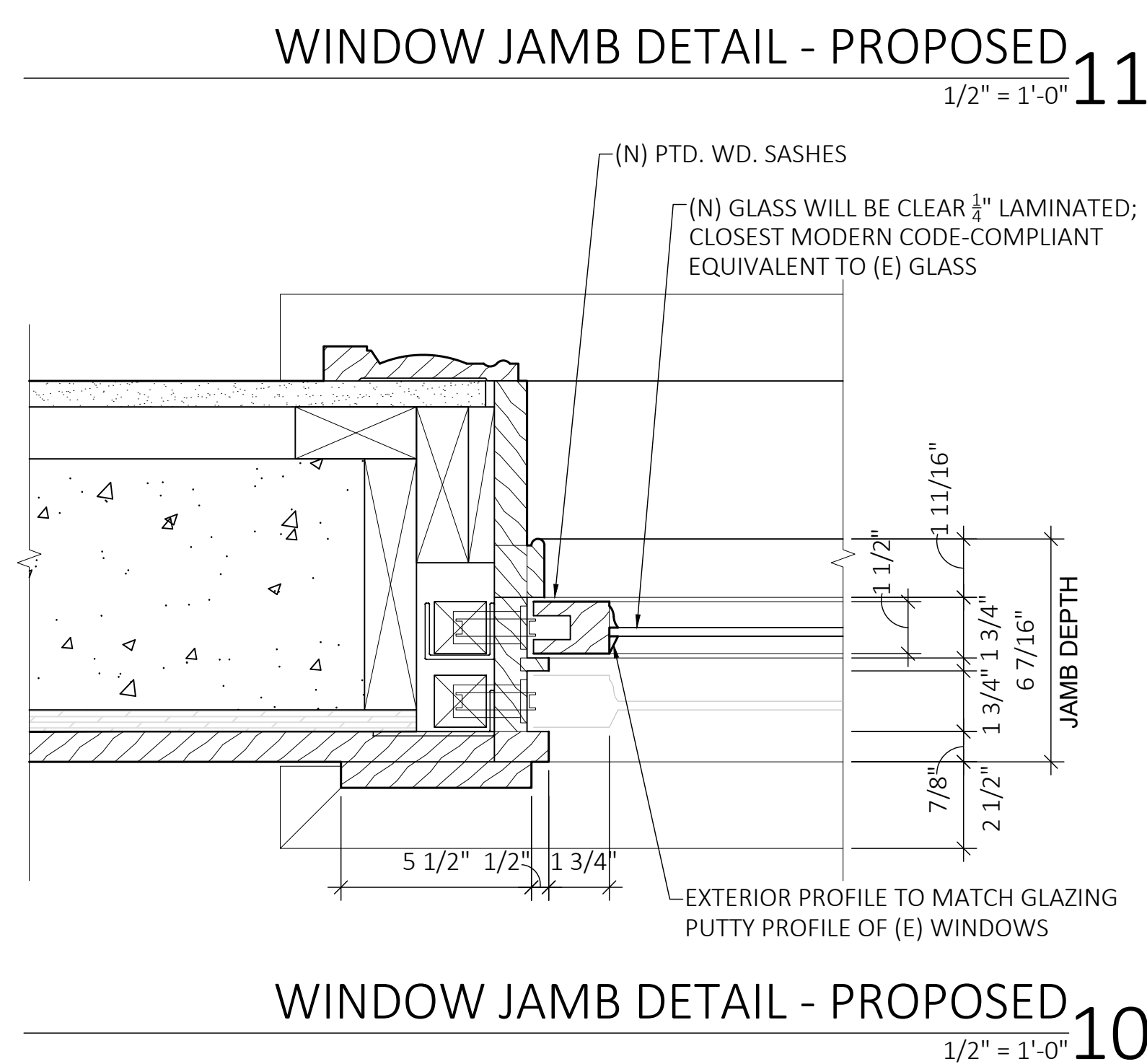
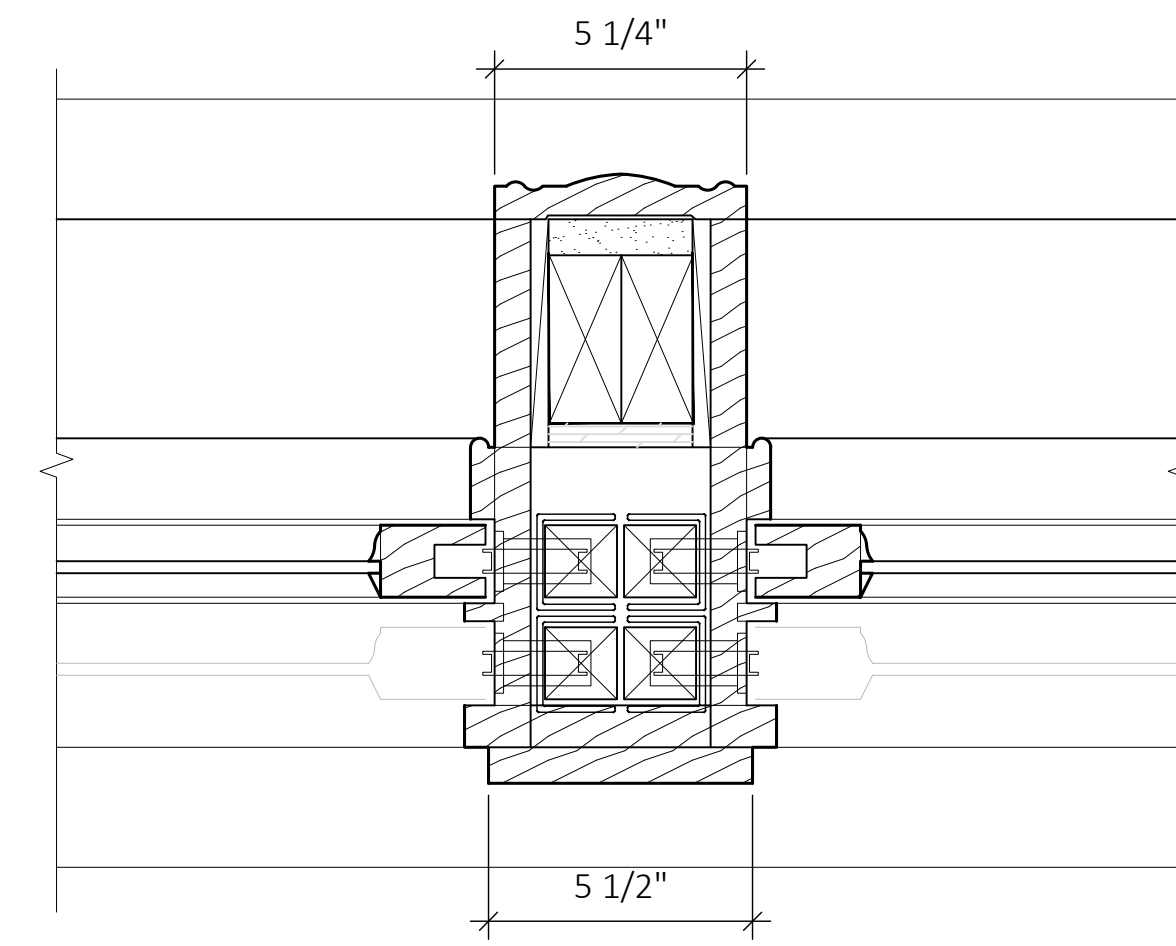
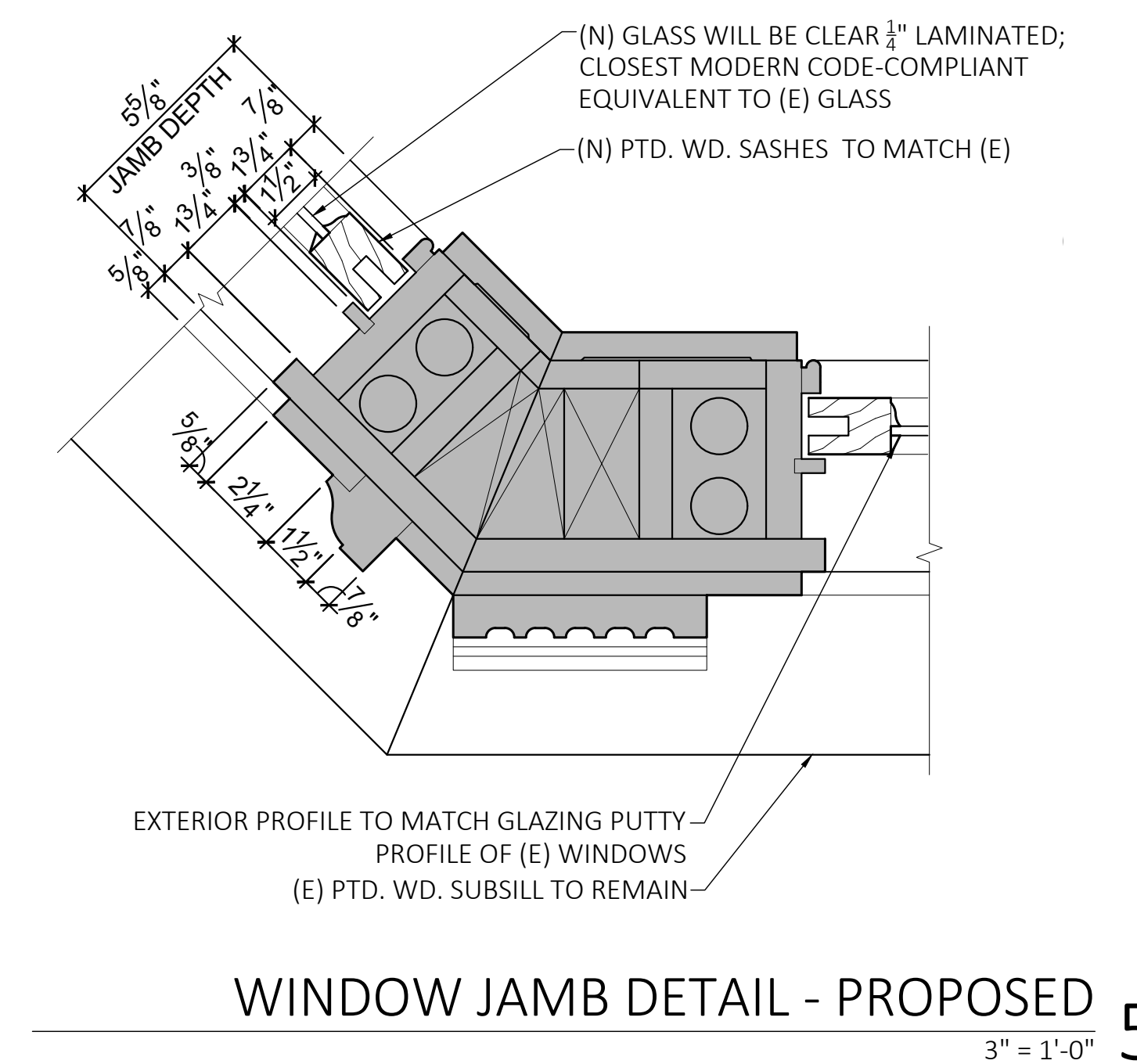
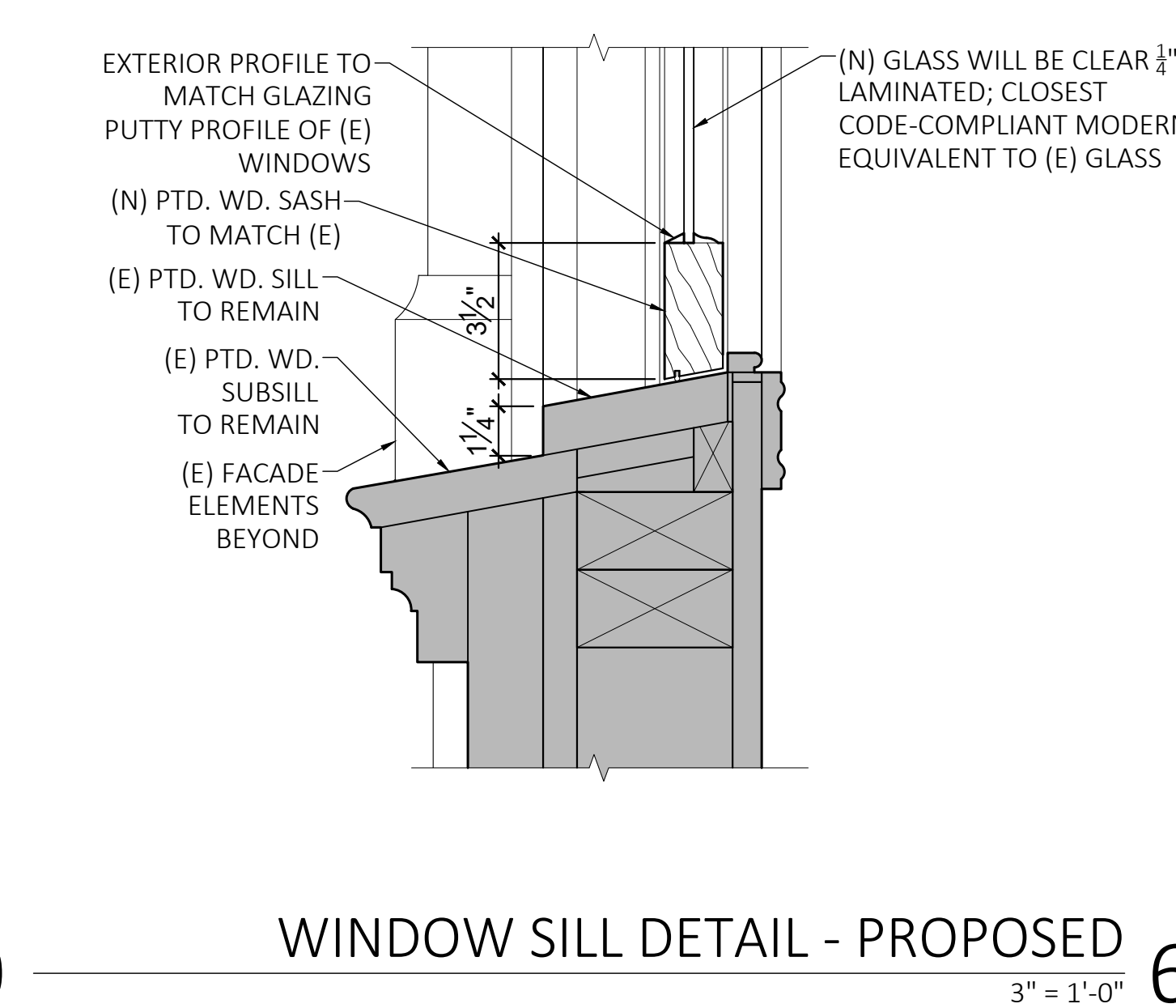
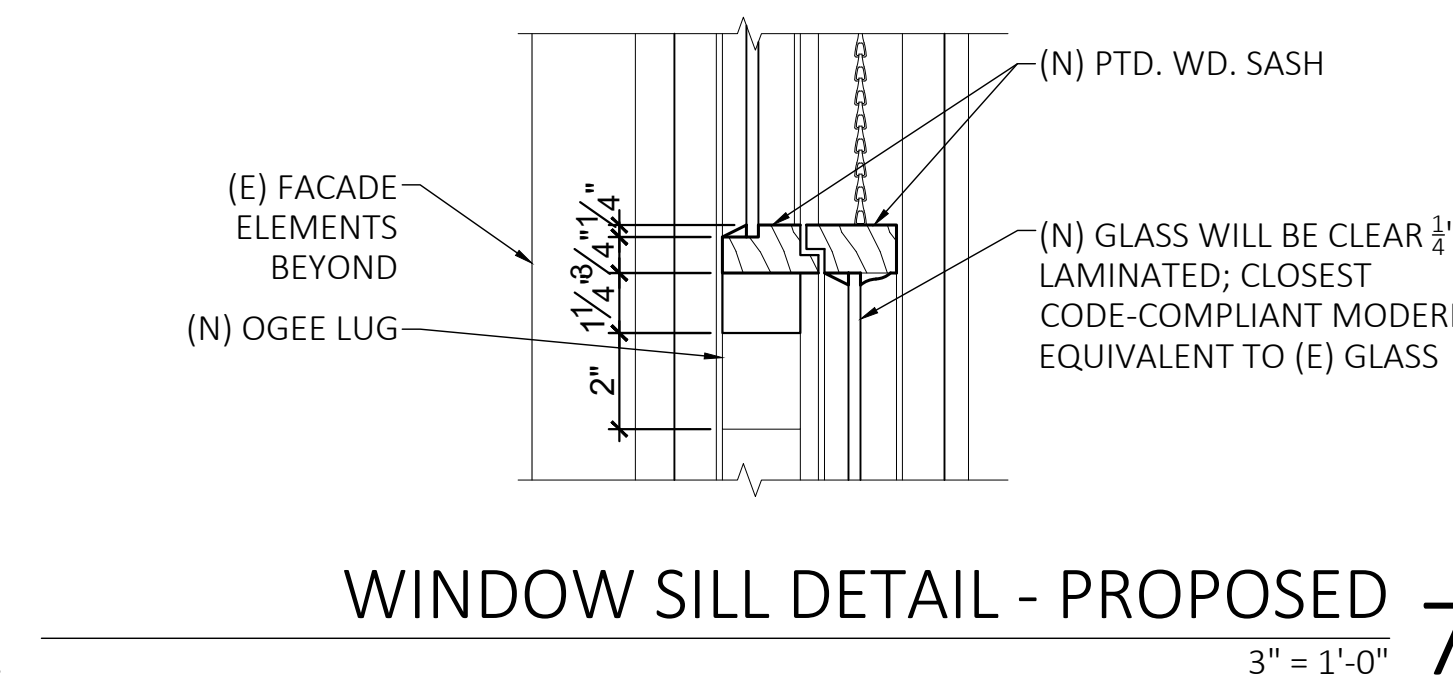
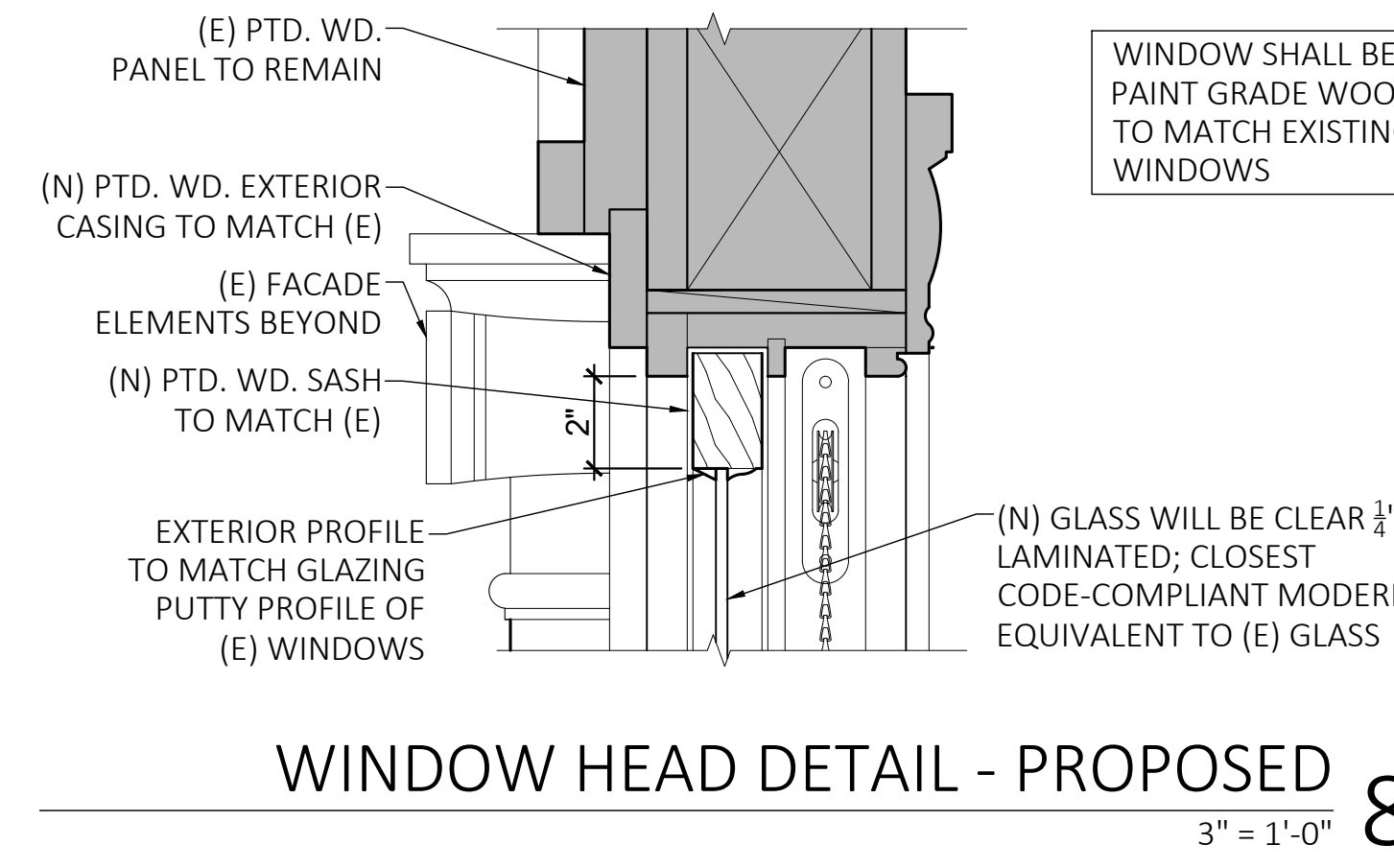
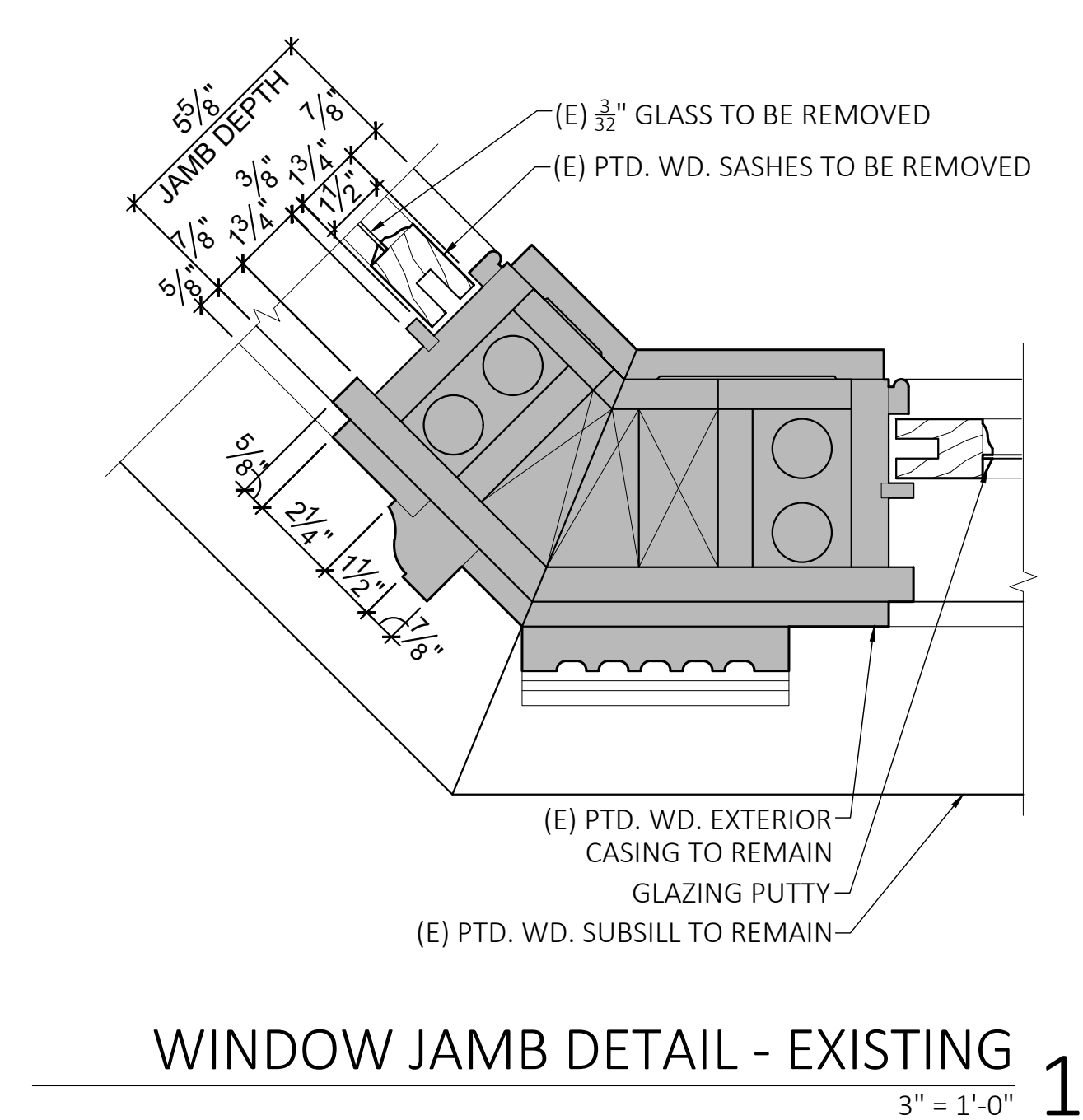
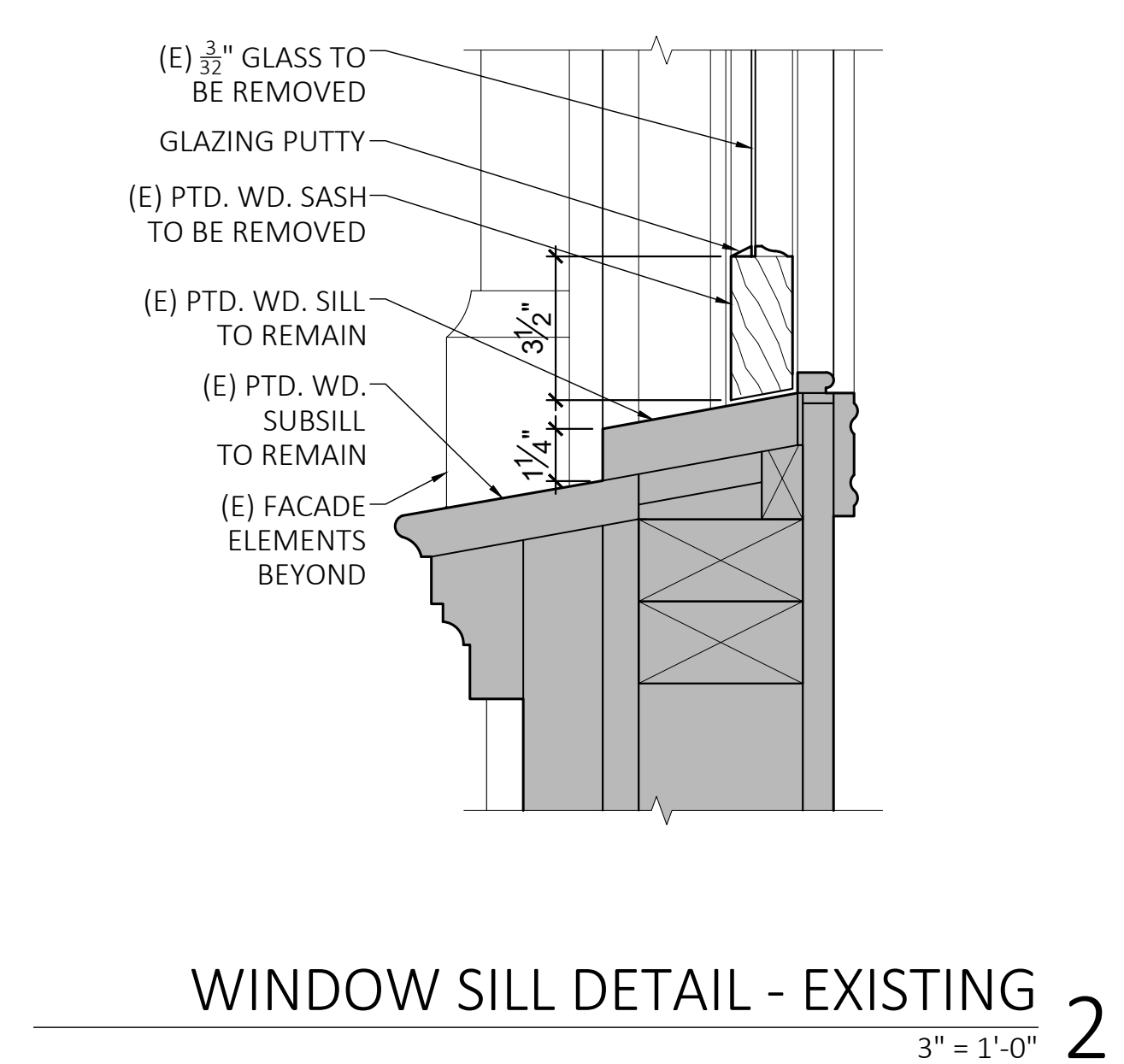
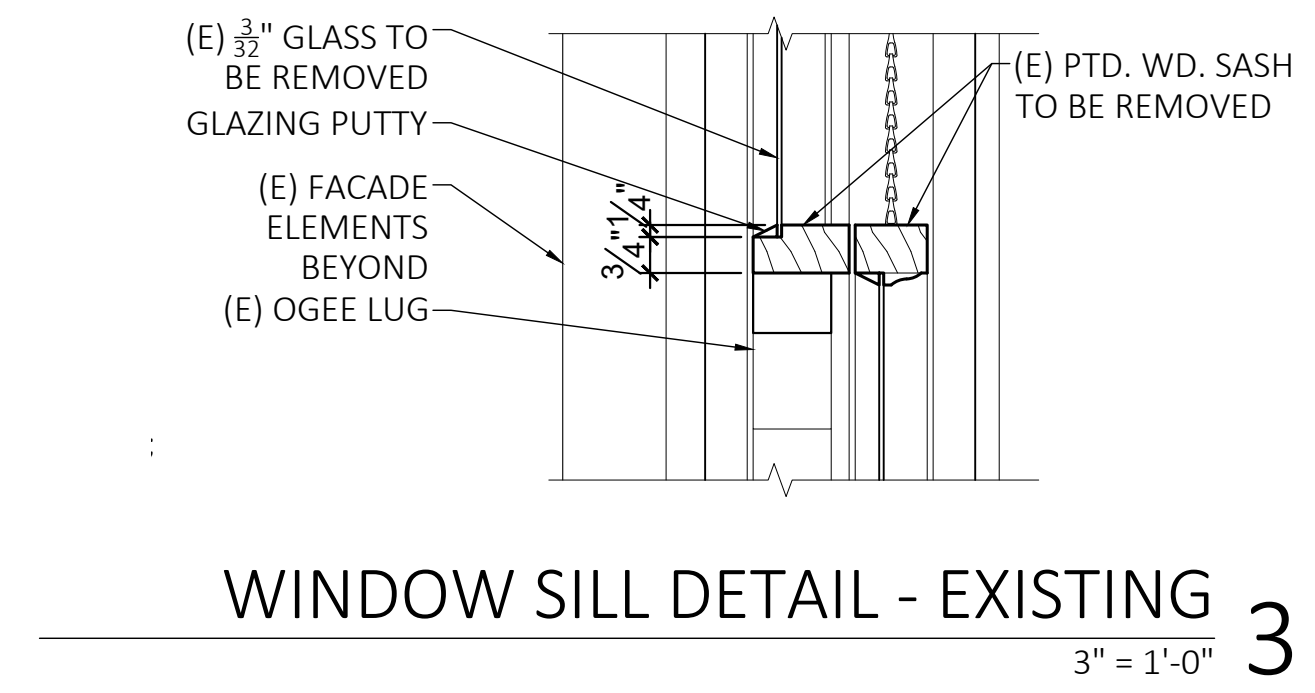
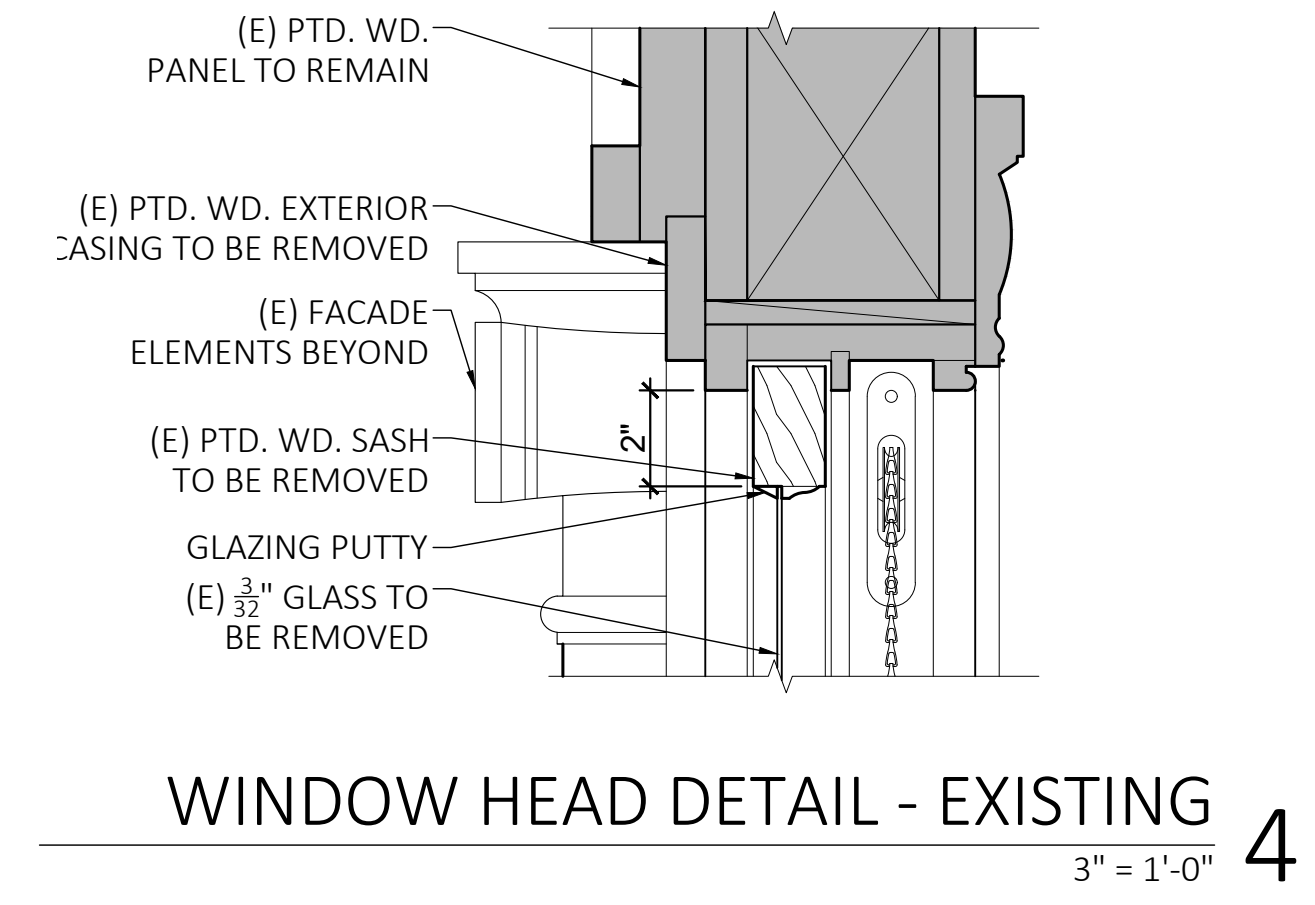
JOB # 2004

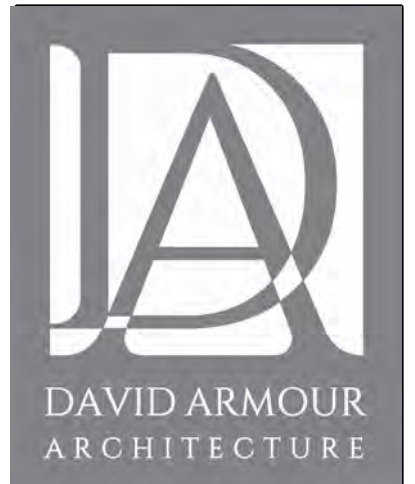
STAIR RAIL DETAILS

A8.3.5

SCALE: AS NOTED

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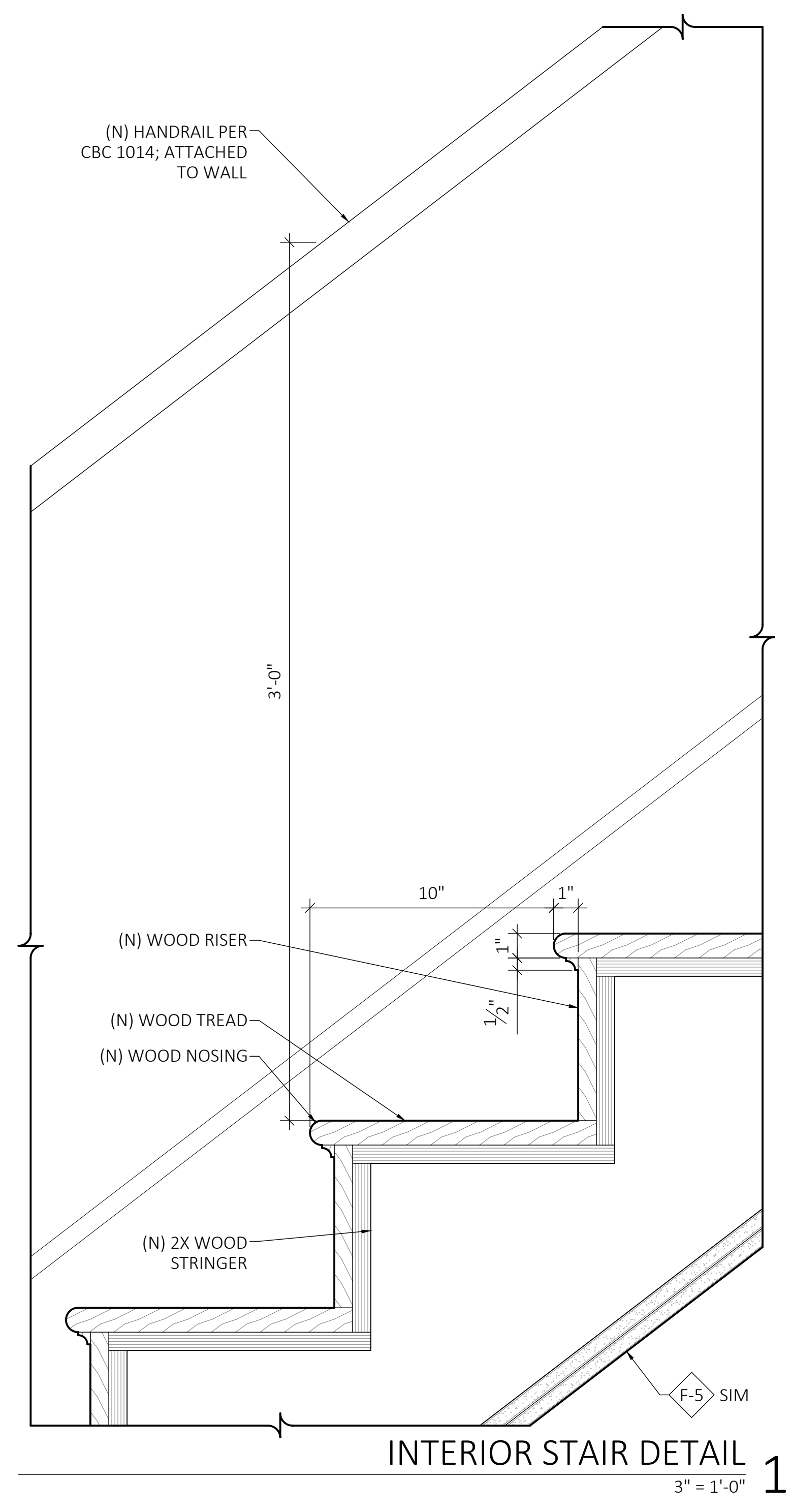




498 HAIGHT STREET
SAN FRANCISCO, CA 94117
(415) 440-2880



CULVER RESIDENCE
714 STEINER STREET, SAN FRANCISCO, CA 94117



ISSUANCE	DATE
CoFA/VARIANCE	05.26.21
BUILDING PERMIT	03.29.21
MILLS ACT APP.	05.26.21
PLAN CHECK	08.24.21
RESPONCE	

JOB # 2004

INTERIOR DETAILS -
STAIRS & CASEWORK

A9.2.1

SCALE: 3" = 1'-0"

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Appendix B: Environmental Decision Document



CEQA Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address 714 STEINER ST		Block/Lot(s) 0803019
Case No. 2020-011214ENV		Permit No. 202103237149
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval.</p> <p>The project includes the rehabilitation of 714 Steiner Street, one of the "Postcard Row" houses facing Alamo Square. Specifically, the project includes the following:</p> <ol style="list-style-type: none"> 1. Seismic upgrades; 2. Interior alterations throughout; 3. Relocation of a dwelling unit to the ground floor; 4. The construction of a one-story rear addition at the ground floor with deck; 5. New bay window at rear; 6. Installation of dormer and skylights at the roof; 7. Rebuilding front entrance stairs and front areaway; and 8. Rehabilitation of the building in conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. <p>Under the RH-2 Zoning District, the required rear yard must be equal to 45 percent of the total depth of the lot, or may use an averaging method pursuant to Section 134. The required rear yard is 18'-9", the proposed rear yard</p>		

STEP 1: EXEMPTION TYPE

The project has been determined to be exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p>
<input type="checkbox"/>	Other _____
<input type="checkbox"/>	Common Sense Exemption (CEQA Guidelines section 15061(b)(3)). It can be seen with certainty that there is no possibility of a significant effect on the environment.

STEP 2: ENVIRONMENTAL SCREENING ASSESSMENT

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g. use of diesel construction equipment, backup diesel generators, heavy industry, diesel trucks, etc.)? <i>(refer to the Environmental</i></p>
<input type="checkbox"/>	<p>Hazardous Materials: <input type="checkbox"/> Maher or <input type="checkbox"/> Cortese Is the project site located within the Maher area or on a site containing potential subsurface soil or groundwater contamination and would it involve ground disturbance of at least 50 cubic yards or a change of use from an industrial use to a residential or institutional use? Is the project site located on a Cortese site or would the project involve work on a site with an existing or former gas station, parking lot, auto repair, dry cleaners, or heavy manufacturing use, or a site with current or former underground storage tanks? <i>if Maher box is checked, note below whether the applicant has enrolled in or received a waiver from the San Francisco Department of Public Health (DPH) Maher program, or if Environmental Planning staff has determined that hazardous material effects would be less than significant.</i> Note that a categorical exemption shall not be issued for a project located on the Cortese List</p>
<input type="checkbox"/>	<p>Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities? Would the project involve the intensification of or a substantial increase in vehicle trips at the project site or elsewhere in the region due to autonomous vehicle or for-hire vehicle fleet maintenance, operations or</p>
<input checked="" type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? If yes, archeology review is required.</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? <i>(refer to the Environmental Information tab on https://sfplanningqis.org/PIM/)</i> If box is checked, Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Average Slope of Parcel = or > 25%, or site is in Edgehill Slope Protection Area or Northwest Mt. Sutro Slope Protection Area: Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, or (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area? <i>(refer to the Environmental Information tab on https://sfplanninggis.org/PIM/)</i> If box is checked, a geotechnical report is likely required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic Hazard: <input type="checkbox"/> Landslide or <input type="checkbox"/> Liquefaction Hazard Zone: Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area, or (4) grading performed at a site in the landslide hazard zone? <i>(refer to the Environmental Information tab on https://sfplanninggis.org/PIM/)</i> If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<p>Comments and Planner Signature (optional): Don Lewis Planning department staff archeologist cleared the project with no effects on 1/13/2021.</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map)	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input checked="" type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input checked="" type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input checked="" type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Reclassification of property status. (Attach HRER Part I) <input type="checkbox"/> Reclassify to Category A a. Per HRER b. Other (specify): <input type="checkbox"/> Reclassify to Category C (No further historic review)
<input type="checkbox"/>	2. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	3. Interior alterations to publicly accessible spaces that do not remove, alter, or obscure character defining features.
<input type="checkbox"/>	4. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input checked="" type="checkbox"/>	5. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.

<input type="checkbox"/>	6. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input checked="" type="checkbox"/>	7. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input checked="" type="checkbox"/>	8. Work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties (Analysis required)</i> : Replacement and restoration of front stairs. Garage door replaced with two double-hung windows, similar to original design and condition.
<input checked="" type="checkbox"/>	9. Work compatible with a historic district (Analysis required): Work is primarily restorative or not visible from POW. All work meets the Standards.
<input type="checkbox"/>	10. Work that would not materially impair a historic resource (Attach HRER Part II).
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input checked="" type="checkbox"/>	Project can proceed with exemption review. The project has been reviewed by the Preservation Planner and can proceed with exemption review. GO TO STEP 6.
Comments (optional): Property located in the Article 10, Alamo Square Historic District and requires review and approval by HPC.	
Preservation Planner Signature: Michelle A Taylor	

STEP 6: EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input checked="" type="checkbox"/>	No further environmental review is required. The project is exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Planning Commission Hearing	Signature: Michelle A Taylor 08/27/2021
	Supporting documents are available for review on the San Francisco Property Information Map, which can be accessed at https://sfplanninggis.org/PIM/ . Individual files can be viewed by clicking on the Planning Applications link, clicking the "More Details" link under the project's environmental record number (ENV) and then clicking on the "Related Documents" link. Once signed or stamped and dated, this document constitutes an exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination to the Board of Supervisors can only be filed within 30 days of the project receiving the approval action.	

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional

MODIFIED PROJECT DESCRIPTION

Modified Project Description:

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

- | | |
|--------------------------|--|
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code; |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312; |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)? |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |

If at least one of the above boxes is checked, further environmental review is required

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

- | | |
|--------------------------|---|
| <input type="checkbox"/> | The proposed modification would not result in any of the above changes. |
|--------------------------|---|

If this box is checked, the proposed modifications are exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can

Planner Name:

Date:

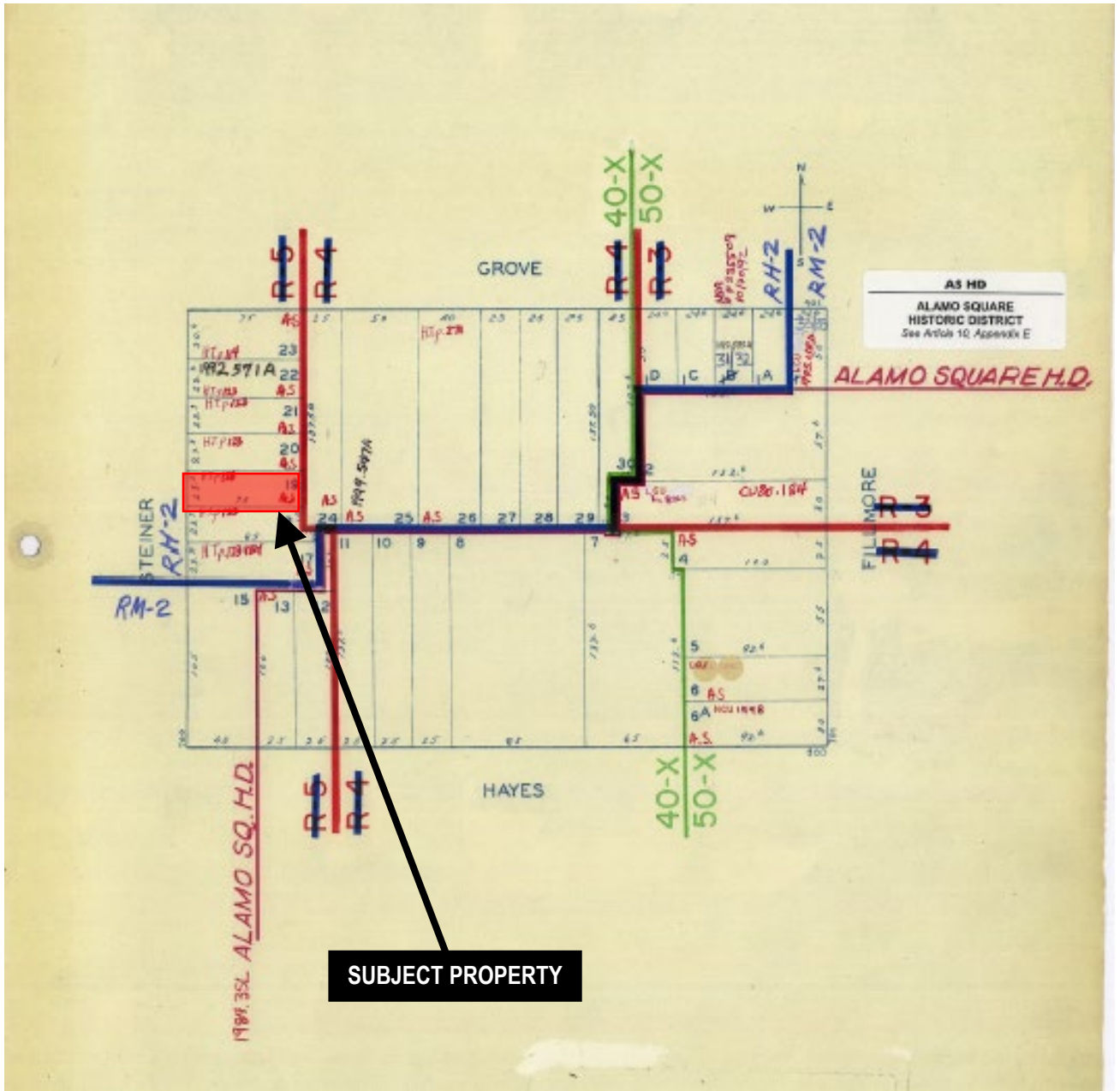
Appendix C:

Maps and Context

Photos

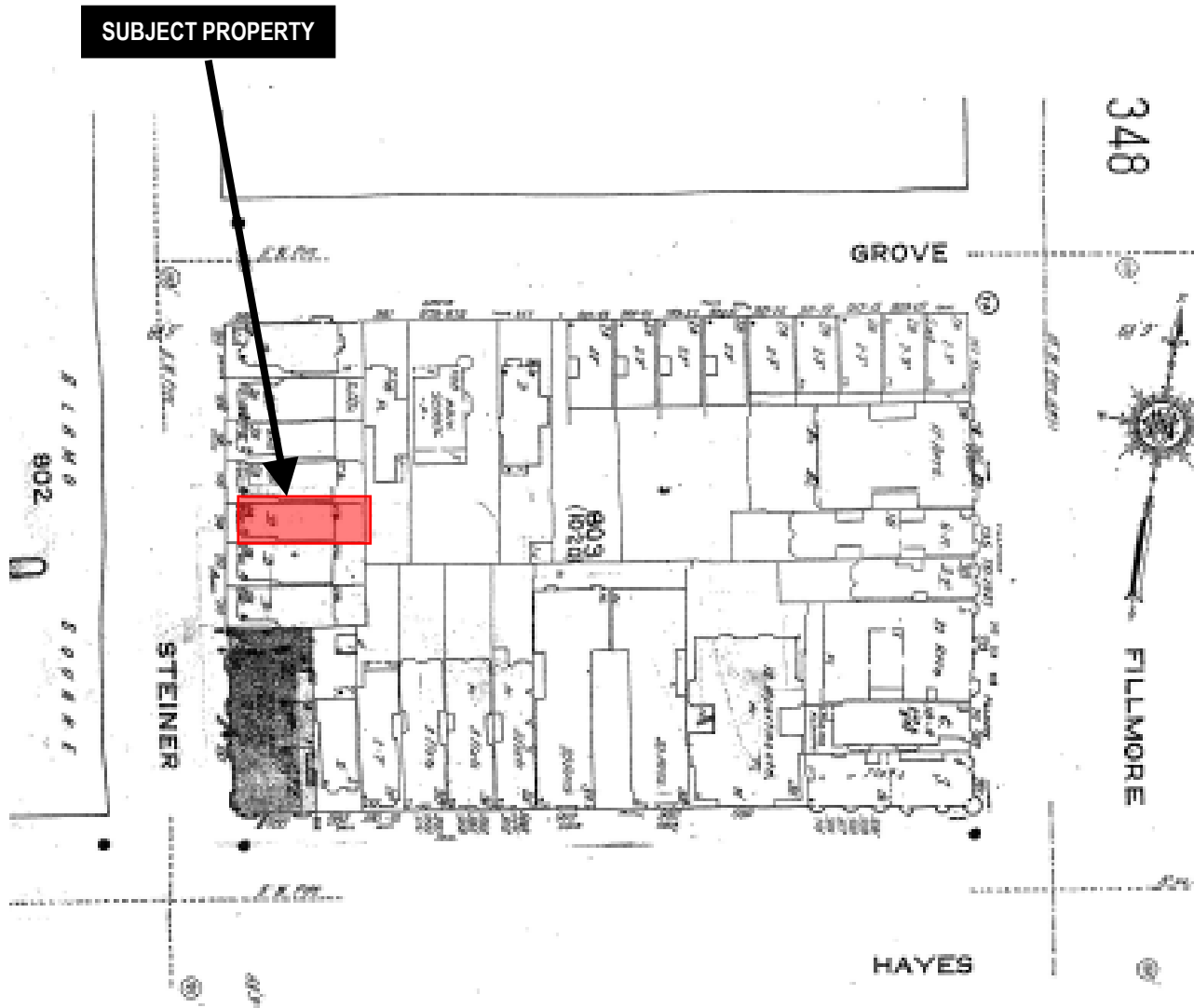
Certificate of Appropriateness
Case Number 2020-011214COA
714 Steiner Street

Parcel Map



Historic Preservation Commission
Case Number 2020-011214COA
714 Steiner Street

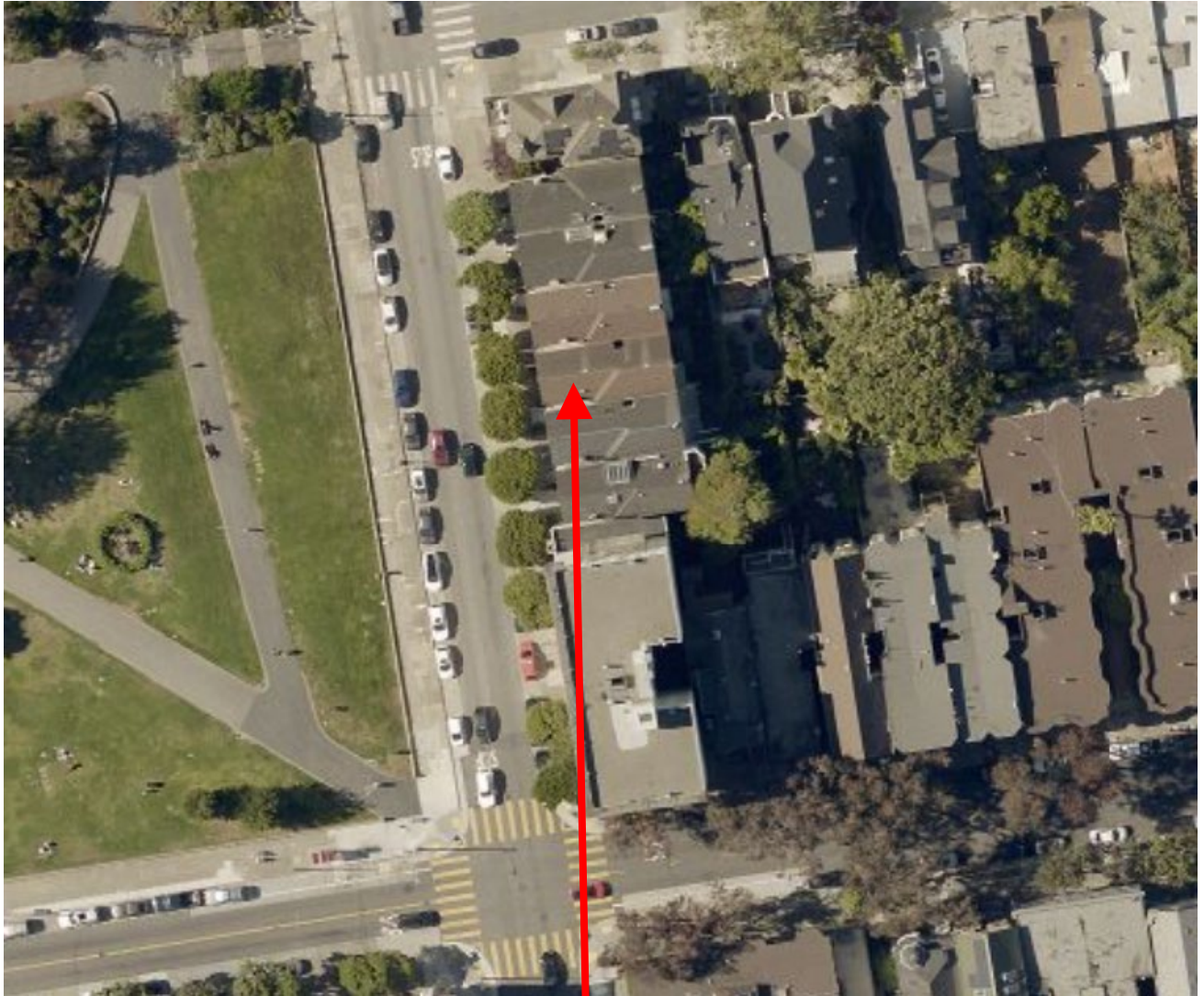
Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Aerial Photo – View 2

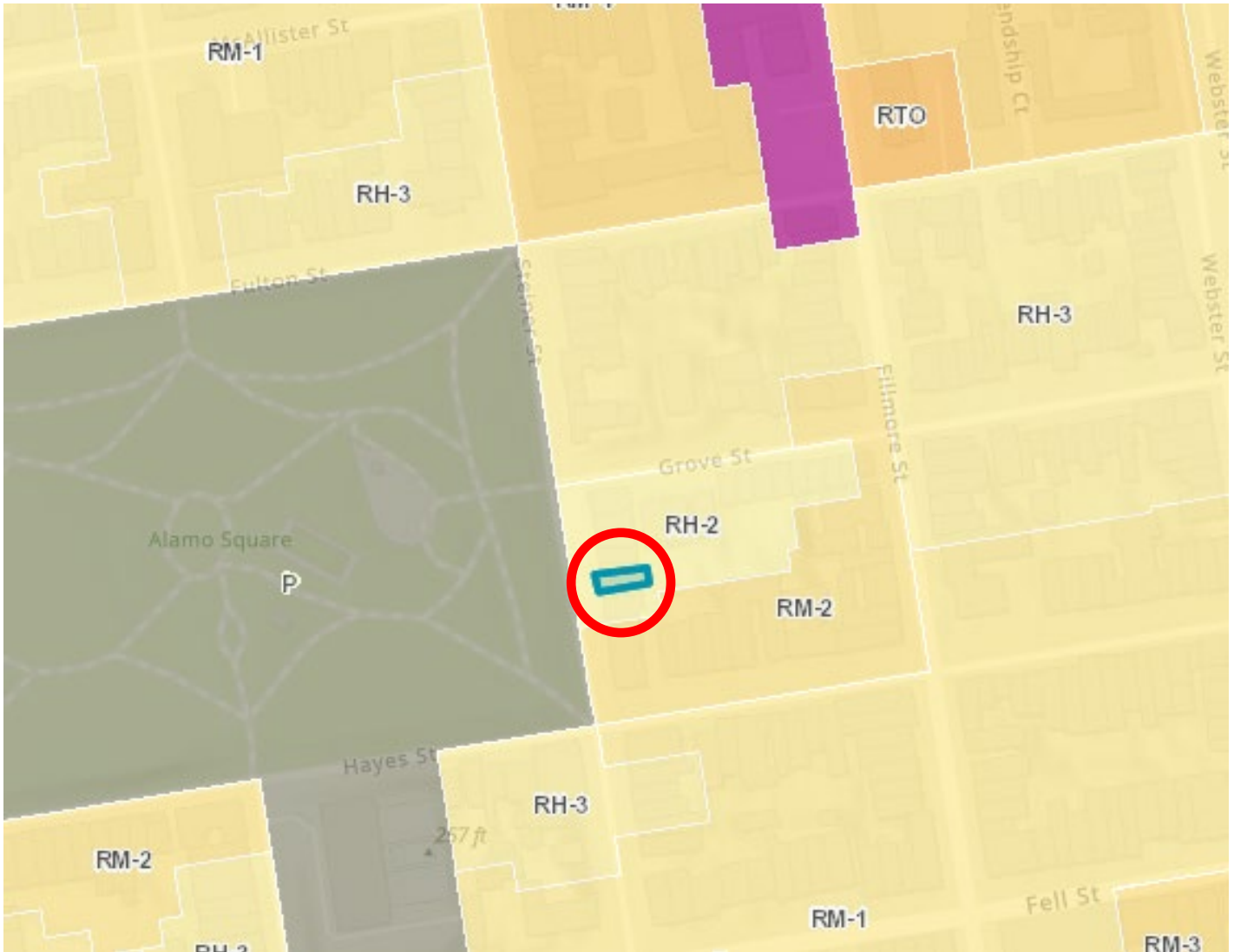


SUBJECT PROPERTY



Historic Preservation Commission
Case Number 2020-011214COA
714 Steiner Street

Zoning Map



Site Photo



Historic Preservation Commission
Case Number 2020-011214COA
714 Steiner Street

Site Photo #2



SUBJECT PROPERTY

Historic Preservation Commission
Case Number 2020-011214COA
714 Steiner Street

Site Photo #3



SUBJECT PROPERTY

Historic Preservation Commission
Case Number 2020-011214COA
714 Steiner Street

Site Photo #4

SUBJECT PROPERTY



Historic Preservation Commission
Case Number 2020-011214COA
714 Steiner Street

Appendix D:
Structural Evaluation of
Front Entry Stairs,
Strandberg Engineering
March 31, 2021

Certificate of Appropriateness
Case Number 2020-011214COA
714 Steiner Street

March 31, 2021

City and County of San Francisco
Department of Building Inspection
49 South Van Ness Avenue
San Francisco, California 94103
dbi.specialinspections@sfgov.org

Structural Evaluation

Culver Residence – Entry Stair Evaluation
714 Steiner Street, San Francisco, CA 94117
SFDBI PA #2021 – 0323 – 7149

To whom it may concern:

We conducted an engineering inspection of the existing entry stairs of the residence referenced above on March 22, 2020. Our site visit included a review of the existing construction in which we observed exposed elements, and damages to finishes that might be indicative of larger structural issues. This report provides a summary of our inspection findings and recommendations to demolish and rebuild-in-kind in order to replace the damaged structure and provide safe access to main entrance.

I. Description of Existing Entry Stair Construction

The existing entry stairs leading from the side walk to the main entry on the second floor appear to be unlevel, potentially creating a tripping hazard. The exposed stairs have evidence of staining where water typically pools and leaks to framing below. Cracks and gaps are observed throughout indicating possible foundation settlement. The existing foundation appears to be unreinforced brick masonry with portions of concrete, indicating attempts to patch previous cracks and leaks. Some portions of stair construction appear to be flat 1x untreated wood framing currently supporting heavy stone steps and mortar bed above. The existing 1x untreated wood framing shows signs of water intrusion, water damage, buckling, and areas of dry rot. There is no waterproofing barrier between any of the untreated wood framing surfaces and concrete, or brick interface.

II. Inspection Findings and Recommendations

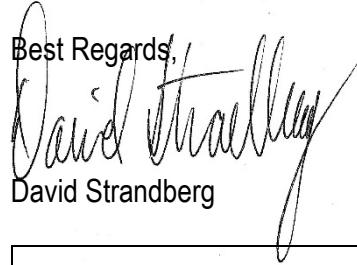
Based on our observations, the water damage, existing cracks, and uneven stair treads, are signs indicative of foundation settlement and framing instability. Existing patchwork has been shown to be ineffective due to re-emerging signs of distress. Delaying action may compound the issues by allowing existing cracks to grow over time leading to further water intrusion and stair misalignment.

Therefore, it is our professional opinion that the existing stairs be demolished and rebuilt in order to provide safe access to the residence's main entry rather than continued patchwork. Other factors may also be contributing to the instability of the existing stair construction but cannot be determined at this time.

Photos provided below for reference.

Please do not hesitate to call 415-778-8726 if you have any questions regarding this report.

Best Regards,



David Strandberg



Photo 1: Untreated wood framing showing water damage, buckling, and staining.



Photo 2: Cracking and gaps in concrete stairs allowing water to seep into enclosed crawlspace below stairs.



Photo 3: Cracking and gaps in concrete stairs allowing water to seep into enclosed crawlspace below stairs.

Appendix E:
Undated Historic
Photograph of
710 Steiner Street

Certificate of Appropriateness
Case Number 2020-011214COA
714 Steiner Street

714 Steiner Street San Francisco, Historic Structure Report
Mills Act Application - May 28, 2021



Historic Photograph 1:
710 Steiner showing the paired window below the bay window. Unfortunately, there is not a similar detailed photograph of 714 Steiner Street. Source: Storied Houses of Alamo Square Page 179.



Appendix F:

Project Sponsor Brief and Letters of Support

Certificate of Appropriateness
Case Number 2020-011214COA
714 Steiner Street

REUBEN, JUNIUS & ROSE, LLP

September 27, 2021

Delivered Via Email

President Diane Matsuda
San Francisco Historic Preservation Commission
49 South Van Ness Avenue, Suite 1400
San Francisco, CA 94103

**Re: Property: 714 Steiner Street
Planning Department Case Nos.:
2020-011214COA, 2020-011214ENV, 2020-011214VAR, 2021-004327MLS
Hearing Date: October 6, 2021
Our File No.: 11663.01**

Dear President Matsuda and Commissioners:

Our office is working with the owner (the “Owner”) of 714 Steiner Street (the “Property”), which is one of the Painted Ladies on the east side of Steiner Street across from Alamo Square Park known as Postcard Row.



The Property contains a four-story, wood-framed, two-family residential structure. Constructed prior to 1900, it is a contributing resource to the Article 10 Alamo Square Historic District. The Owner proposes a number of interior and exterior alterations to restore the historic structure, including removal of the garage, reconfiguration of the interior to be more in line with the original layout, and relocation of a second unit to the ground floor (the “Project”).

San Francisco Office
One Bush Street, Suite 600, San Francisco, CA 94104
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Oakland Office
492 9th Street, Suite 200, Oakland, CA 94607
tel: 510-527-5589

www.reubenlaw.com

The Project is seeking approval of (1) a Certificate of Appropriateness for the alteration of a Property regulated under Article 10; (2) a Mills Act contract to enable the historic rehabilitation and upkeep of the Property; and (3) rear yard and front setback Variances to allow for a second story rear deck and staircase, a reconfigured rear bay window at the third story, and a bicycle vault that would be hidden under a new landscape planter within the front setback.

The Project should be approved for the following reasons:

1. The Project will thoughtfully and sensitively restore an important historic property on one of San Francisco's most iconic blocks.
2. Rehabilitation work, supported by a Mills Act contract, will include seismic improvements, a new roof, restoration of decorative wood details, stained glass, and historic windows, reconstruction of the front stairs and balustrade, and painting of all facades. All work will be consistent with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*.
3. The Property was subdivided around 1960. The main floor was cut off from the upper floors and interior partitions were installed randomly throughout the house. The Project will restore the upper levels of the Property to be more in line with the original configuration and will add a 2-bedroom unit at the ground level with independent access from Steiner Street.
4. The Project includes removal of the non-original garage and driveway in order to provide the spacious ground floor unit with street facing and rear frontages. Garage removal will also facilitate restoration of the historic window configuration on the front façade.
5. In lieu of a garage, the Project proposes a creative solution for bike storage by building a vault hidden under a landscaping planter within the front setback. The bike vault will facilitate the Owner's use of a bike as her primary mode of transit and is consistent with the City's policy to prioritize alternative means of transportation. The bicycle vault will be virtually undetectable from the sidewalk and will have no impact on the character of the block.

A. Existing Property and Project Overview.

1. Existing Property

The Property was constructed around 1895 and is one of seven houses in the row that were built by Matthew Kavanagh. The Property is located within the Article 10 Alamo Square Historic District as a contributing structure.

The building currently features a ground floor garage, an 884 square foot, 2-bedroom unit located on the second floor, and an 1,868 square foot 2-bedroom unit located on the third and attic floors. Both units currently share the main entrance and rear yard, and both are currently vacant. The Property was originally constructed as a single-family house, but was divided into two units sometime in the 1960s. At that time, the main floor was cut off from the upper floors, with the center stairwell closed off. Interior partitions were installed randomly throughout the building, with original features hidden behind drywall. The resulting units were not well thought out and do not function well for contemporary families

The Owner plans to create two new family-sized units with upgraded features, while restoring the original interiors as much as possible.

2. *Project Overview*

The Project includes interior alterations throughout the building, including seismic upgrades. The garage and off-street parking will be removed. The upper floors will be restored to be more in line with the original configuration—with a 3,173 square foot unit—and an 889 square foot 2-bedroom unit would be relocated to the ground floor.

At the rear, the existing 2-story deck and egress stair will be removed, and a new 1-story deck will be constructed at the second floor, extending 7 feet from the rear façade. The deck will have direct access to the upper unit at the second floor, with a new stair leading off the deck to the rear yard. Below the deck, a covered patio would connect the lower unit to the shared backyard, and an exterior closet would provide storage space that compensates for storage lost by converting the garage to a new dwelling unit.

The rear bay window at the third floor will be reconfigured and will extend out 3 feet, 3-1/4 inches from the façade. There will be three new skylights installed on the center portion of the roof. At the front façade, the entry stair will be rebuilt and restored, the non-original garage removed, a new pair of windows installed, a hidden mechanical bike vault installed within a new planter box, and the front area reconfigured for attractive and independent access to the ground floor unit. A new fence and gate will be installed at the front property line where the existing bollards/footings exist. All facades will be restored and repainted, including the historic windows. All work will conform to the *Secretary of the Interior's Standards for the Treatment of Historic Properties* (the "SOI Standards").

B. Certificate of Appropriateness is Warranted.

The Project will comply with Planning Code Article 10 and with the SOI Standards. The Project has been sensitively designed to restore the Property to its original character—both inside and out. A non-original garage and driveway would be removed—allowing the front facade to be restored to its original configuration. The majority of exterior alterations are limited to the rear and secondary facades, and the Property's distinctive materials, features, and finishes on the primary façade would be preserved or replaced in kind. The Property's essential form and integrity would

be retained and unimpaired and the Property will maintain its compatibility with and contribution to the Alamo Square Historic District.

C. Mills Act Approval is Appropriate and Necessary to Further the Historic Rehabilitation and ongoing Maintenance of the Property.

The Mills Act allows property owners to obtain a property tax credit in exchange for entering into a contract with the City to restore and preserve a historic property. As a contributing building to the Alamo Square Historic District, the Property is eligible for a Mills Act contract.

The Property represents an exceptional example of Queen Anne, Victorian-era architecture and it is an integral component of the Painted Ladies that face Alamo Square and are often photographed as iconic San Francisco residences. Prior to its purchase by the Owner in 2019, the property had been detrimentally neglected for a long period of time. Substantial investment is required to correct structural deficiencies, repair water infiltration and damage, and rectify previous poorly executed projects.

As detailed in the Rehabilitation Plan, the Project would involve the following rehabilitation work:

1. Structural and seismic improvements;
2. Site drainage and waterproofing improvements;
3. New roofing;
4. Restoration and repair of decorative wood details;
5. Restoration and repair of the front door and wood paneling and windows;
6. Reconstruction of the front stairs and balustrade;
7. Removal of the driveway and garage and restoration of the lower story of the front façade to the historic window configuration;
8. Painting of all facades, including abating lead paint; and
9. Stained glass restoration.

Combined with the ongoing maintenance the Property will require, the Property represents a considerable investment and property tax relief will provide meaningful assistance to the Owner in achieving the goals of both the Rehabilitation and Maintenance Plans.

D. Variances are Appropriate, Necessary, and not Materially Injurious to the Property or its Neighbors.

1. Rear Yard Variances

The existing rear yard is 18 feet, 9 inches (25%) of the lot depth, which matches that of the other properties on the street and is consistent with the Section 134 rules for rear yard averaging. The Project would remove the existing 2-story stair and deck structure and replace it with a lower-profiled 1-story deck, which would extend 7 feet from the rear facade and would align with the

adjacent sunroom and deck projection at 712 Steiner to the immediate south. The deck would provide private open space to the upper unit and would facilitate direct access from that unit to the yard. Below the deck, a covered patio would connect the lower unit to the shared backyard, and an exterior closet would provide storage that compensates for storage lost by converting the garage to a new dwelling unit.



Existing Decks and Stairs

Proposed Deck and Staircase

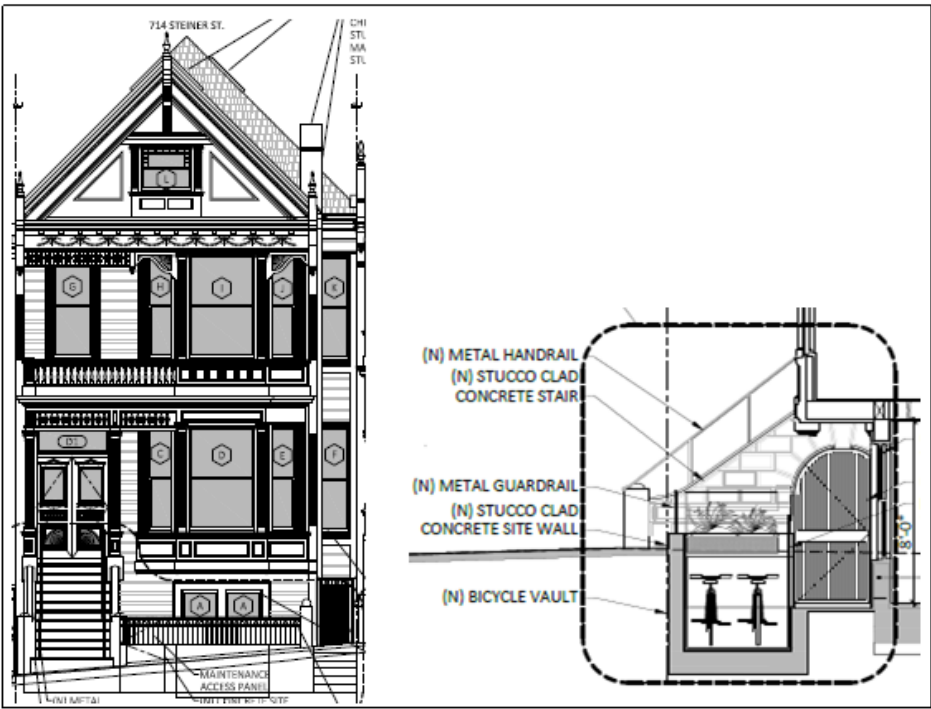
The proposed rear yard encroachments would not unduly impact the lower unit. The Planning Code exposure standards require only that one room face either a public street or an open area that is 25 feet in every horizontal direction, and the new ground floor unit would have two west-facing windows and rear yard frontage with direct access to a covered patio and the shared yard. This unique ground-floor layout provides more light exposure than a similar Code-compliant unit could provide, with the added benefit of direct access to outdoor space.

Further, the deck is necessary to provide sufficient open space for both units. The Planning Code requires properties in this district to provide 125 square feet of open space for each unit if private, and 166 square feet for each unit if shared. The Project proposes 327 square feet of shared open space on the ground floor, with 166 square feet allotted to the downstairs unit and 161 square feet allotted to the upstairs unit—this leaves a deficit of open space for the upstairs unit, which would be provided on the proposed second floor deck. If the deck could not be built, the Project would instead require a variance in order to provide less than the required open space square footage.

At the third floor, the rear bay window will be reconfigured and will extend out 3 feet, 3 1/4 inches from the façade. Due to the Property’s siting and limited lot depth, any reconfiguration of the existing bay window would take place within the required rear yard. The Project would widen the bay window to maximize light and air into the main bedroom—allowing the upper unit to maintain some of the upper-level light and air access that will be lost to the removal of the existing third story deck space—while still leading to an overall reduction in the structure’s rear envelope.

2. *Front Setback Variance*

Section 132(b) requires a front setback equal to the average of the two adjacent front setbacks. The adjacent properties are both set back 9 feet, 1 7/8 inches, which means the Property has a setback requirement equal to 9 feet, 1 7/8 inches. The Project proposes a mechanical bicycle vault that would be situated under a new landscape planter within the front setback—which would be completely hidden from view, as illustrated here:



The Owner has agreed to give up the existing garage in order to provide a spacious ground floor unit with both front and rear frontages, as well as to focus on the historic restoration of the front facade. The front setback variance is critical to the Project. Modern bicycles, especially electric bikes that would be a feasible replacement for an automobile, tend to be heavy, valuable, and require access to electricity and protection from the weather. Ground floor interior bicycle parking was deemed infeasible because it would have to be accessed by a narrow and difficult to maneuver path from the front yard and would eliminate interior tenant storage space.

Given the removal of the garage, the most efficient and practical means of providing secured onsite bike storage would be via the proposed bicycle vault. The proposal is a creative solution for a historic property that is in line with the Planning Department's policy to prioritize alternative means of transportation. The bicycle vault will be hidden within a new landscape planter, such that it will be virtually undetectable from the sidewalk and will have no impact on the character of the block.

E. Conclusion

As detailed herein, the Project will result in the thoughtful restoration of one of San Francisco's most iconic properties. The Property was subdivided sometime around 1960 and has fallen into severe disrepair over the years. The Owner proposes to reconfigure the interior of the Property to be more in line with its original layout, while still preserving a second two-bedroom unit—which would be relocated to the ground floor and would enjoy independent access from the street and direct access to the shared rear yard.

The removal of the garage will allow the Steiner Street facade to be restored to its original appearance. The entry stair will be rebuilt and restored, a new fence and gate will be installed where the existing bollards/footings sit, and all facades will be restored and repainted, including the historic windows. All work will conform to the Secretary of the Interior's Standards for the Treatment of Historic Properties.

This is an extraordinary property that the Owner plans to sensitively modernize and meticulously restore. To date, the Project has received 4 letters of support, including from the immediate neighbor to the south and the Victorian Alliance of San Francisco. We are not aware of any letters submitted in opposition to the Project.

We look forward to presenting the Project to you on October 6. If you have any questions before then, please feel free to contact me at 415-567-9000 or cangelis@reubenlaw.com.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP



Chloe Angelis

Enclosures

Historic Preservation Commission

September 27, 2021

Page 8

cc:

Commissioner Kate Black

Commissioner Chris Foley

Commissioner Richard S.E. Johns

Commissioner Ruchira Nageswaran

Commissioner Lydia So

Commissioner Jason Wright

Michelle Taylor, Senior Preservation Planner

Shannon Ferguson, Senior Planner

Jonathan Vimr, Senior Planner

714 STEINER LETTERS OF SUPPORT

A.	Charlene Li from 722 Steiner	1
B.	Gail Baugh and Jim Warshell from 700 Hayes	2
C.	George Horsefall from 712 Steiner.....	3
D.	Victorian Alliance of San Francisco	4

CHARLENE LI

September 27, 2021

Dear San Francisco Planning Department and Historic Preservation Commission:

We're writing to you today as residents and owners of one of the famous Painted Ladies of Alamo Square and a neighbor of 714 Steiner. We have reviewed the plans and approve of the proposed changes.

Our home at 722 Steiner still has its original front garden, so we agree that the replacement of the garage and driveway with a front garden is historically appropriate. We also support the reconstruction of the front stairs for safety purposes and look forward to the repainting and repairs to the facade.

Overall, we support the plans to renovate 714 Steiner to preserve the beauty of these iconic homes.

Sincerely,
Charlene Li and Côme Laguë
722 Steiner
San Francisco, CA 94117

Gail Baugh and Jim Warshell
700 Hayes Street. San Francisco, CA 94102

September 24, 2021

To: Zoning Administrator, HCP Commission, Michelle Taylor, Planner, SF Planning Department

Re: 714 Steiner Street Certificate of Appropriateness and Mills Act Contract

We are writing to support the owners of 714 Steiner Street, one of the iconic homes on Post Card Row, in their quest to rehabilitate their home.

Retaining the rental unit and removing the garage entrance driveway is a wonderful way to add permeable landscape and eliminate car storage for this important home. The rear setback concern has also provided a livable solution to a small, sloping “back yard.”

The owners and their team are working to provide a home for themselves as we all adapt to a new future, while providing opportunities for our city to reclaim a home that is a part of San Francisco’s cultural heritage.

Sincerely,

Gail Baugh and Jim Warshell

gailbaugh40@gmail.com

jimwarshell@yahoo.com

From: [George](#)
To: [Chloe V. Angelis](#)
Subject: Re: #714 Steiner. Letter for Leah Culver from next door neighbor at #712
Date: Sunday, September 19, 2021 11:42:19 AM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender.

Dear San Francisco Planning Department and Historic Preservation Commission,

I am the next door neighbor, (#712), of Leah Culver at of #714 Steiner. I am thrilled and relieved to see the wonderful plans and proposals for the renovation of this key component of the group of homes, known as "The Painted Ladies". Over the years this home has been neglected and hacked up, in some cases to the point we have been concerned in our home, about fire and the stability of one chimney and the rear decks. Knowing that this home will be restored with architectural integrity and with all changes made to code, is a huge relief. I appreciate all that Ms Culver is proposing to bring this home back, and know that she will make it better than ever. Simply put, I love all her plans and proposed changes.

When originally built, these homes all had front gardens. The plans to put a garden back in place of a garage is not something that is without historical precedence, as there were no garages on this row for their first 30 years, and in one case, I believe the last garden was converted sometime in the 1950s. It will not be an anomaly, as 722 still retains it's original garden. I am in support of restoring the front garden at #714 Steiner, especially since it will allow the upper floors to be restored to their original purpose. I also support the rebuild of the front steps for safety and preservation. I'm looking forward to seeing the front façade of this iconic home repaired and re-painted.

I also support the change from a two-story deck to a one-story deck and the addition of a new fence. I do not believe my home will be negatively impacted by any of the proposed changes, in fact, it will be a huge plus for all the homes surrounding #714.

As a fellow resident of a Painted Lady, (The Blue Painted Lady), I encourage the restoration and improvement of #714 Steiner to preserve the beauty of the neighborhood and the preservation of this San Francisco icon. .

Sincerely,
George Horsfall

George Horsfall
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The Victorian Alliance of San Francisco

PO Box 14543, San Francisco, CA 94114

(415) 824-2666 victorianalliance.org Founded 1973

September 24, 2021

San Francisco Historic Preservation Commission
1660 Mission Street
San Francisco, CA 94103

Dear Commissioners:

I am writing to express my support for Leah Culver's project to sensitively rehabilitate 714 Steiner Street.

The Victorian Alliance of San Francisco is the City's oldest all-volunteer historic preservation organization, which since 1973 has advocated for the care and celebration of San Francisco's architectural heritage. There are few residential structures more recognizable and instantly associated with the City's Victorian architectural heritage than 714 Steiner and its "Postcard Row" sisters.

Since her purchase of this important, but sadly neglected property, we've been impressed by Ms. Culver's solicitous and thoughtful approach to her stewardship. The architectural plans for the property underscore this approach, and represent a careful, respectful project that is appropriate to this property. We are supportive of her project and hope that it serves as an example to other owners of San Francisco's irreplaceable architectural heritage.

Thank you for considering my comments.

Sincerely,

Rob

Rob Thomson, President
Victorian Alliance of San Francisco