



# MAJOR PERMIT TO ALTER EXECUTIVE SUMMARY

**HEARING DATE: OCTOBER 6, 2021**

## CONSENT

**Record No.:** 2020-011053PTA  
**Project Address:** 934 Market Street  
**Category:** Category V (Unrated)  
**Zoning:** C-3-G (Downtown-General) Zoning District  
110-X Height and Bulk District  
**Block/Lot:** 0341/004  
**Project Sponsor:** Preet Shergill, RSI Group, Inc.  
3187 Airway Avenue, Suite A  
Costa Mesa, CA 92626  
**Staff Contact:** Jonathan Vimr - 628-652-7319  
Jonathan.Vimr@sfgov.org

**Recommendation:** Approval

## Property Description

934 Market Street is located on the north side of Market Street between Mason and Cyril Magnin Streets (Assessor's Block 0341; Lot 004). The subject building is a Category V (Unrated) property located within the Kearny-Market-Mason-Sutter Conservation District ("KMMS"), locally designated under Article 11, Appendix E of the Planning Code.

Completed in 1974—outside the district's period of significance—and exhibiting characteristics of the Brutalist style as well as other late 1900s architectural influences, the subject property is considered non-contributory to KMMS.

## Project Description

The proposed project entails a variety of exterior alterations to the existing building, including installation of minimally or non-visible rooftop mechanical equipment, replacing an upper-level window with a louvered grille,

replacing entryways in kind, modifying the base of the building at its western and northern ends, and painting the previously painted columns at the base of the building. The upper level clad in rough, exposed concrete will remain unpainted. Please see photographs and plans for details.

## Compliance With Planning Code

### PLANNING CODE DEVELOPMENT STANDARDS.

The proposed project is in compliance with all other provisions of the Planning Code.

In order to proceed, a building permit from the Department of Building Inspection is required.

### APPLICABLE PRESERVATION STANDARDS.

The proposal overall, is appropriate for and consistent with the purposes of Article 11, meets the standards of Article 1111.6 of the Planning Code, and complies with the *Secretary of the Interior's Standards for Rehabilitation*, in that:

- the unpainted concrete that defines the upper level of the building will remain unpainted;
- the new louvered grille will provide symmetry with and match the existing grille at the northern end of the existing dormer window;
- entry doors will match the existing and be installed at the same locations;
- new rooftop mechanical equipment will be minimally if at all visible from the surrounding public rights-of-way;
- proposed changes are limited in nature and would not alter the massing, form, and scale of the existing building, thereby ensuring that there would be no effect on the broader conservation district;
- while the subject building is viewed as non-contributory to KMMS given its design and date of construction, the proposed changes would nonetheless retain the building's distinctive stylistic features, materials, and other features that characterize it.

The Department has determined that the proposed work will be in conformance with the requirements of Article 11 and the *Secretary of the Interior's Standards for Rehabilitation*. Given its date of construction and architectural design, the subject building is viewed as non-contributory to KMMS. And since proposed work is limited in nature and would not alter the building's massing, form, or scale the project will not result in any effect on the broader conservation district. Further, the character of the non-contributory building would be retained.

## Public/Neighborhood Input

The Department has not received any correspondence in support of or expressing opposition to the project.

## Issues & Other Considerations

- The Project is fully code complaint and is supported by Department Staff

## Environmental Review Status

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 categorical exemption.

## Basis for Recommendation

The Department recommends approval of the proposed project as it appears to satisfy the *Secretary of the Interior’s Standards for Rehabilitation* and to meet the provisions of Article 11 of the Planning Code regarding Major Alterations to a Category V (Unrated) property located within a conservation district.

## Attachments

Draft Motion –Major Permit to Alter  
Exhibit A – Plans and Renderings  
Exhibit B – Environmental Determination  
Exhibit C – Maps and Context Photos



# PERMIT TO ALTER MAJOR ALTERATION DRAFT MOTION

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Jonathan.Vimr@sfgov.org

ADOPTING FINDINGS FOR A PERMIT TO ALTER FOR MAJOR ALTERATIONS DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 11 OF THE SAN FRANCISCO PLANNING CODE, AND TO MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 004 IN ASSESSOR'S BLOCK 0341 IN THE C-3-G (DOWNTOWN- GENERAL) ZONING DISTRICT AND A 110-X HEIGHT AND BULK DISTRICT.

## Preamble

On November 23, 2020, Preet Shergill of RSI Group, Inc. (hereinafter “Project Sponsor”) filed Application No. 2020-011053PTA (hereinafter “Application”) with the San Francisco Planning Department (hereinafter “Department”) for a Permit to Alter for exterior alterations at a subject building located on Lot 004 in Assessor’s Block 0341, which is a Category V (Unrated) property (hereinafter “Project Site”) located within the Kearny-Market-Mason-Sutter Conservation District, locally designated under Article 11, Appendix E of the Planning Code.

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 categorical exemption. The Historic Preservation Commission (hereinafter “Commission”) has reviewed and concurs with said determination.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2020-011053PTA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

On October 6, 2021, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Permit to Alter Application No. 2020-011053PTA.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby APPROVES the Permit to Alter, as requested in Application No. 2020-011053PTA in conformance with the architectural plans dated August 27, 2021 and labeled Exhibit A based on the following findings:

## Findings

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. **The above recitals are accurate and also constitute findings of the Commission.**
2. **Project Description.** The proposed project entails a variety of exterior alterations to the existing building, including installation of minimally or non-visible rooftop mechanical equipment, replacing an upper-level window with a louvered grille, replacing entryways in kind, modifying the base of the building and its western and northern ends, and painting previously painted columns at the lower level. The upper level clad in rough, exposed concrete will remain unpainted.
3. **Property Description.** 934 Market Street is located on the north side of Market Street between Mason and Cyril Magnin Streets (Assessor's Block 0341; Lot 004). The subject two-story building is a Category V (Unrated) property located within the Kearny-Market-Mason-Sutter Conservation District ("KMMS"), locally designated under Article 11, Appendix E of the Planning Code. Completed in 1974—outside the district's period of significance—and exhibiting characteristics of the Brutalist style, 934 Market Street is considered non-contributory to KMMS.
4. **Surrounding Properties and Neighborhood.** The subject property fronts onto Hallidie Plaza near the southwestern edge of KMMS. Early 20<sup>th</sup> century commercial structures of various heights are located to the south and west, with the Powell Street cable car turnaround is located to the northeast just across the plaza. The Downtown-Retail Zoning District begins to the east of the Project Site, while the Residential-Commercial cluster that constitutes much of the Tenderloin neighborhood is to the west.
5. **Public Outreach and Comments.** The Department has received no correspondence in support of or expressing opposition to the project.
6. **Planning Code Compliance.** The Commission has determined that the proposed work is compatible with the exterior character-defining features of the subject conservation district and meets the requirements of Article 11 of the Planning Code in the following manner:
  - A. **Article 11 of the Planning Code.** Pursuant to Section 1111.6(a) of the Planning Code, the proposed alteration shall be consistent with and appropriate for the effectuation of the purposes of this Article 11.  
  
*The proposed project is consistent with Article 11 of the Planning Code.*
  - B. **Alterations.** Article 11 of the Planning Code outlines specific findings for the Commission to consider when evaluating applications for Alterations.

Pursuant to Section 1111.6(c) of the Planning Code, for Significant Buildings/Properties (Categories I and II) and for Contributory Buildings (Categories III and IV), proposed alterations of structural

elements and exterior features shall be consistent with the architectural character of the building, and shall comply with several specific requirements.

*As the subject property is an Unrated building (Category V), this Section does not apply to the proposed project.*

C. **Appendix E of Article 11: Kearny-Market-Mason Sutter Conservation District.** Section 7 of the Kearny-Market-Mason-Sutter Conservation District includes specific standards and guidelines for the review of new construction and certain alterations. The Commission finds the proposed alterations to be compatible as follows:

- a. *Composition and Massing. The proposal is consistent with the Composition and Massing of this Conservation District, resulting in no change to the form and massing of the existing building.*
- b. *Scale. The proposal is consistent with the Scale of this Conservation District, resulting in no change to the height or overall architectural parti of the existing building.*
- c. *Materials and Color. The proposal is consistent with the Materials and Colors of this Conservation District. The project would only paint previously painted surfaces, and the new cladding material proposed for the western and northern ends of the of the lower level is commercial in character with a dark, smooth finish compatible with the flat, uniform textures common for storefronts throughout the district.*
- d. *Detailing and Ornamentation. The proposal is consistent with the Detailing and Ornamentation of this Conservation District, with no conjectural features or architectural elements from historic buildings being proposed for the subject non-contributory building completed in 1974.*

D. **Secretary of the Interior's Standards.** Pursuant to Section 1111.6(b) of the Planning Code, the proposed work shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties for significant and contributory buildings, as well as any applicable guidelines, local interpretations, bulletins, or other policies. Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

- (1) **Standard 1:** A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

*Given its date of construction and architectural design, the subject building is considered non-contributory to KMMS. Having said that, it will continue to have a retail use.*

- (2) **Standard 2:** The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be

avoided.

*Not applicable.*

- (3) **Standard 3:** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.

*No conjectural features or elements from historic properties are proposed to be added to the subject building, which was completed in 1974 and exhibits characteristics of the Brutalist style as well as other influences from the late 1900s.*

- (4) **Standard 4:** Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

*Not applicable.*

- (5) **Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property shall be preserved.

*Not applicable.*

- (6) **Standard 6:** Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

*Not applicable.*

- (7) **Standard 7:** Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

*Not applicable.*

- (8) **Standard 8:** Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

*Not Applicable.*

- (9) **Standard 9:** New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

*As the subject building was completed in 1974 and is considered non-contributory to the*



*surrounding district, no historic materials or features will be destroyed. There would be no change to the overall building envelope, with all entries replaced in the same location and to match existing conditions. Given the sloped nature of the roofline as well as the placement and size of the dormer window, the rooftop mechanical equipment will have limited to no visibility. Though the metal sash at the southern end of the dormer is proposed to be replaced with a louvered grille, this new grille will be placed at the same recessed location and will match the existing grille at the northern end of the dormer, thereby providing symmetry while the dormer was previously imbalanced. Only previously painted surfaces would be repainted, with the rough exposed concrete at the upper level remaining unpainted. Finally, the new metal cladding proposed for the western end of the southern elevation and the northern end of the eastern elevation will be commercial in character and feature a dark, smooth finish that is compatible with the flat, uniform textures common for storefronts throughout KMMS. This new cladding will also remain in line with the uniformly recessed condition of the lower level. Paired with the fact that the overall form, massing, and proportions of the building will remain unchanged, this design approach ensures that the project would have no effect on the character of the surrounding conservation district.*

- (10) **Standard 10:** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*The proposed work will not destroy historic materials or features, and the alterations to the non-contributory building could be removed and returned to their existing conditions without any impairment to the integrity of the surrounding district.*

7. **General Plan Compliance.** The proposed Permit to Alter is, on balance, consistent with the following Objectives and Policies of the General Plan:

**URBAN DESIGN ELEMENT**

THE URBAN DESIGN ELEMENT concerns the physical character and order of the city, and the relationship between people and their environment.

**OBJECTIVE 1:**

**EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.**

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

**OBJECTIVE 2:**

**CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.**

Policy 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

Policy 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

Policy 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

*The goal of a Permit to Alter is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.*

*The proposed project qualifies for a Permit to Alter and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject district for the future enjoyment and education of San Francisco residents and visitors.*

8. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

*The proposed project will retain a retail use at the subject property.*

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

*The proposed project will strengthen neighborhood character by respecting the character-defining features of the conservation district in conformance with the Secretary of the Interior's Standards*

- C) The City's supply of affordable housing will be preserved and enhanced:

*The project will not affect the City's affordable housing supply.*

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking. It will provide sufficient off-street parking for the proposed units.*

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

*The proposed project is located on Market Street and will not have a direct impact on the displacement of industrial and service sectors.*

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The proposed project will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code.*

- G) That landmark and historic buildings will be preserved:

*The proposed project is in conformance with Article 11 of the Planning Code and the Secretary of the Interior's Standards.*

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

*The proposed project will have no effect on access to sunlight or vistas for the parks and open space.*

9. **For these reasons, the proposal overall appears to meet the Secretary of the Interior's Standards and the provisions of Article 11 of the Planning Code regarding Major Alterations to Category V (Unrated) building located within a conservation district.**

## Decision

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby APPROVES a Permit to Alter for the subject property located at Lot 004 in Assessor's Block 0341 for proposed work in conformance with the architectural submittal dated August 27, 2021 and labeled Exhibit A on file in the docket for Record No. 2020-011053PTA.

**APPEAL AND EFFECTIVE DATE OF MOTION:** The Commission's decision on a Permit to Alter shall be final unless appealed within thirty (30) days after the date of this Motion No. XXXXXX. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 49 South Van Ness Ave, Suite 1475 or call (628) 652-1150.

**Duration of this Permit to Alter:** This Permit to Alter is issued pursuant to Article 11 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

**THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.**

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on October 6, 2021.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

RECUSE:

ADOPTED:        October 6, 2021



## PROJECT TEAM

### PROJECT OWNER/TENANT

HONEYBEE FOOD CORPS  
JOLLIBEE NORTH AMERICA SUPPORT CENTER  
100 N. BARRANCA STREET  
SUITE 1200  
WEST COVINA, CA 91791  
E: JOHNNY.FRANCISCO@RUBUSA.COM  
P: 626.369.7718 F: 626.820.1476

### LANDLORD/PROPERTY MGR.

HANFORD-FREUND & COMPANY  
47 KEARNY STREET  
SAN FRANCISCO, CA 94108  
MARK CHATMAN  
D: 415.981.5780 (EXT. 1015)  
E: MCHATMAN@HANFORDFREUND.COM

### ARCHITECT OF RECORD

CHIPMAN DESIGN ARCHITECTURE  
1330 EAST TOUHY AVENUE, 1ST FLOOR EAST  
DES PLAINES, IL 60018  
P: 847.298.6900 x137  
PROJECT MANAGER: VILMA MONZON  
CONTACT: VMONZON@CHIPMAN-DESIGN.COM

### STRUCTURAL ENGINEER

HOHBACK-LEWIN, INC.  
545 SANSOME STREET, SUITE 850  
SAN FRANCISCO, CA 94111  
PROJECT ENGINEER: STUART LOWE  
D: 415.318.8520 M: 415.621.9853  
E: SLOWE@HOHBACK-LEWIN.COM

### MECH/PLUMBING ENGINEER

RTM ENGINEERING CONSULTANTS  
650 E. ALGONQUIN ROAD | SUITE 250  
SCHAMBURG, IL 60173  
PROJECT ENGINEER: DALE SELER  
D: 847.713.1007 M: 847.756.4180  
E: DALE.SELER@RTMASSOCIATES.COM

### ELECTRICAL ENGINEER

RTM ENGINEERING CONSULTANTS  
650 E. ALGONQUIN ROAD | SUITE 250  
SCHAMBURG, IL 60173  
PROJECT ENGINEER: TIM HENDRICK  
D: 847.713.1007 M: 847.756.4180  
E: TIM.HENDRICK@RTMASSOCIATES.COM

### PLAN/BUILDING DEPARTMENT

CITY OF SAN FRANCISCO BUILDING DEPARTMENT  
49 SOUTH VAN NESS AVENUE  
SAN FRANCISCO, CA 94103  
P: 628-652-3200

PLANNING DEPARTMENT  
EDGAR OROPEZA  
E: EDGAR.OROPEZA@SFGOV.ORG

HISTORIC PRESERVATION  
MICHELLE LANGUE  
E: MICHELLE.LANGUE@SFGOV.ORG

### HEALTH DEPARTMENT

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF PUBLIC HEALTH  
ENVIRONMENTAL HEALTH SERVICES  
1390 MARKET STREET, SUITE 210  
SAN FRANCISCO, CA 94102  
P: 415-252-3800

### ABBREVIATIONS

A.C	ASPHALTIC CONCRETE	MAX. MIN. M.B MET.	MAXIMUM MINIMUM MARKER BOARD METAL
A.F.F	ACQUAUSTIC TILE ADMINISTRATION	(N) N.I.C NO	NEW NOT IN CONTRACT NUMBER
B.LD'G	BUILDING BUILDING LINE	O.C O.C	ON CENTER OUTSIDE DIAMETER
C.B	CHALK BOARD	O.D O.D	OPENING OPPOSITE
C.M	CEMENT	P.L PL	PLYWOOD FR.
C.M. PLAS.	CEMENT PLASTER	REQ. REQ.	REQUIRED
C.F	CUBIC FEET	S.F. SHT	SQUARE FEET SHEET
C.L.G	CEILING	SIM. SIM.	SIMILAR
C.L.S.R.M	CLASSROOM CLEAR	S.S./S.T.S	STAINLESS STEEL STANDARD STRUCTURAL
CLR	CONCRETE MASONRY UNIT	T.O	TOP OF ASPHALT PAVING
CMU	CONCRETE CERAMIC TILE	T.A	TACK BOARD
C.T		T.C	TOP OF CONC. T.O CURB
DET.	DETAIL	T.W	TOP OF WALL
DETS	DETAILS	TYP.	TYPICAL
DIA	DIAMETER	U.N.O	UNLESS NOTED OTHERWISE
(E)	EXISTING	V.C.T.	VERTICAL VESTIBULE
EXIT'G	EXISTING ELEVATION	W/	WITH
EL	ELEVATION	W/O	WITHOUT
ELEV.	ELEVATION, ELEVATOR	W.I	WITHOUT WROUGHT IRON
EP	ELECTRICAL PANEL		
EQ	EQUAL		
F.G	FINISH GRADE		
F.H.C	FIRE HOSE CABINET		
FIN.	FINISH FINISHED		
FLR	FLOOR		
FTG	FOOTING		
GA.	GALVANISED GYP.SUM BOARD		
GALV			
GYP.BD			
HORIZ.	HORIZONTAL		
I.C	INTERCOM		
I.D	INSIDE DIAMETER		
INFO.	INFORMATION		

## GENERAL NOTES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENT.
- GC SHALL COORDINATE INFORMATION GIVEN ON ALL SHEETS IN SET. IN CASE OF DISCREPANCIES OR CONFLICTS, NOTIFY ARCHITECT IMMEDIATELY.
- SERVICES REPRESENTED WITHIN THESE DESIGN DOCUMENTS EXTEND TO 5'-0" OUTSIDE BUILDING, PATIO AND SERVICE YARD LINES.
- GC SHALL COMPLY WITH LOCAL MUNICIPALITY CONSTRUCTION RULES/ORDINANCES LIMITING HOURS OF CONSTRUCTION, RIGHT OF WAY PARKING RULES, ETC.
- GC SHALL KEEP SITE AND SHARED SPACES (PARKING LOT(S), CORRIDORS, ROOF, ETC) CLEAN AND ORGANIZED TO ALLOW OTHER TENANTS TO PERFORM THEIR WORK CONCURRENTLY. NECESSARY DISRUPTIONS OF NEIGHBOR ACTIVITIES MUST BE COORDINATED WITH AND APPROVED BY LANDLORD/MUNICIPALITY IN ADVANCE.
- ACTIVITY SHALL NOT NEGATIVELY IMPACT THE NEIGHBORING PROPERTIES. UNPLANNED DAMAGE TO NEIGHBORING PROPERTY SHALL BE REPAIRED AT COST TO RESPONSIBLE PARTY OR PARTIES.
- GC SHALL MAINTAIN A CLEAN WORK SITE (DEBRIS REMOVED DAILY) WITH MATERIAL OFF FLOOR AND ON MATERIAL DOLLIES/CARTS. IF SITE IS NOT MAINTAINED AS REQUIRED, JOLLIBEE PM WILL MAKE ARRANGEMENTS TO TAKE CARE OF THE ISSUE(S) AND COSTS WILL BE CHARGED TO THE GC.
- REINFORCING STEEL OR STRUCTURAL FRAMEWORK OF ANY PART OF ANY BUILDING OR STRUCTURE SHALL NOT BE COVERED OR CONCEALED WITHOUT RECEIVING INSPECTION APPROVAL BY GOVERNING MUNICIPALITY INSPECTION. IN ADDITION TO REQUIRED ELECTRICAL, MECHANICAL AND PLUMBING INSPECTIONS, THE BUILDING PERMIT HOLDER OR HIS AGENT SHALL REQUEST THE INSPECTION(S) TO MAKE THE FOLLOWING BUILDING CONSTRUCTION INSPECTIONS:
  - FOUNDATION INSPECTION PRIOR TO THE POURING OF CONCRETE
  - FRAME INSPECTION AFTER PIPES, CHIMNEY AND VENTS ARE INSTALLED BUT PRIOR TO CONCEALING THE FRAMEWORK
  - INSULATION AND WALLBOARD INSPECTION
  - FINAL INSPECTION PRIOR TO OCCUPANCY OF THE BUILDING
- A SET OF BUILDING PLANS AND SPECIFICATIONS APPROVED BY THE GOVERNING MUNICIPALITY AND MARKED "FIELD COPY" SHALL BE KEPT ON THE PROJECT SITE DURING CONSTRUCTION UNTIL FINAL INSPECTION APPROVAL HAS BEEN MADE/CERTIFICATE OF OCCUPANCY OBTAINED.
- CHANGES MADE DURING CONSTRUCTION OF A PROJECT THAT AFFECT EXITING, WALL CONFIGURATION AND STRUCTURAL ELEMENTS THAT ARE NOT JUST "COSMETIC" REQUIRE REVISED PLANS TO BE SUBMITTED TO THE GOVERNING MUNICIPALITY FOR REVIEW AND APPROVAL. IF A LICENSED ARCHITECT OR ENGINEER SEALED THE ORIGINAL PLANS THE REVISED PLANS MUST ALSO BE SEALED.

## LIABILITY NOTE

THE INTENT OF THE SCOPE CONTAINED WITHIN THESE DOCUMENTS RELATES TO THE INTERIOR REMODELING / BUILD-OUT OF A BUSINESS / INTERIOR SPACE CONTAINED WITHIN AN EXISTING SHELL BUILDING. THE ARCHITECT HAS NOT INSPECTED THE CONDITIONS OR THE INTEGRITY OF THE EXISTING SHELL BUILDING AND SHALL NOT ASSUME RESPONSIBILITY OR LIABILITY FOR SAME. THE RESPONSIBILITY AND LIABILITY FOR THE EXISTING SHELL BUILDING CONDITIONS AND INTEGRITY, AND FOR THE CONFORMANCE OF THE EXISTING BUILDING SHELL TO ALL APPLICABLE LOCAL CODES AND ENVIRONMENTAL REQUIREMENTS, IS SOLELY THAT OF OTHERS, AND NOT THAT OF THE ARCHITECT. THE ARCHITECT'S SCOPE OF WORK IS STRICTLY LIMITED SOLELY TO THE INTERIOR BUILD-OUT OF AN EXISTING INTERIOR SPACE LOCATED WITHIN AN EXISTING SHELL BUILDING.

## DEFERRED SUBMITTALS

- FIRE SUPPRESSION
- FIRE ALARM
- SIGNAGE
- HOOD ANSUL

## MISCELLANEOUS NOTES

TENANT'S GENERAL CONTRACTOR SHALL VISIT THE PREMISES AND VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND SHALL REPORT ALL DISCREPANCIES TO TENANT'S ARCHITECT. TENANT'S GENERAL CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS REGARDING CONSTRUCTION PROCEDURES, INSURANCE, ETC., AS SET FORTH BY THE LANDLORD.

## SYMBOLS

**ELEVATION TAG**  
TOP = ELEVATION NUMBER  
BOTTOM = SHEET NUMBER

**DETAIL TAG**  
TOP = DETAIL NUMBER  
BOTTOM = SHEET NUMBER

**SECTION TAG**  
TOP = SECTION NUMBER  
BOTTOM = SHEET NUMBER

**DOOR TAG**  
NUMBER DENOTES DOOR REFERENCE TO DOOR SCHEDULE.

**KEYNOTE TAG**

**ELEVATION BENCHMARK**

**REVISION TAG**  
NUMBER DENOTES NUMBER OF REVISIONS

**REVISION CLOUD**

**ACCESSORIES TAG**  
LETTER DENOTES PLUMBING FIXTURES & TOILET ROOM ACCESSORIES

**EQUIPMENT TAG**

**ROOM NUMBER TAG**

**FINISH MATERIAL TAG**

**EQUIPMENT NUMBER**

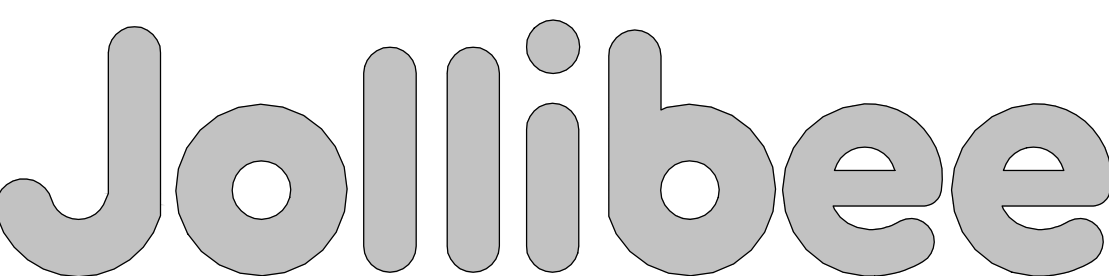
**DENOTES WALL TYPE**

**ROOM**

**KEYNOTE TAG**

**FINISH MATERIAL TAG**

**EQUIPMENT NUMBER**



# Jollibee

ISSUE FOR PERMIT

## JOLLIBEE SAN FRANCISCO

934 MARKET SREET  
SAN FRANCISCO, CA 94102

## PROJECT INFORMATION

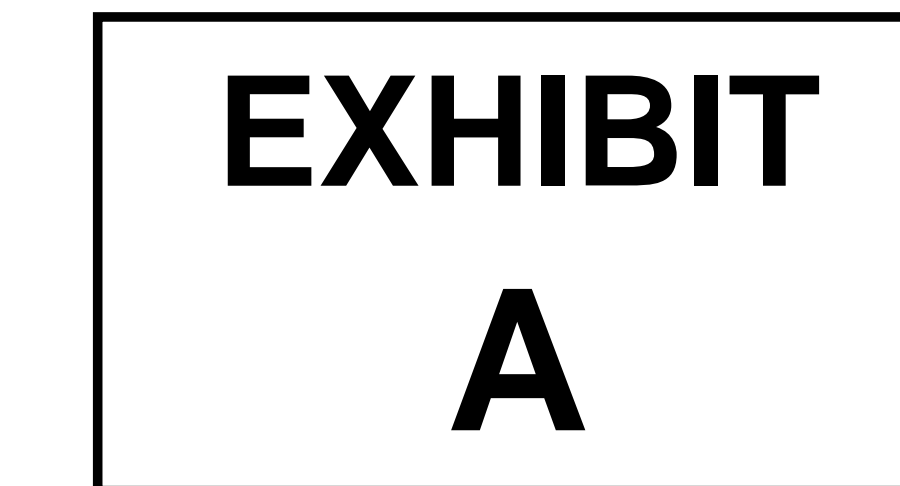
EXISTING SHELL BUILDING CODE	TENANT SPACE CODE SUMMARY
SEPARATION: STANDALONE (ONE STORE WITH BASEMENT)	FIRE SUPPRESSION: EXISTING FULLY SPRINKLERED
EXISTING FIRE SUPPRESSION: PARTIALL SPRINKLERED, SUBGRADE ONLY	USE GROUPS: C-3-G
EXISTING USE GROUPS: C-3-G	CONSTRUCTION TYPE: EXISTING V - B UNPROTECTED
EXISTING CONSTRUCTION TYPE: V - B UNPROTECTED	TENANT LEASE AREA: 2,636 FIRST FLOOR S.F., 885 MEZZANINE S.F., 3,960 BASEMENT S.F., 7,481 S.F. TOTAL
EXISTING ASSESSORS PARCEL NUMBER (APN): 0341-004	

## PROJECT DESCRIPTION

EXTERIOR ALTERATION

SCOPE OF WORK SHALL INCLUDE, BUT MAY NOT BE LIMITED TO THE FOLLOWING:

- REMOVE ALL EXISTING EXTERIOR SIGNAGE, PATCH AND REPAIR WALL AS REQUIRED
- MODIFY PORTION OF EXISTING STOREFRONT
- ADD NEW EXTERIOR FINISHES ON PORTION OF WALLS
- ADD NEW ACM EYEBROW CANOPY SYSTEM
- ADD NEW GRILLE TO MATCH EXISTING
- INSTALL NEW ROOF TOP UNIT
- PATCH AND REPAIR EXISTING ROOFING AS REQUIRED



## BUILDING CODE INFORMATION

BUILDING CODE: 2019 CALIFORNIA BUILDING CODES W/ 2019 SAN FRANCISCO AMENDMENTS  
MECHANICAL CODE: 2019 CALIFORNIA MECHANICAL CODE W/ 2019 SAN FRANCISCO AMENDMENTS  
ELECTRICAL CODE: 2019 CALIFORNIA ELECTRICAL CODE W/ 2019 SAN FRANCISCO AMENDMENTS  
PLUMBING CODE: 2019 CALIFORNIA PLUMBING CODE W/ 2019 SAN FRANCISCO AMENDMENTS  
ACCESSIBILITY CODE: 2019 CALIFORNIA BUILDING CODE CH 11B  
FIRE PREVENTION CODE: 2019 CALIFORNIA FIRE CODE W/ 2019 SAN FRANCISCO CODE AMENDMENTS  
ENERGY CONSERVATION CODE: 2019 ENERGY EFFICIENCY STANDARD CODE  
FUEL GAS CODE: 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE W/ 2019 SAN FRANCISCO CODE AMENDMENTS  
CITY AND COUNTY OF SAN FRANCISCO CITY CODE.

## OCCUPANT LOAD CALCULATIONS

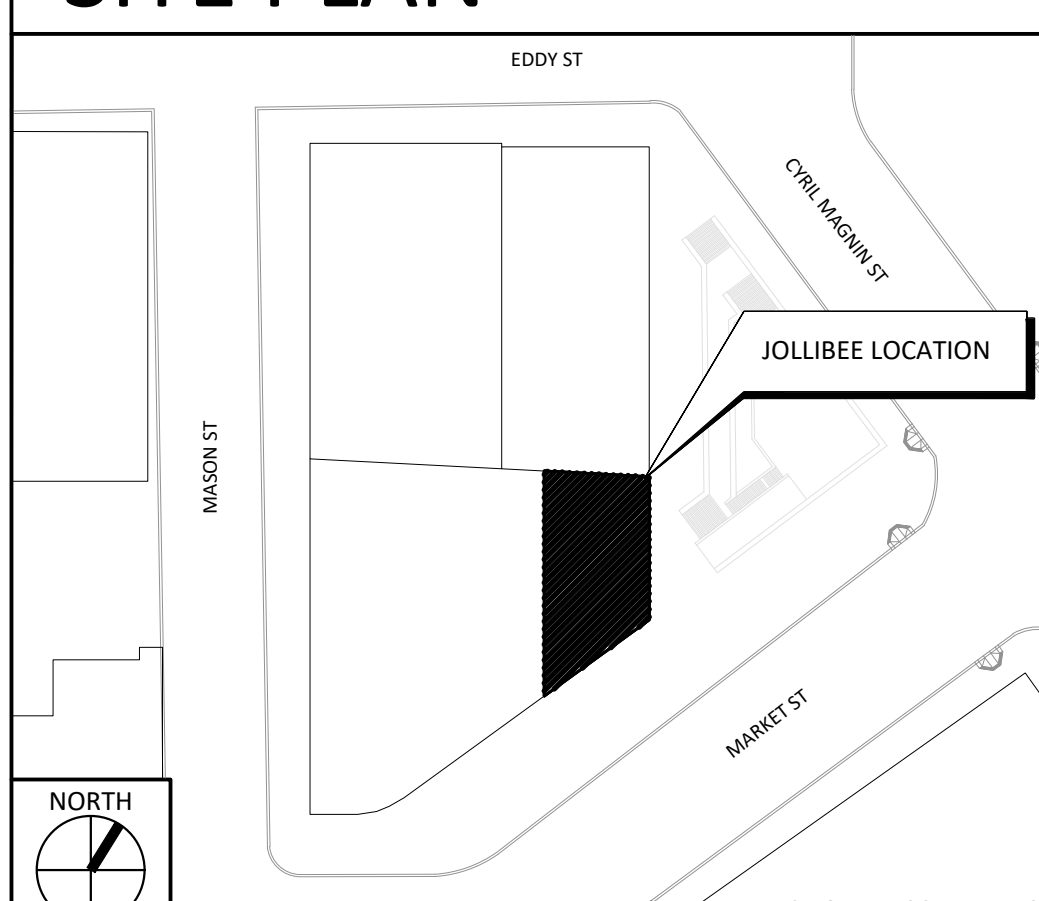
SEE OCCUPANT LOAD CALCULATIONS ON A-022-A023

USE	AREA	S.F. / PERSON	BOOTH & FIXED SEATING	OCCUPANT LOAD
KITCHEN	1,014 SQ. FT.	200	-	5
COOLER/STORAGE	282 SQ. FT.	300	-	1
DINING	166 SQ. FT.	15	BOOTH (306"/24) BANQUETTE (133"/18)	12
STORAGE	1,311 SQ. FT.	300	-	5
OFFICE	49 SQ. FT.	150	-	1
QUEUE AREA	38 SQ. FT.	5	-	8
SUB TOTAL (INTERIOR)	2,828 SQ. FT.	-	20	31
PATIO			8	
TOTAL OCCUPANT LOAD				59

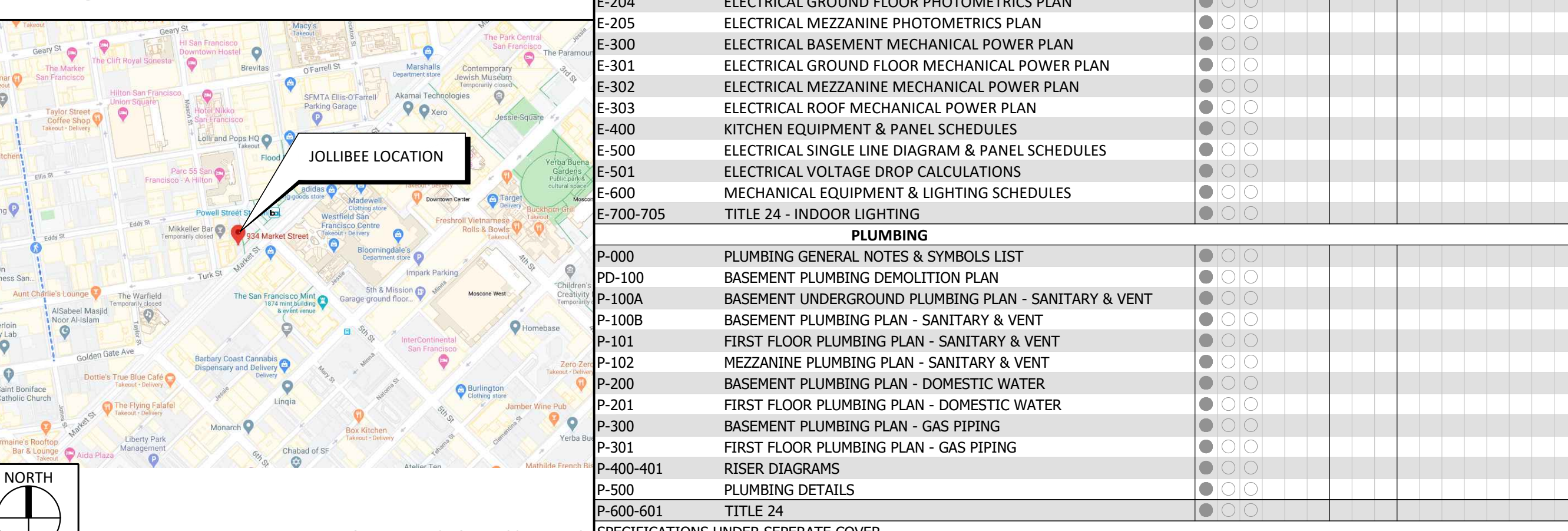
TENANT LEASE AREA - 44,532 SQ. FT.

	INTERIOR	EXTERIOR	A.D.A. SEATS REQUIRED	A.D.A. SEATS PROVIDED
TOTAL SEAT COUNT (PER 118-902: 5% OF SEATING TO BE ADA)	35 SEATS	16 SEATS	3 SEATS (0.05 X 51 = 2.6)	3 SEATS (SEE SHEET A-021 FOR ACCESSIBLE SEATING LOCATION)

## SITE PLAN



## VICINITY MAP



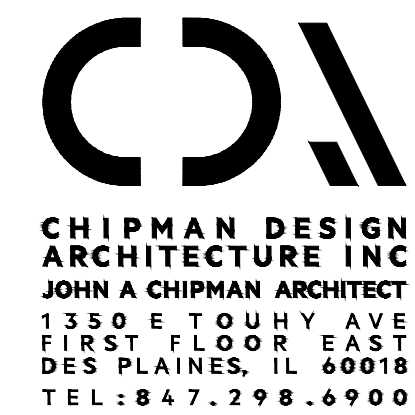
## DRAWING INDEX

NOTES: DRAWINGS LISTED BELOW ARE FOR INFORMATION ONLY. THESE DRAWINGS AS LISTED IN THE DRAWING INDEX ALONG WITH THE CONTRACT FOR CONSTRUCTION, ADDENDUMS & OTHER INFORMATION AS PROVIDED TO THE GENERAL CONTRACTOR CONSTITUTE THE INSTRUMENTS OF SERVICE AND ARE CONSIDERED A SINGLE ENTITY. THE CONTRACTOR IS THEREFORE BOUND BY ALL INFORMATION INCLUDED NONE OF THIS INFORMATION OR DRAWING SHEETS SHALL BE TAKEN SEPARATELY OR "STAND ALONE" FROM THE REMAINDER OF THE CONSTRUCTION DOCUMENTS. ALL SUBCONTRACTORS SHALL BE RESPONSIBLE TO REVIEW THE ENTIRE SET OF CONSTRUCTION DOCUMENTS TO DETERMINE THEIR PARTICULAR SCOPE OF WORK. ANY DISCREPANCIES OR CONFLICTING INFORMATION NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMITTING A BID SHALL BE INTERPRETED AT THE SOLE DISCRETION OF THE ARCHITECT.

	PERMIT/REVISION	BID	CONSTRUCTION SET
GENERAL			
T-100			
G-100			
G-101			
GRN-100-104			
G-105			
G-110-114			
D-100			
D-101			
D-102			
D-103			
D-300			
K-100			
K-101			
K-102			
A-001			
A-020			
A-021-23			
A-050			
A-051			
A-100			
A-101			
A-102			
A-103			
A-104			
A-105			
A-106			
A-210-212			
A-220-222			
A-230			
A-240			
A-300			
A-400			
A-401			
A-402			
A-403			
A-404			
A-405			
A-500			
A-501			
A-600			
A-601			
STRUCTURAL			
S-1-0			
S-2-1			
S-2-2			
S-5-1			
MECHANICAL			
M-000			
M-001			
M-002			
MD-100			
MD-101			
MD-102			
M-100			
M-101			
M-102			
M-200			
M-300			
M-301			
M-302			
M-303			
M-304-306			
M-307			
M-400			
M-500-504			
ELECTRICAL			
E-000			
E-001			
ED-100			
ED-101			
ED-102			
E-100			
E-101			
E-102			
E-200			
E-201			
E-202			
E-203			
E-204			
E-205			
E-300			
E-301			
E-302			
E-303			
E-400			
E-500			
E-501			
E-600			
E-700-705			
PLUMBING			
P-000			
PD-100			
P-100A			
P-100B			
P-101			
P-102			
P-200			
P-201			
P-300			
P-301			
P-400-401			
P-500			
P-600-601			
SPECIFICATIONS UNDER SEPARATE COVER			



DOWNTOWN SAN FRANCISCO  
 934 MARKET STREET  
 SAN FRANCISCO, CA 94102  
 ISSUE FOR PERMIT 09/14/2020



PROJECT NUMBER:  
19-4008

ISSUANCE/REVISIONS

△	ISSUE FOR PERMIT
△	09.14.2020
△	REVISIONS PER PTA
△	07.07.2021
△	REVISIONS PER FIRE
△	07.22.2021
△	REVISIONS PER CITY
△	07.22.2021
△	REVISIONS PER PTA
△	08.27.2021



ARCHITECT  
HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE, THE SAME COMPLY WITH ALL RULES, REGULATIONS AND ORDINANCES OF SAN FRANCISCO, CALIFORNIA RELATING TO STRUCTURES AND BUILDINGS.

DATE: 09/14/2020  
EXPIRATION DATE: 06/30/2023

DRAWN BY:  CHECKED BY:   
ARC: AV

### TITLE SHEET & GENERAL INFORMATION

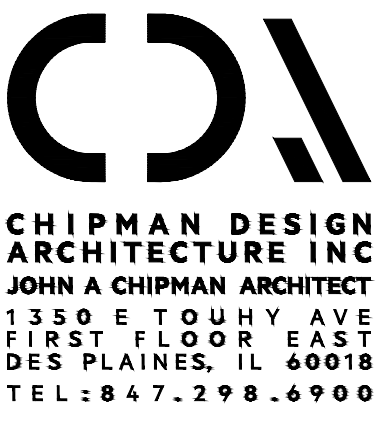
SHEET:  
T-100



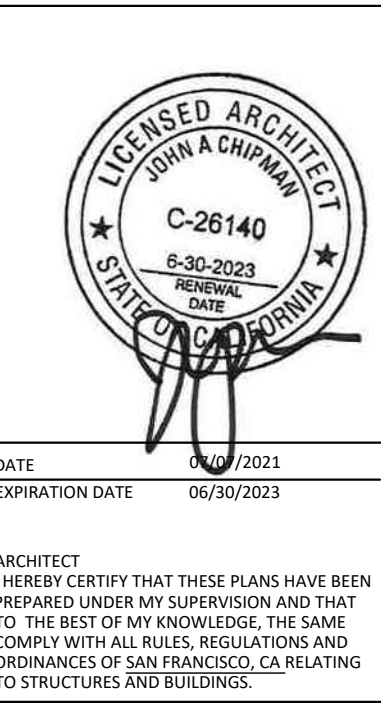
ELEVATION DEMO KEYNOTES	
1.	REMOVE ALL EXISTING EXTERIOR SIGNAGE. PATCH AND REPAIR WALL AS REQUIRED.
2.	REMOVE EXISTING STOREFRONT, FRAMED AND HARDWARE. PREP TO RECEIVED NEW WINDOWS, DOOR AND WALL. REFER TO FLOOR PLAN.
3.	REMOVE EXISTING LIGHT FIXTURES AND ACCESSORIES. EXISTING POWER TO REMAIN. PREPARE TO RECEIVED NEW LIGHT FIXTURES.
4.	EXISTING DORMER TO REMAIN.



DOWNTOWN SAN FRANCISCO  
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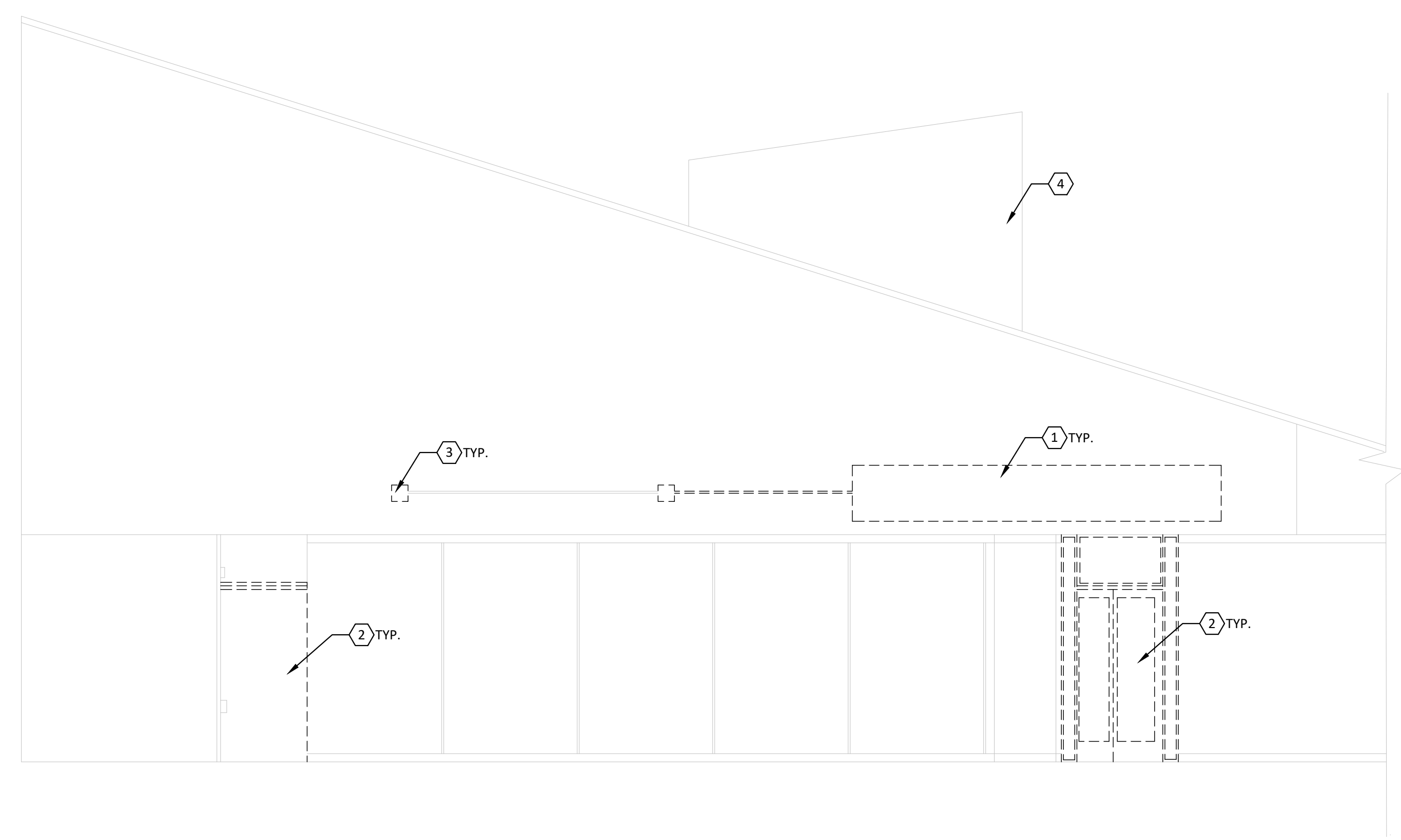
DATE: 09/14/2021  
 EXPIRATION DATE: 06/30/2023

ARCHITECT: JOHN A. CHIPMAN  
 DRAWN BY: ARC  
 CHECKED BY: AV

EXTERIOR ELEVATIONS DEMOLITION

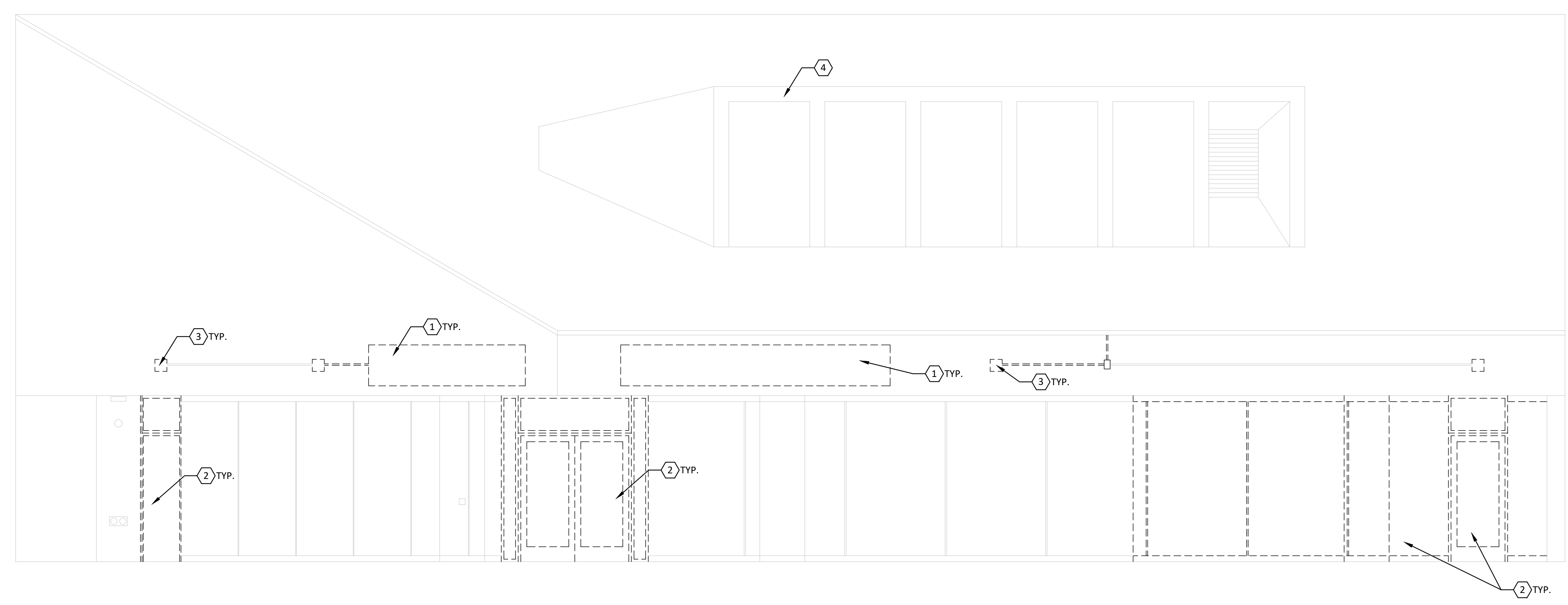
SHEET:  
**D-300**

- 30'-5" T/ EXISTING ROOF
- 26'-5" T/ EXISTING DORMER
- 9'-2 3/4" B/ EXISTING SOFFIT
- 0'-0" FINISH FLOOR



**2 SOUTH ELEVATION DEMOLITION**  
 D-300 SCALE: 1/4" = 1'-0"

- 30'-5" T/ EXISTING ROOF
- 26'-5" T/ EXISTING DORMER
- 9'-2 3/4" B/ EXISTING SOFFIT
- 0'-0" FINISH FLOOR



**1 EAST ELEVATION DEMOLITION**  
 D-300 SCALE: 1/4" = 1'-0"

KEY NOTES	
1.	ADJACENT TENANT (N.I.C.)
2.	ACCESSIBLE RAMP.
3.	EXISTING ACCESSIBLE PATH OF TRAVEL TO ENTRANCE
4.	EXISTING PUBLIC RIGHT-OF-WAY.
5.	EXISTING SIDEWALK TO REMAIN.
6.	LOADING ENTRANCE ONLY.
7.	PROPERTY LINE, TYP.

SITE ACCESSIBILITY NOTES	
1.	PROVIDE SECONDARY EXIT AS REQ'D BY CODE
2.	PROVIDE CLEAR ACCESS FOR EMERGENCY VEHICLES, DELIVERY TRUCKS AND WASTE HAULING VEHICLES.



**1** SITE PLAN  
A-001 3/32" = 1'-0"

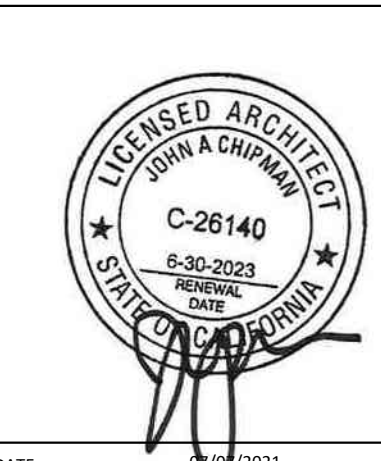


DOWNTOWN SAN FRANCISCO  
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DRAWN BY: ARC  
CHECKED BY: AV

OVERALL SITE PLAN

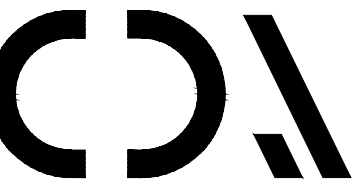
SHEET:

**A-001**





**DOWNTOWN SAN FRANCISCO**  
 934 MARKET STREET  
 SAN FRANCISCO, CA 94102  
**ISSUE FOR PERMIT 09/14/2020**



**CHIPMAN DESIGN ARCHITECTURE INC**  
 JOHN A CHIPMAN ARCHITECT  
 1350 E TOUHY AVE  
 FIRST FLOOR EAST  
 DES PLAINES, IL 60018  
 TEL: 847.298.6900

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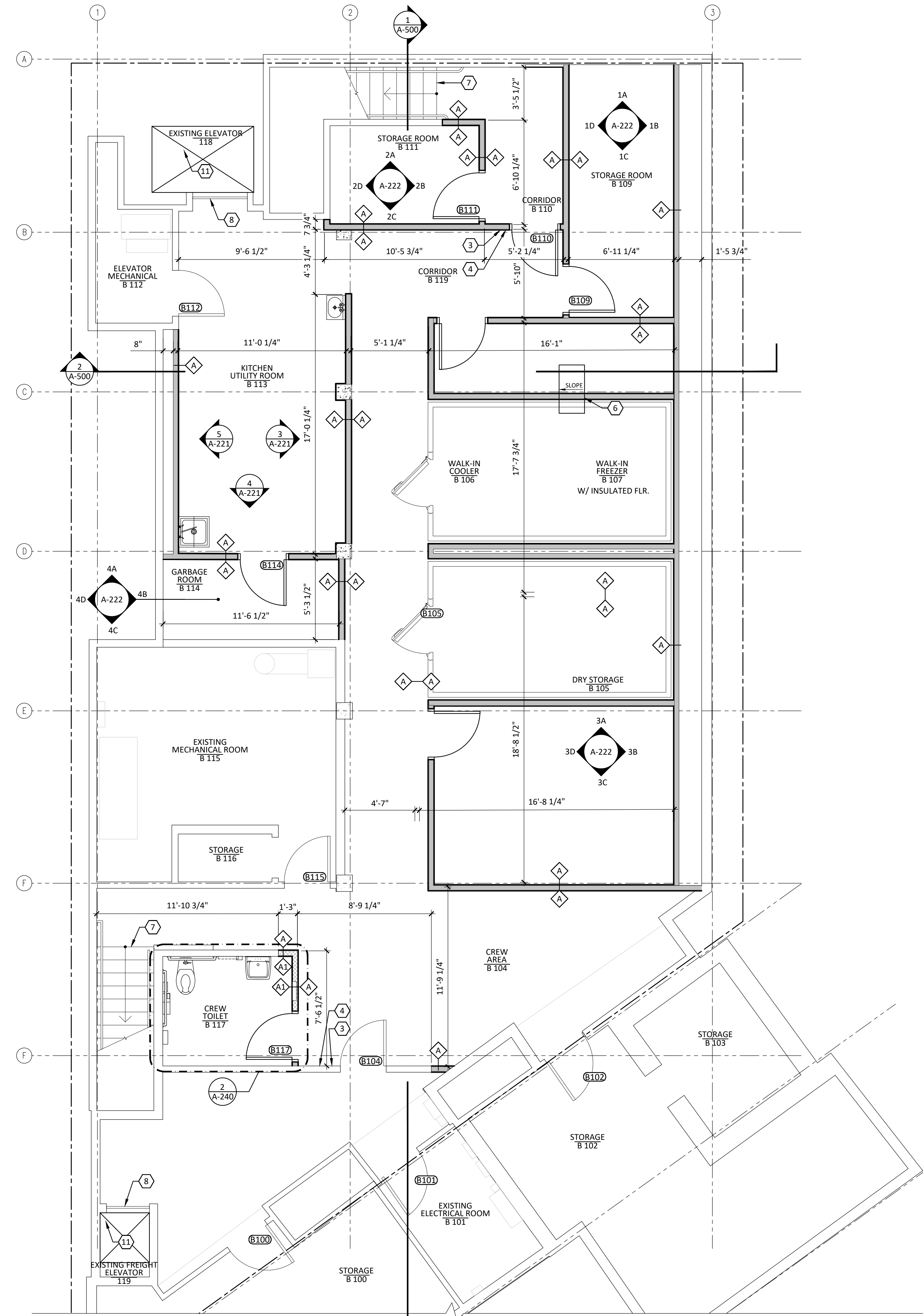
ARCHITECT HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, THE SAME COMPLY WITH ALL RULES, REGULATIONS AND ORDINANCES OF SAN FRANCISCO, CA RELATING TO STRUCTURES AND BUILDINGS.

DRAWN BY: ARC  
 CHECKED BY: AV

**BASEMENT DIMENSION FLOOR PLAN & NOTES**

SHEET:

**A-100**



**BASEMENT DIMENSION FLOOR PLAN**  
 1/4" = 1'-0"

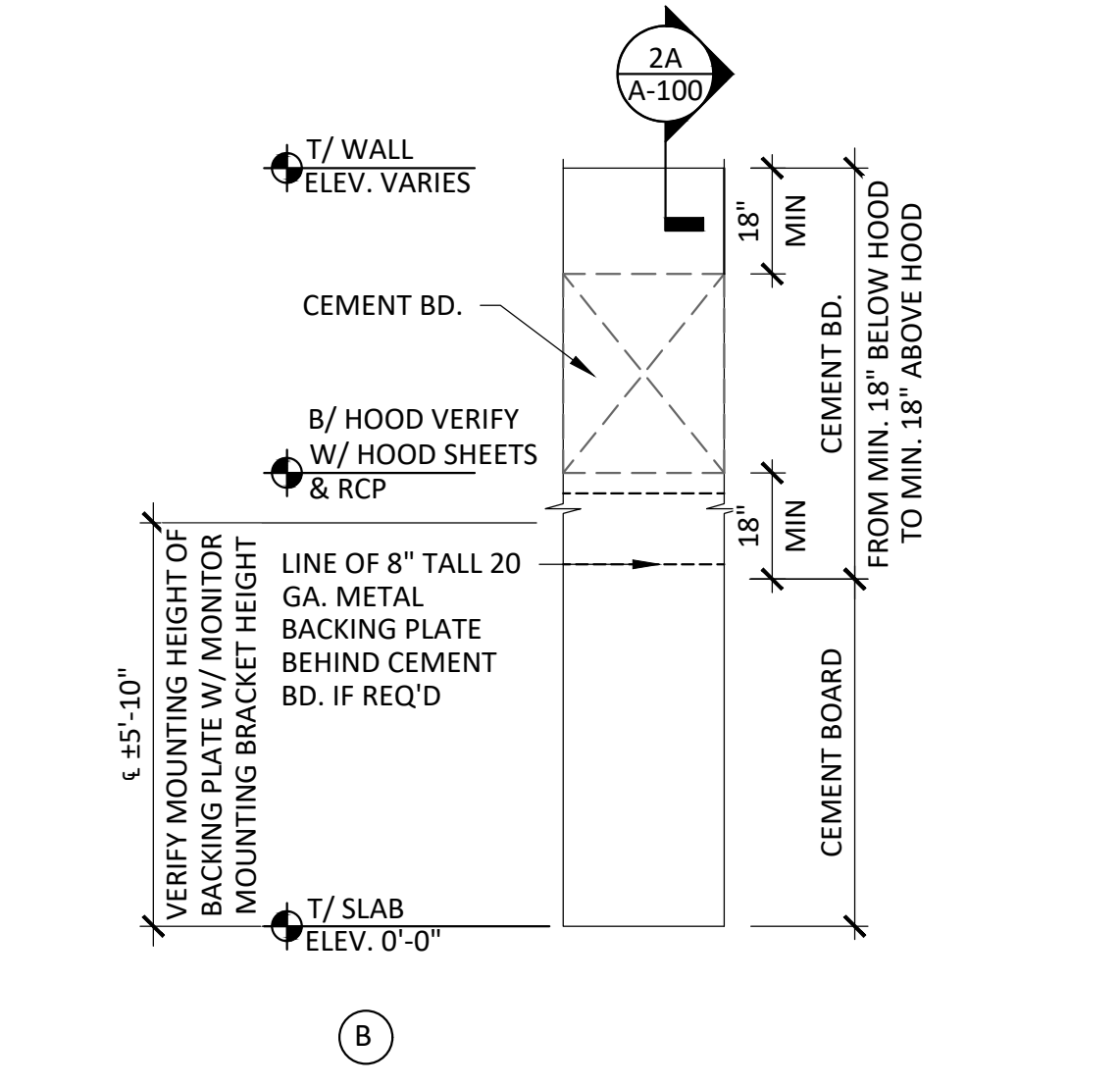
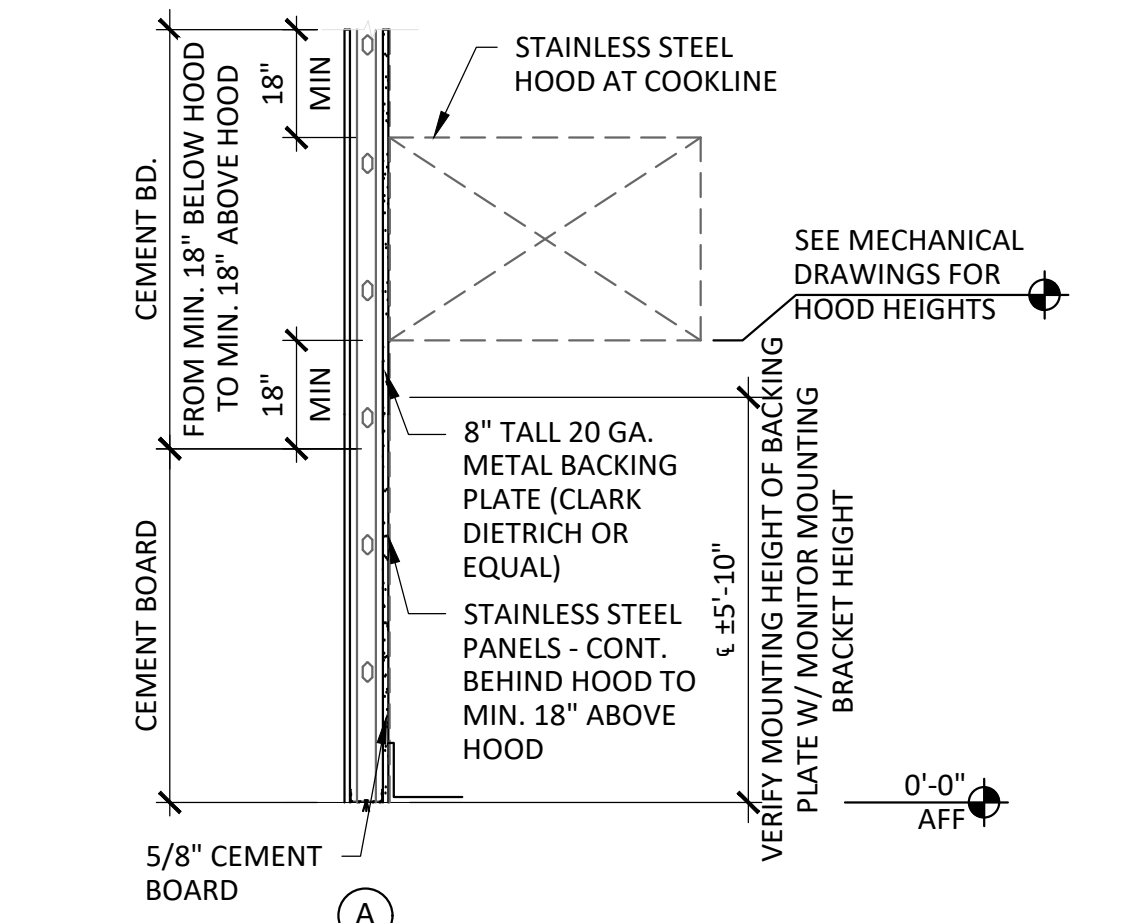
**INTERIOR METAL STUD SCHEDULE**

SIZE	GA.	MAT. DESIGN THICK (MILS)	TYPE	MAXIMUM UNSUPPORTED HGT AT 12" O.C.	MAXIMUM UNSUPPORTED HGT AT 16" O.C.	MAXIMUM UNSUPPORTED HGT AT 24" O.C.
1 5/8"	20	30	DRY	9'-3"	8'-5"	7'-4"
2 1/2"	20	30	DRY	12'-9"	11'-7"	10'-2"
	20	30	DRY	17'-0"	15'-6"	13'-6"
3 5/8"	20	33	STR	17'-7"	16'-0"	14'-0"
	18	43	STR	19'-2"	17'-5"	15'-3"
	20	30	DRY	25'-2"	22'-11"	18'-11"
6"	20	33	STR	26'-2"	23'-9"	20'-6"
	18	43	STR	28'-9"	26'-1"	22'-10"
	16	54	STR	30'-9"	27'-11"	24'-5"
8"	18	43	STR	36'-1"	32'-9"	28'-8"
	16	54	STR	38'-9"	35'-2"	30'-9"
	14	68	STR	41'-11"	38'-1"	33'-4"

- USE GAUGE & TYPE OF STUD AS SCHEDULED, UNLESS NOTED OTHERWISE ON DRAWINGS.
- BASED ON INTERIOR NON-STRUCTURAL, NON-COMPOSITE LIMITING WALL HEIGHT TABLES. PARTITIONS B / ONE LAYER GYPSUM BOARD EACH SIDE (L/240 DEFLECTION - 5 PSF LOAD) PER 2012 SSMA PRODUCT TECHNICAL INFORMATION BULLETIN (ICC ESR B3064P).
- RUNNER TRACK GAUGE TO MATCH STUD.
- WALLS OVER 12'-0" HIGH TO BE Laterally Braced Vertical with 1 1/2" (16GA) COLD-ROLLED CHANNELS CLIP ANCHORED TO METAL STUDS.
- STND = STANDARD STUD. DRY = DRYWALL STUD. STR = STRUCTURAL STUD.
- METAL STUD NON-STRUCTURAL WALL SYSTEMS TO FOLLOW ASTM C754 & ASTM 645.
- MATERIAL DESIGN THICKNESS IS THE BASE METAL THICKNESS IN MILS. MINIMUM ALLOWED BASE METAL THICKNESS REPRESENTS 95% OF THE DESIGN THICKNESS.
- DIAGONAL BRACING TO FOLLOW INTERIOR STUD SCHEDULE.

**CLEARANCE AT TYPE 1 HOOD:**  
 TYPE 1 HOODS SHALL BE INSTALLED WITH A CLEARANCE TO COMBUSTIBLES OF NOT LESS THAN 18" IN ALL DIRECTIONS OR PER LOCAL CODE, WHICHEVER IS MORE STRINGENT.

CONTRACTOR TO COORDINATE WITH GOVERNING MUNICIPALITY AND JOLLIBEE REGARDING WALL MATERIALS AND BLOCKING REQUIREMENTS UNDER HOOD AND WITHIN 18" OF HOOD IN ALL DIRECTIONS PRIOR TO START OF CONSTRUCTION.



**HOOD DETAIL**  
 2 A-100 N.T.S.

**GENERAL NOTES**

- ALL DIMENSIONS ARE FROM FACE OF FRAMING TO FACE OF FRAMING/CLINO.
- SEE A-600 FOR WALL SCHEDULE AND FLOOR FINISH SCHEDULES.
- SEE INTERIOR ELEVATIONS FOR ROOM FINISHES.
- SEE SHEET A-601 FOR DOOR SCHEDULE.
- GC TO VERIFY SITE DIMENSIONS & ALL CONDITIONS PRIOR TO CONSTRUCTION.
- ALL FF&E ARE TO BE SUPPLIED BY IDLLIBEE EXCEPT FOR EQUIPMENT #1 CUSTOM FRONT SERVICE COUNTER & #15 CUSTOM BEVERAGE COUNTER. REFER TO G105 FOR RESPONSIBILITY MATRIX AND CONSTRUCTION MANUAL FOR DETAILS.
- GC TO PROVIDE SIGNAGE INDICATING THE CONTENTS OF THE VESSEL AND A NFPA704 PLACARD/DIAMOND.

**FLOOR PLAN KEY NOTES**

- NEW DOOR AND STOREFRONT SYSTEM.
- GC TO INFILL AND FINISH AS REQUIRED TO MATCH ADJACENT WALL.
- DOOR SIGN: " THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED."
- TACTILE EXIT SIGN PER CBC 101.3.
- EXISTING ROOF LADDER.
- FREEZER FLOOR RAMP.
- EXISTING STAIR TO REMAIN. NEW FINISHES BY JOLLIBEE.
- EXISTING ELEVATOR TO REMAIN.
- GC TO CUT FRAMING AROUND COLUMN TO KEEP FRAMING AS TIGHT AS POSSIBLE TO COLUMN FACE ON AISLE SIDE.
- NEW EXHAUST HOODS. SEE MECHANICAL DRAWINGS FOR HOOD INFORMATION.
- EXISTING ELEVATOR/ FREIGHT ELEVATOR TO REMAIN. GC TO VERIFY EXISTING CONDITION. IF WORKING, REUSE. IF NOT WORKING, GC TO PROVIDE COST ESTIMATE TO OWNER TO BRING EXISTING TO RE-USE CONDITIONS.

**SYMBOLS**

(X)	FLOOR PLAN KEY NOTE	(X)	WINDOW TAG REFER TO DOOR HARDWARE & WINDOW SCHEDULE SHEET
(B)	DOOR TAG REFER TO DOOR HARDWARE & SCHEDULE SHEET	(X)	WALL TYPE TAG

**WALL LEGEND**

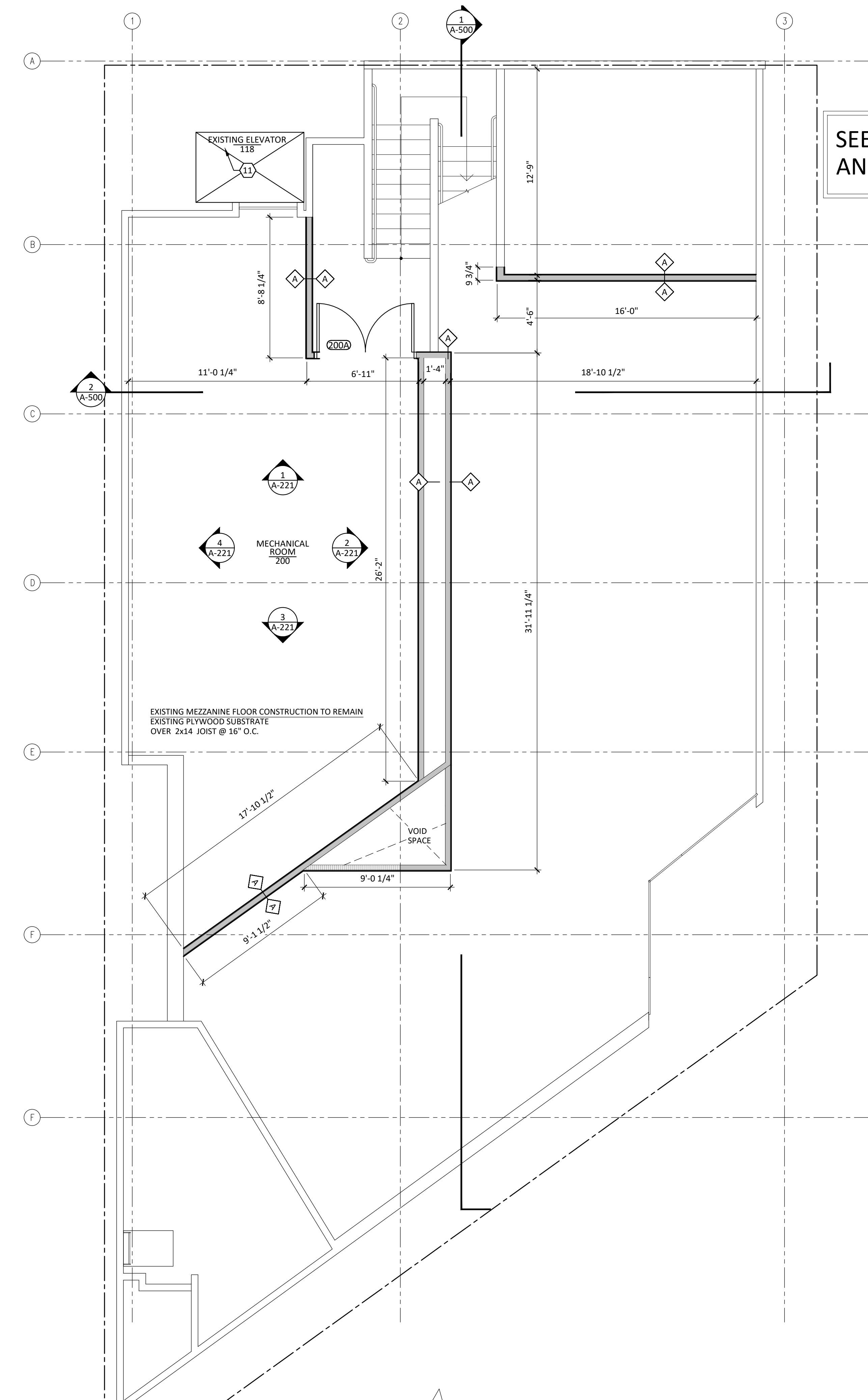
(---)	EXISTING WALL/PARTITION TO REMAIN	(---)	SOUND BATT INSULATION
(---)	EXISTING DEMISING WALL	(---)	NEW PARTIAL HEIGHT WALL
(---)	NEW WALL/PARTITION	(---)	NEW COOLER WALL

**WALL TYPE**

- NON-RATED ASSEMBLIES**
- (A) 3-5 METAL STUD 16" O.C. EXTENDING A MINIMUM OF 6" ABOVE CEILING BRACED 4" O.C. PARTITION WITH TYPE 3 GYP.BD. ON ONE SIDE. INSTALL 5" WATER RESISTANT GYP.BD. AT PLUMBING WALL.
  - (A1) 3-5 METAL STUD 16" O.C. EXTENDING A MINIMUM OF 6" ABOVE CEILING BRACED 4" O.C. PARTITION WITH CEMENT BOARD ON ONE SIDE.
  - (A2) 3-5 METAL STUD 16" O.C. EXTENDING 3" ABOVE COOLER ROOF WITH 5" GYP.BD. ON EXPOSED FACE AND HORIZONTAL RUNNER AT CAP OF STUD. BRACE 4" O.C.
  - (B) 6" METAL STUD 16" O.C. EXTENDING A MINIMUM OF 6" ABOVE CEILING BRACED 4" O.C. PARTITION SHALL BE INFILLED WITH BATT INSULATION AND CLAD WITH TYPE 3 GYP.BD. EACH FINISHED FACE. INSTALL 5" WATER RESISTANT GYP.BD. AT PLUMBING WALL. INSTALL CEMENT BOARD AT HOOD LOCATIONS.
  - (C) 3-5 METAL STUD 16" O.C. WITH 5" GYP.BD. ON ALL EXPOSED SIDES LOW PARTITION. UNDER TOP RUNNER INSTALL 3/8" FIRE TREATED PLYWOOD. PARTITION SHALL BE BRACED WITH 3/8" X 3-1/2" X 1/8" TUBE 4" O.C. ANCHORED TO CONCRETE WITH 3/8" DIA. EXPANSION ANCHORS.
  - (C1) 6" METAL STUD 16" O.C. WITH 5" GYP.BD. ON ALL EXPOSED SIDES LOW PARTITION. UNDER TOP RUNNER INSTALL 3/8" FIRE TREATED PLYWOOD. PARTITION SHALL BE BRACED WITH 3/8" X 3-1/2" X 1/8" TUBE 4" O.C. ANCHORED TO CONCRETE WITH 3/8" DIA. EXPANSION ANCHORS.
  - (D) ABOVE STOREFRONT 1-1/2" 22 GA VERTICAL METAL STUD FURRING 24" O.C. WITH 5" TYPE 3 GYP.BD. INFILLED WITH RIGID POLYSTYROLE BOARD R-12. ALL JOINTS SHALL BE TAPED WHEN FINISH IS NOT REQUIRED.
- FIRE-RATED ASSEMBLIES**
- (E) EXISTING 1HR METAL STUD DEMISING WALL. CONTRACTOR SHALL OPEN WALL AS REQUIRED TO INSTALL FIRE TREATED BLOCKING AND REPAIR GYP.BD. AS REQUIRED TO COMPLY AND MAINTAIN 1HR RATING. INSTALL 1/2" CEMENT BOARD OVER GYP.BD. FOR CERAMIC TILE BACKER.
  - (E1) EXISTING DEMISING WALL TO BE 1 HR RATED. PREPARE GYP.BD. FOR FINAL FINISH REFER TO INTERIOR ELEVATIONS.
  - (E2) EXISTING PERIMETER WALL. GC TO PROVIDE TYPE 3 GYP.BD. AND PREPARE WALL 1HR FIRE RATING AS REQUIRED. FOR FINAL FINISH REFER TO INTERIOR ELEVATIONS.

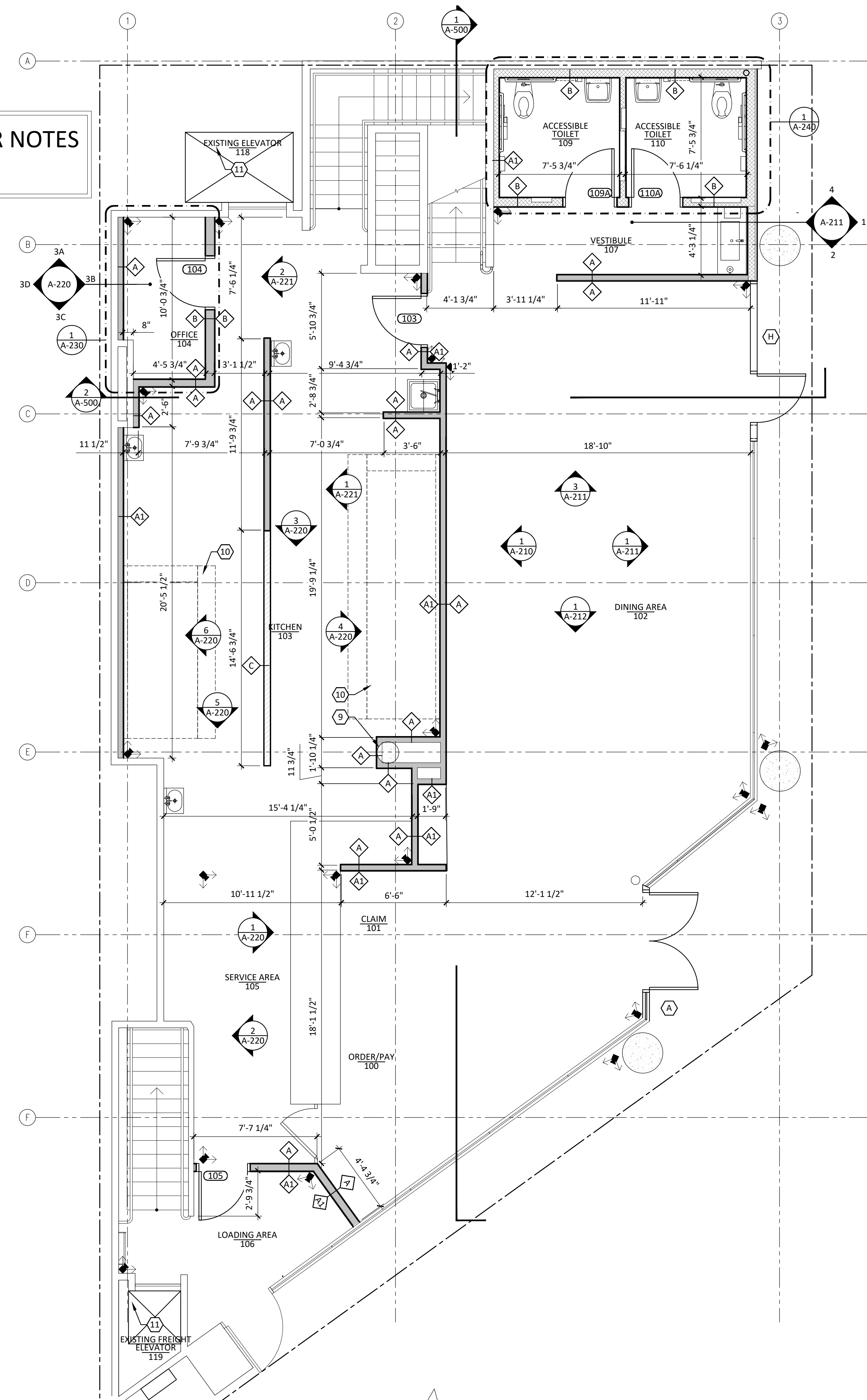
**2 A-100**  
 N.T.S.





**2 MEZZANINE DIMENSION FLOOR PLAN**  
 1/4" = 1'-0"

SEE A-100 FOR NOTES AND LEGENDS



**1 FIRST FLOOR DIMENSION FLOOR PLAN**  
 1/4" = 1'-0"



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DATE: 09/14/2021  
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DRAWN BY: ARC  
 CHECKED BY: AV

**FIRST FLOOR & MEZZANINE DIMENSION FLOOR PLAN**

SHEET:

**A-101**

## GENERAL NOTES

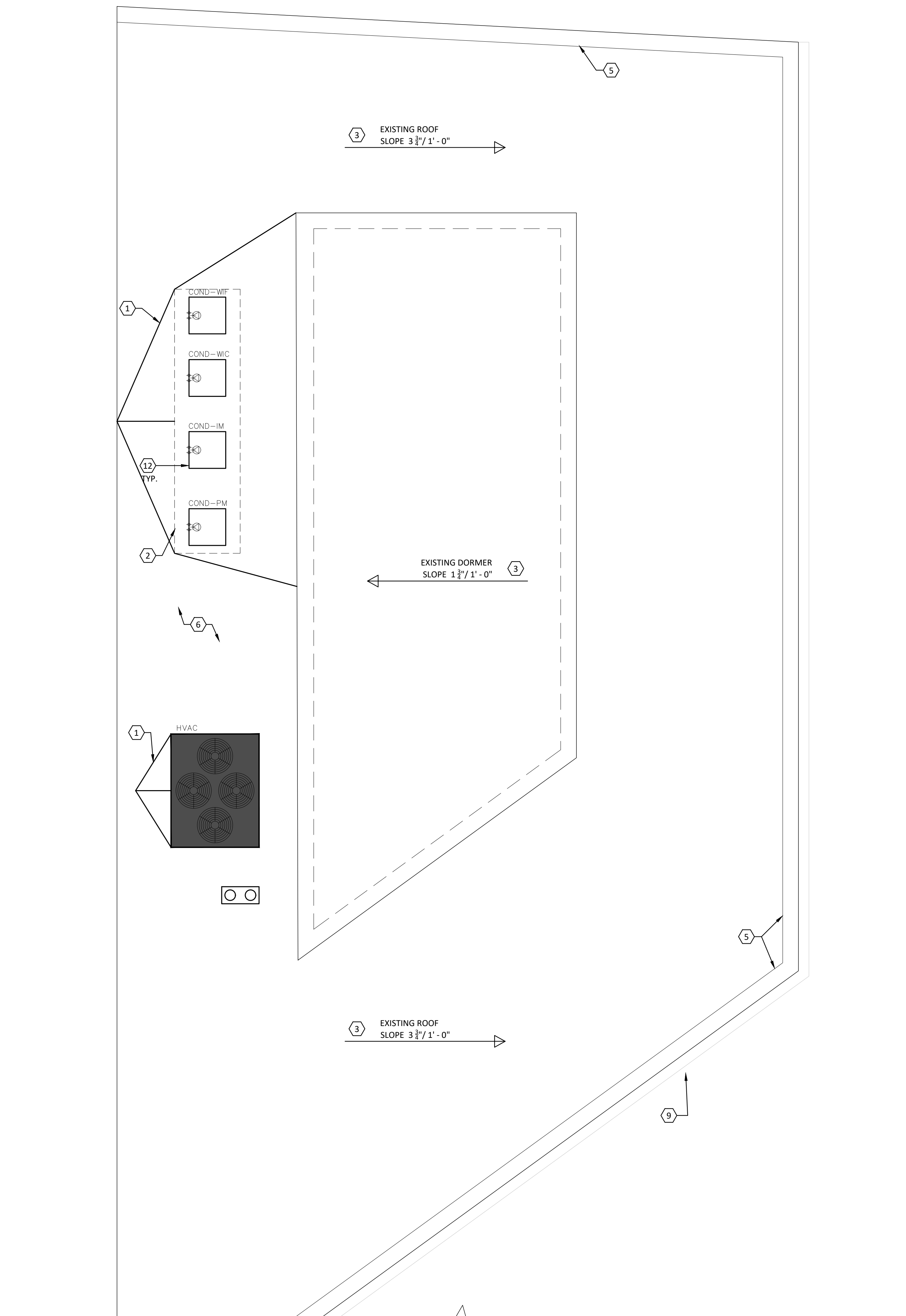
- GC IS TO VERIFY IF LANDLORD ROOFING CONTRACTOR IS TO BE USED FOR ROOFING WORK PRIOR TO WORK START.
- LANDLORD TO SEAL ALL MODIFIED/REMOVED OPENINGS PER MANUFACTURER RECOMMENDATION, TYP (VENTS, ETC). REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING ROOFTOP EXHAUST, PIPES, PENETRATIONS, CURBS & OTHER EQUIPMENT NOT REQUIRED BY JOLLIBEE/IMPEDING WORK TO BE REMOVED/RELOCATED BY LANDLORD, TYP. LANDLORD TO PATCH/CAP/REPAIR/REPLACE AS REQUIRED.
- GC TO SEAL ALL NEW OPENINGS PER MANUFACTURER RECOMMENDATION, TYP. (VENTS, ETC). SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- GC SHALL REPAIR/ REPLACE DAMAGED INSULATION SYSTEM DUE TO NEW WORK. REPAIR/ REPLACEMENT WORK SHALL BE COMPLETED WITH NEW MATERIALS TO MATCH EXISTING.
- ALL ROOF TOP EQUIPMENT TO HAVE VISIBLE MIN. 1" TALL BLACK LETTERS IDENTIFYING SPACE NUMBER, TENANT'S TRADE NAME AND EQUIPMENT DESCRIPTION.
- GC SHALL REPAIR/ REPLACE DAMAGE ROOF DUE TO NEW WORK. REPAIR/REPLACE WORK SHALL BE COMPLETED W/ NEW MATERIALS TO MATCH EXISTING.
- GC TO PROVIDE AND INSTALL CRICKET AT NEW ROOF TOP EQUIPMENT AS NECESSARY FOR POSITIVE DRAINAGE AROUND EQUIPMENT. G.C. TO USE ROOF MATERIAL TO MATCH EXISTING, TYP.
- GC TO VERIFY & DOCUMENT CONDITION OF ROOF AND REPORT ANY EXISTING DAMAGES TO JOLLIBEE PM & LANDLORD REPRESENTATIVE PRIOR TO COMMENCING ANY WORK.
- REFER TO PLUMBING DRAWINGS FOR THRU PIPE PENETRATION DETAILS.
- DO NOT PENETRATE ROOF DECK UNLESS NECESSARY. ATTACH ALL FRAMING, EQUIPMENT, SUPPORTS, ETC TO BUILDING STRUCTURE BELOW ROOF DECK.
- DIMENSIONS ARE TO THE CENTER OF UNIT, TYP.
- FIELD VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO TAKE FULL RESPONSIBILITY OF CURB CUTS AND CURB INSTALLATIONS. DIMENSIONS PROVIDED ARE NOT FIELD MEASUREMENTS; NO SITE OBSERVATIONS HAVE BEEN PERFORMED. FIELD VERIFY LOCATION OF ROOF EQUIPMENT OPENINGS WITH MANUFACTURER AND LOCATIONS OF JOISTS/STRUCTURE/SPRINKLER LINE/ETC. BELOW. MECHANICAL EQUIPMENT TO MAINTAIN 10'-0" CLEARANCE FROM PARAPET IF HEIGHT OF PARAPET IS LESS THAN 3'-6". REFER TO STRUCTURAL AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- G.C. TO PROVIDE NECESSARY PADS/PROTECTION BELOW EQUIPMENT/PIPING STANDS TO PREVENT PUNCTURE OF THE EXISTING ROOF MEMBRANE.
- PROVIDE HAIL GUARDS FOR CONDENSING UNITS PER JOLLIBEE C.M. DIRECTION.
- G.C. TO LAYOUT THE CURB AND DUCT DROP LOCATIONS PRIOR TO WORK. G.C. TO NOTIFY ARCHITECT IF THEIR IS ANY CONFLICT WITH THE PROPOSED DUCT DROP LOCATIONS AND EXISTING JOIST STRUCTURE

## KEY NOTES

- GENERAL CONTRACTOR TO PROVIDE AND INSTALL CRICKET AT NEW ROOF TOP EQUIPMENT AS NECESSARY FOR PROPER DRAINAGE AROUND EQUIPMENT. GENERAL CONTRACTOR TO USE ROOF MATERIAL TO MATCH EXISTING, TYP.
- GC TO ASSEMBLE AND INSTALL KEC PROVIDED PRE-MANUFACTURED EQUIPMENT RAIL PRIOR TO MOUNTING CONDENSING UNITS. MAINTAIN CONTINUOUS FLASHING AND ROOF INTEGRITY THROUGHOUT.
- EXISTING ROOF SLOPE LINE.
- NOT USED.
- EXISTING PARAPET TO REMAIN, TYP.
- GC TO CONFIRM IF THERE IS ANY OTHER ROOFTOP EQUIPMENT IMPEDING INTAKE/EXHAUST CLEARANCES.
- GC TO CONFIRM IF THERE ARE ANY CONFLICTS WITH PROPOSED DUCT DROP LOCATIONS AND EXISTING JOIST LAYOUT.
- NOT USED.
- NEW EYEBROW BELOW. REFER TO EXTERIOR ELEVATIONS FOR DETAILS.
- NOT USED.
- CAP AND SEAL EXISTING ROOF CURB.
- REFRIGERATION EQUIPMENT TO BE PROVIDED BY OTHERS. LOCATIONS SHOWN FOR REFERENCE ONLY. INSTALLING CONTRACTOR TO COORDINATE FINAL LOCATIONS WITH LANDLORD AND MAINTAIN ALL REQUIRED SERVICE/OPERATING CLEARANCES.

## ROOF EQUIPMENT SCHEDULE

DESCRIPTION	PURCHASED BY	INSTALLED BY	EQUIPMENT
COND-IM	O	GC	ICE MAKER REMOTE CONDENSING UNIT
COND-PM	O	GC	POST MIX REMOTE CONDENSER UNIT
COND-WIC	GC	GC	WALK-IN COOLER CONDENSER
COND-WIF	GC	GC	WALK-IN FREEZER CONDENSER
MUA-1	GC	GC	MAKE-UP-AIR UNIT
RTU-1	GC	GC	CONDENSING UNIT
RTU-2	GC	GC	CONDENSING UNIT
EF-1	GC	GC	EXHAUST FAN (HOOD)
EF-2	GC	GC	EXHAUST FAN (HOOD)
EF-3	GC	GC	EXHAUST FAN (RESTROOM)
LEGEND:	GC - GENERAL CONTRACTOR	O - OWNER	



1 ROOF PLAN  
1/4" = 1'-0"



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ARCHITECT: JOHN A. CHIPMAN  
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DRAWN BY: ARC  
CHECKED BY: AV

ROOF PLAN

SHEET:  
A-106



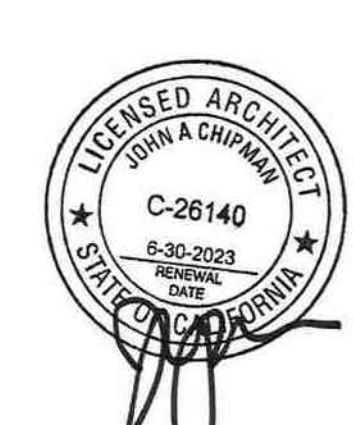


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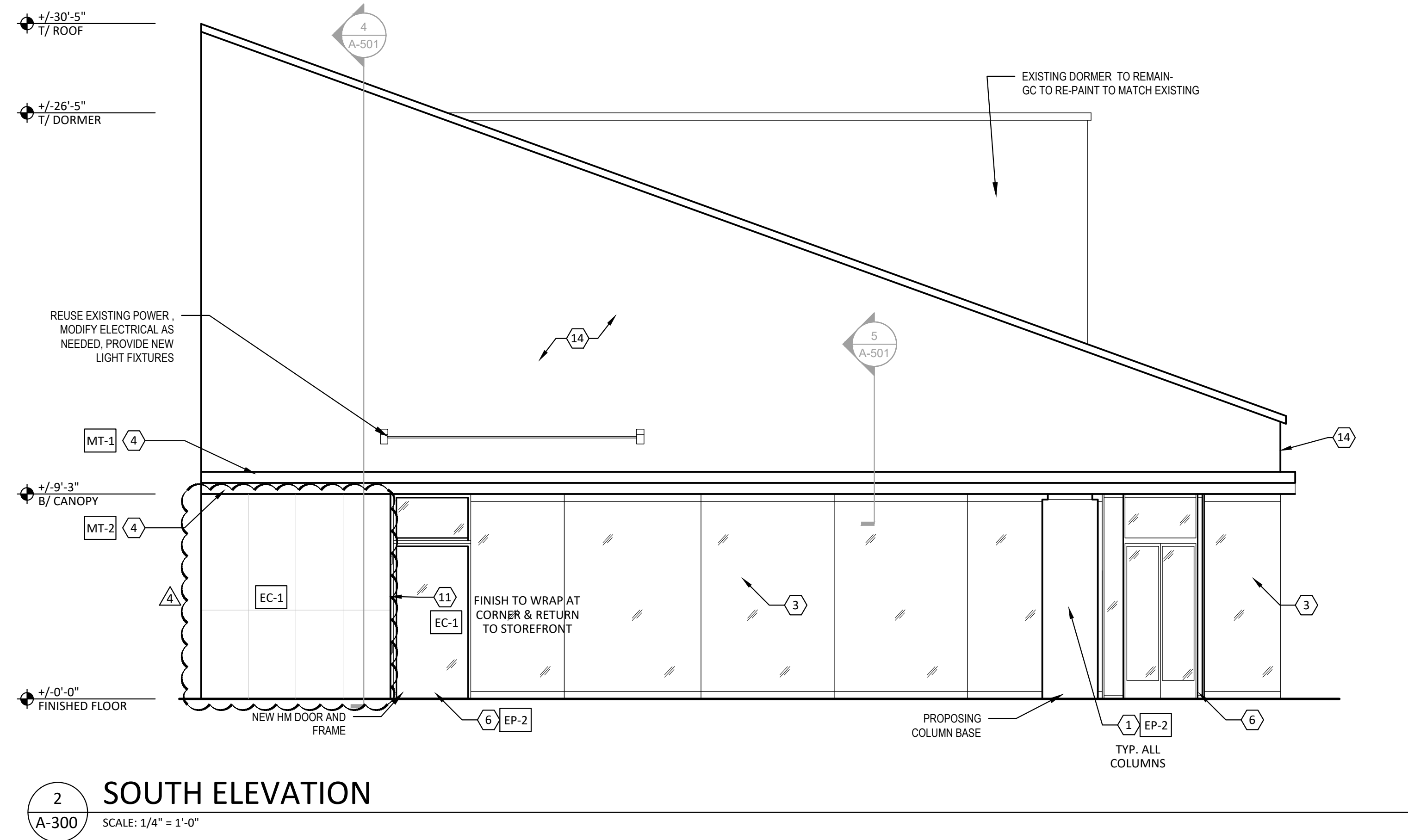
EXTERIOR ELEVATIONS

SHEET:

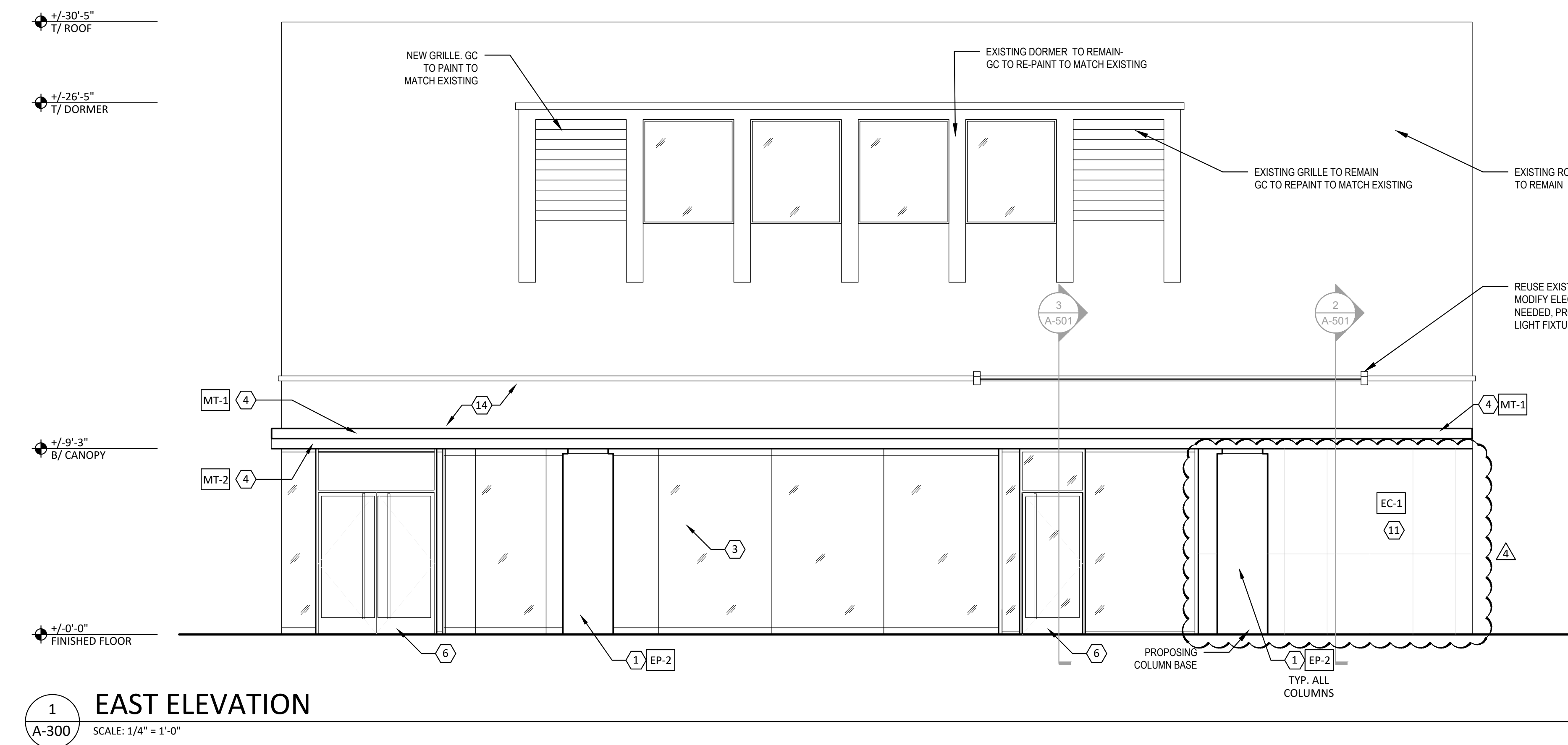
A-300

- ### GENERAL NOTES
- DO NOT SCALE DRAWINGS. DIMENSIONS ARE FOR CONSTRUCTION REFERENCE. ALL DIMENSIONS SHOULD BE FIELD VERIFIED AT TIME OF BID AND PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHOULD BE REPORTED IMMEDIATELY TO ARCHITECT.
  - INSTALL CONTINUOUS SEALANT BEAD BETWEEN ALL UNLIKE MATERIALS.
  - PROVIDE SAFETY GLAZING AT DOORS, TRANSOM, SIDELITES, AND GLAZING 2'-0" ABOVE FIN GRADE. WINDOWS AND DOORS TO BE LABELED CONFORMING TO AAMA/NWDA 101/I.S.2.
  - EXTERIOR SIGNS ARE SHOWN FOR REFERENCE AND ARE OMITTED FROM THE BUILDING PERMIT. A SEPARATE PERMIT MUST BE OBTAINED FOR ALL EXTERIOR SIGNAGE.
  - CONTRACTOR MUST SUBMIT FOR REVIEW ALL EXTERIOR MATERIALS OF BUILDING TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING.
  - ALL WOOD BLOCKING USED IS TO BE FIRE-TREATED.
  - CONTRACTOR SHALL MAKE ANY NECESSARY REPAIRS TO THE LANDLORD PROVIDED EXTERIOR FINISHES TO ENSURE LIKE NEW CONDITION AT GRAND OPENING. CONTRACTOR SHALL DOCUMENT AND NOTIFY CONSTRUCTION MANAGER OF ANY DAMAGE PRIOR TO PERFORMING ANY WORK.
  - SIGNAGE AS SHOWN IN THESE DRAWINGS IS SCHEMATIC ONLY FOR ILLUSTRATION PURPOSES AND DOES NOT IMPLY OR DESCRIBE ANY MEANS, METHODS, OR DETAILS PERTAINING TO INSTALLATION OF THE AWNING OR SIGNAGE. IT SHALL BE SOLELY THE SIGN CONTRACTOR'S RESPONSIBILITY TO DESIGN, FABRICATE, AND INSTALL THE SIGN UNDER SEPARATE PERMIT. ANY AND ALL STRUCTURAL CONSIDERATIONS SHALL BE COORDINATED BETWEEN THE SIGNAGE CONTRACTOR, THE BUILDING OWNER, AND HIS DESIGN PROFESSIONALS. THE AWNING/SIGN CONTRACTOR SHALL SUBMIT SHOP DRAWINGS DESCRIBING THE AWNING/SIGNAGE DESIGN INCLUDING FINISHES, COLORS, AND DESIGN DIMENSIONS TO THE OWNER FOR DESIGN INTENT REVIEW ONLY PRIOR TO AWNING/SIGN FABRICATION.

- ### KEY NOTES
- EXISTING CONCRETE TO REMAIN, PAINT AS INDICATED ON FINISH SCHEDULE.
  - NOT USED
  - EXISTING STOREFRONT TO REMAIN, TYP.
  - ACM EYEBROW CANOPY SYSTEM, TYP. PAINT RED AS APPROVED BY JOLLIBEE.
  - NEW EXTERIOR LIGHT, TYP.
  - NEW STOREFRONT TO MATCH EXISTING.
  - NOT USED.
  - NOT USED
  - NOT USED
  - NOT USED
  - FACADE ACM OVER VAPOR BARRIER.
  - LINE OF EXISTING PARAPET
  - NEW COPING TO MATCH EXISTING
  - EXISTING CONCRETE LOCATED ON UPPER PORTION OF BUILDING EXTERIOR TO REMAIN CLEANED AND UNPAINTED.



2 SOUTH ELEVATION  
 A-300 SCALE: 1/4" = 1'-0"



1 EAST ELEVATION  
 A-300 SCALE: 1/4" = 1'-0"



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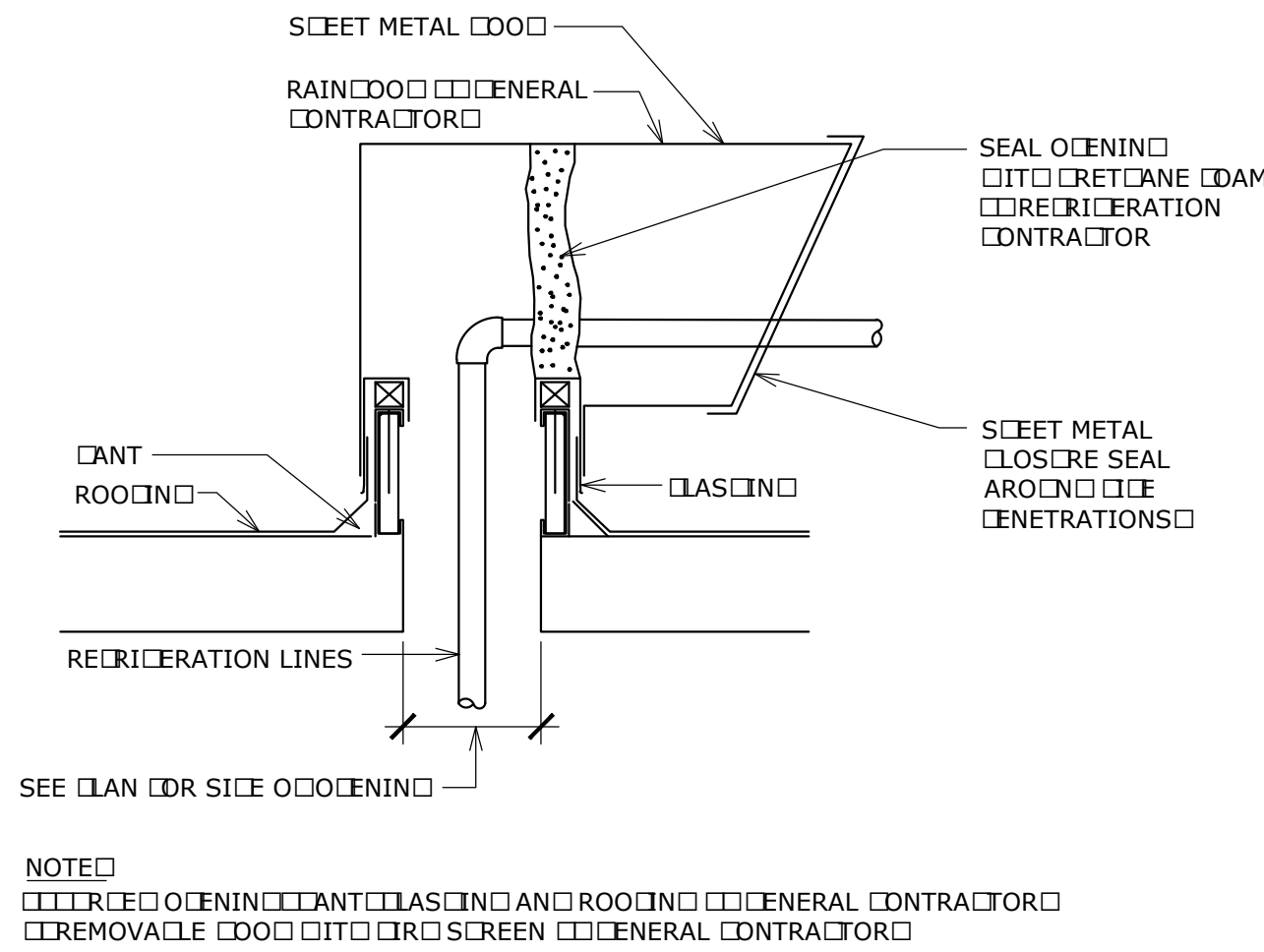


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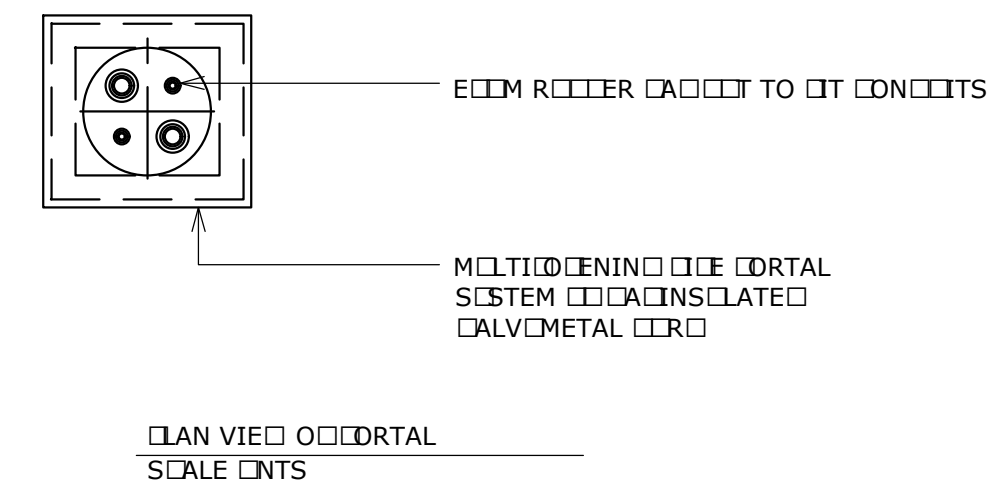
DRAWN BY: AV  
 CHECKED BY: AV

**ROOF DETAILS**

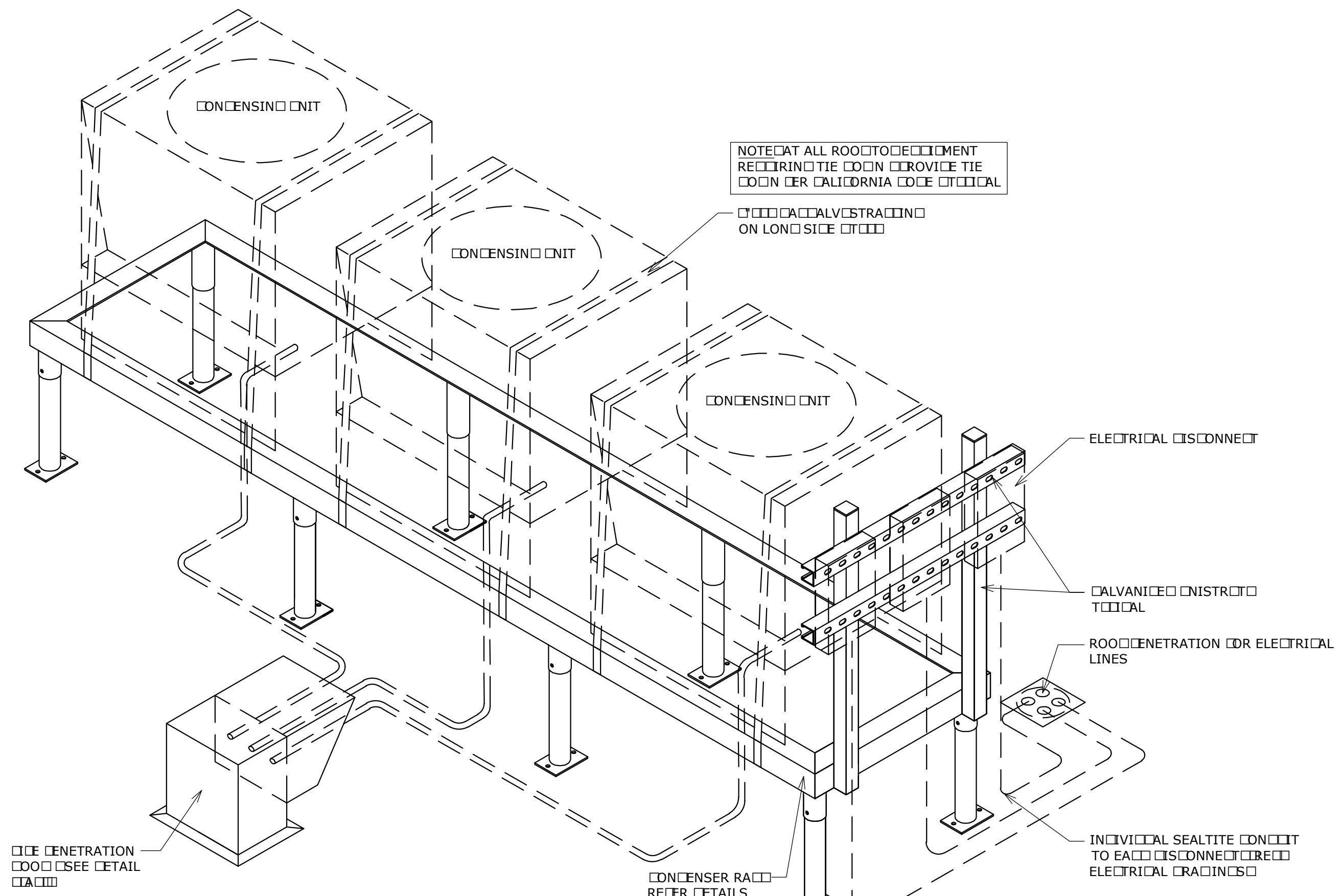
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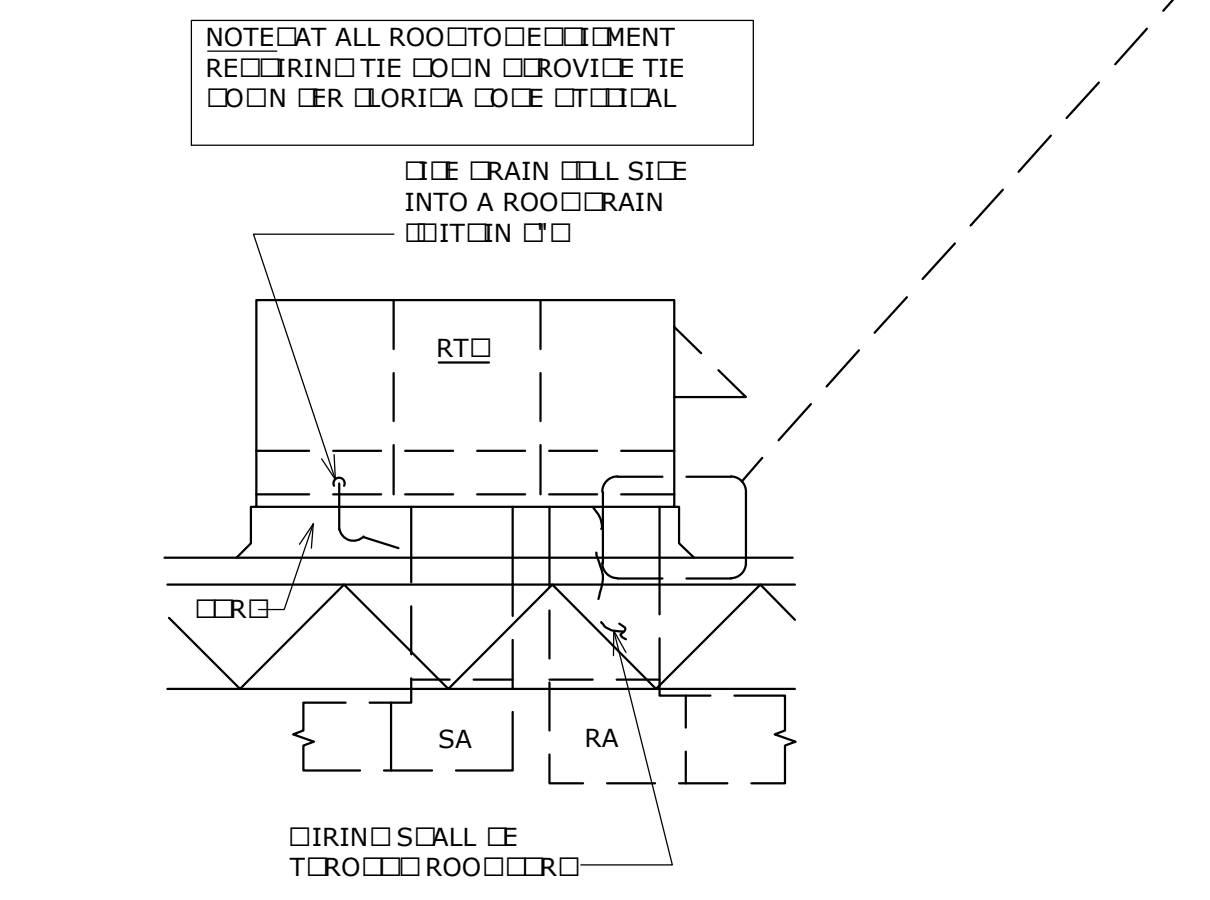
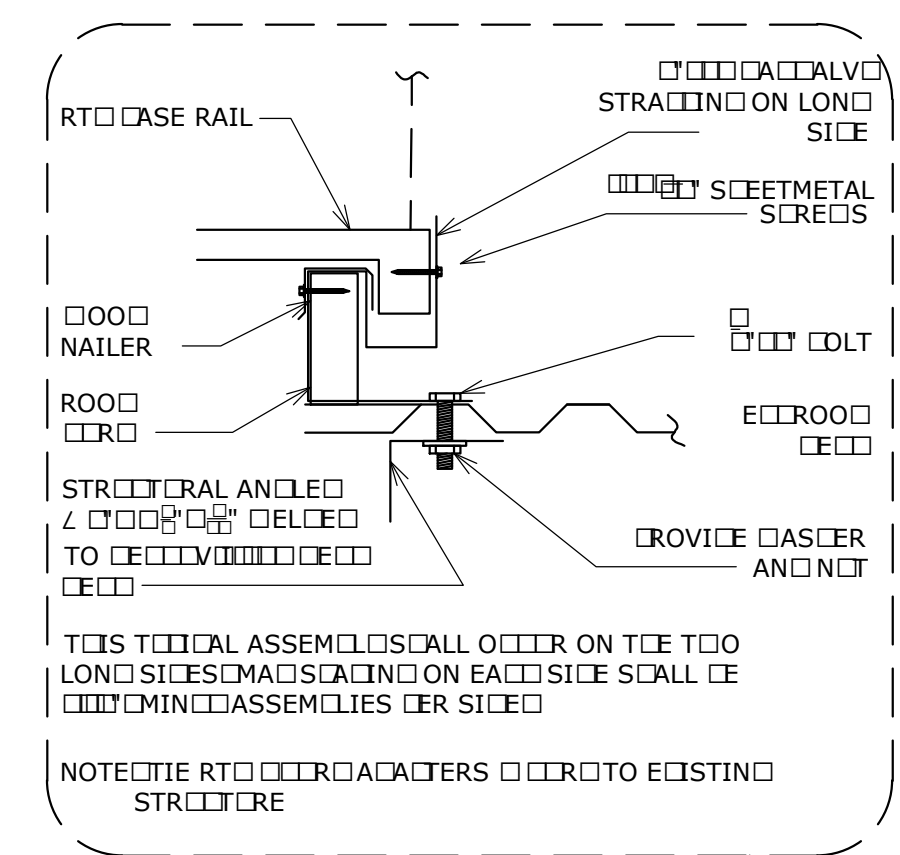
**1 PIPE PENETRATION ENCLOSURE**  
 A-404 1/4" = 1'-0"



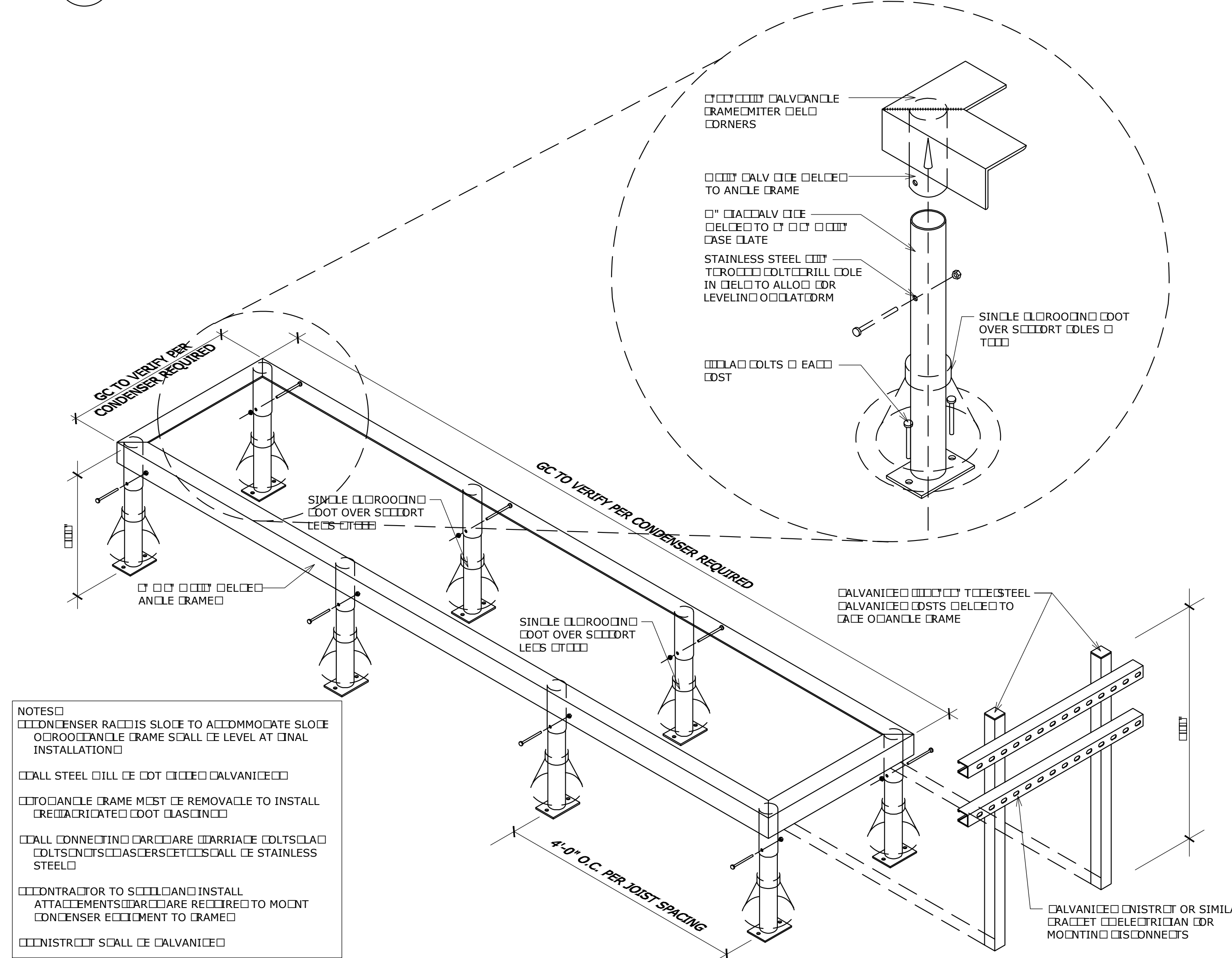
**2 PORTAL CAP PLATE DETAIL**  
 A-404 1/2" = 1'-0"



**3 CONDENSER RACK ISOMETRIC**  
 A-404 3/4" = 1'-0"

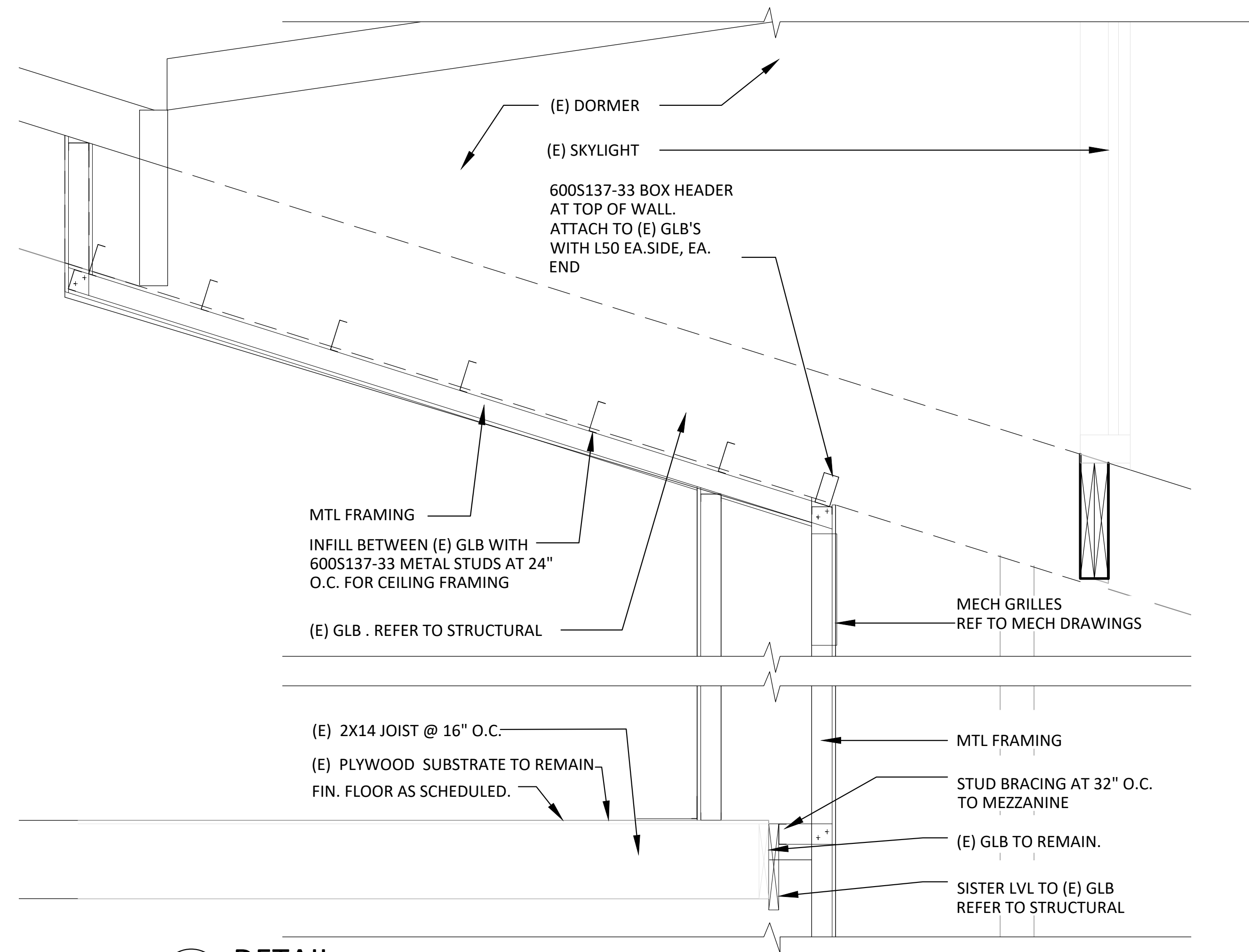


**4 CURB TIE-DOWN DETAIL**  
 A-404 3/4" = 1'-0"

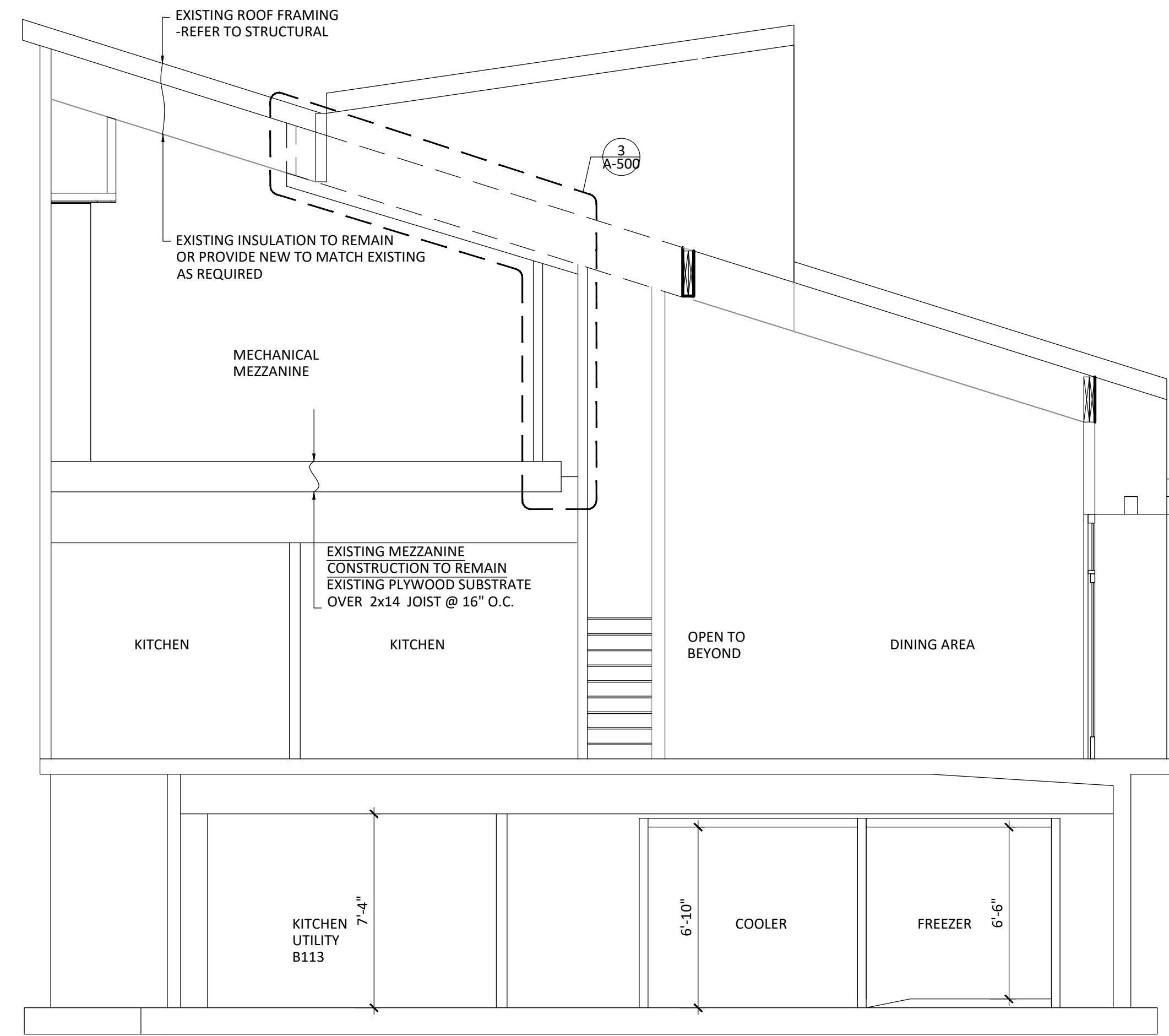


**5 FREEZER / COOLER / ICE MAKER CONDENSER RACK DETAILS**  
 A-404 3/4" = 1'-0"

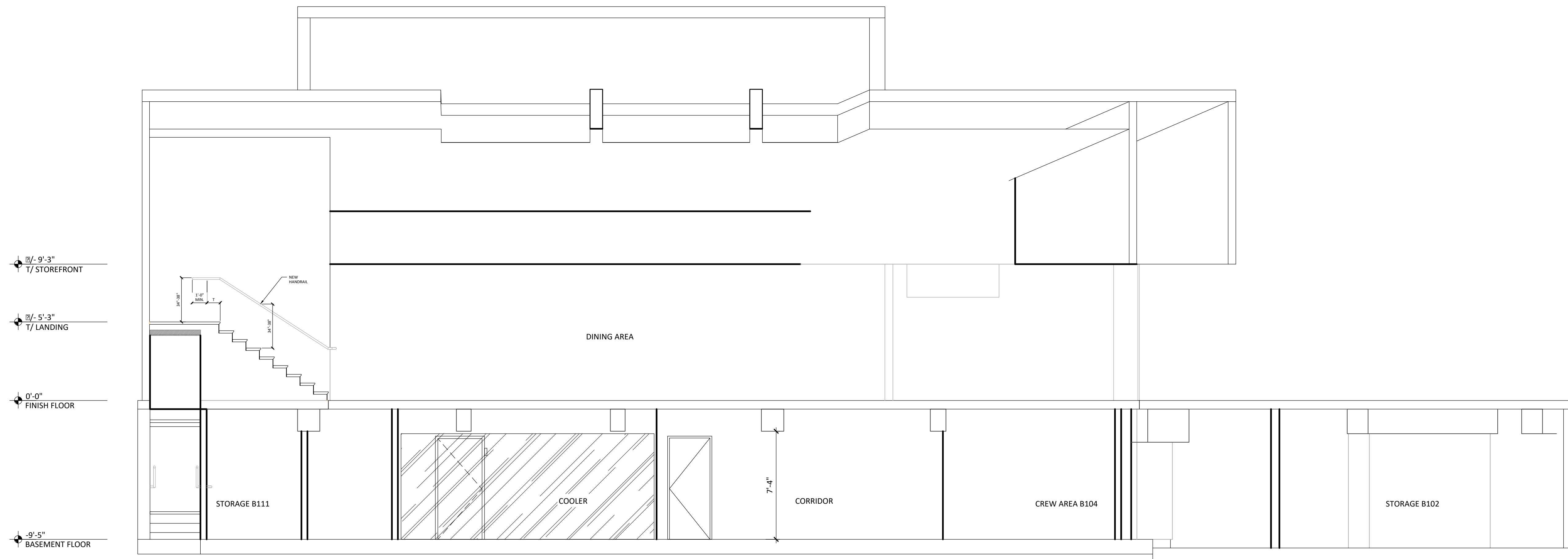




3  
A-500 3/4" = 1'-0"



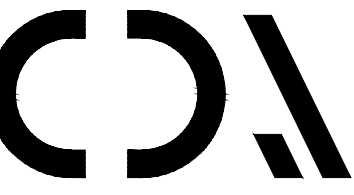
2  
A-500 1/4" = 1'-0"



1  
A-500 1/4" = 1'-0"



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CHIPMAN DESIGN ARCHITECTURE INC  
JOHN A CHIPMAN ARCHITECT  
1350 E TOUHY AVE  
DES PLAINES, IL 60018  
TEL: 847.298.6900

PROJECT NUMBER:  
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BUILDING SECTIONS

SHEET:

A-500



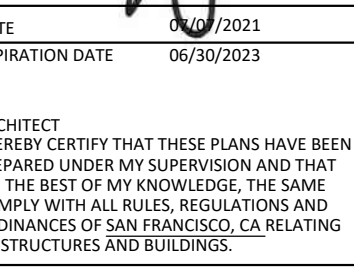
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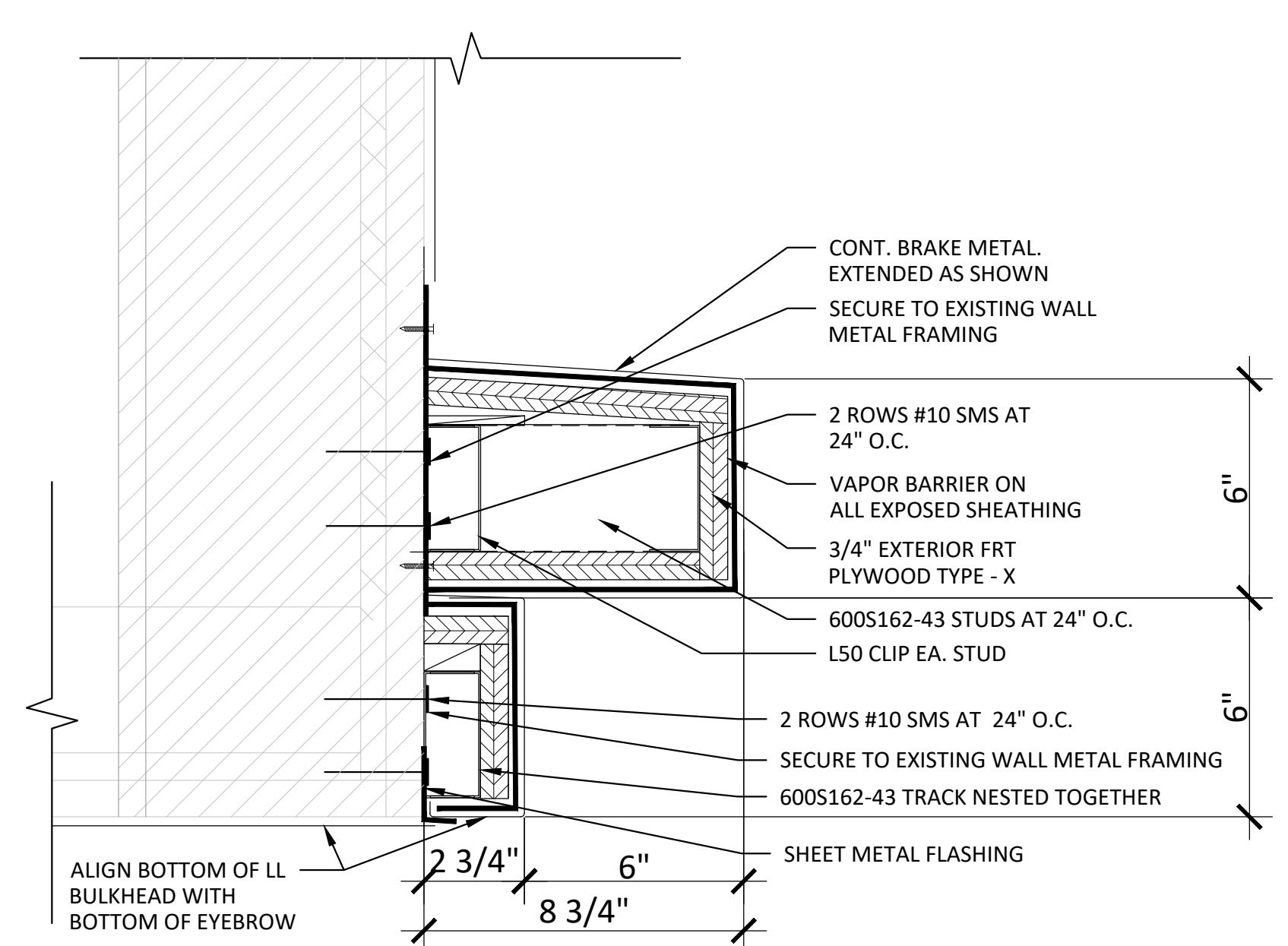
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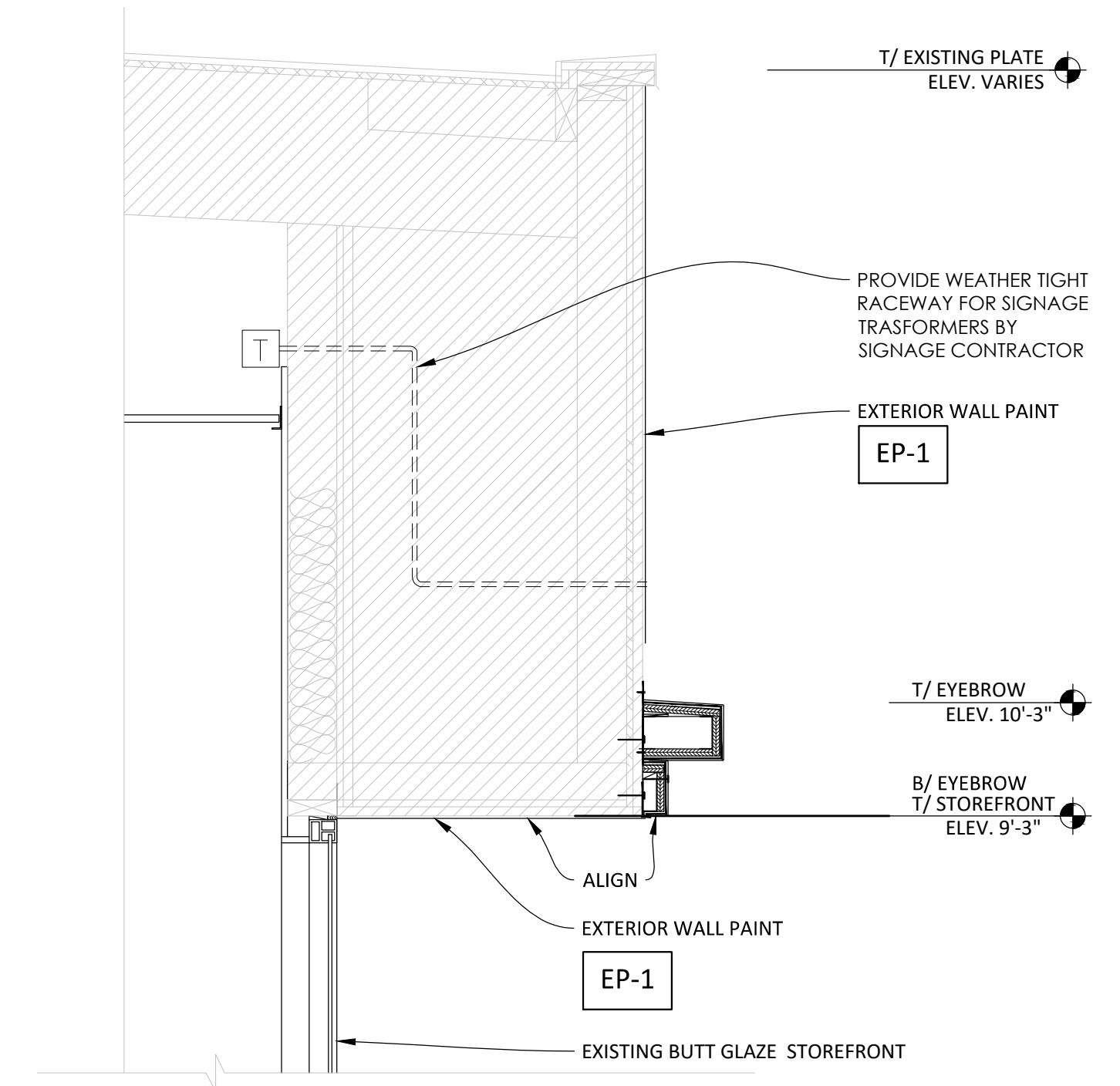
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WALL SECTIONS

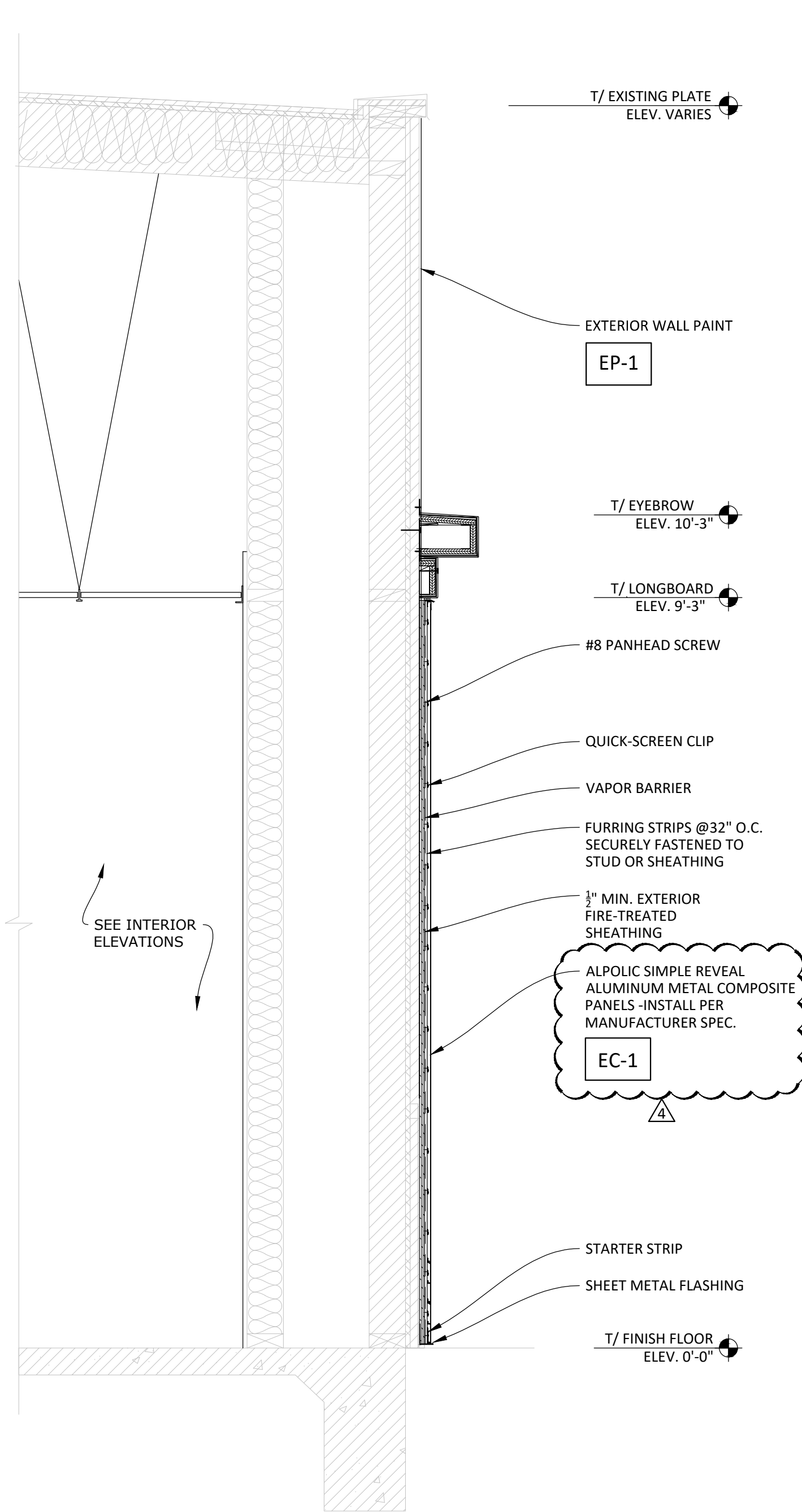
SHEET:  
**A-501**



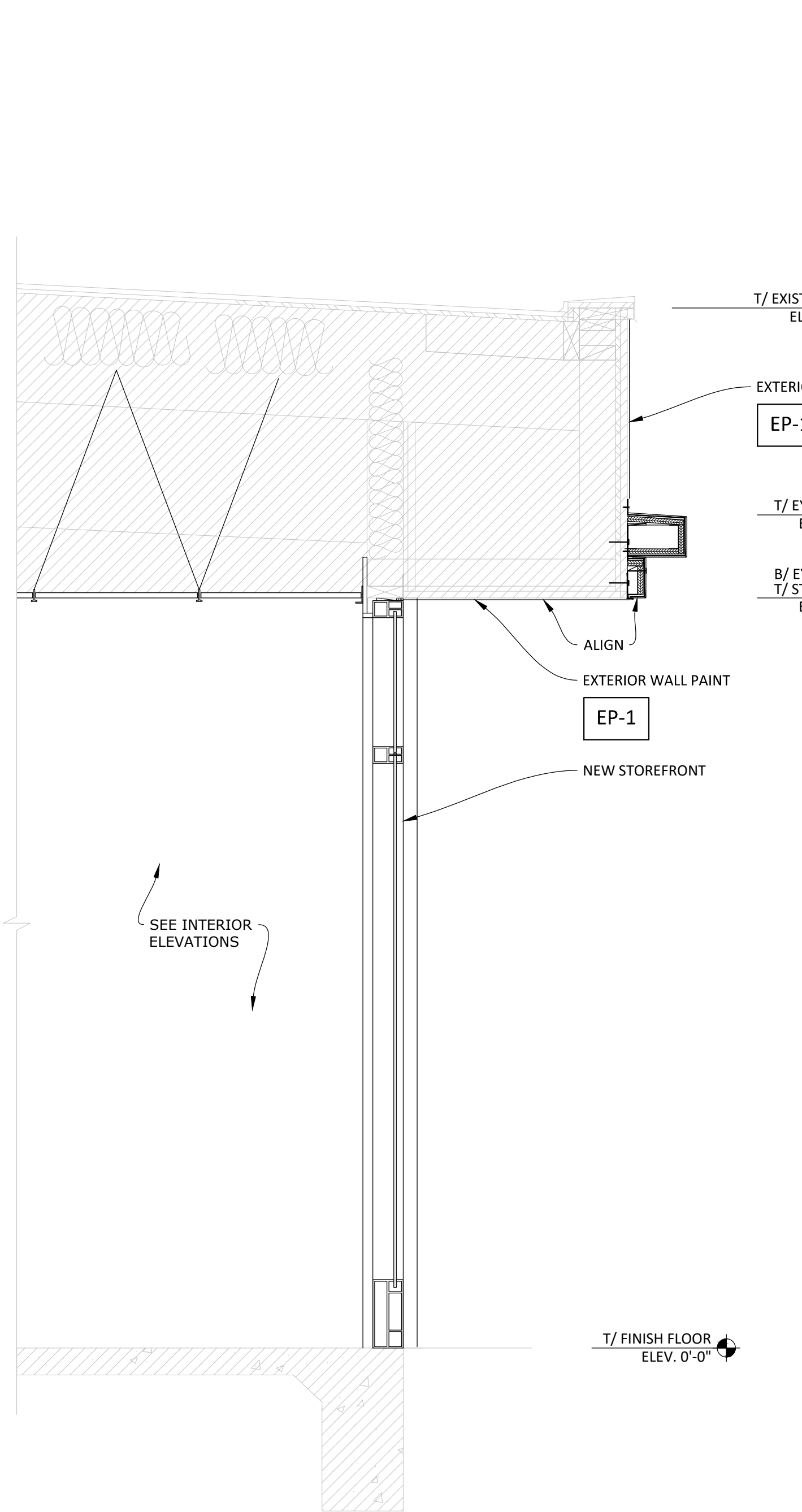
**6 EYEBROW CANOPY DETAIL**  
 1 1/2" = 1'-0"



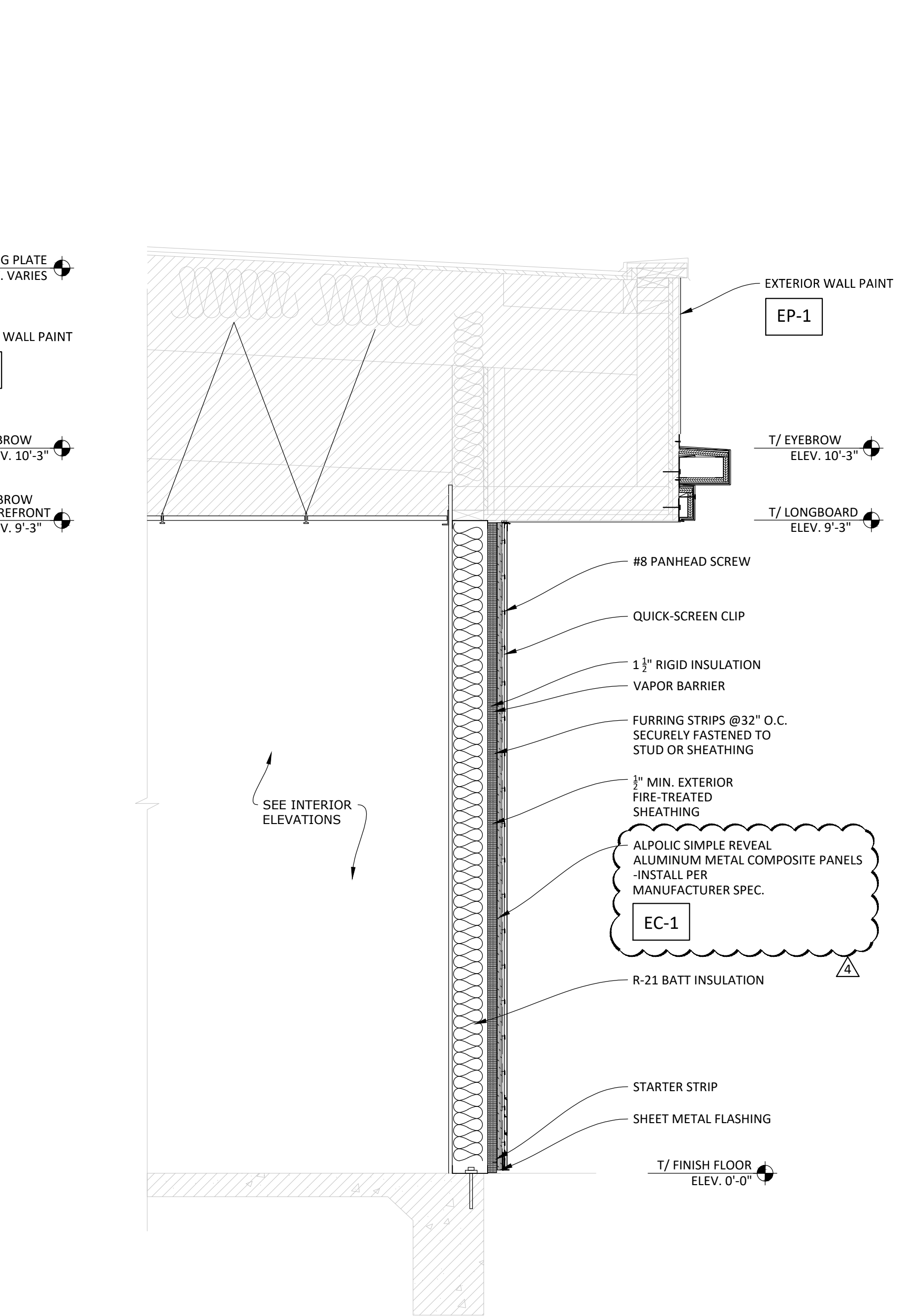
**5 SIGNAGE DETAIL**  
 1 1/2" = 1'-0"



**4 WALL SECTION @ LONGBOARD**  
 1/4" = 1'-0"



**3 WALL SECTION @ STOREFRONT**  
 1/4" = 1'-0"



**2 WALL SECTION @ NEW LONGBOARD**  
 1/4" = 1'-0"



EXTERIOR FINISH SCHEDULE	
PAINT	
EP-1	MANUFACTURER: DUNN EDWARDS COLOR: HOT JAZZ SERIES/MFG#: DEA107 FINISH: SEMI GLOSS FINISH (ALTERNATIVE) BENJAMIN MOORE: NEON RED 2087-10
EP-2	MANUFACTURER: DUNN EDWARDS COLOR: COCOA SERIES/MFG#: DEC755 FINISH: SEMI GLOSS FINISH (ALTERNATIVE) SHERWIN WILLIAMS: VAN DYKE BROWN SW7041
EP-3	MANUFACTURER: DUNN EDWARDS COLOR: SNOWFLAKE SERIES/MFG#: DEW384 FINISH: SEMI GLOSS FINISH (ALTERNATIVE) SHERWIN WILLIAMS: ICE CUBE SW6252
EP-4	MANUFACTURER: DUNN EDWARDS COLOR: GRAY PEARL SERIES/MFG#: DEC795 FINISH: SEMI GLOSS FINISH (ALTERNATIVE) BENJAMIN MOORE: SMOKE EMBERS 1466
EP-5	MANUFACTURER: DUNN EDWARDS COLOR: MINER'S DUST SERIES/MFG#: DEC786 FINISH: SEMI GLOSS FINISH (ALTERNATIVE) BENJAMIN MOORE: LONDON FOG 1541
EP-6	MANUFACTURER: DUNN EDWARDS COLOR: BARREL STOVE SERIES/MFG#: DEC6216 FINISH: SEMI GLOSS FINISH (ALTERNATIVE) SHERWIN WILLIAMS: DOWING EARTH SW2820
EP-7	MANUFACTURER: DUNN EDWARDS COLOR: BLACK TIE SERIES/MFG#: DEAG357 FINISH: SEMI GLOSS FINISH (ALTERNATIVE) SHERWIN WILLIAMS: CAVIAR SW6990

EXTERIOR FINISH SCHEDULE	
PAINT	
EP-9	MANUFACTURER: BENJAMIN MOORE COLOR: SEATTLE GRAY SERIES/MFG#: 2130-70 FINISH: SEMI GLOSS FINISH CONTACT: -
METAL	
MT-1	MANUFACTURER: ALPOLIC COLOR: SPARKLING RED SERIES/MFG#: MD052-G80 FINISH: - APPLICATION: 20 GA. CONTACT: -
MT-2	MANUFACTURER: - COLOR: DARK GRAY SERIES/MFG#: - FINISH: - APPLICATION: DRIVE-THRU CANOPY CONTACT: -
CLADDING	
EC-1	MANUFACTURER: ALPOLIC MATERIALS - METAL COMPOSITE MATERIALS COLOR: MRO ANTHRACITE GREY SERIES/MFG#: 4-MRO-70 LRV 3.33 APPLICATION: EXTERIOR CLADDING CONTACT: -
TILE	
WT-1	MANUFACTURER: - COLOR: PLAIN CEMENT W/ GROOVE SERIES/MFG#: - FINISH: BASE TILES/SKIRTING APPLICATION: - CONTACT: -



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FINISH SCHEDULE

SHEET:  
A-600



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MRO Anthracite Grey

**ALPOLIC**<sup>®</sup>  
METAL COMPOSITE MATERIALS



MRO Anthracite Grey

EXTERIOR PERSPECTIVES

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**EXHIBIT  
B**

### CEQA Exemption Determination

#### PROPERTY INFORMATION/PROJECT DESCRIPTION

<b>Project Address</b> 934 Market Street		<b>Block/Lot(s)</b> 0341004
<b>Case No.</b> 2020-011053PRJ		<b>Permit No.</b> 202011179102
<input checked="" type="checkbox"/> <b>Addition/ Alteration</b>	<input type="checkbox"/> <b>Demolition (requires HRE for Category B Building)</b>	<input type="checkbox"/> <b>New Construction</b>
<p><b>Project description for Planning Department approval.</b>          Tenant interior &amp; exterior alterations. Tenant to build out new tenant space, to be utilized as a sit-down restaurant with no square footage being added. Exterior alterations to include new window louver, entry door replacement, alterations to non-historic storefronts. Signage &amp; all hood Ansul modifications shall be designed by a licensed Ansul contractor under a separate permit.</p>		

#### STEP 1: EXEMPTION TYPE

<b>The project has been determined to be exempt under the California Environmental Quality Act (CEQA).</b>	
<input checked="" type="checkbox"/>	<b>Class 1 - Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	<b>Class 3 - New Construction.</b> Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p><b>Class 32 - In-Fill Development.</b> New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p>
<input type="checkbox"/>	<b>Other</b> _____
<input type="checkbox"/>	<b>Common Sense Exemption (CEQA Guidelines section 15061(b)(3)).</b> It can be seen with certainty that there is no possibility of a significant effect on the environment.

**STEP 2: ENVIRONMENTAL SCREENING ASSESSMENT**

**TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	<p><b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g. use of diesel construction equipment, backup diesel generators, heavy industry, diesel trucks, etc.)? <i>(refer to the Environmental</i></p>
<input type="checkbox"/>	<p><b>Hazardous Materials:</b>    <input type="checkbox"/> <b>Maher</b> or    <input type="checkbox"/> <b>Cortese</b></p> <p>Is the project site located within the Maher area or on a site containing potential subsurface soil or groundwater contamination and would it involve ground disturbance of at least 50 cubic yards or a change of use from an industrial use to a residential or institutional use? Is the project site located on a Cortese site or would the project involve work on a site with an existing or former gas station, parking lot, auto repair, dry cleaners, or heavy manufacturing use, or a site with current or former underground storage tanks? <i>if Maher box is checked, note below whether the applicant has enrolled in or received a waiver from the San Francisco Department of Public Health (DPH) Maher program, or if Environmental Planning staff has determined that hazardous material effects would be less than significant.</i></p> <p><b>Note that a categorical exemption shall not be issued for a project located on the Cortese List</b></p>
<input type="checkbox"/>	<p><b>Transportation:</b> Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities? Would the project involve the intensification of or a substantial increase in vehicle trips at the project site or elsewhere in the region due to autonomous vehicle or for-hire vehicle fleet maintenance, operations or</p>
<input type="checkbox"/>	<p><b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? If yes, archeology review is required.</p>
<input type="checkbox"/>	<p><b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? <i>(refer to the Environmental Information tab on <a href="https://sfplanninggis.org/PIM/">https://sfplanninggis.org/PIM/</a>)</i> <b>If box is checked, Environmental Planning must issue the exemption.</b></p>
<input type="checkbox"/>	<p><b>Average Slope of Parcel = or &gt; 25%, or site is in Edgehill Slope Protection Area or Northwest Mt. Sutro Slope Protection Area:</b> Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, or (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area? <i>(refer to the Environmental Information tab on <a href="https://sfplanninggis.org/PIM/">https://sfplanninggis.org/PIM/</a>)</i> <b>If box is checked, a geotechnical report is likely required and Environmental Planning must issue the exemption.</b></p>
<input type="checkbox"/>	<p><b>Seismic Hazard:</b>    <input type="checkbox"/> <b>Landslide</b> or    <input type="checkbox"/> <b>Liquefaction Hazard Zone:</b></p> <p>Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area, or (4) grading performed at a site in the landslide hazard zone? <i>(refer to the Environmental Information tab on <a href="https://sfplanninggis.org/PIM/">https://sfplanninggis.org/PIM/</a>)</i> <b>If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</b></p>
<p><b>Comments and Planner Signature (optional):</b>                      Jonathan Vimr</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE  
TO BE COMPLETED BY PROJECT PLANNER**

<b>PROPERTY IS ONE OF THE FOLLOWING:</b> (refer to Property Information Map)	
<input checked="" type="checkbox"/>	<b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	<b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>
<input type="checkbox"/>	<b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b>

**STEP 4: PROPOSED WORK CHECKLIST  
TO BE COMPLETED BY PROJECT PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. <b>Change of use and new construction.</b> Tenant improvements not included.
<input type="checkbox"/>	2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: ADVANCED HISTORICAL REVIEW  
TO BE COMPLETED BY PRESERVATION PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. <b>Reclassification of property status.</b> (Attach HRER Part I)  <input type="checkbox"/> Reclassify to Category A a. Per HRER b. Other (specify):  <input type="checkbox"/> Reclassify to Category C (No further historic review)
<input type="checkbox"/>	2. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input checked="" type="checkbox"/>	3. <b>Interior alterations to publicly accessible spaces that do not remove, alter, or obscure character defining features.</b>
<input type="checkbox"/>	4. <b>Window replacement</b> of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input checked="" type="checkbox"/>	5. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.

<input type="checkbox"/>	6. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	7. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	8. <b>Work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties (Analysis required)</i> :
<input type="checkbox"/>	9. <b>Work compatible</b> with a historic district (Analysis required):
<input type="checkbox"/>	10. <b>Work that would not materially impair</b> a historic resource (Attach HRER Part II).
<b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.</b>	
<input checked="" type="checkbox"/>	<b>Project can proceed with exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with exemption review. <b>GO TO STEP 6.</b>
<b>Comments (optional):</b>	
<b>Preservation Planner Signature:</b> Jonathan Vimr	

**STEP 6: EXEMPTION DETERMINATION**  
**TO BE COMPLETED BY PROJECT PLANNER**

<input checked="" type="checkbox"/>	<b>No further environmental review is required. The project is exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.</b>	
	<b>Project Approval Action:</b> Historic Preservation Commission Hearing	<b>Signature:</b> Jonathan Vimr 09/21/2021
	Supporting documents are available for review on the San Francisco Property Information Map, which can be accessed at <a href="https://sfplanninggis.org/PIM/">https://sfplanninggis.org/PIM/</a> . Individual files can be viewed by clicking on the Planning Applications link, clicking the "More Details" link under the project's environmental record number (ENV) and then clicking on the "Related Documents" link. Once signed or stamped and dated, this document constitutes an exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination to the Board of Supervisors can only be filed within 30 days of the project receiving the approval action.	

## STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

### TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional

### MODIFIED PROJECT DESCRIPTION

Modified Project Description:

### DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

- |                          |  |
|--------------------------|--|
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code;   |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312;  |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)?   |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |

**If at least one of the above boxes is checked, further environmental review is required**

### DETERMINATION OF NO SUBSTANTIAL MODIFICATION

- |                          |   |
|--------------------------|---|
| <input type="checkbox"/> | The proposed modification would not result in any of the above changes. |
|--------------------------|---|

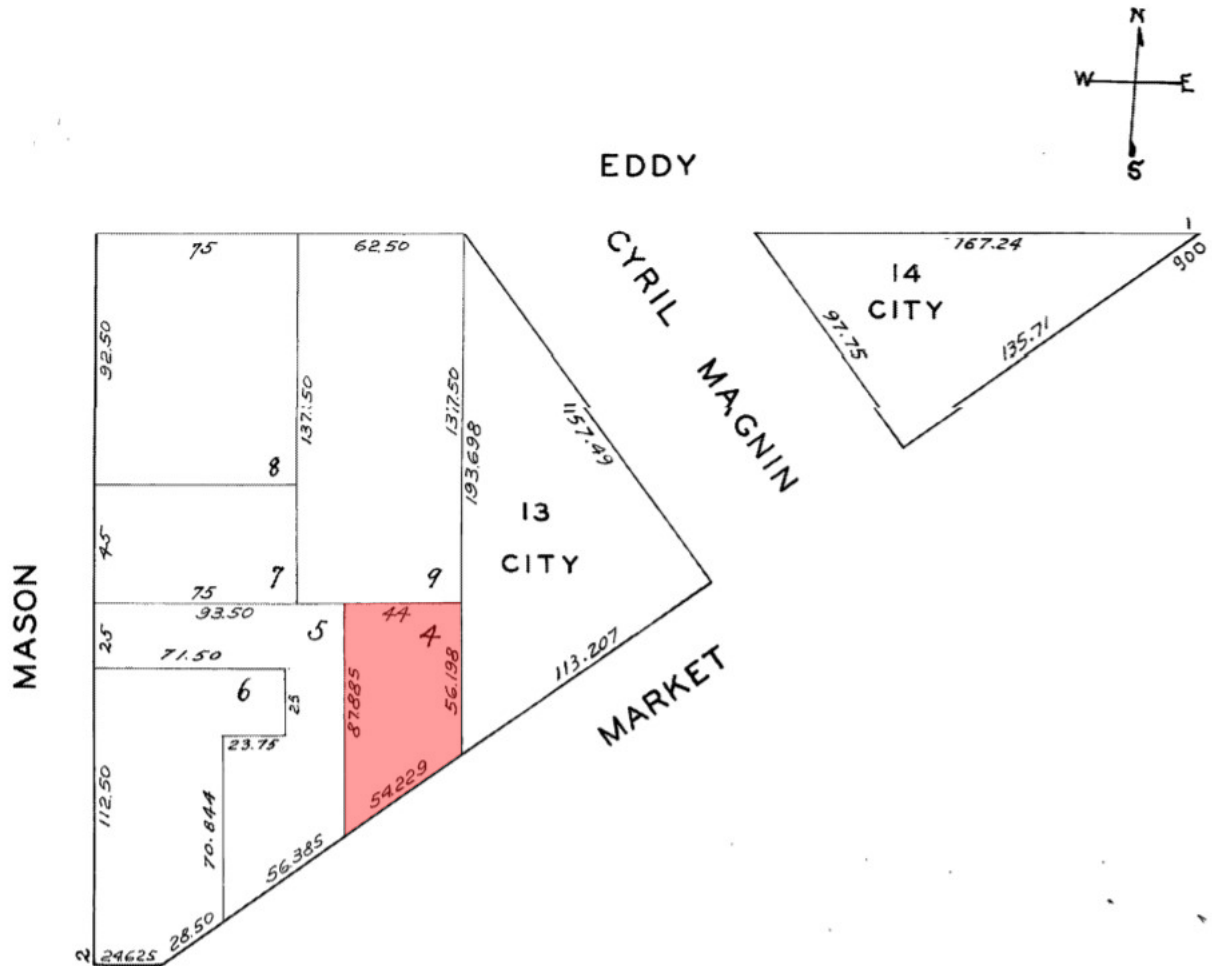
If this box is checked, the proposed modifications are exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can

**Planner Name:**

**Date:**

# Parcel Map

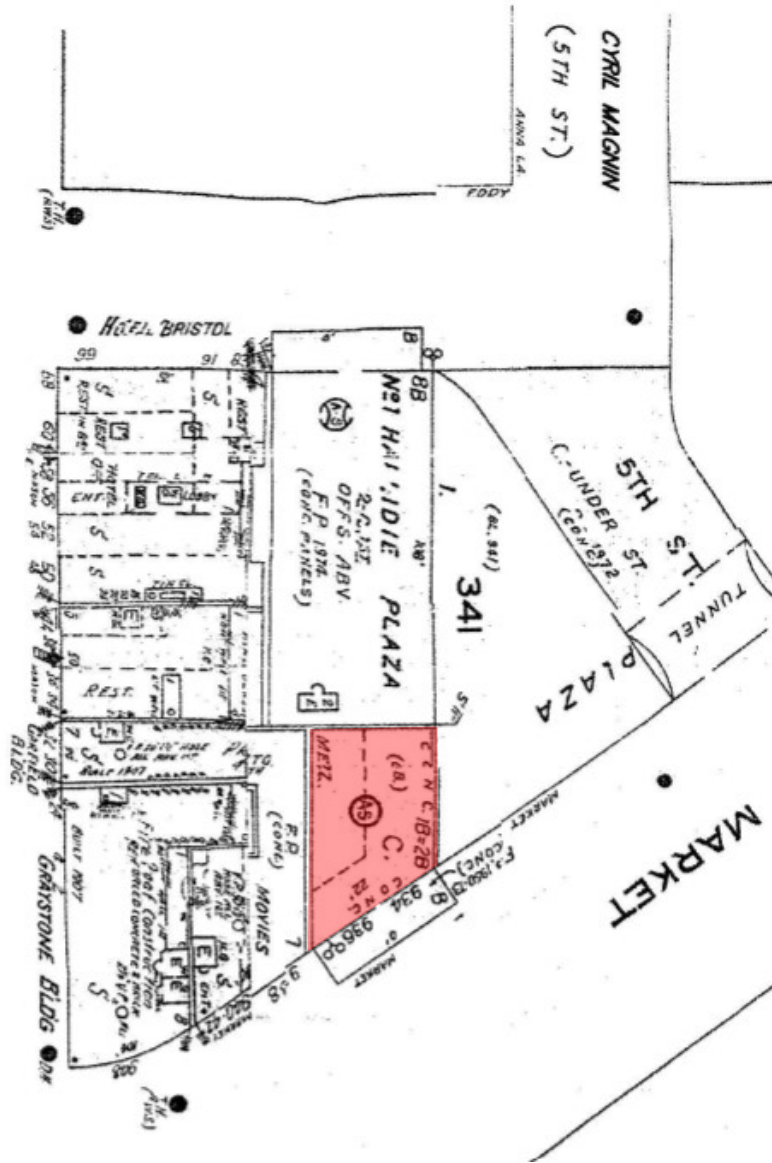
## EXHIBIT C



Major Permit to Alter  
Case Number 2020-011053PTA  
934 Market Street



# Sanborn Map\*

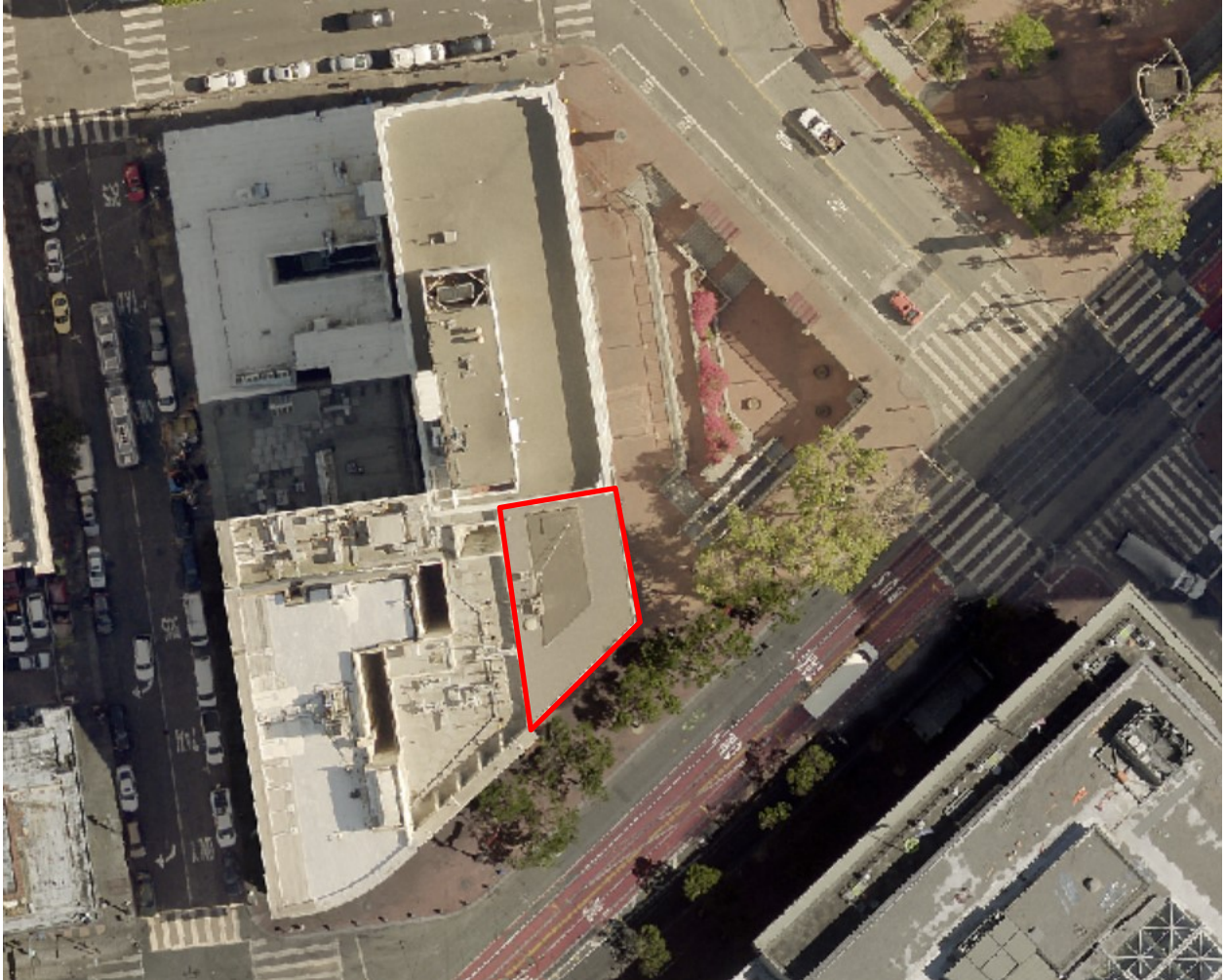


\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



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934 Market Street

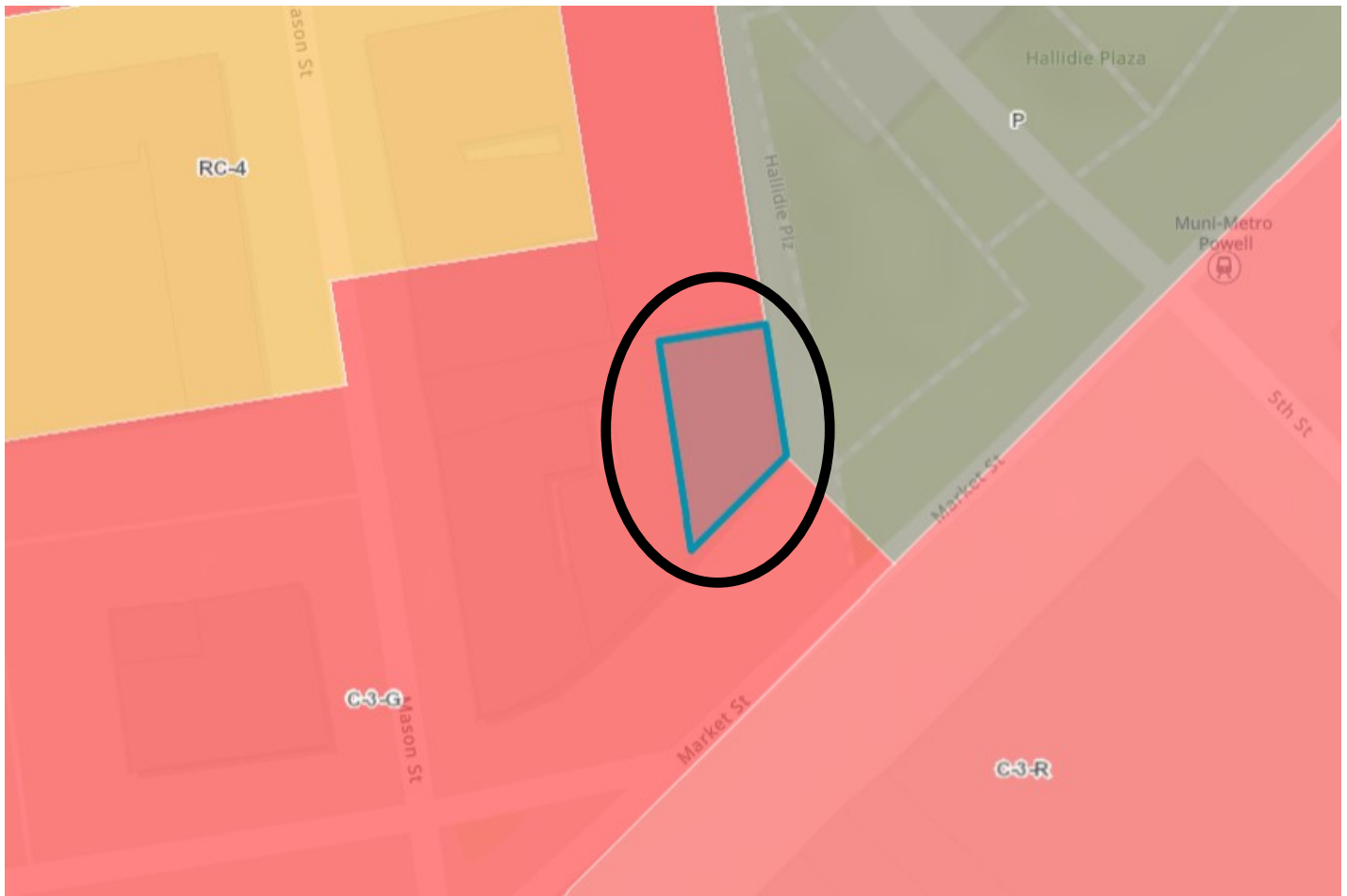
# Aerial Photo



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934 Market Street



# Zoning Map



# Site Photo\*



*\*Market Street (southern) and Cyril Magnin Street (eastern) facades viewed looking northwest from Market Street.*

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934 Market Street