



MAJOR PERMIT TO ALTER EXECUTIVE SUMMARY

HEARING DATE: JULY 7, 2021

Record No.: 2020-005897PTA
Project Address: 233 GEARY STREET
Category: Category V (Unrated)
Zoning: C-3-R (Downtown-Retail) Zoning District
80-130-F Height and Bulk District
Block/Lot: 0314/018-020
Project Sponsor: Tuija Catalano
Reuben, Junius & Rose, LLP
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San Francisco, CA 94104
Staff Contact: Jonathan Vimr - 628-652-7319
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Recommendation: Approve with Conditions

Property Description

233 Geary Street is located on the southwest corner of Geary and Stockton Streets, just across the southeastern edge of Union Square (Assessor's Block 0314; Lots 018-020). The subject building is a Category V (Unrated) property located within the Kearny-Market-Mason-Sutter Conservation District, locally designated under Article 11, Appendix E of the Planning Code. Beyond that, the Historic Preservation Commission added the property to its Landmark Designation Work Program in 2019, and in a Historic Resource Evaluation Response dated 4/30/2021 the Planning Department identified it as individually eligible for inclusion in the California Register of Historical Resources under Criteria 1, 2, and 3.

The subject building at 233 Geary Street is ten stories over basement in height with a steel frame and white, Vermont marble panel cladding. Completed in 1948 from a design by master architect Timothy Pflueger, it was developed as a flagship location for retailer I. Magnin. It is square in plan with a flat roof, regular fenestration, and a prominent parapet.

Project Description

In association with conversion of the building's use, the project proposes to renovate the interior and complete various exterior alterations. Specifically, the project includes:

- **Façade Changes.** Exterior changes include modifications to the previously altered ground floor, most significantly expanding and merging the smaller storefront openings and introducing new metal cladding and storefronts. From there, the project would expand the size of most existing windows found above the ground floor and replace them with new frames and structural glazing systems, including single operable lights for windows at the top three residential levels. Limited portions of marble cladding would need to be removed to accommodate this expansion of fenestration. Finally, a 59'-9" stretch forming the rough middle of the blank but visible western wall would be removed in order to create a new courtyard. Rooftop work is anticipated to have little or no visibility from the surrounding public right-of-way, and in terms of the exterior is largely confined to new roof terracing and an associated screening element.
- **Interior.** The intact women's powder room has been identified as the only remaining character-defining feature at the interior of the building. As currently proposed, the project sponsor plans to remove it from the sixth floor and reincorporate the washroom area (perhaps the most intact and highly concentrated portion of the overall powder room when it comes to historic fabric) at the publicly accessible third-floor retail level.
- **Use.** Opened in 1948 as a department store with an entirely retail use, the building most recently included seven levels of retail (including one at the basement) and four of office use. The proposed conversion would result in four levels of retail (retaining that use at the basement), five of office, and a total of 21 dwelling units at levels eight through ten.

Compliance With Planning Code

PLANNING CODE DEVELOPMENT STANDARDS.

The proposed project requires a Conditional Use Authorization, Downtown Project Authorization, and an Office Allocation. All required applications are on file with the Planning Department.

In order to proceed, a building permit from the Department of Building Inspection is required.

APPLICABLE PRESERVATION STANDARDS.

The proposal overall, is appropriate for and consistent with the purposes of Article 11, meets the standards of Article 1111.6 of the Planning Code, and complies with the *Secretary of the Interior's Standards for Rehabilitation*, in that:

- the ground floor was previously modified, and the proposed modifications retain a sufficient volume of marble and granite gladding to convey its character and continue to provide solidity and visually ground

the building;

- the new bronze cladding at the ground floor will be darker in color and lack glossiness or reflectivity while also mimicking the material historically used for the main entry and associated signage;
- the large expanses of marble cladding that frame the strict window grid will go untouched;
- a limited amount of marble cladding will be removed between the various rows of windows in order to accommodate expanded window openings, with the overall composition of the grid remaining sufficiently uniform and akin to the existing in appearance;
- the visual, exterior window frames will match the existing in material and appearance;
- the horizontal mullions proposed for the three residential levels of windows will be barely, if at all perceptible given its dark finish, the dark tint of the glazing, and the height of these levels above the street; and
- the blank, western elevation lacks any character-defining features, and the removal of a setback portion of said elevation will not affect the building's overall sense of scale and rectilinear, box-like massing.

The Department has determined that the proposed work will be in conformance with the requirements of Article 11 and the *Secretary of the Interior's Standards for Rehabilitation*. Proposed work will not damage or destroy distinguishing original qualities or character of the subject building. The window grid will remain similar in appearance to the existing, with the glazing visually reading as a strict series of dark, single-light windows contrasting to the large stretches of unbroken white marble that frame the grid. Its overall sense of scale and massing will go unchanged, while the ground floor will continue to relate to the pedestrian level while serving to ground the heavy, masonry clad structure with marble piers and the unaltered rounded corner flanking the new storefronts. The washroom portion of the historic sixth-floor powder room will be preserved and relocated to the third floor, or—if removal and reinstallation is not feasible—fully recreated at that level in accordance with the *Secretary of the Interior's Standards for Restoration*.

Issues & Other Considerations

An earlier iteration of the proposed project was presented to the Architectural Review Committee ("ARC") for review and comment on May 19, 2021. In response to comments received from the ARC, the proposal has been revised to include glazing more closely matching the dark appearance of the existing, use of a neutral dark color for the upper level aluminum window frames, elimination of bronze panels at the ground floor storefronts and an associated increase in the volume of marble and granite cladding. Additional research was also completed to demonstrate that a brass colored metal was historically utilized at the main entryway and for signage above said entry. It is possible, though not completely certain, that this was also the case when the building first opened in 1948. See Sheets 43-47 of the project plans for the Project Sponsor's highlighted responses to comments received from the ARC.

The Project Sponsor continues to propose that the topmost level of windows be larger than those below, as well as proposing the incorporation of a single mullion for each residential level window. The ARC as composed at the May 19 hearing was not unanimous in its response to these aspects of the design, though either approach could be easily modified through additional conditions of approval if so desired.

Public/Neighborhood Input

At the date of publication, the Department has received two letters in support of the project from a nearby property owner and the Union Square Business Improvement District. Four additional letters are included the Project Sponsor's Brief (Exhibit F). No correspondence expressing opposition to the project has been received prior to this hearing (one such letter was received prior to the ARC on May 19, 2021).

Conditions of Approval

Department staff recommend the following conditions of approval to ensure that new materials have an appropriate appearance and that construction is completed such that the historic character of the exterior and sixth floor washroom and maintained:

- 1) Prior to issuance of the architectural addendum, the project sponsor shall provide a physical sample(s) of the new ground floor bronze cladding for review and approval by the Department.
- 2) Prior to issuance of the architectural addendum, the project sponsor shall provide a physical sample(s) of the new, tinted window glazing for review and approval by the Department.
- 3) Prior to issuance of a Certificate of Final Completion and Occupancy, the project sponsor shall complete a mockup for the removal and/or cutting of a single marble panel to accommodate expanded window openings. The Department shall review said mockup, with the final approach for widening the new windows being reviewed and approved by the Department.
- 4) All construction work related to removal of marble cladding shall be conducted by a professionally qualified masonry contractor with experience working with historic buildings.
- 5) The Project Sponsor shall coordinate with the Department throughout physical investigation and testing of the historic finishes in the sixth-floor powder room. This includes preparation of a construction protection plan and completion of a mockup for removal of the marble panels, each of which shall be reviewed and approved by the Department.
- 6) If the Department determines that salvage and reinstallation of materials or features that characterize the washroom area is not feasible, any of these elements will be fully restored by qualified professionals in conformance with the *Secretary of the Interior's Standards for Restoration*.
- 7) The office entry is proposed to be located along the ground floor of the Stockton Street façade as shown in project plans. In the event this proves infeasible, the project sponsor shall coordinate with Department staff on an alternative location within one of the Geary Street storefronts. Provision of this alternative entry shall be done sensitively and shall be reviewed and approved by Department staff in keeping with the Historic Preservation Commission's findings.

Environmental Review Status

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 32 categorical exemption. Please note that for this project the approval action for the purposes of CEQA is not the Historic Preservation Commission hearing, but rather the Planning Commission hearing currently scheduled for July 22, 2021.

Basis for Recommendation

The Department recommends approval WITH CONDITIONS of the proposed project as it appears to meet the provisions of Article 11 of the Planning Code regarding Major Alteration to a Category V (Unrated) Property located within a Conservation District and the *Secretary of the Interior’s Standards for Rehabilitation*.

Attachments

- Draft Motion – Major Permit to Alter
- Exhibit A – Conditions of Approval
- Exhibit B – Plans and Renderings
- Exhibit C – Environmental Determination (including HRER Parts I and II)
- Exhibit D – Maps and Context Photos
- Exhibit E – Designating Ordinance (Appendix E to Article 11)
- Exhibit F – Project Sponsor Brief



PERMIT TO ALTER MAJOR ALTERATION DRAFT MOTION

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ADOPTING FINDINGS FOR A PERMIT TO ALTER FOR MAJOR ALTERATIONS DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 11 OF THE SAN FRANCISCO PLANNING CODE, AND TO MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOTS 018-020 IN ASSESSOR'S BLOCK 0314 IN THE C-3-R DOWNTOWN-RETAIL ZONING DISTRICT AND AN 80-130-F HEIGHT AND BULK DISTRICT.

Preamble

On June 16, 2020, Tuija Catalano of Reuben, Junius & Rose, LLP (hereinafter "Project Sponsor") filed Application No. 2020-005897PTA (hereinafter "Application") with the San Francisco Planning Department (hereinafter "Department") for a Permit to Alter for exterior modifications to 233 Geary Street, located on Lots 018-020 in Assessor's Block 0314, which is a Category V (Unrated) building historically known as the I. Magnin Building (hereinafter "Project Site") and locally designated under Article 11, Appendix E of the Planning Code as part of the Kearny-Market-Mason-Sutter Conservation District.

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 32 categorical exemption. The Historic Preservation Commission (hereinafter “Commission”) has reviewed and concurs with said determination. Please note that for this project the approval action for the purposes of CEQA is not the Historic Preservation Commission hearing, but rather the Planning Commission hearing currently scheduled for July 22, 2021.

On June 16, 2021, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Permit to Alter Application No. 2020-005897PTA. At that hearing, the Commission continued the item to a regular hearing on July 7, 2021.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2020-005897PTA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby APPROVES WITH CONDITIONS the Permit to Alter, as requested in Application No. 2020-005897PTA in conformance with the architectural plans dated May 25, 2021 and labeled Exhibit B based on the following findings:

Findings

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

- 1. The above recitals are accurate and also constitute findings of the Commission.**
- 2. Project Description.** The proposed project involves interior exterior alterations in association with a change of use to a mix of retail, office, and residential uses (21 dwelling units in total). These include modifications to the previously altered ground floor, most significantly expanding and merging the smaller storefront openings and introducing new metal cladding and storefronts. The project would also expand the size of most existing windows, replacing them with new frames and structural glazing systems, including single operable lights for windows at the top three residential levels. Limited portions of marble cladding would be removed to accommodate this expansion of fenestration. A portion of the blank, western wall would also be removed in order to create a new courtyard. Rooftop work is anticipated to have little or no visibility from the surrounding public right-of-way, and is largely confined to new roof terracing and an associated screening element. The washroom area of the intact women’s powder room at the interior of the sixth floor is proposed to be removed and reinstalled at the publicly accessible third-floor retail level. Please see photographs and plans for details.
- 3. Property Description.** 233 Geary Street is located on the southwest corner of Geary and Stockton Streets, just across from the southeastern edge of Union Square (Assessor’s Block 0314; Lots 018-020). The subject building is a Category V (Unrated) property located within the Kearny-Market-Mason-Sutter Conservation

District, locally designated under Article 11, Appendix E of the Planning Code. Beyond that, the Historic Preservation Commission added the property to its Landmark Designation Work Program in 2019, and in a Historic Resource Evaluation Response dated 4/30/2021 the Planning Department identified it as individually eligible for inclusion in the California Register of Historical Resources under criteria one, two, and three. The subject building is ten stories in height with a steel frame and white, Vermont marble panel cladding. Completed in 1948 from a design by master architect Timothy Pflueger, it was developed as a flagship location for retailer I. Magnin. It is square in plan with a flat roof, regular fenestration, and a prominent parapet.

4. **Surrounding Properties and Neighborhood.** Directly across from the southeastern corner of Union Square, 233 Geary Street is in the heart of the downtown retail core. The property is flanked by Macy's stores, with hotels and mixed-use buildings of various scales within the immediate vicinity. Most all buildings in the area have ground floor and lower level retails uses, contributing to a rich pedestrian experience. The property is additionally centered in the Kearny-Market-Mason-Sutter Conservation District, which serves as the core of San Francisco's retail market and is composed of a rich collection of early 20th century commercial buildings utilizing compatible detailing, color, materials, massing and scale.
5. **Public Outreach and Comments.** At the date of publication, The Department has received two letters in support of the project, one from a nearby property owner and one from the Union Square Business Improvement District. An additional four letters gathered by the Project Sponsor are included in their brief (Exhibit F). No letters expressing opposition to the overall project have been received for this hearing.
6. **Planning Code Compliance.** The Commission has determined that the proposed work is compatible with the exterior character-defining features of the subject property and meets the requirements of Article 11 of the Planning Code in the following manner:
 - A. **Article 11 of the Planning Code.** Pursuant to Section 1111.6(a) of the Planning Code, the proposed alteration shall be consistent with and appropriate for the effectuation of the purposes of this Article 11.

The proposed project is consistent with Article 11 of the Planning Code.
 - B. **Alterations.** Article 11 of the Planning Code outlines specific findings for the Commission to consider when evaluating applications for Alterations/New Construction/Demolition.

Pursuant to Section 1111.6(c) of the Planning Code, for Significant Buildings/Properties (Categories I and II) and for Contributory Buildings (Categories III and IV), proposed alterations of structural elements and exterior features shall be consistent with the architectural character of the building, and shall comply with several specific requirements. As 233 Geary Street is a Category V (Unrated) property, however, this section of the Code does not apply.
 - C. **Appendix E of Article 11: Kearny-Market-Mason Sutter Conservation District.** Section 7 of the Kearny-Market-Mason-Sutter Conservation District includes specific standards and guidelines for the review of new construction and certain alterations. The Commission finds the proposed alterations to be compatible as follows:

- a. *Composition and Massing. The proposal is consistent with the Composition and Massing of this Conservation District. The height and general form of the building will go unchanged, and while a small portion of the blank western elevation will be removed, given its setback nature and that the solid wall will continue to be visible below the new opening the building will retain its rectilinear, box-like massing. As discussed in the Secretary of the Interior's Standards for Rehabilitation analysis below, the proposed alteration to the ground floor and window grid will sufficiently retain the existing building's composition.*
 - b. *Scale. The proposal is consistent with the Scale of this Conservation District. The height of the building will go unchanged, with fenestration being altered but remaining similar in location and size. The large, solid stretches of cladding that frame the rigid window grids will be unaltered.*
 - c. *Materials and Color. The proposal is consistent with the Materials and Color of the district. The vast majority of the existing, white marble cladding will be retained, and the only new material proposed for the exterior is a bronze cladding darker in tone than typical bronze finishes. Similar to other metallic materials in the district, the cladding will have little to no glossiness or reflectivity and will be compatible with the smooth, painted finish typical of storefronts in the area.*
 - d. *Detailing and Ornamentation. Unlike most buildings within the district, the existing property has very little detailing or ornamentation. And given its individual significance under CEQA, the project strives to alter the structure sensitively and will not be add new or conjectural details. But with limited changes proposed for the exterior and the building's character-defining features being retained, the subject property's absence or detailing and ornamentation will not be exacerbated and will maintain the building's level of consistency with the Conservation District.*
- D. **Secretary of the Interior's Standards.** Pursuant to Section 1111.6(b) of the Planning Code, the proposed work shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties for significant and contributory buildings, as well as any applicable guidelines, local interpretations, bulletins, or other policies. Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):
- (1) **Standard 1:** A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The building will retain a significant (four floors) retail component, alongside an expanded commercial office use and the provision of 21 dwelling units. As analyzed below, the associated alterations will be minimal in nature and the defining characteristics of the building and its environment will be retained.
 - (2) **Standard 2:** The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be

avoided.

The overall historic character of the property will be retained and preserved. Removal of historic materials at the exterior is confined to demolition of a small portion of the upper western elevation, limited removal of marble cladding at the ground floor and between each level of windows above, and fully in-kind replacement of the existing windows. In order to provide improved access to light and air for the residential units at the upper levels a portion of the blank, western elevation will be removed at the highest levels of the building. Though visible from the public right-of-way, the western elevation is strictly utilitarian in nature with no character-defining features or architectural detailing present. Given this, the setback location of the area proposed for removal, and that the solid wall will continue to be visible below the new opening, the building will retain its sense of scale and rectilinear, box-like massing.

The large, solid stretches of marble cladding that frame the window grid at both sides and the top will go unaltered, while a small portion of the cladding between window rose will be removed to accommodate expanded window openings. This removal is limited relative to the overall volume of marble cladding, and as 75%-80% of the cladding between each level of windows will be preserved the exterior's contrast between solid and void will also be retained. Removal of these portions of cladding will be completed by qualified professionals, with the recommended Conditions of Approval requiring that a mock-up be prepared to ensure that the work is done sensitively and maintains a uniform sill level at each row of windows.

The new window systems will have visible, exterior frames matching the profile and material (aluminum) of the historic frames, and will also slightly project from the face of the building in keeping with Pflueger's attempt to design "pigeon-proof windows." Although the top three rows of windows are proposed to incorporate a small operable light and therefore feature a single horizontal mullion in each window, the dark finish of the frame/mullion, the height of these window levels above the street, and retention of a dark colored tint for the glazing will result in these mullions being hardly, if at all, perceptible. As such the grid will continue to appear to be composed solely of fixed single-light windows.

While just one of many of the building's character-defining features, the women's sixth floor powder room is the only one left at the interior of the building. Though not proposed for wholesale retention, the project would preserve the washroom portion of the historic interior space and relocate it to the third floor. Even if it is not representative of the entirety of the powder room, the washroom is the most strictly intact area and where lavish finishes and features are most highly concentrated. This includes green marble clad walls, a gold leaf ceiling, and opulent sink and light fixtures. Further, since the project would convert the sixth floor to an office use, shifting the washroom to the third floor will ensure that it remains accessible to the public. Though it is believed feasible to remove and reinstall the historic materials that compose the washroom, if this proves impossible the washroom will be recreated with material, profiles, dimensions, and finishes matching that of the historic. If this recreation were to be necessary it would represent historically accurate restoration rather than rehabilitation, with either approach complying with the associated Secretary of the Interior's

Standards for the Treatment of Historic Properties.

- (3) **Standard 3:** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.

No conjectural features or elements from other historic properties are proposed.

- (4) **Standard 4:** Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Not applicable.

- (5) **Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property shall be preserved.

As detailed above, the property's distinctive features and finishes will be preserved. Also see the analysis under Standard 9 for additional details.

- (6) **Standard 6:** Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

While the storefronts proposed for replacement are not historic, the grid of windows found on the Geary and Stockton Street facades are. These have deteriorated substantially over the decades and are proposed for replacement with new windows matching the historic in material, profile, exterior dimensions, and color.

- (7) **Standard 7:** Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Not applicable.

- (8) **Standard 8:** Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Not Applicable.

- (9) **Standard 9:** New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Historic materials that characterize the property will largely be preserved, as discussed above, and

new work will be differentiated from but compatible with the character of the subject property and surrounding conservation district. Although the smaller display window openings at the ground floor are proposed to be enlarged, the ground floor was substantially modified in the past and new fenestration will be consistent with the larger openings already prevalent on both the Geary and Stockton Street facades. With several pillars still extending down to grade, the base of the building will retain sufficient solidity and continue to visually ground the heavy masonry structure. A medium to dark toned bronze is proposed for the new storefront systems, doors, and stretches of new cladding at the ground floor. Though metallic in nature, it will be compatible with the building and district as it will have little to no glossiness or reflectivity. Its use will provide differentiation for the proposed ground floor changes, while also being referential to the material historically used for the building's primary entryway and signage.

Proposed changes to the window grids that define the Stockton and Geary Street facades will also be compatible with the historic character of the property. No alterations to the marble expanses that frame the grid are proposed, and the lower two levels of the window grid itself (building floors three and four) will retain their existing size. Window openings at floors five through nine will be extended only at the sill, with the topmost row of windows proposed to be expanded vertically at both the sill and head. No new window bays are proposed, and the strict symmetry of the grid will be retained. This is despite the topmost row of windows varying slightly from those below as the difference between the height of topmost row of windows (11') is similar enough to that of the windows below (8'6") to sufficiently retain the grid's architectural parti. And given that the horizontal mullions proposed for the top three levels of windows will be hardly, if at all, perceptible the grid will continue to be composed of fixed, single-light windows. Overall, the changes to the grid will be recognizable, but its contrast between light and dark as well as solid to void will be retained. So too will the alterations keep the sense of symmetry and uniformity and the central role of the window grid in the composition of the exterior. Finally, the new window systems will feature exterior frames and glazing matching that of existing design, as well as the slight projection from the face of the building. (While Department staff find that the approach outlined above meets the Secretary of the Interior's Standards, staff recognizes that keeping the topmost windows at the same size of those below as well as eliminating the operable lights would overall result in less change and satisfy the Standards even more closely—additional conditions of approval to effectuate these changes to the project could be included at the Historic Preservation Commission's discretion)

The new rooftop terraces and screening structure will not be visible from the surrounding public right-of-way given the building's height and prominent parapet. Contemporary in design, the terraces and screening structure will be well differentiated from the existing rooftop, but with a limited footprint as the screening structure is minimalist and very open in design, retaining the solidity and presence of the existing penthouse.

And though noncontributory to the Kearny-Market-Mason-Sutter Conservation District, the aspects of the building's design that do relate to the district's character-defining features will nonetheless be retained. These include the building's overall scale and massing, its somewhat abstracted but present tripartite composition, its defined and pedestrian-oriented ground floor with high levels of transparency, the visual weight and grounding of the masonry clad structure, and the balance between solid and void found along the Geary and Stockton Street facades. As such, the property

will continue to relate to the surrounding district in much the same way it currently does and the proposed alterations to the noncontributory building would result in no diminishment of the conservation district's character.

- (10) **Standard 10:** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The Vermont marble used to clad the building remains available and in production, as such the changes to the building's fenestration at the ground floor at upper levels could all be reverted back to the existing conditions without any impairment to the essential form and integrity of 233 Geary Street and the surrounding environment. The proposed alteration to the stucco clad, utilitarian western elevation could also easily be reversed.

7. **General Plan Compliance.** The proposed Permit to Alter is, on balance, consistent with the following Objectives and Policies of the General Plan:

URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT concerns the physical character and order of the city, and the relationship between people and their environment.

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2:

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

Policy 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

Policy 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Permit to Alter is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Permit to Alter and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject property for the future enjoyment and education of San Francisco residents and visitors.

8. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have an effect on neighborhood serving retail uses as retail use will be retained at four full levels of the building.

B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards.

C) The City's supply of affordable housing will be preserved and enhanced:

The project will increase the City's affordable housing supply.

D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking. It will provide sufficient off-street parking for the proposed units.

E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project is located downtown, adjacent to Union Square and the retail heart of the city. It will not have a direct impact on the displacement of industrial and service sectors.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code. As such, this Project will improve the property's ability to withstand an earthquake.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 11 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

9. **For these reasons, the proposal overall, appears to meet the Secretary of the Interior's Standards and the provisions of Article 11 of the Planning Code regarding Major Alterations to Category V (Unrated) building located within a conservation district.**

Decision

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES WITH CONDITIONS a Permit to Alter** for the subject property located at Lots **018-020** in Assessor's Block **0314** for proposed work in conformance with the architectural submittal dated May 25, 2021 and labeled Exhibit B on file in the docket for Record No. **2020-005897PTA**.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Permit to Alter shall be final unless appealed within thirty (30) days after the date of this Motion No. XXXXXX. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 49 South Van Ness Ave, Suite 1475 or call (628) 652-1150.

Duration of this Permit to Alter: This Permit to Alter is issued pursuant to Article 11 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on July 7, 2021.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

RECUSE:

ADOPTED: July 7, 2021

EXHIBIT A

Authorization Update

This authorization is for a permit to alter to allow Alterations located at 233 Geary Street, Block 0314, Lots 018-020 pursuant to Planning Code Section 1111.6 within the C-3-R (Downtown-Retail) Zoning District and a 80-130-F Height and Bulk District; in general conformance with plans, dated May 25, 2021, and stamped “EXHIBIT B” included in the docket for Record No. 2020-005897PTA and subject to conditions of approval reviewed and approved by the Historic Preservation Commission on July 7, 2021 under Motion No XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' of this Historic Preservation Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Permit to Alter and any subsequent amendments or modifications.

Severability

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. “Project Sponsor” shall include any subsequent responsible party.

Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Historic Preservation Commission approval of a new Permit to Alter. In instances when Planning Commission also reviews additional authorizations for the project, Planning Commission may make modifications to the Permit to Alter based on majority vote and not required to return to Historic Preservation Commission.

Extension

All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

Conditions of Approval

1. Prior to issuance of the architectural addendum, the project sponsor shall provide a physical sample(s) of the new ground floor bronze cladding for review and approval by the Department.

2. Prior to issuance of the architectural addendum, the project sponsor shall provide a physical sample(s) of the new, tinted window glazing for review and approval by the Department.
3. Prior to issuance of a Certificate of Final Completion and Occupancy, the project sponsor shall complete a mockup for the removal and/or cutting of a single marble panel to accommodate expanded window openings. The Department shall review said mockup, with the final approach for widening the new windows being reviewed and approved by the Department.
4. All construction work related to removal of marble cladding shall be conducted by a professionally qualified masonry contractor with experience working with historic buildings.
5. The Project Sponsor shall coordinate with the Department throughout physical investigation and testing of the historic finishes in the sixth-floor powder room. This includes preparation of a construction protection plan and completion of a mockup for removal of the marble panels, each of which shall be reviewed and approved by the Department.
6. If the Department determines that salvage and reinstallation of materials or features that characterize the washroom area is not feasible, any of these elements will be fully restored by qualified professionals in conformance with the *Secretary of the Interior's Standards for Restoration*.
7. The office entry is proposed to be located along the ground floor of the Stockton Street façade as shown in project plans. In the event this proves infeasible, the project sponsor shall coordinate with Department staff on an alternative location within one of the Geary Street storefronts. Provision of this alternative entry shall be done sensitively and shall be reviewed and approved by Department staff in keeping with the Historic Preservation Commission's findings.



EXHIBIT

B

233 GEARY STREET

SAN FRANCISCO, CA 94102

May 25, 2021

PROJECT APPLICATION
RESUBMISSION #2
ARCHITECTURAL DRAWINGS

Sand Hill Property Company

HANDEL ARCHITECTS LLP

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PROJECT DESCRIPTION & DEVELOPMENT TEAM

The development's aspiration is to preserve what makes the architecture iconic and to enhance and modernize what is not, while providing for retail viability and adding vibrancy to Union Square with a new mix of uses for future generations. The design goals for this comprehensive adaptive re-use entail the following:

- Advancing the Building's Evolution while Balancing History;
- Restoring the Stand-Alone Building;
- Improving Street Activation and Building Aesthetics;
- Re-envisioning the Roofscape;
- Improving Sustainability.

The transformation and repositioning of the mid-20th century iconic, single-use luxury department store, commonly known as the "I. Magnin Building," into a 21st century world-class, mixed-use development with 11 floors and two basements, is organized as follows:

- Sub-Basement: Mechanical, Service;
- Lower Level to Level 3: Retail;
- Levels 4 to 7: Office;
- Levels 8 to 10: Residential;
- Level 11: Office, Roof Terrace
- Level 12: Roof Terrace, Mechanical

Initially built in 1905, the Beaux Arts style "Butler Building" supported medical offices and commercial uses. Heavily remodeled in 1946, the building transformed into a single use department store. In 1996, the building became absorbed within the multi-building Macy's city block complex. Continuing forward, the design includes new retail at the base levels while introducing new uses—residential and office—contributing to a 24/7, pedestrian-friendly environment in Union Square. At the base, increased storefront transparency enhances visibility and street activation. Pedestrian activation is furthered with the new office/retail and residential entries at the south end of Stockton Street. Moving up the building, distinctive yet subtle window modifications differentiate the variety of uses. Office levels 5 through 7 windows increase in height. Residential levels 8 and 9 windows, while smaller, increase in height nominally and have operable windows to offer ventilation. Level 10 is expressed as a unique residential level with taller windows.

As downtown buildings become taller with vantage points across the City, the building's current roofscape, dominated by mechanical equipment, has become a visible corner of Union Square. The proposed design transforms the rooftop into an architecturally coordinated expression encapsulating outdoor terraces as well as concealed mechanical functions.

Adaptive reuse inherently conserves heritage, land, and resources. Mixed-use developments reduce traffic. To further achieve sustainability goals, new systems employing green, energy, and carbon efficient strategies will be engaged.

Owner

233 Geary Street Property Owner, LLC
2600 El Camino Real, Suite 410
Palo Alto, CA 94306
(650) 344-1500
www.shpco.com

Preservation Consultant

Page & Turnbull, Inc.
170 Maiden Lane, 5th Floor
San Francisco, CA 94108
(415) 362-5154
www.page-turnbull.com

Land Use Attorney

Reuben, Junius & Rose, LLP
One Bush Street, Suite 600
San Francisco, CA 94104
(415) 567-9000
www.reubenlaw.com

Architect

Handel Architects, LLP
735 Market Street, FL 2
San Francisco, CA 94103
(415) 495-5588
www.handelarchitects.com

Structural Engineer

Nabih Youssef Associates
One Sansome Street, Suite 3670
San Francisco, CA 94104
(415) 397-5213
www.nyase.com

Mechanical Engineer

ME Engineers
755 Sansome Street, Suite 350
San Francisco, CA 94111
(415) 294-1840
www.me-engineers.com

Geotechnical Engineer

Langan
135 Main Street, Suite 1500
San Francisco, CA 94105
(415) 955-5200
www.langan.com

Vertical Transportation Consultant

Syska Hennessy Group
425 California Street, #700
San Francisco, CA 94104
(415) 288-9060
www.syska.com

Shadow Analysis Consultant

Fastcast
34 Corte Madera Avenue
Mill Valley, CA 94941
(415) 816.3505
www.app.fastcastcity.com

Wind Analysis Consultant

RWDI
600 Southgate Drive
Guelph, ON N1G 4P6 Canada
(519) 823-1311
www.rwdi.com

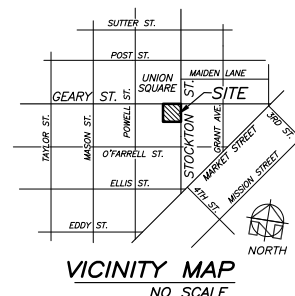
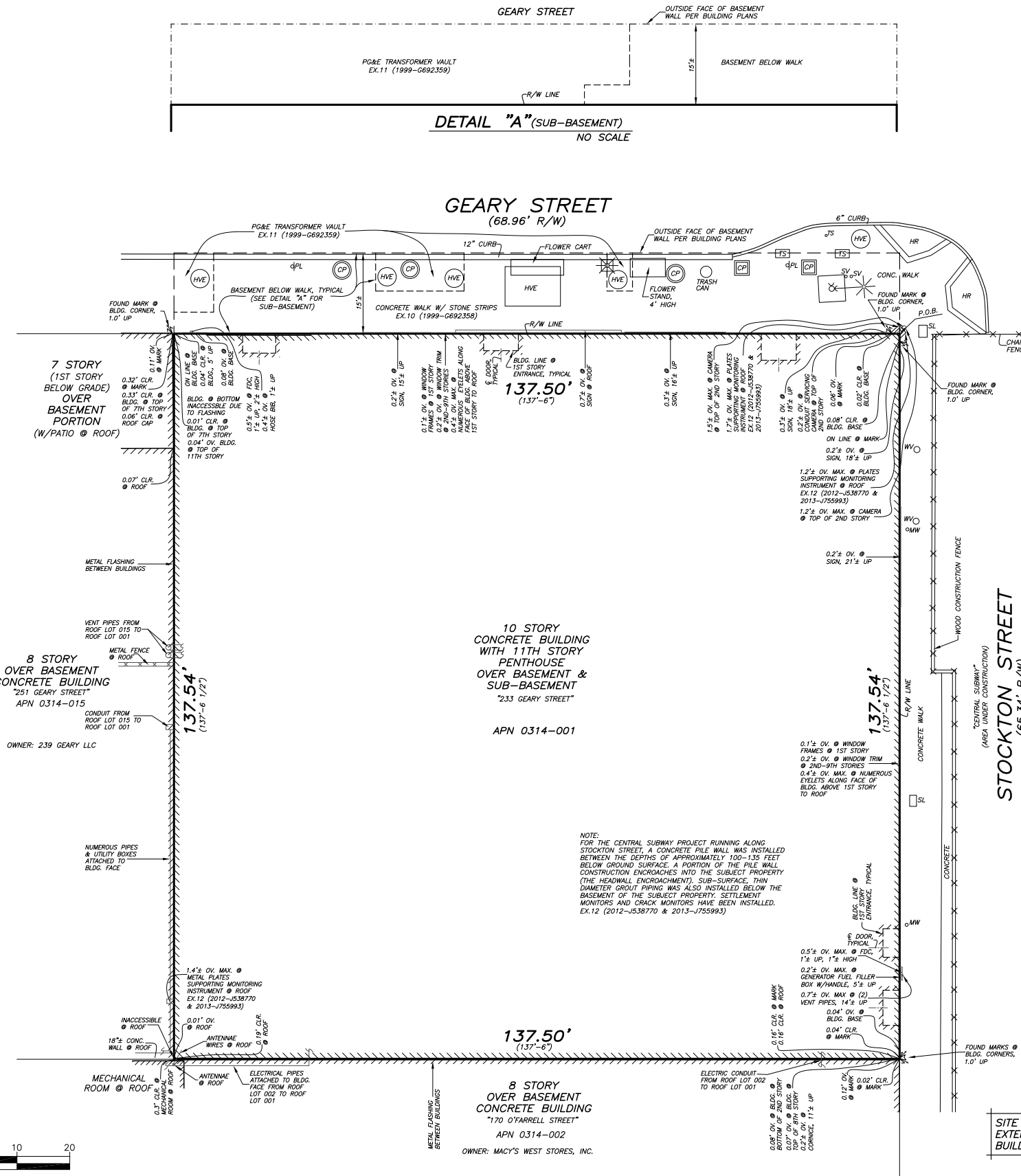
EXISTING ZONING SUMMARY

For zoning compliance and specific exceptions to below provisions of the planning code see supplemental Downtown Large Project Authorization (DNX) Section 309 application form.

Item	Section/Source	Info/Code Requirement
Parcel Info	Assesor's Record	Block 0314/018, 0314/019
Lot Area	Assesor's Record	18,906 sf
Zoning District	Zoning Map, Sec. 105	C-3-R Downtown-Retail
Height & Bulk District	Height & Bulk District Map, Article 2.5	80-130-F
Height Limit	Height & Bulk District Map, Article 2.6	130'
Bulk Controls	Sec. 270	Height Above Which Maximum Dimensions Apply: 80' Maximum Plan Length: 110' Maximum Diagonal Length: 140' Maximum Tower Floor Area: N/A Minimum Tower Separation: N/A
Dwelling Unit Density	Sec 210.2	No Density Limit
Basic Floor Area Ratio	Sec 210.2	6 to 1
Maximum Allowable FAR w/TDR	Sec 123(c)(2)	9 to 1
Usable Residential Open Space (per dwelling unit)	Sec. 135, Table 135A, Sec 210.2	36 square feet if private, 48 square feet if common
Privately Owned Public Open Space	Sec. 138, Table 1358, Sec 210.2	1:100 (1 square feet of opens space per 100 square feet of non-residential Gross Floor Area) - applicable only to new construction or increase in Gross Floor Area of 20% or more.
Rear Yard / Lot Coverage Requirement	Sec. 130, Sec. 134, Sec. 210.2	25% of the total depth lot depth, but in no case less than 15' for lowest story containing a dwelling unit and each succeeding story. Exceptions are permitted by Sec. 309
Off-street Parking	Sec. 151.1, Sec. 210.2	None required. For Dwelling Units in C-3 Districts: P up to 1 per dwelling unit, C .75 per dwelling unit
Off-street Loading Spaces	Sec. 151.2	Retail Sales: 10,001 - 30,000sf, 1 space required Residential: 0 - 100,000sf, 0 required
Bicycle Parking	Sec. 155.2, Table 155.2	Residential: (1) Class 1 space for every dwelling unit. (1) Class 2 space for every 20 dwelling units. Retail Sales: One Class 1 space for every 7,500sf of Occupied Floor Area. (10) Class 2 spaces plus one Class 2 space for every 10,000sf of Occupied Floor Area above 50,000sf. Office: One Class 1 space for every 5,000sf of Occupied Floor Area. Minimum two spaces for any Office Use greater than 5,000 sf of Occupied Floor Area, and one Class 2 space for each additional 50,000 occupied square feet.



SITE SURVEY



LEGAL DESCRIPTION
ALL THAT REAL PROPERTY SITUATED IN THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
BEGINNING AT THE POINT OF INTERSECTION OF THE SOUTHERLY LINE OF GEARY STREET AND THE WESTERLY LINE OF STOCKTON STREET; THENCE WESTERLY ALONG SAID LINE OF GEARY STREET 137 FEET AND 6 INCHES; THENCE AT A RIGHT ANGLE SOUTHERLY 137 FEET AND 6-1/2 INCHES; THENCE AT A RIGHT ANGLE EASTERLY 137 FEET AND 6 INCHES TO THE WESTERLY LINE OF STOCKTON STREET; THENCE AT A RIGHT ANGLE NORTHERLY ALONG SAID LINE OF STOCKTON STREET 137 FEET AND 6-1/2 INCHES TO THE POINT OF BEGINNING.
BEING A PORTION OF 50 VARA BLOCK NO. 143

- SURVEY REFERENCE**
CHICAGO TITLE COMPANY PRELIMINARY REPORT NO. FWPN-T018000019-CD DATED DECEMBER 6, 2017.
- THE FOLLOWING ARE EXCEPTIONS TO TITLE WITHIN THE ABOVE REFERENCED PRELIMINARY REPORT:
7. ANY RIGHT, TITLE OR INTEREST OF PERSONS, KNOWN OR UNKNOWN, WHO CLAIM OR MAY CLAIM ADVERSELY TO THE VESTED OWNERS HEREIN BY REASON OF THE RECORD TITLE TO SAID LAND NOT HAVING BEEN ESTABLISHED AND QUIETED UNDER THE PROVISIONS OF THE "DESTROYED LAND RECORDS RELIEF ACT OF 1906, AS AMENDED", COMMONLY KNOWN AS THE "McENERNEY ACT", PLOTTED HEREON
 8. "LEGALLY REQUIRED NOTICE OF PRESERVATION DESIGNATION" RECORDED OCTOBER 18, 1995, REEL 0944, IMAGE 1474, OFFICIAL RECORDS, NOT PLOTTABLE
 10. "DECLARATION OF USE" - MINOR SIDEWALK ENCROACHMENT PERMIT TO RECONSTRUCT THE SIDEWALK AND TOPPING SLAB WITH NON-STANDARD SCORING AND A MAXIMUM CROSS-SLOPE OF 4.2% TO PROVIDE ADA ACCESSIBILITY RECORDED NOVEMBER 15, 1999, DOCUMENT NO. 1999-0692358, OFFICIAL RECORDS, PLOTTED HEREON
 11. "DECLARATION OF USE" - SIDEWALK VAULT ENCROACHMENT PERMIT TO OCCUPY AND MAINTAIN 1 TRANSFORMER VAULT WITHIN THE PUBLIC RIGHT-OF-WAY FRONTING THE SUBJECT PROPERTY RECORDED NOVEMBER 15, 1999, DOCUMENT NO. 1999-0692359, OFFICIAL RECORDS, PLOTTED HEREON
 12. "LICENSE AGREEMENT FOR ACCESS AND INSTALLATION OF SUBSURFACE PILE WALL AND EXTERIOR SETTLEMENT MONITORS" RECORDED NOVEMBER 6, 2012, DOCUMENT NO. 2012-0538770, OFFICIAL RECORDS AND FIRST AMENDMENT RECORDED SEPTEMBER 13, 2013, DOCUMENT NO. 2013-0755993, OFFICIAL RECORDS, NOT PLOTTABLE
 13. PLAINTIFF'S NOTICE OF PENDING ACTION UNDER DESTROYED LAND RECORDS RELIEF LAW RECORDED JUNE 20, 2017, DOCUMENT NO. 2017-0466107, OFFICIAL RECORDS, PLOTTED HEREON

- BASIS OF SURVEY**
1. CITY OF SAN FRANCISCO MONUMENT MAP NO. 6 ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR.
 2. BLOCK DIAGRAM OF 50 VARA BLOCK 143 DATED JANUARY 4, 1909 ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR.

- GENERAL NOTES**
1. DETAILS NEAR PROPERTY LINES MAY NOT BE TO SCALE.
 2. ALL PROPERTY LINE ANGLES ARE 90 DEGREES UNLESS NOTED OTHERWISE.
 3. DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.

BUILDING HEIGHT
THE MEASURED HEIGHT FROM THE TOP OF CURB AT THE MIDDLE OF THE LOT ALONG GEARY STREET TO THE 10TH STORY ROOF IS 141 FEET PLUS OR MINUS.

FLOOD NOTE
THE SUBJECT PROPERTY HAS NOT BEEN IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AS A SPECIAL FLOOD HAZARD AREA. THERE IS NO FLOOD INSURANCE RATE MAP FOR SAN FRANCISCO.

ZONING (PER SAN FRANCISCO PROPERTY INFORMATION MAP)
C-3-R - DOWNTOWN RETAIL DISTRICT
HEIGHT AND BULK DISTRICT: 80-130F
NOTE: THE CLIENT HAS NOT PROVIDED A ZONING REPORT. THE SURVEYOR TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE ABOVE ZONING INFORMATION.

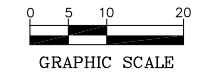
SURVEYOR'S CERTIFICATE
TO MACY'S CORPORATE SERVICES, INC. AND CHICAGO TITLE INSURANCE COMPANY:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADAPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7(c), 7(d), 7(e), 8, 9, 11 (OBSERVED EVIDENCE ONLY), 13 AND 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 13, 2018.

DATE: MARCH 13, 2018
Ben B. Ron
BENJAMIN B. RON
PROFESSIONAL LAND SURVEYOR NO. 5015



ALTA/NSPS LAND TITLE SURVEY
OF A PORTION OF ASSESSOR'S BLOCK NO. 0314
FOR
MACY'S CORPORATE SERVICES, INC.
SAN FRANCISCO CALIFORNIA

SCALE: 1" = 10'	MARTIN M. RON ASSOCIATES LAND SURVEYORS 859 HARRISON STREET, SUITE 200 SAN FRANCISCO, CA 94107 (415) 943-4500	SURV: MV
DATE: 3/13/18		DES:
SHEET: 1		DRW: JP
DF: 2		CHK: BR
JOB NO: S-9559		REV ND:



PROJECT DATA

Proposed Project Summary

LEVEL	GROSS BUILDING AREA, SF ¹					TOTAL GROSS BUILDABLE AREA ¹	EXEMPTED SF, PER PLANNING CODE SECTION 102 FLOOR AREA, GROSS DEFINITION, ITEMS (b) (1), (3), (4), (8), (11)						GROSS FLOOR AREA (PER SECTION 102)	GFA PER USE (PER SECTION 102)				ROOF AREAS			UNIT TYPE				TOTAL UNITS
	RESIDENTIAL	OFFICE	ACCESSORY OFFICE	RETAIL	COMMON		(b)(1) BASEMENTS	(b)(3) PENTHOUSE	(b)(4) MECH/ SHAFTS	(b)(8) BIKES	(b)(11) RESIDENTIAL ELEVATORS	EXEMPTED SUBTOTAL		RESIDENTIAL	OFFICE	ACCESSORY OFFICE	RETAIL	UNCOVERED AREA	USABLE OPEN SPACE	SOLAR READY AREA	1 BEDROOM	2 BEDROOM	2+ BEDROOM	3 BEDROOM	
PH ROOF						0						0					1,345		1,270					0	
MECH PH					1,345	1,345		1,345			1,345	0					1,305		1,240					0	
ROOF					2,655	2,655		2,655			2,655	0					5,437	4,744	650					0	
LEVEL 11	181	5,653			1,865	7,699				181	533	7,166	1,513	5,653	0								0		
LEVEL 10	15,313	200			479	15,992					479	15,513	15,313	200	0								7		
LEVEL 9	15,313	200			479	15,992					479	15,513	15,313	200	0								7		
LEVEL 8	15,313	200			479	15,992					479	15,513	15,313	200	0								7		
LEVEL 7	181	18,022			756	18,959				181	937	18,022	0	18,022	0								0		
LEVEL 6	181	18,022			756	18,959				181	937	18,022	0	18,022	0								0		
LEVEL 5	181	18,022			756	18,959				181	937	18,022	0	18,022	0								0		
LEVEL 4	181	18,022			756	18,959				181	937	18,022	0	18,022	0								0		
LEVEL 3	181	279		12,094	5,883	18,437				181	533	17,904	0	438	17,466								0		
LEVEL 2	181	279		17,672	352	18,484				181	533	17,951	0	279	17,672								0		
LEVEL 1	1,412	1,873		15,150	524	18,959					524	18,435	1,412	1,873	15,150								0		
LEVEL B1	205	227		18,327	924	19,683	953			205	1,576	18,107	0	227	17,880								0		
LEVEL B2	878	469			17,521	18,868				103	17,687	1,181	394	393	394								0		
TOTAL	49,701	81,468	0	63,243	35,530	229,942	953	4,000	21,892	2,151	1,575	30,571	199,371	49,258	81,551	0	68,562	18,886	12,951	3,160	3	12	3	3	21

NOTES:
 1. EXTERIOR BALCONIES, TERRACES, AND ROOF DECKS ARE EXCLUDED
 2. OFFICE AREA CALCULATED BY PRO-RATING COMMON AREA ON LEVEL 3 BACK INTO OFFICE GFA

Existing Project Summary

LEVEL	GROSS BUILDING AREA, SF ¹					TOTAL GROSS BUILDABLE AREA ¹	EXEMPTED SF, PER PLANNING CODE SECTION 102 FLOOR AREA, GROSS DEFINITION, ITEMS (b) (1), (3), (4), (8), (11)						GROSS FLOOR AREA (PER SECTION 102)	GFA PER USE (PER SECTION 102)				ROOF AREAS			UNIT TYPE				TOTAL UNITS
	RESIDENTIAL	OFFICE	ACCESSORY OFFICE	RETAIL	COMMON		(b)(1) BASEMENTS	(b)(3) PENTHOUSE	(b)(4) MECH/ SHAFTS	(b)(8) BIKES	(b)(11) RESIDENTIAL ELEVATORS	EXEMPTED SUBTOTAL		RESIDENTIAL	OFFICE	ACCESSORY OFFICE	RETAIL	UNCOVERED AREA	USABLE OPEN SPACE	SOLAR READY AREA	1 BEDROOM	2 BEDROOM	2+ BEDROOM	3 BEDROOM	
PH ROOF						0						0					1,345							0	
MECH PH					1,345	1,345		1,345			1,345	0					2,401							0	
ROOF					3,732	3,732		3,732			3,732	0					4,708							0	
LEVEL 11		4,552	3,644		195	8,391			195		195	8,196											0		
LEVEL 10		9,000	9,959			18,959			361		361	18,598		4,552	3,644								0		
LEVEL 9		9,000	9,959			18,959			456		456	18,503		9,000	9,959								0		
LEVEL 8		9,000	9,960			18,960			519		519	18,441		9,000	9,960								0		
LEVEL 7				18,959		18,959			476		476	18,483											0		
LEVEL 6				18,959		18,959			366		366	18,593											0		
LEVEL 5				18,957		18,957			384		384	18,573											0		
LEVEL 4				18,955		18,955			863		863	18,092											0		
LEVEL 3				18,959		18,959			1,095		1,095	17,864											0		
LEVEL 2				14,674		14,674			1,361		1,361	13,313											0		
LEVEL 1				18,959		18,959			424		424	18,535											0		
LEVEL B1				19,683		19,683			1,140		1,140	18,543											0		
LEVEL B2					18,868	18,868	18,868				18,868	0											0		
TOTAL	0	31,552	33,522	148,105	24,140	237,319	18,868	5,077	7,640	0	0	31,585	205,734	0	31,552	33,522	148,105	18,866	0	0	0	0	0	0	0

NOTES:
 1. EXTERIOR BALCONIES, TERRACES, AND ROOF DECKS ARE EXCLUDED

PROJECT SITE CONTEXT



STREET VIEWS OF EXISTING BUILDING



View 1: From Stockton looking south



View 2: From Geary



View 3: From Stockton looking north



View 4: From Union Square looking south



View 5: Along Geary



View 6: Along Geary



View 6: From Market & Geary

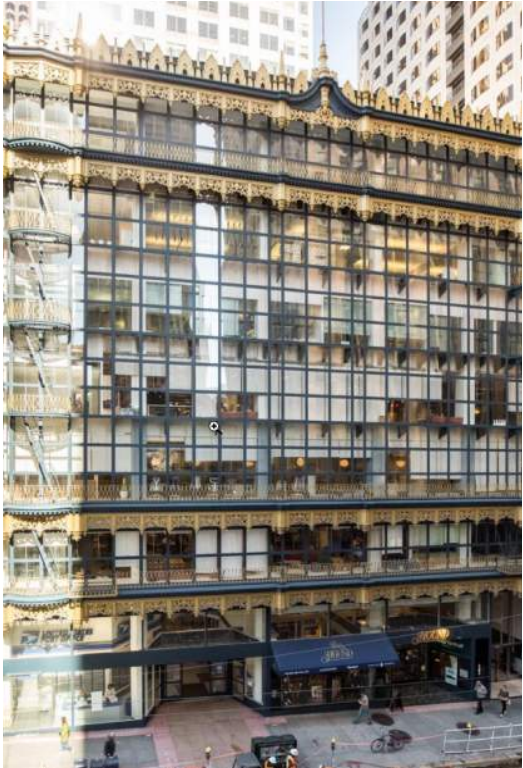
ORIGINAL ARCHITECTURAL CHARACTER OF THE KEARNY-MARKET-MASON-SUTTER CONSERVATION DISTRICT

Historic Character

San Francisco's Kearny-Market-Mason-Sutter Conservation District has a varied architectural history with many examples of "tripartite" design consisting of three strongly expressed divisions including a 2-3 story base, a cap of 1-2 stories often expressed with projecting eaves or ornate cornices, and a shaft consisting of floors between the cap and base.



St. Francis Hotel



Hallidie Building



48 Stockton Street



150 Powell Street



278 Post Street



From Union Square looking east

ARCHITECTURAL EVOLUTION OF THE KEARNY-MARKET-MASON-SUTTER CONSERVATION DISTRICT

Architectural Evolution

Since the mid-20th century, additional contemporary architectural styles have been added to the Kearny-Market-Mason-Sutter Conservation District vocabulary, bringing building diversity and increasing the character of the district, such as the Neiman Marcus department store by Philip Johnson, the Apple Store at 300 Post Street, and the Macy's building just adjacent to the project site.



300 Post Street



350 Post Street



150 Stockton Street



251 Geary Street



384 Post Street



100 Stockton Street

RETAIL TRANSFORMATIONS & ADAPTIVE REUSE IN THE KEARNY-MARKET-MASON-SUTTER DISTRICT



100 Stockton Street



100 Stockton Street - As proposed and currently under construction



300 Grant Avenue



300 Grant Avenue - As proposed and currently under construction

Adaptive Reuse

Recent changes in economic conditions and the current state of retail, office and residential real estate have prompted further evolution of the Kearny-Market-Mason-Sutter Conservation District area. While much of the street level retail character has been preserved, large, multi-floor retail tenants like Macy’s and Barney’s, who have historically been able to occupy entire buildings, have become a scarcity, having either drastically reducing their footprints or leaving the area altogether.

This has prompted many examples of recent Union Square buildings who have repositioned their uses. Two recent examples are; 100 Stockton Street, a conversion of the former Macy’s Men’s Store into office use over three floors of retail; and the new construction at 300 Grant Avenue, which demolished an underutilized three story retail building to construct a new office building over three floors of retail.

ADAPTIVE REUSE EVOLUTION



Circa 1905, the Beaux Arts style mixed-use "Butler Building" supported medical offices and commercial retail uses.



Circa 1996, the building became absorbed within the multi-building Macy's city block complex, with multiple retail tenant spaces at the ground floor.

Circa 1946, the heavily remodelled building transformed into the single-use, I. Magnin department store, with new exterior facades.

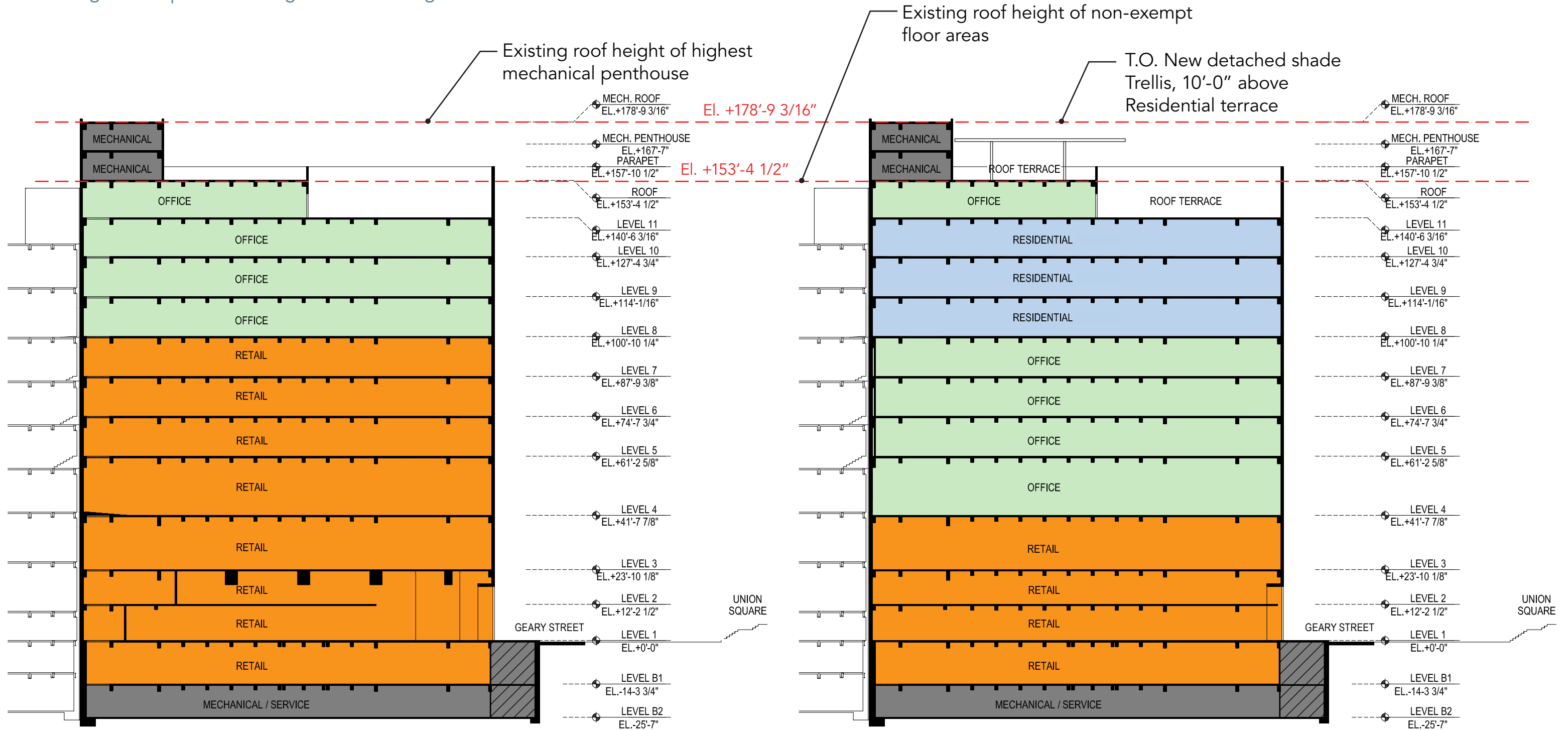


Proposed Future, Sand Hill Property Company proposes a mixed-use development incorporating retail, office and residential uses.



LAND USE & BUILDING HEIGHT DIAGRAM

Existing and Proposed Building Section Looking West



Existing

Multi-tenant, single-use department store

Proposed

Multi-tenant, mixed-use building

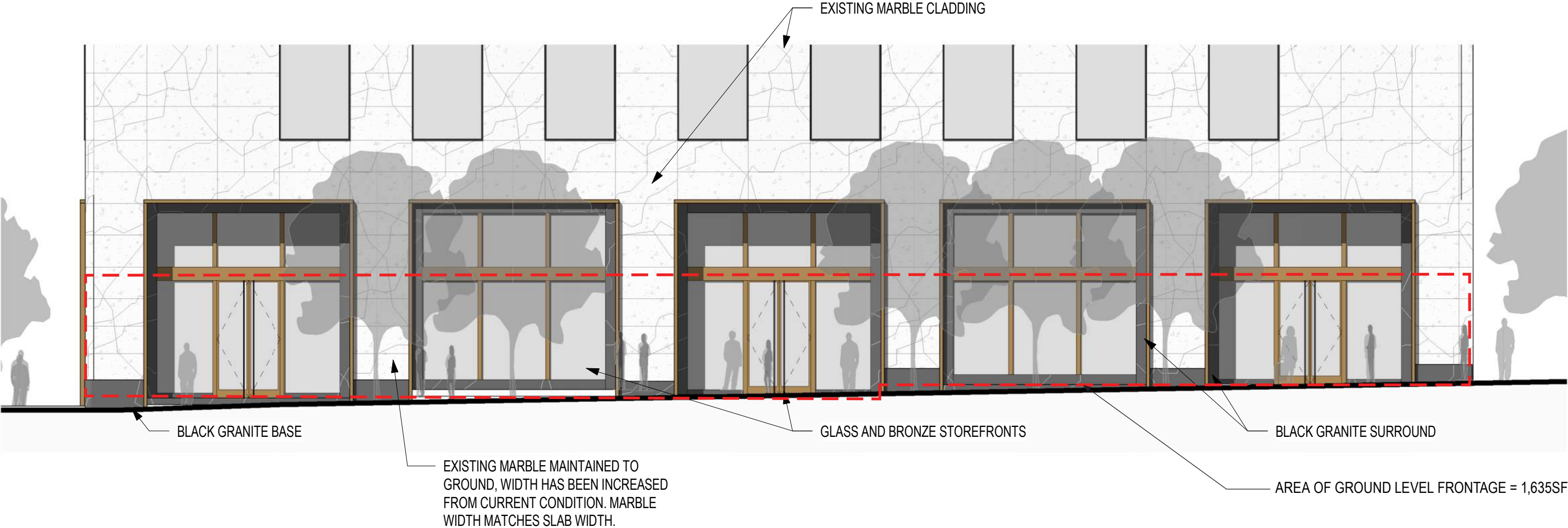
NORTH ELEVATION - GEARY STREET

Existing and Proposed



NORTH ELEVATION - ENLARGED

Per Planning Code Sec. 145.1(c)(6) proposed street frontage design meets the minimum required 60% (1,000sf glazing/1,635sf frontage) transparency at the ground level and allows visibility to building interior.

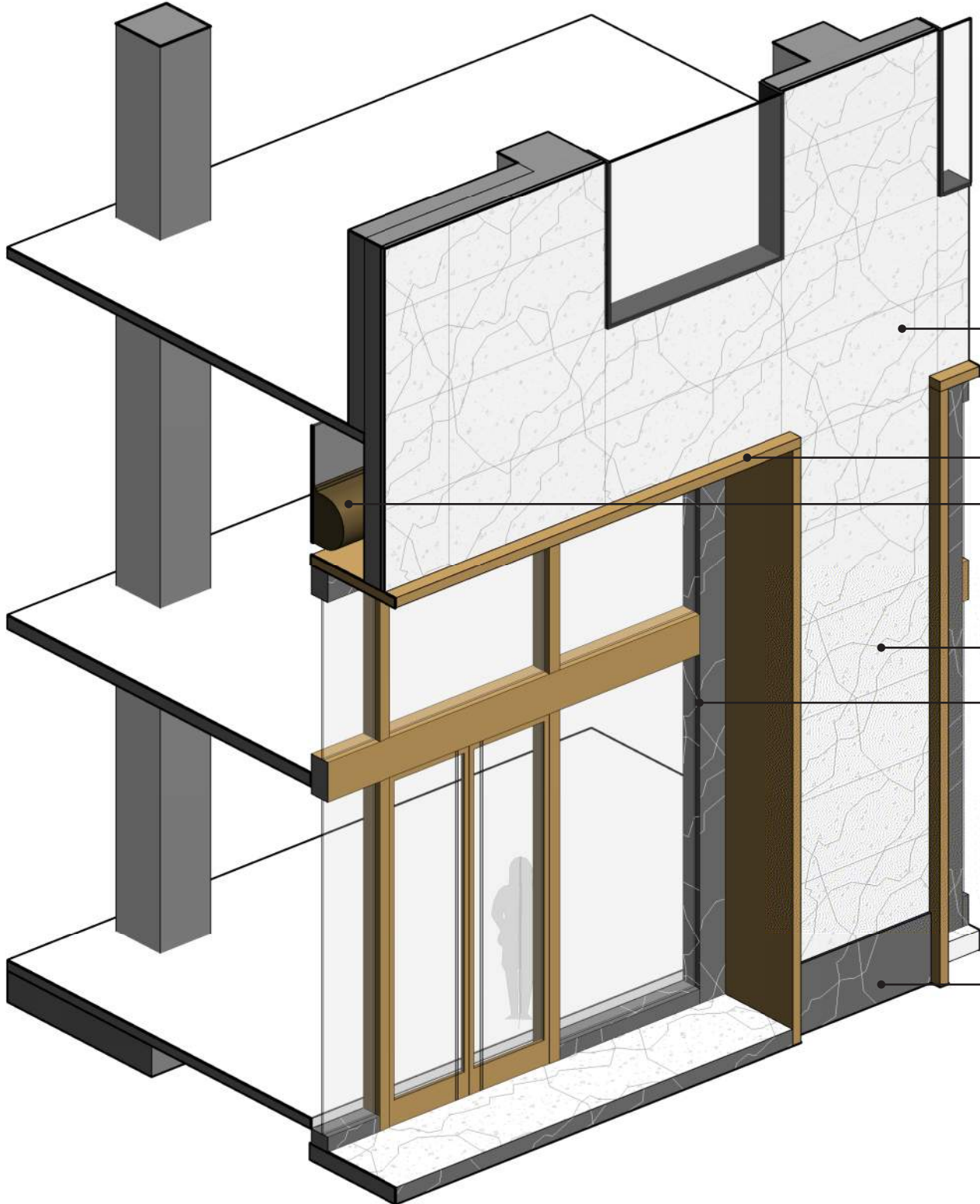


PROPOSED GEARY STREET STOREFRONT FACADE

View from Union Square and Central Subway Station Exit

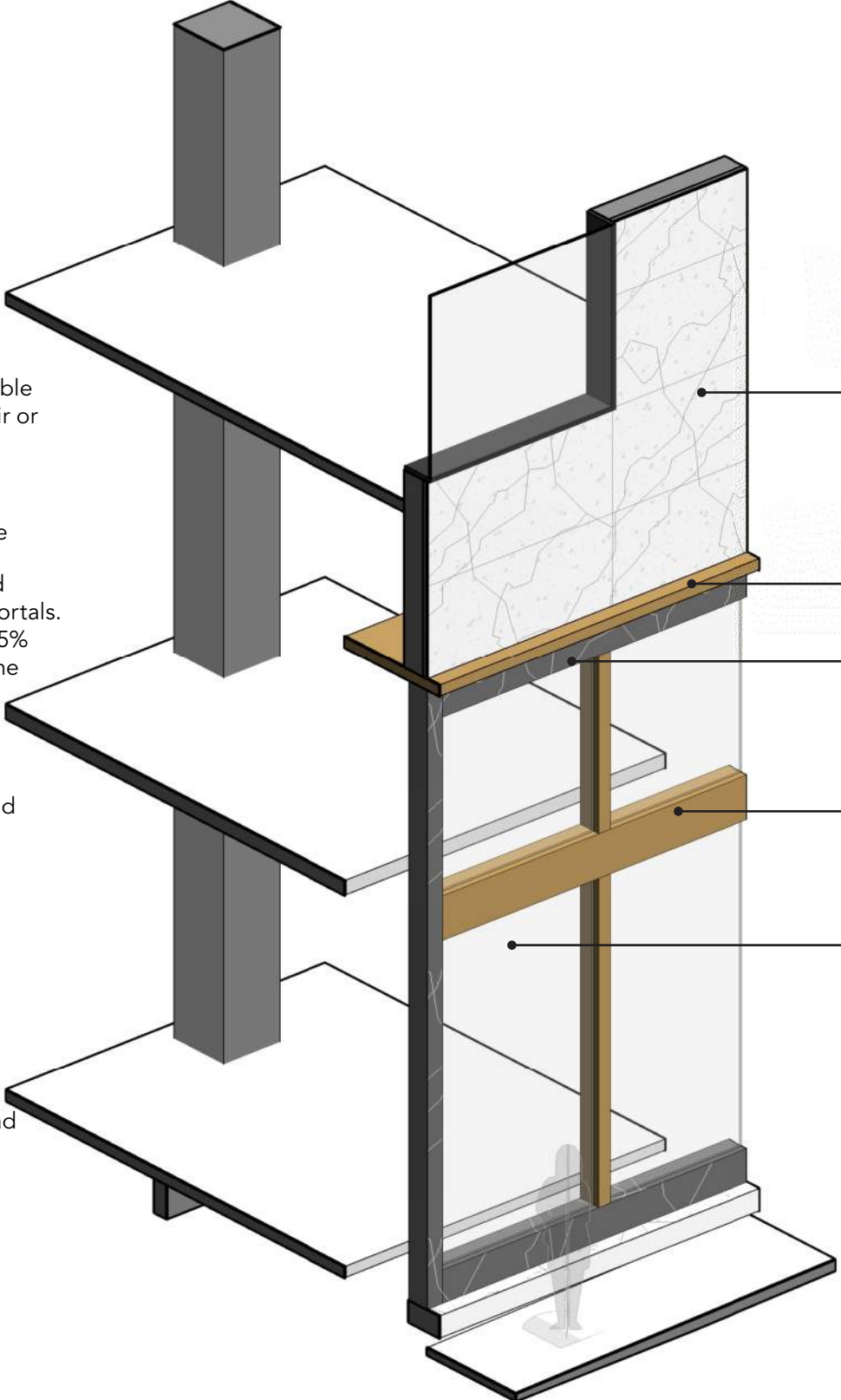


RETAIL STOREFRONT DETAIL



Detail Through Entry Portal

- Existing Vermont Marble Cladding; clean, repair or replace as required
- Profiled Metal Cornice
- Location of concealed gates at retail entry portals. Gates to be at least 75% transparent while in the closed position.
- Metal Panel Cladding
- Black Granite Surround
- Black Granite Bulkhead



Detail Through Retail Window

- Existing Vermont Marble Cladding; clean, repair or replace as required
- Profiled Metal Cornice
- Black Granite Surround
- Metal Panel Cladding
- Large Format Insulated Glass Unit; minimal presence of vertical mullions increases transparency into active retail use

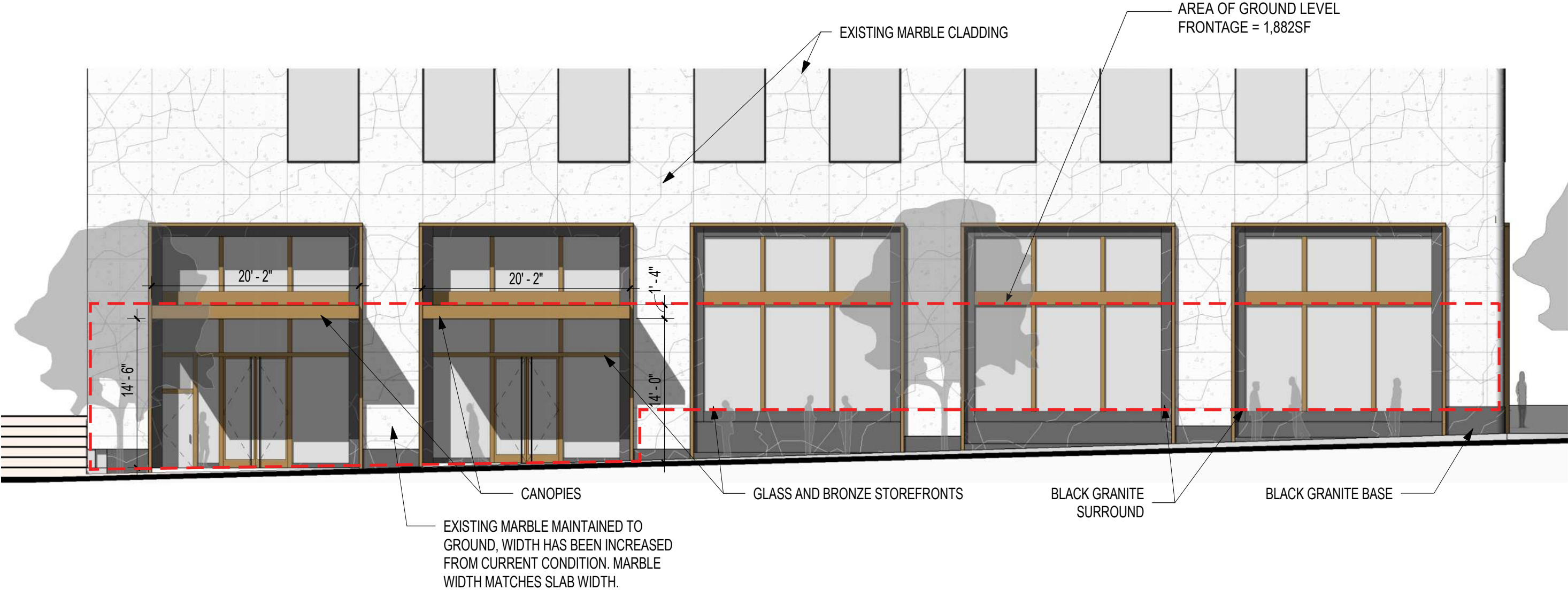
EAST ELEVATION - STOCKTON STREET

Existing and Proposed

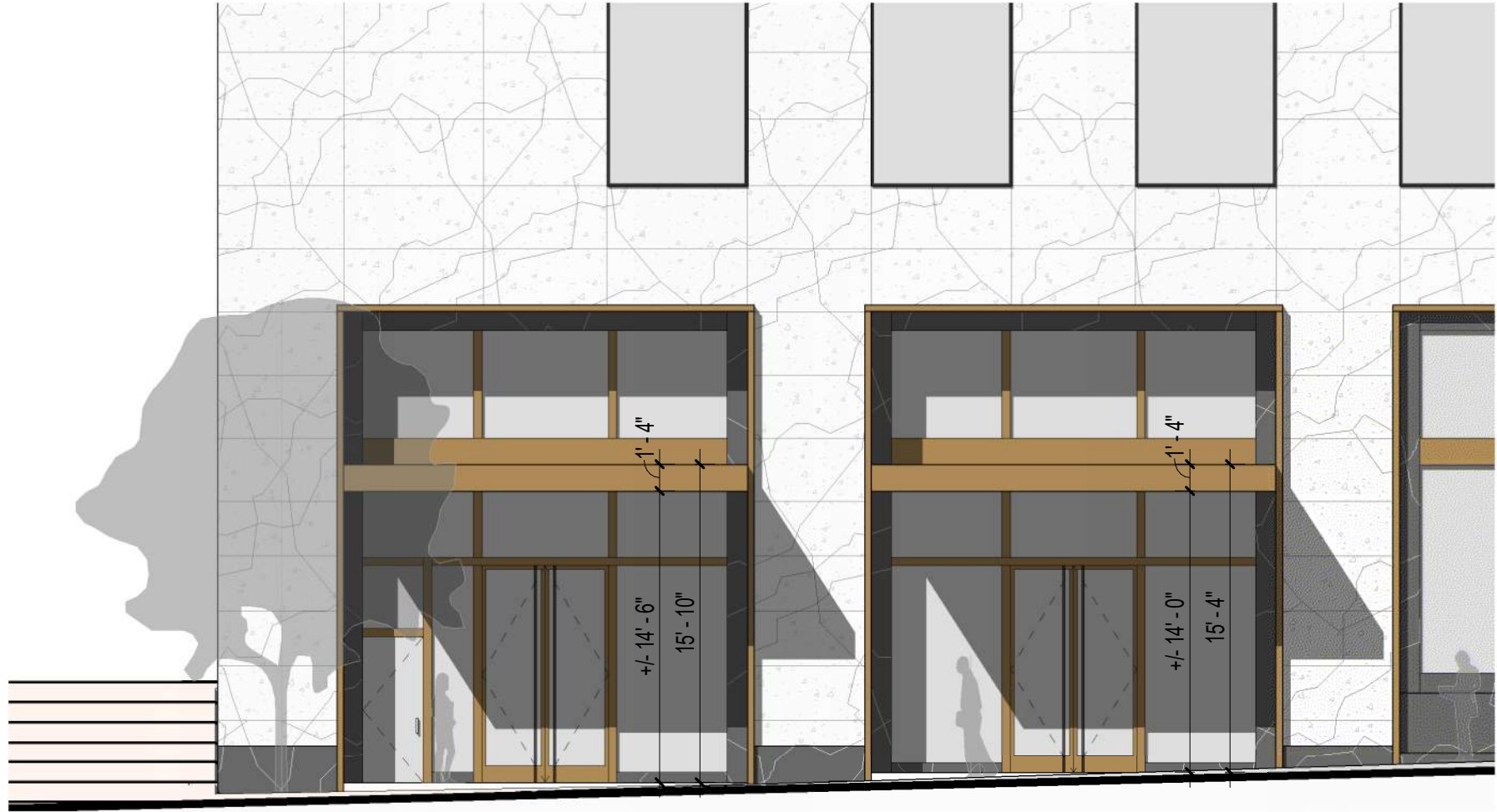


EAST ELEVATION - ENLARGED

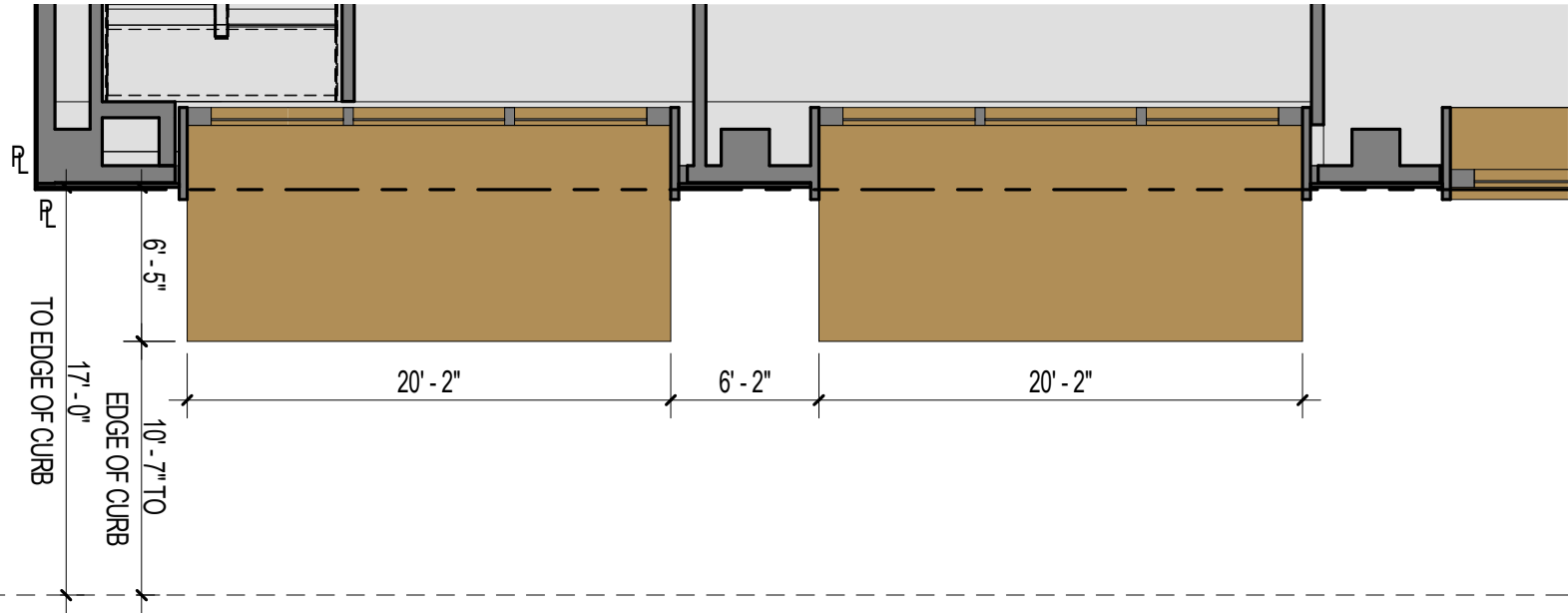
Per Planning Code Sec. 145.1(c)(6) proposed street frontage design meets the minimum required 60% (1,148sf glazing/1,882sf frontage) transparency at the ground level and allows visibility to building interior.



ENTRY CANOPY - ENLARGED DETAIL



STOCKTON ST. ELEVATION

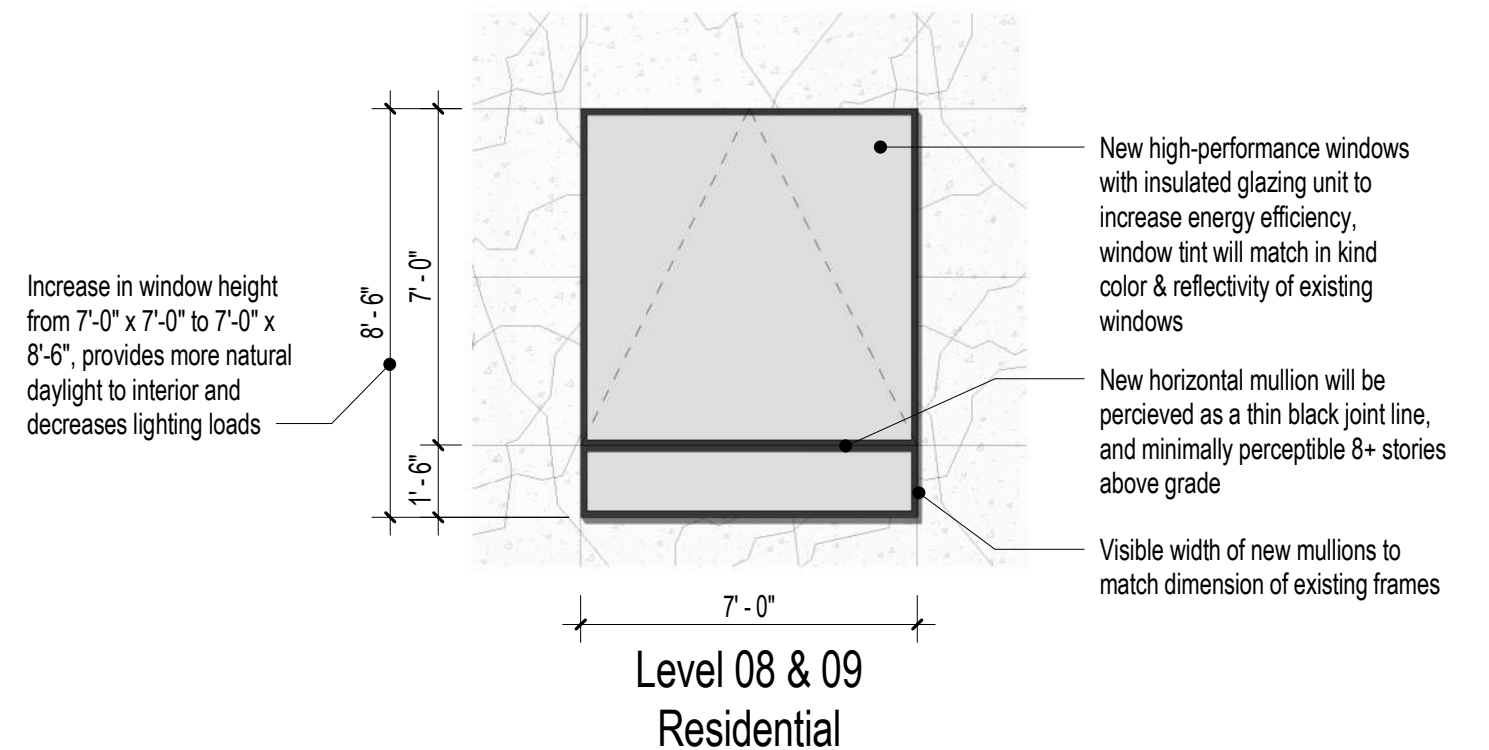
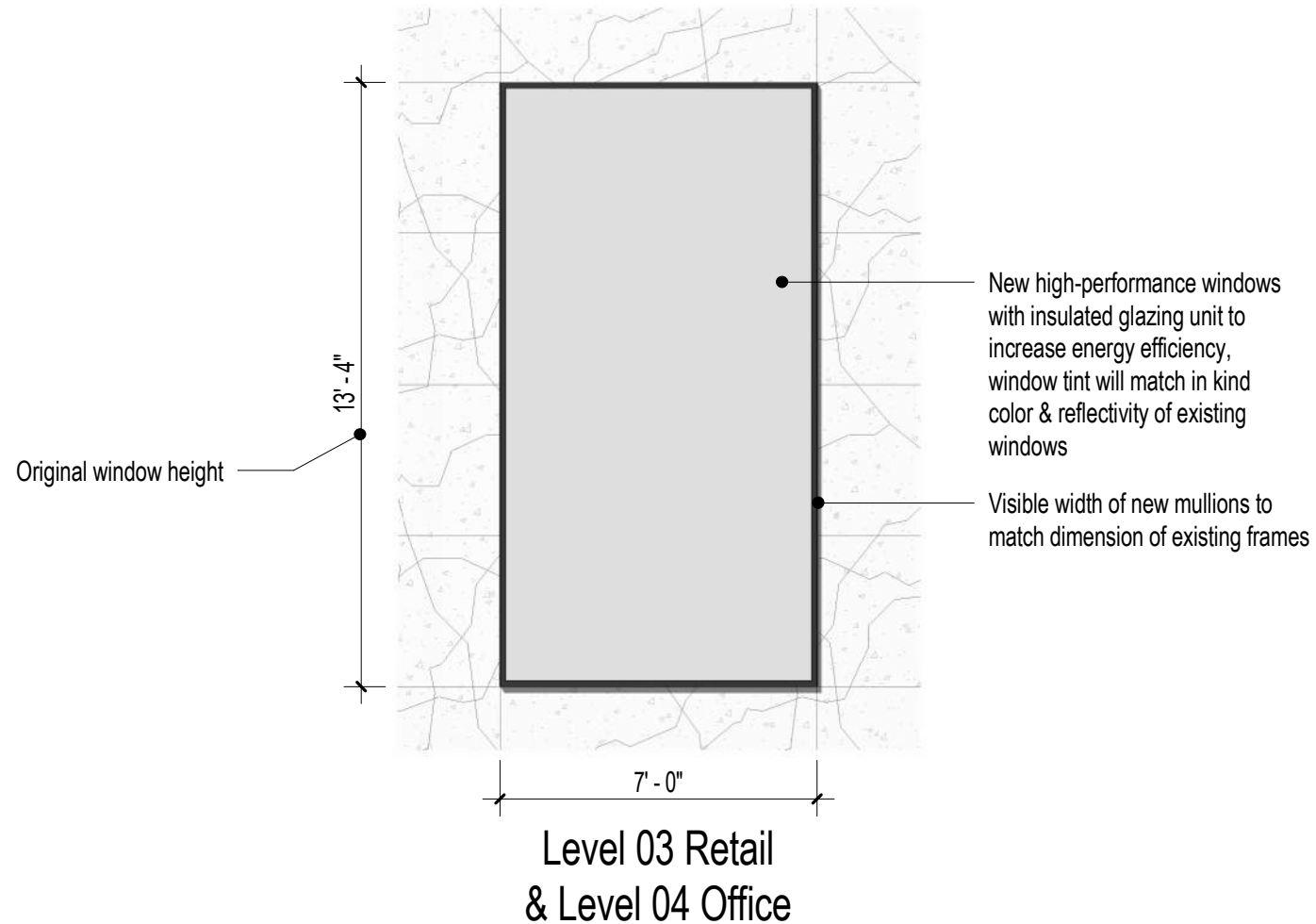
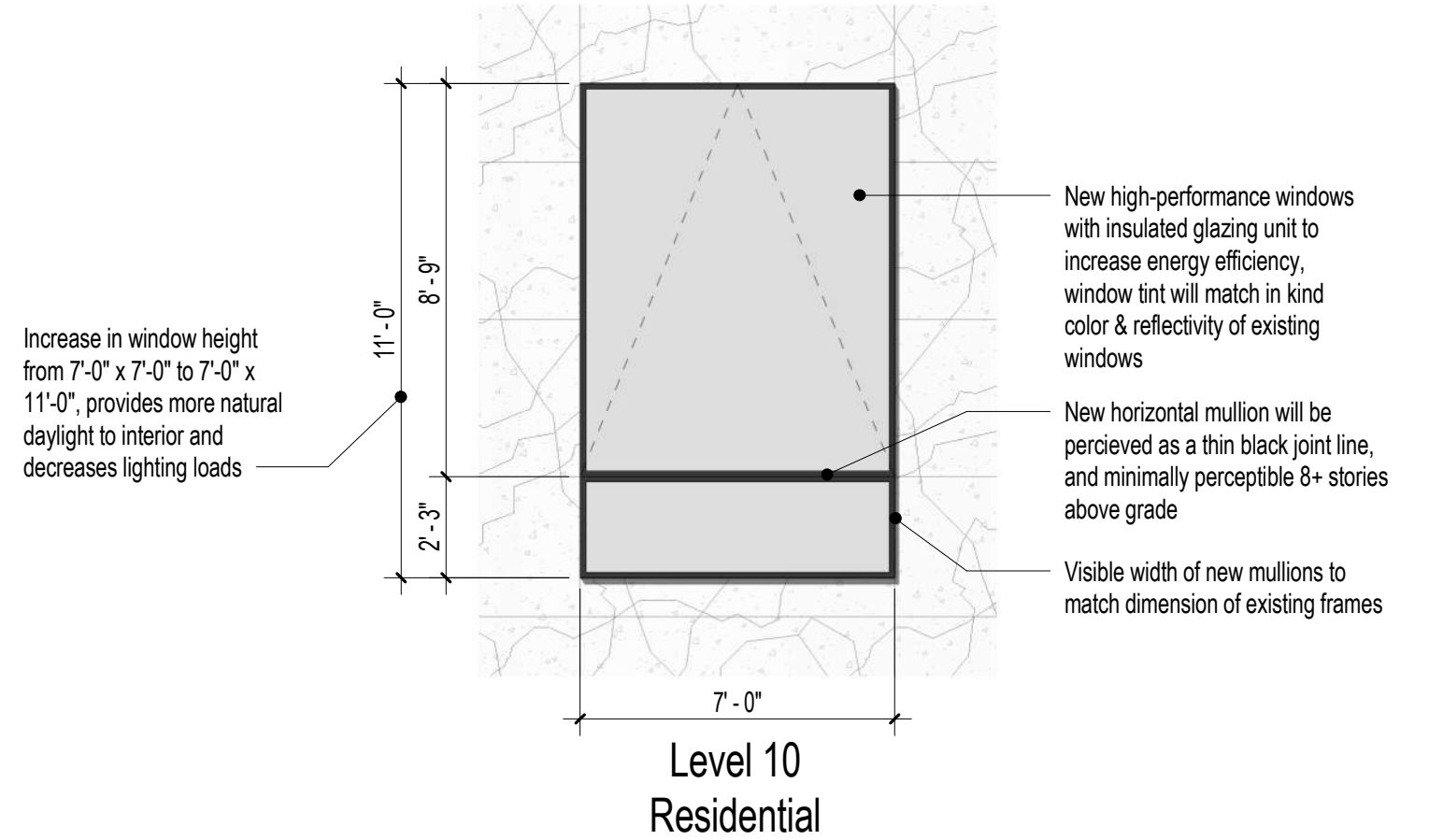
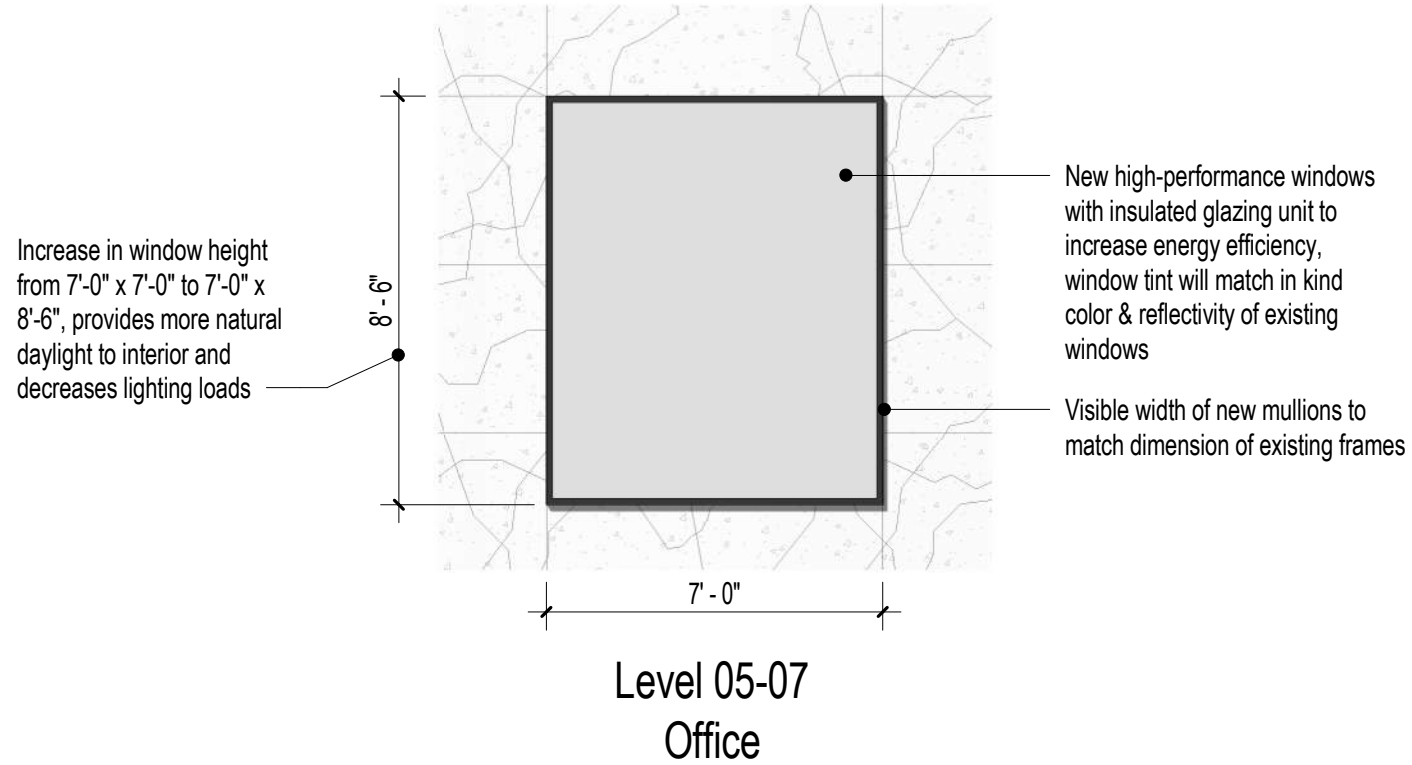


REFLECTED CEILING PLAN

ENTRY MARQUEES MEET PROVISIONS OF SF BUILDING CODE SECTION 136.1(B):

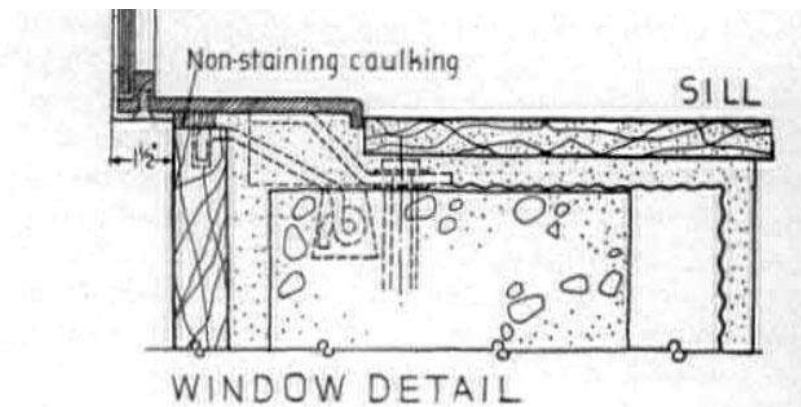
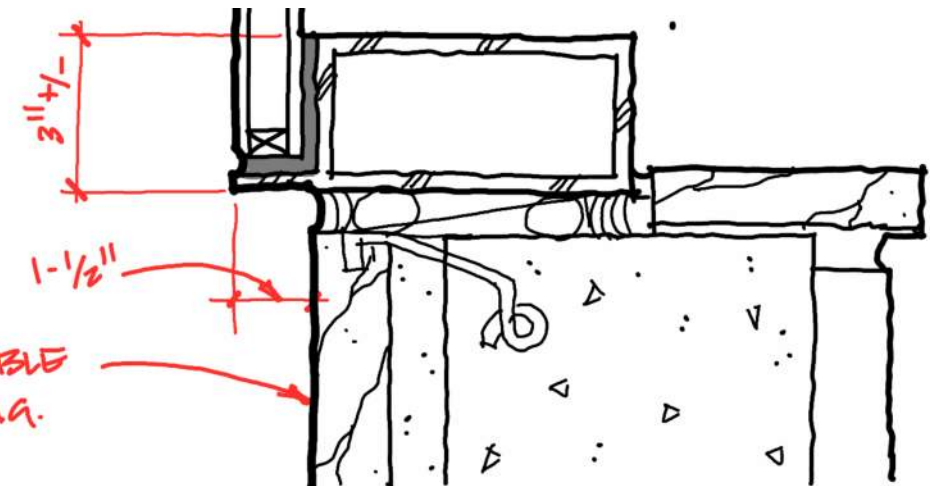
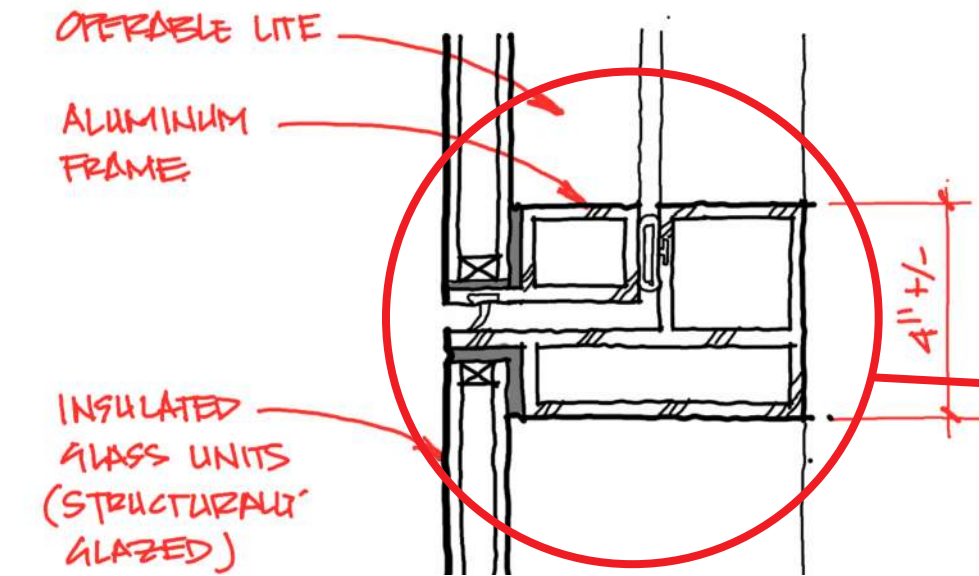
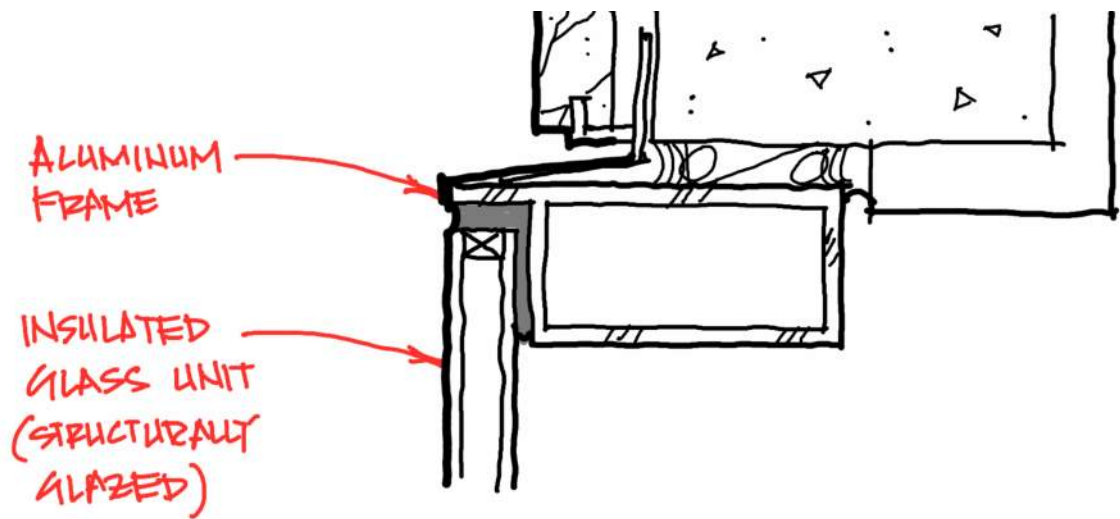
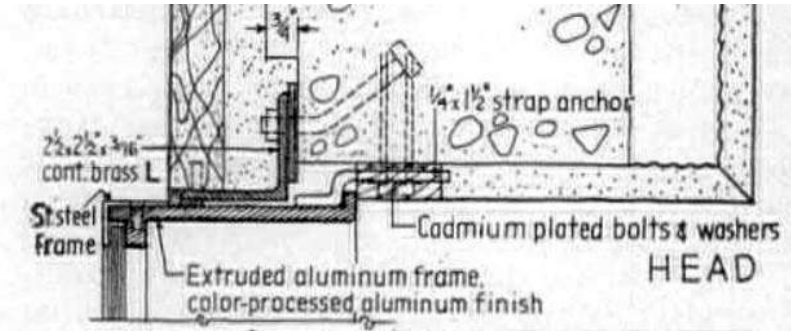
- MARQUEE PROJECTS LESS THAN 2/3RDS DISTANCE FROM PL TO CURB
- MARQUEE DOES NOT EXCEED 25 FT IN LENGTH
- BOTTOM OF MARQUEE IS MORE THAN 10 FT ABOVE GRADE, AND TOP OF MARQUEE IS LESS THAN 16 FT ABOVE GRADE

WINDOW TYPES



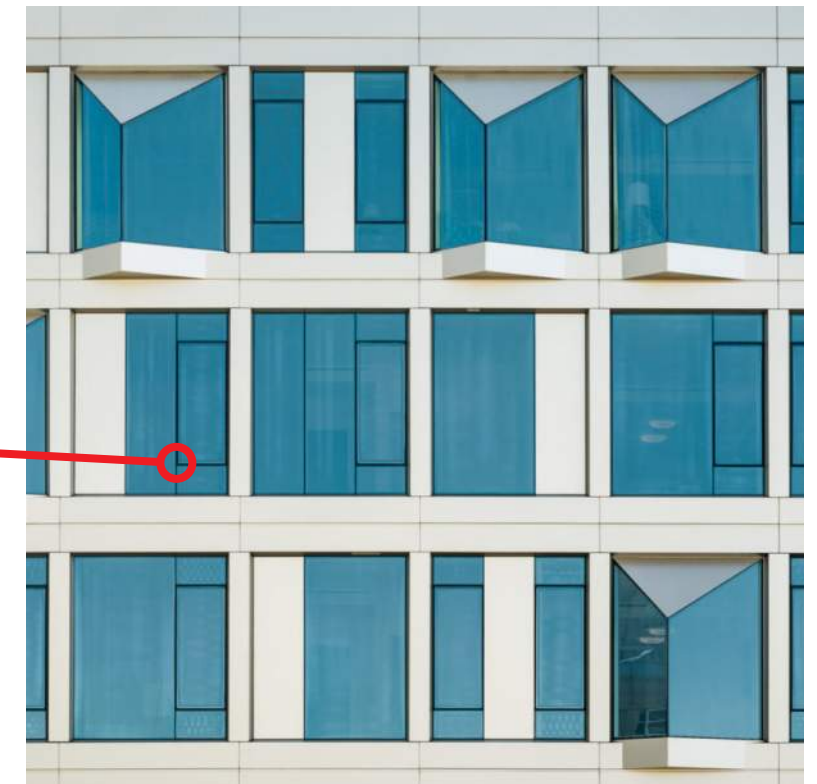
WINDOW DETAILS

NOT TO SCALE



Existing Head & Sill Detail

Proposed Head & Sill Detail
(Jamb Similar)

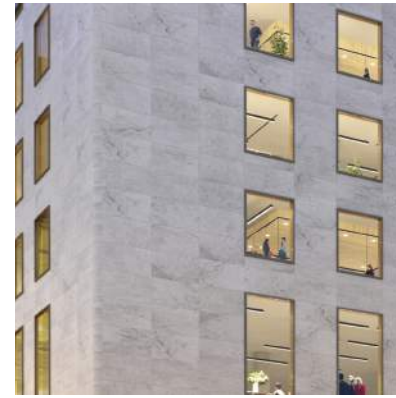
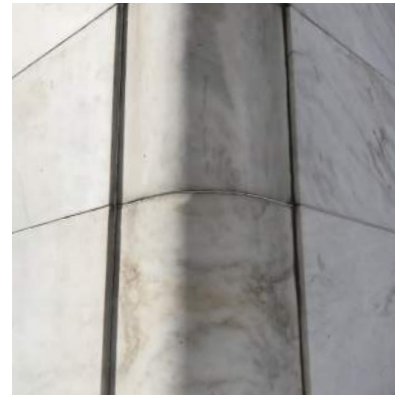


Reference Image of how structurally glazed Horizontal



STONE - WHITE VERMONT MARBLE

TO MATCH HISTORIC STONE
COLOR: IMPERIAL DANBY



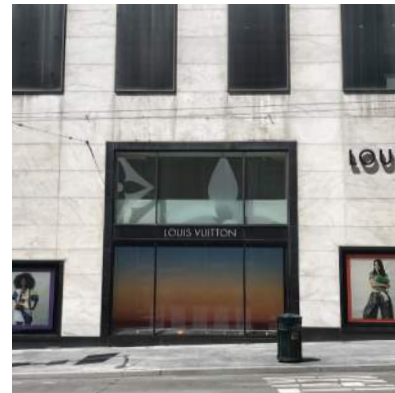
GLASS - RETAIL

COLOR: LOW IRON, ULTRA CLEAR
MFR: GUARDIAN OR SIMILAR



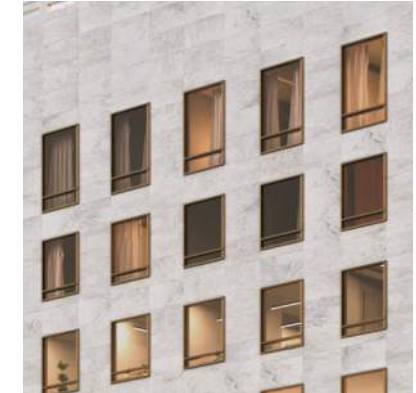
STONE - BLACK GRANITE

TO MATCH HISTORIC STONE
COLOR: ANDES BLACK



GLASS - OFFICE & RESIDENTIAL

COLOR: SUPERNEUTRAL 68 ON CLEAR GLASS
MFR: GUARDIAN OR SIMILAR



METAL - MULLIONS & PANELS

COLOR: BRONZE, MEDIUM STATUARY



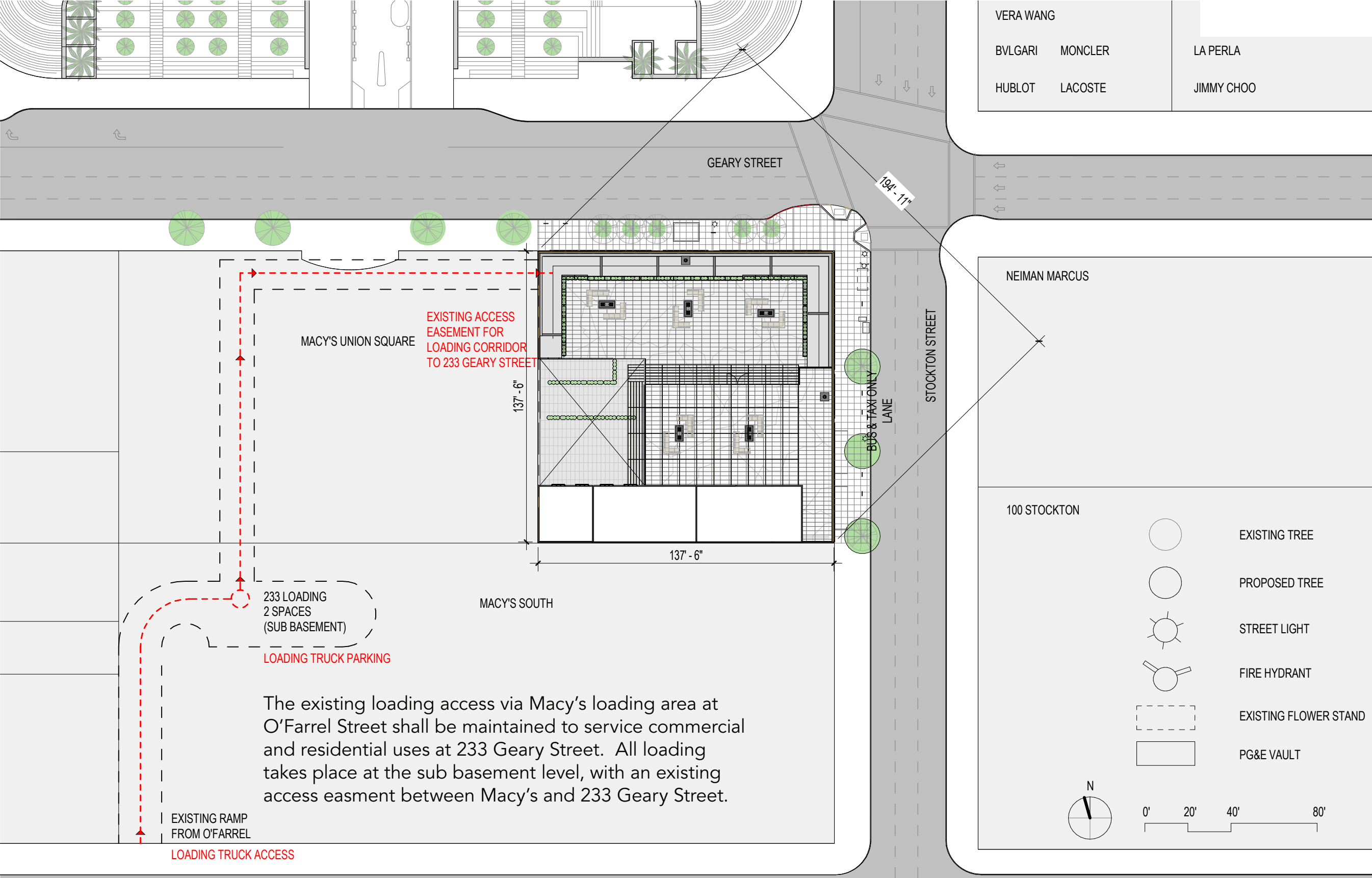
MATERIAL BOARD

233 GEARY STREET

PROPOSED VIEW FROM UNION SQUARE PLAZA



PROPOSED ROOF SITE PLAN & LOADING ACCESS

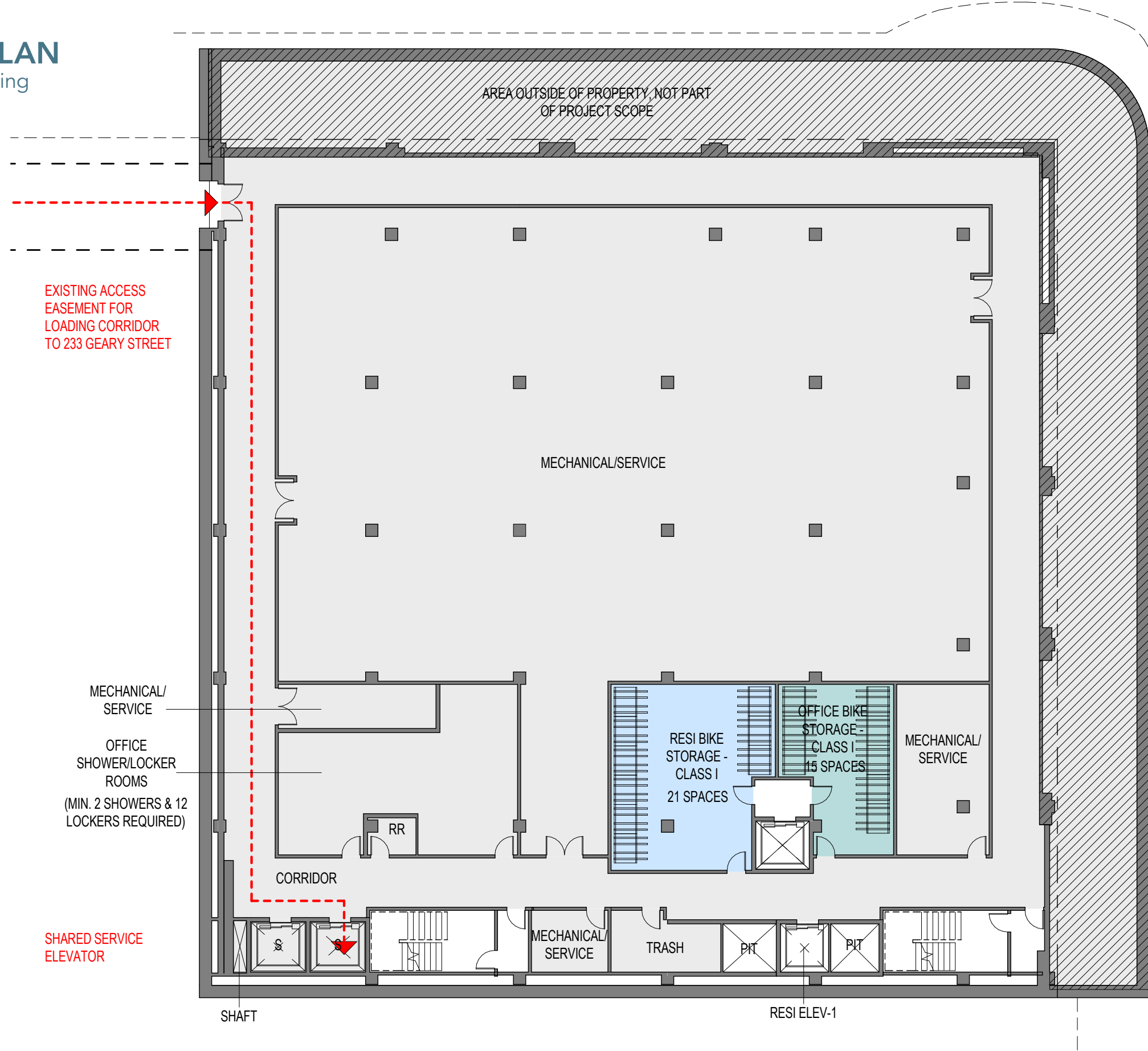


PROPOSED GROUND FLOOR SITE PLAN



LEVEL B2 PLAN

Mechanical, Loading



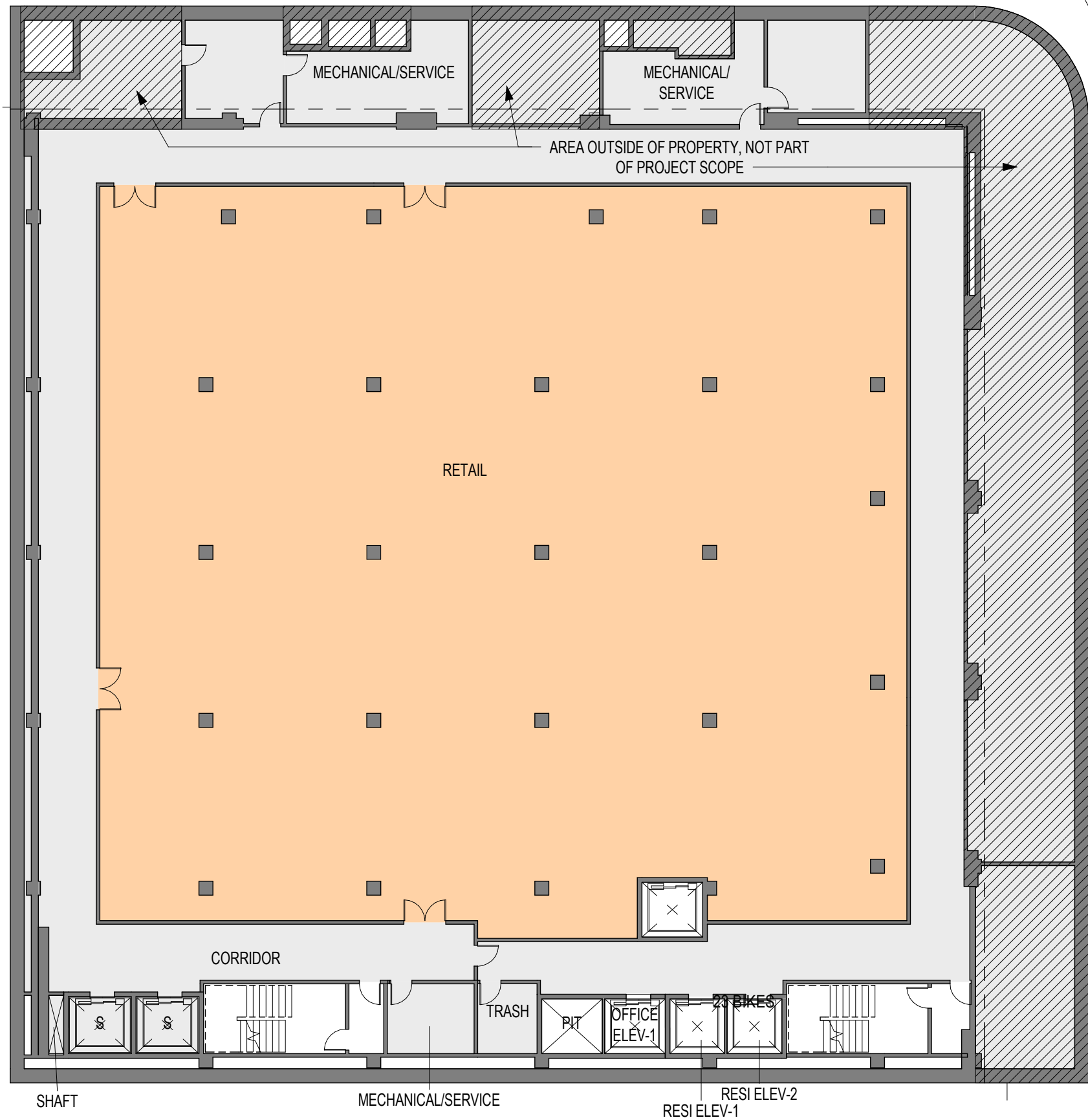
LEGEND

- RETAIL
- OFFICE
- SERVICE/MECHANICAL
- RESIDENTIAL
- COURTYARD

*Square footages provided on plans are gross estimates only.

LEVEL B1 PLAN

Retail Level, Bike Storage & Lockers



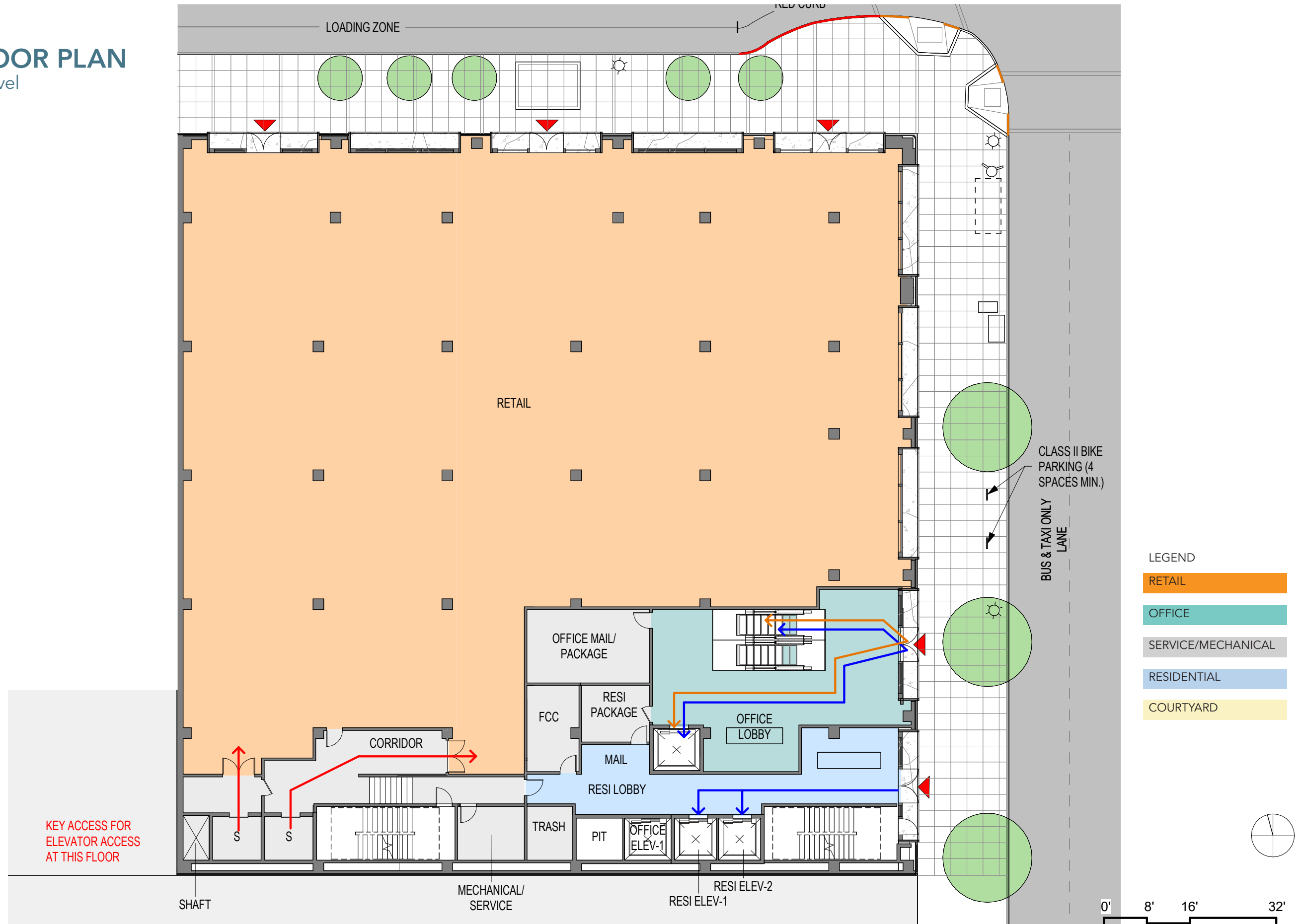
LEGEND

- RETAIL
- OFFICE
- SERVICE/MECHANICAL
- RESIDENTIAL
- COURTYARD

*Square footages provided on plans are gross estimates only.

LEVEL 1 FLOOR PLAN

Retail & Lobby Level

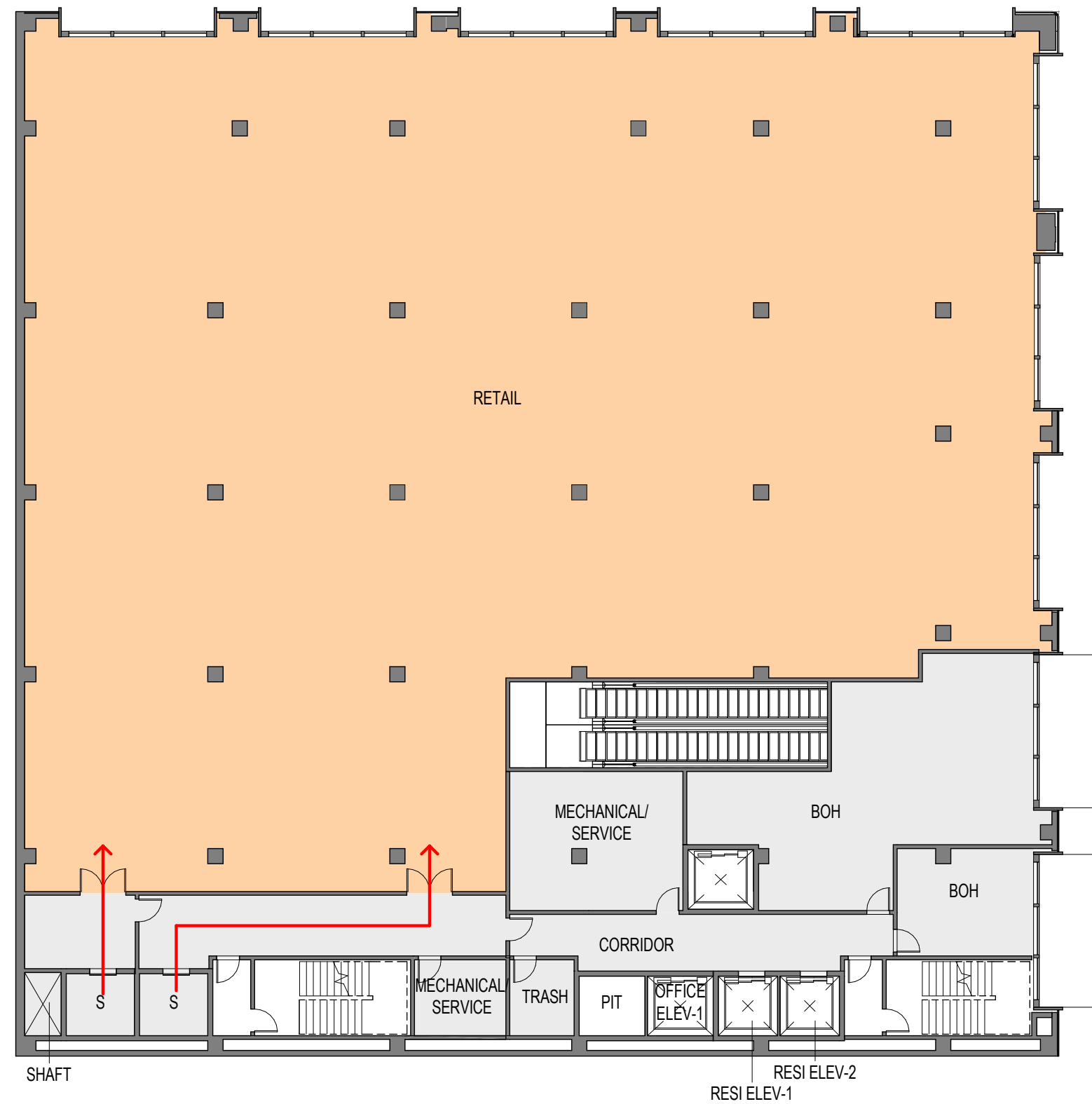


KEY ACCESS FOR ELEVATOR ACCESS AT THIS FLOOR

*Square footages provided on plans are gross estimates only.

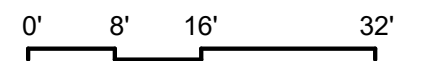
LEVEL 2 FLOOR PLAN

Retail



LEGEND

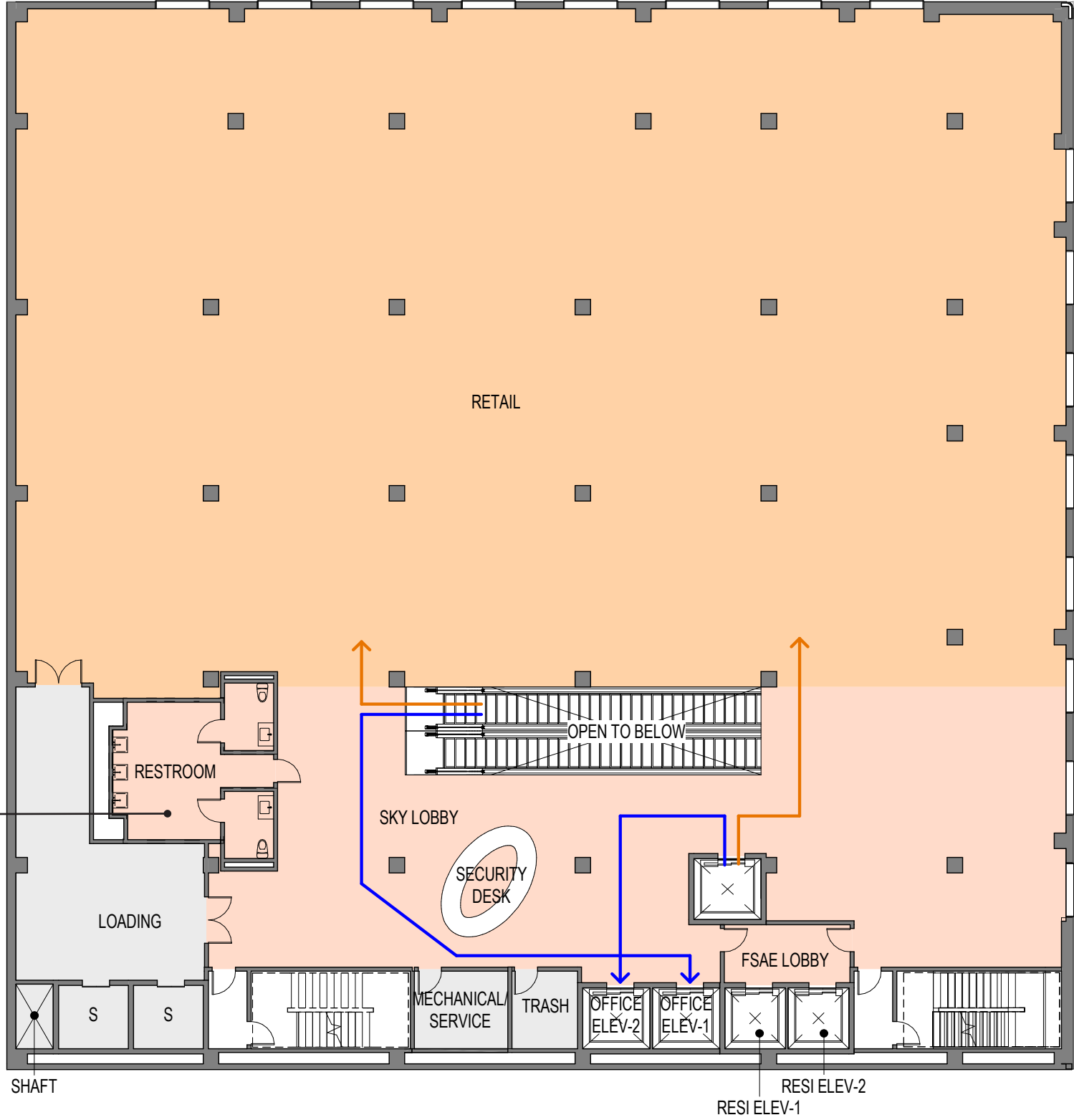
- RETAIL
- OFFICE
- SERVICE/MECHANICAL
- RESIDENTIAL
- COURTYARD



*Square footages provided on plans are gross estimates only.

LEVEL 3 FLOOR PLAN

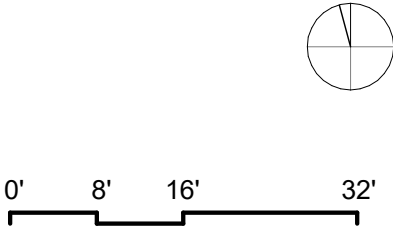
Retail



Historic washroom to be relocated from 6th floor office, to 3rd floor retail/ lobby to allow for better public accessibility.

LEGEND

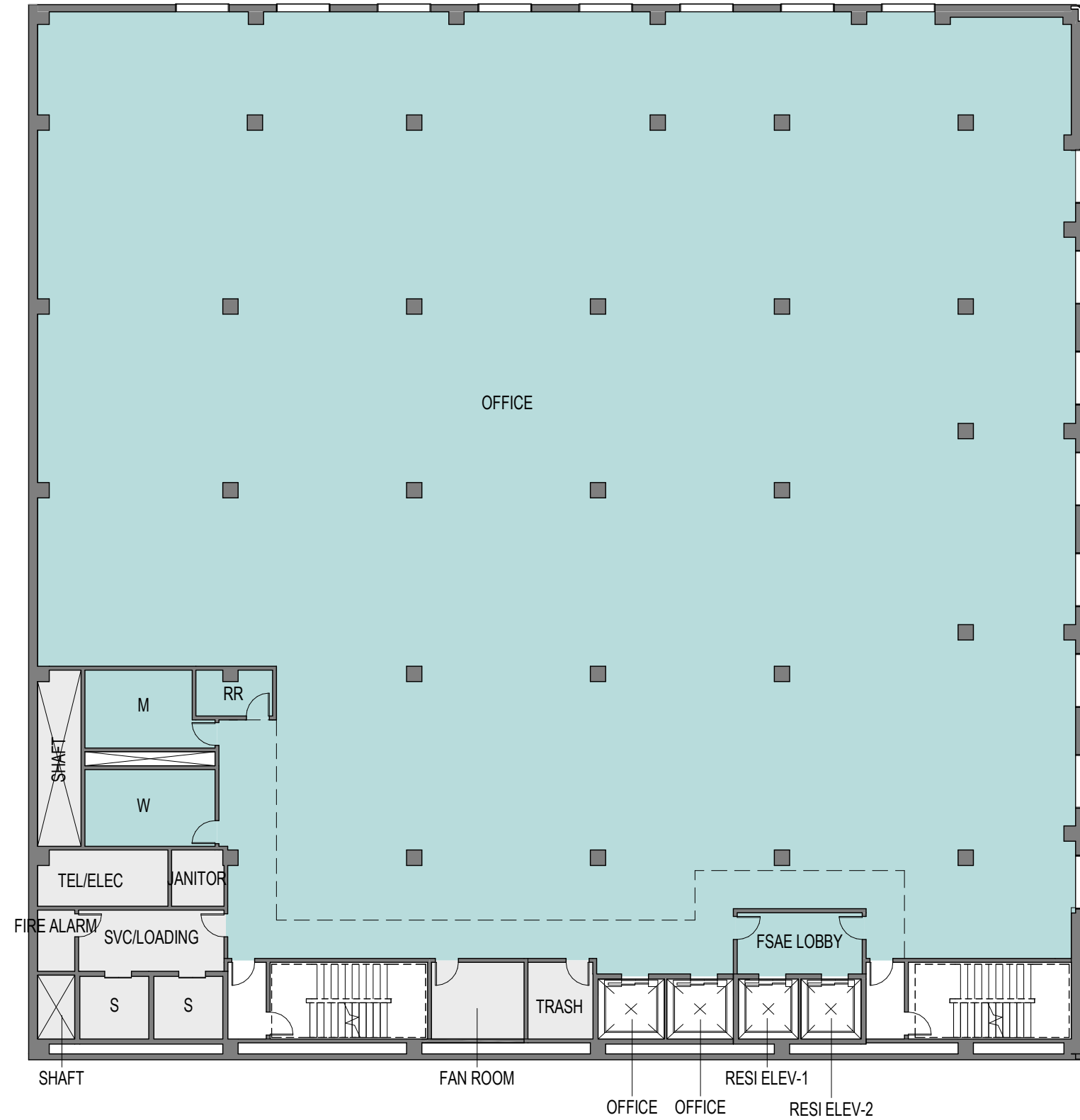
- RETAIL
- OFFICE
- SERVICE/MECHANICAL
- RESIDENTIAL
- COURTYARD



*Square footages provided on plans are gross estimates only.

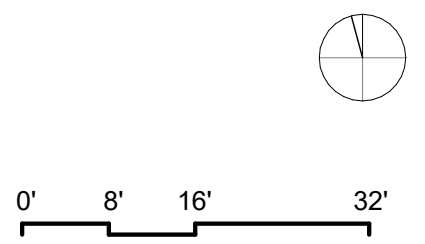
LEVEL 4-7 FLOOR PLAN

Office



LEGEND

- RETAIL
- OFFICE
- SERVICE/MECHANICAL
- RESIDENTIAL
- COURTYARD



*Square footages provided on plans are gross estimates only.

LEVEL 8 FLOOR PLAN

Residential



*Square footages provided on plans are gross estimates only.

LEVEL 9 & 10 FLOOR PLAN

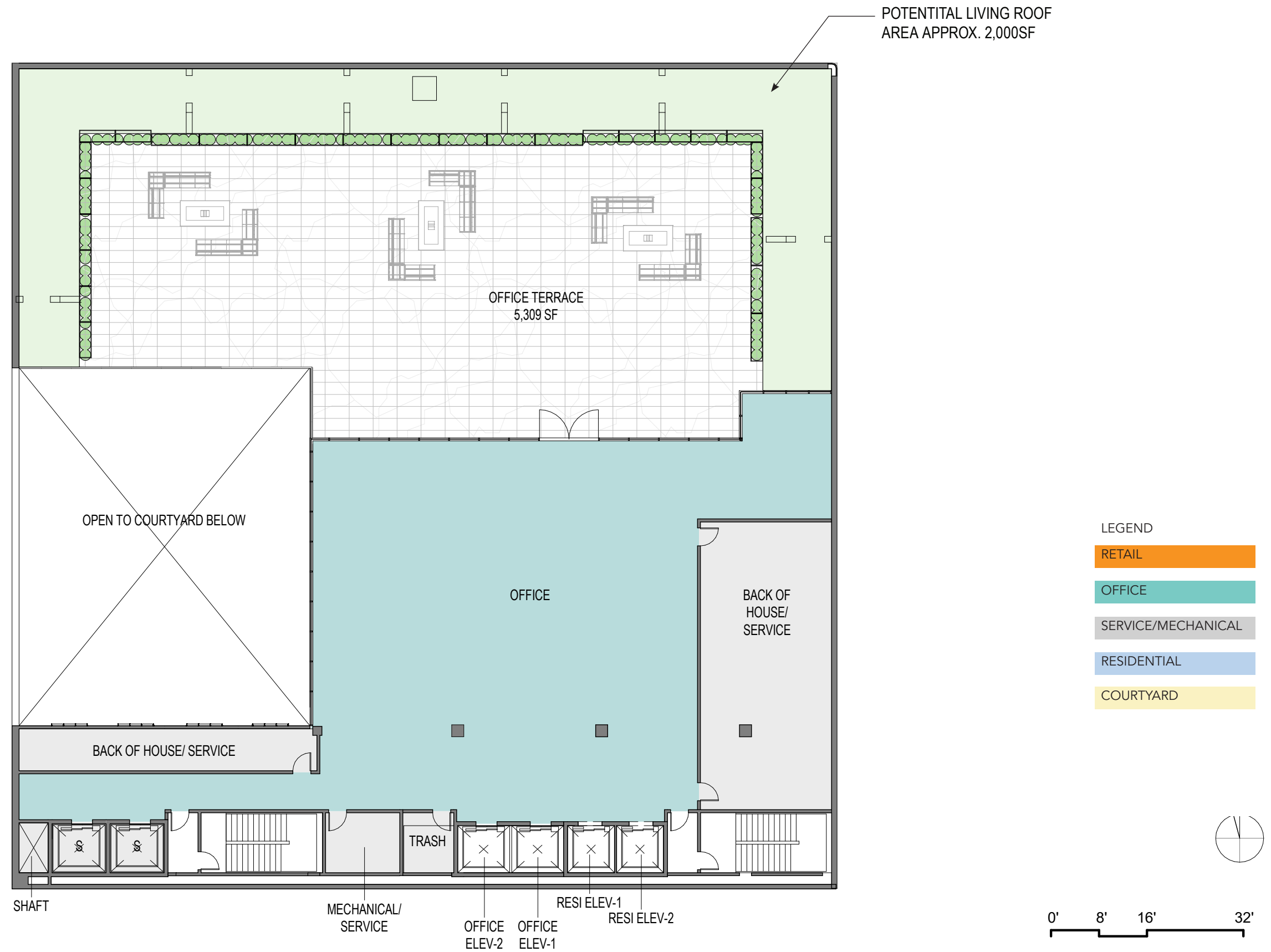
Residential



*Square footages provided on plans are gross estimates only.

LEVEL 11 FLOOR PLAN

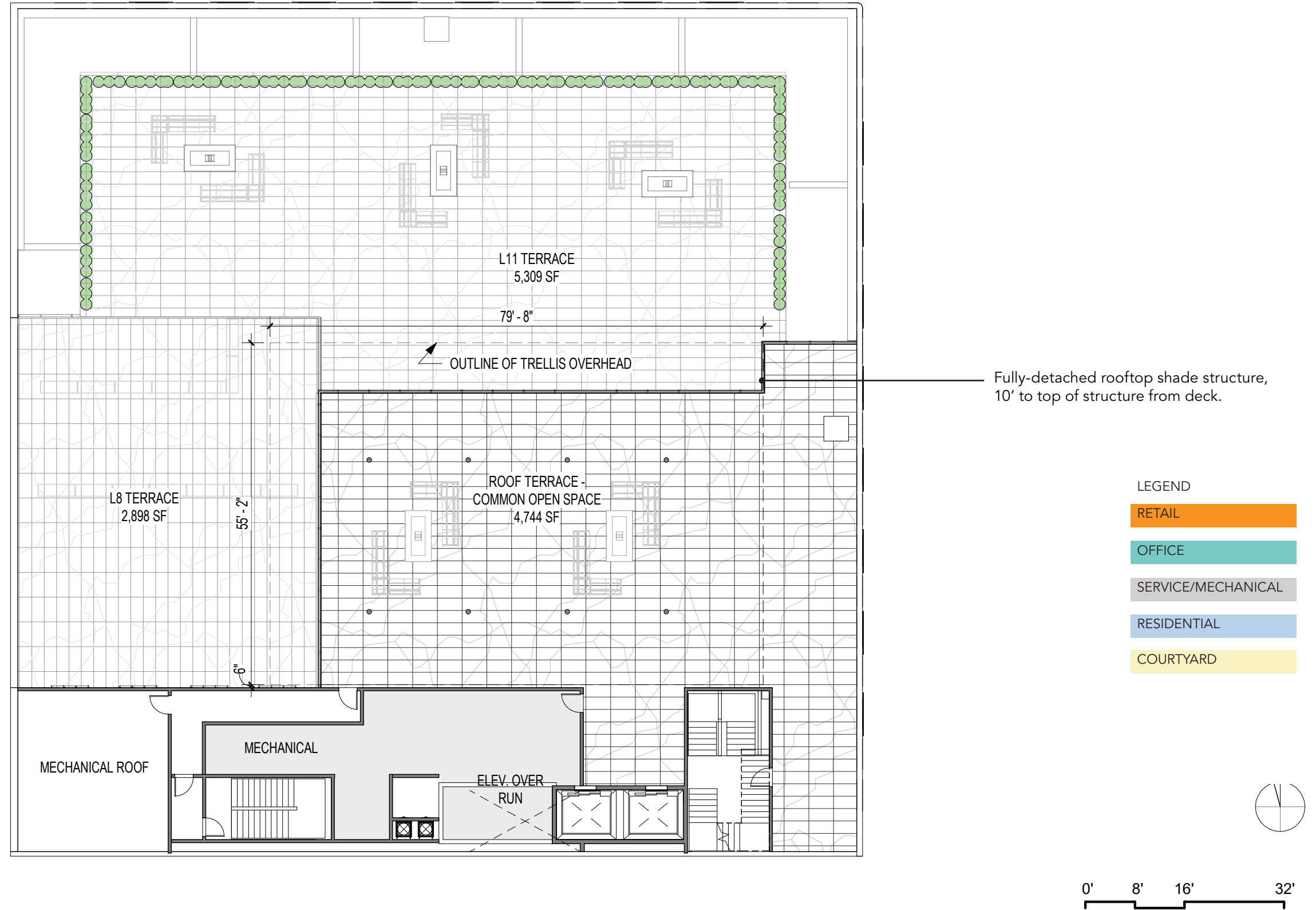
Office & Office Terrace



*Square footages provided on plans are gross estimates only.

ROOF PLAN

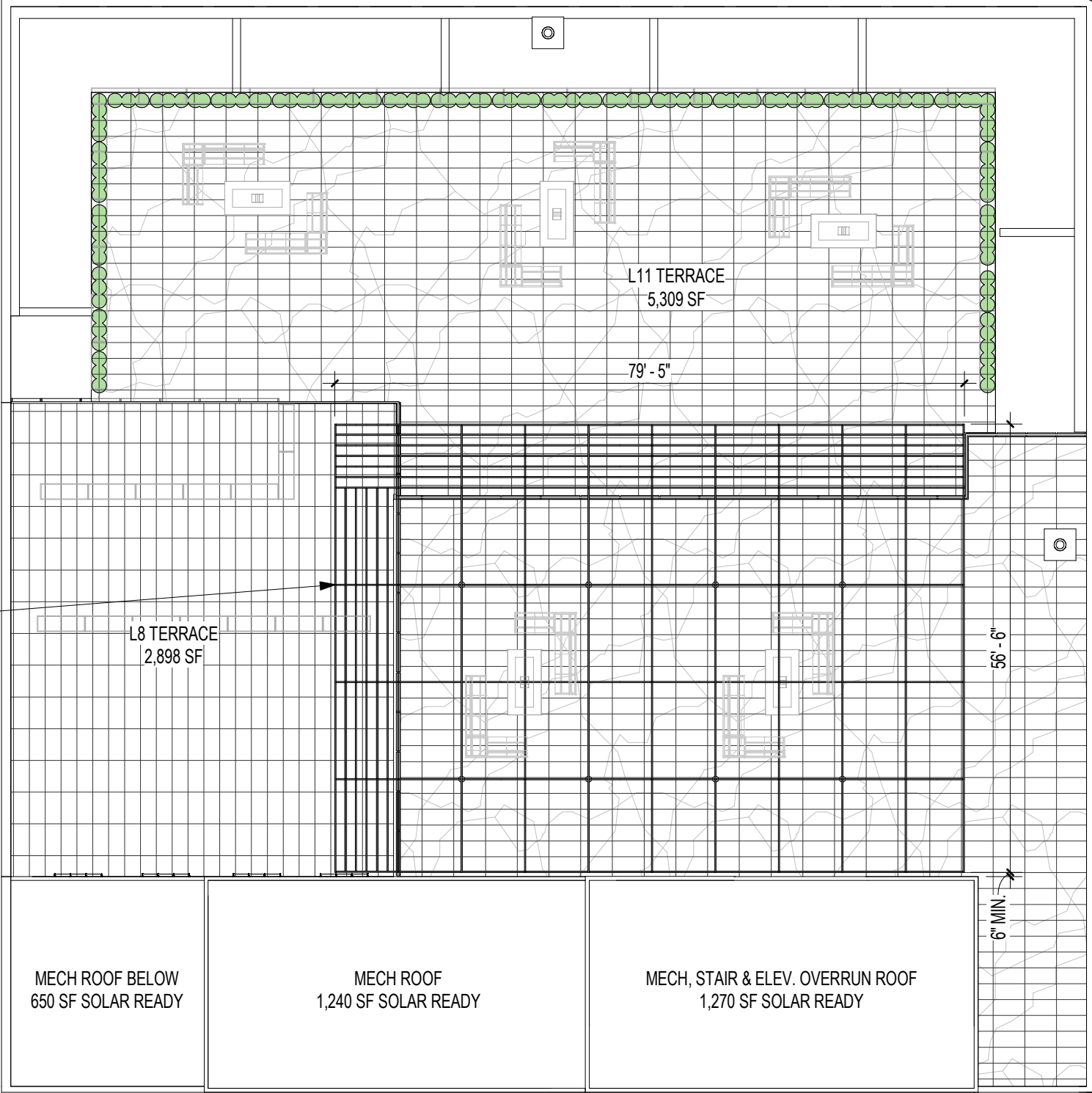
Outdoor Roof Terrace



*Square footages provided on plans are gross estimates only.

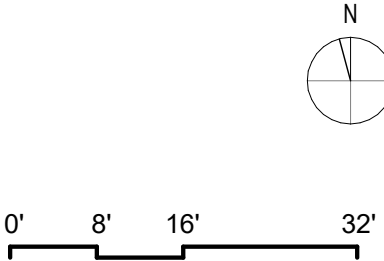
PH ROOF PLAN

FREE-STANDING SHADE TRELLIS AT ROOF TERRACE. LIGHTWEIGHT STEEL STRUCTURE OF 12" BEAMS AND 2"x6" INTERMEDIATE MEMBERS, SUPPORTED BY 6" DIAMETER TUBE STEEL COLUMNS ATTACHED TO ROOF STRUCTURE BELOW. STRUCTURE DOES NOT ATTACH HORIZONTALLY TO BUILDING. HEIGHT OF STRUCTURE DOES NOT EXCEED 10'.



LEGEND

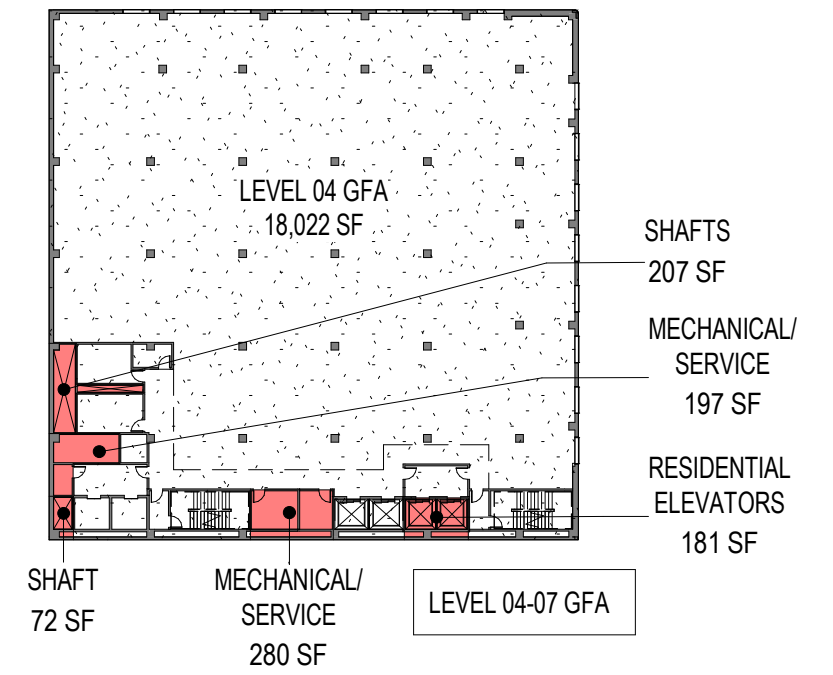
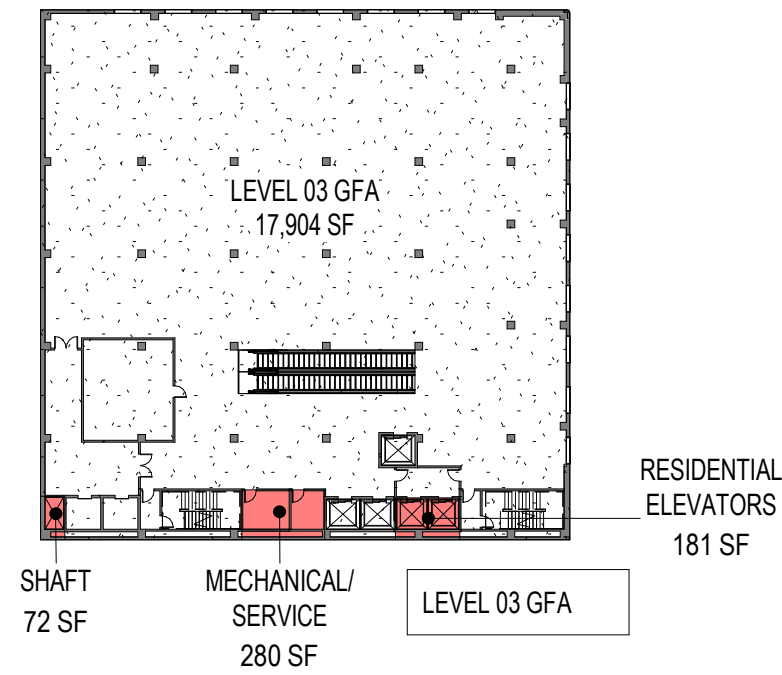
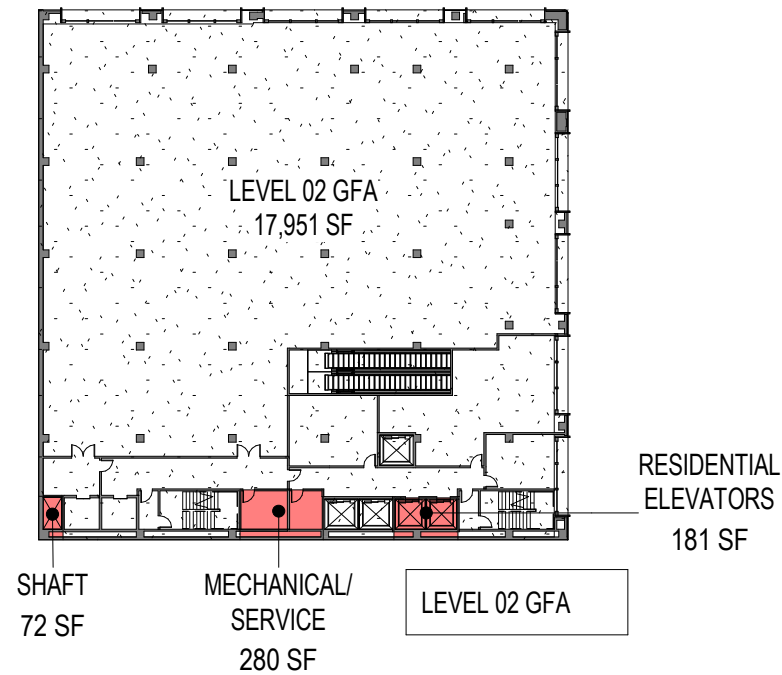
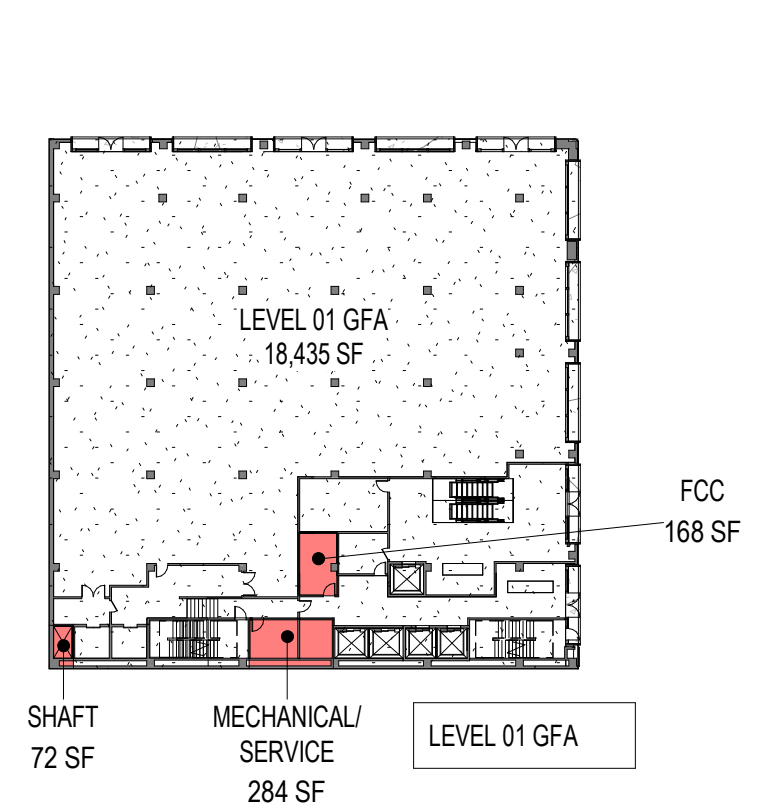
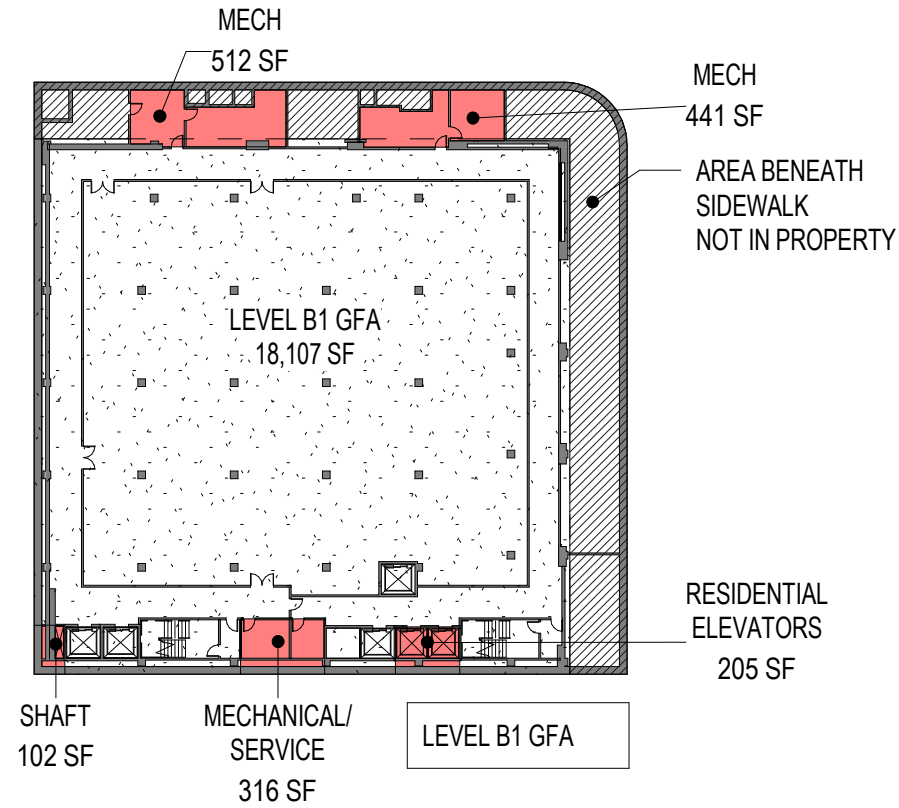
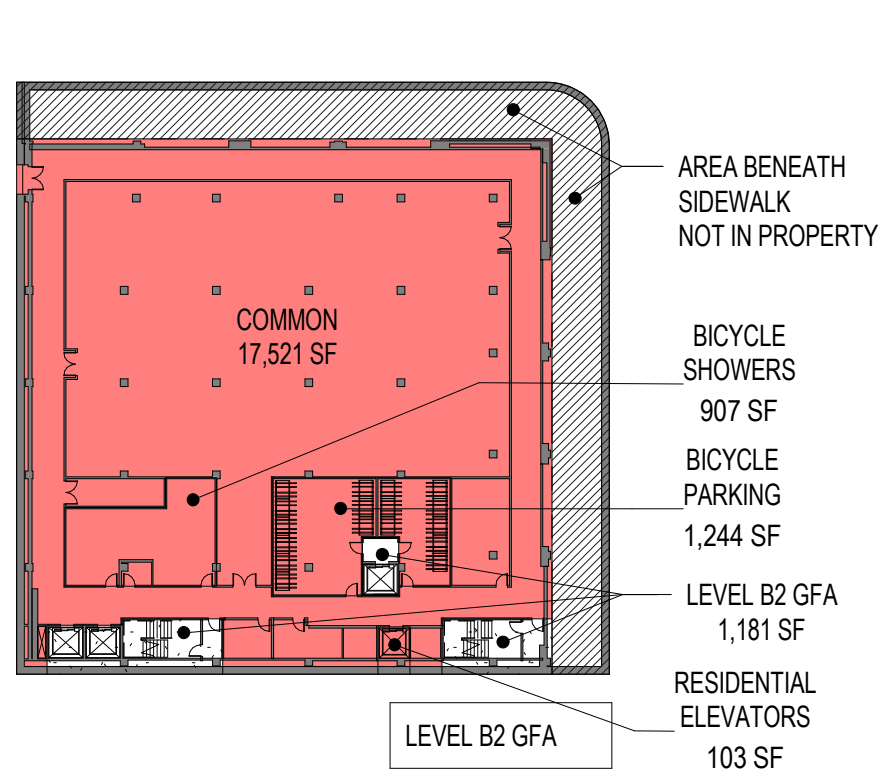
- RETAIL
- OFFICE
- SERVICE/MECHANICAL
- RESIDENTIAL
- COURTYARD



*Square footages provided on plans are gross estimates only.

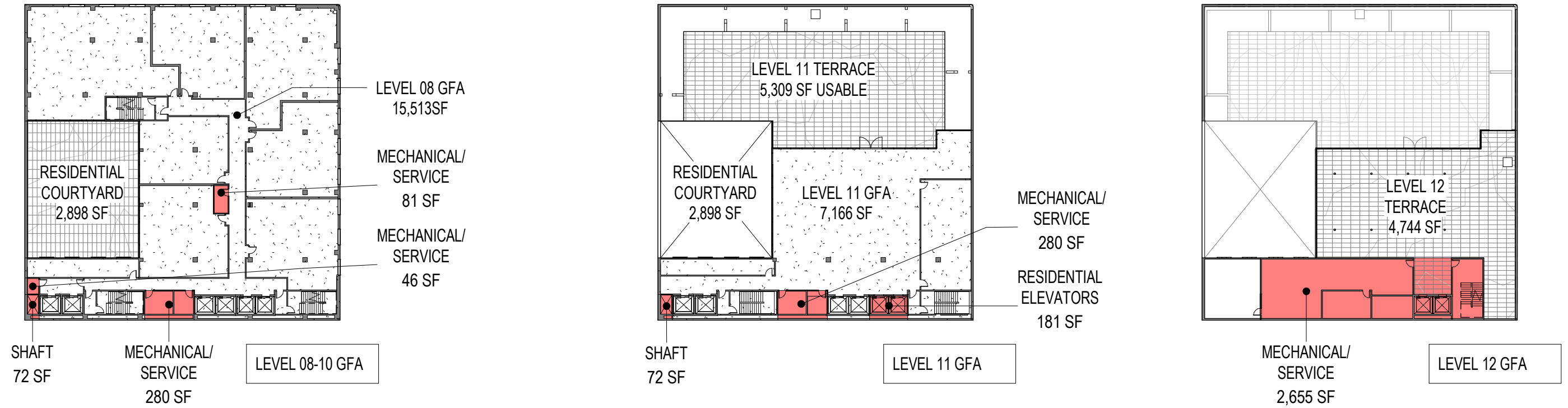
GROSS FLOOR AREA DIAGRAMS

Scale : 1" : 50'-0"



GROSS FLOOR AREA DIAGRAMS

Scale : 1" : 50'-0"



Statement of Licensure Verification

This application document has been prepared and assembled by Handel Architects LLP, on behalf of Sand Hill Property Company. Unless otherwise noted, the architectural drawings within this document were prepared by or under the responsible control of Glenn Rescalvo, Licensed Architect in the State of California (C-27080) and Partner-in-Charge of the San Francisco office of Handel Architects. The plans, specifications, diagrams and images within this document are conceptual in nature and not intended for construction. Please also note that drawings within "Appendix A: Existing Building Drawings" are not prepared by Handel Architects and are for informational purposes only.





MACYS

macys

General Factory

Energy Bar

UNION SQUARE MARKET STREET STATION

UNION SQUARE
SAN FRANCISCO
STARTS HERE

Geary

Market Street

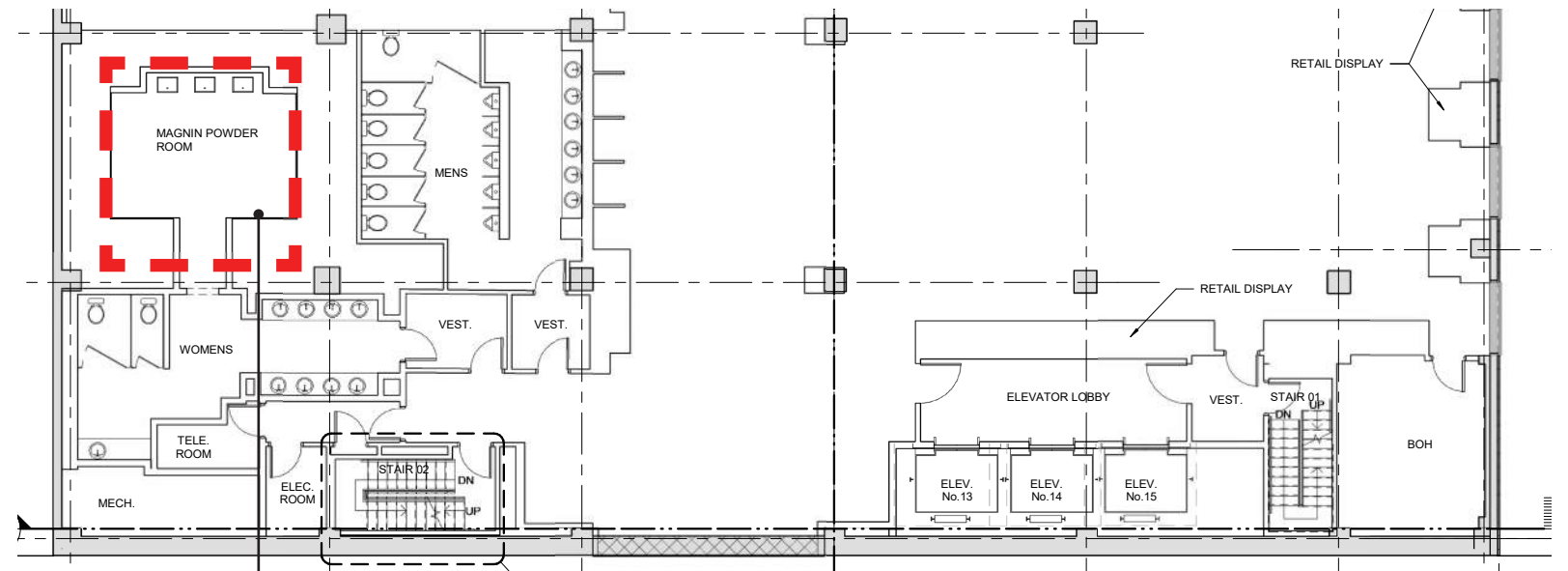
RESPONSE TO ARCHITECTURAL REVIEW COMMITTEE COMMENTS

Key items discussed with ARC on May 19, 2021 include:

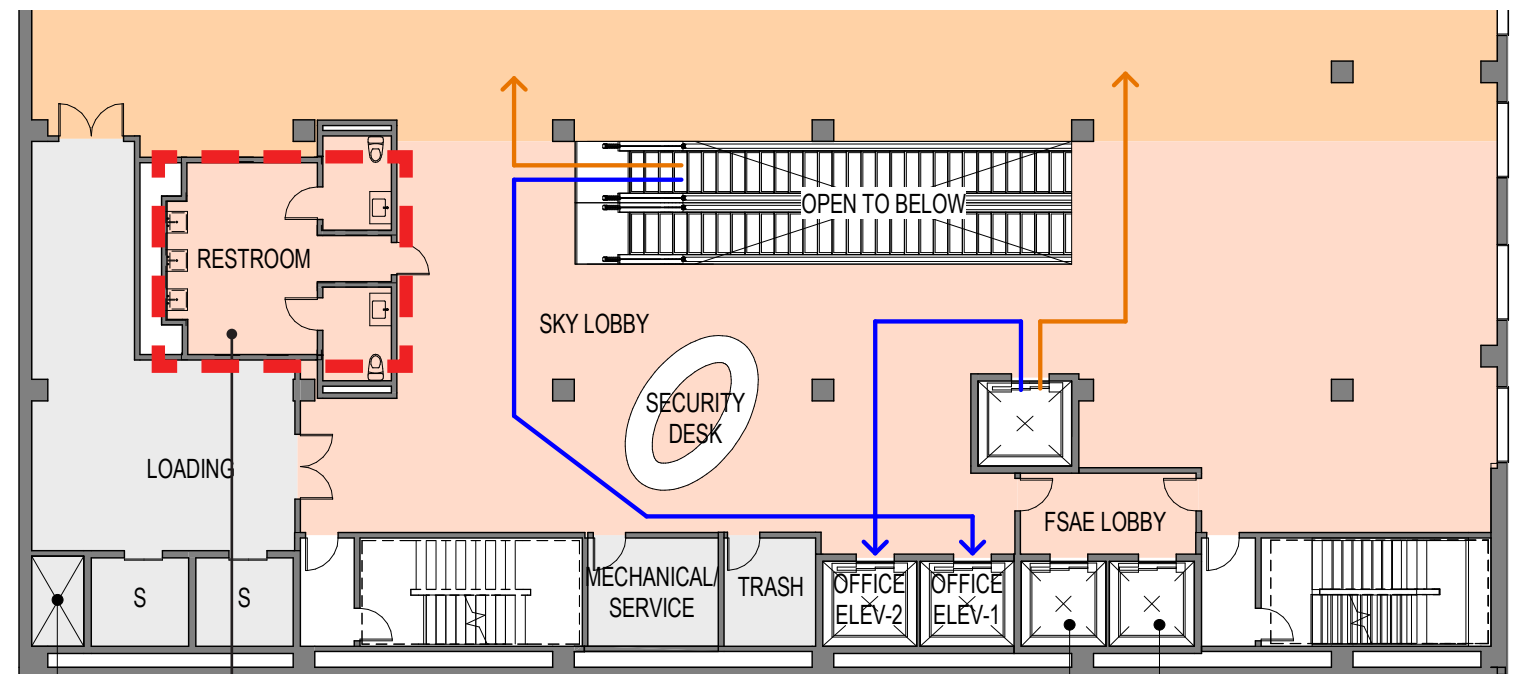
- Existing historic powder room at Level 06
- Ground Floor retail facade materiality and coloration
- Residential window materiality, coloration and detailing

Historic I. Magnin Powder Room

Proposed Relocation/Reconstruction from L06 to L03



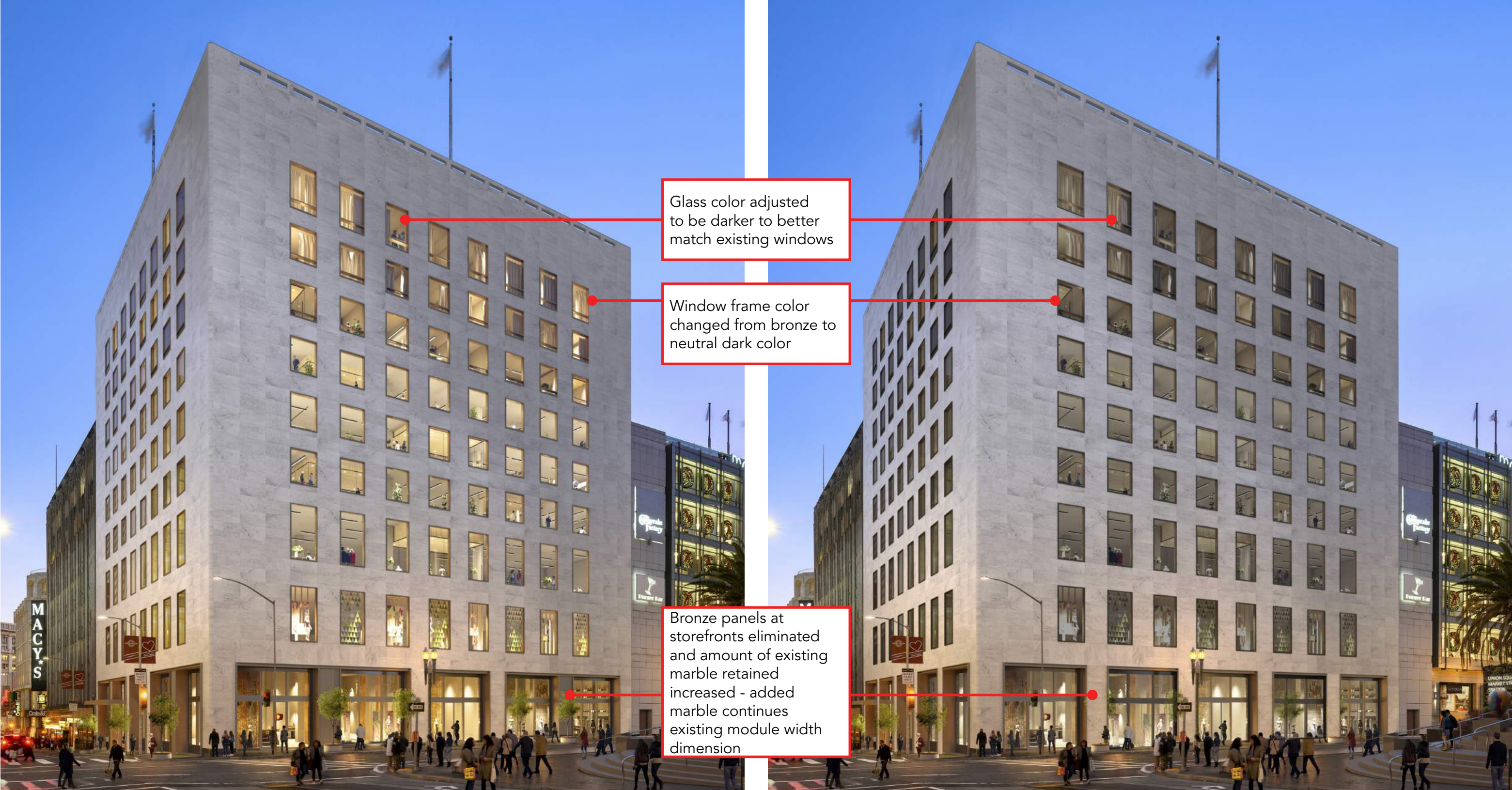
Existing Location
Historic washroom currently located on proposed Level 06 office floor



Proposed Location
Historic washroom to be relocated from 6th floor office, to 3rd floor retail/ lobby to allow for better public accessibility and opportunity for interpretive display. See p.31 for full plan.

*Square footages provided on plans are gross estimates only.

UPDATED SCHEME - BASED ON SF ARC COMMENTS



Pre-ARC input

Updated Scheme based on SF ARC Comments

MASTER SIGN PROGRAM HAS NOT YET BEEN FINALIZED AND IS NOT SUBJECT TO CURRENT REVIEW BY ARC/HPC. MASTER SIGN PROGRAM PROPOSAL WILL BE SUBMITTED FOR REVIEW AT A LATER TIME.

UPDATED SCHEME - BASED ON SF ARC COMMENTS

View from Union Square and Central Subway Station Exit



Pre-ARC input



Bronze panels at storefronts eliminated and amount of existing marble retained increased - added marble matches existing module width dimension

Proposed bronze material re-introduced based on historic precedent. Refer to historic photographs on p. 46.

Bronze panels at storefronts eliminated and amount of existing marble retained increased - added marble matches existing module width dimension

Updated Scheme based on SF ARC Comments

STOREFRONT MULLION COLOR REFERENCE



Proposed project seeks to re-introduce this distinctive use of bronze/brass colored metal trim at storefronts, in keeping with Pflueger's original design intent to reflect the glamour and luxury of the I. Magnin brand.

Although the date of this image is unknown, historic photographs show evidence of previous existence of brass colored metal trims and accents at storefront entries, in keeping with I. Magnin branding and signage

Similarly, although difficult to discern the color of the metal elements, this photograph shows storefront trims as much lighter in color and differentiated from black granite surrounds.



COMPARISON OF EXISTING VS PROPOSED



Existing Condition



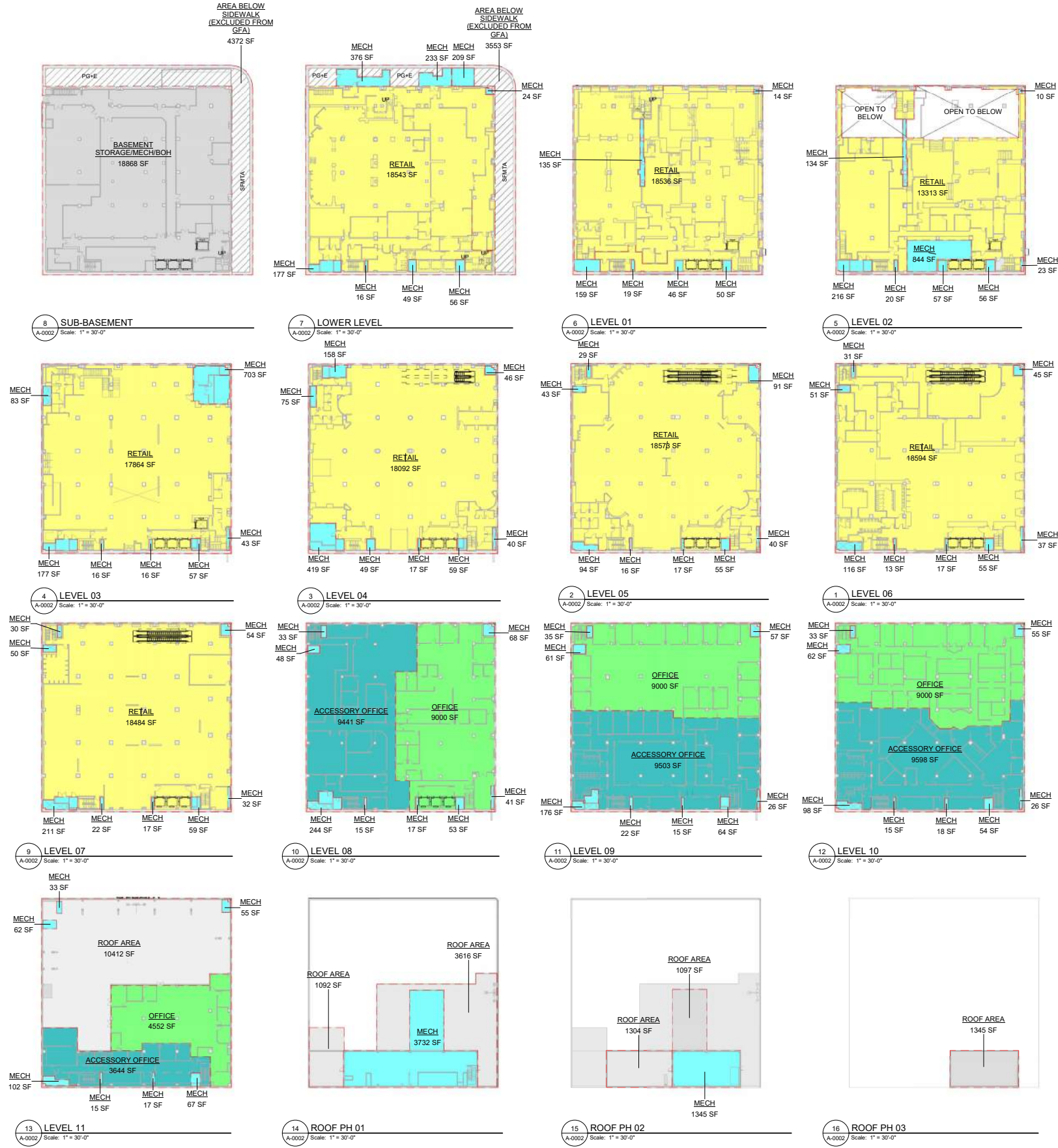
Updated Project Application Proposal

MASTER SIGN PROGRAM HAS NOT YET BEEN FINALIZED AND IS NOT SUBJECT TO CURRENT REVIEW BY ARC/HPC. MASTER SIGN PROGRAM PROPOSAL WILL BE SUBMITTED FOR REVIEW AT A LATER TIME.

APPENDIX A: EXISTING BUILDING DRAWINGS

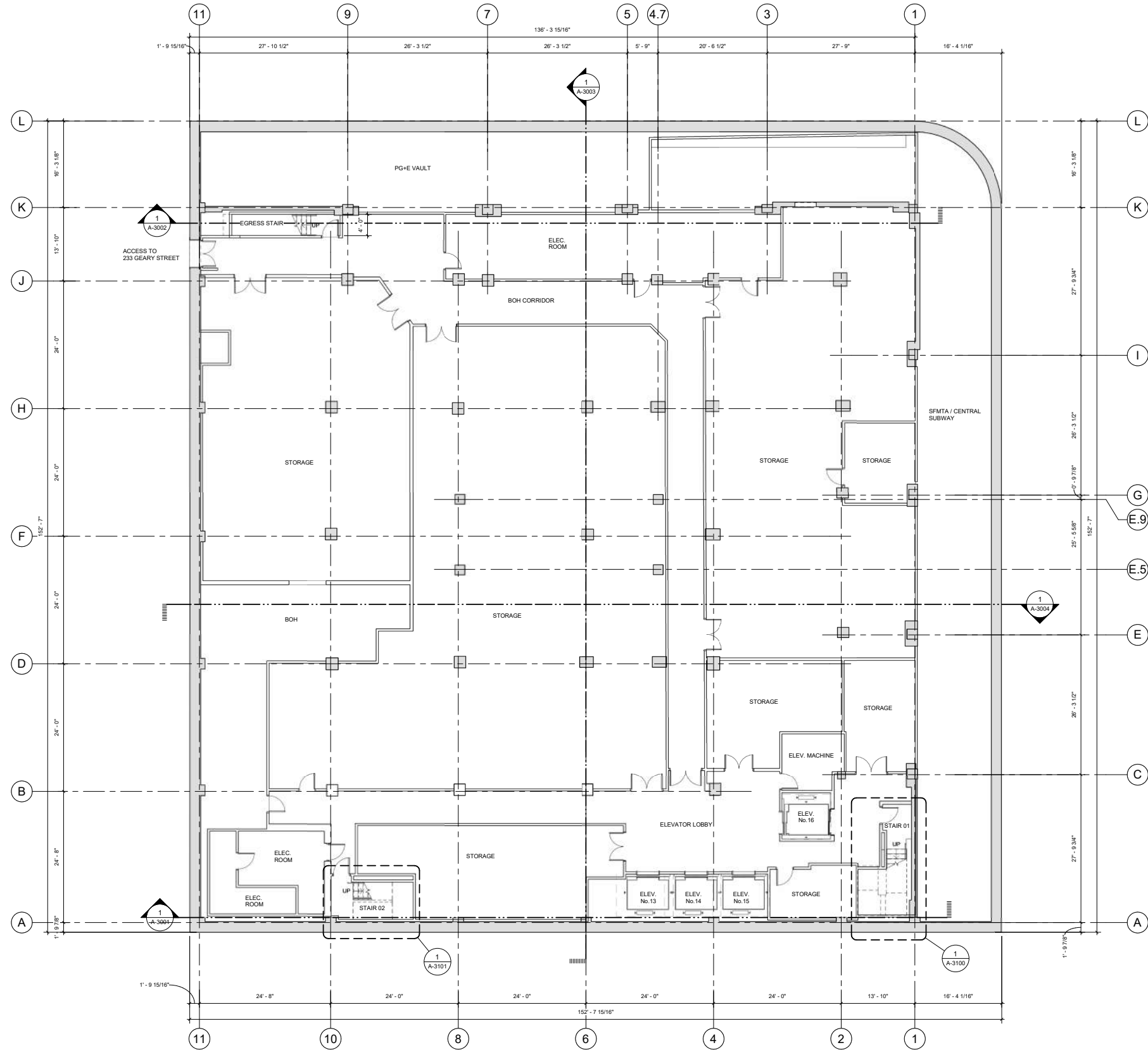
EXISTING AREA CALCULATION DIAGRAMS

N.T.S.



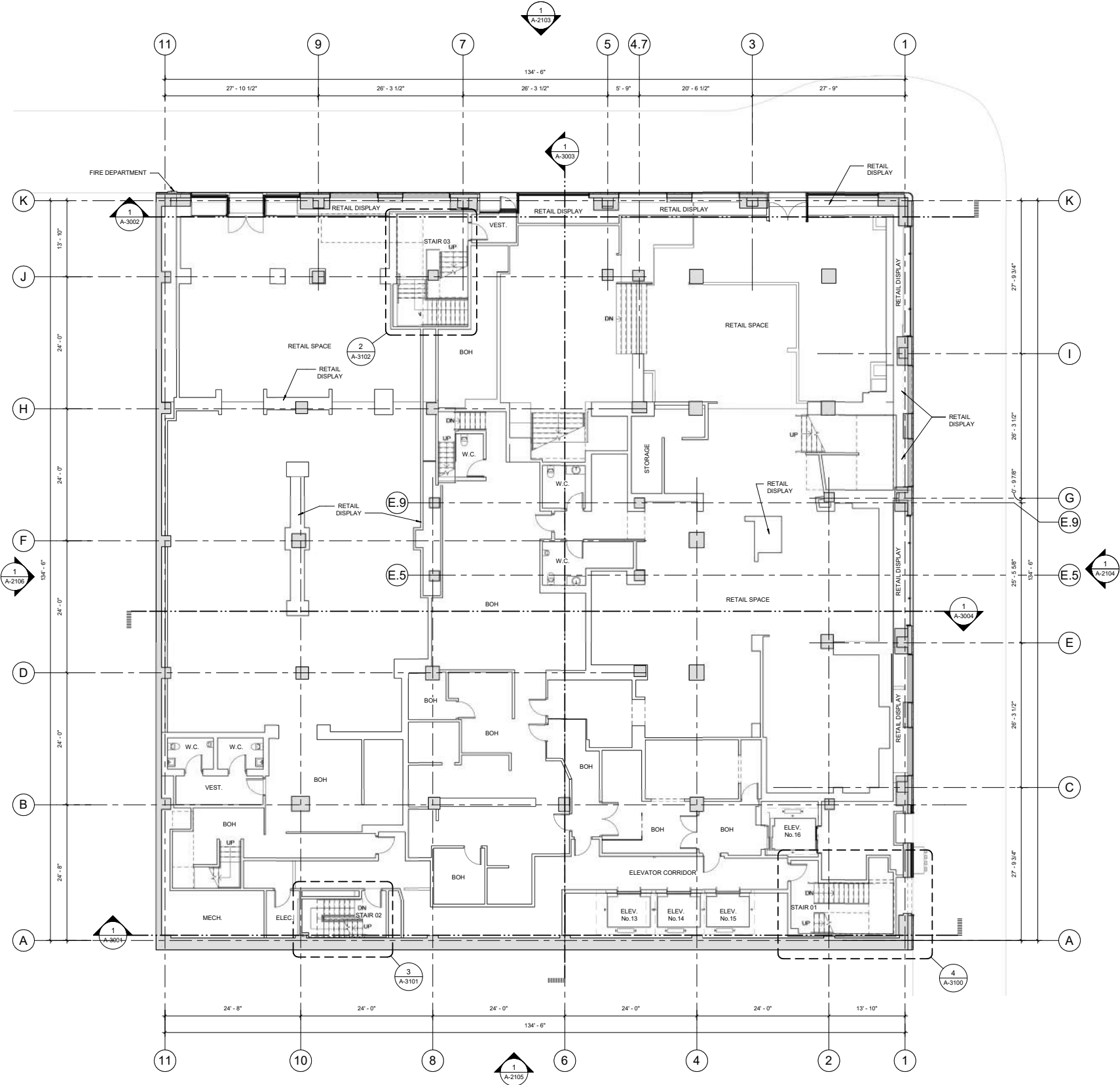
EXISTING LEVEL B2 PLAN

N.T.S.



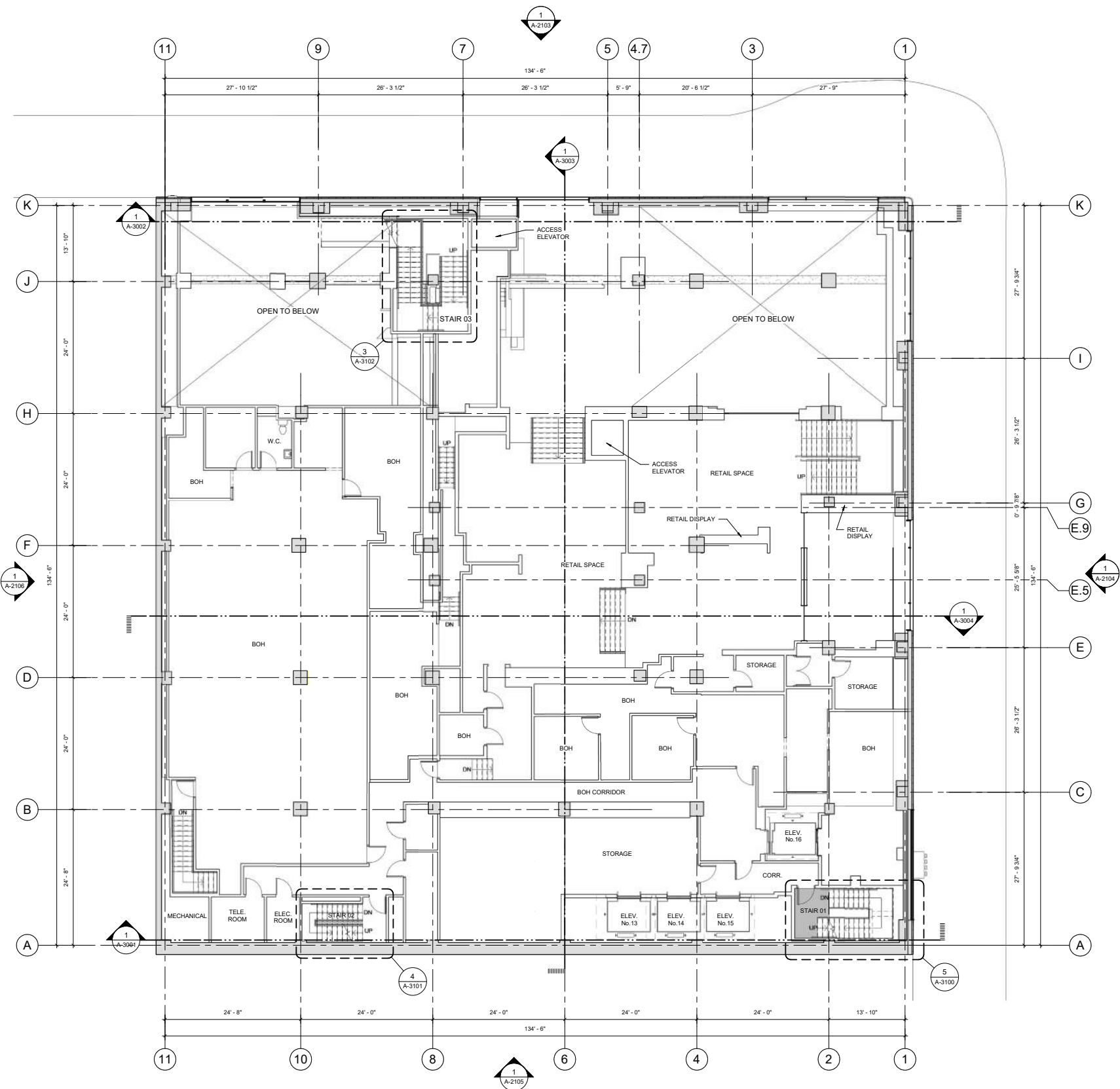
EXISTING LEVEL 1 PLAN

N.T.S.



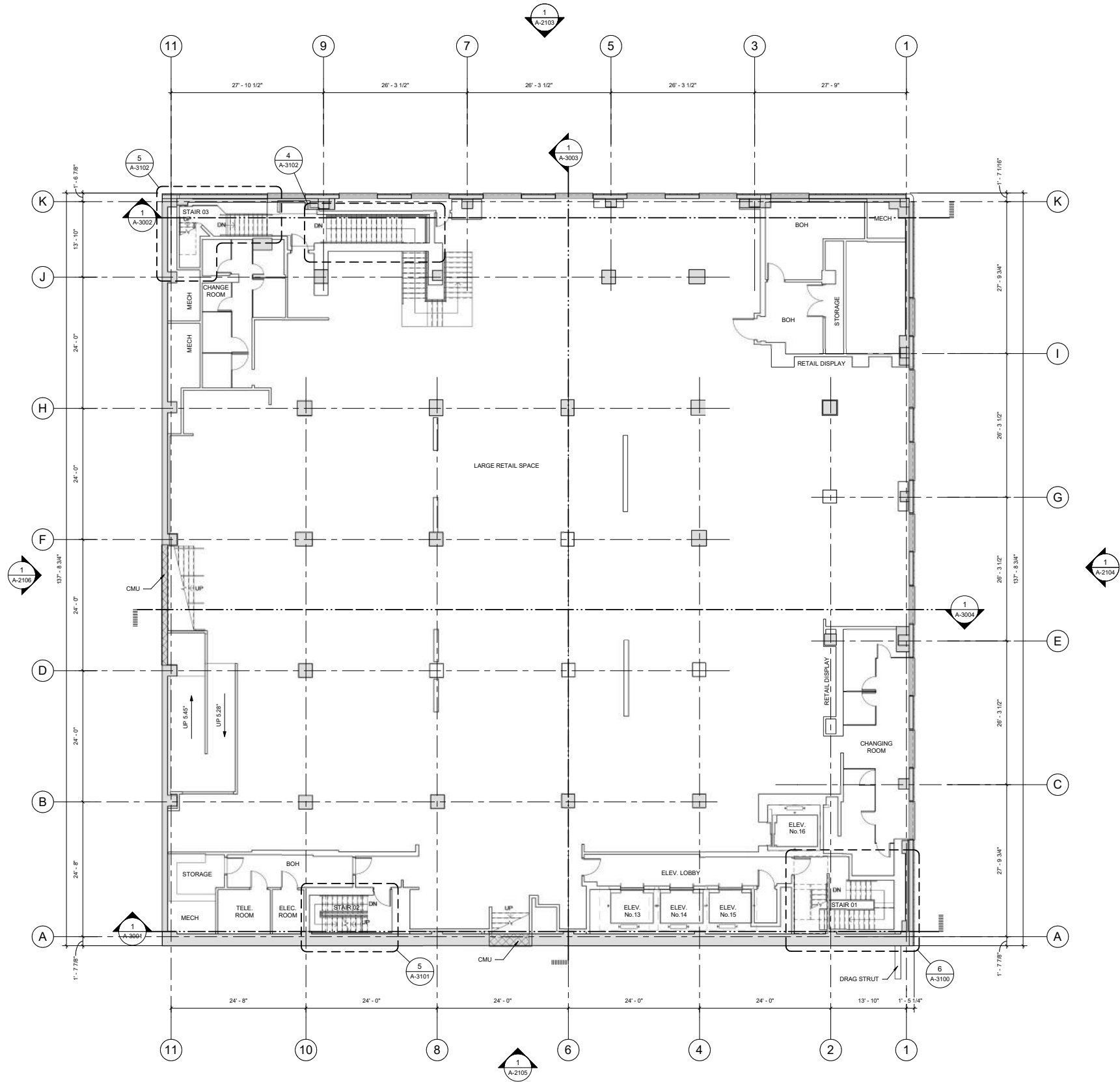
EXISTING LEVEL 2 PLAN

N.T.S.



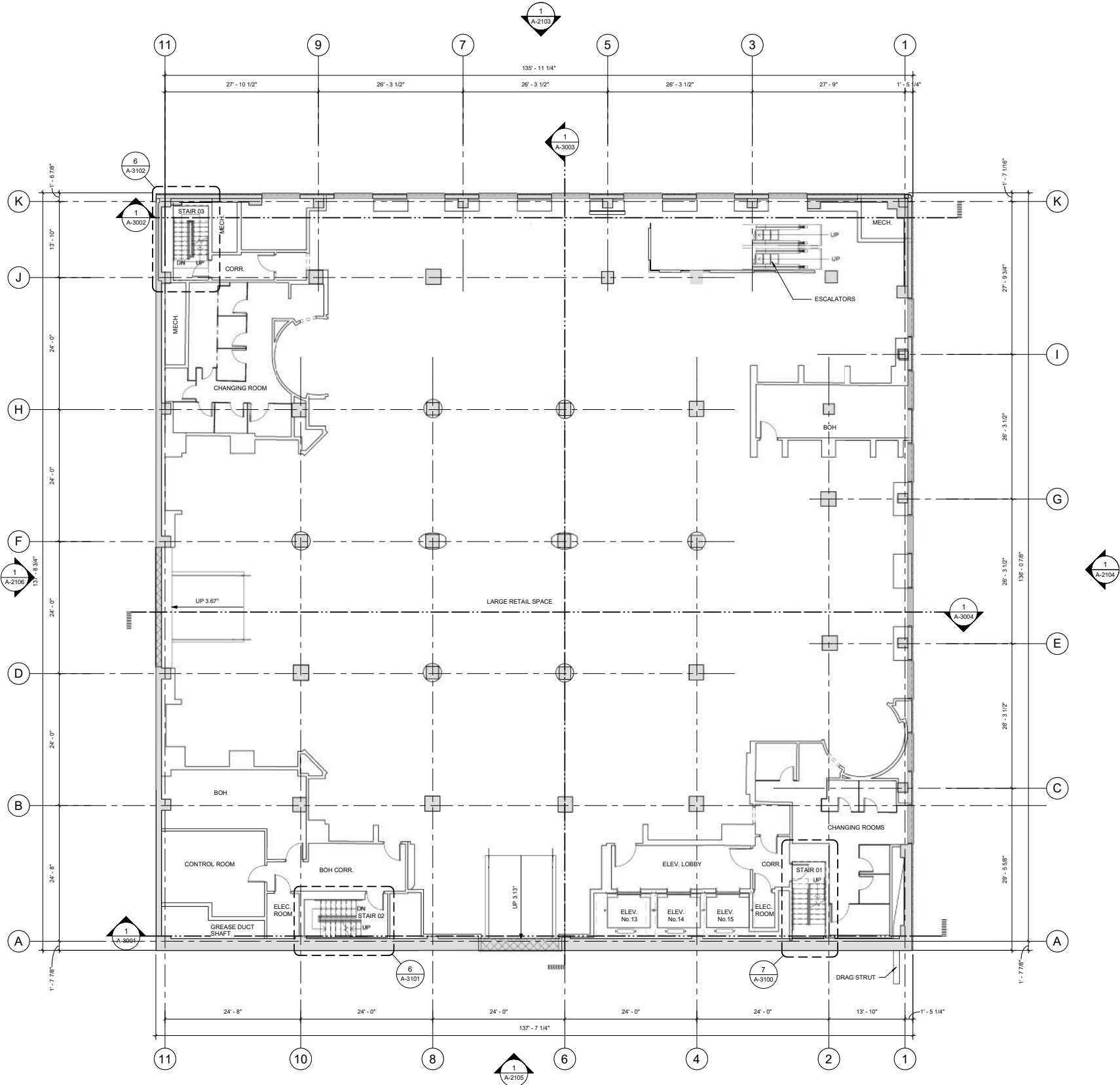
EXISTING LEVEL 3 PLAN

N.T.S.



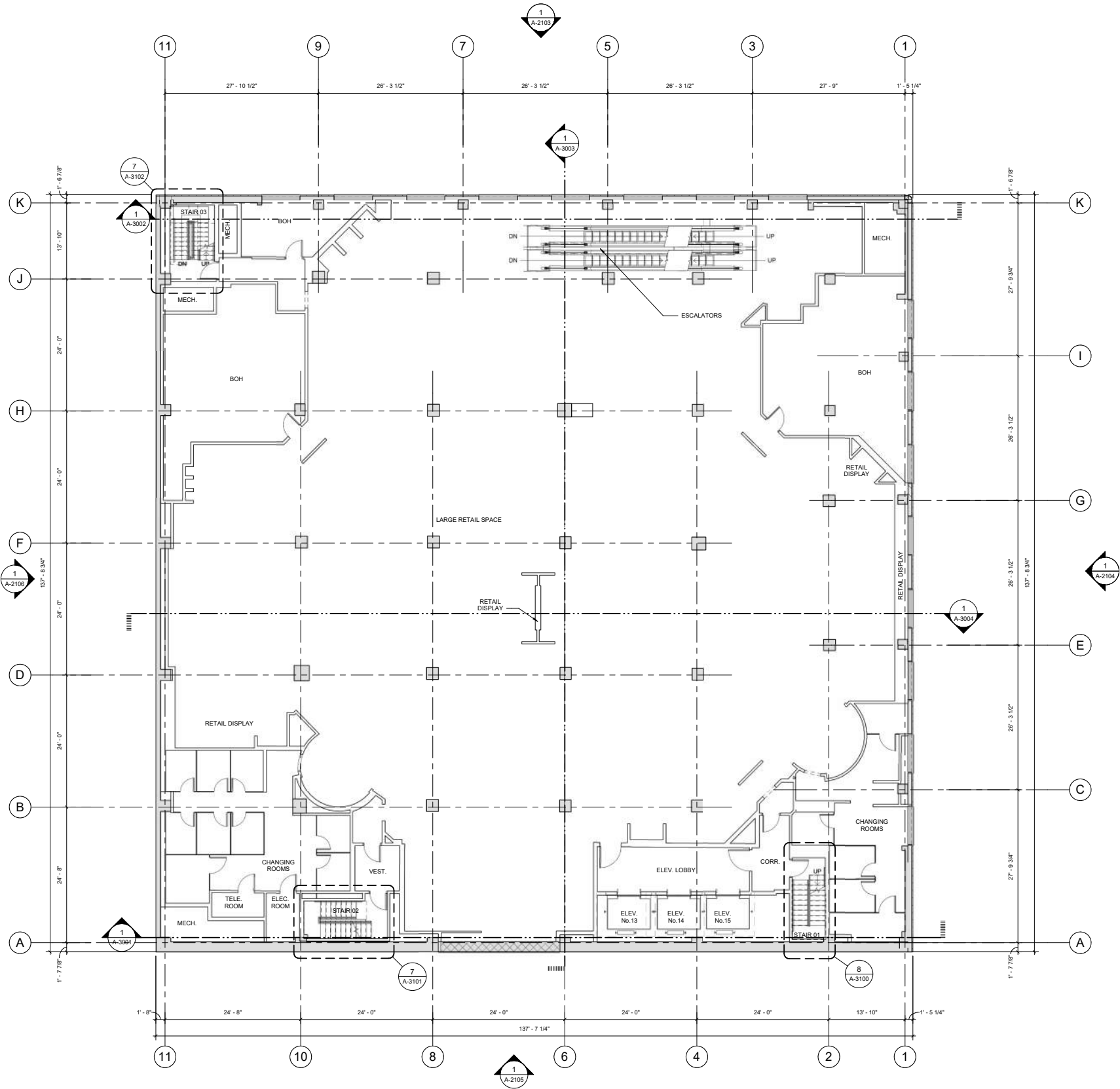
EXISTING LEVEL 4 PLAN

N.T.S.



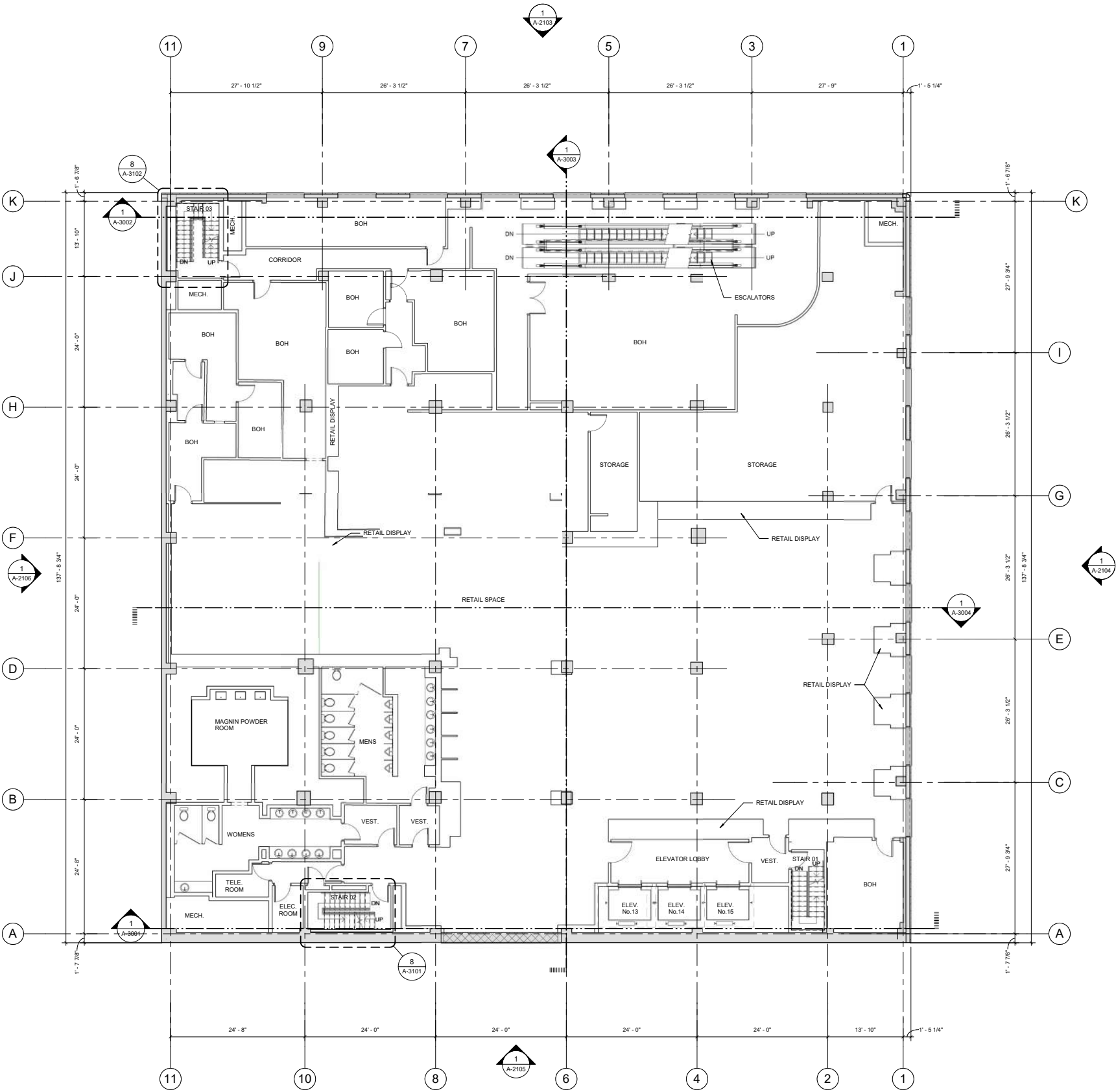
EXISTING LEVEL 5 PLAN

N.T.S.



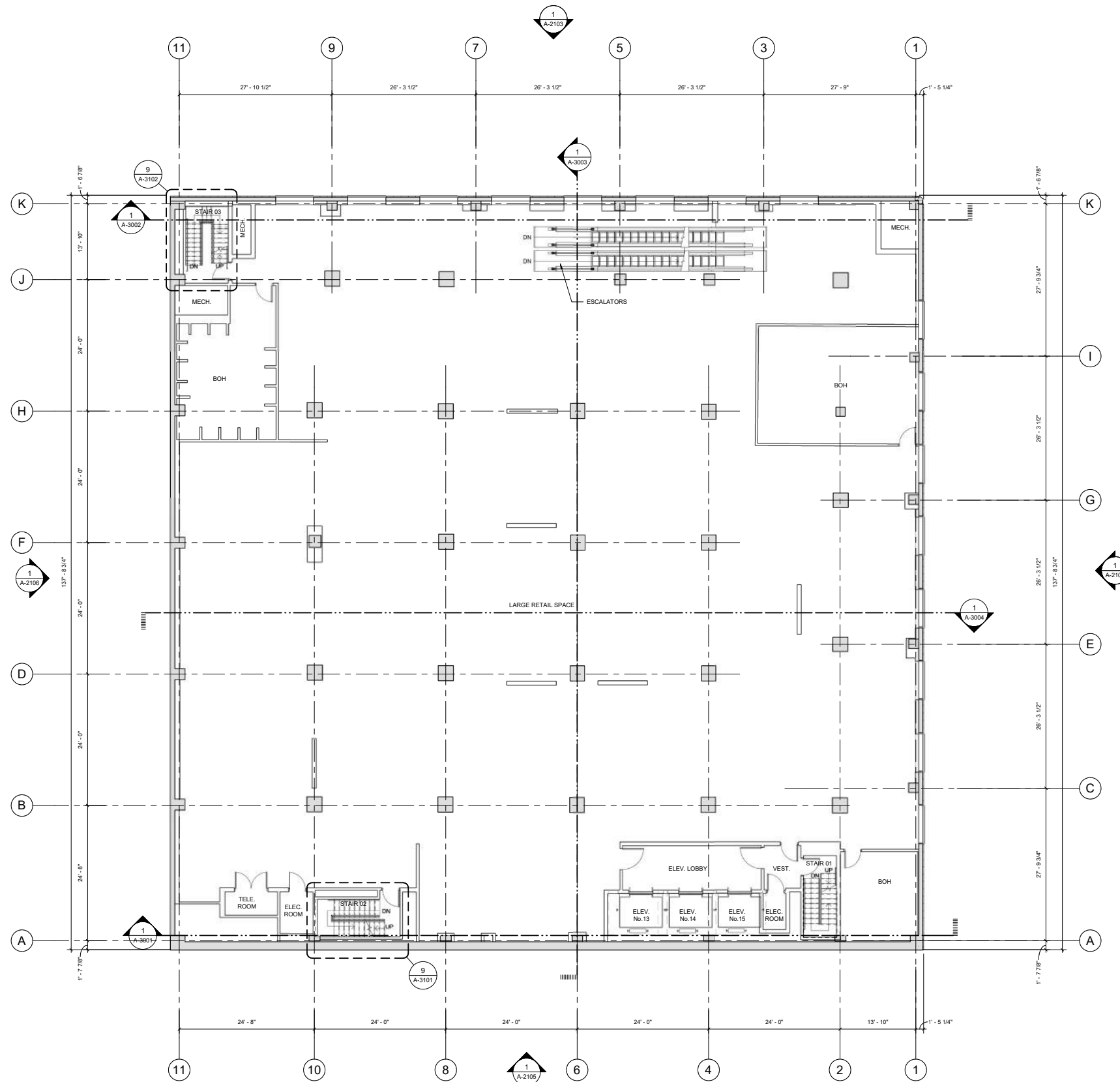
EXISTING LEVEL 6 PLAN

N.T.S.



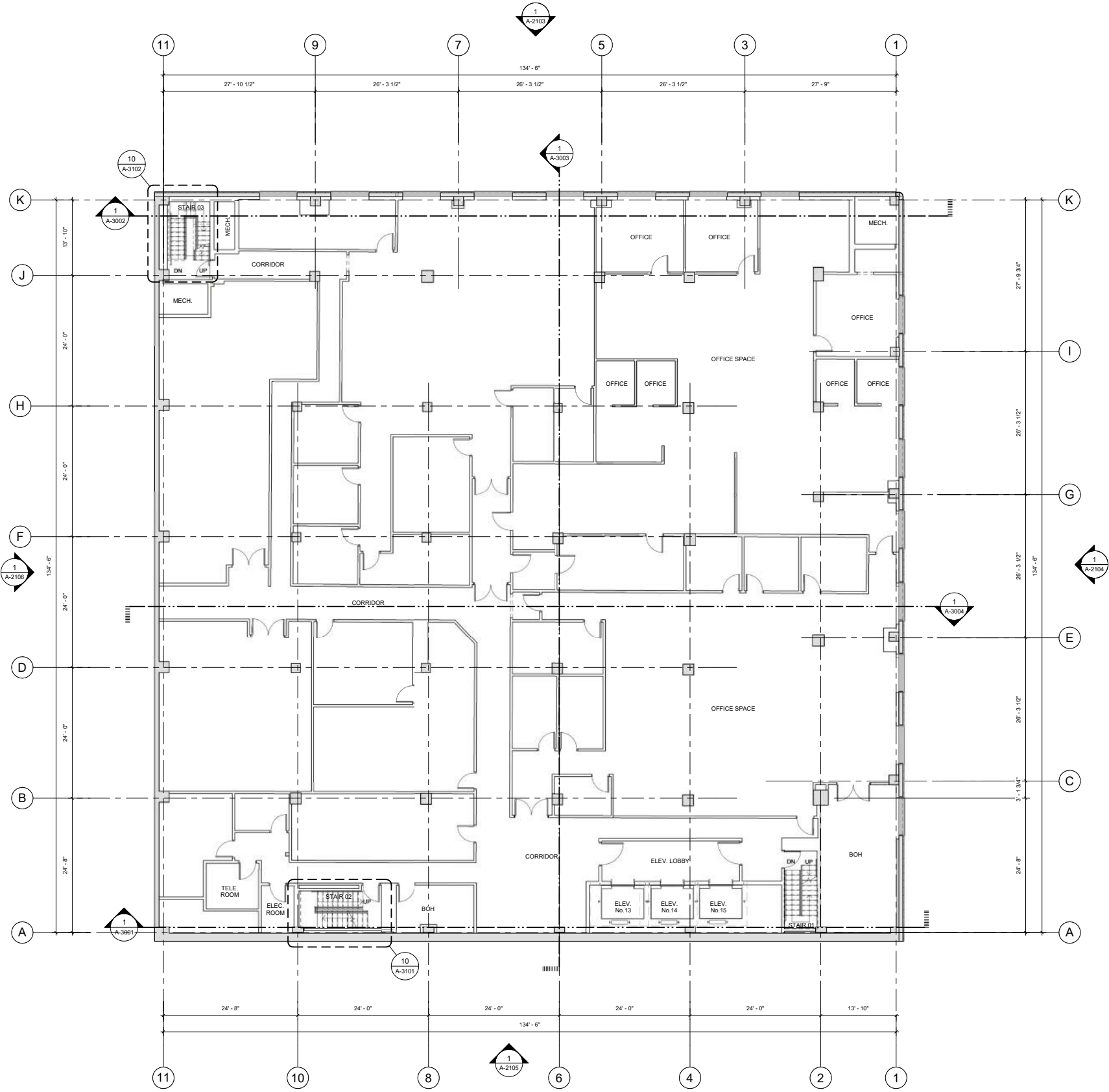
EXISTING LEVEL 7 PLAN

N.T.S.



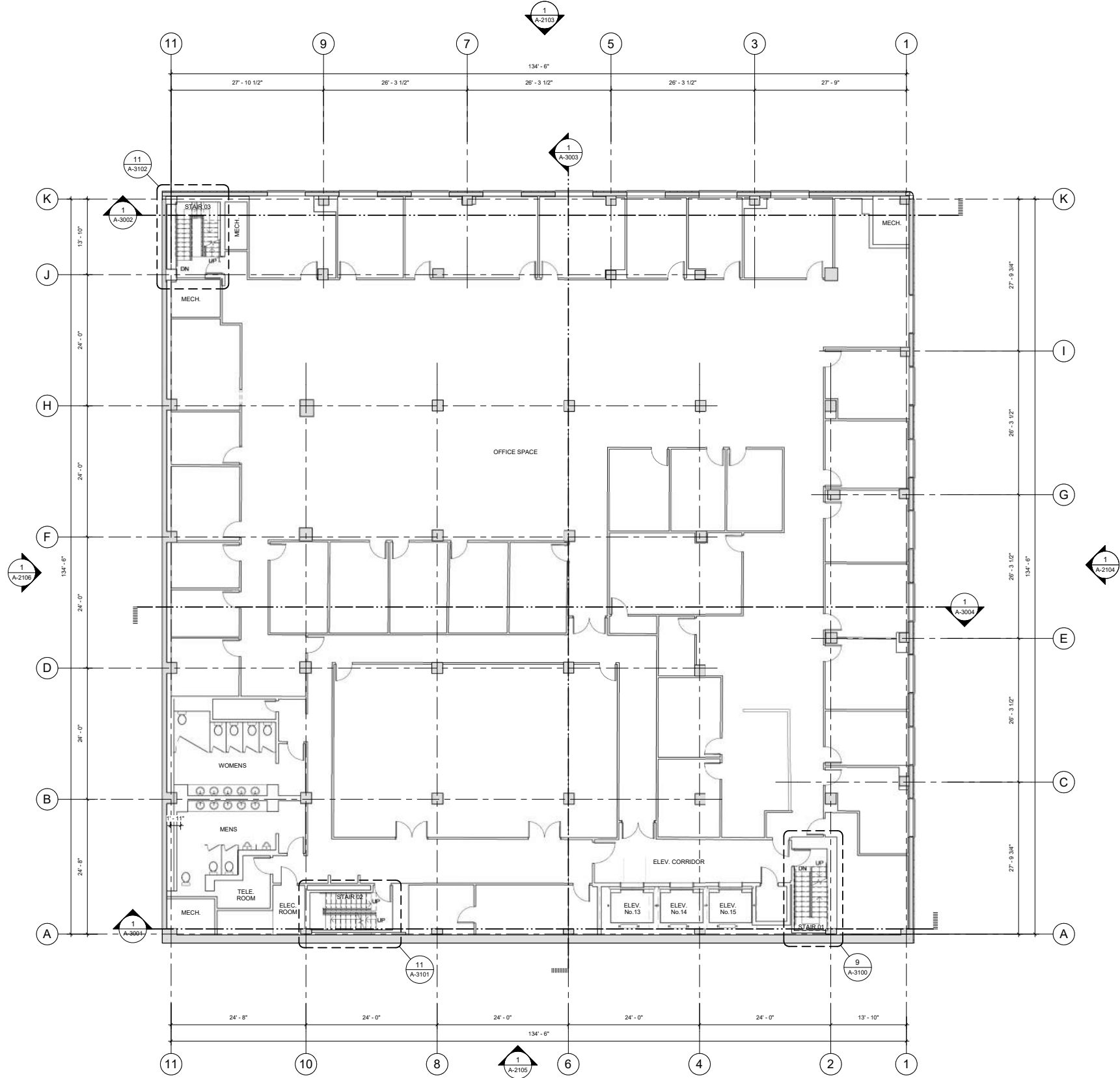
EXISTING LEVEL 8 PLAN

N.T.S.



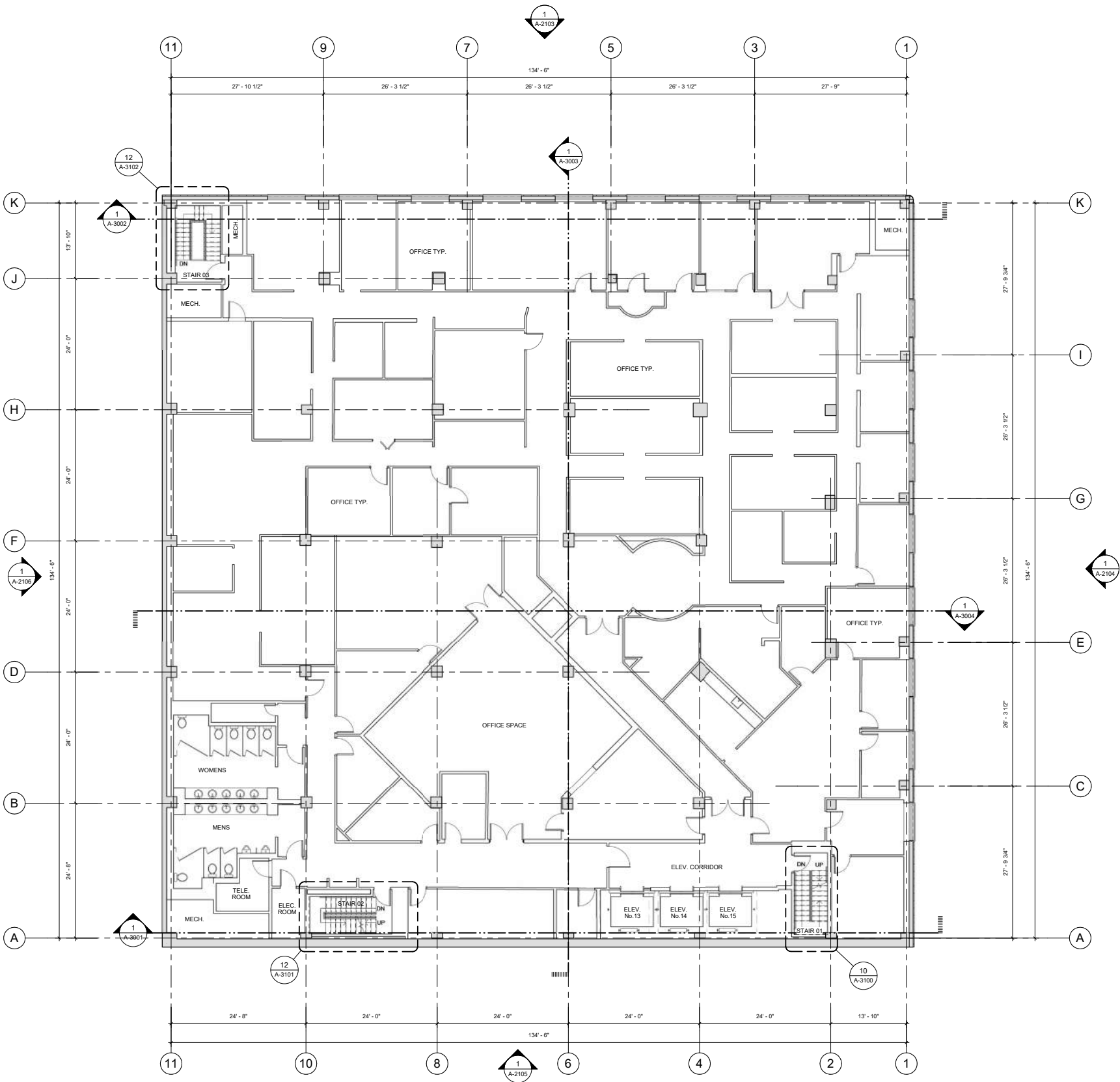
EXISTING LEVEL 9 PLAN

N.T.S.



EXISTING LEVEL 10 PLAN

N.T.S.



EXISTING LEVEL 11 PLAN

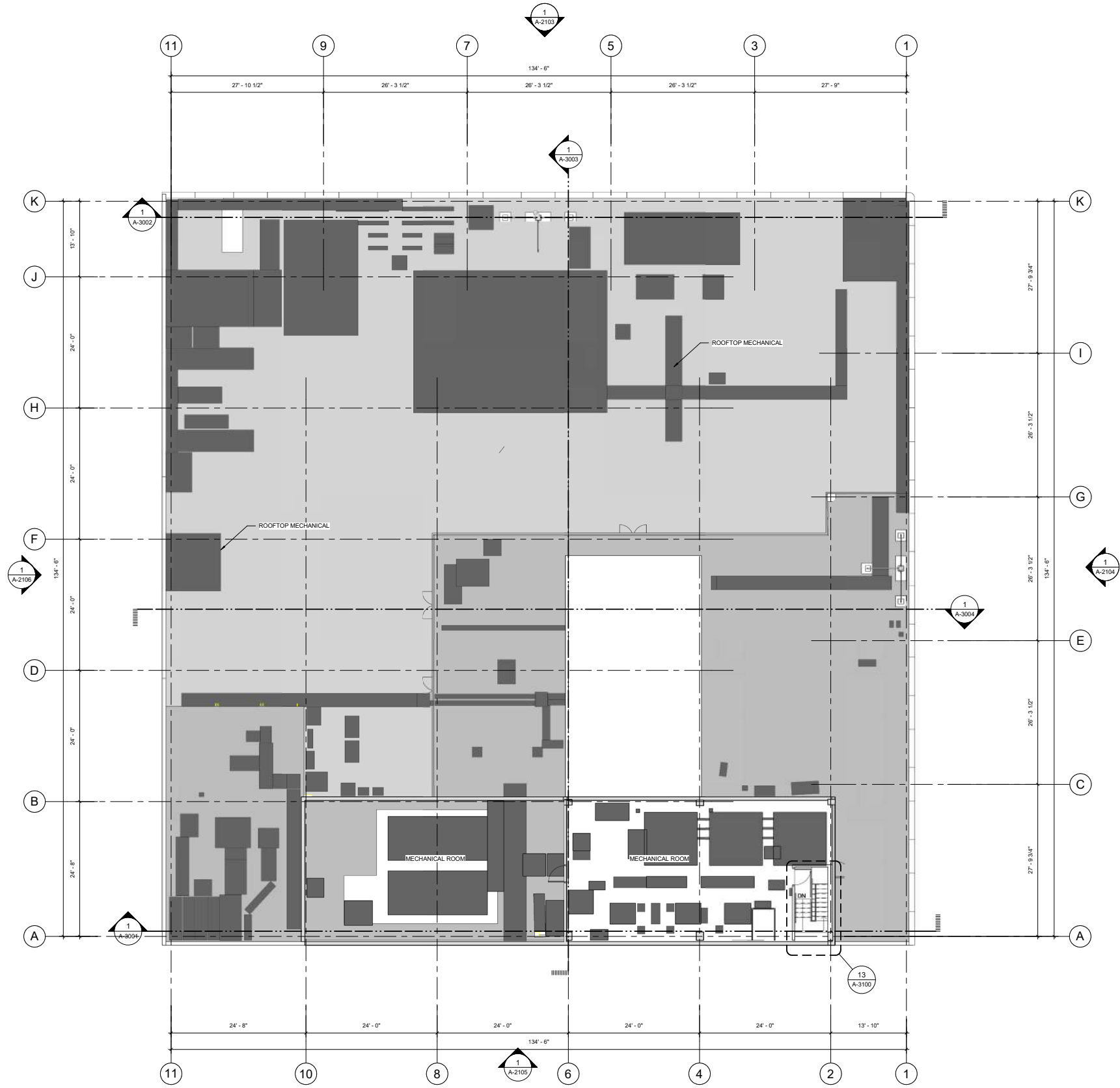
N.T.S.



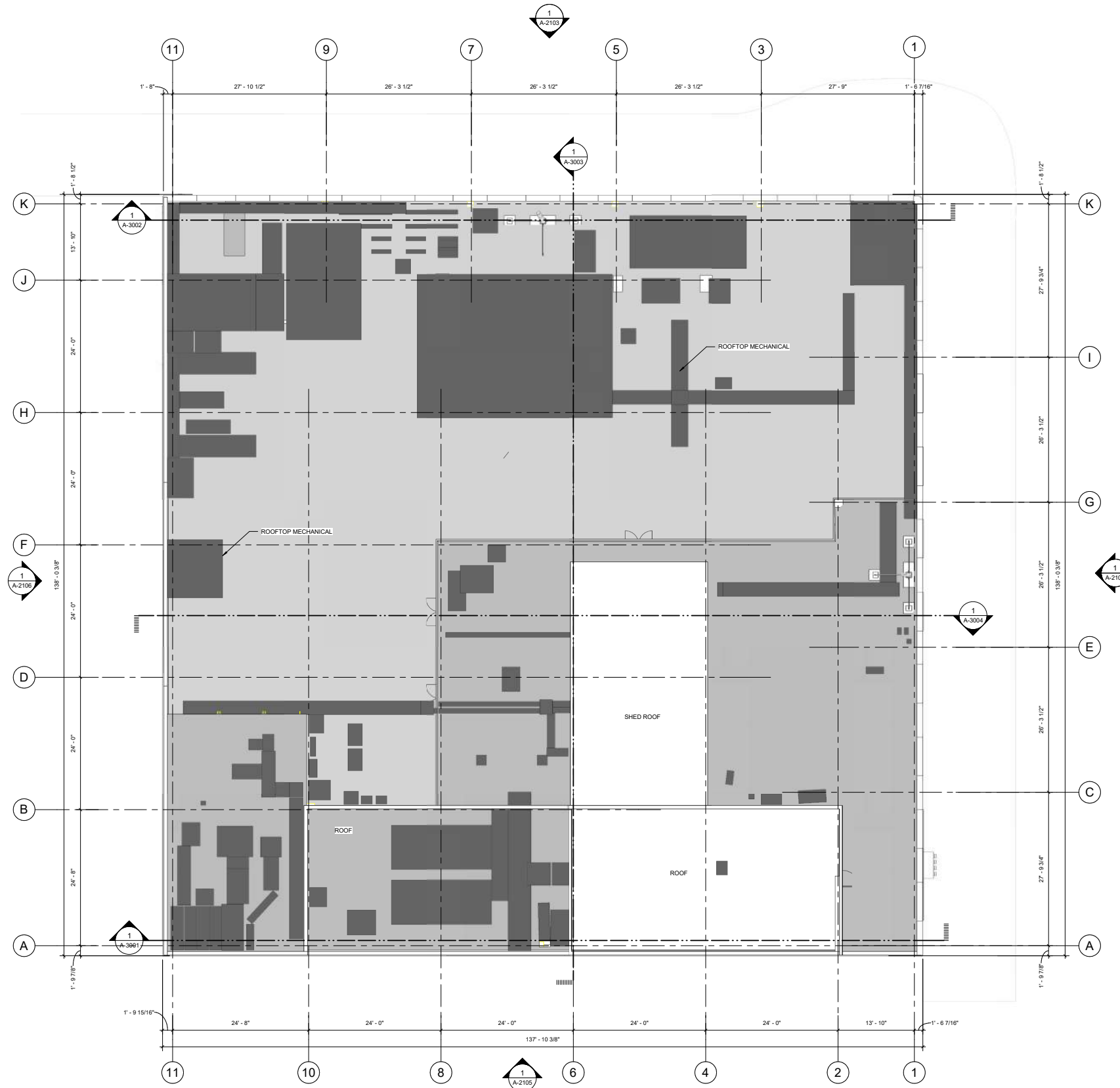
EXISTING ROOF PH 01
N.T.S.



EXISTING ROOF PH 02
N.T.S.



EXISTING ROOF PH 03
N.T.S.



MEMORANDUM

DATE May 25, 2021 PROJECT 19037
NUMBER
TO Jason Chow & Wolfgang Wagener PROJECT 233 Geary Street, San Francisco
OF Sand Hill Property Company FROM Jay Turnbull, Page & Turnbull
Elisa Skaggs, Page & Turnbull
Jason Wright, Page & Turnbull
CC P&T Team VIA Email

REGARDING **Implementation Plan, Rehabilitation: Façade & Window Conditions & Historic Restroom**

Background

Sand Hill Property Company has asked Page & Turnbull to consider an implementation plan for rehabilitation of key building features which contribute to the character of the former I. Magnin Building at 233 Geary Street. Historic features proposed to be altered include the exterior stone masonry facing and window assemblies that comprise most of the surviving character-defining aspects of this historic building, which is individually eligible to the California Register of Historic Properties and is within the Kearny-Market-Mason-Sutter Conservation District. The rehabilitation also includes the relocation of a historic restroom, formerly used by women, located on the sixth (formerly designated fifth) floor of the proposed project.

Historic Preservation Principles Related to Construction

All rehabilitation projects should begin with identification of best practices for the protection and treatment procedures of historic spaces, areas, rooms, and surfaces in the project that are proposed to be altered. To develop an appropriate strategy for the alteration of historic materials, the order of activity should be:

- 1) Document search
- 2) Physical investigation on site, including tests and an exterior survey
- 3) Models and mockups
- 4) Construction

Document Search

Original architectural drawings can inform the project approach by providing details that reveal how certain features were constructed; and therefore, how easy it will be to deconstruct without damaging historic fabric. Handel Architects have determined that the papers of Timothy Pflueger are stored in the manuscript collection of the Bancroft Library, UC Berkeley and consist of two rolls of drawings and several cartons of papers. These items would be useful in referring to original working drawings specifications, as well as possibly showing shop drawings, changes or details.

Unfortunately, the Bancroft is not open for research until at least September of 2021, due to Covid restrictions.

Offsetting the lack of availability of the Pflueger papers, the subject building was widely represented in newspapers and professional journals. Some of the journals included construction photographs and details. Research is continuing in an attempt to find additional photographs, articles and descriptions of the I. Magnin building and store.

Physical Investigation on Site

A site visit was conducted on May 17, 2021 to gain a preliminary understanding of areas proposed to be altered. As soon as permitted by the San Francisco Planning Department, the project sponsor proposes to demount a single upper-floor window from the façade of the building on the Stockton Street side. To aid in this activity, the information learned during the May 17th site visit and a detail published in *Architectural Forum* (May 1948, pages 106-107) will be used to guide removal and salvage of historic materials for the purposes of investigation. Appropriate tests of stone samples, mortar, and condition of wall structure will be made. As part of the project scope, a full survey of the marble panels will be conducted. This activity will be more fully described below.

In the historic restroom, means of attachment of marble to substrate will be studied by accessing the panels from behind; one of each fixture type (lights, sinks, faucets) will be removed; and gold-leafed ceiling will be inspected. This activity will be more fully described below.

Models and Mockups

Computer models and physical models at progressively larger scale will be routinely utilized by the architects and their consultants during design and pre-construction. Mockups of proposed window units will be prepared and at least one of each type will be installed on the building during pre-construction. A laser scan of the building has been produced and will be used to facilitate the design process and ensure that computer modeling is accurate.

Construction

Construction specifications will include the individual sections listed below. The intent will be to qualify experienced subcontractors, hold adequate pre-construction conferences, photograph and catalog construction activity, use proper care in removing and cataloging historic material to be salvaged and reinstalled, rehabilitate and repair according to specifications, and record appropriate information as part of construction closeout.

The project may include the following specifications; however, the final specifications will be determined based on investigations and survey:

- 013233 – Photographic Documentation
- 013591 – Historic Treatment Procedures and Protection
- 024296 – Historic Removal and Dismantling
- 040310 – Historic Masonry Cleaning
- 040342 – Historic Stone Masonry Repair
- 040343 – Historic Stone Repointing
- 040345 – Historic Stone Consolidation Treatment
- 050372 – Historic Metal Rehabilitation
- 079200 – Joint Sealants

Below is a discussion of historic features that will be altered as part of the proposed project and includes preliminary approaches for their treatments. As the project is developed and more information is learned, the approach will be fine-tuned.

Marble Cladding

The marble cladding on the building has been identified as White Vermont marble from the Vermont Quarries Corporation, which is still in operation. The cladding is about one inch in thickness, and a detail drawing in the article from the *Architectural Forum* magazine referenced above indicates the stone is anchored to the concrete structure of the building and is set in a bed of mortar. Joints are approximately 5/16" in width. The overall condition of the marble cladding has not been professionally assessed though cracks in the stone were noted on some of the panels along both Stockton and Geary Streets during a site visit conducted on May 17, 2021. Page & Turnbull recommends a full assessment of the marble be conducted as part of the project. Project scope should also include repairs to marble to limit water infiltration through existing cracks, pointing and sealing stone joints, and stabilization of any unsound panels. Repair work should be consistent with the Historic Stone Masonry Repair specification. Replacement of stone panels should be limited to units that are deteriorated beyond repair.



Figure 1: Photo of marble cladding. Note cracks in marble



Figure 2: Sample of White Vermont marble against the marble of the building

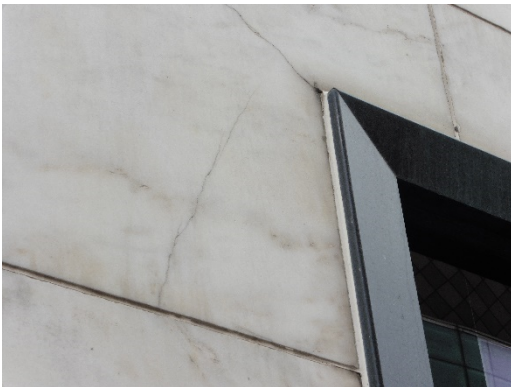


Figure 3: Note cracking at corner of storefront window



Figure 4: Note soiling across marble panels

Removal of the Marble Cladding

The marble cladding may need to be selectively removed as part of the proposed project in order to replace existing windows with new enlarged windows (levels 5-10), where replacement windows will remain the same size (levels 3-4), as well as for retail façade modifications (levels 1 and 2). All work should be performed according to the preservation specifications, including retaining a qualified masonry subcontractor with experience working on historic masonry buildings. A mockup for the removal of a single marble panel is recommended to inform the process, including identification of best means and methods. Based on the May 17, 2021 site visit and the detail from *Architectural Forum*, the process will likely include removal and salvage of the existing window, removal of the joint around the adjacent marble panel, and cutting or detaching the existing metal clips that secure the panel to the concrete structure. Cutting of the panel to accommodate the new window size may need to be performed off site. However, cutting the marble panels in place will be explored as part of the investigation.

Feasibility of replacing glazing

The existing windows were designed to accommodate replacement of the existing glazing as necessary. According to the detail in *Architectural Forum*, the existing glazing is held in place by the exterior stainless steel frame. The stainless steel frame is secured to the extruded interior aluminum frame with screws. The interior aluminum frame is in turn secured to the concrete structure using angles and strap anchors. The detail is consistent with what was visible during the May 17th site visit and confirms that replacement of the glazing is possible without damage to historic fabric. If the glazing is replaced with high performance glazing that is thicker than the existing, Page & Turnbull recommends the design of a compatible detail. This may include adjusting the size of the exterior stainless steel frame to accommodate the new glazing. If, for example, the frame projection is increased by ½", this may not be perceptible from the public right of way and would not impact the historic character of the building. Any increase in glass size or thickness will require assessment from the structural engineer on the design team. The design team should first consider types of glass units that fit within the existing frame unit.

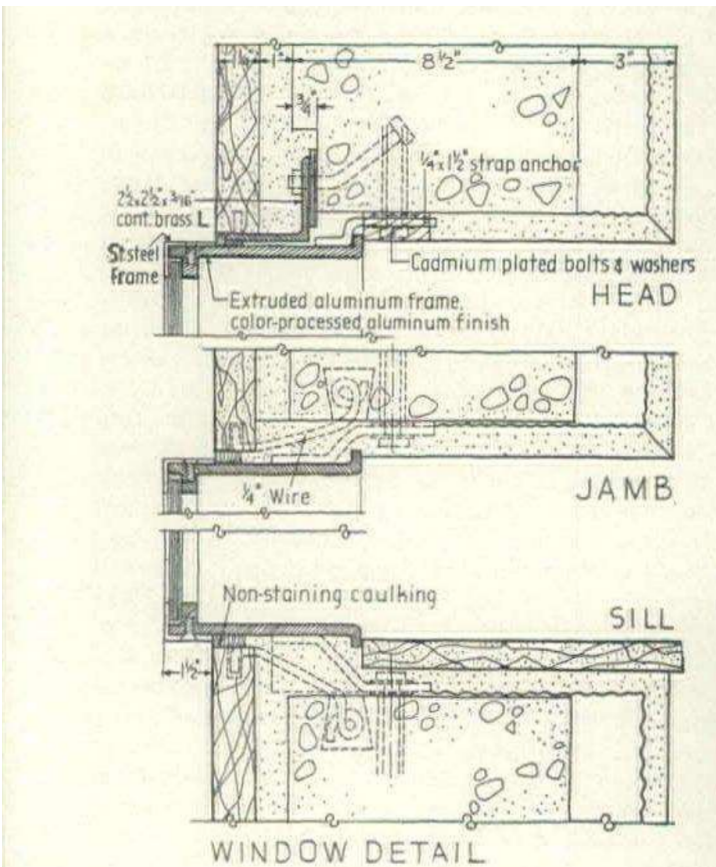


Figure 5: Window detail from Architectural Forum

Replacement of the existing windows

To test the feasibility of removing the existing windows, a mockup consisting of the removal and salvage of a single window is recommended. Discussions during the May 17th site visit included acknowledgement that the existing windows may need to be removed to the inside of the building for safety purposes. Preliminary discussions included the use of a suction cup apparatus strapped around the windows that would allow the secure and safe maneuvering of the window inside or outside the building as needed. Prior to the window removal, the aluminum window frame would need to be detached from the concrete structure by demolishing interior finishes and cutting or detaching the existing steel clips that hold the window in place. The existing clips were visible at a 10th floor window; and again confirmed that the window installation is consistent with the historic detail shown in Figure 5.

If the windows are replaced with high performance windows, the details should be designed so that the new windows are similar to the existing in appearance, including the narrow frame surround. Where replacement windows are proposed to be the same size as the existing, the option of inserting new high performance window units into the existing frames should be explored so as to avoid disturbing historic fabric to the extent possible. Likewise, the introduction of operable windows at the proposed residential floors (8, 9, and 10) should consider a clean simple design that is compatible with the single panel of the existing. Such a design could consist of a single operable window unit that pivots or one that hides the frame where the operable panels meet fixed panels.

Powder room

The historic powder room on the sixth floor is proposed to be relocated. The historic finishes are proposed to be removed and reinstalled. Most finishes such as the full height mirrored stall doors, the light fixtures, the brass-framed mirrors, and the original sinks with marble basin surrounds and brass faucets can be removed and salvaged for reinstallation. Removal of these features should conform with the Historic Treatment Procedures and the Historic Removal and Dismantling specifications. These features should be carefully removed, photographed and cataloged according to the specifications. Means and methods should be submitted for review by the design team.

The removal of the existing marble at the walls will be more challenging. The existing marble installation has very tight joints. Preliminary discussions about its removal included accessing the marble panels from the back to avoid damage to the marble. As with the exterior marble cladding, a mockup of the removal of a single panel is recommended to inform the removal of the remaining panels.

Similarly, the removal and reinstallation of the ceiling which features a gold-leaf finish may not be feasible as historic plaster ceilings were not typically installed in a way that makes them easy to

remove. Nonetheless, Page & Turnbull recommends further investigation to determine if the ceiling or large portions of the ceiling can be removed and salvaged for future installation. At a minimum, the medallion and chandelier should be salvaged, even if it is determined that the flat ceiling requires replacement in-kind. Testing of the existing finish is also recommended as any removal will require some infill of the leaf material where loss has occurred. If the ceiling cannot be removed, the new ceiling should be finished with gold-leaf that matches the existing. A portion of the existing should be retained as a reference for matching purposes.



Figure 6: Photo of women's powder room



Figure 7: Historic sinks in the women's powder room

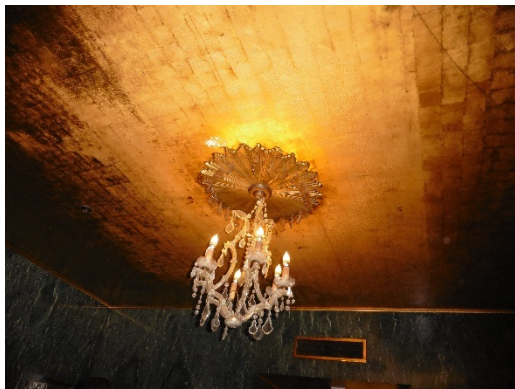


Figure 8: Light fixture in women's powder room



Figure 9: Full height stall doors



**EXHIBIT
C**

CEQA Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address 233 GEARY ST		Block/Lot(s) 0314018
Case No. 2020-005897ENV		Permit No.
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval.</p> <p>The proposed project site is located at the northeast corner of Geary and Stockton streets on a block bounded by Geary Street to the north, Stockton Street to the east, and O'Farrell and Powell streets to the south and west, respectively. The project site comprises two contiguous parcels totaling 18,906 square feet at the former Macys location on Union Square. The site includes assessor's block 0314/lots 018-020. The existing building on the site consists of 148,105 square feet of retail (basement 1 + floors 1-7), 31,552 square feet of office uses (floors 8-11), and 24,140 square feet of common space at the basement 2 level, level 11, and at the roof and mechanical penthouse levels. The building height would remain unchanged at approximately 153 feet to the roof level (179 feet in height inclusive of mechanical penthouse). The project proposes a change in use for the conversion of the existing office and retail department store (former Macys) building into a mixed-use building with approximately 63,240 square feet of retail (floors 1-3 + basement floors), 81,470 square feet of office (floors 4-7 and 11), and 49,700 square feet of residential use with 21 dwelling units (floors 8 – 10). The project would relocate the sixth floor powder room to the third floor. The roof level would include an approximately 5,300-square-foot</p> <p>FULL PROJECT DESCRIPTION ATTACHED</p>		

STEP 1: EXEMPTION TYPE

The project has been determined to be exempt under the California Environmental Quality Act (CEQA).	
<input type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input checked="" type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Other ____
<input type="checkbox"/>	Common Sense Exemption (CEQA Guidelines section 15061(b)(3)). It can be seen with certainty that there is no possibility of a significant effect on the environment.

STEP 2: ENVIRONMENTAL SCREENING ASSESSMENT

TO BE COMPLETED BY PROJECT PLANNER

<input checked="" type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g. use of diesel construction equipment, backup diesel generators, heavy industry, diesel trucks, etc.)? <i>(refer to the Environmental Information tab on https://sfplanninggis.org/PIM/)</i></p>
<input checked="" type="checkbox"/>	<p>Hazardous Materials: <input checked="" type="checkbox"/> Mahe or <input type="checkbox"/> Cortese</p> <p>Is the project site located within the Maher area or on a site containing potential subsurface soil or groundwater contamination and would it involve ground disturbance of at least 50 cubic yards or a change of use from an industrial use to a residential or institutional use? Is the project site located on a Cortese site or would the project involve work on a site with an existing or former gas station, parking lot, auto repair, dry cleaners, or heavy manufacturing use, or a site with current or former underground storage tanks?</p> <p><i>if Maher box is checked, note below whether the applicant has enrolled in or received a waiver from the San Francisco Department of Public Health (DPH) Maher program, or if Environmental Planning staff has determined that hazardous material effects would be less than significant.</i></p>
<input type="checkbox"/>	<p>Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities? Would the project involve the intensification of or a substantial increase in vehicle trips at the project site or elsewhere in the region due to autonomous vehicle or for-hire vehicle fleet maintenance, operations or charging?</p>
<input type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? If yes, archeology review is required.</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? <i>(refer to the Environmental Information tab on https://sfplanninggis.org/PIM/)</i> If box is checked, Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Average Slope of Parcel = or > 25%, or site is in Edgehill Slope Protection Area or Northwest Mt. Sutro Slope Protection Area: Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, or (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area? <i>(refer to the Environmental Information tab on https://sfplanninggis.org/PIM/)</i> If box is checked, a geotechnical report is likely required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic Hazard: <input type="checkbox"/> Landslide or <input type="checkbox"/> Liquefaction Hazard Zone:</p> <p>Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area, or (4) grading performed at a site in the landslide hazard zone? <i>(refer to the Environmental Information tab on https://sfplanninggis.org/PIM/)</i> If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<p>Comments and Planner Signature (optional): David L Young</p> <p>PLEASE SEE ATTACHED</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: <i>(refer to Property Information Map)</i>	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input checked="" type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input checked="" type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input checked="" type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input checked="" type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Reclassification of property status. <i>(Attach HRER Part I)</i> <input type="checkbox"/> Reclassify to Category A a. Per HRER b. Other <i>(specify)</i> : <input type="checkbox"/> Reclassify to Category C <i>(No further historic review)</i>
<input type="checkbox"/>	2. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input checked="" type="checkbox"/>	3. Interior alterations to publicly accessible spaces that do not remove, alter, or obscure character defining features.
<input checked="" type="checkbox"/>	4. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input checked="" type="checkbox"/>	5. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.

<input type="checkbox"/>	6. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	7. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	8. Work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties (Analysis required)</i> :
<input type="checkbox"/>	9. Work compatible with a historic district (Analysis required):
<input checked="" type="checkbox"/>	10. Work that would not materially impair a historic resource (Attach HRER Part II).
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input checked="" type="checkbox"/>	Project can proceed with exemption review. The project has been reviewed by the Preservation Planner and can proceed with exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Jonathan Vimr	

STEP 6: EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input checked="" type="checkbox"/>	No further environmental review is required. The project is exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Conditional Use Authorization	Signature: Don Lewis 06/25/2021
	<p>Supporting documents are available for review on the San Francisco Property Information Map, which can be accessed at https://sfplanninggis.org/PIM/. Individual files can be viewed by clicking on the Planning Applications link, clicking the "More Details" link under the project's environmental record number (ENV) and then clicking on the "Related Documents" link. Once signed or stamped and dated, this document constitutes an exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination to the Board of Supervisors can only be filed within 30 days of the project receiving the approval action.</p> <p>Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.</p>	

Full Project Description

The proposed project site is located at the northeast corner of Geary and Stockton streets on a block bounded by Geary Street to the north, Stockton Street to the east, and O'Farrell and Powell streets to the south and west, respectively. The project site comprises two contiguous parcels totaling 18,906 square feet at the former Macys location on Union Square. The site includes assessor's block 0314/lots 018-020. The existing building on the site consists of 148,105 square feet of retail (basement 1 + floors 1-7), 31,552 square feet of office uses (floors 8-11), and 24,140 square feet of common space at the basement 2 level, level 11, and at the roof and mechanical penthouse levels. The building height would remain unchanged at approximately 153 feet to the roof level (179 feet in height inclusive of mechanical penthouse). The project proposes a change in use for the conversion of the existing office and retail department store (former Macys) building into a mixed-use building with approximately 63,240 square feet of retail (floors 1-3 + basement floors), 81,470 square feet of office (floors 4-7 and 11), and 49,700 square feet of residential use with 21 dwelling units (floors 8 – 10). The project would relocate the sixth floor powder room to the third floor. The roof level would include an approximately 5,300-square-foot roof terrace with a 10-foot trellis. The trellis would not increase the building height. The project would include 36 Class I, and 4 Class II bicycle parking spaces[1]. Entry access to the residential units and office space would be from Stockton Street; retail access would be from Geary Street.

Freight loading would take place at the two loading spaces at the sub-basement level, accessed from O'Farrell Street, and a 23'- 2" yellow curb for active freight loading and unloading for commercial vehicles at the northeast corner of Geary and Stockton streets. The project would require 18,215 cubic feet of temporary excavation for the footings, elevator pit, showers, and utilities and 16,392 cubic feet excavation for permanent foundation support totaling of 1,334 cubic yards of debris and material. Project construction duration is estimated at 18 months and anticipated to begin in late 2021.

Step 2: Environmental Screening Comments

Air Quality: The project site is located within an air pollutant exposure zone and the proposed residential uses are subject to Health Code article 38. The sponsor submitted an Article 38 application on March 31, 2020. The project would require minor construction activities for interior renovations and foundation supports but would not add new stationary sources of toxic air contaminants. Thus, no significant construction or operational air quality impacts would occur.

Archeology - The planning department conducted a preliminary archeological review on June 14, 2021 which determined that the project would have "no effect" on archeological resources.

Noise: The project would use typical construction equipment that would be regulated by Article 29 of the Police Code (section 2907, Construction Equipment). The proposed project would not generate sufficient vehicle trips to noticeably increase ambient noise levels, and the project's fixed noise sources, such as heating, ventilation, and air conditioning systems, would be subject to noise limits in Article 29 of the Police Code (section 2909, Noise Limits).

Water Quality: Stormwater and wastewater discharged from the project site during operations would flow to the City's combined sewer system and be treated to the standards in the City's National Pollution Discharge Elimination System permit.

Hazardous Materials: The project is subject to the Maher Ordinance (Article 22A of the Health Code), which is administered by the Department of Public Health. The project sponsor enrolled in the Maher Program on July 1, 2020.

Traffic: The department's transportation staff reviewed the proposed project on June 21, 2021 and determined that additional transportation review is not required.

Natural Habitat: The project site is entirely covered with impervious surfaces and within a developed urban area. The project site has no significant riparian corridors, estuaries, marshes, wetlands, or any other potential wildlife habitat that might contain endangered, rare or threatened species. Thus, the project site has no value as habitat for rare, threatened, or endangered species.

The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations. The proposed project occurs within city limits on an existing development site of no more than 5 acres substantially surrounded by urban uses. The subject building is on an existing developed lot and adequately served by all required utilities and public services.

Public Notice: A "Notification of Project Receiving Environmental Review" was mailed on May 31, 2020 to adjacent occupants and owners of buildings within 300 feet of the project site and to the South of Market neighborhood group list. No comments were received.

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

MODIFIED PROJECT DESCRIPTION

Modified Project Description:

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

- | | |
|--------------------------|--|
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code; |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312; |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)? |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |

If at least one of the above boxes is checked, further environmental review is required.

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

- | | |
|--------------------------|---|
| <input type="checkbox"/> | The proposed modification would not result in any of the above changes. |
|--------------------------|---|

If this box is checked, the proposed modifications are exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed to the Environmental Review Officer within 10 days of posting of this determination.

Planner Name:

Date:



PART I HISTORIC RESOURCE EVALUATION RESPONSE

Record No.: 2020-005897ENV
Project Address: 233 GEARY ST
Zoning: C-3-R DOWNTOWN- RETAIL Zoning District
80-130-F Height and Bulk District
Block/Lot: 0314/001
Staff Contact: Jonathan Vimr – 628-652-7319
jonathan.vimr@sfgov.org
Melanie Bishop – 628-652-7440
melanie.bishop@sfgov.org

PART I: Historic Resource Evaluation

PROJECT SPONSOR SUBMITTAL

To assist in the evaluation of the proposed project, the Project Sponsor has submitted a:

- Supplemental Information for Historic Resource Determination Form (HRD)
 - Consultant-prepared Historic Resource Evaluation (HRE)
- Prepared by: Left Coast Architectural History, *Historic Resource Evaluation* (May 22, 2020)

Staff consensus with Consultant’s HRE report: Agree Disagree

Additional Comments: Planning Staff generally concurs with Historic Resource Evaluation provided by Left Coast, but differs with the consultant’s finding that the sixth floor powder rooms lacks integrity, and that the property possesses sufficient integrity to convey its significance in association with the post-quake reconstruction and the establishment of Union Square as the epicenter of San Francisco retail. Please see the *CEQA Historic Resource Determination / Next Steps* section prior to filing and submitting a HRER Part II.

BUILDINGS AND PROPERTY DESCRIPTION

Neighborhood: Downtown
Date of Construction: 1948 (current iteration)
Construction Type: Steel-Frame
Architect: Timothy L. Pflueger
Builder: Unknown

Stories: 10-over-basement (with large rooftop penthouse)
Roof Form: Flat
Cladding: White Marble
Primary Façade: Geary Street (North)
Visible Facades: North and East elevations

EXISTING PROPERTY PHOTO / CURRENT CONDITION



Source: 233 Geary Project Application, Architectural Drawings, Sand Hill Property Company and Handel Architects, 2020

PRE-EXISTING HISTORIC RATING / SURVEY

- Category A – Known Historic Resource, per: Inclusion on the Historic Preservation Commission’s Landmark Designation Work Program, located within the Kearny-Market-Mason-Sutter Conservation District (KMMS)
- Category B – Age Eligible/Historic Status Unknown
- Category C – Not Age Eligible / No Historic Resource Present, per: _____

Adjacent or Nearby Historic Resources: No Yes: KMMS _____

CEQA HISTORICAL RESOURCE(S) EVALUATION

Step A: Significance

Individual Significance	Historic District / Context Significance
<p>Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:</p> <p>Criterion 1 - Event: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Criterion 2 - Persons: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Criterion 3 - Architecture: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Criterion 4 - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Period of Significance: 1946-1948</p>	<p>Property is eligible for inclusion in a California Register Historic District/Context under one or more of the following Criteria:</p> <p>Criterion 1 - Event: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Criterion 2 - Persons: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Criterion 3 - Architecture: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Criterion 4 - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Period of Significance: 1906-1930 <input type="checkbox"/> Contributor <input checked="" type="checkbox"/> Non-Contributor <input type="checkbox"/> N/A</p>

Analysis:

According to the Historic Resource Evaluation, Part 1 ("HRE," dated May 22, 2020), and information accessed by the Planning Department, the subject building at 233 Geary Street is developed with a ten-story, steel-frame, marble panel clad commercial building, the current iteration of which was designed by master architect Timothy L. Pflueger and completed in 1948. Located across the southeast corner of Union Square in the downtown area, the subject building is roughly square in plan, with a flat roof, regular fenestration, and a prominent parapet. Significant known exterior alterations include replacement of the ground level storefronts and an increase to the size of several storefront openings in the 1990s. The interior has been substantially remodeled or otherwise modified through the years, with only the sixth-floor women’s powder room remaining largely intact.

Preservation staff concurs with the HRE's determination that the subject building is eligible for listing in the California Register of Historical Resources (CRHR) under Criteria 1, 2, and 3. First home to a two-story commercial structure fronting Stockton Street, Emma G. Butler commissioned its replacement with a nine level masonry structure that broke ground in 1905. Under construction when the 1906 earthquake struck, the Butler Building would survive and reach completion in 1908. Housing the glassware and crockery retailer Nathan-Dohrmann Company, the Butler Building was part of the broader redevelopment of the Union Square area as the retail center of San Francisco and one of the most prominent retail districts in the country. The Nathan-Dohrmann Company moved west to 281 Geary Street in 1944, which conveniently happened to be the same year the I. Magnin department store merged with Bullock’s, a larger chain. Having begun in 1876 as a small clothing shop at Grant Avenue and Geary Street, I. Magnin would retain its name and autonomy through the merger and sought larger, state-the-art quarters for its mid-40s expansion. Its then head, Grover Magnin, originally intended to demolish the Butler Building and replace it with a structure clad in white marble and black granite, but the ongoing wartime steel shortage dictated that the Butler Building be stripped while retaining its structural framework, and subsequently entirely re-clad per the design by architect Timothy Pflueger. Pflueger had by this point established himself as a prominent architect locally and throughout the state, having already designed several other I. Magnin stores across California. Work began in 1946 and would be completed with the building’s opening in January 1948. Touted during construction as one of the most elaborate stores in San Francisco, and also thought to be the city’s first entirely air conditioned building, it was immediately praised for features such as its interior fire escapes, unique elevator vestibule, sound proof changing rooms, and a host of amenities for employees. Though Magnin and Pflueger had input on the interior design and furnishings (Magnin personally designed the crystal chandeliers, for example), Neel D. Parker is credited as the interior designer.

Beginning as the Butler Building in 1907, the subject property appears significant for its association with the broad

pattern of development in San Francisco's Union Square and downtown area. Having only started construction in 1905, completion of the Butler building was part of the overall reconstruction and economic rebound of San Francisco in the years following the 1906 earthquake and fire. Home to the largest crockery and glassware store in the country at the time, this first iteration of 233 Geary was also part of firmly establishing Union Square and the surrounding streets as one of America's premier retail and shopping districts. But while the property has maintained its role as a prominent retail center through the decades, all elements of the Butler Building other than its steel frame were demolished as part of the I. Magnin remodel in the late 1940s. As such the property has lost any ability to convey its significance in association with post-quake reconstruction and the establishment of Union Square as the epicenter of San Francisco retail. Having said that, 233 Geary *does* appear to be a local, distinct representation of the national shift in the character of department stores immediately following World War II. Bouncing back to pre-Depression levels in terms of numbers, the prosperity the nation experienced following the war went hand in hand with Department stores from Los Angeles, to San Francisco, to Chicago and New York being remodeled or newly constructed with contemporary architectural and interior design aesthetics. These aesthetics included the drive for a more opulent, higher end experience. The development of 233 Geary exemplifies this and is therefore significant for its association with broad patterns of local or regional history and is eligible under Criterion 1.

The subject property also appears individually eligible under Criterion 2 for its association with Grover Magnin and the overall Magnin family and business. The Magnin family's roots on both sides can be traced back to Central Europe, specifically to the Netherlands. Isaac Magnin (Moeijen) was born in 1842 in Groningen, a city in the northern Netherlands, the eldest son of a Russian father and Dutch mother.¹ He emigrated to the United States with his parents when he was a child and worked as a travelling merchant throughout Texas and New Mexico as a young adult before enlisting in the army during the Civil War (sources conflict on whether Magnin served in the Confederate or Union Army). After the war's end, the Magnin family returned to Europe, this time to London where Isaac opened an art supply store. Mary Ann Cohen was born in 1848 in Scheveningen, a district of The Hague. She emigrated as a young child with her family, including her father who was a rabbi, to London. While little is known of her early life, many sources note that Mary Ann was only sixteen when she met and married Isaac Magnin in London in October of 1865.² The family had eight children: Samuel, Henrietta, Joseph, Emanuel John, Victor, Lucille, Flora, and Grover (the only Magnin child born in the United States). Isaac and Mary Ann lived in London with their children for approximately ten years, before immigrating to the United States in 1876. The Magnins travelled by ship to California by way of Cape Horn. Upon their arrival, they settled temporarily in Oakland where Isaac took a job as a woodcarver at Solomon Gump's Mirror and Picture Framing Shop in San Francisco at Market & Second Street. While working at Gump's Isaac was tasked with gilding the ceiling of a nearby church. Thinking of her husband's safety and fearful he may hurt himself falling from a scaffold and be unable to work, Mary Ann asked him to quit and offered to find a way for the family to make ends meet.

What originally began this way would grow into the first major American department store established by a woman.³ Mary Ann Magnin set up a small workshop in the family home to sew lingerie for the wealthy women of San Francisco and the Bay Area. Magnin crafted nightgowns, chemise, bridal gowns, and baby clothes, sourcing most of her lace and linen from Europe which gave the Magnin brand the reputation of being high quality and expensive. Mary Ann eventually opened a small store in Oakland to serve her clientele and as the business grew, moved the business from shop to larger shop and her clientele followed. In 1877, the Magnin's opened their first store in San Francisco on Market Street with Mary Ann affectionately naming it "I. Magnin & Company," after her husband, Isaac. Though the store bears Isaac's name, it is important to note that the business was founded by Mary Ann, who took great care and pride in operating the business herself throughout her life even after retirement. The Magnin children

¹ Robert P. Swierenga, *The Forerunners: Dutch Jewry in the North American Diaspora* (Detroit, Michigan: Wayne State University Press, 1994), 310.

² Robert Hendrickson, *The Grand Emporiums: The Illustrated History of America's Department Stores* (New York, New York: Stein and Day, 1979), 162

³ Hendrickson, 162.

were brought up in the family business with several taking on active roles as they became adults and finished schooling. Sons Emanuel (John), Grover, Sam, and Joseph entered the family business around the turn of the century and would each go on to leave their mark upon the company. Joseph eventually founded his own store after falling in love with an I. Magnin millinery worker named Charlotte “Lottie” Davis, breaking a company policy that forbade family members from dating female workers. The two married and were co-owners of J. Magnin & Co, which marketed itself as a more affordable, accessible alternative to I. Magnin.⁴ Joseph Magnin’s break from the rest of the family allegedly caused a rift that lasted decades.

The Magnin family were among some of the most prominent in San Francisco. Family patriarch Isaac was a member of the Masonic Order in London and rose to the highest rank in the United States. Son Grover Magnin became treasurer of the American Council for Judaism, an anti-Zionist organization during World War II.⁵ Members of the family were upwardly mobile, belonged to the prestigious Temple Emanu-El congregation, and were respected throughout the Bay Area and California. Rabbi Edgar Fogel Magnin, son of Isaac and Mary Ann’s oldest son Samuel, became the spiritual leader of Reform Judaism in Southern California during the mid-twentieth century. Born into the family of department store magnates in 1890, Rabbi Magnin became a well-known lecturer, author, and civic leader in California and his Congregation B’nai B’rith in Los Angeles one of the most influential synagogues in the United States. Rabbi Magnin went on to write columns for the Los Angeles Herald Examiner and the Anglo-Jewish weekly Heritage, as well as serve as an adjunct professor of homiletics at the HUC Jewish Institute of Religion. He also developed a friendship with President Richard Nixon, who asked him to deliver the prayer at his presidential inauguration in 1969.⁶

The Dutch Jewish population in early nineteenth century San Francisco was small and transient, numbering less than one hundred people.⁷ Following the discovery of gold in Northern California in 1848, the city grew immensely and rapidly and within five years had nearly 60,000 residents. By the 1870’s, San Francisco was the city with the second largest Jewish population in the United States with 15,000-18,000 Jewish residents.⁸ Though significant, this number was far below New York City’s Jewish population estimate of 75,000-100,000. The earliest Jewish arrivals in San Francisco came from other places in the United States including Charleston, New Orleans, Saint Louis, and New York City. Most immigrated from German held lands of central Europe, but all nationalities were represented. In the early days, much of the Jewish population of San Francisco celebrated religious services and holidays together, with many new Jewish arrivals meeting for the first time on Rosh Hashanah in 1849. By 1850, the First Hebrew Benevolent Society was established to raise funds resulting in the purchase of two city lots for the city’s first Jewish cemetery. By late 1850, congregations began to separate based on nationality due to differences in beliefs.⁹ The economic life of the Jewish in San Francisco revolved mostly around merchandising in the central financial district. At the top of the new societal hierarchy was an elite group of pioneer German Jewish clothing and dry goods manufacturers, including Levi Strauss. The majority of Jews identified in San Francisco city directories between 1861-1865 were middle class with many listing their occupation as dealers and merchants, salesmen, skilled craftsmen, and bookkeepers. According to Robert P. Swierenga’s *The Forerunners: Dutch Jewry in the North American Diaspora*, the Dutch Jewish population was scattered throughout the city in the early nineteenth century, but by 1880 had congregated near Market Street between Third and Sixth streets.¹⁰

Mary Ann’s role in the business was typical of many Jewish families in the Netherlands. Swierenga further states, “Among the Dutch, only Jews appreciated women’s work and Jewish women alone wished to be business partners

⁴ Hendrickson, 166.

⁵ Swierenga, *The Forerunners*, 311.

⁶ Swierenga, 312.

⁷ Swierenga, 294.

⁸ Swierenga, 294.

⁹ Swierenga, 294.

¹⁰ Swierenga, 296.

even when there was no urgent need.”¹¹ Mary Ann ran her business with efficiency, attention to detail, and an independence that was not recognized in America at the time. The first I. Magnin store in San Francisco was located on Market Street and was one of the first retail stores in the city to display their merchandise in a way that incorporated interior design—with cabinets, showcases, and gilded mirrors. As the business continued to grow, the Magnins established their own buying office in New York City as a way to keep up with the latest fashion trends and stay ahead of competition. Along with much of San Francisco, the 1906 Earthquake and Fire levelled the I. Magnin store on Market Street. The family operated out of their home at 1482 Page Street for a time, until a \$50,000 loan with no interest from I.W. Hellman, president of Wells Fargo enabled them to rebuild. The new headquarters for I. Magnin were located downtown at Grant and Geary and sales rose due to the influx of workers during the city’s reconstruction. Around this time, E. John Magnin took over as head of the company. During his tenure as president of I. Magnin & Co., John resided primarily in New York City, the only head of a Pacific Coast retail chain to do so. Magnin is responsible for discovering many of the great design talents of the century including Jeanne Lanvin, Louis Boularges, Philip Mangone, and Hattie Carnegie. The creation of the “Magnin Woman” aesthetic was born during John Magnin’s reign as well, when the department store held up its reputation as a high quality, white-glove department store.

Though Mary Ann had technically retired from the family business in-store operations, the matriarch conducted daily inspections of the store at 3pm, even while she was confined to a wheelchair. Mary Ann further demonstrated her dedication to the business she built when she continued to make visits to the store in her final days, allegedly by ambulance and stretcher, according to an account written by business historian Milton Moskowitz.¹² Mary Ann only fully retired upon her death at the age of ninety-five in 1943, the last year the store was owned fully by the Magnin family. Following this, the company was absorbed by Bullock’s, though it appears Grover Magnin continued to oversee its operation for at least some time.

During Grover’s time as president of the company it went from a single location to a successful chain across the West Coast and was reputedly among the most luxurious brands of department stores in the country. Grover was key in the remodel of 233 Geary as he hired Pflueger as the architect and would even go on to travel Europe with him in the later 1930s in order gain design insights for I. Magnin stores, particularly this flagship location in San Francisco. Living in the Sant Francis Hotel just across Union Square, he likely had frequent involvement with and oversight of the remodel’s construction in the later 1940s. As such 233 Geary is the I. Magnin most closely associated with Grover Magnin.

As stated in the HRE, Pflueger’s iteration of the building at 233 Geary Street has high architectural merit rising to the level of individual significance and eligibility under Criterion 3. Though related to several other I. Magnin stores along the West Coast, the design is nonetheless distinct from these and avoids any simple stylistic categorization. Exhibiting characteristics from various modernist manners, such as Art Moderne and the International Style, its design stands alone and represents Pflueger’s exploration of new aesthetics as he reached the end of his career and, tragically, life. In contrast to the punched and deeply recessed window openings that were nearly ubiquitous in the area, Pflueger chose to install window systems that sat proud of the building face, both as a design decision and also in an effort to make the structure “pigeon proof.”¹³ Describing the impetus for the design to Herb Caen during its construction, Pflueger quipped that it was “A Piece of Cake” and that “The dimensions were already there—I just filled in the blanks with the best damn marble I ever saw.”¹⁴ Pflueger is widely recognized as a master architect

¹¹ Swierenga, 310.

¹² Swierenga, 310.

¹³ Therese Poletti, *Art Deco San Francisco: The Architecture of Timothy Pflueger*, New York, New York: Princeton Architectural Press, 2008, p. 218.

¹⁴ Timothy Pflueger to Herb Caen in Bill Van Niekerken, “When San Francisco department store were royalty, I. Magnin was king,” *San Francisco Chronicle*, February 13, 2019: https://www.sfchronicle.com/chronicle_vault/article/When-San-Francisco-department-stores-were-13606199.php

responsible for some of the Bay Area’s Art Deco and other modernist structures, and is known for his approach to designing both the interior and exterior of many of his projects. While Neel D. Parker lead the interior effort at 233 Geary, Pflueger is believed to have been involved, and this is reflected by the opulent finishes and furnishings found throughout the interior. While much of the lavish interior has been destroyed, there are two spaces that remain intact: the sixth-floor women’s powder room and a dressing salon found on the fourth floor. While some fixtures have been replaced in-kind over the years, the powder room in particular appears virtually untouched and exhibits the elaborate, high style design the building historically had throughout the interior. Associated with a master architect and possessing high artistic merit and the interior and the exterior, 233 Geary is individually eligible under Criterion 3.

The subject building does not embody a rare construction type and therefore is not individually eligible under Criterion 4 as it applies to buildings and structures. (The potential archeological significance of the site is not addressed in this report.)

The subject building is a Category V (Unrated) property located within the locally designated and CRHR-eligible Kearny-Market-Mason-Sutter Historic District (KMMS). While the designation for KMMS does not include an explicit period of significance, it is apparent that it stretches from roughly 1906-1930. The designation refers to the district as a collection of early twentieth century commercial architecture, the entire area as having been built in less than twenty years following the great quake and fire, and that Union Square had been established as the city’s premier shopping districts by the 1920s. Pflueger’s iteration of 233 Geary is well outside the approximate period of significance. And though its design certainly relates to the character of the early 1900s buildings, it does so in relatively subtle ways while featuring little to no rustication, façade articulation, or revivalist detailing while also being intentionally designed with a rigid grid of windows that project beyond the face of the building. Given its construction date and architectural design the subject property is therefore noncontributory to KMMS, but its subtle relation to the surrounding district allows it to nonetheless maintain general compatibility.

Step B: Integrity

The exterior of the subject property has retained or lacks integrity from the period of significance noted in Step A:

Location:	<input checked="" type="checkbox"/> Retains	<input type="checkbox"/> Lacks	Setting:	<input checked="" type="checkbox"/> Retains	<input type="checkbox"/> Lacks
Association:	<input checked="" type="checkbox"/> Retains	<input type="checkbox"/> Lacks	Feeling:	<input checked="" type="checkbox"/> Retains	<input type="checkbox"/> Lacks
Design:	<input checked="" type="checkbox"/> Retains	<input type="checkbox"/> Lacks	Materials:	<input checked="" type="checkbox"/> Retains	<input type="checkbox"/> Lacks
Workmanship:	<input checked="" type="checkbox"/> Retains	<input type="checkbox"/> Lacks			

Analysis:

In order to be determined eligible for the CRHR, the subject building must be found to retain sufficient integrity to convey its historic significance under Criteria 1, 2, and 3. Planning staff concurs with the HRE’s finding that the exterior of the building retains all seven aspects of integrity. Although modifications to the ground level have slightly altered the subject building’s integrity of design and materials, these changes are not sufficient to result in a determination that overall integrity or any single aspect of integrity has been significantly diminished.

Therefore, the subject building retains sufficient integrity at both the exterior and is a historic resource individually eligible for the CRHR under Criteria 1, 2, and 3.

The interior of the subject property has retained or lacks integrity from the period of significance noted in Step A:

Location:	<input checked="" type="checkbox"/> Retains	<input type="checkbox"/> Lacks	Setting:	<input type="checkbox"/> Retains	<input checked="" type="checkbox"/> Lacks
Association:	<input type="checkbox"/> Retains	<input checked="" type="checkbox"/> Lacks	Feeling:	<input type="checkbox"/> Retains	<input checked="" type="checkbox"/> Lacks
Design:	<input checked="" type="checkbox"/> Retains	<input type="checkbox"/> Lacks	Materials:	<input checked="" type="checkbox"/> Retains	<input type="checkbox"/> Lacks
Workmanship:	<input checked="" type="checkbox"/> Retains	<input type="checkbox"/> Lacks			

Analysis:

Although much of the historic interior has been destroyed, including significant diminishment of the fourth-floor dress salon, the Department finds that the sixth-floor powder room remains largely intact. An isolated, self-contained area with much of its historic materials and features remaining, the powder room continues to convey its character while also serving as a limited, but nonetheless representative example of the splendor historically found throughout the building’s interior. Without the remainder of the building’s interior, this space has lost its integrity of association and perhaps feeling and setting, but it continues to convey all strictly tangible aspects of integrity (materials, design, workmanship) as well as location.

Therefore, the subject building retains sufficient integrity at the exterior and at a single interior space (the sixth-floor powder room) and as previously stated is a historic resource individually eligible for the CRHR under Criteria 1, 2, and 3.

Step C: Character Defining Features

The period of significance is 1948, the year of the completion of Pflueger’s complete overhaul of both the interior and exterior and opening of the building as the flagship I. Magnin store. The subject building’s character-defining features at the exterior that retain enough integrity to convey its significance are:

- Rectilinear, box-like massing
- Mid-rise (10 stories over basement) height
- Curved building corner
- Uniform, largely unarticulated facades
- Flat roof/roofline
- White, Vermont marble cladding
- Black granite at the base and around ground floor openings
- Uniform grid of windows located above the ground level
- Single-light, aluminum framed windows that project from the face of the building
- Double-height entry openings, uniformly and symmetrically placed at the ground floor
- Square display window openings, uniformly and symmetrically placed at the ground floor
- Parapet pierced with rectangular openings

The property’s character-defining features at the interior that retain enough integrity to convey its significance are:

- Sixth floor women’s powder room, consisting of:
 - Dark green and cream-colored marble finishes
 - Gold leaf ceiling
 - Three intact original sinks with marble basin surrounds and brass faucets
 - Brass-framed mirrors
 - Exposed bulb light fixtures
 - Toilet stalls with full height mirrored doors.

CEQA HISTORIC RESOURCE DETERMINATION

- Individually-eligible Historical Resource Present
- Contributor to an eligible Historical District / Contextual Resource Present
- Non-contributor to an eligible Historic District / Context / Cultural District
- No Historical Resource Present


NEXT STEPS

- HRER Part II Review Required
- Historic Design Review Comments provided per Plan Check Letter No. 1 (dated 12/24/2020)
- No further historic resource review, consult:
 - Current Planner
 - Environmental Planner

PART I: Approval

Preservation Team Review Concurred with this Determination.

Date: _____

Signature:  _____

Date: 4/30/2021

Elizabeth Gordon-Jonckheer, *Principal Planner*
Northwest Team and Historic Preservation Manager, Current Planning Division



HISTORIC RESOURCE EVALUATION RESPONSE

Record No.: 2020-005897ENV
Project Address: 233 GEARY STREET
Zoning: C-3-R DOWNTOWN- RETAIL Zoning District
80-130-F Height and Bulk District
Block/Lot: 0314/018-020
Staff Contact: Jonathan Vimr – 628-652-7319
Jonathan.Vimr@sfgov.org

Part II: Project Evaluation

Proposed Project:	Per Drawings Dated:
<input type="checkbox"/> Demolition / New Construction <input checked="" type="checkbox"/> Alteration	May 25, 2021

PROJECT DESCRIPTION

- Expand smaller storefront openings at ground floor
- Install new storefront systems and metal cladding
- Expand existing window openings throughout the exterior and infill with new window systems
- Remove a portion of the blank, west elevation
- Remove limited portions of marble cladding throughout the primary elevation to accommodate expanded openings
- Relocate the historic sixth floor powder room to the third floor

PROJECT EVALUATION

The proposed project’s conformance with the Secretary of the Interior’s Standards:	
Standard 1 – Minimal Change: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A Standard 2 – Maintain Character: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A Standard 3 – Avoid Conjecture: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A Standard 4 – Acquired Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A Standard 5 – Building Techniques: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	Standard 6 – Repairment: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A Standard 7 – Treatments: <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A Standard 8 – Archeology: <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A Standard 9 –Compatibility: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A Standard 10 –Reversibility: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

See **Project Impact Analysis** comments for additional information.

DISTRICT COMPATIBILITY ANALYSIS

The proposed project’s conformance with the District’s Character-Defining Features:
The subject property is a noncontributory to the Kearny-Market-Mason-Sutter Conservation District, but the aspects of its design that do relate to the district’s character-defining features will be retained nonetheless. These include the subject property’s overall scale and massing, its somewhat abstracted but present tripartite composition, its defined

and pedestrian-oriented ground floor with high levels of transparency, the visual weight and grounding of the masonry clad building, and the balance between solid and void seen along the Geary and Stockton street facades. Given this and the additional analysis below, the property will continue to relate to the surrounding district in much the same way as it currently does and the proposed alterations to the noncontributory property would not result in any diminishment of the historic district's character.

See *Cumulative Impacts Analysis* comments for additional information.

PROJECT DETERMINATION

Based on the Historic Resource Evaluation in Part I, the project's scope of work:

- Will** cause a significant adverse impact to the **individual historic resource** as proposed.
- Will** cause a significant adverse impact to a **historic district / context** as proposed.
- Will not** cause a significant adverse impact to the **individual historic resource** as proposed.
- Will not** cause a significant adverse impact to a **historic district / context** as proposed.

PROJECT IMPACT ANALYSIS

As proposed, the subject property's character-defining features and historic fabric would largely be retained, with all alterations being compatible with the existing design. A substantial amount of the marble and granite cladding found at the ground level would be preserved, with the rounded corner going untouched. While the smaller display windows would be enlarged, the ground floor was substantially modified in the past, and new fenestration will be consistent with the larger openings already prevalent on both the Geary and Stockton street facades. With several pillars still extending down to grade, the base of the building will retain sufficient solidity and continue to visually ground the masonry structure. A medium to dark toned bronze is proposed for new storefront systems, doors, and small stretches of new cladding at the ground level. Though metallic in nature, it will be compatible with the building and surrounding district as it will not be glossy or highly reflective in appearance and is referential to the material historically used for the building's primary entryway and signage.

The large expanse of unbroken marble at either side and the top of the building that frames the building's rigid grid of windows will also be virtually unchanged, as will the perforated parapet. The lower two levels of the window grid itself (building floors three and four) will go unaltered, with the window openings at floors five through nine extended only at the sill, and the topmost row of windows proposed to have both the sill and head expanded vertically. In sum, no new window bays would be created, and the strict symmetry of the grid would be retained. This is despite the topmost row of windows varying slightly from those below, as the difference between the height of the topmost window openings (11') is similar enough to that of those below (8'6") to sufficiently retain the architectural parti. Portions of marble panels will need to be removed to accommodate the expanded openings, but the removal is limited relative to the overall volume of marble and approximately 75%-80% of the cladding between each row of windows will be preserved, retaining the exterior's uniform contrast between solid and void. New window systems will have visible, exterior frames matching the profile and material (aluminum) of the historic frames, and will also project slightly from the face of the building in keeping with Pflueger's attempt to design "pigeon proof windows." Although the top three rows of windows will incorporate a small operable light and therefore feature a single horizontal mullion in each window, the dark finish of the frame/mullion, the height of these window levels above the

street, and retention of a dark colored tint for the glazing will ensure that these mullions are hardly if at all perceptible. As such the grid will continue to appear composed of fixed single-lite windows. Overall, the changes to the windows grid will be recognizable, but its contrast between light and dark as well solid and void will be maintained. As will its general sense of symmetry and uniformity and the role of the window grid in the overall composition of the exterior. Finally, the new window systems will feature exterior frames and glazing matching that of the existing design.

A portion of the blank, western elevation will be removed at the highest levels of the building in order to provide improved access to natural light and air for residential units proposed for the top floors. Though this alteration will be visible from the surrounding public right-of-way, the western elevation is strictly utilitarian in nature with no character-defining features or architectural detailing present. Given this, the setback location of the area proposed for removal, and that the solid wall will continue to be visible below the new opening, the building will retain its sense of scale and rectilinear, box-like massing.


The historic interior of the building has been almost entirely destroyed over the past several decades, with the sixth-floor powder room being the only remaining character-defining feature at the interior. As it is only one of many character-defining features (see HRER Part 1), its wholesale removal would not have any significant effect that would diminish the overall the building. Regardless, the project proposes to fully preserve the washroom portion of this historic interior space and relocate it to the third floor. Though the washroom does not represent the entirety of the powder room, it is the most strictly intact and is where the lavish finishes and features are most highly concentrated as it includes green marble clad walls, a gold leaf ceiling, and opulent sinks and light fixtures. Further, since the use of the sixth floor will be converted to office as part of the project, shifting the washroom to the third floor ensures that it remains publicly accessible and is not removed from the public realm. It is believed that the historic materials and features that compose the washroom can be removed and reinstalled, but if this proves impossible the washroom will instead be fully recreated with materials, profiles, dimensions, and finishes matching that of the historic. If this recreation were to be necessary it would represent historically accurate and appropriate restoration rather than rehabilitation, with either approach complying with the associated Secretary of the Interior's Standards for the Treatment of Historic Properties.

Since the property's various character-defining features and historic materials will largely be retained, the conversion of the building from an almost entirely retail use to a mix of commercial and residential uses will result in minimal change to the site and its environment. As discussed above, the distinctive features of the property will be retained, and its historic character continued to be conveyed. The window systems proposed to replace the existing will match the historic in appearance and material, while the new bronze cladding will have a darker, non-glossy appearance in keeping with the building's contrast between the stark white marble and the black glazing and granite. No conjectural features or architectural elements from other buildings are proposed. Though the ground floor is the area proposed for the most substantial alterations, these changes are compatible with but differentiated from the historic in that the new openings will continue to be framed by marble and granite cladding, but will be unified in size. This approach increases the openness and transparency of the building's base but retains sufficient solidity to ensure the building remains grounded. The proposed work is also reversible as the marble used to clad the structure continues to be produced and made available. Changes to building's fenestration could therefore be reverted to the existing conditions without any impairment to the essential form and integrity of 233 Geary and the surrounding environment.

CUMULATIVE IMPACTS ANALYSIS

No demolition is proposed as part of the project, and the character-defining features of the subject property will largely be retained as discussed above. Given this and that the subject property is noncontributory to the subject historic district, the project would not result in any cumulative impacts.

PART II: Principal Preservation Planner Review

Signature:  _____

Date: 6/21/21 _____

Elizabeth Gordon-Jonckheer, *Principal Planner*
Northwest Team & Historic Preservation, Current Planning Division

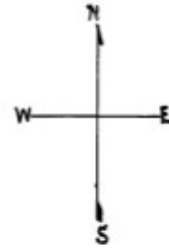
CC: David Young, *Senior Planner*
Environmental Planning Division

HRER PART II ATTACHMENTS:

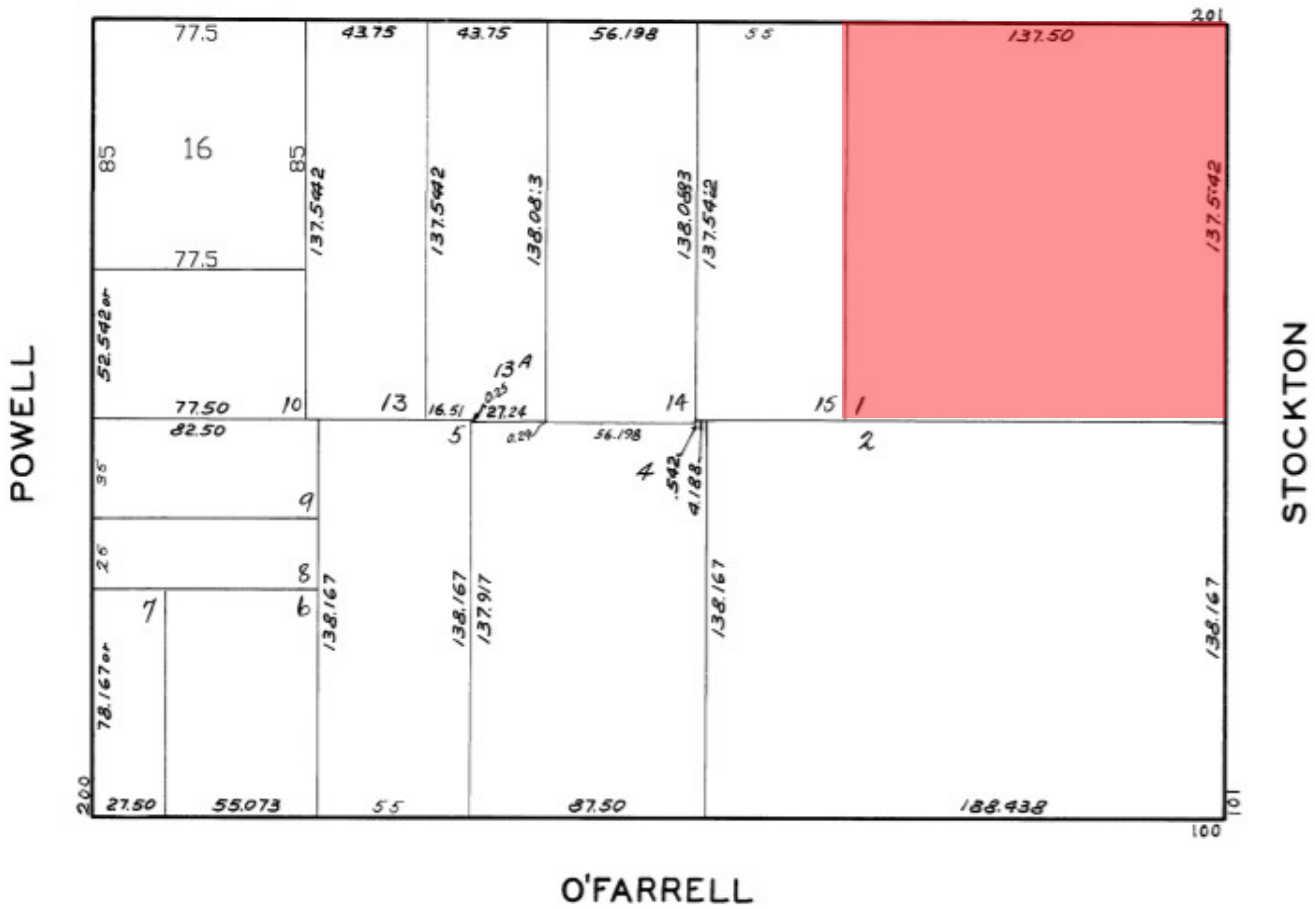
- Architectural Plans, dated: May 25, 2021
- HRE / Supplemental, dated: May 22, 2020
- HRER Pt.1, finalized date: April 30, 2021

Parcel Map

EXHIBIT D

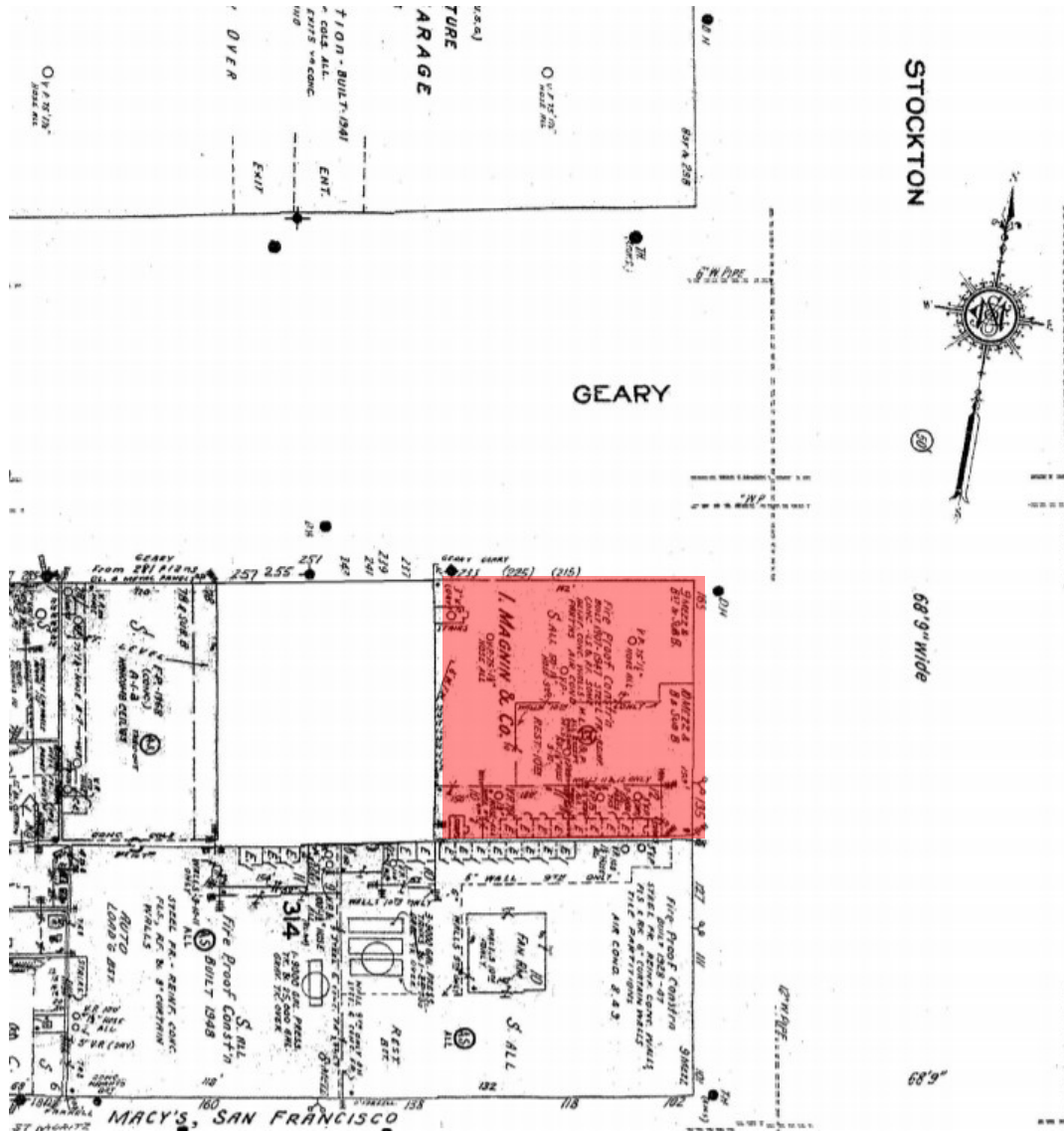


GEARY



Major Permit to Alter
Case Number 2020-005897PTA
233 Geary Street

Sanborn Map*

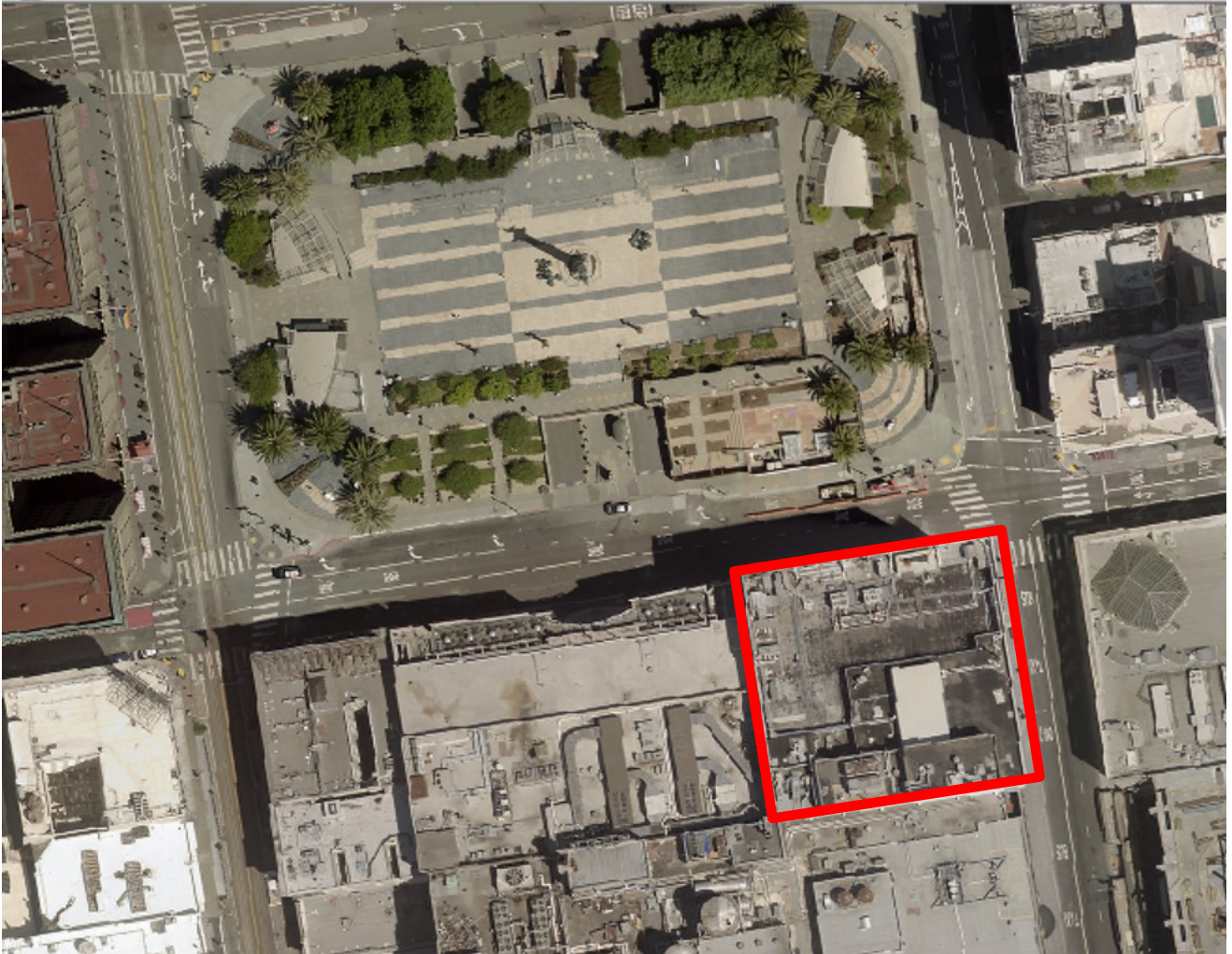


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



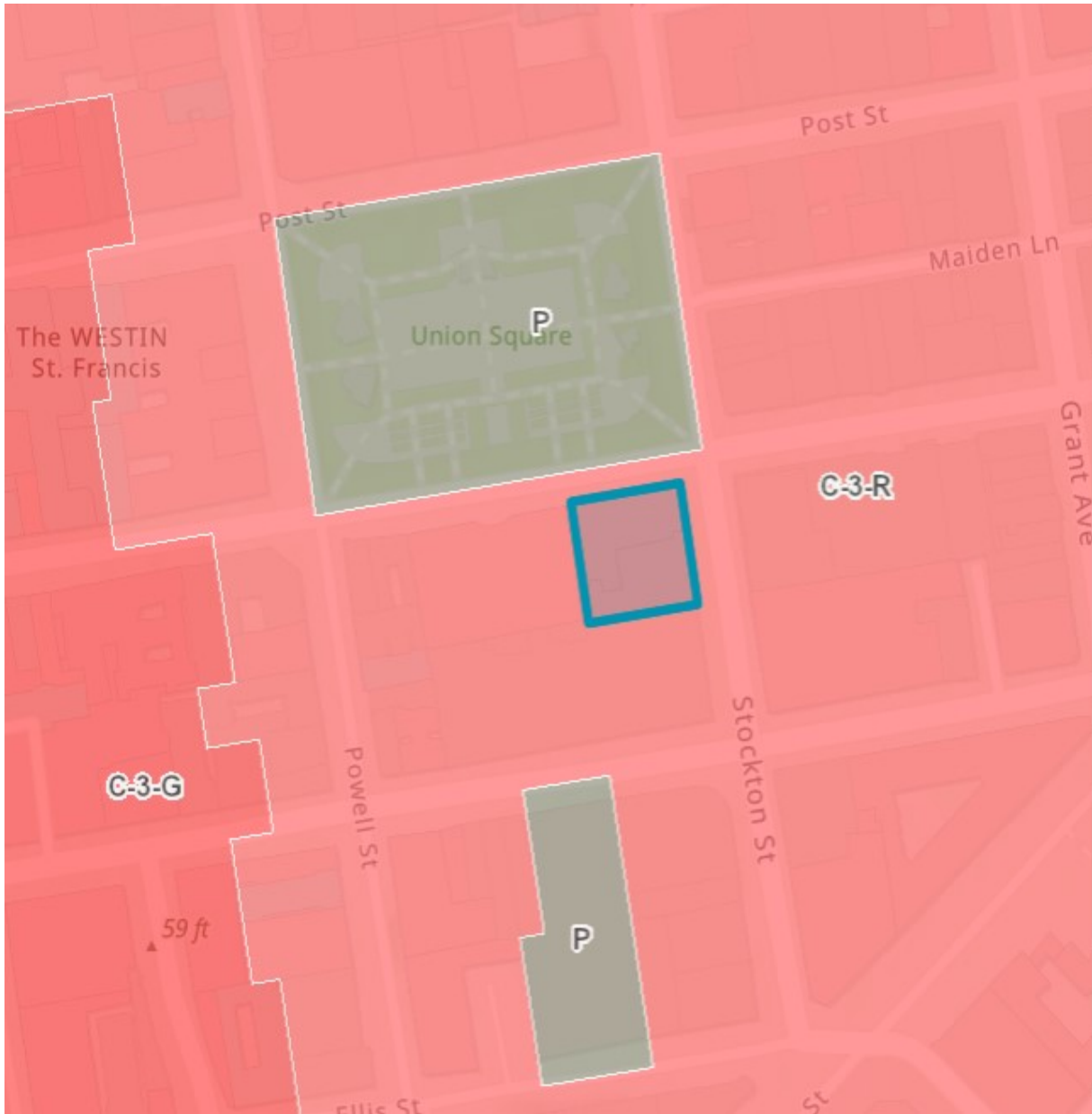
Major Permit to Alter
Case Number 2020-005897PTA
233 Geary Street

Aerial Photo



Major Permit to Alter
Case Number 2020-005897PTA
233 Geary Street

Zoning Map



Major Permit to Alter
Case Number 2020-005897PTA
233 Geary Street

Site Photo*



**Geary Street façade to the right, Stockton Street façade to the left*

Major Permit to Alter
Case Number 2020-005897PTA
233 Geary Street

Site Photo*



**Visible portion of the western elevation, looking southeast from Powell Street*

Major Permit to Alter
Case Number 2020-005897PTA
233 Geary Street

APPENDIX E TO ARTICLE 11

KEARNY-MARKET-MASON-SUTTER CONSERVATION DISTRICT

EXHIBIT E

- | | |
|---------|--|
| Sec. 1. | Findings and Purposes. |
| Sec. 2. | Designation. |
| Sec. 3. | Location and Boundaries. |
| Sec. 4. | Relation to City Planning Code. |
| Sec. 5. | Justification. |
| Sec. 6. | Features. |
| Sec. 7. | Standards and Guidelines for Review of New Construction and Certain Alterations. |
| Sec. 8. | TDR: Eligibility of Category V Buildings. |

SEC. 1. FINDINGS AND PURPOSES.

It is hereby found that the area known and described in this Appendix as the Kearny-Market-Mason-Sutter Street area is a Subarea within the C-3 District that possesses concentrations of buildings that together create a subarea of architectural and environmental quality and importance which contributes to the beauty and attractiveness of the City. It is further found that the area meets the standards for designation of a Conservation District as set forth in Section 1103 of Article 11 and that the designation of said area as a Conservation District will be in furtherance of and in conformance with the purposes of Article 11 of the City Planning Code.

This designation is intended to promote the health, safety, prosperity and welfare of the people of the City through the effectuation of the purposes set forth in Section 1101 of Article 11 and the maintenance of the scale and character of the Kearny-Market-Mason-Sutter area by:

- (a) The protection and preservation of the basic characteristics and salient architectural details of structures insofar as these characteristics and details are compatible with the Conservation District;
- (b) Providing scope for the continuing vitality of the District through private renewal and architectural creativity, within appropriate controls and standards. It is intended to foster a climate in which the Kearny-Market-Mason-Sutter District may continue as the prime Bay Area retail district and a center for tourists from around the country and the world;
- (c) The maintenance of an identity separate from the financial district by maintaining the relatively small scale and sunlit sidewalks and open spaces.

(Added Ord. 414-85, App. 9/17/85)

SEC. 2. DESIGNATION.

Pursuant to Section 1103.1 of Article 11, of the City Planning Code (Part II, Chapter II of the San Francisco Municipal Code), the Kearny-Market-Mason-Sutter area is hereby designated as a Conservation District.

(Added Ord. 414-85, App. 9/17/85)

SEC. 3. LOCATION AND BOUNDARIES.

The location and boundaries of the Kearny-Market-Mason-Sutter Conservation District shall be as designated on the Kearny-Market-Mason-Sutter Conservation District Map, as amended, the¹ which is on file with the

Clerk of the Board of Supervisors in File No. 180726, which Map is hereby incorporated herein as though fully set forth and a facsimile of which is reproduced herein below.

(Added Ord. 414-85, App. 9/17/85; amended by Ord. [259-18](#), File No. 180726, App. 11/2/2018, Eff. 12/3/2018)

CODIFICATION NOTE

1. So in Ord. [259-18](#).

SEC. 4. RELATION TO CITY PLANNING CODE.

(a) Article 11 of the City Planning Code is the basic law governing preservation of buildings and districts of architectural importance in the C-3 District of the City and County of San Francisco. This Appendix is subject to and in addition to the provisions thereof.

(b) Except as may be specifically provided to the contrary in this Code, nothing in this Appendix shall supersede, impair or modify any City Planning Code provisions applicable to property in the Kearny-Market-Mason-Sutter Conservation District, including, but not limited to, regulations controlling uses, height, bulk, coverage, floor area ratio, required open space, off-street parking, and signs.

(Added Ord. 414-85, App. 9/17/85)

SEC. 5. JUSTIFICATION.

The characteristics of the Conservation District justifying its designation are as follows:

(a) **History of the District.** Since the Kearny-Market-Mason-Sutter District covers a large area, individual streets within the district have had unique histories which have often changed dramatically over time. Maiden Lane (originally called Morton Street) was once the site of numerous houses of prostitution. Yet, after the fire and the opening of nearby department stores the renamed Union Square Avenue became the service entrance for those stores. In time, restaurants and retail stores opened, paving the way for the emergence of Maiden Lane as an exclusive retail address. Similarly, before the earthquake Powell Street, home to many theaters and restaurants, was known as the "uptown tenderloin." In the 1920's, the opening of numerous hotels and retail stores led to a gradual change of character on the street.

These changing land-use patterns were in part determined by the movement of high-quality retail stores. Throughout the years, the closing or movement of larger department stores has often provided new space for smaller stores, and has strongly influenced their locations. The best known stores of the retail district were located on Kearny Street in the 1870's and 1880's. The growth of the City, due in part to the introduction of cable car service, led to the movement of the retail district towards both Market Street and the Grant Avenue/Union Square area. Beginning in the 1880's, department stores such as the Emporium and Hale Brothers opened large stores on Market Street. However, the large width of Market Street and its distance from high income residential neighborhoods on Nob Hill hindered its further development as a high class retail district. By the 1920's, Market Street had become San Francisco's family shopping street.

The prominence of the Grant Avenue/Union Square retail area as an exclusive shopping district was assured when I. Magnin (originally on Third Street) moved from Market Street to the corner of Grant Avenue and Geary Street. The location of the City of Paris at the corner of Geary and Stockton Streets across from Union Square firmly established Union Square as the most desirable location in the retail district. I. Magnin eventually moved to a building across from Union Square and O'Connor Moffat (now Macys) located at the corner of Geary and Stockton Streets. A side effect of the development of Union Square as a retail district was the displacement of many medical and dental offices by beauty parlors and restaurants catering to the new retail trade. Since the 1920's, Lower Grant Avenue and the Union Square area have been the City's premier shopping district.

Concurrent with the development of Grant Avenue/Union Square as a retail district were the relocations of the hotel and theater districts. By the 1890's, the theater district relocated from Bush Street (between Grant and Kearny) to the area west of Union Square. Whereas hotels were once clustered at the intersection of Montgomery and Market Streets, after the 1906 Fire most hotels also moved to the area west of Union Square.

The establishment of the St. Francis Hotel on the west side of the square was a major impetus to the hotel relocation. Before the fire, this area had been the site of many household goods establishments.

(b) **Basic Nature of the District.** The pattern of development is one of small-scaled, light-colored buildings predominantly four to eight stories in height. The height and scale provide for a streetscape which is attractive to the pedestrian because of the comfortable scale and sunlit sidewalks. This dense area is the heart of San Francisco's retail and tourist sectors, containing a concentration of fine shops, department stores, theaters, hotels, and restaurants. As such, it is one of the main attractions to tourists from around the country and world, as well as the prime retail district in the Bay Area. The District is further defined by the location of Union Square in its heart. This square is, in many ways, the premier public open space in the City, as well as a primary public forum.

(c) **Architectural Character.** The character of the area is determined by the many fine quality structures, among the best in the City, and supported by a number of contributory buildings. Since the entire area was built in less than 20 years, and the major portion in less than 10 years, buildings were constructed in similar styles and structural technology. Perhaps even more importantly, architects were of like backgrounds, schooled in the classical Beaux Arts tradition.

In addition to their individual architectural features, the scale and design of buildings in the district related very well with neighboring buildings, streets and open spaces. This effect was achieved in large part by the alignment of cornice and belt course lines. The buildings used compatible detailing, colors, materials, massing, and scale. Ornament was derived from Classical, Renaissance, Gothic and Romanesque sources. In a limited number of examples, ornament was developed from early Spanish Colonial models.

(d) **Uniqueness and Location.** The District's character, although it has many buildings of recent vintage, is largely intact. It is one of the few homogeneous collections of early Twentieth Century commercial architecture of its type in the United States. At the time of designation in 1985, this District included 324 buildings, 114 of which were identified as architecturally significant and 140 as contributory. Only 98 buildings were not rated. Subsequent amendments to the District and reclassification of individual buildings have resulted in a greater concentration of architecturally significant properties. Union Square, an integral part of the District, is a unique resource and ranks with the finest open spaces in the country. The area is centrally located and easily accessible to the Financial District, Nob Hill, the Tenderloin, and the South of Market, as well as outlying districts of the City. The Powell Street Cable Car lines is a unique feature which relates the area to the entire northeastern quadrant of the City and attracts tourists to the area.

(e) **Visual and Functional Unity.** The character of the area is determined by a series of buildings whose compositions and use of materials and ornament are complementary, as well as by the regular street pattern which creates interesting views and vistas down the streets. Within the District, several subareas increase the variety and complexity of the District while retaining its essential architectural character.

(f) **Dynamic Continuity.** The District is the center of San Francisco's retail market and is constantly responding to new trends and needs. The area has seen the recent opening of two major department stores and, in addition, many new small stores. Indeed, much of the pedestrian interest so important to the District is a result of the ever-changing shop windows and stores.

(g) **Benefits to the City and its Residents.** The District provides a wide range of benefits to both the City and its residents. Much of the retailing area's vitality is attributable to its physical character. The mix of shops and unique buildings is not duplicated in suburban shopping malls, and, because of this, the area attracts shoppers from around the Bay Area. The District is a prime destination for tourists and is therefore an important part of San Francisco's image. The prevailing architectural character is an important legacy from the Beaux Arts tradition and contains many fine examples of commercial architecture.

(Added Ord. 414-85, App. 9/17/85; amended by Ord. [259-18](#), File No. 180726, App. 11/2/2018, Eff. 12/3/2018)

SEC. 6. FEATURES.

The exterior architectural features of the Kearny-Market-Mason-Sutter Conservation District are as follows:

(a) **Massing and Composition.** The compositions of the building facades reflect the different architectural functions of the building. For the most part, building facades in the district are two- or three-part vertical compositions consisting either of a base and a shaft, or a base, a shaft and a capital. In more elaborate designs, transitional stories create a stacked composition, but the design effect is similar.

In addition, the facade of a building is often divided into bays expressing the structure (commonly steel and reinforced concrete) beneath the facade. This was accomplished through fenestration, structural articulation or other detailing which serves to break the facade into discrete segments. A common compositional device in the District is an emphasis placed upon either the end bays or the central bay.

The massing of the structures is usually a simple vertically oriented rectangle with a ratio of width to height generally from 1:2 to 1:4. This vertically oriented massing is an important characteristic of the District. In addition, continuous streetwall heights are a characteristic of most blockfronts.

Almost without exception, the buildings in the Kearny-Market-Mason-Sutter Conservation District are built to the front property line and occupy the entire site. Where buildings have not followed this rule, they do not adequately enclose the street. The massing of structures often reflects unique or prominent site characteristics. Corner buildings often have rounded corner bays to express the special requirements of the site and to tie its two blockfronts together.

(b) **Scale.** The buildings are of small to medium scale. The bay width is generally from 20 feet to 30 feet. Heights generally range from four to eight stories on lots 40 feet to 80 feet wide, although a number of taller buildings exist. The wider frontages are often broken up by articulation of the facade, making the buildings appear narrower. The base is generally delineated from the rest of the building giving the District an intimate scale at the street.

(c) **Materials and Colors.** Buildings are usually clad in masonry materials over a supporting structure. The cladding materials include terra cotta, brick, stone and stucco. Wood, metal and metal panels are not facade materials, although painted wood and metal are sometimes used for window sash and ornament.

The materials are generally colored light or medium earth tones, including white, cream, buff, yellow, and brown. Individual buildings generally use a few different tones of one color.

To express the mass and weight of the structure, masonry materials are used on multidimensional wall surfaces with texture and depth, which simulates the qualities necessary to support the weight of a load-bearing wall.

(d) **Detailing and Ornamentation.** This area has been the heart of the retail district since it was reconstructed after the fire. Buildings use the expression of texture and depth on masonry material (e.g., rustication, deep window reveals) to simulate the appearance of load-bearing walls. The buildings are not constructed in a single style, but with ornament drawn from a variety of historical sources, primarily Classical and Renaissance. Gothic detailing is also well represented. Popular details include, arches, columns, pilasters, projecting bracketed cornices, multiple belt-courses, elaborate lintels and pediments, and decorated spandrels. Details were used to relate buildings to their neighbors by repeating and varying the ornament used in the surrounding structures.

(Added Ord. 414-85, App. 9/17/85)

SEC. 7. STANDARDS AND GUIDELINES FOR REVIEW OF NEW CONSTRUCTION AND CERTAIN ALTERATIONS.

(a) All construction of new buildings and all major alterations, which are subject to the provisions of Sections 1110, 1111 through 1111.6 and 1113, shall be compatible with the District in general with respect to the building's composition and massing, scale, materials and colors, and detailing and ornamentation, including those features described in Section 6 of this Appendix. Emphasis shall be placed on compatibility with those buildings in the area in which the new or altered building is located. In the case of major alterations, only those building characteristics that are affected by the proposed alteration shall be considered in assessing compatibility. Signs on buildings in conservation districts are subject to the provisions of Section 1111.7.

The foregoing standards do not require, or even encourage, new buildings to imitate the styles of the past. Rather, they require the new to be compatible with the old. The determination of compatibility shall be made in accordance with the provisions of Section 309.

(b) The guidelines in this Subsection are to be used in assessing compatibility.

(1) **Composition and Massing.** Although the District is quite large and contains a wide variety of building forms, new construction should maintain its essential character by relating to the prevailing height, mass, proportions, rhythm and composition of existing Significant and Contributory Buildings. The height and massing of new buildings should not alter the traditional scale of existing buildings, streets and open spaces. In addition to the consideration of sunlight access for the street, an appropriate streetwall height is established by reference to the prevailing height of the buildings on the block and especially that of adjacent buildings. If the adjacent buildings are of a significantly different height than the rest of the buildings on the block, then the prevailing height of buildings on the block should be used as a guide. A setback at the streetwall height can permit additional height above the setback without breaking the continuity of the street wall.

Most existing buildings are built to the property or street line. This pattern, except in the case of carefully selected open spaces, should not be broken since it could damage the continuity of building rhythms and the definitions of streets.

The standard proportions of new buildings should be established by the prevailing streetwall height and width of lots. To ensure that an established set of proportions is maintained, it is necessary to break up the facades of new buildings into smaller sections that relate to those existing proportions. The use of smaller bays and multiple entrances are two ways of relating the rhythm of a new building with those of historic buildings.

The design of a new structure should repeat the prevailing pattern of two- and three-part vertical compositions. A base element is necessary to define the pedestrian environment. This division of a building allows flexibility in the design of the ground story while encouraging a uniform treatment of the upper stories.

(2) **Scale.** A major influence on scale is the degree to which the total facade plane is broken into smaller parts (by detailing, fenestration, bay widths) which relate to human scale. While department stores and hotels are of a medium scale, the traditional pattern for the District has consisted of small scale buildings. The existing scale of the buildings in the vicinity should be maintained. This can be accomplished in a variety of ways, including: a consistent use of size and complexity of detailing in regards to surrounding buildings, continuance of existing bay widths, maintenance of an existing streetwall height, and incorporation of a base element (of similar height) to maintain the pedestrian environment. Large wall surfaces, which increase a building's scale, should be broken up through the use of detailing and textural variation.

Existing fenestration (windows, entrances) rhythms and proportions which have been established by lot width or bay width should be repeated in new structures. The spacing and size of window openings should follow the sequence set by Significant and Contributory structures. Large glass areas should be broken up by mullions so that the scale of glazed areas is compatible with that of neighboring buildings. Casement and double-hung windows should be used where possible.

(3) **Materials and Colors.** The use of like materials can relate two buildings of obviously different eras and styles. Similarly, the use of materials that appear similar (such as substituting concrete for stone) can link two disparate structures, or harmonize the appearance of a new structure with the architectural character of a conservation district. The preferred surface materials for this district are brick, stone, and concrete (simulated to look like terra cotta or stone).

The texture of surfaces can be treated in a manner so as to emphasize the bearing function of the material, as is done in rustication on historic buildings.

Traditional light colors should be used in order to blend in with the character of the district. Dissimilar buildings may be made more compatible by using similar or harmonious colors, and to a lesser extent, by using similar textures.

(4) **Detailing and Ornamentation.** A new building should relate to the surrounding area by picking up elements from surrounding buildings and repeating them or developing them for new purposes. Since the District has one of the largest collections of finely ornamented buildings in the City, these buildings should serve as references for new buildings. Detailing of a similar shape and placement can be used without directly copying historical ornament. The new structure should incorporate prevailing cornice lines or belt courses and may also use a modern vernacular instead of that of the original model.

(Added Ord. 414-85, App. 9/17/85)

SEC. 8. TDR: ELIGIBILITY OF CATEGORY V BUILDINGS.

Category V Buildings in that portion of the Kearny-Market-Mason-Sutter Conservation District which is in the C-3-0 Use District as shown on Sectional Map 1 of the Zoning Map are eligible for the transfer of TDR as provided in Section 1109(c).

(Added Ord. 414-85, App. 9/17/85)

KEARNY-MARKET-MASON-SUTTER CONSERVATION DISTRICT



June 24, 2021

Delivered Via Email

President Diane Matsuda
San Francisco Historic Preservation Commission
49 South Van Ness Avenue, Suite 1400
San Francisco, CA 94103

**Re: 233 Geary Street
Project Sponsor's Brief in Support of the PTA Application
Planning Department Case No. 2020-005897PTA
Hearing Date: July 7, 2021
Our File No.: 5042.03**

Dear President Matsuda and Commissioners:

Our office represents Sand Hill Property Company, the owner of the property located at 233 Geary Street ("Property"), at the southwest corner of Geary and Stockton Streets, at the heart of Union Square. The Property is occupied by an 11-story former I.Magnin, department store building, which then became part of Macy's with two ground floor tenants. Macy's sold this building because they deemed it surplus, and the continual use as a 10-story department store is no longer viable. The project proposes an adaptive reuse of the existing structure to create a development that can be successful in the future, with a balanced mix of retail, office and residential uses ("Project"). The ARC reviewed the Project in its May 19, 2021 meeting.

The Project benefits include the following:

- Preservation of the iconic building, and retention and enrichment its character-defining features;
- Introduction of exterior alterations that are compatible with the building and KMMS District, to enhance the building's prominence and appearance;
- Conversion of a predominantly single-user building into a mix of uses and tenants, adding activity and vibrancy to the Union Square neighborhood, at a time when Union Square is experiencing one of the highest vacancy rates in its history;
- Advancement of the building's evolution, allowing its continued use in a post-department store and post-pandemic period;
- Elimination of the distracting mechanical roof equipment and configuration, and creation of an attractive roofscape;
- Introduction of residential uses to the Union Square (as the first project to do so), and contribution to the City's affordable housing supply via payment of an in lieu fee; and
- Retention of retail uses on the lower levels, contributing to Union Square's objectives to remain as a regionally significant shopping destination.

Project Outreach and Support

The Project team has proactively reached out to many stakeholders, and has presented the Project to San Francisco Heritage, Union Square Business Improvement District, Art Deco Society of California, and Housing Action Coalition. All of the above-mentioned organizations have provided helpful, positive feedback on the Project, and have written letters expressing their support for the Project. The Project team has also communicated about the Project with the closest neighboring property owners, including Macy's, Neiman Marcus, and 100 Stockton (former Macy's Men's Store) who have also expressed their support for the Project by writing a letter of support.

Copies of all of the support letters are attached in **Exhibit A**, as follows:

Exh. A-1:	San Francisco Heritage
Exh. A-2:	Art Deco Society of California
Exh. A-3:	Union Square Business Improvement District
Exh. A-4:	San Francisco Housing Action Coalition
Exh. A-5:	120 Stockton Owner (Blatteis & Schnur)
Exh. A-6:	Neiman Marcus (150 Stockton)

PTA Application; ARC Review and Project Response

The Property is located in the C-3-R (Downtown Retail) Zoning District and the Kearny-Market-Mason-Sutter Conservation District. The Property Owner appreciates the history of the building, and one of the first consultants they engaged (long before any applications were filed) was Page & Turnbull, in order to help guide the Project's design process and to create a respectful and compatible project, accounting for any historic context and allowing appropriate modernization and needed functionality. The Project application that is before the HPC is the Permit to Alter application. After the HPC hearing, the Project will also be heard on July 22 by the Planning Commission on the other entitlement applications (consisting of Downtown Review, Office Allocation and Conditional Use applications). During the processing of the PTA and other applications, the Project team worked closely with Planning Department staff (and other stakeholders) and has revised the Project several times to incorporate feedback.

The Project was presented to the ARC on May 19th. The ARC provided feedback on a few design aspects, and the team has responded to all with revisions, refinements and detail. Pages 43-48 of the Project drawings highlight the ARC's feedback and the team's response to the same. Specifically, the ARC addressed the following:

- **6th floor powder room**: In response to Planning staff's request to preserve some of this historic powder room features, the Project team proposed to relocate the washroom to the Project's 3rd floor. The 3rd floor location provides for a more accessible location and a more public use, since the 3rd floor provides space for retail area and for the lobby area for the upper level office uses. The Project team is working with Page & Turnbull to determine the means and methods for the salvaging

and reuse of the key washroom materials at the new 3rd floor location. The Project is also proposing an interpretive display outside the 3rd floor washroom. Page 44 of the drawings provide additional details (beyond what the ARC saw) for the relocated washroom, including the similar shape and configuration of the washroom at the current and the proposed locations.

- Ground floor facade materiality and coloration: The ARC expressed a desire to retain a greater amount of the marble material at the ground floor level. The team has responded to this by eliminating the prior bronze columns and by increasing the amount of marble at the ground level. The width of the proposed marble columns matches the width of the marble slabs in the existing facade, and thus provide for a consistent design. The before and after images are included on page 46 of the drawings. Overall the configuration of the storefronts has changed over time, and the Project seeks to provide uniformity at the base of the building, combined with the practical necessity to provide for new residential and office entries, and the need to provide for increased storefront visibility for viable retail uses in the proposed multi-tenant building, which visibility was purposely minimized when it was the former single use Macy's store designed to function differently.

The color of the storefront trim was also discussed during the ARC hearing. After the ARC meeting the Project team re-reviewed past building images and also presented the Project to San Francisco Heritage and to the Art Deco Society of California. Old images (shown on page 47 of the drawings) show brass colored trim and other accent features at the ground floor. The Project includes brass/bronze colored trim at the ground floor in order to keep with Pflueger's original design intent that recognized the "glitz and glamour" of the former I.Magnin brand. The use of the bronze/brass colored trim (as opposed to darker black tone) was also supported by Heritage.¹

- Residential window materiality, coloration and detailing: In response to ARC's feedback, the Project's window glass tone has been revised to better reflect the existing windows. The Project team is proposing for the window trim to match the brass/bronze colored trim at the ground floor, providing for a warmer approach, which the Project team feels is consistent with Pflueger's original design intent.

In terms of the height of the window openings, the Project is proposing to increase the upper floor window openings as a necessity in order to maintain the existing light (and at residential levels, to allow for adequate air) to the upper floor uses. The existing window systems will be removed and the new window systems will need to comply e.g. with Title 24 requirements. In order to not change the width of the

¹ In relevant part, Heritage's endorsement letter provides that: "Heritage ... [is] supporting the use of bronze panels and mullions for the entryways as more complementary to a Pflueger-designed building than the black granite proposed by the Planning Department. Pflueger used an array of reflective materials and varnishes to achieve luminous surfaces in his projects and the bronze is very much in keeping with this work." Please note that Planning Department staff is currently also supportive of the bronze/brass tones entryway color.

window trim that is visible from the building exterior, majority of the new window system trim and other components are located in the interior side of the windows. This means that the new window systems will reduce the amount of light coming thru the currently sized window openings, and thus the existing openings are proposed to be increased slightly in order to retain similar access to light than what is provided by the current windows/openings. Planning Department staff is supportive of the proposed window openings.

Summary

The Project team is excited to present the Project to the HPC on July 7th. We believe we have designed a respectful and compatible project that not only preserves the iconic nature of the building but will help revitalize Union Square with the mixed-use programming. We respectfully ask the Commissioners to approve the PTA application in its July 7 hearing so that the Project may proceed to the Planning Commission on July 22 on the other entitlement applications. If you have any questions please do not hesitate to let our team know.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP



Tuija I. Catalano

Enclosures: Support letters

cc: Jonathan Vimr, Project Planner
Jonas Ionin, Commission Secretary
Jason Chow, Sand Hill Property Company
Glenn Rescalvo, Handel Architects
Jay Turnbull, Page and Turnbull

June 2, 2021

Jason Chow
Sand Hill Property Company
965 Page Mill Road
Palo Alto, CA 94304

Re: 233 Geary Street

Mr. Chow,

Thank you for bringing the proposed project at 233 Geary Street to San Francisco Heritage's Projects and Policy Committee on May 21, 2021. We appreciate your team's recognition and respect for the historical significance and design of the former I. Magnin department store and its important association with the master architect Timothy Pflueger. The committee found your presentation clear and informative. After thoroughly reviewing and discussing the proposed alterations, the committee concluded the following:

Heritage has no objection to the proposed change of use or the ground-floor modifications as presented, supporting the use of bronze panels and mullions for the entryways as more complementary to a Pflueger-designed building than the black granite proposed by the Planning Department. Pflueger used an array of reflective materials and varnishes to achieve luminous surfaces in his projects and the bronze is very much in keeping with his work. The committee concurs with the Planning Department's suggested extension of the white marble cladding down to street level between entry openings.

The committee understands the challenge of bringing in more light and installing operable windows on the proposed residential floors, but opposes the fenestration changes as presented. The grid pattern is an elegant and key element of the iconic I. Magnin building, with window sizes aligned to the marble's panel joints. The significant expansion of openings as proposed, especially with the top line of windows, breaks the balance and harmony of Pflueger's design. We encourage revisiting options to create operable windows within the existing openings.

Finally, Heritage requests further information on the proposed relocation of the 6th floor powder room. What elements of the original lounge are to be salvaged and how closely will the proposed 3rd floor space follow the current layout and incorporate existing features?

We welcome the opportunity to review revisions as you refine the treatment of this important building. The masterful modern facade of the former I. Magnin department store not only visually dominates one corner of Union Square, but also represents a major work by one of San Francisco's most significant architects.

Thank you,



Woody LaBounty
Interim President & CEO



ART DECO SOCIETY OF CALIFORNIA
PO Box 5539 Berkeley, CA 97405

June 21, 2021

Jason Chow

Sand Hill Property

2600 El Camino Real, Suite 410

Palo Alto, CA 94306

Re: I. Magnin Building Conversion, San Francisco

Dear Jason,

Thank you so much for meeting with the ADSC representatives and the Zoom presentation given by Handel Architects and Page +Turnbull of the latest plans for the conversion of the I. Magnin Building to office and residential use.

We were very impressed with the revisions you and your team made to the project since the earlier schemes. We especially appreciate that the façade will retain more of the original Pflueger design, and the existing windows will be closer to the original size except the top row. Of course it would be preferable if the top row of windows could remain the same size as they are currently. We concur with your architect that the additional mullion added to make the windows operable represents an acceptable and necessary change to the original and has been sensitively handled. We are also very encouraged by your retention of the Ladies Lounge, albeit in a new location and accessible to the public. As we discussed, the ADSC would encourage you to increase the number of the stalls and the footprint of the Lounge overall so that as much as possible of the original design intent and user experience is preserved.

There is one area of concern that remains - the changes to the base of the building. We believe that the columns between the storefronts currently shown as clad in bronze should be clad in the same white marble as the building and the other first floor columns. The bronze cladding makes the base appear weaker as the storefronts look like one large opening that the mass of the building floats on. This is a major departure from Pflueger's design intent, which was to make the whole building appear as one, pure geometric solid with punched openings. We strongly recommend the white marble be continued as before to keep the integrity of the design. The design parti provided by the ARC is a preferred alternative from ADSC's point of view.



ART DECO SOCIETY OF CALIFORNIA

PO Box 5539 Berkeley, CA 97405

We commend your design team for their creative solutions to the spaces on the roof. They do not affect the look of the building from the street yet will provide interesting, useful and pleasant outdoor spaces. The exterior changes to the side of the building without windows is acceptable as it does not change any character defining features.

Thank you so much for sharing the development of the project with the ADSC. We look forward to the building coming to life again and continuing to be an important part of the architectural legacy in San Francisco.

Sincerely,

Therese Poletti

Preservation Director

Art Deco Society of California

Klara Komorous-Towey

President

Komorous-Towey Architects,

ADSC Preservation Committee and

Chair

Oakland Landmarks Preservation Advisory Board



May 18, 2021

RE: Letter of Support for 233 Geary Street Project

Dear Jonathan:

The Union Square Business Improvement District (USBID) represents over 1200 property owners and businesses covering 27-blocks around Union Square Park and provides enhanced cleaning, safety, marketing, advocacy and public realm improvements to the area. The USBID supports the project owner and applicant, Sand Hill Properties, to convert a multi-tenant retail building at 233 Geary Street – the old I. Magnin Building - to multi-tenant retail with office and residential uses on the upper floors. Overall, in this time of uncertainty as we emerge from this devastating pandemic we welcome new development projects such as this one that will infuse a new sense of life and vitality into Union Square.

The more specific basis for the USBID's support is as follows:

- The project's design maintains the essential architectural character relating to the prevailing height, mass, proportions, rhythm, composition, and coloring of buildings that comprise the rich, ornamented architecture and pedestrian-oriented scale in Union Square.
- The project proposes to encourage visual interest and amenities at the pedestrian level by adding some larger windows at the street level on Geary and, thereby, supports the district's primary function as a retail destination for comparison shopping and direct consumer services.
- Proposed mixed-uses (retail, office, and residential) would encourage pedestrian activity during the day and evening times, and support Union Square's image as one of the City's premier visitor destinations. The impacts of the pandemic on Union Square have highlighted the need for adding these additional uses of office and residential which will hopefully bring back the much needed pedestrian traffic to support businesses and improve the perception of safety in the area.

It was the consensus of the USBID's Executive Committee as advised by our Public Affairs

Committee to support this project. The proposed project design is compatible with Union Square's historic and unique building architecture, creates a new, vibrant mixed-used destination within the district, and reinforces Union Square's image as one of the country's premier visitor destinations. The USBID looks forward to engaging with the Historic Preservation Commission and the Planning Commission on this very important project.

Sincerely,



Karin Flood
Executive Director
Union Square Business Improvement District

Cc: Jason Chow, Sand Hill Properties
Boe Hayward, Lighthouse Public Affairs

UNION SQUARE BUSINESS IMPROVEMENT DISTRICT

323 GEARY STREET, SUITE 203 SAN FRANCISCO, CA 94102
TEL(415)781-7880 FAX(415)781-0258 VISITUNIONSQUARESF.COM



PROJECT REVIEW REPORT CARD

Project Address: 233 Geary
Project Sponsor: Sand Hill Property
Date of HAC Review: 04.07.21

Grading Scale

- ★ = The project meets the high standard set by local jurisdiction and/or HAC
- ★★ = The project exceeds HAC standards
- ★★★ = The project far exceeds HAC's standards and exhibits creativity in its proposed solutions

Criteria for HAC Endorsement

1. The development must have been presented to the HAC Project Review Committee
2. The Project must score a minimum of ★ on any given guideline

<i>Guideline</i>	<i>Comments</i>	<i>Score</i>
Summary	After review, the Housing Action Coalition is pleased to support 233 Geary Street. The project team's vision for a revitalized mixed-use building will introduce residential space to Union Square while transforming a vacant retail/office building. The project employs significantly upgraded environmental features, helping to minimize natural resource usage and cut down on emissions. The project adds 21 homes in a transit-rich area and does not include any car parking, further underscoring its commitment to carbon footprint reduction.	★★
Land Use	The project converts a retail/office building that was previously occupied by Macy's into a mixed-use building that includes retail, office, and residential space. The project provides 4 floors of retail, 4 floors of office, and 3 floors of residential space. We recommend the project team consider allocating the third floor to office space instead of retail and also explore the possibility of adding more housing.	★★★
Density	The project includes 21 homes, spaced throughout 3 floors of the building. There are no imposing density limits in the C-3-R zoning code, but given the constraints of the infrastructure and materials the number of residential units is limited. Although we would like to see more housing included, we commend the project team for being the first to introduce residential units in Union Square.	★★
Affordability	The project will address affordability through its payment of an in-lieu fee of approximately \$2.15M.	★
Parking & Alternative Transportation	The building is situated in an area of high public transit activity, enjoying close proximity to the new MUNI Central Subway Union Square station, the Powell Street BART station, and the MUNI stops along Geary and Stockton Streets. Accordingly, the project will include zero car parking and car share spaces and will provide a code-required number of bicycle spaces in an innovative space.	★★
Preservation	As the building is within the Kearny-Market-Mason-Sutter Conservation District, it is identified as a Category V Building. The project recognizes its historical significance and intends to preserve and improve the existing building exterior with modest exterior alterations. We commend the project team for their creative designs that preserve and modernize the architecture, and encourage the team to pursue the second scheme.	★★

<p>Urban Design</p>	<p>The project includes ground floor alterations that promote greater pedestrian activity, increase residential and office entrances, and optimize the visibility of Union Square. The project intends to increase the height of window openings to enhance the health and environmental sustainability of the building. Satisfying residential open space requirements, the project includes a common open space on a rooftop level. The project also proposes the installation of a single-pace yellow curb and does not propose new curb cuts.</p>	<p>★★★</p>
<p>Environmental Features</p>	<p>The project is an adaptive reuse of an existing department store, replacing outdated building systems with energy conservative systems. The project will meet the sustainability requirements established by the City, including the Better Roof Program, and its applications for WELL and LEED are currently under review. The project will also meet the requirements of the Commercial and Residential Water Conservation Ordinance and Water Efficient Irrigation Ordinance.</p>	<p>★★</p>
<p>Community Benefits</p>	<p>The project introduces residential units to the Union Square perimeter, which currently includes only a few residences throughout the surrounding hotels. This project intends to catalyze the further production of residential units as it accentuates the vibrancy of the building and contributes to the immediate context. We commend the project for visualizing and spearheading the creation of new residential space in Union Square.</p>	<p>★★</p>
<p>Community Input</p>	<p>The project team has worked with the Planning Department and has modified the proposed facade alterations with their input. They have also collaborated with Planning staff in creating an opening of the western facade, which presents the residential courtyard. The project continues to connect with key stakeholder organizations such as the Union Square Business Improvement District, and plans to engage the Union Square Community Benefits District. We urge the project team to reach out to additional community groups for their input.</p>	<p>★</p>



June 14, 2021

Mr. Jason Chow
Sand Hill Development Company
2600 El Camino Real, Suite # 410
Palo Alto, CA 94306

Re: 233 Geary Street
San Francisco, CA

Dear Jason:

On behalf of the ownership of 100 Stockton Street (the former Macy's Men's Building), PPF/Blatteis 120 Stockton Street Owner, LLP, we would like to express our strong support for Sand Hill's development of 233 Geary Street. We applaud the overall preservation of the existing historic structure including the beautiful white marble clad exterior. The ongoing high street retail at the first three levels will continue to support the local and tourist business and economies, so vital to the success of Union Square. We view the use of the upper levels of the building for office and residential uses as more in keeping with the demands of the current economy, and thus, will only synergize with the ongoing success of the Union Square District. We appreciate Sand Hill's design approach that not only keeps the historic nature of the building while also allowing every floor to enjoy great light and air.

We appreciate the transparency of Sand Hill to share their plans for the development with us and hope that the Historic, Architectural, and Planning Commissions approve the project expeditiously toward the strongest rebound possible related to the pandemic, which has severely devastated the commerce and past success of Union Square.

Sincerely,

A handwritten signature in black ink, reading "Daniel J. Blatteis". The signature is written in a cursive style with a large initial "D".

By: Daniel J. Blatteis
For: PPF/Blatteis 120 Stockton Street Owner, LP
Its: Manager

11150 Santa Monica Blvd., Suite 330 · Los Angeles, CA. 90025 · (310) 282-5300



June 23, 2021

Mr. Jonathan Vimr
San Francisco Planning Department
49 South Van Ness, Ste 1400
San Francisco, CA 94103
jonathan.vimr@sfgov.org

Dear Mr. Vimr:

On behalf of Neiman Marcus, I am writing to express our strong support for the proposed project located at 233 Geary in San Francisco's Union Square District.

The I. Magnin building at 233 Geary is not only an iconic building but is a building that I am particularly fond of, as I began my career in San Francisco as the General Manager there for DFS (Duty Free Shoppers) in 2000. I am thrilled to see that the proposed use changes include the retention of retail on the first three floors, a limited expansion of existing office and the introduction of new residential units at the top of the building. It is clear to anyone who works, visits or lives near Union Square that we need more activation and I am a firm believer that the addition of residential units will help us move toward that goal of activating the street. In fact, I hope that the proposal for 233 Geary will lead to more residential units in the greater Union Square neighborhood.

As the City knows, Union Square has been hurt by not only the pandemic, but also by the ever-changing world of retail and I am excited to see residential units come into the neighborhood, which will not only help the retail establishments, but will also help our restaurants, cafes and bars, which are critical to the success of the City's premier shopping district.

I also appreciate all the work that Sand Hill Property Company and their team, particularly Handel Architects, have done to not only retain the beauty of the building and keep its iconic look, but also the work that has been completed to ensure that the building will be cleaned up, restored to its original beauty and that will allow the building to be used for decades to come.

I urge both the Historic Planning Commission and the Planning Commission to approve the building and know that I look forward to seeing this project completed.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mark Sullivan', with a horizontal line extending to the right.

Mark Sullivan
Vice President, Market General Manager Northern California
Neiman Marcus