



SAN FRANCISCO PLANNING DEPARTMENT

Major Permit to Alter Executive Summary

HEARING DATE: SEPTEMBER 2, 2020
CONSENT CALENDAR

<i>Record No.:</i>	2020-001258PTA-02
<i>Project Address:</i>	447 MINNA STREET
<i>Category:</i>	Category I (Significant)
<i>Zoning:</i>	C-3-S (DOWNTOWN-SUPPORT) Zoning District 85-X Height and Bulk District
<i>Block/Lot:</i>	3725/076
<i>Project Sponsor:</i>	Lacey Bubnash, ARG Pier 9, The Embarcadero San Francisco, CA 94111
<i>Staff Contact:</i>	Rebecca Salgado – 628-652-7332 Rebecca.Salgado@sfgov.org

PROPERTY DESCRIPTION

447 MINNA STREET is located on the south side of Minna Street between 6th Street and Mary Street (Assessor's Block 3725; Lot 076). The subject building is designated as a Category I (Significant) building under Article 11 of the Planning Code.

The four-story industrial loft building, historically known as the Dempsey Brothers Printing Building was built in 1907 and designed by architects Mooser & Milwain. It is clad with brick with steel multilite windows, and is topped by a gabled roof.

PROJECT DESCRIPTION

The proposed project involves inserting a new door opening with a solid metal egress door at the ground floor of the visible secondary east elevation. The project also includes the installation of louvers within existing window openings at the visible rear south elevation, and lowering a one-story-tall shed roof at the rear elevation to allow for the installation of mechanical equipment with screening at the lowered roof. The project also involves the addition of light fixtures at the Minna Street and east elevations and removal of security bars from the Minna Street storefronts. Please see photographs and plans for details.

COMPLIANCE WITH PLANNING CODE

Planning Code Development Standards.

The proposed project is in compliance with all other provisions of the Planning Code.

In order to proceed, a building permit from the Department of Building Inspection is required.

Applicable Preservation Standards.

The proposal overall, is appropriate for and consistent with the purposes of Article 11, meets the standards of Article 1111.6 of the Planning Code, and complies with the *Secretary of the Interior's Standards for Rehabilitation*, in that:

- the proposal respects the character-defining features of the subject building;
- the integrity of distinctive stylistic features and examples of skilled craftsmanship that characterize the building shall be preserved;
- the visible secondary east elevation where a new door opening is proposed consists of plain brick that was at one time covered up by a now-demolished building on the adjacent lot, while the one-story shed roof proposed to be altered to install mechanical equipment at the rear elevation is utilitarian in nature and does not possess any character-defining features that could be impacted by the proposed work;
- the new door, window louvers, mechanical screening, and light fixtures will be differentiated from the old in physical material properties and will be compatible in materials, features, size, scale, and finish;
- the essential form and integrity of the building and its environment would not be impaired if the proposed work were removed in the future.

The Department has determined that the proposed work will be in conformance with the requirements of Article 11 and the *Secretary of Interior's Standards for Rehabilitation*. Proposed work will not damage or destroy distinguishing original qualities or character of the subject building. The Department finds that the historic character of the building will be retained and preserved and will not result in the removal of historic fabric.

PUBLIC/NEIGHBORHOOD INPUT

The Department has not received any public inquiries about the proposed project.

ENVIRONMENTAL REVIEW STATUS

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

BASIS FOR RECOMMENDATION

The Department recommends APPROVAL of the proposed project as it appears to meet the provisions of Article 11 of the Planning Code regarding Major Alteration to a Category I (Significant) Property and the *Secretary of the Interior Standards for Rehabilitation*.

ATTACHMENTS

Draft Motion –Major Permit to Alter
Exhibit A – Authorization Update, Severability, Changes and Modifications
Exhibit B – Plans and Context Photos
Exhibit C – Environmental Determination
Exhibit D – Maps and Aerial Views



SAN FRANCISCO PLANNING DEPARTMENT

Draft Motion Permit to Alter

MAJOR ALTERATION

HEARING DATE: SEPTEMBER 2, 2020

CONSENT CALENDAR

Record No.: 2020-001258PTA-02
Project Address: 447 MINNA STREET
Category: Category I (Significant)
Zoning: C-3-S (DOWNTOWN-SUPPORT) Zoning District
85-X Height and Bulk District
Block/Lot: 3725/076
Project Sponsor: Lacey Bubnash, ARG
Pier 9, The Embarcadero
San Francisco, CA 94111
Staff Contact: Rebecca Salgado – 628-652-7332
Rebecca.Salgado@sfgov.org

ADOPTING FINDINGS FOR A PERMIT TO ALTER FOR MAJOR ALTERATIONS DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 11 OF THE SAN FRANCISCO PLANNING CODE, AND TO MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 076 IN ASSESSOR'S BLOCK 3725 IN A C-3-S [DOWNTOWN-SUPPORT] ZONING DISTRICT AND AN 85-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On July 7, 2020, Lacey Bubnash of ARG (hereinafter "Project Sponsor") filed Application No. 2020-001258PTA-02 with the San Francisco Planning Department (hereinafter "Department") for a Permit to Alter for exterior work at a subject building located on Lot 076 in Assessor's Block 3725, which is a Category I (Significant) building historically known as the Dempsey Brothers Printing Building (hereinafter "Project Site") and locally designated under Article 11, Appendix A of the Planning Code.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

On September 2, 2020, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Permit to Alter Application No. 2020-001258PTA-02.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2020-001258PTA-02 is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby APPROVES the Permit to Alter, as requested in Application No. 2020-001258PTA-02 in conformance with the architectural plans dated June 15, 2020, and labeled Exhibit B based on the following findings:

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. **Project Description.** The proposed project involves inserting a new door opening with a solid metal egress door at the ground floor of the visible secondary east elevation. The project also includes the installation of louvers within existing window openings at the visible rear south elevation, and lowering a one-story-tall shed roof at the rear elevation to allow for the installation of mechanical equipment with screening at the lowered roof. The project also involves the addition of light fixtures at the Minna Street and east elevations and removal of security bars from the Minna Street storefronts. Please see photographs and plans for details.
3. **Property Description.** 447 MINNA STREET is located on south side of Minna Street between 6th Street and Mary Street (Assessor's Block 3725; Lot 076). The subject building is designated as a Category I (Significant) building under Article 11 of the Planning Code. The four-story industrial loft building, historically known as the Dempsey Brothers Printing Building was built in 1907 and designed by architects Mooser & Milwain. It is clad with brick with steel multilite windows, and is topped by a gabled roof.
4. **Surrounding Properties and Neighborhood.** The neighborhood is characterized by small- to mid-scale industrial, residential, and commercial buildings ranging in height from one to ten stories. A surface parking lot is located directly to the east of the subject property, and a two-story residential building is located directly to the west of the subject property.
5. **Public Outreach and Comments.** At the date of publication, the Department has received no public correspondence in support of or opposition to the project.
6. **Planning Code Compliance.** The Commission has determined that the proposed work is compatible with the exterior character-defining features of the subject property and meets the requirements of Article 11 of the Planning Code in the following manner:

- A. **Article 11 of the Planning Code.** Pursuant to Section 1111.6(a) of the Planning Code, the proposed alteration shall be consistent with and appropriate for the effectuation of the purposes of this Article 11.

The proposed project is consistent with Article 11.

- B. **Alterations.** Article 11 of the Planning Code outlines specific findings for the Commission to consider when evaluating applications for Alterations/New Construction/Demolition.

Alteration: Pursuant to Section 1111.6(c) of the Planning Code, for Significant Buildings/Properties (Categories I and II) and for Contributory Buildings (Categories III and IV), proposed alterations of structural elements and exterior features shall be consistent with the architectural character of the building, and shall comply with the following specific requirements:

- (1) The distinguishing original qualities or character of the building may not be damaged or destroyed. Any distinctive architectural feature which affects the overall appearance of the building shall not be removed or altered unless it is the only feasible means to protect the public safety.
- (2) The integrity of distinctive stylistic features or examples of skilled craftsmanship that characterize a building shall be preserved.
- (3) Distinctive architectural features which are to be retained pursuant Paragraph (1) but which are deteriorated shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features shall be based on accurate duplication of features, substantiated by historic, physical or pictorial evidence, if available, rather than on conjectural designs or the availability of different architectural elements from other buildings or structures. Replacement of non-visible structural elements need not match or duplicate the material being replaced.
- (4) Contemporary design of alterations is permitted, provided that such alterations do not destroy significant exterior architectural material and that such design is compatible with the size, scale, color, material and character of the building and its surroundings.

The proposed project is compatible with the architectural character of the building, and is consistent with Section 1111.6(c) of the Planning Code.

- C. **Secretary of the Interior's Standards.** Pursuant to Section 1111.6(b) of the Planning Code, the proposed work shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties for significant and contributory buildings, as well as any applicable guidelines, local interpretations, bulletins, or other policies. Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions

while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

- (1) **Standard 1:** A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Not Applicable

- (2) **Standard 2:** The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposal is to make minor changes to window and door openings, install HVAC equipment, and make minor façade alterations including installing light fixtures and removing security bars. These changes will not remove distinctive materials, nor irreversibly alter features that characterize the building.

- (3) **Standard 3:** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.

Not Applicable

- (4) **Standard 4:** Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Not Applicable

- (5) **Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property shall be preserved.

The distinctive features and finishes of the building will be retained and preserved. The visible secondary east elevation where a new door opening is proposed consists of plain brick that was at one time covered up by a now-demolished building on the adjacent lot, while the one-story shed roof proposed to be altered to install mechanical equipment at the rear elevation is utilitarian in nature and does not possess any character-defining features that could be impacted by the proposed work.

- (6) **Standard 6:** Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Not Applicable

- (7) **Standard 7:** Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Not Applicable

- (8) **Standard 8:** Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Not Applicable.

- (9) **Standard 9:** New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The proposed work will not destroy historic materials or features that characterize the building. The new door, window louvers, mechanical screening, and light fixtures will be differentiated from the old in physical material properties and will be compatible in materials, features, size, scale, and finish.

- (10) **Standard 10:** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The essential form and integrity of the building and its environment would not be impaired if the proposed work were to be removed in the future.

7. **General Plan Compliance.** The proposed Permit to Alter is, on balance, consistent with the following Objectives and Policies of the General Plan:

URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2:

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

Policy 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

Policy 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Permit to Alter is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Permit to Alter and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject property for the future enjoyment and education of San Francisco residents and visitors.

8. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have an impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not affect the City's affordable housing supply.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking. It will provide sufficient off-street parking for the proposed units.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project will not have a direct impact on the displacement of industrial and service sectors.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

All construction will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 11 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

9. For these reasons, the proposal overall, appears to meet the *Secretary of the Interior's Standards* and the provisions of Article 11 of the Planning Code regarding Major Alterations to Category I (Significant) buildings.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES a Permit to Alter** for the property located at Lot 076 in Assessor's Block 3725 for proposed work in conformance with the architectural submittal dated June 15, 2020, and labeled Exhibit B on file in the docket for Record No. 2020-001258PTA-02.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Permit to Alter shall be final unless appealed within thirty (30) days after the date of this Motion No. XXXX. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 1650 Mission Street, (Room 304) or call (415) 575-6880.

Duration of this Permit to Alter: This Permit to Alter is issued pursuant to Article 11 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on September 2, 2020.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: September 2, 2020

EXHIBIT A

AUTHORIZATION UPDATE

This authorization is for a permit to alter to allow alterations located at 447 Minna Street (Block 3725, Lot 076) pursuant to Planning Code Section 1111.6 within the **C-3-S (Downtown-Service)** District and an **85-X** Height and Bulk District; in general conformance with plans, dated **6/15/2020** and stamped “EXHIBIT B” included in the docket for Record No. **2020-001258PTA-02** reviewed and approved by the Historic Preservation Commission on **9/2/2020** under Motion No. **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. “Project Sponsor” shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Historic Preservation Commission approval of a new Major Permit to Alter. In instances when Planning Commission also reviews additional authorizations for the project, Planning Commission may make modifications to the Major Permit to Alter based on majority vote and not required to return to Historic Preservation Commission.

Exhibit B:

Plans and Context Photos





447 MINNA STREET
SAN FRANCISCO, CALIFORNIA

TENANT IMPROVEMENTS
ISSUED FOR PERMIT
EXTERIOR SET
REVISED JUNE 15, 2020



Pier 9, The Embarcadero, Suite 107
San Francisco, California 94111
415 421 1680

argsf.com

PROJECT TEAM

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ELECTRICAL ENGINEER
OMAHONY & MEYER ELECTRICAL ENGINEERING
4340 REDWOOD HWY, STE. 245
SAN RAFAEL, CA 94603
415.490.0420

PROJECT DATA

PLANNING DEPT. HISTORIC RESOURCE STATUS
A - HISTORIC RESOURCE PRESENT
ARTICLE II CATEGORY: 1 - SIGNIFICANT BUILDING, NO ALTERATIONS

BUILDING DATA
CONSTRUCTION DATE: 1907
ORIGINAL ARCHITECT: MOOSER & MILWAIN
STORIES: 4
HEIGHT: 60 FEET
CONSTRUCTION TYPE: III-B

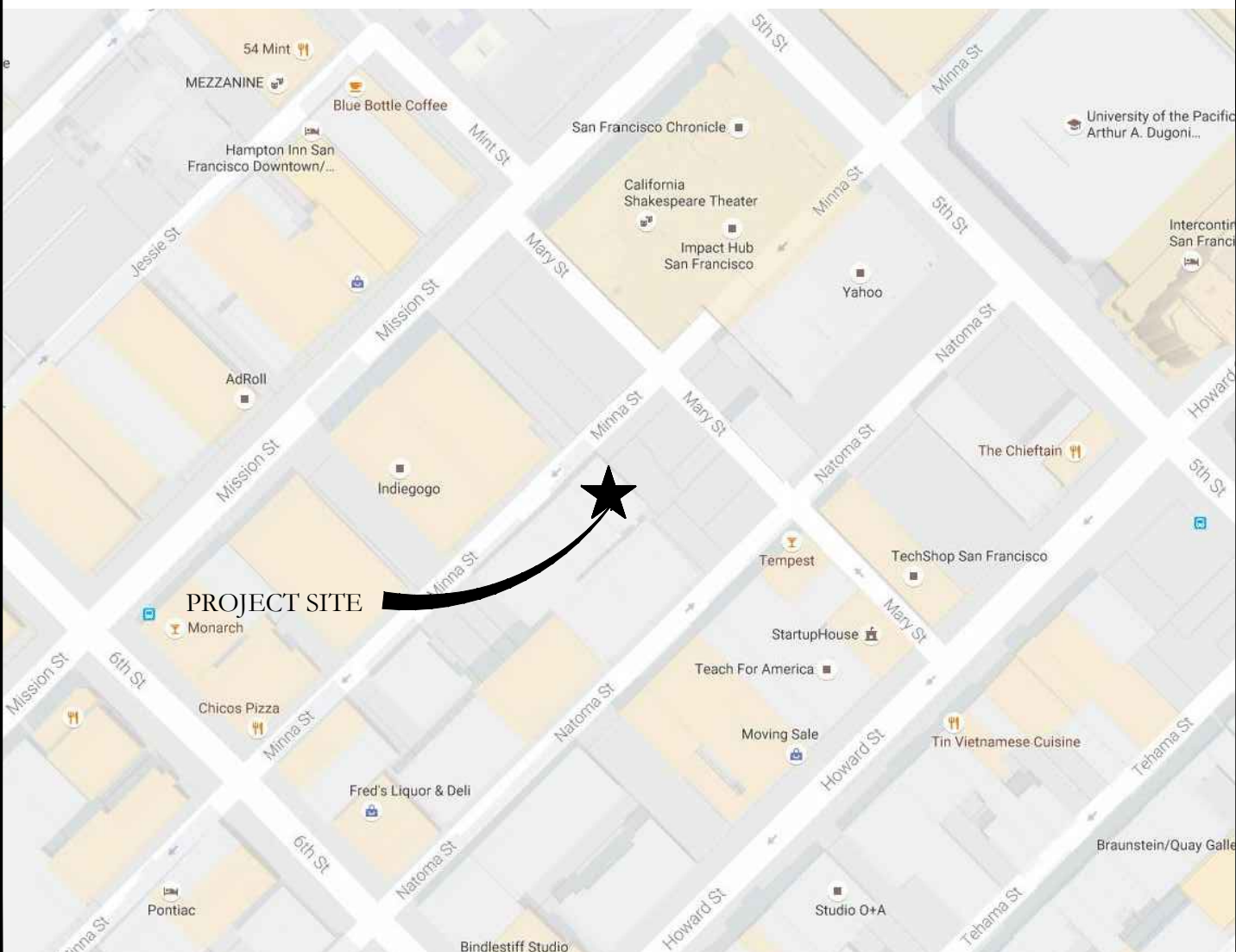
OCCUPANCY: B (BUSINESS) USE GROUP: OFFICES

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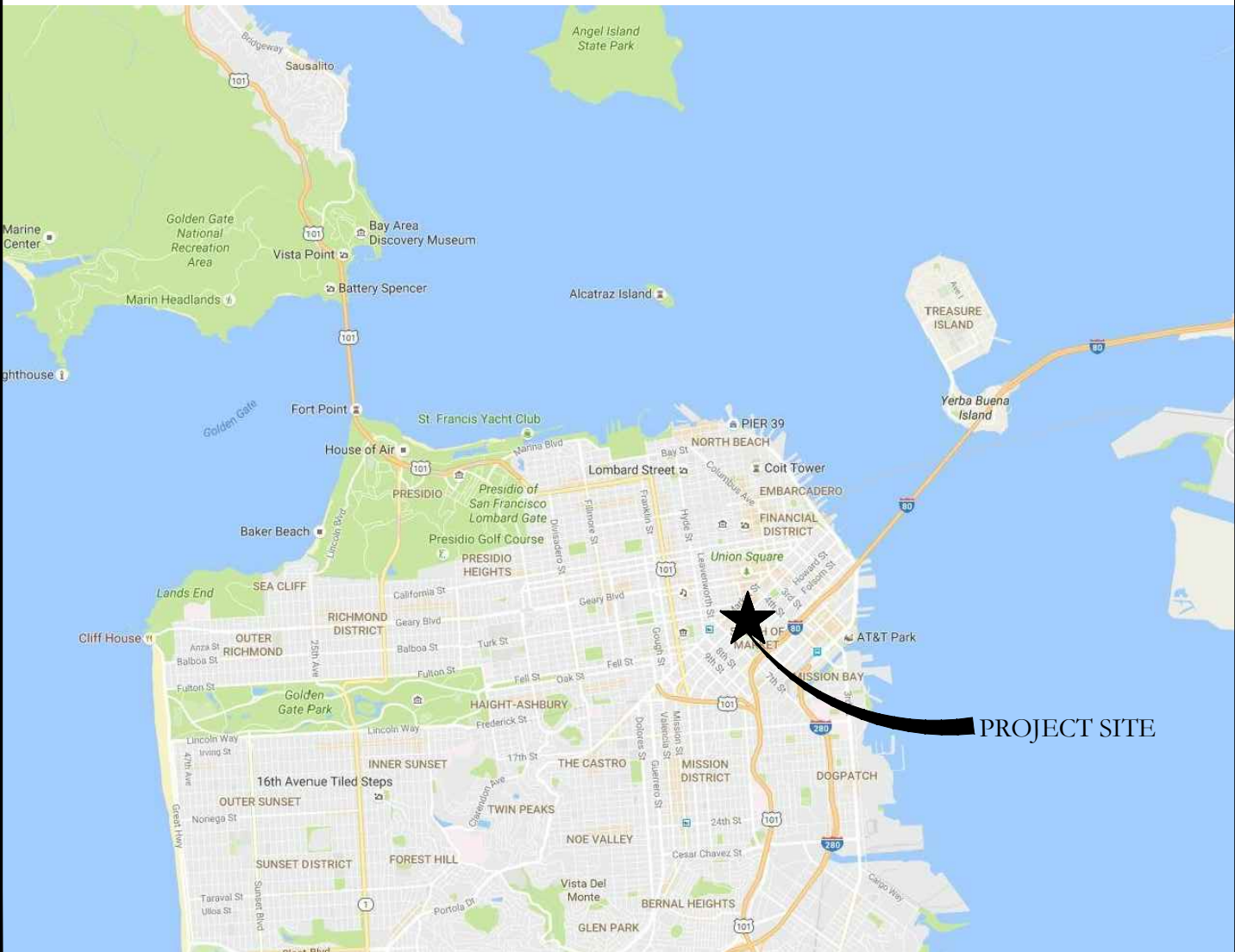
TITLESHEETS	
T1.0	COVER
T1.1	GENERAL NOTES, ABBREVIATIONS AND SYMBOLS
ARCHITECTURAL	
A1.0	FLOOR PLANS
A3.0	EXTERIOR ELEVATION
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A3.2	EXTERIOR ELEVATION
A3.3	EXTERIOR ELEVATION
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T24.1	MECHANICAL TITLE 24 DOCUMENTATION
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E8.2	TITLE 24 DOCUMENTATION

PROJECT LOCATION



VICINITY MAP



NO.	DESCRIPTION	DATE
REVISIONS		

447 MINNA STREET

TENANT IMPROVEMENT
447 MINNA STREET
SAN FRANCISCO, CA

SHEET TITLE
TITLE SHEET

ISSUANCE
PERMIT SET - REVISED
EXTERIOR WORK ONLY
JUNE 15, 2020

PROJ NO.
180719

DRAWN
MP/LB

CHECKED
DW

DRAWING NO.

T1.0
SHEET 1 OF 26



ABBREVIATIONS									
#	AND	(E)	EXISTING		OVERLAY		DRAWINGS		
∠	ANGLE	EA	EACH	MECH	MECHANICAL	SLR	SEALER		
@	AT	EJ	EXPANSION JOINT	MEMB	MEMBRANE	9MD	SEE MECHANICAL		
⊕	CENTERLINE	EL	ELEVATION	MET	METAL		DRAWINGS		
⌀	DIAMETER/	ELEC	ELECTRICAL	MFR	MANUFACTURER	9ND	SANITARY		
⊙	ROUND	ELEV	ELEVATOR	MH	MANHOLE		NAPKIN		
*	FOUND OR	EMER	EMERGENCY	MIN	MINIMUM		DISPENSER		
└┐	NUMBER	ENCL	ENCLOSURE	MIR	MIRROR	9NR	SANITARY		
	PERPENDICULAR	EP	ELECTRICAL	MISC	MISCELLANEOUS		NAPKIN		
			PANEL	MO	MASONRY		RECEPTACLE		
		EQ	EQUAL	MTD	OPENING	9SPEC	SPECIFICATION		
ACOUS	ACOUSTICAL	EQFT	EQUIPMENT	MUL	MOUNTED	SQ	SQUARE		
ACT	ACOUSTIC	EWC	ELECTRICAL		MULLION	9SD	SEE STRUCTURAL		
	CEILING TILE		WATER COOLER				DRAWINGS		
AD	AREA DRAIN	EXIST	EXISTING	N	NORTH	9SK	SERVICE SINK		
ADJ	ADJUSTABLE/	EXP	EXPANSION	(N)	NEW	9ST	STAINLESS STEEL		
	ADJACENT	EXPO	EXPOSED	NIC	NOT IN	STA	STATION		
	ABOVE FINISHED	EXT	EXTERIOR		CONTRACT	9TD	STANDARD		
	FLOOR			NOM	NOMINAL	9TL	STEEL		
AL	ALUMINUM	FA	FIRE ALARM	NTS	NOT TO SCALE	9TOR	STORAGE		
APPROX	APPROXIMATE	FB	FUSE BOX			STRUC	STRUCTURAL		
ARCH	ARCHITECTURAL	FBR BD	FIBER BOARD	OA	OVERALL	9SUP	SUSPENDED		
ASB	ASBESTOS	FBRGL	FIBERGLASS	OB9	OBSCURE	SV	SHEET VINYL		
ASPH	ASPHALT	FD	FLOOR DRAIN	OC	ON CENTER	9YM	SYMMETRICAL		
ATT	ATTACH	FDDN	FOUNDATION	OCC	OCCUPANCY OR				
		FE	FIRE	OCC	OCCUPANT(S)	T	TREAD		
			EXTINGUISHER	OD	OUTSIDE	TB	TOUCEL BAR		
		FEC	FIRE HOSE	OFCI	DIAMETER	TCA	TILE COUNCIL OF		
BD	BOARD	FHC	FIRE HOSE		QUINER		AMERICA		
BITUM	BITUMINOUS		CABINET		FURNISHED,	TEL	TELEPHONE		
BLDG	BUILDING	FIN	FINISH		CONTRACTOR	TER	TERRAZZO		
BLK	BLOCK	FLR	FLOOR		INSTALLED	T4G	TONGUE &		
BM	BEAM	FLASH	FLASHING	OFOI	QUINER		GROOVE		
BOT	BOTTOM	FLUOR	FLUORESCENT		FURNISHED,	THK	THICK		
BUR	BUILT-UP	FND	FOUNDATION		QUINER	TO	TOP OF		
	ROOFING	FO	FACE OF		INSTALLED	TOC	TOP OF CURB		
		FOC	FACE OF	OFF	OFFICE	TOF	TOP OF PAVING		
			CONCRETE	OPNG	OPENING	TOW	TOP OF WALL		
			FACE OF FINISH	OPF	OPPOSITE	TPD	TOILET PAPER		
CAB	CABINET	FOF	FACE OF FINISH	OSB	ORIENTED		DISPENSER		
CB	CATCH BASIN	FOM	FACE OF		STRAND BOARD	TR	TRASH		
CEM	CEMENT		MASONRY		PARALLEL		RECEPTACLE		
CER	CERAMIC	FOS	FACE OF STUD	PARA	PERF	TRD	TREAD		
CG	CORNER GUARD	FOU	FACE OF WALL	PERP	PERPENDICULAR	TV	TELEVISION		
CI	CAST IRON	FF	FABRIC PANEL	PL	PLATE	TYP	TYPICAL		
CJ	CONTROL JOINT	FFRF	FIREPROOF	PLAM	PLASTIC				
CLG	CEILING	FRP	FIBERGLASS		LAMINATE				
CLKG	CAULKING		REINFORCED	PLAS	PLASTER	UNF	UNFINISHED		
CLO	CLOSET	F6	FULL SIZE	PLYWD	PLYWOOD	UON	UNLESS		
CLR	CLEAR	FT	FOOT OR FEET	PR	PAIR		OTHERWISE		
CMU	CONCRETE	FTG	FOOTING	PRCST	PRECAST		NOTED		
	MASONRY UNIT	FURR	FURRING	PT	PAINT	UR	URINAL		
		FUT	FUTURE	PTD	PAPER TOWEL				
CNTR	COUNTER				DISPENSER	VCT	VINYL		
CO	CLEANOUT OR	GYP	GYPSPUM	PTD/R	COMBINATION		COMPOSITION		
	CONTRACTING	GA	GAUGE		PAPER TOWEL		TILE		
	OFFICER	GALV	GALVANIZED		DISPENSER/	VERT	VERTICAL		
	COLUMN	GB	GRAB BAR		RECEPTACLE	VEST	VESTIBULE		
COL	COMPOSITION	GL	GLASS	PTN	PARTITION	VIF	VERIFY IN FIELD		
CONC	CONCRETE	GLB	GLUE LAM BEAM	PTR	PAPER TOWEL	VP	VENEER		
COND	CONDITION	GND	GROUND		RECEPTACLE		PLASTER		
CONN	CONNECTION	GR	GRADE			VTR	VENT THROUGH		
CONSTR	CONSTRUCTION	GSM	GALVANIZED	QT	QUARRY TILE		ROOF		
CONT	CONTINUOUS		SHEET METAL			VW	VINYL		
CONTR	CONTRACTOR	HB	HOSE BIB	R	RISER		WALLCOVERING		
COR	CONTRACTING	(R)	REMOVE	RAD	RADIUS	W	WEST		
	OFFICER'S	RB	RUBBER BASE	RD	ROOF DRAIN	W/	WITH		
	REPRESENTATIVE	RD	ROOF	REC	RECESSED	WC	WATER CLOSET		
CORR	CORRIDOR	REF	REFERENCE	REC	RECESSED	WCV	WALLCOVERING		
CPT	CARPET	REFG	REFRIGERATOR	REF	REFERENCE	WD	WOOD		
CT	CERAMIC TILE	REHAB	REHABILITATE	REFG	REFRIGERATOR	WO	WHERE OCCURS		
CTG	CENTER	REINF	REINFORCED	REHAB	REHABILITATE	W/O	WITHOUT		
CT9K	COUNTERSINK	REF	REPAIR	REINF	REINFORCED	WUP	WATERPROOF		
		REQ	REQUIRED	REF	REFERENCE	WSCOT	WAINSCOT		
		RESIL	RESILIENT	REQ	REQUIRED	WT	WEIGHT		
		RES	RESTORE	RESIL	RESILIENT				
		RF	REFINISH	RES	RESTORE				
DBL	DOUBLE	RGTR	REGISTER	RF	REFINISH				
DEMO	DEMOLITION	FL	ROOF LEADER	RGTR	REGISTER				
DEPT	DEPARTMENT	RM	ROOM	FL	ROOF LEADER				
DET	DETAIL	RO	ROUGH OPENING	RM	ROOM				
DETER	DETERIORATED	RUD	REDWOOD	RO	ROUGH OPENING				
DF	DRINKING	RUL	RAIN WATER	RUD	REDWOOD				
	FOUNTAIN OR		LEADER	RUL	RAIN WATER				
	DOUGLAS FIR								
DIA	DIAMETER	KIT	KITCHEN						
DIM	DIMENSION								
DISP	DISPENSER	LAB	LABORATORY	S	SOUTH				
DN	DOWN	LAM	LAMINATE	SALV	SALVAGE				
DO	DOOR OPENING	LAV	LAVATORY	SC	SOLID CORE				
DR	DOOR	LB	POUND	SCD	SEAT COVER				
D8	DOWNSPOUT	LKR	LOCKER		DISPENSER				
D8P	DRY STANDPIPE	LN	LINOLEUM	SCHED	SCHEDULE				
DTL	DETAIL	LT	LIGHT	9D	90AF				
DUG	DRAWING				DISPENSER				
DWR	DRAWER	MAX	MAXIMUM	SECT	SECTION				
		MB	MACHINE BOLT	9H	SHELF				
E	EAST	MC	MEDICINE	9HR	SHOWER				
		MDF	CABINET	9HT	SHEET				
		MDO	MEDIUM DENSITY	9HTG	SHEATHING				
			FIBERBOARD	SIM	SIMILAR				
			MEDIUM DENSITY	SLD	SEE LANDSCAPE				

GENERAL NOTES

- CONTRACTOR SHALL VERIFY THAT (E) CONDITIONS ARE AS INDICATED ON THE DRAWINGS. NOTIFY THE ARCHITECT IMMEDIATELY OF VARIATIONS OR DISCREPANCIES. DO NOT PROCEED WITH AFFECTED WORK UNTIL THE VARIATIONS OR DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- ALL CONSTRUCTION AND INSTALLATION WORK SHOWN ON DRAWINGS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. USE METHODS AS REQUIRED TO COMPLETE WORK WITHIN LIMITATIONS OF ALL PREVAILING LAWS AND CODES.
- DO NOT SCALE DRAWINGS: USE DIMENSIONS SHOWN. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. DIMENSIONS SHOWN AT (E) CONDITIONS ARE TO FACE OF (E) FINISH. U.O.N. DIMENSIONS AT NEW WORK ARE TO FACE OF FRAMING, U.O.N. DIMENSIONS OF (E) CONDITIONS ARE FOR REFERENCE ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. WHERE NO DIMENSION IS PROVIDED CONSULT WITH THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH AFFECTED WORK.
- SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONDITIONS AT THE JOB SITE, INCLUDING SAFETY OF PEOPLE AND PROPERTY. ARCHITECT SITE VISITS ARE NOT INTENDED TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- INSTALL MANUFACTURED MATERIALS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, UNLESS OTHERWISE INSTRUCTED.
- ALL WASTE AND REFUSE CAUSED IN CONNECTION WITH THE WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE CONTRACTOR. THE PREMISES SHALL BE LEFT CLEAR AND CLEAN TO THE SATISFACTION OF THE ARCHITECT.
- APPLICATION OF FINISH: SURFACES PREVIOUSLY PREPARED OR INSTALLED BY ANOTHER TRADE SHALL BE INSPECTED CAREFULLY BY THE CONTRACTOR BEFORE APPLYING SUBSEQUENT MATERIALS OR FINISHES. IF SURFACES ARE NOT ACCEPTABLE, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN ORDER THAT CORRECTIONS MAY BE MADE. APPLICATIONS OF FINISHES WILL BE CONSTRUED AS ACCEPTANCE OF RESPONSIBILITY BY THE SUBCONTRACTOR FOR THE BASE UPON WHICH IT IS APPLIED.
- INSTALL ALL WORK PLUMB, LEVEL AND STRAIGHT, OR AS REQUIRED TO ALIGN WITH (E) ADJACENT SURFACES.
- CONTRACTOR SHALL DESIGN AND INSTALL SHORING AS REQUIRED TO PERFORM WORK. RESPONSIBILITY FOR ENGINEERING, CONSTRUCTION, AND SAFETY OF THE SHORING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLEMENTARY. CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, SPECIFICATIONS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH WORK.
- DETAILS SHOWN SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY CALLED OUT OR NOT.
- THE CONTRACTOR MUST SUBMIT IN WRITING ANY REQUESTS FOR MODIFICATIONS TO THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SUBMITTED TO THE ARCHITECT FOR REVIEW DO NOT CONSTITUTE "IN WRITING" UNLESS IT IS CLEARLY NOTED ON THE SUBMITTAL THAT SPECIFIC CHANGES ARE BEING REQUESTED WITH THE PHRASE "REQUESTED CHANGE".
- FINAL AS-BUILT RECORD DOCUMENTS SHOWING ALL REVISIONS INCORPORATED DURING CONSTRUCTION SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO PROJECT CLOSE-OUT.
- THROUGHOUT THE CONSTRUCTION DOCUMENTS, ITEMS THAT ARE EXISTING ARE INDICATED AS "EXISTING" OR "(E)". ITEMS WITHOUT THIS INDICATION ARE NEW CONSTRUCTION. WHERE REQUIRED FOR PURPOSES OF CLARITY, SOME ITEMS MAY BE INDICATED AS "NEW OR "(N)".
- 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY A REGISTERED HAULER TO A REGISTERED FACILITY WITH A MINIMUM OF 65% DIVERSION RATE PER SAN FRANCISCO BUILDING CODE CH. 13B.

HAZARDOUS MATERIALS

ARCHITECTURAL RESOURCES GROUP ASSUMES NO RESPONSIBILITY FOR THE MANAGEMENT OF HAZARDOUS MATERIALS THAT MAY BE ON THIS SITE.

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT PERSONNEL WITHIN THE WORK AREA ARE PROTECTED FROM EXPOSURE TO ANY HAZARDOUS MATERIALS ENCOUNTERED. IF MATERIALS ARE DISCOVERED THAT MAY BE HAZARDOUS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND CEASE WORK UNTIL CONDITIONS CAN BE MAINTAINED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.

DETAIL NUMBERING

THE NUMBERING SYSTEM USED FOR DETAILS ON THE DRAWINGS IS AS SHOWN IN THE FOLLOWING DIAGRAM.

12	9	6	3
11	8	5	2
10	7	4	1

WHEN MORE THAN ONE BLOCK IS USED FOR A SINGLE DETAIL, THE NUMBER OF THE LOWEST NUMBERED BLOCK IS USED, THUS NUMBERS ARE ALWAYS IN THE SAME LOCATION ON THE SHEET.

PROJECT DATA

LOT / LOCATION: 447 MINNA STREET
SAN FRANCISCO, CALIFORNIA

OCCUPANCY: B (BUSINESS) USE GROUP: OFFICES

CONSTRUCTION TYPE: TYPE III-B

BUILDING HEIGHT/ STORIES: 60 FEET/FOUR STORIES

FLOOR	FLR. AREA (SQ.FT.)	OCCUPANCY	NO. OF OCC. (100 SF/OCC.)
1	2686	B	27
2	2505	B	25
3	2505	B	25
4	2505	B	25
	10188		

APPLICABLE BUILDING CODES

THE SECRETARY OF THE INTERIOR STANDARD AND ILLUSTRATED GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS, REVISED 1992 (36CFR 67), P.L. 89-665.

CALIFORNIA CODE OF REGULATIONS TITLE 24, 2016 CALIFORNIA BUILDING CODE, INCLUDING:

- PART 2 CALIFORNIA BUILDING CODE, VOLUMES 1 & 2
- PART 3 CALIFORNIA ELECTRICAL CODE
- PART 4 CALIFORNIA MECHANICAL CODE
- PART 5 CALIFORNIA PLUMBING CODE
- PART 6 CALIFORNIA ENERGY CODE
- PART 7 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE
- PART 8 CALIFORNIA HISTORIC BUILDING CODE
- PART 9 CALIFORNIA FIRE CODE
- PART 10 CALIFORNIA EXISTING BUILDING CODE

CITY OF SAN FRANCISCO MUNICIPAL CODE

ACCESSIBILITY REQUIREMENTS ARE GOVERNED BY:
CALIFORNIA BUILDING CODE, CHAPTER 11
UNITED STATES ACCESS BOARD, AMERICANS WITH DISABILITIES ACT AND
ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES

NATIONAL FIRE PROTECTION ASSOCIATION, NFPA 13 AUTOMATIC SPRINKLER SYSTEMS HANDBOOK

SYMBOL LEGEND

DOOR SYMBOL

20 DOOR NUMBER

WINDOW SYMBOL

20 WINDOW NUMBER

ALIGN SURFACES



ROOM TITLE SYMBOL

ENTRY ROOM NAME
112 ROOM NUMBER

WALL TYPE SYMBOL

WALL TYPE

SHEET NOTE SYMBOL

20 SHEET NOTE NUMBER

INTERIOR ELEVATION OR PHOTO DETAIL SYMBOL

1 ELEVATION OR PHOTO DETAIL NUMBER
A31 SHEET WHERE ELEVATION OR PHOTO DETAIL OCCURS

DETAIL SYMBOL

2 DETAIL NUMBER
A81 SHEET WHERE DETAIL OCCURS

SECTION SYMBOL

A SECTION NUMBER
A41 SHEET WHERE SECTION OCCURS

NEW CONSTRUCTION

EXISTING CONSTRUCTION TO BE REMOVED

EXISTING CONSTRUCTION TO REMAIN



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REVISIONS		

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TENANT IMPROVEMENT

447 MINNA STREET
SAN FRANCISCO, CA

SHEET TITLE

GENERAL NOTES,
ABBREVIATIONS,
AND SYMBOLS

ISSUANCE
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EXTERIOR WORK ONLY

JUNE 15, 2020

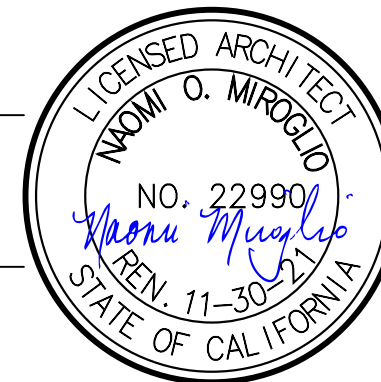
PROJ NO.
180719

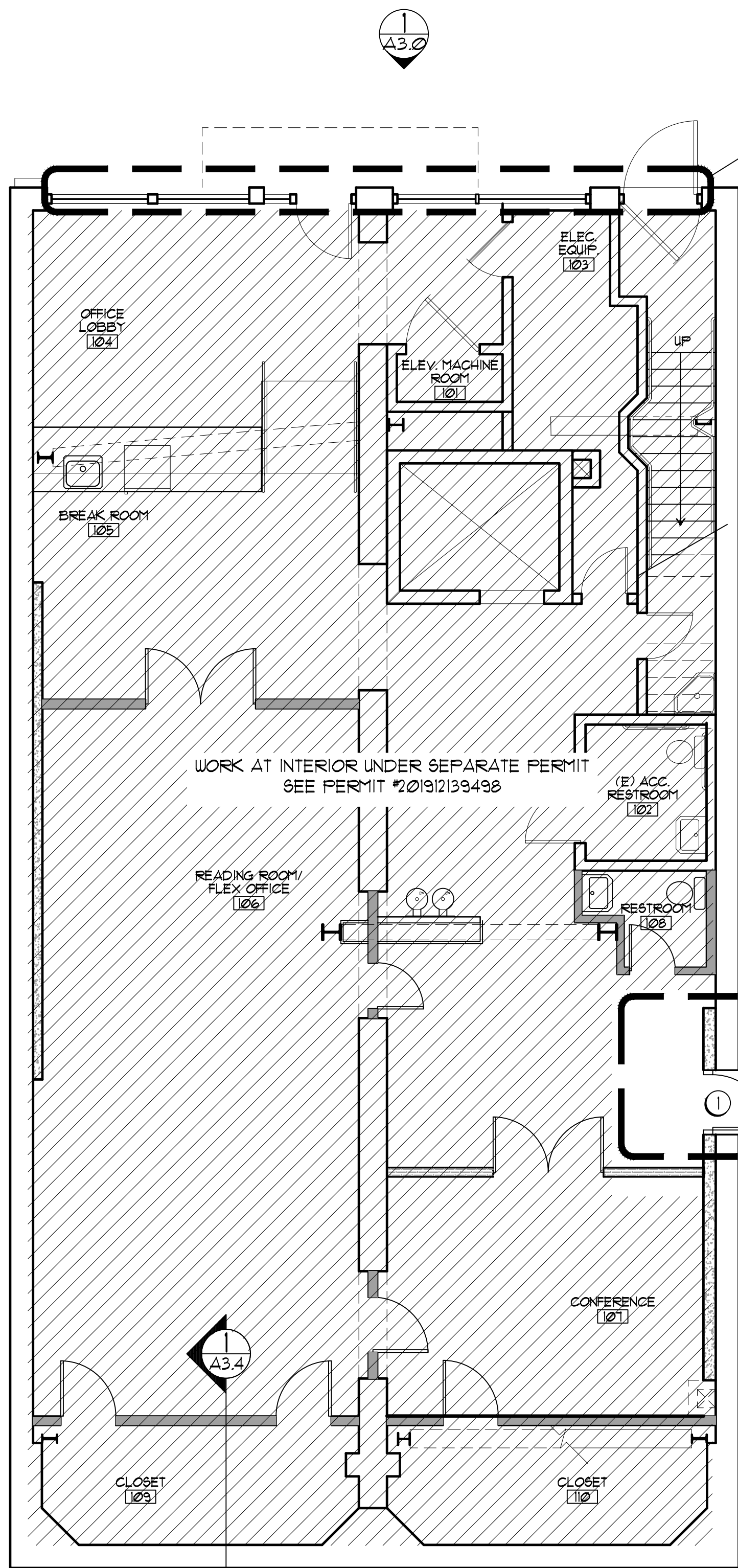
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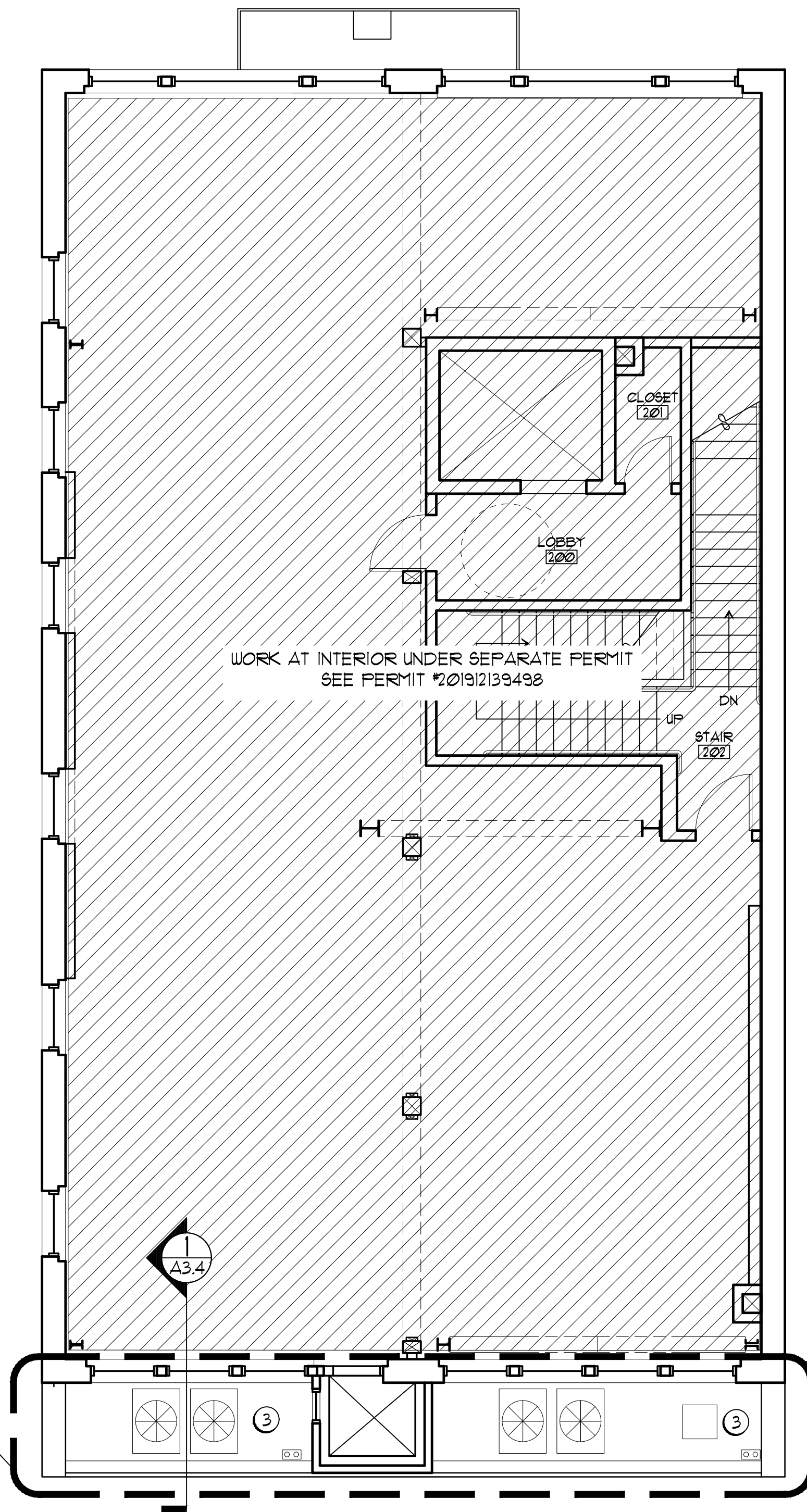
T1.1





1 FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"
X-PLAN 1

AREA OF WORK,
FIRST FLOOR ONLY



2 SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"
X-PLAN 2

GENERAL PLAN NOTES

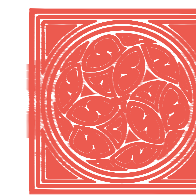
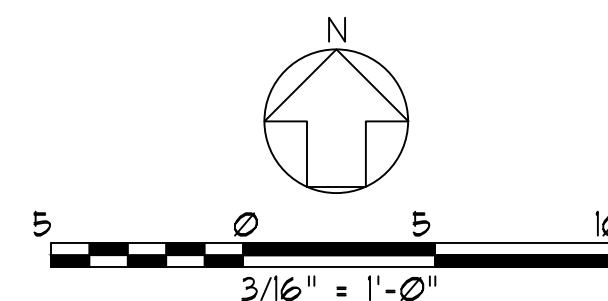
1. ALL MATERIALS TO REMAIN U.O.N. PROTECT ALL HISTORIC MATERIALS TO REMAIN FROM DAMAGE DURING SELECTIVE DEMOLITION AND CONSTRUCTION ACTIVITIES.
2. SEE ELEVATIONS FOR FULL SCOPE OF EXTERIOR WORK.

PLAN KEY NOTES

(NOT ALL NOTES APPEAR ON THIS SHEET)

- ① (N) EXT DOOR FOR EMERGENCY EGRESS ONLY. EGRESS EASEMENT AT ADJACENT LOT TO BE RECORDED ON DEEDS AND WITH CITY PRIOR TO CONCLUSION OF CONSTRUCTION.
- ② (N) LANDING IN PARK BY OTHERS.
- ③ (N) LOW ROOF FOR HVAC UNITS. SEE SECTION ON A3.4.

AREA OF WORK IS THE SAME AT 3RD AND
4TH FLOORS



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SAN FRANCISCO, CA

SHEET TITLE

FLOOR PLANS

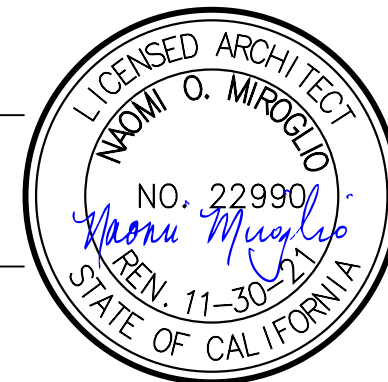
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JUNE 15, 2020

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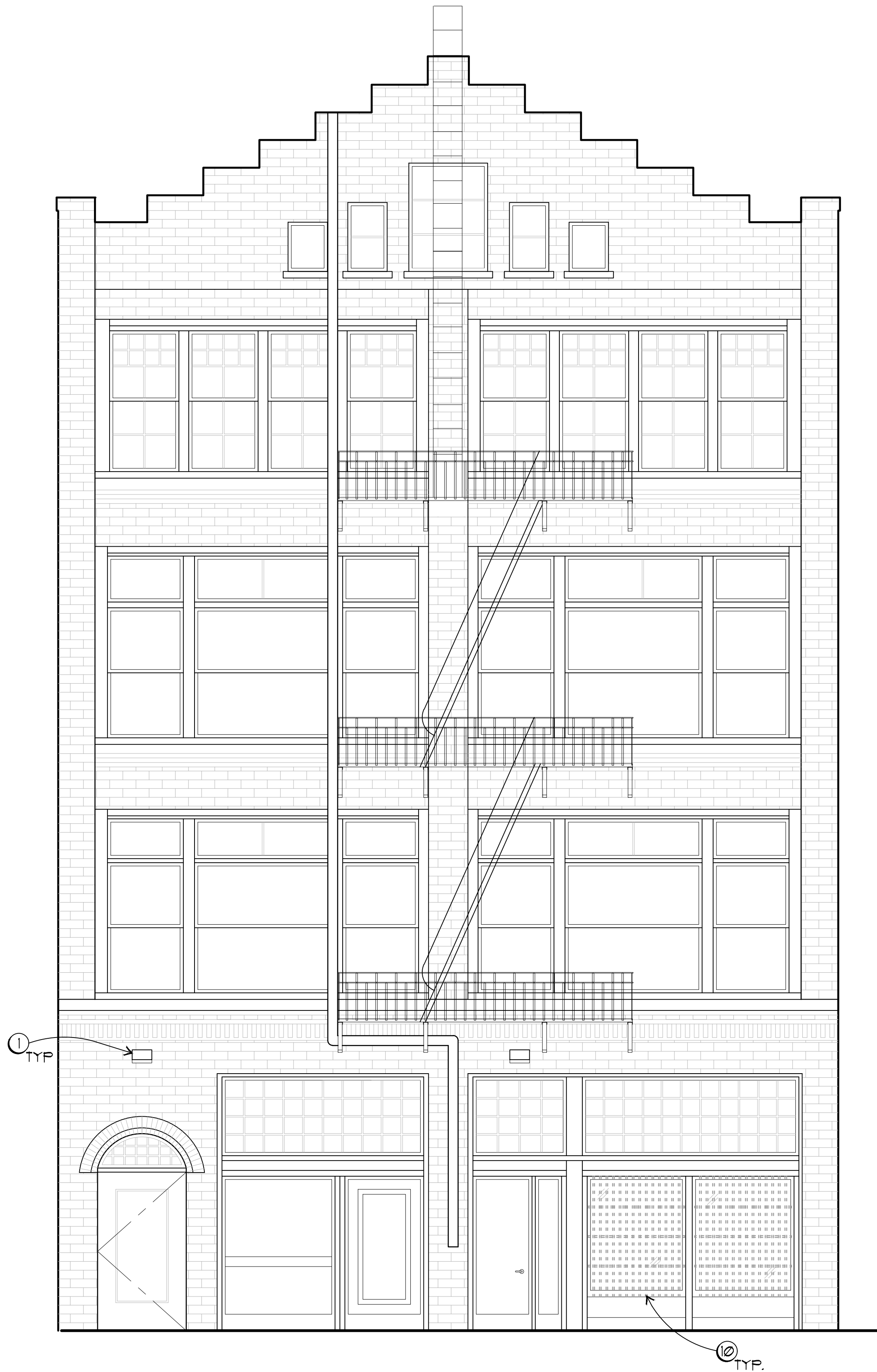
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DRAWING NO.

A1.0



1 NORTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"
X:ELEVATIONS.DWG



2 NORTH ELEVATION - EXISTING CONDITIONS
SCALE: 1/4" = 1'-0"
X:ELEVATIONS.DWG

GENERAL ELEVATION NOTES

- SEE GENERAL PROJECT NOTES ON SHEET T11
- ALL (E) MATERIALS TO REMAIN U.O.N. PROTECT HISTORIC MATERIALS TO REMAIN FROM DAMAGE.

ELEVATION KEY NOTES

(NOT ALL NOTES APPEAR ON THIS SHEET)

- (N) LIGHT FIXTURES WITH PAINTED FINISH. ELECTRICAL INSTALLATION COORDINATED WITH PERMIT #201912139498.
- (N) HVAC UNIT IN ROOF WELL. SEE SECTION FOR ROOF ASSEMBLY DETAIL. MECHANICAL INSTALLATION COORDINATED WITH PERMIT #201912139498.
- CREATE OPENINGS FOR CONNECTION TO (N) HVAC UNITS. USE (E) OPENINGS WHERE POSSIBLE OR REMOVE ABANDONED PIPING AS REQUIRED.
- (N) MECHANICAL LOUVER, SEE DETAILS 4 AND T/A8.1. REMOVE (E) WINDOW SASH AND DELIVER TO OWNER FOR FUTURE USE. (N) LOUVER FITTED TO (E) WINDOW ASSEMBLY. LOUVER SHALL BE SECURED TO WINDOW FRAME BUT EASILY REMOVABLE IN FUTURE.
- CUT OPENING IN (E) MASONRY FOR (N) FLUSH MTL DOOR WITH 2-HOUR RATING. EGRESS HARDWARE AT INTERIOR, NO HARDWARE AT EXTERIOR.
- (N) WD FENCE TO SCREEN HVAC UNITS, SEE DETAIL 3/A8.1. PAINT TO MATCH (E) WINDOWS.
- ELEVATION NOT VISIBLE FROM PUBLIC RIGHT-OF-WAY.
- REPLACE (E) LOUVER TO ACCOMMODATE HVAC SYSTEM NEEDS.
- DASHED LINE INDICATES ROOF BEHIND.
- REMOVE (E) SECURITY BARS.
- (E) LIGHT FIXTURE TO BE REMOVED.
- INSTALL (N) LIGHT FIXTURE.

NO.	DESCRIPTION	DATE
REVISIONS		

447 MINNA STREET

TENANT IMPROVEMENT

447 MINNA STREET
SAN FRANCISCO, CA

SHEET TITLE

NORTH EXTERIOR ELEVATION

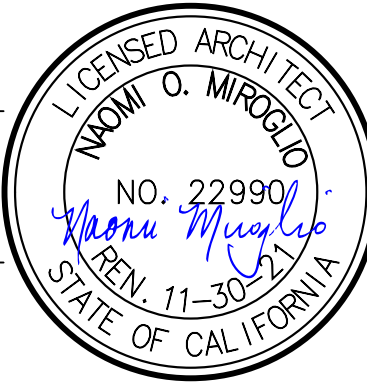
ISSUANCE
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JUNE 15, 2020

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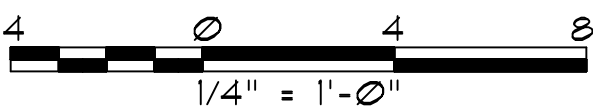
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A3.0





1 WEST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"
X:ELEVATIONS.DWG

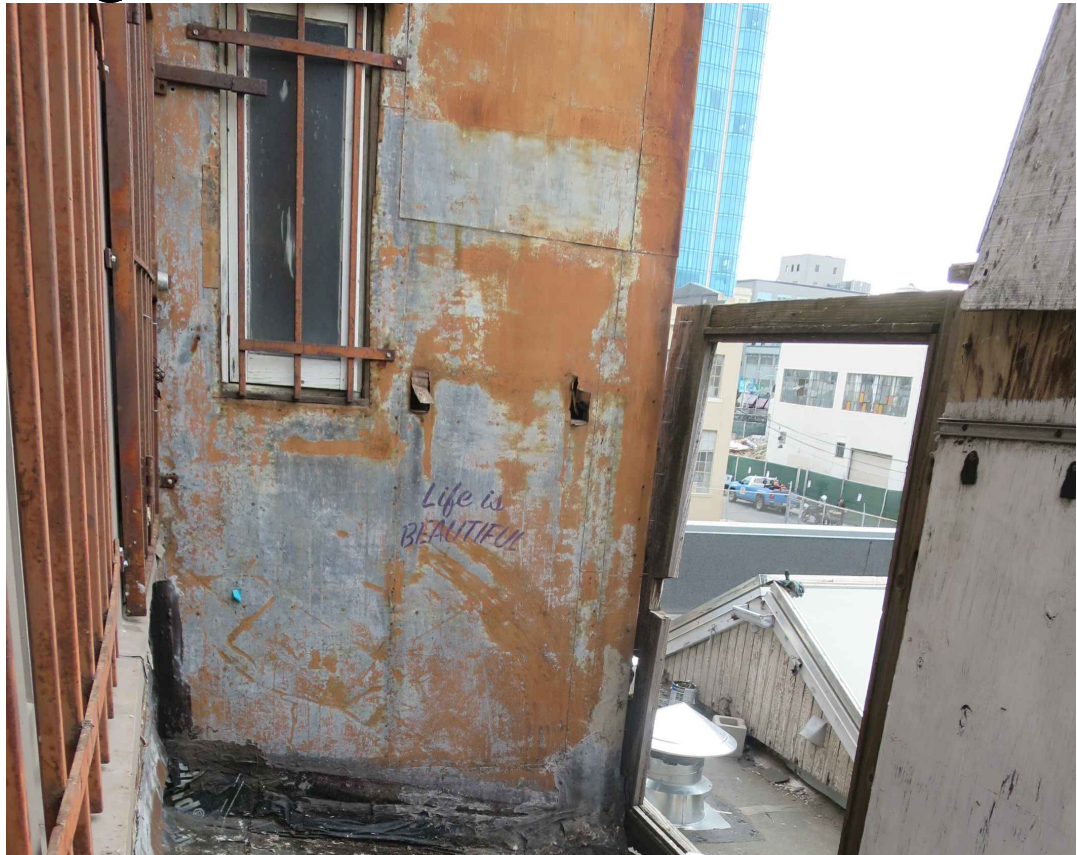
GENERAL ELEVATION NOTES

1. SEE GENERAL PROJECT NOTES ON SHEET T1J.
2. ALL (E) MATERIALS TO REMAIN U.O.N. PROTECT HISTORIC MATERIALS TO REMAIN FROM DAMAGE.

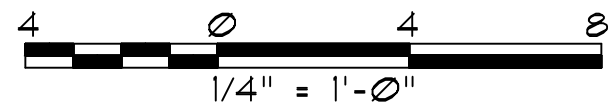
ELEVATION KEY NOTES

(NOT ALL NOTES APPEAR ON THIS SHEET)

1. (N) LIGHT FIXTURES WITH PAINTED FINISH. ELECTRICAL INSTALLATION COORDINATED WITH PERMIT #201912139498.
2. (N) HVAC UNIT IN ROOF WELL. SEE SECTION FOR ROOF ASSEMBLY DETAIL. MECHANICAL INSTALLATION COORDINATED WITH PERMIT #201912139498.
3. CREATE OPENINGS FOR CONNECTION TO (N) HVAC UNITS. USE (E) OPENINGS WHERE POSSIBLE OR REMOVE ABANDONED PIPING AS REQUIRED.
4. (N) MECHANICAL LOUVER, SEE DETAILS 4 AND T/A8.1. REMOVE (E) WINDOW SASH AND DELIVER TO OWNER FOR FUTURE USE. (N) LOUVER FITTED TO (E) WINDOW ASSEMBLY. LOUVER SHALL BE SECURED TO WINDOW FRAME BUT EASILY REMOVABLE IN FUTURE.
5. CUT OPENING IN (E) MASONRY FOR (N) FLUSH MTL DOOR WITH 2-HOUR RATING. EGRESS HARDWARE AT INTERIOR, NO HARDWARE AT EXTERIOR.
6. (N) WD FENCE TO SCREEN HVAC UNITS, SEE DETAIL 3/A8.1. PAINT TO MATCH (E) WINDOWS.
7. ELEVATION NOT VISIBLE FROM PUBLIC RIGHT-OF-WAY.
8. REPLACE (E) LOUVER TO ACCOMMODATE HVAC SYSTEM NEEDS.
9. DASHED LINE INDICATES ROOF BEHIND.
10. REMOVE (E) SECURITY BARS.
11. (E) LIGHT FIXTURE TO BE REMOVED.
12. INSTALL (N) LIGHT FIXTURE.



1 WEST ELEVATION - EXISTING
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SHEET TITLE

EXTERIOR ELEVATION WEST

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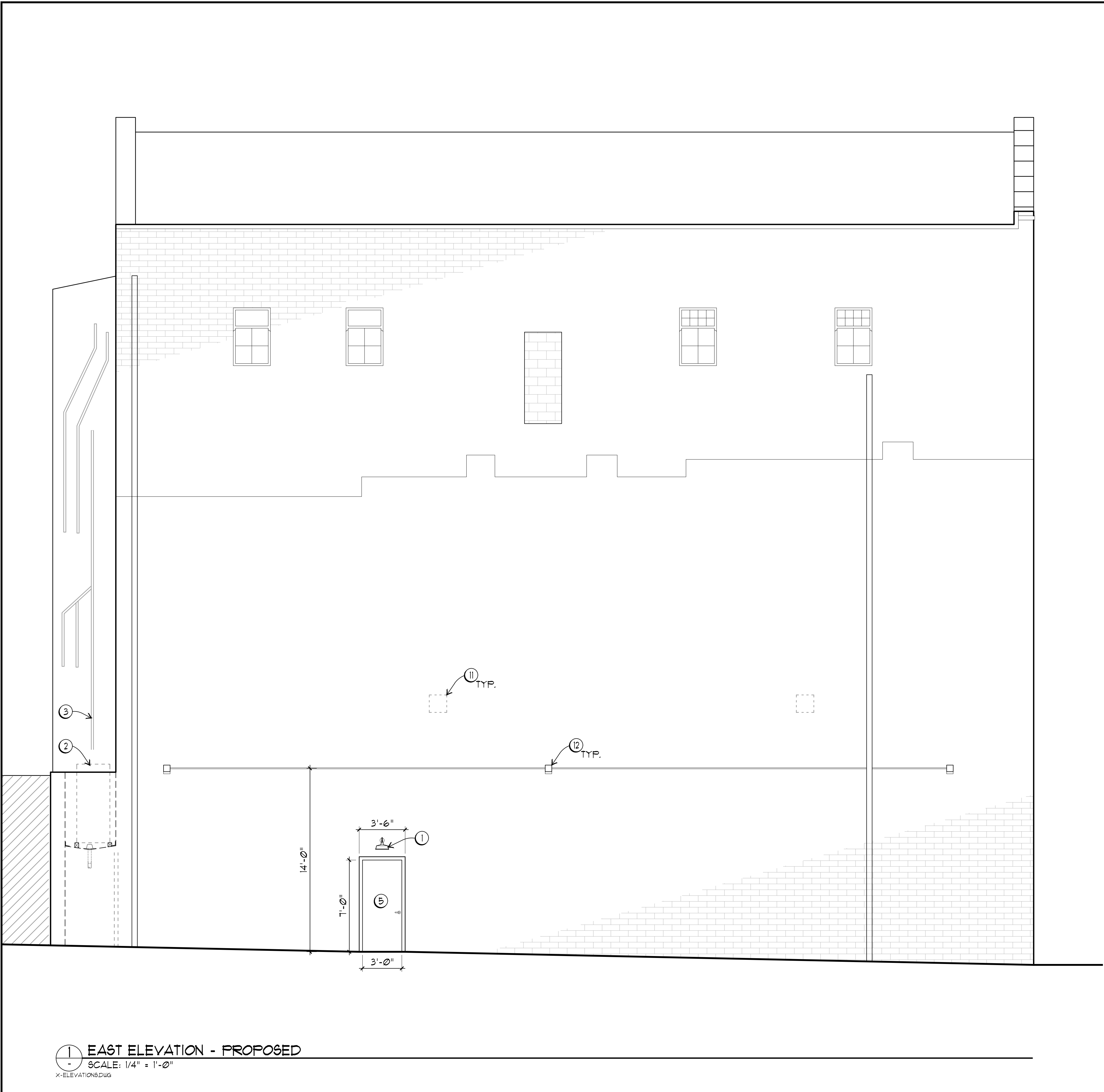
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A3.1



GENERAL ELEVATION NOTES

1. SEE GENERAL PROJECT NOTES ON SHEET T11.
2. ALL (E) MATERIALS TO REMAIN U.O.N. PROTECT HISTORIC MATERIALS TO REMAIN FROM DAMAGE.

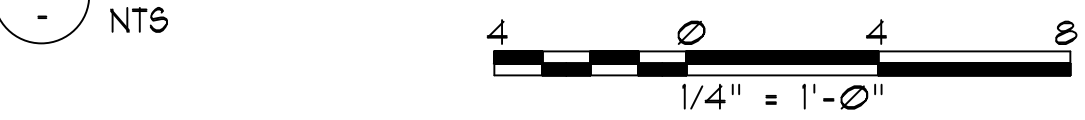
ELEVATION KEY NOTES

(NOT ALL NOTES APPEAR ON THIS SHEET)

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- ③ CREATE OPENINGS FOR CONNECTION TO (N) HVAC UNITS. USE (E) OPENINGS WHERE POSSIBLE OR REMOVE ABANDONED PIPING AS REQUIRED.
- ④ (N) MECHANICAL LOUVER, SEE DETAILS 4 AND T/A8.1. REMOVE (E) WINDOW SASH AND DELIVER TO OWNER FOR FUTURE USE. (N) LOUVER FITTED TO (E) WINDOW ASSEMBLY. LOUVER SHALL BE SECURED TO WINDOW FRAME BUT EASILY REMOVABLE IN FUTURE.
- ⑤ CUT OPENING IN (E) MASONRY FOR (N) FLUSH MTL DOOR WITH 2-HOUR RATING. EGRESS HARDWARE AT INTERIOR, NO HARDWARE AT EXTERIOR.
- ⑥ (N) WD FENCE TO SCREEN HVAC UNITS, SEE DETAIL 3/A8.1. PAINT TO MATCH (E) WINDOWS.
- ⑦ ELEVATION NOT VISIBLE FROM PUBLIC RIGHT-OF-WAY.
- ⑧ REPLACE (E) LOUVER TO ACCOMMODATE HVAC SYSTEM NEEDS.
- ⑨ DASHED LINE INDICATES ROOF BEHIND.
- ⑩ REMOVE (E) SECURITY BARS.
- ⑪ (E) LIGHT FIXTURE TO BE REMOVED.
- ⑫ INSTALL (N) LIGHT FIXTURE.



② EAST ELEVATION - EXISTING



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EXTERIOR ELEVATION EAST

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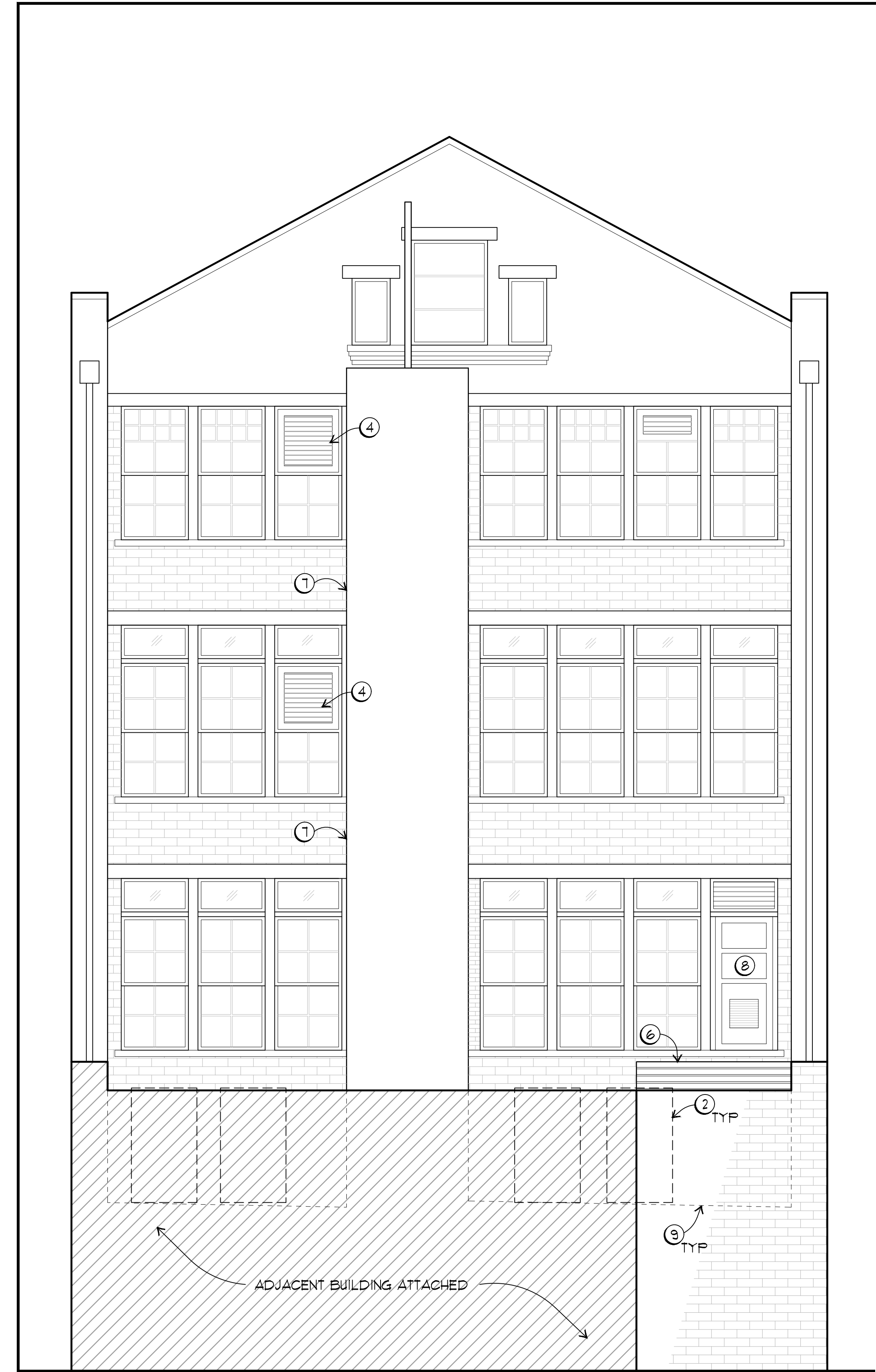
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DRAWING NO.

A3.2



1 SOUTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"
X-ELEVATIONS.DWG



2 SOUTH ELEVATION - EXISTING CONDITIONS
NTS



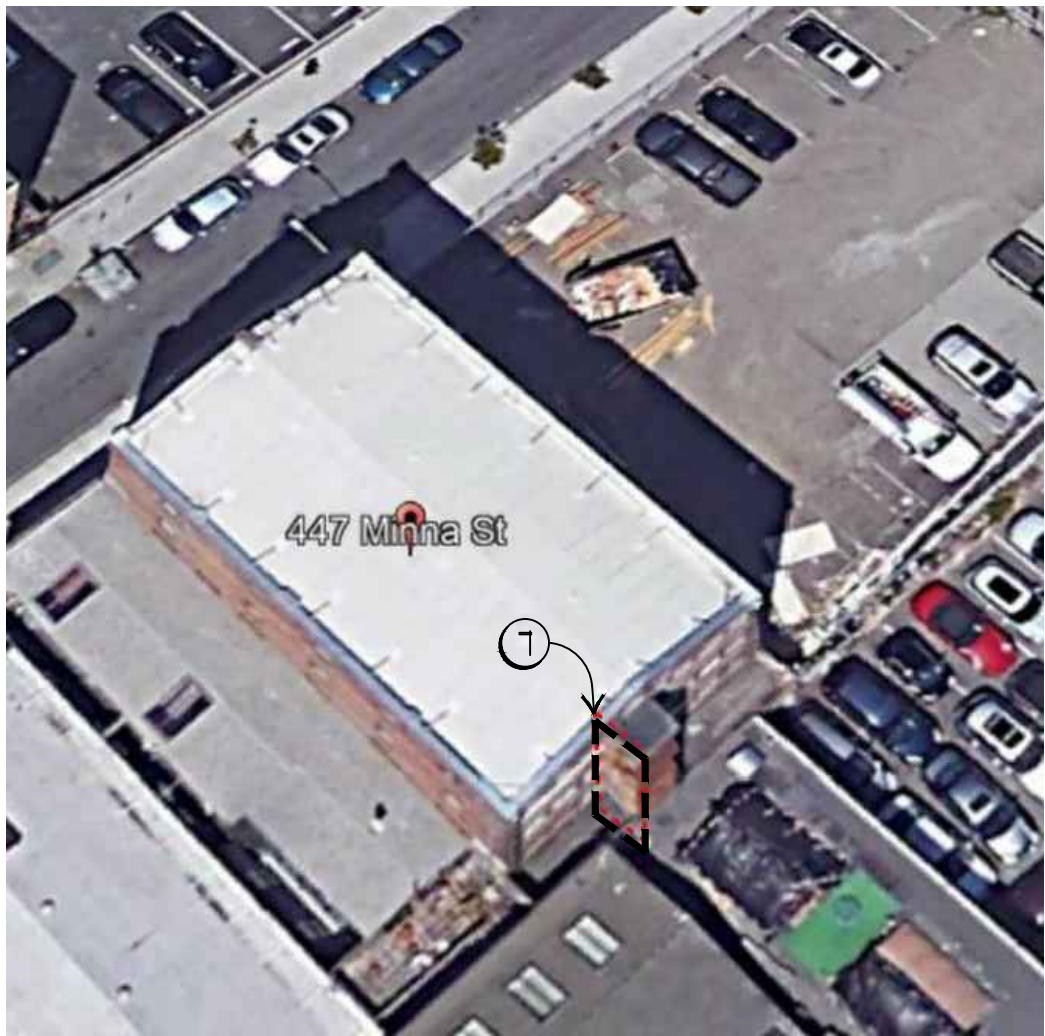
GENERAL ELEVATION NOTES

1. SEE GENERAL PROJECT NOTES ON SHEET T1J
2. ALL (E) MATERIALS TO REMAIN U.O.N. PROTECT HISTORIC MATERIALS TO REMAIN FROM DAMAGE.

ELEVATION KEY NOTES

(NOT ALL NOTES APPEAR ON THIS SHEET)

- 1 (N) LIGHT FIXTURES WITH PAINTED FINISH. ELECTRICAL INSTALLATION COORDINATED WITH PERMIT #201912139498.
- 2 (N) HVAC UNIT IN ROOF WELL. SEE SECTION FOR ROOF ASSEMBLY DETAIL. MECHANICAL INSTALLATION COORDINATED WITH PERMIT #201912139498.
- 3 CREATE OPENINGS FOR CONNECTION TO (N) HVAC UNITS. USE (E) OPENINGS WHERE POSSIBLE OR REMOVE ABANDONED PIPING AS REQUIRED.
- 4 (N) MECHANICAL LOUVER, SEE DETAILS 4 AND T/A8.1. REMOVE (E) WINDOW SASH AND DELIVER TO OWNER FOR FUTURE USE. (N) LOUVER FITTED TO (E) WINDOW ASSEMBLY. LOUVER SHALL BE SECURED TO WINDOW FRAME BUT EASILY REMOVABLE IN FUTURE.
- 5 CUT OPENING IN (E) MASONRY FOR (N) FLUSH MTL DOOR WITH 2-HOUR RATING. EGRESS HARDWARE AT INTERIOR, NO HARDWARE AT EXTERIOR.
- 6 (N) WD FENCE TO SCREEN HVAC UNITS, SEE DETAIL 3/A8.1. PAINT TO MATCH (E) WINDOWS.
- 7 ELEVATION NOT VISIBLE FROM PUBLIC RIGHT-OF-WAY.
- 8 REPLACE (E) LOUVER TO ACCOMMODATE HVAC SYSTEM NEEDS.
- 9 DASHED LINE INDICATES ROOF BEHIND.
- 10 REMOVE (E) SECURITY BARS.
- 11 (E) LIGHT FIXTURE TO BE REMOVED.
- 12 INSTALL (N) LIGHT FIXTURE.



3 AERIAL VIEW - SOUTHWEST
NTS

4 0 4 8
1/4" = 1'-0"

NO.	DESCRIPTION	DATE
REVISIONS		

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SHEET TITLE

SOUTH EXTERIOR ELEVATION

ISSUANCE
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EXTERIOR WORK ONLY

JUNE 15, 2020

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180719

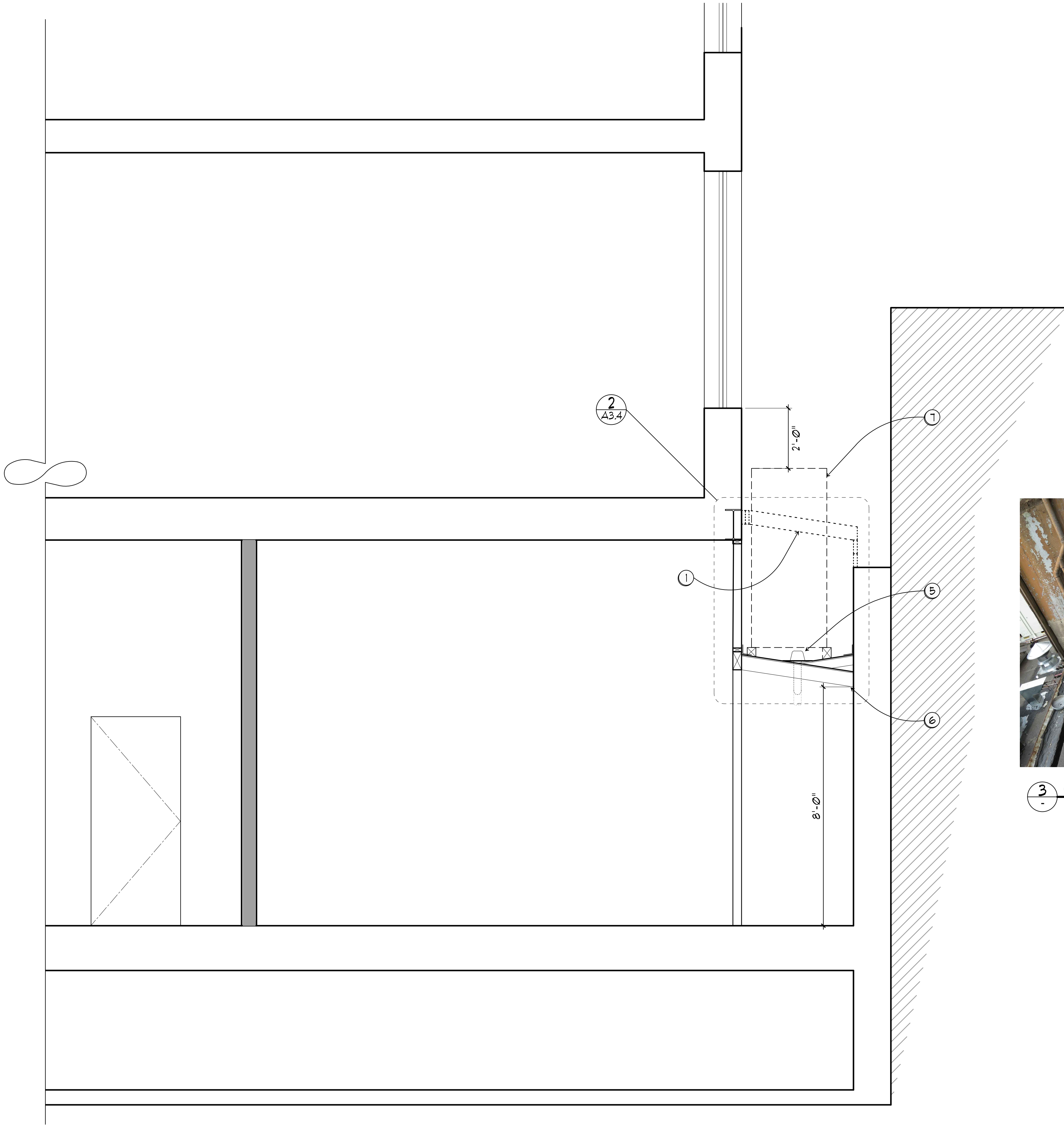
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CHECKED
DW



DRAWING NO.

A3.3



1 BUILDING SECTION AT (N) LOW ROOF
SCALE: 1/2" = 1'-0"

GENERAL SECTION NOTES

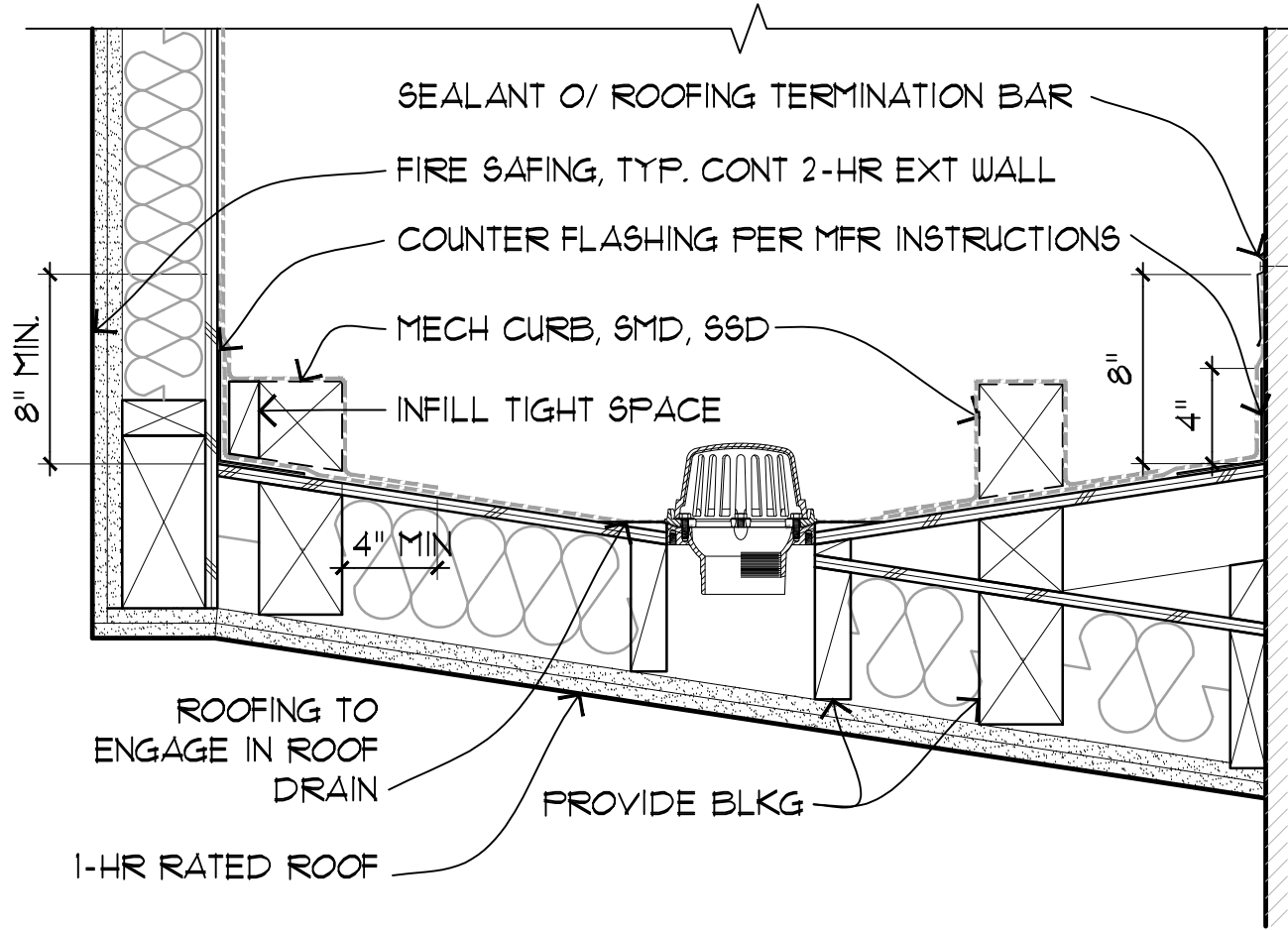
1. SEE GENERAL PROJECT NOTES ON SHEET TJ
2. SEE STRUCTURAL DRAWINGS FOR (N) LOW ROOF SUPPORT DETAILS.
3. NO WORK AT INTERIOR UNDER THIS PERMIT.

SECTION KEY NOTES

1. DEMOLISH (E) LOW EXTERIOR ROOF AND ROOF FRAMING.
2. NOT USED
3. NOT USED
4. NOT USED
5. ROOF DRAIN / OVERFLOW COMBO, SFD.
6. LOWER (N) WOOD FRAMED ROOF SLOPE TO DRAIN & KEEP 8 FT HEADROOM BELOW.
7. MECH EQUIPMENT, SMD.
8. STEEL BEAM COUNTER SUPPORT.



3 (E) LOW ROOF PHOTOS
SCALE: NTS



2 (E) WALL TO MECH ROOF SECTION
SCALE: 1 1/2" = 1'-0"
DTL-EXTERIOR



Pier 9, The Embarcadero, Suite 107
San Francisco, California 94111
415 421 1680

argsgf.com

NO.	DESCRIPTION	DATE
REVISIONS		

447 MINNA STREET

TENANT IMPROVEMENT

447 MINNA STREET
SAN FRANCISCO, CA

SHEET TITLE

BUILDING SECTION AND ROOF DETAIL

ISSUANCE
PERMIT SET - REVISED
EXTERIOR WORK ONLY

JUNE 15, 2020

PROJ NO.
180719

DRAWN
LB

CHECKED
DW



DRAWING NO.

A3.4

NO.	DESCRIPTION	DATE
REVISIONS		

447 MINNA STREET

TENANT IMPROVEMENT

447 MINNA STREET
SAN FRANCISCO, CA

SHEET TITLE

EXTERIOR DETAILS

ISSUANCE
PERMIT SET - REVISED
EXTERIOR WORK ONLY

JUNE 15, 2020

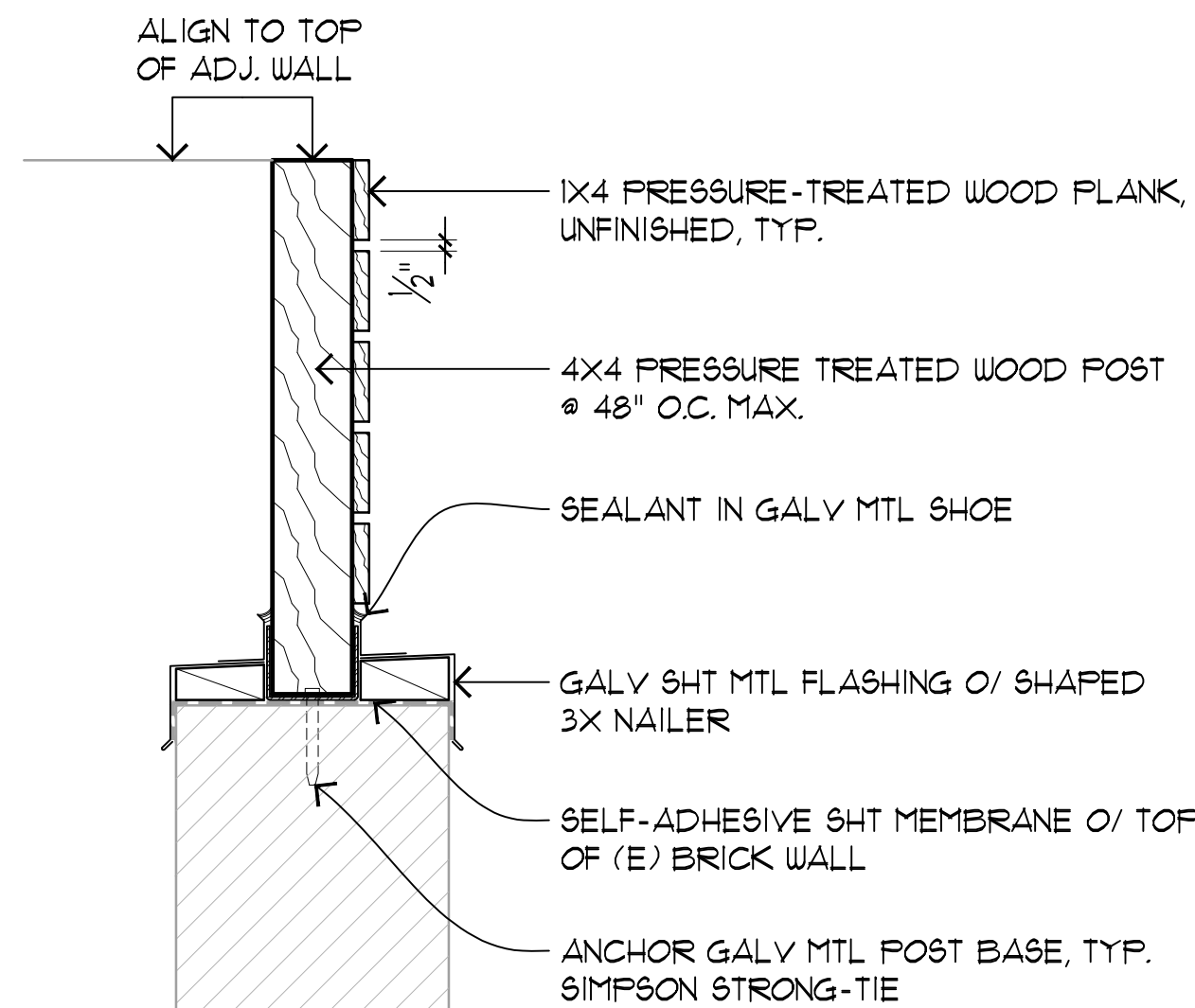
PROJ NO.
180719

DRAWN
LB

CHECKED
DW

DRAWING NO.

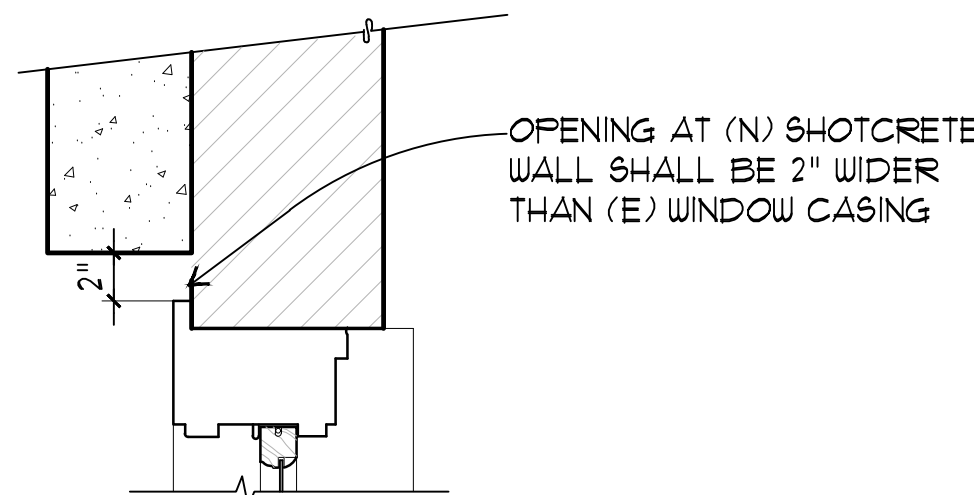
A8.1



3 MECH SCREEN SECTION

SCALE: 1 1/2" = 1'-0"

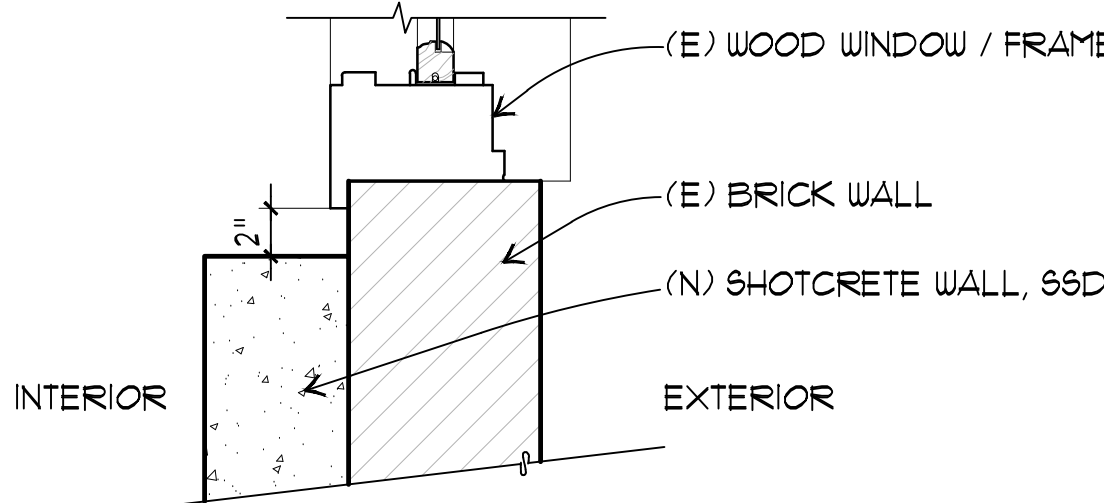
DTL-EXTERIOR DWG



5 HORIZ. SECTION, TYP WINDOW AT SHOTCRETE

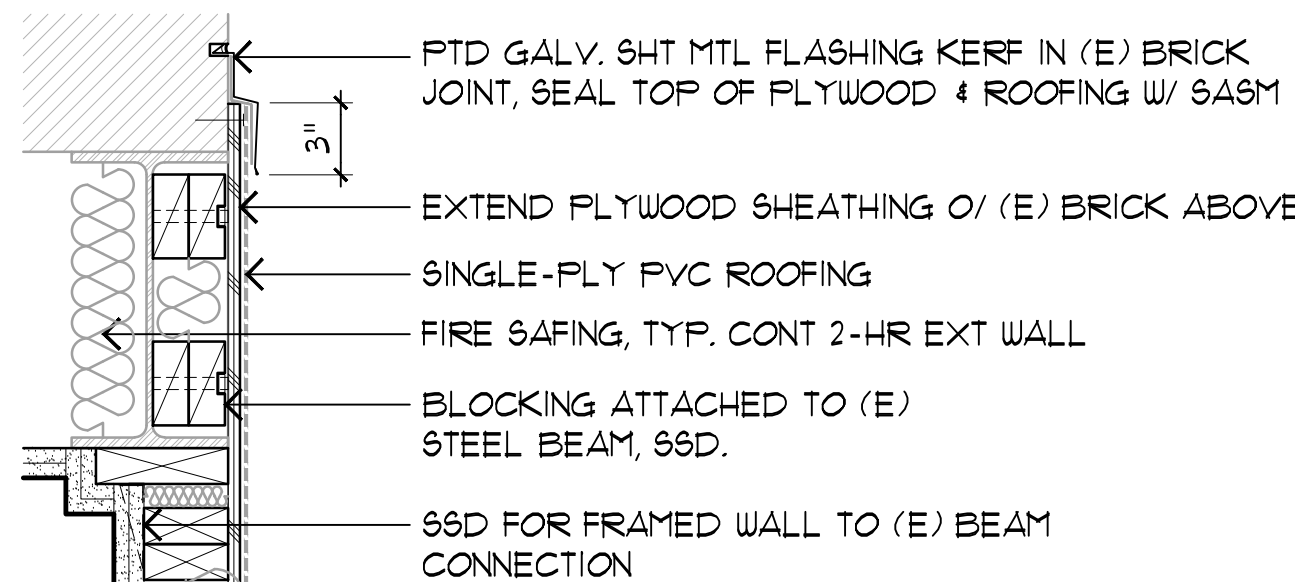
SCALE: 1 1/2" = 1'-0"

DTL-EXTERIOR



INTERIOR

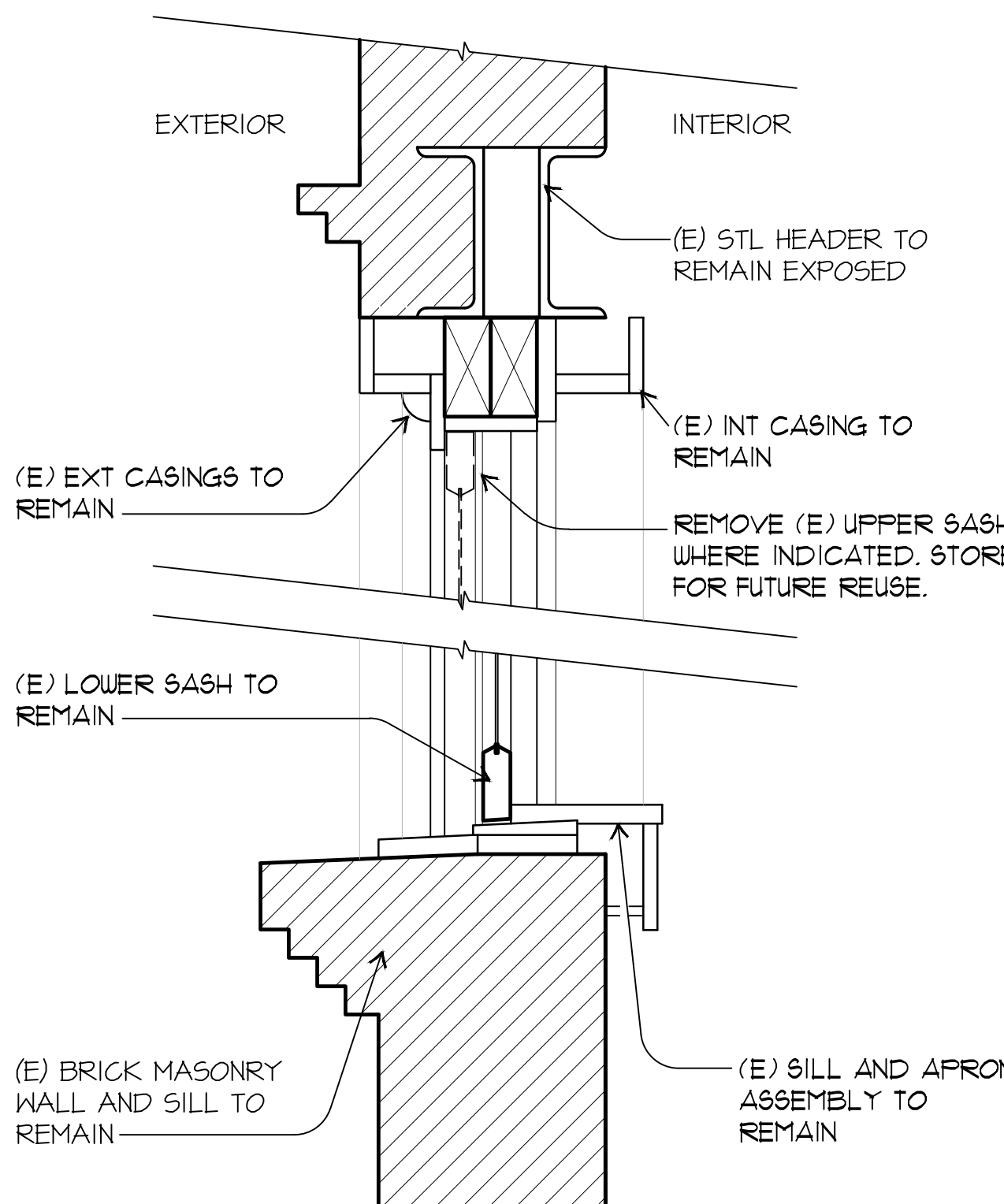
EXTERIOR



1 (E) WALL TO MECH ROOF SECTION

SCALE: 1 1/2" = 1'-0"

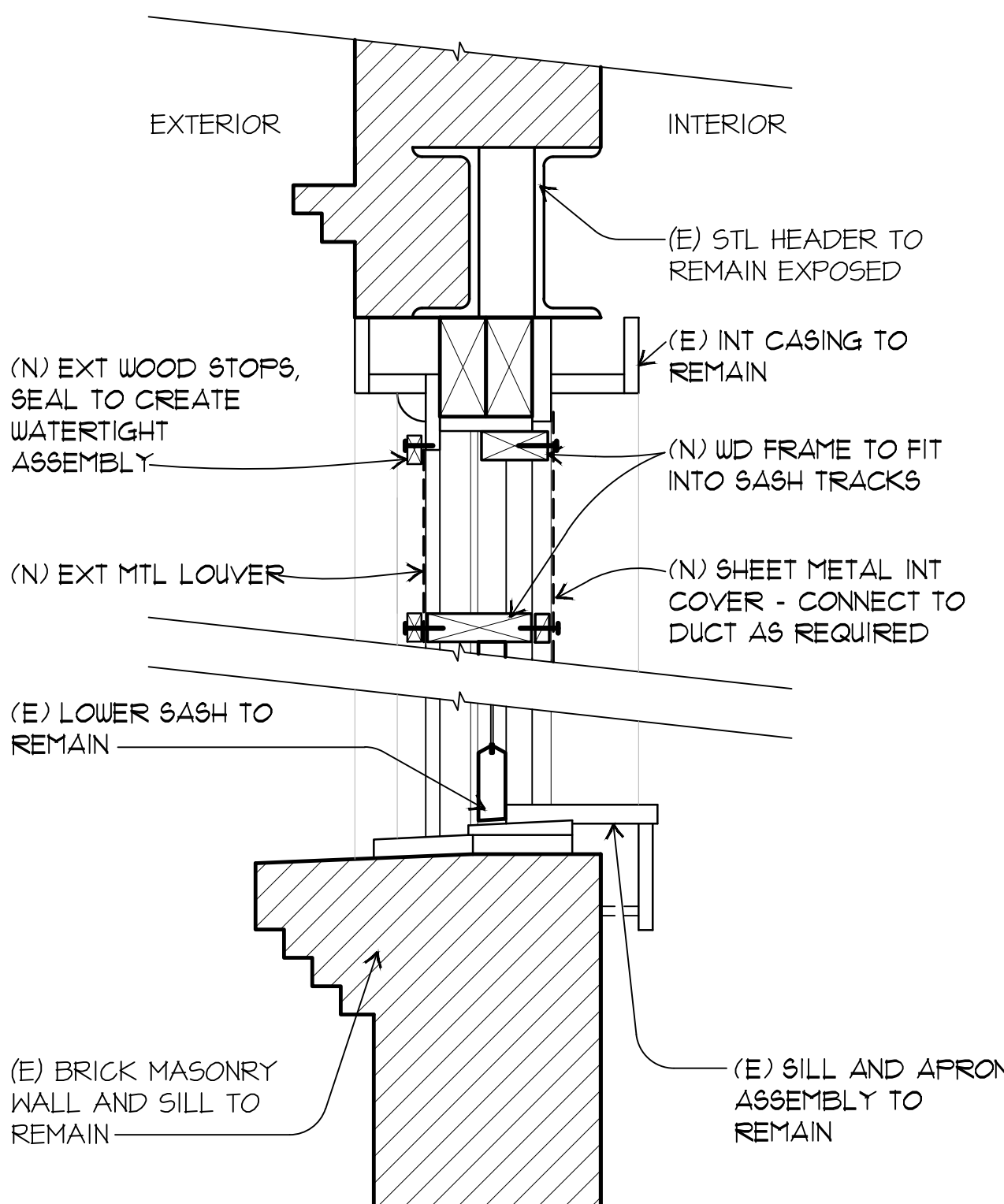
DTL-EXTERIOR



4 (N) LOUVER - DEMO SECTION

SCALE: 1 1/2" = 1'-0"

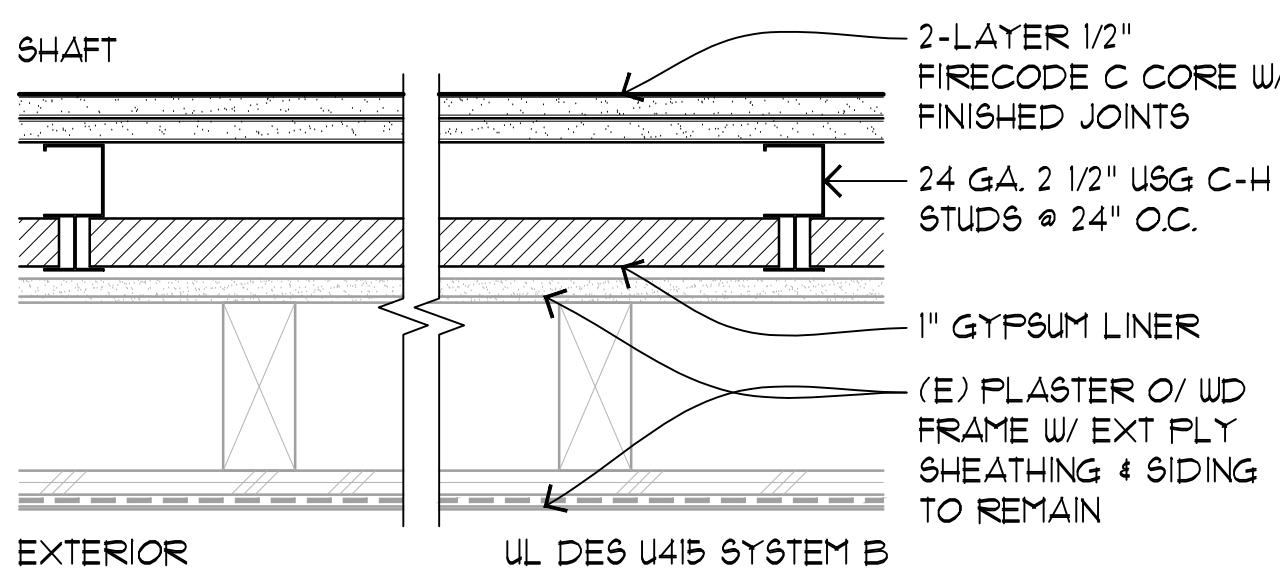
DTL-EXTERIOR



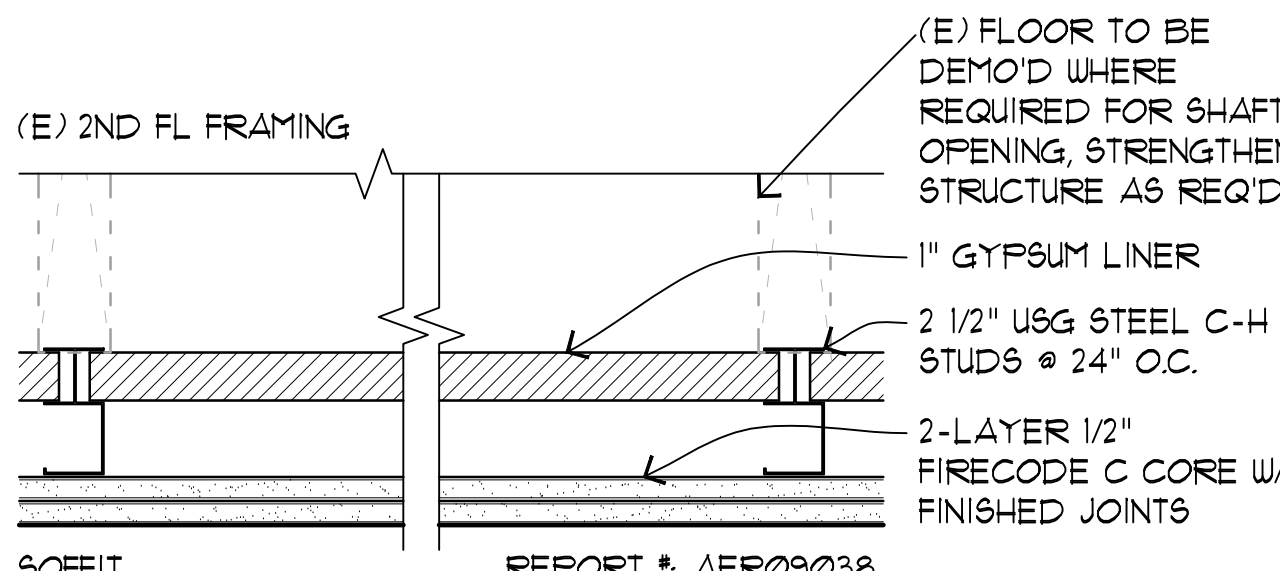
7 (N) LOUVER ATTACHMENT SECTION

SCALE: 1 1/2" = 1'-0"

DTL-EXTERIOR



SHAFT WALL ASSEMBLY



SHAFT SOFFIT ASSEMBLY

10 2-HR RATED SHAFT SOFFIT & WALL

SCALE: 3" = 1'-0"

DTL-INTERIOR DWG

Exhibit C:

Environmental Determination





SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
447 Minna Street		3725076
Case No.		Permit No.
2020-001258PRJ		201912270797
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
Project description for Planning Department approval. Exterior alterations including inserting a new door opening with a solid metal egress door at the ground floor of the visible secondary east elevation. The project also involves installing louvers within existing window openings at the visible rear south elevation, and lowering a one-story-tall shed roof at the rear elevation to allow for the installation of mechanical equipment with screening at the lowered roof. The project also involves installation of light fixtures at the Minna Street and east elevations and removal of security bars from the Minna Street storefronts.		

STEP 1: EXEMPTION CLASS

The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. FOR ENVIRONMENTAL PLANNING USE ONLY
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? Note that a categorical exemption shall not be issued for a project located on the Cortese List if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).
<input type="checkbox"/>	Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography). If yes, Environmental Planning must issue the exemption.
<input type="checkbox"/>	Slope = or > 25%: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.
Comments and Planner Signature (optional): Rebecca Salgado	

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map)

<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.

<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.

Note: Project Planner must check box below before proceeding.

<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.

<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input checked="" type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category A a. Per HRER or PTR dated b. Other (specify): </div> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category C (attach HRER or PTR) </div> </div>
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Rebecca Salgado	

STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Planning Commission Hearing	Signature: Rebecca Salgado 08/10/2020
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

MODIFIED PROJECT DESCRIPTION

Modified Project Description:

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

- | | |
|--------------------------|--|
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code; |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312; |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)? |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |

If at least one of the above boxes is checked, further environmental review is required.

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

- | | |
|--------------------------|---|
| <input type="checkbox"/> | The proposed modification would not result in any of the above changes. |
|--------------------------|---|

If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.

Planner Name:

Date:

Exhibit D:

Maps and Aerial Views



LOT 50 INFO LOT 79-1943
 30 18-1943
 72 & 73 71-1942
 76 71-1942
 lot 52 into lots 104 to 123 for 2002 roll

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 CITY & COUNTY ASSESSOR 1995

5TH

SHEET 1
 3725
 100 VARA BLK 381

REVISED
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MISSION

MINNA

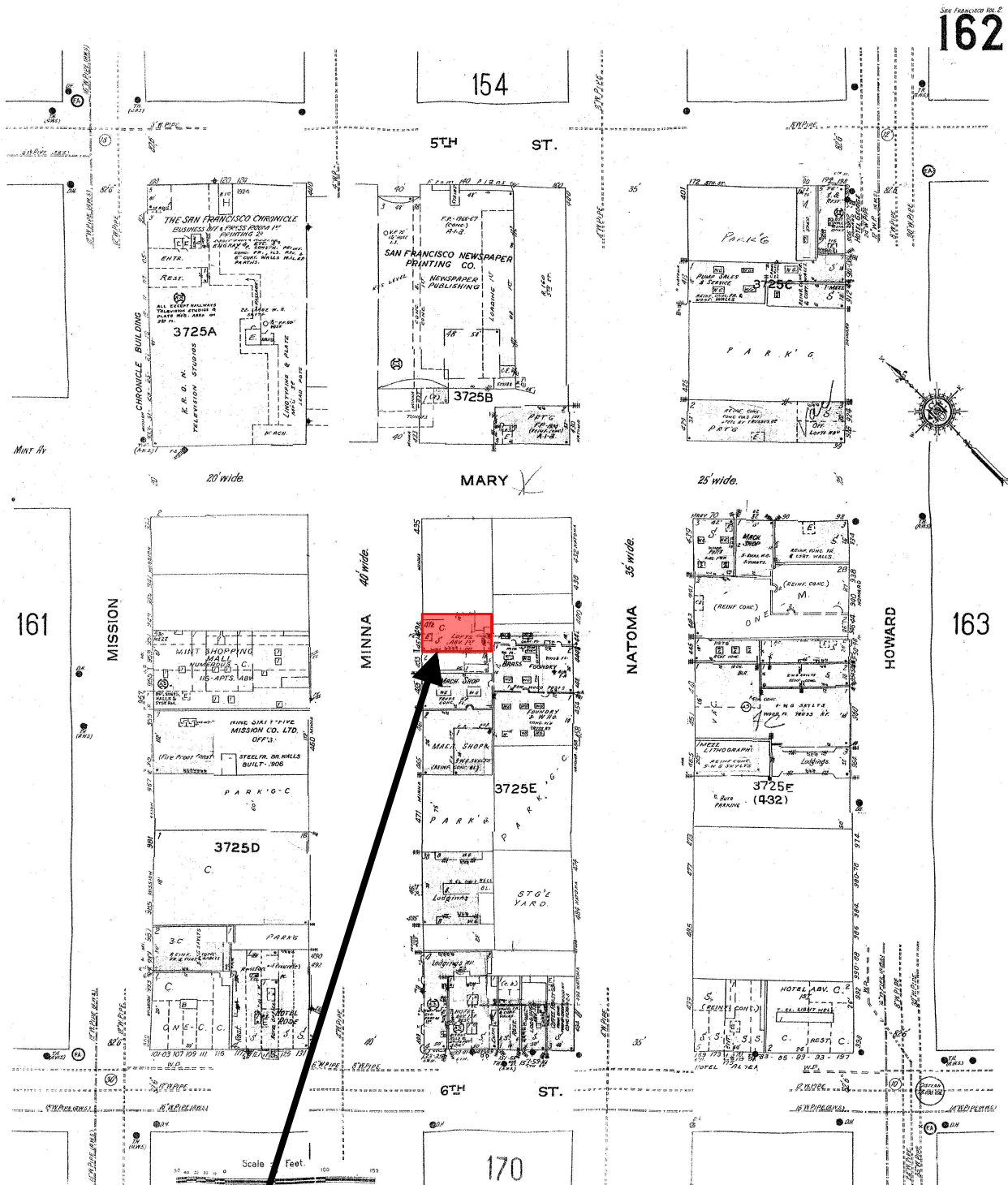
NATOMA

HOWARD

6TH

Major Permit to Alter
Case Number 2020-001258PTA-02
 447 Minna Street

Sanborn Map



SUBJECT PROPERTY

Major Permit to Alter
Case Number 2020-001258PTA-02
447 Minna Street

Aerial Photo – View 1



SUBJECT PROPERTY



Major Permit to Alter
Case Number 2020-001258PTA-02
447 Minna Street

Aerial Photo – View of Minna Street Facade and East secondary elevation



SUBJECT PROPERTY



Major Permit to Alter
Case Number 2020-001258PTA-02
447 Minna Street

Aerial Photo – View of and East secondary elevation and South rear elevation



SUBJECT PROPERTY



Major Permit to Alter
Case Number 2020-001258PTA-02
447 Minna Street