



CERTIFICATE OF APPROPRIATENESS EXECUTIVE SUMMARY

HEARING DATE: February 17, 2021

Record No.: 2019-022126COA-04
Project Address: Golden Gate Park Music Concourse 150th Anniversary Celebration
Landmark: Landmark No. 249: Music Concourse
Zoning: P PUBLIC Zoning District
OS Height and Bulk District
Block/Lot: 1700/001
Project Sponsor: Stacy Bradley
Recreation & Parks Department
49 South Van Ness Avenue, Suite 1220
San Francisco, CA 94103
Staff Contact: Michelle Taylor – 628-652-7352
Michelle.Taylor@sfgov.org

Recommendation: Approval

Property Description

The Golden Gate Park Music Concourse is located between John F. Kennedy Drive, Hagiwara Tea Garden Drive, Martin Luther King Jr. Drive, and Music Concourse Drive, Assessor's Block 1700, Lot 001. The Music Concourse is a classically designed landscaped with a series of paths, pedestrian tunnels, and streets that circle and cross the Music Concourse Bowl. The Music Bowl, located at the center of the Music Concourse, is a depressed oval landscape that features a music band shell (Spreckels Temple of Music), benches arranged in rows, a grid of pollarded trees, fountains, paths, and several monuments and statues.

The observation wheel is located on the north-eastern lawn of the Music Concourse bowl landscape. The subject site is a previously altered and non-contributing portion of the landscape that historically served as the northern end of the Music Concourse Drive. However, in 2005, construction of an underground garage led to re-grading and modifications to the automotive circulation pattern, shifting Music Concourse Drive north, to its current location. The subject site was then re-graded, sod with lawn, and incorporated into the Music Concourse formal landscape.

The Music Concourse, originally established as part of the California Midwinter Fair of 1894, is individually significant as an outdoors performance space important in San Francisco's cultural history under Criterion 1 (Events) of the National Register and under Criterion 3 (Architecture) as an urban park landscape devoted to public performances and as a setting for public art. The Music Concourse also contributes to the National-Register listed Golden Gate Park historic district, significant under Criterion 1 (Events) and Criterion 3 (Architecture) in the areas of landscape architecture and social history.

Project Description

On January 15, 2020, the Historic Preservation Commission reviewed and approved with conditions a Certificate of Appropriateness Application (Motion No. 0407) for the one-year installation of an observation wheel in the Music Concourse to commemorate the 150th Anniversary of Golden Gate Park. At the close of the one-year celebration, the wheel, support structures and the top eight feet of the foundation support piers were to be removed and the site fully restored.

The proposed project would extend operation of the observation wheel for an additional four years. The wheel was scheduled to open April 4, 2020 and be removed in March of 2021; however, Covid-19-related restrictions resulted in limited operation and capacity of the wheel. The project sponsor would extend operation until March 1, 2023 to offset financial hardship experienced by the vendor and further extend operation until March 1, 2025 to support economic recovery.

Compliance With Planning Code

PLANNING CODE DEVELOPMENT STANDARDS.

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS.

The proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 1006.6 of the Planning Code, and complies with the *Secretary of the Interior's Standards for Rehabilitation*, in that:

- the proposed project will occur on a previously altered and non-contributing portion of Landmark No. 249;
- the project would maintain the existing use of the Music Concourse as a public space;
- the project will not result in the physical alteration of contributing elements or character defining features of the Landmark;
- the overall character of the subject landscape will be maintained, and scope of work will not affect the landscape's overall appearance;
- the observation wheel is comprised of modern materials and is contemporary in design; it does not include any conjectural features or elements;
- work will conform with the Recreation and Parks Department Standard Construction Measures to ensure

protection of contributing resources;

- at the close of the operational period, the wheel, ancillary structures, and the top eight feet of the foundation support piers will be removed and the site fully restored;
- the proposed project is temporary and fully reversible; therefore, it will not permanently alter the appearance, materials, feeling, association and setting of the landscape site.

The Department has determined that the proposed work will be in conformance with the requirements of Article 10 and the Secretary of Interior's Standards for Rehabilitation. The proposal to extend the operation of the temporary observation wheel in a non-contributing portion of the landmark will not result in an alteration of the fabric of the historic landscape. The proposed project will not remove distinctive materials, nor irreversibly alter features that characterize the Landmark. All work will follow the Recreation and Parks Department Standard Construction Measures to ensure protection of contributing elements within the Landmark. Furthermore, the temporary installation of the observation wheel is consistent with the temporary events that often occur in the Music Concourse and Golden Gate Park, and therefore is consistent with the use and association of the Landmark.

Public/Neighborhood Input

As of February 10, 2021, the Department has received public correspondence from approximately 220 individuals and organizations expressing opposition to the project. Specifically, the public correspondence states a concern regarding the potential impact that the Observation Wheel lighting may have on wildlife, particularly the potential to cause bird collisions and disruptions to bird migrations and nesting patterns. Individuals have stated opposition to the noise caused by the wheel's diesel generator, which is required to run continuously. Individuals have also voiced concern that the observation wheel detracts from the feeling and setting of both the Music Concourse and Golden Gate Park. Others have noted that the wheel is would be more appropriate in other locations in the park or the city.

The Department has received public correspondence from approximately 7 individuals and organizations expressing support for the festive atmosphere and increased activity associated with the wheel.

Issues & Other Considerations

- The Project is fully code complaint and is supported by Department Staff

Environmental Review Status

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and Class 3 categorical exemption.

Basis for Recommendation

The Department recommends approval of the proposed project as it meets the provisions of Article 10 of the Planning Code regarding Major Alteration to a contributing resource in a Landmark District and the *Secretary of the Interior Standards for Rehabilitation*.

Attachments

Draft Motion – Certificate of Appropriateness
Exhibit A – Project Sponsor Brief
Exhibit B – Environmental Determination
Exhibit C – Maps and Context Photos
Exhibit D – Motion No. 0407



CERTIFICATE OF APPROPRIATENESS DRAFT MOTION

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR MAJOR ALTERATIONS DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10 OF THE SAN FRANCISCO PLANNING CODE, AND TO MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 001 IN ASSESSOR'S BLOCK 1700 IN A P PUBLIC ZONING DISTRICT AND A OS HEIGHT AND BULK DISTRICT.

Preamble

On January 15, 2021, Stacy Bradley of City of San Francisco Recreation and Parks Department (hereinafter "Project Sponsor") filed Application No. 2019-022126COA-04 (hereinafter "Application") with the San Francisco Planning Department for a Certificate of Appropriateness for a four year operational extension of the observation wheel at the Golden Gate Park - Music Concourse which is Landmark Number 249 locally designated under Article 10 of the Planning Code and located on Lot 001 in Assessor's Block 1700.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and Class 3 categorical exemption. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

On February 17, 2021, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Certificate of Appropriateness Application No. 2019-022126COA-04.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2019-022126COA-04 is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby **APPROVES** the Certificate of Appropriateness, as requested in Application No. 2019-022126COA-04 in conformance with supporting document regarding the “Golden Gate Park Observation Wheel – Fulfillment of Certificate of Appropriateness and Permit with the SFRPD” dated January 28, 2021 and labeled Exhibit A based on the following findings:

Findings

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.

2. Project Description.

On January 15, 2020, the Historic Planning Commission reviewed and approved with conditions a Certificate of Appropriateness Application (Motion No. 0407) for the one-year installation of an observation wheel in the Music Concourse to commemorate the 150th Anniversary of Golden Gate Park. At the close of the one-year celebration, the wheel, support structures and the top eight feet of the foundation support piers were to be removed and the site fully restored.

The proposed project would extend operation of the observation wheel for an additional four years. The wheel was scheduled to open April 4, 2020 and be removed in March of 2021; however, Covid-19-related restrictions resulted in limited operation and capacity of the wheel. The project sponsor would extend operation until March 1, 2023 to offset financial hardship experienced by the vendor and further extend operation until March 1, 2025 to support economic recovery.

3. Property Description. The Golden Gate Park Music Concourse is located between John F. Kennedy Drive, Hagiwara Tea Garden Drive, Martin Luther King Jr. Drive, and Music Concourse Drive. Assessor’s Block 1700, Lot 001. The Music Concourse is a classically designed landscaped with a series of paths, pedestrian tunnels, and streets that circle and cross the Music Concourse Bowl. The Music Bowl, located at the center of the Music Concourse, is a depressed oval landscape that features a music band shell (Spreckels Temple of Music), benches arranged in rows, a grid of pollarded trees, fountains, paths, and several monuments and statues.

The observation wheel is located on the north-eastern lawn of the Music Concourse bowl landscape. The subject site is a previously altered and non-contributing portion of the landscape that historically served as the northern end of the Music Concourse Drive. However, in 2005, construction of an underground garage led to re-grading and modifications to the automotive circulation pattern, shifting Music Concourse Drive north, to its current location. The subject site was then re-graded, sod with lawn, and incorporated into the Music Concourse formal landscape.

The Music Concourse, originally established as part of the California Midwinter Fair of 1894, is individually significant as an outdoors performance space important in San Francisco's cultural history under Criterion 1 (Events) of the National Register and under Criterion 3 (Architecture) as an urban park landscape devoted to public performances and as a setting for public art. The Music Concourse also contributes to the National-Register listed Golden Gate Park historic district, significant under Criterion 1 (Events) and Criterion 3 (Architecture) in the areas of landscape architecture and social history.

4. **Surrounding Properties and Neighborhood.** The Music Concourse is located within the boundaries of the National Register Golden Gate Park Historic District. Golden Gate Park is a large urban park comprised of a series of landscapes, recreational sites, water features, roadways, pedestrian paths, and buildings.

Buildings immediately adjacent to the Music Concourse are the DeYoung Museum at the eastern boundary of the Music Concourse, and the California Academy of Sciences to the west. An underground garage, constructed 2005, is located beneath the Music Concourse Bowl.

5. **Public Outreach and Comments.** The Department has received public correspondence from approximately 220 individuals and organizations expressing opposition to the project and approximately 7 individuals and organizations expressing support of the project. Specifically, the public correspondence states a concern regarding the potential impact that the Observation Wheel lighting may have on wildlife. Individuals have stated opposition to the noise caused by the wheel's diesel generator. Individuals have also voiced concern that the observation wheel detracts from the feeling and setting of both the Music Concourse and Golden Gate Park. Others have noted that the wheel is would be more appropriate in other locations in the park or the city. Those in support of the project have discussed the festive atmosphere and increased activity associated with the wheel.
6. **Planning Code Compliance.** The Commission has determined that the proposed work is compatible with the character-defining features of the subject property and meets the requirements of Article 10 of the Planning Code in the following manner:

- A. **Article 10 of the Planning Code.** Pursuant to Section 1006.6 of the Planning Code, the proposed alteration shall be consistent with and appropriate for the effectuation of the purposes of this Article 10.

The proposed project is consistent with Article 10 of the Planning Code.

- B. **Secretary of the Interior's Standards.** Pursuant to Section 1006.6(b) of the Planning Code, the proposed work shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties for significant and contributory buildings, as well as any applicable guidelines, local

interpretations, bulletins, or other policies. Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

- (1) **Standard 1:** A [property](#) shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The proposal will retain the historic use as a park and outdoor event space of the Music Concourse. Although permanent installation of the wheel would result in a significant change to the look, feel, and use of the Music Concourse Area, the extension of the temporary installation of the proposed observation wheel will not permanently change the landscape's distinctive materials, features, spaces, and spatial relationships.

- (2) **Standard 2:** The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposal to extend the temporary installation of the observation wheel in a non-contributing portion of the landmark will not result in an alteration of the fabric of the historic landscape. The proposed project will not remove distinctive materials. Although the wheel alters the spatial organization of the Music Concourse, these changes are temporary and will not result in a permanent alteration of features that characterize the landmark. The Recreation and Parks Department Standard Construction Measure are in place to ensure the continued protection of contributing elements within the Landmark.

- (3) **Standard 3:** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.

The proposed observation wheel is comprised of modern materials and is contemporary in design; it does not include any conjectural features or elements.

- (4) **Standard 4:** Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

The wheel is located in a portion of the landmark that is non-historic and non-contributing to the landmark site; therefore, Standard 4 is not applicable.

- (5) **Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property shall be preserved.

The distinctive features, finishes, and other elements that characterize the property will be retained, as all work is limited to a non-contributing portion of the landmark. The project sponsor will

continue to follow the Recreation and Parks Department Standard Construction Measures to ensure protection of contributing elements within the Landmark.

- (6) **Standard 6:** Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Not Applicable.

- (7) **Standard 7:** Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The project sponsor will follow the Recreation and Parks Department Standard Construction Measures and protect all contributing resources that characterize the property

- (8) **Standard 8:** Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

For the original permit application under Case No. 2019-022126COA/ENV, Planning department staff archeologists conducted a preliminary archeological review of the proposed project on December 16, 2019 and determined that there is potential for the project to adversely affect archeological resources. The potential impact was avoided by implementation of Recreation Park Department Standard Archeological Measure 2 (Archeological Monitoring) during construction.

- (9) **Standard 9:** New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the [property](#). The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the [property](#) and its environment.

The wheel's height, large footprint, and illumination are not compatible with the massing, scale, character, spatial organization, or defining features of the Music Concourse. At approximately 150 feet tall, the wheel is not an appropriate addition to the formally designed Music Concourse landscape; however, the proposal to extend the temporary operation of the observation wheel will not result in a permanent alteration of the historic landscape.

The site of the wheel is limited to a portion of the site that does not contribute to the landmark; therefore, it will not physically alter or destroy historic materials that characterize the landscape. Additionally, the observation wheel design and materials are of its own time and therefore is differentiated from the historic character of the site.

- (10) **Standard 10:** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic [property](#) and

its environment would be unimpaired.

The observation wheel is a temporary installation and the site will be fully restored upon the removal of the wheel. The proposed work will not impair the essential form and integrity of the Music Course landscape.

- C. Article 10 of the Planning Code outlines specific findings for the Commission to consider when evaluating applications for alterations to Landmarks or within designated Historic Districts.

Landmarks

1. Pursuant to Section 1006.6(c) of the Planning Code, for applications pertaining to landmark sites, the proposed work shall preserve, enhance or restore, and shall not damage or destroy, the exterior architectural features of the landmark and, where specified in the designating ordinance pursuant to Section 1004(c), its major interior architectural features. The proposed work shall not adversely affect the special character or special historical, architectural or aesthetic interest or value of the landmark and its site, as viewed both in themselves and in their setting, nor of the historic district in applicable cases.

The project is in conformance with Article 10, and as outlined in Appendix A, as the work is temporary and will not permanently adversely affect the Landmark site.

7. **General Plan Compliance.** The proposed Certificate of Appropriateness is consistent with the following Objectives and Policies of the General Plan:

RECREATION AND OPEN SPACE ELEMENT

THE GOAL OF THE RECREATION AND OPEN SPACE ELEMENT is to continue the city's legacy of fine parks and recreational opportunities and guide the city's future decisions, so they improve that open space system for the benefit of everyone.

OBJECTIVE 1:

ENSURE A WELL-MAINTAINED, HIGHLY UTILIZED, AND INTEGRATED OPEN SPACE SYSTEM

Policy 1.4

Maintain and repair recreational facilities and open spaces to modern maintenance standards.

Policy 1.6

Support the continued improvement of Golden Gate Park while preserving the beauty of its landscape.

Policy 1.12

Preserve historic and culturally significant landscapes, sites, structures, buildings, and objects.

Policy 1.13

Preserve and protect character-defining features of historic resources in City parks when it is necessary to make alterations to accommodate new needs or uses.

OBJECTIVE 4:

PROTECT AND ENHANCE THE BIODIVERSITY, HABITAT VALUE, AND ECOLOGICAL INTEGRITY OF OPEN SPACES AND ENCOURAGE SUSTAINABLE PRACTICES IN THE DESIGN AND MANAGEMENT OF OUR OPEN SPACE SYSTEM

Policy 4.4

Include environmentally sustainable practices in construction, renovation, management and maintenance of open space and recreation facilities.

URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT concerns the physical character and order of the city, and the relationship between people and their environment.

OBJECTIVE 1:
EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.3
Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2:
CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.4

Preserve notable landmarks and areas of historic, architectural, or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

Policy 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject property for the future enjoyment and education of San Francisco residents and visitors.

8. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have an impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project is located in a park and therefore will not impact existing housing or neighborhood character. The proposed project is on balance in conformance with the Secretary of the Interior's Standards and therefore will preserve the character defining features of both the subject landmark and the National Register Golden Gate Park Historic District.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not affect the City's affordable housing supply.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking. It will provide sufficient off-street parking for the proposed units.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project is located on Market Street and will not have a direct impact on the displacement of industrial and service sectors.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

All construction will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The project will not impact the access to sunlight or vistas for the parks and open space.

9. **For these reasons, the proposal overall, appears to meet the Secretary of the Interior's Standards and the provisions of Article 10 of the Planning Code regarding Major Alterations.**

Decision

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES a Certificate of Appropriateness** for the subject property located at Lot **001** in Assessor's Block **1700** for proposed work in conformance with the supporting documents submittal dated January 28, 2021 and labeled Exhibit A on file in the docket for Record No. **2019-022126COA-04**.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days after the date of this Motion No. XXXX. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 49 South Van Ness Ave, Suite 1475 or call (628) 652-1150.

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on February 17, 2021.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

RECUSE:

ADOPTED: February 17, 2021

Appendix A:

Project Sponsor Brief

Certificate of Appropriateness
Case Number 2019-022126COA-04
Golden Gate Music Concourse 150th
Anniversary Celebration



London N. Breed, Mayor
Philip A. Ginsburg, General Manager

Date: January 28, 2021
To: Historic Preservation Commission
From: Stacy Bradley, Deputy Director of Planning
Dana Ketcham, Director of Property and Permits and Reservations
Re: Golden Gate Park Observation Wheel – Fulfillment of Certificate of Appropriateness and Permit with the SFRPD

On January 15, 2020, the Historic Preservation Commission (HPC) approved a Certificate of Appropriateness (Case No. 2019-022126COA) with conditions for the temporary installation of an observation wheel at Golden Gate Park (GGP). In addition, the Recreation and Park Commission (RPC) approved the General Manager to enter into an agreement with Skystar Wheel to operate the observation wheel.

The Conditions of Approval included the following four elements:

1. The project sponsor will follow the Recreation and Parks Department Standard Construction Measures to ensure protection of elements that characterize Landmark No. 249.
2. The observation wheel is temporary. The wheel will be in operation from April 4, 2020 with all above ground elements removed by March 2021.
3. That the project site will be fully restored to its pre-project condition, using in kind materials, by end of March 2021.
4. That the City of San Francisco Recreation and Parks Department will conduct community outreach regarding the effect of lighting and implement measures to mitigate its impact in coordination with Planning Department staff.

The Department is proposing to amend the existing permit with the wheel operator for two reasons as described below:

- Fulfill Original Expectations of Operations
- Support the City's Economic Recovery

OPERATIONS TIMELINE

The wheel was expected to open on April 4, 2020 in celebration of the 150th anniversary of Golden Gate Park. However, when the City issued a Shelter-in-Place order on March 17, 2020, construction for the wheel halted as soon as the structure was stabilized. The wheel did not start operations until October 21, 2020. In accordance with the City's Health Order, the wheel operator implemented a health and safety plan that included operating at 25% capacity and limiting the gondolas to only one household at a time. The wheel operated for 39 days at 25% capacity and limiting ridership to only one household per gondola until San Francisco entered the purple tier, and then per State guidelines, the wheel closed on November 29, 2020.

To summarize, the wheel was unable to open for 200 days, operated for 39 days and is currently closed until the City is no longer in the purple tier. The wheel was expected to accommodate 500,000 riders during the originally planned operation. Due to closures and capacity limitations, only 65,693 riders have been accommodated to date. Throughout the closure, the operator has incurred significant expenses to maintain and secure the wheel, while generating no revenue to cover those expenses.



FULFILLMENT OF ORIGINAL EXPECTATIONS

Since the future availability of operational days for the wheel and future capacity limits are currently unknown, SFRPD proposes a permit modification with the wheel operator that will allow the operator to recoup extra costs incurred due to closures and compliance with COVID safety requirements and allow Golden Gate Park visitors to experience the wheel.

To accomplish these goals, SFRPD is requesting to extend the wheel until March 1, 2023. This extension will accommodate the anticipated riders from the original permit and an increase in ridership to help offset the financial hardship suffered by the operator. The operator has had to incur significant costs (i) to secure and maintain the wheel while it has been closed, (ii) to follow COVID requirements with extra staffing and protocols, and (iii) due to the significant cost of closing shortly after finally opening.

SUPPORTING ECONOMIC RECOVERY

During the brief time that the wheel was open, the wheel encouraged new visitors to the park and increased visits to museum institutions and local merchants in the Inner Sunset, as well as nearby commercial corridors in the Richmond and NOPA/Haight. Many visitors come just to watch the wheel as it is a fun and safe way to enjoy the Music Concourse. The increased activity has made the park safer at night and helped activate the Music Concourse, which was one of the original goals of the installation.

By attracting visitors, the wheel can support essential economic recovery for Golden Gate Park, the cultural institutions, the neighborhood and the city itself as it seeks to draw tourists back to San Francisco when health officials deem it safe. Tourists will be drawn back to San Francisco for this new experience. In order to support economic recovery, SFRPD is proposing to allow the wheel to operate for an additional two years beyond the extension needed to fulfill the original expectations, until March 1, 2025.

BENEFITTING UNDERSERVED COMMUNITIES

The extension to 2025 will allow even more benefit for San Francisco's most underserved communities because the Operator has committed to continue to provide 500 tickets to disadvantaged communities through the full period of the extension. Providing this opportunity to communities throughout the City will help spread joy in this challenging time and contributes to the celebration of Golden Gate Park as "Everybody's Park". The first batch of tickets were distributed to non-profits running Community Hubs at SFRPD sites; Community Hubs support learning for the City's most at-risk youth while SFUSD is delivering education through distance learning. Of the tickets distributed in November, only a few could be used before the wheel stopped its operation later in the month.

REACTION TO WHEEL

The overall reception to the wheel has been overwhelmingly positive. It has been one of the few safe opportunities to engage safely with others during the pandemic and judging by social media, seems to be inspiring hope of future pleasure among people who did not get a chance to ride during the brief opening. Along with the news articles and videos summarized below, there have been numerous posts on various social media outlets supporting the installation. As discussed in prior hearings, we have also heard some concerns over traffic, impact of the wheel operation on the park and wildlife due to the illumination and the generator. Questions have been raised regarding evidence of any wildlife injury; of which there has been none found or reported.

The wheel has been covered over 40 times in 20 media outlets with 17 different stories. The Department has posted on social media 43 times and reached over 250,000 people with almost 80,000 users engaging with the content.

Below are a few highlights of the coverage:

- “What’s the best way to celebrate San Francisco’s Golden Gate Park’s 150th Anniversary? With a 150-foot observation wheel, of course!” [SF’s Golden Gate Park celebrates 150th anniversary with 150-foot SkyStar Observation Wheel](#) ABC 6 – November 9, 2020
- “One of the most obvious signs of tourism’s potential comeback to San Francisco ought to be the sight of the massive SkyStar Observation Wheel, creating countless Instagram moments as it gently rotates above the tree tops of Golden Gate Park.” [Tourism Trickles Back as SF Recommends \(But Doesn't Require\) a Quarantine for Holiday Season Travelers](#), KQED – November 6, 2020
- A local poet, Kevin Dublin, proposed to his girlfriend on the observation wheel after years of unsuccessfully trying to take a Ferris wheel together since they’re both in love with San Francisco and with Golden Gate Park where she Rollerblades and he skateboards. Dublin even wrote a poem for the occasion entitled “Such Great Heights,” which he read as the gondola rose up, popping the question at the very top. [‘One happy story’: S.F. poet spins magic with his Golden Gate Park Ferris wheel marriage proposal](#) SF Chronicle – October 27, 2020

MEETING CONDITIONS OF APPROVAL

SFRPD has completed the following Conditions of Approval: 1) The wheel was erected using SFRPD’s Standard Construction Measures to ensure protection of the historic elements at the Music Concourse; and 4) SFRPD has conducted additional community outreach to identify the effect of lighting and has implemented measures in response to community feedback in coordination with the Planning Department. The latter was presented to the HPC on December 16, 2019.

See Attachments C and D for additional information.

ATTACHMENTS

- A. Original Certificate of Appropriateness HPC Packet, presented on January 15, 2020
- B. Certificate of Appropriateness, Motion M-0407
- C. Observation Wheel Memo on Outreach and Lighting Measures, November 6, 2020
- D. SFRPD Presentation to HPC, December 16, 2020

Appendix B: Environmental Determination Documents

Certificate of Appropriateness
Case Number 2019-022126COA-04
Golden Gate Music Concourse 150th
Anniversary Celebration



CEQA Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
Golden Gate Park Music Concourse 150th Anniversary Celebration		1700001
Case No.		Permit No.
2019-022126ENV		202002255275
<input type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input checked="" type="checkbox"/> New Construction
<p>Project description for Planning Department approval.</p> <p>REC & PARK: Golden Gate Park Music Concourse 150th Anniversary Celebration April 2020 - April 2021. The proposed project includes the following components: 1) the temporary installation of an illuminated observation wheel on the eastern side of the Music Concourse area located beyond the Music Concourse Bowl behind the Francis Scott Key monument and bordering Music Concourse Drive; and 2) the temporary installation for artistic lighting that uses a temporary stage extension on Spreckels Temple of Music on the western side of the Music Concourse. The proposed observation wheel would replicate the observation wheel that was placed in Golden Gate Park during the California Midwinter International Exposition of 1894. The observation wheel would be 130 feet in diameter by approximately 150 feet in height and would be set on a base structure that is 72 feet by 57 feet. The observation wheel would run on a Public Works-provided generator (diesel-run 250 kVa generator). The project would also include temporary fencing around the observation wheel, as well as ancillary structures including a ticket booth, photo capture area, retail photo booth, stairs, ADA ramp, and electrical cabinet. The proposed foundation for the wheel would be four 24-inch piers with an 8-foot by 8-foot platform to create a stable base for the observation wheel. The</p> <p>FULL PROJECT DESCRIPTION ATTACHED</p>		

STEP 1: EXEMPTION TYPE

The project has been determined to be exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Other _____
<input type="checkbox"/>	Common Sense Exemption (CEQA Guidelines section 15061(b)(3)). It can be seen with certainty that there is no possibility of a significant effect on the environment. FOR ENVIRONMENTAL PLANNING USE ONLY

STEP 2: ENVIRONMENTAL SCREENING ASSESSMENT

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g. use of diesel construction equipment, backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to <i>The Environmental Information tab on the San Francisco Property Information Map</i>)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?</p> <p>Note that a categorical exemption shall not be issued for a project located on the Cortese List if box is checked, note below whether the applicant has enrolled in or received a waiver from the San Francisco Department of Public Health (DPH) Maher program, or if Environmental Planning staff has determined that hazardous material effects would be less than significant. (refer to <i>The Environmental Information tab on the San Francisco Property Information Map</i>)</p>
<input type="checkbox"/>	<p>Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input checked="" type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? If yes, archeology review is required.</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to <i>The Environmental Information tab on the San Francisco Property Information Map</i>) If box is checked, Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Average Slope of Parcel = or > 25%, or site is in Edgehill Slope Protection Area or Northwest Mt. Sutro Slope Protection Area: Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, or (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area? (refer to <i>The Environmental Planning tab on the San Francisco Property Information Map</i>) If box is checked, a geotechnical report is likely required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic Hazard: <input type="checkbox"/> Landslide or <input type="checkbox"/> Liquefaction Hazard Zone:</p> <p>Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area, or (4) grading performed at a site in the landslide hazard zone? (refer to <i>The Environmental tab on the San Francisco Property Information Map</i>) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<p>Comments and Planner Signature (optional): Don Lewis</p> <p>Planning department staff archeologists conducted a preliminary archeological review of the proposed project on December 16, 2019 and determined that there is potential for the project to adversely affect archeological resources. The potential impact may be avoided by implementation of Recreation Park Department Standard Archeological Measure 2 (Archeological Monitoring) during construction.</p>	

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to <i>Property Information Map</i>)	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input checked="" type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input checked="" type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Reclassification of property status. (<i>Attach HRER Part I</i>) <input type="checkbox"/> Reclassify to Category A a. Per HRER b. Other (<i>specify</i>): <input type="checkbox"/> Reclassify to Category C (<i>No further historic review</i>)
<input type="checkbox"/>	2. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	3. Interior alterations to publicly accessible spaces that do not remove, alter, or obscure character defining features.
<input type="checkbox"/>	4. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	5. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.

<input type="checkbox"/>	6. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	7. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input checked="" type="checkbox"/>	8. Work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties (Analysis required)</i> : Project will conform with the Secretary of the Interior's Standards per PTR Part II form dated 12.17.19
<input type="checkbox"/>	9. Work compatible with a historic district (Analysis required):
<input type="checkbox"/>	10. Work that would not materially impair a historic resource (Attach HRER Part II).
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input checked="" type="checkbox"/>	Project can proceed with exemption review. The project has been reviewed by the Preservation Planner and can proceed with exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Michelle A Taylor	

STEP 6: EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input checked="" type="checkbox"/>	No further environmental review is required. The project is exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Permit approval by Recreation and Park Commission	Signature: Don Lewis 12/18/2019
	Once signed or stamped and dated, this document constitutes a n exemption pursuant to CEQA Guidelines and Chapter 31of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination to the Board of Supervisors can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	

Full Project Description

REC & PARK: Golden Gate Park Music Concourse 150th Anniversary Celebration April 2020 - April 2021. The proposed project includes the following components: 1) the temporary installation of an illuminated observation wheel on the eastern side of the Music Concourse area located beyond the Music Concourse Bowl behind the Francis Scott Key monument and bordering Music Concourse Drive; and 2) the temporary installation for artistic lighting that uses a temporary stage extension on Spreckels Temple of Music on the western side of the Music Concourse.

The proposed observation wheel would replicate the observation wheel that was placed in Golden Gate Park during the California Midwinter International Exposition of 1894. The observation wheel would be 130 feet in diameter by approximately 150 feet in height and would be set on a base structure that is 72 feet by 57 feet. The observation wheel would run on a Public Works-provided generator (diesel-run 250 kVa generator). The project would also include temporary fencing around the observation wheel, as well as ancillary structures including a ticket booth, photo capture area, retail photo booth, stairs, ADA ramp, and electrical cabinet.

The proposed foundation for the wheel would be four 24-inch piers with an 8-foot by 8-foot platform to create a stable base for the observation wheel. The base would be installed approximately 6 inches above the existing grassy area with steel and concrete piers supporting the full weight of the wheel and support structures. The project proposes a total of 16 drilled piers that would extend to a minimum of 40 to 46 feet below ground surface. The installation of the observation wheel would take approximately two weeks; no grading is proposed. The estimated volume of excavation is approximately 100 cubic yards.

As part of the permit to operate the observation wheel, the permittee would restore the project site to its original conditions, including removing the top 6 to 8 feet of the piers, and backfilling with soil that was removed and re-sodding the grass.

The temporary installation would begin in early March 2020 with a grand opening to the public on April 4, 2020. After its opening, the observation wheel would operate for a 10-month period with rides conducted daily from 10:00 am to 10:00 pm. The observation wheel and related equipment would be fully removed from the project site by March 2021.

The proposed scope at the Temple includes the construction of light-weight halo-frame at the central stage, stage extension, illuminated signage, and lighting fixtures. Proposed lighting will attach to a halo-frame truss system at the stage area and fixed atop friezes and balustrades of peristyles. Illuminated signage will attach to entablature frieze above stage.

Modified Project (2/11/2020):

RPD proposes the installation of temporary elements and permanent improvements to the Spreckels Temple of Music. Temporary elements include a stage extension, an outdoor lighting and sound system, and installation of illuminated text on the bandshell. Halo-frame lighting is no longer proposed. Permanent improvements include removal of wood risers and construction of new risers with lighting. Installation would begin March 2020, with an opening of April 4, 2020. Temporary installations would be removed after 2 years.

The proposed audio equipment includes column array loudspeakers and compact low-frequency control elements. Park rangers would monitor performance sound to maintain a level that would not exceed 5 decibels over ambient levels 250 feet away from the bandshell. Hours of operation for the audio system would comply with RPD's policy at the Music Concourse. Amplified sound is prohibited before 9 a.m. and is permitted for a maximum of 5 hours per day. The nearest sensitive receptor is approximately 1,265 feet away from the bandshell. The proposed audio component would not have the potential to result in a significant noise impact.

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

MODIFIED PROJECT DESCRIPTION

Modified Project Description:

The San Francisco Recreation and Parks Department proposes a four-year operational extension of the observation wheel. The wheel was scheduled to open April 4, 2020 and be removed in March of 2021; however, Covid-19-related restrictions resulted in limited operation and capacity of the wheel. The project proposes to extend the operation of the wheel until March 1, 2023 to offset financial hardship experienced by the vendor and further extend operation until March 1, 2025 to support economic recovery. The proposed change in the operation of the wheel from one year to a maximum of five years, would not result in any additional changes to the project site.

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

- | | |
|--------------------------|--|
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code; |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312; |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)? |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |

If at least one of the above boxes is checked, further environmental review is required.

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

- | | |
|-------------------------------------|---|
| <input checked="" type="checkbox"/> | The proposed modification would not result in any of the above changes. |
|-------------------------------------|---|

If this box is checked, the proposed modifications are exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed to the Environmental Review Officer within 10 days of posting of this determination.

Planner Name:

Don Lewis

Date:

02/09/2021



MEMORANDUM

Date: February 8, 2021

RE: REC & PARK – Golden Gate Park - Music Concourse 150th Anniversary Celebration

To: Don Lewis, Senior Environmental Planner
From: Michelle Taylor, Senior Preservation Planner

Case Number: 2019-022126COA-04
Project Address: 55 Hagiwara Drive – Music Concourse, Golden Gate Park
Zoning: P (PUBLIC)
Block/Lot: 1700/001

On December 18, 2019, the Planning Department issued a Categorical Exemption for the Golden Gate Park Music Concourse 150th Anniversary Celebration (Case 2019-022126ENV) as Class 1 and 3 exemption. The Categorical Exemption found that the project would not have a significant adverse effect on historical resources. This determination was based on the finding that the project met the Secretary of the Interior Standards for the Treatment of Historic Properties.

On January 15, 2020, the Historic Planning Commission reviewed and approved with conditions a Certificate of Appropriateness Application (Motion No. 0407) for the one-year installation of an observation wheel in the Music Concourse to commemorate the 150th Anniversary of Golden Gate Park. At the close of the one-year celebration, the wheel, support structures and the top eight feet of the foundation support piers were to be removed and the site fully restored.

On January 15, 2021, City of San Francisco Recreation and Parks Department filed a Certificate of Appropriateness (Case 2019-022126COA-04) requesting a four year operational extension of the observation wheel at the Music Concourse (Landmark Number 249), located within the National Register and California Register Golden Gate Park Historic District. The wheel was scheduled to open April 4, 2020 and be removed in March of 2021; however, Covid-19-related restrictions resulted in limited operation and capacity of the wheel. The project proposes to extend the operation of the wheel until March 1, 2023 to offset financial hardship experienced by the vendor and further extend operation until March 1, 2025 to support economic recovery.

The proposed project is limited in scope and proposes to extend the operation of the wheel from one year to a maximum of five years, will not result in any additional changes to the project site, and is fully reversible. At the close of the operational period the project sponsor will restore the site of the observation wheel. It is the

Memo to CEQA
Golden Gate Park Music Concourse 150th Anniversary Celebration

Department's determination that the project is still consistent with previous findings in the PTR form dated December 17, 2019.

Furthermore, the subject property is an Article 10 Landmark (No. 249) and therefore the proposed project will require the review of a Certificate of Appropriateness by the Historic Preservation Commission. As such, all work must comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties. For these reasons, the Planning Department has determined that the project will not result in an adverse impact and will not result in material impairment of a historic resource for the purposes of CEQA.

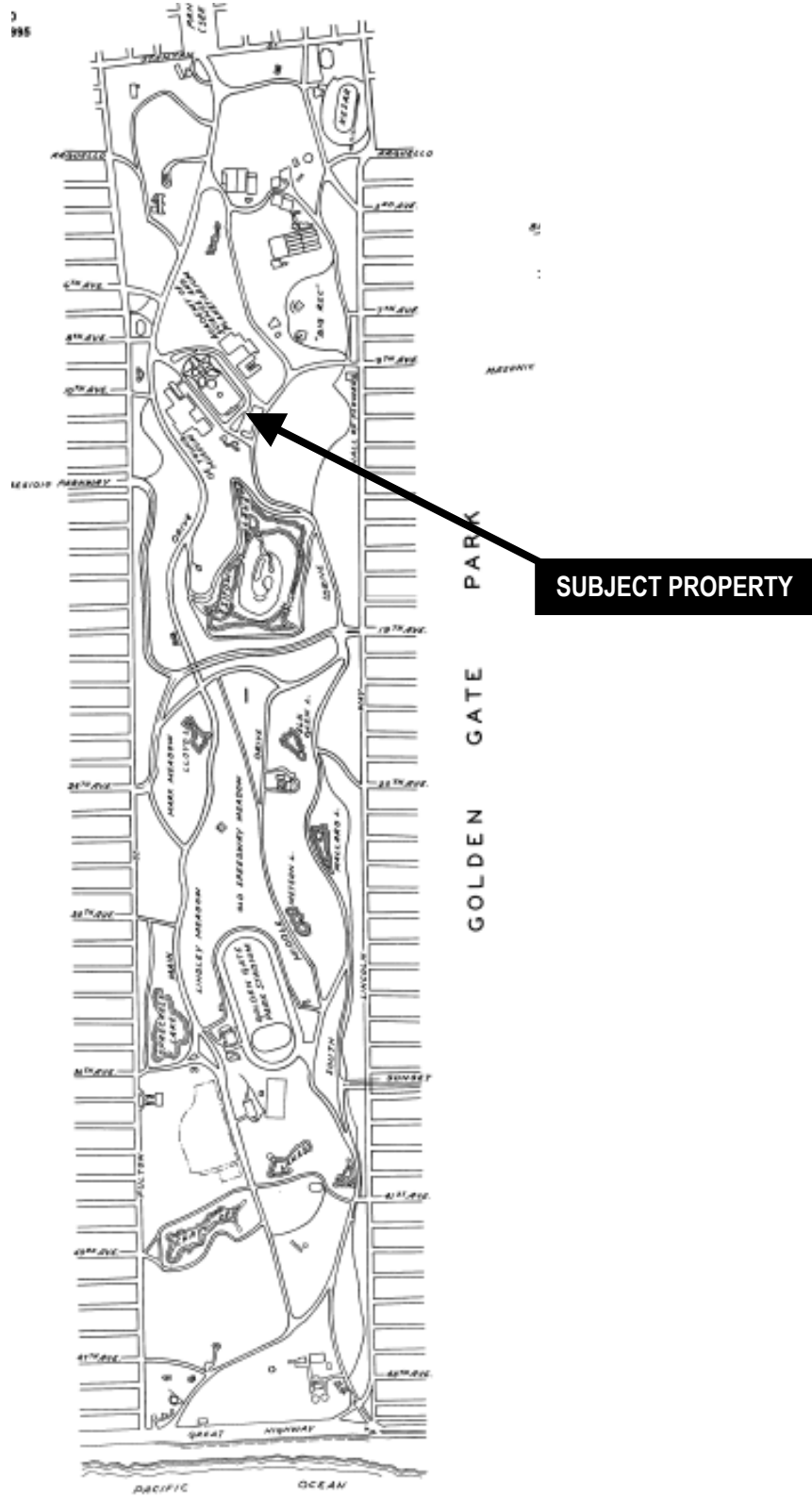
This determination does not include the assessment of archeological resources.

Appendix C:

Maps and Context

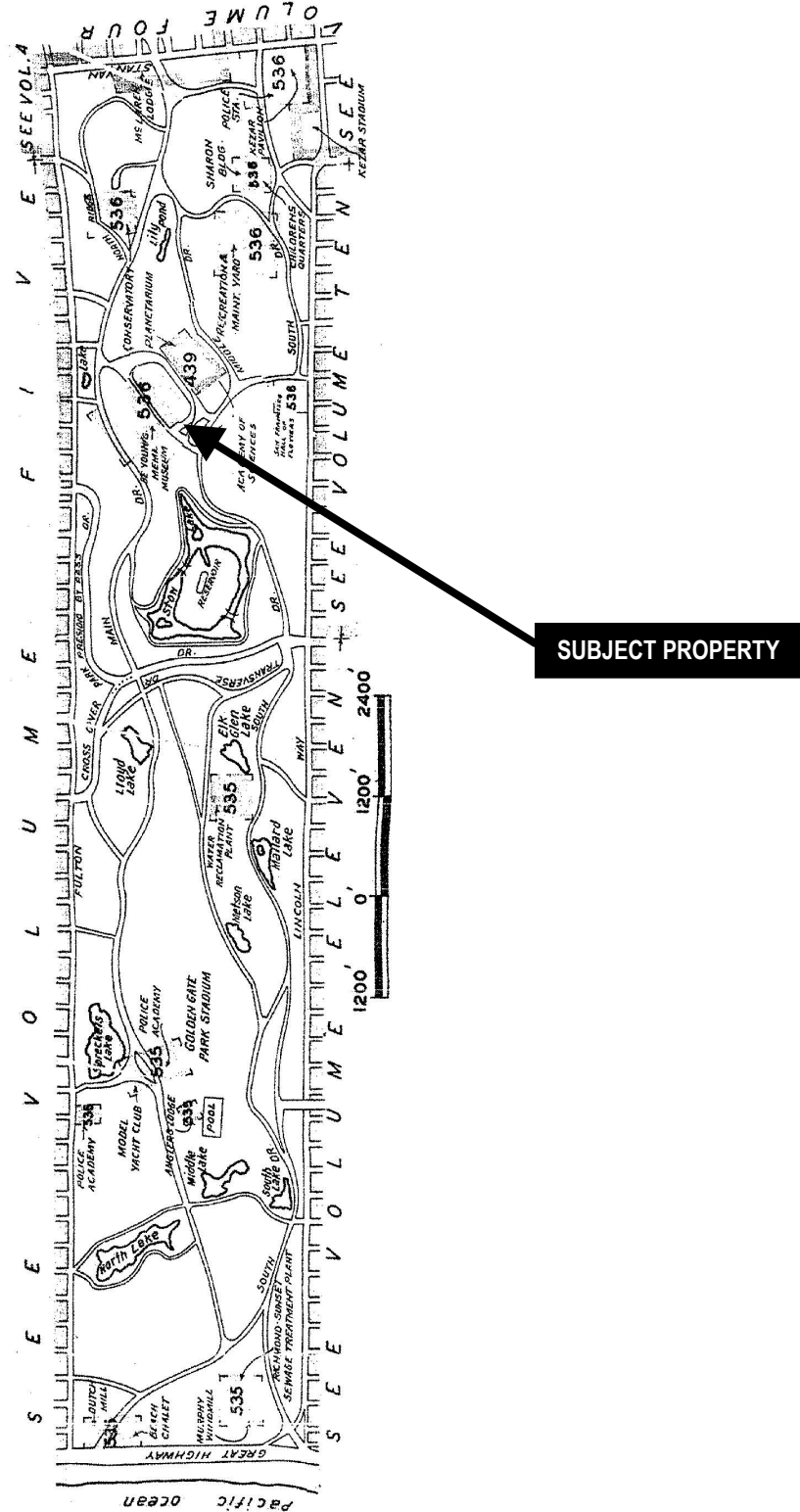
Photos

Parcel Map



Certificate of Appropriateness
Case Number 2019-022126COA-04
Golden Gate Music Concourse
150th Anniversary Celebration

Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Certificate of Appropriateness
 Case Number 2019-022126COA-04
 Golden Gate Music Concourse
 150th Anniversary Celebration

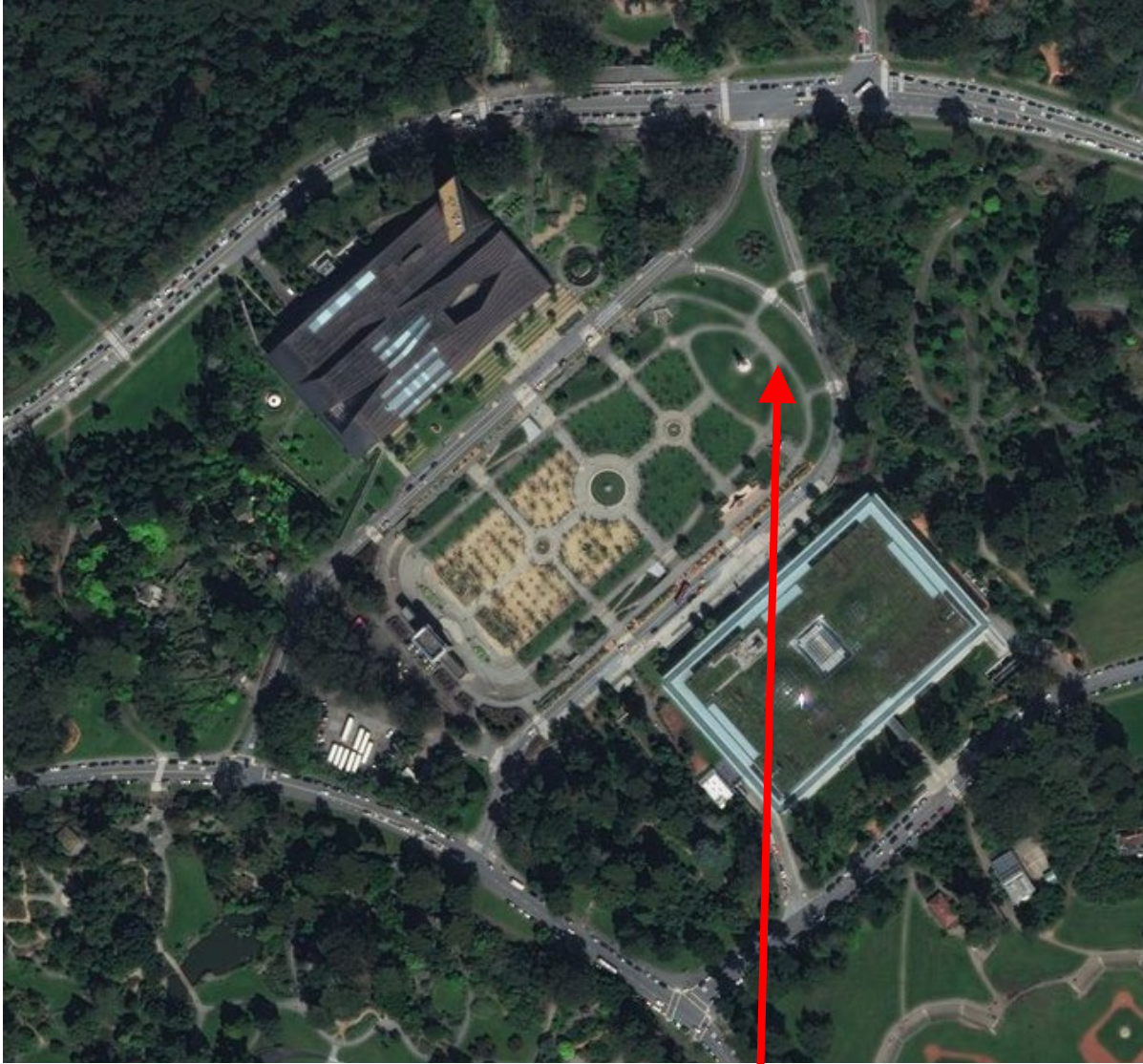
Aerial Photo – View 1



SUBJECT PROPERTY



Aerial Photo – View 2



SUBJECT PROPERTY



Certificate of Appropriateness
Case Number 2019-022126COA-04
Golden Gate Music Concourse
150th Anniversary Celebration

Zoning Map



Certificate of Appropriateness
Case Number 2019-022126COA-04
Golden Gate Music Concourse
150th Anniversary Celebration

Site Photo

without Observation Wheel



Site Photo

Observation Wheel



Photo: Recreation and Parks Department

Appendix D:
Historic Preservation Commission
Motion No. 407

Certificate of Appropriateness
Case Number 2019-022126COA-04
Golden Gate Music Concourse 150th
Anniversary Celebration



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Motion No. 0407

HEARING DATE: JANUARY 15, 2020

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Record No.: 2019-022126COA
Project Address: REC & PARK: Golden Gate Park Music Concourse 150th
Anniversary Celebration
Landmark: Landmark No. 249: Music Concourse
Zoning: P PUBLIC Zoning District
OS Height and Bulk District
Block/Lot: 1700/001
Project Sponsor: Stacy Bradley
Recreation and Parks Department
30 Van Ness Avenue, Suite 3000
San Francisco, CA 94102
Staff Contact: Michelle A. Taylor - 415-575-9197
Michelle.Taylor@sfgov.org

ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR MAJOR ALTERATIONS DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10 OF THE SAN FRANCISCO PLANNING CODE, AND TO MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 001 IN ASSESSOR'S BLOCK 1700 IN A P PUBLIC ZONING DISTRICT AND A OS HEIGHT AND BULK DISTRICT.

PREAMBLE

On December 6, 2019, Stacy Bradley of the City of San Francisco Recreation and Parks Department (hereinafter "Project Sponsor") filed Application No. 2019-022126COA (hereinafter "Application") with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness for installation of an observation wheel at the Golden Gate Park - Music Concourse, which is Landmark Number 249 locally designated under Article 10 of the Planning Code and located on Lot 001 in Assessor's Block 1700.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and Class 3 categorical exemption. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

On January 15, 2020, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Certificate of Appropriateness Application No. 2019-022126COA.

The Planning Department Commission Secretary is the Custodian of Records; the File for Record No. 2019-022126COA is located at 1650 Mission Street, Suite 400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby **APPROVES WITH CONDITIONS** the Certificate of Appropriateness, as requested in Application No. 2019-022126COA in conformance with the architectural plans dated January 3, 2020 labeled Exhibit B based on the following findings:

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. **Project Description.** The City and County of San Francisco Recreation and Parks Department is proposing a one-year installation of an observation wheel on the lawn area at the northeastern side of the Music Concourse in celebration of the 150th Anniversary of Golden Gate Park. The proposed observation wheel is approximately one hundred thirty feet in diameter by approximately one hundred fifty feet in height. The wheel will be supported by sixteen below-grade steel piles under a base measuring seventy-two feet by fifty-seven feet. Support structures and elements will include perimeter fencing, ticket booth, generator (screened), and a retail photo booth.

Construction and installation of the observation wheel will begin March of 2020, with a scheduled opening date of April 4, 2020. The observation wheel will be in operation for ten months, offering rides daily from 10am to 10pm. LED lighting attached to the outer ring and spokes of the observation wheel will be lit every day from dusk until close. At the close of the one-year celebration, the wheel, support structures and the top eight feet of the foundation support piers will be removed. The site will be fully restored by end of March of 2021.

3. **Property Description.** The Golden Gate Park Music Concourse is located between John F. Kennedy Drive, Hagiwara Tea Garden Drive, Martin Luther King Jr. Drive, and Music Concourse Drive. Assessor's Block 1700, Lot 001. The Music Concourse is a classically designed landscaped with a series of paths, pedestrian tunnels, and streets that circle and cross the Music Concourse Bowl. The Music Bowl, located at the center of the Music Concourse, is a depressed oval landscape that features a music band shell (Spreckels Temple of Music), fixed benches arranged in rows, a grid of pollarded trees, fountains, paths, and several monuments and statues.

The proposed observation wheel will be located on the north-eastern lawn of the Music Concourse bowl landscape. The subject site is a previously altered and non-contributing portion of the landscape that historically served as the northern end of the Music Concourse Drive. However, in 2005, construction of an underground garage led to re-grading and modifications to the automotive

circulation pattern, shifting Music Concourse Drive north, to its current location. The subject site was then re-graded, sod with lawn, and incorporated into the Music Concourse formal landscape.

The Music Concourse, originally established as part of the California Midwinter Fair of 1894, is individually significant as an outdoors performance space important in San Francisco's cultural history under Criterion 1 (Events) of the National Register and under Criterion 3 (Architecture) as an urban park landscape devoted to public performances and as a setting for public art. The Music Concourse also contributes to the National-Register listed Golden Gate Park historic district, significant under Criterion 1 (Events) and Criterion 3 (Architecture) in the areas of landscape architecture and social history.

4. **Surrounding Properties and Neighborhood.** The Music Concourse is located within the boundaries of Golden Gate Park, a large urban park comprised of a series of landscapes, recreational sites, water features, roadways, pedestrian paths, and buildings.

Buildings immediately adjacent to the Music Concourse are the DeYoung Museum at the eastern boundary of the Music Concourse, and the California Academy of Sciences to the west. An underground garage, constructed 2005, is located beneath the Music Concourse Bowl.

5. **Public Outreach and Comments.** The Department has received public correspondence from four individuals expressing opposition to the project. Specifically, the public correspondence states a concern regarding the potential impact that the Observation Wheel lighting may have on wildlife, particularly the potential to cause bird collisions and disruptions to bird migrations and nesting patterns. Individuals also stated opposition to the potential impacts that lighting and noise may have inside and outside of the park. One individual voiced concern that the observation wheel will be a permanent fixture in the park. The Department has received public correspondence from one individual expressing support of the project.
6. **Planning Code Compliance.** The Commission has determined that the proposed work is compatible with the exterior character-defining features of the subject property and meets the requirements of Article 10 of the Planning Code in the following manner:

- A. **Article 10 of the Planning Code.** Pursuant to Section 1006.6 of the Planning Code, the proposed alteration shall be consistent with and appropriate for the effectuation of the purposes of this Article 10.

The proposed project is consistent with Article 10 of the Planning Code.

- B. **Secretary of the Interior's Standards.** Pursuant to Section 1006.6(b) of the Planning Code, the proposed work shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties for significant and contributory buildings, as well as any applicable guidelines, local interpretations, bulletins, or other policies. Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

- (1) **Standard 1:** A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

The proposal will retain the historic use as a park and outdoor event space of the Music Concourse. The temporary (one year) installation of the proposed observation wheel will not change the landscapes distinctive materials, features, spaces, and spatial relationships.

- (2) **Standard 2:** The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposal to temporarily install an observation wheel in a non-contributing portion of the landmark will not result in an alteration of the fabric of the historic landscape. The proposed project will not remove distinctive materials, nor irreversibly alter features that characterize the landmark. All work will follow the Recreation and Parks Department Standard Construction Measures to ensure protection of contributing elements within the Landmark.

- (3) **Standard 3:** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The proposed observation wheel is comprised of modern materials and is contemporary in design; it does not include any conjectural features or elements.

- (4) **Standard 4:** Changes to a property that have acquired historic significance in their own right will be retained and preserved.

The subject portion of the landmark is non-historic and non-contributing to the landmark site; therefore, Standard 4 is not applicable.

- (5) **Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

The distinctive features, finishes, and other features that characterize the property will be retained, as all work is limited to a non-contributing portion of the landmark. All work will follow the Recreation and Parks Department Standard Construction Measures to ensure protection of contributing elements within the Landmark.

- (6) **Standard 6:** Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will

match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Not Applicable.

- (7) **Standard 7:** Chemical or physical treatments, if possible, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

The project sponsor will follow the Recreation and Parks Department Standard Construction Measures and protect all contributing resources that characterize the property.

- (8) **Standard 8:** Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Planning department staff archeologists conducted a preliminary archeological review of the proposed project on December 16, 2019 and determined that there is potential for the project to adversely affect archeological resources. The potential impact may be avoided by implementation of Recreation Park Department Standard Archeological Measure 2 (Archeological Monitoring) during construction.

- (9) **Standard 9:** New additions, exterior alterations, or related new construction will not destroy historic materials and features that characterize the building. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposal to temporarily install an observation wheel will not result in a permanent alteration of the historic landscape, nor will it diminish the integrity of the property. Work is limited to a portion of the site that does not contribute to the landmark; therefore, it will not alter or destroy historic materials or features that characterize the landscape. Additionally, the observation wheel will be of design and materials that are of its own time and therefore will be differentiated from the historic character of the site. All areas will be fully restored using in kind materials following removal of the observation wheel.

- (10) **Standard 10:** New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The observation wheel is a temporary installation and the site will be fully restored upon the removal of the wheel. The proposed work will not impair the essential form and integrity of the Music Course landscape.

- C. **Landmark No. 249.** Article 10 of the Planning Code outlines specific findings for the Commission to consider when evaluating applications for alterations to Landmarks or within designated Historic Districts.

Landmarks

1. Pursuant to Section 1006.6(c) of the Planning Code, for applications pertaining to landmark sites, the proposed work shall preserve, enhance or restore, and shall not damage or destroy, the exterior architectural features of the landmark and, where specified in the designating ordinance pursuant to Section 1004(c), its major interior architectural features. The proposed work shall not adversely affect the special character or special historical, architectural or aesthetic interest or value of the landmark and its site, as viewed both in themselves and in their setting, nor of the historic district in applicable cases.

The project is in conformance with Article 10, and as outlined in Appendix A, as the work shall not adversely affect the Landmark site.

2. Pursuant to Ordinance No. 278-05 designating the Music Concourse, Golden Gate Park, a Certificate of Appropriateness for the Music Concourse is required for "(n)ew excavation, including trenching other than for repair to existing pipes and conduits with the Concourse Bowl." The project is in conformance with Article 10, and the work is compatible with the specific review standards for the Music Concourse under Attachment G of the Landmark Designation as follows:

Work performed in the installation of sixteen below ground support piers lines will conform with the Recreation and Parks Departments Standard Construction Measures. Additionally, the proposed work is located on a non-contributing portion of the landscape and is not adjacent to the grid of pollarded trees or other spaces that characterize the property. Furthermore, all areas will be fully restored using in kind materials following removal of the wheel.

7. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

RECREATION AND OPEN SPACE ELEMENT

THE GOAL OF THE RECREATION AND OPEN SPACE ELEMENT IS TO CONTINUE THE CITY'S LEGACY OF FINE PARKS AND RECREATIONAL OPPORTUNITIES, AND GUIDE THE CITY'S FUTURE DECISIONS SO THEY IMPROVE THAT OPEN SPACE SYSTEM FOR THE BENEFIT OF EVERYONE.

OBJECTIVE 1:

ENSURE A WELL-MAINTAINED, HIGHLY UTILIZED, AND INTEGRATED OPEN SPACE SYSTEM

Policy 1.4

Maintain and repair recreational facilities and open spaces to modern maintenance standards.

Policy 1.6

Support the continued improvement of Golden Gate Park while preserving the beauty of its landscape.

Policy 1.12

Preserve historic and culturally significant landscapes, sites, structures, buildings and objects.

Policy 1.13

Preserve and protect character-defining features of historic resources in City parks, when it is necessary to make alterations to accommodate new needs or uses.

OBJECTIVE 4:

PROTECT AND ENHANCE THE BIODIVERSITY, HABITAT VALUE, AND ECOLOGICAL INTEGRITY OF OPEN SPACES AND ENCOURAGE SUSTAINABLE PRACTICES IN THE DESIGN AND MANAGEMENT OF OUR OPEN SPACE SYSTEM

Policy 4.4

Include environmentally sustainable practices in construction, renovation, management and maintenance of open space and recreation facilities.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings, landscapes, and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject property for the future enjoyment and education of San Francisco residents and visitors.

8. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have an impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project is located in a park and therefore will not impact existing housing or neighborhood character. The proposed project is in conformance with the Secretary of the Interior's Standards and therefore will preserve the character defining features of both the subject landmark and Golden Gate

Park.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not affect the City's affordable housing supply.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project will not affect industrial and service sectors.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

All construction will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will maintain character defining features of the Music Concourse and Golden Gate Park. The project will not impact the access to sunlight or vistas for the parks and open space.

9. For these reasons, the proposal overall, appears to meet the *Secretary of the Interior's Standards* and the provisions of Article 10 of the Planning Code regarding Major Alterations.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES WITH CONDITIONS** a **Certificate of Appropriateness** for the subject property located at Lot 001 in Assessor's Block 1700 for proposed work in conformance with the architectural submittal dated January 3, 2020 and labeled Exhibit B on file in the docket for Record No. 2019-022126COA.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days after the date of this Motion No. 0407. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 1650 Mission Street, (Room 304) or call (415) 575-6880.

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission **ADOPTED** the foregoing Motion on January 15, 2020.



C. SIWA ON BEHALF OF
Jonas P. Ionin
Commission Secretary

AYES: Black, Johns, Matsuda, So
NAYS: Pearlman
ABSENT: Foley, Hyland
ADOPTED: January 15, 2020

EXHIBIT A

AUTHORIZATION UPDATE

This authorization is for a Certificate of Appropriateness to allow Alterations located at 55 Hagiwara Tea Garden Drive, Block 1700, and Lot 001 pursuant to Planning Code Section(s) 1006 within the P District and an OS Height and Bulk District; in general conformance with plans, dated January 3, 2020, and stamped "EXHIBIT B" included in the docket for Record No. 2019-022126COA and subject to conditions of approval reviewed and approved by the Historic Preservation Commission on January 15, 2020 under Motion No. 0407. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Historic Preservation Commission Motion No. 0407 shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Certificate of Appropriateness and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Historic Preservation Commission approval of a new Certificate of Appropriateness. In instances when Planning Commission also reviews additional authorizations for the project, Planning Commission may make modifications to the Certificate of Appropriateness based on majority vote and not required to return to Historic Preservation Commission.

CONDITIONS OF APPROVAL

1. That the project sponsor will follow the Recreation and Parks Department Standard Construction Measures to ensure protection of elements that characterize Landmark No. 249.
2. That the observation wheel is temporary. The wheel will be in operation for ten months starting April 4, 2020 and all above ground elements will be removed by March 2021.
3. That the project site will be fully restored to its pre-project condition, using in kind materials, by end of March 2021.

4. That the City of San Francisco Recreation and Parks Department will conduct community outreach regarding the effect of lighting and implement measures to mitigate its impact in coordination with Planning Department staff.

Observation Wheel

Golden Gate Park
 Music Concourse
 San Francisco California

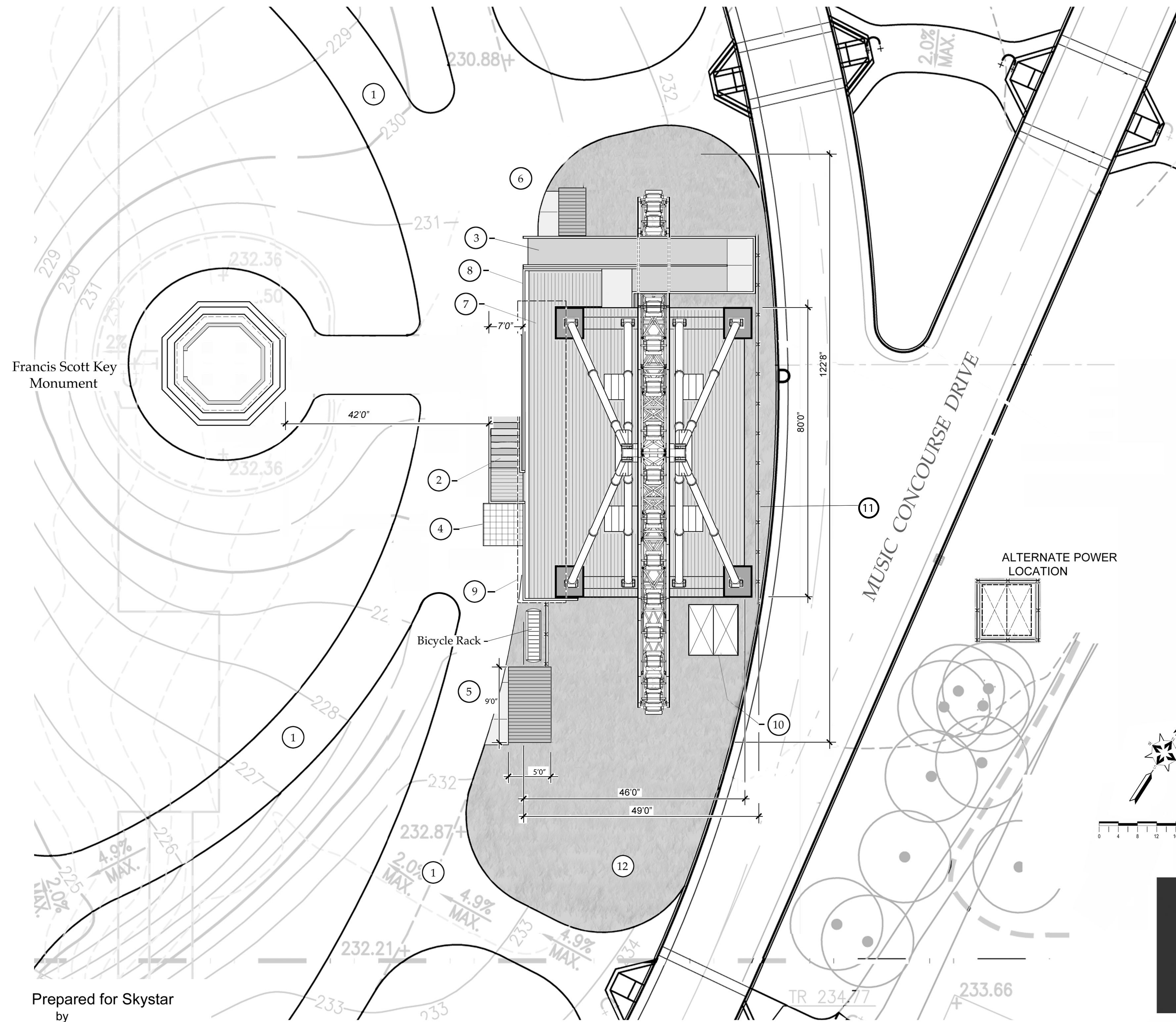
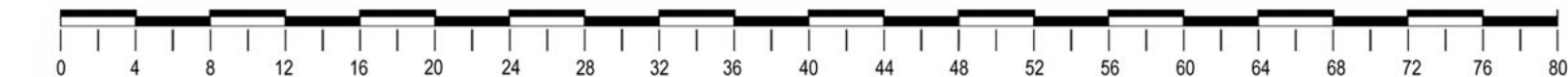
January 3, 2020

Key

- | | |
|---|--|
| ① Asphalt Path (Existing) | ⑦ Platform Deck |
| ② Main Entrance Stairs
Synthetic Wood Tread & Skirt (wood) | ⑧ Decorative Skirt (Vinyl) ~3' Tall |
| ③ ADA Ramp
Unloading Exit | ⑨ Canopy Outline |
| ④ Photo Capture | ⑩ POWER GENERATORS:
2 @ 8' long x 4' wide x 5' high, set on appropriate platform, 10'x12' |
| ⑤ Ticket Booth
9'x5' | ⑪ Perimeter Fencing,
Tubular skirting |
| ⑥ Retail Sales Booth
10'x8' | ⑫ Lawn (existing) |

SITE IMPROVEMENT PLAN

0 20' 40'



Francis Scott Key Monument

MUSIC CONCOURSE DRIVE

ALTERNATE POWER LOCATION

Prepared for Skystar
 by
 bruce a. chan
 landscape architect
 California Reg 2324



2019-022126COA - Exhibit B

A 1.1

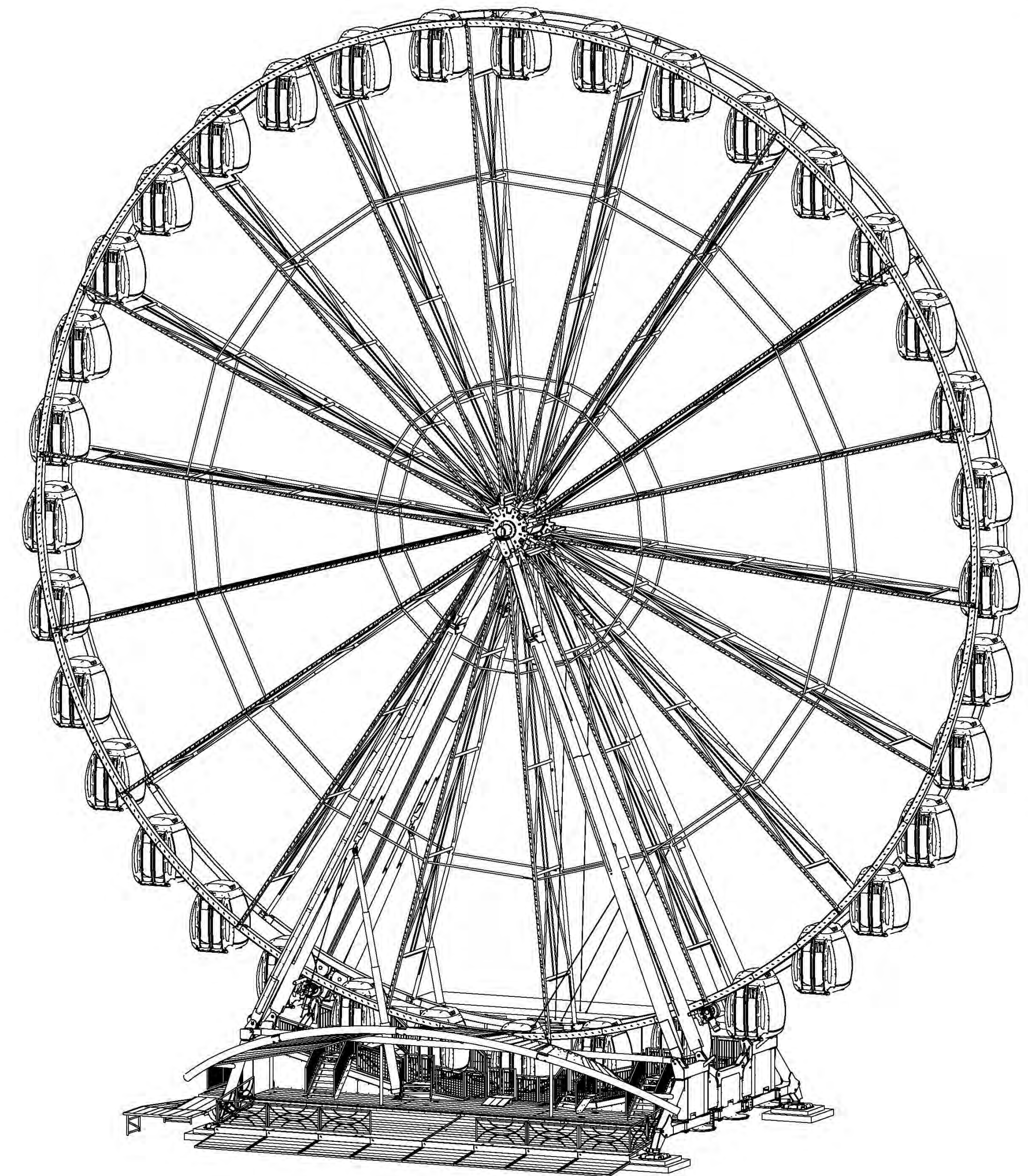
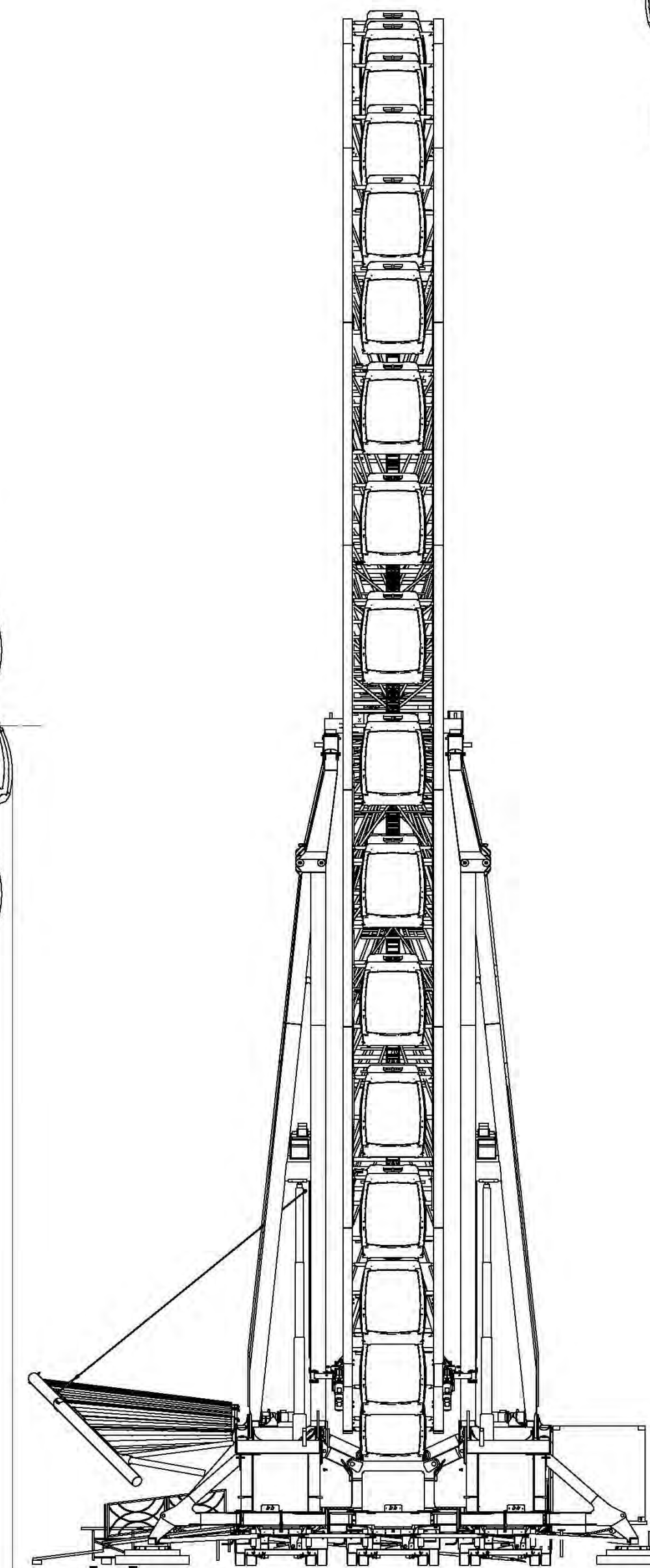
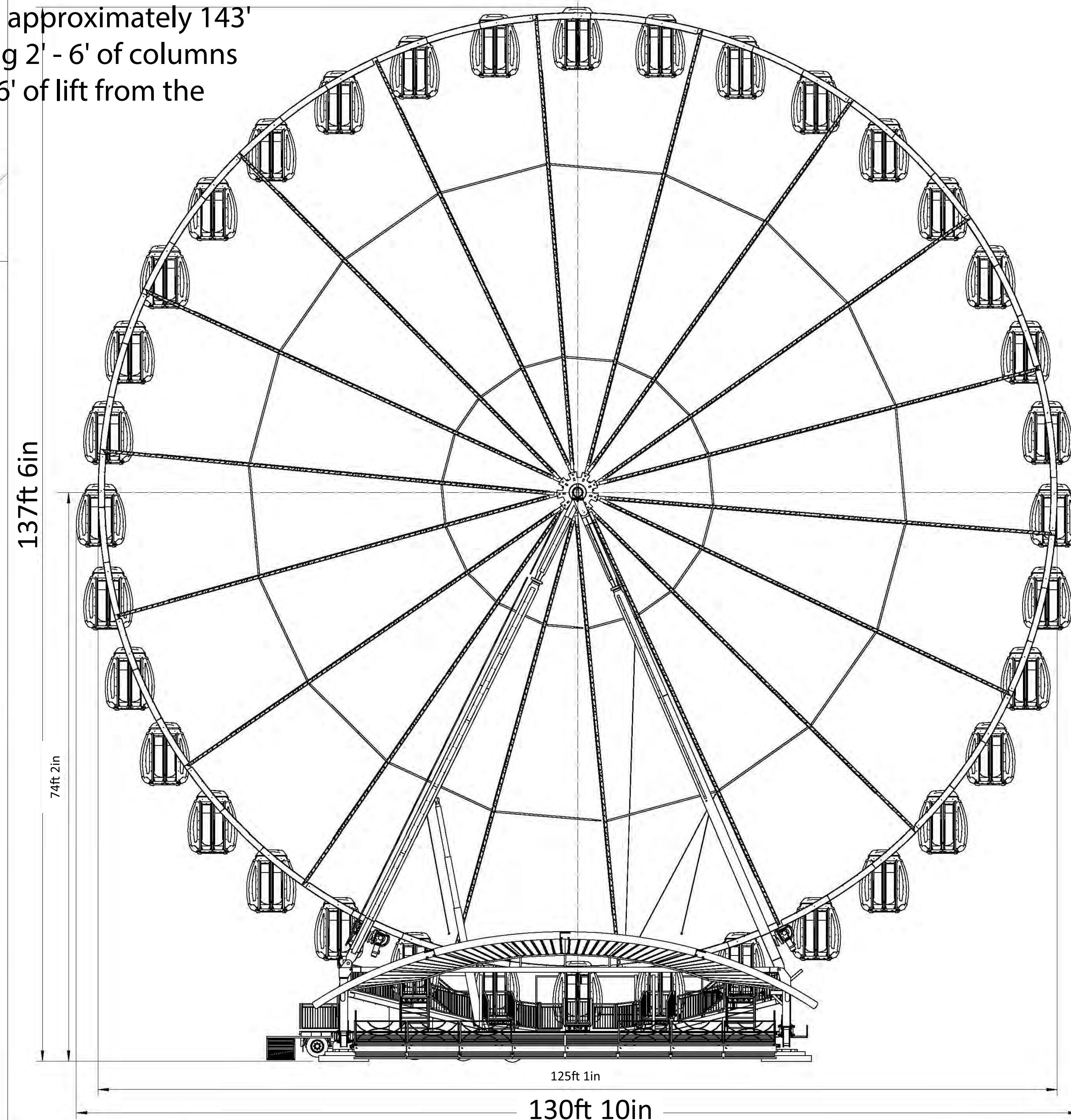
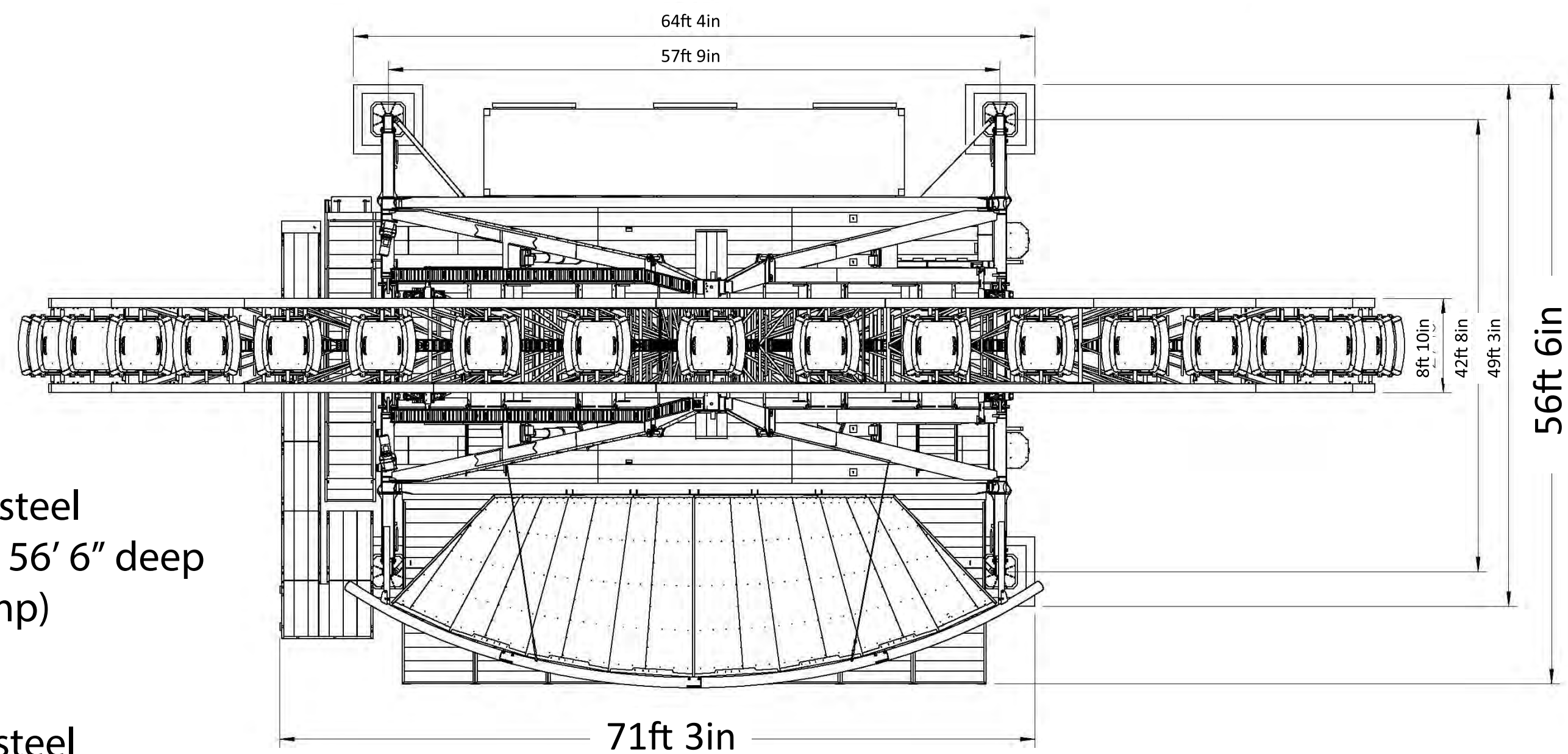
MOD.	DATE	NAME	DESCRIPTION
A			
B			
C			
D			

BASE

Materials: aluminum and steel
Dimensions: 71' 3" wide x 56' 6" deep
(including accessibility ramp)

WHEEL

Materials: aluminum and steel
Dimensions: 130' 10" wide x 137' 6" high
Total structure will be approximately 143' above grade, including 2' - 6' of columns and levelling and 3' - 6' of lift from the trailer



Wheel is attached to base by the 'A' frame structure ('X' in plan). Base attaches to the site at its four corners, where the riggers sit on the piers (illustrated pp. 3-5).

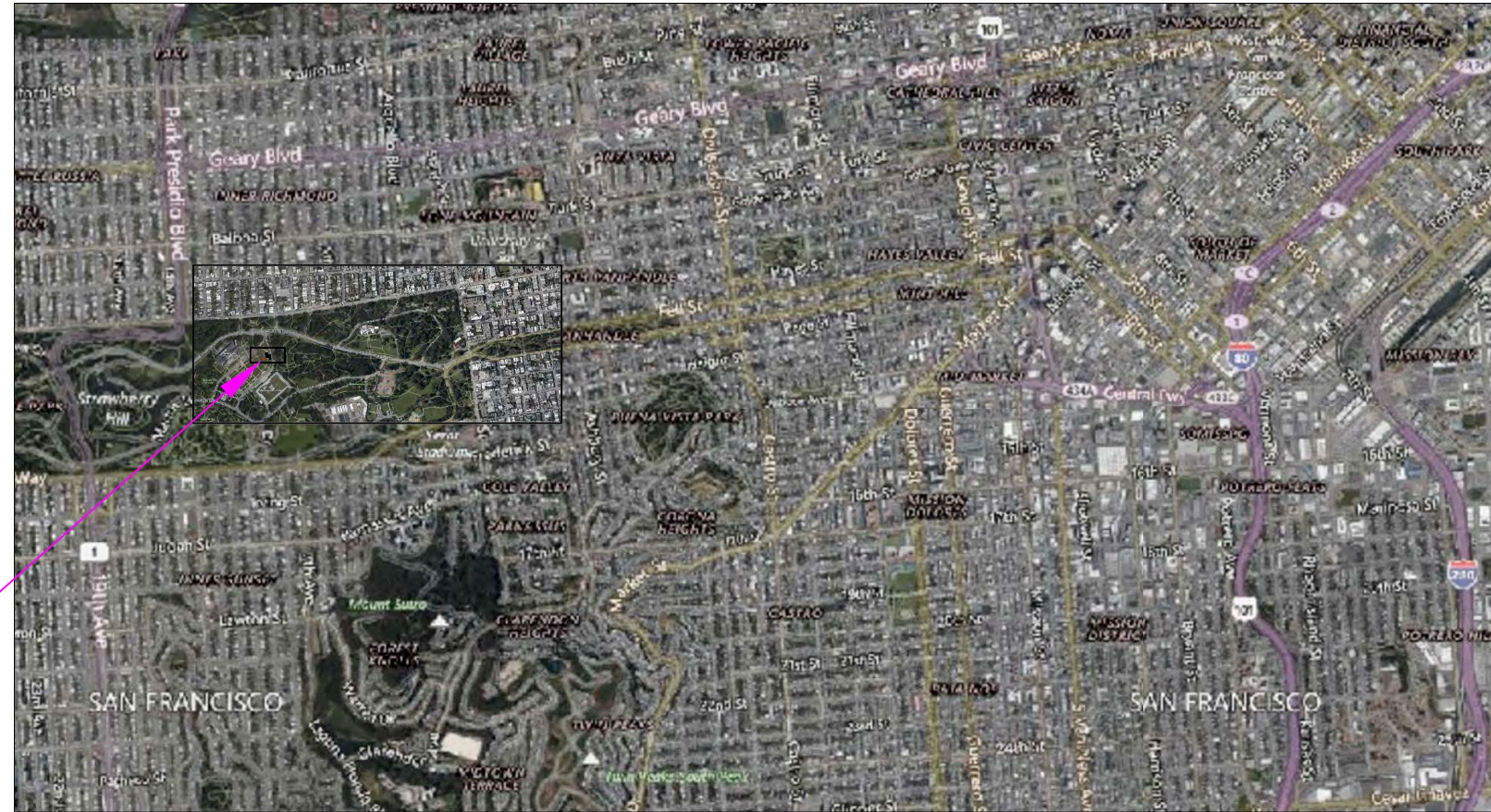
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SCALE: 1/8" = 1'-0"	TOL. ON LINEAR SIZES ACC. NEN-ISO 286-4-2	PROJECTION:	
DATE: 13-07-2007	GENERAL TOL. SINGLE PARTS ACC. ISO 2768-4L	DRAWING No. 150-31-00800	
DRAWN: A/L	GENERAL TOL. ASSEMBLED PARTS ACC. ISO 1900-1G	SIZE: A1	
CHECKED: -	TOL. OF FORM, ORIENTATION, LOCATION AND RUN-OUT ACC. NEN-ISO 101	MOD. A	
BASE SIZE: 1/16"	SURFACE TEXTURE ACC. NEN-ISO 1307	WELDING ACC. NEN-ISO 2553	

SKYSTAR GOLDEN GATE

SITE PLAN



SITE LOCATION



SITE LOCATION

SOIL
ENGINEERING
CONSTRUCTION, Inc.

927 ARGUELLO STREET
REDWOOD CITY, CA 94063
PHONE: 650-367-9595
FAX: 650-367-8139

DATE	
REVISIONS	



- NOTES:
- BORING LOCATIONS TO BE CONFIRMED IN THE FIELD BY ENGINEER
 - TRACKED EQUIPMENT TO BE USED

Skyview Atlanta
Golden Gate Park
San Francisco

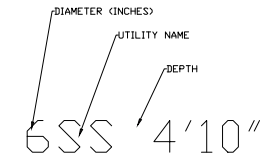
Client Project No.	
SOC Project No.	20-001
Date	10/14/19
Designed By	RDM
Drawn By	BDB
Checked By	RDM
Scale	AS SHOWN
Sheet	C - 0



NO PART OF THIS SHEET OR DESIGN MAY BE COPIED OR USED WITHOUT PRIOR WRITTEN CONSENT FROM SOIL ENGINEERING CONSTRUCTION, INC.

LEGEND:

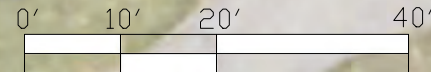
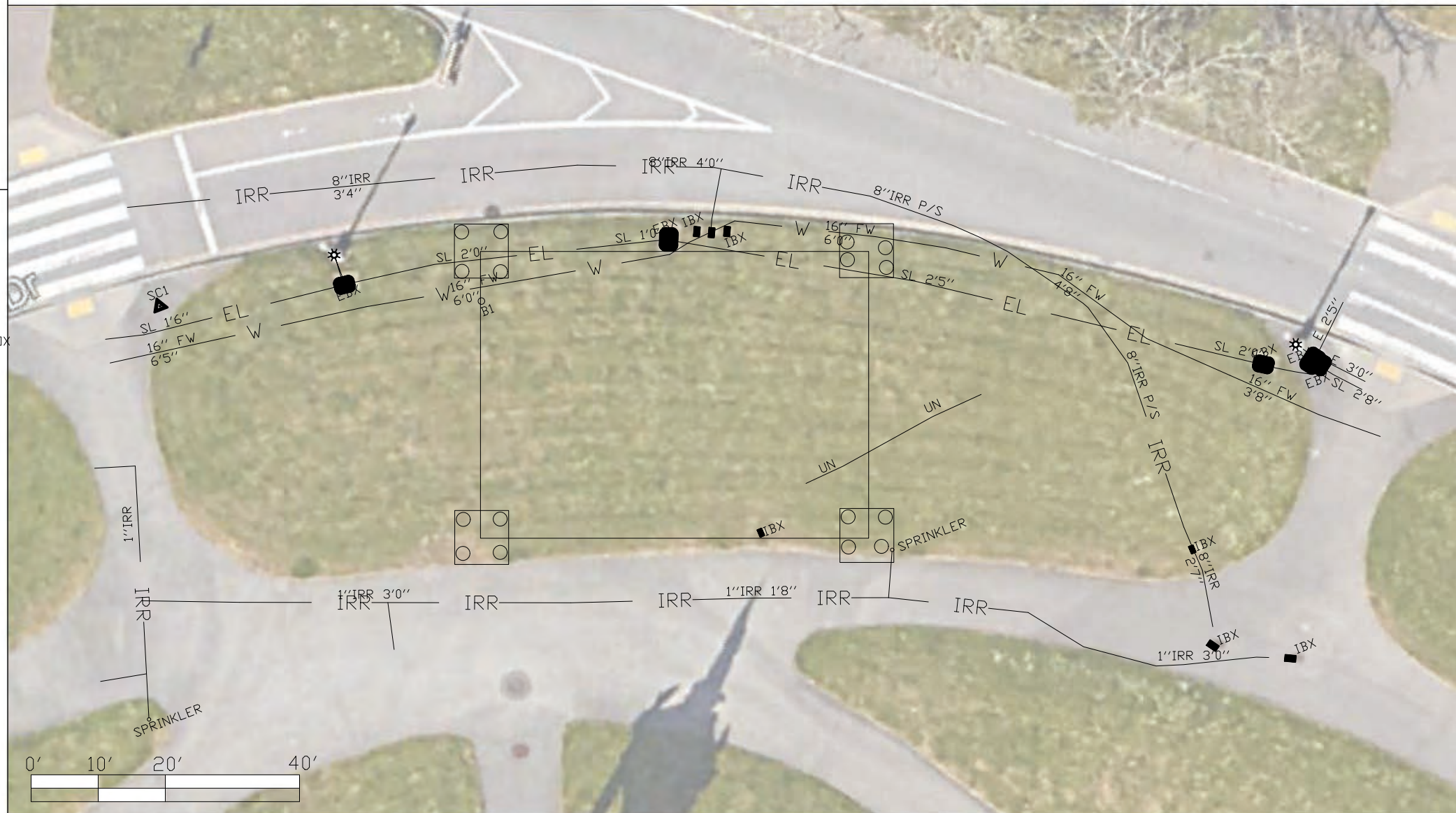
SS	Sanitary Sewer
SD	Storm Drain
W	Water
GA	Gas
UN	Unknown
EL	Electric
TEL	Telephone



ABBREVIATIONS

AB	ABANDONED
BX	BOX
CA	COMPRESSED AIR
CB	CATCH BASIN
CI	CAST IRON
COM	COMMUNICATION
CMP	CORRUGATED METAL PIPE
CO	CLEAN OUT
CP	TEST CORROSION PROTECTION BOX
E	ELECTRIC
EOP	END OF PIPE
EOT	END OF TRACE
FH	FIRE HYDRANT
FO	FIBER OPTIC
FW	FIRE WATER
G	GAS
GA	GAS ANODE
GBX	GAS BOX
GM	GAS METER
GND	GROUND WIRE
GV	GAS VALVE
HV	HIGH VOLTAGE
IBX	IRRIGATION BOX
IRC	IRRIGATION CONTROL
ICV	IRRIGATION CONTROL VALVE
IRR	IRRIGATION
JP	JUNCTION POLE
LV	LOW VOLTAGE
MH	MANHOLE
NL	NOT LOCATED
OE	OPEN END
PED	PEDESTAL
RCB	REINFORCED CONCRETE BOX
-RSR	- RISER
SD	STORM DRAIN
SIG	SIGNAL
SL	STREET LIGHT
SS	SANITARY SEWER
T	TELEPHONE
TOP	TOP OF PIPE
TDN	TOP OF VALVE NUT
TR	TRAFFIC SIGNAL
TRP	TRAFFIC SIGNAL POLE
TRBX	TRAFFIC SIGNAL BOX
WBX	WATER BOX
WM	WATER METER
WV	WATER VALVE
UN	UNKNOWN UTILITY

GOLDEN GATE PARK: BOWL RD UTILITY MAP



NOTES:


Not all utilities are shown.
Only a 16" SFWD and irrigation water pipes were requested. Depths shown are to center of conductive utility & are generally +/-10% of actual depth, when not distorted by adjacent conductors. Accuracy of electronic depth decreases when adjacent utilities are located within 5 ft. Critical depths require verification by potholing.

Basis of Bearings:
Survey based on Assumed coordinates of CP1. CP1 is a set nail.
CP1 N=5000.00 E=5000.00
Bench Mark Datum: SC1=Set Nail
Assumed Elevation=100.00
NOT STAMPED BY PLS

1 UTILITY PLAN
4 SCALE: 1"=20'

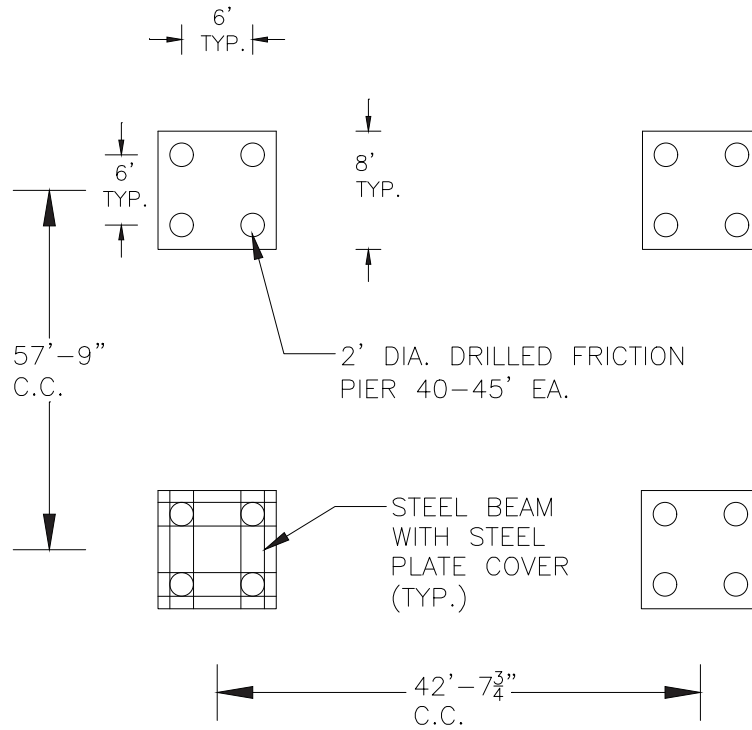
FERRIS WHEEL PROJECT

PROJECT:
GOLDEN GATE PARK
SAN FRANCISCO, CA


CONTRACTOR:
 SOIL ENGINEERING CONSTRUCTION, INC
927 ARGUELLO STREET
REDWOOD CITY, CA 94063

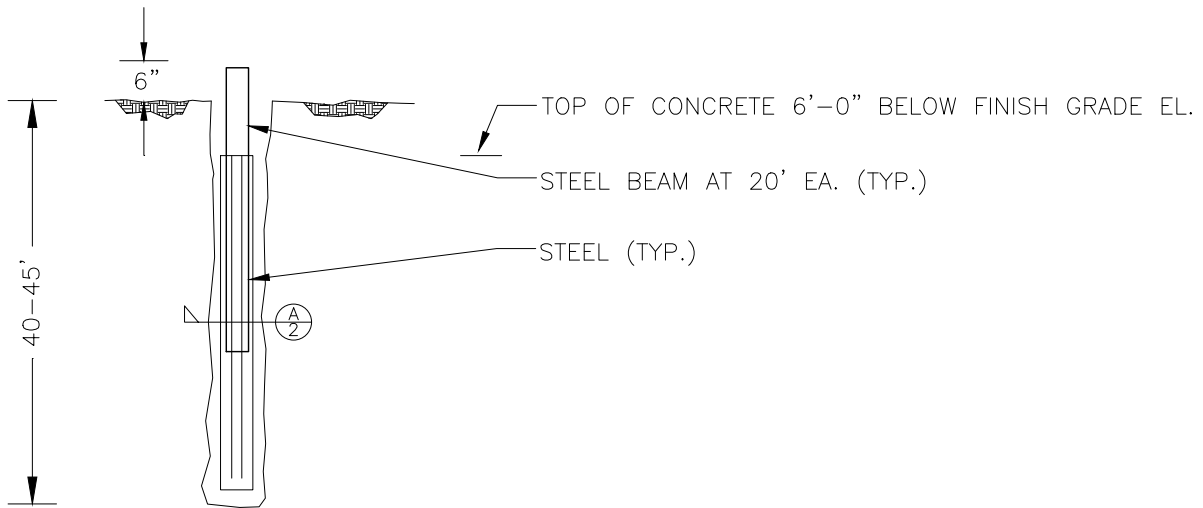
(650) 367-9595 P / (650) 367-8139 F

DATE: 12/12/19 SCALE: 1"=20' DRAWN: JK SHEET: 4 OF 4

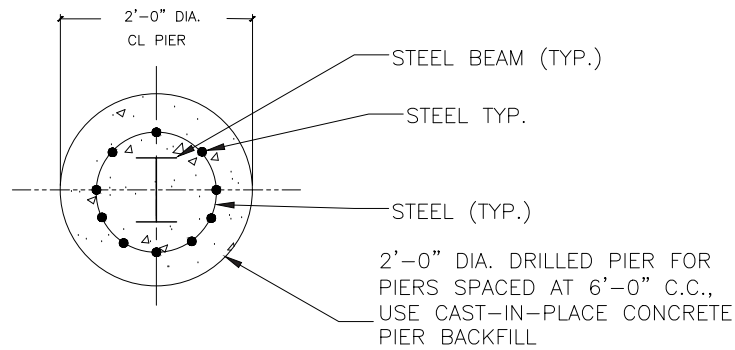


1 FRICTION PIER - PLAN
 1 SCALE: AS SHOWN


FERRIS WHEEL PROJECT			
PROJECT:			
GOLDEN GATE PARK SAN FRANCISCO, CA			
CONTRACTOR:			
 SOIL ENGINEERING CONSTRUCTION, INC. 927 ARGUELLO STREET REDWOOD CITY, CA 94063			
(650) 367-9595 P / (650) 367-8139 F			
DATE:	SCALE:	DRAWN:	SHEET:
12/12/19	AS SHOWN	JK	1 OF 4

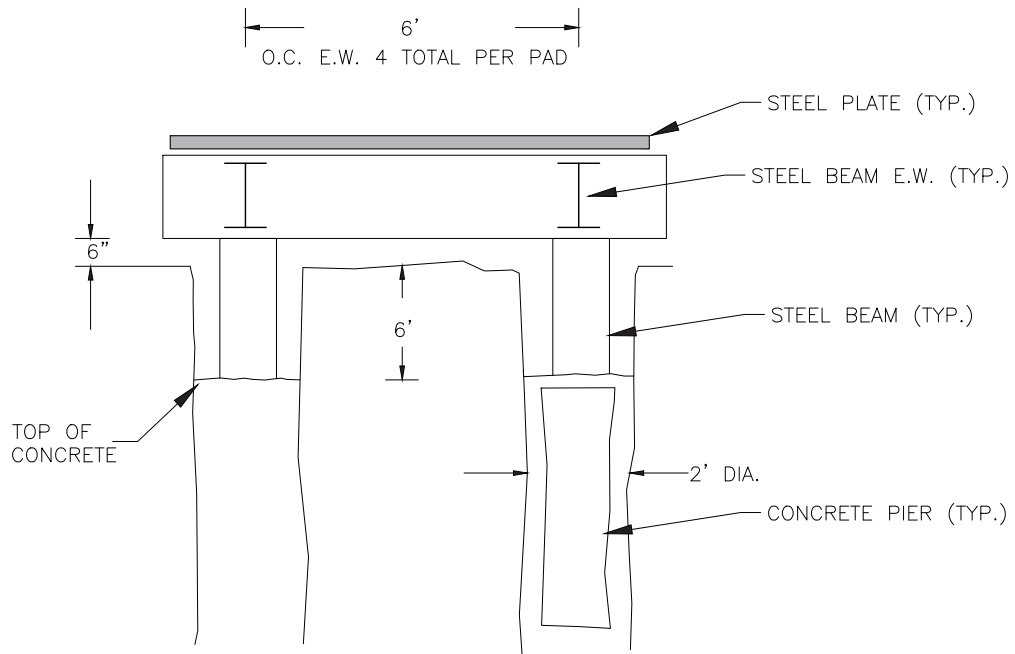


1 SECTION - FRICTION PIER
 2 SCALE: AS SHOWN



A SECTION - PIER
 2 SCALE: AS SHOWN


FERRIS WHEEL PROJECT			
PROJECT:			
GOLDEN GATE PARK SAN FRANCISCO, CA			
CONTRACTOR:			
		SOIL ENGINEERING CONSTRUCTION, INC. 927 ARGUELLO STREET REDWOOD CITY, CA 94063	
(650) 367-9595 P / (650) 367-8139 F			
DATE:	SCALE:	DRAWN:	SHEET:
12/12/19	AS SHOWN	JK	2 OF 4

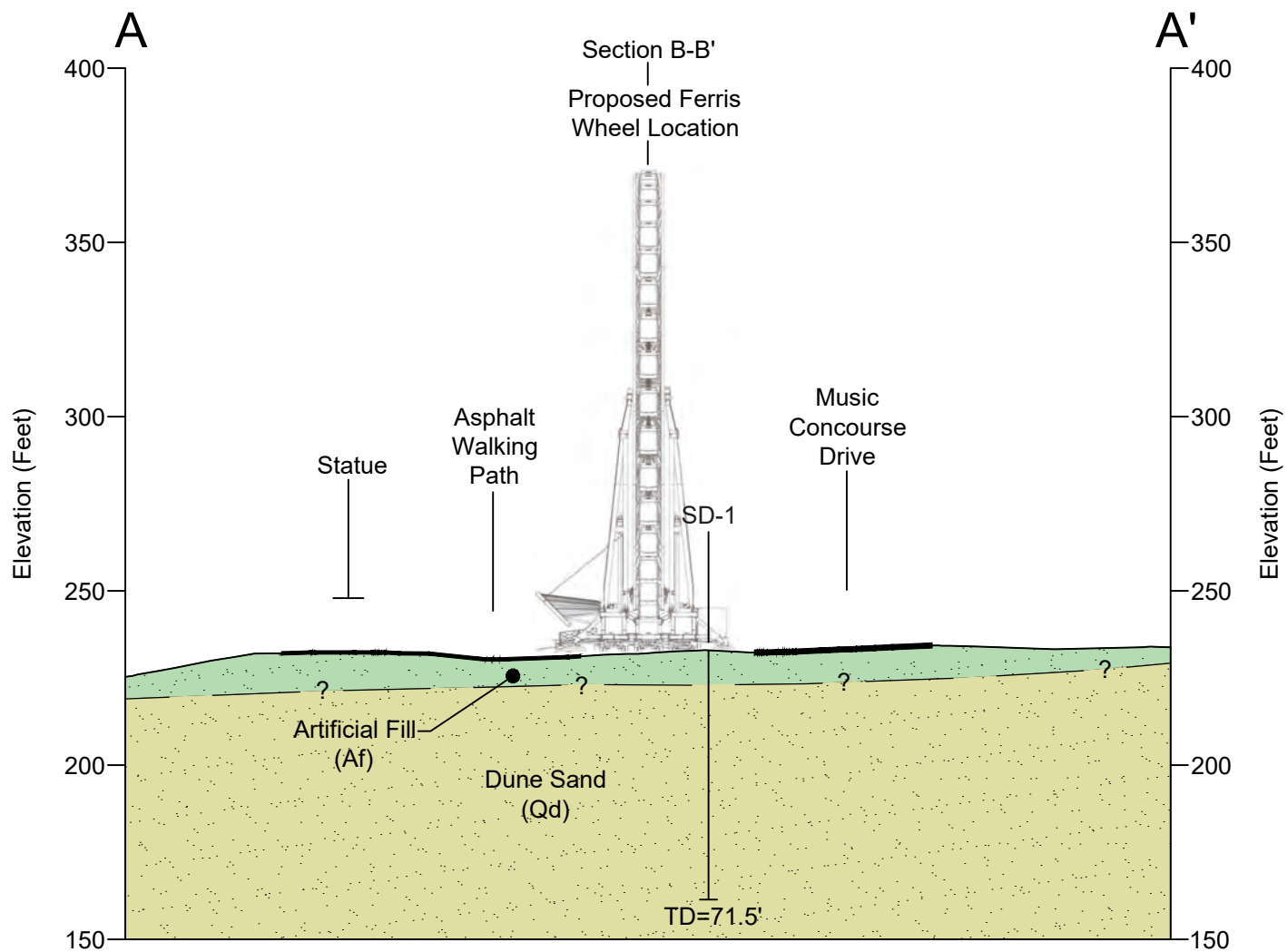


1

 3

FRICION PIER – DETAIL
 SCALE: AS SHOWN

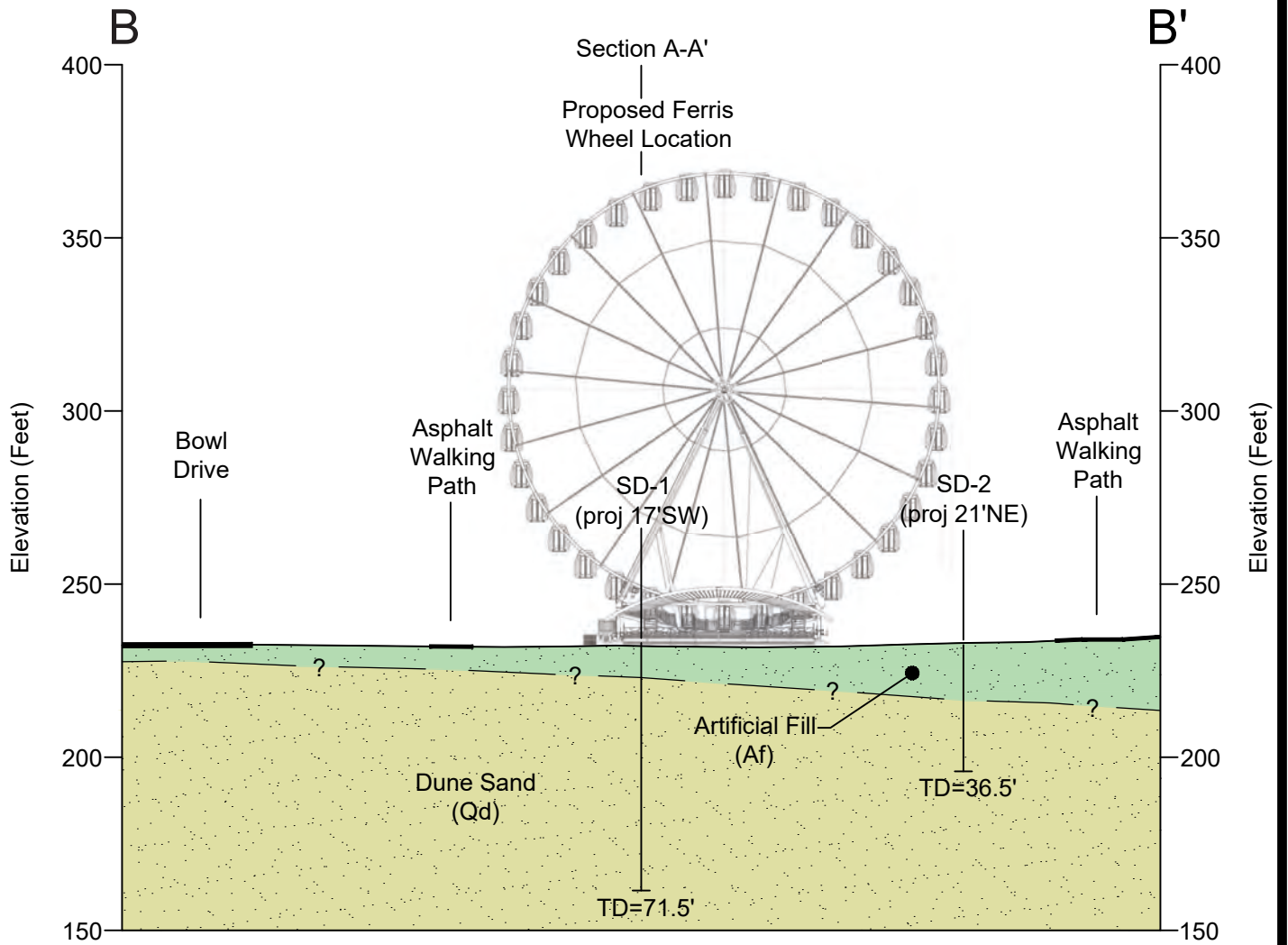
FERRIS WHEEL PROJECT			
PROJECT:			
GOLDEN GATE PARK SAN FRANCISCO, CA			
CONTRACTOR:			
 SOIL ENGINEERING CONSTRUCTION, INC. 927 ARGUELLO STREET REDWOOD CITY, CA 94063			
(650) 367-9595 P / (650) 367-8139 F			
DATE:	SCALE:	DRAWN:	SHEET:
12/12/19	AS SHOWN	JK	3 OF 4



COTTON, SHIRES AND ASSOCIATES, INC
CONSULTING ENGINEERS AND GEOLOGISTS

ENGINEERING GEOLOGIC CROSS SECTION A-A'
Golden Gate Park Ferris Wheel
SAN FRANCISCO, CALIFORNIA

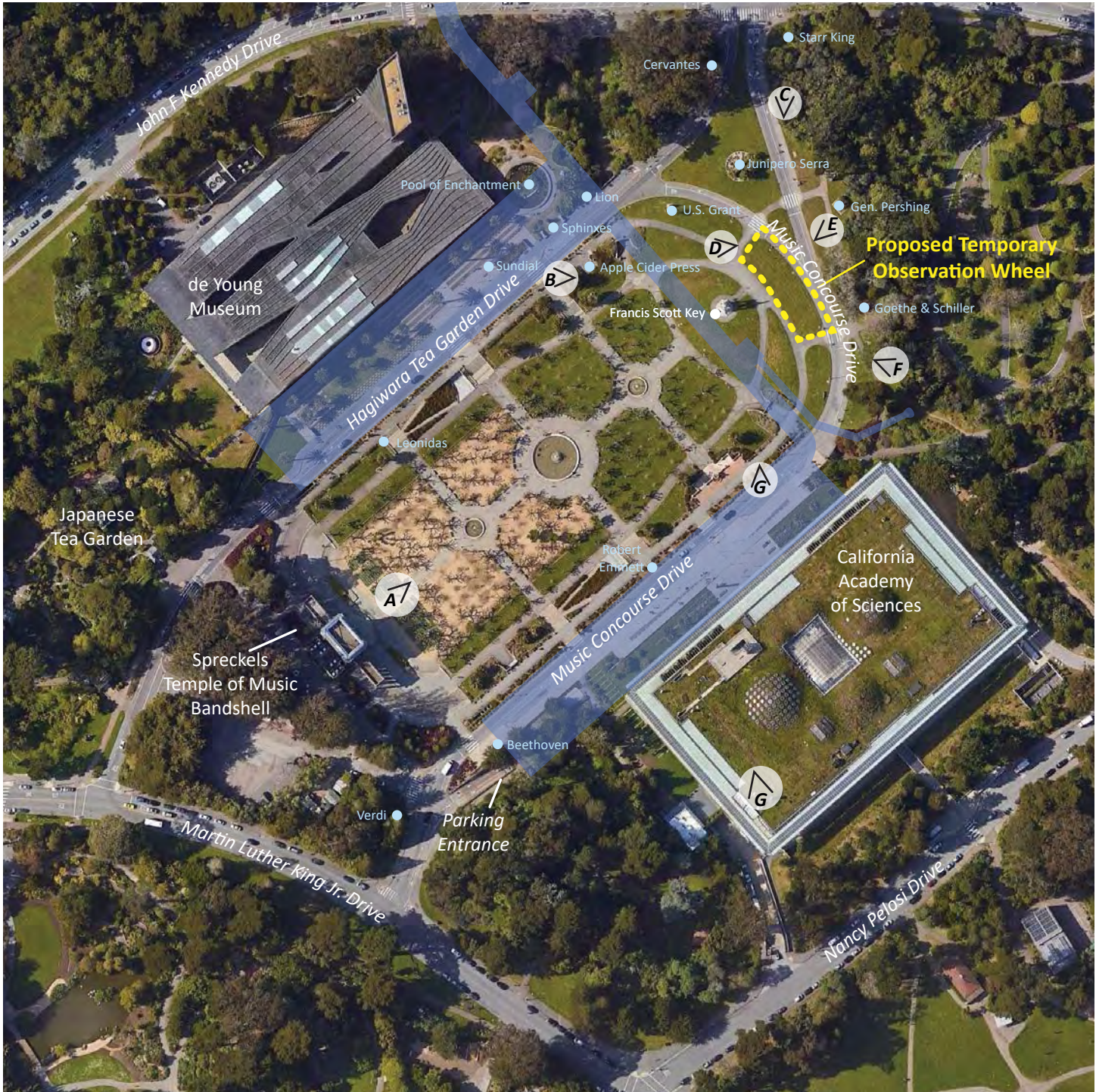
GEO/ENG BY JD	SCALE 1"=50'	PROJECT NO. E5629
APPROVED BY POS	DATE DECEMBER 2019	FIGURE NO. 5



 **COTTON, SHIRES AND ASSOCIATES, INC**
CONSULTING ENGINEERS AND GEOLOGISTS

ENGINEERING GEOLOGIC CROSS SECTION B-B'
Golden Gate Park Ferris Wheel
SAN FRANCISCO, CALIFORNIA

GEO/ENG BY JD	SCALE 1"=50'	PROJECT NO. E5629
APPROVED BY POS	DATE DECEMBER 2019	FIGURE NO. 6



- - - **Project area**
- A Site photo viewpoint
- Underground parking facility
- Statue or monument, current location





Figure 1: People walking in the Music Concourse in front of the Francis Scott Key monument, from viewpoint A. Arrow indicates approximate proposed project location.



Figure 2: The proposed project location from viewpoint B.





Figure 3: Detail view of Grass Panel edged by curb along Music Concourse Drive and asphalt paths towards the Music Concourse from Viewpoint B



Figure 4: Detail view of Grass Panel edged by asphalt paths from Viewpoint C





Figure 5: The proposed project location from viewpoint C. Yellow field indicates approximate proposed project footprint.



Figure 6: The proposed project location from viewpoint D.





Figure 7: The proposed project location from viewpoint E



Figure 8: The proposed project location from viewpoint F

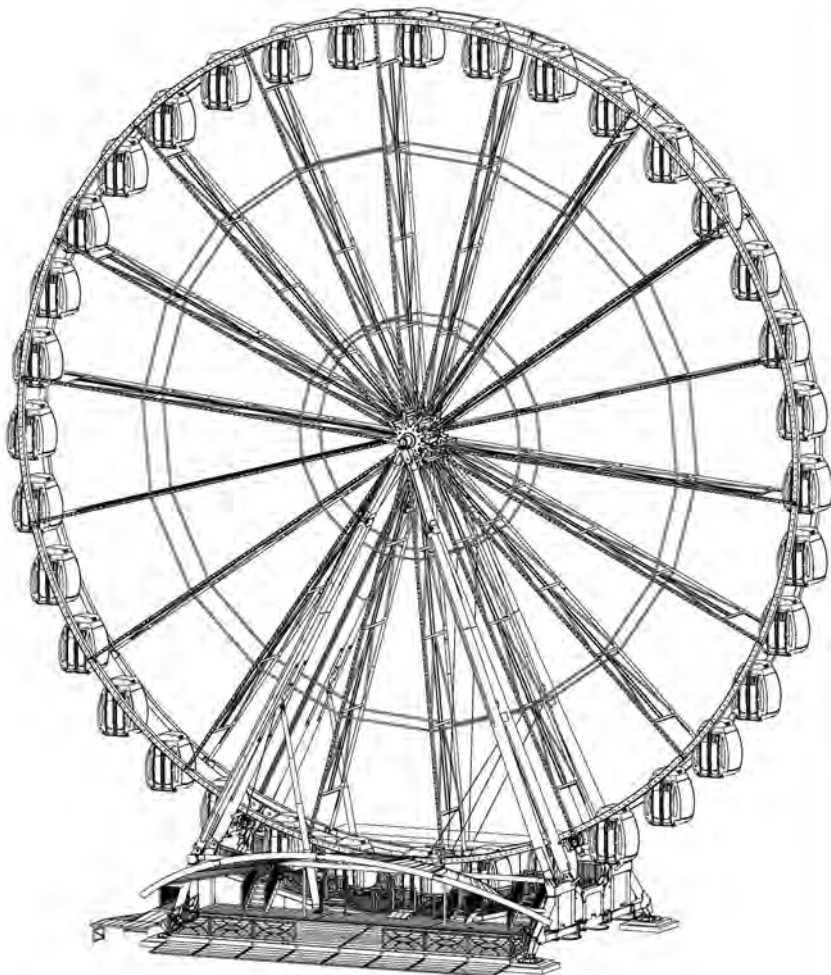




Figure 9: Photograph of Golden Gate Park Music Concourse from 1894 California Midwinter International Exposition



Figure 10: A rendering of Proposed Temporary Observation Wheel Project from viewpoint G



Wheel

Materials: Aluminum and steel
Dimensions: 130' 10" wide x ~143' high
Wheel - 137' 6"
Trailers - 3' - 6" off ground
Columns & leveling - 2' - 6"

Base

Materials: Aluminum and steel
Dimensions: 71' 3" wide x 56' 6" deep
(including ramp)

See Attachment 3 for additional SkyStar Observation Wheel specifications



Figure 11: A rendering of the SkyStar Observation Wheel



Figure 12: The base of the SkyStar Observation Wheel, including ticket booth and canopy. Accessibility ramp partially visible on the left of image.



Figure 13: The SkyStar Observation Wheel in Cincinnati, OH, ready for use





Figure 14: Observation Wheel ticket booth details





Figure 15: View of the SkyStar Observation Wheel and entrance canopy, as seen looking up from nearby the ticket booth.

Canopy

Materials: Aluminum, steel, and polycarbonate glass





Figure 16: View of the SkyStar Observation Wheel at night.



Figure 17: View of the SkyStar Observation Wheel at night.

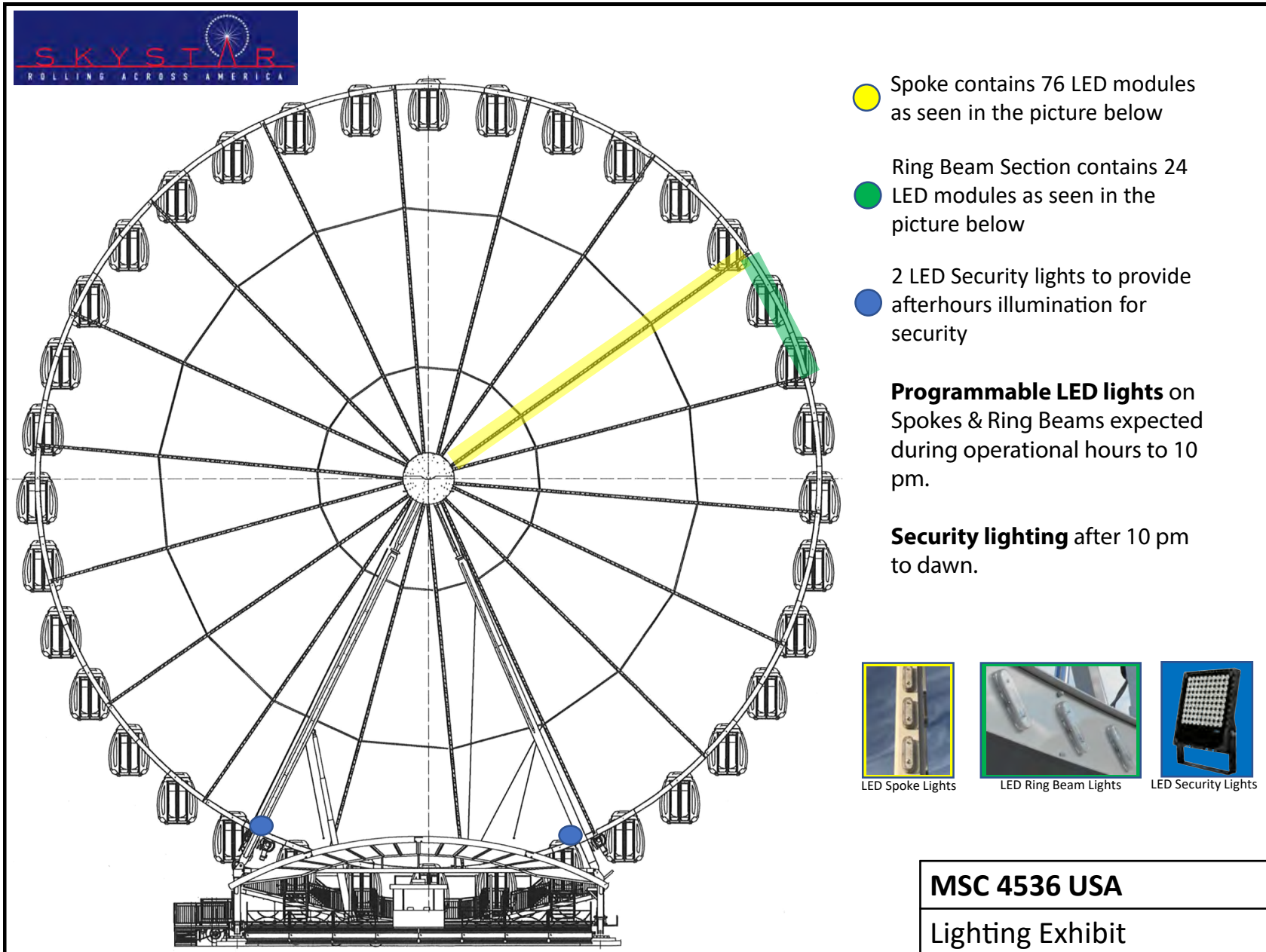


Figure 18: Observation Wheel lighting details



Figure 19: Image of Wheel Gondola



Figure 20: Image of Wheel Gondola, inside

Observation Wheel Gondola

Includes 36 climate-controlled cabins comprised of a steel frame with tinted polycarbonate glass.



Figure 21: Closer image of gondolas



Figure 22: Closer image of gondolas

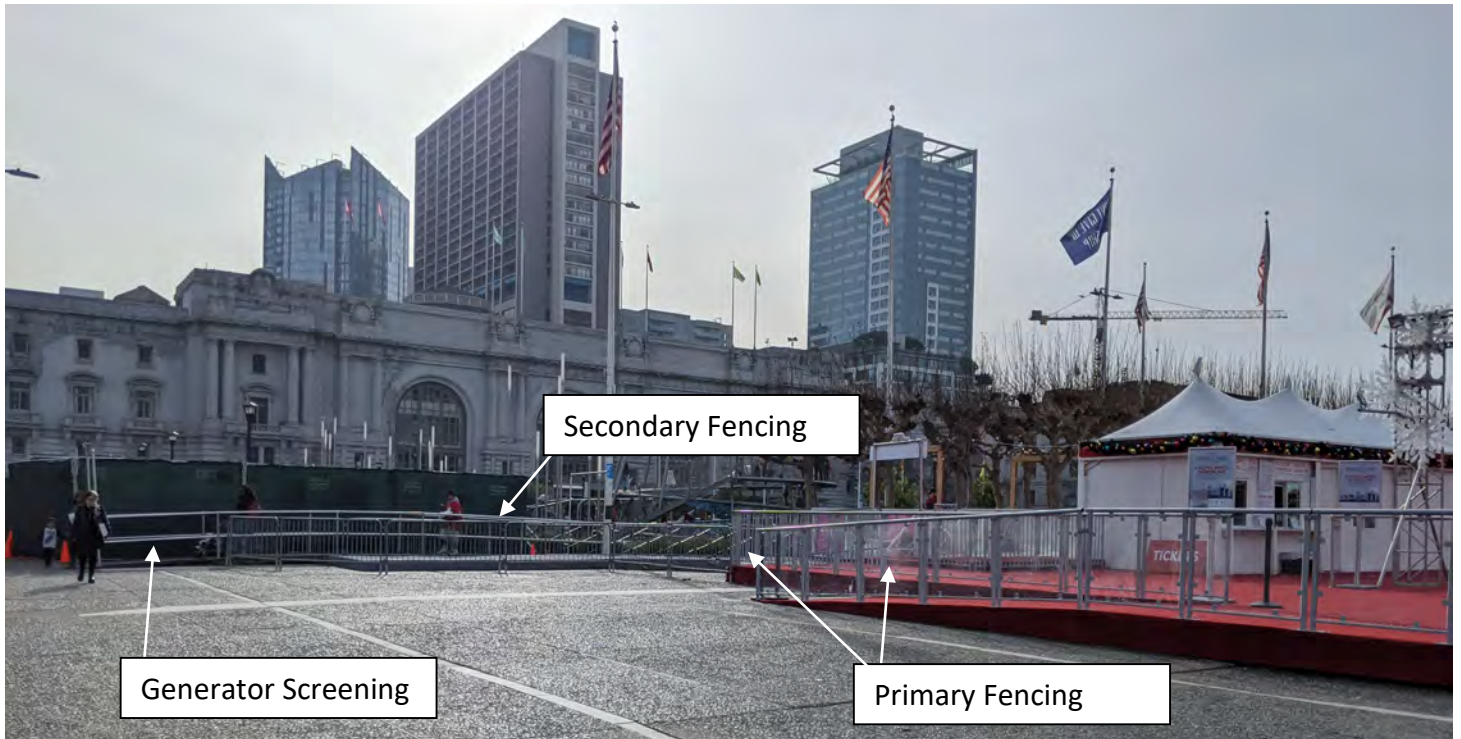


Figure 23: Examples of fencing and screening that will be used around the observation wheel

Fencing & Screening

Expected to be similar to those used by the Civic Center Ice Rink installation:

- Primary Fencing will be as transparent as possible with panels (v1) or metal bars (v2).
- Secondary Fencing would mostly be bicycle racks around the more back of house elements of the observation wheel.
- Generator Screening will be green paneled fencing to blend with the park background

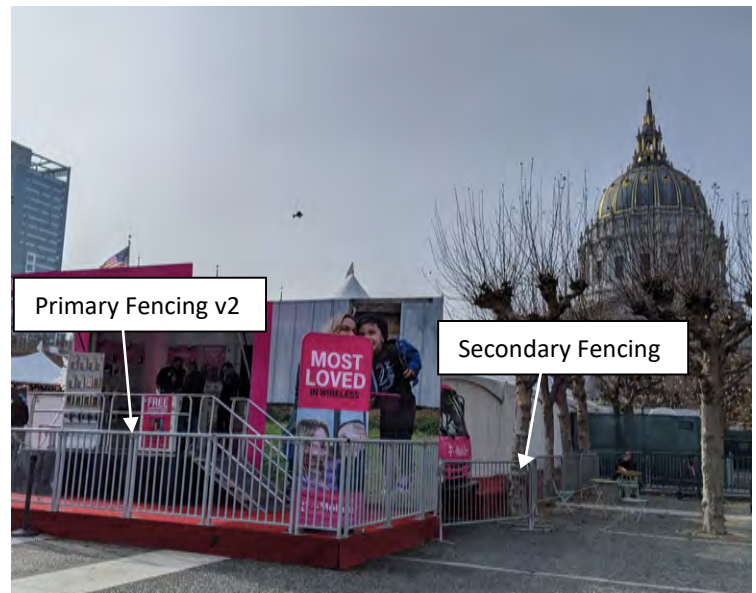


Figure 24: Examples of fencing and screening that will be used around the observation wheel

