



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

DATE: March 11, 2020

TO: Architectural Review Committee (ARC) of the Historic Preservation Commission (HPC)

FROM: Stephanie Cisneros, Senior Preservation Planner, (415) 575-9186

REVIEWED BY: Rich Sucre, Principal Planner-Preservation & Southeast Quadrant, (415) 575-9108

RE: **Review and Comment on proposed addition to the Mission Branch Library (Landmark No. 234)**

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BACKGROUND

The Planning Department (Department) requests review and comment before the Architectural Review Committee (ARC) regarding a proposal for 300 Bartlett Street (Assessor's Block 6515, Lot No. 001) to construct a two-story with sub-grade basement horizontal addition on the west and south facades for use as additional community space and staff facilities, restoration of the historic entry from 24th Street, interior renovations and reconstruction of a central stair based on historic documentation. The subject property is Landmark No. 234 (designated in 2002), also known as the Carnegie Mission Branch Library. 300 Bartlett Street is in a P (Public) Zoning District and a 55-X Height and Bulk District, is currently owned by the City and County of San Francisco and is operated by the San Francisco Public Library.

The proposed project was previously reviewed by the Civic Design Review (CDR) Committee of the Arts Commission on June 17, 2019. At the CDR hearing, the Project Sponsor presented three options for the proposed project. The Committee commented on the three options presented, and also commented specifically on the design of the base of the addition, windows, fencing and landscaping.

PROPERTY DESCRIPTION

300 Bartlett Street is located on the west side of Bartlett Street at the corner of 24th Street in the Mission neighborhood. The subject lot is a corner lot with a secondary elevation fronting Orange Alley. The existing building is a two-story, steel-framed concrete construction institutional building (public library) designed in a combination of the Italian Renaissance and Spanish Eclectic architectural styles. The building features a tiled, overhanging hipped roof and is clad in cream colored glazed terra cotta.

The Carnegie Mission Branch Library was designated in 2002 as Landmark No. 234, as the second of seven branch buildings financed by a Carnegie grant.¹² The building is designated under **Criterion A (Events)** for

¹ The family of Carnegie libraries that have also been locally designated under Article 10 of the Planning Code includes: Mission Branch (300 Bartlett, Landmark No. 234); Chinatown Branch (1135 Powell, Landmark No. 235); Sunset Branch (1301 18th

its development as a Carnegie grant-funded project. The grant itself was the subject of twelve years of intense political and class conflict in San Francisco. This branch was constructed in the populous, well-established Mission neighborhood, which had been the site of the earliest branch library (in rented space). By providing easy access to published works for neighborhood residents, the building expresses the national and local ascendancy of Progressive political and social values, as well as the development of public libraries. The building is also designated under **Criterion C (Architecture)** because it possesses high artistic values through both its exterior composition and its grand main reading room. The prominent windows, chief compositional elements, impart an orderly rhythm to the design from the exterior, while inside they enshrine the books and create a site for acculturation. The historic entry path was carefully controlled, with the transition from the street, through the small-constricted vestibule upwards to the grand, high ceilinged main reading room conveying a sense of intellectual and civic rebirth. Although recent alterations have redefined this entry sequence, enough of the historic fabric remains to recapture its intent.

The building underwent interior and exterior alterations in the late 1990s, which resulted in the following:

- Removal of the original central stair and relocation/reconfiguration of the circulation desk area
- Interior alterations to divide up spaces for offices, staff facilities, restrooms, etc.
- Additions at the south side for a new, reconfigured main stair, secondary stair, and restroom and staff facilities

PROJECT DESCRIPTION

The proposed project includes the following:

- Restoration of the historic 24th Street entrance based on historic photographic evidence
- Interior alterations to the ground floor to remove non-historic alterations and features installed during the 1990s
- Reconstruction of the historic central stairway off of the 24th Street entrance based on historic photographic evidence
- Addition of landscaping and streetscape features along the Bartlett Street side including benches, planters, bike racks and fencing
- A two-story over basement L-shaped addition at the south and west sides that will include space for the following:
 - New elevator, mechanical and electrical equipment at the basement level
 - Offices, restrooms, stair corridor and space for an expanded Children's Reading Room at the ground floor
 - Restroom, staff facilities, stair corridor, and a Teen Room at the second floor

Avenue, Landmark No. 239); Presidio (3150 Sacramento, Landmark No. 240); Richmond Branch (351 9th Avenue, Landmark No. 247); Noe Valley Branch (451 Jersey, Landmark No. 259).

² The historic context statement on Carnegie Libraries in San Francisco can be found here: http://sfpl.org/pdf/libraries/main/about/carnegie_branch_libraries.pdf

OTHER ACTIONS REQUIRED

Pursuant to Planning Code Section 1006.1, the Historic Preservation Commission (HPC) shall review the application for a Certificate of Appropriateness for compliance with Article 10 of the Planning Code, the Secretary of Interior's Standards, and any applicable provisions of the Planning Code at a future date.

The proposed project underwent review by the Civic Design Review Committee of the Arts Commission on June 17, 2019. The official minutes and meeting notes drafted by Public Works are included in this packet for your review.

ENVIRONMENTAL REVIEW

The proposed project will undergo environmental review pursuant to the California Environmental Quality Act (CEQA) prior to the Certificate of Appropriateness hearing before the HPC.

PUBLIC/NEIGHBORHOOD INPUT

To date, the Department has not received any public comment about the proposed project.

CHARACTER DEFINING FEATURES OF THE LANDMARK BUILDING

The landmark designation identifies the period of significance as 1915 – Present³, which begins with the date of construction of the Mission Branch Library. The designation includes a brief list of character-defining features, which include:

- Exterior composition and materials
- The spatial volume of the Main Reading Room
- The ornamental ceiling of the Main Reading Room

Staff has reviewed the designation report and identified the following additional, specific features that are character-defining:

- Elements of Italian Renaissance and Spanish Eclectic styles
- One-story over grade level basement
- Generally symmetrical composition that includes: Large recessed arched windows with decorative surrounds at the upper level (five at front and two on either sides)
- Tiled, overhanging hipped roof
- Steel framed concrete construction
- Cream colored glazed terra cotta cladding and general glazed terra cotta applied ornament
- Monumental arched window surrounds
- Terra cotta plaques beneath each arched window inscribed with the names of famous authors topped with broken pediments
- Smaller, paired rectangular windows at the ground floor
- Dentilated cornice with frieze under the overhanging roof, a belt cornice to mark the upper floor level, and a plinth to define the base

³ The period of significance was identified as "1915 to Present" at the time of designation (2002).

STAFF ANALYSIS

The Department seeks feedback from the ARC on the massing, scale, design, materiality, compatibility and appropriateness of the proposed project as defined by the Secretary of the Interior's Standards for Rehabilitation (Secretary's Standards) and Article 10 of the San Francisco Planning Code. Specifically, the Department seeks feedback on the following:

- **Restoration of Historic Entry:** The restoration of the historic entry facing 24th street will be based on historic photo documentation and will remove the non-historic solid doors and replace them with a single centrally glazed door with two side lights. The existing historic transom grill will remain and new glazing will be installed behind.
 - **Staff Recommendation:** Staff requests input from the ARC regarding the proposed restoration of the historic entry. Staff is generally in agreement with the restorative approach of the historic entry along 24th Street, but requests that a configuration of double doors be explored, rather than a single door with sidelights, which would be more in keeping with the historic configuration.
- **Reconstruction of the Historic Central Stair:** The project proposes to re-introduce the historic central stair that was removed and relocated in the 1990s. The reconstruction of the stair will be based on historic photos and on existing plans illustrated during review of the modifications conducted in the 1990s. The stair will be reconstructed using new stair with stone treads and risers, wood handrail along the existing refinished wall, and reinstallation of six extant original 1914 stone main stair balustrade panels with a new glass guardrail on top at the second floor landing. A new glass balustrade and guardrail infill wall is also proposed at the second floor landing where additional extant original stone balustrade panels are not available.
 - **Staff Recommendation:** Staff requests input from the ARC regarding the reconstruction of the historic central stair. Staff recommends that compatible stone balustrade panels that match or closely match the extant panels to be reinstalled be proposed. Staff also requests additional information be provided on the proposed stone of the new stair (treads and risers).
- **Landscape and Streetscape along Bartlett Street:** The project proposes new landscape and streetscape features along the Bartlett Street side of the property. This will include benches, planters, a six-foot tall fence, and bike racks.
 - **Staff Recommendation:** Staff requests ARC input on the proposed landscape and streetscape items. Staff is generally supportive of the landscape and streetscape features proposed for the Bartlett Street side but recommends alternatives to the proposed six-foot tall fencing at this side be explored (i.e. shorter fencing) to allow a more open pedestrian-level experience of the landmark building.
- **Two-Story Over Basement Addition:** The project proposes to construct a two-story over basement L-shaped addition at the south and west sides of the existing building. The addition will provide

space for mechanical and electrical equipment, children's room, teen room, and staff and public facilities.

- **Location:** The proposed location of the addition will be along the south and west elevations. The south elevation is not visible from the main public-rights-of-way along 24th Street or Bartlett Streets and will be minimally visible from Orange Alley. The west elevation will be visible from Orange Alley and from 24th Street.
 - **Staff Recommendation:** Staff requests ARC input on the proposed location of the addition. Generally, Staff is supportive of the proposed location of the addition, but requests that alternatives be explored to locate the addition in such a manner that it is minimally or not visible from 24th Street.
- **Connection:** The proposed addition will be connected to the existing building via a hyphen proposed to penetrate through the building in the following manner: generally at existing joints between the terra cotta cladding; at/along the existing terra cotta for the new floor plate; and at joints between terra cotta features at the cornice. Additionally, the project proposes to create two new openings at the west side, ground floor to be aligned with the arched windows above and a single new opening at the second floor between the two existing arched windows to allow for an internal connection between the historic reading room and the space(s) of the proposed addition.
 - **Staff Recommendation:** Staff requests input from ARC regarding the proposed connection of the addition to the existing building. Staff recommends that the deeper connection be proposed to allow additional breathing room between the addition and the landmark building. Staff also recommends that the connection be fully or mostly glazed to allow enhanced visibility to the existing building.
- **Massing:** The proposed addition will be two-stories over a basement level along the south and west side elevations. The two-story over basement massing along the south side is appropriate as it will be minimally visible from 24th and Bartlett Streets. The two-story over basement level along the west side elevation will be set in from the top and set in from the northwest-most corner, to be in keeping with the general boundaries of the existing fenestration.
 - **Staff Recommendation:** Staff requests ARC input on the massing along the west side, which will be visible from the public-right-of way. Staff recommends that the massing along the west side be minimized or set back further in order to be read as subordinate to the landmark building or otherwise modified per the recommendation regarding materials below.
- **Cladding and Fenestration Materials:** The proposed addition will be comprised of the following materials: architectural concrete plinth, aluminum wall panel rain screen, and irregularly oriented punched aluminum window systems.

- **Staff Recommendation:** Staff seeks input from the ARC regarding the cladding and fenestration materials proposed for the addition. Specifically, staff recommends that a completely or mostly glazed configuration be proposed for the addition (minimally at the second floor) to allow for transparency and visibility of the architectural detailing at the second floor.

Staff reviewed the compatibility of the proposal (see attached plans) for conformance with:

- The Secretary's Standards for Rehabilitation;
- Character-Defining features of the landmark building

Secretary of the Interior's Standards for Rehabilitation

The proposed project will result in a new two-story-over-basement addition to the existing building for updated and new staff and community facilities, reconstruction of the original historic central stairway, interior alterations to remove non-historic alterations and provide updated interior spaces and facilities at the ground floor, restoration of the historic entry facing 24th Street, and landscape and sidewalk scape work.

Staff generally finds that the restorative aspects of the proposed project are appropriate and compatible with the historic nature of the Mission Branch Library, but has concerns regarding the compatibility of the proposed addition with the existing landmark building. Specifically, staff finds that, as proposed, the addition does not meet the following Standards:

Standard 9

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Department staff will undertake a complete analysis of the proposed project per the applicable Secretary's Standards as part of the environmental review and the subsequent preservation entitlement (Certificate of Appropriateness). This will be based on any revised proposal submitted after comments are issued by this Architectural Review Committee.

REQUESTED ACTION

The Department seeks comments on:

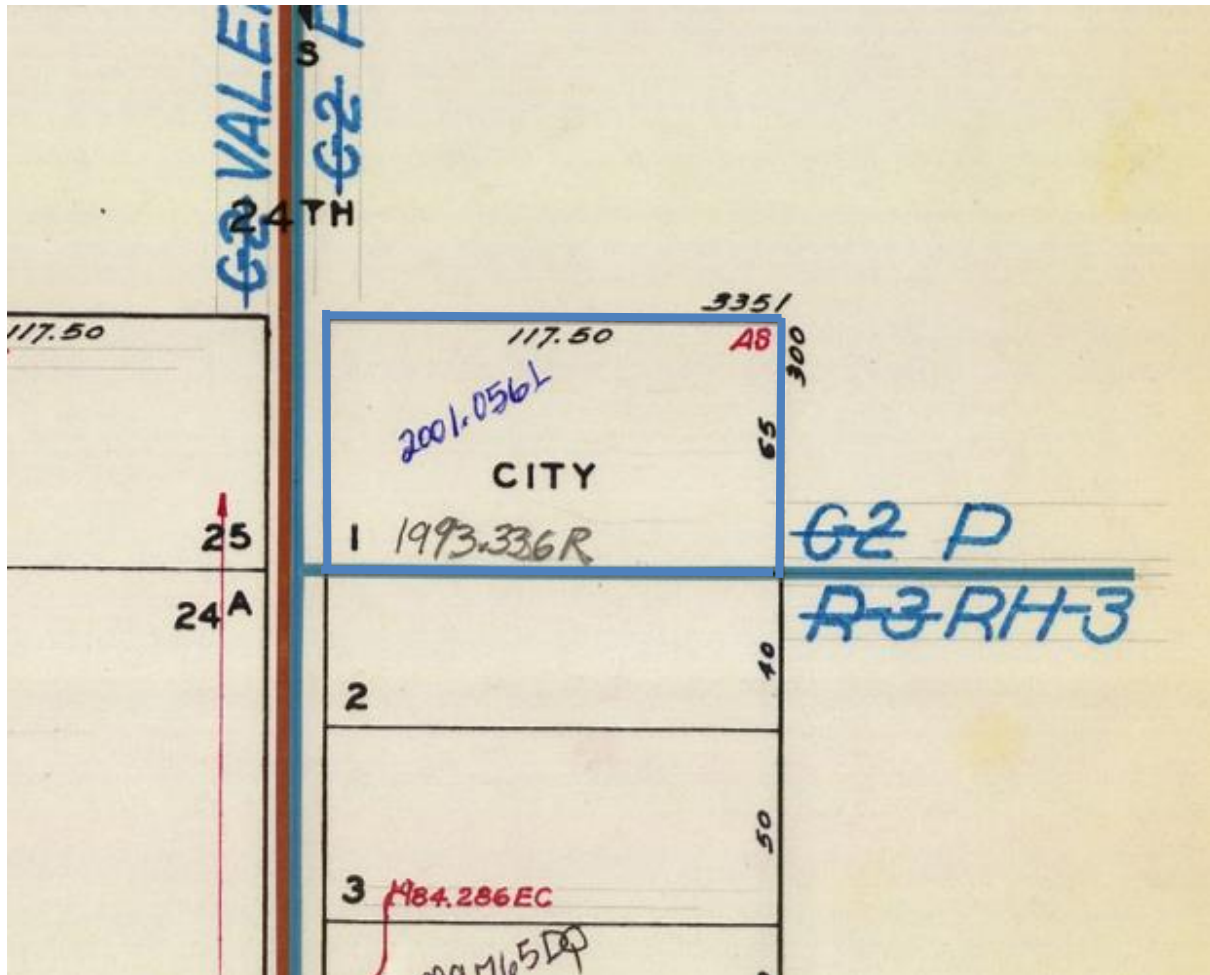
- Compatibility of the proposal with the character defining features of the landmark property;
- Recommendations for overall form and continuity of the proposal;
- Recommendations for scale and proportion of the proposal;
- Recommendations for the proposed connection between the addition and existing building;

- Recommendations for fenestration of the proposal;
- Recommendations for materials, texture, and details of the proposal.

ATTACHMENTS

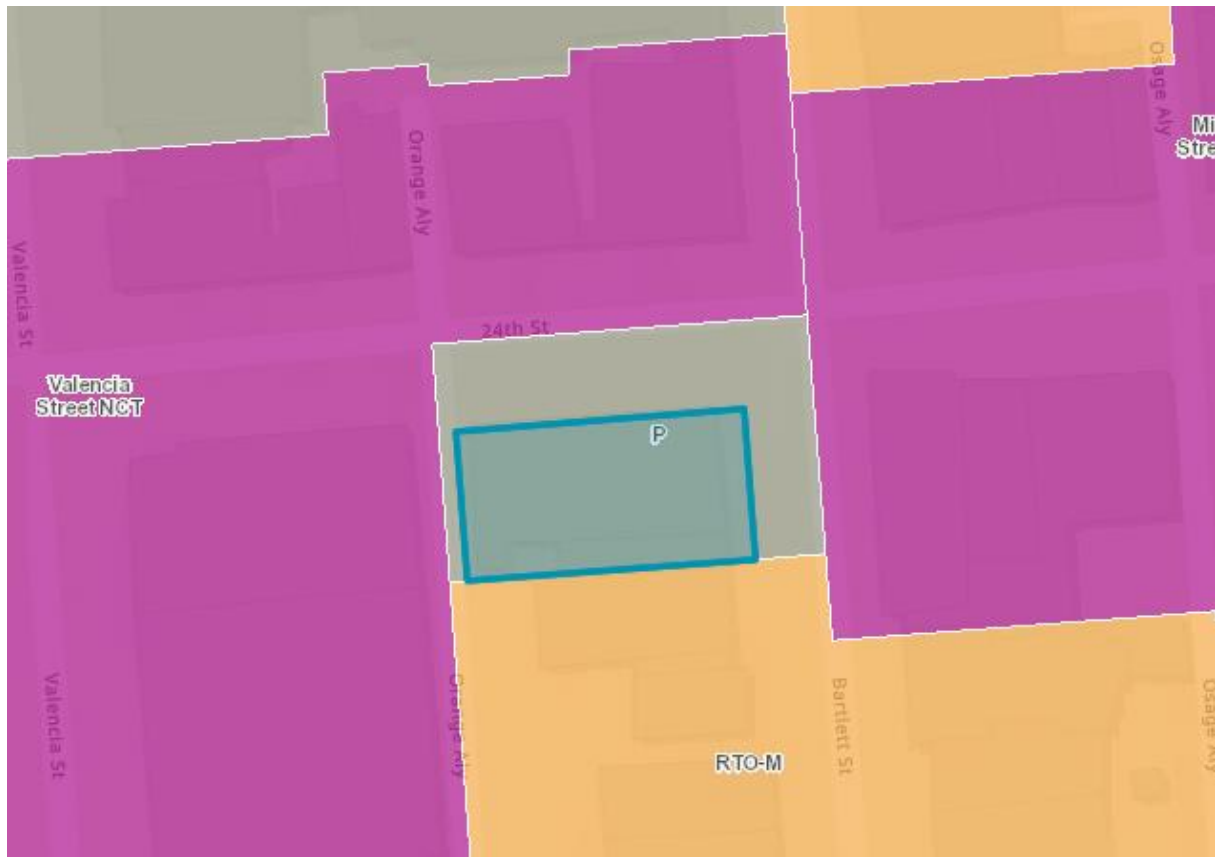
- Exhibits including:
 - Parcel Map
 - Zoning Map
 - Aerial Photo
 - Sanborn Map
 - Exterior site photos
- Landmark Designation Report
- Conceptual Plans dated February 4, 2020
- Proposed Materials
- Civic Design Review Committee Minutes from June 17, 2019
- Civic Design Review Committee Meeting Notes from SF Public Works

Parcel Map



Subject property outlined in blue.

Zoning Map



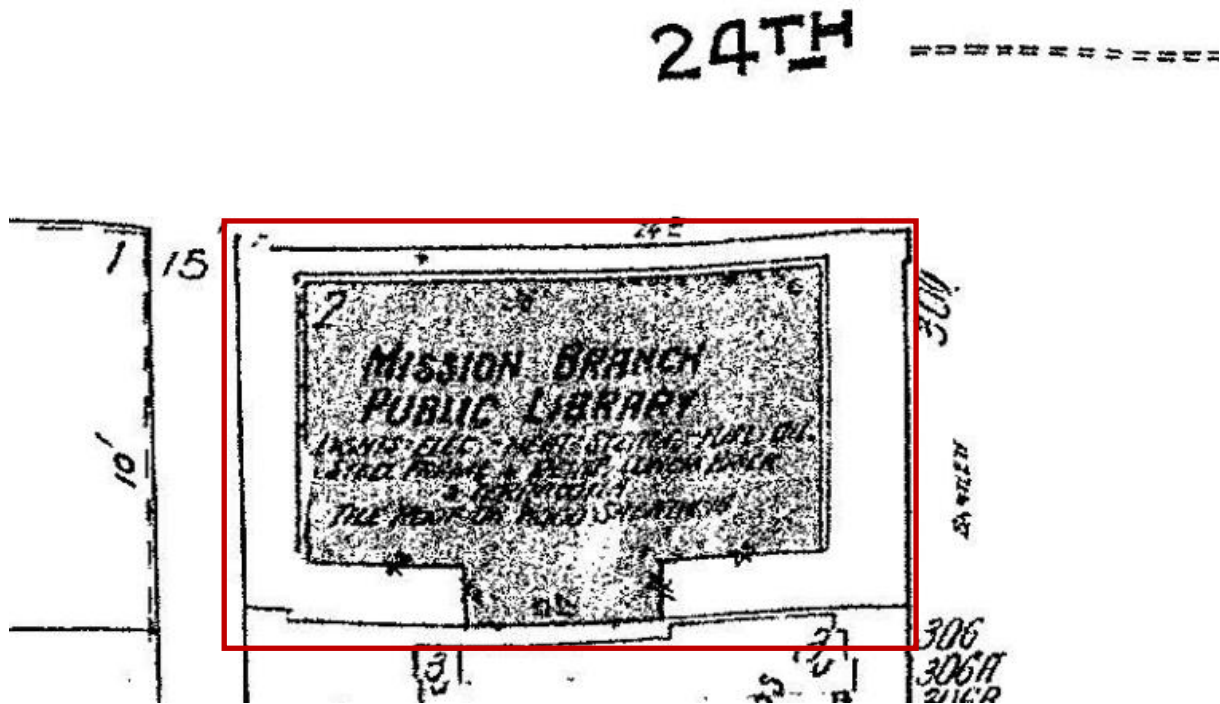
Subject property outlined and shaded in blue.

Aerial Photo



Subject property outlined in red.

Sanborn Map

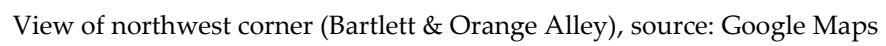


Subject property outlined in red.

Photos



View of northeast corner (24th & Bartlett), source: Google Maps





View of west façade, source: Google Maps



View of south west corner, source: Google Maps

FILE NO.

ORDINANCE NO.

RECEIVED

JAN 09 2002

CITY & COUNTY OF S.F.
DEPT. OF CITY PLANNING
ADMINISTRATION

[Ordinance to Designate the Carnegie Mission Branch Library At 300 Bartlett Street As a Landmark Under Planning Code Article 10.]

Ordinance Designating 300 Bartlett Street, The Carnegie Mission Branch Library, As Landmark No. 234 Pursuant To Article 10, Sections 1004 And 1004.4 Of The Planning Code.

Note: Additions are single-underline italics Times New Roman;
deletions are ~~striketrough italics Times New Roman~~.
Board amendment additions are double underlined.
Board amendment deletions are ~~striketrough normal~~.

Be it ordained by the People of the City and County of San Francisco:

Section 1. Findings:

The Board of Supervisors hereby finds that 300 Bartlett Street, the Carnegie Mission Branch Library, Lot 1 in Assessor's Block 6515, has a special character and special historical, architectural and aesthetic interest and value, and that its designation as a Landmark will further the purposes of, and conform to the standards set forth in Article 10 of the City Planning Code.

(a) Designation: Pursuant to Section 1004 of the City Planning Code, 300 Bartlett Street, the Carnegie Mission Branch Library, is hereby designated as Landmark No. 234. This designation has been fully approved by Resolution No. 535 of the Landmarks Preservation Advisory Board and Resolution No. 16210 of the Planning Commission, which Resolutions are on file with the Clerk of the Board of Supervisors under File No. _____ and which Resolutions are incorporated herein and made part hereof as though fully set forth.

(b) Priority Policy Findings.

Pursuant to Section 101.1 of the Planning Code, the Board of Supervisors makes the following findings:

1 (1) The designation is in conformity with the Priority Policies of Planning Code
2 Section 101.1 and with the General Plan as set forth in the letter dated January 7, 2002 from
3 the Director of Planning. Such letter is on file with the Clerk of the Board in File No.
4 _____

5 (2) The Board of Supervisors finds that this ordinance is in conformity with the
6 Priority Policies of Section 101.1 of the Planning Code and with the General Plan, and hereby
7 adopts the findings set forth in the letter dated January 7, 2002 from the Director of Planning
8 and incorporates such findings by reference as if fully set forth herein.

9 (c) Required Data:

10 (1) The description, location and boundary of the Landmark site is Lot 1 in
11 Assessor's Block 6515.

12 (2) The characteristics of the Landmark which justify its designation are described
13 and shown in the Landmark Designation Report adopted by the Landmarks Preservation
14 Advisory Board on June 20, 2001 and other supporting materials contained in Planning
15 Department Docket No. 2001.564L. In brief the characteristics of the landmark which justify
16 its designation are as follows:

17 (a) Association with patterns of social and cultural history of San Francisco during the
18 period of significance, particularly with the contesting of political and cultural power between
19 working class based groups and middle class based Progressives.

20 (b) Architectural embodiment of Progressive and City Beautiful tenets of civic grandeur
21 used as a means of social organization, particularly the acculturation of working class and
22 immigrant populations.

23 (c) Architectural embodiment of the distinctive characteristics of an early branch library
24 building, especially those delineated in "Notes of the Erection of Library Buildings".
25

1 (3) That the particular exterior features that should be preserved, or replaced in-kind
2 as determined necessary, are those generally shown in the photographs and described in the
3 Landmark Designation Report, both which can be found in the case docket 2001.564L which
4 is incorporated in this designation ordinance as though fully set forth. In brief, the description
5 of the particular features that should be preserved are as follows:

- 6 (a) Exterior composition and materials.
7 (b) The spatial volume of the Main Reading Room.
8 (c) The ornamental ceiling of the Main Reading Room.
9

10 Section 2. The property shall be subject to following further controls and procedures,
11 pursuant to this Board of Supervisor's Ordinance and Planning Code Article 10.
12

13 APPROVED AS TO FORM:
14 DENNIS J. HERRERA, City Attorney

RECOMMENDED:
PLANNING COMMISSION

15 By: _____
16 Sarah Ellen Owsowitz
17 Deputy City Attorney

By: 
18 Gerald G. Green
19 Director of Planning
20
21
22
23
24
25

SAN FRANCISCO
PLANNING COMMISSION
RESOLUTION NO. 16210

**ADOPTING FINDINGS RELATED TO THE APPROVAL OF LANDMARK DESIGNATION AND
RECOMMENDATION OF APPROVAL TO THE BOARD OF SUPERVISORS OF SUCH
DESIGNATION OF 300 BARTLETT STREET, THE CARNEGIE MISSION BRANCH LIBRARY,
ASSESSOR'S BLOCK 6515, LOT 1, AS LANDMARK NO. 234.**

1. **WHEREAS**, on June 2, 1999, the Landmarks Preservation Advisory Board (Landmarks Board) established its Landmark Designation Work Program for fiscal year 1999-2000. Planning Department staff prepared Landmark Designation Reports for each of the eight sites chosen for the Landmark Designation Work Program. All eight sites were to be brought to the Landmarks Board for review, comment, and consideration of initiation of landmark designation. Included among the sites was the Carnegie Mission Branch Library, 300 Bartlett Street (also 3375 24th Street), Assessor's Block 6515, Lot 1; and
2. The Landmarks Board reviewed and endorsed the Context Statement, *Origins of the Seven San Francisco Carnegie Branch Libraries, 1901-1921*, on June 20, 2001 and directed that it be placed in the Landmarks Preservation Library. Included in the seven branch libraries was the Carnegie Mission Branch Library, 300 Bartlett Street (also 3375 24th Street), Assessor's Block 6515, Lot 1; and
3. The Landmarks Board, at its regular meeting of June 20, 2001, reviewed a draft the Carnegie Mission Branch Library Landmark Designation Report for 300 Bartlett Street prepared by Tim Kelley. The Landmarks Board considered the report to be a final Carnegie Mission Branch Library Landmark Designation Report; and
4. At its regular meeting of June 20, 2001, the Landmarks Board found that the Carnegie Mission Branch Library Landmark Designation Report described the location and boundaries of the landmark site, described the characteristics of the landmark which justifies its designations, and described the particular features that should be preserved and therefore meets the requirements of Planning Code Section 1004(b) and 1004(c)(1), such Designation Report is fully incorporated by reference into this resolution; and
5. At its regular meeting of June 20, 2001, the Landmarks Board reviewed and endorsed the description, location and boundary of the Landmark site as 300 Bartlett Street, encompassing all of and limited to Lot 1 in Assessor's Block 6515; and
6. The Landmarks Board, in considering the proposed landmark designation employed the National Register Criteria and found that the Carnegie Mission Branch Library is significant under Criterion A (associated with events that have made a significant contribution to the broad patterns of our history) and C (embodies distinctive characteristics of a type, period, or method of construction, or that represents a significant and distinguishable entity whose

PLANNING COMMISSION

Case No. 2001.564L
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Assessor's Block 6515, Lot 1
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components may lack individual distinction); and

7. At its regular meeting of June 20, 2001, the Landmarks Board reviewed and endorsed the following description of the characteristics of the Landmark which justify its designation:
 - (a) Association with patterns of social and cultural history of San Francisco during the period of significance, particularly with the contestation of political and cultural power between working class based groups and middle class based Progressives.
 - (b) Architectural embodiment of Progressive and City Beautiful tenets of civic grandeur used as a means of social organization, particularly the acculturation of working class and immigrant populations.
 - (c) Architectural embodiment of the distinctive characteristics of an early branch library building, especially those delineated in "Notes of the Erection of Library Buildings".
8. At its regular meeting of June 20, 2001, the Landmarks Board reviewed and endorsed the following particular features that should be preserved:
 - a) Exterior composition and materials.
 - b) The spatial volume of the Main Reading Room.
 - c) The ornamental ceiling of the Main Reading Room.
9. The Landmarks Board reviewed documents, correspondence and oral testimony on matters relevant to the proposed landmark designation, at the duly noticed public hearing held on June 20, 2001; and
10. At the same June 20, 2001 hearing, the Landmarks Board recommended that the Planning Commission approve the landmark designation of 300 Bartlett Street, the Carnegie Mission Branch Library, Assessor's Block 6515, Lot 1 as Landmark No. 234, pursuant to Article 10 of the Planning Code; and
11. At the same June 20, 2001 hearing, the Landmarks Board directed its Recording Secretary to transmit Landmarks Board Resolution No. 535, The Carnegie Mission Branch Library Landmark Designation Report and other pertinent materials in the case file 2000.564L to the Planning Commission; and
12. The Planning Commission reviewed the case file (No. 2000.564L) and considered the findings and recommendation of the Landmarks Board set forth in the Landmarks Board Resolution No. 535, and held a duly noticed public hearing on the matter on August 23, 2001;
13. THEREFORE BE IT RESOLVED, First, That the Planning Commission does hereby concur with the findings and recommendation of the Landmarks Board and **APPROVES** the landmark designation of the property at 300 Bartlett Street, known as the Carnegie Mission Branch Library, in Assessor's Block 6515, Lot 1, as Landmark No. 234;

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14. AND BE IT FURTHER RESOLVED, that the special character and special historical, architectural and aesthetic interest and value of the landmark is set forth in the adopted the Carnegie Mission Branch Library Designation Report, Landmarks Board Resolution No. 535 and other materials on file in the Planning Department Docket No. 2000.564L, which is incorporated herein and made a part of thereof as though fully set forth;
15. AND BE IT FURTHER RESOLVED, That the Planning Commission hereby directs its Secretary to transmit the adopted the Carnegie Mission Branch Library Designation Report, the photographs and other pertinent materials in the Case File No. 2000.564L, and a copy of this Resolution of Approval to the Board of Supervisors for appropriate action.

I hereby certify that the foregoing Resolution was adopted by the Planning Commission on August 23, 2001.

Linda D. Avery
Commission Secretary

AYES: Commissioners Baltimore, Chinchilla, Joe, Lim, Theoharis and Salinas

NOES: None

ABSENT: Commissioner Fay

ADOPTED: August 23, 2001

HISTORIC NAME: Mission Branch

POPULAR NAME: same

ADDRESS: 300 Bartlett Street, SW corner of 24th St.

BLOCK & LOT: 6515-001

OWNER: San Francisco Public Library
Civic Center
San Francisco, CA 94102

ORIGINAL USE: Public branch library

CURRENT USE: Public branch library

ZONING: "p"

National Register Criterion (a)

- (A) X Association with events that have made a significant contribution to the broad patterns of our history.
- (B) Association with the lives of persons significant in our past.
- (C) X Embody distinctive characteristics of a type, period, or method of construction, or that represent a significant and distinguishable entity whose components may lack individual distinction.
- (D) Has yielded, or may be likely to yield information important in history or prehistory.

* **Period of Significance:** 1915-present

* **Integrity:** The building presently retains reasonable integrity. Recent seismic work and alterations have resulted in the loss of the historic main stairway and conversion of the historic main entrance to a fire exit, as well as changes to the fabric of the Main Reading Room.

Article 10 Requirements—Section 1004 (b)

* **Boundaries of the Landmark Site**

The boundaries of the Landmark Site are the footprint of the building and its small lot.

* **Characteristics of the Landmark which justify its designation**

1. Association with patterns of social and cultural history of San Francisco during the period of significance, particularly with the contestation of political and cultural power between working class based groups and middle class based Progressives.
2. Architectural embodiment of Progressive and City Beautiful tenets of civic grandeur used as a means of social organization, particularly the acculturation of working class and immigrant populations.
3. Architectural embodiment of the distinctive characteristics of an early branch library building, especially those delineated in "Notes on the Erection of Library Buildings".

* **Description of the Particular features that should be preserved**

1. Exterior composition and materials.
2. The spatial volume of the Main Reading Room.
3. The ornamental ceiling of the Main Reading Room.

DESCRIPTION

Combining elements of Italian Renaissance and Spanish Eclectic styles, the Mission Branch Library is rectangular in plan, fully occupying its small lot, one story over a grade level basement, with a tiled, overhanging hipped roof. There are no major projections or recesses in the main mass. It is steel framed concrete construction, clad in cream colored glazed terra cotta.

The main elements of the symmetrical composition are large, recessed arched windows on the upper level, five on the front facade and two on each of the sides. Each has a monumental arched surround, and is divided by muntins into two concentric arches. Each is also divided in two horizontally, at the spring of the arch. Beneath each window, contained within the arched surround, is a terra cotta plaque inscribed with the names of famous authors. The plaques are topped with broken pediments. On the ground floor, beneath each upper window bay, are smaller, paired rectangular windows. There is a dentilated cornice with frieze under the overhanging roof, a belt cornice marks the upper floor level, and a plinth defines the base.

Polychrome glazed terra cotta is used for ornament, which consists of the arched window surrounds, with a garland motif interspersed with open books; the pedimented authors plaques; and the cornices. The historic main entrance, now used as an emergency exit, is centrally located on the 24th Street facade, and is flanked by pilasters and surmounted by a shallow bracketed portico. Atop the portico is a sculpted group of two figures and an open book, by Leo Lentelli. The frieze on the 24th Street facade is inscribed "MISSION BRANCH OF THE SAN FRANCISCO PUBLIC LIBRARY".

The lower level windows are unadorned, but for iron grilles. Ornamental grillwork is also present in the transom for the historic main entrance. The original double main entrance doors also featured grillwork over glass. The new main entrance on Bartlett Street, formerly an entrance to the children's and community meeting rooms, is unornamented.

Recent alterations have resulted in the loss of the main stairway which formerly led from the 24th Street entrance up to the center of the main reading room. This stairway no longer exists. Instead, entry is in to a small lobby off Bartlett Street, which connects to a shallow new addition at the rear of the historic building. Contained in this addition are an elevator and stairway leading to a small rear entrance to the main reading room, which occupies most of the upper floor.

Most of the historic fabric of the high ceilinged main reading room is intact. The historic stairwell has been floored over. The ceiling has a central underpitched vault intersected by side vaults at each window bay, with ornamented spandrels between. Peripheral shelving beneath the windows has been supplemented with high, free standing shelves. Much of the original woodwork has survived.

STATEMENT OF SIGNIFICANCE

CRITERION A: SIGNIFICANT HISTORIC PATTERNS

The Mission Branch Library was the second of seven branch buildings financed by a Carnegie grant. The grant itself was the subject of

twelve years of intense political and class conflict in San Francisco. This branch was constructed in the populous, well established Mission neighborhood, which had been the site of the earliest branch library (in rented space). By providing easy access to published works for neighborhood residents, the building expresses the national and local ascendancy of Progressive political and social values, as well as the development of public libraries.

CRITERION C: POSSESSES HIGH ARTISTIC VALUES

In both its exterior composition and its grand main reading room, the Mission Branch Library possesses high artistic values. The prominent windows, chief compositional elements, impart an orderly rhythm to the design from the exterior, while inside they enshrine the books and create a site for acculturation. The historic entry path was carefully controlled, with the transition from the street, through the small constricted vestibule upwards to the grand, high ceilinged main reading room conveying a sense of intellectual and civic rebirth. Although recent alterations have redefined this entry sequence, enough of the historic fabric remains to recapture its intent.

REFERENCES:

Bean, Walton. *Boss Ruef's San Francisco*. U.C. Press. 1952

Board of Supervisors. *San Francisco Municipal Reports*. various years 1900 to 1925

Cahill, B. J. S. "The San Francisco Public Library Competition". *The Architect and Engineer of California*. May 1914.

Cahill, B. J. S. "The Work of Bliss & Faville" *The Architect and Engineer of California*. Jan 1914

Carnegie Corporation of New York Archives, Rare Book and Manuscript Library, Columbia University

Carnegie Corporation of New York, website, "Andrew Carnegie's Legacy"

Corbett, Michael R. & The Foundation for San Francisco's Architectural Heritage. *Splendid Survivors; San Francisco's Downtown Architectural Heritage*. San Francisco. California Living Books. 1979

Faville, W. B., F. A. I. A. "Phases of Panama-Pacific International Exposition Architecture" *The American Architect*. January 6, 1915

The Foundation for San Francisco's Architectural Heritage. "The Bay Region Styles: 1890-1930; Ernest Coxhead and the Regional Scene: The Transformation Game & Other Delights". (typescript, no date or author)

The Foundation for San Francisco's Architectural Heritage. "Libraries Reflect the City's Values". *Heritage Newsletter*, vol XVI, No. 4. uncredited author Donald Andreini

Issel, William and Robert W. Cherny. *San Francisco 1865-1932; Politics, Power, and Urban Development*. Berkeley, Los Angeles, London, University of California Press. 1986

Jones, Theodore. *Carnegie Libraries Across America, a Public Legacy*. Washington, D.C. Preservation Press; New York : John Wiley, 1997.

Kahn, Judd. *Imperial San Francisco; Politics and Planning in an American City, 1897-1906*. Lincoln, NB, University of Nebraska Press. 1979

LANDMARK DESIGNATION REPORT

DATE:

CASE NO.:

PAGE 4

LANDMARKS BOARD VOTE:

APPROVED:

PLANNING COMMISSION VOTE:

APPROVED:

PROPOSED LANDMARK NO.:

Kazin, Michael. *Barons of Labor*. University of Illinois Press. Urbana and Chicago. 1987

Kelley, Tim. "Origins of the Seven San Francisco Carnegie Branch Libraries, 1901-1921" Context Statement. Planning Department. January, 2001

Kortum, Lucy Deam. "Carnegie Library Development in California and the Architecture It Produced, 1899-1921". M.A. Thesis, Sonoma State University, 1990

Longstreth, Richard W. *On the Edge of the World: Four Architects in San Francisco at the Turn of the Century*. New York. Architectural History Foundation; Cambridge, Mass. MIT Press. 1983

Morrow, Irving F. "Work by John Reid, Jr., A. I. A." *The Architect and Engineer*. February 1920

Stern, Norton B. & William M. Kramer. "G. Albert Lansburgh, San Francisco's Jewish Architect from Panama"

RATINGS: 1976 Citywide Survey "3"

PREPARED BY: Tim Kelley
San Francisco Landmarks Board
1660 Mission Street, SF, CA

ADDRESS:

Attachments: ☒ 523A ☒ 523B ☒ 523L (continuation sheets) ☒ Context Statement ☐ Other...

PRIMARY RECORD

Primary # _____
HRI# _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 4 *Resource Name or #: (Assigned by recorder) Mission Branch Library

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County San Francisco and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad na Date _____ T _____; R _____; 1/4 of 1/4 of Sec _____; B.M.

c. Address 300 Bartlett Street, SW corner City San Francisco Zip 94110

d. UTM: (Give more than one for large and/or linear resources) Zone _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Block

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) 6515, lot

Combining elements of Italian Renaissance and Spanish Eclectic styles, the Mission Branch Library is rectangular in plan, fully occupying its small lot, one story over a grade level basement, with a tiled, overhanging hipped roof. There are no major projections or recesses in the main mass. It is steel framed concrete construction, clad in cream colored glazed terra cotta.

The main elements of the symmetrical composition are large, recessed arched windows on the upper level, five on the front facade and two on each of the sides.
(continued)

*P3b. Resource Attributes: (List attributes and codes) HP14 Govt. Building; HP13 Community Center;

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession #)

NE corner, new main entrance, 5/30/99

*P6. Date Constructed/Age and

Source: ☒ Historic ☐ Prehistoric
☐ Both

1915, San Francisco Public Library Trustees Report

*P7. Owner and Address:

San Francisco Public Library
Civic Center
San Francisco, CA 94102

*P8. Recorded by:

(Name, affiliation, and address)

Tim Kelley
San Francisco Landmarks Board
1660 Mission Street, SF, CA

*P9. Date Recorded: 12/1/00

*P10. Survey Type: (Describe) Thematic Landmark Nomination

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

*Attachments: ☐ NONE ☐ Location Map ☒ Continuation Sheet ☒ Building, Structure & Object
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List):

State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # _____

HRI # _____

*NRHP Status Code _____

Page 2 of 4 *Resource Name or # (Assigned by recorder) Mission Branch Library

B1. Historic Name: Mission Branch
B2. Common Name: same
B3. Original Use: public branch library
B4. Present Use: public branch library

*B5. Architectural Style: Italian Renaissance, Spanish Eclectic

*B6. Construction History: (Construction date, alterations, and date of alterations)

Built 1915, Children's room added 1923, main entrance altered, stairway removed 1998

*B7. Moved? ☒ No ☐ Yes

Date: _____ Original Location: _____

*B8. Related Features:

B9a. Architect: G. Albert Lansburgh b. Builder: _____

*B10. Significance: Theme Cultural History, Library Area: San Francisco

Period of Significance: 1915-present Property Type: Branch Library Applicable Criteria: A, C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

CRITERION A: SIGNIFICANT HISTORIC PATTERNS

The Mission Branch Library was the second of seven branch buildings financed by a Carnegie grant. The grant itself was the subject of twelve years of intense political and class conflict in San Francisco. This branch was constructed in the populous, well established Mission neighborhood, which had been the site of the earliest branch library (in rented space). By providing easy access to published works for neighborhood residents, the building expresses the national and local ascendancy of Progressive political and social values, as well as the development of public libraries. (continued)

B11. Additional Resource Attributes: (List attributes and codes) HP14 Govt. Building; HP13 Community Center; HP39 Other

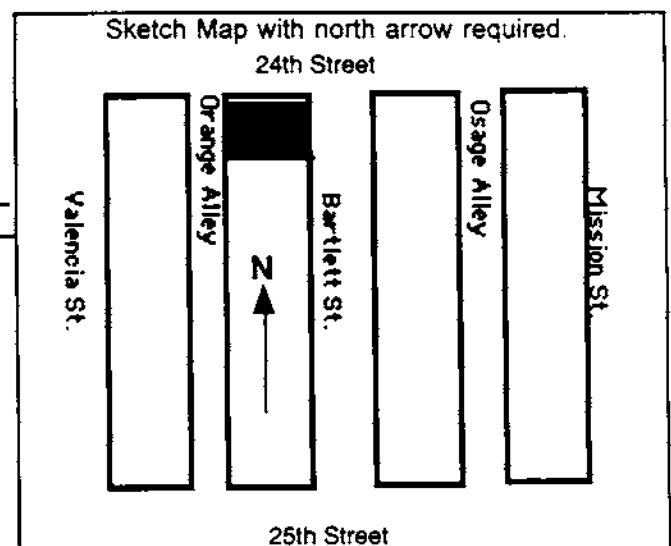
*B12. References: See continuation sheet, page 4

B13. Remarks:

*B14. Evaluator: San Francisco Landmarks Board

*Date of Evaluation: _____

(This space reserved for official comments)



State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 3 **of** 4

***Resource Name or #** (Assigned by recorder) Mission Branch Library

Recorded by: Tim Kelley

Date: 12/1/00

☒ Continuation

☐ Update

P3a. Description: (continued)

Each has a monumental arched surround, and is divided by muntins into two concentric arches. Each is also divided in two horizontally, at the spring of the arch. Beneath each window, contained within the arched surround, is a terra cotta plaque inscribed with the names of famous authors. The plaques are topped with broken pediments. On the ground floor, beneath each upper window bay, are smaller, paired rectangular windows.

There is a dentilated cornice with frieze under the overhanging roof, a belt cornice marks the upper floor level, and a plinth defines the base.

Polychrome glazed terra cotta is used for ornament, which consists of the arched window surrounds, with a garland motif interspersed with open books; the pedimented authors plaques; and the cornices. The historic main entrance, now used as an emergency exit, is centrally located on the 24th Street facade, and is flanked by pilasters and surmounted by a shallow bracketed portico. Atop the portico is a sculpted group of two figures and an open book, by Leo Lentelli. The frieze on the 24th Street facade is inscribed "MISSION BRANCH OF THE SAN FRANCISCO PUBLIC LIBRARY".

The lower level windows are unadorned, but for iron grilles. Ornamental grillwork is also present in the transom for the historic main entrance. The original double main entrance doors also featured grillwork over glass. The new main entrance on Bartlett Street, formerly an entrance to the children's and community meeting rooms, is unornamented.

Recent alterations have resulted in the loss of the main stairway which formerly led from the 24th Street entrance up to the center of the main reading room. This stairway no longer exists. Instead, entry is in to a small lobby off Bartlett Street, which connects to a shallow new addition at the rear of the historic building. Contained in this addition are an elevator and stairway leading to a small rear entrance to the main reading room, which occupies most of the upper floor.

Most of the historic fabric of the high ceilinged main reading room is intact. The historic stairwell has been floored over. The ceiling has a central underpitched vault intersected by side vaults at each window bay, with ornamented spandrels between. Peripheral shelving beneath the windows has been supplemented with high, free standing shelves. Much of the original woodwork has survived, including the doorway to staff space behind the librarian's desk, with a broken pediment enclosing a clock.

B10. Significance: (continued)

It also expresses the City Beautiful philosophy by presenting a building intended to create a sense of civic grandeur and dignity in the citizen who enters, or merely views it.

CRITERION C: POSSESSES HIGH ARTISTIC VALUES

In both its exterior composition and its grand main reading room, the Mission Branch Library possesses high artistic values. The prominent windows, chief compositional elements, impart an orderly rhythm to the design from the exterior, while inside they enshrine the books and create a site for acculturation. The historic entry path was carefully controlled, with the transition from the street, through the small constricted vestibule upwards to the grand, high ceilinged main reading room conveying a sense of intellectual and civic rebirth. Although recent alterations have redefined this entry sequence, enough of the historic fabric remains to recapture its intent.



MISSION BRANCH OF THE SAN FRANCISCO PUBLIC LIBRARY

3359 24TH STREET
SAN FRANCISCO, CA 94110

50% DESIGN DEVELOPMENT | FEBRUARY 4, 2020

BUREAU OF ARCHITECTURE



Ronald Alameida - City Architect
Julia Laue - Principal Architect/Division Manager
30 Van Ness Ave., Suite 4100, San Francisco, CA 94102
Fax (415)557-4701, Phone (415)557-4700

Mission Branch Library

3359 24th Street
San Francisco, California 94110

Consultant

2/4/2020

No.	Date	Revisions

PM
PA
Drawn
Checked

Andrew Sohn

Andrew Sohn

Author

Checker

NOT FOR
CONSTRUCTION

Drawing Title

COVER SHEET

Sheet No.

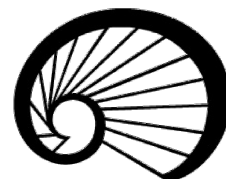
G 0.0

Scale:

12" = 1'-0"

Project No.

1806



San Francisco Public Library



Julia Laue - Principal Architect/Division Manager

Mission Branch Library

Consultant

SHEET LIST

ALL CONSTRUCTION AND INSTALLATION WORK SHOWN IN DRAWINGS OR INDICATED IN SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES OF GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.

2. PROTECT ALL UTILITIES, IMPROVEMENTS AND STRUCTURES AND RESTORE TO NEW CONDITION AT NO ADDITIONAL COST TO THE CITY IF DAMAGED DURING THE COURSE OF WORK.

3. VERIFY THAT EXISTING CONDITIONS ARE AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS. VERIFY ALL (E) BUILDING DIMENSIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY THE CITY REPRESENTATIVE IMMEDIATELY OF VARIATIONS OR DISCREPANCIES. DO NOT PROCEED WITH AFFECTED WORK UNTIL THE VARIATIONS OR DISCREPANCIES ARE RESOLVED BY THE CITY REPRESENTATIVE.

4. SUBMIT SHOP DRAWINGS FOR ALL CUSTOM WORK.

5. ALL LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. DETAILS TAKE PRECEDENCE OVER ALL DRAWINGS.

6. PROVIDE SEISMIC BRACING AT ALL PARTITIONS, LIGHTING FIXTURES, AND CEILING CONSTRUCTION AS REQUIRED BY CODE.

7. ALL DIMENSIONS SHOWN ARE TO FACE OF STUD, U.O.N.

8. "SIMILAR" OR "SIM." MEANS HAVING COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN AND/OR ELEVATIONS.

9. UPON COMPLETION OF THE WORK OR SHORTLY BEFORE, THE CONTRACTOR SHALL PREPARE A "PUNCH-LIST" OF CORRECTIONS UNSATISFACTORY, AND/OR INCOMPLETE WORK FOR THE ARCHITECT'S REVIEW.

10. WHEN PROJECT IS COMPLETE CLEAN AND POLISH ALL NEW GLASS, HARDWARE, RESILIENT FLOORING, CORK FLOORING, CERAMIC TILE AND OTHER SUCH ITEMS WITH FACTORY FINISH. REMOVE ALL DUST WITH TREATED DUST CLOTHS OR VACUUM CLEANERS.

11. PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC DURING PERIOD OF CONSTRUCTION.

12. INSTALL MANUFACTURED MATERIALS AND EQUIPMENT ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS. (U.O.N.)

13. WORK REQUIRED UNDER THIS CONTRACT INCLUDES ALL LABOR, MATERIALS, EQUIPMENT, ETC. NECESSARY TO COMPLETE THE PROJECT.

14. "TYPICAL" OR "TYP." SHALL INDICATE STANDARD FOR OTHER LIKE CONDITIONS THROUGHOUT THE WORK.

15. DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN.

16. INSTALL ALL WORK PLUMB, LEVEL AND STRAIGHT.

17. ALL DIMENSIONS NOTED "CLEAR" OR "CLR." MUST BE STRICTLY MAINTAINED.

18. ALL PARTITION LOCATIONS, DIMENSIONS, TYPES, ETC., AND ALL DOOR LOCATIONS SHALL BE AS SHOWN ON FLOOR PLANS. IN CASEOF CONFLICT, DISCREPANCIES SHALL BE RESOLVED BY THE ARCHITECT.

19. DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALL AS SHOWN OR SHALL BE LOCATED 4 INCHES FROM FINISHED WALL TO EDGE OF THE DOOR AT THE JAMB OPENING, UNLESS OTHERWISE NOTED.

- 1 VISIT THE SITE AND BECOME THOROUGHLY FAMILIAR WITH THE EXISTING
CONSTRUCTION AND CONDITIONS. RESOLVE ANY QUESTIONS OR
CONFLICTS REGARDING THE EXISTING CONDITIONS AND THE DEMOLITION
DRAWINGS WITH THE CITY REPRESENTATIVE(S) PRIOR TO START OF WORK.
- 2 DEMOLITION IS NOT LIMITED TO WHAT IS SHOWN ON THE DRAWINGS.
DRAWINGS ARE INTENDED TO SHOW THE PURPOSE, AND INTENT ONLY,
AND THE CONTRACTOR SHALL COMPLY WITH THE TRUE INTENT AND
MEANING, TAKEN AS A WHOLE, AND SHALL NOT AVOID ITSELF OF ANY
MANIFEST ERROR, OMISSION, DISCREPANCY OR AMBIGUITY WHICH APPEARS
IN THE DRAWINGS, INSTRUCTIONS OR WORK PERFORMED BY OTHERS.
NOTIFY THE CITY REPRESENTATIVE(S) OF ALL EXISTING CONSTRUCTION
NOT SPECIFICALLY NOTED ON THE DRAWINGS, EITHER REMOVE OR
RETAIN THESE ITEMS AS DIRECTED BY THE CITY REPRESENTATIVE(S).
- 3 IF EITHER CONCEALED CONDITIONS OR UNKNOWN PHYSICAL CONDITIONS
OF UNUSUAL NATURE (DIFFERENT MATERIAL FROM THOSE ORDINARILY
ENCOUNTERED AND GENERALLY RECOGNIZED AS INHERENT IN THE WORK)
ARE ENCOUNTERED WHICH AFFECT THE PERFORMANCE OF THE WORK OF
THIS CONTRACT, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CITY
OF SUCH CONDITIONS, AND HOW SUCH CONDITIONS AFFECTS THE WORK
AND RECOMMEND METHODS TO OVERCOME SUCH CONDITIONS. THE
CONTRACTOR SHALL WAIT FOR INSTRUCTIONS FROM THE CITY
REPRESENTATIVE(S) PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- 4 DEMOLITION SHALL INCLUDE ALL EXISTING MECHANICAL, PLUMBING, AND
ELECTRICAL ITEMS REQUIRED FOR NEW WORK. SEE MECH. AND ELEC.
DRAWINGS FOR NEW WORK AND NEW OPENINGS IN EXISTING
CONSTRUCTION. COORDINATE DEMOLITION TO COMPLY WITH
INTENT OF WORK.
- 5 CONDUCT OPERATIONS TO PREVENT DAMAGE TO ADJACENT BUILDINGS,
STRUCTURES, OTHER FACILITIES OR PERSONS AND TO THE PUBLIC RIGHT
OF WAY.
- 6 PROTECT FROM DAMAGE: ALL MATERIALS, CONSTRUCTION, UTILITIES, AND
OTHER ITEMS AND APPURTENANCES NOT SCHEDULED FOR DEMOLITION.
- 7 REPAIR ALL DAMAGED CAUSED TO ADJACENT EXISTING WALLS OR
FACILITIES BY DEMOLITION OPERATIONS AT NO ADDITIONAL COST TO
THE CITY. REPAIR SURFACES TO MATCH (E).
- 8 USE TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS
NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT FROM RISING AND
SCATTERING IN THE AIR TO THE LOWEST LEVEL OF AIR POLLUTION FOR THE
CONDITION OF THE WORK. COMPLY WITH CAL/OSHA, CARB, AND SF
REGULATIONS.
- 9 KEEP THE CONSTRUCTION AREA BROOM CLEAN. CLEAN ALL DUST, DIRT,
AND DEBRIS CAUSED BY DEMOLITION.
- 10 ASBESTOS TO BE REMOVED BY THE CITY IN A PRIOR CONTRACT. WORK ON
LEAD CONTAINING MATERIALS SHOULD FOLLOW CAL/OSHA REQUIREMENTS.
- 11 CONTRACTOR TO PROVIDE TEMPORARY LIGHTING THROUGHOUT THE
BUILDING FOR DEMOLITION WORK.
- 12 CONTRACTOR TO PROVIDE TEMPORARY SHORING AT ALL NEW OPENINGS IN
THE EXISTING BUILDING STRUCTURE. THE CONTRACTOR IS TO PROVIDE
SHOP DRAWINGS OF THE PROPOSED SHORING METHOD FOR REVIEW AND
APPROVAL BY THE ENGINEER. THE SHOP DRAWINGS OF THE SHORING
SYSTEM ARE TO BE SIGNED AND STAMPED BY A STRUCTURAL ENGINEER
LICENSED IN THE STATE OF CALIFORNIA.

RENOVATION AND BUILDING ADDITION TO LISTED HISTORIC LIBRARY (1911). SCOPE OF WORK INCLUDES PARTIAL DEMOLITION OF HISTORIC ANNEX AND 1997 RENOVATION WORK. NEW MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS WILL BE PROVIDED THROUGHOUT THE EXISTING BUILDING AND ADDITION. ADDITION INCLUDES PARTIAL BELOW-GROUND BASEMENT. PROJECT IS DESIGNED TO LEADERSHIP IN ENERGY EFFICIENT DESIGN (LEED) RATING OF GOLD.	
PROJECT DATA	
PROJECT NAME:	MISSION BRANCH LIBRARY
ADDRESS:	3359 24TH STREET SAN FRANCISCO, CA 94110
LOT/BLOCK NO:	6515/001
PARCEL AREA:	7,637.5 SF (65'X117.50')
EXISTING BUILDING BUILT:	1911, ADDITION AND RENOVATION 1997
EXISTING BLDG SIZE:	10,885 +/- LEVEL 1: 5,163 +/- LEVEL 2: 5,142 +/- MECH: 580 +/-
EXISTING BLDG HEIGHT:	45 +/- TO AVERAGE ROOF HEIGHT
ZONING DISTRICT:	P-PUBLIC,
PLAN AREA:	MISSION (EN)
HEIGHT & BULK DISTRICT:	55-X
FIRE SPRINKLER:	YES (NFPA 13)
ALLOWABLE BLDG HT (FT):	60' (TABLE 504.3)
ALLOW. BLDG HT (STORIES):	2 STORIES ABOVE GRADE PLAN (TABLE 504.4)
ALLOWABLE BLDG AREA (PER STORY):	18,000 SF, (TABLE 506.2, A-3, VB, SM)
TYPE OF CONSTRUCTION:	TYPE VB
OCCUPANCY:	A-3, NON-SEPARATED
NO. OF STORIES:	3 STORIES (2 STORIES ABOVE GRADE PLANE)
TOTAL FLOOR AREA (ALLOWABLE):	13,500 +/- BASEMENT: 1,120 LEVEL 1: 6,050 LEVEL 2: 6016 PENTHOUSE: 400
OCCUPIED FLOOR AREA:	<13,500
FIRE SEPARATION DISTANCE:	NORTH >30', EAST >30' SOUTH: 0', WEST 7.5 +/-

DRAWING INDEX - ARCHITECTURAL G-SHEETS	
G 0.0	COVER SHEET
G 0.1	PROJECT DATA, GENERAL NOTES, SHEET INDEX, ABBREVIATIONS
G 1.1	ADA COMPLIANCE CHECKLIST, COMPLIANCE MEASURES
G 1.2	GREEN BUILDING FORMS
G 1.3	LEED CHECKLIST
G 1.5	PRE-APPLICATION MEETING
G 2.1	BASEMENT OCCUPANCY, EGRESS & ACCESSIBLE PATH PLAN
G 2.3	SECOND FLOOR FLOOR OCCUPANCY, EGRESS & ACCESSIBLE PATH PLAN
G 2.4	THIRD FLOOR OCCUPANCY, EGRESS & ACCESSIBLE PATH PLAN
G 3.11	TOILET ROOM DOOR SIGNAGE
G 3.12	DOOR EXIT SIGNAGE
G 3.21	TYPICAL ACCESSIBLE DOORS AND GATES
G 3.32	ACCESSIBLE TOILET ROOM STANDARD DETAILS
G 3.33	ACCESSIBLE TOILET ROOM ACCESSORIES DETAILS & ACCESSIBLE DRINKING FOUNTAIN
G 3.41	ELEVATOR SIZES AND PANEL INFORMATION

DRAWING INDEX - LANDSCAPE

- L.0.0 DEMOLITION PLAN
- L.1.0 LANDSCAPE PAVING PLAN
- L.2.0 LANDSCAPE SITE FURNISHING PLAN
- L.3.0 LANDSCAPE LAYOUT PLAN
- L.4.0 LANDSCAPE GRADING PLAN
- L.5.0 LANDSCAPE IRRIGATION PLAN
- L.6.0 LANDSCAPE PLANTING PLAN
- L.7.0 LANDSCAPE DETAILS - SECTIONS
- L.7.1 LANDSCAPE DETAILS - ELEVATIONS
- L.7.2 LANDSCAPE DETAILS - FENCE
- L.7.3 LANDSCAPE DETAILS - PAVING
- L.7.4 LANDSCAPE DETAILS - DRAINAGE
- L.7.5 LANDSCAPE DETAILS - PLANTING
- L.7.6 LANDSCAPE DETAILS - PHOTOS
- L.7.7 LANDSCAPE PLANTING PHOTOS

DRAWING INDEX - ARCHITECTURAL

A 0.21 GROUND FLOOR DEMOLITION PLAN
A 0.22 MAIN FLOOR DEMOLITION PLAN
A 0.23 MECHANICAL LEVEL DEMOLITION PLAN
A 0.31 SOUTH DEMOLITION ELEVATION
A 0.32 WEST DEMOLITION ELEVATION
A 1.11 SITE PLAN
A 2.12 GROUND FLOOR PLAN
A 2.13 MAIN FLOOR PLAN
A 2.14 MECHANICAL LEVEL PLAN
A 2.21 ROOF PLAN
A 2.31 SLAB PLANS
A 3.11 NORTH ELEVATION
A 3.12 WEST ELEVATION
A 3.13 SOUTH ELEVATION
A 3.14 EAST ELEVATION
A 3.31 LONGITUDINAL BUILDING SECTION
A 3.32 WEST FACADE SECTION ELEVATION
A 3.33 BUILDING SECTION AT SEISMIC JOINT
A 3.34 TRANSVERSE BUILDING SECTION
A 3.35 REAR BUILDING SECTION
A 3.41 WALL SECTIONS
A 4.0 ENLARGED FLOOR PLANS
A 4.01 PROPOSED RESTORATIVE ASPECTS OF PROJECT - BUILDING CIRCULATION
A 4.02 PROPOSED RESTORATIVE ASPECTS OF PROJECT - ENTRY DOORS
A 4.03 PROPOSED RESTORATIVE ASPECTS OF PROJECT - MAIN STAIR
A 5.1 INTERIOR ELEVATIONS - CHILDREN'S READING
A 5.2 INTERIOR ELEVATIONS - JANITORY AND RESTROOMS
A 5.3 INTERIOR ELEVATIONS - HALLWAY AND COMMUNITY
A 5.4 INTERIOR ELEVATIONS - LOBBY & STAFF
A 5.5 INTERIOR ELEVATIONS - MAIN READING
A 5.6 INTERIOR ELEVATIONS - TEEN AND GROUP STUDY
A 5.7 INTERIOR ELEVATIONS - STAFF, ELEV LOBBY, AND RESTROOMS
A 6.11 BASEMENT AND MECHANICAL LEVEL REFLECTED CEILING PLAN
A 6.12 GROUND FLOOR REFLECTED CEILING PLAN
A 6.13 MAIN FLOOR REFLECTED CEILING PLAN
A 7.2 STAIR PLANS AND SECTIONS
A 7.10 ELEVATOR PLANS, SECTIONS
A 7.20 ELEVATOR DETAILS
A 7.30 STAIR, RAMP PLANS, SECTIONS
A 7.40 STAIR DETAILS
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A 8.21 EXTERIOR WALL DETAILS
A 8.22 HISTORIC FACADE CONNECTION DETAILS
A 8.30 ROOFING DETAILS
A 8.40 OPENINGS SCHEDULES : WINDOW,
A 8.50 EXTERIOR OPENING DETAILS : WINDOW, STOREFRONT, CURTAINWALL, LOUVER
A 8.60 EXTERIOR DOOR DETAILS
A 8.70 EXTERIOR LOUVER DETAILS
A 8.80 EXTERIOR DETAILS : MISC
A 9.10 PARTITION SCHEDULE, PARTITION DETAILS
A 9.30 FLOOR / CEILING ASSEMBLIES, CEILING DETAIL
A 9.31 SUSPENDED CEILING DETAILS
A 9.41 DOOR SCHEDULE, DOOR DETAILS, OTHER INTERIOR OPENINGS
A 9.50 FIRESTOP & ACOUSTICAL DETAILS
A 9.60 CASEWORK & MILLWORK DETAILS
A 9.70 INTERIOR SEISMIC JOINT DETAILS
A 9.80 RESTROOM AND SHOWER DETAILS
A 9.90 MISCELLANEOUS INTERIOR DETAILS
A 10.10 FINISH SCHEDULES (FINISHES, MATERIALS, ACCESSORIES)
A 10.21 FINISH PLANS
A 10.31 GROUND FLOOR SIGNAGE PLAN
A 10.41 GROUND FLOOR FF&E PLAN
A 10.42 MAIN FLOOR FF&E PLAN

[illegible]

PM	Andrew Sohn
PA	Andrew Sohn
Drawn	Author
Checked	Checker

PROJECT DATA, GENERAL NOTES,
SHEET INDEX, ABBREVIATIONS

G 0.1

Scale: As indicated

1806



City Architect: Ronald Alameida
Bureau Manager: Jennifer Cooper
30 Van Ness Ave., Suite 3000, San Francisco, CA 94102
Fax (415)557-4700, Phone (415)557-4701

Mission Branch Library

3359 24th Street, San Francisco,
California 94110

Consultant

Bureau Mgr. B MGR
Section Mgr. SEC MGR
Technical Mgr. TECH MGR

50% DD 01/31/2020

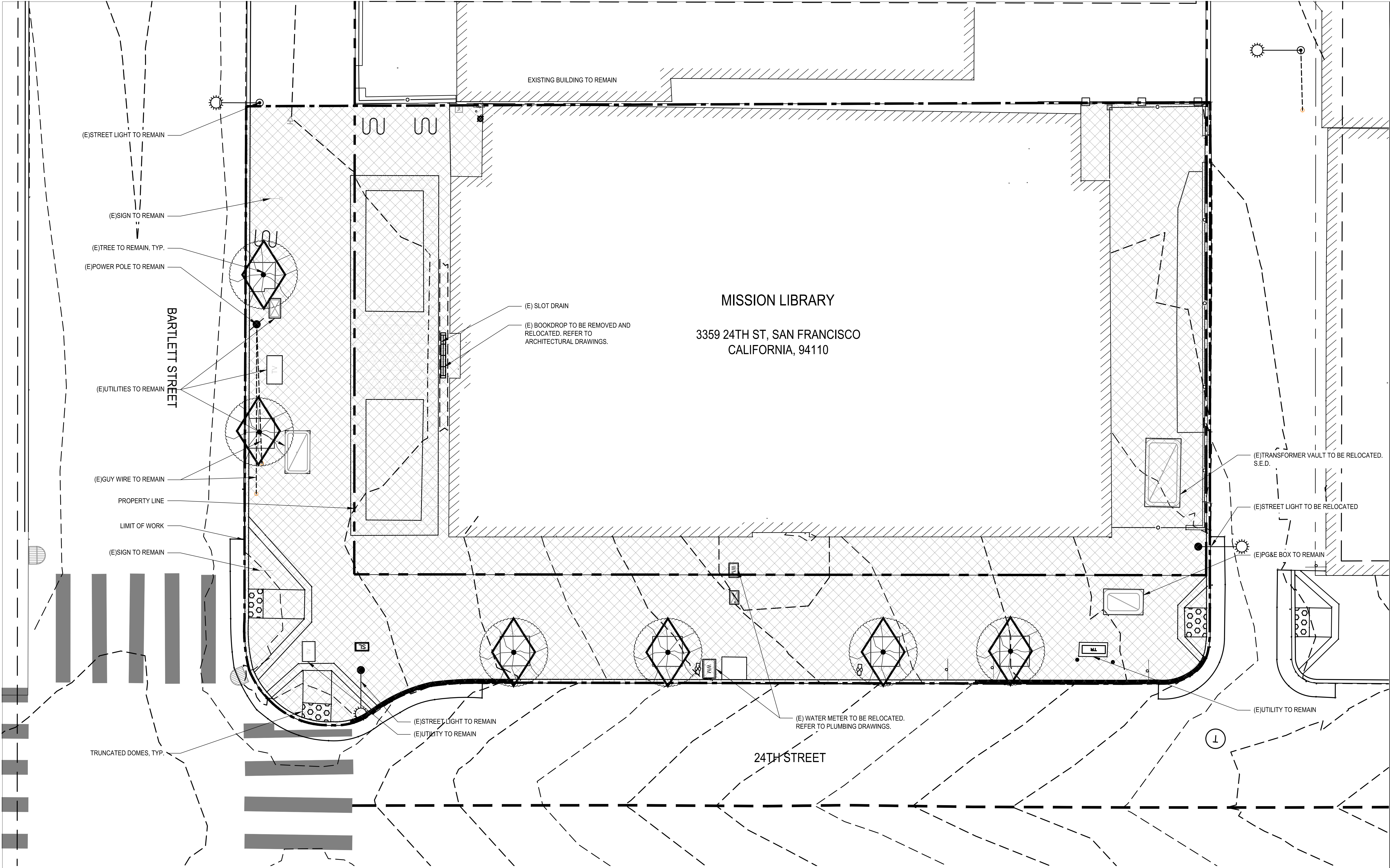
No.	Date	Revisions

PM Anthony Esterbrooks
PLA Brett Desmarais
Drawn Sally Zhang
Checked CHK

Drawing Title

LANDSCAPE DEMOLITION PLAN

Sheet No. L-0.0
Scale: 3/16"=1'-0"
Project No.



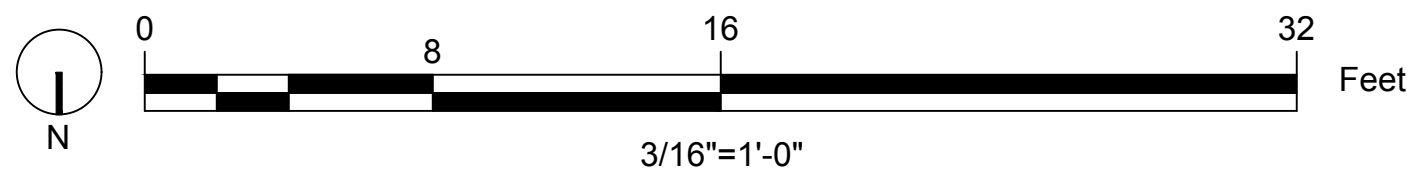
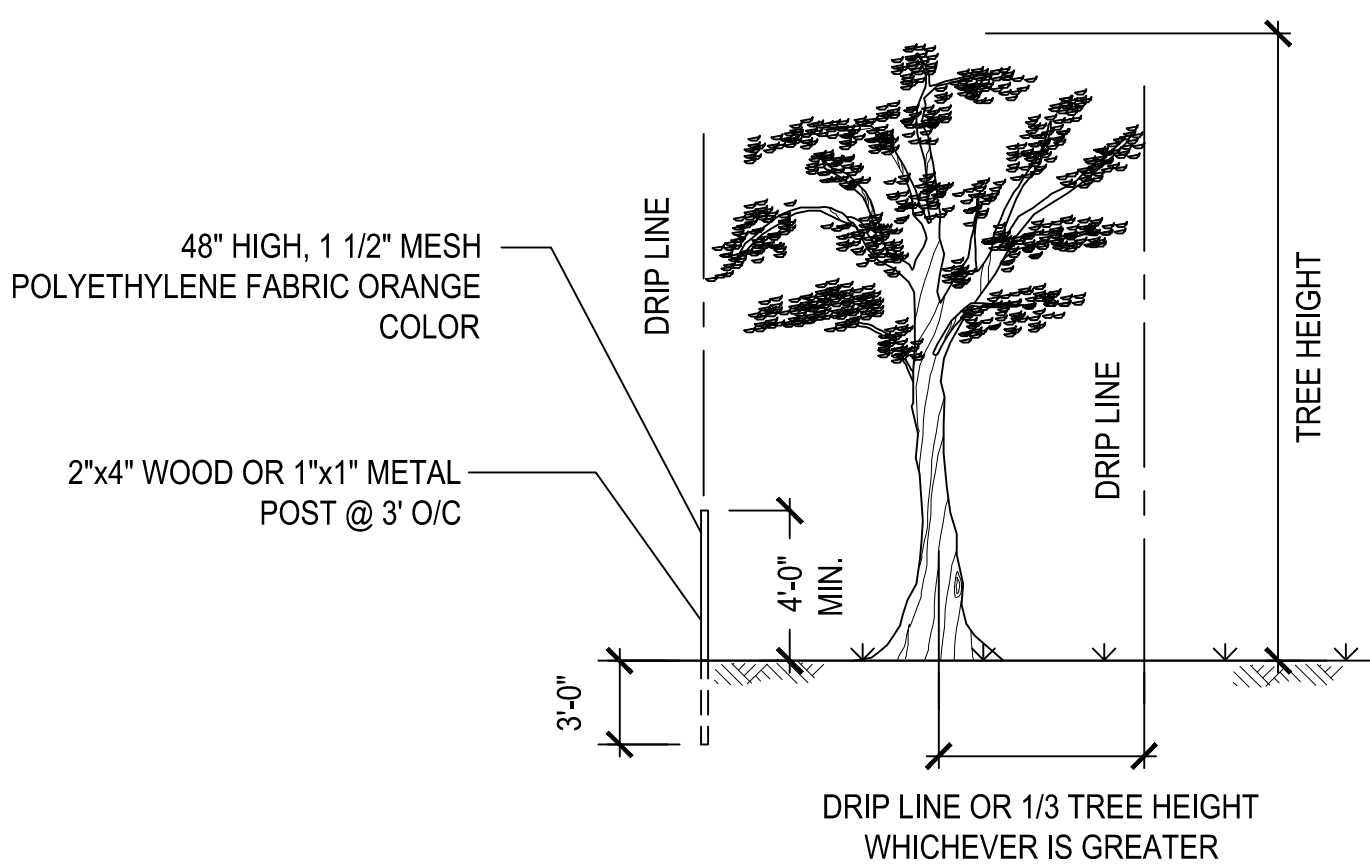
DEMOLITION LEGEND

SYMBOL		
	LIMIT OF WORK	
	U.O.N. REMOVE ALL PAVING & BASE MATERIAL, CONC. WALLS, FENCES, FOOTINGS, SITE FURNISHINGS AND EXISTING SITE ELEMENTS TO ACCOMMODATE ALL NEW CONSTRUCTION.	
	PROTECT EXISTING TREE TO REAMIN - SEE DETAIL THIS SHEET FOR PROTECTION REQUIREMENTS.	

TREE PROTECTION NOTES:

- SEE SPECIFICATION SECTIONS 31 10 00 - SITE CLEARING AND 01 56 39 - TEMPORARY TREE AND PLANT PROTECTION FOR OTHER REQUIREMENTS.
- PROTECT ALL EXISTING TREES WHOSE DRIP LINE IS WITHIN 25 FEET OF EXCAVATION, TRENCHING, GRADING, OR PATHWAY WORK, AGAINST INJURY OR DAMAGE FROM CONSTRUCTION OPERATIONS.
- FOR THOSE TREES NOTED ON SHEET LD-1000, PROTECT PRIOR TO COMMENCING WORK BY ERECTING A TEMPORARY SAFETY FENCE PER DETAIL THIS SHEET ON SIDE(S) ADJACENT TO CONSTRUCTION.
- PROTECT ALL TREES ON ADJACENT PROPERTY, EVEN IF NOT SHOWN ON THIS PLAN.

EXISTING TREE PROTECTION DETAIL





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Drawing Title

LANDSCAPE PAVING PLAN

Sheet No. _____
L-1.0
Scale: _____ 3/16"=1'-0"
Project No. _____

(E)STREET LIGHT, TYP.

6" PAVING STRIPE
WITH EMBEDDED LETTERS

EXTERIOR READING ROOM UNIT PAVER

AREA DRAIN,
TO BE CONNECTED TO (E) DRAIN LINE

BARTLETT STREET

PROPERTY LINE

LIMIT OF WORK

CONC. PAVING
TRUNCATED DOMES, TYP.

ELECTRICAL VAULT,
S.E.D.

RELOCATE (E)TRANSFORMER,
S.E.D.

SIDEWALK UNIT PAVERS - ACCENT BAND

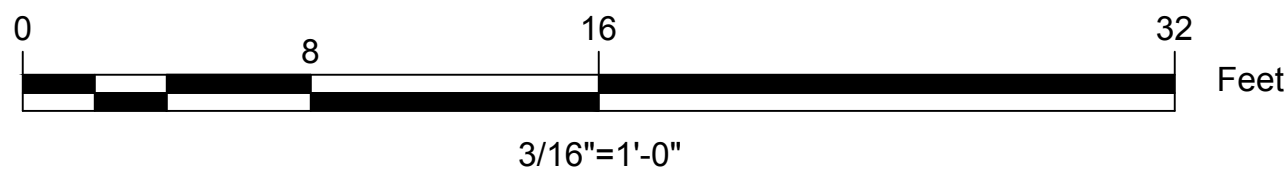
EXTENDED TREE WELL, TYP.

24TH STREET

PAVING LEGEND

SYMBOL		
	SIDEWALK UNIT PAVERS	
	SIDEWALK UNIT PAVERS - ACCENT BAND	
	EXTERIOR READING ROOM UNIT PAVERS	
	EXTERIOR READING ROOM PAVING STRIPE WITH EMBEDDED LETTERS	

SYMBOL		
	CONC. PAVING	
	TRUNCATED DOMES	
	PLANTING AREA	





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- (E)STREET LIGHT, TYP.
- 6' WIDE TRASH ENCLOSURE ENTRY GATE
- 4" TALL PLANTING BED METAL HEADER
- OUTDOOR CHIMES, TYP.
- ACCESSIBLE COMPANION SPACE, TYP.
- PLANTER BENCH, TYP.
- 6' WIDE ENTRY GATE
- BARTLETT STREET
- RAISED PLANTER, TYP.
- MOVABLE TABLE & CHAIRS, TYP.
- BIKE RACK
- PROPERTY LINE
- LIMIT OF WORK

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2 PLANTING BED WITH CURB AND RAILING

DOOR ACTUATOR BOLLARD, S.A.D.

ELECTRICAL VAULT, S.E.D.

RELOCATE (E)TRANSFORMER, S.E.D.

24TH STREET

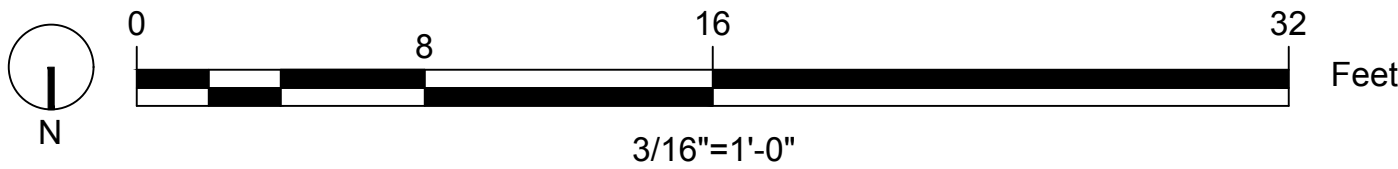
BOOK DROP OFF BOX

PEDESTRIAN LIGHT, TYP.

SITE FURNISHING LEGEND

SYMBOL		
	6' HIGH OUTDOOR READING ROOM FENCE	1.2 L-7.2
	6' HIGH PLANTING BED METAL HEADER	5 L-7.6
	BENCH WITH PLANTER	6 L-7.6
	PEDESTRIAN LIGHT	7 L-7.6

SYMBOL		
	PLANTING AREA	



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LANDSCAPE SITE FURNISHING PLAN

Sheet No. L-2.0

Scale: 3/16"=1'-0"
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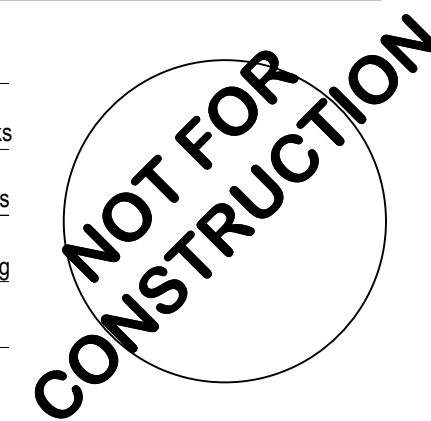
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Drawing Title

LANDSCAPE LAYOUT PLAN

Sheet No. L-3.0

Scale: 3/16"=1'-0"
Project No.

(E)STREET LIGHT, TYP.

(E)TREE TO REMAIN, TYP.

BARTLETT STREET

PROPERTY LINE

LIMIT OF WORK

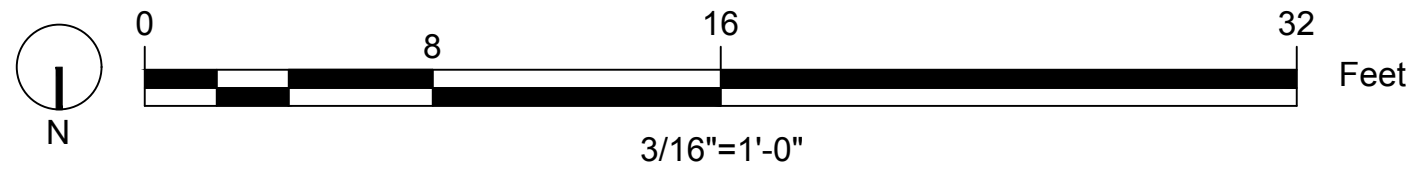
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ALIGN WITH CENTER OF WINDOW ARCH COLUMN, TYP.
V.I.F.

RELOCATE (E)TRANSFORMER,
S.E.D.

24TH STREET



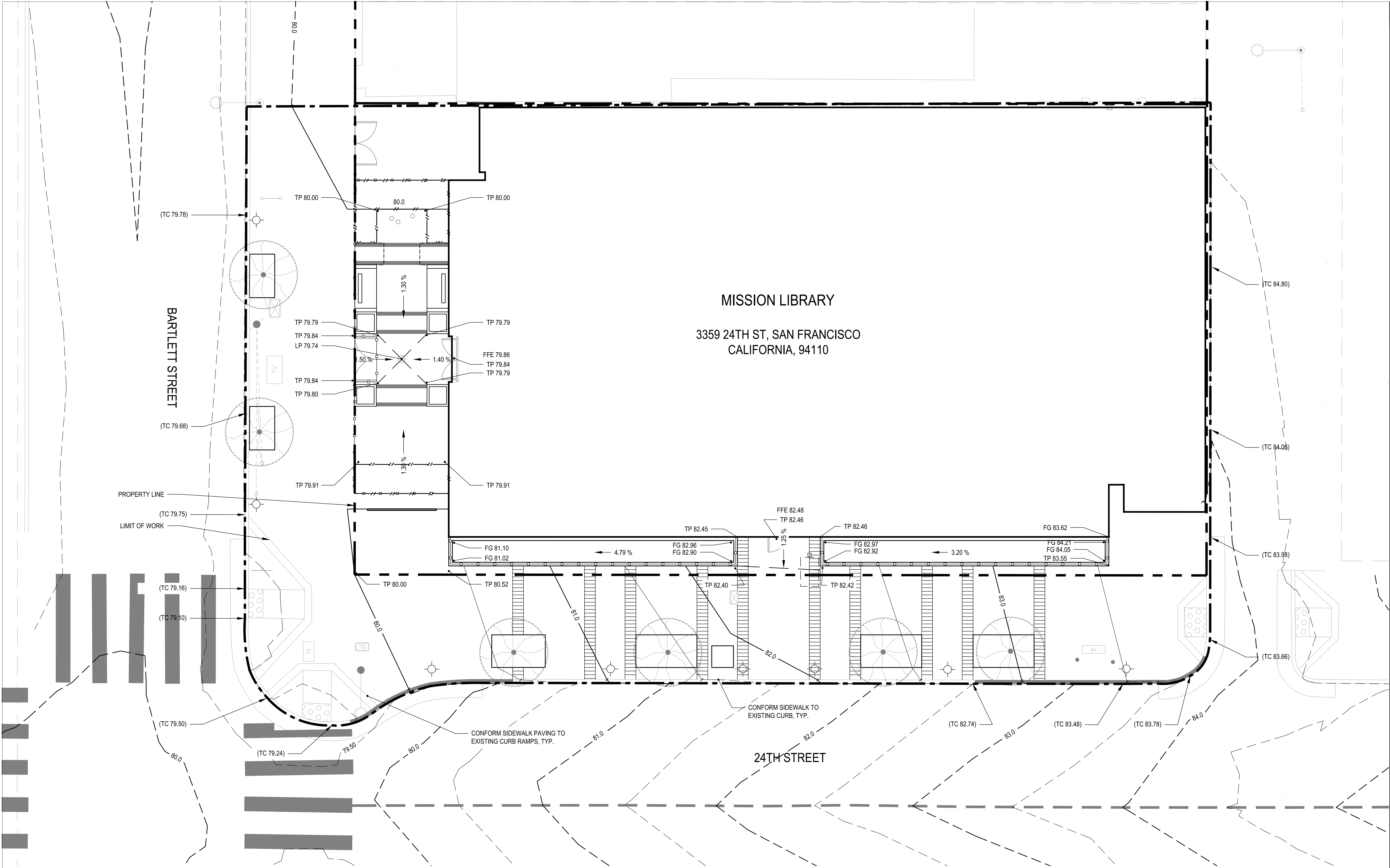


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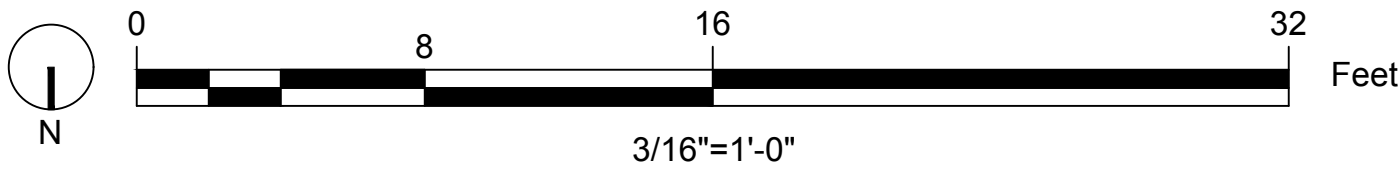
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GRADING LEGEND

SYMBOL		
	(X.X)	EXISTING SPOT ELEVATION
	TP	PROPOSED SPOT ELEVATION
		GRADE BREAK
		DIRECTION OF SLOPE



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LANDSCAPE GRADING PLAN

Sheet No.	L-4.0
Scale:	3/16"=1'-0"
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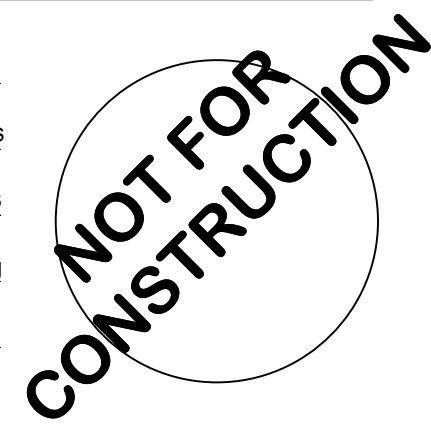
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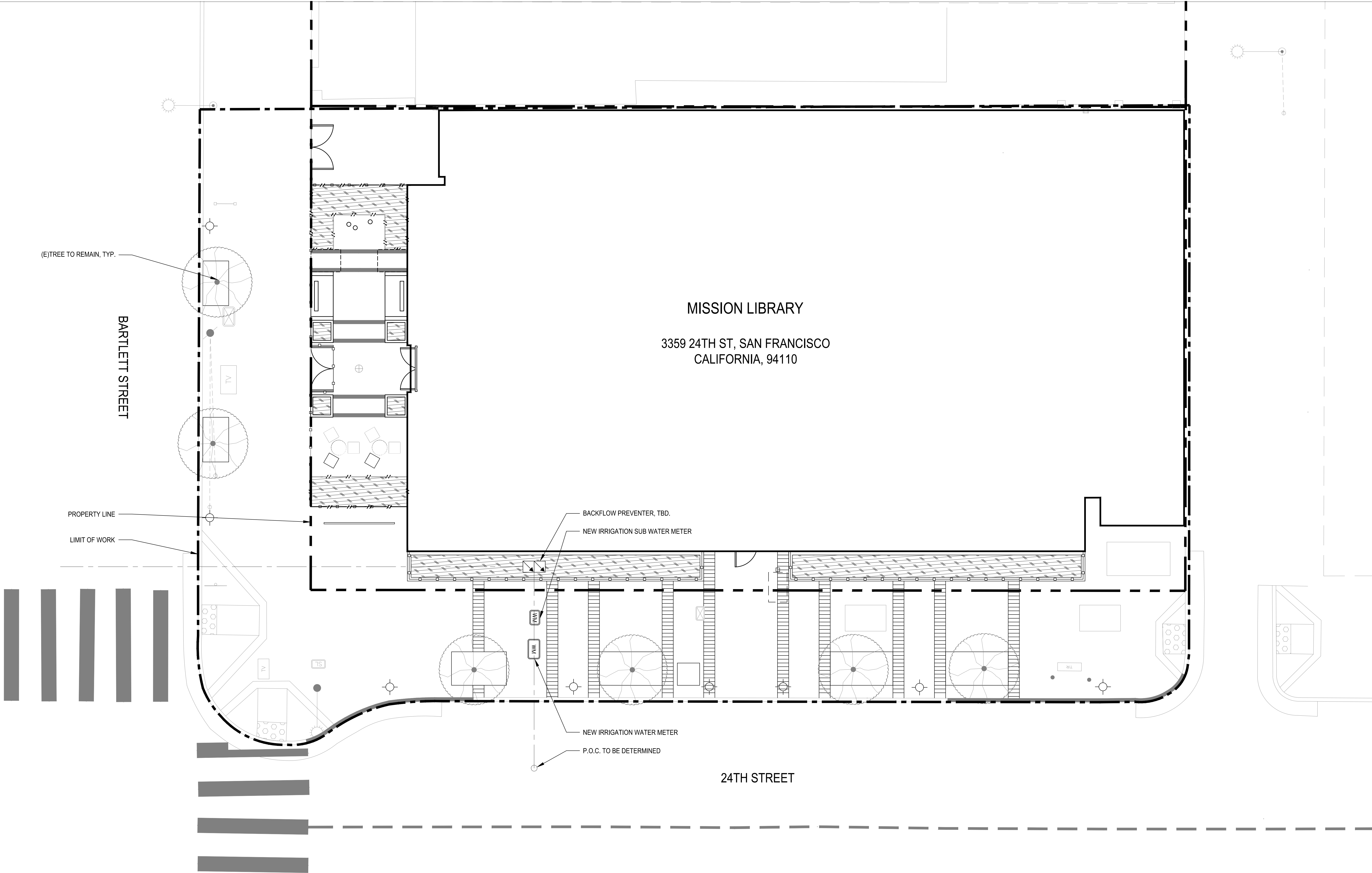


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LANDSCAPE IRRIGATION PLAN

Sheet No. L-5.0

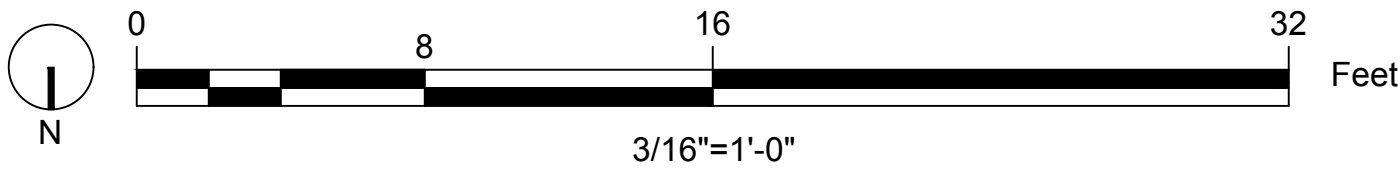
Scale: 3/16"=1'-0"
Project No.



IRRIGATION LEGEND

SYMBOL		
	PLANTING AREA TO BE IRRIGATED (SPRAY)	
	BACKFLOW PREVENTER	2 L-7.4
	NEW WATER METER	
	NEW SUB WATER METER	

NOTE:
LOCATION OF NEW IRRIGATION CONTROLLER TO BE DETERMINED.





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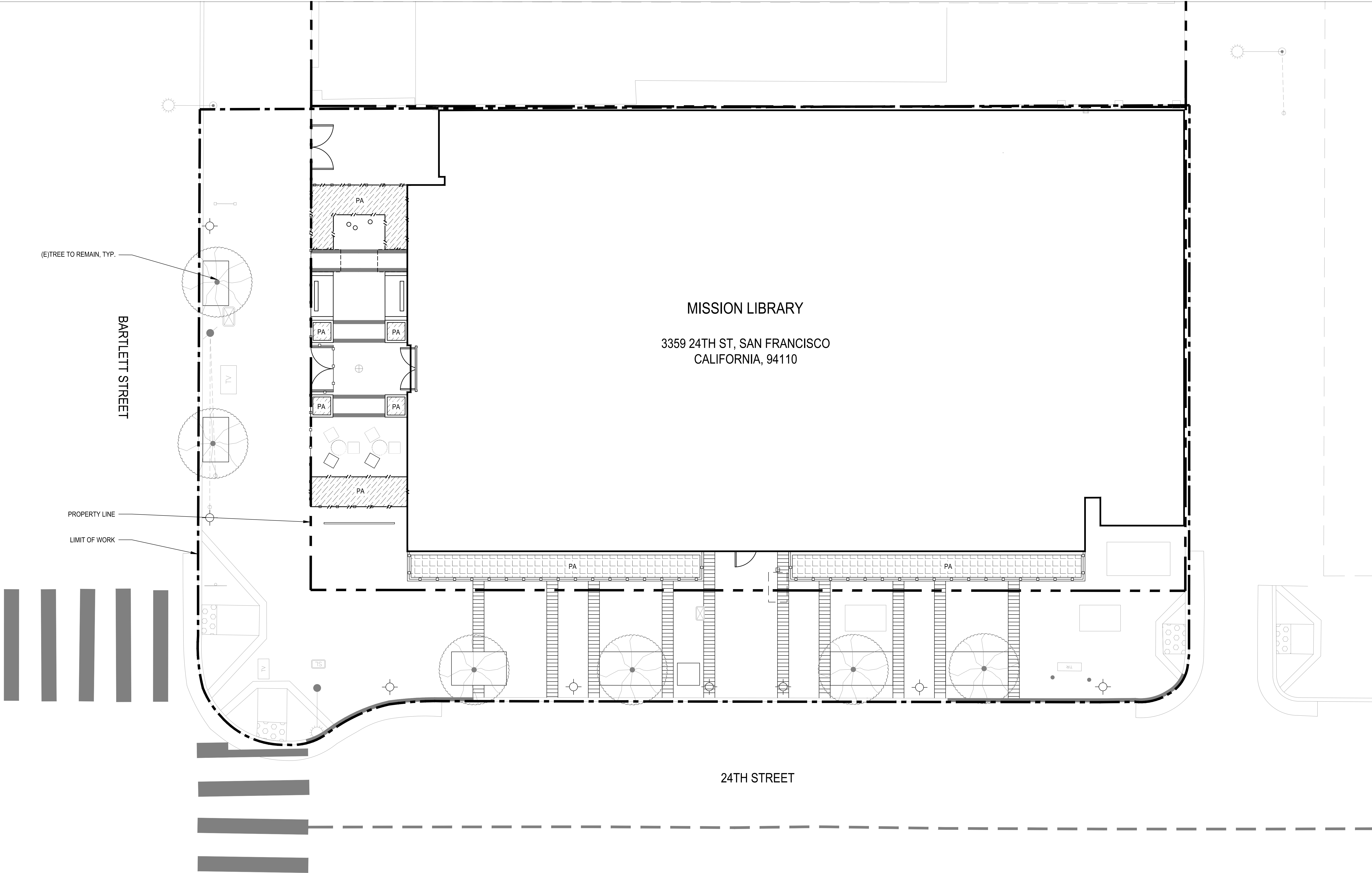
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LANDSCAPE PLANTING PLAN

Sheet No. L-6.0

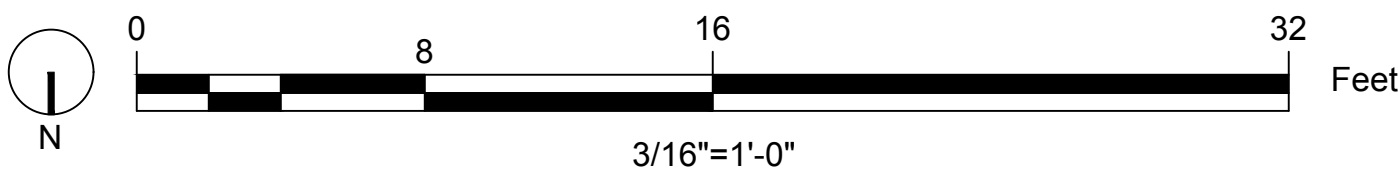
Scale: 3/16"=1'-0"
Project No.



PLANTING LEGEND

SIDEWALK PLANTING				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	AREA
	ACANTHUS MOLLIS	BEAR'S BREECHES	3 GAL.	233 SQFT.
	ADIANTUM CAPILLUS-VENERIS	MAIDENHAIR FERN	5 GAL.	
	CAREX BERKELEY	BERKELEY SEDGE	1 GAL.	
	DIETES GRANDIFLORA	FORTNIGHT LILY	5 GAL.	
	HELIOTROPUM ARBORESCENS 'ALBA'	WHITE HELIOTROPE	1 GAL.	
	HELLEBORUS ORIENTALIS	LENTEN ROSE	1 GAL.	
	HEUCHERA CULTIVARS	CORAL BELLS	3 GAL.	
	IRIS DOUGLASIANA	DOUGLAS IRIS	3 GAL.	
	POLYSTICHUM CALIFORNICUM	CALIFORNIA SWORD FERN	5 GAL.	

OUTDOOR READING ROOM PLANTING				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	AREA
	ABUTILON SPP.	FLOWERING MAPLE	3 GAL.	155 SQFT.
	AEONIUM 'SUNBURST'	SUNBURST AEONIUM	1 GAL.	
	ALCHEMILLA MOLLIS	LADY'S MANTLE	1 GAL.	
	CUPHEA AFF. AEQUIPETALA	MEXICAN LOOSESTRIPE	1 GAL.	
	FRAGARIA CHILOENSIS	SAND STRAWBERRY	1 GAL.	
	GERANIUM ROZANNE	HARDY GERANIUM	1 GAL.	
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	1 GAL.	



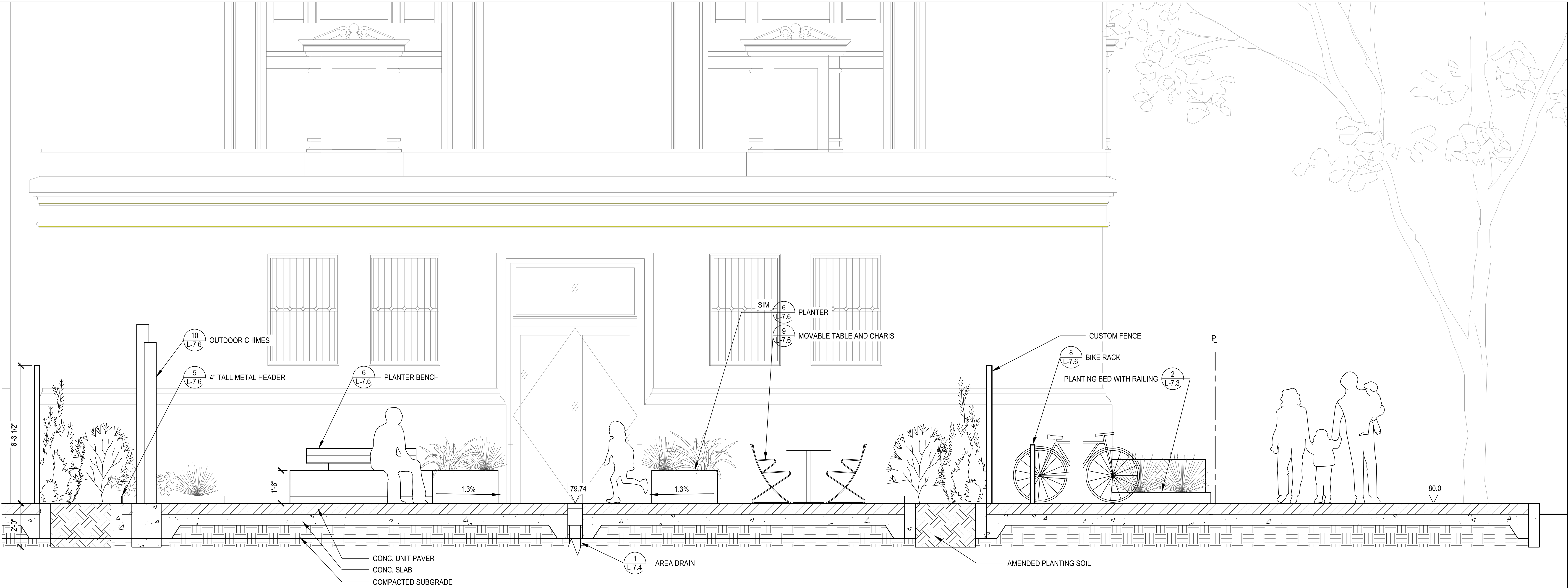


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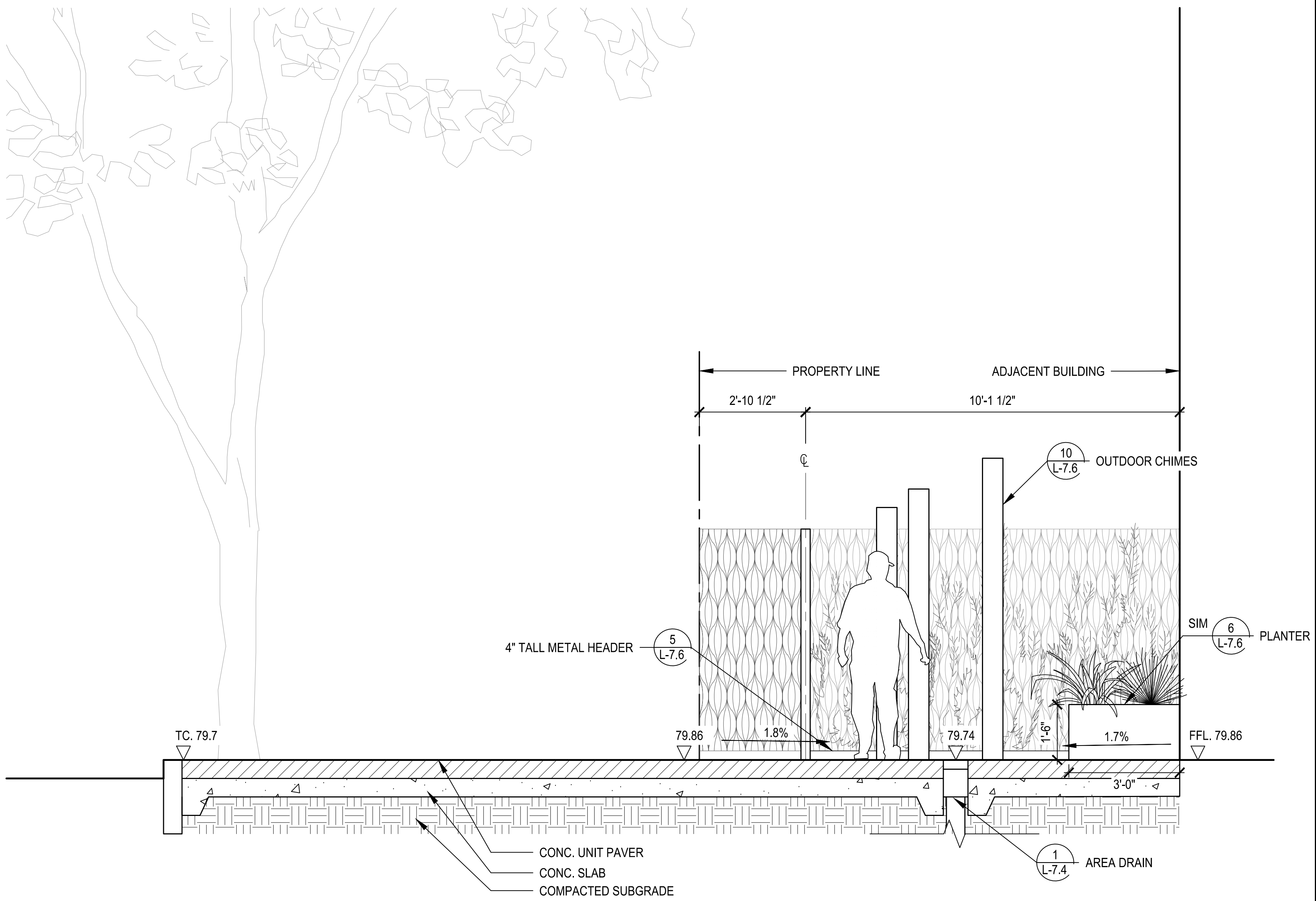
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1 SECTION A - A
SCALE: 1/2"=1'-0"



2 SECTION B - B
SCALE: 1/2"=1'-0"

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LANDSCAPE DETAILS
SECTIONS

Sheet No. _____ L-7.0
Scale: _____ N.T.S.
Project No. _____

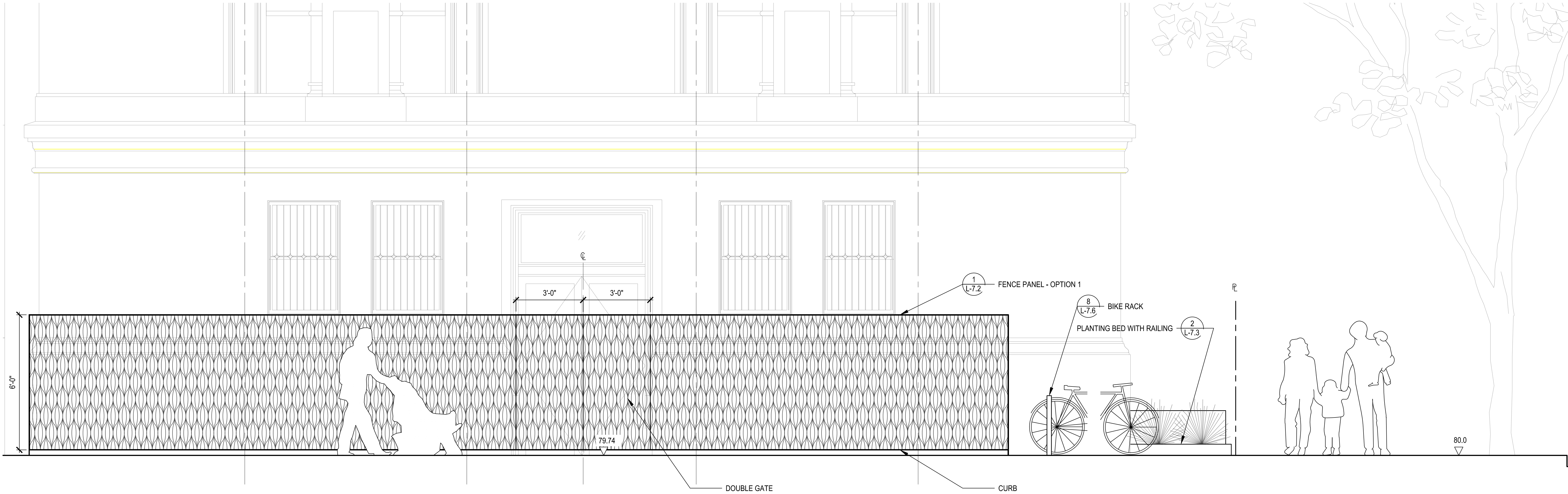


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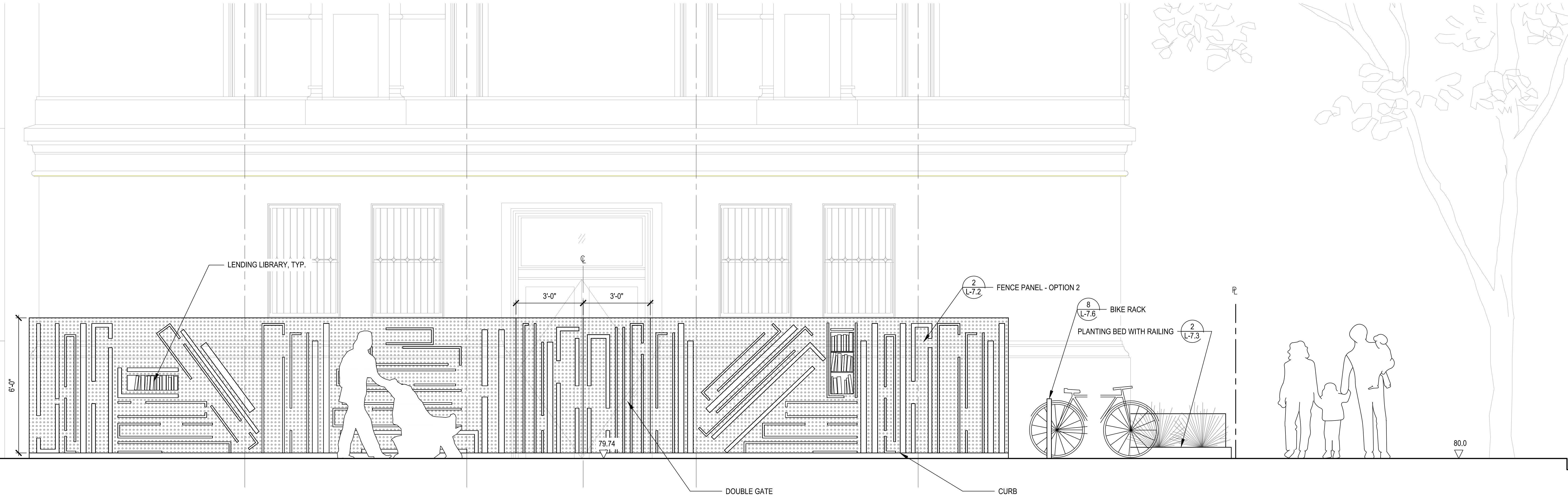
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1 EAST ELEVATION - OPTION 1
SCALE: 1/2"=1'-0"



2 EAST ELEVATION - OPTION 2
SCALE: 1/2"=1'-0"

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LANDSCAPE DETAILS
ELEVATIONS

Sheet No.	L-7.1
Scale:	N.T.S.
Project No.	

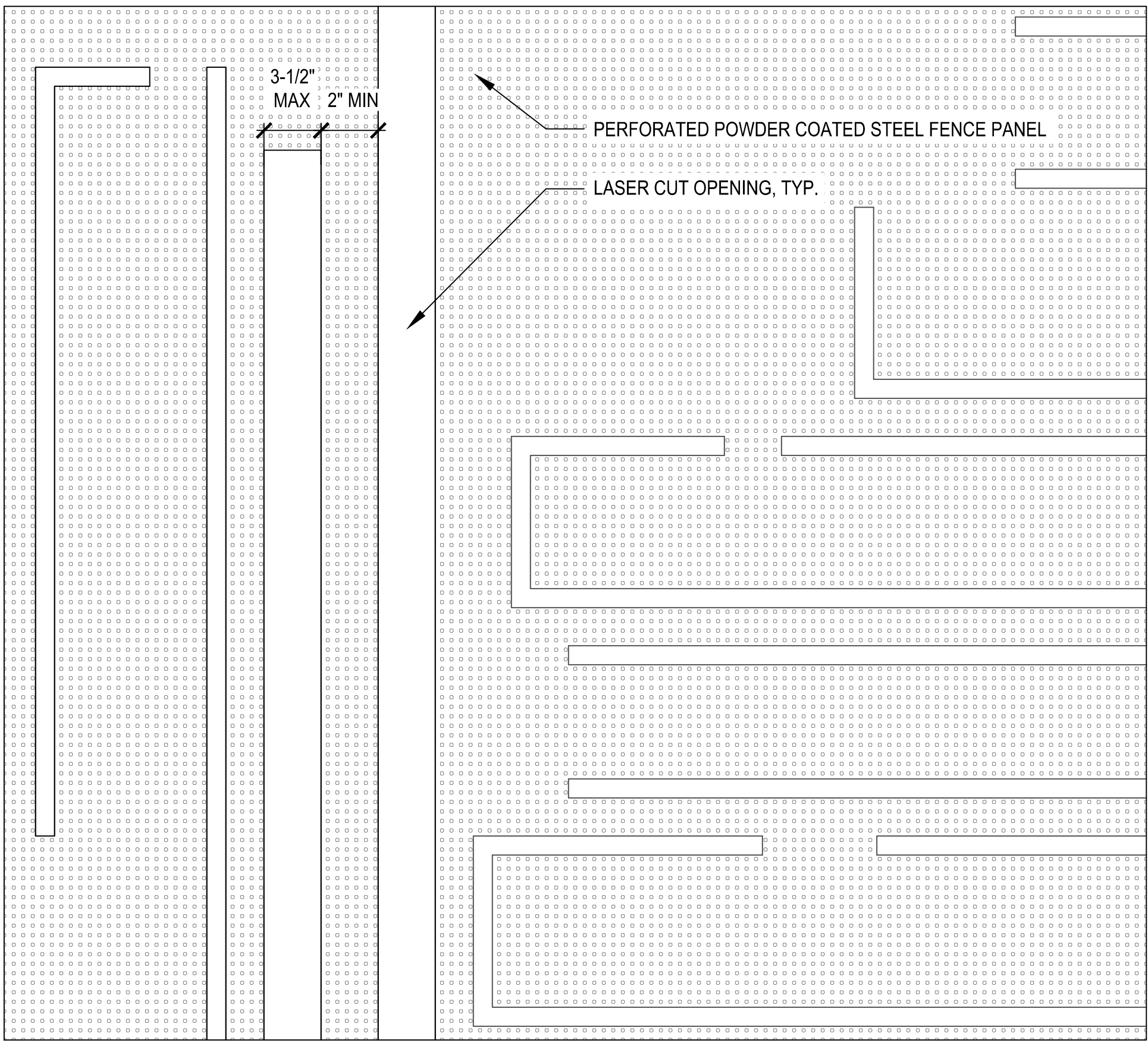


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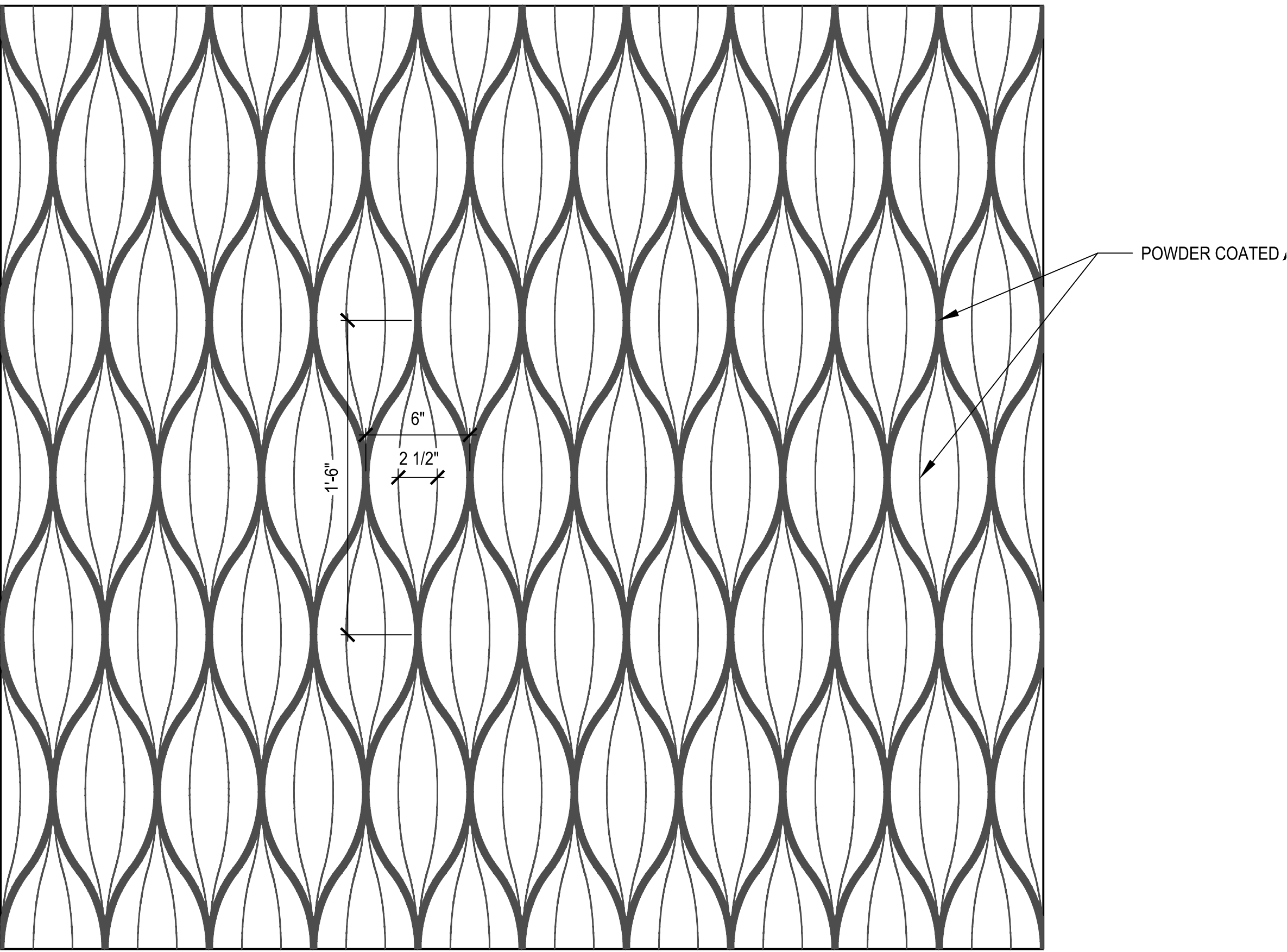
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2 FENCE PANEL - OPTION 2
SCALE: 2"=1'-0"



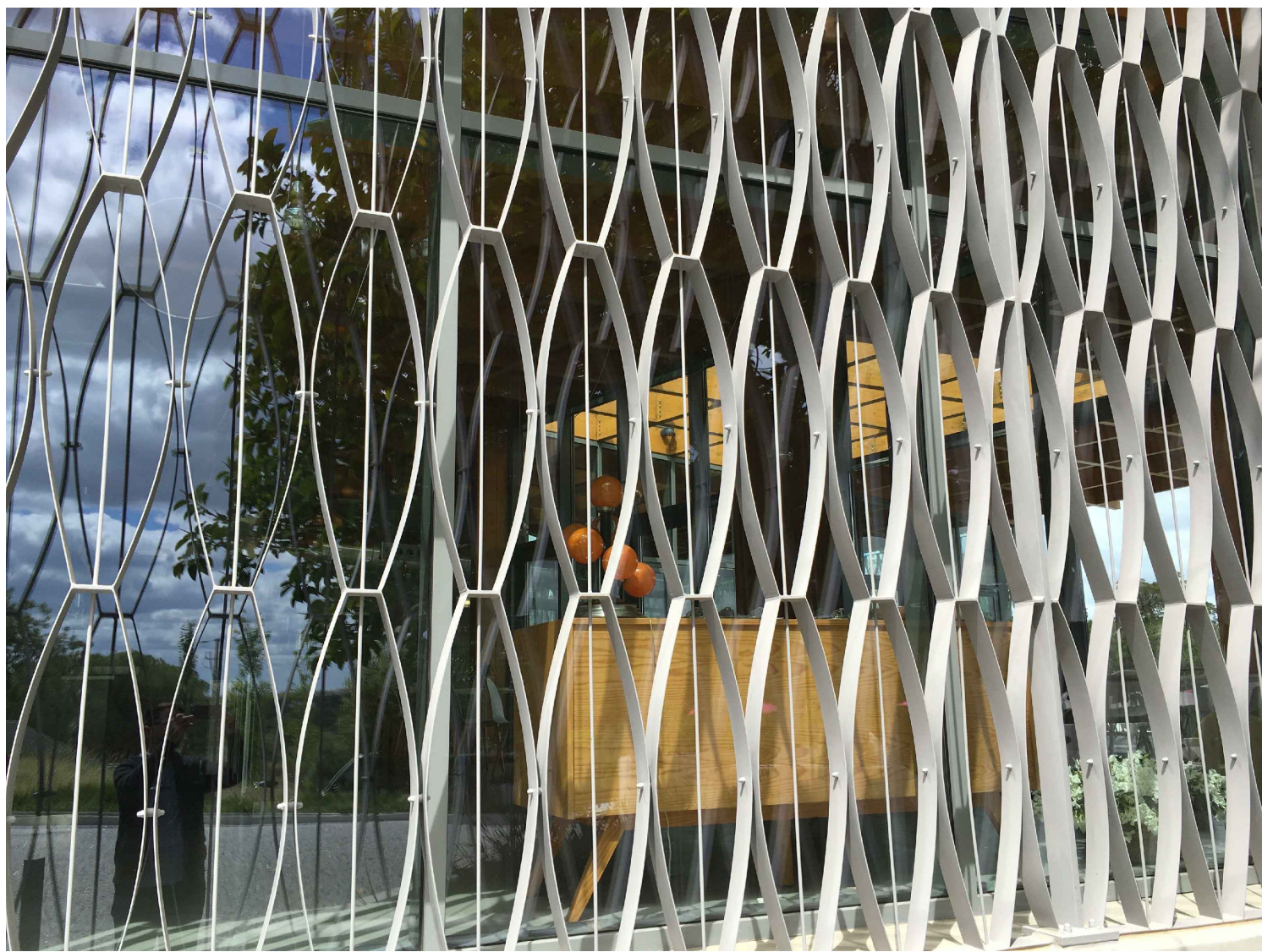
1 FENCE PANEL - OPTION 1
SCALE: 2"=1'-0"



6 OPTION 2
SCALE: N.T.S.



5 OPTION 2
SCALE: N.T.S.



4 OPTION 1
SCALE: N.T.S.



3 OPTION 1
SCALE: N.T.S.

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Drawing Title

LANDSCAPE DETAILS
FENCE

Sheet No.

L-7.2

Scale:

N.T.S.

Project No.

1806

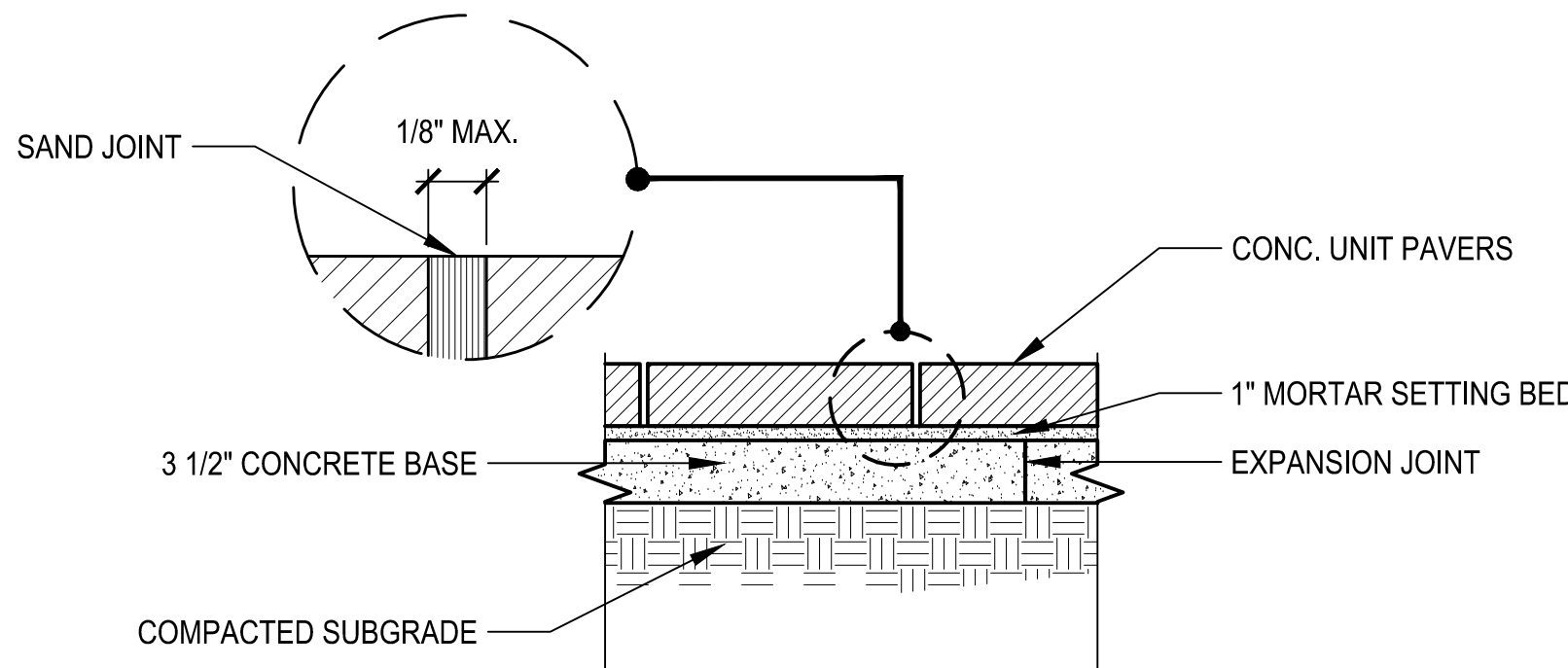


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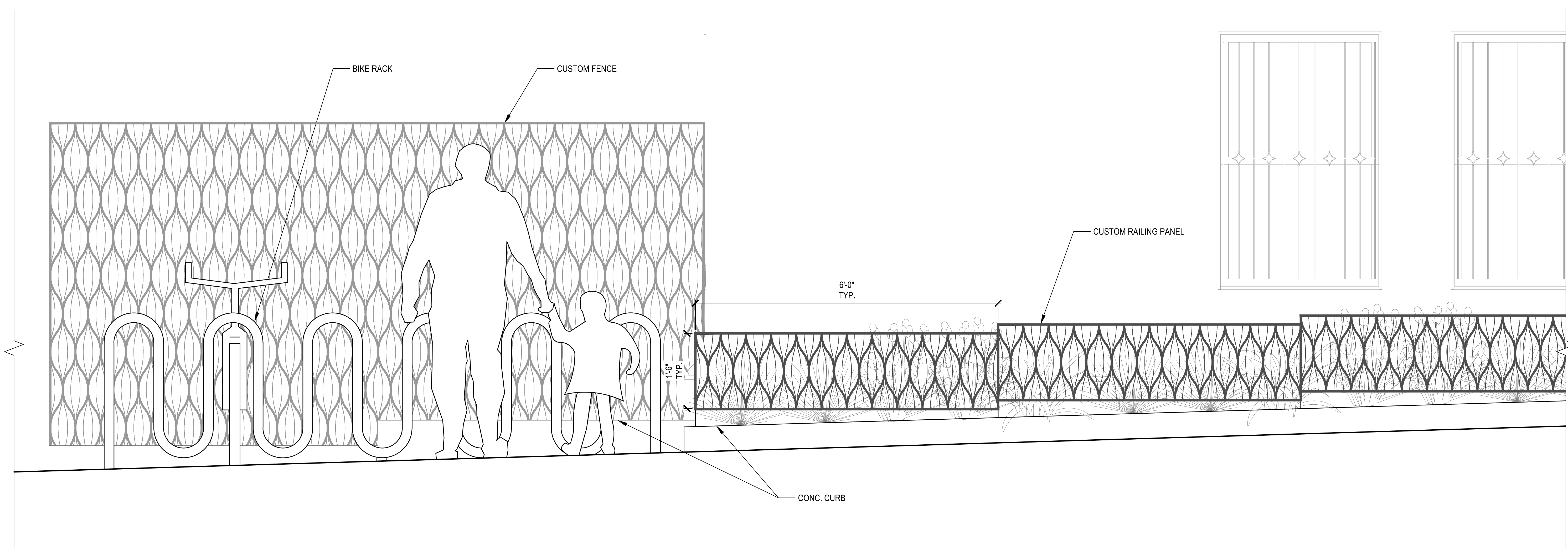
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PRODUCT INFO:
STEPSTONE CALARC PAVERS
COLOR 1801

1 CONCRETE UNIT PAVER
SCALE: 1"=1'-0"



2 CONC. CURB PLANTER WITH RAILING
SCALE: 1"=1'-0"

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LANDSCAPE DETAILS
PAVING

Sheet No.

L-7.3

Scale:

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Project No.

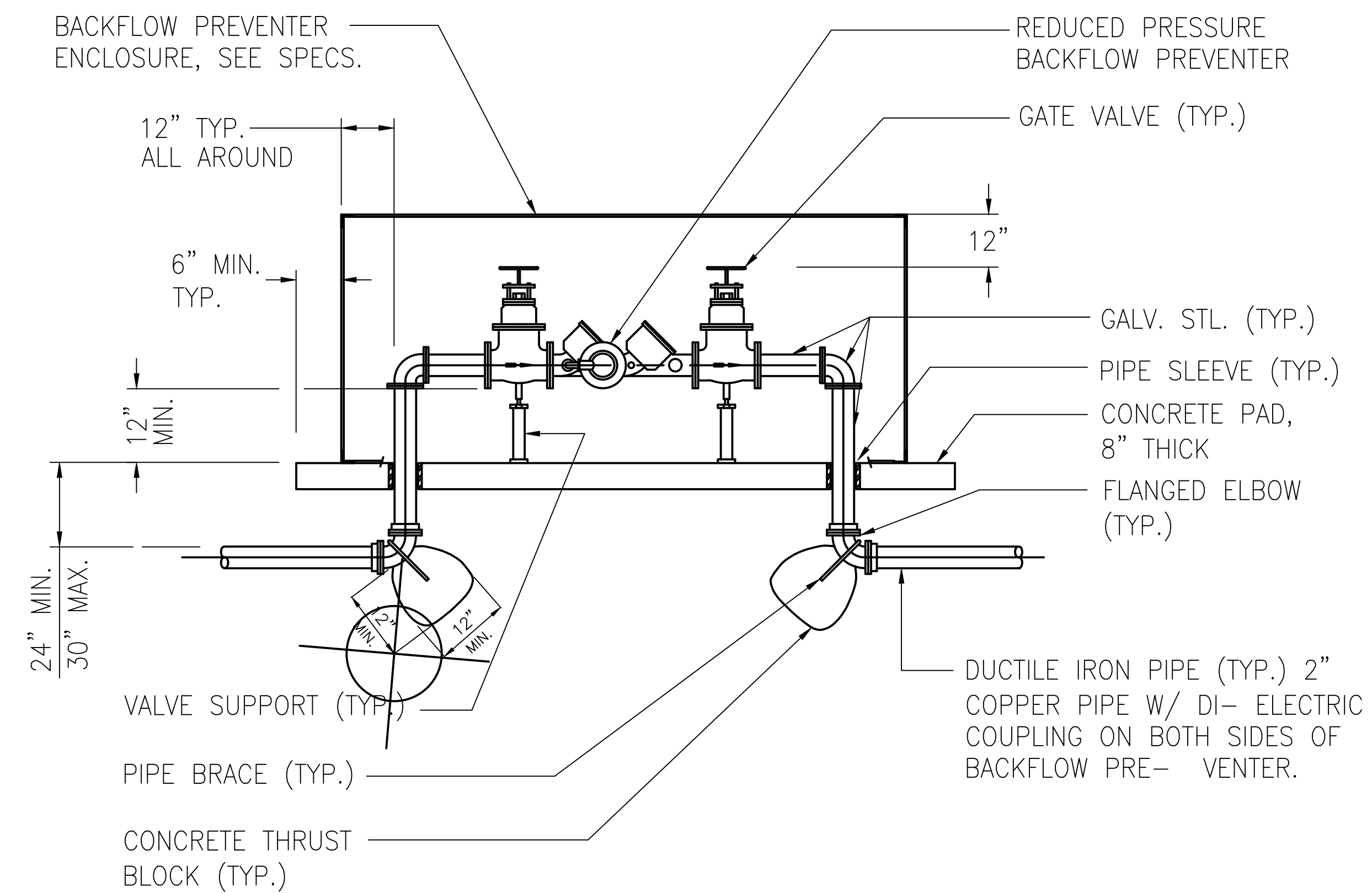
1806

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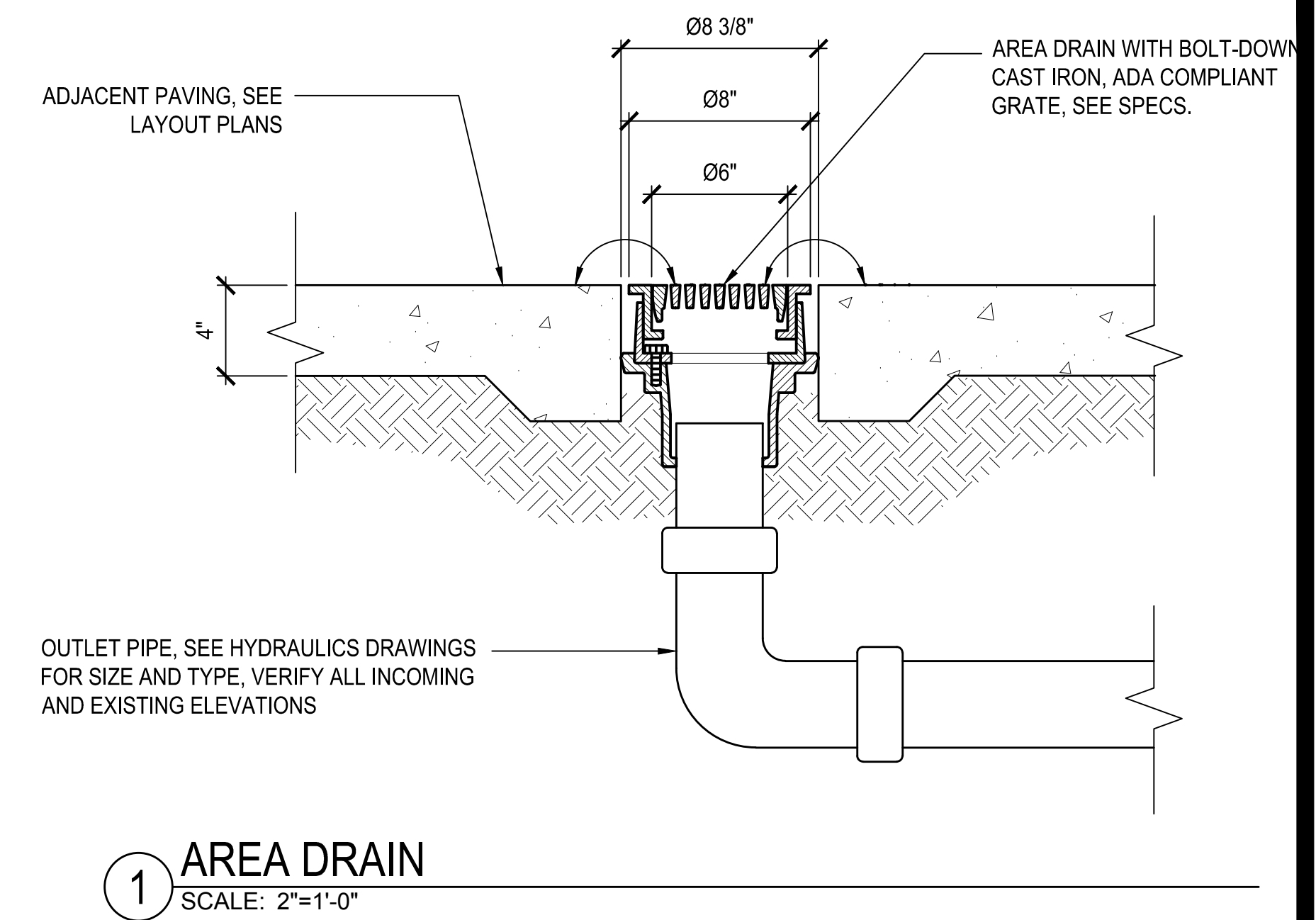
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2 BACKFLOW PREVENTER INSTALLATION



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LANDSCAPE DETAILS
DRAINAGE

Sheet No.

-7.4

Scale: N.T.S.

Project No.

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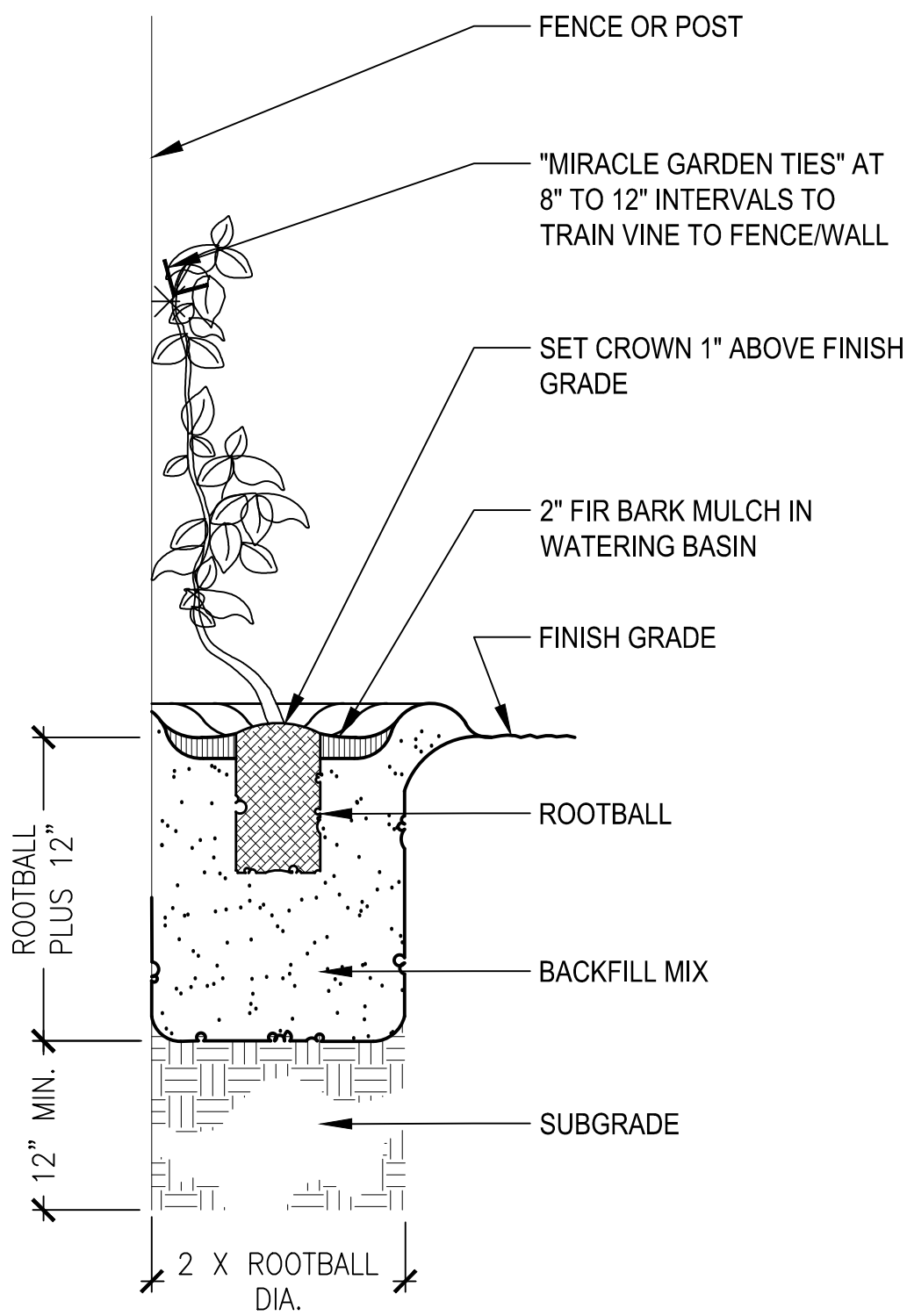


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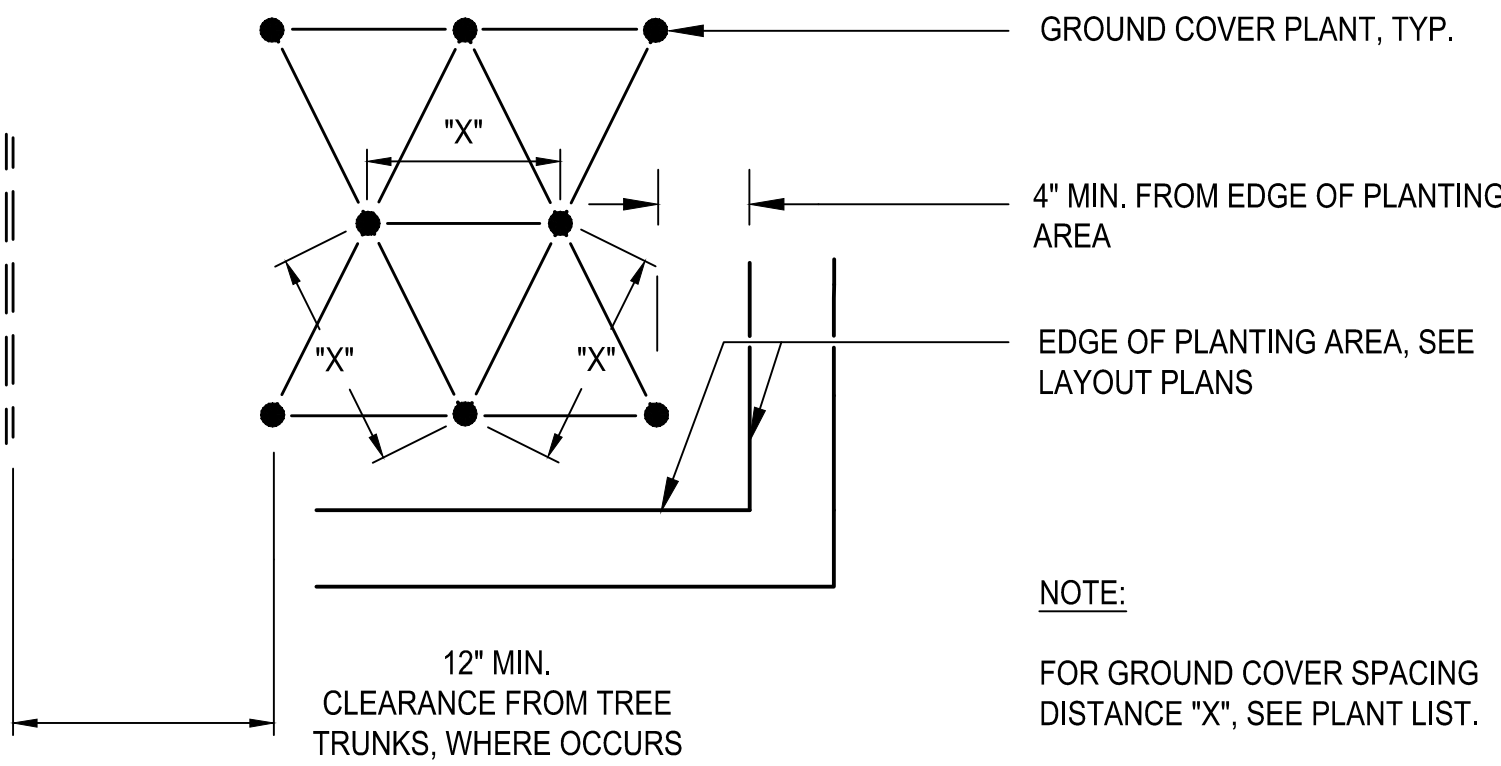
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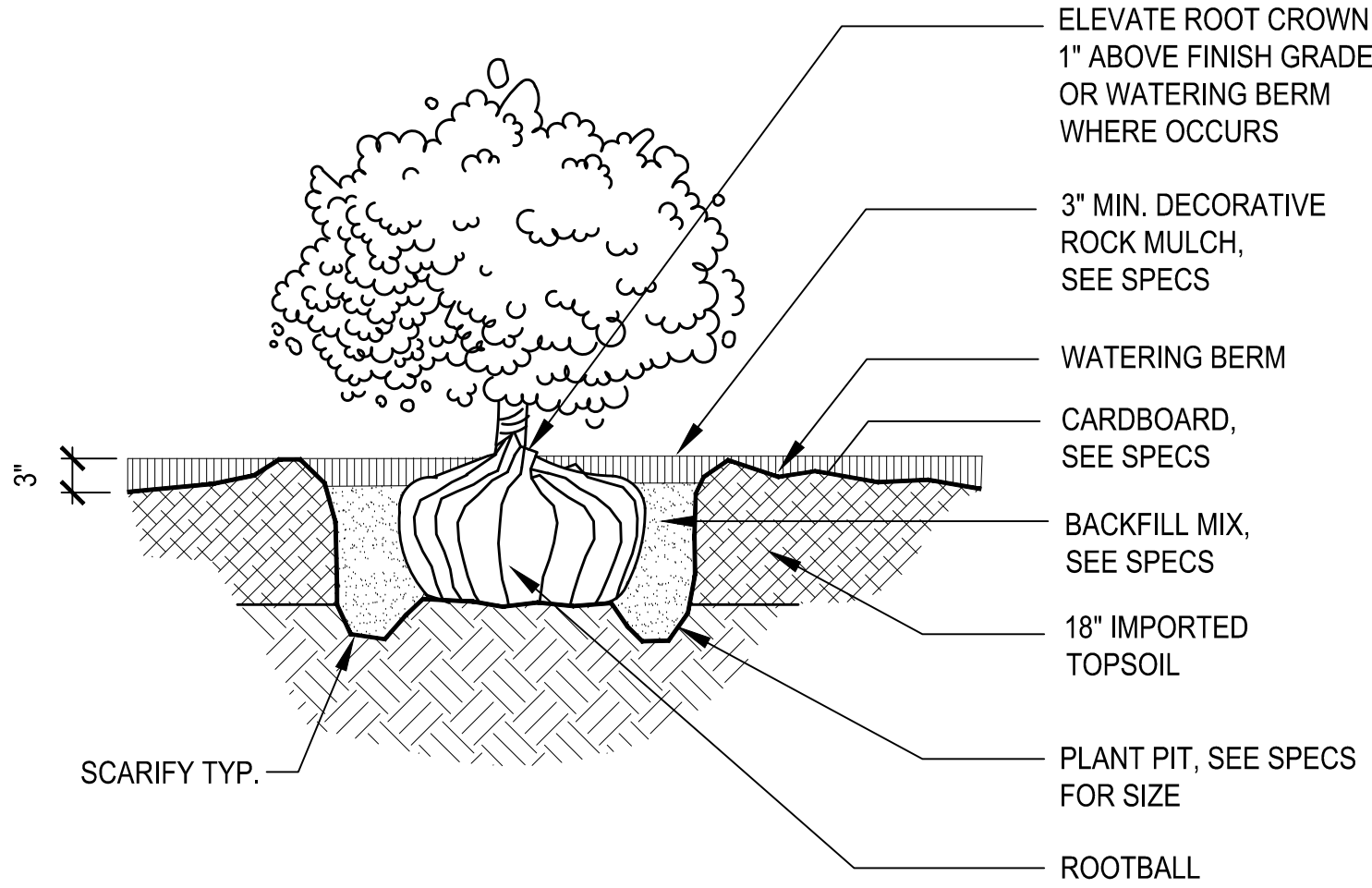
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3 VINE PLANTING
SCALE: 1"=1'-0"



2 GROUND COVER PLANTING
SCALE: N.T.S.



1 SHRUB PLANTING
SCALE: N.T.S.

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LANDSCAPE DETAILS
PLANTING

Sheet No.

L-7.5

Scale:

N.T.S.

Project No.



9 MOVABLE TABLES AND CHAIRS
SCALE: N.T.S.



5 4" TALL PLANTING BED METAL HEADER
SCALE: N.T.S.



1 STREET - CONC. UNIT PAVER
SCALE: N.T.S.

PRODUCT INFO:
STEPSTONE CALARC PAVERS
COLOR 1801

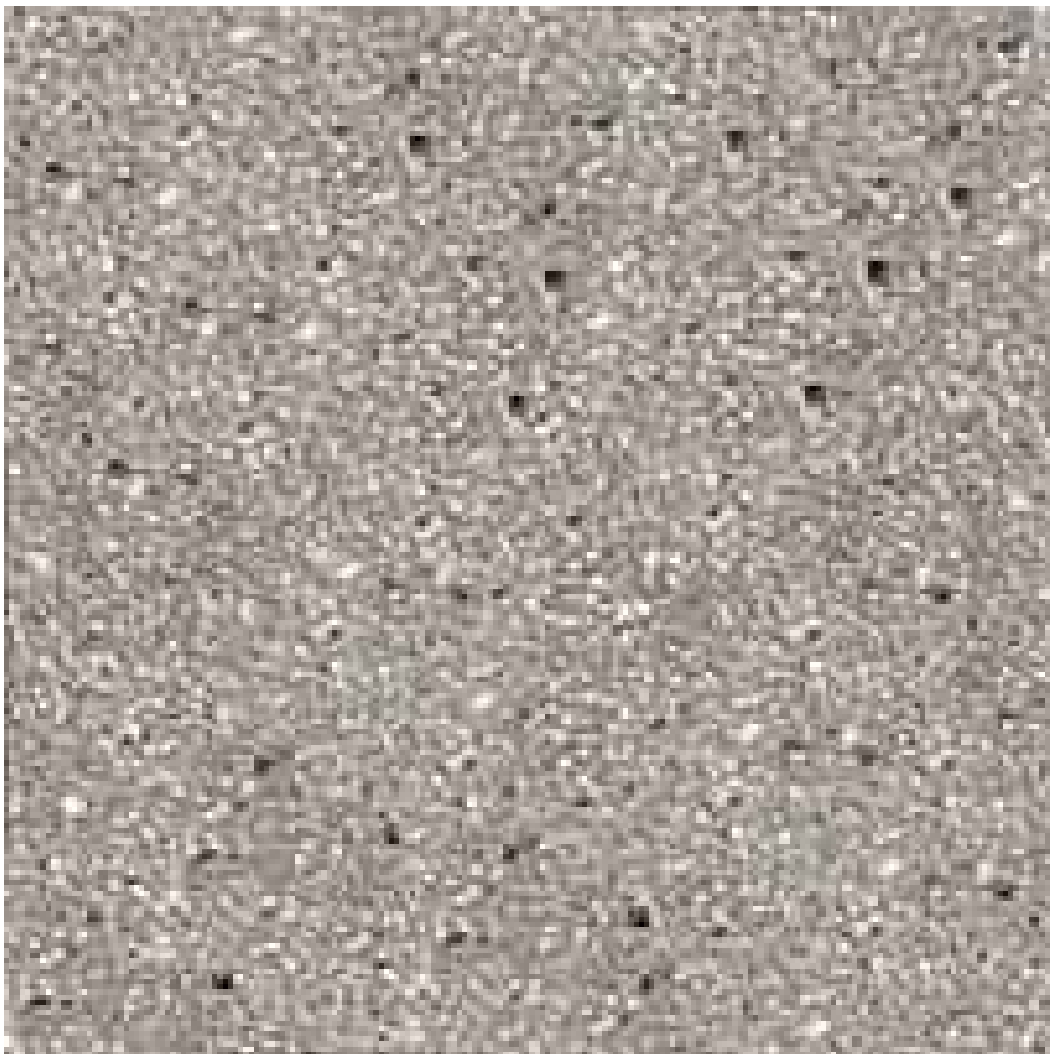


10 OUTDOOR CHIMES
SCALE: N.T.S.



6 PLANTER BENCH
SCALE: N.T.S.

PRODUCT INFO:
STREETLIFE
SOLID SEAT BLOCKS



2 STREET - CONC. UNIT PAVER ACCENT BAND
SCALE: N.T.S.

PRODUCT INFO:
STEPSTONE CALARC PAVERS
COLOR 1801



7 PEDESTRIAN LIGHT
SCALE: N.T.S.

PRODUCT INFO:
SFPUC STANDARD PED LIGHT



3 READING ROOM - PAVING STRIPE WITH LETTERS
SCALE: N.T.S.



8 BIKE RACK
SCALE: N.T.S.



4 READING ROOM - CONC. UNIT PAVER
SCALE: N.T.S.



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LANDSCAPE DETAILS
PHOTOS

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Scale: _____ N.T.S.
Project No. _____



11 OUTDOOR READING ROOM - ROZANNE GERANIUM
SCALE: N.T.S.



7 OUTDOOR READING ROOM - STAR JASMINE
SCALE: N.T.S.



3 SIDEWALK PLANTING - FORTNIGHT LILY
SCALE: N.T.S.



1 SIDEWALK PLANTING - SAND STRAWBERRY
SCALE: N.T.S.



12 OUTDOOR READING ROOM - FLOWERING MAPLE
SCALE: N.T.S.



8 OUTDOOR READING ROOM - MEXICAN LOOSESTRIPE
SCALE: N.T.S.



4 SIDEWALK PLANTING - BERKELEY SEDGE
SCALE: N.T.S.



2 SIDEWALK PLANTING - WHITE HELIOTROPE
SCALE: N.T.S.



13 OUTDOOR READING ROOM - LADY'S MANTLE
SCALE: N.T.S.



9 SIDEWALK PLANTING - MAIDENHAIR FERN
SCALE: N.T.S.



5 SIDEWALK PLANTING - BEAR'S BREECHES
SCALE: N.T.S.



3 SIDEWALK PLANTING - LENTEN ROSE
SCALE: N.T.S.



14 OUTDOOR READING ROOM - AEONEUM SUNBURST
SCALE: N.T.S.



10 SIDEWALK PLANTING - SWORD FERN
SCALE: N.T.S.



6 SIDEWALK PLANTING - DOUGLAS IRIS
SCALE: N.T.S.



4 SIDEWALK PLANTING - CORAL BELLS
SCALE: N.T.S.



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LANDSCAPE PLANTING IMAGES

Sheet No.

L-7.7

Scale: _____ N.T.S.
Project No. _____

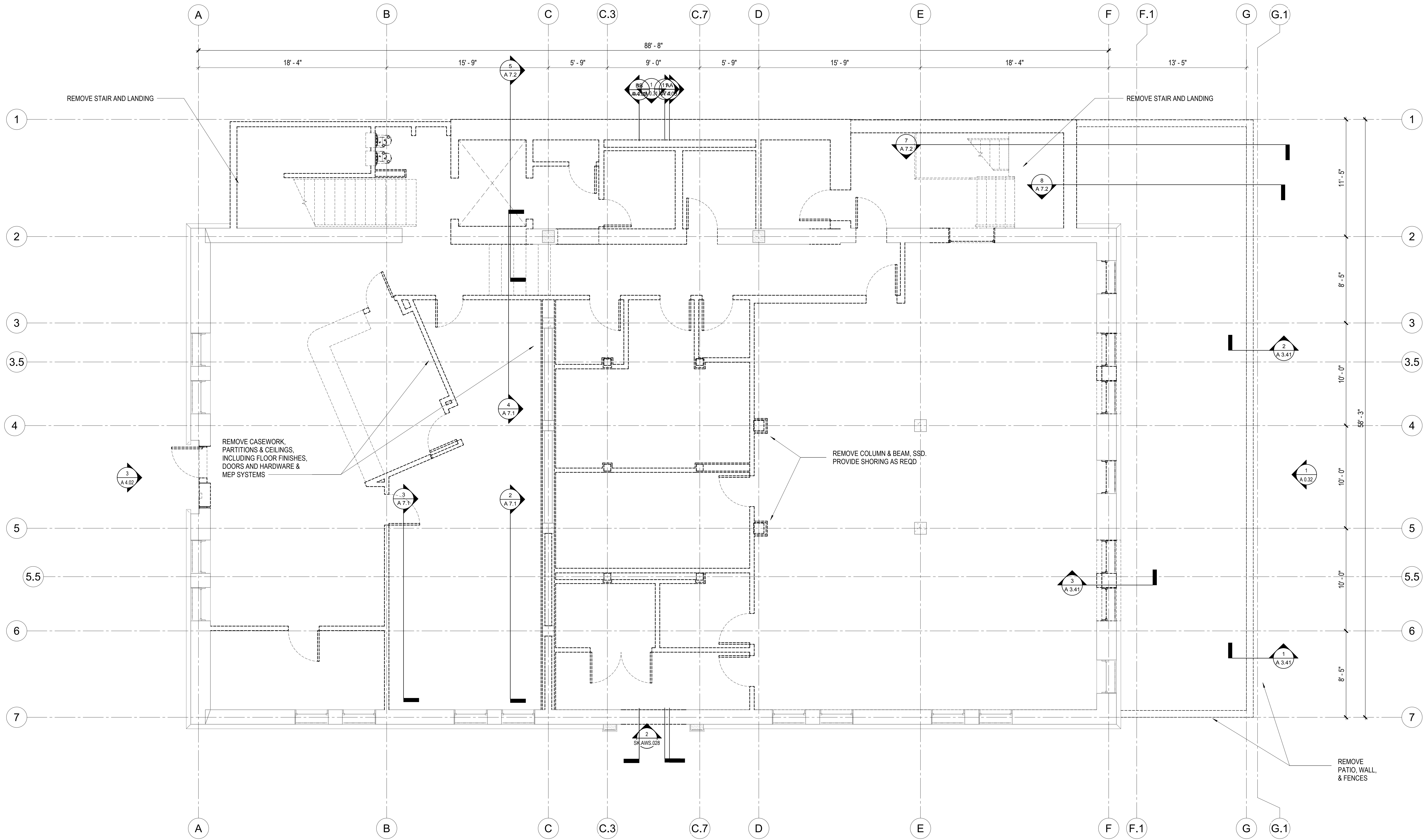


Ronald Almeida- City Architect
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1 GROUND FLOOR DEMOLITION PLAN
1/4" = 1'-0"

SHEET NOTES

NOTE: INTERIOR CONSTRUCTION WAS ENTIRELY REPLACED IN 1997 REMODEL. PROPOSED GROUND FLOOR INTERIOR DEMOLITION DOES NOT INCLUDE HISTORIC FABRIC OR CHARACTER DEFINING FEATURES.

KEYNOTES

LEGEND

- (E) CONC OR MASONRY WALL TO REMAIN
- DEMOLISH PORTION OF (E) WALL, COLUMN, OR OTHER BUILDING ELEMENT AS DESCRIBED

2/4/2020

No.	Date	Revisions

PM Andrew Sohn
PA Andrew Sohn
Drawn Author
Checked Checker

Drawing Title

GROUND FLOOR DEMOLITION
PLAN

Sheet No.

A 0.21

Scale: 1/4" = 1'-0"

Project No.

1806

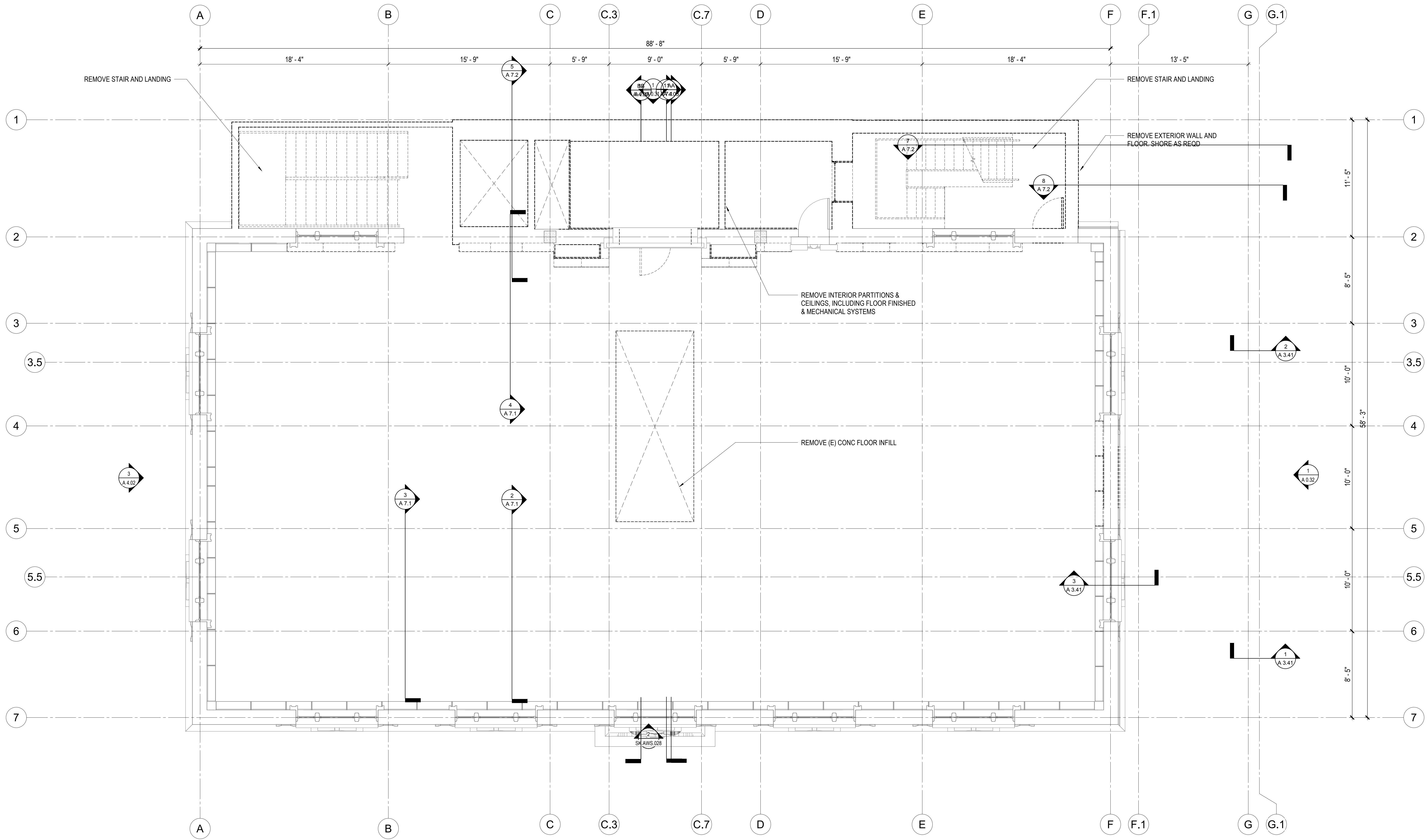


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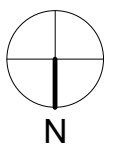
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1 MAIN FLOOR DEMOLITION PLAN
1/4" = 1'-0"



SHEET NOTES

KEYNOTES

LEGEND

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- DEMOLISHH PORTION OF (E) WALL, COLUMN, OR OTHER BUILDING ELEMENT AS DESCRIBED

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Drawing Title

MAIN FLOOR DEMOLITION PLAN

Sheet No.

A 0.22

Scale: 1/4" = 1'-0"

Project No.

1806

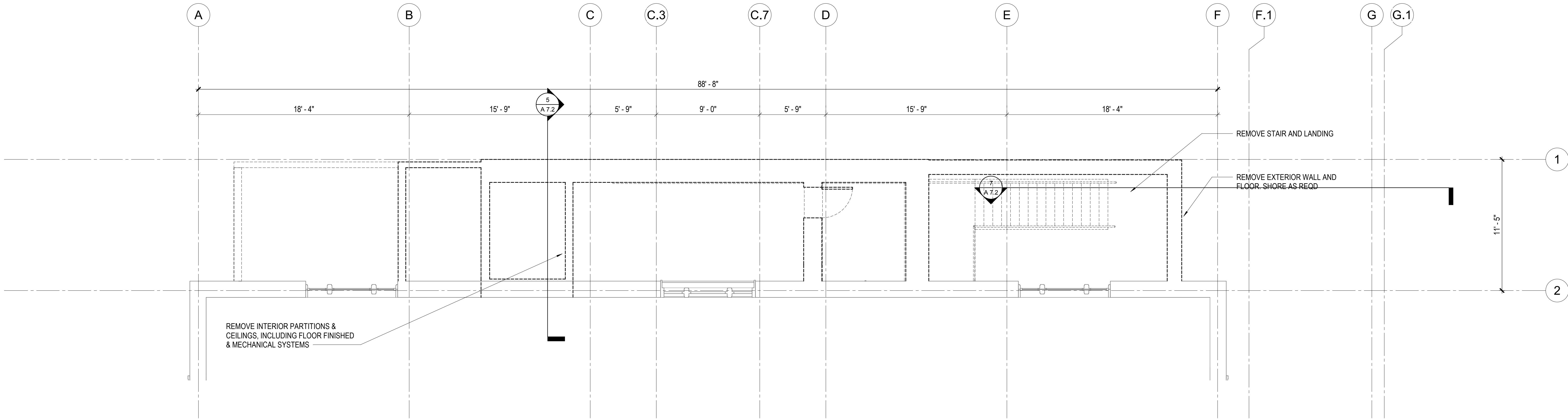


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3 MECHANICAL FLOOR DEMOLITION PLAN
1/4" = 1'-0"

SHEET NOTES

- 1. SEE STRUCTURAL DRAWINGS FOR DEMOLITION OF (E) CONCRETE ELEMENTS
- 2. SEE MEP DRAWINGS FOR DEMOLITION OF MECHANICAL, ELCTICORAL, AND PLUMBING SYSTEMS.

KEYNOTES

LEGEND

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- DEMOLISHH PORTION OF (E) WALL, COLUMN, OR OTHER BUILDING ELEMENT AS DESCRIBED

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MECHANICAL LEVEL DEMOLITION PLAN

Sheet No. A 0.23

Scale: 1/4" = 1'-0"

Project No.

1806

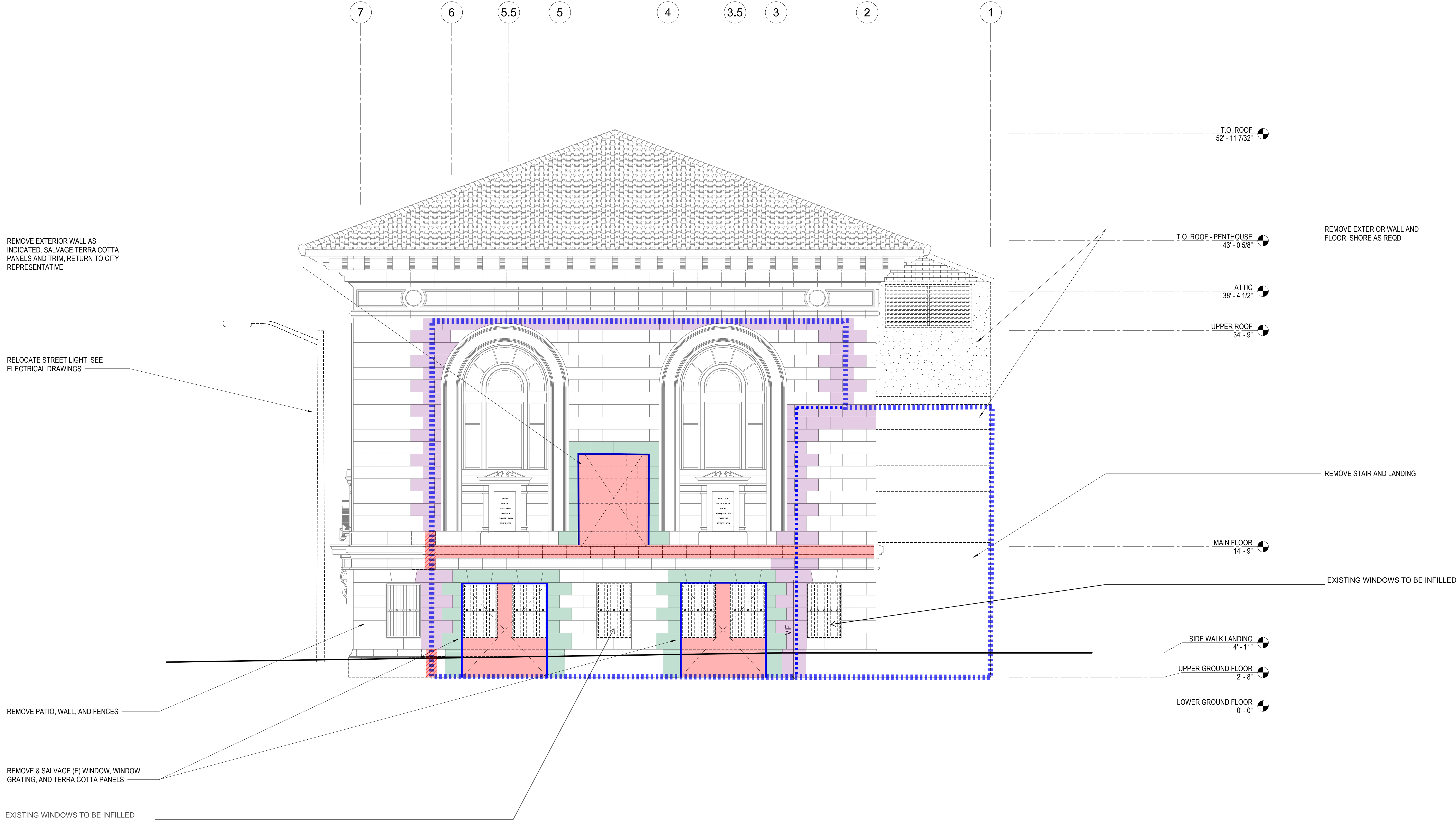


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1 WEST DEMOLITION ELEVATION
1/4" = 1'-0"

SHEET NOTES

KEYNOTES

LEGEND

- REMOVE TERRA COTTA TILE
- SAW CUT TERRA COTTA PANEL WHERE SURFACE PROJECTS FROM PRIMARY WALL SURFACE
- REMOVE TERRA COTTA TILE. SAW CUT AND REINSTALL
- ATTACHMENT OF ADDITION TO EXISTING BUILDING SURFACE THROUGH TERRA COTTA PANEL JOINTS ONLY. TERRA COTTA PANEL TO REMAIN
- EXTENT OF NEW OPENING
- EXTENT OF NEW ADDITION, SEE SHEET A 3.33 FOR BUILDING SECTION AT SEISMIC JOINT

1/31/2020

No.	Date	Revisions

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Drawing Title

WEST DEMOLITION ELEVATION

Sheet No.

A 0.32

Scale: 1/4" = 1'-0"

Project No.

1806

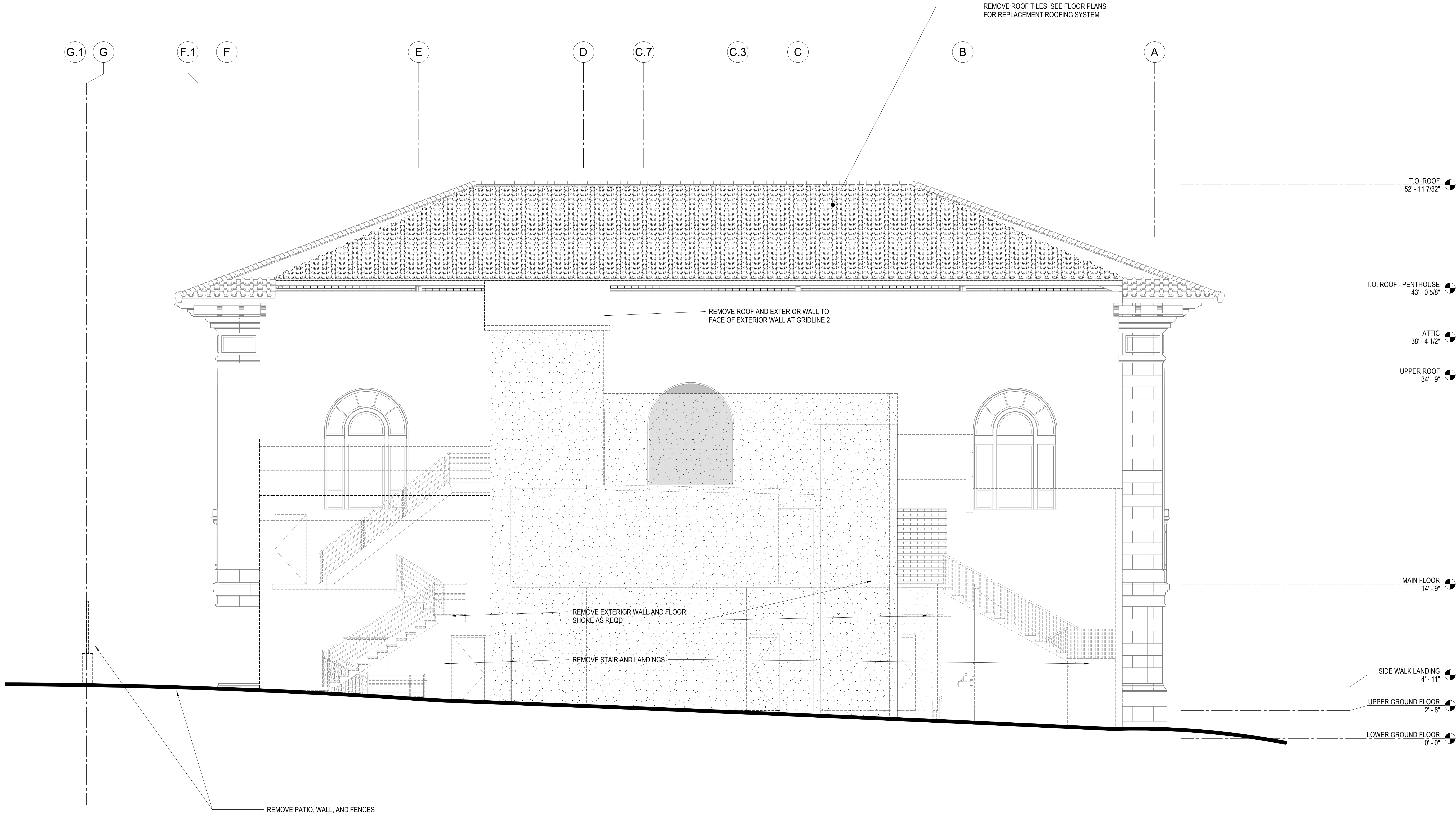


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1 SOUTH DEMOLITION ELEVATION
1/4" = 1'-0"

SHEET NOTES

KEYNOTES

LEGEND

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Drawing Title

SOUTH DEMOLITION ELEVATION

Sheet No.

A 0.31

Scale: 1/4" = 1'-0"

Project No.

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BARTLETT ST

ORANGE ALLEY

24TH ST

1 Site Plan
3/16" = 1'-0"

SHEET NOTES

KEYNOTES

LEGEND

2/4/2020

No.	Date	Revisions

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Drawing Title

SITE PLAN

Sheet No.

A 1.11

Scale: 3/16" = 1'-0"

Project No.

1806

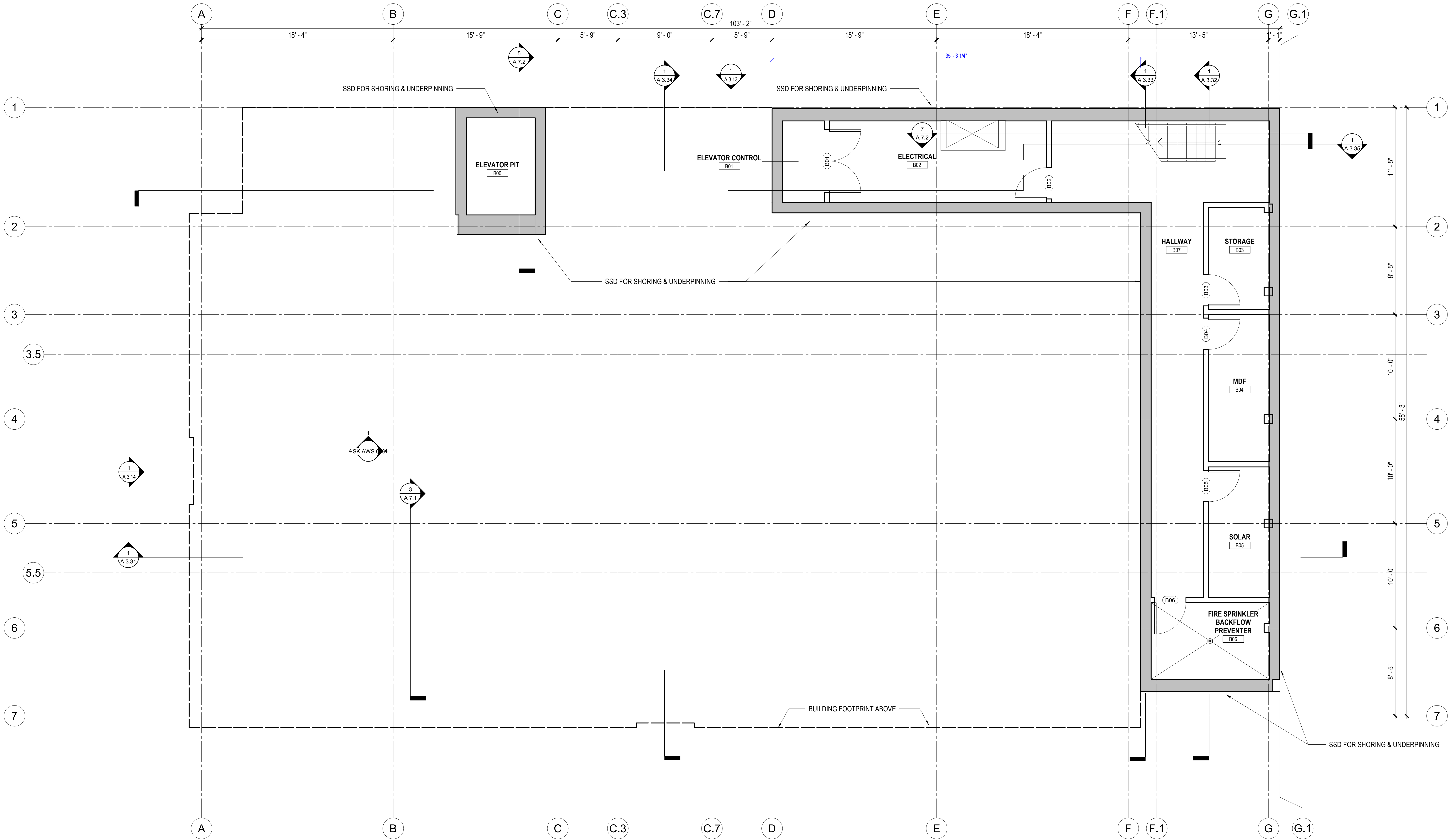


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1 BASEMENT PLAN
1/4" = 1'-0"

SHEET NOTES

KEYNOTES

LEGEND

02/04/20

No.	Date	Revisions

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Drawing Title

BASEMENT PLAN

Sheet No.

A 2.11

Scale: 1/4" = 1'-0"

Project No.

1806



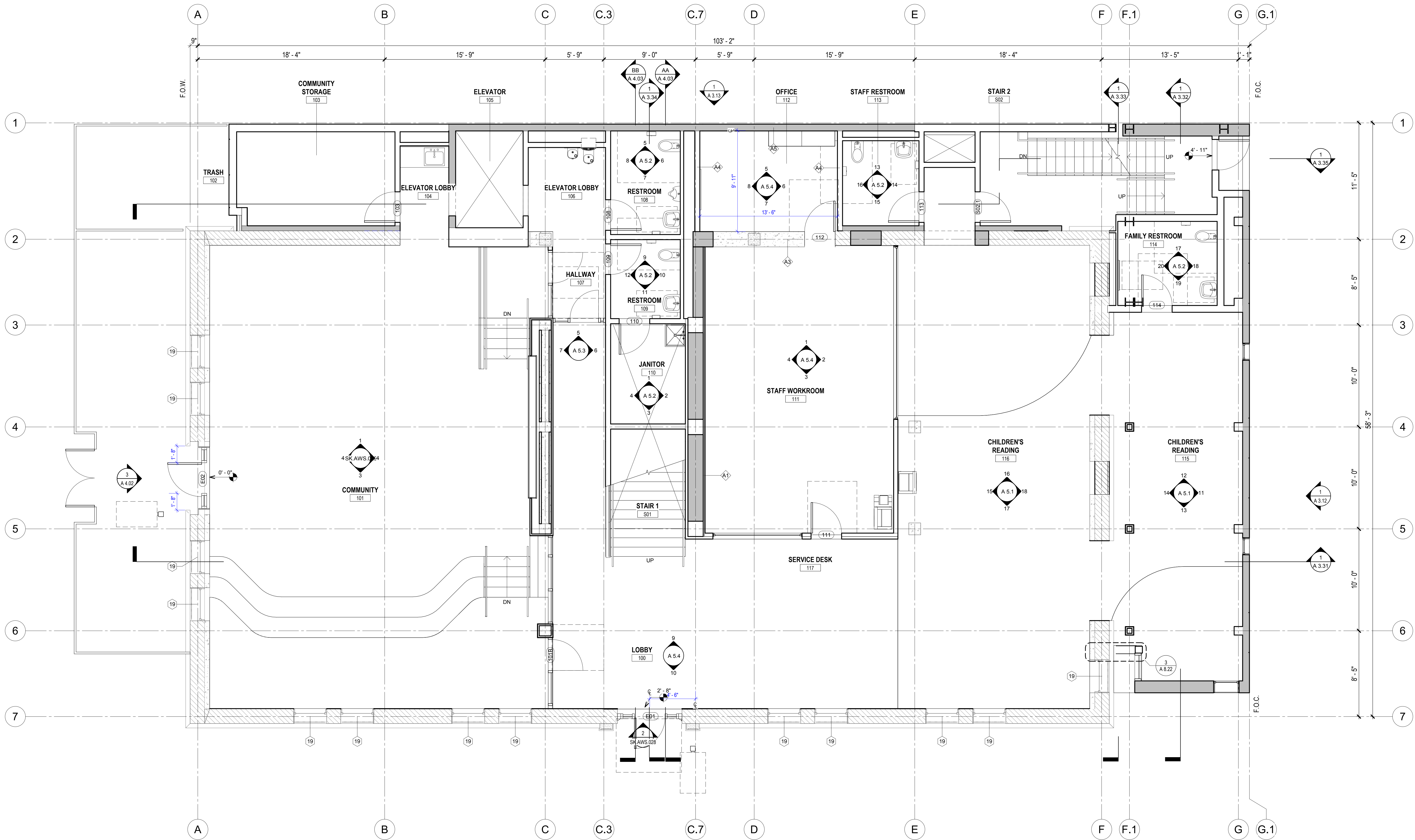
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1 GROUND FLOOR PLAN
1/4" = 1'-0"

SHEET NOTES

KEYNOTES

LEGEND

- (E) MASONRY WALL
- (E) CONCRETE WALL
- (N) CONCRETE WALL OR COLUMN
- (N) EXTERIOR RAINSCREEN
- (N) INTERIOR PARTITION

2/4/2020

No.	Date	Revisions

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Drawing Title

GROUND FLOOR PLAN

Sheet No.

A 2.12

Scale: 1/4" = 1'-0"

Project No.

1806



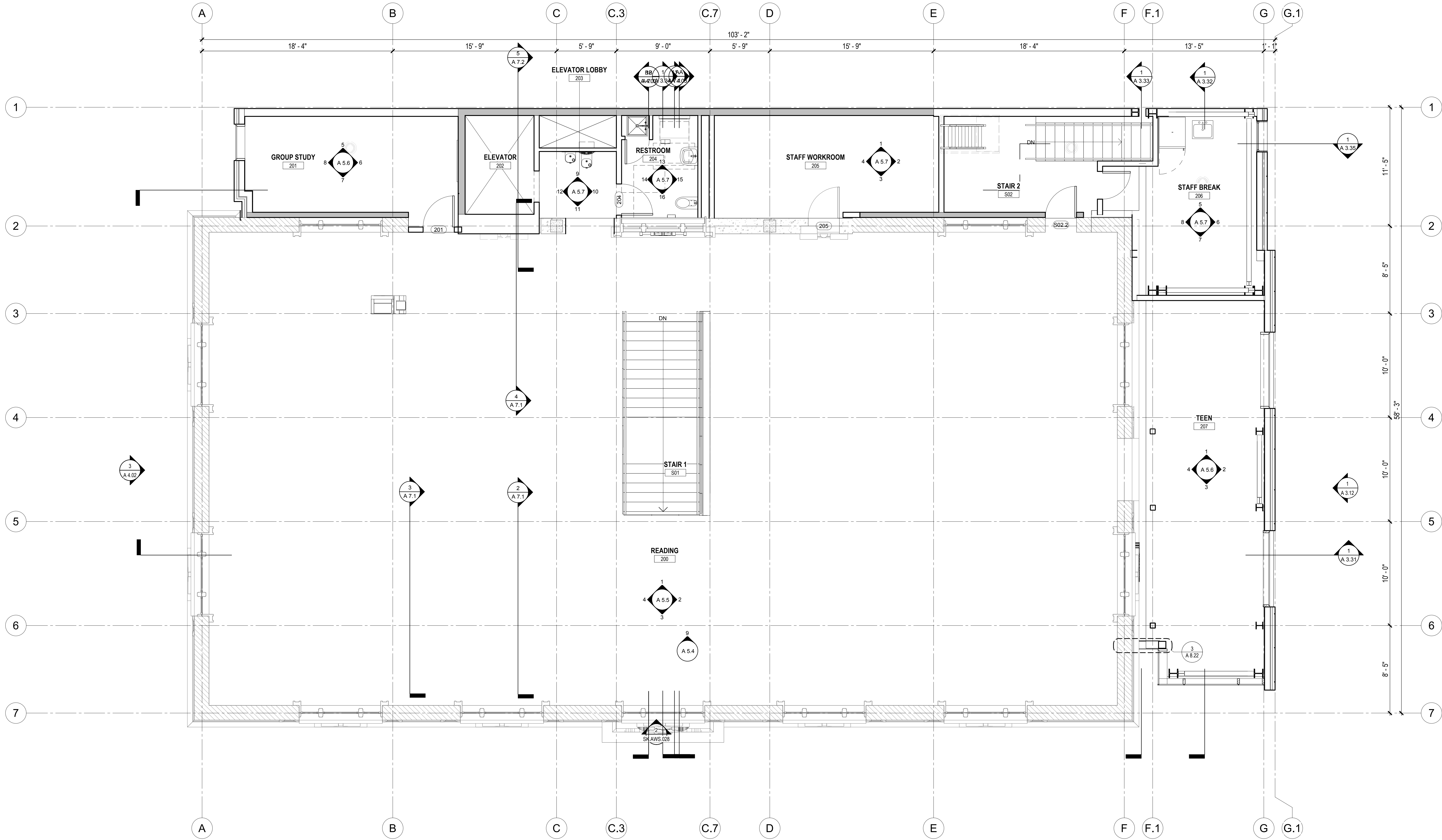
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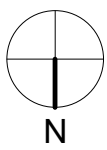
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1 MAIN FLOOR PLAN
1/4" = 1'-0"



SHEET NOTES

KEYNOTES

LEGEND

- (E) MASONRY WALL
- (E) CONCRETE WALL
- (N) CONCRETE WALL OR COLUMN
- (N) EXTERIOR RAINSCREEN
- (N) INTERIOR PARTITION

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Drawing Title

MAIN FLOOR PLAN

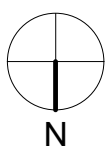
Sheet No.

A 2.13

Scale: 1/4" = 1'-0"

Project No.

1806

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IM	Andrew Sohn
A	Andrew Sohn
Drawn	Author
checked	Checker

Drawing Title

Sheet No.

A 2.14

Scale: $1/4" = 1'-0"$

Project No.

806

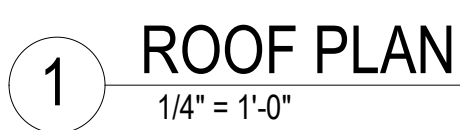
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LEGEND

[illegible]

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ROOF PLAN

A 2.21

scale: $1/4" = 1'-0"$

806

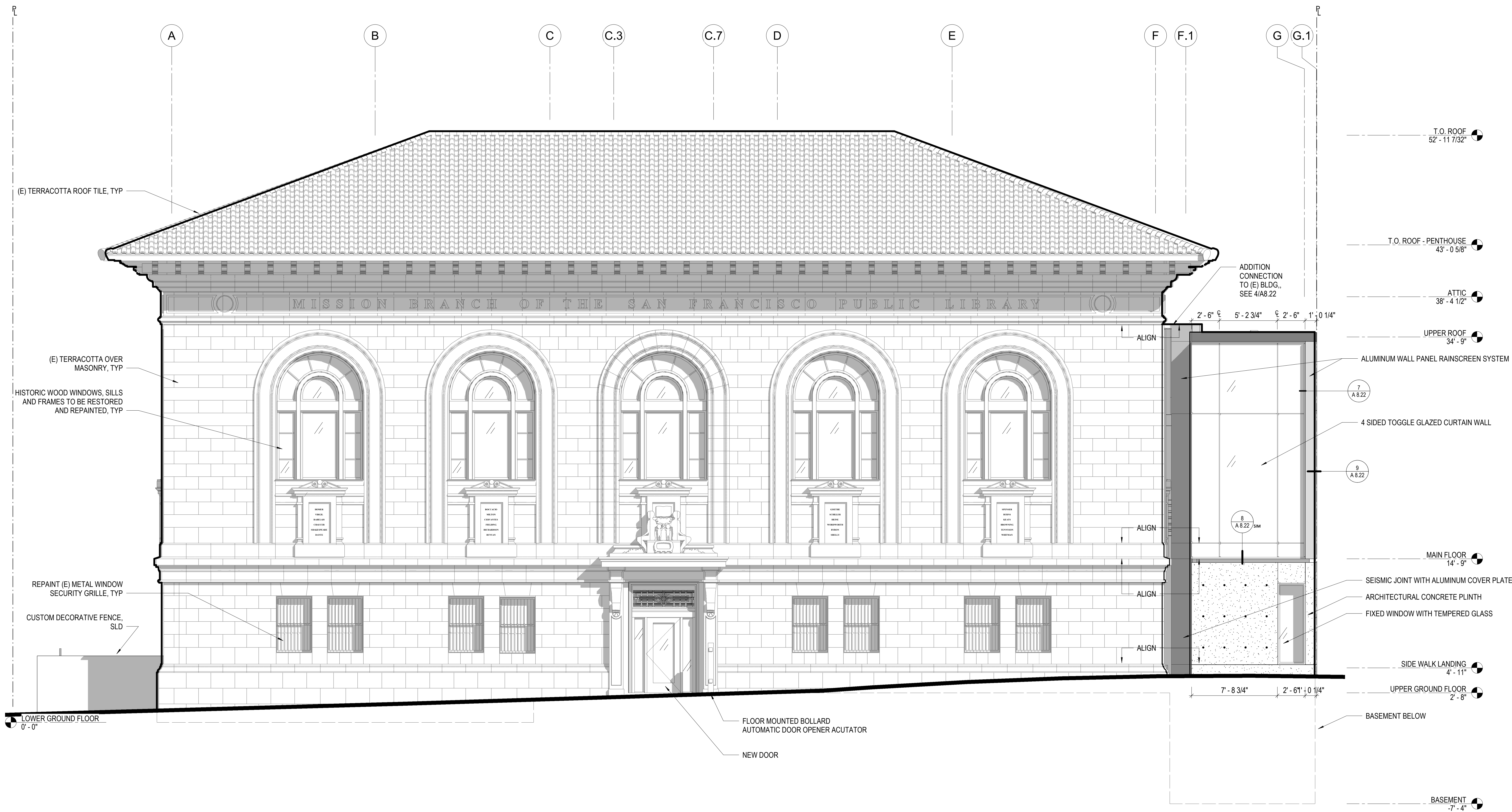


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ELEVATION AT 24TH STREET

3 NORTH ELEVATION
1/4" = 1'-0"

SHEET NOTES

KEYNOTES

LEGEND

2/4/2020

No.	Date	Revisions

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Drawing Title

NORTH ELEVATION

Sheet No.

A 3.11

Scale: 1/4" = 1'-0"

Project No.

1806

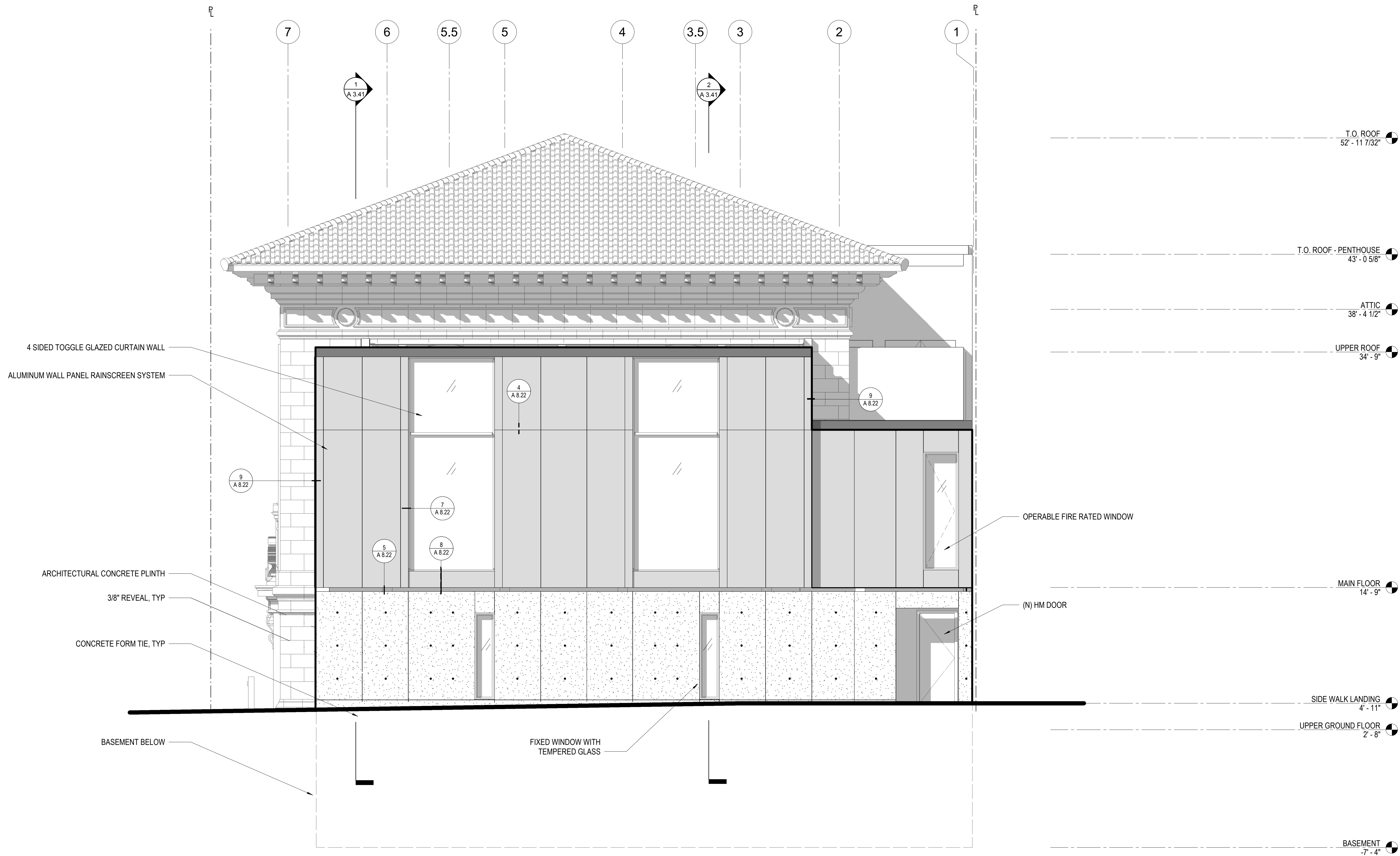


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1 WEST ELEVATION
1/4" = 1'-0"

KEYNOTES

LEGEND



ARCHITECTURAL CONCRETE
HORIZONTAL & VERTICAL
CONTROL JOINTS, TYP
CONCRETE FORM TIE, TYP

SAN FRANCISCO PUBLIC
LIBRARY GOLDEN GATE
VALLEY BRANCH RENOVATION

EXAMPLE OF CONCRETE ARTICULATION

12" = 1'-0"

2/4/2020

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Drawing Title

WEST ELEVATION

Sheet No.

A 3.12

Scale: As indicated

Project No.

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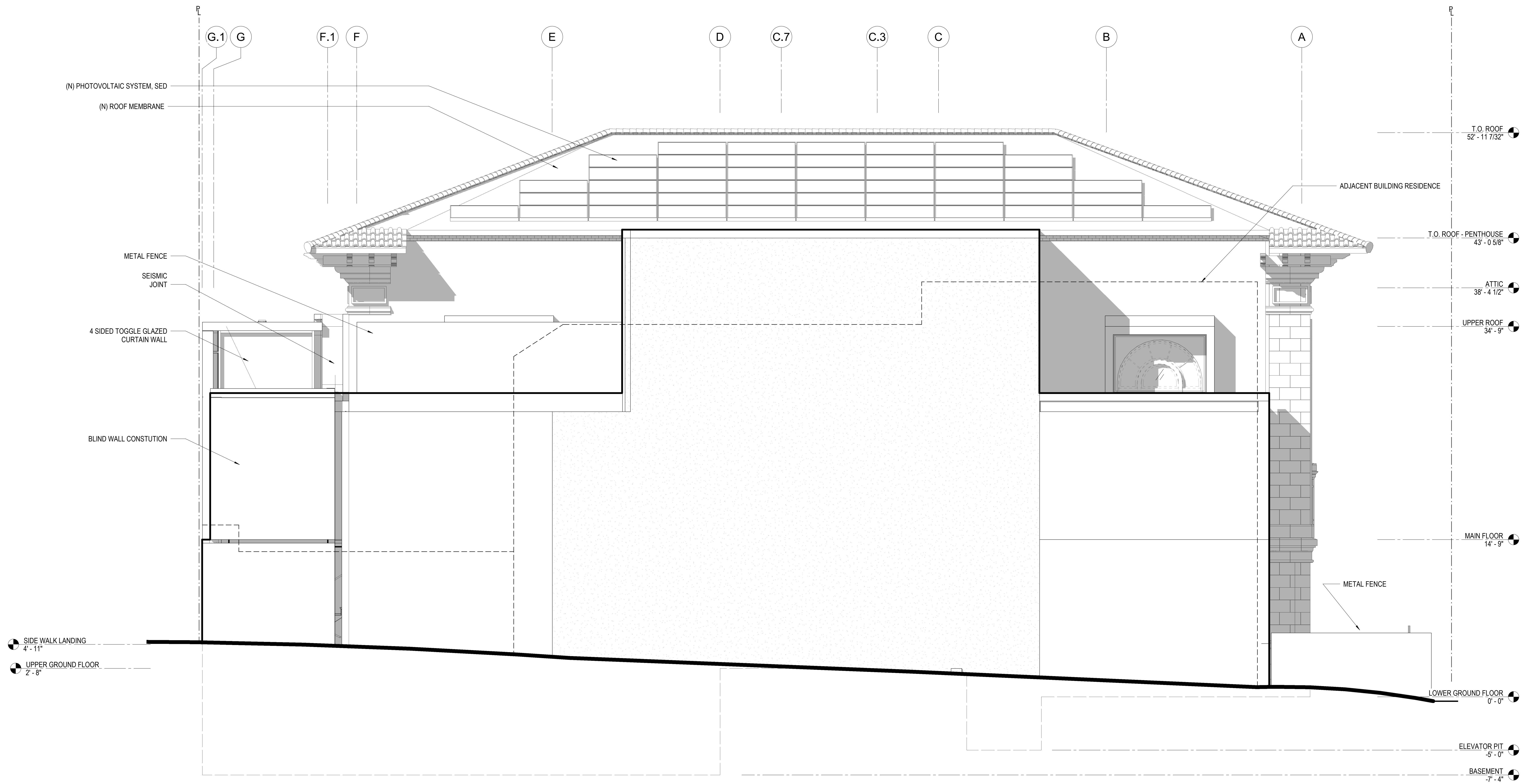


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ELEVATION AT SOUTH PROPERTY LINE

1 SOUTH ELEVATION
1/4" = 1'-0"

SHEET NOTES	KEYNOTES	LEGEND

2/4/2020

No.	Date	Revisions

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SOUTH ELEVATION

Sheet No.

A 3.13

Scale: 1/4" = 1'-0"

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ELEVATION AT BARTLETT STREET

1 EAST ELEVATION
1/4" = 1'-0"

2/4/2020

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EAST ELEVATION

Sheet No.

A 3.14

Scale: 1/4" = 1'-0"

Project No.

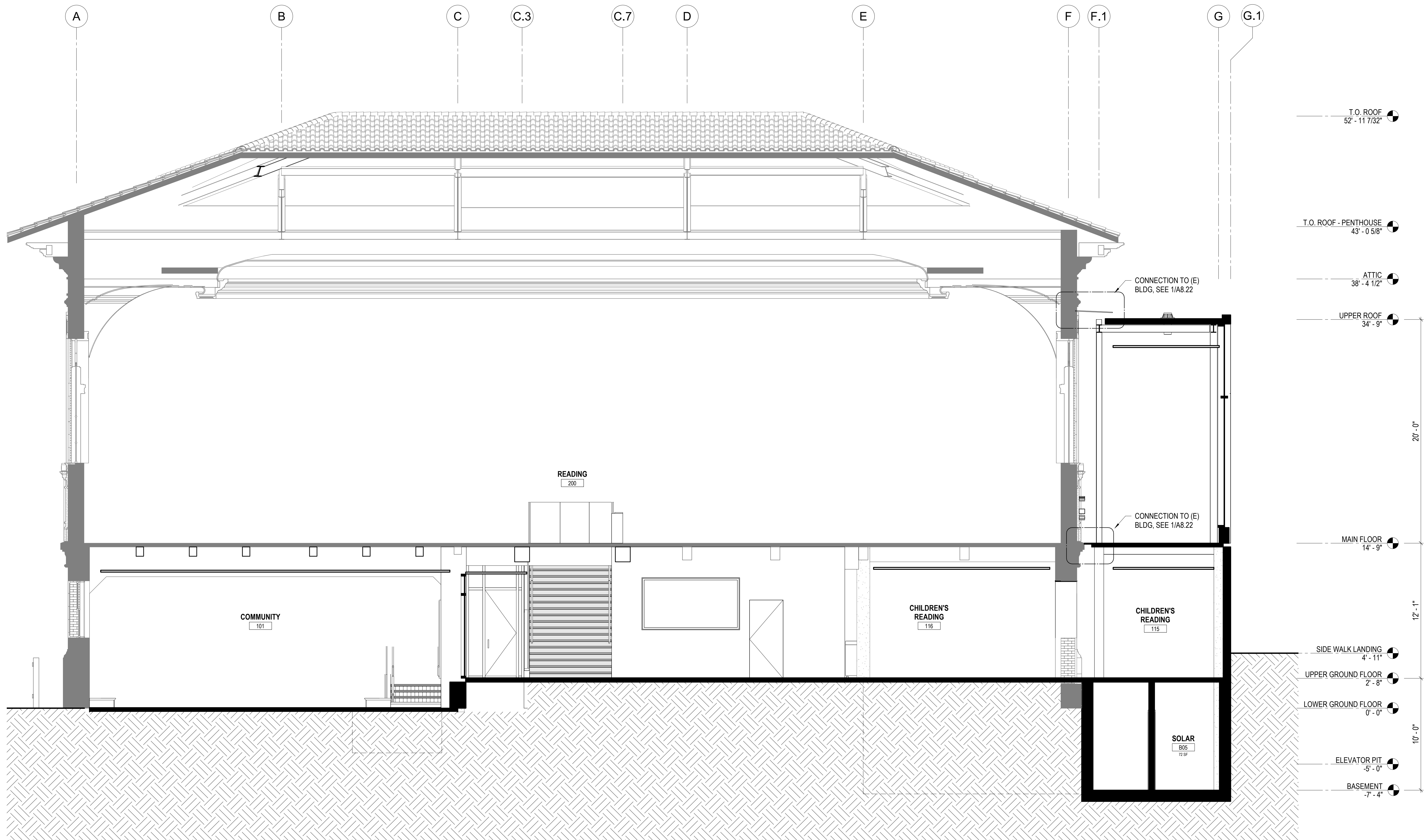
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1 LONGITUDINAL BUILDING SECTION
1/4" = 1'-0"

SHEET NOTES

KEYNOTES

LEGEND

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LONGITUDINAL BUILDING SECTION

Sheet No.

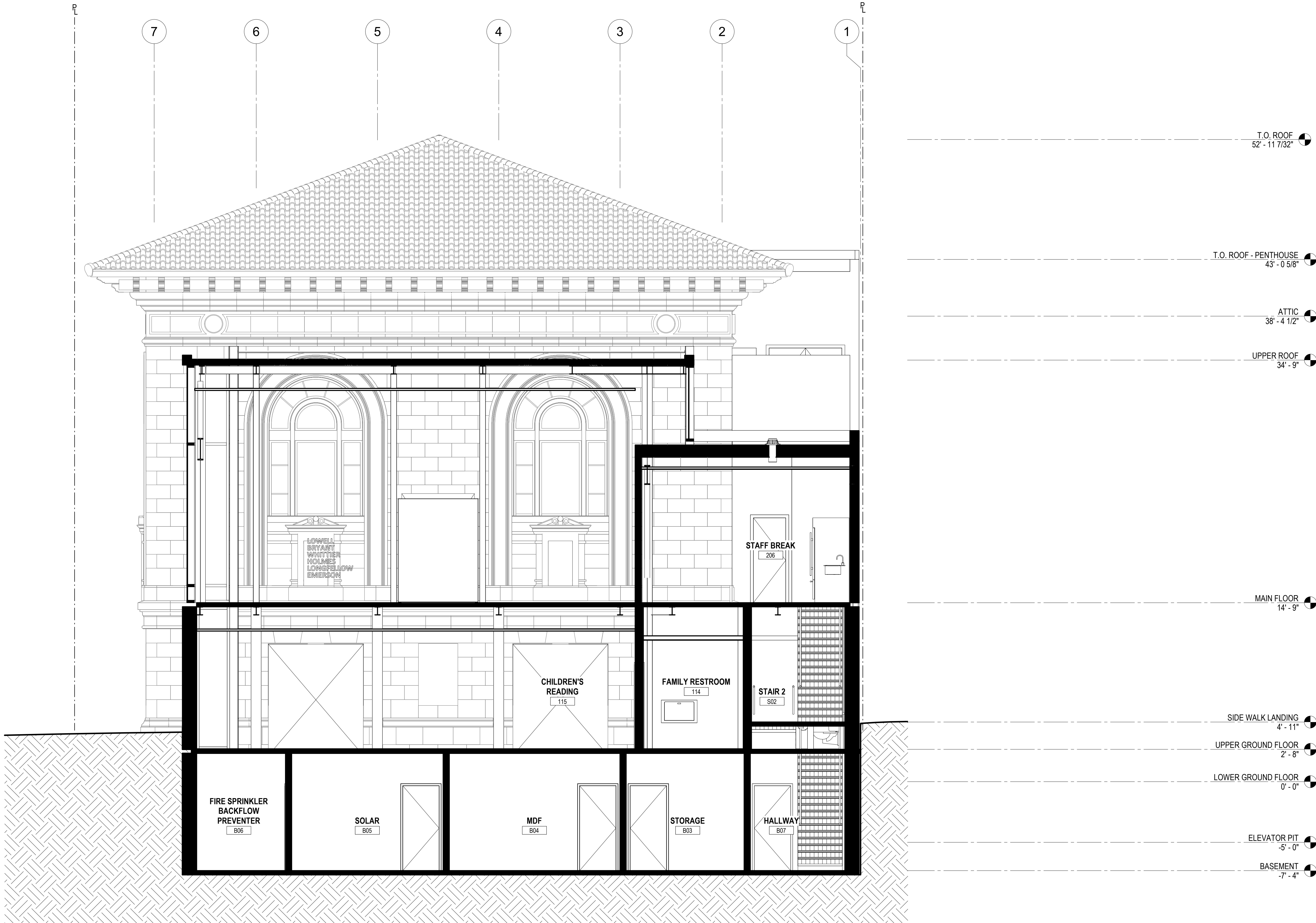
A 3.31

Scale: 1/4" = 1'-0"

Project No.

1806

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1 WEST FACADE SECTION ELEVATION
1/4" = 1'-0"

SHEET NOTES

KEYNOTES

LEGEND



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Drawing Title

WEST FACADE SECTION
ELEVATION

Sheet No.

A 3.32

Scale: 1/4" = 1'-0"

Project No.

1806

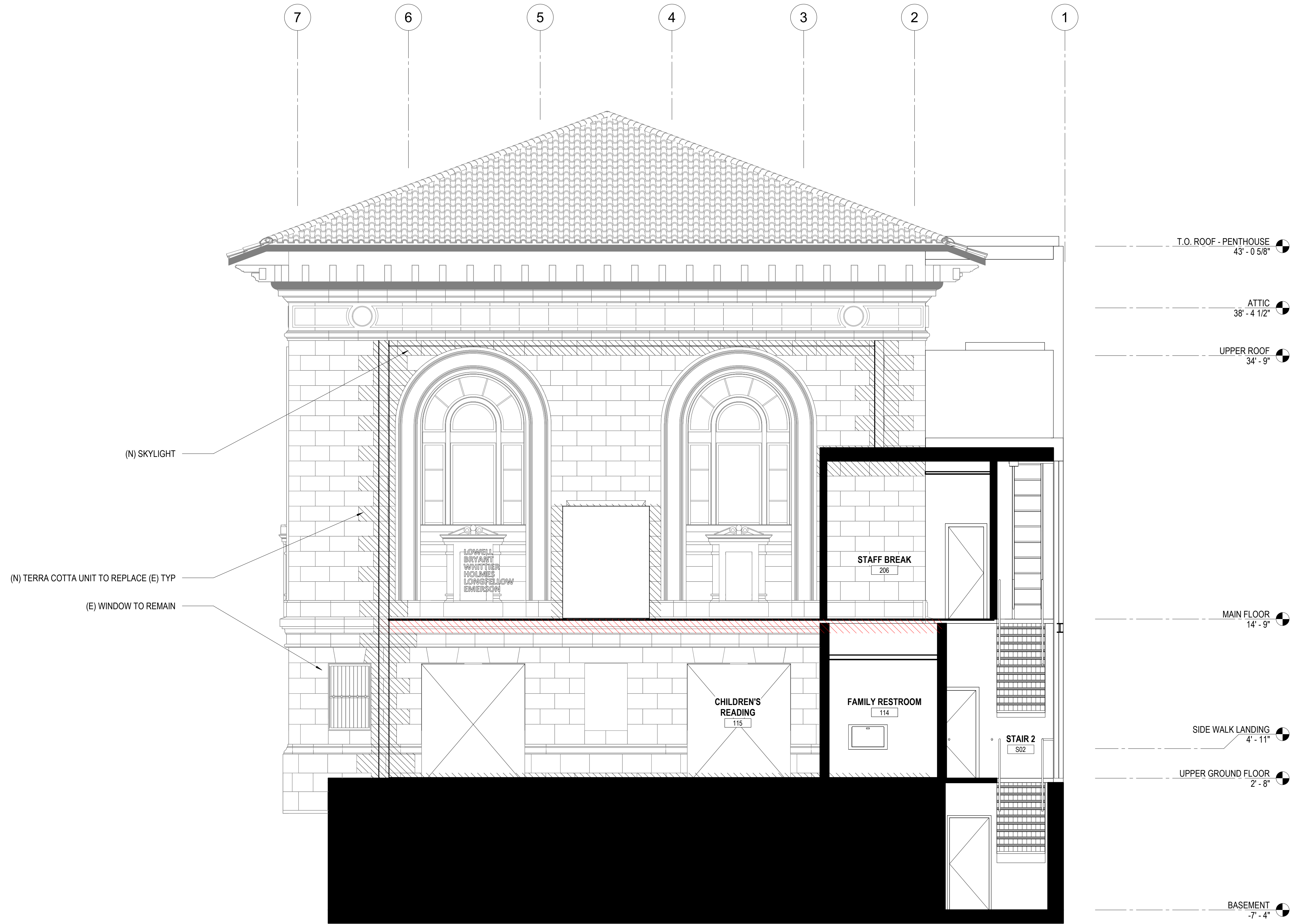


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1 SEC-EL_Historic West Facade
1/4" = 1'-0"

2/4/2020

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Drawing Title

BUILDING SECTION AT SEISMIC
JOINT

Sheet No. A 3.33

Scale: 1/4" = 1'-0"

Project No.

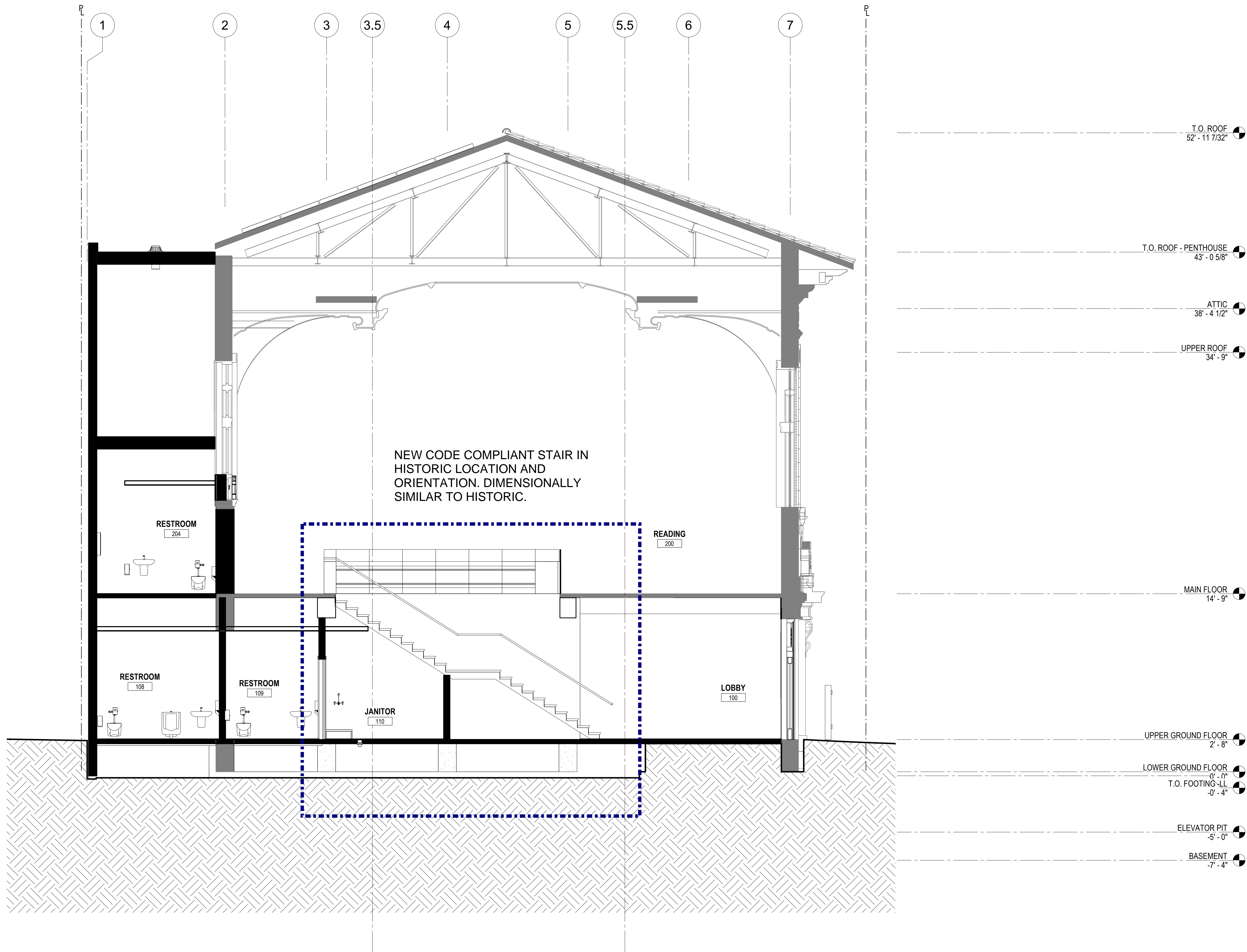


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1 SEC_Transverse_MAIN STAIR
1/4" = 1'-0"

SHEET NOTES

KEYNOTES

LEGEND

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Drawing Title

TRANSVERSE BUILDING SECTION

Sheet No.

A 3.34

Scale: 1/4" = 1'-0"

Project No.

1806

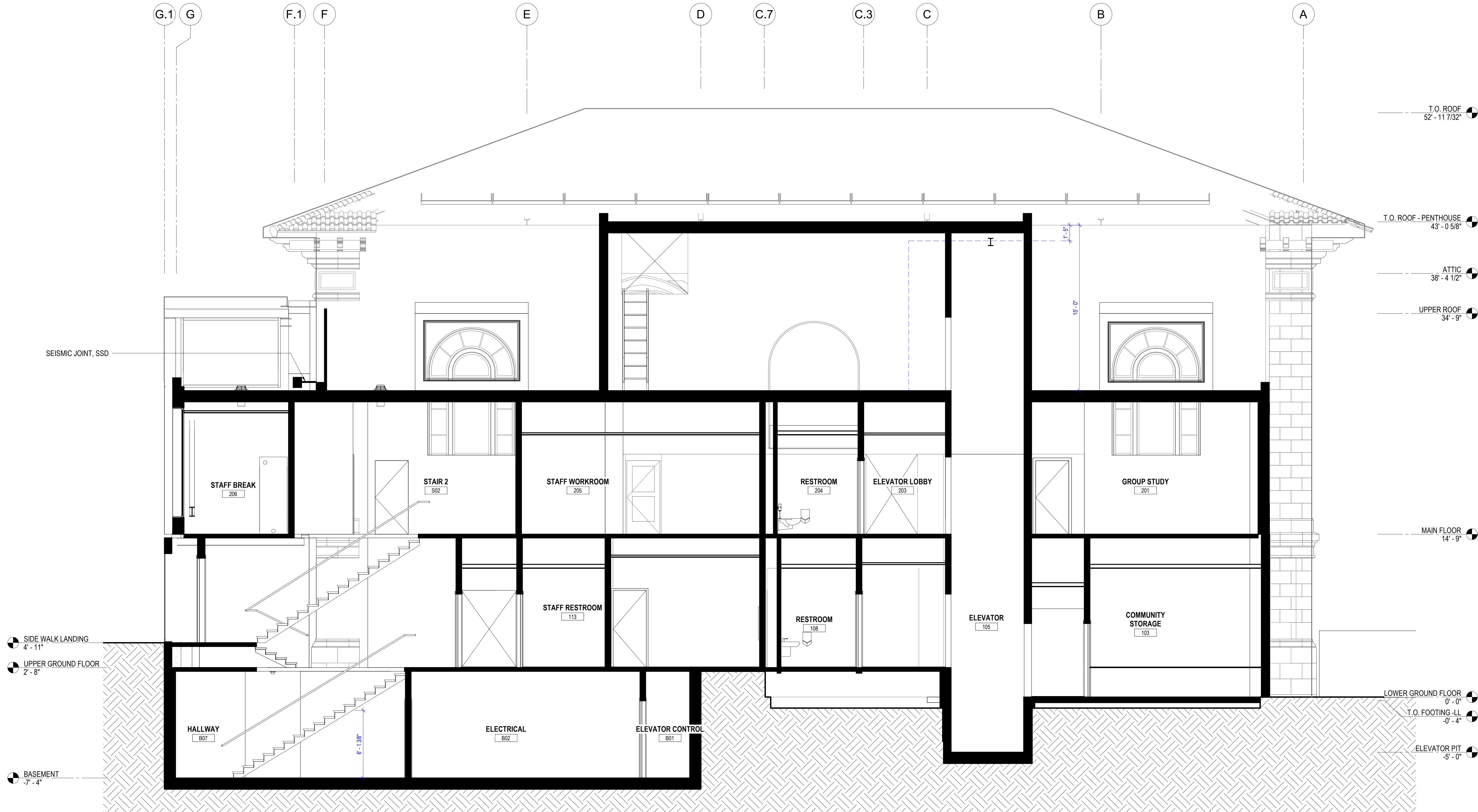


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1 SEC_Rear
1/4" = 1'-0"

SHEET NOTES

KEYNOTES

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REAR BUILDING SECTION

Sheet No.

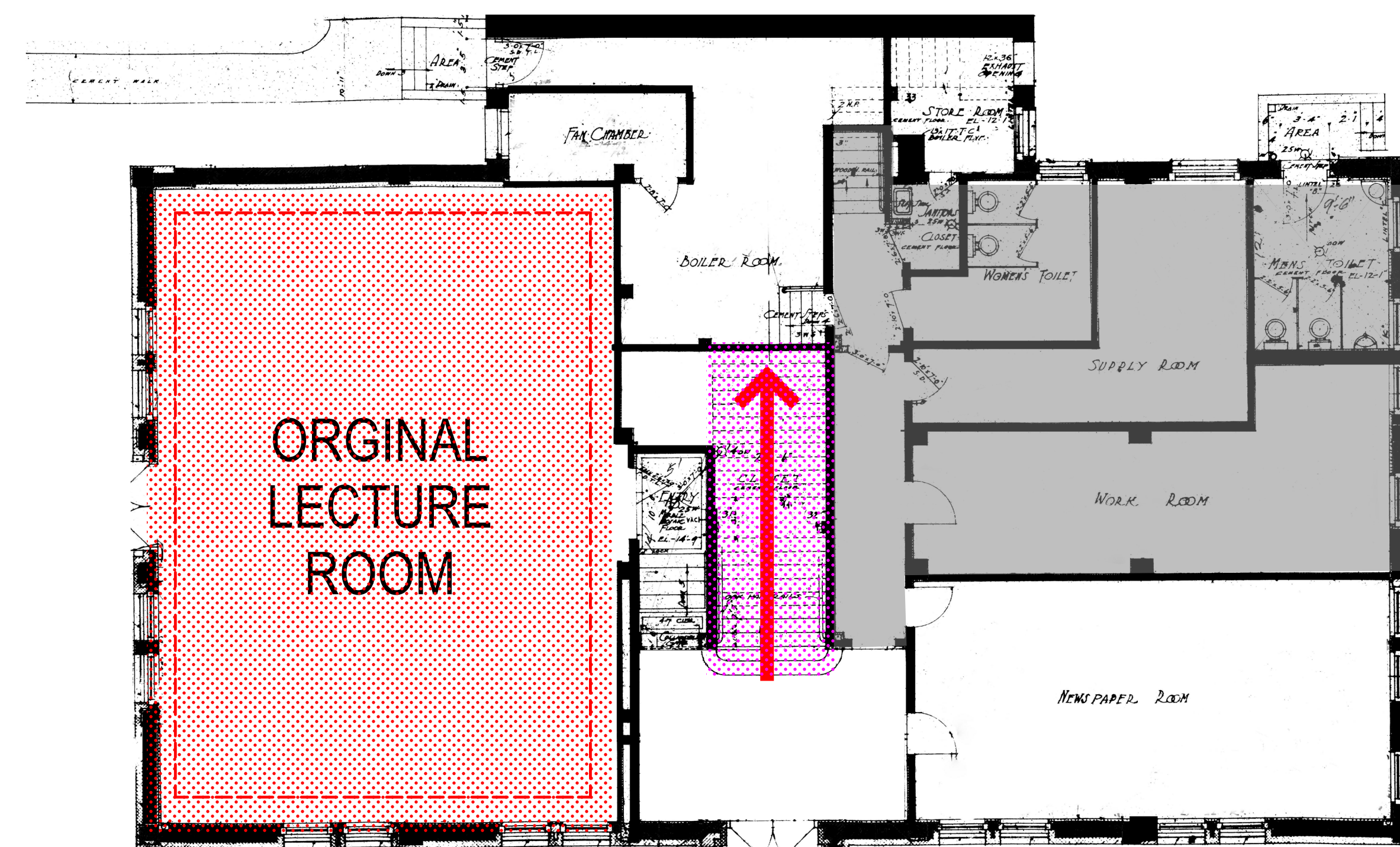
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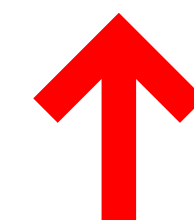
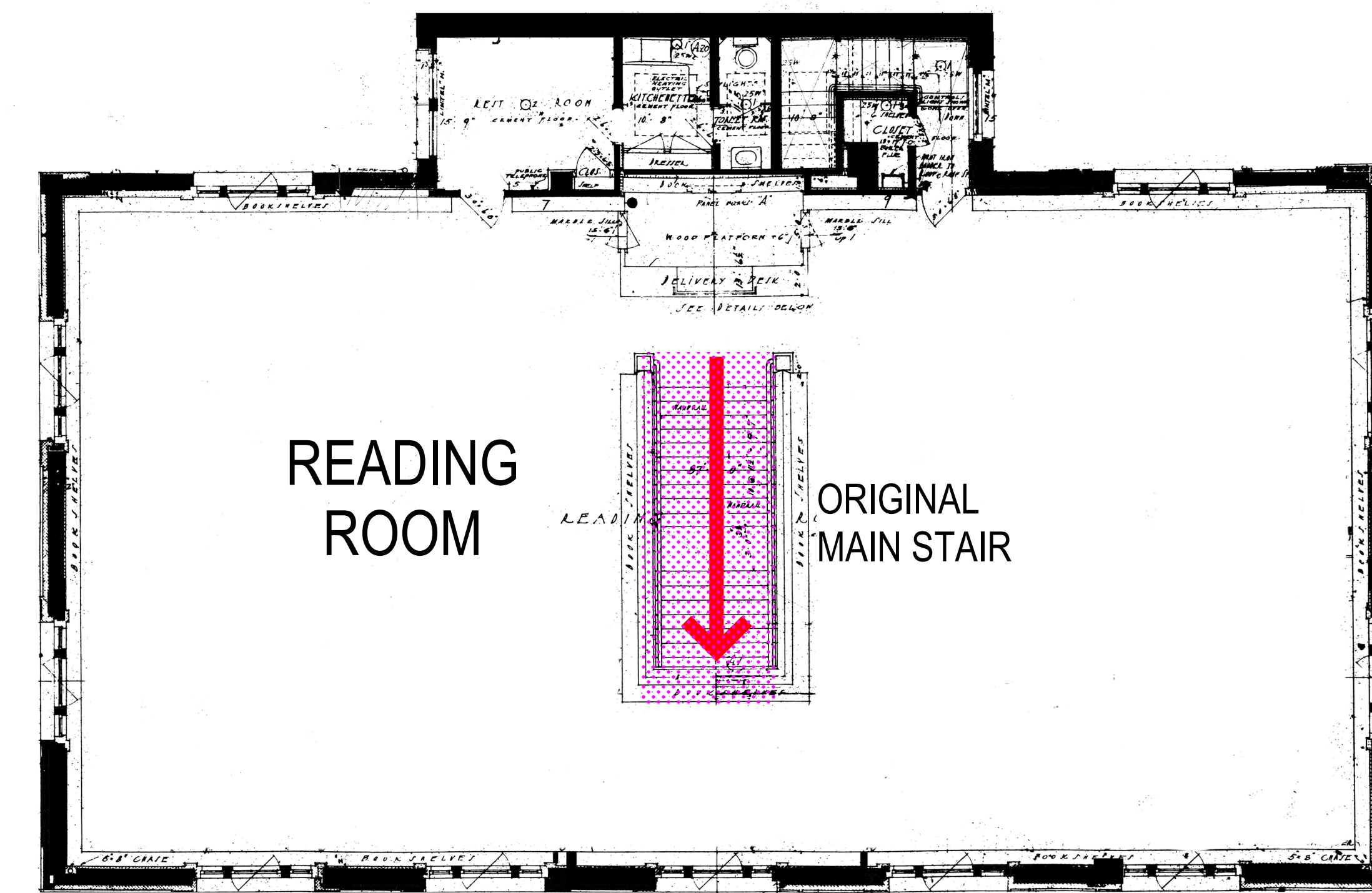
Project No.

1806

1914

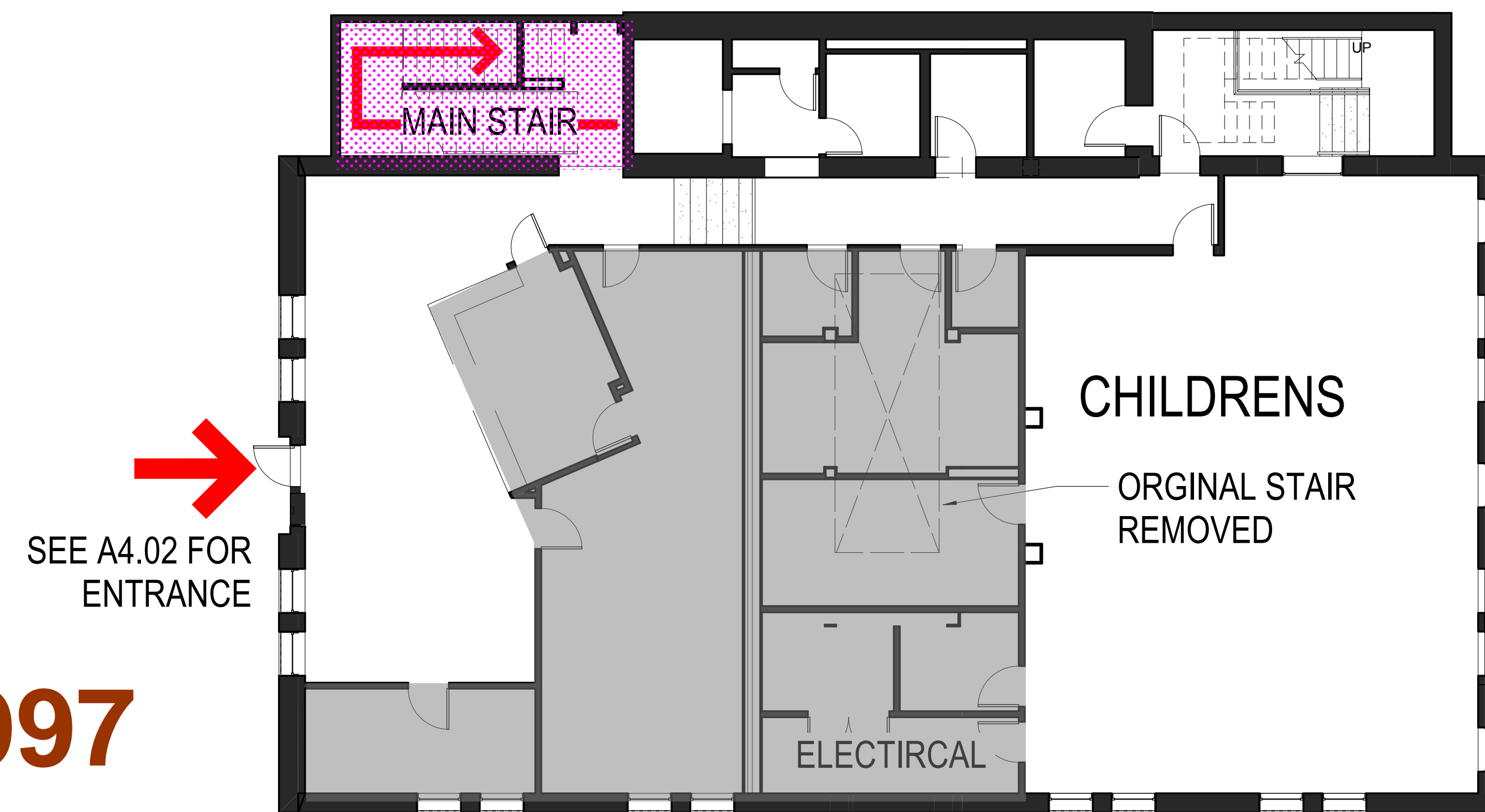


GROUND FLOOR

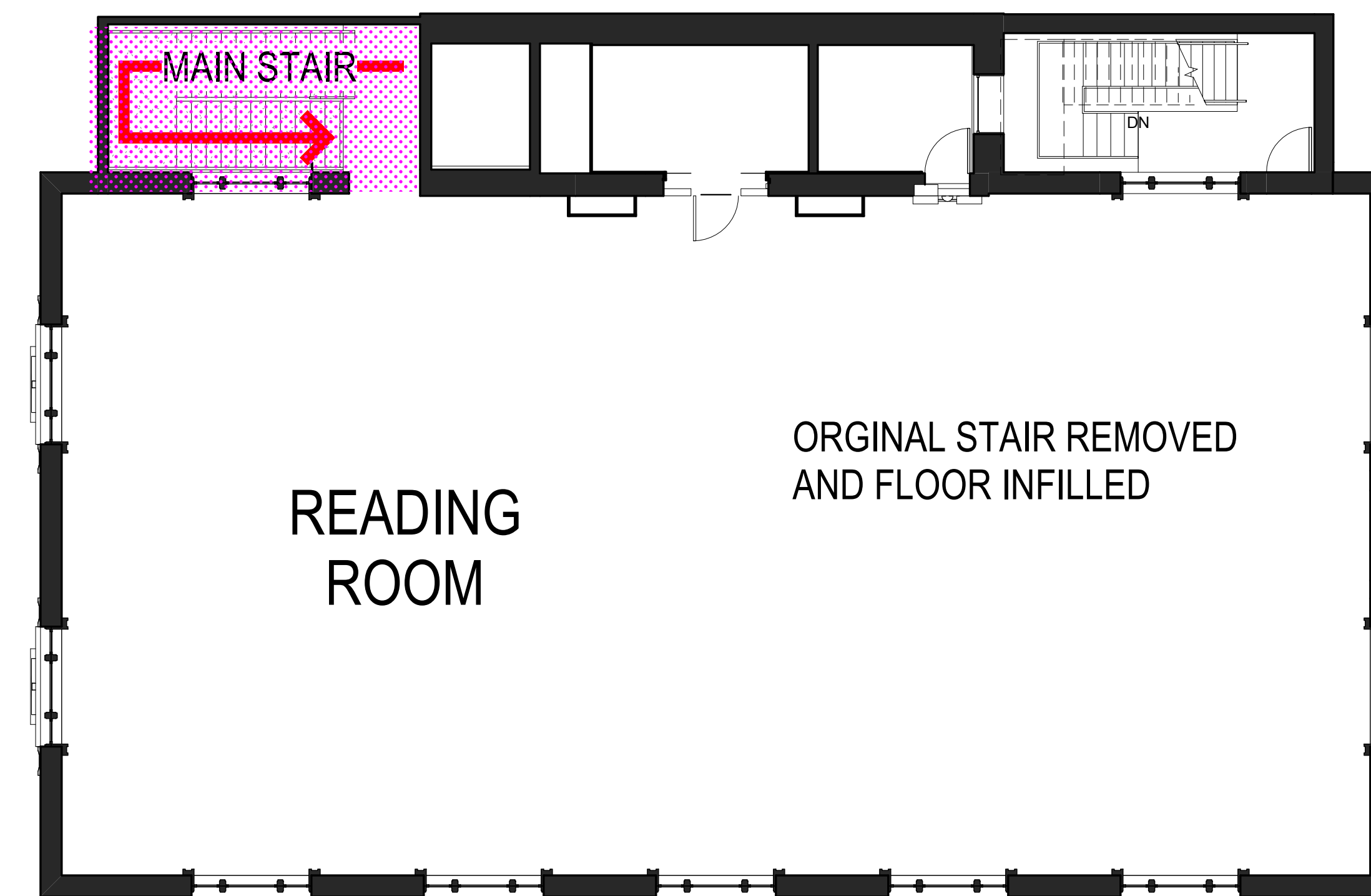
ORIGINAL MAIN
ENTRANCE

MAIN FLOOR

1997

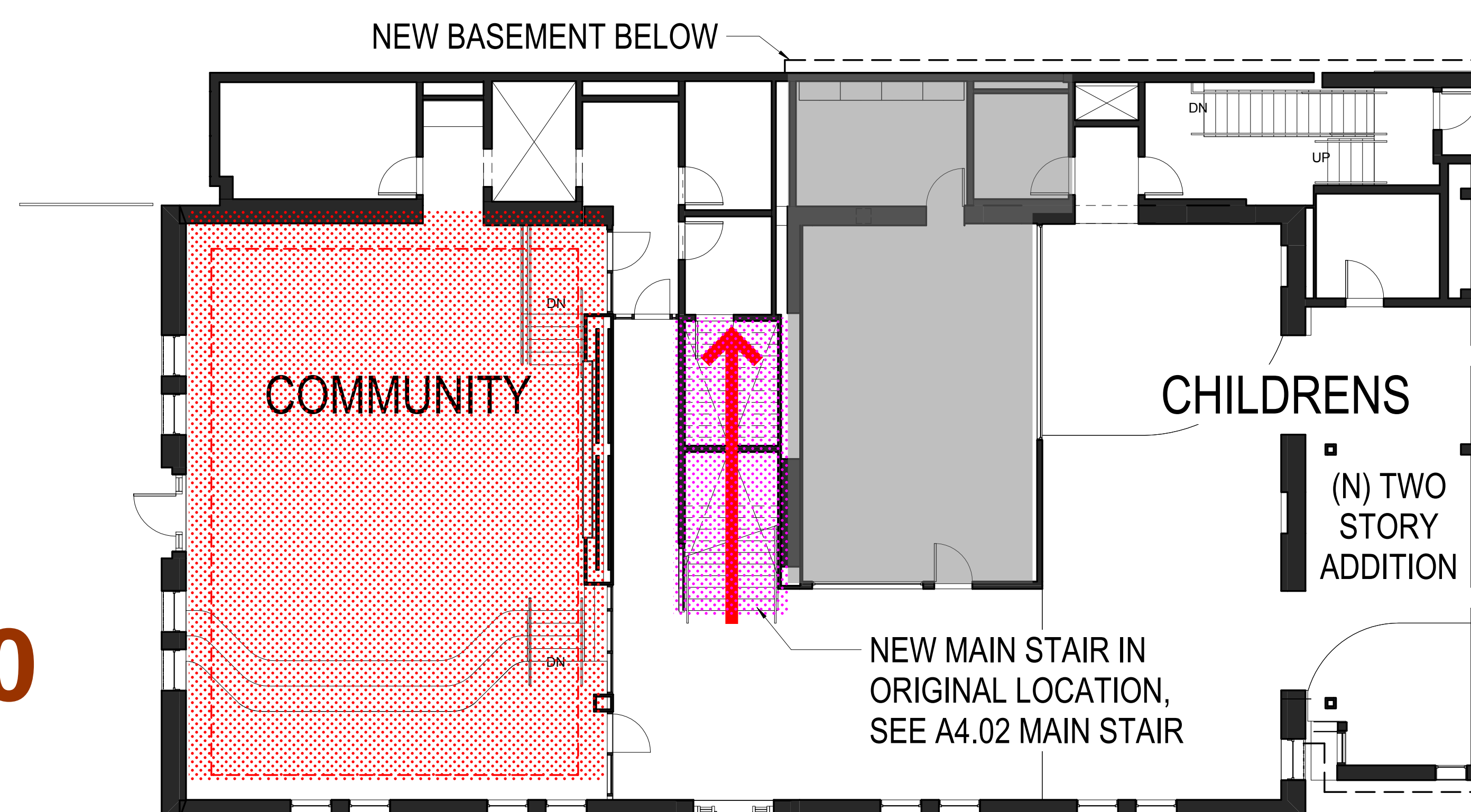


GROUND FLOOR

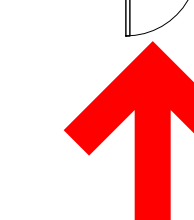
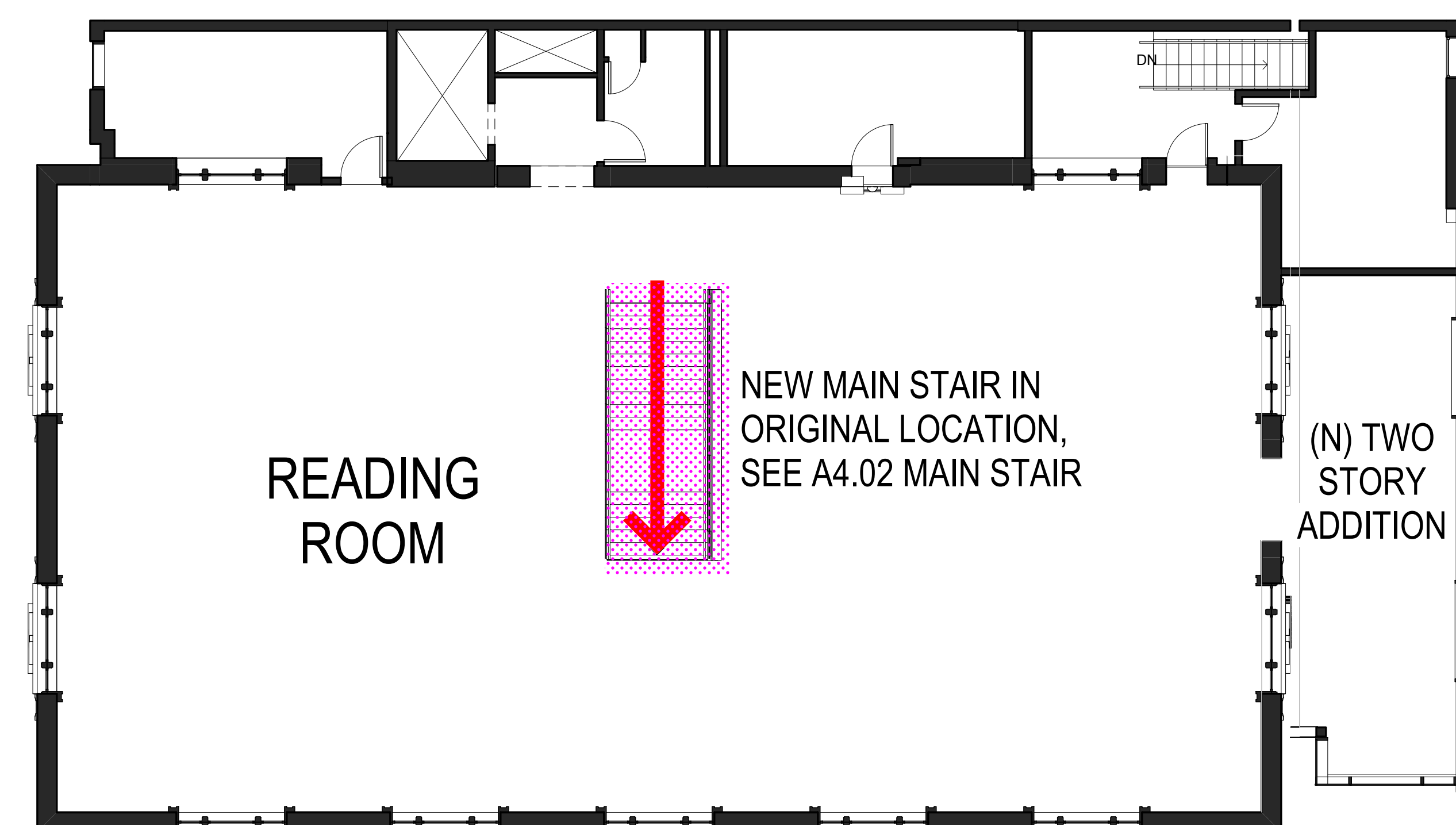


MAIN FLOOR

2020



GROUND FLOOR

NEW MAIN ENTRANCE IN ORIGINAL
LOCATION, SEE A4.02 ENTRY DOORS

MAIN FLOOR

2/4/2020

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PROPOSED RESTORATIVE
ASPECTS OF PROJECT - BUILDING
CIRCULATION

Sheet No.

A 4.01

Scale: As indicated

Project No.

1806

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ORNAMENTAL GRILLE AT
TRANSOM AND DOORS
HISTORIC DOOR TRIM

ORIGINAL - 24TH ST ENTRY

1/4" = 1'-0"



EXISTING - 24TH ST ENTRY

1/4" = 1'-0"



PROPOSED - 24TH ST ENTRY

1/4" = 1'-0"

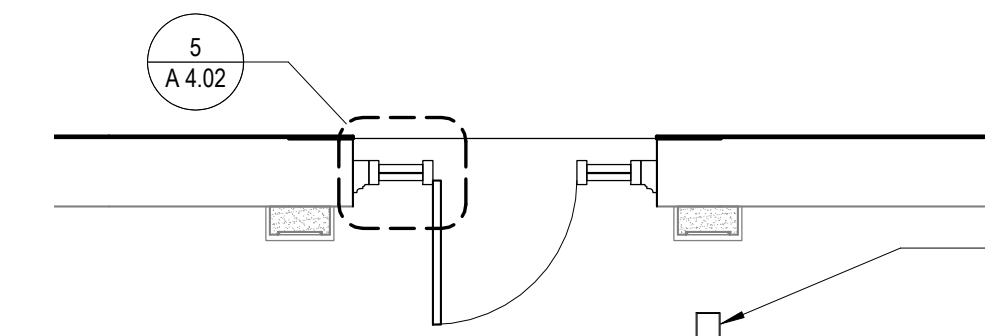


NEW LIGHT FIXTURE IN LOCATION
OF EXISTING NON-HISTORIC
FIXTURE. FIXTURE TBD
NEW GLAZED TRANSOM BEHIND
PAINTED HISTORIC ORNAMENTAL
GRILLE. GLAZING TO MATCH
GLAZING AT NEW DOOR.
NEW OIL RUBBED MEDIUM STILE
BRONZE POWER ACTUATED
ACCESSIBLE DOOR, MEDIUM
STILES; NEW DOOR FRAME TO
MATCH. DOOR AND FRAME SET
INTO HISTORIC DOOR TRIM.
DOOR AND FIXED SIDELIGHT
GLAZING TO MATCH ADJACENT
HISTORIC WINDOWS.

(E) HISTORIC DOOR TRIM

1 PROPOSED - 24TH ST ENTRY ELEVATION

1/4" = 1'-0"



BOLLARD MOUNTED HI / LO
ADA DOOR ACTUATOR
PADDLES. MATERIAL TO BE
MONUMENTAL BRONZE.

2 PROPOSED - 24TH ST ENTRY PLAN

1/4" = 1'-0"



ORIGINAL ORNAMENTAL GRILLE TO REMAIN

ORIGINAL FRAME TO REMAIN

REMOVE NON-ORIGINAL EXISTING HOLLOW METAL DOORS & FRAME

EXISTING - 24TH ST CONDITION

1/4" = 1'-0"

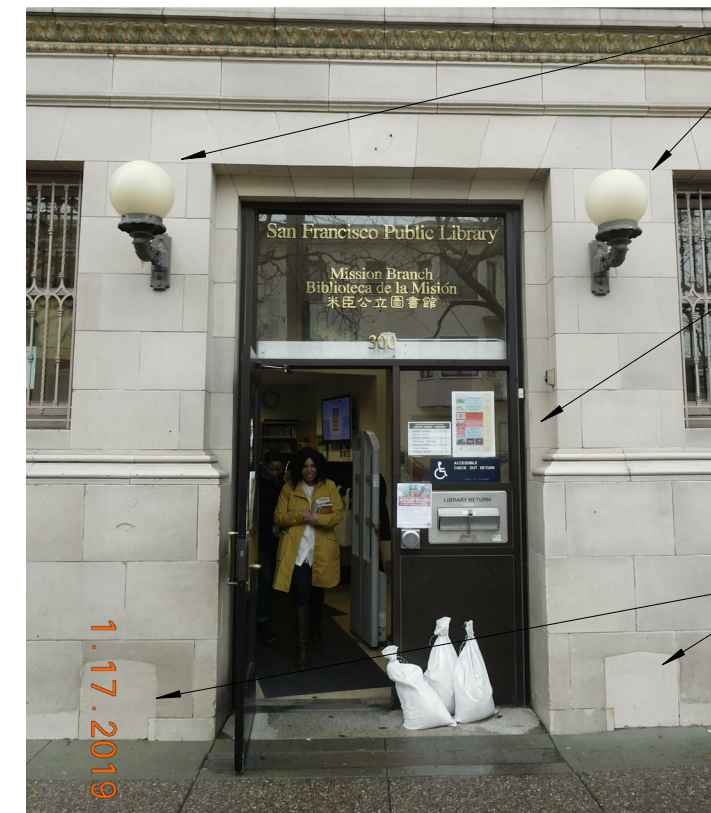


ORNAMENTAL TRANSOM GRILLE

DOOR AND SIDELIGHT
CURBS AT THREE EXTERIOR
STEPS

ORIGINAL - BARTLETT ST ENTRY

1/4" = 1'-0"



NON-HISTORIC LIGHT FIXTURES

REMOVE EXISTING NON-HISTORIC
ALUMINUM DOOR AND TRANSOM
SYSTEM TO FACE OF
TERRACOTTA PANELS

REMOVED EXTERIOR CURBS

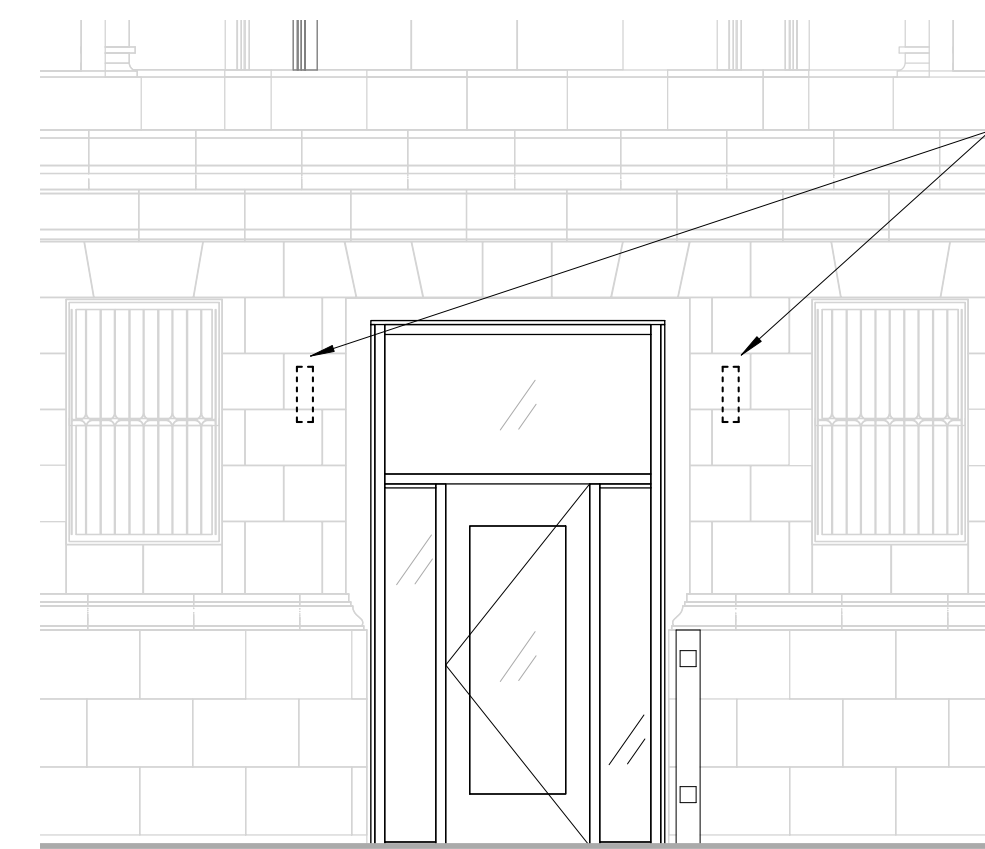
EXISTING - BARTLETT ST ENTRY

1/4" = 1'-0"



PROPOSED - BARTLETT ST ENTRY

1/4" = 1'-0"

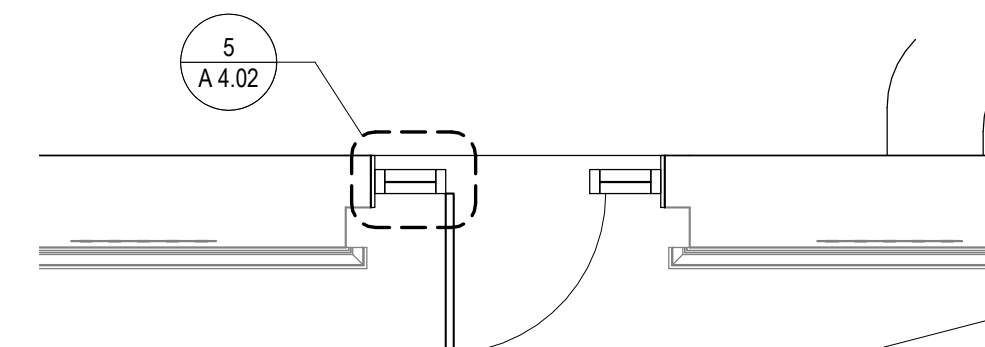


NEW LIGHT FIXTURE IN LOCATION
OF EXISTING NON-HISTORIC
FIXTURE. FIXTURE TBD

SEE MAIN ENTRANCE FOR
NOTES NOT SHOWN HERE

3 PROPOSED - BARTLETT ST ENTRY ELEVATION

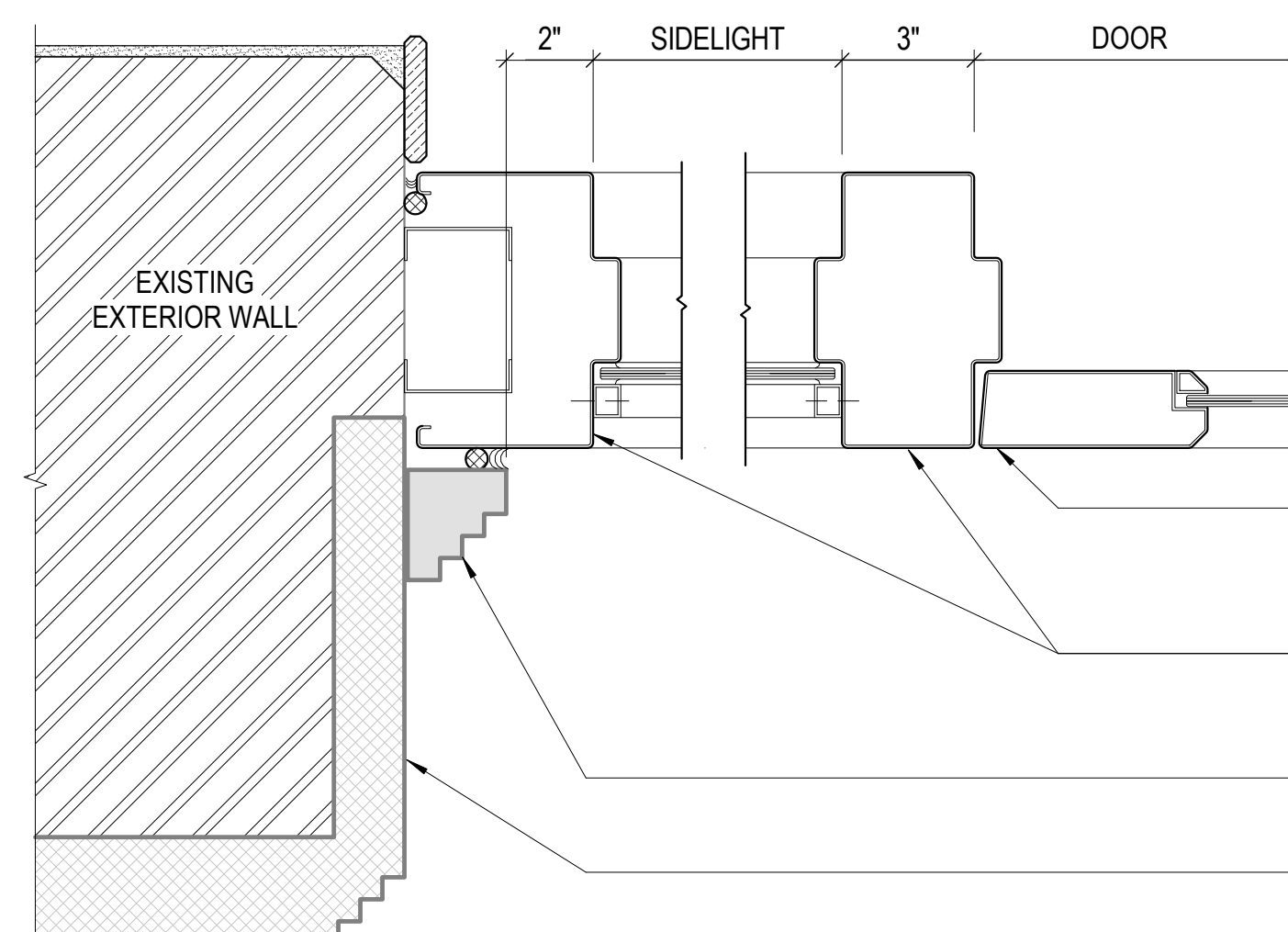
1/4" = 1'-0"



BOLLARD MOUNTED HI / LO
ADA DOOR ACTUATOR
PADDLES. MATERIAL TO BE
MONUMENTAL BRONZE.

4 PROPOSED - BARTLETT ST ENTRY PLAN

1/4" = 1'-0"



NEW FORMED MONUMENTAL BRONZE
MEDIUM STILE BALANCED DOOR WITH
GLAZED PANEL
NEW FORMED MONUMENTAL BRONZE FRAME
SIDELIGHT & DOOR FRAME. ADA DOOR
ACTUATOR IN FRAME HEADER ABOVE
EXISTING TRIM INSIDE OPENING
EXISTING TERRACOTTA TRIM
AROUND OPENING

5 PROPOSED ENTRY DOOR AND SIDELIGHT IN EXISTING OPENING

3" = 1'-0"

PLAN DETAIL, BARTLETT STREET SIMILAR

2/4/2020

No.	Date	Revisions

PM
PA
Drawn
Checked

Andrew Sohn
Andrew Sohn
Author
Checker

Drawing Title

PROPOSED RESTORATIVE
ASPECTS OF PROJECT - ENTRY
DOORS

Sheet No.

A 4.02

Scale: As indicated

Project No.

1806

Original Sheet Size: 30" x 42"

[illegible]

NOT FOR CONSTRUCTION

PROPOSED RESTORATIVE ASPECTS OF PROJECT - MAIN STAIR

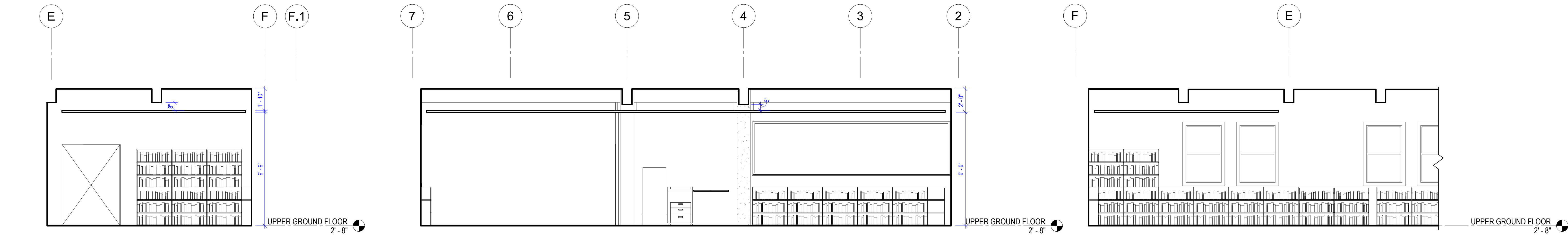
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Project No. _____

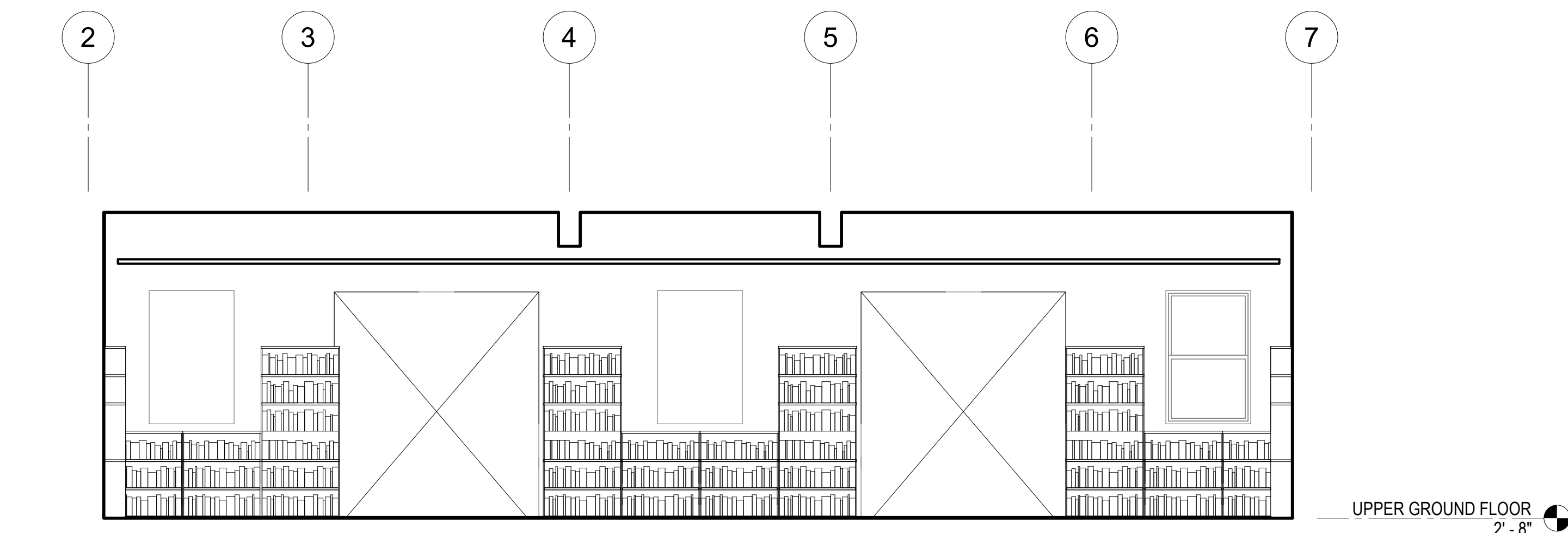
Original Sheet Size: 30" x 42"

3359 24th Street
San Francisco, California 94110

14 CHILDREN'S READING 114 WEST
1/4" = 1'-0"



17 CHILDREN'S READING 115 SOUTH
1/4" = 1'-0"



18 CHILDREN'S READING 115 WEST
1/4" = 1'-0"

[illegible]

Prepared by	Andrew Sohn
Reviewed by	Andrew Sohn
Drawn	Author
Checked	Checker

INTERIOR ELEVATIONS - CHILDREN'S READING

A 5.1

scale: $1/4" = 1'-0"$

306



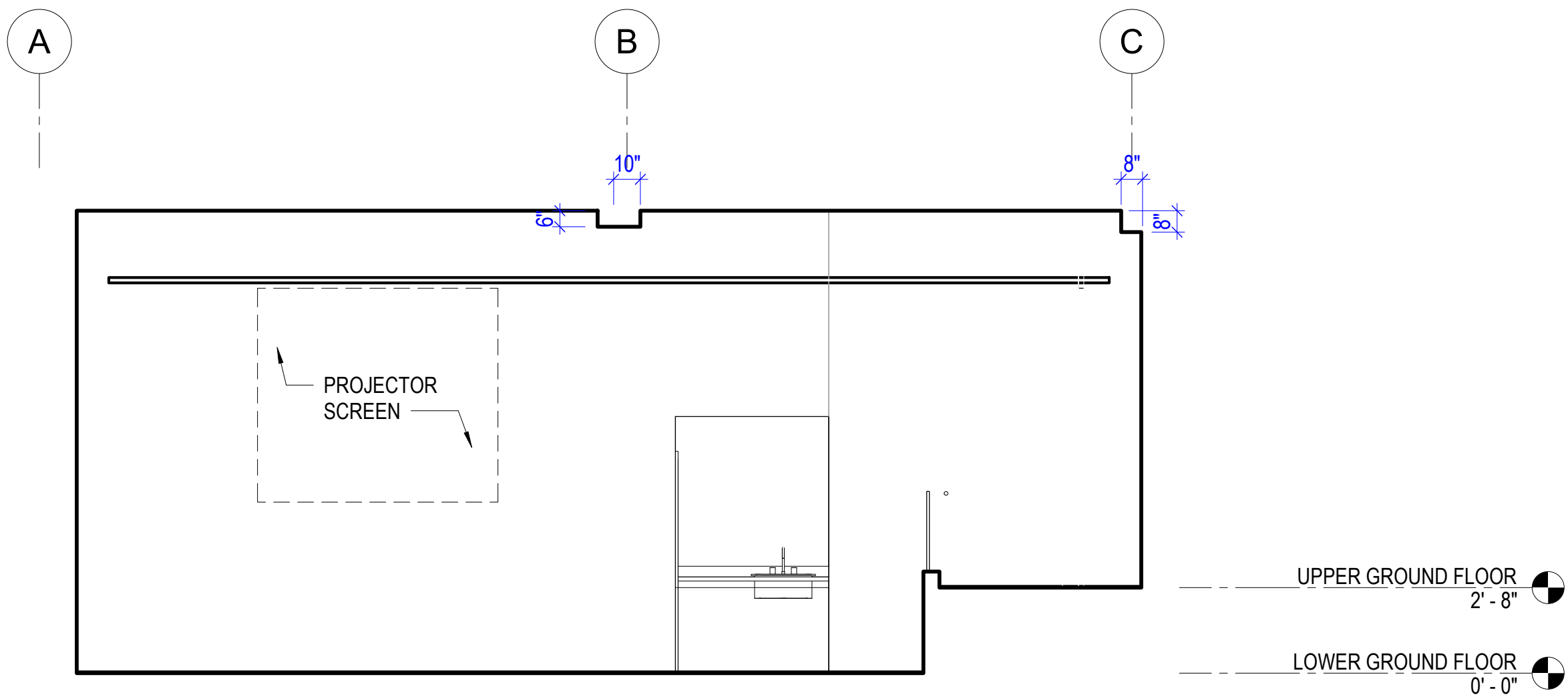
Ronald Almeida- City Architect

Julia Laue - Principal Architect/Division Manager
30 Van Ness Ave., Suite 4100, San Francisco, CA 94102
Fax (415)557-4701, Phone (415)557-4700

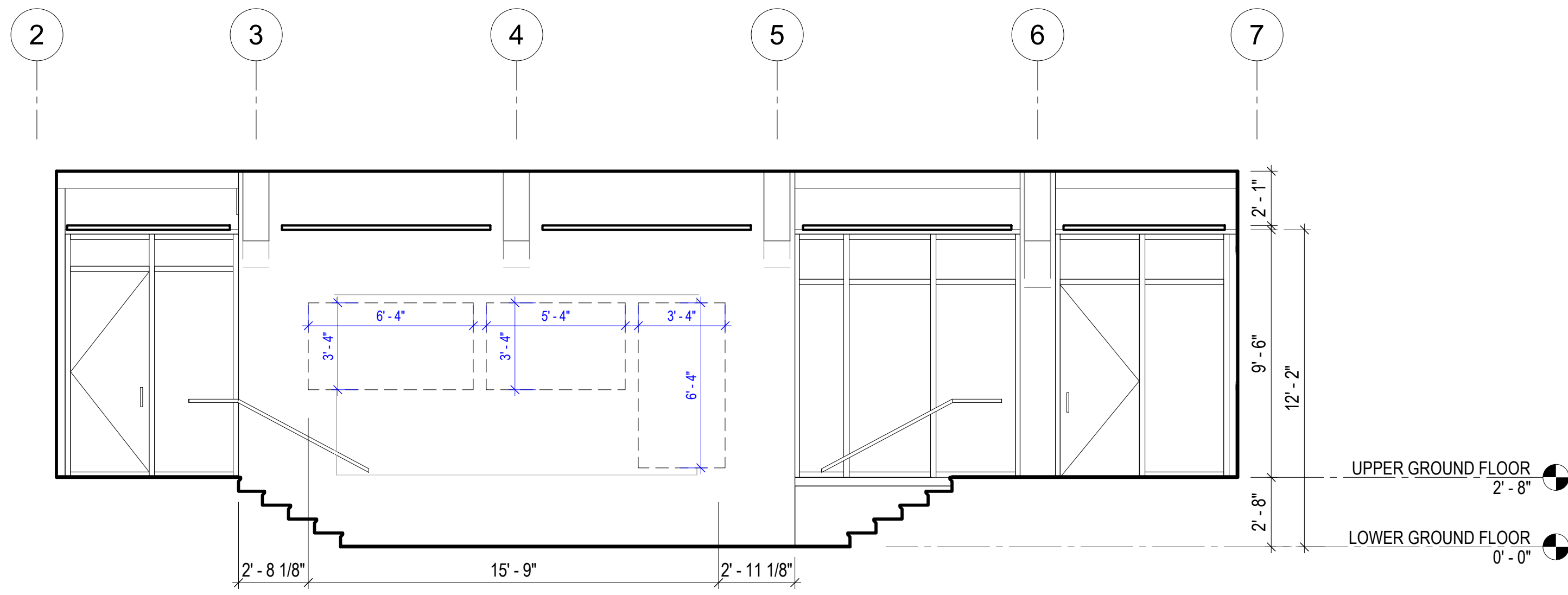
Mission Branch Library

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San Francisco, California 94110

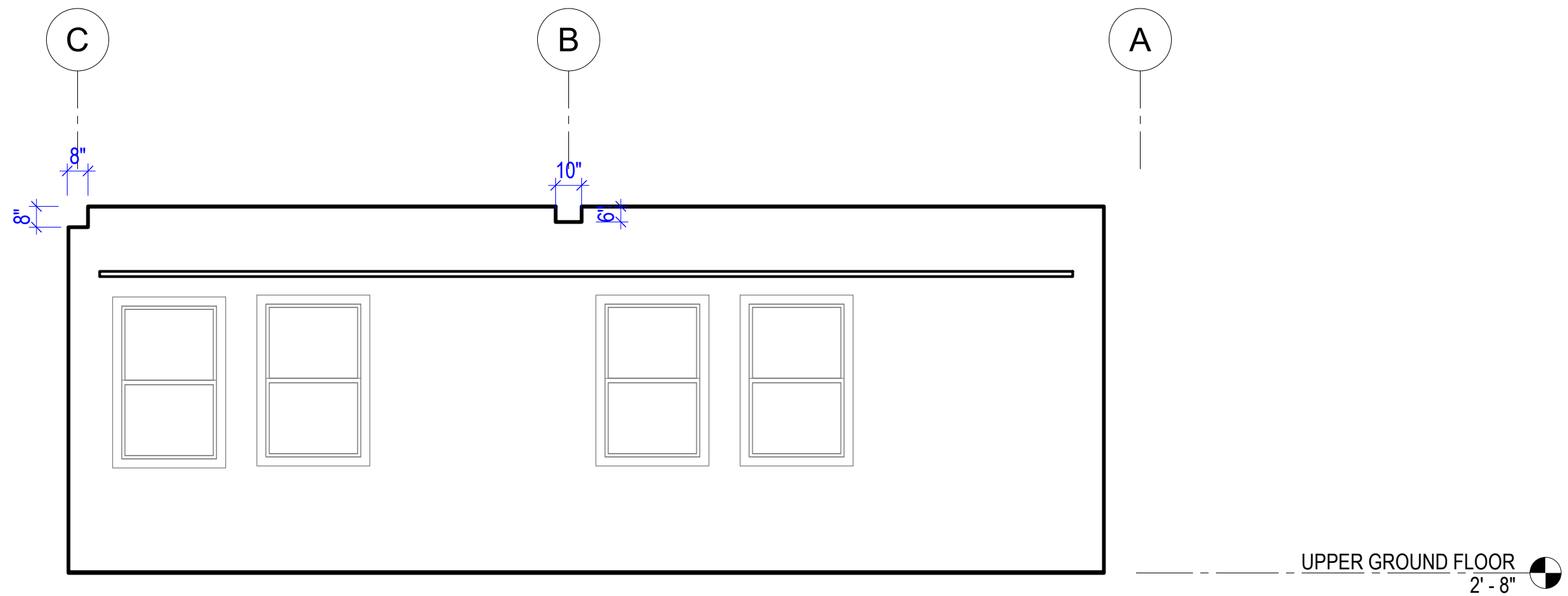
Consultant



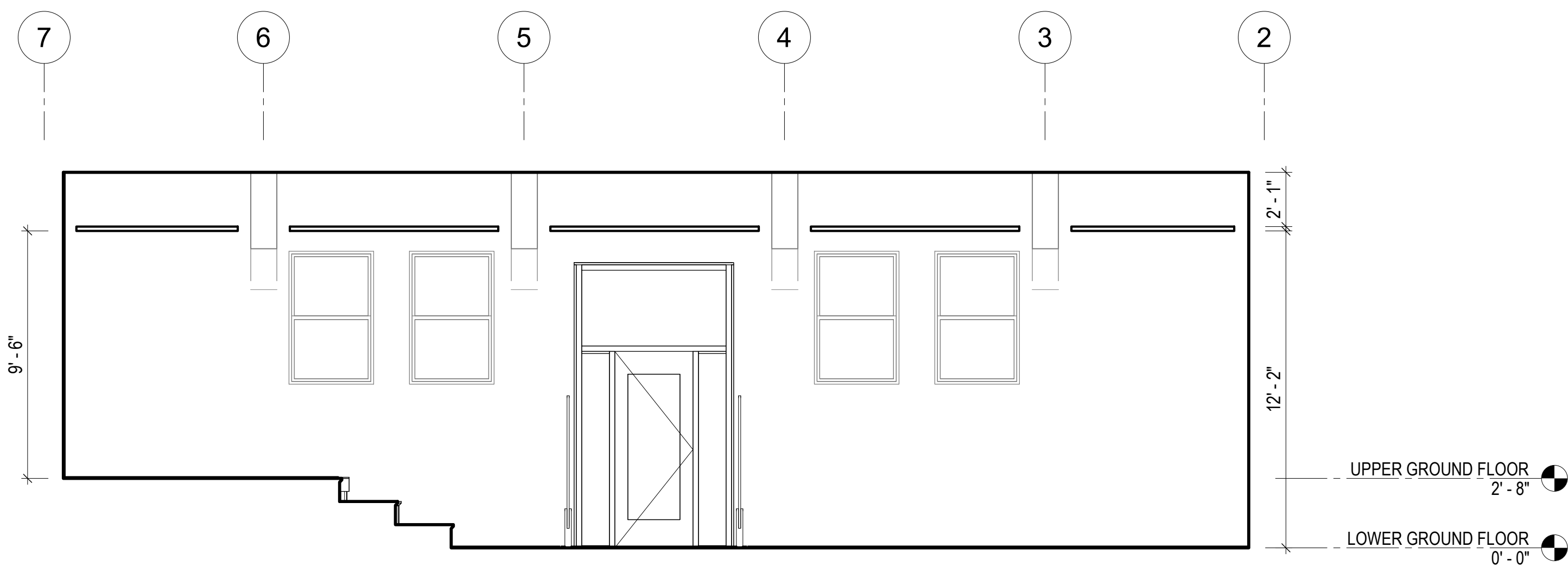
1 COMMUNITY 101 NORTH
1/4" = 1'-0"



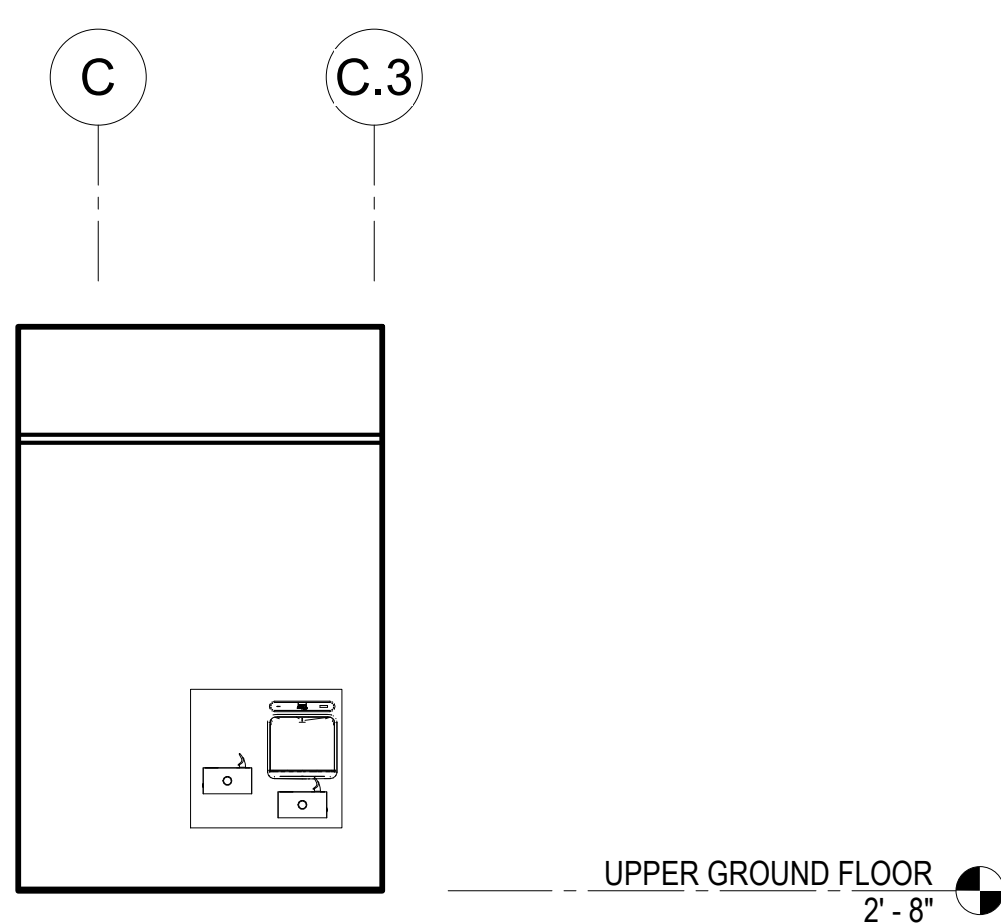
2 COMMUNITY 101 EAST
1/4" = 1'-0"



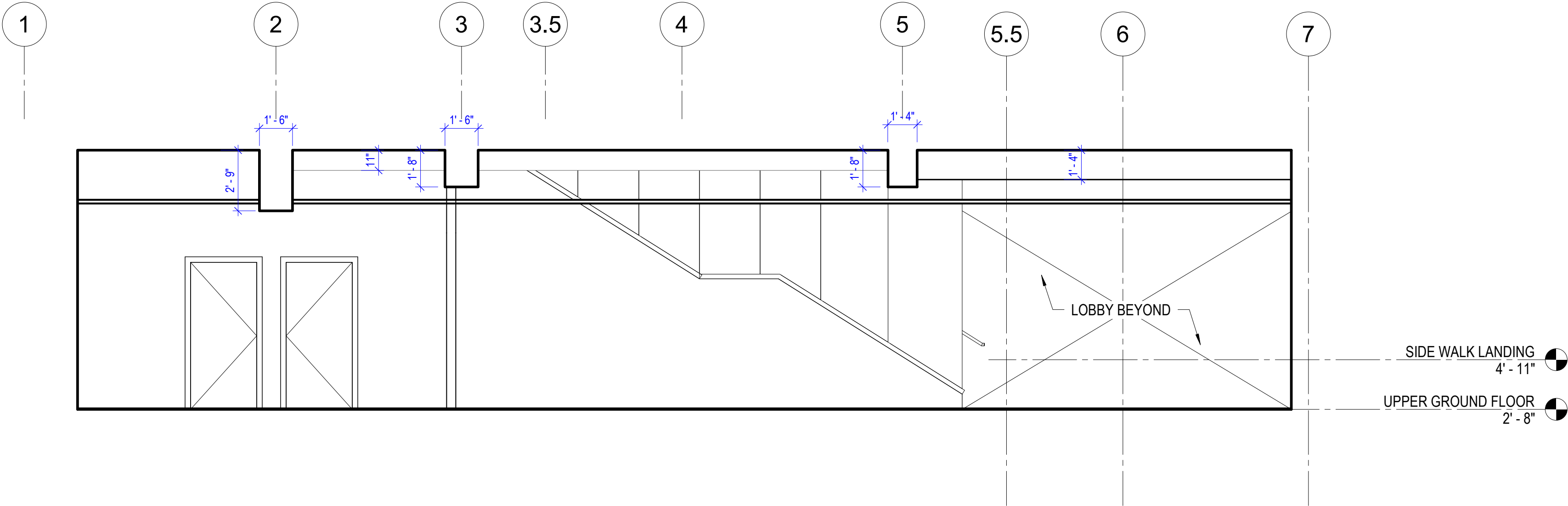
3 COMMUNITY 101 SOUTH
1/4" = 1'-0"



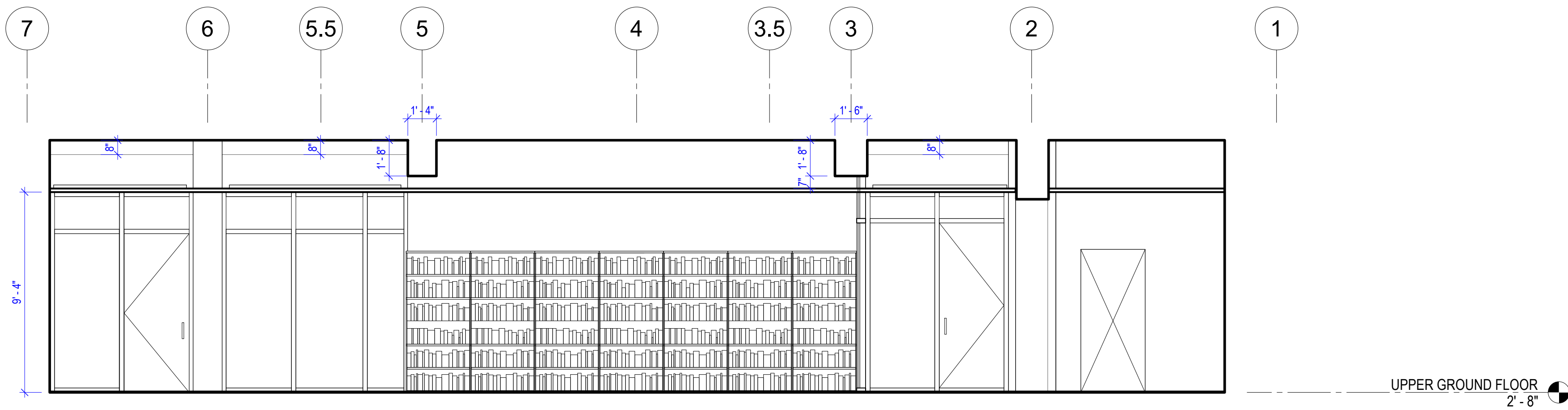
4 COMMUNITY 101 WEST
1/4" = 1'-0"



5 HALLWAY 107 NORTH
1/4" = 1'-0"



6 HALLWAY 107 EAST
1/4" = 1'-0"



7 HALLWAY 107 WEST
1/4" = 1'-0"

2/4/2020

No.	Date	Revisions

PM
PA
Drawn
Checked

Andrew Sohn
Andrew Sohn
Author
Checker

Drawing Title

INTERIOR ELEVATIONS - HALLWAY
AND COMMUNITY

Sheet No.

A 5.3

Scale: 1/4" = 1'-0"

Project No.

1806



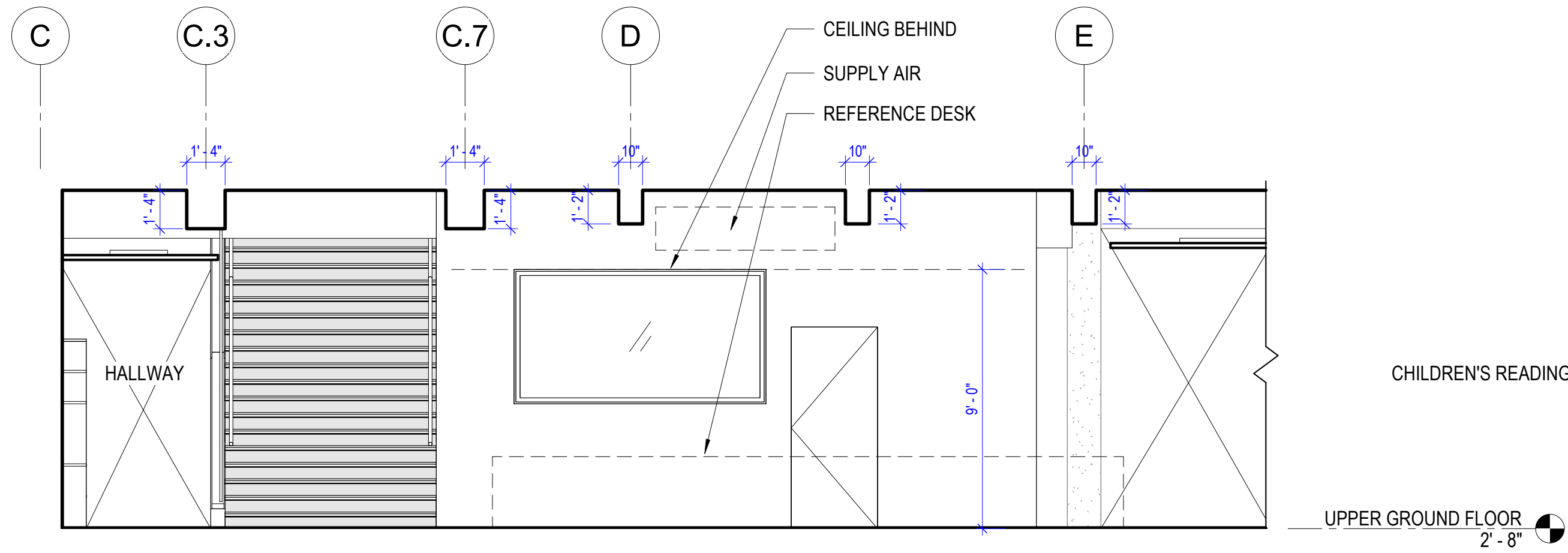
Ronald Alameida- City Architect

Julia Laue - Principal Architect/Division Manager
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Fax (415)557-4701, Phone (415)557-4700

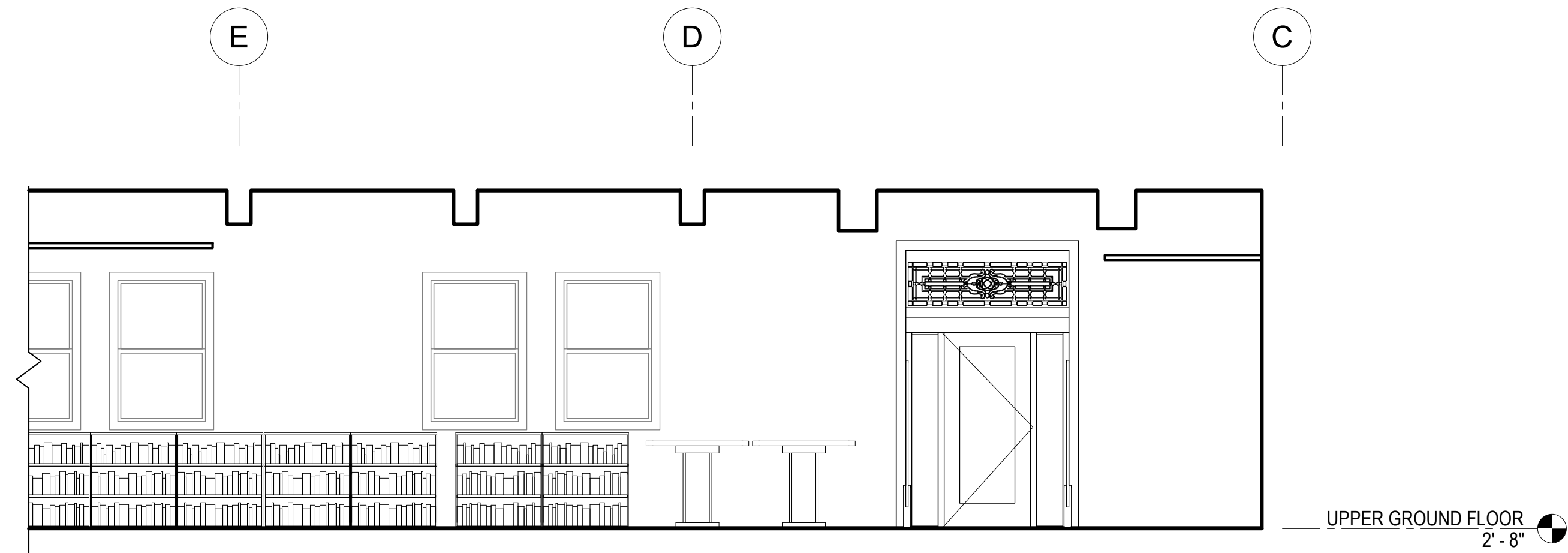
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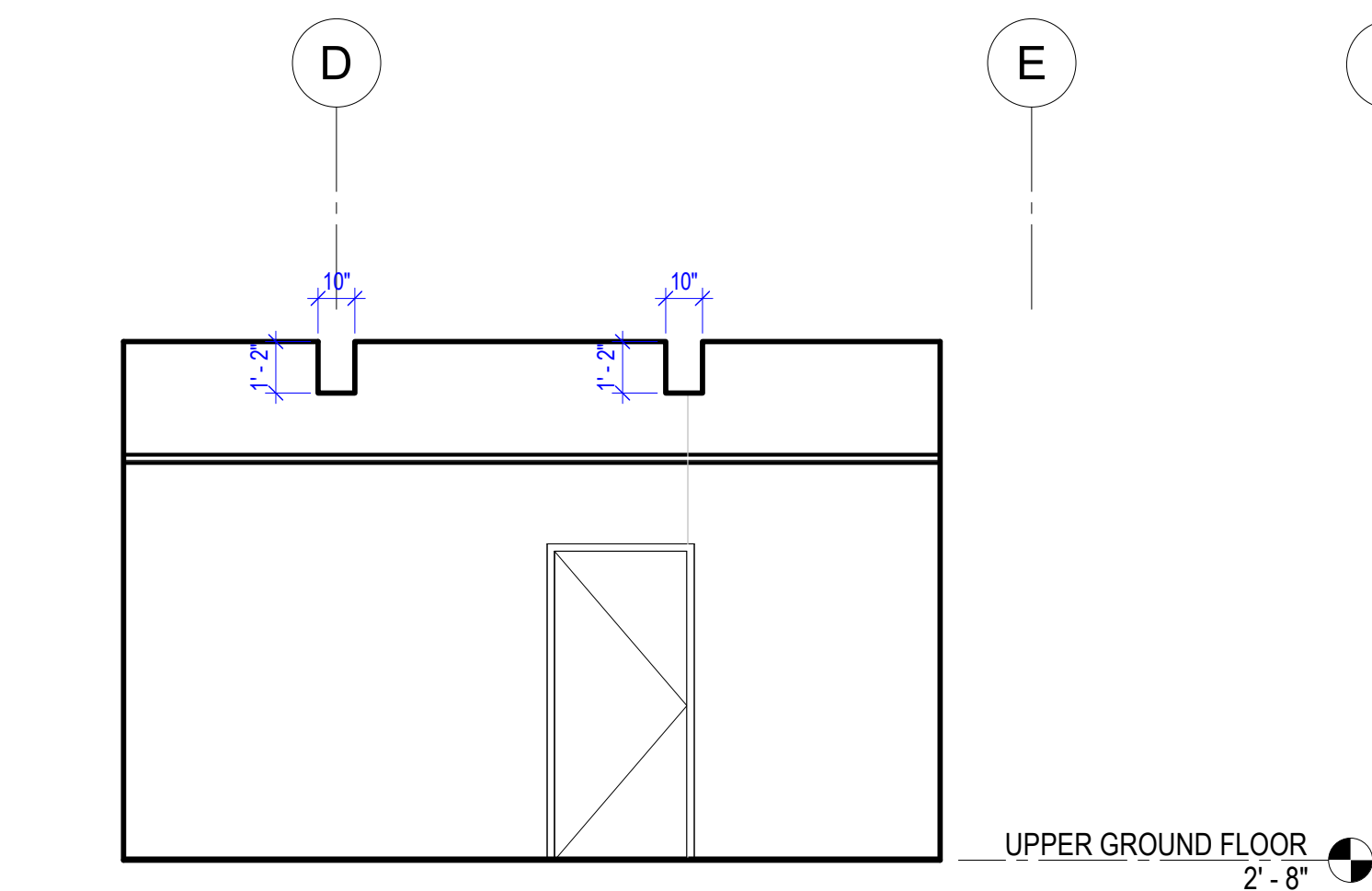
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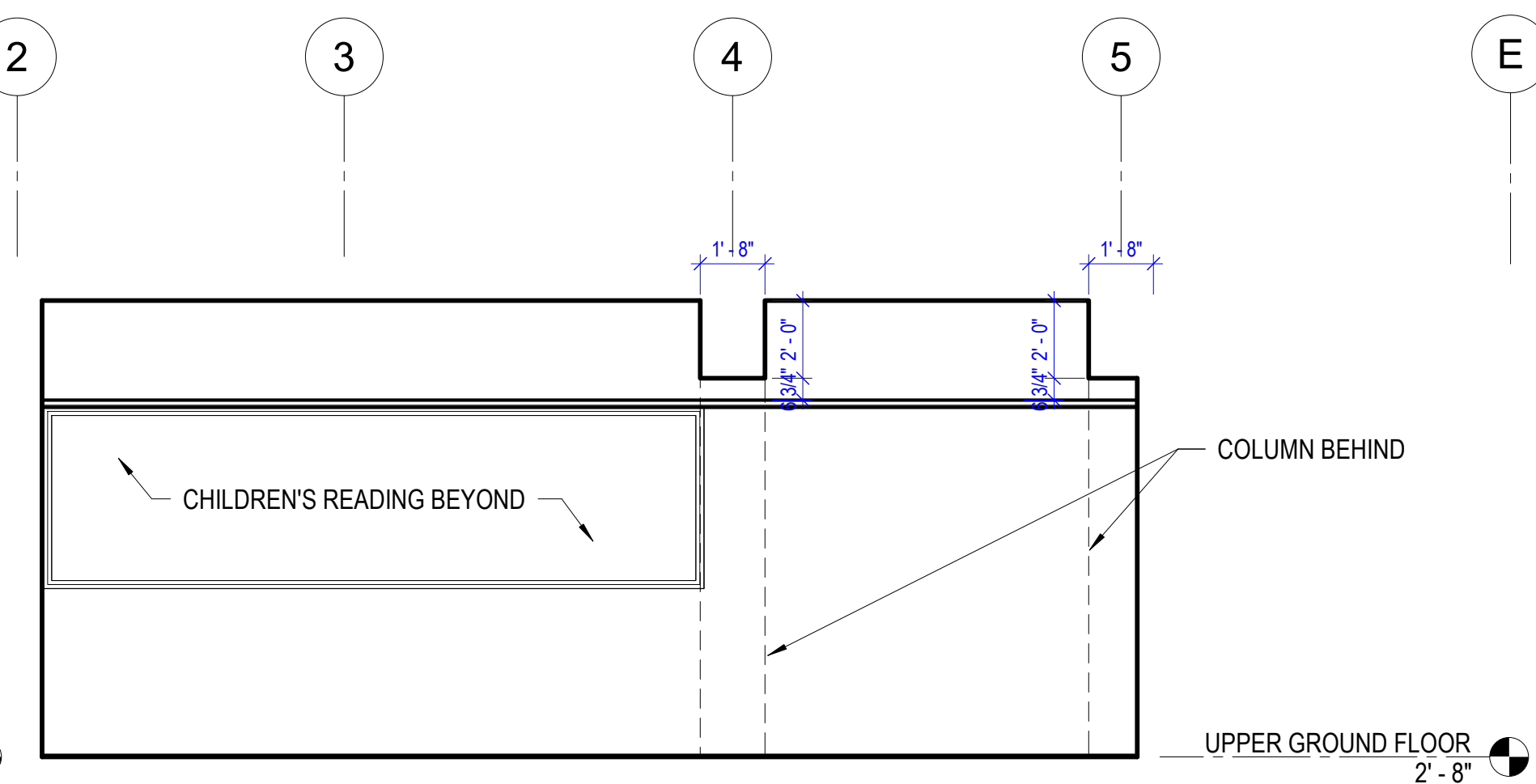
9 LOBBY 100 NORTH
1/4" = 1'-0"



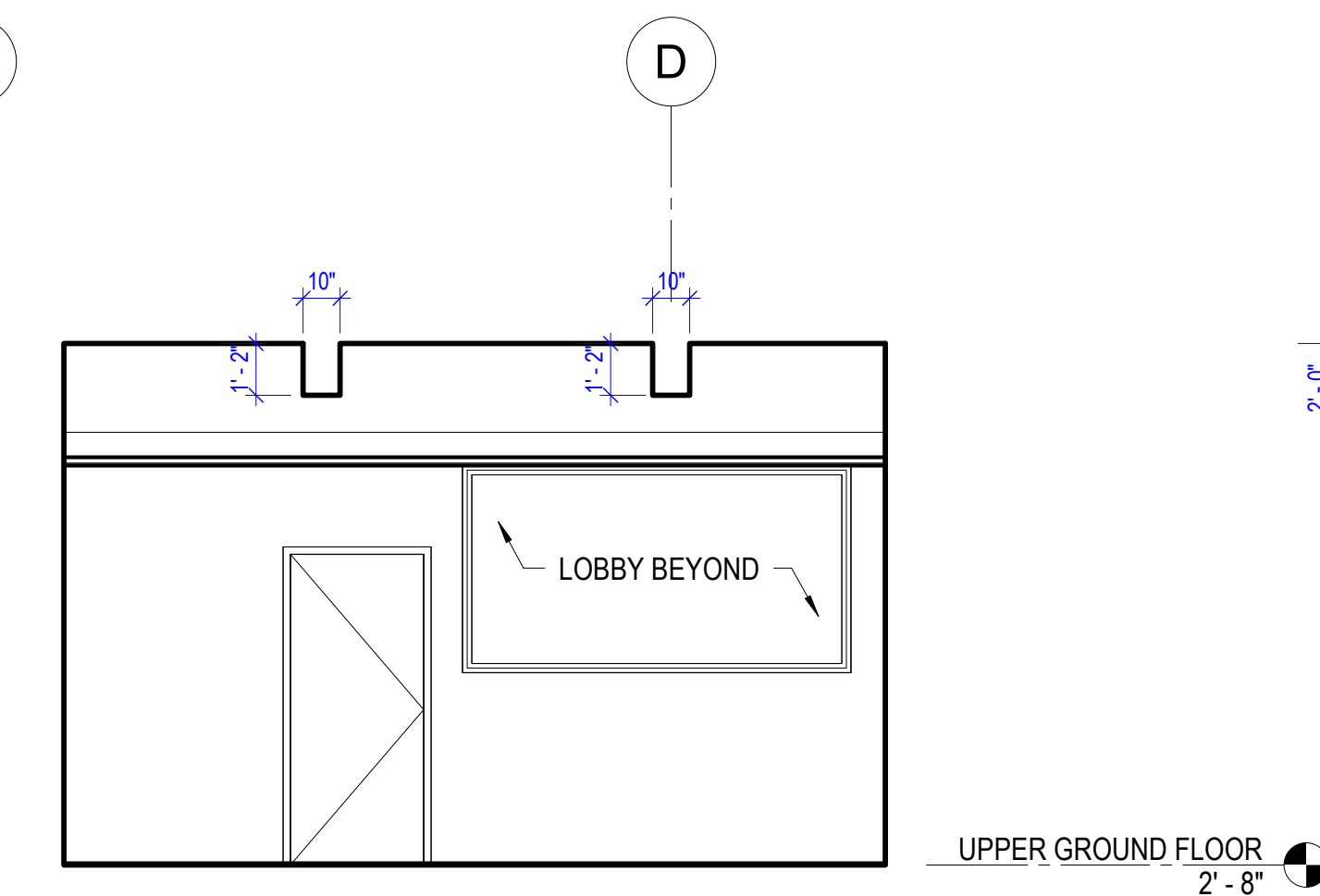
10 LOBBY 100 SOUTH
1/4" = 1'-0"



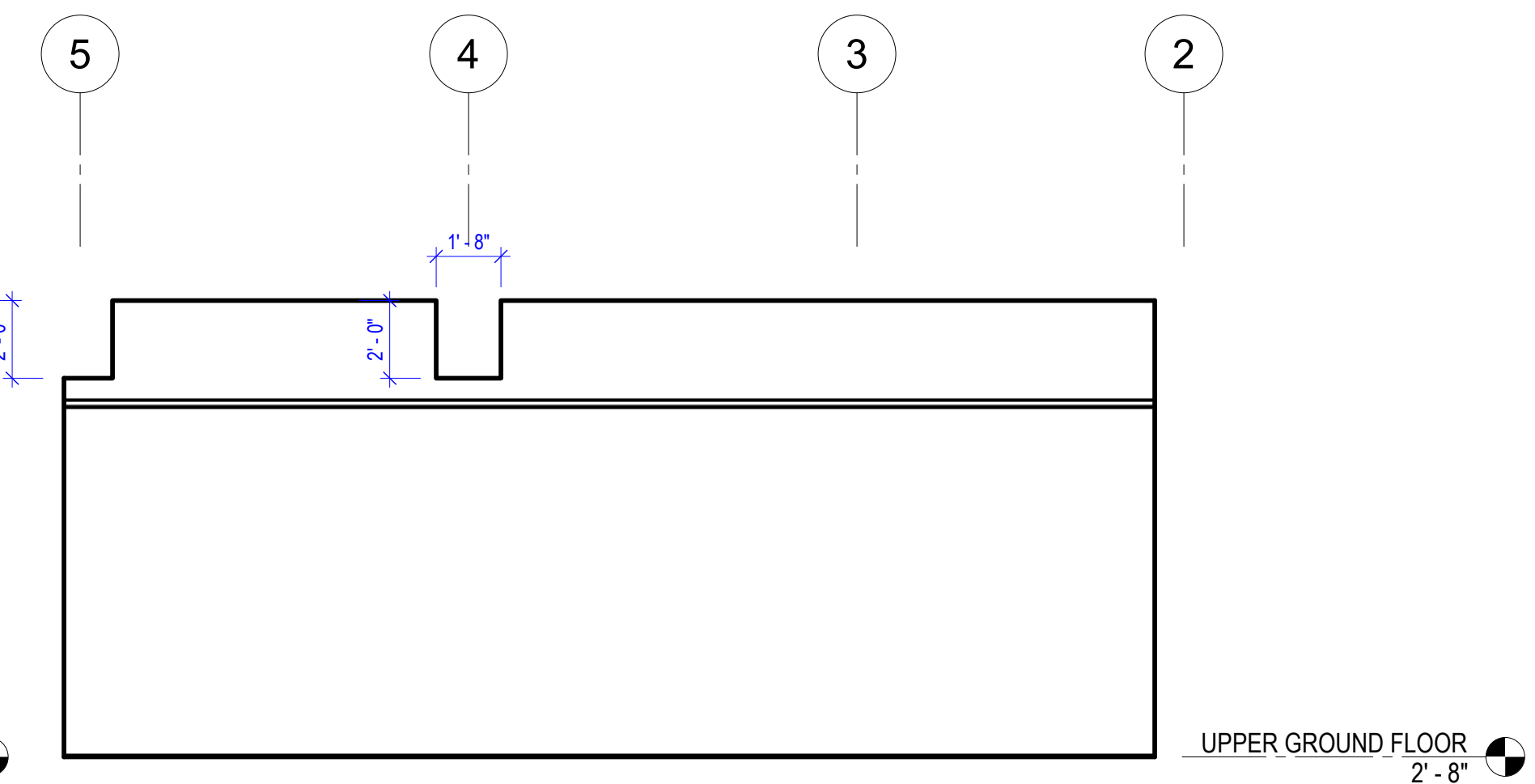
1 STAFF WORKROOM 110 NORTH
1/4" = 1'-0"



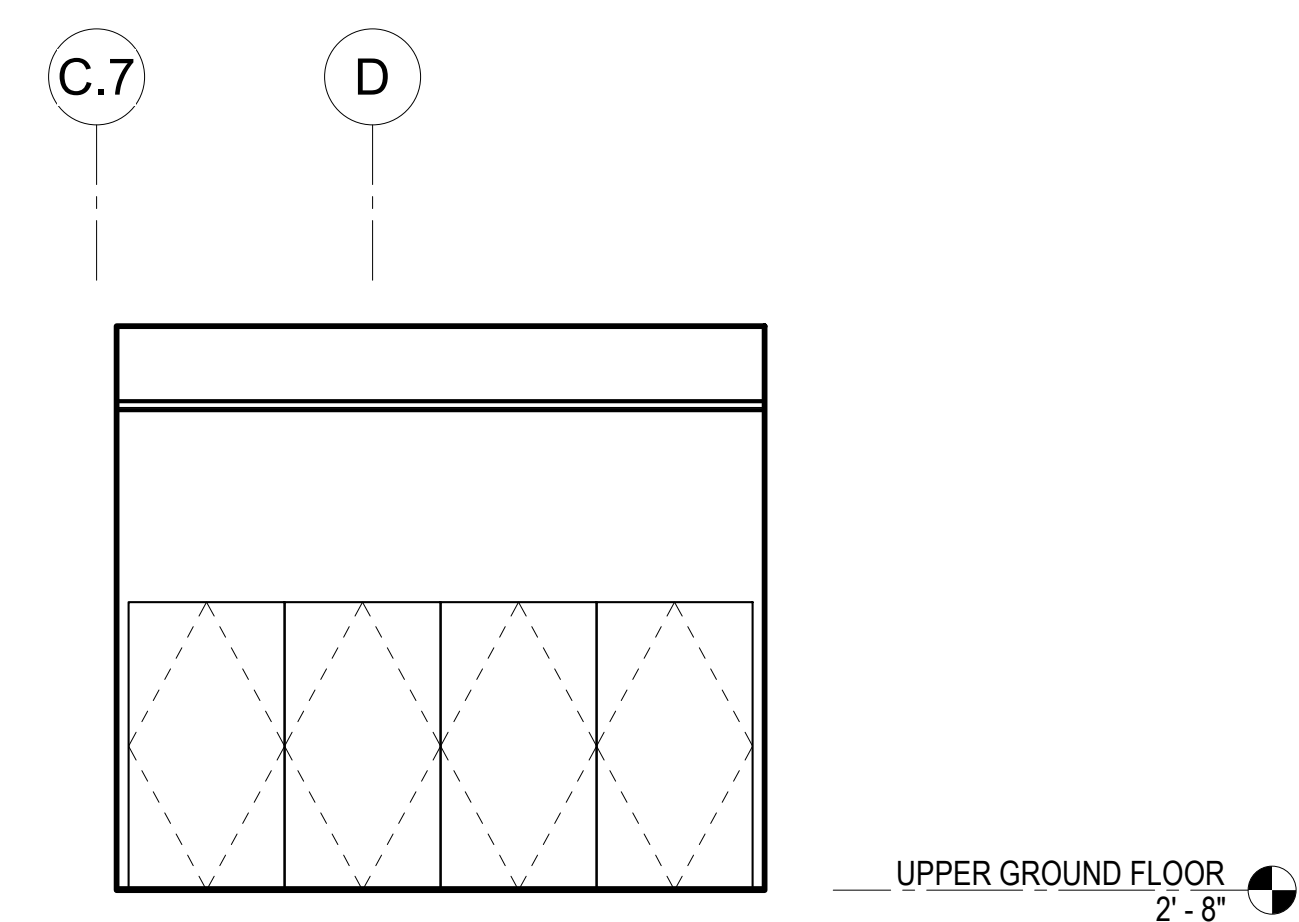
2 STAFF WORKROOM 110 EAST
1/4" = 1'-0"



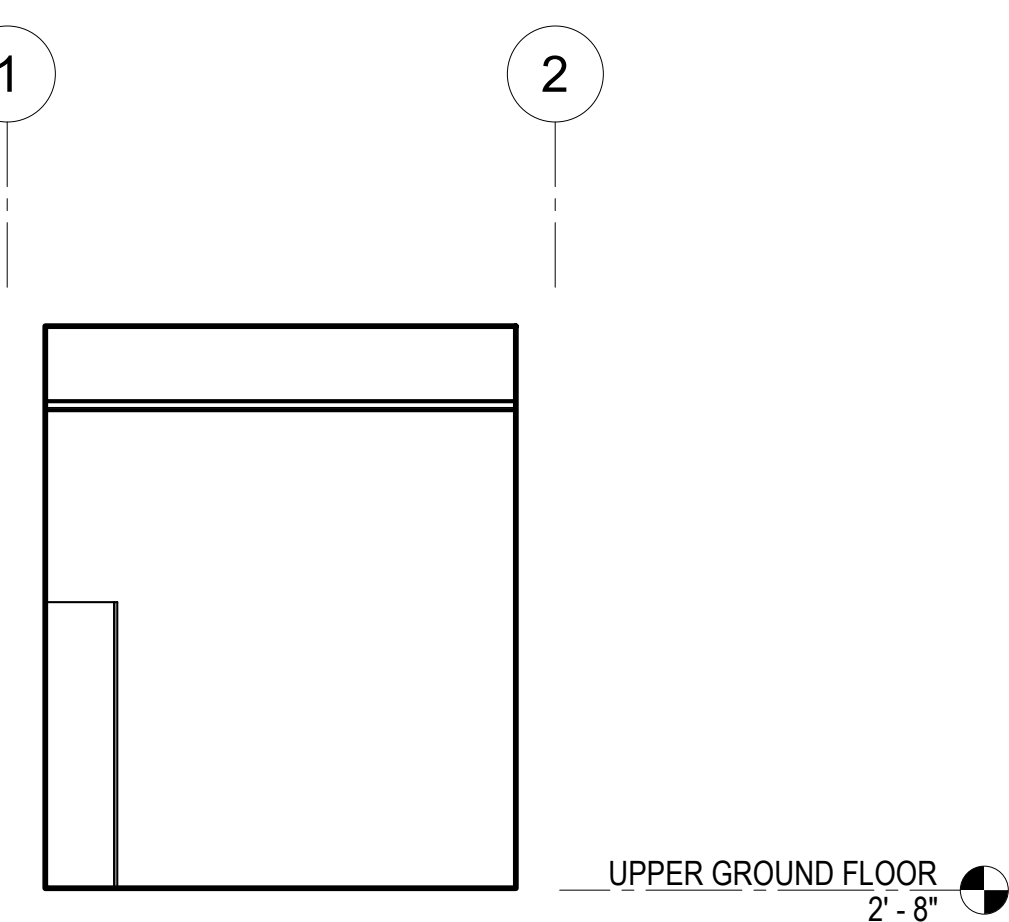
3 STAFF WORKROOM 110 SOUTH
1/4" = 1'-0"



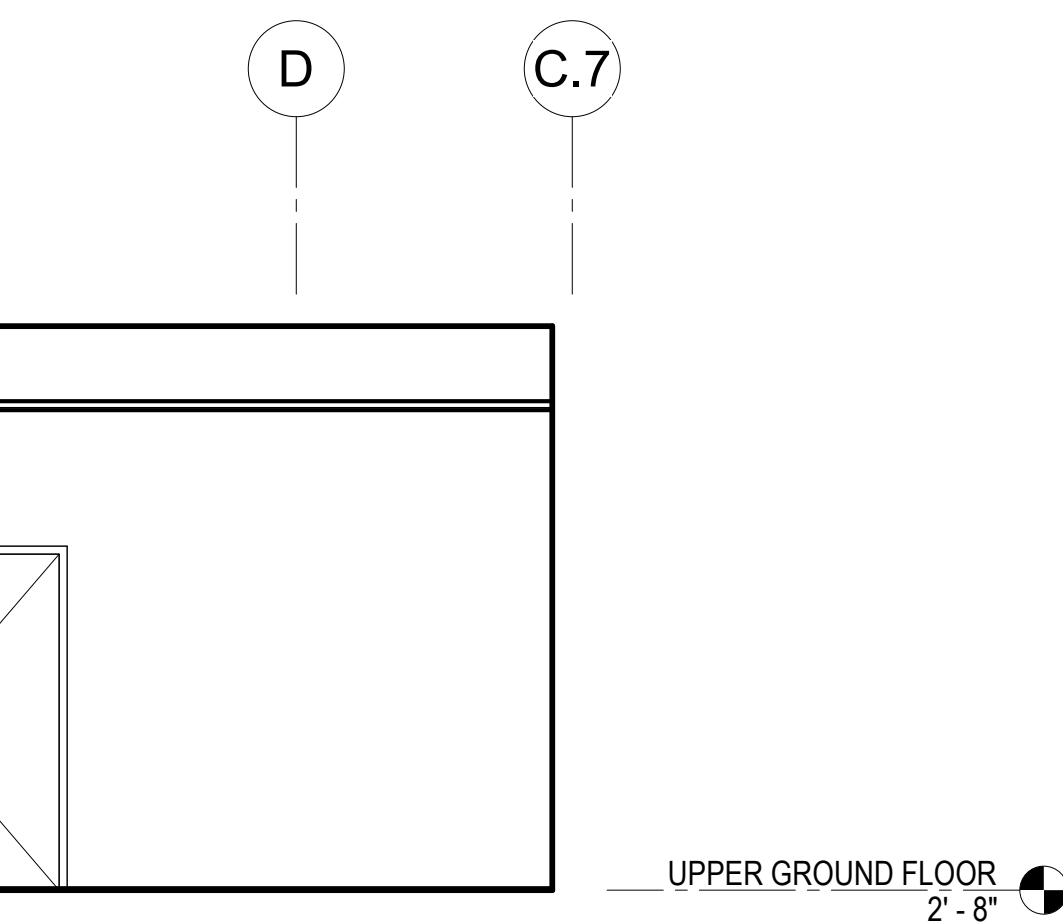
4 STAFF WORKROOM 110 WEST
1/4" = 1'-0"



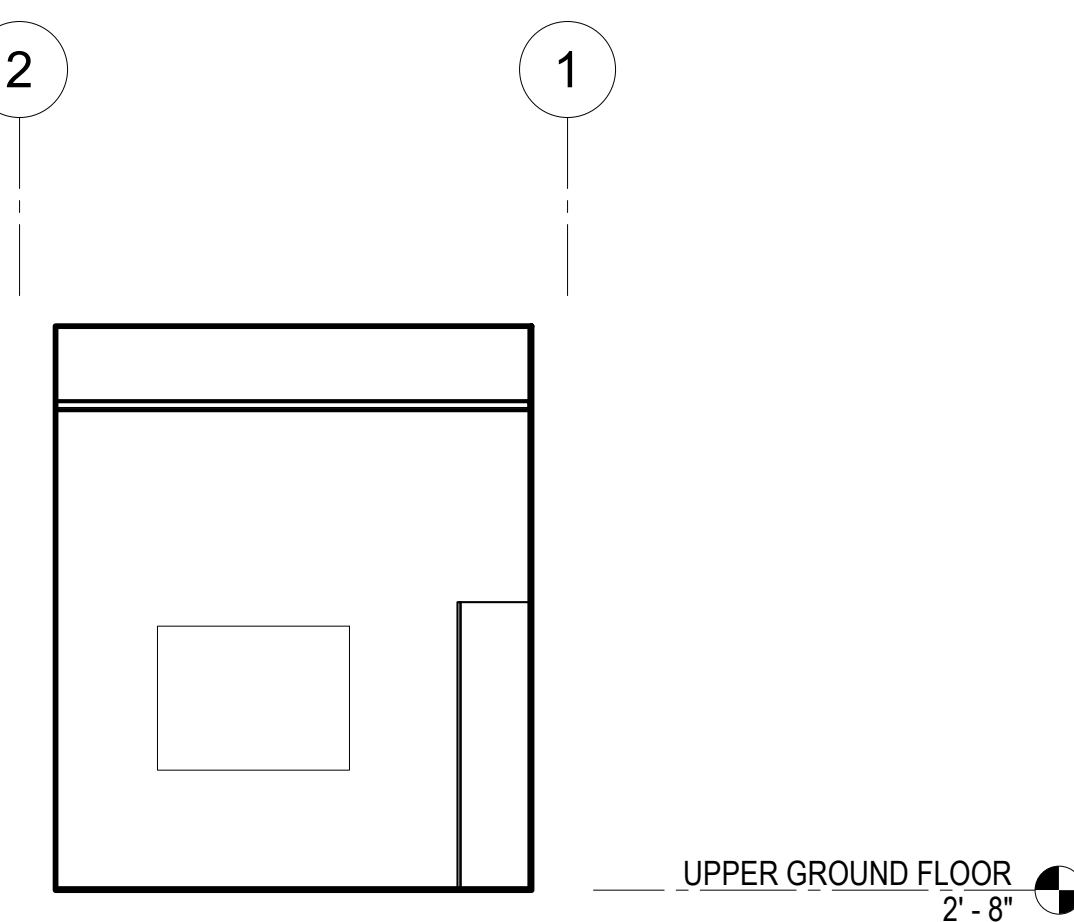
5 OFFICE 110 NORTH
1/4" = 1'-0"



6 OFFICE 110 EAST
1/4" = 1'-0"



7 OFFICE 110 SOUTH
1/4" = 1'-0"



8 OFFICE 110 WEST
1/4" = 1'-0"

2/4/2020

No.	Date	Revisions

PM
PA
Drawn
Checked

Andrew Sohn
Andrew Sohn
Author
Checker

Drawing Title

INTERIOR ELEVATIONS - LOBBY & STAFF

Sheet No.

A 5.4

Scale: 1/4" = 1'-0"

Project No.

1806

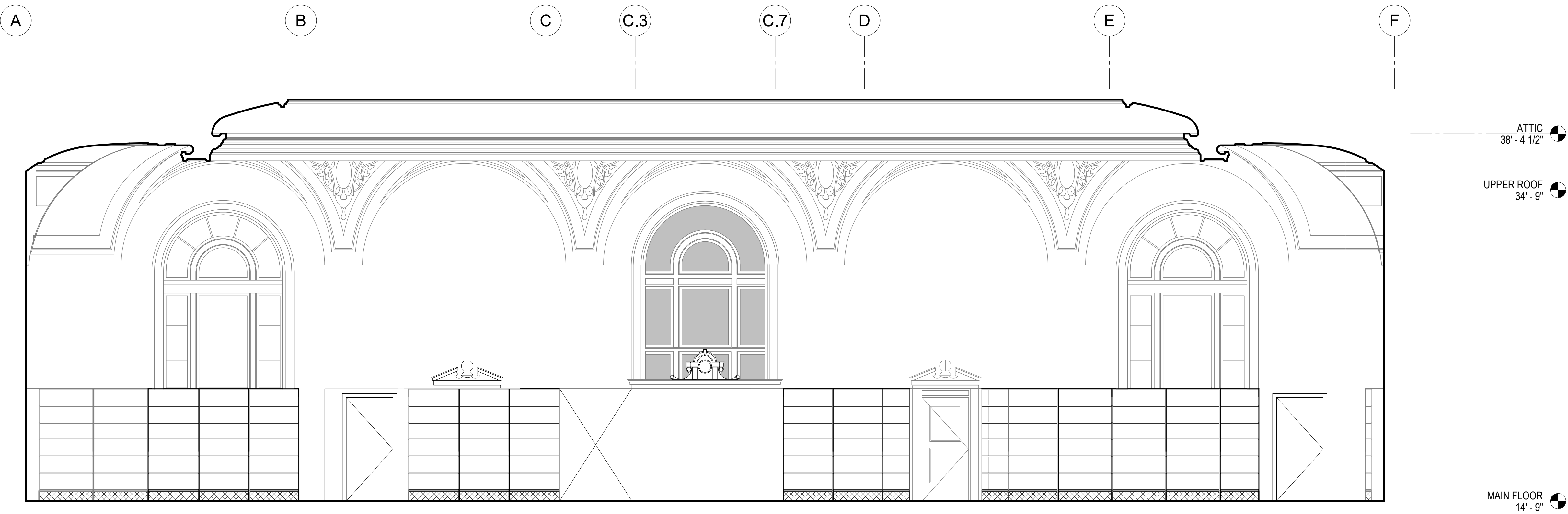


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Julia Laue - Principal Architect/Division Manager
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Fax (415)557-4701, Phone (415)557-4700

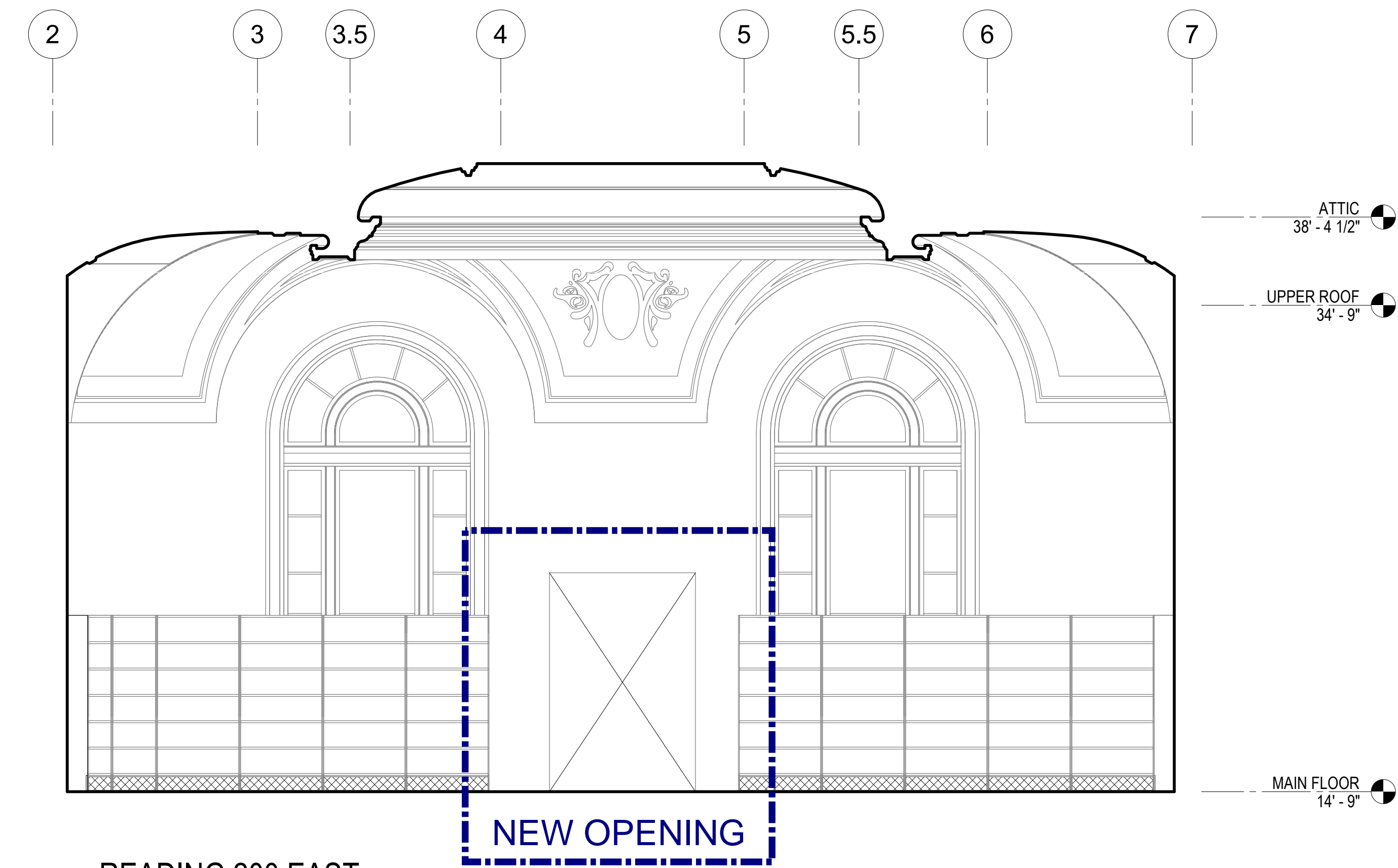
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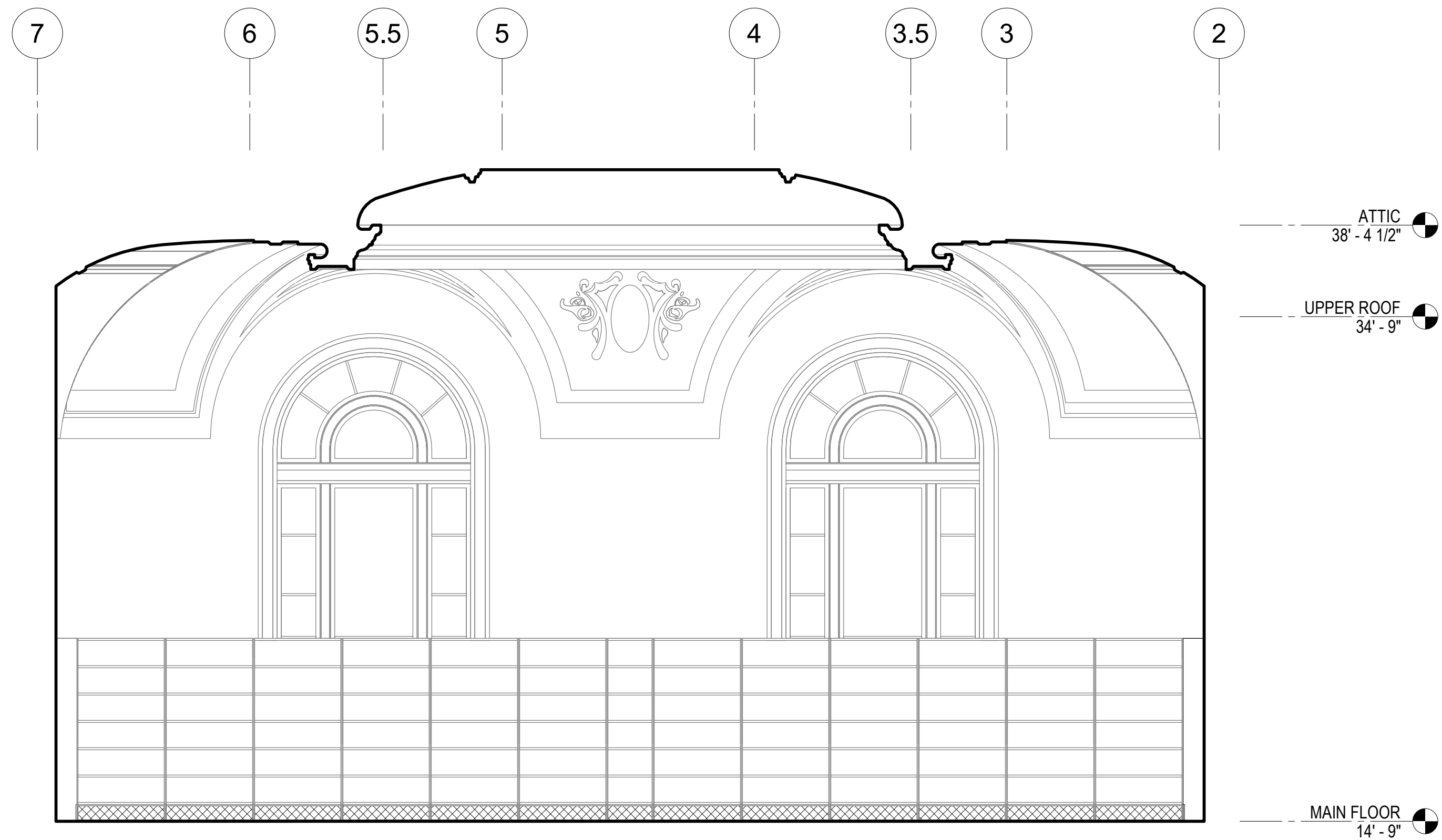
Consultant



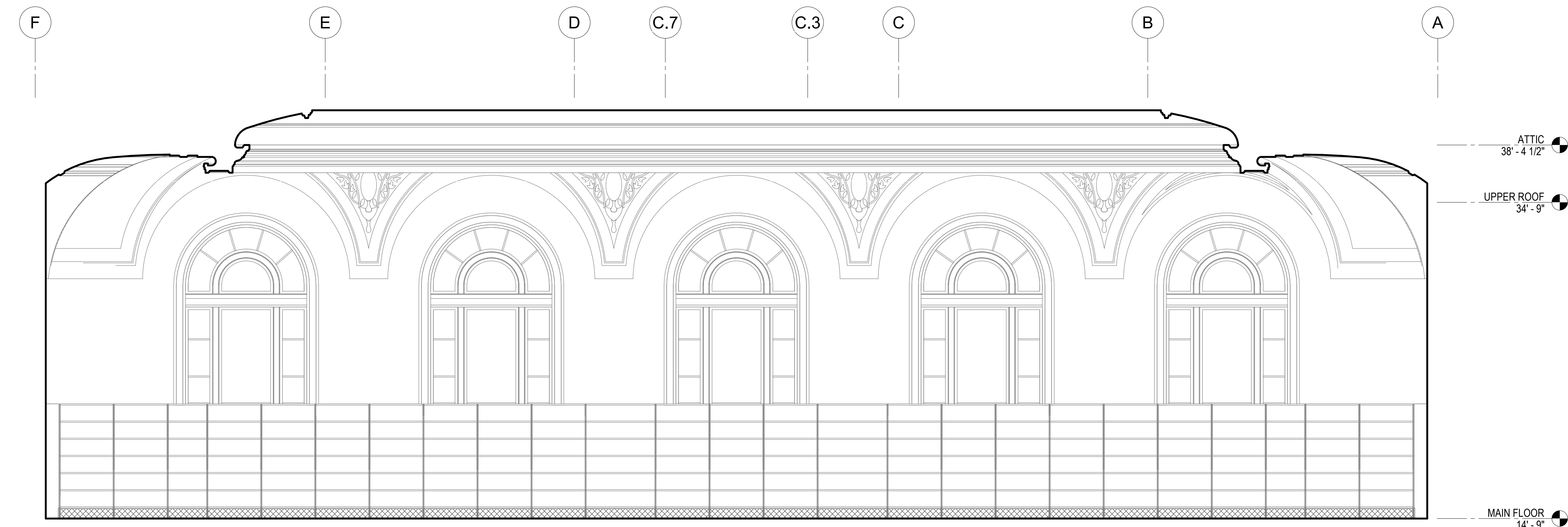
1 READING 200 NORTH
1/4" = 1'-0"



2 READING 200 EAST
1/4" = 1'-0"



4 READING 200 WEST
1/4" = 1'-0"



3 READING 200 SOUTH
1/4" = 1'-0"

2/4/2020

No.	Date	Revisions

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Andrew Sohn
Andrew Sohn
Author
Checker

NOT FOR
CONSTRUCTION

Drawing Title

INTERIOR ELEVATIONS - MAIN
READING

Sheet No.

A 5.5

Scale: 1/4" = 1'-0"

Project No.

1806

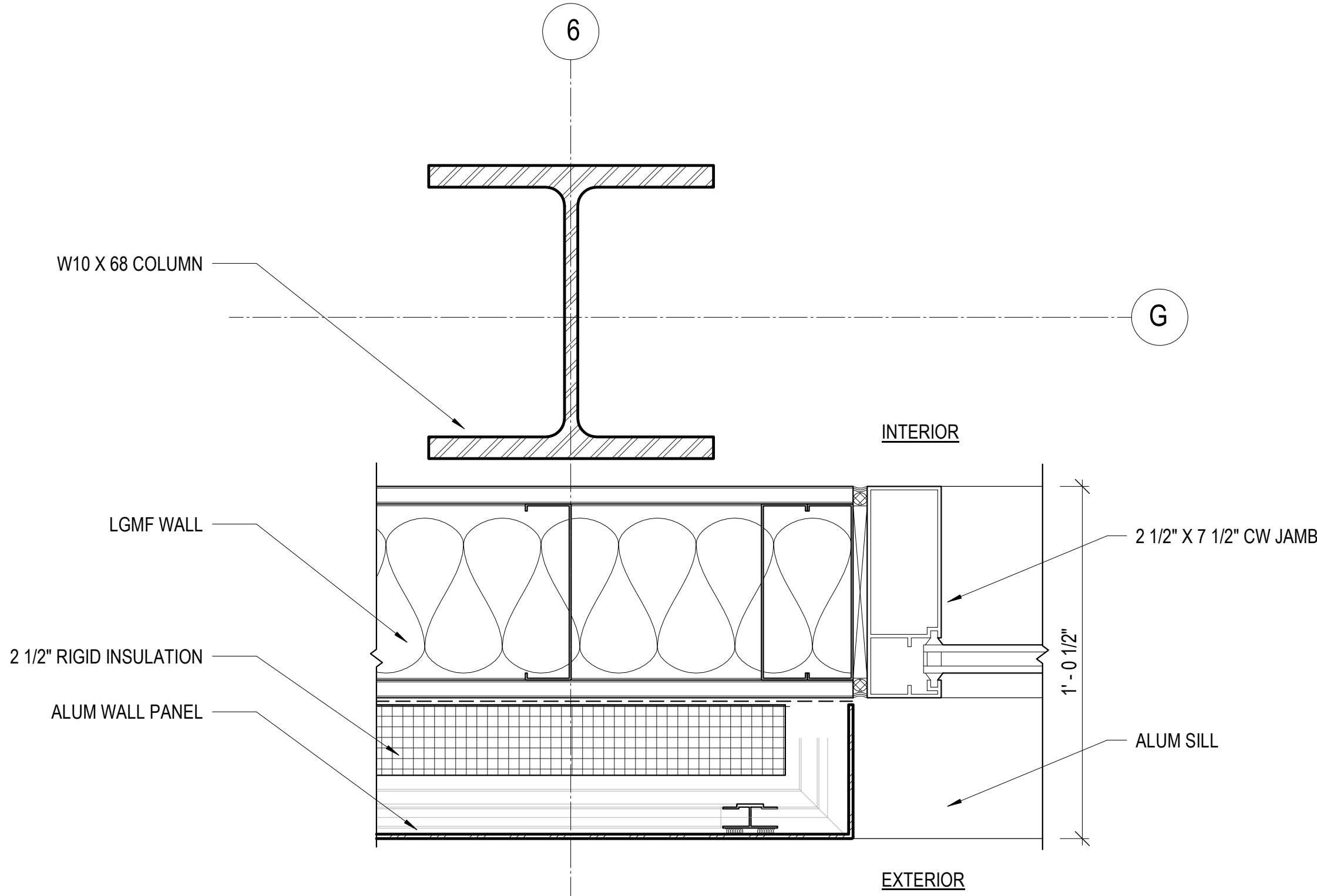


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Julia Laue - Principal Architect/Division Manager
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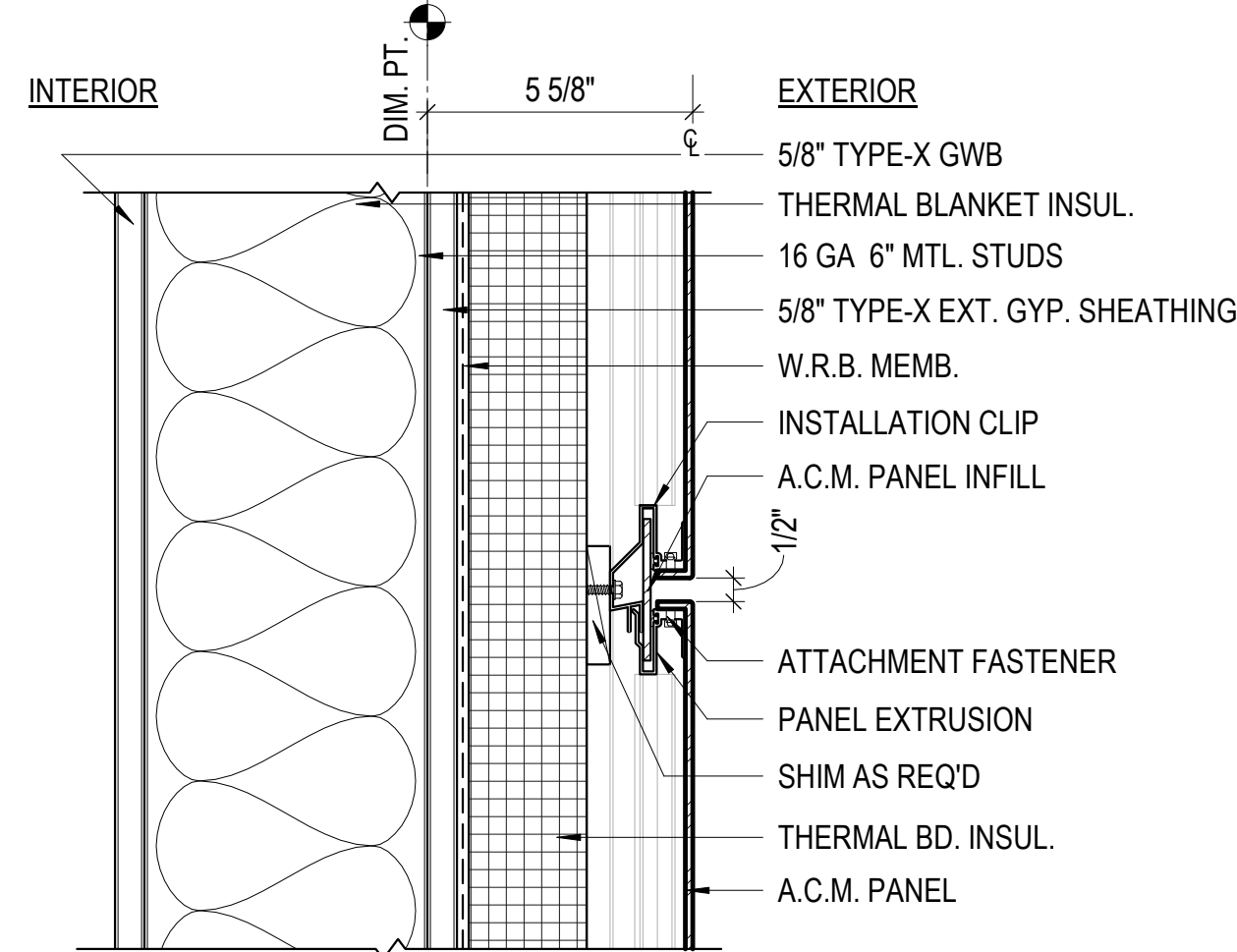
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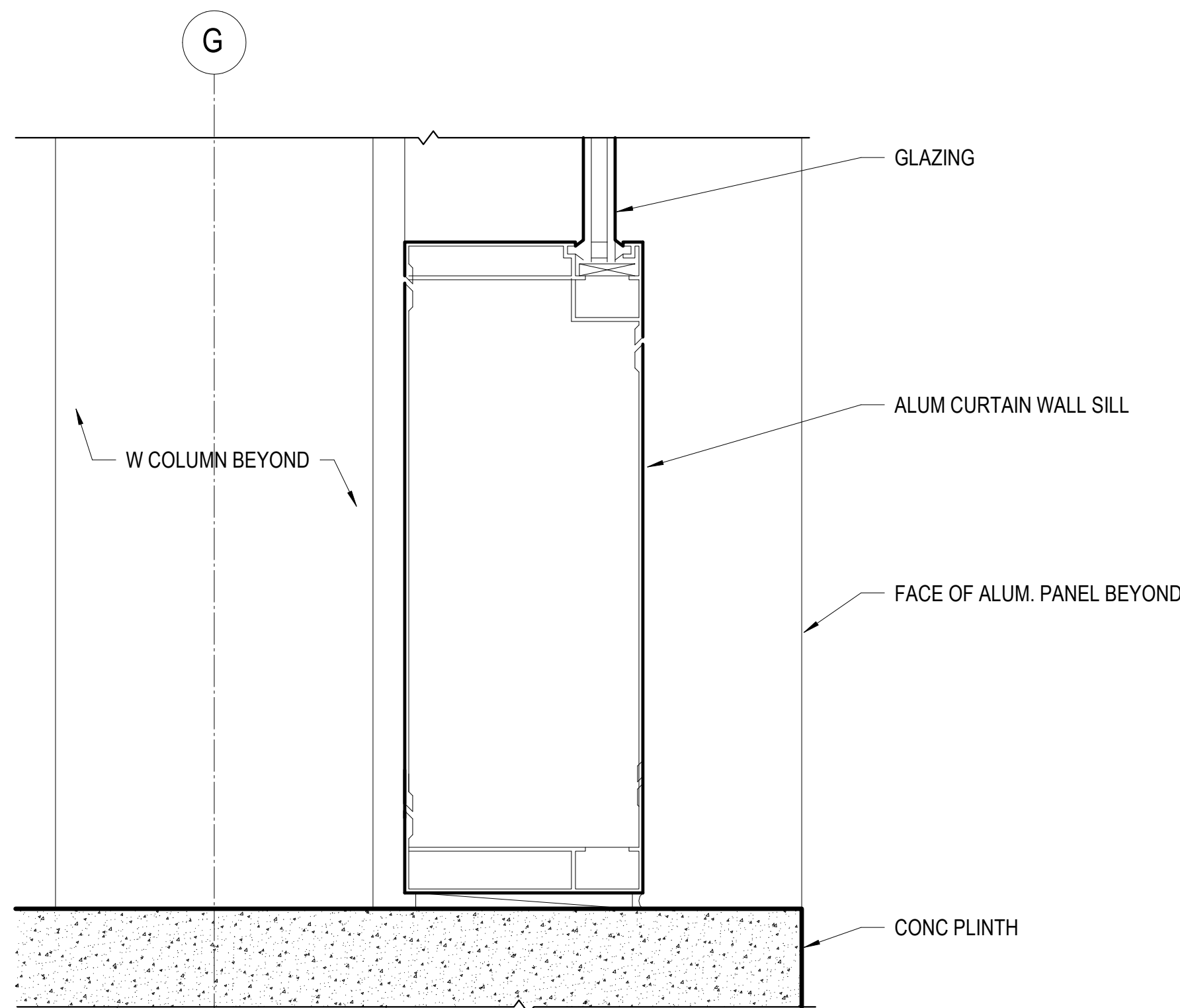
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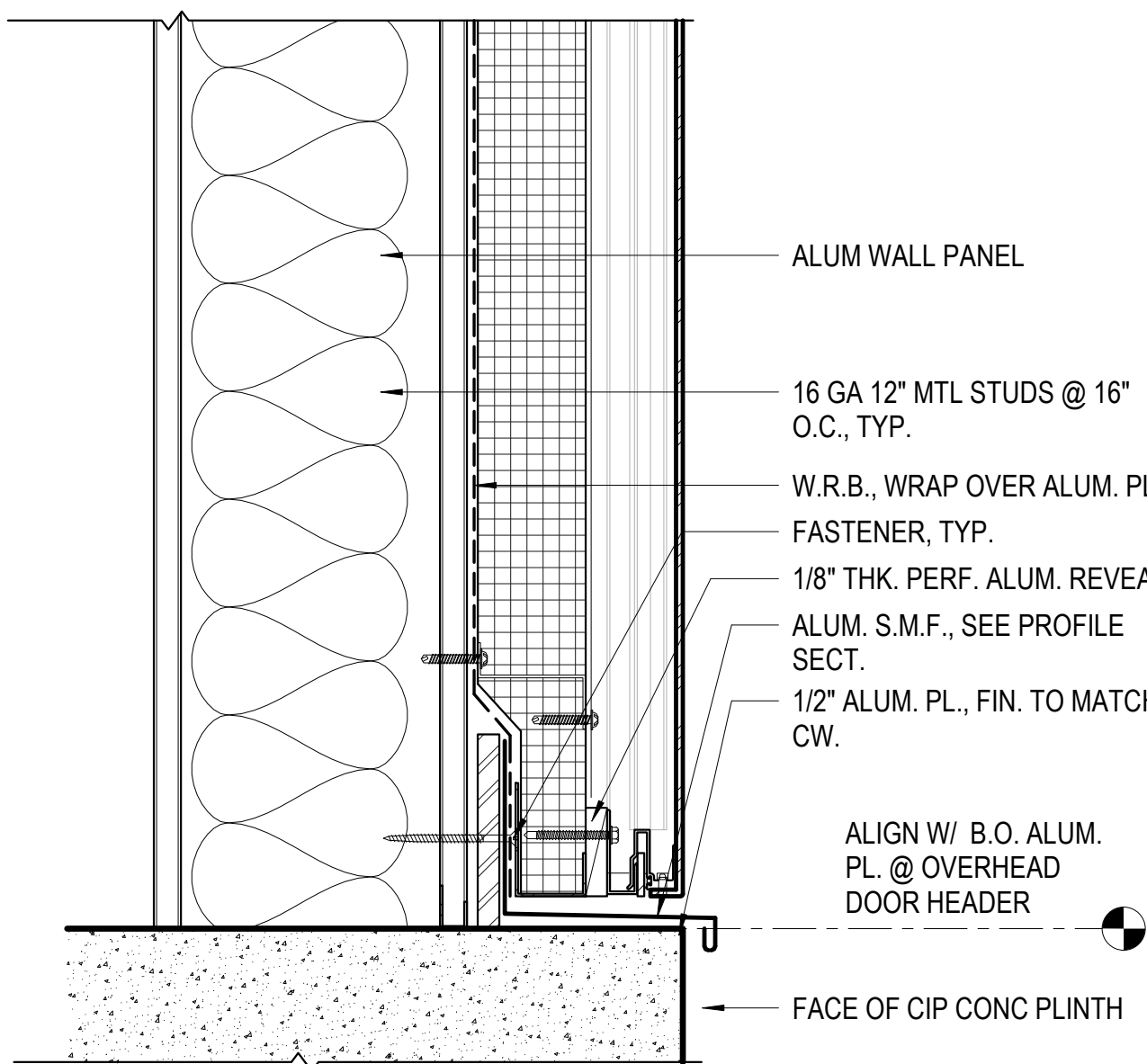
7 ALUMINUM PANEL - CURTAINWALL JAMB
3" = 1'-0"



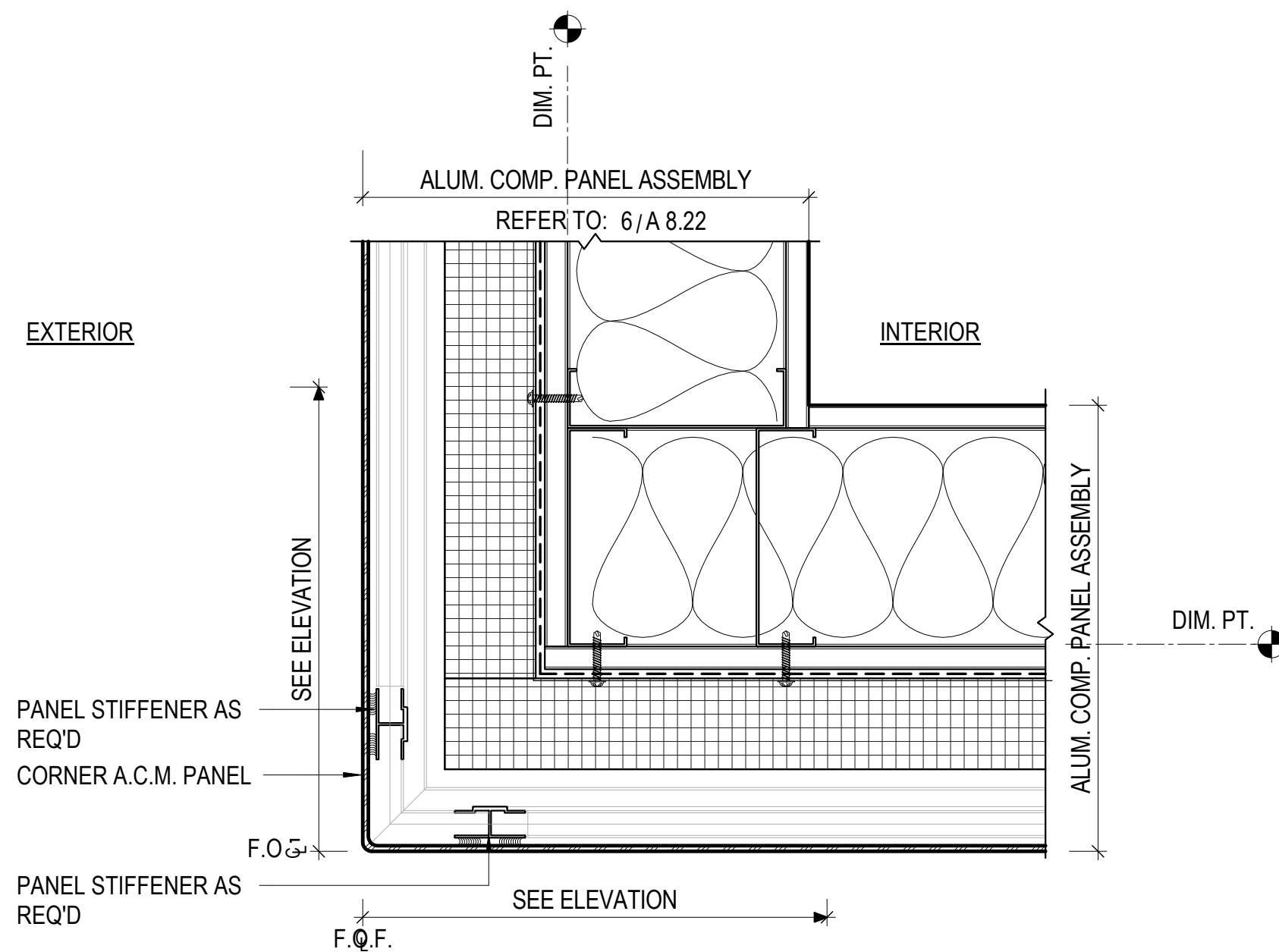
4 ALUM PANEL - TYP HORIZ. JOINT
3" = 1'-0"



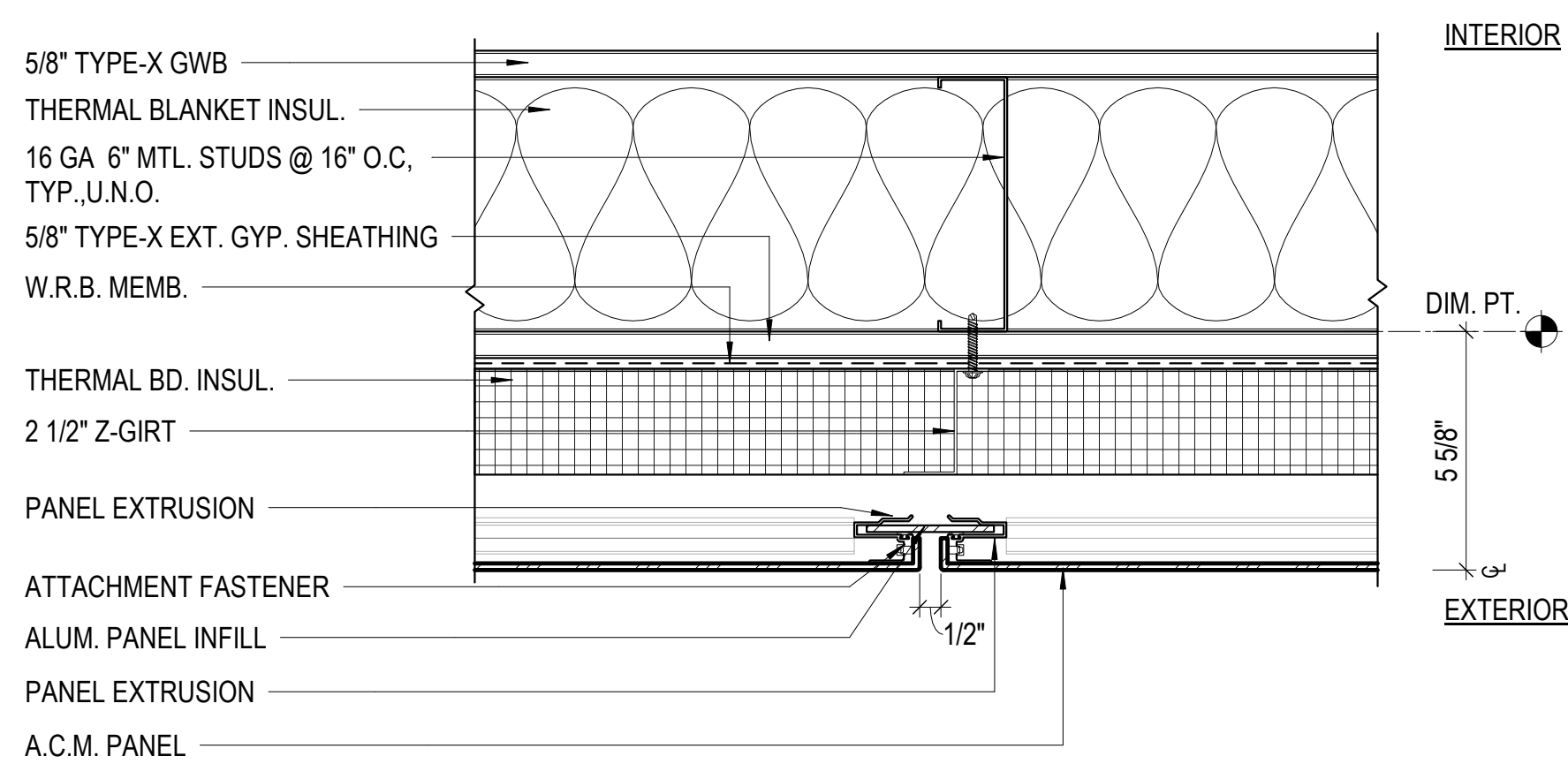
8 CURTAIN WALL PANEL AT PLINTH
3" = 1'-0"



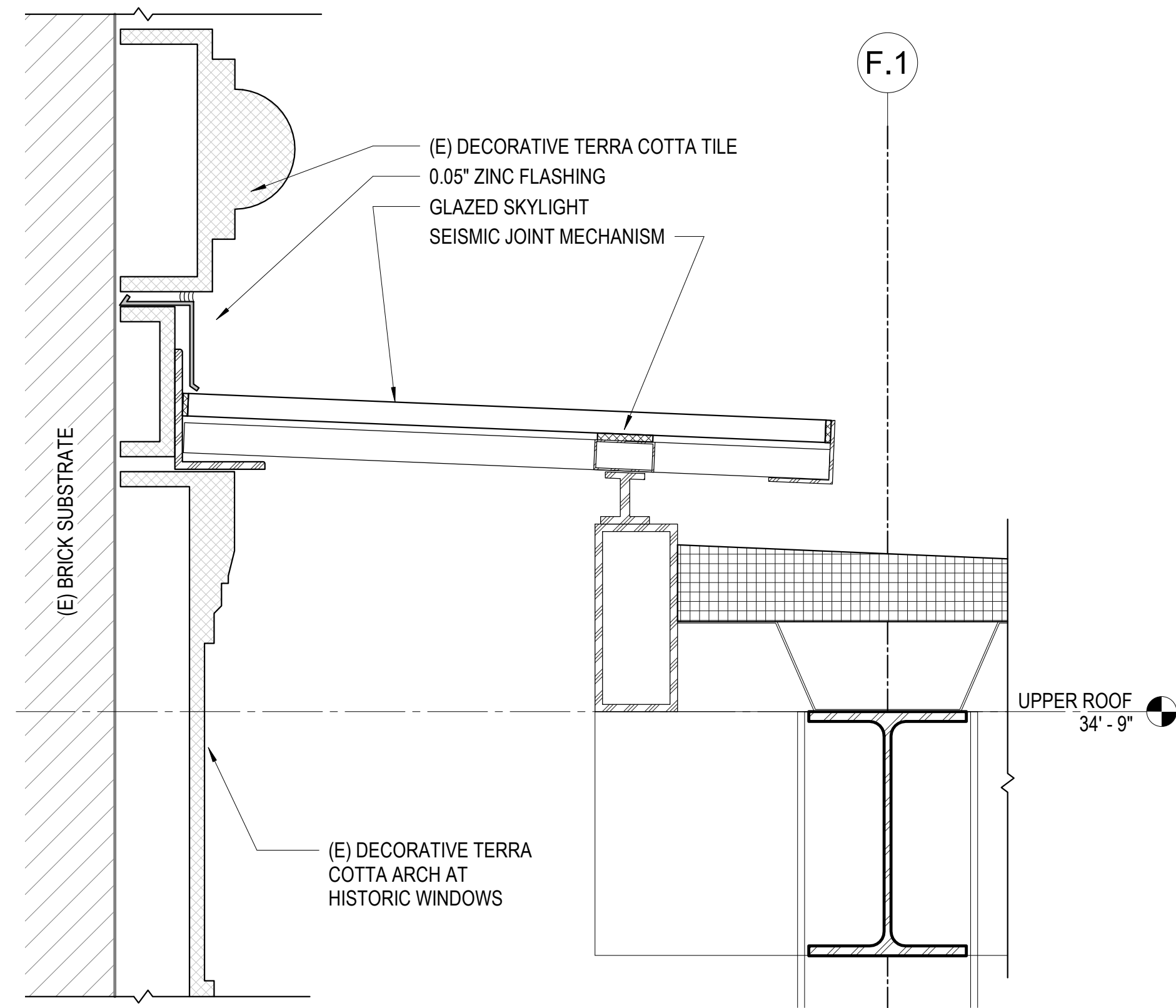
5 ALUM WALL PANEL AT PLINTH
3" = 1'-0"



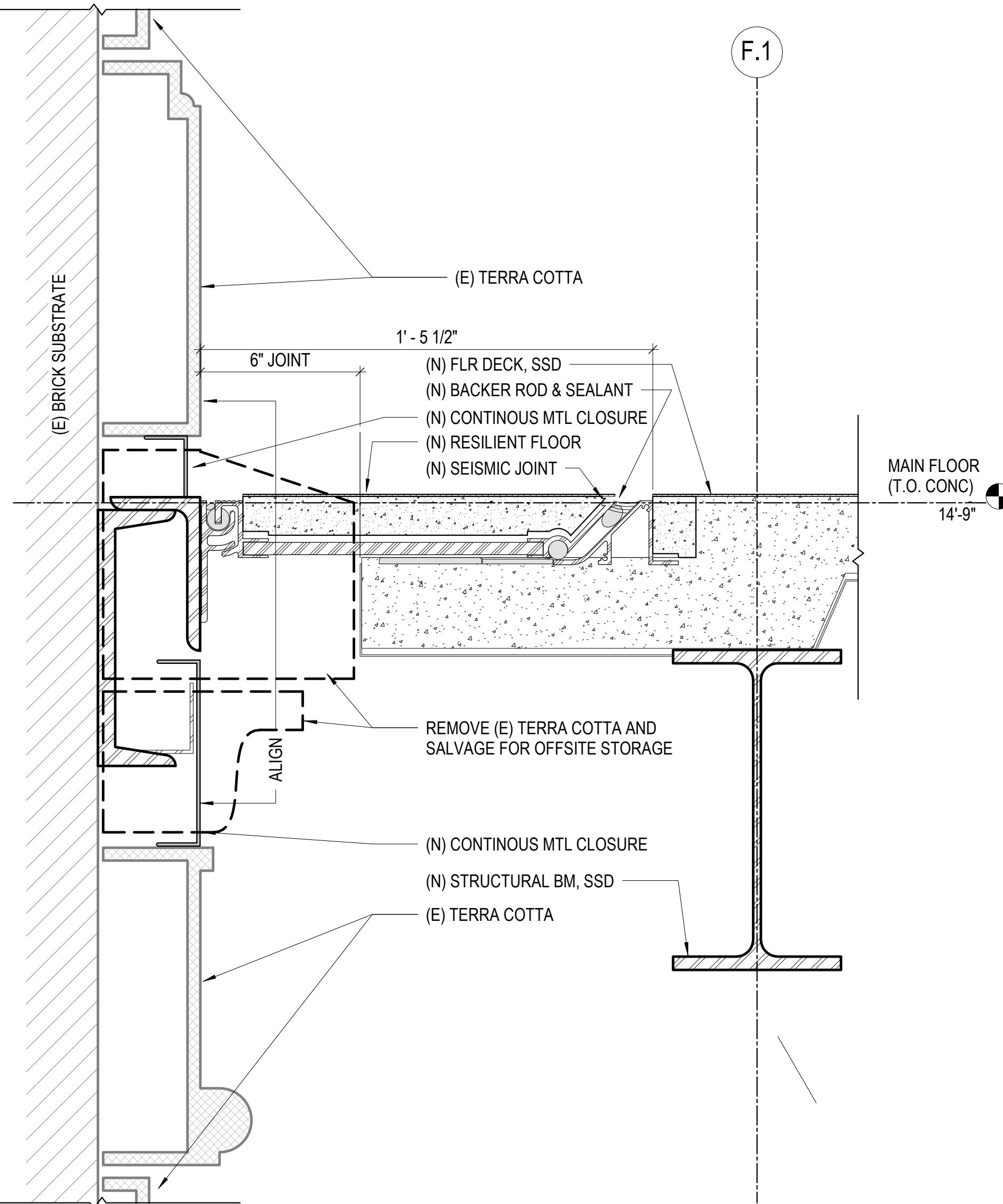
9 TYP. OUTSIDE CORNER
3" = 1'-0"



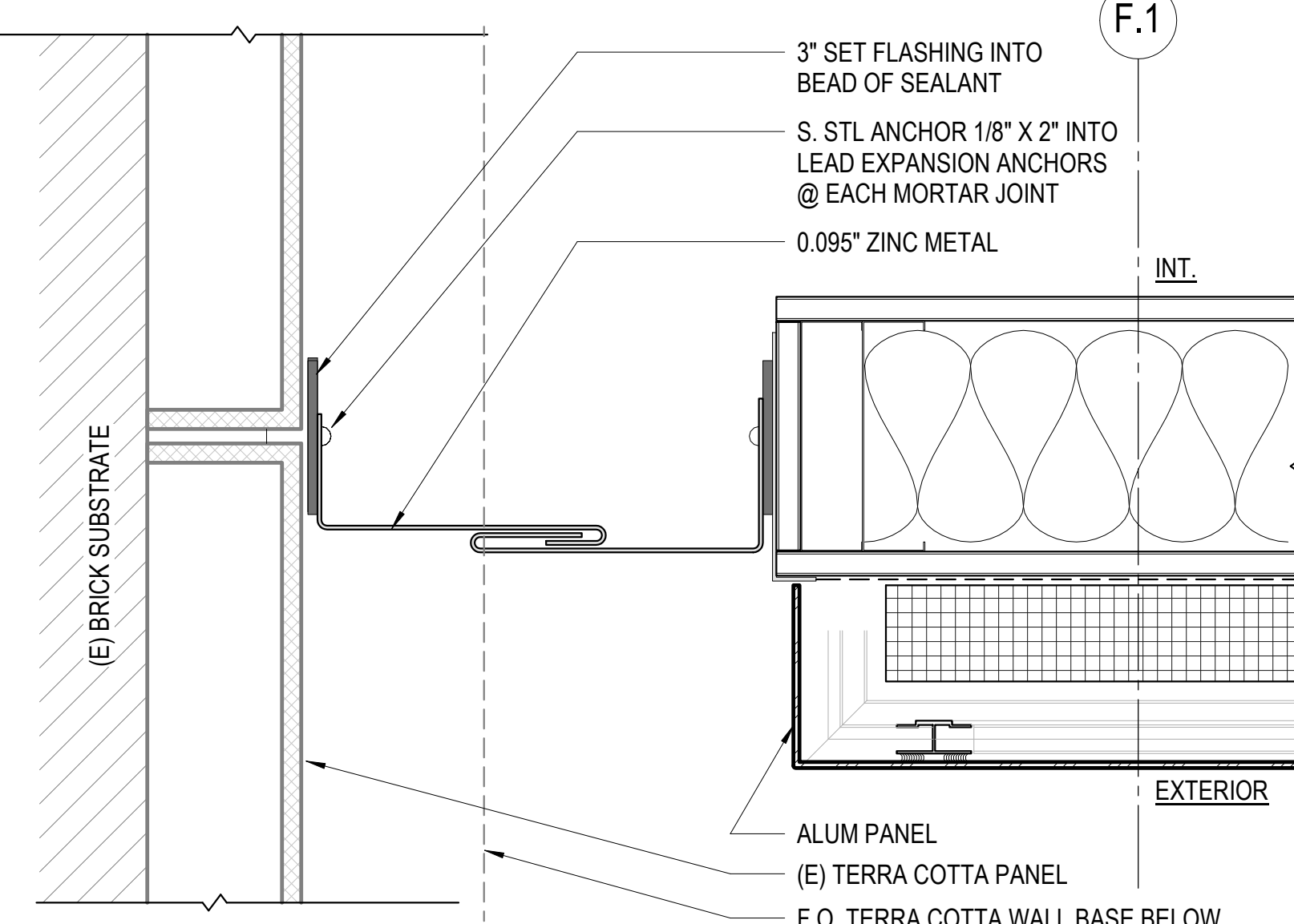
6 ALUMINUM PANEL ASSEMBLY - VERT JOINT
3" = 1'-0"



1 CONNECTION TO (E) BLDG AT ROOF
3" = 1'-0"



2 CONNECTION TO (E) BLDG AT MAIN LEVEL FLOOR LINE
3" = 1'-0"



3 CONNECTION TO (E) BLDG (PLAN)
3" = 1'-0"

2/4/2020

No.	Date	Revisions

PM Andrew Sohn
PA Andrew Sohn
Drawn Author
Checked Checker

Drawing Title

HISTORIC FACADE CONNECTION
DETAILS

Sheet No.

A 8.22

Project No.

Scale: 3" = 1'-0"

1806

Original Sheet Size: 30" x 42"



London N. Breed
Mayor

Mohammed Nuru
Director

Julia Laue, AIA, LEED AP
Principal Architect
and Bureau Manager

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MEMORANDUM

To: Stephanie Cisneros
Historic Planner

From: Andrew Sohn

Date: February 4, 2020

Subject: Mission Branch Library - HPC Submission

cc: Oliver Iberien

Hi Stephanie: We have revised and sent our drawing packet to address your request for additional information.

1. More information/details about (e) refinished wood door - photos, etc.
 - ***See drawing A3.11 and A4.02 in attached drawing packet. Door will be monumental bronze finished balanced door in a design similar to the original building. We do not have records of the exact original door but have used period photographs to get a sense of the door. ADA requirements require some deviation from original.***
2. More information on how new bollard/mounted auto door opener will be attached to building – can show details in a cross section
 - ***ADA door openers will be bollard mounted (freestanding on the sidewalk), not attached to building. See dwg A4.02.***
3. More information (window/door specs and/or samples) for proposed aluminum storefront system on addition.
 - ***Aluminum window wall is Kawneer “Clearwall” curtain wall and can be seen on drawing A3.12 and A8.22. Aluminum framing will be custom color dark bronze color Kynar paint. Glass is Vitro Architectural Glass, Solarban 90 Solar Control, with Starphire low-iron glass (glass is clear) insulating glazing units.***
 -
4. More information and/or a material sample for architectural concrete plinth on addition
 - ***See precedent image on drawing A3.12. Concrete will be smooth formed Architectural Concrete with a composed regular pattern of form tie holes.***

CONCRETE AT EXPANSION

Exposed to view concrete will be architectural concrete and have a smooth finish. HDO forms will be used.

A. Architectural Concrete (concrete exposed to public view): HDO plywood made specifically for forming Architectural Concrete. Armor-Ply 2-step HDO by Sylvan, or equal. Fin Ply or other phenolic faced material is not acceptable. Seal joints from paste intrusion. Joint sealant should not be present on cast face and remain only in joint.

1. Provide consistent type and source throughout work.
 2. Formwork to be ACI Class A.
- B. Form Layout at Architectural Concrete:
1. Formwork panels should be vertically arrayed with all panel joints in alignment horizontally and vertically. Panels should be full panels in minimum 4 x 10 size with the first row of panels starting at the floor level with top of panel aligned at 10 foot level. Panels should be symmetrically arrayed on each elevation with no less than a half panel width at each end. Form tie layout should also be symmetrical and consistent in both horizontal and vertical directions.
5. More information and/or material sample of aluminum wall panel system over rainscreen
- ***See drawing A8.2 for preliminary details. Material is "Pure + Freeform" 1/8 inch thick aluminum plate wall panels with custom bronze finish. See attached cutsheets. We are still making exact color selection but can provide samples.***
 - <https://purefreeform.com/portfolio-item/dry-joint-plate/>
6. Providing as much detail as to the restorative aspects of the project (including providing historic photos/plans, if available)
- ***See drawing A4.01 for diagrams of restorative planning concepts. Also see attached images of original building.***

Enclosures:

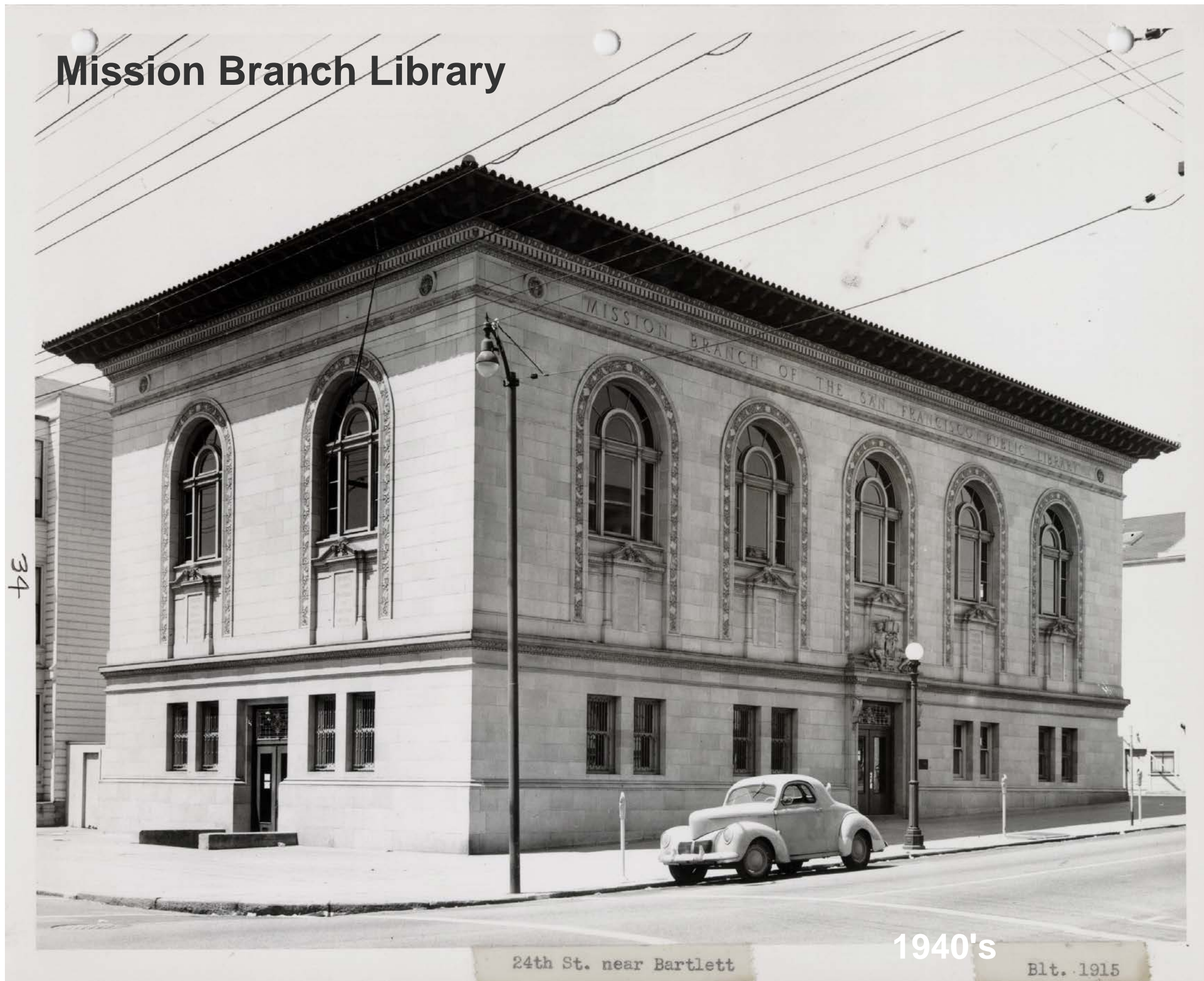
Historic Images Packet 5//20/2019

Pure + Freeform – Aluminum Wall Panel, Preliminary Color Selections

Kawneer "Clearwall" Product Literature

End

Mission Branch Library

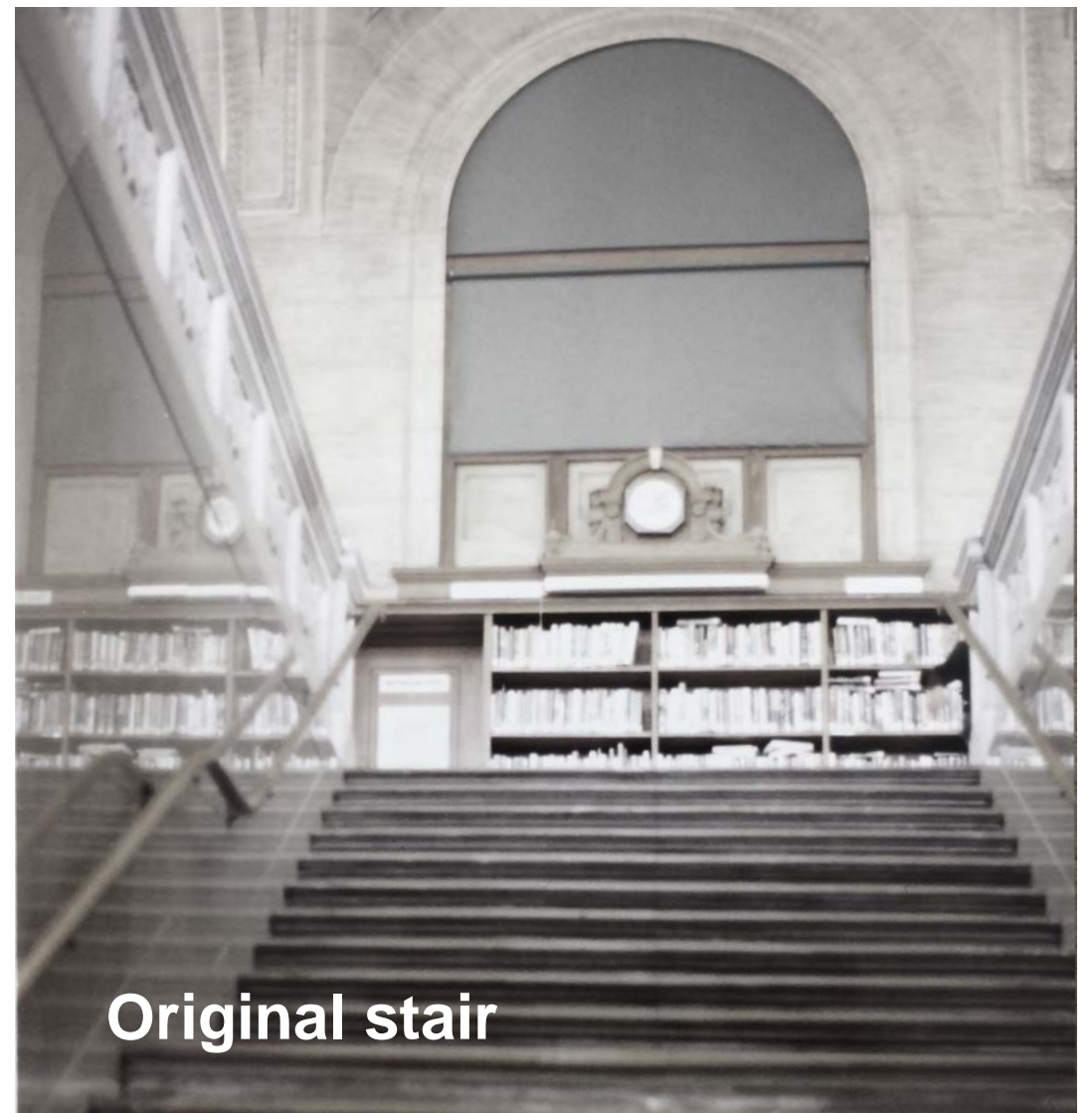




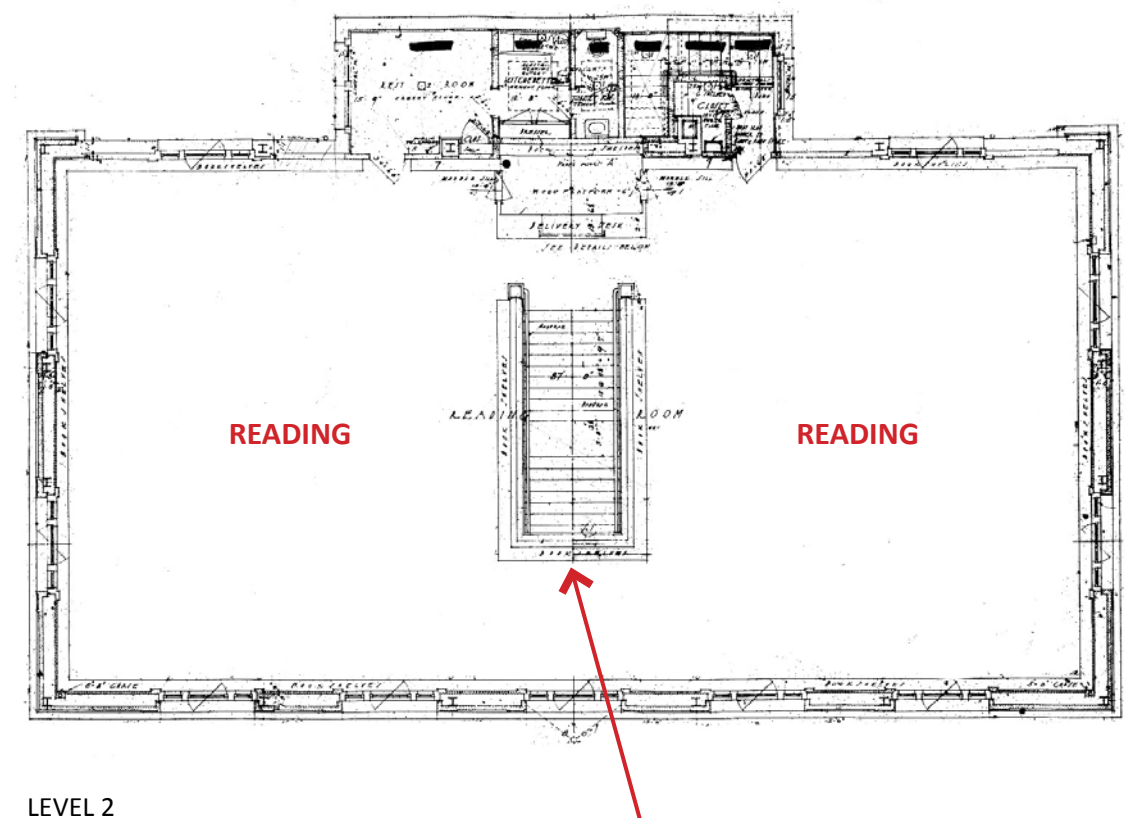
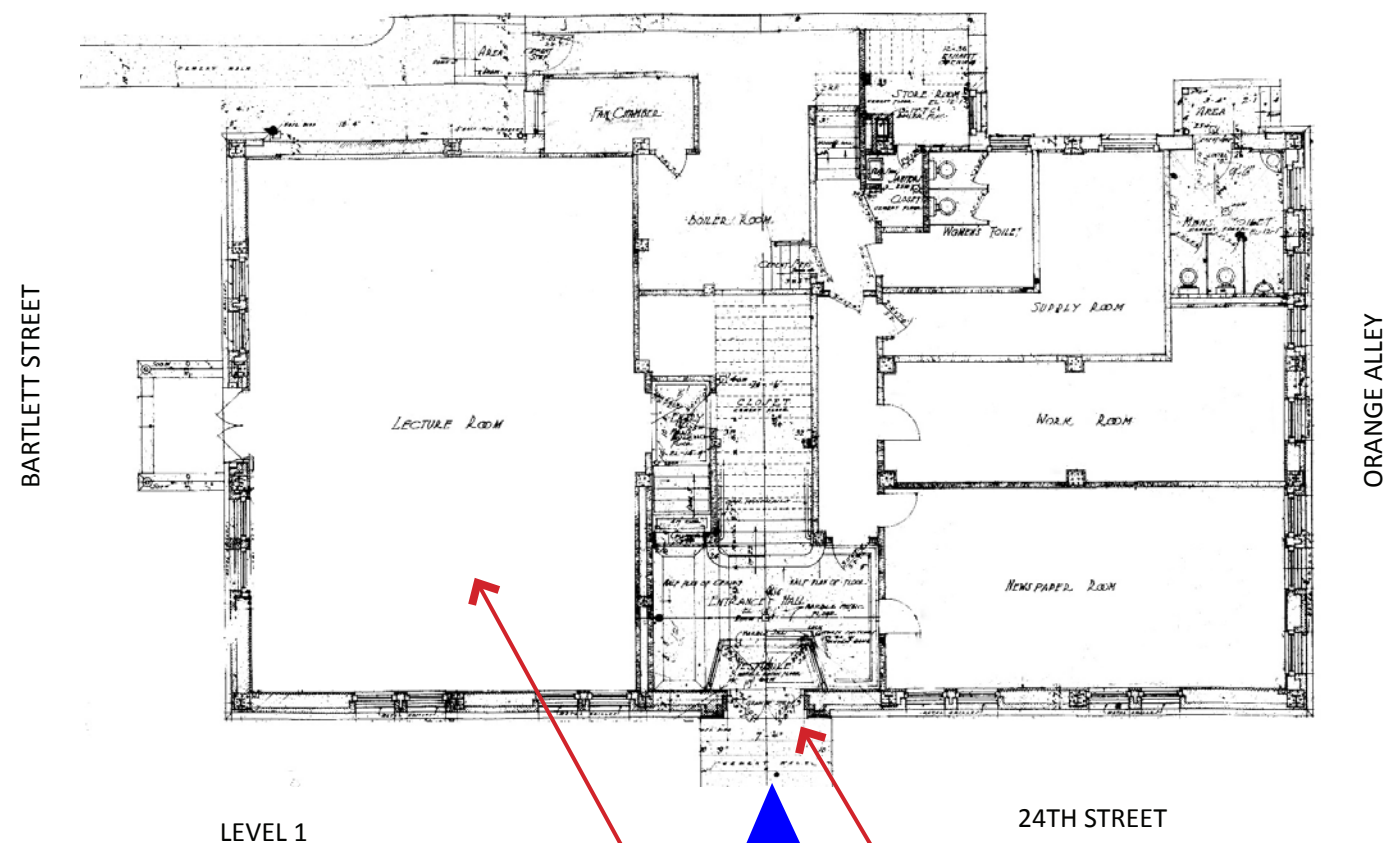
Original Reading Room interior
with stair and no tall bookcases



Original Lecture Room area



Original stair



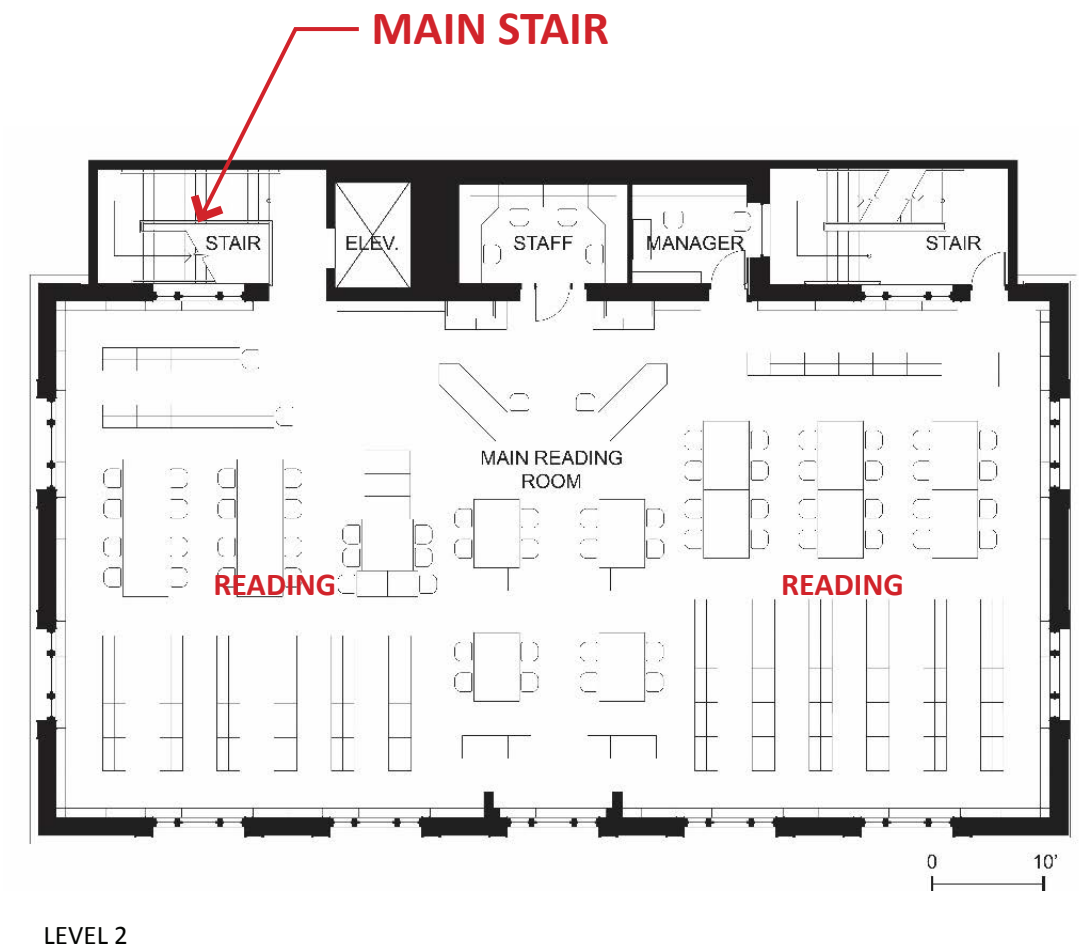
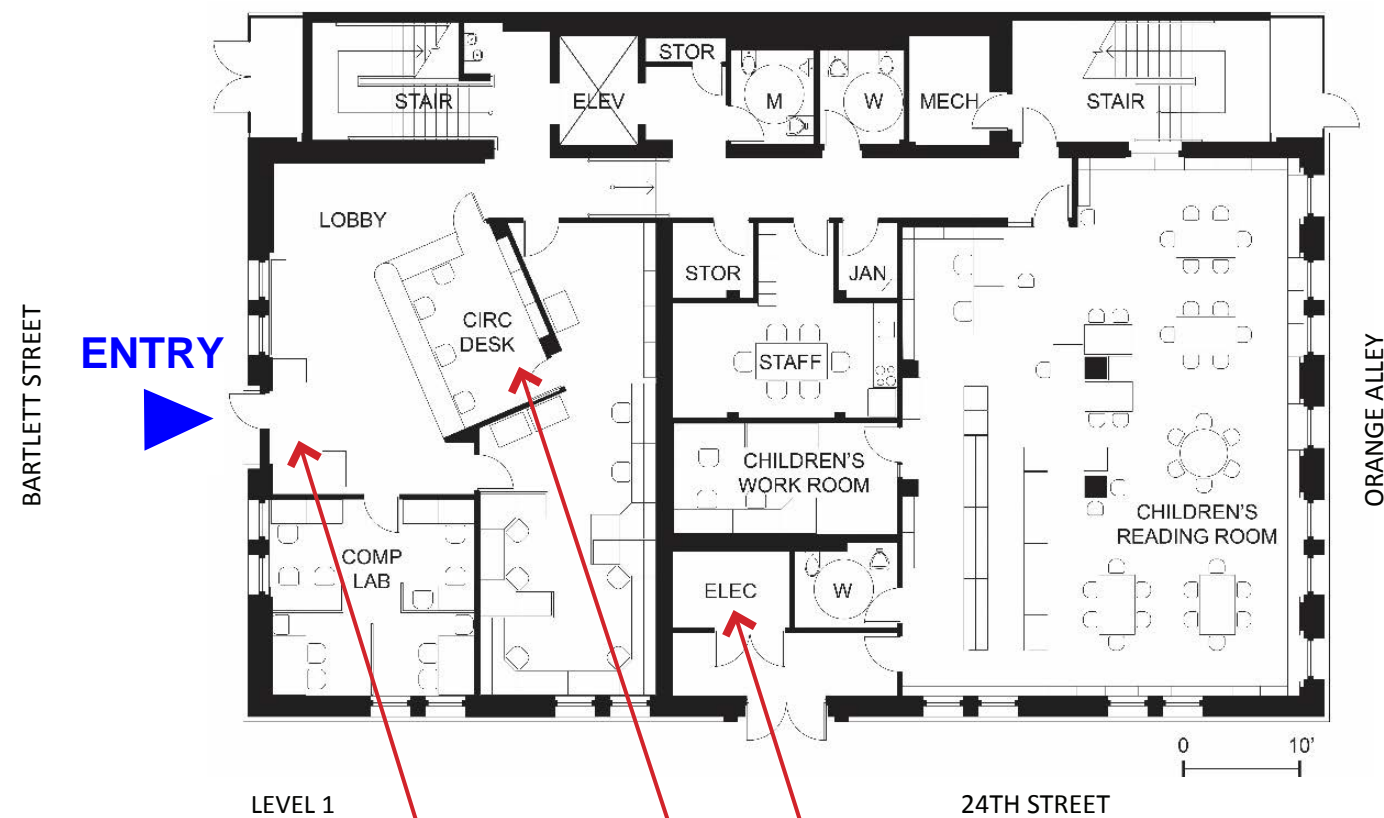
ENTRY

HISTORIC ENTRANCE

ORIGINAL LECTURE ROOM

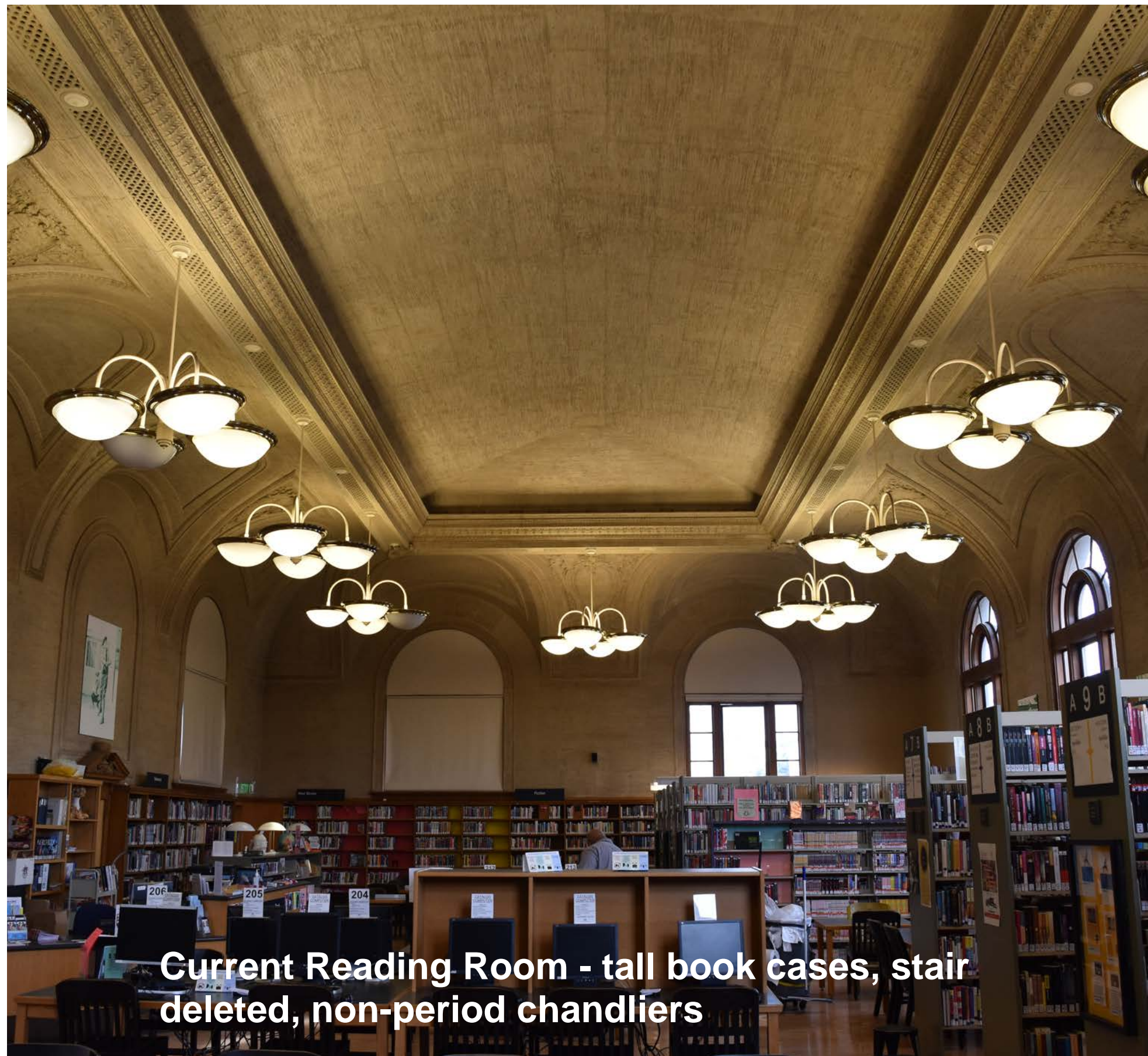
HISTORIC STAIR

1914 Floor Plans



MAIN ELECTRICAL ROOM
 FORMER LECTURE ROOM
 RELOCATED ENTRY
NO COMMUNITY ROOM IN
 CURRENT BUILDING

Current Floor Plans (1997 Remodel)



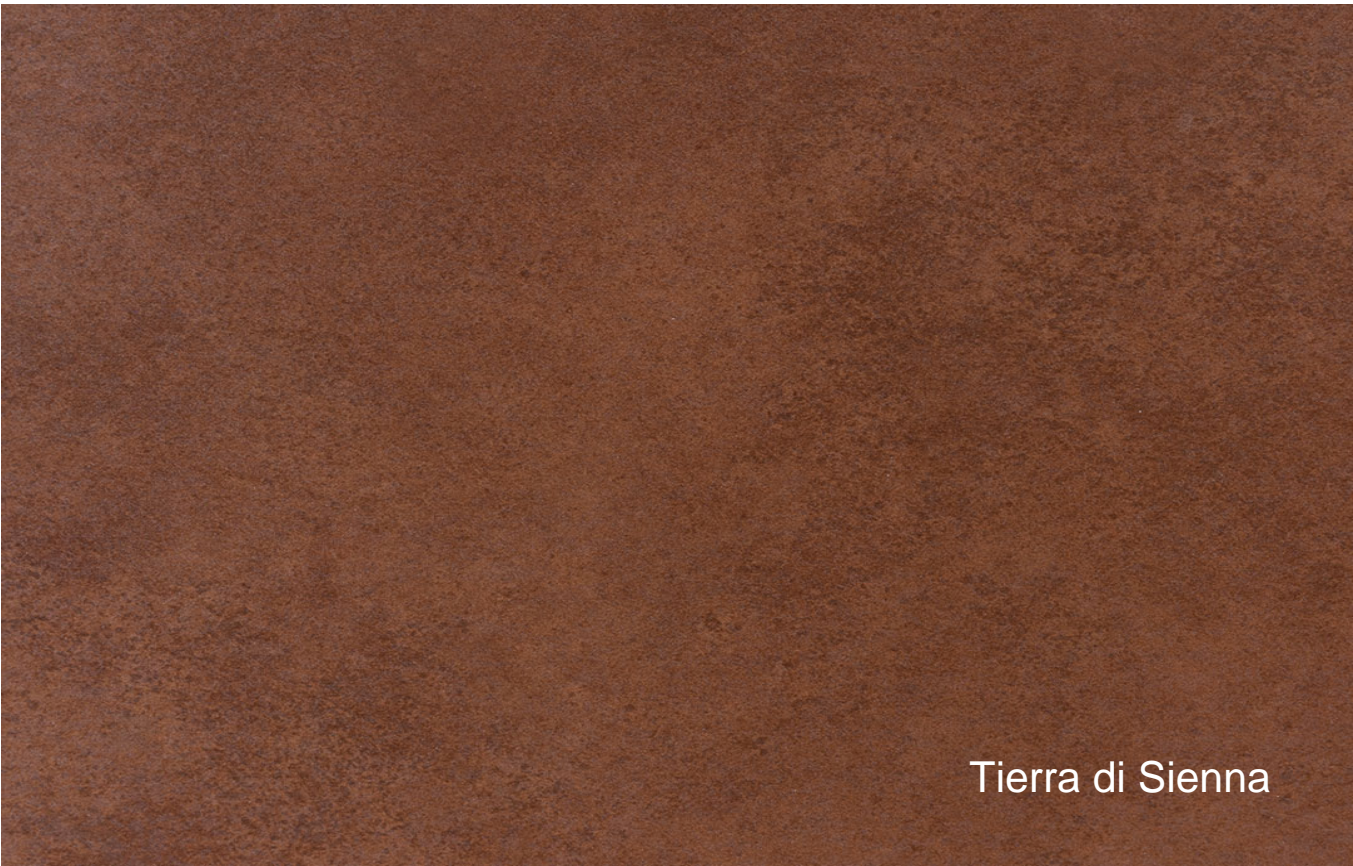
Current Reading Room - tall book cases, stair deleted, non-period chandliers



Area in original Lecture Room



Back hallway to Children's Room



Clearly Different. Clearly Innovative.



Victory Brewery
Parkesburg, Pennsylvania
ARCHITECT
Bernardon Haber Holloway Architects, Kennett Square, Pennsylvania
GLAZING CONTRACTOR
Zephyr Aluminum, Lancaster, Pennsylvania
PHOTOGRAPHER
© Perzel Photography Group

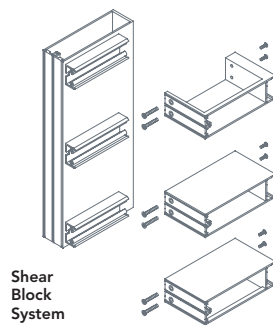
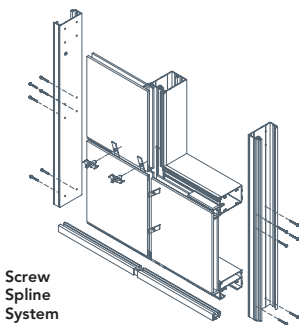
Today, a growing number of architects are designing buildings with sleek, uninterrupted all-glass façades. Clearwall™ Curtain Wall, an innovative 4-sided toggle glazed (TG) system*, delivers this highly desired aesthetic for low-rise applications. Clearwall™ Curtain Wall strikes a balance of form and function through its groundbreaking toggle design, which reduces installation labor, simplifies on-site logistics and enhances safety while providing superior aesthetics. Featuring inspired design, tight construction and brilliant results, Clearwall™ Curtain Wall is clearly different and clearly innovative.

AESTHETICS

Now designers have a clear option when they want an admired monolithic look for low-rise applications. Kawneer's Clearwall™ Curtain Wall, an outside glazed system, achieves the desired appearance of a 4-sided structural silicone glazed (SSG) system using a unique toggle assembly that directly captures glass. And because it was developed specifically with low-rise commercial and institutional building applications in mind, Clearwall™ Curtain Wall provides the same aesthetic as 4-sided SSG, point-supported glass or unitized curtain wall systems at a fraction of the cost. The innovative curtain wall system also features various mullion depths for increased design flexibility based on project requirements.

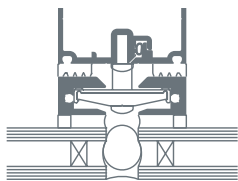
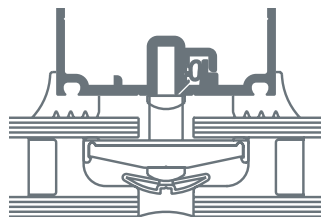
FABRICATION AND INSTALLATION

Clearwall™ Curtain Wall's greatest efficiency is achieved by eliminating the field application of structural silicone and its associated cure times. During glazing, toggle assemblies mechanically capture the inboard lite of adjacent recessed spacer insulating glass units. Other glazing options allow toggles to capture a metal interface attached to a regular insulating glass unit. Additionally, straight cuts without notching simplify fabrication, while screw spline construction allows frames to be pre-assembled in the shop and shipped ready to glaze to the job site, reducing on-site handling and labor time. Shear block construction is also available with deeper mullions and optional steel reinforcement for higher free span applications.

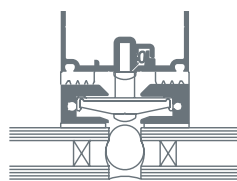


Clearwall™ Curtain Wall offers three toggle glazed (TG) options (Screw Spline System shown)

1. Clearwall™ SS (Screw Spline) or SB (Shear Block): In this standard glazing option, toggles capture the inboard lite of 1-1/8" recessed spacer insulating glass units†. This combination completely eliminates the use of any structural silicone, thereby saving costly application and cure times.



2. Clearwall™ SSI (Screw Spline Interface) or SBI (Shear Block Interface): In this glazing option, toggles capture a metal interface, which is shop-applied to standard 1" insulating glass with structural silicone.



3. Clearwall™ SSIT (Screw Spline Interface Tape) or SBIT (Shear Block Interface Tape): In this glazing option, toggles capture a metal interface, which is shop-applied to standard 1" insulating glass with 3M™ VHB™ Structural Glazing Tape (SGT)††.

PERFORMANCE

For enhanced energy efficiency, the system accommodates 1-1/8" and 1" insulating or laminated glass, which provides increased thermal performance and enhances STC and OITC (sound resistance) performance. Clearwall™ Curtain Wall has been tested in accordance with North American performance standards, including seismic, thermal cycling and dynamic water. Additionally, Clearwall™ Curtain Wall has been third-party tested for for both large and small missile impact to withstand windborne debris and hurricane forces.

PERFORMANCE TEST STANDARDS

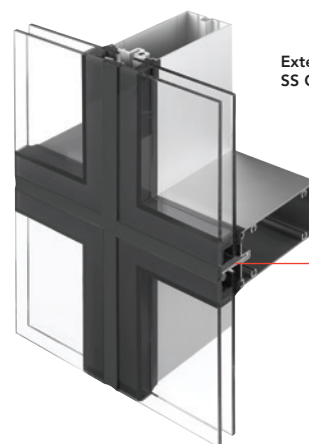
Air Infiltration	ASTM E283
Water – Static	ASTM E331
Water – Dynamic	AAMA 501.1, 520
Structural – Uniform wind load	ASTM E330; TAS 202
Thermal Cycling	AAMA 501.5
Thermal Transmittance – U factor	AAMA 1503, 507; NFRC 100
Condensation Resistance (CRF, I, CR)	AAMA 1503; CSA 440; NFRC 500
Overall Solar Heat Gain Coefficient (SHGC & VT)	NFRC 200; AAMA 507
Sound Transmission Class (STC, OITC)	ASTM E90, E1425
Seismic	AAMA 501.4

FOR THE FINISHING TOUCH

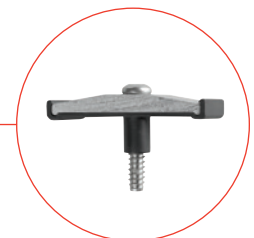
Architectural Class I anodized aluminum finishes are available in clear and Permanodic™ color choices.

Painted finishes, including fluoropolymer, that meet AAMA 2605 are offered in many standard choices and an unlimited number of specially designed colors.

Solvent-free powder coatings add the green element with high performance, durability and scratch resistance that meet the standards of AAMA 2604.



Exterior view of Clearwall™ SS Curtain Wall with toggle



† Recessed spacer by qualified glass supplier
†† 3M and VHB are trademarks of 3M Company

San Francisco Arts Commission

Civic Design Review Committee - June 17, 2019 - Minutes

Meeting Date:

June 17, 2019 - 2:30pm

Location:

401 Van Ness, Suite 125
San Francisco, CA 94102

Related Meeting Content:

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MEETING OF THE CIVIC DESIGN REVIEW COMMITTEE OF THE SAN FRANCISCO ARTS COMMISSION

Monday, June 17, 2019

2:30 p.m.

401 Van Ness Avenue, Suite 125

Draft Minutes

Commissioner Kimberlee Stryker called the meeting to order at 2:35 p.m.

1. Roll Call

Commissioners Present

Dorka Keehn
Linda Parker Pennington
Abby Schnair
Barbara Sklar
Lydia So
Kimberlee Stryker
Paul Woolford

Commissioners Absent

N/A

Staff Present

Aleta Lee, Program Associate, Public Art Trust & Special Initiatives

2. Public Comment

N/A

3. SFPL Mission Branch Library Renovation Project: Phase #1

Andrew Sohn, Project Designer, Project Manager, and Architect, Public Works

Anthony Esterbrooks, Landscape Architect, Public Works

The project team presented a site analysis, site context, building analysis of historical pictures and floor plans, and the deficiencies and needs that developed the project scope. The project scope proposed a restoration of the original entrance and main stairway, a new community room, additional restrooms, consolidated service points, replacement of mechanical systems, and an increase of square footage with additions. The team went on to present the proposed design, proposed floor plans, design precedent images, and studies of the new addition, along with elevations of each option. For landscaping, the team presented a site plan, materials palette, and options for the active entry space patio on Bartlett Street.

The Committee commented that the three addition options presented looked the same. They suggested that the team not use a simulacrum of the original plinth of the historical building, but make a clearly modern counterpoint. Furthermore, the Committee recommended the team remove the southwest corner architecture of the second level to create a more defined and pure plinth. For the Bartlett Street entry space, the Committee suggested adjusting the fence height to follow the datum of the building architecture. For landscaping, the Committee discouraged the use of metal railing around landscape and suggested that if there was planned planting then it should be subtle and pulled back from the entry. In addition, they suggested embellishing the Bartlett Street entry space with greenery. There was no public comment and the motion was unanimously approved as follows.

Motion to approve Phase #1 of the SFPL Mission Branch Library Renovation Project contingent upon 1) exploring the window pattern of the new addition, 2) exploring landscape planting, 3) exploring the fence detail height of the Bartlett Street entry space, 4) not using a simulacrum of the plinth of the building but to make it planer and more modernistic, 5) investigating honest materials like natural concrete, and 6) removing the southwest corner of level two so the plinth is a pure defining element.

4. Daly City Vista Grande Drainage Basin Improvements Project: Phase #2 and Phase #3

Shawn Spreng, Project Designer, McMillen Jacobs Associates

Thomas Piccolotti, Project Manager, City of Daly City

Greg Robley, Architect, MWA Architects

Andrew Dawson, Landscape Architect, WRT Design

The project team presented the vicinity map, site plan, existing views, and proposed view with renderings. They then showcased the building plan, building section, elevations, material palette, design precedents, and plant palette. The team provided design updates based on the comments from their last review. The updates included matching the cladding inside the door reveal to zinc standing seam cladding on the exterior, aligning the door heights, making the west façade vertical, and adding taller plants along John Muir Drive to further obscure the building.

The Committee liked the new design and the project team's design rigor to do something remarkable. They hoped this project could inspire other city departments that worked on projects at a similar scale. The new Commissioners also commented their appreciation of comparing the previous review comments and old and new design in a clear manner. There was no public comment and the motion was unanimously approved as follows.

Motion to approve Phase #2 and Phase #3 of the Daly City Vista Grande Drainage Basin Improvements Project.

5. Francisco Reservoir Park Project: Phase #2 and Phase #3

Brendan McDevitt, Project Manager, MCK

Richard Parker, Architect, 450 Architects

Larry Foster, Landscape Architect, BFS Landscape Architect

Commission Chair Kimberlee Stryker commented that Francisco Reservoir Park project was already at 90% construction documents and inquired to the Committee if it was worth the time to review given that their comments would most likely not be integrated into the design.

The new Rec and Park project manager, Kelly Rednick, explained that a previous project manager had made a mistake by not following through with the Civic Design Review process required for the project.

The Committee agreed that they would not review this project given that they would not be able to add anything or make any input that would be useful. Moreover, they stated that without review they would not take responsibility for the final design.

Public Comment:

Bruce Keene, a representative of the Francisco Park Conservancy, apologized on behalf of the Conservancy for not following protocol and not having the benefit of the Committee's input prior to this time. He wanted to make clear that the conservancy did not learn about needing to return for review until ten days before the meeting, but did not want to preclude any of the Committee's comments.

The Committee took a break at 3:45pm and restarted the meeting at 3:51pm.

6. Better Market Street Project: Phase #2

Ophelia Lau, Project Designer, Public Works

Cristina Olea, Project Manager, Public Works

John Dennis, Landscape Architect, Public Works

The project team presented updates to the project specific to the paving, greening, site furnishings, lighting, and public art. For paving, the team provided a section of the street, updates of the design for nexus intersection plazas, enlargements of the proposed paving design with street detail and intersection details, and a large life size print out of the pavement for scale reference. For the nexus of intersections, the team proposed a different shade pavers where two colors meet together. The team also provided color and finish samples of proposed materials of pavers. For greening, the team selected six trees including the Quercus, Lophostemon, Magnolia, Ginkgo, Ulmus, and Plantanus species. For the proposed layout, the team designated evergreen trees in the triangle nexus intersections. For site furnishing, the team showcased proposals for permanent seating. They shared that feedback from past community meetings was for seating to serve a variety of flexible uses, which would have some include backs and all having armrests. It was also suggested that the permanent seating could reuse some granite curbs that would tie the design together. For bus shelters, the project team thought this would be an neighborhood identity opportunity by using historical photographs that reflect the history of the specific site. For the Path of Gold lighting, the team said they were working with the Arts Commission staff in developing a strategy regarding the removal or replacement of the image on the base of the sculpture. Lastly, the team showed a video that showed an overview of the corridor.

The Committee thought the team needed to refine the pavement plan, specifically regarding the paver colors, bike lane, and intersections. The Committee was concerned about the monolithic gray color and asked for more varied granularity in the pavers. For the bike lane, the Committee suggested using pavers instead of asphalt. In regards to the intersections, the Committee thought the proposed triangle form should reinforce the O'farrell grid and have a more resolved and holistic design. The Committee thought the bus shelter photo images would be a great public art component opportunity that could be part of the art enrichment budget. They encouraged the team to consider historical public figures and sites.

Public Comment:

Ron Miguel, previous President of the Planning Commission and chair of the citizens working group of Market Street, shared that the public is very interested and involved in this process. He wanted to comment that the general public and stakeholders of Market Street have been very involved and continue to be involved in the project. He appreciated the Committee for everything they are putting into this project and would report back to working group.

Motion to approve Phase #2 of the Better Market Street Project contingent upon 1) studying pavers in the bike lane, 2) narrowing the color range of the concrete pavers and adding granularity to shades while avoiding monolithic color casting, 3) resolving the design form of the triangle intersection grid to have a more holistic approach, and 4) ensuring the suggested art opportunities on the bus shelters reflects historical public figures and places.

7. India Basin Project: Conceptual Review

Victoria Lehman, Project Manager, BUILD SF

Oscar Hernandez-Gomez, Architect, SOM

Karthik Kumar, Landscape Architect, Bionic Landscape Architects

The project team presented the site context, aerial views, existing conditions of the shoreline, and a summary of the development program. The team then discussed the design drivers and guiding principles, form drivers, and biodiversity of the area. For the conceptual design, the team provided an overview of the site plan, public realm, trail and bike network, and current design scheme with hardscape

and planting areas. Lastly, the team presented different site experiences and the design's sea level rise adaptations.

The Committee thought the design was handsome and thoughtful, and was excited to see the development of the project. The Committee commended the team for its community engagement efforts so far, and appreciated their involvement with the current community to be represented and a part of the conversation. The Committee was glad to see a proposed Bus Rapid Transit system to access the area. They were in favor of pulling the building as far back as possible and encouraged authentic connectivity.

Commissioner Barbara Sklar left the meeting at 5:15pm.

Commissioner Linda Parker Pennington left the meeting at 5:20pm.

8. SFO T3 Wests Modernization Project: Phase #1

Brad White, Project Designer and Architect, Gensler & TEF

Tania Gharechedaghy, Project Manager, SFO

The project team reviewed their project goals, project site, existing conditions, proposed plan and massing, solar and daylight analysis, and design concept. The team then presented their new design, emphasizing the reinterpretation of terminal 3 east elements to the exterior of terminal 3 west for a consistent design. The updates included integrated skylights, a tower scheme design, and the use of electrochromic glass that adjusted in shading depending on the intensity of the sun.

The Committee was happy to see the next steps of development for the project. Regarding the tower scheme, the Committee asked if the towers could be made distinct in a different way to be more architecturally interesting and talk about the mechanics that were happening with the form. Moreover, the Committee asked how the tower forms could register with the horizontal datum of the building instead having it look like a grey box attached to the façade. Lastly, they asked the team to come back with samples of the electrochromic glass at the next review. There was no public comment and the motion was unanimously approved as follows.

Motion to approve Phase #1 of the SFO T3 Wests Modernization Project contingent upon 1) studying the necessity of the fins, 2) studying the horizontal panels that break up the verticality of the glass fenestration, 3) studying the expression of the towers in greater detail, and 4) bringing in electrochromic glass samples to see if it fits with the skin materials.

Commissioner Paul Woolford recused himself from the meeting due to conflict of interest as the following item was a project his firm is involved with to design.

9. SFO Courtyard 3 Connector Project: Phase #1

Alan Bright, Project Designer, HOK

Kris Opbroek, Project Manager, SFO

Bart van Vliet, Architect, HOK

The project team presented the site and context, previous comments from past reviews, the design vision and concept, the façade patterning, renderings, and material palette. Currently, the team was considering different material and color palettes and refining the best option for the project.

The Committee acknowledged the difficulty in integrating an office building in the middle of airport terminals, but thought the team did a good job in moving the project forward. The Committee felt that the team still needed to refine tying the datum of the two terminals together with the building design. The Committee questioned how the team would be able to put a color palette together since the dynamic glass material they were using would change to four different colors depending on the intensity of the sun. They thought it would be helpful to see the color palette of materials with the four different stages of the dynamic glass. They asked the team to bring glass and photovoltaic samples to the next review. Additionally, they asked the team to perform studies and renderings that depicted the color change. Lastly, the Committee asked that the team move the antennas on the roof to the airside of the building. There was no public comment and the motion was unanimously approved as follows.

Motion to approve Phase #1 of the SFO Courtyard 3 Connector Project contingent upon 1) studying the move of the balcony inset several stories down or canting it two more levels, 2) studying the continuum datum of the second floor and its connection to the top of terminal 2 and the artwork, 3) providing renderings and samples that provide a complete picture and understanding of the materials and changing colors, and 4) moving the antennas to the airside of the building.

10. Visual Arts Committee Update

There was no Visual Arts Committee Update.

11. Staff Report

There was no staff report.

12. New Business and Announcements

Commissioner Stryker wanted to thank all the Commissioners who have participated in the recent informals for their time and dedication to the Civic Design Review Committee.

13. Adjournment

There being no further business, the meeting was adjourned at 6:29 p.m.

posted 6/28/19, 7:05 p.m., akl

updated 7/1/19

Language Accessibility

Translated written materials and interpretation services are available to you at no cost. For assistance, please notify Special Projects and Civic Design Review Program Associate Aleta Lee, 415-252-2251, aleta.lee@sfgov.org.

我們將為閣下提供免費的書面翻譯資料和口譯服務。如需協助，Special Projects and Civic Design Review Program Associate Aleta Lee, 415-252-2251, aleta.lee@sfgov.org.

Materiales traducidos y servicios de interpretación están disponibles para usted de manera gratuita. Para asistencia, notifique a Special Projects and Civic Design Review Program Associate Aleta Lee, 415-252-2251, aleta.lee@sfgov.org.

Ang mga materyales na nakasalin sa ibang wika at ang mga serbisyong tagapagsalin sa wika ay walang bayad. Para sa tulong, maaring i-contact si Special Projects and Civic Design Review Program Associate Aleta Lee, 415-252-2251, aleta.lee@sfgov.org.



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MEETING NOTES

Project: Mission Branch Library (MBL)
Project #: 1806
Subject: Civic Design Review Phase 1
Client: SFPL - MBL
Meeting Date: 06/17
Meeting Time: 2:30PM
Location: SF War Memorial & Performing Arts Center, 401 Van Ness Avenue
Prepared By: AWS
Issue Date:

MEETING ATTENDEES

NAME	ORGANIZATION	ROLE	MTG
Andrew Sohn [AS]	SFPW - BDC	Architect	
Tony Abuyaghi [TA]	SFPW - BDC	Job Captain	
Ailey Simpson [AWS]	SFPW - BDC	Architectural Assistant	

DISCUSSION

- (IDK) Questioned reasoning behind solid, deferential base, why essentially the same expression of the plinth translates to all three design options?**
 - Not pushing all of the way modern or all of the way deferential
- (Barbara Sklar) Approved of solid base and tall landscaping fence to give priority to children's security and safety.**
- (Paul Wolford) Why is the southwest corner not rendered? The rest of the moves are well thought out, the expression of this corner is not articulated and doesn't seem to have any reasoning.**
 - Consider carrying the plinth over on the lower level and removing the corner of the upper level (saddlebag expression on upper level)
- (Paul Wolford) Recommended pursuing study A**
 - Fully embrace the modern expression of Study A, using the proportionality and language of the building as reference
 - Consider concrete base with anti-graffiti coating (similar to public safety building) = HONEST expression of urban alley condition
 - Base = expression of planes, slit separation
 - Repeat slot element on north façade rather than punched window to get light into the lower level
- (Paul Wolford) Align top of fence with top of baseboard, current heights are awkward since they don't line up with architectural features**

6. (All) Studies A and C have potential, continue to think about MODERN expression, differentiation of materials...
7. (IDK) Consider having windows at North and South end (short ends) of the addition, removing windows from long face
8. (Striker) The metal railings around planters are problematic. Not historic, messy, don't pursue... (sited issues at main library, around civic center)
9. (Striker) Planters are too wide for the heavily trafficked sidewalk, consider reducing the width
10. (Paul) Why planters all along the building? Are these necessary? Or will they just look nice for a few weeks and then be impossible to maintain?
11. (Striker) If using planters, consider pulling back from entry to give more space. Could focus planted area on Bartlett plaza
12. (Striker) PAVERS – make sure that they aren't too busy, aren't competing with the architecture (subtle)
13. PHASE 1 APPROVED WITH THE FOLLOWING CONTINGENCIES: explore fenestration on addition, explore southwest corner, reconsider planting locations, reconsider fence height/ pattern, modernize the architectural expression of the base (don't carry over pure simulacrum of the historic façade), EMBRACE A SIMPLIFIED, PURE, HONEST, PLANAR, MODERN EXPRESSION

NOTE: These minutes will be relied upon as the approved record of matters discussed and conclusions reached during the meeting. If you disagree with the contents, please send the author a letter outlining your disagreement within seven calendar days of the issuance of these minutes.