



SAN FRANCISCO PLANNING DEPARTMENT

Major Permit to Alter Executive Summary

HEARING DATE: FEBRUARY 5, 2020
CONSENT CALENDAR

Record No.: 2019-019493PTA
Project Address: 972 MISSION STREET
Category: Category IV (Contributory)
Zoning: C-3-G DOWNTOWN- GENERAL Zoning District
160-F Height and Bulk District
Block/Lot: 3704/021
Project Sponsor: Paul Tognotti, Michael Zucker & Associates
155 Montgomery Street, Suite 201
San Francisco, CA 94104
Staff Contact: Rebecca Salgado - 415-575-9101
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415.558.6377

PROPERTY DESCRIPTION

972 MISSION STREET is located on the north side of Mission Street between 6th Street and Mint Street (Assessor's Block 3704; Lot 021). The subject building is a contributor to the Mint-Mission Conservation District, locally designated under Article 11, Appendix K of the Planning Code.

The Classical Revival-style, five-story commercial loft building was built in 1925. It is clad with stucco with steel multilite windows and is topped by a flat roof.

PROJECT DESCRIPTION

The proposed project involves removing and replacing an existing elevator at the building with a larger, accessible elevator. The new elevator will have a rooftop penthouse overrun that will be visible from a public right of way. The penthouse will be clad with cement plaster with a light, neutral finish and will be set back 53'-8" from the front façade of the building. The new penthouse will be as tall as the remaining existing elevator penthouse, which rises 11'-5" above the rooftop parapet. Please see photographs and plans for details.

COMPLIANCE WITH PLANNING CODE

Planning Code Development Standards.

The proposed project is in compliance with all other provisions of the Planning Code.

In order to proceed, a building permit from the Department of Building Inspection is required.

Applicable Preservation Standards.

The proposal overall is appropriate for and consistent with the purposes of Article 11, meets the standards of Article 1111.6 of the Planning Code, and complies with the *Secretary of the Interior's Standards for Rehabilitation*, in that:

- the proposal respects the character-defining features of the subject building and conservation district;
- the integrity of distinctive stylistic features and examples of skilled craftsmanship that characterize the building shall be preserved; and,
- the proposed replacement of an existing elevator penthouse with a slightly larger elevator penthouse will not remove distinctive materials, nor irreversibly alter features that characterize the building;
- the distinctive features and finishes of the building will be retained and preserved by the proposal, as the existing flat roof is utilitarian in nature and does not possess any character-defining features that could be impacted by the proposed penthouse;
- the proposed penthouse will be only partially visible from the public right-of-way, and is set far back from the Mission Street façade;
- the penthouse will be clad in cement plaster painted in a neutral color, which will make it appear subordinate to the historic resource;
- the essential form and integrity of the building and its environment would not be impaired if the proposed penthouse were removed in the future.

The Department has determined that the proposed work will be in conformance with the requirements of Article 11 and the *Secretary of Interior's Standards for Rehabilitation*. Proposed work will not damage or destroy distinguishing original qualities or character of the subject building. The Department finds that the historic character of the building will be retained and preserved and will not result in the removal of historic fabric.

PUBLIC/NEIGHBORHOOD INPUT

The Department has not received any public inquiries about the proposed project.

ENVIRONMENTAL REVIEW STATUS

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

BASIS FOR RECOMMENDATION

The Department recommends APPROVAL of the proposed project as it appears to meet the provisions of Article 11 of the Planning Code regarding Major Alteration to a Category IV (Contributory) Property and the *Secretary of the Interior Standards for Rehabilitation*.

ATTACHMENTS

Draft Motion –Major Permit to Alter
Exhibit A – Authorization Update, Severability, Changes and Modifications

Major Permit to Alter
Hearing Date: February 5, 2020

RECORD NO. 2019-019493PTA
972 Mission Street

Exhibit B – Plans and Context Photos
Exhibit C – Environmental Determination
Exhibit D – Maps and Aerial Views



SAN FRANCISCO PLANNING DEPARTMENT

Draft Motion Permit to Alter MAJOR ALTERATION

HEARING DATE: FEBRUARY 5, 2020
CONSENT CALENDAR

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ADOPTING FINDINGS FOR A PERMIT TO ALTER FOR MAJOR ALTERATIONS DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 11 OF THE SAN FRANCISCO PLANNING CODE, AND TO MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 021 IN ASSESSOR'S BLOCK 3704 IN A C-3-G DOWNTOWN- GENERAL ZONING DISTRICT AND A 160-F HEIGHT AND BULK DISTRICT.

PREAMBLE

On October 16, 2019, Paul Tognotti of Michael Zucker & Associates (hereinafter "Project Sponsor") filed Application No. 2019-019493PTA (hereinafter "Application") with the San Francisco Planning Department (hereinafter "Department") for a Permit to Alter for exterior alterations at a subject building located on Lot 021 in Assessor's Block 3704, which is a Category IV (Contributory) building (hereinafter "Project Site") and locally designated under Article 11, Appendix A of the Planning Code.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

On February 5, 2020, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Permit to Alter Application No. 2019-019493PTA.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2019-019493PTA is located at 1650 Mission Street, Suite 400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby **APPROVES** the Permit to Alter, as requested in Application No. 2019-019493PTA in conformance with the architectural plans dated October 16, 2019, and labeled Exhibit B based on the following findings:

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. **Project Description.** The proposed project involves removing and replacing an existing elevator at the building with a larger, accessible elevator. The new elevator will have a rooftop penthouse overrun that will be visible from a public right of way. The penthouse will be clad with cement plaster with a light, neutral finish and will be set back 53'-8" from the front façade of the building. The new penthouse will be as tall as the remaining existing elevator penthouse, which rises 11'-5" above the rooftop parapet. Please see photographs and plans for details.
3. **Property Description.** 972 MISSION STREET is located on the north side of Mission Street between 6th Street and Mint Street (Assessor's Block 3704; Lot 021). The subject building is a contributor to the Mint-Mission Conservation District, locally designated under Article 11, Appendix K of the Planning Code. The Classical Revival-style, five-story commercial loft building was built in 1925. It is clad with stucco with steel multilite windows and is topped by a flat roof.
4. **Surrounding Properties and Neighborhood.** The District is characterized by small- to mid-scale industrial, residential, and commercial buildings ranging in height from one to ten stories, with the predominate height between two and five stories. Most buildings in the District are constructed on through-lots with visible rear elevations. The District includes several warehouses and industrial lofts, three residential hotels with commercial ground floors, and a former bank. A four-story Edwardian-style commercial loft building is directly to the west of the subject building, while a two-story Art Deco-style commercial building is directly to the east of the subject building.
5. **Public Outreach and Comments.** At the date of publication, the Department has received no public correspondence in support or opposition to the project.
6. **Planning Code Compliance.** The Commission has determined that the proposed work is compatible with the exterior character-defining features of the subject property and meets the requirements of Article 11 of the Planning Code in the following manner:

- A. **Article 11 of the Planning Code.** Pursuant to Section 1111.6(a) of the Planning Code, the proposed alteration shall be consistent with and appropriate for the effectuation of the purposes of this Article 11.

The proposed project is consistent with Article 11.

- B. **Alterations.** Article 11 of the Planning Code outlines specific findings for the Commission to consider when evaluating applications for Alterations.

Alteration: Pursuant to Section 1111.6(c) of the Planning Code, for Significant Buildings/Properties (Categories I and II) and for Contributory Buildings (Categories III and IV), proposed alterations of structural elements and exterior features shall be consistent with the architectural character of the building, and shall comply with the following specific requirements:

- (1) The distinguishing original qualities or character of the building may not be damaged or destroyed. Any distinctive architectural feature which affects the overall appearance of the building shall not be removed or altered unless it is the only feasible means to protect the public safety.
- (2) The integrity of distinctive stylistic features or examples of skilled craftsmanship that characterize a building shall be preserved.
- (3) Distinctive architectural features which are to be retained pursuant Paragraph (1) but which are deteriorated shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features shall be based on accurate duplication of features, substantiated by historic, physical or pictorial evidence, if available, rather than on conjectural designs or the availability of different architectural elements from other buildings or structures. Replacement of non-visible structural elements need not match or duplicate the material being replaced.
- (4) Contemporary design of alterations is permitted, provided that such alterations do not destroy significant exterior architectural material and that such design is compatible with the size, scale, color, material and character of the building and its surroundings.

The proposed project is compatible with the architectural character of the building and the district, and is consistent with Section 1111.6(c) of the Planning Code.

- C. **Appendix K of Article 11: Mint-Mission Conservation District.** Section 7 of the Mint-Mission Conservation District includes specific standards and guidelines for the review of new construction and certain alterations. The Commission finds the proposed alterations to be compatible as follows:

- a. **Composition and Massing.** *The proposal is consistent with the Composition and Massing of this Conservation District. The new rooftop elevator penthouse, while visible from the street, is a slightly larger replacement of an existing visible elevator penthouse, and is set far back from the front façade. The new penthouse will match the height of the remaining existing elevator penthouse.*
- b. **Scale.** *The proposal is consistent with the Scale of this Conservation District, as it will not change the overall height of the building.*
- c. **Materials and Colors.** *The proposal is consistent with the Materials and Colors of this Conservation District. The new elevator penthouse will have cement plaster cladding to match the cladding of the building and the remaining elevator penthouse.*
- d. **Detailing and Ornamentation.** *The proposal is consistent with the Detailing and Ornamentation of this Conservation District. No decorative elements of the building will be affected by the proposed work, and the new elevator penthouse will have simple detailing and cladding appropriate to its utilitarian nature.*

D. Secretary of the Interior's Standards. Pursuant to Section 1111.6(b) of the Planning Code, the proposed work shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties for significant and contributory buildings, as well as any applicable guidelines, local interpretations, bulletins, or other policies. Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

- (1) **Standard 1:** A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Not Applicable.

- (2) **Standard 2:** The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposal is to replace an existing elevator penthouse with a slightly larger elevator penthouse on the roof of the property. This change will not remove distinctive materials, nor irreversibly alter features that characterize the building.

- (3) **Standard 3:** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.

Not Applicable.

- (4) **Standard 4:** Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Not Applicable.

- (5) **Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property shall be preserved.

The distinctive features and finishes of the building will be retained and preserved. The existing flat roof is utilitarian in nature and does not possess any character-defining features that could be impacted by the proposed elevator penthouse.

- (6) **Standard 6:** Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Not Applicable.

- (7) **Standard 7:** Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Not Applicable.

- (8) **Standard 8:** Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Not Applicable.

- (9) **Standard 9:** New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The existing flat roof does not possess any character-defining features; therefore, the proposed elevator penthouse will not destroy any distinctive architectural elements of the property. The elevator penthouse will be only partially visible from the public right-of-way, and is set far back from the Mission Street facade. The penthouse will be clad in cement plaster painted in a neutral color, which will make it appear subordinate to the historic resource.

- (10) **Standard 10:** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The essential form and integrity of the building and its environment would not be impaired if the proposed penthouse were removed in the future.

7. **General Plan Compliance.** The proposed Permit to Alter is, on balance, consistent with the following Objectives and Policies of the General Plan:

URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2:

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

Policy 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

Policy 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Permit to Alter is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Permit to Alter and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject property for the future enjoyment and education of San Francisco residents and visitors.

8. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have an impact on neighborhood serving retail uses.

B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards

C) The City's supply of affordable housing will be preserved and enhanced:

The project will not affect the City's affordable housing supply.

D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project will not have a direct impact on the displacement of industrial and service sectors.

F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

All construction will be executed in compliance with all applicable construction and safety measures.

G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 11 of the Planning Code and the Secretary of the Interior's Standards.

H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

9. For these reasons, the proposal overall, appears to meet the *Secretary of the Interior's Standards* and the provisions of Article 11 of the Planning Code regarding Major Alterations to Category IV (Contributory) buildings.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES a Permit to Alter** for the property located at Lot 021 in Assessor's Block 3704 for proposed work in conformance with the architectural submittal dated October 16, 2019, and labeled Exhibit B on file in the docket for Record No. 2019-019493PTA.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Permit to Alter shall be final unless appealed within thirty (30) days after the date of this Motion No. XXXX. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 1650 Mission Street, (Room 304) or call (415) 575-6880.

Duration of this Permit to Alter: This Permit to Alter is issued pursuant to Article 11 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on February 5, 2020.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: February 5, 2020

EXHIBIT A

AUTHORIZATION UPDATE

This authorization is for a permit to alter to allow alterations located at 972 Mission Street (Block 3704, Lot 021) pursuant to Planning Code Section(s) **1111.6 and Appendix K to Article 11 of the Planning Code** within the **C-3-G DOWNTOWN- GENERAL** District and a **160-F** Height and Bulk District; in general conformance with plans, dated **10/16/2019**, and stamped "EXHIBIT B" included in the docket for Record No. **2019-019493PTA** reviewed and approved by the Historic Preservation Commission on **2/5/2020** under Motion No. **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Historic Preservation Commission approval of a new Major Permit to Alter. In instances when Planning Commission also reviews additional authorizations for the project, Planning Commission may make modifications to the Major Permit to Alter based on majority vote and not required to return to Historic Preservation Commission.

Exhibit B:

Plans and Context Photos



SPECIFICATIONS

DIVISION 1: GENERAL REQUIREMENTS

A. GENERAL CONDITIONS:

- AIA Document A201, "General Conditions of the Contract for Construction" shall govern work performed under this Contract.
- The contractor shall be responsible for providing all materials and workmanship in accordance with all applicable State and City building codes and requirements.
- As approved by building owner, the contractor and all subcontractors shall purchase and maintain certificates of insurance with respect to workmen's compensation, public liability and property damage for the limits as required by law. The contractor shall be responsible for initiating, maintaining, and supervising all safety precautions in connection with the work.
- The contractor is required to secure and pay for all building permits, plan check or any other fees required to complete this project and all fees shall be included in the contractor's pricing proposal. All pricing submittals shall be completely itemized for each sub-trade.
- The contractor and all sub-contractors shall thoroughly examine the premises and shall base their bids on the existing conditions. The contractor shall notify architect immediately of any discrepancies between field conditions and construction documents prior to construction, or the contractor shall be held responsible.
- Upon submittal of the final construction costs, the general contractor shall also submit a specific construction schedule indicating the required construction time for all subcontractors' and general contractors' work. This schedule shall confirm approximate on-site delivery dates for all construction materials by the construction documents and shall immediately notify architect, in writing, of all construction delays that may arise due to the availability of the specified products which will affect scheduled occupancy.
- Substitutions, revisions, or changes must have prior written approval by the architect. There shall be no substitution of materials where a manufacturer is specified. Where the term "or approved equal" is used, the architect shall determine equality based upon complete information submitted by the contractor.
- No work defective in construction or quality or deficient in any requirements of the drawings will be acceptable. The owner's or architect's failure to discover or point out defects or deficiencies during construction shall bear no consequence to the owner or architect. Defective work revealed during the construction period or during the guarantee period shall be replaced by work conforming with the intent of the contract. No payment, either partial or final shall be construed as an acceptance of defective work or improper materials.
- The general contractor shall not proceed with any additional compensation beyond the contract amount without written authorization from the architect. Failure to obtain authorization shall invalidate any claim for extra compensation.
- The general contractor shall be responsible for the distribution of drawings to all trades under his jurisdiction.
- The contractor shall provide strict control of job cleaning and prevent dust and debris from emanating from construction areas. Keep corridors and adjacent occupied areas clean and clear. Do not disrupt operations of adjacent occupied areas.
- "Typical" means identical for all similar conditions unless otherwise noted.
- Contractor is responsible for coordinating all architectural & engineering work to assure that all lighting, mechanical, electrical, plumbing & sprinkler work has the proper clearances for installation and maintenance. Resolve all conflicts before proceeding.

B. SUBMITTALS

- Contractor shall submit samples and shop drawings to the Architect for review prior to fabrication. The architect will review and approve submittals in an orderly sequence to prevent delay. Inform Architect in writing at the time of submission of any proposed deviation in submittals from the requirements of the Contract Documents. By approving and submitting shop drawings and samples, the Contractor represents that he has determined and verified field measurements, field construction criteria, materials, catalogue numbers and similar data, and that each submittal has been checked and coordinated with the requirements of the Contract.
- Samples
 - Provide three samples of each item as required. Contractor shall ship samples prepaid.
 - Rejected samples shall be resubmitted as soon as possible and shall be identified as "Resubmitted Samples".
 - Provide samples of actual piece of the appropriate material for the following:
 - Paints (8" x 10")
 - Ceramic/Porcelain Tile (full size tile)
- Shop Drawings -- Submit shop drawings, equipment/product cut sheets, and samples to Architect for approval.
 - Submit one reproducible and two prints of each shop drawing. Drawings shall include title block,

- reference to architectural drawing and required information.
 - Corrections and notations will be made on the reproducible. When required, revision shall be incorporated and resubmitted.
 - Architect's review of shop drawings shall be for design concept only. The Contractor is responsible for the accuracy of shop drawings, proper fittings, coordination of work, construction techniques, materials and work required by the Contract Documents.
 - Architect's review of shop drawings shall not be construed as approving departures from contract requirements.
 - Provide shop drawings for the following:
 - Finish carpentry/millwork.
 - HVAC system.
 - Electrical system.
 - Life Safety system.
 - Sprinkler system.
 - Carpet seaming diagrams.
4. Contractor shall submit a detailed hardware schedule for architect's approval prior to submitting order. Finish hardware samples shall be submitted at the request of architect.

DIVISION 2: SITE WORK

A. SITE ACCESS

- Receive approval from Building Owner regarding access to space, debris removal routes, and other necessary construction functions prior to commencing construction.
- Coring and other work which might affect other tenants shall be scheduled through the office of the Building Owner.
- Submit shop drawings, equipment/product cut sheets, and samples to Architect for approval.

DIVISION 3: CONCRETE (See Structural Drawings)

A. CUTTING & PATCHING

- All concrete cutting and patching to conform to the provisions of ACI Standard 318 for concrete construction.
- Submit shop drawings, equipment/product cut sheets, and or samples to Architect for approval.

DIVISION 4: MASONRY

This Section not used.

DIVISION 5: MISCELLANEOUS METALS

See Structural Drawings.

DIVISION 6: WOOD AND PLASTIC

A. ROUGH CARPENTRY (See Structural Drawings)

- Wood for rough carpentry shall be graded by an agency certified by the National Forest Products Association (NFPA) and shall be of the type recommended for the application involved.
 - Fire treat all wood for rough carpentry.
- FINISH CARPENTRY
 - Finish carpentry and millwork shall conform to the following standard: Woodwork Institute of California: Custom Grade.
 - Wood Casework:
 - Paint finish millwork shall be paint grade solid wood or edge banded plywood or particle board. See Millwork Details.
 - See Finish Schedule.
 - Submit shop drawings, equipment/product cut sheets, and or samples to Architect for approval.

DIVISION 7: THERMAL AND MOISTURE PROTECTION

A. ACOUSTICAL INSULATION

- Low density acoustic batt insulation to be 3/4 lb./cu.ft., 3-1/2" unfaced fiberglass acoustical insulation Owens-Corning noise barrier, SG thermafiber or approved equal. Minimum thickness: 3-1/2".
- Submit shop drawings, equipment/product cut sheets, and or samples to Architect for approval.

DIVISION 8: DOORS AND WINDOWS

A. DOORS AND FRAMES -- See Door Schedule and Construction Details.

- Wood Stile & Rail Doors with glass panels: Wood to be stain-grade. Glass to be tempered.
- Solid core wood doors to be premium wood veneer with matching rails. See door schedule for additional finish information. Fire rated where required by code or indicated on the plan.
- Doors and frames shall be straight, square and undamaged.
- Installation is to be in accordance with the manufacturer's latest printed instructions. Gaps between frame sections greater than 1/64" to be redone.
- Submit shop drawings, equipment/product cut sheets, and or samples to architect for approval.

B. GLAZING

- Glass and glazing shall be installed per published specifications standards, test or recommended methods of industry or governmental organizations which apply to work in this project.
 - Flat glass: Standard Specification C 1036-85 of the ASTM.
 - Safety Standard for Architectural Glazing Materials (16 CFR 1201) issued by the Consumer Product Safety Commission.
 - ANSI Z97-1-1975 of the American National Standards Institute, Inc.

- Where glass and glazing is designated on the construction plan, details and elevations, the materials shall be as follows:
 - Glass: Factory cut fully tempered plate glass or laminated glass (as required).
 - Glazing Tape: Performed, pre-shimmed polyisobutylene-butyl, Tremco 440 or approved equal.
 - Setting Blocks: Shore A Neoprene, 4" min. length.
 - Spacers: Shore A Neoprene.
 - Vinyl Glazing Strips: match existing. Submit sample.
 - Silicone: General Electric Silicone Sealant, color to match existing.
- Submit shop drawings, equipment/product cut sheets, and or samples to architect for approval.

DIVISION 9: FINISHES

A. METAL FRAMING SYSTEMS:

To be installed per code and construction details.

B. GYPSUM WALLBOARD SYSTEMS:

To be installed per code and construction details. Use U.S. Gypsum, Gold Bond or Georgia Pacific. Fire rated assemblies shall be listed and labeled by U.L.

C. FLOORING:

- Ceramic/Porcelain tile: Install per manufacturer's recommendations. See Finish Notes and Schedule.
- Wood Flooring: Install per manufacturer's recommendations. See Finish Schedule.
- Base: Install per manufacturer's recommendations. See Finish Schedule and Schedule.
- Submit shop drawings, equipment/product cut sheets, and or samples to architect for approval.

D. PAINT:

- Minimum two-coat application spread as recommended by the paint manufacturer to obtain true, even color. For deep tone colors provide additional coats as needed.
 - Primer: As recommended by manufacturer for the substrate and finish required.
 - Paint: As indicated. Two coats eggshell finish at all wall surfaces. Semi-gloss work at all millwork, typical. See Finish Schedule for color and manufacturer.
- Submit shop drawings, equipment/product cut sheets, and or samples to architect for approval.

DIVISION 10: SPECIALTIES

This section not used.

DIVISION 11: EQUIPMENT

A. EQUIPMENT SPECIFICATIONS AND OPERATING INSTRUCTIONS BINDER: Contractor to provide equipment specifications and operating instructions binder for all equipment installed. Contractor to provide binder to tenant and building owner prior to final punchlist and application for final payment.

DIVISION 12: FURNISHINGS

This Section not used.

DIVISION 13: SPECIAL CONSTRUCTION

This Section not used.

DIVISION 14: CONVEYING SYSTEMS

See Elevator Drawings.

DIVISION 15: MECHANICAL

A. PLUMBING: Engineering to be "Design/Build."
 1. Installation: Install plumbing in accordance with applicable codes, standards and ordinances.
 2. Provide cold and hot water lines. Verify location and type.
 3. **Submit shop drawings,** equipment/product cut sheets, and or samples to architect for approval

B. AIR DISTRIBUTION: Engineering to be "Design/Build."
 1. Design air distribution to meet state and local codes.
 2. HVAC system to conform to Title 24 regulations.
 3. Complete HVAC system design (including ducts, vents, thermostats, etc.) to be approved by Architect prior to purchase or fabrication of equipment.
 4. Mechanical contractor to provide Title 24 documentation.
 5. Submit shop drawings, equipment/product cut sheets, and or samples to architect for approval

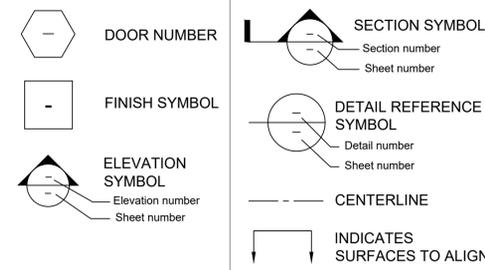
C. FIRE PROTECTION: Engineering to be "Design/Build."
 1. Design Sprinkler System to meet state and local codes.
 2. Complete Sprinkler system design to be approved by Architect prior to purchase or fabrication of equipment.
 3. **Submit shop drawings,** equipment/product cut sheets, and or samples to architect for approval

DIVISION 16: ELECTRICAL

A. ELECTRICAL: Engineering to be "Design/Build."
 1. Electrical design to meet state and local codes.
 2. Electrical design to conform to Title 24 regulations.
 3. Complete electrical system design to be approved by architect.
 4. Submit shop drawings, equipment/product cut sheets, and or samples to architect for approval.

B. LIFE SAFETY: Engineering to be "Design/Build."
 1. Life safety design to meet state and local codes.
 2. Complete life safety design to be approved by architect prior to purchase or fabrication of equipment.
 3. Submit shop drawings, equipment/product cut sheets, and or samples to Architect for approval.

SYMBOLS LEGEND



PROJECT TEAM

OWNER: Ayoub Properties 972 Mission Street Floor 4 San Francisco, CA 94103 Contact: Basil Ayoub Tel.: (415) 601-1605 email: basil.ayoub@califashions.com	ARCHITECT: Michael Zucker & Associates 594 Howard Street, Suite 200 San Francisco, CA 94105 Tel.: (415) 957-0909 Fax: (415) 957-0638 Contact: Michael Zucker email: mzaia@pacbell.net
ELEVATOR CONSULTANT: RCB Elevator Consulting, LLC 2117 Bush Street San Francisco, CA 94115 Tel.: (415) 350-0402 Contact: Richard Blaska email: rich.blaska@me.com	STRUCTURAL ENGINEER: John Yadegar & Associates 1 Kaiser Plaza, Suite 405 Oakland, CA 94612 Tel.: (415) 243-0858 Contact: John Yadegar email: jyadegar@jyadf.com

GREEN BUILDING NOTES

- CONSTRUCTION WASTE MANAGEMENT: 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY A REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING, IN COMPLIANCE WITH THE SAN FRANCISCO CONSTRUCTION & DEMOLITION DEBRIS ORDINANCE
- LANDLORD TO PROVIDE ADEQUATE SPACE AND EQUAL ACCESS FOR STORAGE, COLLECTION AND LOADING OF COMPOSTABLE, RECYCLABLE AND LANDFILL MATERIALS. SEE ADMINISTRATIVE BULLETIN 08B.

NON-INFRINGEMENT STATEMENT

ARCHITECT'S NON-INFRINGEMENT STATEMENT

THE SMOKE MANAGEMENT/CONTROL SYSTEM ELEMENTS SHOWN ON THE DRAWINGS UNDER MY RESPONSIBLE CHARGE MAINTAIN, AND DO NOT INFRINGE ON, THE EXISTING SMOKE CONTROL FOR THE BUILDING.

GENERAL CONSTRUCTION NOTES

- ALL PARTITIONS ARE DIMENSIONED FROM FINISHED FACE, UNLESS OTHERWISE NOTED.
- DRAWINGS MUST NOT BE SCALED FOR DETERMINING DIMENSIONS NOT SHOWN. CONTRACTOR REQUIRING DIMENSIONS NOT NOTED SHALL CONTACT THE ARCHITECT FOR SUCH INFORMATION PRIOR TO PROCEEDING WITH WORK RELATED TO THOSE DIMENSIONS.
- ALL CLEAR (CLR) DIMENSIONS ARE MINIMUM REQUIRED DIMENSIONS AND MUST BE ACCURATELY MAINTAINED. NOTIFY ARCHITECT IF DIMENSIONS ARE NOT POSSIBLE.
- ALL HEIGHTS ARE DIMENSIONED FROM TOP OF EXISTING SLAB UNLESS NOTED "A.F.F.", ABOVE FINISH FLOOR.
- LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. DETAIL DRAWINGS AND SPECIFICATIONS TAKE PRECEDENCE OVER ALL. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT WHENEVER CONFLICTS OCCUR, BE THEY OBVIOUS OR APPARENT, PRIOR TO STARTING WORK AND TO RESOLVE THE CONFLICT WITH THE ARCHITECT, OR BEAR THE RESPONSIBILITY OF CORRECTING THE SAID WORK AS DIRECTED BY THE ARCHITECT.
- DETAILS ARE USUALLY KEYED ONLY ONCE AND ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PATCH AND REPAIR ALL FIREPROOFING DAMAGED OR REVEALED BY DEMOLITION OR CONSTRUCTION. CONTRACTOR SHALL FIREPROOF AS REQUIRED BY CODE ALL NEW PENETRATIONS, GENERATED BY THE WORK DESCRIBED IN THESE DOCUMENTS.
- ALL WORK SHALL BE ERRECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE, AND IN PROPER ALIGNMENT.
- WHERE MULTIPLE GYPSUM BOARD LAYERS OCCUR, INSTALL GYPSUM BOARD PER GYPSUM/CONSTRUCTION HANDBOOK, 2ND EDITION.
- ALL GYPSUM BOARD EDGE TRIM TO BE BEADEX B-4 EDGE TRIM W/ JOINT COMPOUND.
- PROVIDE REINFORCEMENT IN PARTITIONS FOR HANDRAILS.

LOCATION MAP



★ PROJECT LOCATION: 972 MISSION STREET
SAN FRANCISCO, CA 94103

PROJECT SCOPE

REPLACEMENT OF EXISTING ELEVATOR WITH NEW LARGER ELEVATOR. WORK INCLUDES CONSTRUCTION OF NEW PENTHOUSE MACHINE ROOM ON ROOF TO REPLACE EXISTING. MEP, TITLE 24 ENERGY CALCULATIONS, FIRE SPRINKLERS AND LIFE SAFETY UNDER SEPARATE PERMITS.

PROJECT INFO

THIS PROJECT IS TO ADHERE TO THE CODES CURRENTLY IN EFFECT IN SAN FRANCISCO, WHICH ARE:
 2016 California Building Code w/ S. F. Amendments (includes Green Building Requirements. See Chapter 13C)
 2016 California Energy Code
 2016 California Plumbing Code w/ S. F. Amendments
 2016 California Mechanical Code w/ S. F. Amendments
 2016 California Electrical Code w/ S. F. Amendments

Block/Lot:	3704/021
Building occupancy:	B
Zoning District:	C-3-G-Downtown-General
Type of Construction:	III-A
Number of stories:	5 + basement
Fire Sprinklered:	YES
Fire Alarm:	YES

DRAWING INDEX

ARCHITECTURAL

A0	PROJECT INFO & SPECIFICATIONS
A1	REFERENCE FLOOR PLANS
A2	DEMOLITION PLANS
A3	CONSTRUCTION PLANS
A4	REFLECTED CEILING AND FINISH PLANS
A5	EXTERIOR ELEVATIONS
A6	(NOT USED)
A7	ELEVATIONS & DETAILS
A8	DETAILS
POT1	PATH OF TRAVEL
DA1	DISABLED ACCESS COMPLIANCE FORMS

STRUCTURAL DRAWINGS

S1.0	STRUCTURAL NOTES, SPECIAL INSPECTION AND ABBREVIATIONS
S1.1	SECTIONS AND DETAILS
S2.0	PARTIAL PLANS

ELEVATOR DRAWINGS

VT1	EQUIPMENT DATA, NOTES, TABLES & ABBREVIATIONS
VT2	(E) & (N) PIT & BASEMENT FLOOR PLANS
VT3	(E) & (N) 1ST & MEZZANINE FLOOR PLANS
VT4	(E) & (N) 2ND - 5TH FLOOR PLANS, (N) TYP. HOISTWAY FRAMING PLAN
VT5	(E) & (N) MACHINE ROOM PLANS
VT6	MACHINE BEAM PLAN & ENTRANCE WALL DETAILS
VT7	(E) & (N) HOISTWAY, MACHINE ROOM, CAR & PIT SECTIONS
VT8	DRIVE MACHINE, DEFLECTOR SHEAVE & UPSTAND INSTALLATION DETAILS
VT9	DRIVE MACHINE UPSTAND & MISC. FABRICATION DETAILS
VT10	GUIDERAIL & BRACKET INSTALLATION DETAILS
VT11	GUIDERAIL SCHEDULE, GUIDERAILS, CLIPS & FISHPLATES
VT12	GUIDERAIL BRACKET FABRICATION DETAILS



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ISSUE	DATE
Budget Set	03/01/19
PERMIT	09/20/19
PTA	10/16/19

PROJECT TITLE/ADDRESS:

**ELEVATOR
REPLACEMENT**

Ayoub & Kubein Building
 972 Mission Street
 San Francisco, CA 94103

STAMPS/APPROVALS



PROJECT NO.:

DRAWN BY:

SCALE: AS NOTED

SHEET TITLE

TITLE SHEET

SHEET NUMBER

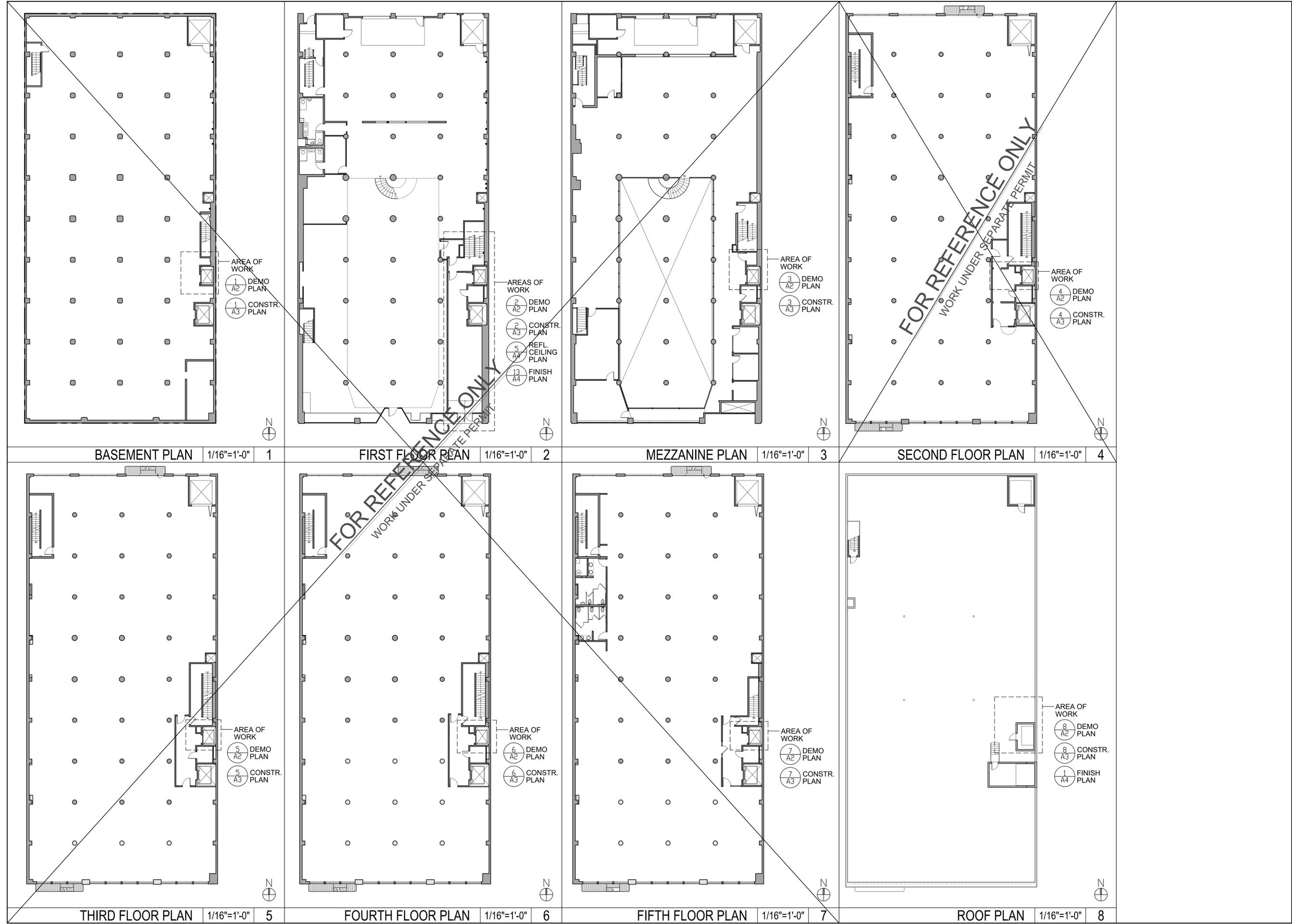
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SHEET TITLE

REFERENCE
FLOOR PLANS

SHEET NUMBER

A1



DEMOLITION LEGEND

- CONSTRUCTION TO REMAIN
- CONSTRUCTION TO BE REMOVED
- AREA OF FLOOR CONSTRUCTION TO BE REMOVED
- AREA OF TERRAZZO FLOORING AND BASE TO BE REMOVED

- ### DEMOLITION KEYNOTES
- 1 DEMO FLOOR TO EXPAND ELEVATOR PIT PER ELEVATOR DRAWINGS.
 - 2 REMOVE SHEATHING FROM EXISTING WOOD STUD WALLS AT ELEVATOR SHAFT WALL, TYP.
 - 3 REMOVE ELEVATOR DOOR ASSEMBLY.
 - 4 REMOVE ELEVATOR CAB.
 - 5 REMOVE WALL CONSTRUCTION.
 - 6 REMOVE DOOR.
 - 7 ENLARGE OPENING IN FLOOR FOR NEW ELEVATOR SHAFT PER CONSTRUCTION PLAN.
 - 8 REMOVE STAIR TREAD.
 - 9 REMOVE ELEVATOR MACHINE ROOM PENTHOUSE STRUCTURE.
 - 10 ENLARGE OPENING IN ROOF FOR NEW ELEVATOR SHAFT.
 - 11 REMOVE WALL OR WALL SHEATHING WITHOUT INTERRUPTING SERVICE FROM EXISTING WALL-MOUNTED TELEPHONE, DATA AND ELECTRICAL EQUIPMENT. CONSULT WITH ARCHITECT ON CONSTRUCTION METHODS.
 - 12 REMOVE NEON SIGN. SAVE FOR RE-INSTALLATION.
 - 13 REMOVE ELEVATOR SHAFT WALL AT BASEMENT LEVEL.
 - 14 REMOVE GLASS DOOR AND SIDELITE.
 - 15 REMOVE TERRAZZO FLOORING AND BASE, TYP. THROUGHOUT LOBBY AREA.
 - 16 REMOVE TILE WALL FINISH, TYP. THROUGHOUT LOBBY AREA.

PARTIAL BASEMENT PLAN	1/4"=1'-0"	1	PARTIAL FIRST FLOOR PLAN	1/4"=1'-0"	2	PARTIAL MEZZANINE PLAN	1/4"=1'-0"	3	PARTIAL SECOND FLOOR PLAN	1/4"=1'-0"	4
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- ### GENERAL DEMOLITION NOTES
1. THE GENERAL CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR REMOVING ALL CONSTRUCTION, WALLS, CEILING, DOORS, FRAMES, FLOORING, ETC. SHOWN DASHED OR OTHERWISE REQUIRED TO BE REMOVED FOR THE INSTALLATION OF ALL CONSTRUCTION MATERIALS SHOWN ON THE DRAWINGS OR INDICATED IN THE SPECIFICATIONS. ALL DEMOLITION WORK AND REMOVALS SHALL BE SCHEDULED WITH MANAGEMENT, SO AS NOT TO CAUSE A DISTURBANCE. IF THIS WORK MUST BE DONE ON AN OVER-TIME BASIS, THEN THE GENERAL CONTRACTOR IS TO PRICE WORK ACCORDINGLY.
 2. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND CONSTRUCTION PERMITS, UNLESS OTHERWISE NOTED OR AGREED.
 3. REUSABLE MATERIALS SHALL BE CLEANED AND STORED FOR REUSE AS REQUIRED DURING CONSTRUCTION.
 4. IT IS IMPORTANT THAT ALL CONTRACTORS AND TRADES FIELD INSPECT ALL AREAS OF CONSTRUCTION DURING PRICING AND PRIOR TO THE COMMENCEMENT OF DEMOLITION OR CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT OR THE OWNER.
 5. DURING THE DEMOLITION AND CONSTRUCTION, ALL AREAS SHALL BE KEPT CLEAR OF DEBRIS AND BROOM CLEAN AT ALL TIMES. EXISTING CONSTRUCTION AND FINISHES TO REMAIN SHALL BE PROTECTED FROM DAMAGE WITH THE APPROPRIATE MATERIALS WHICH SHALL BE REMOVED PRIOR TO OCCUPANCY. REPAIR TO MATCH EXISTING LIKE NEW.
 6. DEMOLITION IS NOT LIMITED TO ONLY WHAT IS SHOWN ON THE DEMOLITION PLAN OR OTHER DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE PROJECT WITH THE CONSTRUCTION DRAWINGS.
 7. WHERE EXISTING FINISHES OR CONSTRUCTION ARE DISTURBED BY DEMOLITION OR CONSTRUCTION, THEY ARE TO BE PATCHED OR REFINISHED TO MATCH EXISTING ADJACENT FINISH OR CONSTRUCTION, OR AS NOTED HEREIN.
 8. ALL EXISTING DOORS, FRAMES, MECHANICAL, ELECTRICAL, LIGHTING AND SPECIAL EQUIPMENT WHICH IS TO BE REMOVED SHALL BE RELOCATED AND/OR REUSED AS DIRECTED HEREIN, OR IS TO BE RETURNED TO THE OWNER.
 9. THE GENERAL CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE OWNER/TENANT, INCLUDING BUT NOT LIMITED TO WINDOWS, FLOOR AND CEILING TILE, PUBLIC TOILETS, ELEVATORS, DOORS, ELECTRICAL AND AIR CONDITIONING EQUIPMENT (BEING REUSED), CONNECTOR ENCLOSURES, ETC.

PARTIAL THIRD FLOOR PLAN	1/4"=1'-0"	5	PARTIAL FOURTH FLOOR PLAN	1/4"=1'-0"	6	PARTIAL FIFTH FLOOR PLAN	1/4"=1'-0"	7	PARTIAL ROOF PLAN	1/4"=1'-0"	8
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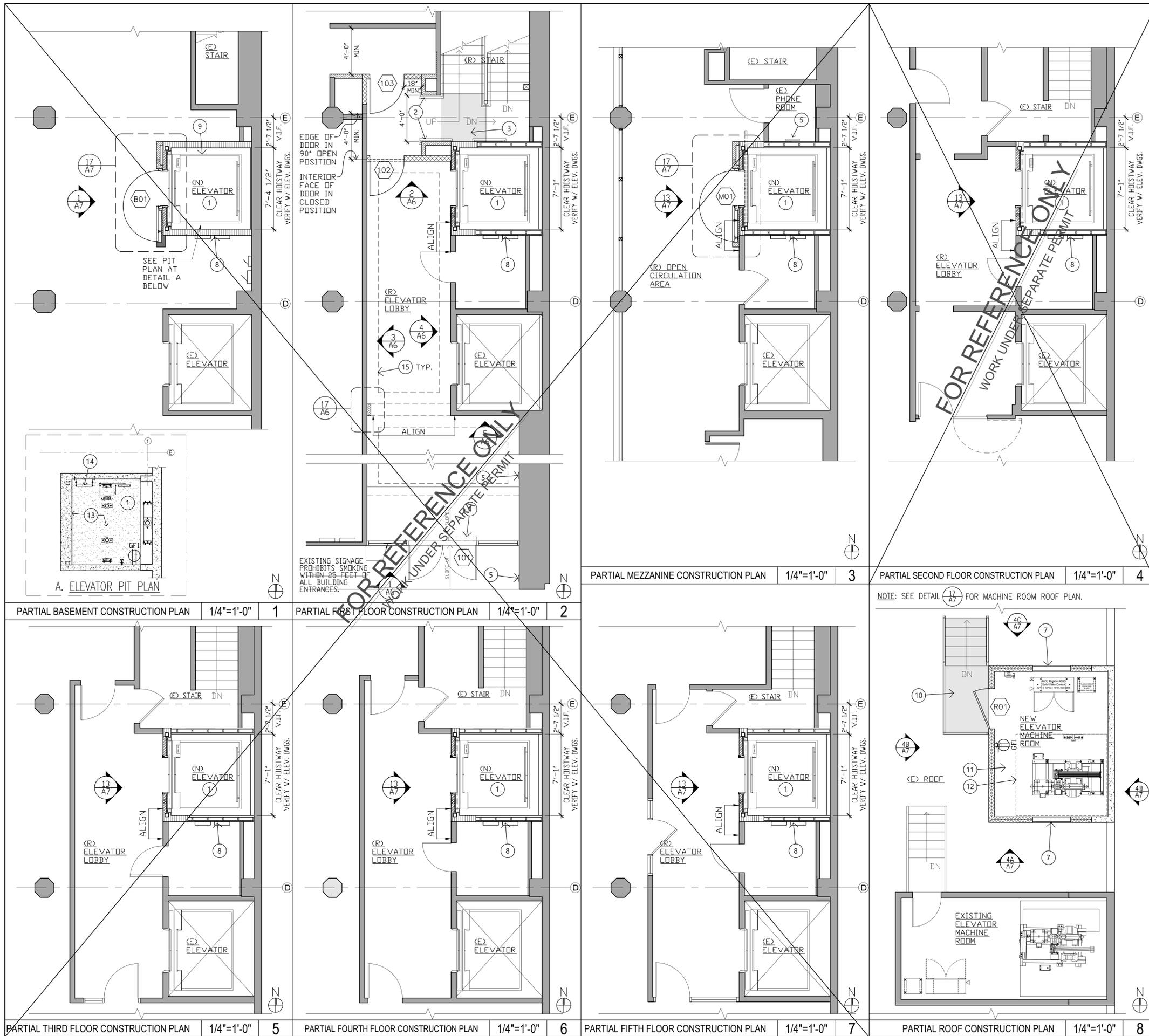


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PROJECT NO.:
DRAWN BY:
SCALE: AS NOTED
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DEMOLITION PLANS
SHEET NUMBER
A2



WALL LEGEND

SYMBOL	DESCRIPTION
[Symbol]	EXISTING CONSTRUCTION TO REMAIN
[Symbol]	EXISTING 2X WOOD STUDS WITH NEW SHEATHING: APPLY TWO LAYERS OF 5/8" TYPE 'X' GYP. BOARD TO EXTERIOR SIDE OF STUDS. ON INTERIOR SIDE APPLY TWO LAYERS OF 5/8" TYPE 'X' GYP. BD. OVER 1/2" LAYER OF SHEAR PLYWOOD (SSD).
[Symbol]	NEW NON-RATED WALL: ONE LAYER OF 5/8" GYP. BD. ON EACH SIDE OF 2X4 WOOD STUDS. SEE DETAIL 1/A8.
[Symbol]	NEW TWO-HOUR FIRE-RATED SHAFT WALL LINER SYSTEM: TWO LAYERS OF 5/8" TYPE 'X' GYP. BD. ON EXTERIOR SIDE OF 2-1/2" C-H METAL STUDS, AND ONE LAYER OF 1" CORE BOARD ON INTERIOR SIDE. SEE DETAIL 17/A8.
[Symbol]	NEW TWO-HOUR FIRE RATED WALL: TWO LAYERS OF TYPE 'X' 5/8" GYP. BD. ON EACH SIDE OF 2X4 WOOD STUDS. SEE DETAIL 5/A8.
[Symbol]	NEW WOOD-FRAMED TWO-HOUR FIRE-RATED SHAFT WALL: TWO LAYERS OF TYPE 'X' 5/8" GYP. BD. ON EACH SIDE OF 2X4 WOOD STUDS. SEE DETAIL 13/A8.
[Symbol]	NEW FURRED WALL: 5/8" GYP. BD. ON ONE SIDE OF 2X4 WOOD STUDS AT 24" O.C. SEE DETAIL X/A.
[Symbol]	NEW TWO-HOUR RATED EXTERIOR WALL: 7/8" PORTLAND CEMENT PLASTER ON METAL LATH OVER TWO LAYERS OF TYPE 'X' EXTERIOR GYP. BD. ON EXTERIOR SIDE OF 2X4 WOOD STUDS AT 24" O.C.; AND TWO LAYER OF 5/8" TYPE 'X' GYP. BD. ON INTERIOR SIDE OF STUDS. SEE DETAIL 7/A8.
[Symbol]	NEW 6" WIDE CONCRETE EXTERIOR WALL WITH 7/8" PORTLAND CEMENT PLASTER ON METAL LATH ON EXTERIOR SIDE. SEE DETAIL 7/A8.

CONSTRUCTION PLAN KEYNOTES

- | | |
|--|---|
| <ul style="list-style-type: none"> 1 SEE ELEVATOR DRAWINGS FOR ELEVATOR MACHINERY AND EQUIPMENT. 2 NEW SS HANDRAILS. 3 NEW STAIR LANDING. 4 NEW AUTOMATIC DOOR OPENER. SEE HARDWARE SCHEDULE. 5 REINSTALL NEON LIGHT. 6 NEW VERTICAL DOOR ACTUATOR BAR MOUNTED ON WALL. 7 NEW METAL LOUVER, 40" X 24H. 8 REPLACE SHAFT WALL SHEATHING (OR SHAFT WALL - WHERE OCCURS) W/O DISTURBING SERVICE FROM (E) TELEPHONE, DATA AND ELECTRICAL EQUIPMENT LOCATED ON THE WALL. CONSULT WITH ARCHITECT ON CONSTRUCTION METHODS. | <ul style="list-style-type: none"> 9 NEW ENLARGED ELEVATOR PIT BELOW. SEE STRUCTURAL AND ELEVATOR DRAWINGS. 10 NEW METAL STAIR TO ACCESS NEW ELEVATOR MACHINE ROOM. 11 NEW STEEL PLATE FLOOR AT MACHINE ROOM. (S.S.D) FLOOR ELEVATION AT APPROX. 17'-4 1/2" ABOVE FIFTH FLOOR FINISH. (S.E.D). THIS IS HIGHER THAN TOP OF (E) ROOF PARAPET. 12 NEW SHAFT WALL BELOW NEW MACHINE ROOM FLOOR SHOWN DASHED. 13 SEE STRUCTURAL DRAWINGS FOR ELEVATOR PIT REINFORCED CONCRETE WALLS AND FLOOR. 14 SEE ELEVATOR DRAWINGS FOR PIT LADDER. 15 DASHED LINE INDICATES NEW SOFFIT. SEE RCP. |
|--|---|

DOOR SCHEDULE

TAG	LOCATION	SIZE W X H X THK	MATERIAL DOOR	HWRE FRAME	HWRE GROUP	FIRE RATING	REMARKS
(B01)	ELEVATOR AT BASEMENT	3'-0" X 7'-0" X 1 3/4"	H.M.	H.M.	A	90 MIN	
(101)	MAIN ENTRY	EXISTING			B	-	INSTALL AUTO DOOR OPENER
(102)	STAIR	3'-0" X 7'-0" X 1 3/4"	H.M.	H.M.	C	90 MIN	
(103)	TENANT SPACE	3'-0" X 7'-0" X 1 3/4"	H.M.	H.M.	C	90 MIN	
(M01)	ELEVATOR AT MEZZANINE	3'-0" X 7'-0" X 1 3/4" (V.I.F.)	H.M.	H.M.	A	90 MIN	
(R01)	MACHINE ROOM	3'-6" X 6'-8" X 1 3/4"	H.M.	H.M.	D	20 MIN	

- NOTES:
 1. DOOR HARDWARE TO MATCH BUILDING STANDARD.
 2. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, TWISTING, OR PINCHING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAXIMUM, PER 11B-309.4 CBC

DOOR HARDWARE

GROUP A	1	Syntegra by Door Systems Elevator Smoke Door assembly. All hardware per manufacturer.
GROUP B	1	Add to existing door: Header-mounted automatic door opener: Norton 6000 series or equal.
GROUP C	1	Lockset: Building Standard (accessible lever-type handle)
	1/2 pr	Hinges: McKinney TA2714 x 4 1/2" x 4", Building standard finish
	1	Door stop: building standard
	1	Door closer: building standard
GROUP D	1	Lockset: Building Standard (accessible lever-type handle)
	1/2 pr	Hinges: McKinney TA2714 x 4 1/2" x 4"
	1	Door stop: building standard
	1	Door closer: building standard



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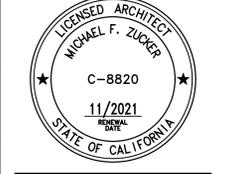
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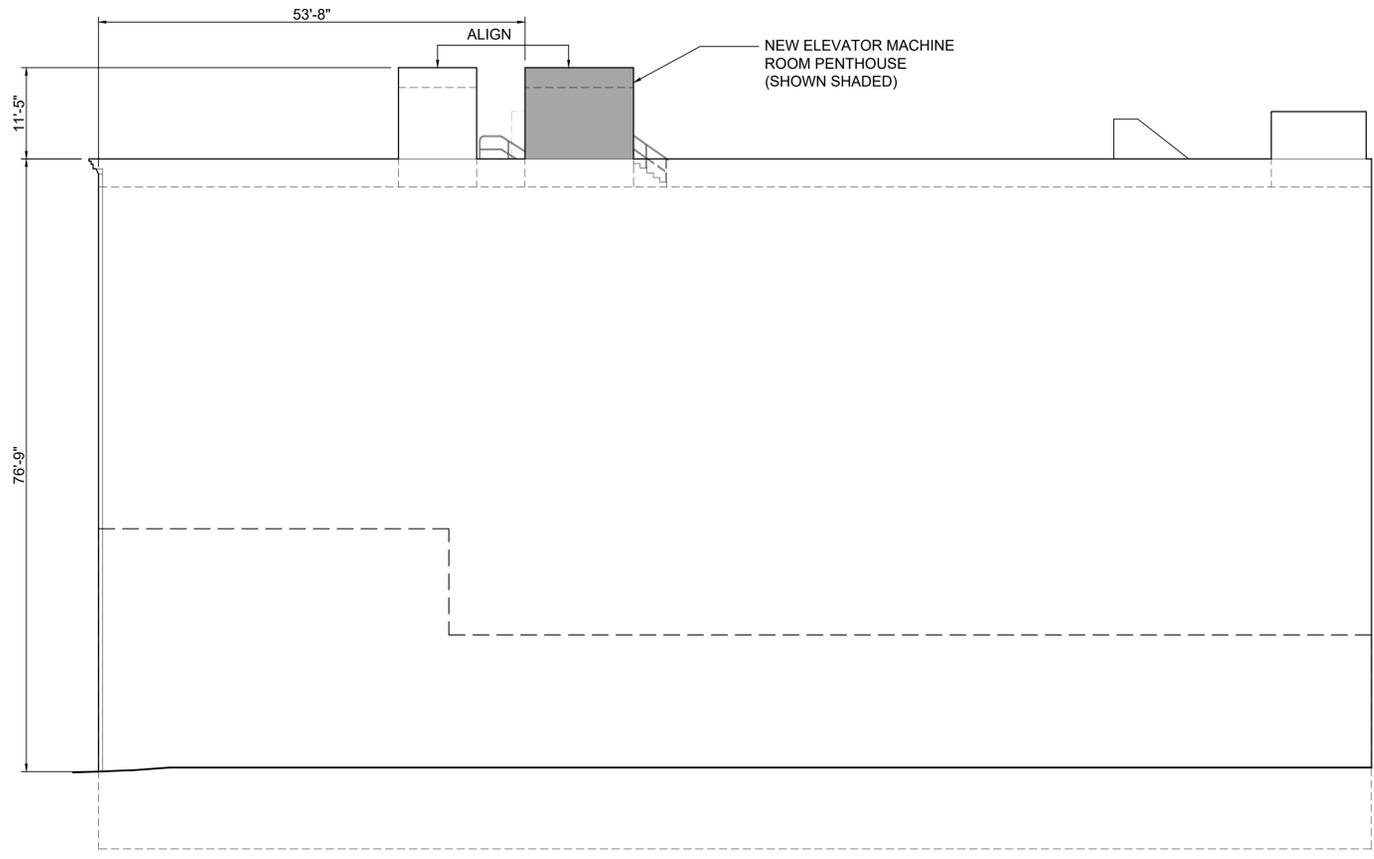
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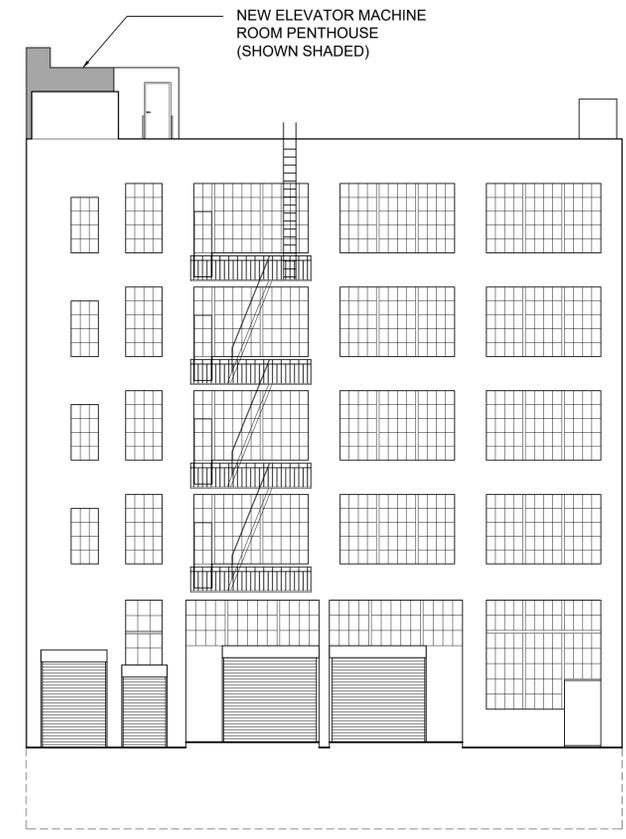
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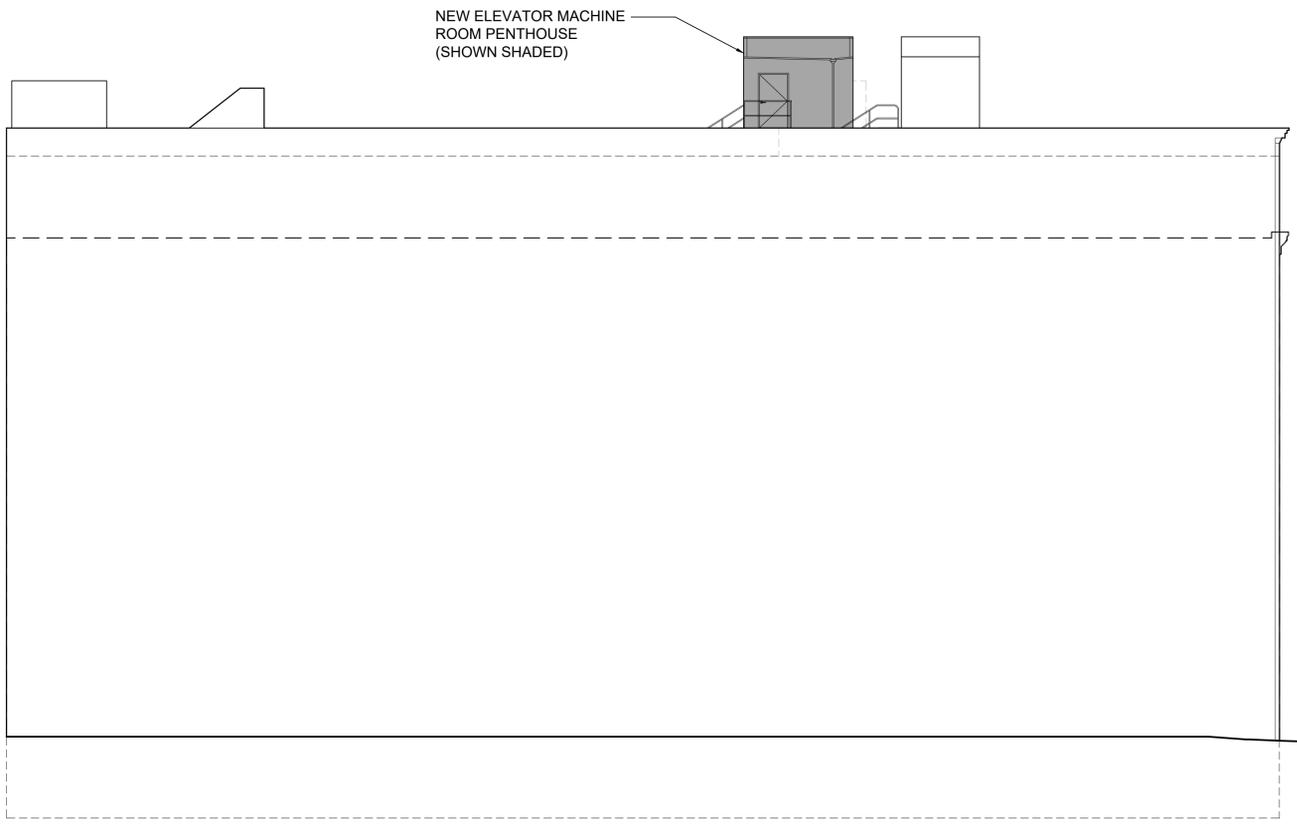


④ EAST ELEVATION
 SCALE: 3/32"=1'-0"

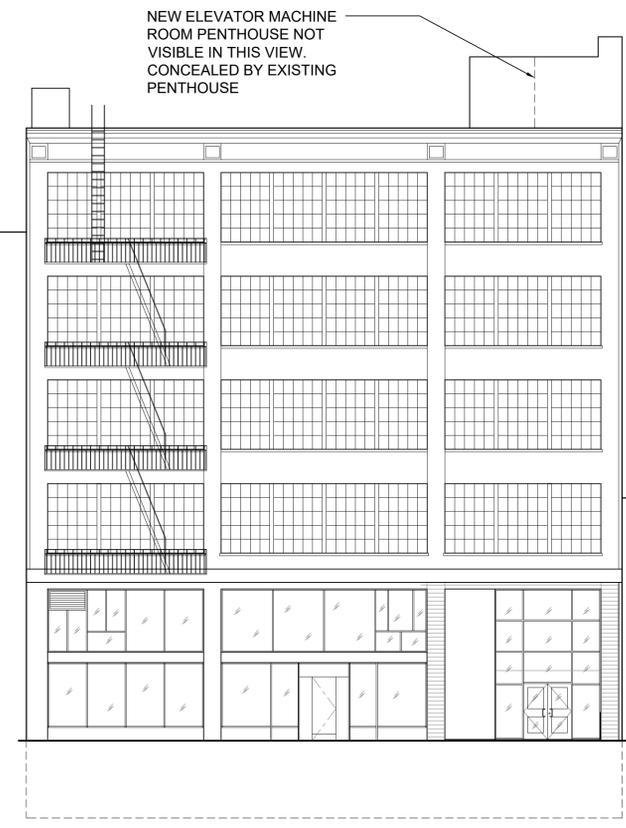


② JESSIE STREET (NORTH) ELEVATION
 SCALE: 3/32"=1'-0"

NOTE: NEW EXTERIOR WORK LIMITED TO ELEVATOR MACHINE ROOM PENTHOUSE (SHOWN SHADED)



③ WEST ELEVATION
 SCALE: 3/32"=1'-0"



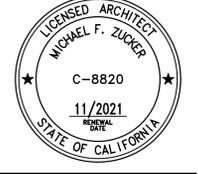
① MISSION STREET (SOUTH) ELEVATION
 SCALE: 3/32"=1'-0"

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SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

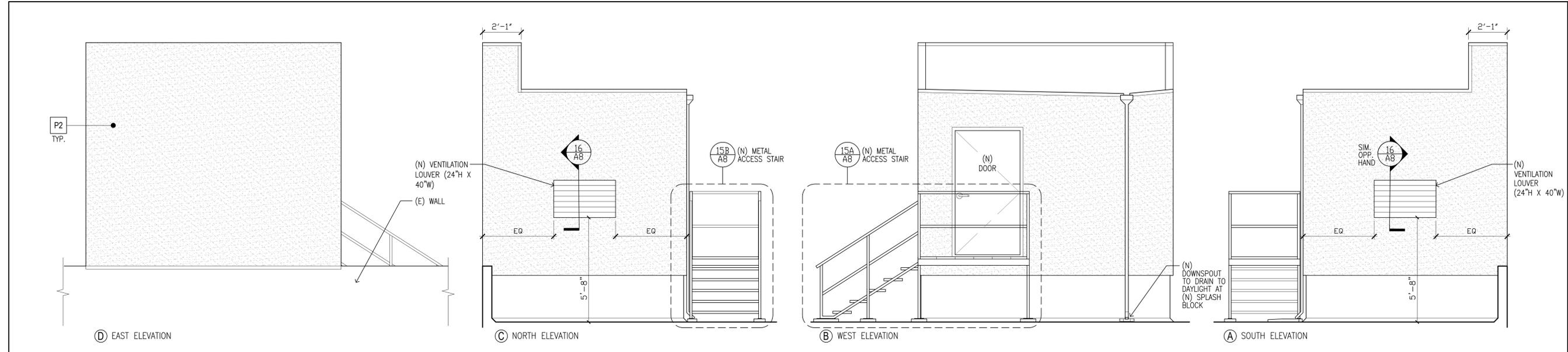
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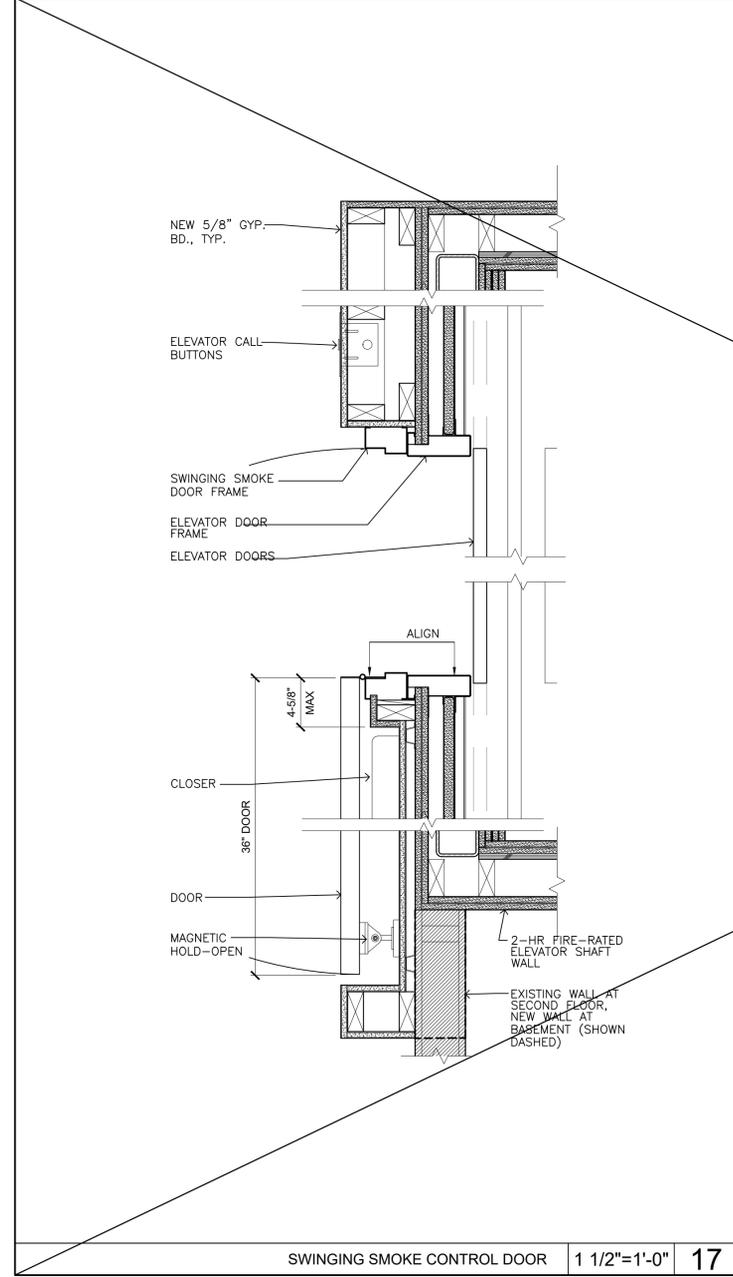
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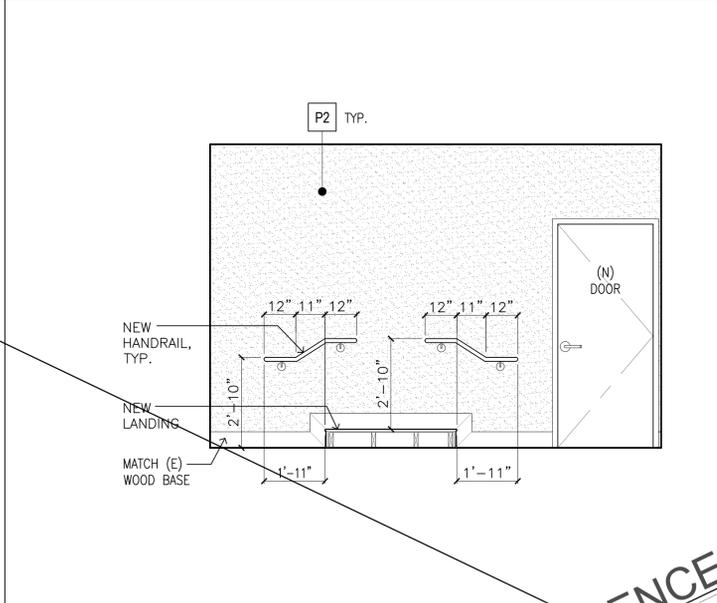
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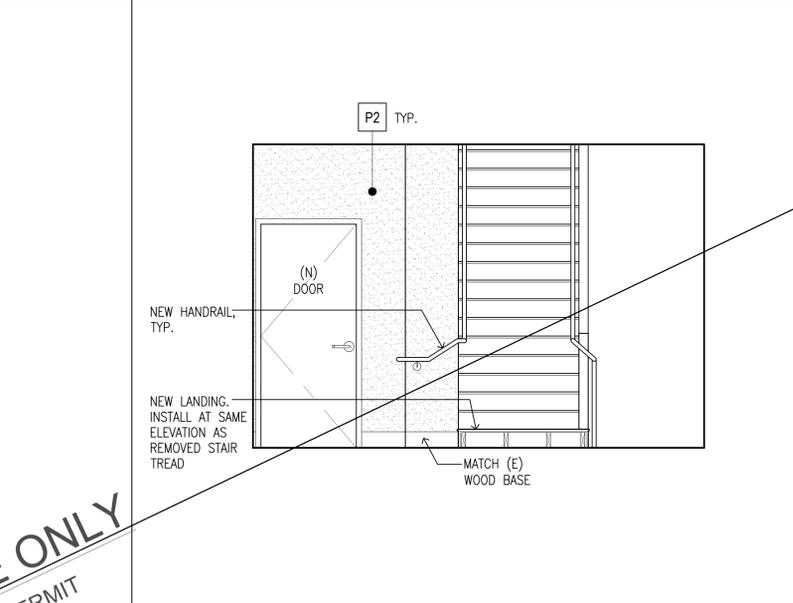
EXTERIOR. ELEVATIONS AT NEW PENTHOUSE ELEVATOR MACHINE ROOM 3/8"=1'-0" 4



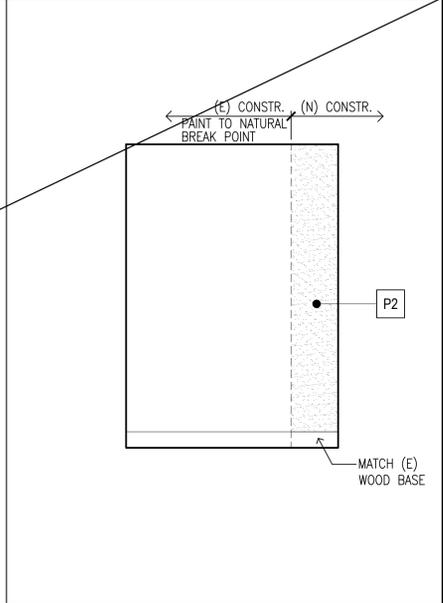
SWINGING SMOKE CONTROL DOOR 1 1/2"=1'-0" 17



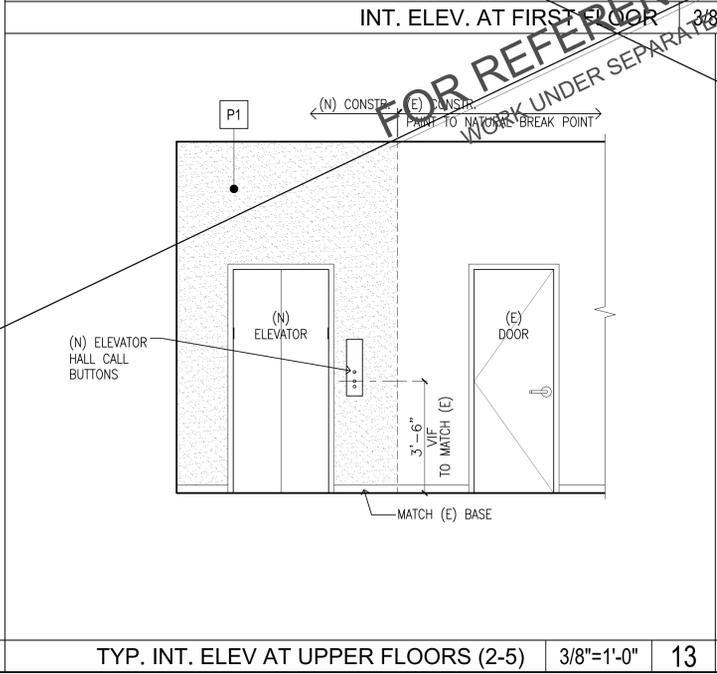
INT. ELEV. AT FIRST FLOOR 3/8"=1'-0" 14



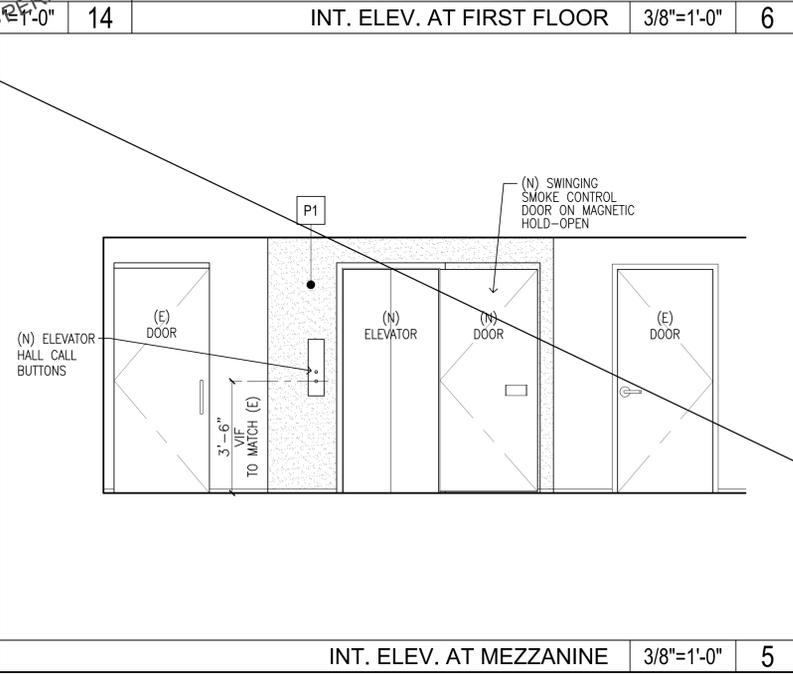
INT. ELEV. AT FIRST FLOOR 3/8"=1'-0" 6



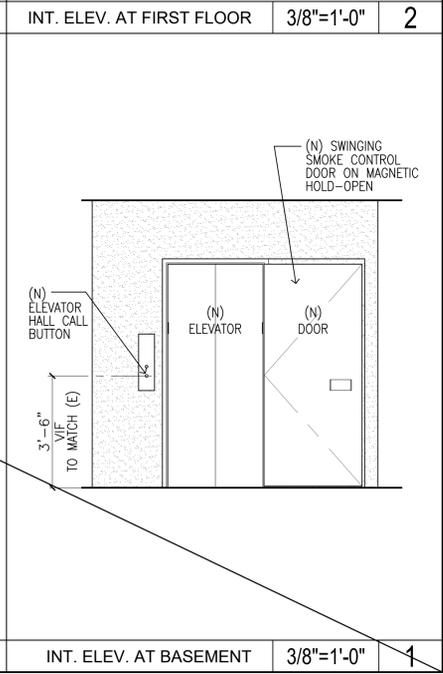
INT. ELEV. AT FIRST FLOOR 3/8"=1'-0" 2



TYP. INT. ELEV AT UPPER FLOORS (2-5) 3/8"=1'-0" 13



INT. ELEV. AT MEZZANINE 3/8"=1'-0" 5



INT. ELEV. AT BASEMENT 3/8"=1'-0" 1

FOR REFERENCE ONLY
WORK UNDER SEPARATE PERMIT

PROJECT TITLE/ADDRESS:

ELEVATOR REPLACEMENT

Ayoub & Kubein Building
972 Mission Street
San Francisco, CA 94103

STAMPS/APPROVALS



PROJECT NO.:

DRAWN BY:

SCALE: AS NOTED

SHEET TITLE

ELEVATIONS & DETAILS

SHEET NUMBER

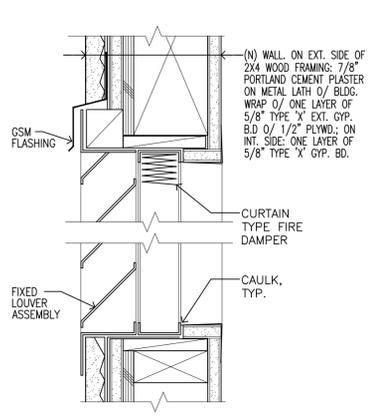
A7



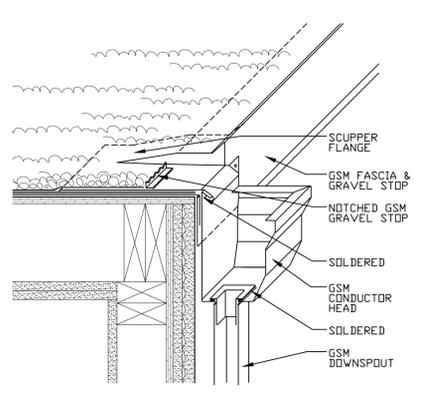
MZA
Architecture
Interior Design

Michael Zucker & Associates
155 Montgomery Street #201
San Francisco, California 94104
415-957-0909 mzaia@pacbell.net

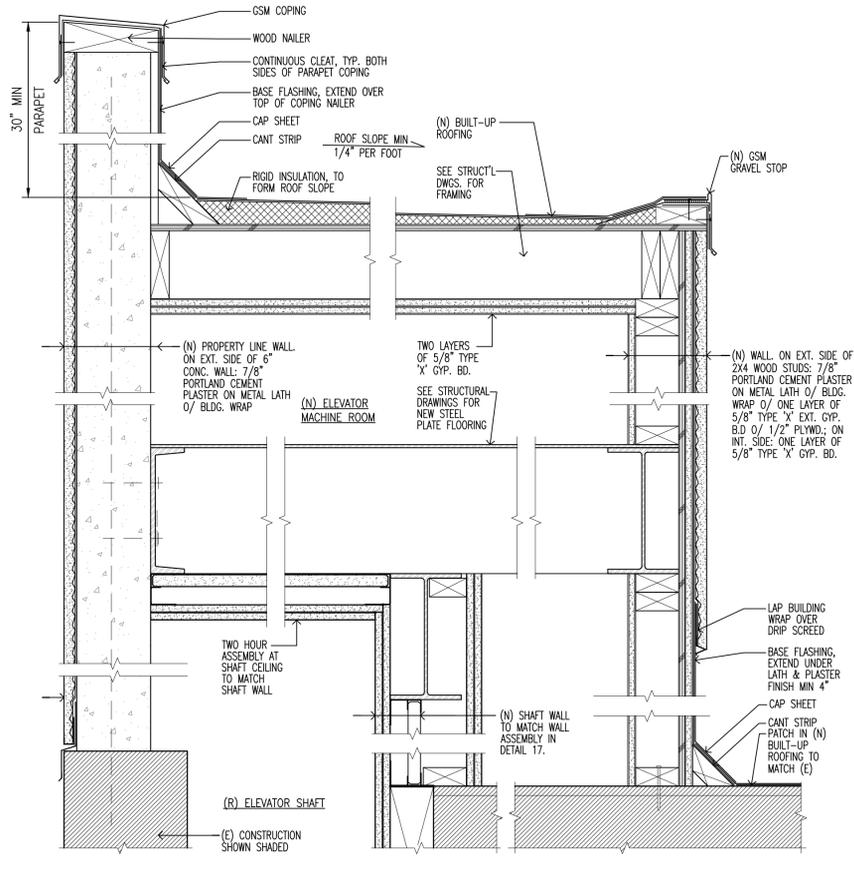
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Budget Set	03/01/19
PERMIT	09/20/19
PTA	10/16/19



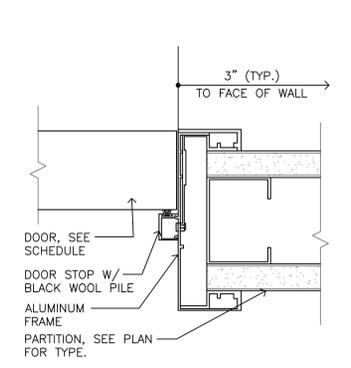
LOUVER 3"=1'-0" 16



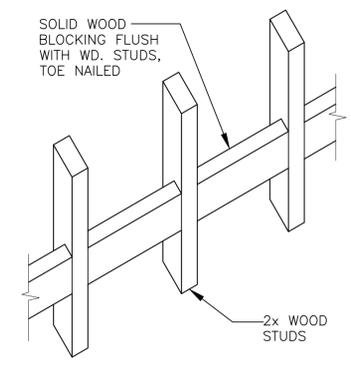
SCUPPER SECTION ISO N.T.S. 12



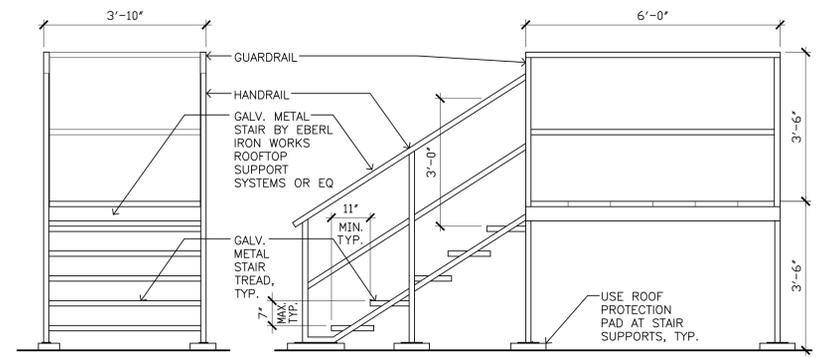
PENTHOUSE MACHINE ROOM SECTION 3"=1'-0" 7



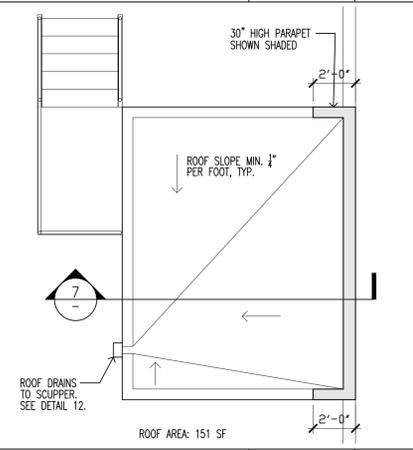
(HEAD SIM.) TYP. DOOR JAMB N.T.S. 4



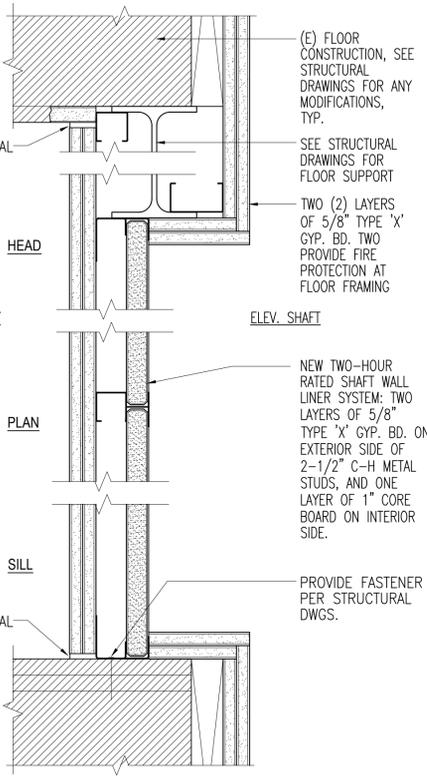
WALL BRACING N.T.S. 3



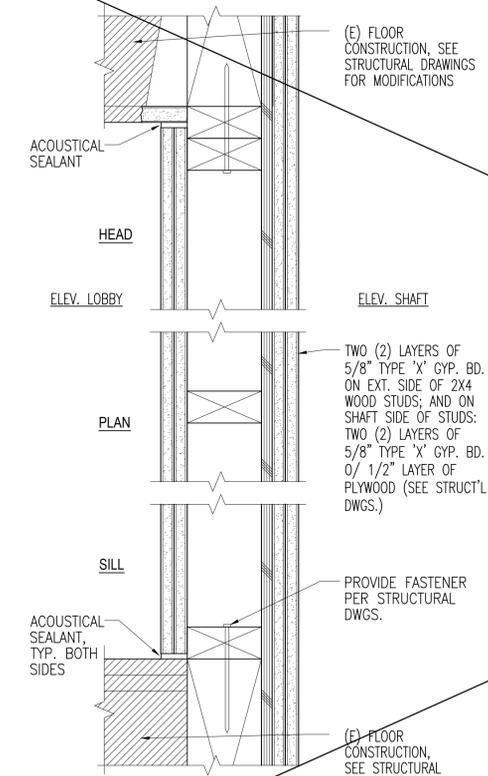
MACHINE ROOM ACCESS STAIR 1/2"=1'-0" 15



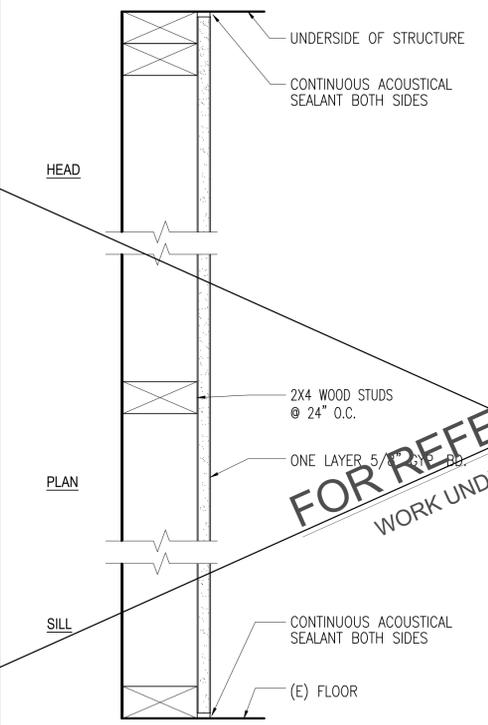
PENTHOUSE ROOF PLAN 1/4"=1'-0" 11



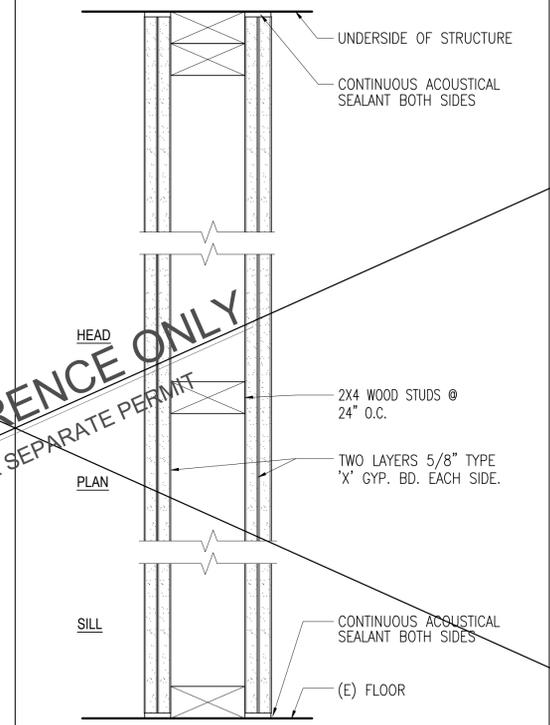
2-HOUR RATED SHAFT WALL 2 3"=1'-0" 17



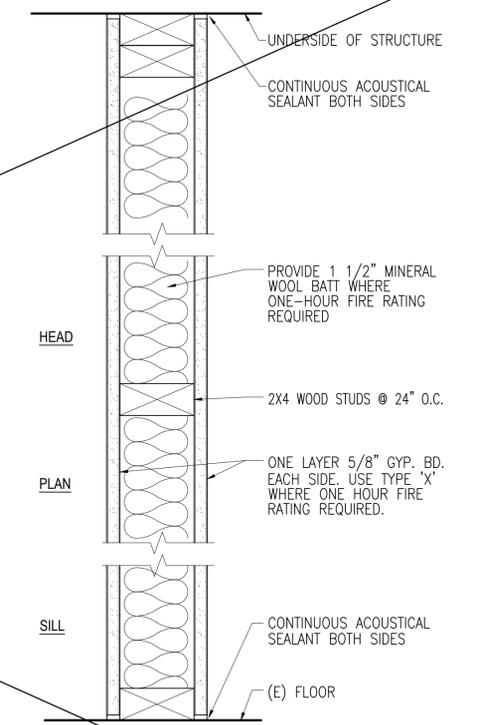
2-HOUR RATED SHAFT WALL 1 3"=1'-0" 13



FURRED WALL 3"=1'-0" 9



TWO HOUR FIRE-RATED WALL 3"=1'-0" 5



TYP. WALL 3"=1'-0" 4

FOR REFERENCE ONLY
WORK UNDER SEPARATE PERMIT

PROJECT TITLE/ADDRESS:

ELEVATOR REPLACEMENT

Ayoub & Kubein Building
972 Mission Street
San Francisco, CA 94103

STAMPS/APPROVALS



PROJECT NO.:

DRAWN BY:

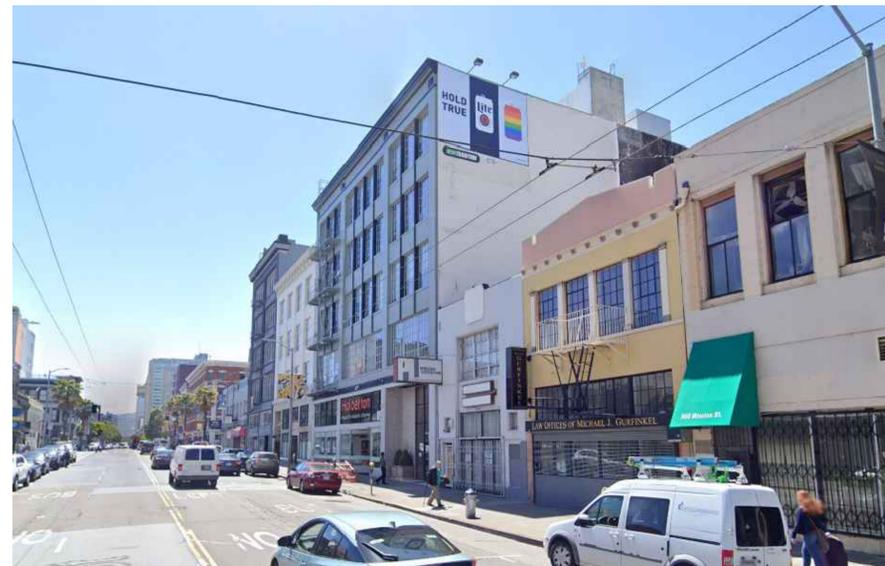
SCALE: AS NOTED

SHEET TITLE

DETAILS

SHEET NUMBER

A8



M Z A
Architecture
Interior Design

Michael Zucker & Associates
155 Montgomery Street #201
San Francisco, California 94104
415.957.0909 mzaia@pacbell.net

ISSUE DATE
Budget Set 03/01/19
PERMIT 09/20/19

PROJECT TITLE/ADDRESS:

ELEVATOR
REPLACEMENT

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972 Mission Street
San Francisco, CA 94103

STAMPS/APPROVALS



PROJECT NO.:

DRAWN BY:

SCALE: AS NOTED

SHEET TITLE

PHOTOS

SHEET NUMBER

PH1

Exhibit C:

Environmental Determination





SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
972 MISSION ST		3704021
Case No.		Permit No.
2019-019493PRJ		201909252719
<input type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval. Major Permit to Alter request for replacement of existing elevator with a new larger wheelchair accessible elevator.</p>		

STEP 1: EXEMPTION CLASS

The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?</p> <p><i>if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i></p>
<input type="checkbox"/>	<p>Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography). If yes, Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Slope = or > 25%: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.</p>
<p>Comments and Planner Signature (optional):</p>	

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to <i>Property Information Map</i>)	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input checked="" type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <input type="checkbox"/> Reclassify to Category A a. Per HRER or PTR dated <input type="checkbox"/> Reclassify to Category C (attach HRER or PTR) b. Other (specify):
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature:	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Planning Commission Hearing	Signature: Rebecca Salgado
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	01/08/2020
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.		

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
972 MISSION ST		3704/021
Case No.	Previous Building Permit No.	New Building Permit No.
2019-019493PRJ	201909252719	
Plans Dated	Previous Approval Action	New Approval Action
	Planning Commission Hearing	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

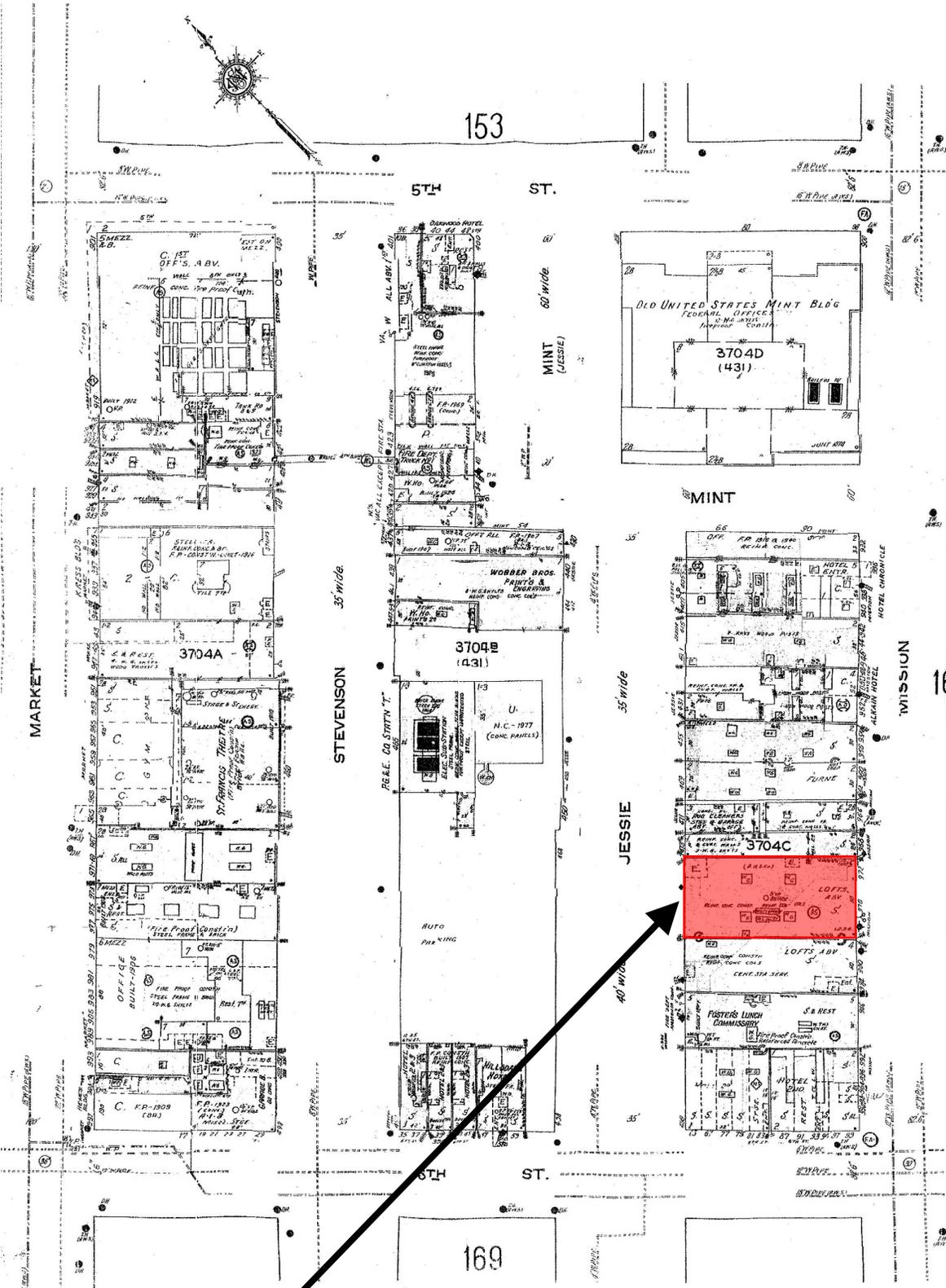
<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.	
Planner Name:	Date:

Exhibit D:

Maps and Aerial Views



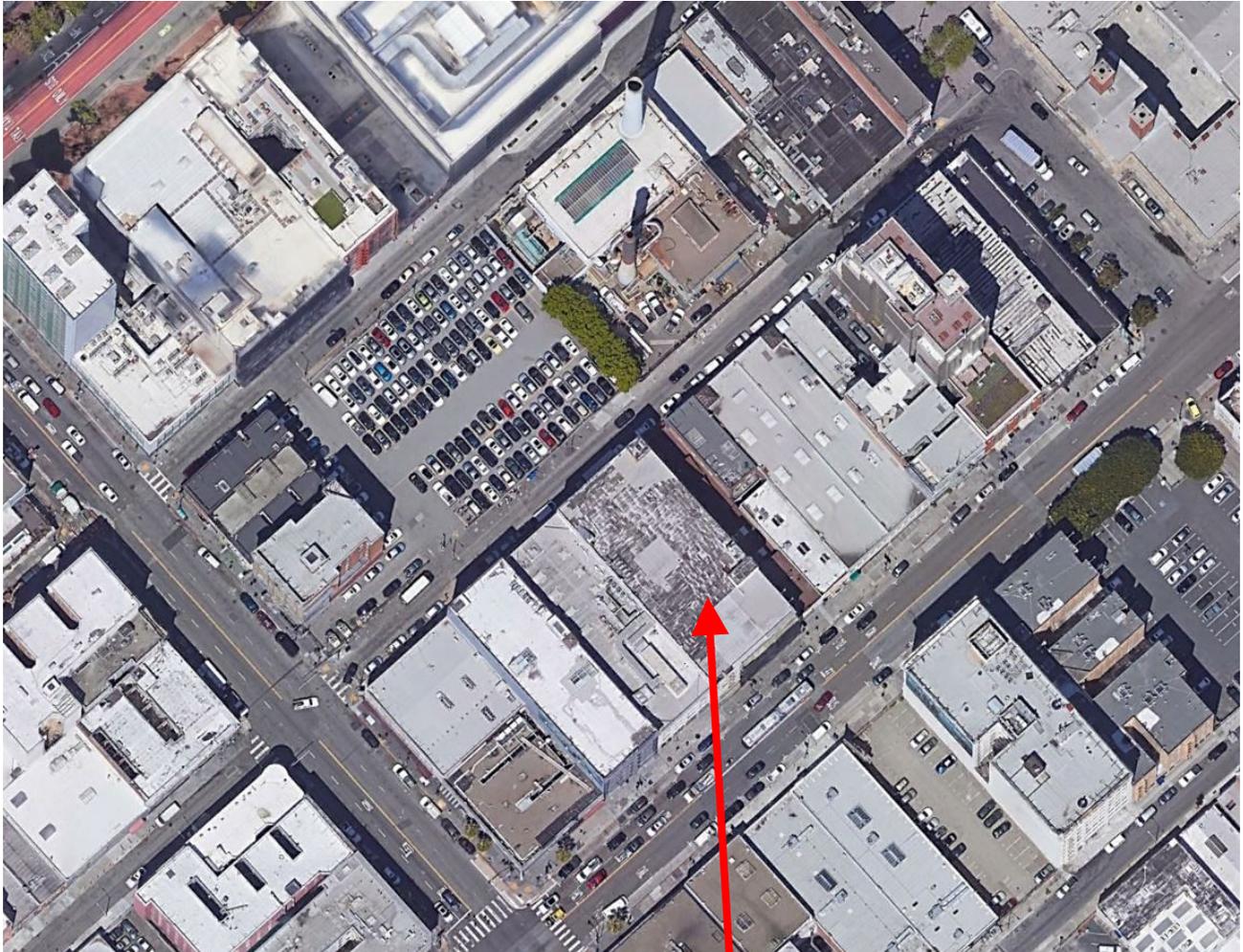
Sanborn Map



SUBJECT PROPERTY

Major Permit to Alter
Case Number 2019-019493PTA
972 Mission Street

Aerial Photo – View 1



SUBJECT PROPERTY



Major Permit to Alter
Case Number 2019-019493PTA
972 Mission Street

Aerial Photo – View 2



AREA OF PROPOSED WORK



Major Permit to Alter
Case Number 2019-019493PTA
972 Mission Street