



VARIANCE FROM THE PLANNING CODE

INFORMATIONAL AND SUPPLEMENTAL APPLICATION PACKET

ATTENTION: A Project Application must be completed and/or attached prior to submitting this Supplemental Application. See the [Project Application](#) for instructions.

Pursuant to Planning Code Section 305, the Zoning Administrator shall hear and make determinations regarding applications for variances from the strict application of quantitative standards in the Planning Code. The first pages consist of instructions which should be read carefully before the application form is completed.

For questions, call 415.558.6377, email pic@sfgov.org, or visit the Planning Information Center (PIC) at 1660 Mission Street, First Floor, San Francisco, where planners are available to assist you.

Español: Si desea ayuda sobre cómo llenar esta solicitud en español, por favor llame al 415.575.9010. Tenga en cuenta que el Departamento de Planificación requerirá al menos un día hábil para responder.

中文: 如果您希望獲得使用中文填寫這份申請表的幫助，請致電415.575.9010。請注意，規劃部門需要至少一個工作日來回應。

Tagalog: Kung gusto mo ng tulong sa pagkumpleto ng application na ito sa Filipino, paki tawagan ang 415.575.9120. Paki tandaan na mangangailangan ang Planning Department ng hindi kukulangin sa isang araw na pantrabaho para makasagot.

WHAT IS A VARIANCE?

The Planning Code regulates the use of property, including the size, design, and siting of buildings that may be constructed on a piece of property. The Planning Code has standards for buildings that govern such features as rear yards, front setbacks, usable open space, height, and parking. A variance is a request for an exception to a Planning Code standard. The Zoning Administrator is the City official that interprets and maintains the Planning Code.

WHEN IS A VARIANCE NECESSARY?

There may be special circumstances that make it difficult for a project to meet all of the Planning Code requirements. In those instances, a project sponsor may request that the Zoning Administrator grant a Variance from the Code provisions. Under the City Charter (Section 4.105), the Zoning Administrator has the power to grant only those variances that are consistent with the general purpose and the intent of the Planning Code. The power to grant a variance shall be applied only when the plain and literal interpretation and enforcement of the Code would “result in practical difficulties, unnecessary hardships, or where the results would be inconsistent with the general purpose of the [Code].”

Planning Code Section 305(c) outlines the five criteria that must be met in order for the Zoning Administrator to grant a variance. The Section 305(c) criteria are as follows:

1. That there are exceptional or extraordinary circumstances applying to the property involved or to the intended use of the property that do not apply generally to other property or uses in the same class of district;
2. That owing to such exceptional or extraordinary circumstances the literal enforcement of specified provisions of this Code would result in practical difficulty or unnecessary hardship not created by or attributable to the applicant or the owner of the property;
3. That such variance is necessary for the preservation and enjoyment of a substantial property right of the subject property, possessed by other property in the same class of district;
4. That the granting of such variance will not be materially detrimental to the public welfare or materially injurious to the property or improvements in the vicinity; and
5. That the granting of such variance will be in harmony with the general purpose and intent of this Code and will not adversely affect the General Plan.

HOW DOES THE PROCESS WORK?

Upon submittal of a complete application to the Planning Department, the Zoning Administrator will schedule a public hearing to consider whether to grant the Variance. Variance hearings typically occur on the last Wednesday of each month. Upon issuing the formal written decision either granting or denying the Variance in whole or in part, the Zoning Administrator shall forthwith transmit a copy the Variance decision letter to the applicant. The action of the Zoning Administrator shall be final and shall become effective 10 days after the date of his written decision except upon the filing of a valid appeal to the Board of Permit Appeals as provided in Section 308.2 of the Planning Code.

Fees

Please refer to the [Planning Department Fee Schedule](http://www.sfplanning.org) available at www.sfplanning.org or at the Planning Information Center (PIC) located at 1660 Mission Street, First Floor, San Francisco. For questions related to the Fee Schedule, please call the PIC at 415.558.6377.

Fees will be determined based on the estimated construction costs. Should the cost of staff time exceed the initial fee paid, an additional fee for time and materials may be billed upon completion of the hearing process or permit approval. Additional fees may also be collected for preparation and recordation of any documents with the San Francisco Assessor-Recorder's office and for monitoring compliance with any conditions of approval.

WHAT APPLICANTS SHOULD KNOW ABOUT THE PUBLIC HEARING PROCESS

A. The Zoning Administrator encourages applicants to meet with all community groups and parties interested in their application early in the entitlement process. In many cases, this is required as part of the Pre-application process. Department staff is available to assist in determining how to contact interested groups. Neighborhood organization lists are available on the Department's website. Notice of the hearing will be sent to groups in or near the neighborhood of the project. The applicant may be contacted by the Planning Department staff with requests for additional information or clarification. An applicant's cooperation will facilitate the timely review of the application.

B. The Zoning Administrator requests that applicants familiarize themselves with the procedure for public hearings, which are excerpted from the Planning Commission's Rules and Regulations below.

Hearings. A public hearing may be held on any matter before the Zoning Administrator at either a Regular (every 4th Wednesday of the month) or a Special Meeting. The procedure for such public hearings shall be as follows:

1. A description of the issue by Zoning Administrator along with the Planning Department's recommendation.
2. A presentation of the proposal by the project sponsor for a period not to exceed 5 minutes.
3. A presentation of opposition to the proposal, by organized opposition, for a period not to exceed 3 minutes.
4. Public testimony from proponents of the proposal. An individual may speak for a period not to exceed 3 minutes.
5. Public testimony from opponents of the proposal would be taken under conditions parallel to those imposed on proposal proponents, not to exceed 3 minutes.
6. The project sponsor or applicant will be given a period, not to exceed 3 minutes, within which to clarify any questions raised in previous testimony.
7. Discussion by the Zoning Administrator on the matter.
8. The Zoning Administrator may impose time limits on appearances by members of the public and may otherwise exercise his or her discretion on procedures for the conduct of public hearings.

C. **Opportunities for Appeals by Other Bodies:** Zoning Administrator actions on Variances are final unless appealed to the Board of Appeals within 10 days of the Zoning Administrator's written decision.



VARIANCE FROM THE PLANNING CODE

SUPPLEMENTAL APPLICATION

Property Information

Project Address: 812 SCOTT STREET

Block/Lot(s): 0777/016

Variance Findings

Pursuant to Planning Code Section 305(c), before approving a variance application, the Zoning Administrator needs to find that the facts presented are such to establish the findings stated below. In the space below and on separate paper, if necessary, please present facts sufficient to establish each finding.

1. That there are exceptional or extraordinary circumstances applying to the property involved or to the intended use of the property that do not apply generally to other property or uses in the same class of district;
812 SCOTT IS A SMALL HISTORIC EAST LAKE VICTORIAN 2-UNIT HOUSE ON A DEEP LOT (25' WIDE X 137'-6" DEEP) WITH A UNIQUELY LARGE FRONT YARD SETBACK (APPROX. 22 FEET). MOST HOUSES IN THE ALAMO SQUARE HISTORIC DISTRICTS ARE MUCH LARGER AND TALLER AND HAVE NO SETBACK OR 5-15' FRONT YARD SETBACKS, CREATING AMPLE ROOM IN THE FRONT OF THE PROPERTY FOR USEABLE SPACE. AT 812 SCOTT STREET, THE LARGE FRONT YARD SETBACK AND HISTORIC CONDITION LIMITS THE AVAILABLE LAND AREA FOR EXPANSION IN THE FRONT AND CREATES AN EXCEPTIONAL CIRCUMSTANCE FOR THE INTENDED USE THAT DO NOT APPLY GENERALLY TO OTHER PROPERTIES IN THE SAME CLASS OF THIS DISTRICT AS THEY DO NOT HAVE THIS SAME RESTRICTION IN THEIR FRONT YARD.
2. That owing to such exceptional or extraordinary circumstances the literal enforcement of specified provisions of this Code would result in practical difficulty or unnecessary hardship not created by or attributable to the applicant or the owner of the property;
THE PLANNING CODE FRONT SETBACK FOR THIS PROPERTY IS THE AVERAGE OF THE TWO ADJACENT PARCELS - WHICH IS 12' - CREATING THE OPPORTUNITY FOR ADDING UP TO TEN FEET IN THE FRONT (CURRENT HOUSE IS 22' SETBACK). HOWEVER ADDITIONS TO THE FRONT WOULD SIGNIFICANTLY ALTER THE HISTORIC FACADE AND ARE NOT ALLOWED. THE EXISTING LARGE FRONT YARD SETBACK THEREBY CREATES PRACTICAL DIFFICULTY AND UNNECESSARY HARDSHIP NOT CREATED BY THE APPLICANT/PROPERTY OWNER BY NOT BEING ABLE TO ADD SF IN THE FRONT YARD AND LEAVING ONLY THE REAR YARD FOR EXPANSION. ANY ADDITION IN THE REAR FALLS INTO THE REAR YARD SETBACK AND THEREFORE REQUIRES A VARIANCE.
3. That such variance is necessary for the preservation and enjoyment of a substantial property right of the subject property, possessed by other property in the same class of district;
THE PLANNING CODE FRONT SETBACK FOR THIS PROPERTY IS THE AVERAGE OF THE TWO ADJACENT PARCELS - WHICH IS 12' - CREATING THE OPPORTUNITY FOR ADDING UP TO TEN FEET IN THE FRONT; HOWEVER ADDITIONS TO THE FRONT WOULD SIGNIFICANTLY ALTER THE HISTORIC FACADE AND ARE NOT ALLOWED. AS SUCH, THE ONLY OPPORTUNITY TO ADD SQUARE FOOTAGE IS IN THE REAR. THE REAR YARD SETBACK (BASED ON AVERAGING) IS 57' - 1 1/2". THE EXISTING HOUSE ALREADY EXTENDS INTO THE REAR YARD SETBACK BY 17'-10". THE PROPOSED ADDITION TO INFILL UNDER THE EXISTING DECK AND ADD 30 SF ON THE SECOND FLOOR WOULD MINIMALLY ALTER THE REAR YARD MASSING. THE REAR YARD SETBACK WOULD REMAIN AT 40'-1" WHICH IS MORE THAN THE 25% REQUIRED MINIMUM REAR YARD OF 34' - 4 1/2". MANY PROPERTIES IN THIS SAME CLASS OF DISTRICT ENJOY MORE AMPLE SIZE UNITS DUE TO MINIMAL OR NO FRONT YARD SETBACKS, AND MANY ALSO EXTEND INTO THE REQUIRED REAR YARD SETBACK. THIS VARIANCE IS NECESSARY FOR ADDING SQUARE FEET TO THE PROPERTY (FOR BOTH UNITS) AND BRINGS THE PROPERTY CLOSER TO THE RESIDENTIAL UNITS IN THE SAME CLASS AND DISTRICT, AND THEREFORE PRESERVES AND ALLOWS THE ENJOYMENT OF A SUBSTANTIAL PROPERTY RIGHT POSSESSED BY OTHER PROPERTIES IN THE ALAMO SQUARE HISTORIC DISTRICT.

4. That the granting of such variance will not be materially detrimental to the public welfare or materially injurious to the property or improvements in the vicinity;

THE PROPOSED INFILL AT THE REAR DECK ON THE LOWER FLOOR AND SMALL ADDITION ON THE SECOND FLOOR IS MINIMAL; THE MASSING IN THE REAR HAS BEEN MODIFIED TO CREATE A STRUCTURALLY SOUND STRUCTURE. WE HAVE PREPARED SHADOW STUDIES (A9.4 AND A9.5) WHICH SHOWS THAT THE EXPANSION DOES NOT AFFECT THE PUBLIC WELFARE AND HAS BEEN MINIMIZED TO NOT BE DETRIMENTAL OR INJURIOUS TO THE PROPERTY OR IMPROVEMENTS IN THE VICINITY.


5. That the granting of such variance will be in harmony with the general purpose and intent of this Code and will not adversely affect the General Plan.

GRANTING OF THIS VARIANCE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THE CODE AND DOES NOT ADVERSELY AFFECT THE GENERAL PLAN.

APPLICANT'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

- a) The undersigned is the owner or authorized agent of the owner of this property.
- b) The information presented is true and correct to the best of my knowledge.
- c) Other information or applications may be required.
- d) I hereby authorize City and County of San Francisco Planning staff to conduct a site visit of this property as part of the City's review of this application, making all portions of the interior and exterior accessible through completion of construction and in response to the monitoring of any condition of approval.
- e) I attest that personally identifiable information (PII) - i.e. social security numbers, driver's license numbers, bank accounts - have not been provided as part of this application. Furthermore, where supplemental information is required by this application, PII has been redacted prior to submittal to the Planning Department. I understand that any information provided to the Planning Department becomes part of the public record and can be made available to the public for review and/or posted to Department websites.


Signature

BONNIE BRIDGES, AIA

Name (Printed)

JUNE 2, 2020

Date

ARCHITECT

Relationship to Project
(i.e. Owner, Architect, etc.)

415-24107161

Phone

BONNIE@STUDIO-BBA.COM

Email

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

Appendix A:

Plans and

Renderings

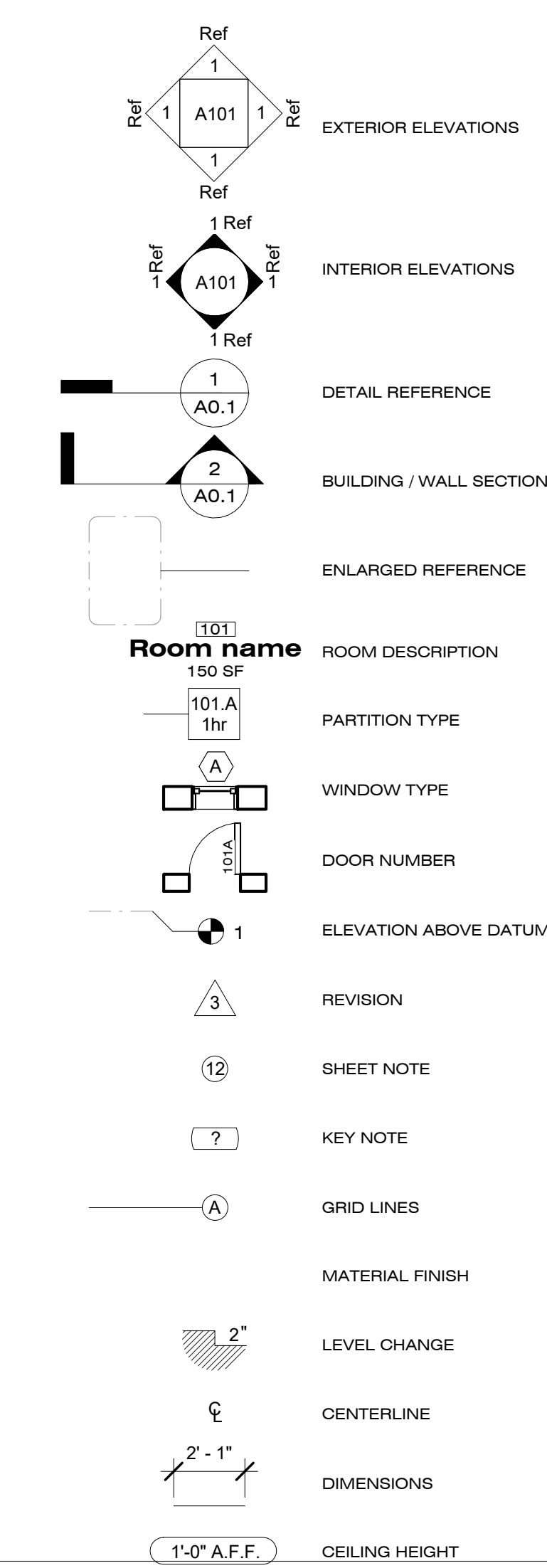
GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF LOCAL BUILDING CODES, ZONING CODES, THE NATIONAL ELEC. CODE, N.E.P.A., & ALL OTHER APPLICABLE CODES, RULES, & REGULATION IN THEIR LATEST ADOPTED EDITION. THE CONTRACTOR IS RESPONSIBLE TO ENFORCE THESE REQ'S WITH ALL SUBCONTRACTORS.
2. THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE PROJECT AS IT RELATES TO PLANS, SPECIFICATIONS & ALL SCOPE OF WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPORT TO THE ARCHITECT ANY ERRORS, OMISSIONS OR DISCREPANCIES THAT MAY AFFECT THE WORK. THE ARCHITECT WILL PROVIDE APPROPRIATE CLARIFICATIONS AS NECESSARY. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE, IF INCORRECTLY PERFORMED, REPLACED OR REPAIRED AT THE CONTRACTORS EXPENSE AS DIRECTED BY THE ARCHITECT.
3. DETAILS ARE KEYED ONCE ON THE PLANS OR ELEVATIONS, & ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT.
4. ALL WORK SHALL BE PROPERLY PROTECTED AT ALL TIMES. THE CONTRACTOR OR SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER THE WORK. THE CONTRACTOR SHALL REPAIR AT OWN COST ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION.
5. ALL PERMITS, INSPECTIONS, APPROVALS, ETC. SHALL BE APPLIED FOR & PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF INSPECTIONS & APPROVALS OF THE WORK.
6. BEFORE COMMENCING WITH ANY WORK, THE CONTRACTOR SHALL SEND THE OWNER CURRENT INSURANCE CERTIFICATES IN THE AMOUNT REQUESTED BY THE OWNER FOR WORKMANS COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY & PROPERTY DAMAGE.
7. ALL SUBCONTRACTORS SHALL SUBMIT SHOP DWGS TO THE CONTRACTOR FOR APPROVAL. THE CONTRACTOR SHALL SUBMIT ANY MATERIAL SUBSTITUTIONS TO THE ARCHITECT FOR REVIEW & APPROVAL PRIOR TO START OF CONSTRUCTION.
8. ALL THERMAL & ACOUSTIC INSULATION SHALL COMPLY WITH THE 2015 UNIFORM BUILDING CODE.
9. THE ARCHITECT SHALL HAVE ACCESS TO THE PROJECT AT ALL TIMES. ANY INFERIOR MATERIAL OR WORKMANSHIP SHALL BE REMOVED AS DIRECTED BY THE ARCHITECT, & RECONSTRUCTED TO MEET THE ARCHITECT'S APPROVAL.
10. A COPY OF THE AGENCY APPROVED CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOB SITE AT ALL TIMES FOR REVIEW BY THE ARCHITECT.
11. THE CONTRACTOR SHALL GUARANTEE IN WRITING ALL LABOR, MATERIAL, & WORKMANSHIP INSTALLED BY HIM FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR AFTER DATE OF ACCEPTANCE OF THE WORK BY THE OWNER. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO COST TO THE OWNER.
12. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CLEAN & ORDERLY WORK AREA AT ALL TIMES & PROMPTLY CLEAN UNKEMPT AREAS WHEN DIRECTED BY THE OWNER OR THE ARCHITECT.
13. ALL FURNITURE IS SHOWN FOR REFERENCE ONLY, U.N.O.
14. COORDINATE THE TRADES, CRAFTS, & SUBCONTRACTS AS REQUIRED TO PROVIDE CORRECT & ACCURATE CONNECTION OF ABUTTING, ADJOINING, OVERLAPPING & RELATED WORK. PROVIDE ANCHORS, FASTENERS, BLOCKING, ACCESSORIES, APPURTENANCES, CAULKING & SEALING & INCIDENTAL ITEMS AS REQUIRED TO COMPLETE THE WORK PROPERLY, FULLY, & CORRECTLY IN ACCORDANCE WITH CONTRACT DOCUMENTS.
15. THE CONTRACTOR SHALL BE IN CHARGE OF THIS CONTRACT WITHIN THE LIMITS OF THE SITE & ACCESS TO & FROM THE SITE. THE CONTRACTOR SHALL DIRECT, SCHEDULE & MONITOR THE WORK. FINAL RESPONSIBILITY FOR PERFORMANCE, INTERFERENCE & COMPLETION OF THE WORK & THE PROJECT SHALL BE THE CONTRACTORS.
16. ALL MATERIALS & FINISHES USED ON THE PROJECT SHALL BE NEW & FREE OF DEFECTS OR DAMAGE, U.N.O.
17. ITEMS OF EQUIPMENT, FIXTURES, SIZE, CAPACITY, MODEL, STYLE & MATERIALS NOT DEFINITELY SPECIFIED HEREIN OR INDICATED ON THE DRAWINGS, BUT NECESSARY FOR THE COMPLETION OF THE WORK, SHALL BE PROVIDED. SUCH ITEMS SHALL MEET APPLICABLE CODE REQUIREMENTS & BE THE TYPE & QUALITY SUITABLE FOR THE SERVICE REQUIRED & COMPARABLE TO ADJACENT OR SIMILAR ITEMS IN THE PROJECT. WHERE THESE & VISIBLE IN THE FINAL WORK, OBTAIN ARCHITECTS APPROVAL BEFORE PROCEEDING WITH THE WORK.
18. DIMENSIONING STANDARDS:
 - HORIZONTAL DIMENSIONS ARE SHOWN FROM FACE OF WALL & DO NOT INCLUDE FINISH MATERIALS, U.N.O.
 - DIMENSIONS NOTED AS CLEAR OR 'CLR' MUST BE PRECISELY MAINTAINED & SHALL INCLUDE APPLIED FINISH MATERIALS.
 - DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ACCEPTANCE BY THE ARCHITECT, UNLESS NOTED AS +/-.
 - VERTICAL DIMS. ARE FROM THE TOP OF THE FINISHED FLOOR SLAB DATUM LINE, ESTABLISHED BY CONTRACTOR SUBJECT TO ACCEPTANCE OF THE OWNER & ARCHITECT, U.N.O.
 - DIMENSIONS MARKED AS 'A.F.F.' ARE ABOVE FINISHED FLOOR MATERIALS. IN CARPETED AREAS, THE TOP OF SLAB IS CONSIDERED TO BE THE FINISHED FLOOR.
 - DO NOT SCALE DRAWINGS, IF DIMENSIONS, LAYOUT, OR ITEMS OF WORK CANNOT BE LOCATED, DO NOT PROCEED WITH WORK WITHOUT THE CLARIFICATION & CONSENT OF THE ARCHITECT.
23. THE CONTRACTOR IS RESPONSIBLE FOR COOPERATING & COORDINATING WITH OTHERS AS IT EFFECTS THE PROJECT.
24. DRAWINGS & SPECIFICATIONS ARE INTENDED FOR ASSISTANCE & GUIDANCE, BUT EXACT DIMENSIONS & CLEARANCES SHALL BE VERIFIED BY THE CONTRACTOR. CHECK LEVELS & LINES INDICATED BEFORE COMMENCING WORK. THE ARCHITECT SHOULD BE NOTIFIED OF ANY DISCREPANCIES FOR ADJUSTMENTS, CORRECTIONS OR CLARIFICATIONS.
25. INSTALL WORK PLUMB, LEVEL, SQUARE, TRUE & IN PROPER ALIGNMENT. PERFORM ALL THE WORK IN A WORKMANLIKE & WELL MANNER.
26. DO NOT SUBSTITUTE, REVISE, OR CHANGE THE WORK WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
27. THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING FOR ALL WALL & CEILING MOUNTED ACCESSORIES & HARDWARE.
28. THE CONTRACTOR SHALL PROVIDE SUBMITTALS FOR LIGHTING, PLUMBING, TILE, & STONE TO THE ARCHITECT FOR REVIEW & APPROVAL.

ABBREVIATIONS

- # - NUMBER OR POUND
& - AND
(E) - EXISTING
@ - AT
+/- - PLUS OR MINUS
> - GREATER THAN
AB - ANCHOR BOLT
ABV - ABOVE
AC - ASPHALTED CONC
ACT - ACOUSTICAL CLG TILE
AD - AREA DRAIN
ADD - ADDENDUM
ADDL - ADDITIONAL
ADJ - ADJUSTABLE
ADJ - ADJACENT
ADMIN - ADMINISTRATION
AFF - ABOVE FINISH FLOOR
ALT - ALTERNATE
ALUM - ALUMINUM
AMEND - AMENDMENT
AP - ACCESS PANEL
APROX - APPROXIMATE
ARCH - ARCHITECT
AUTO - AUTOMATIC
BFE - BOTTOM FTG ELEV
BIT - BITUMINOUS
BLDG - BUILDING
BLKG - BLOCKING
BLW - BELOW
BM - BEAM
BO - BY OWNER
BOT - BOTTOM
BSMT - BASEMENT
BTWN - BETWEEN
CAB - CABINET
CANTL - CANTILEVER
CCTV - CLOSED CIRCUIT TV
CJT - CONTROL JOINT
CL - CENTER LINE
CLG - CEILING
CLR - CLEAR
CO - CASED OPENING
COL - COLUMN
CONC - CONCRETE
CONF - CONFERENCE
CONST - CONSTRUCTION
CONT - CONTINUOUS
CONTR - CONTRACT/OR
COORD - COORDINATE
CPT - CARPET
CT - CERAMIC TILE
CTR - CENTER
CTSK - COUNTERSUNK/SINK
CW - COLD WATER
D - DEPTH OR DEEP
DEG - DEGREE(S)
DEMO - DEMOLITION
DEPT - DEPARTMENT
DR - DRINKING FOUNTAIN
DIA - DIAMETER
DIAG - DIAGONAL
DIM - DIMENSION
DIST - DISTRIBUTION
DN - DOWN
DR - DOOR
DS - DOWNSPOUT
DW - DISHWASHER
DWG - DRAWING
EA - EACH
EJ - EXPANSION JOINT
ELEC - ELECTRICAL
ELEV - ELEVATION
EM - ELECTRIC METER
EMERG - EMERGENCY
EQ - EQUAL
EQUIP - EQUIPMENT
EXT - EXTERIOR
FA - FIRE ALARM
FD - FLOOR DRAIN
FDN - FOUNDATION
FE - FIRE EXTINGUISHER
FH - FIRE HOSE
FIN - FINISH
FIXT - FIXTURE
FL - FLOOR
FLASH - FLASHING
FRMG - FRAMING
FRN - FURNACE
FT - FOOT/FEET
FTG - FOOTING
FURN - FURNITURE
FURN - FURNING
GA - GAUGE
GAL - GALLONS
GALV - GALVANIZED
GB - GRAB BAR
GEN - GENERAL
GL - GLASS
GM - GAS METER
GWB - GYPSUM WALLBOARD
H - HIGH
HB - HOSE BIB
HC - HOLLOW CORE
HDR - HEADER
HDW - HARDWARE
HM - HOLLOW METAL
HORIZ - HORIZONTAL
HR - HANDRAIL
HT - HEIGHT
HTR - HEATER
HVAC - HEATING/VENTILATING
HW - HOT WATER
- HWID - HARDWOOD
ID - INSIDE DIAMETER
IN - INCH
INSUL - INSULATION
INT - INTERIOR
ISO - ISOLATION
JAN - JANITOR
JB - JUNCTION BOX
JST - JOIST
JT - JOINT
LAV - LAVATORY
LBS - POUNDS (WEIGHT)
LIN - LINEAR
LOC - LOCATION OR LOCATE
LT - LIGHT
LTG - LIGHTING
MAN - MANUAL
MATL - MATERIAL
MAX - MAXIMUM
MECH - MECHANICAL
MEMB - MEMBRANE
MEZZ - MEZZANINE
MFR - MANUFACTURER
MIN - MINIMUM
MIR - MIRROR
MISC - MISCELLANEOUS
MONO - MONOLITHIC
MTD - MOUNTED
MTL - METAL
MULL - MULLION
NA - NOT APPLICABLE
NIC - NOT IN CONTRACT
NO - NUMBER
NOM - NOMINAL
NRC - NOISE REDUCTION COEF.
NT - NOTE
NTS - NOT TO SCALE
OC - ON CENTER
OD - OUTSIDE DIAMETER
OH - OVERHEAD
OPP - OPPOSITE
PART - PARTITION
PED - PEDESTAL
PL - PROPERTY LINE
PLAM - PLASTIC LAMINATE
PLT - PLATE
PLWD - PLYWOOD
PRELIM - PRELIMINARY
PRESS - PRESSURE
PT - PAINT
PVC - POLYVINYL CHLORIDE
R - RADIUS
REC - RECESSED
REF - REFERENCE
REFR - REFRIGERATOR
REINF - REINFORCE/ - ED/ - ING
REM - REMOVE
REQD - REQUIRED
RET - RETAINING
REV - REVISE/ REVISION
RH - RATCH
RM - ROOM
RO - ROUGH OPENING
RS - RISER
RWL - RAIN WATER LEADER
SCHED - SCHEDULE
SD - SHOWER DRAIN
SECT - SECTION
SF - SQUARE FOOT
SHT - SHEET
SHTG - SHEATHING
SHWR - SHOWER
SIM - SIMILAR
SLNT - SEALANT
SPECO - SPECIFICATIONS
SQ - SQUARE
SS - STAINLESS STEEL
ST - STREET
STC - SOUND TRANSMISSION
STD - STANDARD
STL - STEEL
STN - STONE
STOR - STORAGE
STRUCT - STRUCTURAL
SUPV - SUPERVISOR
SUSP - SUSPENDED
SW - SWITCH
SWD - SOFTWOOD
SKYLT - SKYLIGHT
SYM - SYMMETRICAL
TAN - TANGENT
TEL - TELEPHONE
TEMP - TEMPERATURE
TG - TONGUE & GROOVE
THRES - THRESHOLD
TR - TREAD
TRANS - TRANSFORMER
TV - TELEVISION
TYP - TYPICAL
UNO - UNLESS NOTED OTHERWISE
UTIL - UTILITY
VENT - VENTILATION
VERT - VERTICAL
VEST - VESTIBULE
W - WIDTH/WIDE
WI - WROUGHT IRON
W/ - WITH
W/O - WITHOUT
WC - WATER CLOSET
WD - WOOD
WH - WATER HEATER
WIN - WINDOW
WT - WEIGHT
YD - YARD

SHEET SYMBOLS



CODE REVIEW

CHPT 5 - GENERAL HEIGHTS AND AREAS
TABLE 504 (FOR THE PURPOSE OF CALCULATING THE ALLOWABLE HEIGHT AND NUMBER OF STORIES).
R-3, CONSTRUCTION TYPE V-B, ALLOWED 3 STORIES, UNLIMITED AREA

CHPT 10 - EGRESS
1004.1 OCCUPANT LOAD
• RESIDENTIAL (200 GROSS)
1009.2 STAIRWAYS
• STAIRWAYS SERVING AN INDIVIDUAL UNIT ARE NOT REQUIRED TO BE ENCLOSED
1014.3 COMMON PATH OF EGRESS, FOOTNOTE E
• DOES NOT APPLY TO R-3 UNLESS IT IS IN A MIXED OCC. BLDG.
1006.2.1 EXIT AND EXIT ACCESS DOORWAYS, EXCEPTION 1 SPACES WITH 1 EXIT
• 1 EXIT OK WITH MAX 20 OCC. FOR R-3 W/ SPRINKLERS AND COMMON PATH OF EGRESS TRAVEL DOES NOT EXCEED 125 FEET.
1017.2 EXIT ACCESS TRAVEL
• 200' MAX W/O SPRINKLERS
1020.1 CORRIDORS
• FIRE RATING NOT REQ'D OF CORRIDORS CONTAINED WITHIN AN INDIVIDUAL GROUP R DWLLING UNIT
1030.1 EMERGENCY ESCAPE AND RESCUE
• SLEEPING ROOMS BELOW THE 4TH FLOOR ARE REQ'D TO HAVE AT LEAST 1 EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING
• MIN. NET CLEAR OPENING 5.7SF, 24" H. MIN., 20" W. MIN.

PROJECT DATA

812 SCOTT STREET			
DATA	EXISTING	PROPOSED	
CONSTR. TYPE	V-N	V-N	
OCCUPANCY	R-3	R-3	
BLDG HEIGHT	33'-9"	35'-1 1/2"	
NO. OF STORIES	2	2	
SPRINKLERS	NO	NO	
NO. OF UNITS	2	2	
SEISMIC UPGRADE	-	YES	

UNIT 1				
AREAS (GSF)	EXISTING	REMODEL	NEW	
SECOND FLOOR	1,480 SF	-	30 SF	1,510 SF
UNCONDITIONED - DECK	142 SF	30 SF	0 SF	112 SF
TOTAL	1,622 SF	30 SF	30 SF	1,622 SF

HAB. AREAS (GSF)	(E) HAB.	(E) NON HAB.	(N) HAB.	(N) NON HAB.
SECOND FLOOR	1,153 SF	327 SF	1,050 SF	460 SF

UNIT 2				
AREAS (GSF)	EXISTING	REMODEL	NEW	
FIRST FLOOR	773 SF	-	95 SF	1,654 SF
UNCONDITIONED - BRZVY + STOR./MECH.	786 SF	786 SF	-	0 SF
TOTAL	1,559 SF	786 SF	95 SF	1,654 SF

HAB. AREAS (GSF)	(E) HAB.	(E) NON HAB.	(N) HAB.	(N) NON HAB.
FIRST FLOOR	617 SF	156 SF	760 SF	894 SF

	EXISTING	PROPOSED
TOTAL (GSF)	3,148 SF	3,244 SF

HABITABLE SPACE PER CBC CHAPTER 2 - A SPACE IN A BUILDING FOR LIVING, SLEEPING, EATING, OR COOKING. BATHROOMS, TOILET ROOMS, CLOSETS, HALLS, STORAGE, OR UTILITY SPACES AND SIMILAR AREAS ARE NOT CONSIDERED HABITABLE SPACE.

OCCUPANCY

NO. EXITS REQ.: 1 UP TO OCC. 10
OCC. LOAD R: 1/200
TOTAL UNIT 1 HAB. SF: 1,050 SF
OCC. LOAD: 1,050 / 200 = 6
NO. EXITS: 1
TOTAL UNIT 2 HAB. SF: 760 SF
OCC. LOAD: 760 / 200 = 4
NO. EXITS: 1

EXIT ACCESS

-➔

➔

— · — ➔

➔

➔
- COMMON PATH OF EGRESS TRAVEL

VERTICAL EGRESS TRAVEL

DISTANCE TO PUBLIC RIGHT OF WAY

EXIT DOOR

BEDROOM ESCAPE WINDOW

EXIT ACCESS TRAVEL DISTANCE (200'-0" MAX. WHEN NOT SPRINKLERED) PER TABLE 1017.1 FOR SINGLE EXIT

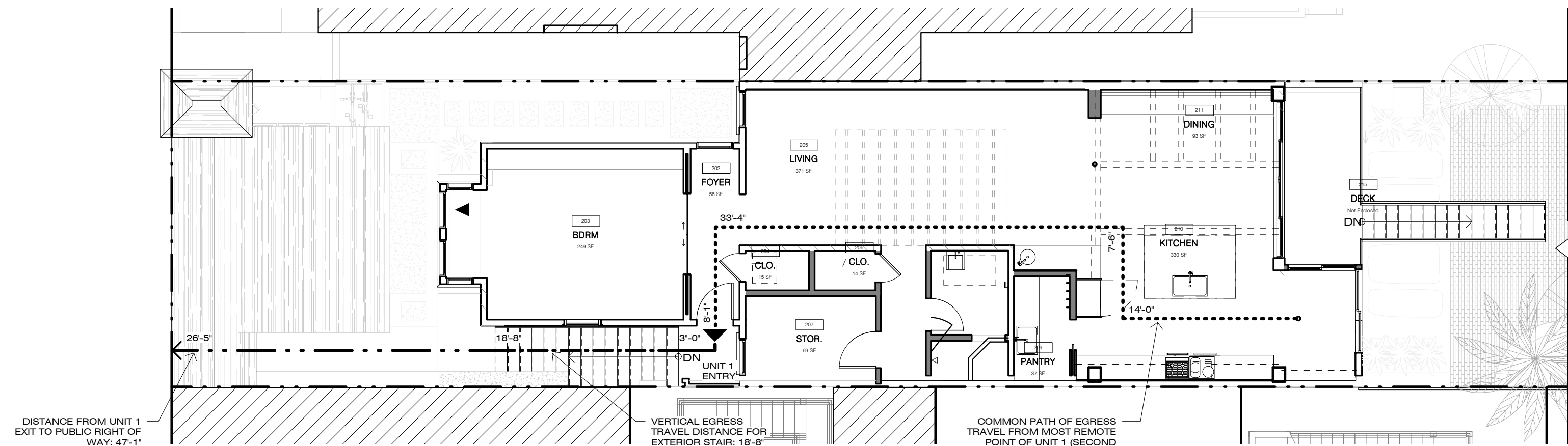
FLOOR	DISTANCE
FIRST FLOOR	65'-10"
SECOND FLOOR	62'-11"
TOTAL	130'-9"

VERTICAL EGRESS TRAVEL (50 FEET MAX.)

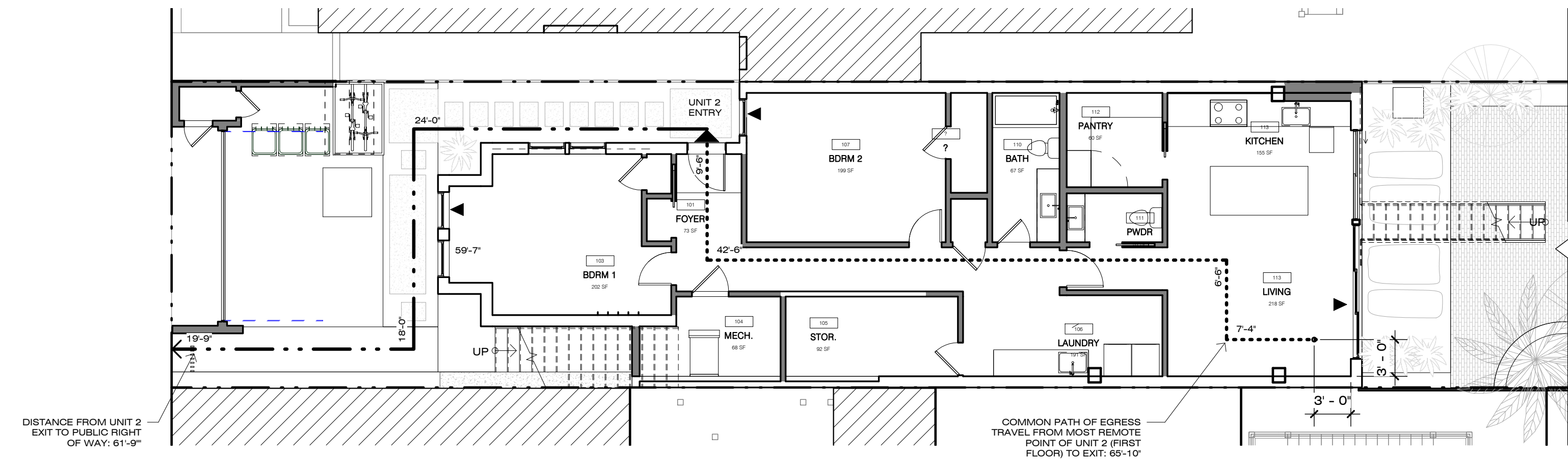
FLOOR	DISTANCE
FIRST FLOOR	-
SECOND FLOOR	18'-8"

TOTAL DISTANCE FROM MOST REMOTE POINT TO PUBLIC RIGHT OF WAY

FLOOR	DISTANCE
FIRST FLOOR	112'-0"
SECOND FLOOR	125'-7"



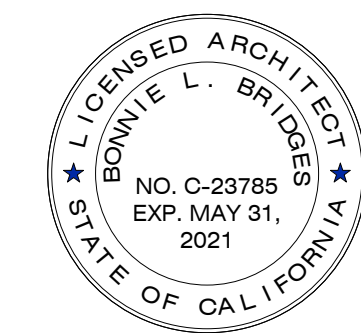
2 SECOND FLOOR PLAN - PROPOSED EGRESS - UNIT 1
1/8" = 1'-0"



1 FIRST FLOOR PLAN - PROPOSED EGRESS - UNIT 2
1/8" = 1'-0"

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2020-12-07	HPC / ZA
2020-08-11	PERMIT APPLICATION R4
2020-06-02	PERMIT APPLICATION R3
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2019-07-02	PERMIT APPLICATION
2019-05-01	PRE APP MEETING

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PROJECT **SCOTT FULTON**
812 SCOTT STREET
SAN FRANCISCO, CA 94117
NUMBER 201833
CONTACT LeAnna Burgin
OWNER Scott Fulton, LLC
APN 1260/038A

EGRESS AND CODE REVIEW

Ao.1

SEC.317

WALL DEMOLITION CALCULATION (LINEAR FOOT MEASUREMENT) SEC. 317(b)(2)(B)					
ELEMENT	(E) LENGTH (LF)	WALL REMOVED (LF) (MEASURED AT FOUNDATION LEVEL)	% REMOVED	MAX. PERMITTED	MEET CODE?
EAST FAÇADE	30'-9"	20'-9"	68%		
WEST FAÇADE	25'-0"	0'-0"	0%		
TOTAL (E+W)	55'-9"	20'-9"	37.2%	50%	YES
TOTAL EAST AND WEST ELEMENTS REMOVED = 37.2%					
NORTH FAÇADE	119'-5.75"	53'-4.5"	44.7%		
SOUTH FAÇADE	75'-5.25"	0'-0"	0%		
TOTALS (N+S)	194'-11"	53'-4.5"	27.4%		
TOTAL ALL SIDES	250'-6"	74'-1.5"	29.6%	65%	YES
TOTAL ALL SIDES ELEMENTS TO BE REMOVED = 29.6%					

WALL DEMOLITION CALCULATION (AREA MEASUREMENT) SEC.317(b)(2)(C)					
VERTICAL ELEMENT	AREA (SQFT)	AREA REMOVED (SQFT)	% REMOVED	MAX. PERMITTED	MEET CODE?
NORTH FAÇADE	1775.08	532.41	30.0%		
SOUTH FAÇADE	1538.66	27.1	1.8%		
EAST FAÇADE	547	302	55.2%		
WEST FAÇADE	451.3	49.01	10.9%		
TOTALS	4312.04	910.52	21.1%	50%	YES
TOTAL VERTICAL ELEMENTS TO BE REMOVED = 21.1%					

FLOOR DEMOLITION CALCULATION (AREA MEASUREMENT) SEC.317(b)(2)(C)					
HORIZONTAL ELEMENT	AREA (SQFT)	AREA REMOVED (SQFT)	% REMOVED	MAX. PERMITTED	MEET CODE?
1ST FLOOR	*0	*0	0.0%		
2ND FLOOR	1480	0	0.0%		
ATTIC	1467	163.95	11.2%		
ROOF	1632	360.14	22.1%		
TOTALS	4579	524.09	11.4%	50%	YES
TOTAL HORIZONTAL ELEMENTS TO BE REMOVED = 11.4%					

* PSC1005 (f) (4) - Removal of more than 75 percent of the building's existing internal structural framework or floor plates unless the City determines that such removal is the only feasible means to meet the standards for seismic load and forces of the latest adopted version of the San Francisco Building Code and the State Historical Building Code.

THIS PROJECT IS NOT CONSIDERED AS DEMOLITION PER SAN FRANCISCO PLANNING CODE SEC.317 (2)(B)(C)

SEC.1005

WALL REMOVAL >25% OF THE SURFACE OF ALL EXTERNAL WALLS FACING A PUBLIC STREET(S) - SEC.1005(f)1					
VERTICAL ELEMENT	AREA (SQFT)	AREA REMOVED (SQFT)	% REMOVED	MAX. PERMITTED	MEET CODE?
WEST FAÇADE	482.26	49.01	10.2%		
NORTH FAÇADE	444.91	61.34	13.8%		
SOUTH FAÇADE	295.95	27.1	9.2%		
TOTALS	1223.12	137.45	11.2%	25%	YES
TOTAL SURFACE OF EXTERNAL WALLS FACING STREET TO BE REMOVED = 11.2%					

REMOVAL OF MORE THAN 50% OF ALL EXTERNAL WALLS FROM THEIR FUNCTION AS ALL EXTERNAL WALLS - 1005(f)2					
VERTICAL ELEMENT	AREA (SQFT)	AREA REMOVED (SQFT)	% REMOVED	MAX. PERMITTED	MEET CODE?
NORTH FAÇADE	1775.08	532.41	30.0%		
SOUTH FAÇADE	1538.66	27.1	1.8%		
EAST FAÇADE	547	302	55.2%		
WEST FAÇADE	451.3	49.01	10.9%		
TOTALS	4312.04	910.52	21.1%	50%	YES
TOTAL EXTERNAL WALLS FUNCTION AS INTERNAL/EXTERNAL WALLS TO BE REMOVED = 21.2%					

REMOVAL OF MORE THAN 25% OF EXTERNAL WALLS FROM FUNCTION AS EITHER EXTERNAL OR INTERNAL WALLS - 1005(f)3					
VERTICAL ELEMENT	AREA (SQFT)	AREA REMOVED (SQFT)	% REMOVED	MAX. PERMITTED	MEET CODE?
NORTH FAÇADE	1775.08	532.41	30.0%		
SOUTH FAÇADE	1538.66	27.1	1.8%		
EAST FAÇADE	547	302	55.2%		
WEST FAÇADE	451.3	49.01	10.9%		
TOTALS	4312.04	910.52	21.1%	25%	YES
TOTAL EXTERNAL WALLS FUNCTION AS INTERNAL/EXTERNAL WALLS TO BE REMOVED = 21.2%					

REMOVAL OF >75% OF ALL INTERNAL STRUCTURE FRAMEWORK OR FLOOR PLATES - 1005(f)4					
STRUCTURAL WALL	(E) LF	REMOVED (LF)	% REMOVED	MAX PERMITTED	MEET CODE?
1ST FLOOR	40.25	28.50	70.8%		
SECOND FLOOR	45.5	27.5	60.4%		
TOTALS	85.75	56.00	65.3%	75%	YES
FLOOR	AREA (SQFT)	AREA REMOVED (SQFT)	% REMOVED		
1ST FLOOR	*0	*0	0.0%		
2ND FLOOR	1494	0	0.0%		
ATTIC	1467	163.95	11.2%		
ROOF	1632	360.14	22.1%		
TOTAL	4593	524.09	11.4%	75%	YES

THIS PROJECT IS NOT CONSIDERED AS DEMOLITION PER SAN FRANCISCO PLANNING CODE SEC.1005(f)(1),(2),(3),(4)

SEC.311

REMOVAL OF MORE THAN 75% OF A RESIDENTIAL BUILDING'S EXISTING INTERIOR WALL FRAMING					
FLOOR	(E) LF	REMOVED (LF)	% REMOVED	MAX PERMITTED	MEET CODE?
FIRST FLOOR	160.14	147.97	92%		
SECOND FLOOR	145.39	102.1	70%		
TOTAL	305.53	250.07	82%	75%	NO**

THIS PROJECT DOES NOT MEET SAN FRANCISCO PLANNING CODE SEC.311(b)(2)

** THIS PROJECT REQUIRES NOTIFICATION AND REVIEW PER SEC.311. FOR THE FIRST FLOOR ADDITION AND FOR INTERIOR WALL DEMOLITION PERCENTAGE.

LEGEND

AREA REMOVED

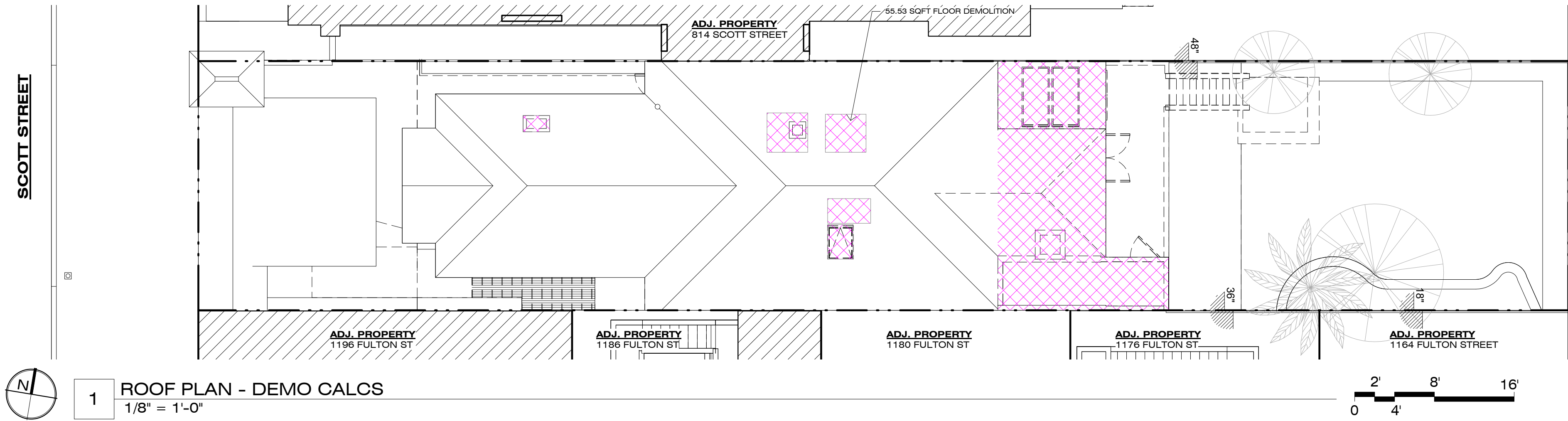
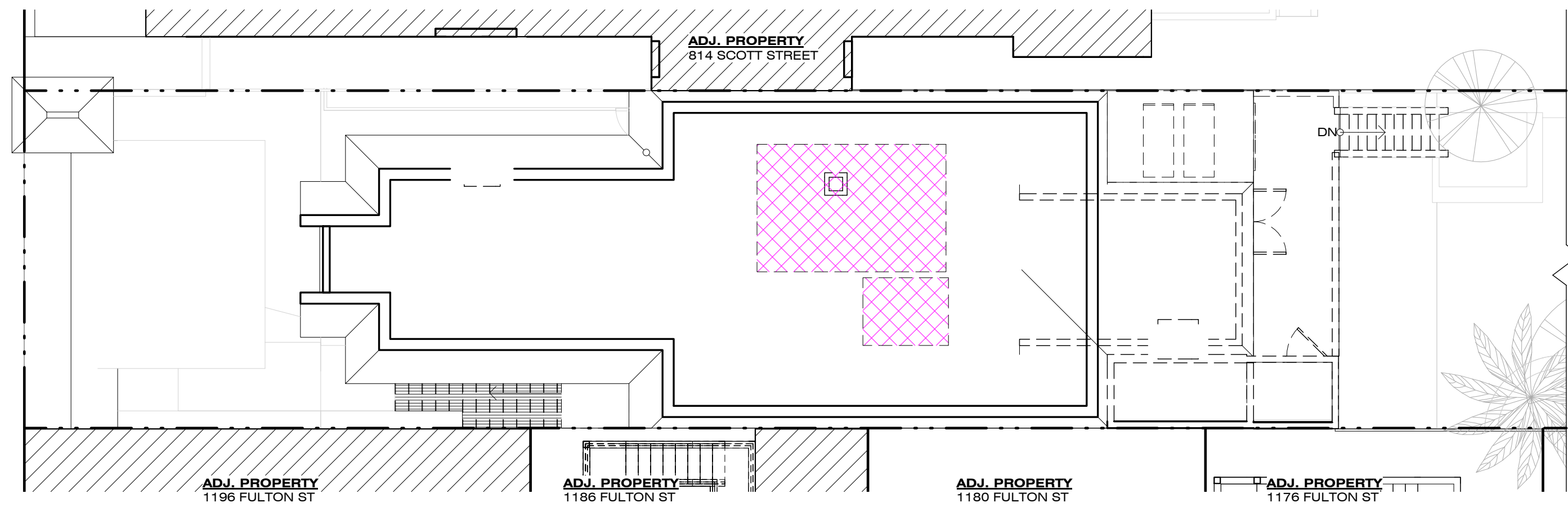
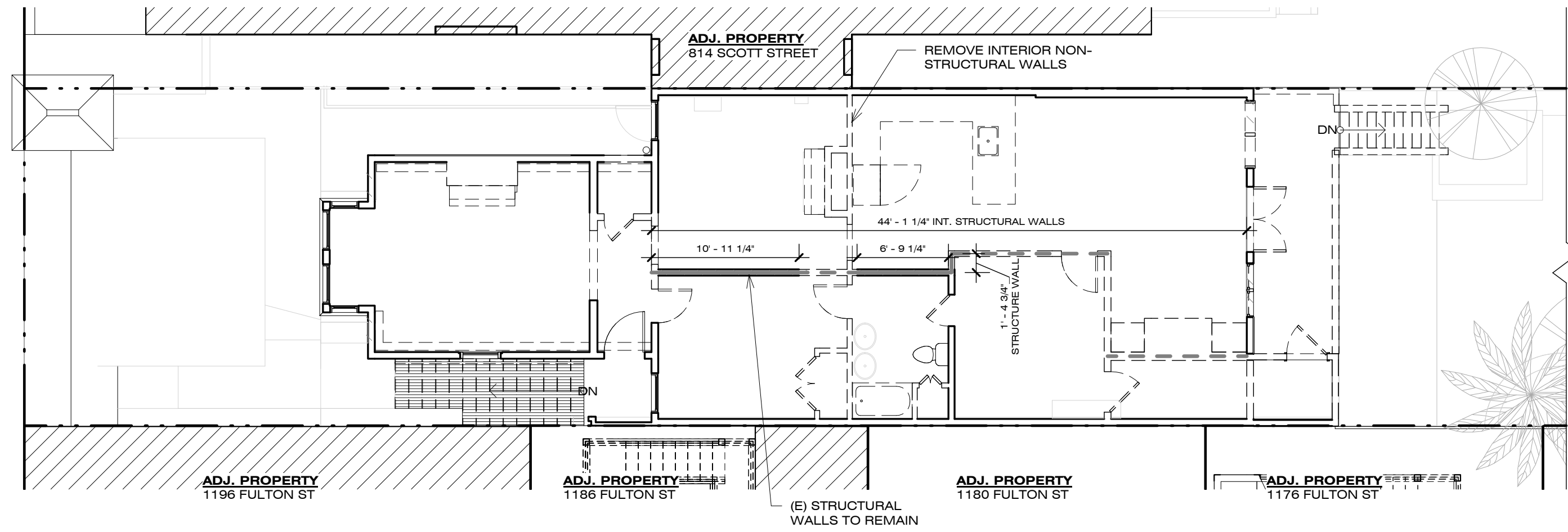
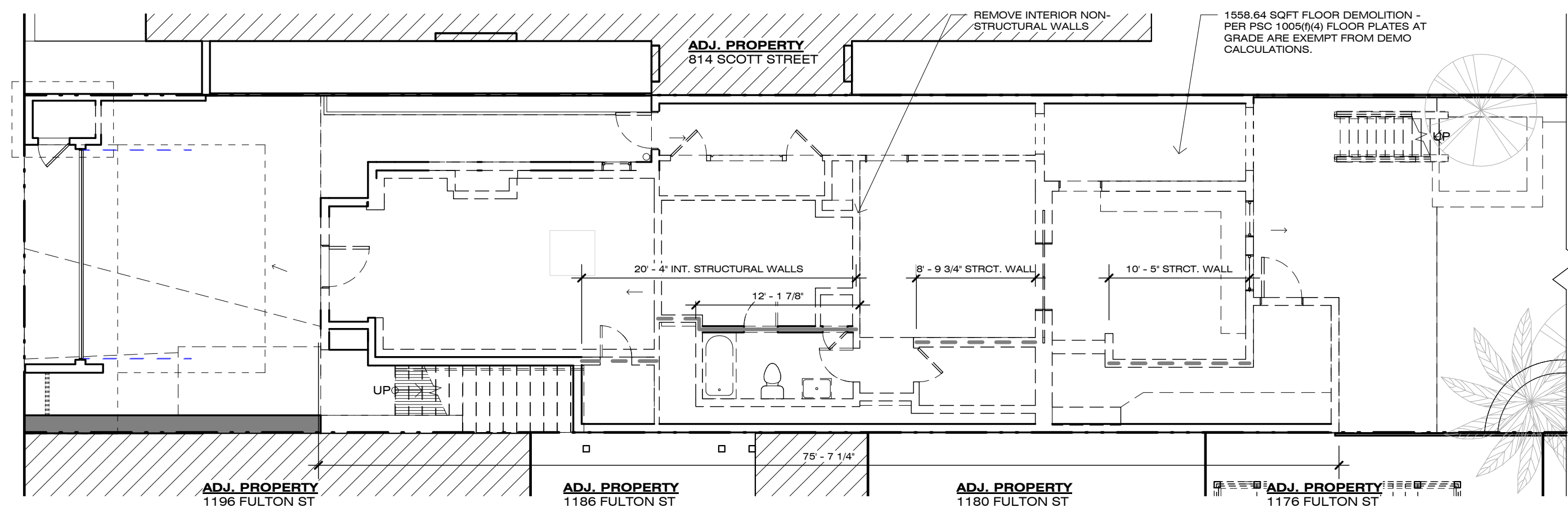
AREA OF VERTICAL ELEMENTS

WALLS TO REMAIN

WALLS DEMOLISHED

INT. STRUCTURAL WALLS TO REMAIN

DEMOLISHED INT. STRUCTURAL WALLS



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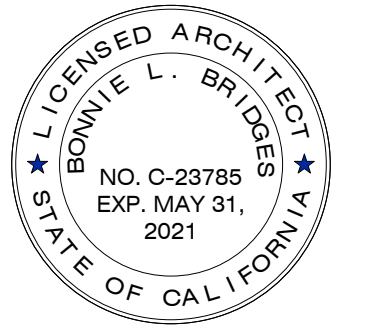
ISSUE
2020-12-07 HPC / ZA
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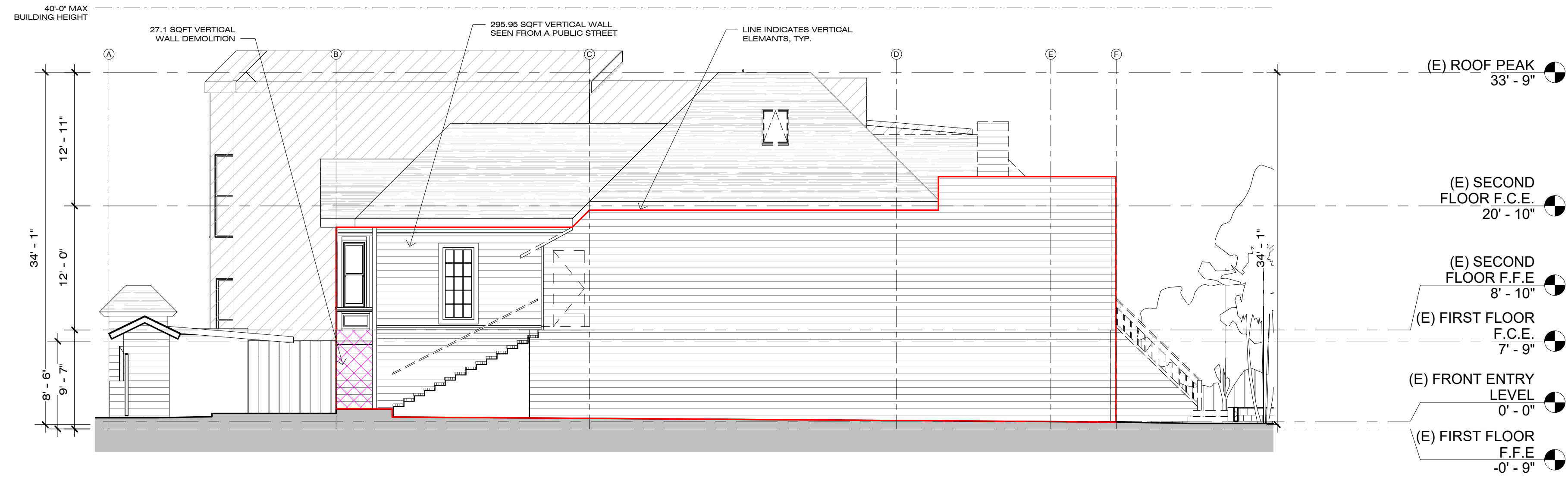
PROJECT SCOTT FULTON
812 SCOTT STREET
SAN FRANCISCO, CA 94117
NUMBER 201833
CONTACT LeAnna Burgin
OWNER Scott Fulton, LLC
APN 1260/038A

DEMOLITION
CALCULATIONS

Ao.2

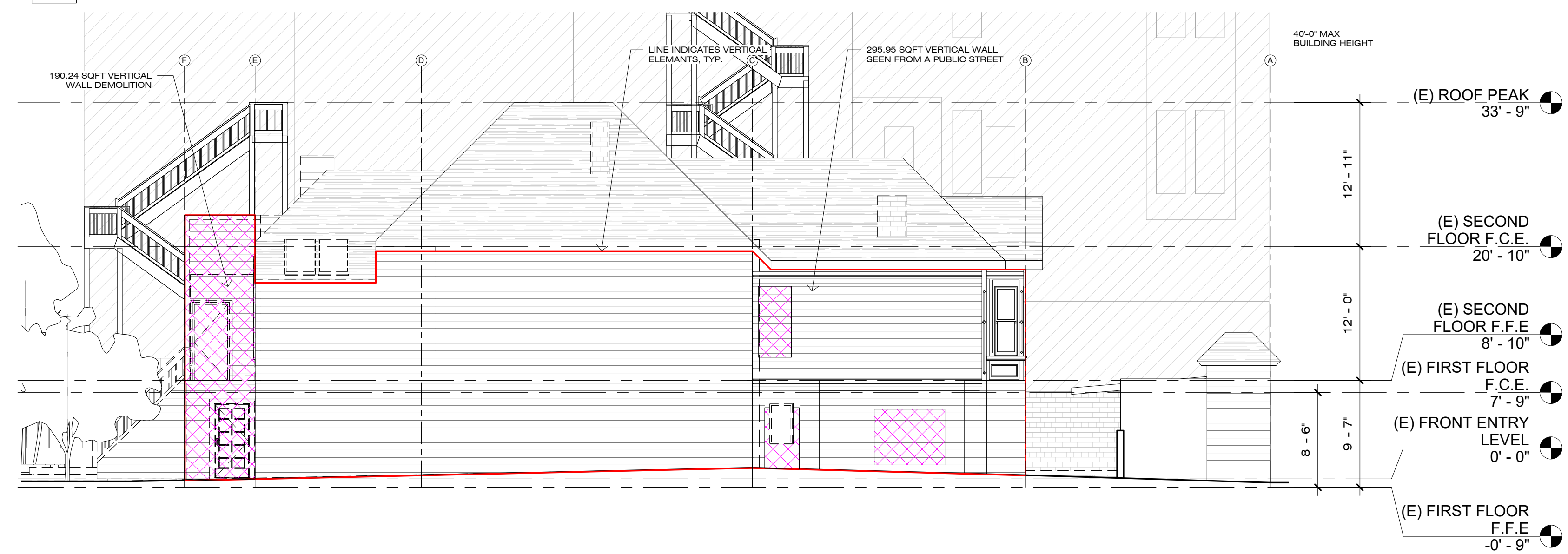


B. Bridges



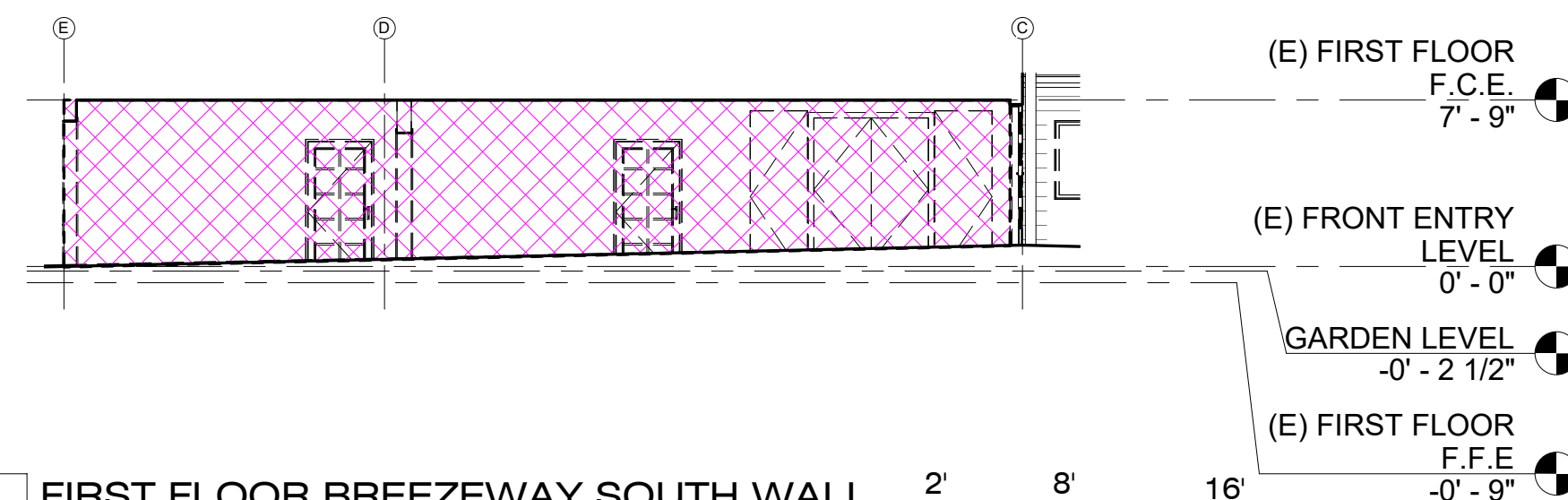
2 EXISTING SOUTH ELEVATION
1/8" = 1'-0"

2' 8' 16'
0 4'



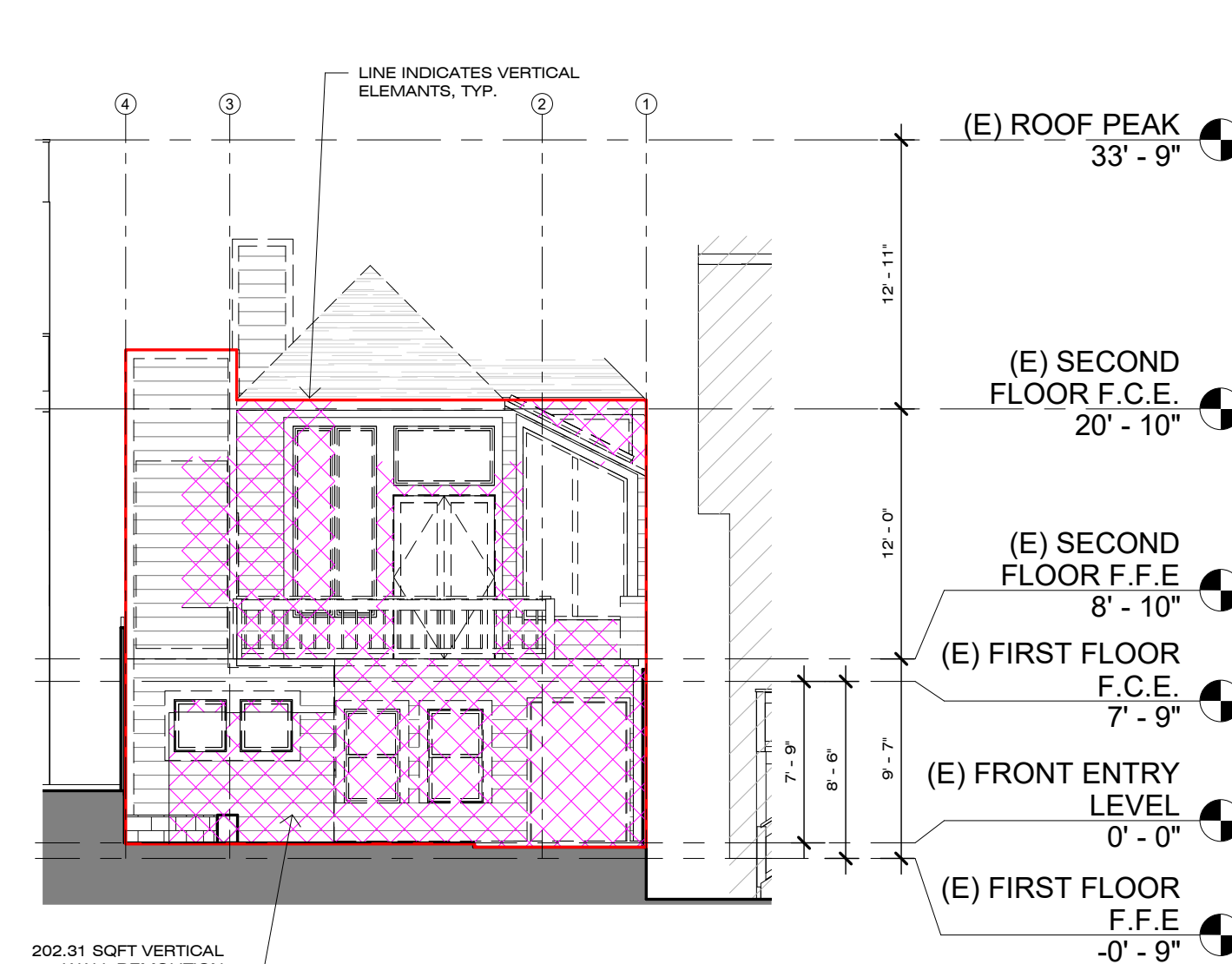
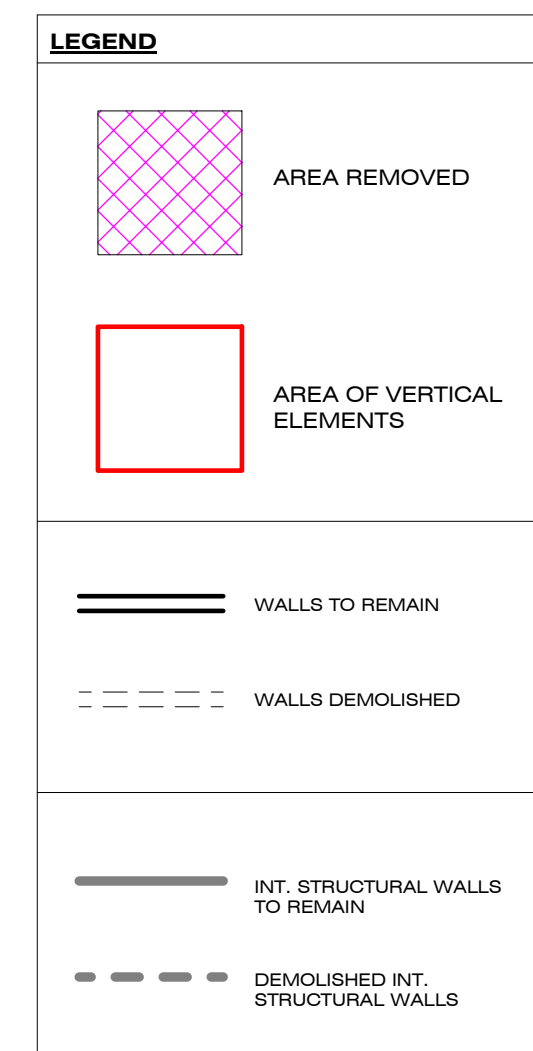
1 EXISTING NORTH ELEVATION
1/8" = 1'-0"

2' 8' 16'
0 4'



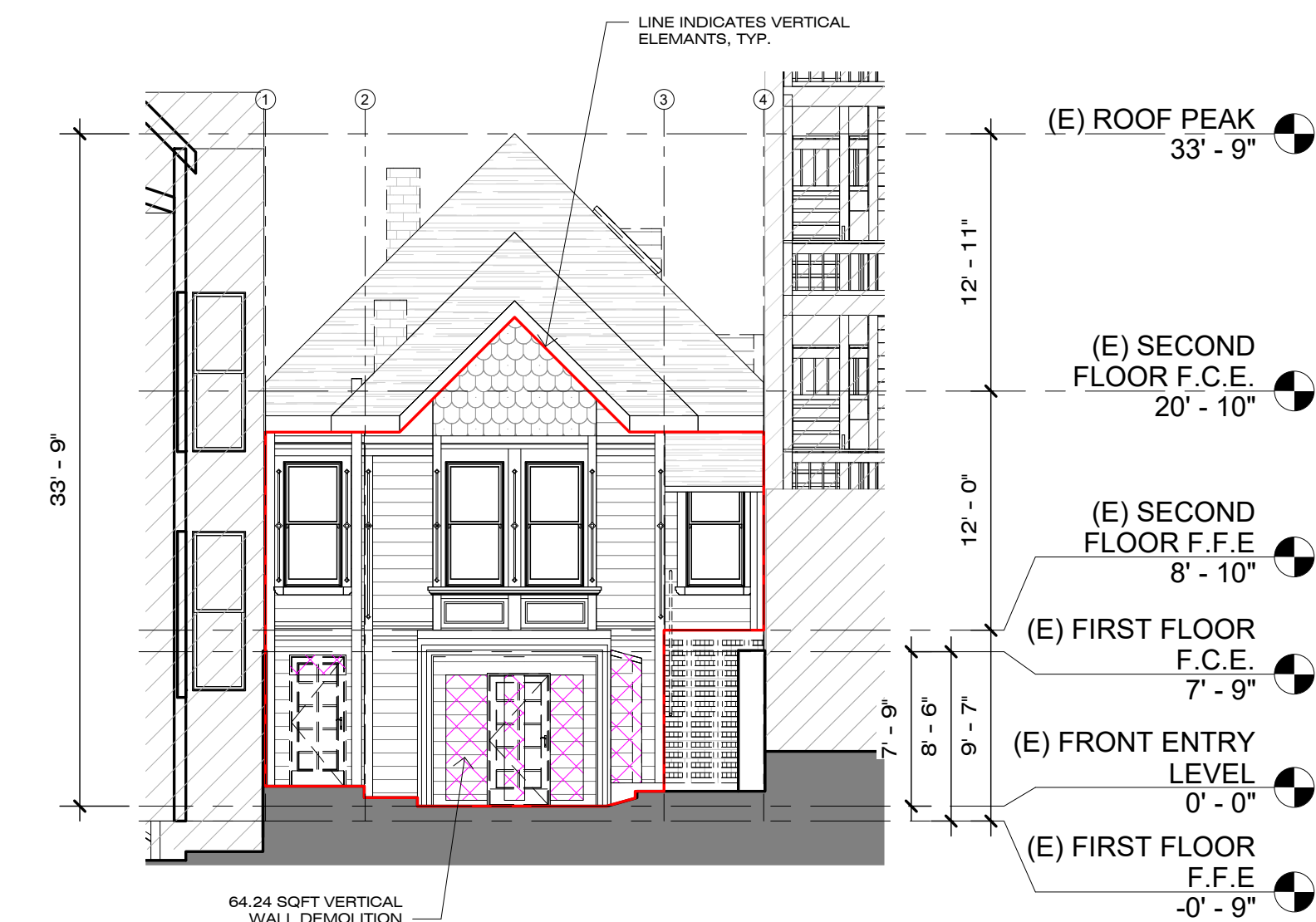
6 FIRST FLOOR BREEZEWAY SOUTH WALL
1/8" = 1'-0"

2' 8' 16'
0 4'



4 EXISTING EAST ELEVATION
1/8" = 1'-0"

2' 8' 16'
0 4'



3 EXISTING WEST ELEVATION
1/8" = 1'-0"

2' 8' 16'
0 4'

ISSUE

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OWNER Scott Fulton, LLC

APN 1260/038A

DEMOLITION
CALCULATIONS

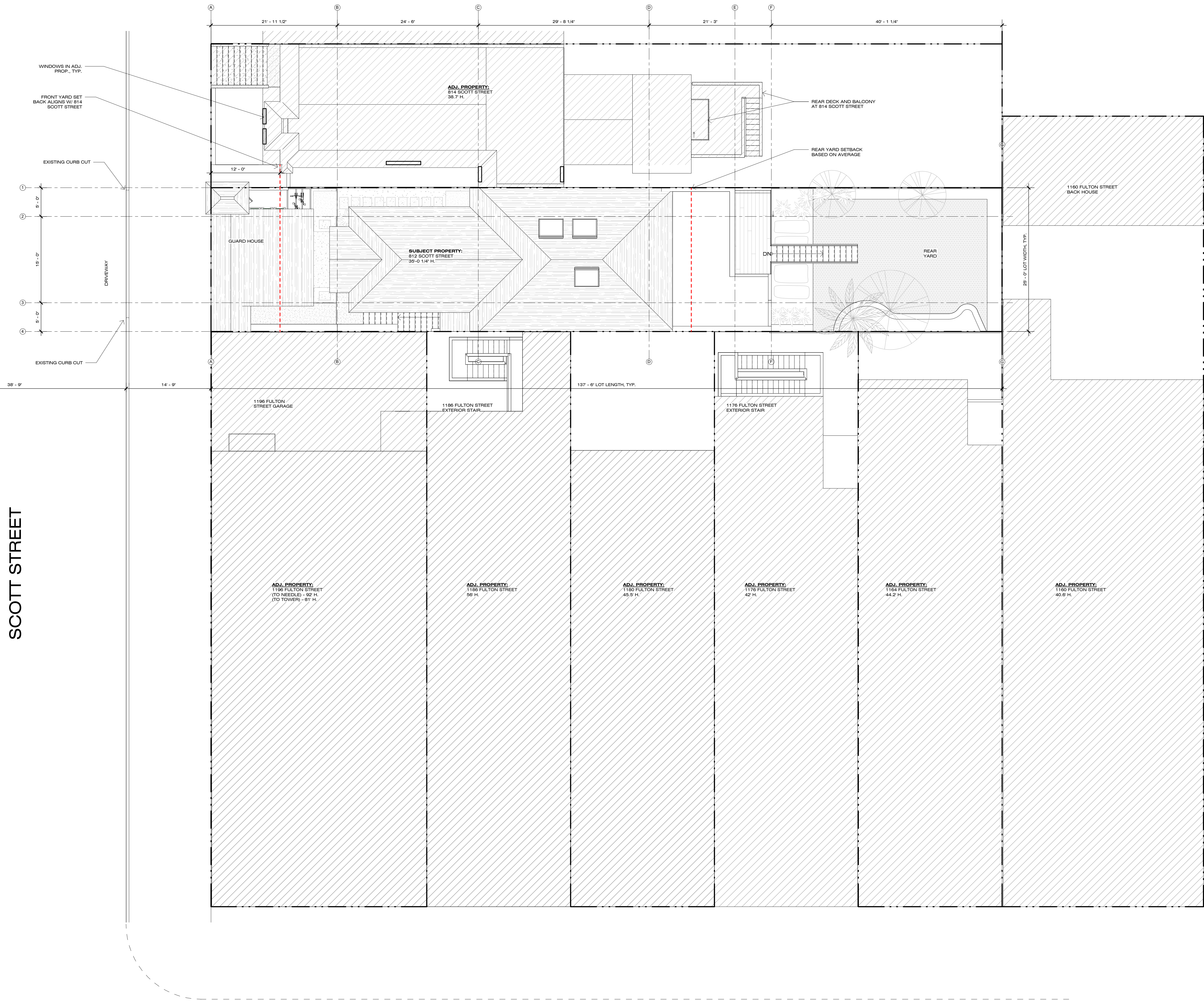
Ao.3

SEE A0.2 FOR DEMO CALCS



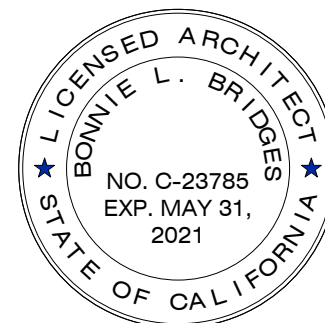
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SCOTT STREET



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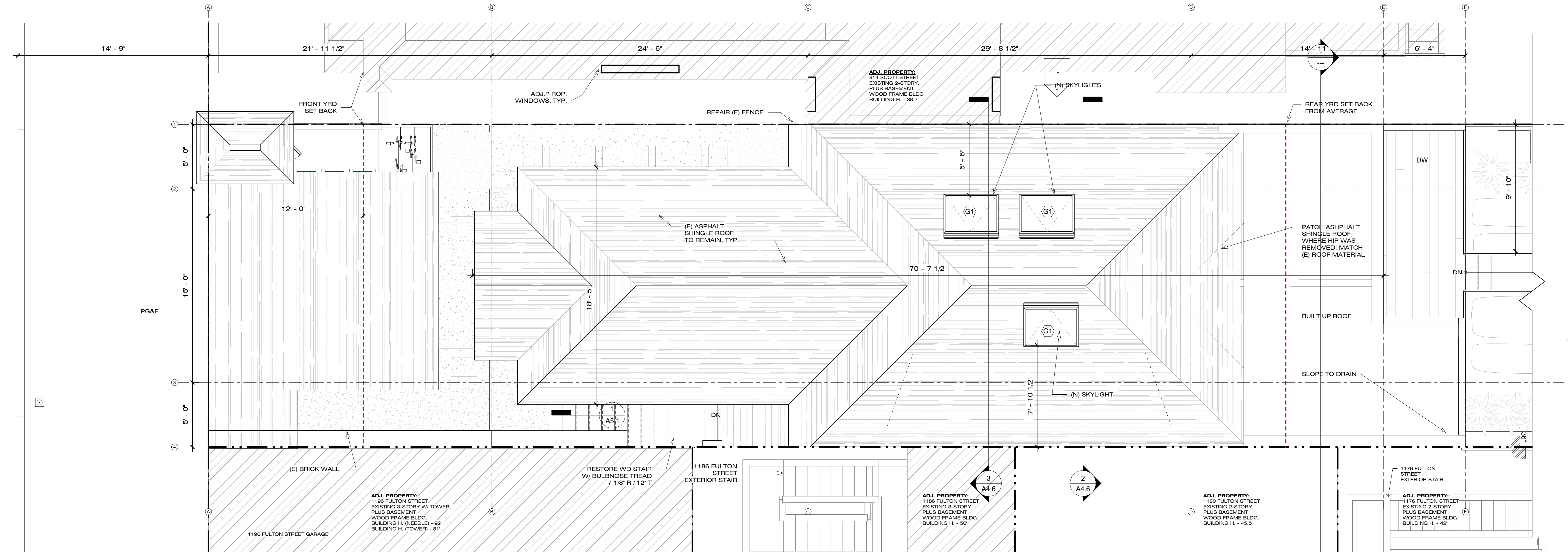
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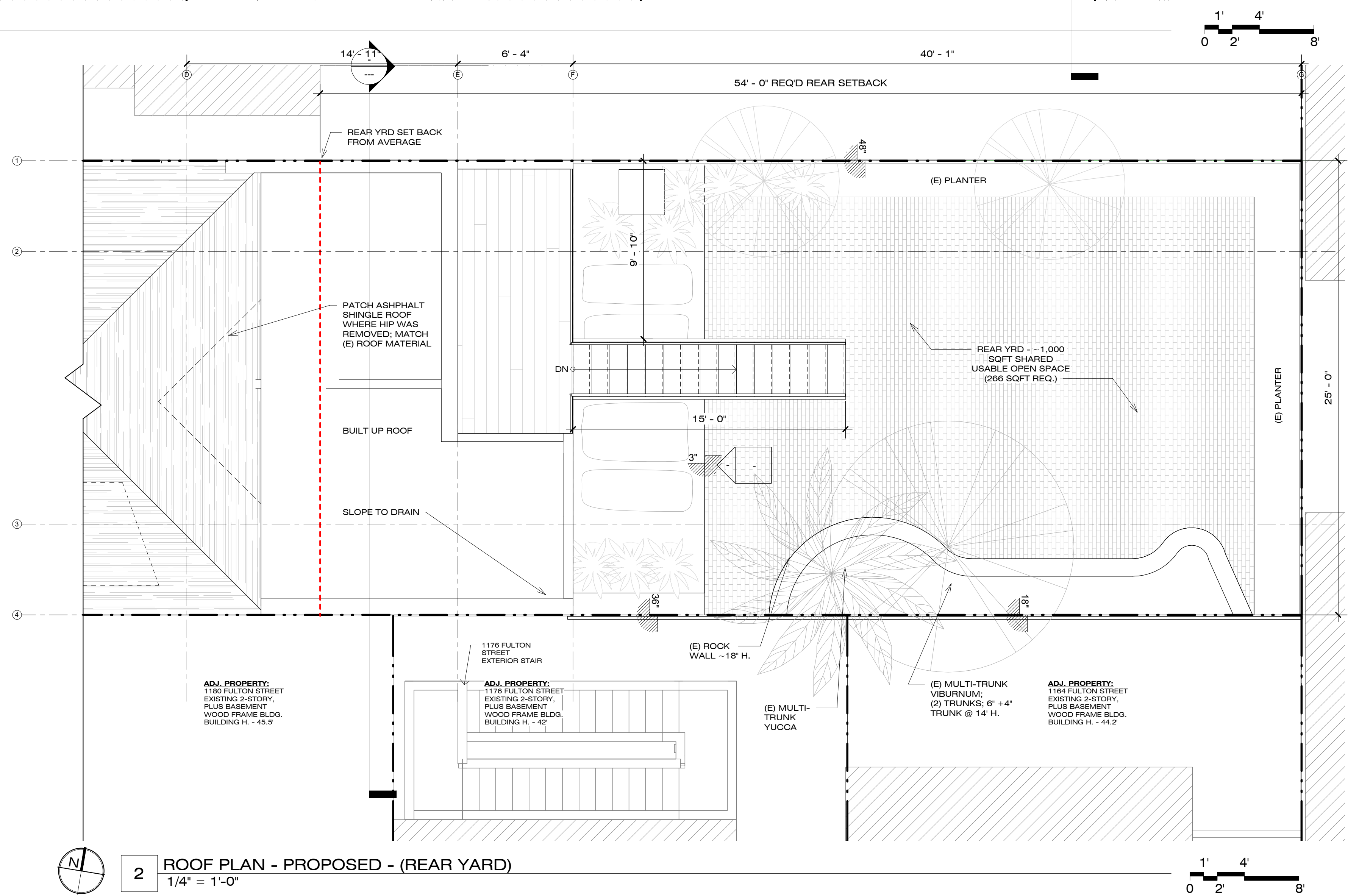
SITE PLAN - EXISTING +
PROPOSED

A1.0.1





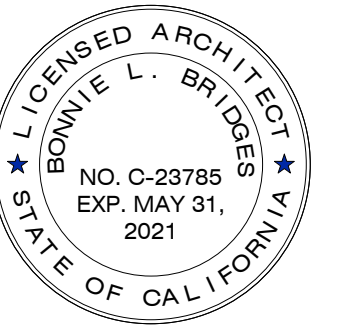
1 ROOF PLAN - PROPOSED
1/4" = 1'-0"



2 ROOF PLAN - PROPOSED - (REAR YARD)
1/4" = 1'-0"

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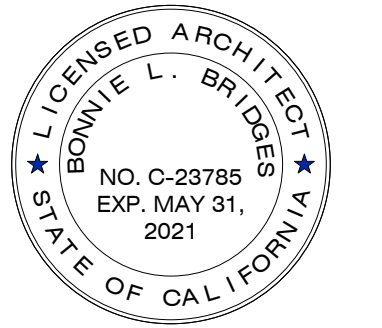
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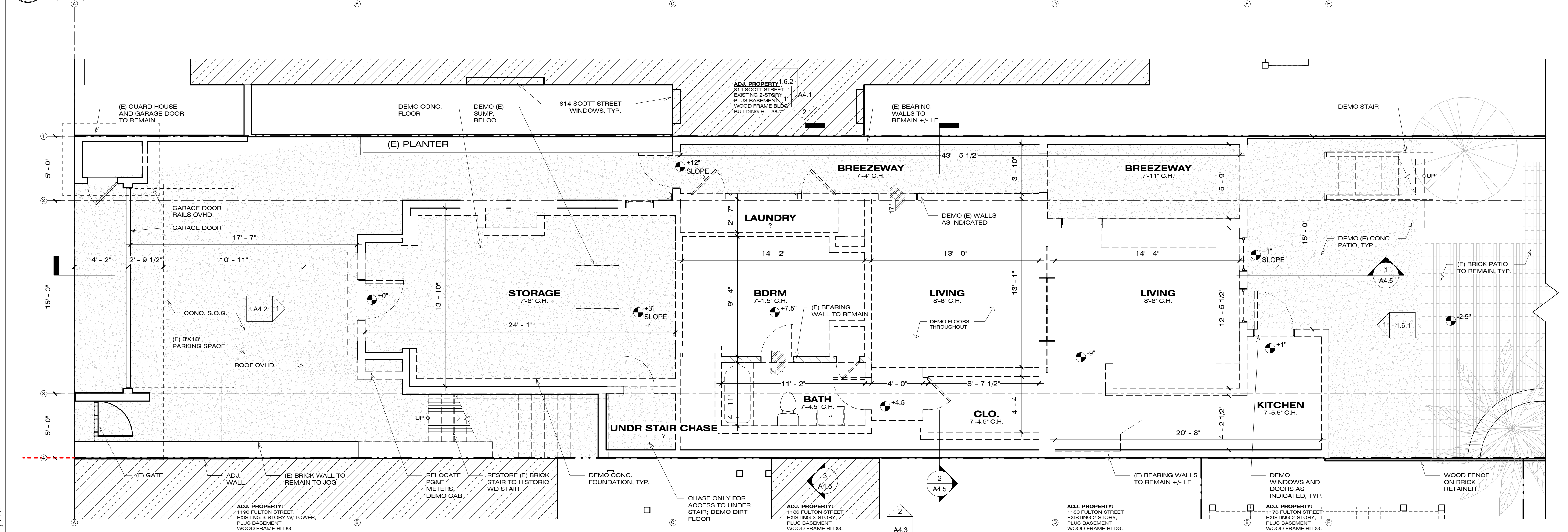
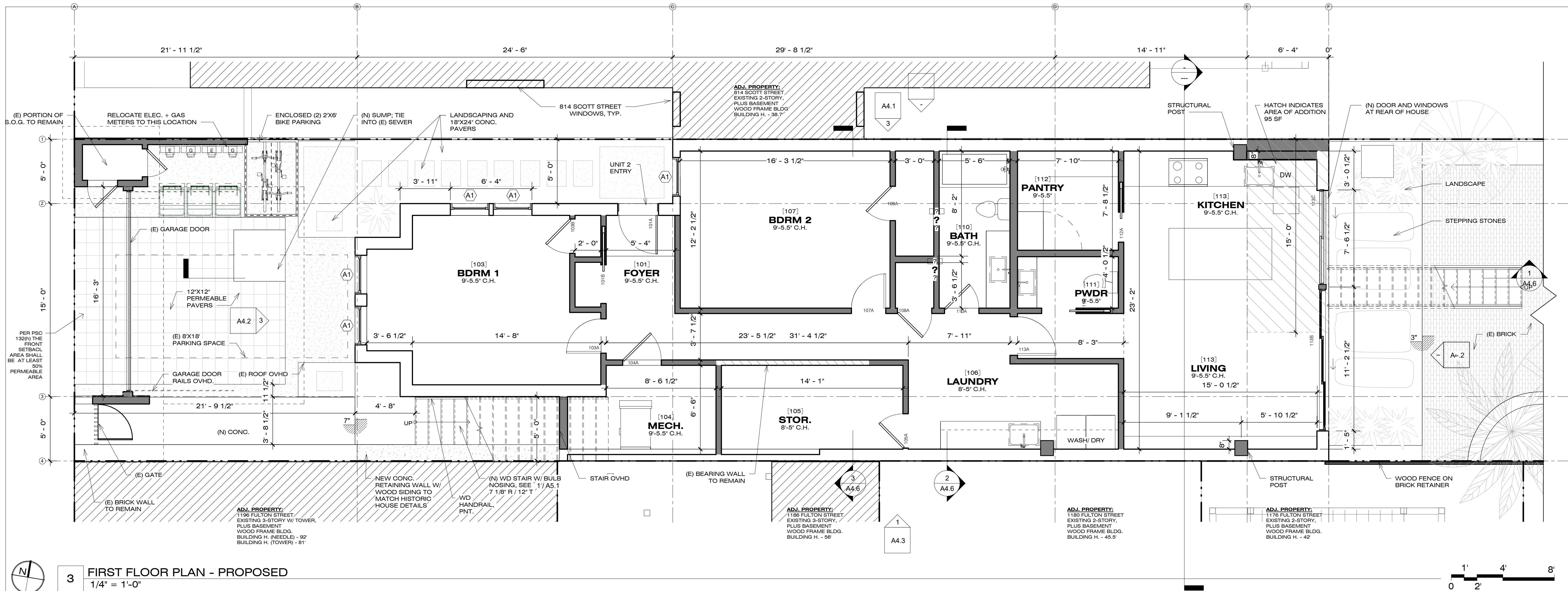
ROOF PLAN - PROPOSED

A1.2



BBA

ADJ. PROPERTY:
1164 FULTON STREET
EXISTING 2-STORY
PLUS BASEMENT
WOOD FRAME BLDG.
BUILDING H. - 44.2



ISSUE	
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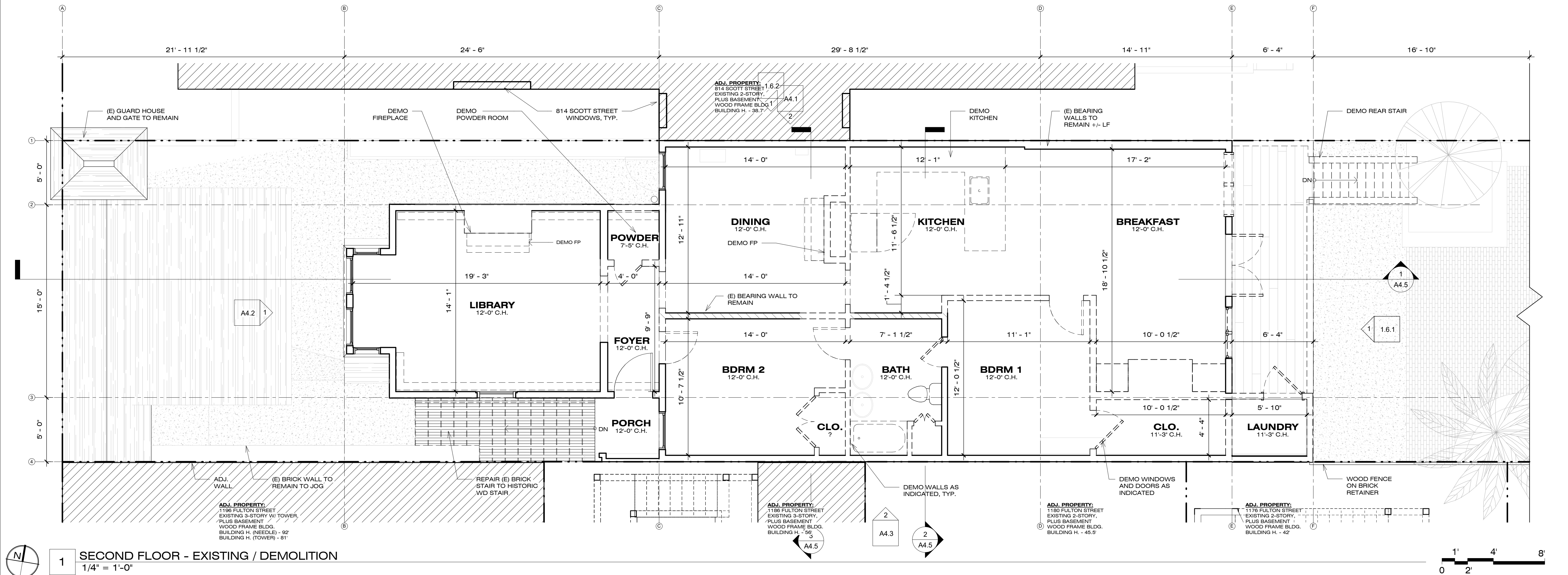
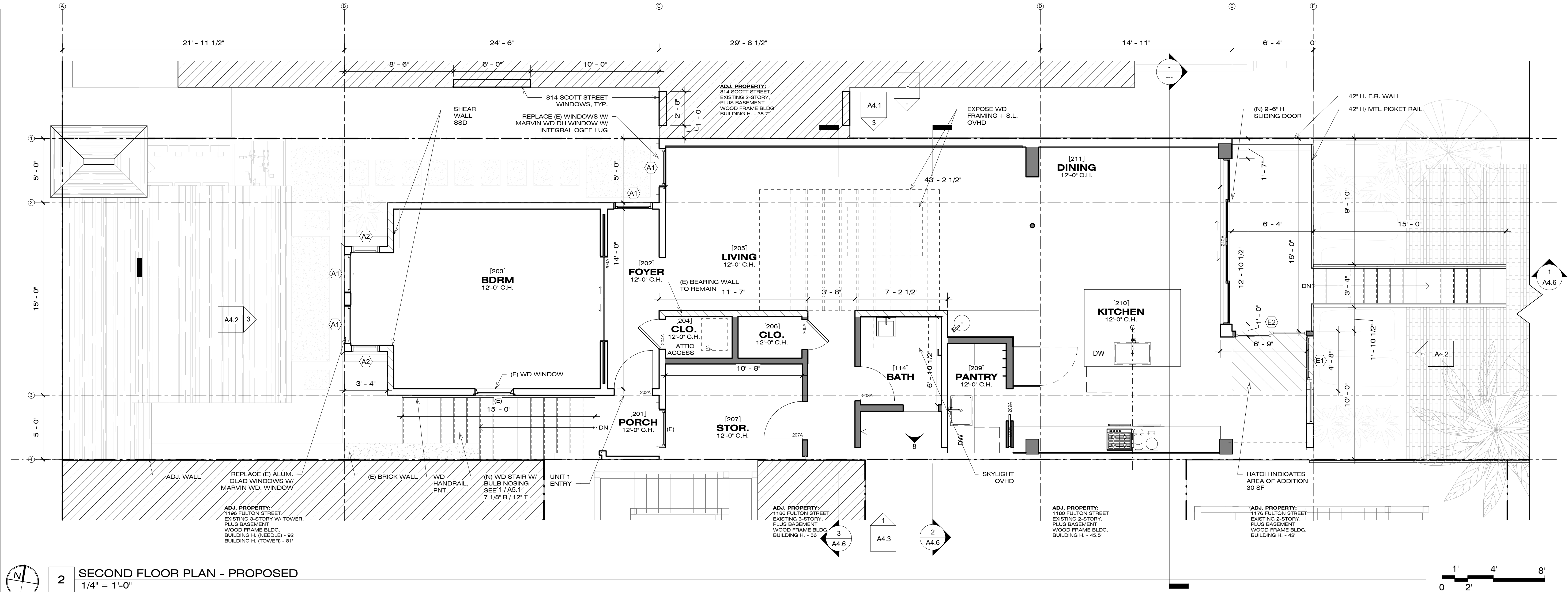
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FIRST FLOOR - EXISTING / PROPOSED

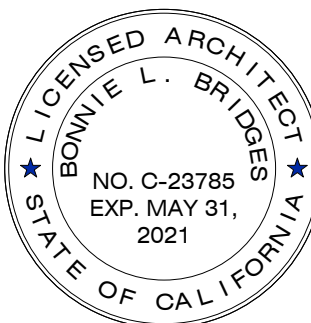
A2.1

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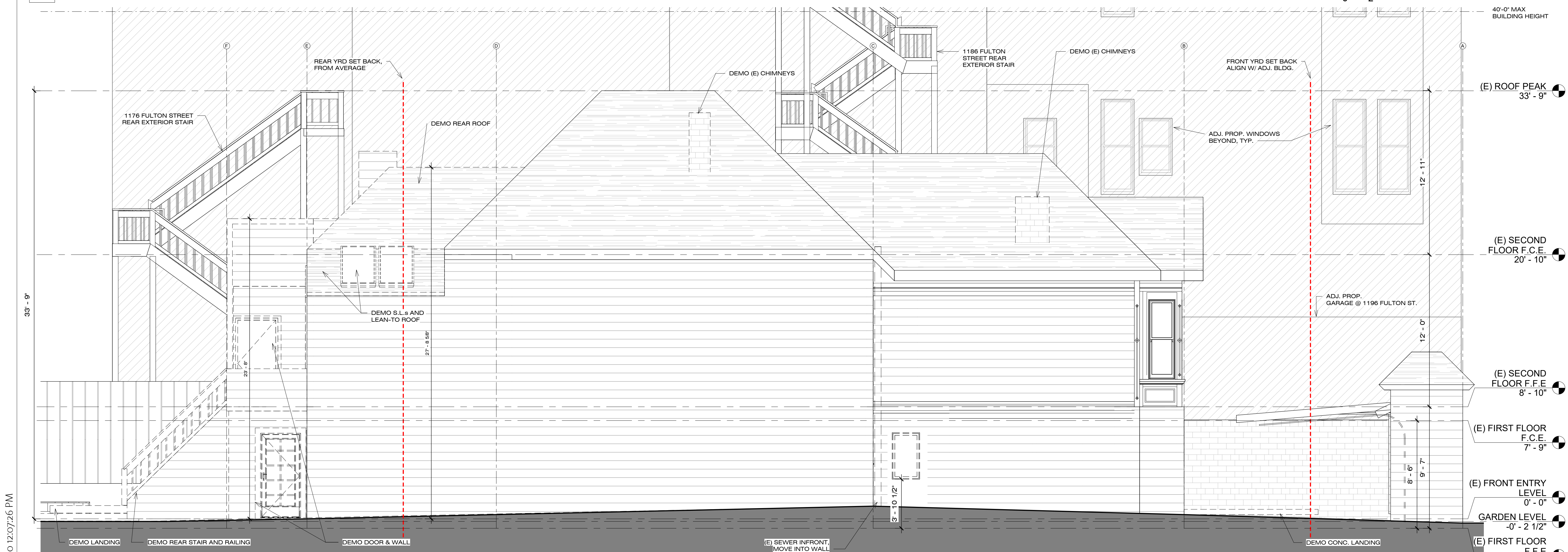
PROJECT SCOTT FULTON
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SECOND FLOOR - EXISTING / PROPOSED

A2.2



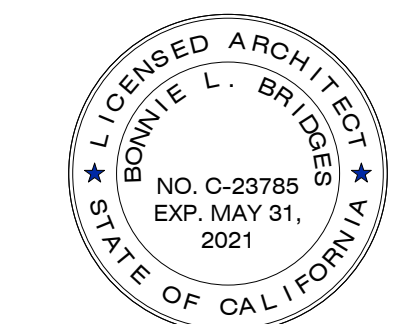
3 NORTH ELEVATION - PROPOSED
1/4" = 1'-0"



2 NORTH ELEVATION - EXISTING / DEMOLITION
1/4" = 1'-0"

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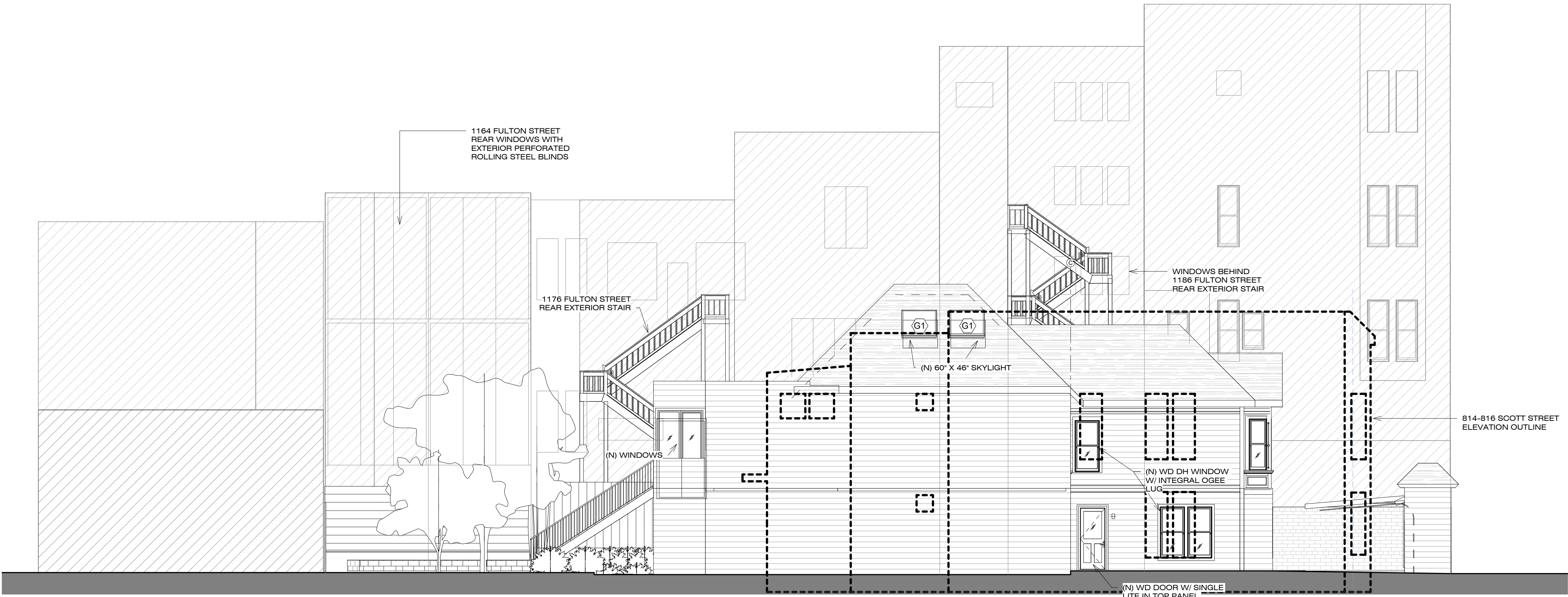
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EXTERIOR ELEVATIONS - EXISTING / PROPOSED

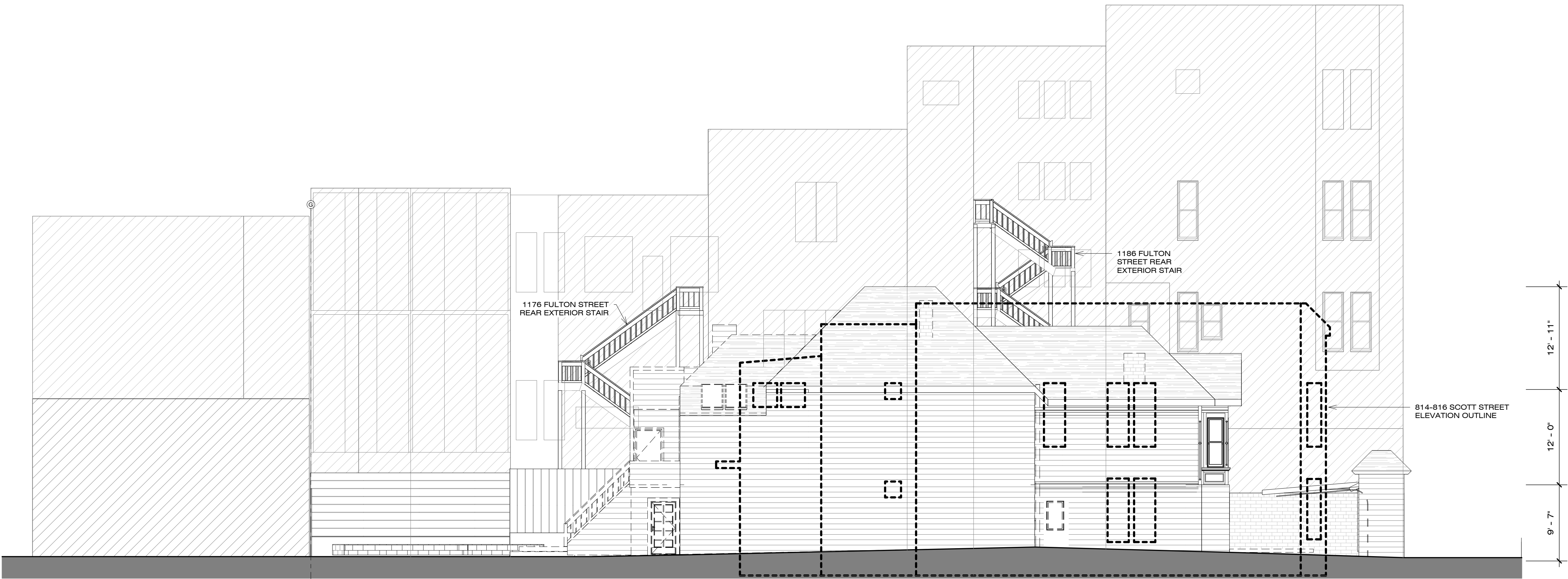
A4.1



B. Bridges



1 NORTH ELEVATION - PROPOSED WITH ADJACENT ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION - EXISTING / DEMOLITION WITH ADJACENT ELEVATION
1/8" = 1'-0"

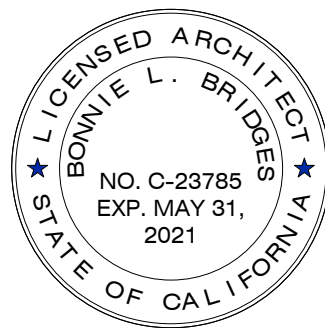
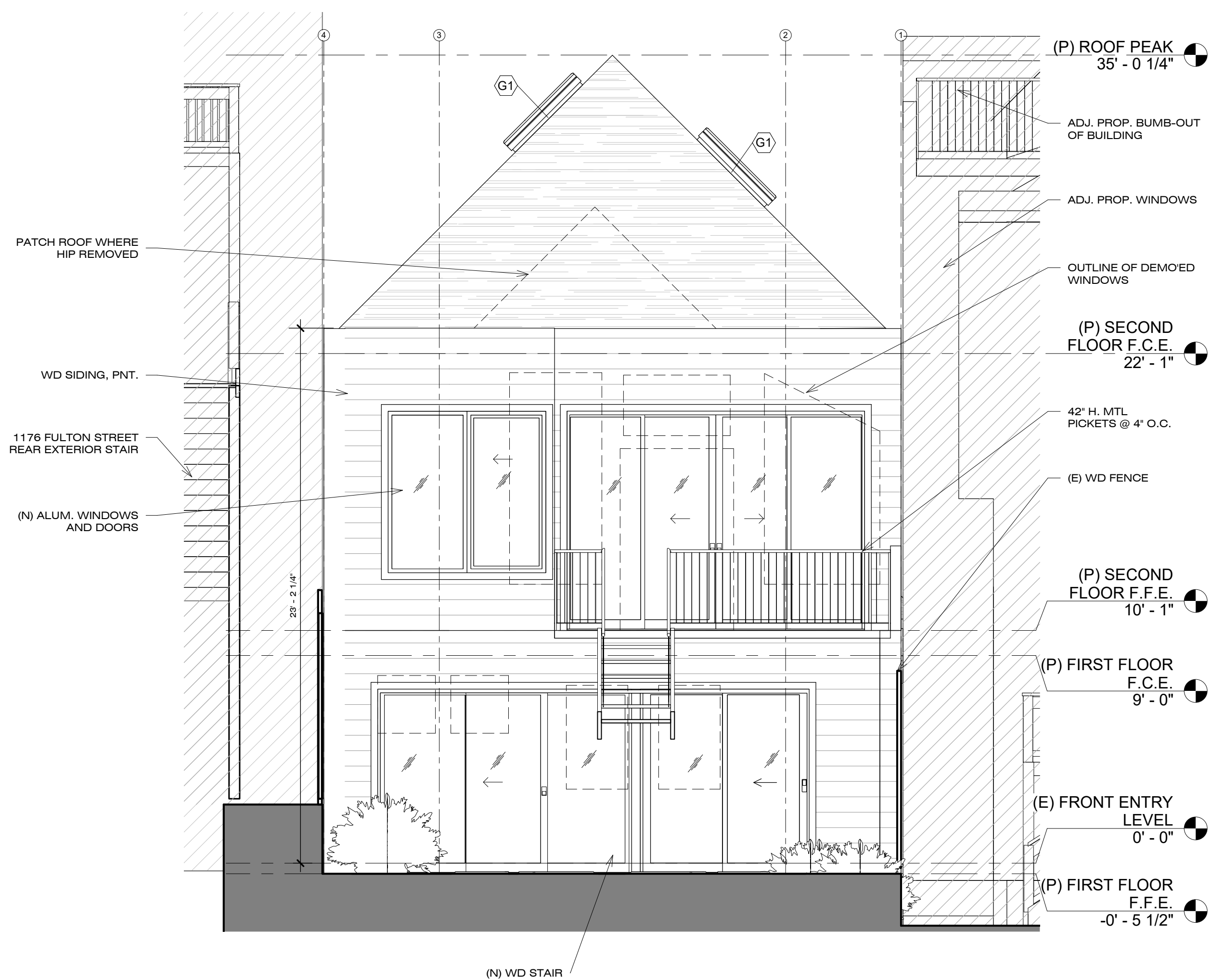
ISSUE	
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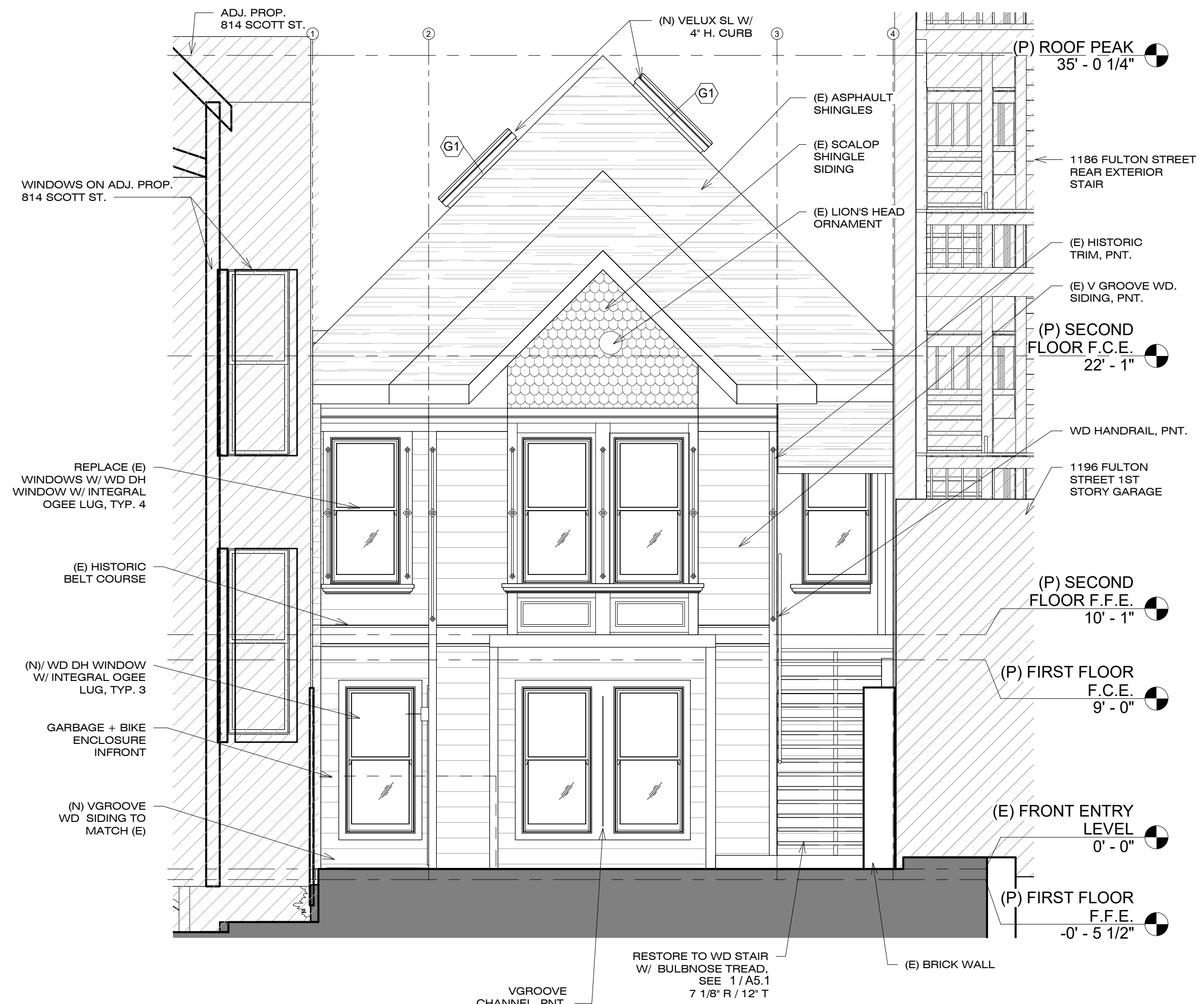
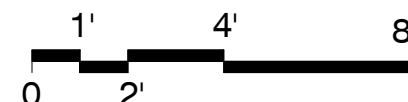
PROJECT	SCOTT FULTON 812 SCOTT STREET SAN FRANCISCO, CA 94117
NUMBER	201833
CONTACT	LeAnna Burgin
OWNER	Scott Fulton, LLC
APN	1260/038A

NORTH ELEVATION W/
ADJ. PROPERTY OUTLINE

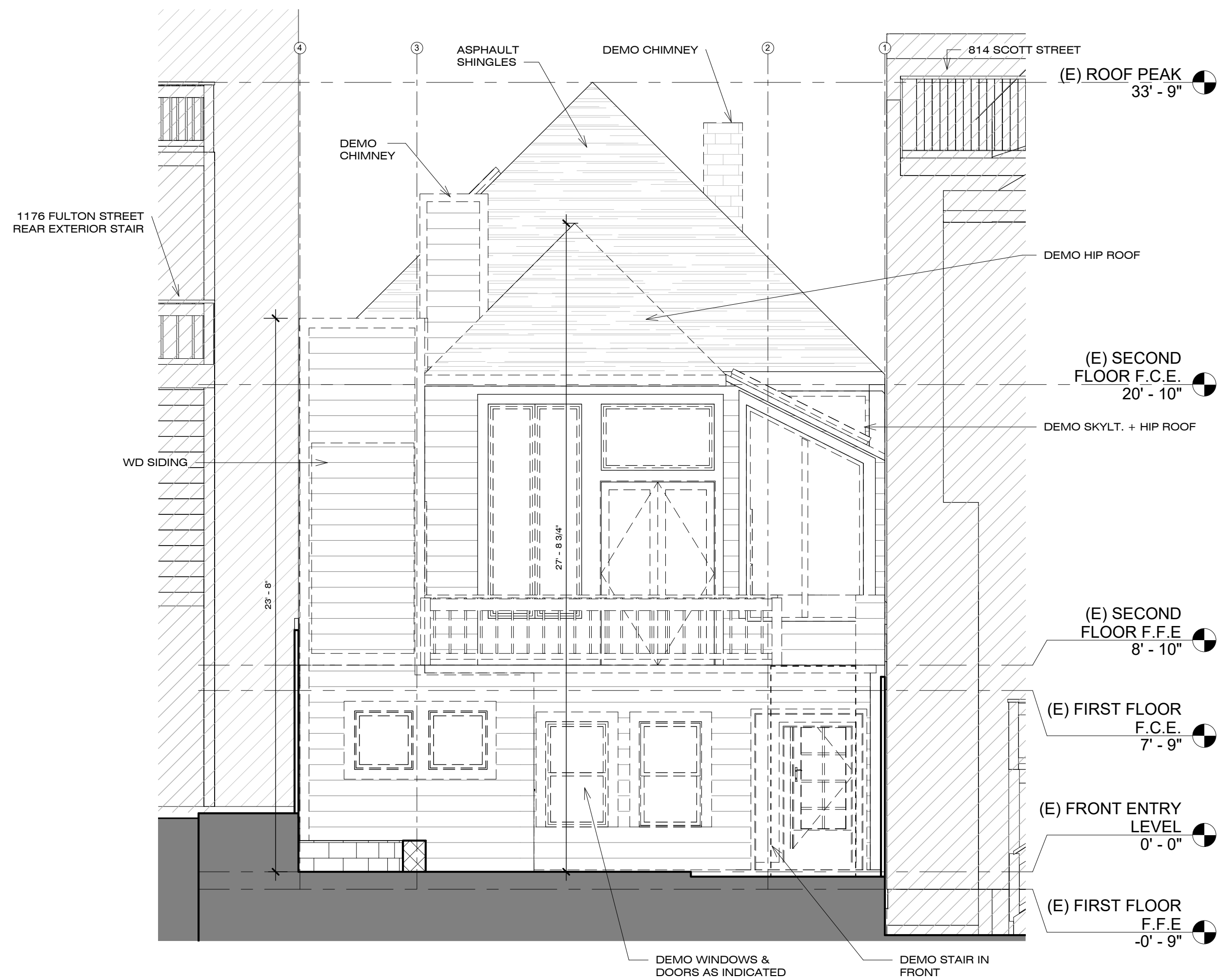
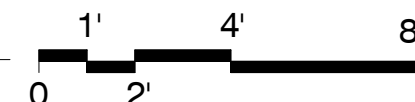
A4.1.1

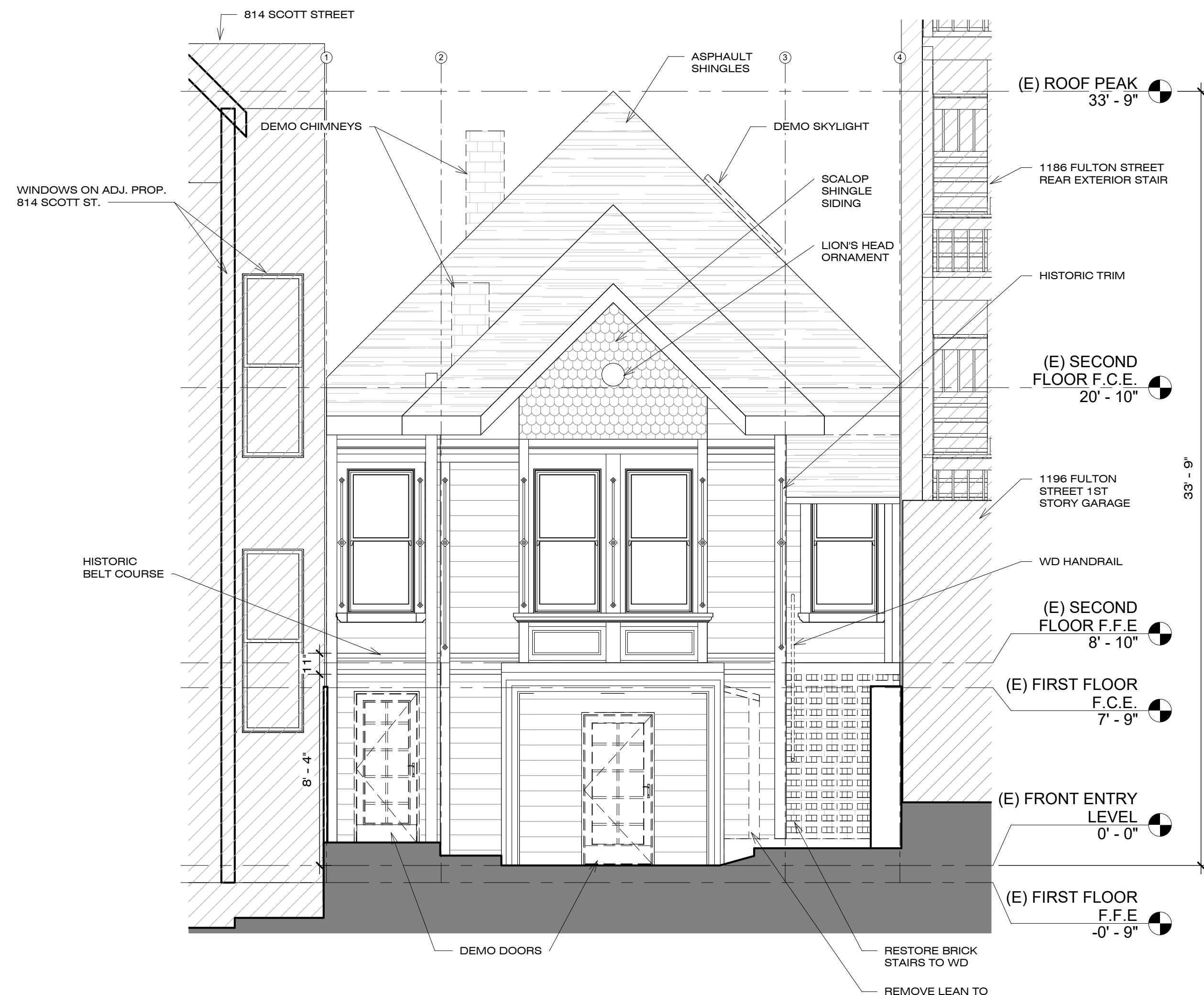
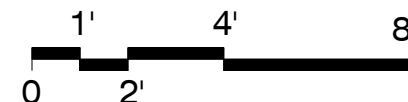
4 EAST ELEVATION - PROPOSED
1/4" = 1'-0"



3 WEST ELEVATION - PROPOSED
1/4" = 1'-0"



2 EAST ELEVATION - EXISTING / DEMOLITION
1/4" = 1'-0"



1 WEST ELEVATION - EXISTING / DEMOLITION
1/4" = 1'-0"



ISSUE

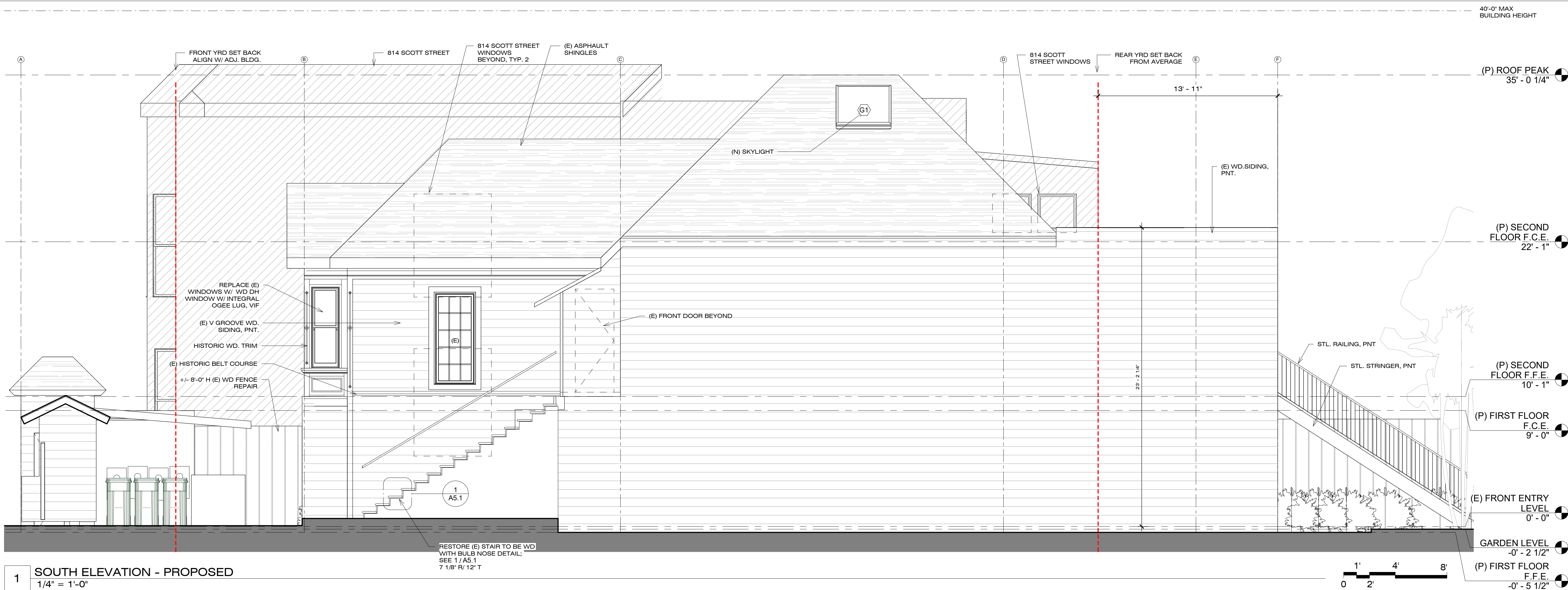
2020-12-07	HPC / ZA
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2020-06-02	PERMIT APPLICATION R3
2020-01-30	PERMIT APPLICATION R2
2019-12-20	PERMIT APPLICATION R1
2019-07-02	PERMIT APPLICATION
2019-05-01	PRE APP MEETING

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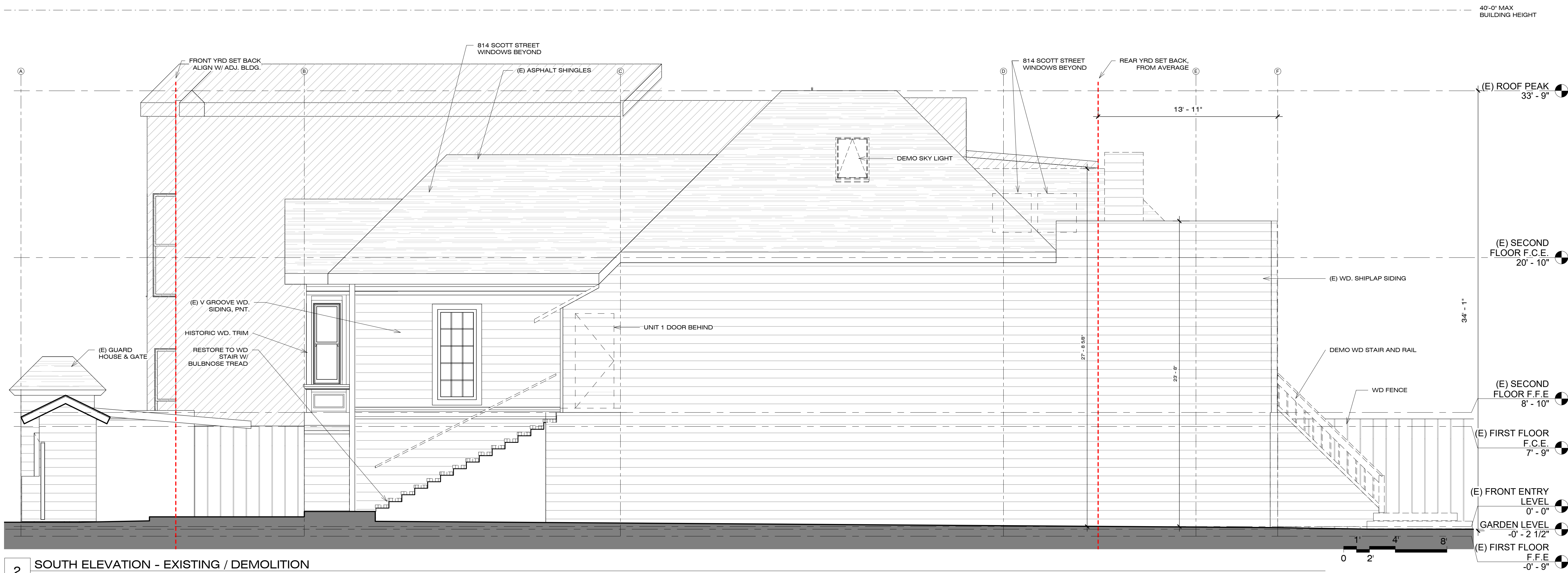
PROJECT **SCOTT FULTON**
812 SCOTT STREET
SAN FRANCISCO, CA 94117
NUMBER 201833
CONTACT LeAnna Burgin
OWNER Scott Fulton, LLC
APN 1260/038A

EXTERIOR ELEVATIONS -
EXISTING / PROPOSED

A4.2



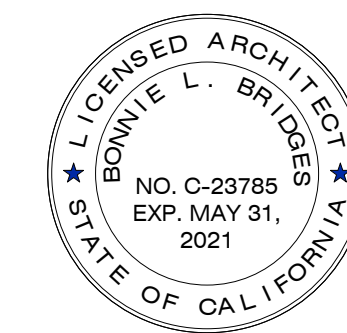
1 SOUTH ELEVATION - PROPOSED
1/4" = 1'-0"



2 SOUTH ELEVATION - EXISTING / DEMOLITION
1/4" = 1'-0"

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B. Bridges

ISSUE
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2019-12-20 PERMIT APPLICATION R1
2019-07-02 PERMIT APPLICATION
2019-05-01 PRE APP MEETING

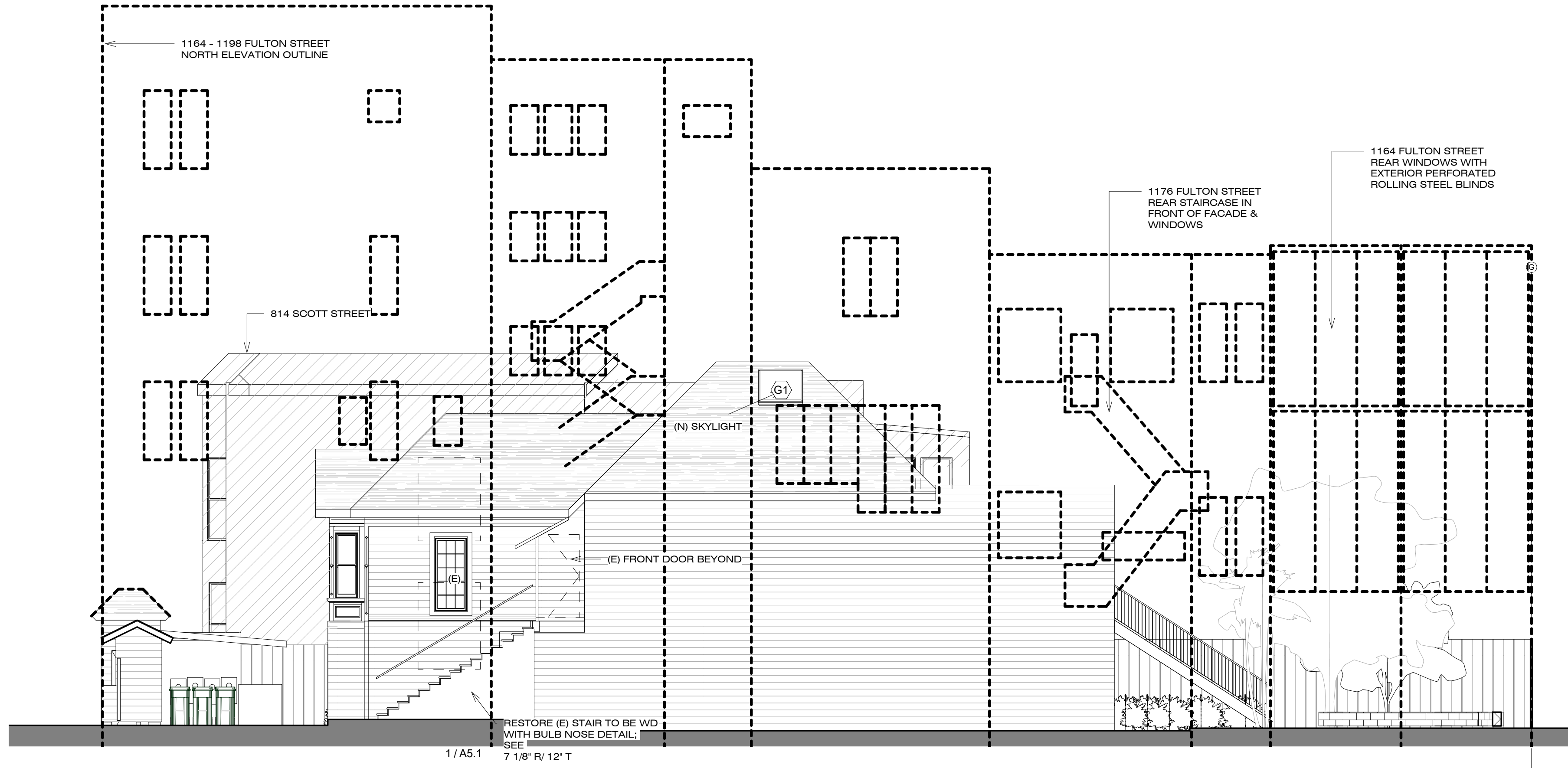
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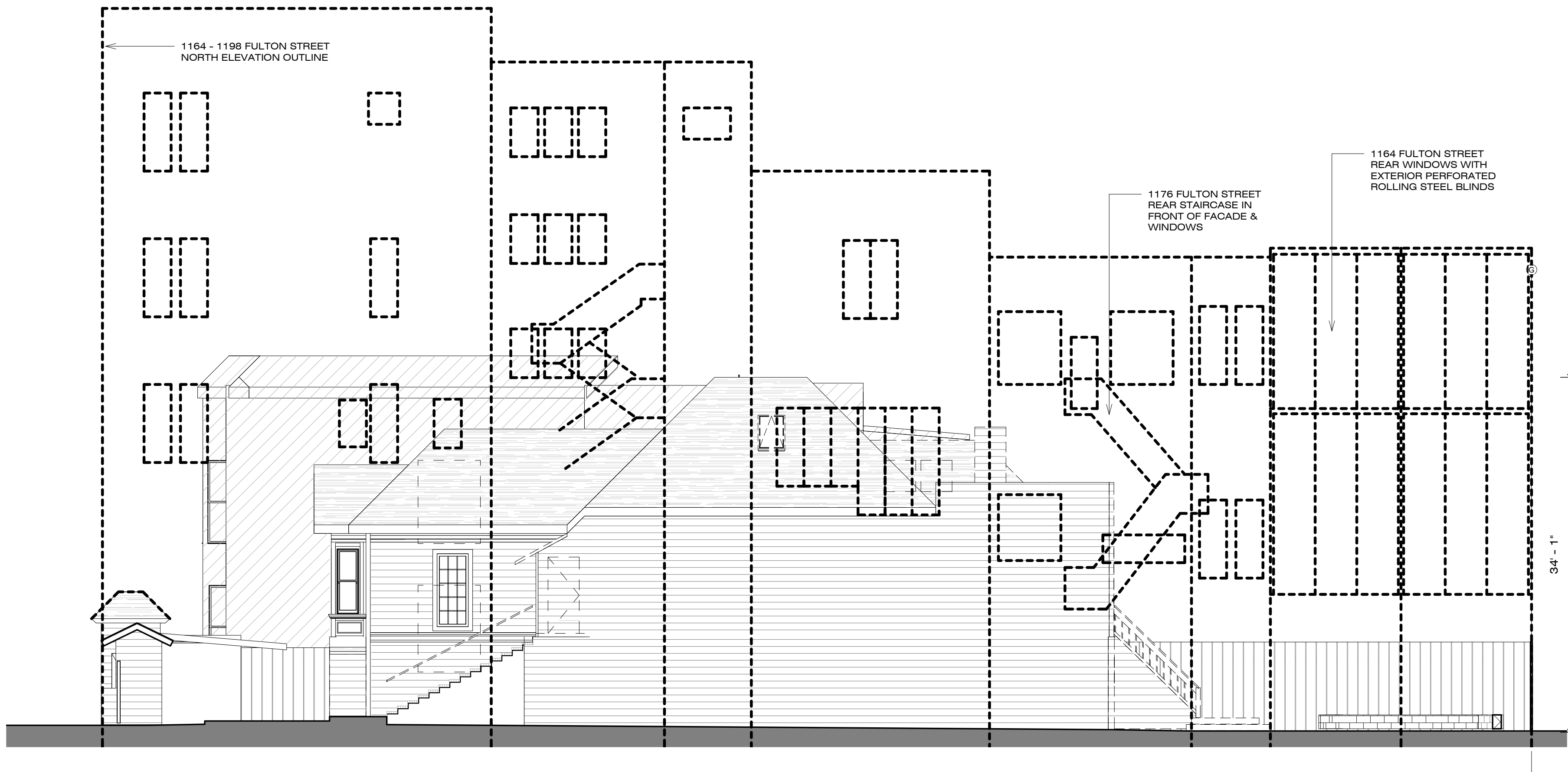
EXTERIOR ELEVATIONS -
EXISTING / PROPOSED

A4.3

12/7/2020 12:07:46 PM



1 SOUTH ELEVATION - PROPOSED WITH ADJACENT ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION - EXISTING / DEMOLITION
1/8" = 1'-0"

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2019-07-02	PERMIT APPLICATION	
2019-05-01	PRE APP MEETING	

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SOUTH ELEVATION W/ ADJ.
PROPERTY OUTLINE

A4.3.1



2 WEST ELEVATION - PROPOSED ENTRY
1/4" = 1'-0"

1' 4' 8'
0 2'

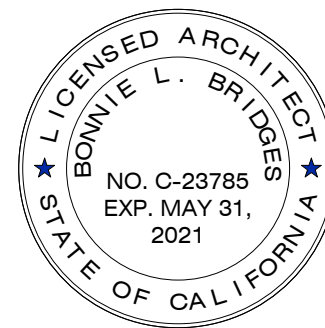


1 WEST ELEVATION - EXISTING ENTRY
1/4" = 1'-0"

1' 4' 8'
0 2'

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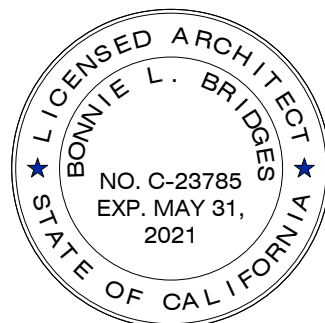
ISSUE
2020-12-07 HPC / ZA
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2019-05-01 PRE APP MEETING

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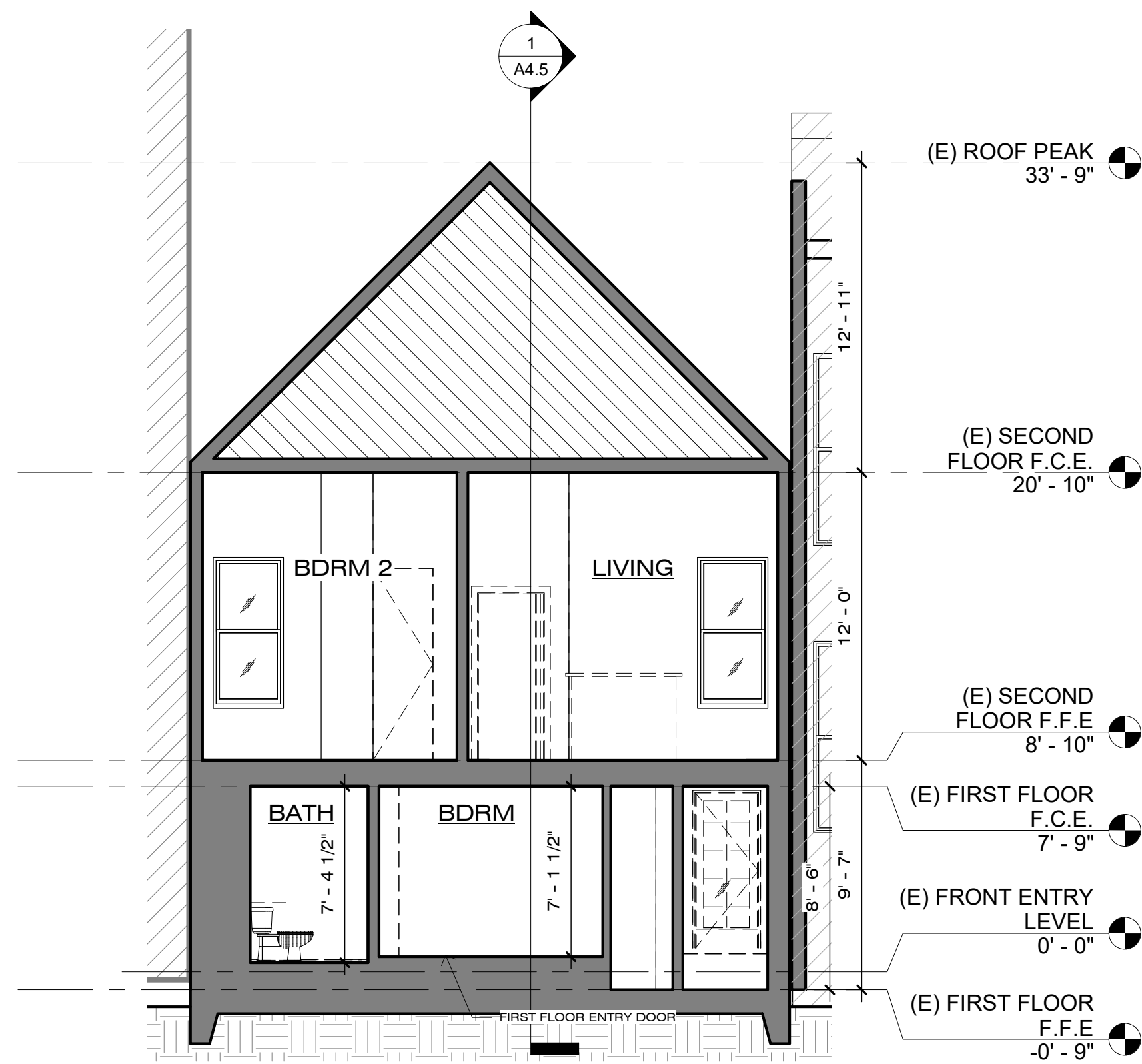
PROJECT SCOTT FULTON
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APN 1260/038A

EXTERIOR ELEVATIONS -
EXISTING / PROPOSED
ENTRY

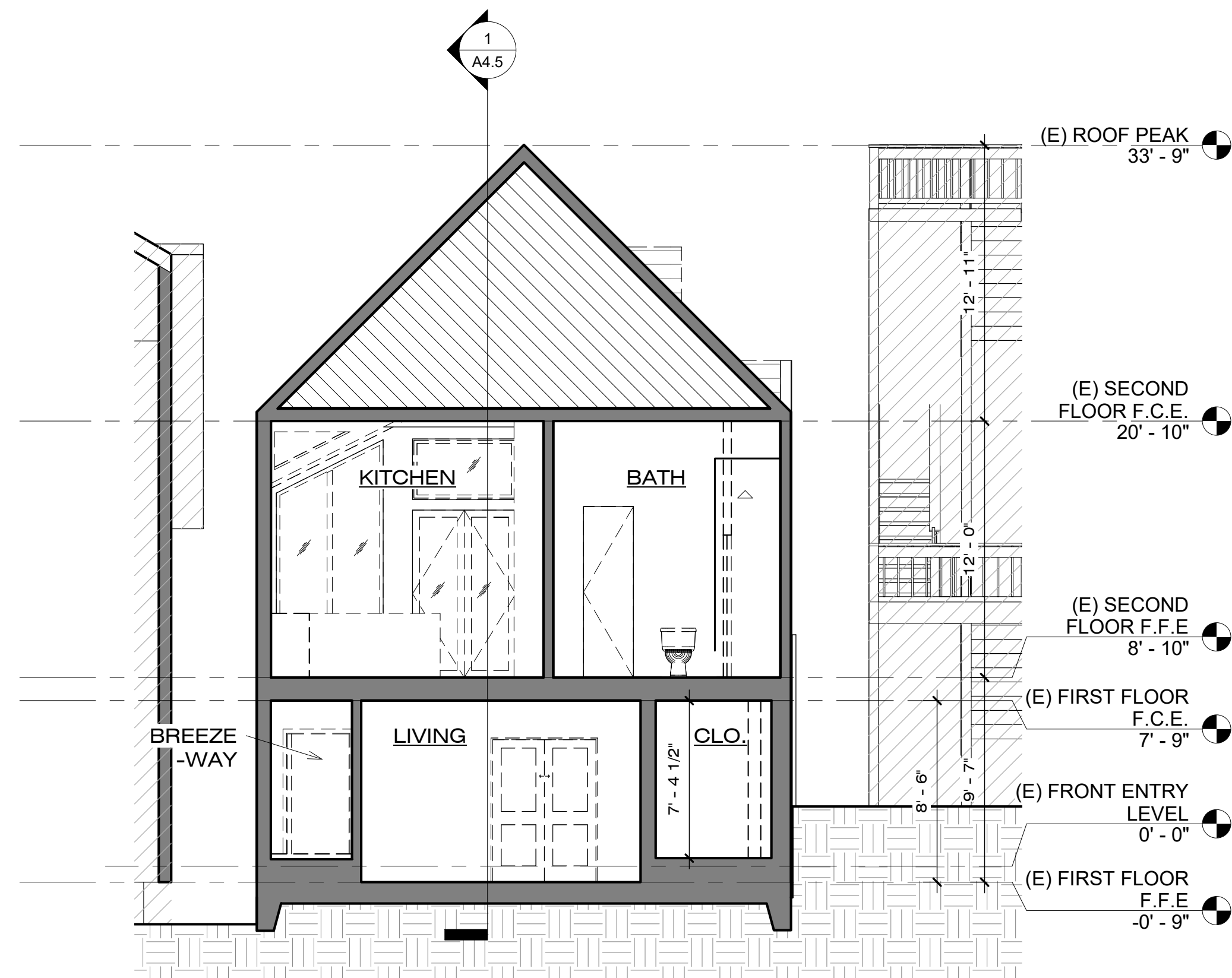
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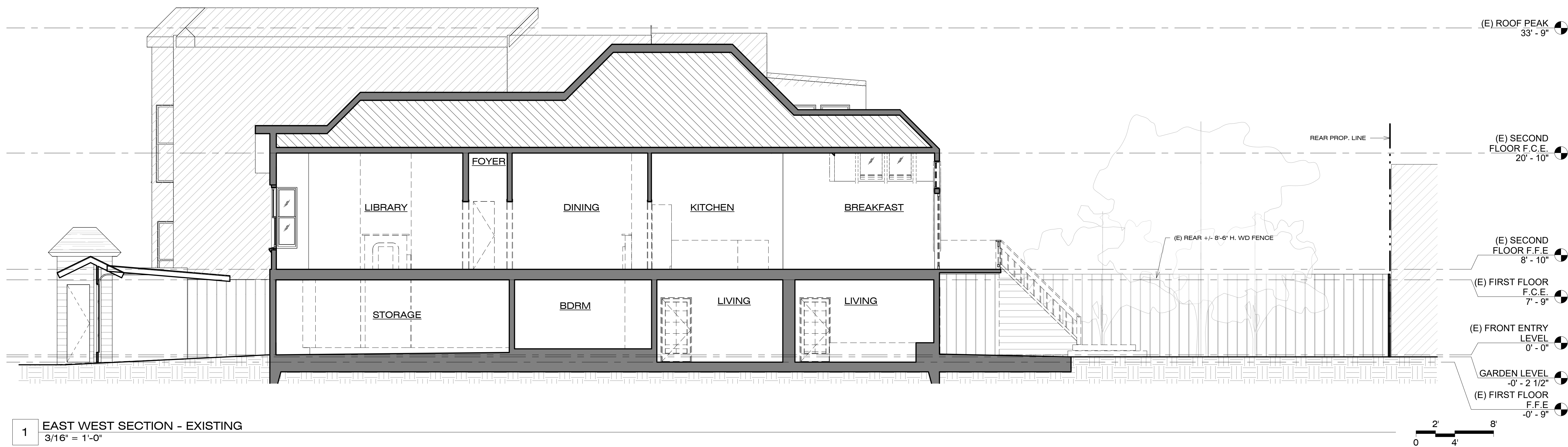
BBA



3 SOUTH NORTH SECTION - EXISTING
3/16" = 1'-0"



2 NORTH SOUTH SECTION - EXISTING
3/16" = 1'-0"



1 EAST WEST SECTION - EXISTING
3/16" = 1'-0"

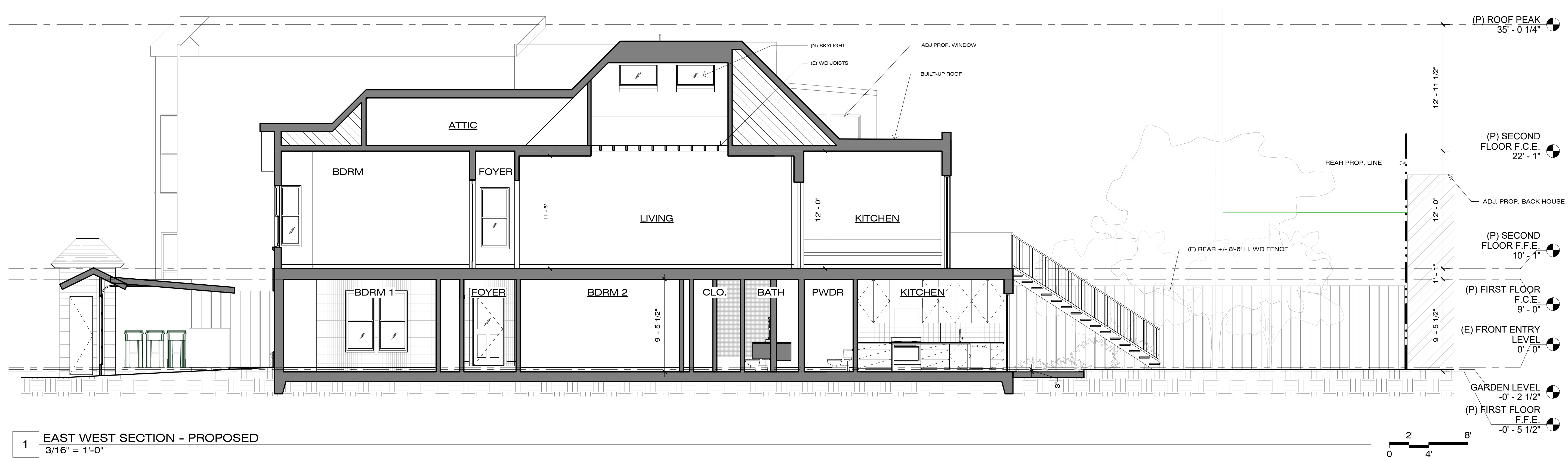
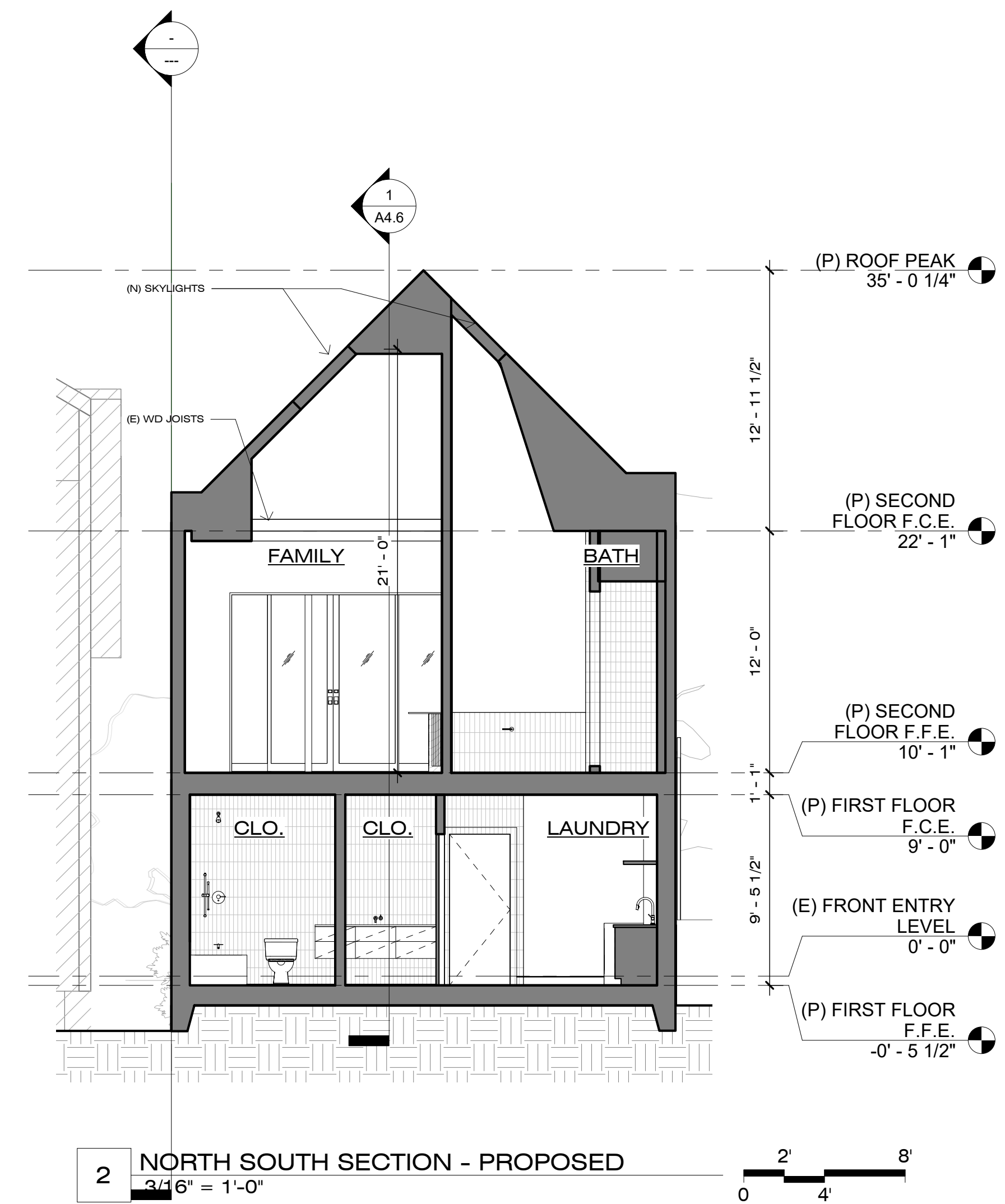
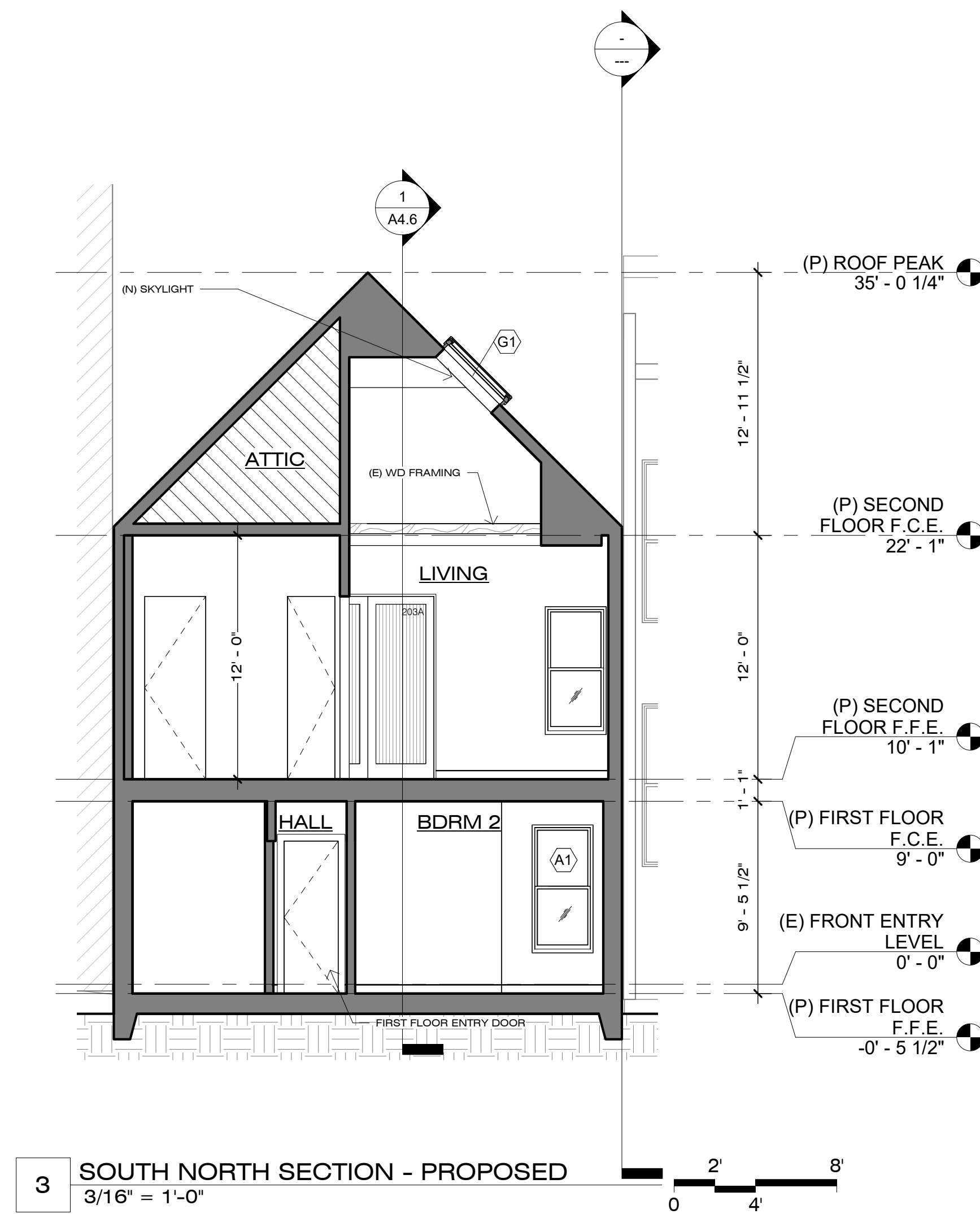
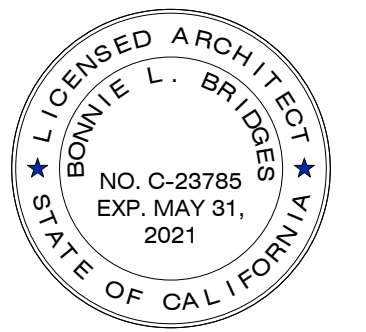
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2020-08-11	PERMIT APPLICATION R4
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812 SCOTT STREET	SCOTT FULTON
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BUILDING SECTIONS -
EXISTING

A4.5



ISSUE	
2020-12-07	HPC / ZA
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2020-01-30	PERMIT APPLICATION R2
2019-12-20	PERMIT APPLICATION R1
2019-07-02	PERMIT APPLICATION
2019-05-01	PRE APP MEETING

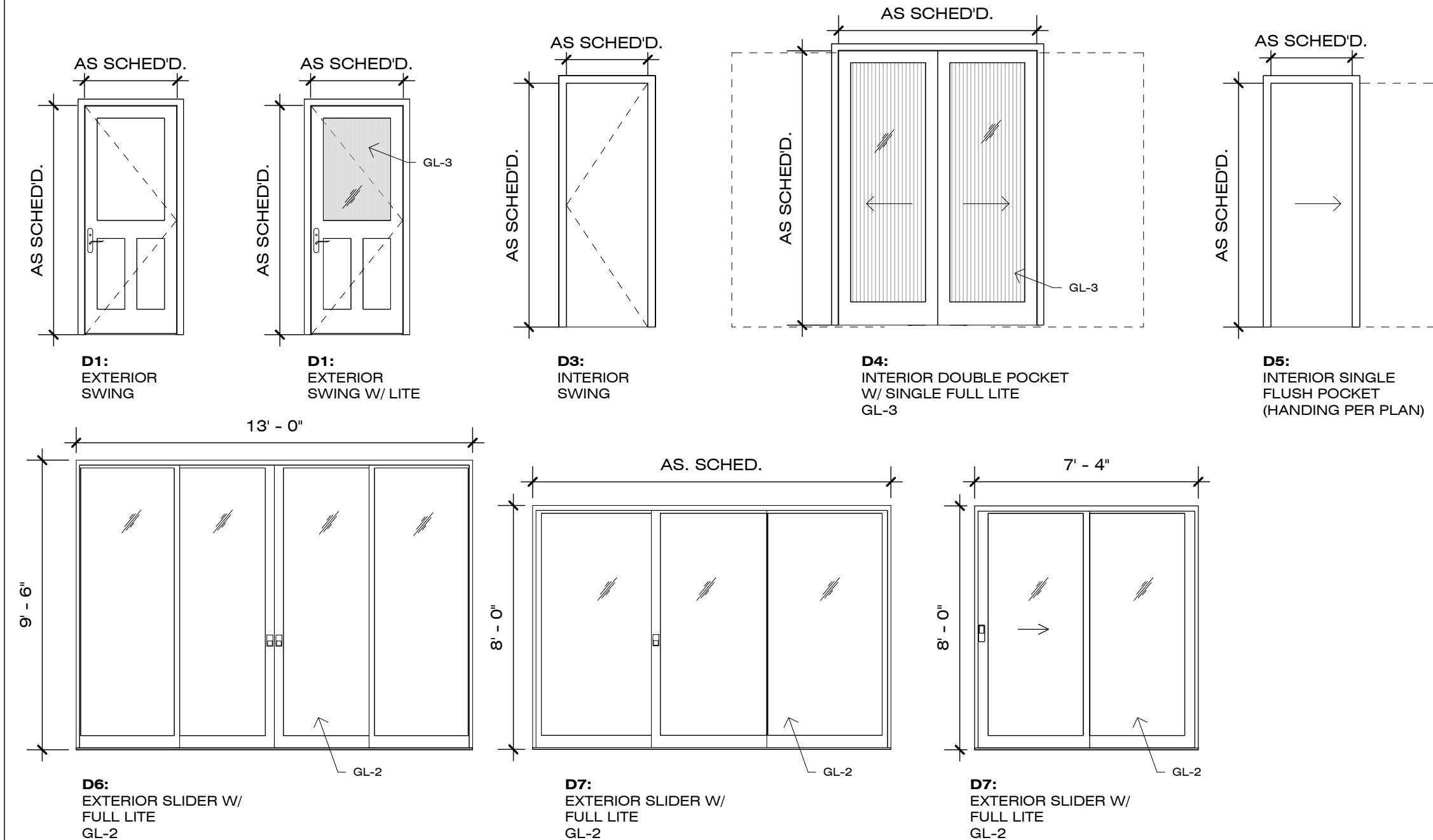
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CONTACT	
LeAnna Burgin	
OWNER	
Scott Fulton, LLC	
APN	
1260/038A	

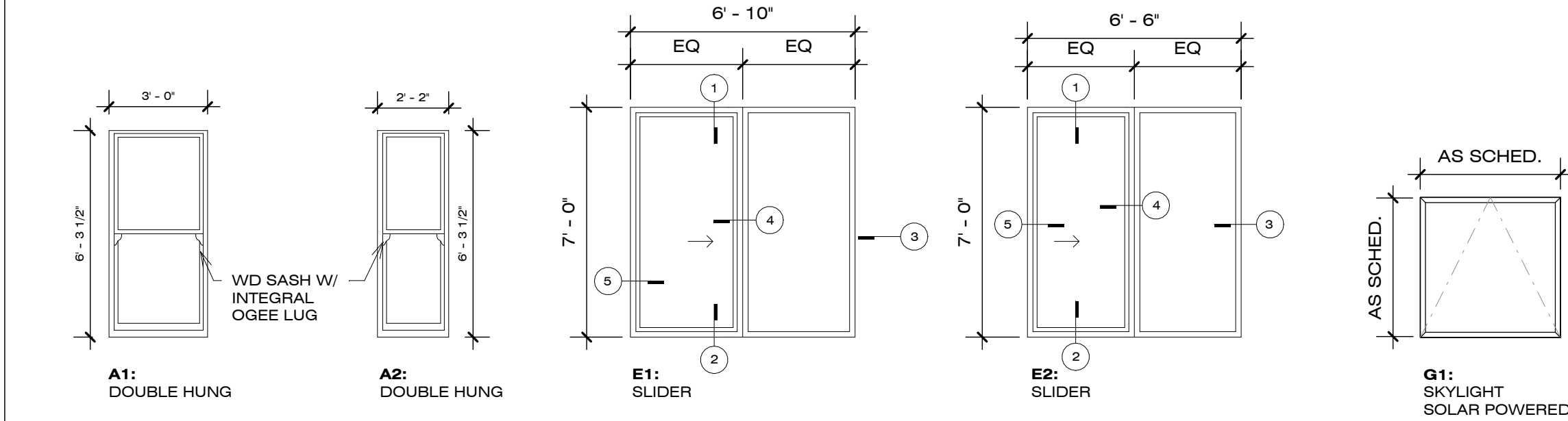
BUILDING SECTIONS -
PROPOSED

A4.6

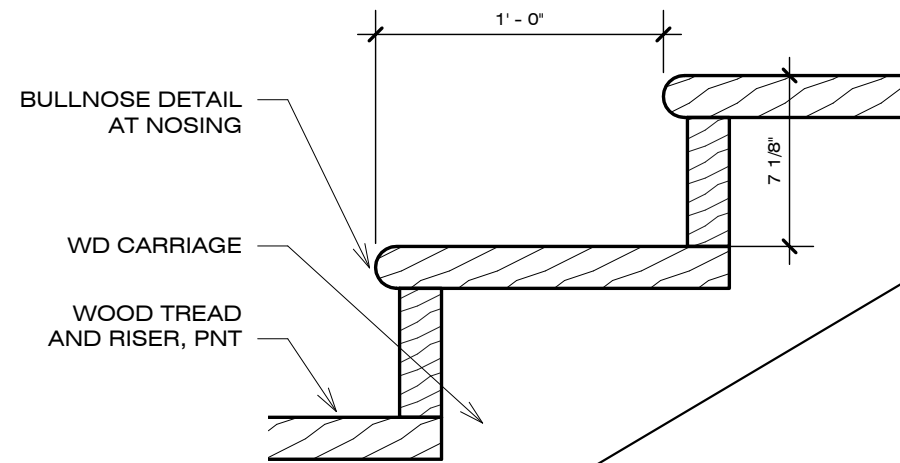
DOOR SCHEDULE										
MARK	DOOR TYPE	DESCRIPTION	MANUF.	MODEL	F-R	HEIGHT	WIDTH	MATERIAL	FIN.	NOTES
101A	D2	EXT. FRONT DOOR W/ LITE W/ PRIVACY GL.	-		N.R.	7'-6"	3'-0"	GL., WD	PNT.	
101B	D5	INT. POCKET DOOR	-		N.R.	7'-6"	3'-0"			
103A	D3	INT. SWING DOOR	-		N.R.	7'-6"	2'-8"			
103B	D2	INT. SWING DOOR	-		N.R.	7'-6"	2'-8"			
104A	D2		-			7'-6"	3'-0"	SCW	PNT.	
105A	D2	INT. SWING DOOR	-		2 HR	7'-6"	2'-8"			
107A	D3	INT. SWING DOOR	-		N.R.	7'-6"	2'-8"			
108A	D3	INT. SWING DOOR	-		N.R.	7'-6"	2'-8"	SCW	PNT.	
109A	D3	INT. SWING DOOR	-		N.R.	7'-6"	2'-8"			
110A	D3	INT. SWING DOOR	-		N.R.	7'-6"	2'-8"			
111A	D5		-			7'-0"	2'-8"			
112A	D5		-			7'-6"	2'-4"			
113A	D5	INT. SWING DOOR	-		N.R.	7'-6"	3'-0"			
113B	D7	EXT. SLIDING W/ FULL LITE	BONELLI	3070-T	N.R.	8'-0"	11'-0"			
113C	D8	EXT. SLIDING W/ FULL LITE	BONELLI	3070-T	N.R.	8'-0"	7'-4"	GL., ALUM.	BLACK	
202A	D1	EXT. FRONT SWING	-		N.R.	8'-0"	3'-0"	SCW	PNT.	
203A	D4	INT. DOUBLE POCKET W/ FULL LITE	-		N.R.	9'-0"	6'-6"	GL., SCW	BLACK	
204A	D3	INT. SWING DOOR	-		N.R.	9'-0"	2'-4"	SCW	PNT.	
206A	D3	INT. SWING DOOR	-		N.R.	9'-0"	2'-4"	SCW	PNT.	
207A	D3	INT. SWING DOOR	-		N.R.	9'-0"	3'-0"	SCW	PNT.	
208A	D3	INT. SWING DOOR	-		N.R.	9'-0"	2'-8"	SCW	PNT.	
209A	D5	INT. SWING DOOR	-		N.R.	8'-0"	2'-6"	SCW	PNT.	
210A	D6	EXT. SLIDING W/ FULL LITE	BONELLI	3070-T	N.R.	9'-6"	12'-10 21/32"	GL., ALUM.	BLACK	



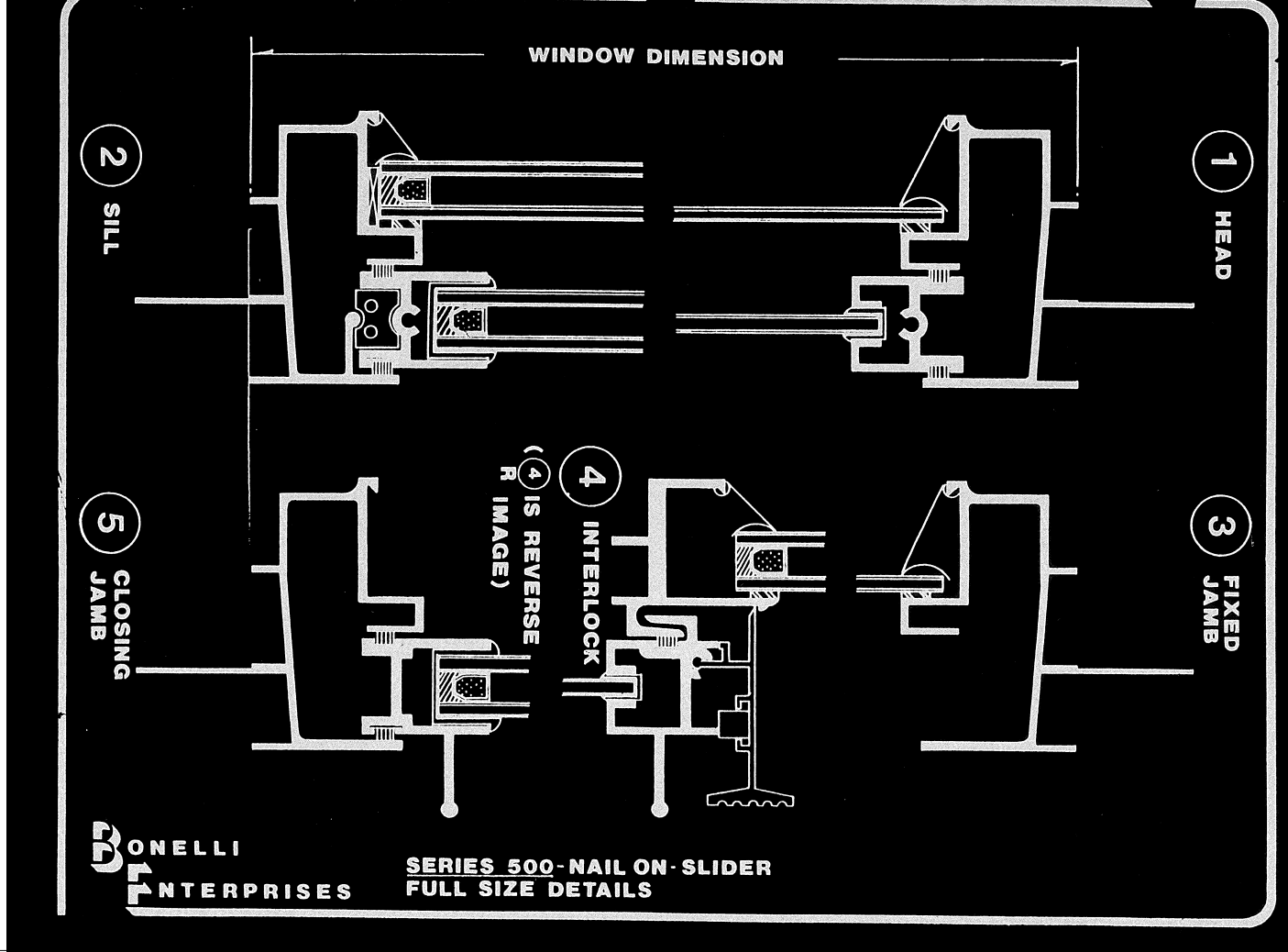
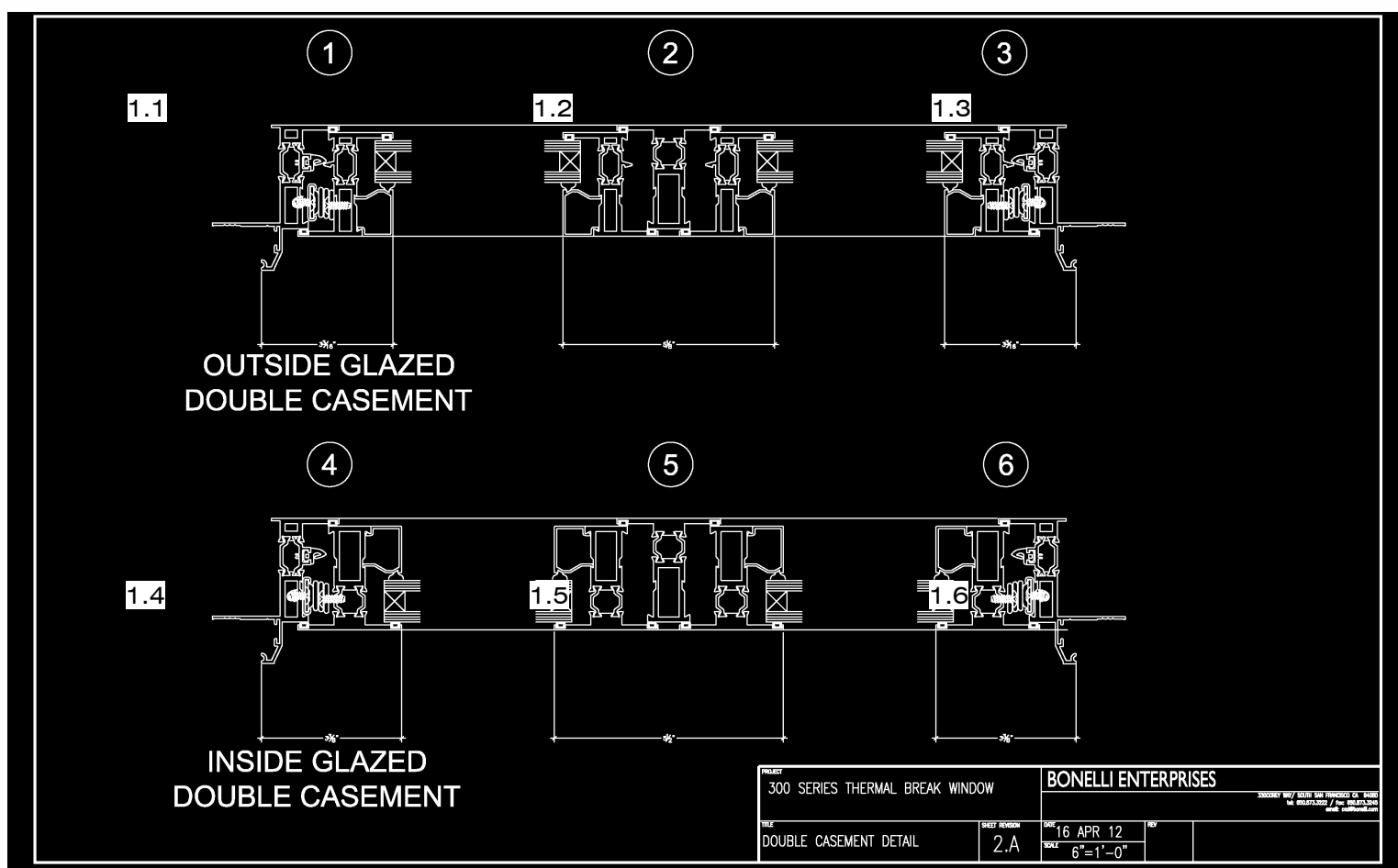
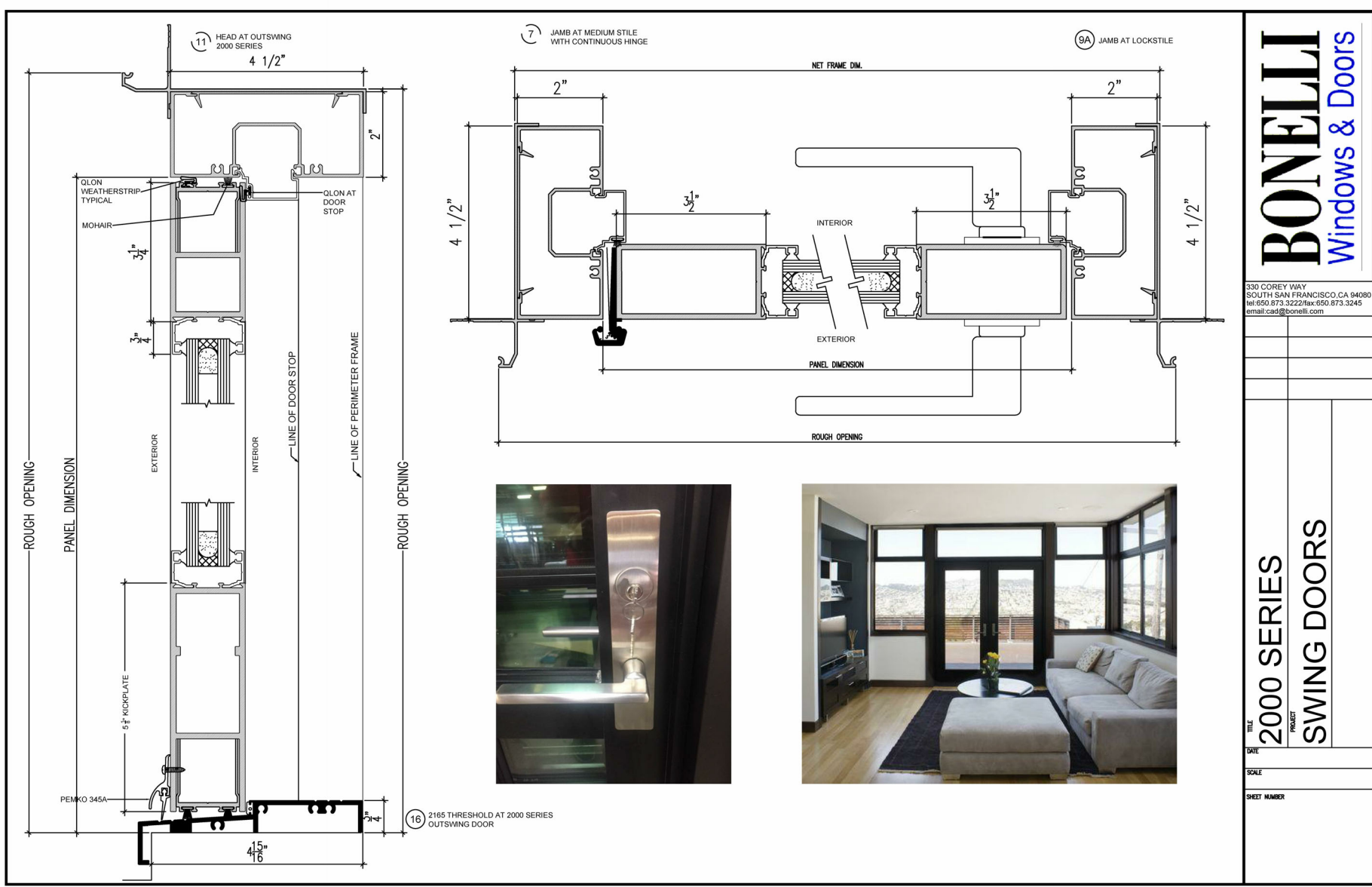
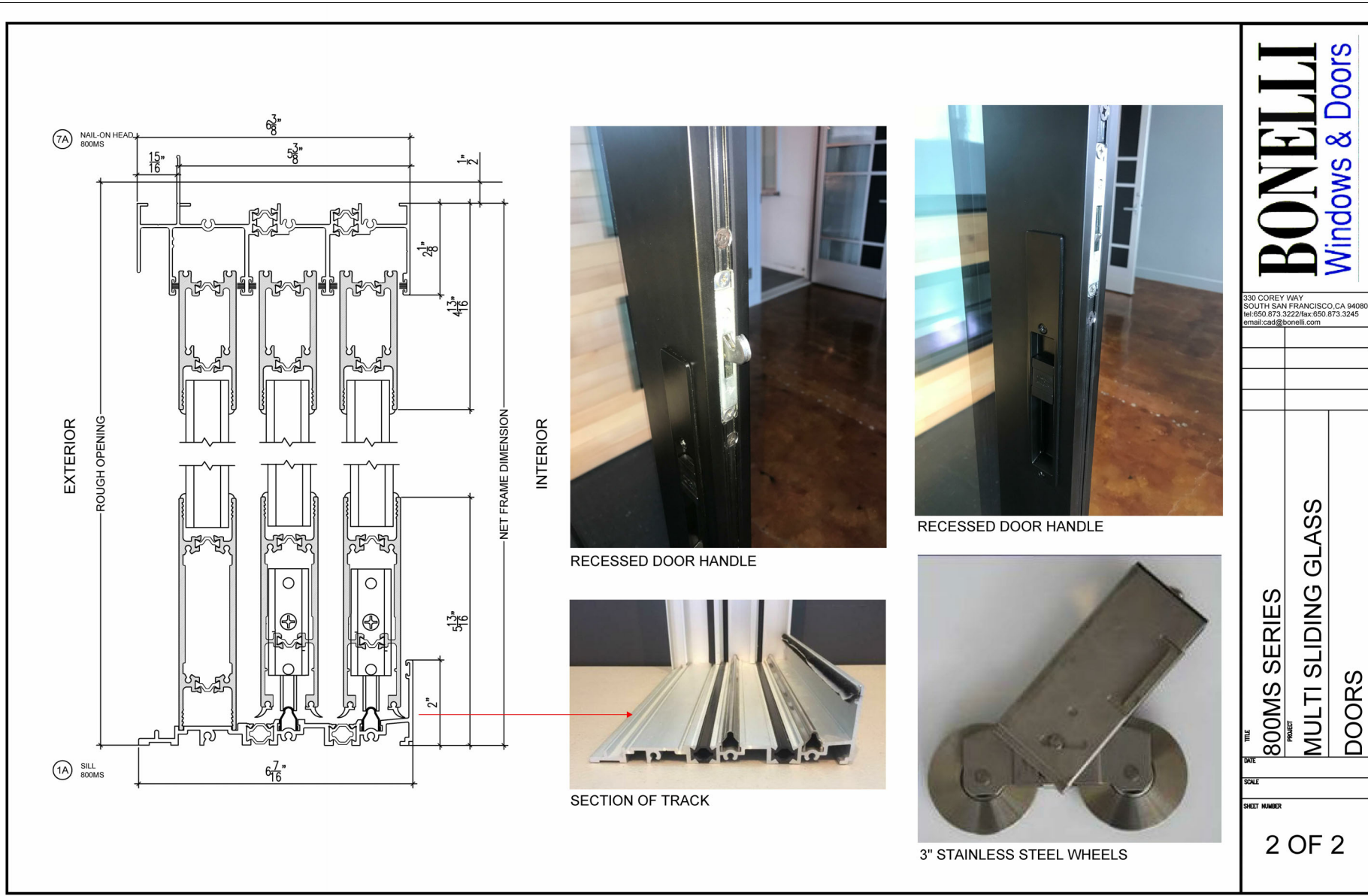
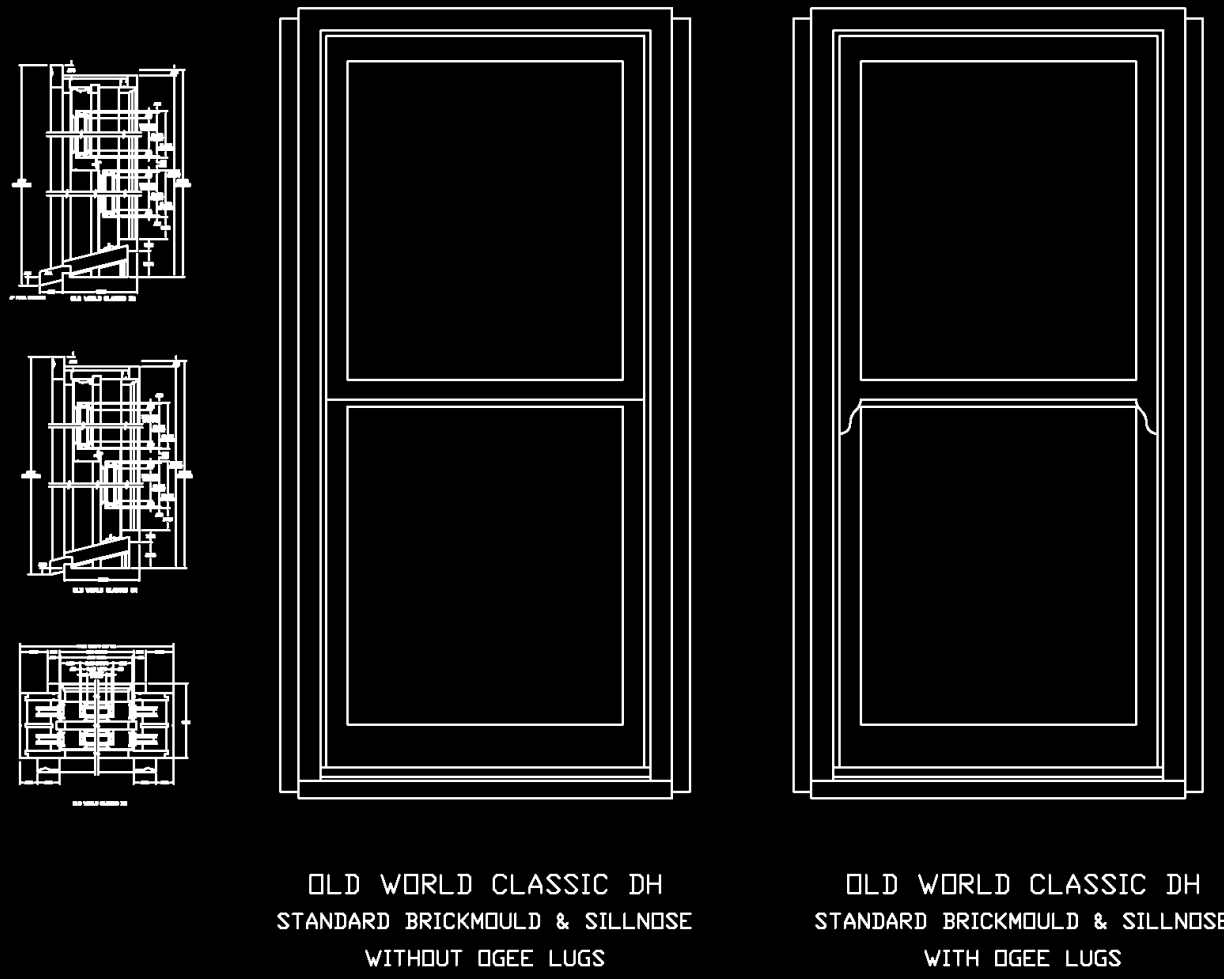
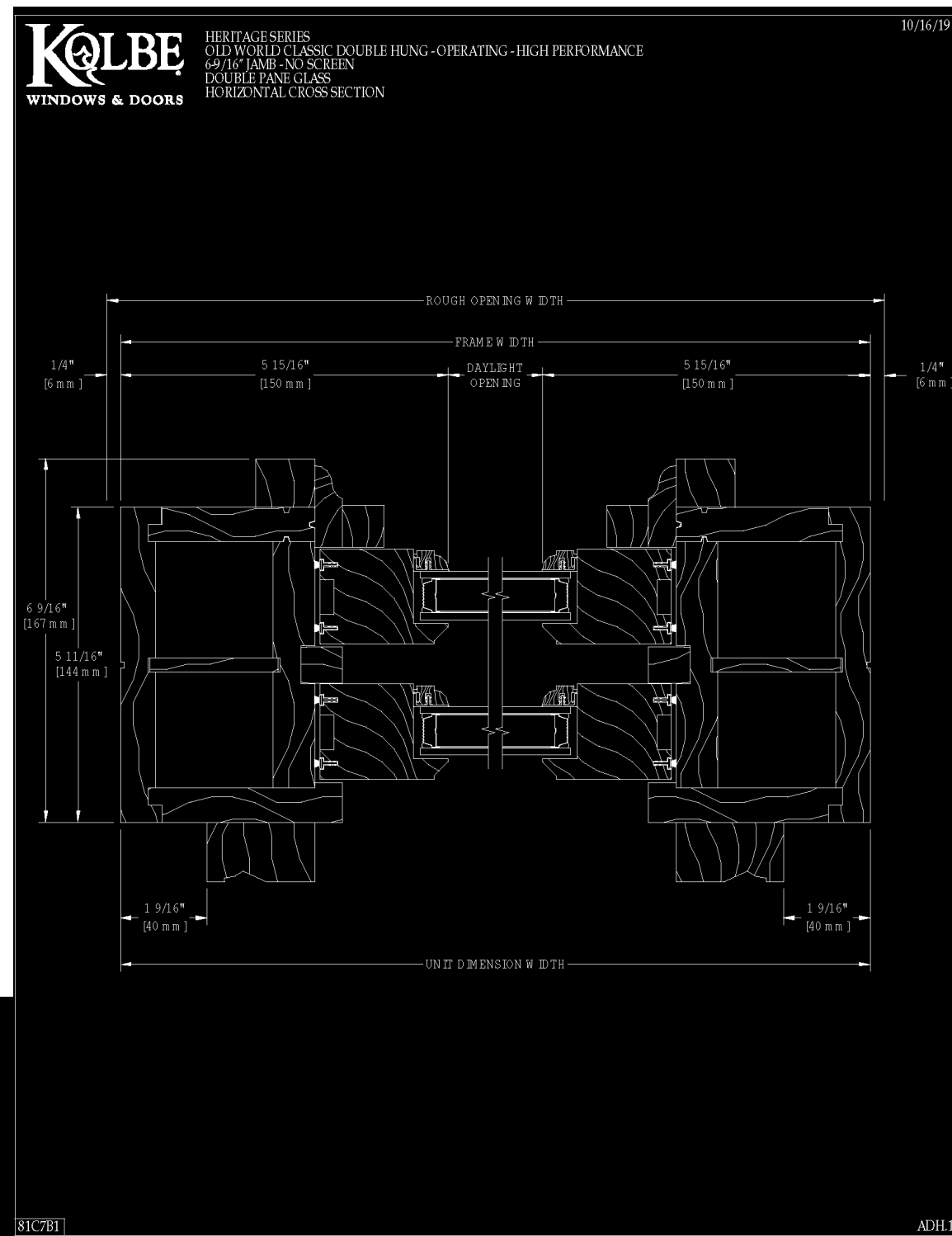
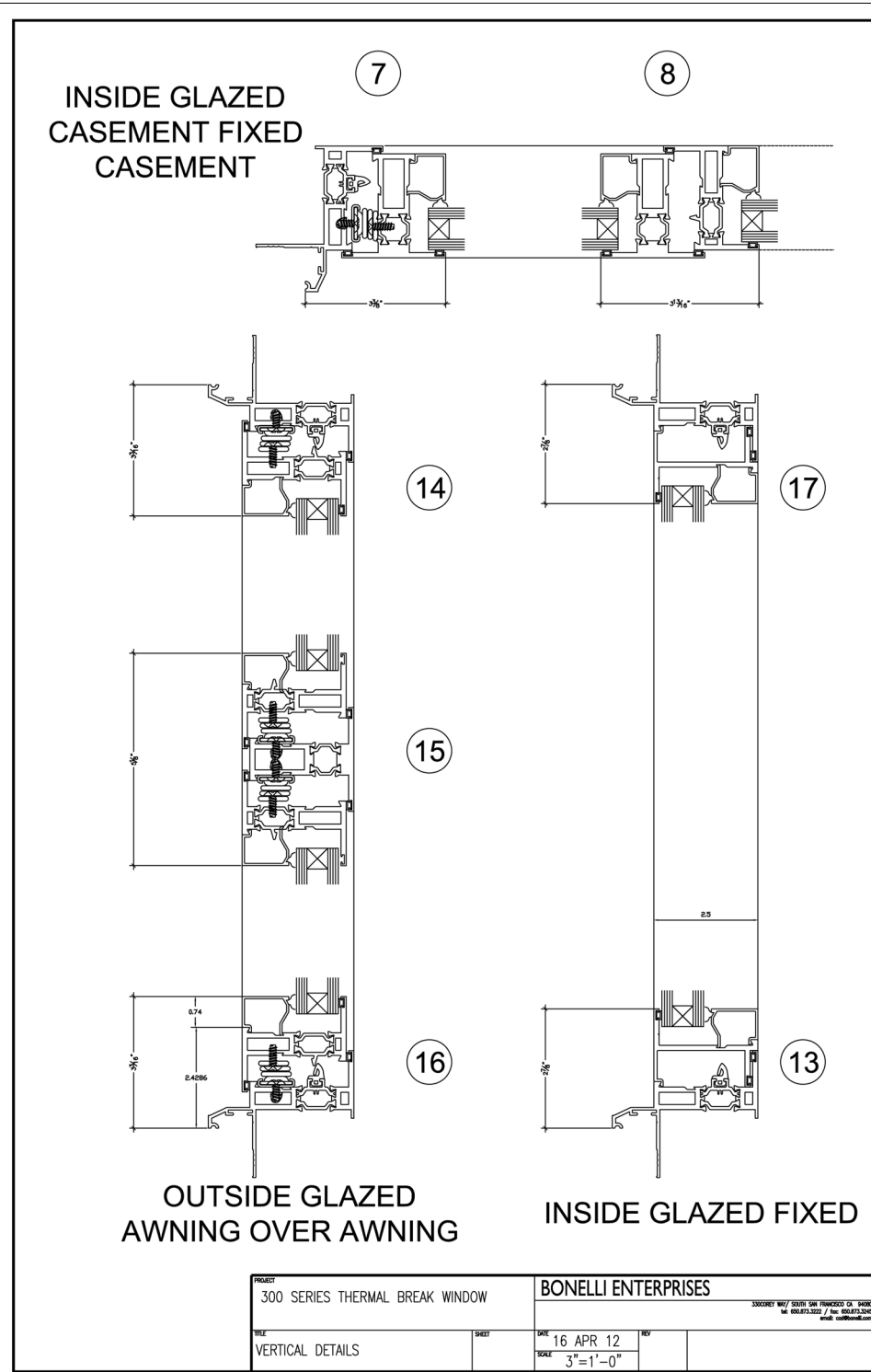
WINDOW SCHEDULE										
Type Mark	QTY	MFR.	MODEL	Width	Height	GLASS	MATERIAL	INT. FIN.	EXT. FIN.	COMMENTS
A1	9	KOLBE	OLD WORLD CLASSIC DH	3'-0"	6'-3 1/2"	GL-1	WD	PNT	PNT	HISTORIC WOOD WINDOWS WITH OGEE LUG, VIF REPLACEMENT LOCATIONS
A2	2	KOLBE	OLD WORLD CLASSIC DH	2'-2"	6'-3 1/2"	GL-1	WD	PNT	PNT	HISTORIC WOOD WINDOWS WITH OGEE LUG, VIF REPLACEMENT LOCATIONS
E1	1	BONELLI	500	6'-10"	7'-0"	GL-2	ALUM.	BLACK	BLACK	
E2	1	BONELLI	500	9'-6"	7'-0"	GL-1	ALUM.	BLACK	BLACK	
G1	3	VELUX	VCE	4'-3 1/8"	4'-3 1/8"	GL-5	ALUM.			



GLASS TYPES				
GL-1 1" INSULATED GLASS CLEAR	GL-2 1" INSULATED GLASS CLEAR TEMPERED	GL-3 1" INSULATED GLASS PRIVACY GLAZING TEMPERED	GL-4 1" INSULATED GLASS PRIVACY GLAZING	GL-5 DUAL PANE SEALED GLAZING TEMPERED LoE3 CLEAR



1 FRONT STAIR DETAIL
1 1/2" = 1'-0"



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LICENSED ARCHITECT
BONNIE L. BRIDGES
NO. C-23785
EXP. MAY 31, 2021
STATE OF CALIFORNIA

ISSUE	
2020-08-11	PERMIT APPLICATION R4
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2020-01-30	PERMIT APPLICATION R2
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2019-07-02	PERMIT APPLICATION
2019-05-01	Pre Application Meeting

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	812 SCOTT STREET
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NUMBER	201833
CONTACT	LeAnna Burgin
OWNER	Scott Fulton, LLC
APN	1260/038A

DOOR & WINDOW
SCHEDULES

A5.1



814 SCOTT STREET (E) GUARD HOUSE TO REMAIN (E) GARAGE DOOR

2 PROPOSED FRONT OF HOUSE



814 SCOTT STREET (E) GUARD HOUSE TO REMAIN (E) GARAGE DOOR

1 EXISTING FRONT OF HOUSE

ISSUE
2020-08-11 PERMIT APPLICATION R4
2020-06-02 PERMIT APPLICATION R3
2020-01-30 PERMIT APPLICATION R2
2019-12-20 PERMIT APPLICATION R1
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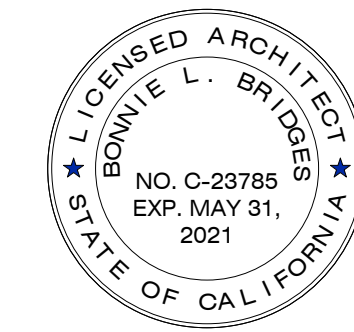
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3D VIEWS - FRONT

A9.1

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B. Bridges



2 PROPOSED REAR OF HOUSE



1 EXISTING REAR OF HOUSE

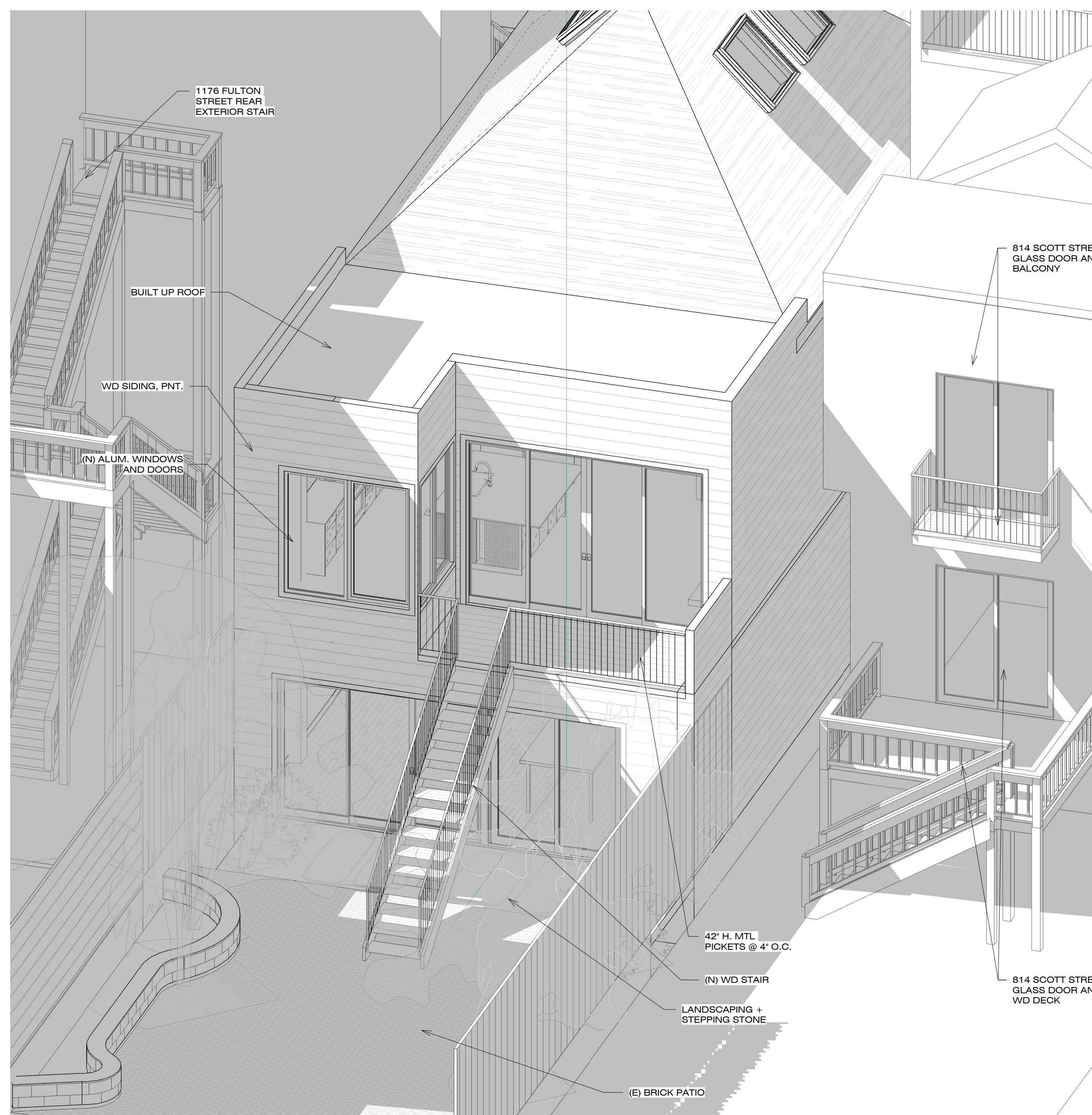
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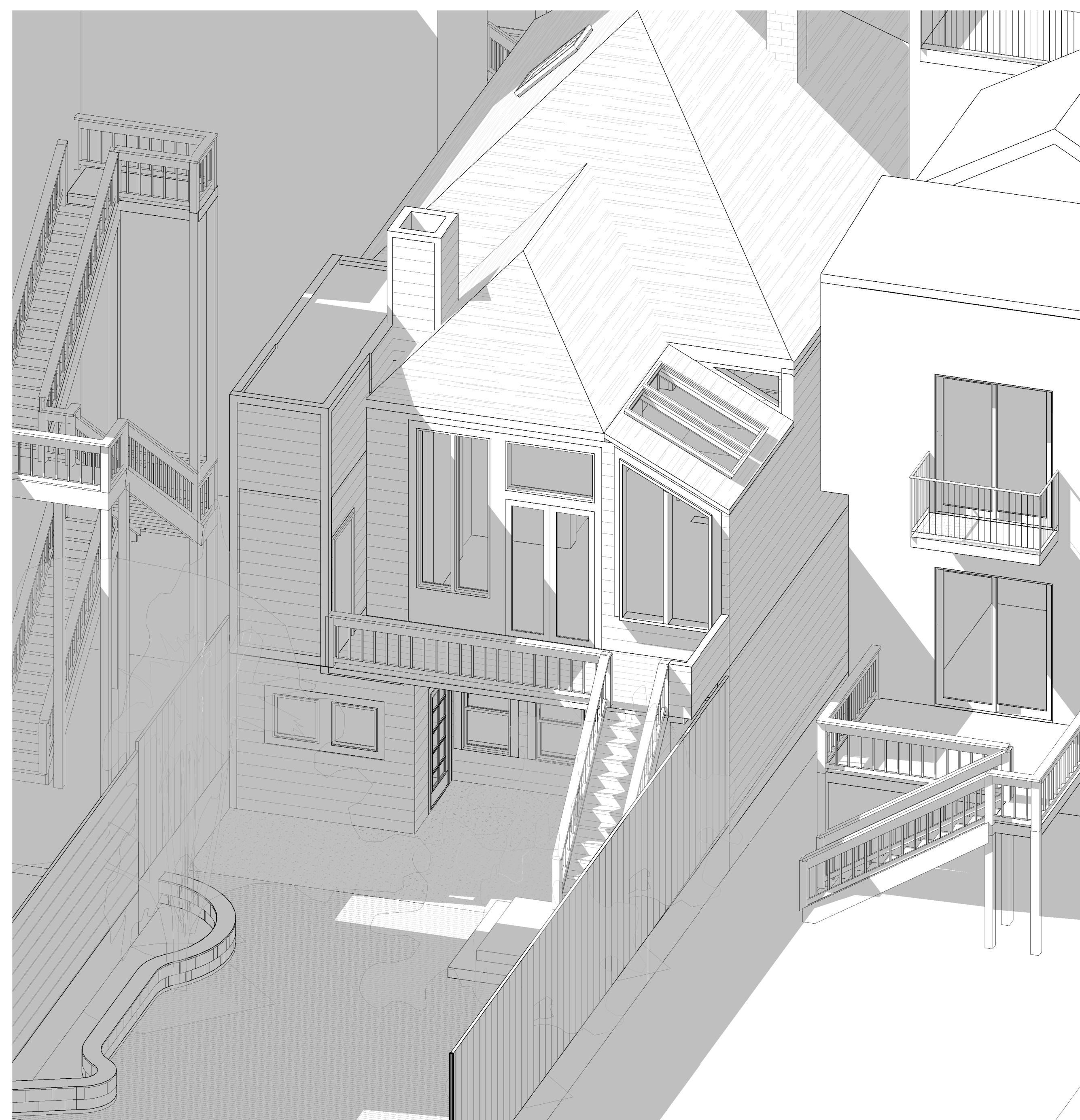
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OWNER Scott Fulton, LLC
APN 1260/038A

3D VIEWS - REAR

A9.2



2 PROPOSED REAR OF HOUSE SHADOW STUDY - SPRING EQUINOX @ 12 PM



1 EXISTING REAR OF HOUSE SHADOW STUDY - SPRING EQUINOX @ 12 PM

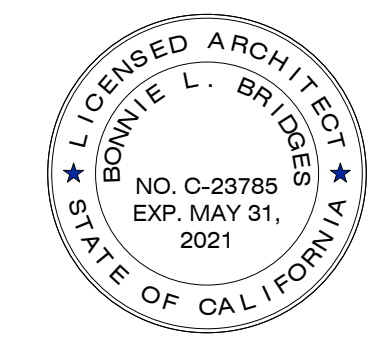
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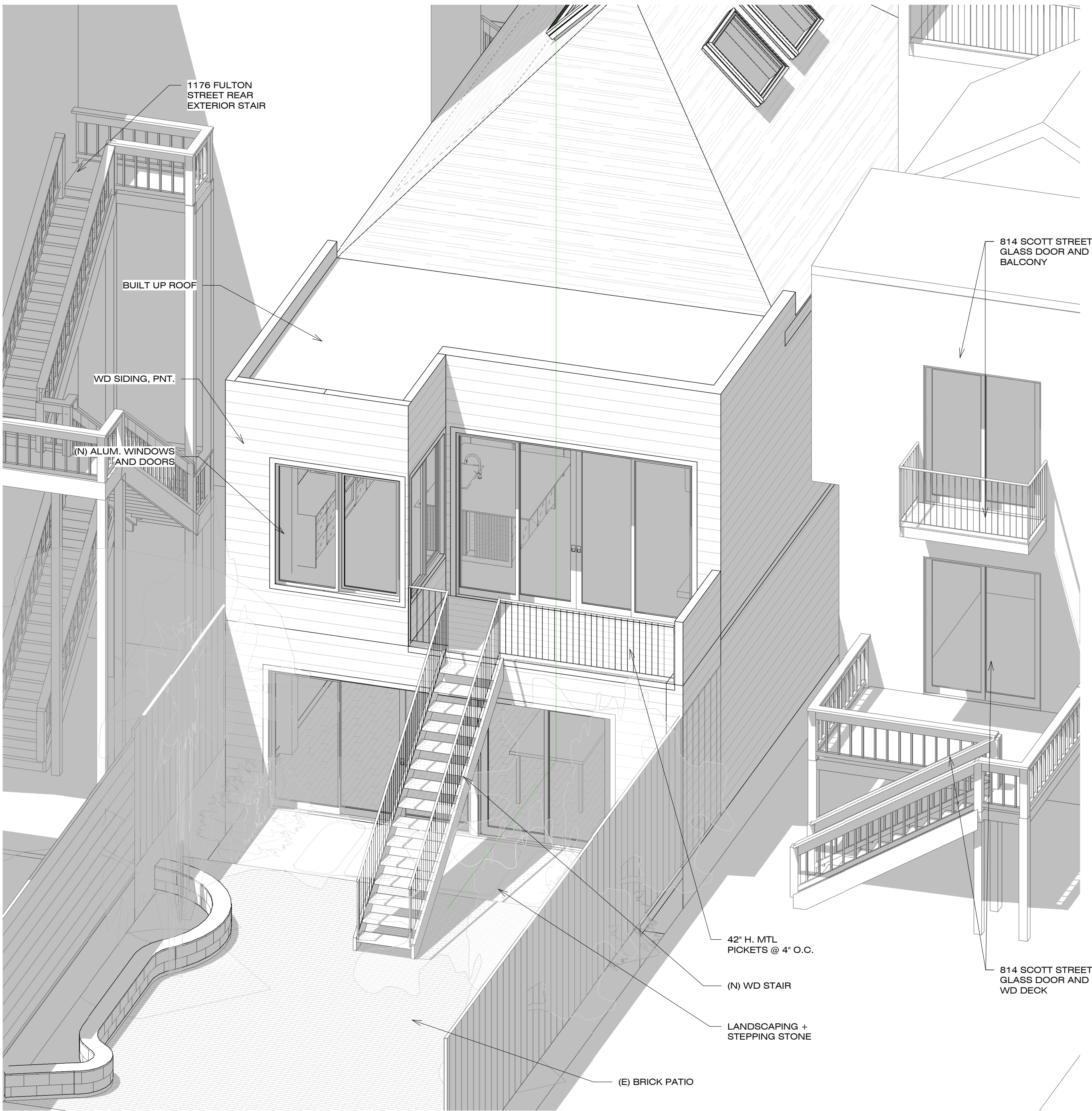
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812 SCOTT STREET
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OWNER Scott Fulton, LLC
APN 1260/038A

3D VIEWS - REAR SHADOWS

A9.3



B. Bridges



1 PROPOSED REAR OF HOUSE SHADOW STUDY - SUMMER SOLSTICE @ 12 PM



2 EXISTING REAR OF HOUSE SHADOW STUDY - SUMMER SOLSTICE @ 12 PM

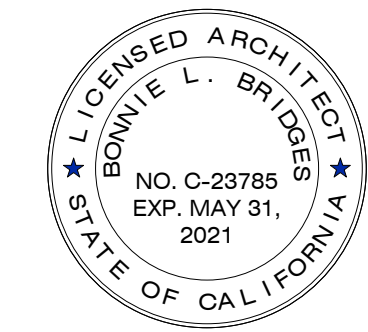
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2020-08-11	PERMIT APPLICATION R4
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CONTACT	LeAnna Burgin
OWNER	Scott Fulton, LLC
APN	1260/038A

3D VIEWS - REAR SHADOWS

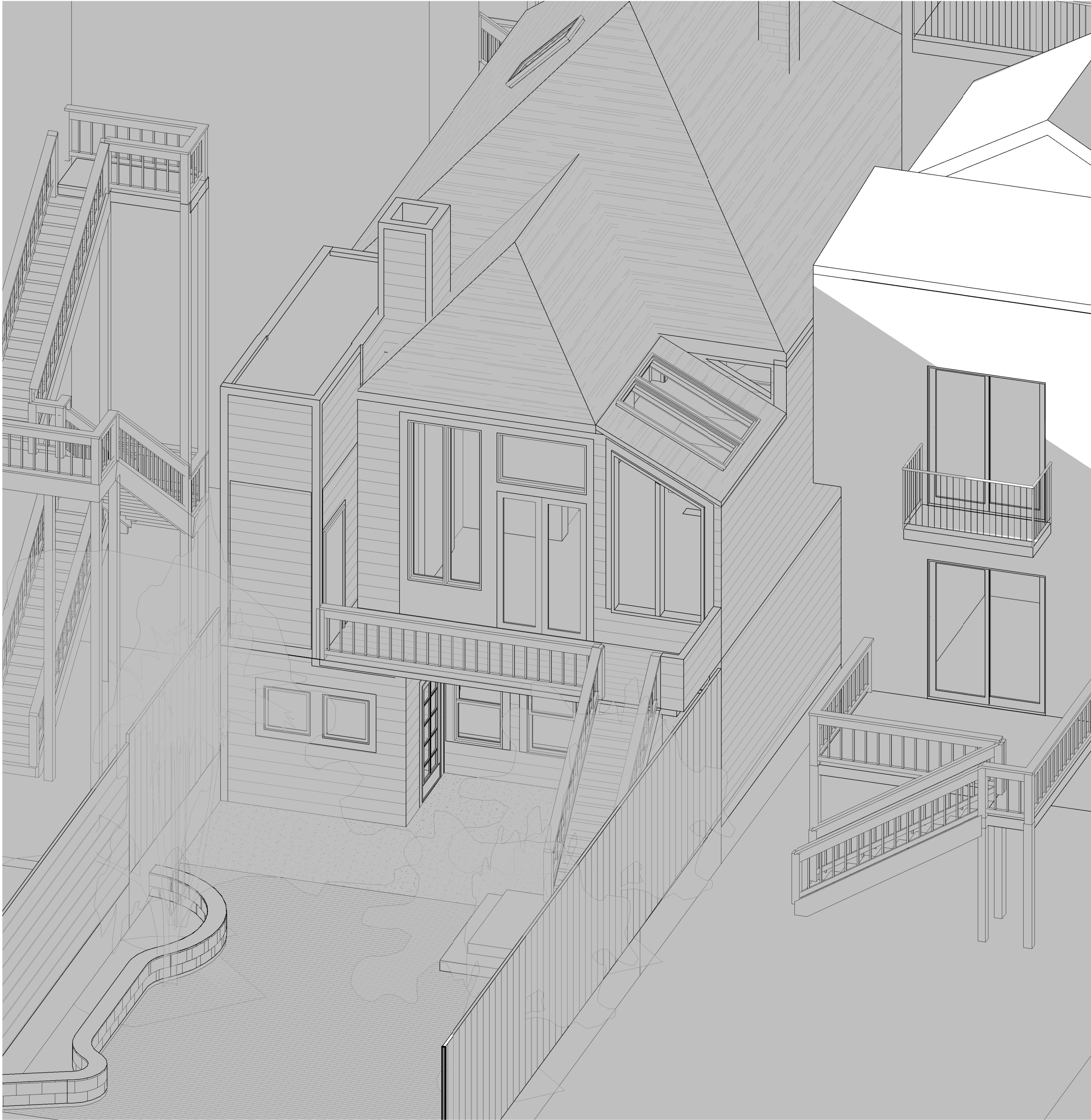
A9.4



B Bridges



1 PROPOSED REAR OF HOUSE SHADOW STUDY - WINTER SOLSTICE @ 12 PM



2 EXISTING REAR OF HOUSE SHADOW STUDY - WINTER SOLSTICE @ 12 PM

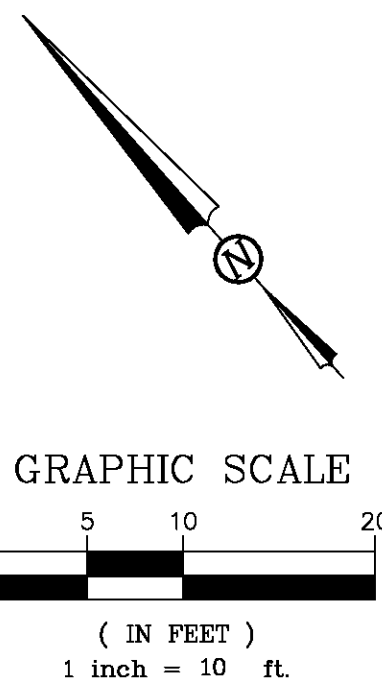
ISSUE

2020-08-11	PERMIT APPLICATION R4
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CONTACT LeAnna Burgin
OWNER Scott Fulton, LLC
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3D VIEWS - REAR SHADOWS



ENCHMARK:
BM111117
IN CONCRETE SIDEWALK 8.0' NORTH OF NORTH FACE OF CURB
OF GOLDEN GATE 10.3' EAST OF EAST FACE OF CURB OF
SCOTT 4.9' EAST FROM CENTER/CENTER OF TRAFFIC SIGNAL 11.0'
SOUTHEAST OF FIRE HYDRANT.
EL = 163.110' (CCSF-VD13)

NOTE:
ALL ANGLES ARE 90° UNLESS NOTED OTHERWISE

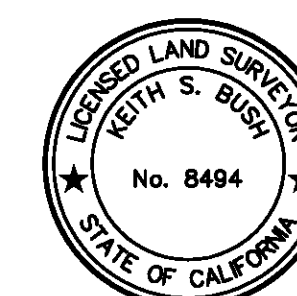
BASIS OF SURVEY:
THIS SURVEY WAS BASED UPON THE FOUND MONUMENT MARKS AS SHOWN
ON (M28),

PARCEL LOCATION THE DEED RECORDED OCTOBER 10, 2018, AS
Doc. #—2018-K681626—00, AND THE DEEDS OF THE IMMEDIATE ADJOINERS.

NOTE:
ALL ANGLES ARE 90° UNLESS NOTED OTHERWISE

BASIS OF SURVEY:
THIS SURVEY WAS BASED UPON THE FOUND MONUMENT MARKS AS SHOWN
ON (M28),

PARCEL LOCATION THE DEED RECORDED OCTOBER 10, 2018, AS
Doc.-2018-K681626-00, AND THE DEEDS OF THE IMMEDIATE ADJOINERS.



KEITH S. BUSH, L.S. 8494
DATE:

BOUNDARY &
TOPOGRAPHIC SURVEY

BEING THE REAL PROPERTY DESCRIBED IN THAT CERTAIN DEED RECORDED
ON NOVEMBER 26, 2018, AS 2018-K697537-00, ALSO BEING BEING A
PORTION OF WESTERN ADDITION BLOCK NO. 435.
CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA
MAY, 2020 SCALE 1" = 10'

MAY, 2020 SCALE 1" = 10'
BAY AREA LAND SURVEYING INC.

3065 RICHMOND PARKWAY, SUITE 101
RICHMOND, CA 94806
(510) 223-5167

SHT. 1 OF 1. JOB#20-4095. FB#XXX. /SCOTT4095-BT

Appendix B:

Environmental

Decision Document



CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
812 SCOTT ST		0777016
Case No.		Permit No.
2019-013740PRJ		
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
Project description for Planning Department approval. Interior and exterior additions and alterations to an existing 2-unit dwelling, including: lifting house to create more habitable space and foundation and seismic upgrade.		

STEP 1: EXEMPTION CLASS

The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. FOR ENVIRONMENTAL PLANNING USE ONLY
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? Note that a categorical exemption shall not be issued for a project located on the Cortese List if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).
<input type="checkbox"/>	Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography). If yes, Environmental Planning must issue the exemption.
<input type="checkbox"/>	Slope = or > 25%: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.
Comments and Planner Signature (optional): Michelle A Taylor	

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: <i>(refer to Property Information Map)</i>	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input checked="" type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input checked="" type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input checked="" type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .

<input checked="" type="checkbox"/>	<p>8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):</p> <p>Project proposes to convert doors into windows and add new door at ground floor in a sensitive and compatible manner. Applicant will replace brick front entry steps with period-appropriate wood, bull-nosed steps.</p>
<input checked="" type="checkbox"/>	<p>9. Other work that would not materially impair a historic district (specify or add comments):</p> <p>All work meets the Standards and is compatible with the historic district and context. New addition is not visible from public ROW.</p> <p><i>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</i></p>
<input type="checkbox"/>	<p>10. Reclassification of property status. <i>(Requires approval by Senior Preservation Planner/Preservation)</i></p> <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p><input type="checkbox"/> Reclassify to Category A</p> <p style="margin-left: 20px;">a. Per HRER or PTR dated</p> <p style="margin-left: 20px;">b. Other (specify):</p> </div> <div style="width: 45%;"> <p><input type="checkbox"/> Reclassify to Category C</p> <p style="margin-left: 20px;"><i>(attach HRER or PTR)</i></p> </div> </div>
<p>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.</p>	
<input checked="" type="checkbox"/>	<p>Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.</p>
<p>Comments (optional):</p>	
<p>Preservation Planner Signature: Michelle A Taylor</p>	

STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input checked="" type="checkbox"/>	<p>No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.</p>	
	<p>Project Approval Action:</p> <p>Building Permit</p>	<p>Signature:</p> <p>Michelle A Taylor</p>
	<p>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p>	<p>10/02/2020</p>
<p>Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action.</p> <p>Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.</p>		

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

MODIFIED PROJECT DESCRIPTION

Modified Project Description:

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

- | | |
|--------------------------|--|
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code; |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312; |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)? |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |

If at least one of the above boxes is checked, further environmental review is required.

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

- | | |
|--------------------------|---|
| <input type="checkbox"/> | The proposed modification would not result in any of the above changes. |
|--------------------------|---|

If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.

Planner Name:

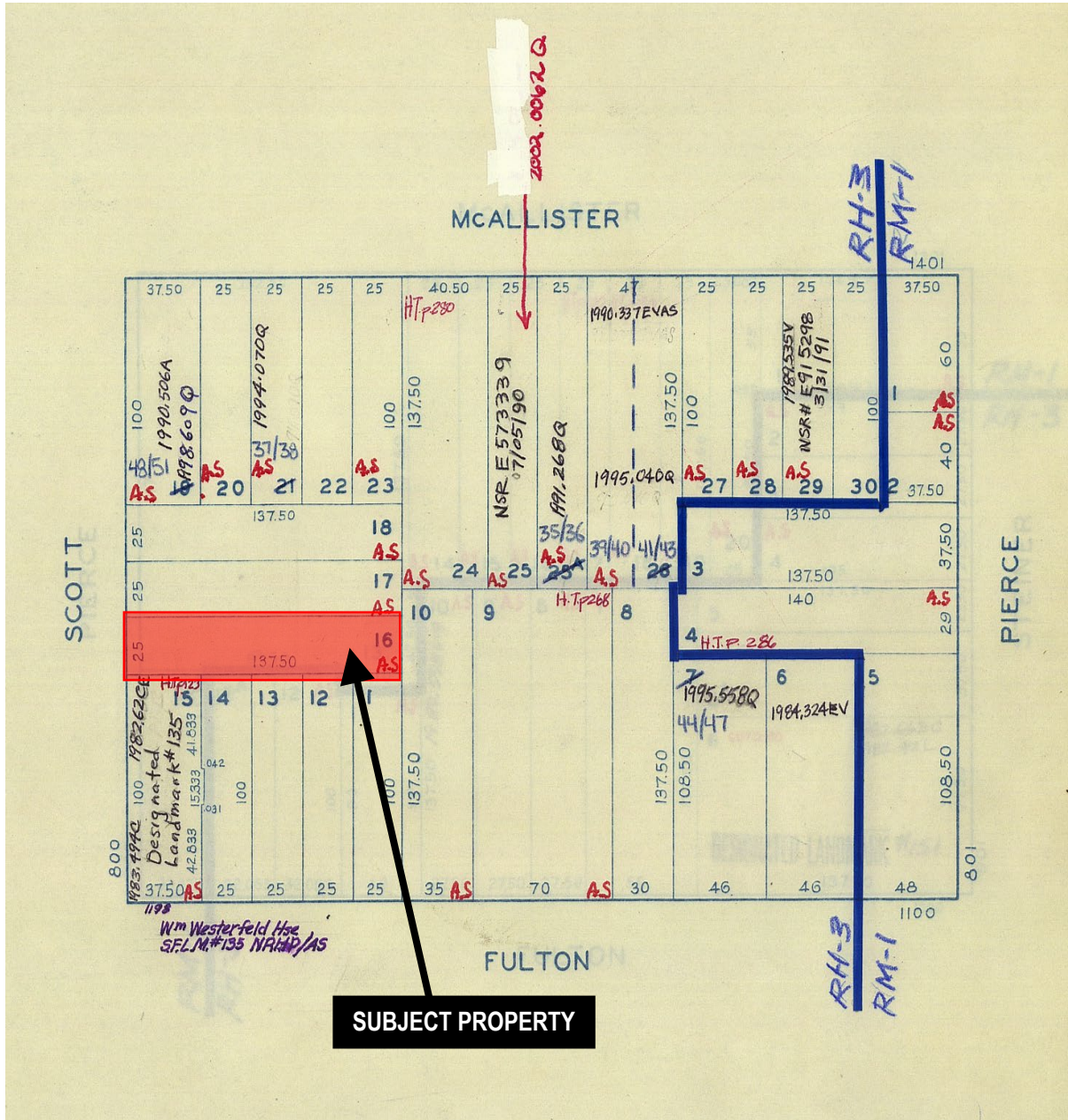
Date:

Appendix C:

Maps and Context

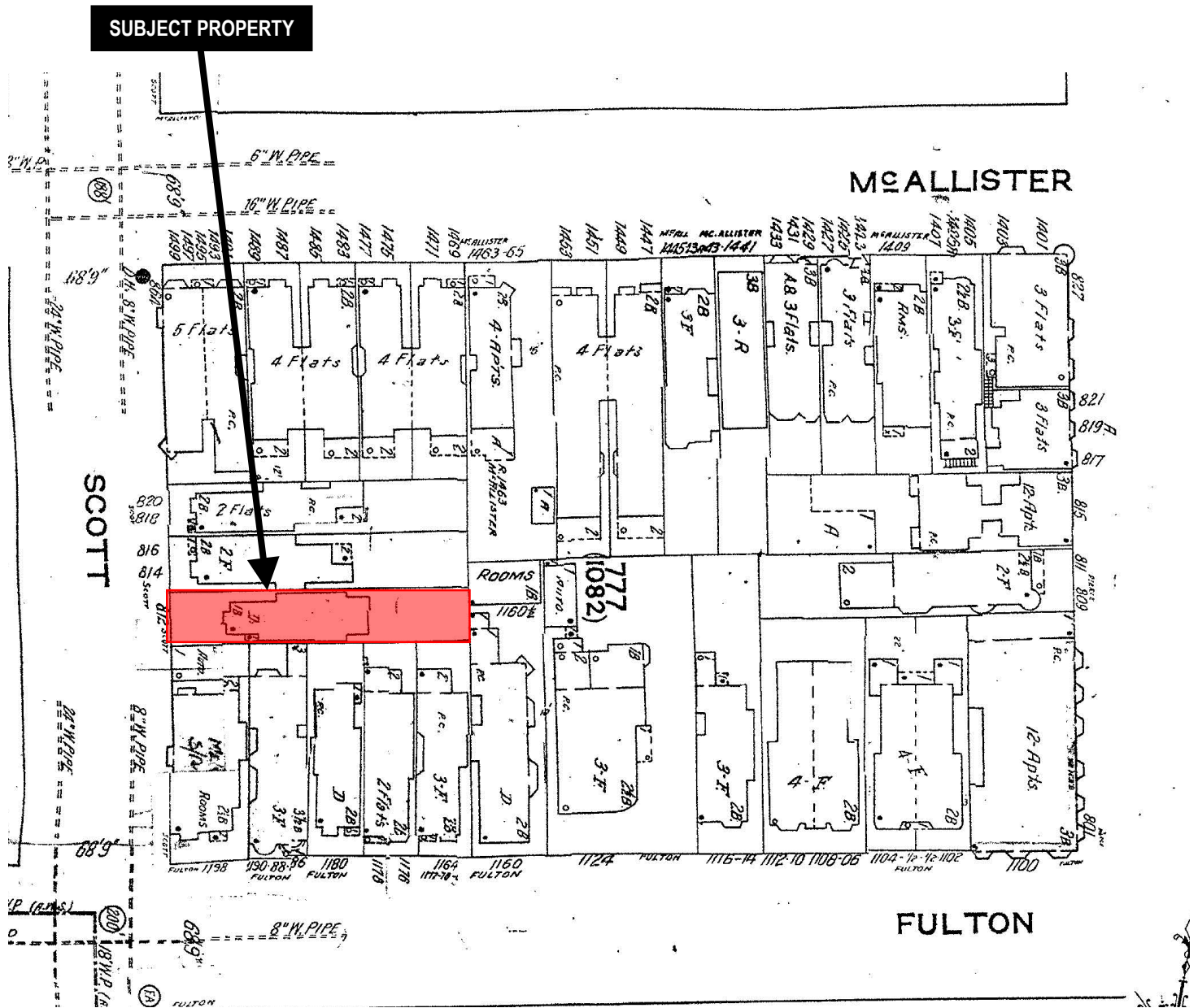
Photos

Parcel Map



Certificate of Appropriateness
Case Number 2019-013740COA
 812 Scott Street

Sanborn Map*

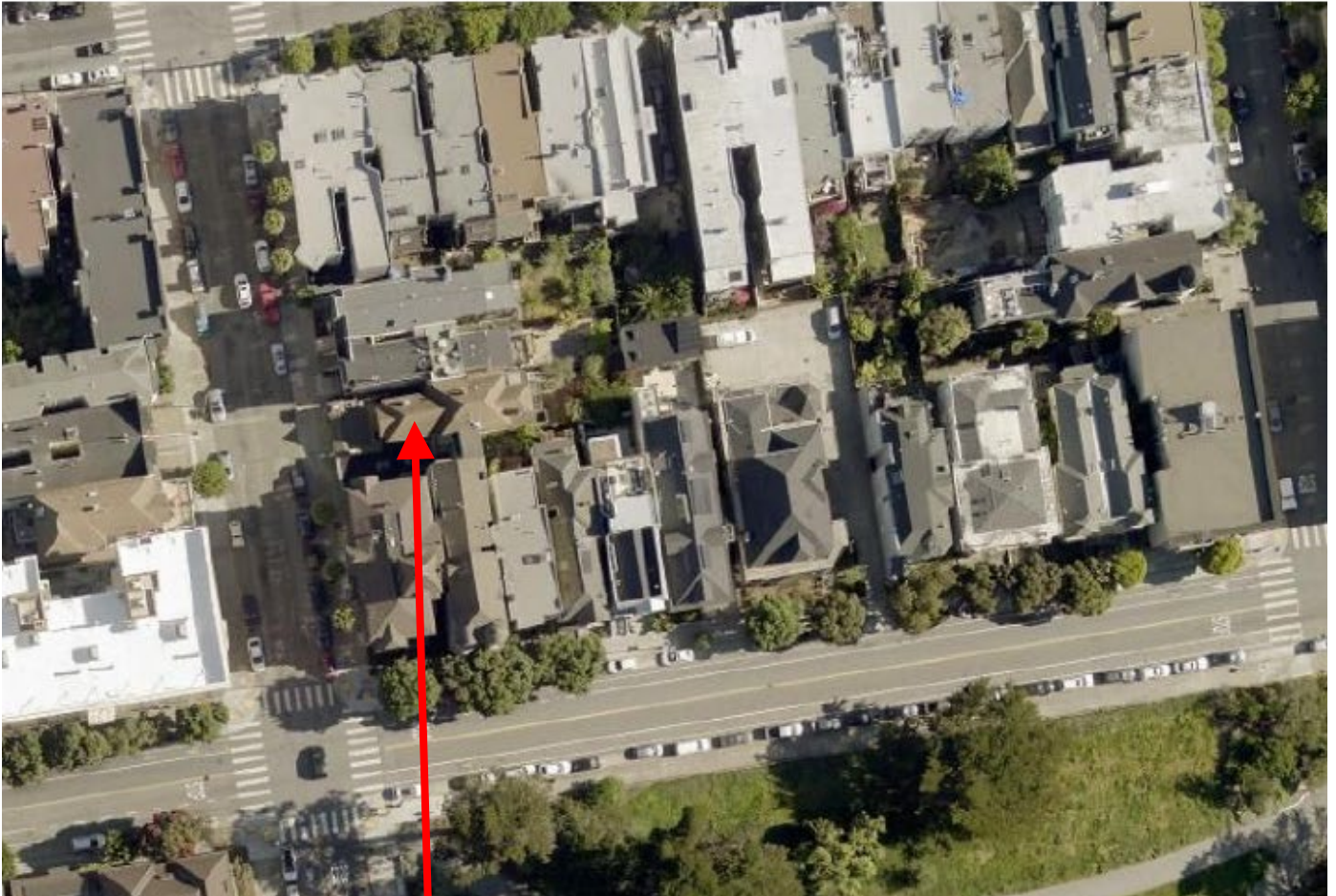


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Certificate of Appropriateness
Case Number 2019-013740COA
812 Scott Street

Aerial Photo – View 1



SUBJECT PROPERTY



Certificate of Appropriateness
Case Number 2019-013740COA
812 Scott Street

Aerial Photo – View 2

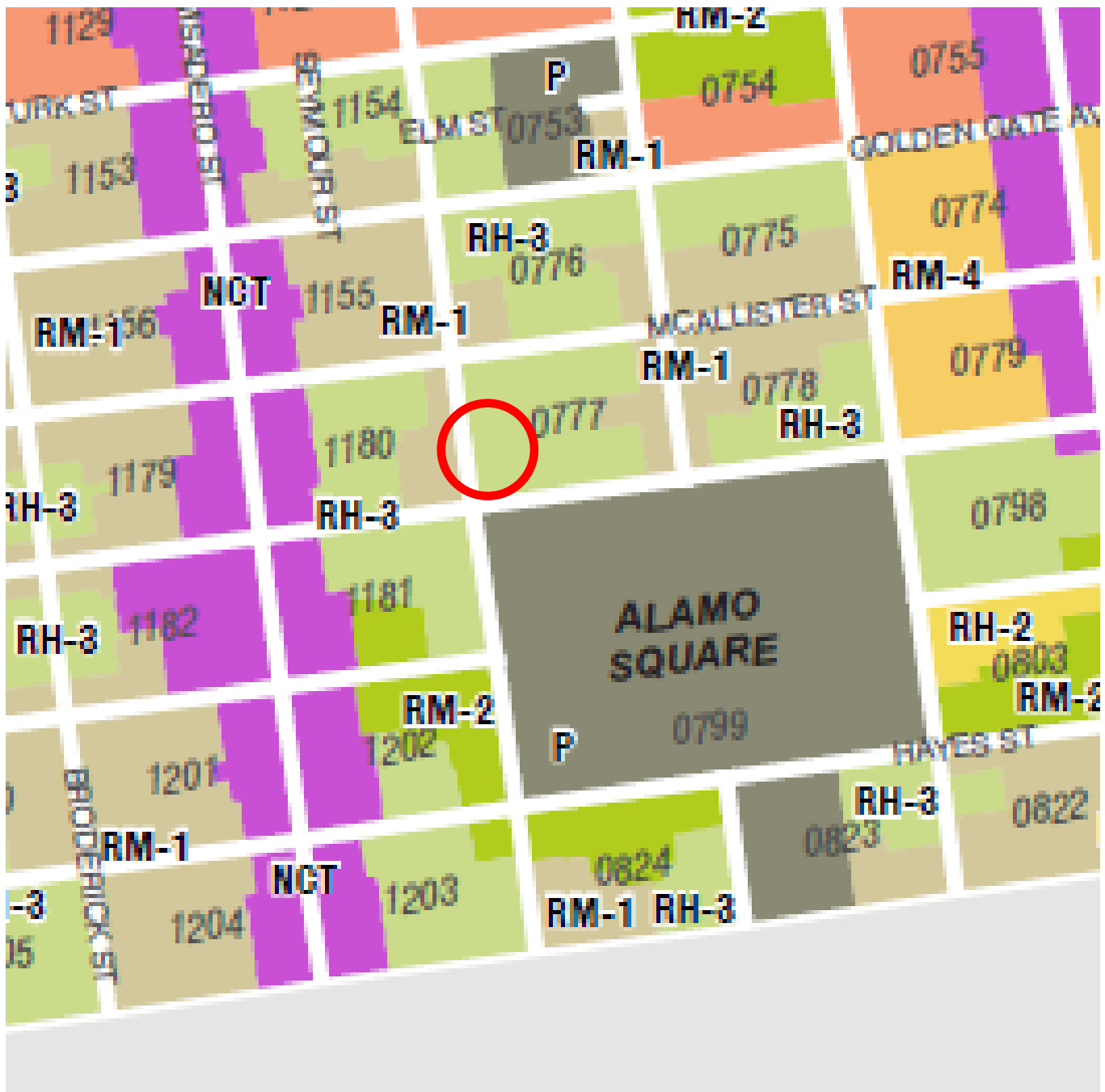


SUBJECT PROPERTY



Certificate of Appropriateness
Case Number 2019-013740COA
812 Scott Street

Zoning Map



Certificate of Appropriateness
Case Number 2019-013740COA
812 Scott Street

Site Photo #1

Front Elevation



Certificate of Appropriateness
Case Number 2019-013740COA
812 Scott Street

Site Photo #1

Front Elevation



Certificate of Appropriateness
Case Number 2019-013740COA
812 Scott Street

Site Photo #2

Rear Elevation



Certificate of Appropriateness
Case Number 2019-013740COA
812 Scott Street



Photo Survey - Exterior

2019 - 12 - 19

812 SCOTT STREET IMAGES

MAIL 921 Larkin Street, San Francisco, CA 94109 TEL 415 241 7160 FAX 415 241 7164 WWW studio-bba.com **STUDIO BBA**





EXISTING FRONT
WINDOWS

EXISTING GUARD HOUSE



GUARD HOUSE



EXISTING BRICK STAIR

WALKWAY TO BREEZEWAY ON NORTH SIDE OF PROPERTY

ENTRY TO STORAGE ROOM



REAR FACADE



VIEW FROM REAR
BALCONY INTO
REAR YARD



BREEZEWAY ON
FIRST FLOOR -
LOOKING WEST



Photo Survey - Rear Exterior

2019 - 12 - 19

812 SCOTT STREET IMAGES

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Living Room



Living Room



Dining Room



Kitchen



Front Bedroom



Jack and Jill Bathroom



Master Bedroom



Kitchen



Family Room



Kitchen



Kitchen



Living Room



Bedroom



Exterior Hallway



Panic Room



Storage Room