



CERTIFICATE OF APPROPRIATENESS EXECUTIVE SUMMARY

HEARING DATE: December 16, 2020

Record No.: 2019-013740COA
Project Address: 812 SCOTT ST
Landmark: Contributor, Alamo Square Landmark District
Zoning: RH-3 RESIDENTIAL- HOUSE, THREE FAMILY Zoning District
40-X Height and Bulk District
Block/Lot: 0777/016
Project Sponsor: Bonnie Bridges
Studio BBA
921 Larkin Street
San Francisco, CA 94109
Staff Contact: Michelle A. Taylor - 628-652-7352
Michelle.Taylor@sfgov.org

Recommendation: Approval

Property Description

812 SCOTT ST is located on the east side of Scott Street between Fulton Street and McAllister Street (Assessor's Block 0777; Lot 016). The subject building is a contributor to the Alamo Square Landmark District, locally designated under Article 10, Appendix E of the Planning Code.

The Stick style, 2-story, two-family residence was built in 1888 by J. Gash. The wood-framed building has prominently centered upper bay capped with a steep front-facing gable. The building features horizontal wood siding and modest Stick detailing. The ground floor is largely obscured by a tall security wall with roll-up garage door at the front property line.

Project Description

The project includes interior remodeling of both residential units will include converting unoccupied space into habitable space, seismic strengthening, and new skylights. Other work will include a rear horizontal addition and new deck to match the footprint of the existing building and deck along with new openings. Additional alterations include new select openings at the front portion of the ground floor unit, replacement windows at front elevation, and raising the building approximately 15-inches to accommodate additional head-height in the ground floor unit. Work also includes replacement of existing brick entry stairs with bull-nosed wood stairs and repair or patching or wood siding in kind. Please see photographs and plans for details.

Compliance With Planning Code

PLANNING CODE DEVELOPMENT STANDARDS.

The proposed project requires a rear yard Variance (Planning Code Section 134). The existing building encroaches into the required rear yard by approximately 13-feet, 11-inches. The proposed horizontal addition at the first floor and deck at the second floor will match the existing encroachment; therefore, a Variance is required. All required applications are on file with the Planning Department.

In order to proceed, a building permit from the Department of Building Inspection is required.

APPLICABLE PRESERVATION STANDARDS.

The proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 1006.6 of the Planning Code, and complies with the *Secretary of the Interior's Standards for Rehabilitation*, in that:

- the proposal respects the character-defining features of the subject building;
- the architectural character of the subject building will be maintained and that replacement elements will not affect the building's overall appearance;
- the integrity of distinctive stylistic features and examples of skilled craftsmanship that characterize the building shall be preserved; and,
- all new materials shall match the historic material in composition, design, color, texture, finish, and other visual qualities and shall be based on accurate duplication of features.
- the non-historic brick stairs will be replaced with new period-appropriate wood bull-nosed stairs;
- all front facing windows will feature wood-frame, double-hung windows appropriate to the age, style, and era of the building;
- the rear addition and deck, which will match the footprint of the existing building and deck, will not be visible from any public right of way.

The Department has determined that the proposed work will be in conformance with the requirements of Article 10 and the *Secretary of Interior's Standards for Rehabilitation*. Proposed work will not damage or destroy distinguishing original qualities or character of the subject building. The overall proposal includes minimally invasive select new openings at the ground floor, the use of appropriate replacement windows and stairs, and raising the building in a manner that is sensitive to the form, massing and style of the building. The Department finds that the historic character of the building will be retained and preserved and will not result in the removal of historic fabric.

Public/Neighborhood Input

The Department has received one public inquiry for general information about the proposed project.

Issues & Other Considerations

The proposed project requires a rear yard Variance (Planning Code Section 134). The existing building encroaches into the required rear yard by approximately 13-feet, 11-inches. The proposed horizontal addition at the first floor and deck at the second floor will match the existing encroachment; therefore, a Variance is required. All required applications are on file with the Planning Department.

Environmental Review Status

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

Basis for Recommendation

The Department recommends approval of the proposed project as it meets the provisions of Article 10 of the Planning Code regarding Major Alteration to a contributing resource in a Landmark District and the *Secretary of the Interior Standards for Rehabilitation*.

Attachments

Draft Motion – Certificate of Appropriateness
Exhibit A – Plans and Renderings
Exhibit B – Environmental Determination
Exhibit C – Maps and Context Photos



CERTIFICATE OF APPROPRIATENESS DRAFT MOTION

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR MAJOR ALTERATIONS DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10 OF THE SAN FRANCISCO PLANNING CODE, AND TO MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 016 IN ASSESSOR'S BLOCK 0777 IN A RH-3 RESIDENTIAL- HOUSE, THREE FAMILY ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

Preamble

On July 10, 2019, Bonnie Bridges of Studio BBA (hereinafter "Project Sponsor") filed Application No. 2019-013740COA (hereinafter "Application") with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness for rehabilitation of the subject building located on Lot 016 in Assessor's Block 0777, which is a contributing resource to Alamo Square Landmark District and locally designated under Article 10, Appendix E of the Planning Code.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

On December 16, 2020, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Certificate of Appropriateness Application No. 2019-013740COA.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2019-013740COA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby **APPROVES** the Certificate of Appropriateness, as requested in Application No. 2019-013740COA in conformance with the architectural plans dated December 7, 2020 and labeled Exhibit A based on the following findings:

Findings

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. **The above recitals are accurate and also constitute findings of the Commission.**
2. **Project Description.** The project includes interior remodeling of both residential units will include converting unoccupied space into habitable space, seismic strengthening, and new skylights. Other work will include a rear horizontal addition and new deck to match the footprint of the existing building and deck. Additional alterations include replacing a non-character defining ground floor door with a pair of double-hung, wood windows; a new ground floor entry will be located on the north side of the building. The scope of work includes replacement in kind of front facing wood-sash windows, replacement of existing brick entry stairs with bull-nosed wood stairs, and repair or patching or wood siding in kind. Raising the building approximately 15-inches will accommodate additional head-height in the ground floor unit. Please see photographs and plans for details.
3. **Property Description.** 812 SCOTT ST is located on the east side of Scott Street between Fulton Street and McAllister Street (Assessor's Block 0777; Lot 016). The subject building is a contributor to the Alamo Square Landmark District, locally designated under Article 10, Appendix E of the Planning Code. The Stick style cottage, 2-story, two-family residence was built in 1888 by J. Gash. The wood-framed building has prominently centered upper bay capped with a steep front-facing gable. The building features horizontal wood siding and modest Stick detailing. The ground floor is largely obscured from the street by a tall security wall with roll-up garage door at the front property line.
4. **Surrounding Properties and Neighborhood.**
The subject corner property is one house north of the Fulton and Scott Street intersection. Although a contributor to the District, the subject building is more modest in scale and detailing than many of its neighbors.

812 Scott Street is directly north of the rear property line and garage of 1198 Fulton Street, or Westerfeld House, a distinctive Stick style mansion (built 1889) and an Article 10 Landmark (No. 135). The rear property lines of several two and three-story residential buildings abut the south (side) elevation of the subject property. To the north of the subject property is 814 Scott Street, a two-story over garage, two-unit residential building constructed in 1888 in the Stick style. The surrounding area is unified in residential character, relatively small scale, construction type, materials, and ornamentation.

5. **Public Outreach and Comments.** The Department has not received public correspondence from individuals expressing opposition to the project or individuals expressing support of the project. The Department has received one public inquiry for general information about the proposed project.
6. **Planning Code Compliance.** The Commission has determined that the proposed work is compatible with the exterior character-defining features of the subject property and meets the requirements of Article 10 of the Planning Code in the following manner:

- A. **Article 10 of the Planning Code.** Pursuant to Section 1006.6 of the Planning Code, the proposed alteration shall be consistent with and appropriate for the effectuation of the purposes of this Article 10.

The proposed project is consistent with Article 10 of the Planning Code.

- B. **Secretary of the Interior's Standards.** Pursuant to Section 1006.6(b) of the Planning Code, the proposed work shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties for significant and contributory buildings, as well as any applicable guidelines, local interpretations, bulletins, or other policies. Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

- (1) **Standard 1:** A [property](#) shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The proposal will retain the existing two-family use.

- (2) **Standard 2:** The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposal intends to modify the building in a manner that will retain and preserve features, forms, and finishes that characterize the building. The proposal includes replacement of a non-character defining door with appropriate wood-sash windows, a new compatible entry door on the side of the building, and raising the building 15 inches in order to accommodate more habitable space for the existing ground floor unit. Non-character defining brick stairs will be replaced with period-appropriate wood stairs. Additionally, repairs and patching of siding will match existing. The rear of the building, which is not visible from the public right of way, is highly altered. Therefore,

proposed alteration of the rear elevation will not remove historic materials or elements. The proposed changes will not irreversibly alter features that characterize the building.

- (3) **Standard 3:** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.

The proposal includes the use of materials and details that are compatible without providing a false sense of historical development. To differentiate new ground floor windows from the upstairs original openings, new double-hung wood-sash windows will match the original windows in dimensions and materials but will not include integral ogee lugs. Additionally, the period-appropriate new wood bull-nose stairs will not introduce ornamental features such as embellished newel posts or railings.

- (4) **Standard 4:** Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Not applicable.

- (5) **Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property shall be preserved.

The distinctive features and finishes of the building will be retained and preserved, including the overall form and massing of the building, along with horizontal wood siding, fish scale siding, and stick detailing.

- (6) **Standard 6:** Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Replacement windows at the front of the building will match the old in design, dimensions, materials, and style.

- (7) **Standard 7:** Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Not applicable.

- (8) **Standard 8:** Significant **archeological resources** affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Not Applicable.

- (9) **Standard 9:** New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the [property](#). The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the [property](#) and its environment.

The proposed work will not destroy historic materials or features that characterize the building. New front facing windows, ground floor entry door, and entry stairs will be compatible with the existing character-defining features of the building and landmark district. Additionally, raising the building 15" will accommodate additional head height in the ground floor unit, but will not significantly alter the form or architectural features of the historic building. Alterations and new fenestration at the rear of the building will not remove original materials and will not be visible from the public right of way. Furthermore, the new rear addition and deck will retain the footprint of the existing building. The proposed work will not affect the essential form and integrity of the landmark district.

- (10) **Standard 10:** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic [property](#) and its environment would be unimpaired.

The proposed work will not affect the essential form and integrity of the landmark district. The proposed scope of work, including window replacement, ground floor modifications, and rear addition, were designed to be compatible with the building and landmark district. Additionally, alterations and new fenestration at the rear of the building will not remove original materials and will not be visible from the public right of way. The new rear addition and deck will retain the footprint of the existing building and if removed in the future would not negatively affect architectural features that characterize the building.

- C. **Historic District.** Article 10 of the Planning Code outlines specific findings for the Commission to consider when evaluating applications for alterations to Landmarks or within designated Historic Districts.

Historic Districts

1. Pursuant to Section 1006.6(d) of the Planning Code, for applications pertaining to property in historic districts, other than on a designated landmark site, any new construction, addition or exterior change shall be compatible with the character of the historic district as described in the designating ordinance; and, in any exterior change, reasonable efforts shall be made to preserve, enhance or restore, and not to damage or destroy, the exterior architectural features of the subject property which are compatible with the character of the historic district.

The project is in conformance with Article 10, and as outlined in Appendix A, as the work shall not adversely affect the Landmark site.

2. Pursuant to Section 1006.6(e) of the Planning Code, for applications pertaining to all property in historic districts, the proposed work shall also conform to such further standards as may be embodied in the ordinance designating the historic district.

The project is in conformance with Article 10, and as outlined in Appendix E as the work is compatible with the Landmark district.

7. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT concerns the physical character and order of the city, and the relationship between people and their environment.

OBJECTIVE **1:**
EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.3
Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE **2:**
CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.4
Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

Policy 2.5
Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

Policy 2.7
Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject property for the future enjoyment and education of San Francisco residents and visitors.

8. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have an impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will preserve the City's supply of affordable housing by retaining the existing two residential units.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking. It will provide sufficient off-street parking for the proposed units.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project maintains the existing residential use and will not have a direct impact on the displacement of industrial and service sectors.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

All construction will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

9. For these reasons, the proposal overall, appears to meet the Secretary of the Interior's Standards and the provisions of Article 10 of the Planning Code regarding Major Alterations.

Decision

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES a Certificate of Appropriateness** for the subject property located at Lot **016** in Assessor's Block **0777** for proposed work in conformance with the architectural submittal dated November 21, 2012 and labeled Exhibit B on file in the docket for Record No. **2019-013740COA**.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days after the date of this Motion No. XXXXXX. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 49 South Van Ness Ave, Suite 1475 or call (628) 652-1150.

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on December 16, 2020.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

RECUSE:

ADOPTED: December 16, 2020

Appendix A:

Plans and

Renderings

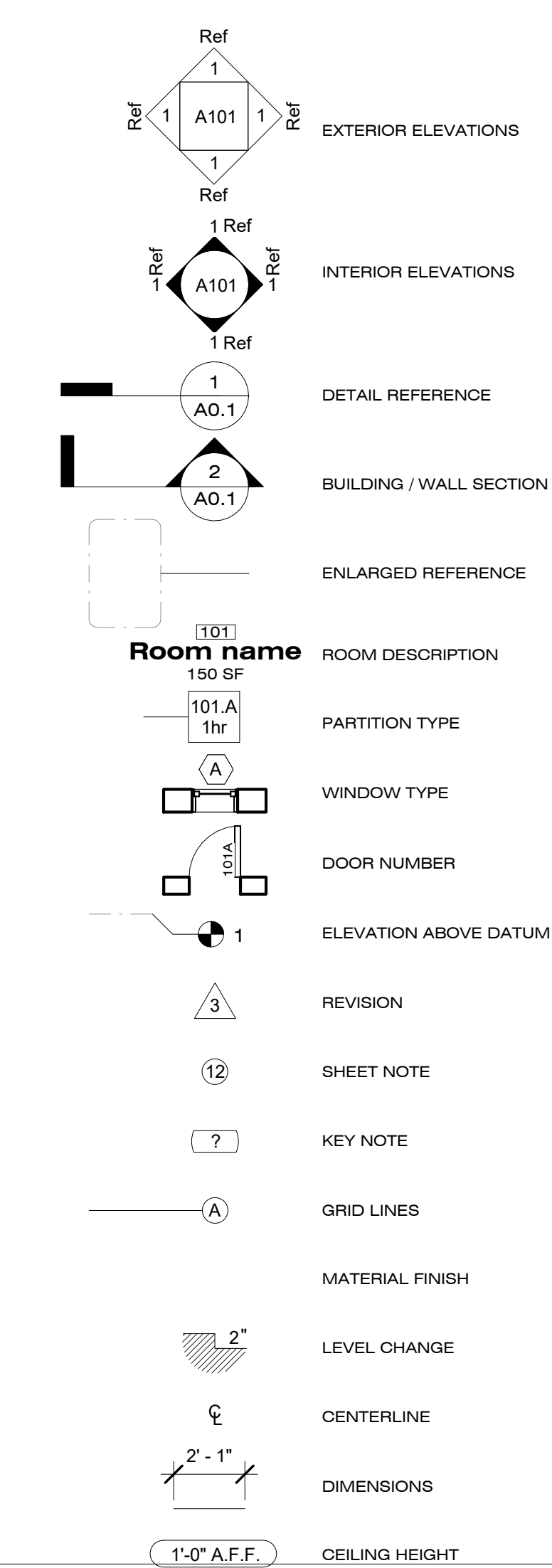
GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF LOCAL BUILDING CODES, ZONING CODES, THE NATIONAL ELEC. CODE, N.E.P.A., & ALL OTHER APPLICABLE CODES, RULES, & REGULATION IN THEIR LATEST ADOPTED EDITION. THE CONTRACTOR IS RESPONSIBLE TO ENFORCE THESE REQ'S WITH ALL SUBCONTRACTORS.
2. THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE PROJECT AS IT RELATES TO PLANS, SPECIFICATIONS & ALL SCOPE OF WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPORT TO THE ARCHITECT ANY ERRORS, OMISSIONS OR DISCREPANCIES THAT MAY AFFECT THE WORK. THE ARCHITECT WILL PROVIDE APPROPRIATE CLARIFICATIONS AS NECESSARY. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE, IF INCORRECTLY PERFORMED, REPLACED OR REPAIRED AT THE CONTRACTOR'S EXPENSE AS DIRECTED BY THE ARCHITECT.
3. DETAILS ARE KEYED ONCE ON THE PLANS OR ELEVATIONS, & ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT.
4. ALL WORK SHALL BE PROPERLY PROTECTED AT ALL TIMES. THE CONTRACTOR OR SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER THE WORK. THE CONTRACTOR SHALL REPAIR AT OWN COST ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION.
5. ALL PERMITS, INSPECTIONS, APPROVALS, ETC. SHALL BE APPLIED FOR & PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF INSPECTIONS & APPROVALS OF THE WORK.
6. BEFORE COMMENCING WITH ANY WORK, THE CONTRACTOR SHALL SEND THE OWNER CURRENT INSURANCE CERTIFICATES IN THE AMOUNT REQUESTED BY THE OWNER FOR WORKMAN'S COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY & PROPERTY DAMAGE.
7. ALL SUBCONTRACTORS SHALL SUBMIT SHOP DWGS TO THE CONTRACTOR FOR APPROVAL. THE CONTRACTOR SHALL SUBMIT ANY MATERIAL SUBSTITUTIONS TO THE ARCHITECT FOR REVIEW & APPROVAL PRIOR TO START OF CONSTRUCTION.
8. ALL THERMAL & ACOUSTIC INSULATION SHALL COMPLY WITH THE 2015 UNIFORM BUILDING CODE.
9. THE ARCHITECT SHALL HAVE ACCESS TO THE PROJECT AT ALL TIMES. ANY INFERIOR MATERIAL OR WORKMANSHIP SHALL BE REMOVED AS DIRECTED BY THE ARCHITECT, & RECONSTRUCTED TO MEET THE ARCHITECT'S APPROVAL.
10. A COPY OF THE AGENCY APPROVED CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOB SITE AT ALL TIMES FOR REVIEW BY THE ARCHITECT.
11. THE CONTRACTOR SHALL GUARANTEE IN WRITING ALL LABOR, MATERIAL, & WORKMANSHIP INSTALLED BY HIM FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR AFTER DATE OF ACCEPTANCE OF THE WORK BY THE OWNER. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO COST TO THE OWNER.
12. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CLEAN & ORDERLY WORK AREA AT ALL TIMES & PROMPTLY CLEAN UNKEMPT AREAS WHEN DIRECTED BY THE OWNER OR THE ARCHITECT.
13. ALL FURNITURE IS SHOWN FOR REFERENCE ONLY, U.N.O.
14. COORDINATE THE TRADES, CRAFTS, & SUBCONTRACTS AS REQUIRED TO PROVIDE CORRECT & ACCURATE CONNECTION OF ABUTTING, ADJOINING, OVERLAPPING & RELATED WORK. PROVIDE ANCHORS, FASTENERS, BLOCKING, ACCESSORIES, APPURTENANCES, CAULKING & SEALING & INCIDENTAL ITEMS AS REQUIRED TO COMPLETE THE WORK PROPERLY, FULLY, & CORRECTLY IN ACCORDANCE WITH CONTRACT DOCUMENTS.
15. THE CONTRACTOR SHALL BE IN CHARGE OF THIS CONTRACT WITHIN THE LIMITS OF THE SITE & ACCESS TO & FROM THE SITE. THE CONTRACTOR SHALL DIRECT, SCHEDULE & MONITOR THE WORK. FINAL RESPONSIBILITY FOR PERFORMANCE, INTERFERENCE & COMPLETION OF THE WORK & THE PROJECT SHALL BE THE CONTRACTORS.
16. ALL MATERIALS & FINISHES USED ON THE PROJECT SHALL BE NEW & FREE OF DEFECTS OR DAMAGE, U.N.O.
17. ITEMS OF EQUIPMENT, FIXTURES, SIZE, CAPACITY, MODEL, STYLE & MATERIALS NOT DEFINITELY SPECIFIED HEREIN OR INDICATED ON THE DRAWINGS, BUT NECESSARY FOR THE COMPLETION OF THE WORK, SHALL BE PROVIDED. SUCH ITEMS SHALL MEET APPLICABLE CODE REQUIREMENTS & BE THE TYPE & QUALITY SUITABLE FOR THE SERVICE REQUIRED & COMPARABLE TO ADJACENT OR SIMILAR ITEMS IN THE PROJECT. WHERE THESE & VISIBLE IN THE FINAL WORK, OBTAIN ARCHITECTS APPROVAL BEFORE PROCEEDING WITH THE WORK.
18. DIMENSIONING STANDARDS:
 - HORIZONTAL DIMENSIONS ARE SHOWN FROM FACE OF WALL & DO NOT INCLUDE FINISH MATERIALS, U.N.O.
 - DIMENSIONS NOTED AS CLEAR OR 'CLR' MUST BE PRECISELY MAINTAINED & SHALL INCLUDE APPLIED FINISH MATERIALS.
 - DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ACCEPTANCE BY THE ARCHITECT, UNLESS NOTED AS +/-.
 - VERTICAL DIMS. ARE FROM THE TOP OF THE FINISHED FLOOR SLAB DATUM LINE, ESTABLISHED BY CONTRACTOR SUBJECT TO ACCEPTANCE OF THE OWNER & ARCHITECT, U.N.O.
 - DIMENSIONS MARKED AS 'A.F.F.' ARE ABOVE FINISHED FLOOR MATERIALS. IN CARPETED AREAS, THE TOP OF SLAB IS CONSIDERED TO BE THE FINISHED FLOOR.
 - DO NOT SCALE DRAWINGS, IF DIMENSIONS, LAYOUT, OR ITEMS OF WORK CANNOT BE LOCATED, DO NOT PROCEED WITH WORK WITHOUT THE CLARIFICATION & CONSENT OF THE ARCHITECT.
23. THE CONTRACTOR IS RESPONSIBLE FOR COOPERATING & COORDINATING WITH OTHERS AS IT EFFECTS THE PROJECT.
24. DRAWINGS & SPECIFICATIONS ARE INTENDED FOR ASSISTANCE & GUIDANCE, BUT EXACT DIMENSIONS & CLEARANCES SHALL BE VERIFIED BY THE CONTRACTOR. CHECK LEVELS & LINES INDICATED BEFORE COMMENCING WORK. THE ARCHITECT SHOULD BE NOTIFIED OF ANY DISCREPANCIES FOR ADJUSTMENTS, CORRECTIONS OR CLARIFICATIONS.
25. INSTALL WORK PLUMB, LEVEL, SQUARE, TRUE & IN PROPER ALIGNMENT. PERFORM ALL THE WORK IN A WORKMANLIKE & WELL MANNER.
26. DO NOT SUBSTITUTE, REVISE, OR CHANGE THE WORK WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
27. THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING FOR ALL WALL & CEILING MOUNTED ACCESSORIES & HARDWARE.
28. THE CONTRACTOR SHALL PROVIDE SUBMITTALS FOR LIGHTING, PLUMBING, TILE, & STONE TO THE ARCHITECT FOR REVIEW & APPROVAL.

ABBREVIATIONS

- # - NUMBER OR POUND
& - AND
(E) - EXISTING
@ - AT
+/- - PLUS OR MINUS
> - GREATER THAN
ABV - ABOVE
AC - ASPHALTED CONC
ACT - ACOUSTICAL CLG TILE
AD - AREA DRAIN
ADD - ADDENDUM
ADDL - ADDITIONAL
ADJ - ADJUSTABLE
ADJ - ADJACENT
ADMIN - ADMINISTRATION
AFF - ABOVE FINISH FLOOR
ALT - ALTERNATE
ALUM - ALUMINUM
AMEND - AMENDMENT
AP - ACCESS PANEL
APROX - APPROXIMATE
ARCH - ARCHITECT
AUTO - AUTOMATIC
BFE - BOTTOM FTG ELEV
BIT - BITUMINOUS
BLDG - BUILDING
BLKG - BLOCKING
BLW - BELOW
BM - BEAM
BO - BY OWNER
BOT - BOTTOM
BSMT - BASEMENT
BTWN - BETWEEN
CAB - CABINET
CANTL - CANTILEVER
CCTV - CLOSED CIRCUIT TV
CJT - CONTROL JOINT
CL - CENTER LINE
CLG - CEILING
CLR - CLEAR
CO - CASED OPENING
COL - COLUMN
CONC - CONCRETE
CONF - CONFERENCE
CONST - CONSTRUCTION
CONT - CONTINUOUS
CONTR - CONTRACT/OR
COORD - COORDINATE
CPT - CARPET
CT - CERAMIC TILE
CTR - CENTER
CTSK - COUNTERSUNK/SINK
CW - COLD WATER
D - DEPTH OR DEEP
DEG - DEGREE(S)
DEMO - DEMOLITION
DEPT - DEPARTMENT
DR - DRINKING FOUNTAIN
DIA - DIAMETER
DIAG - DIAGONAL
DIM - DIMENSION
DIST - DISTRIBUTION
DN - DOWN
DR - DOOR
DS - DOWNSPOUT
DW - DISHWASHER
DWG - DRAWING
EA - EACH
EJ - EXPANSION JOINT
ELEC - ELECTRICAL
ELEV - ELEVATION
EM - ELECTRIC METER
EMERG - EMERGENCY
EQ - EQUAL
EQUIP - EQUIPMENT
EXT - EXTERIOR
FA - FIRE ALARM
FD - FLOOR DRAIN
FDN - FOUNDATION
FE - FIRE EXTINGUISHER
FH - FIRE HOSE
FIN - FINISH
FIXT - FIXTURE
FL - FLOOR
FLASH - FLASHING
FRMG - FRAMING
FRN - FURNACE
FT - FOOT/FEET
FTG - FOOTING
FURN - FURNITURE
FURN - FURNING
GA - GAUGE
GAL - GALLONS
GALV - GALVANIZED
GB - GRAB BAR
GEN - GENERAL
GL - GLASS
GM - GAS METER
GWB - GYPSUM WALLBOARD
H - HIGH
HB - HOSE BIB
HC - HOLLOW CORE
HDR - HEADER
HDW - HARDWARE
HM - HOLLOW METAL
HORIZ - HORIZONTAL
HR - HANDRAIL
HT - HEIGHT
HTR - HEATER
HVAC - HEATING/VENTILATING
HW - HOT WATER
- HWD - HARDWOOD
ID - INSIDE DIAMETER
IN - INCH
INSUL - INSULATION
INT - INTERIOR
ISO - ISOLATION
JAN - JANITOR
JB - JUNCTION BOX
JST - JOIST
JT - JOINT
LAV - LAVATORY
LBS - POUNDS (WEIGHT)
LIN - LINEAR
LOC - LOCATION OR LOCATE
LT - LIGHT
LTG - LIGHTING
MAN - MANUAL
MATL - MATERIAL
MAX - MAXIMUM
MECH - MECHANICAL
MEMB - MEMBRANE
MEZZ - MEZZANINE
MFR - MANUFACTURER
MIN - MINIMUM
MIR - MIRROR
MISC - MISCELLANEOUS
MONO - MONOLITHIC
MTD - MOUNTED
MTL - METAL
MULL - MULLION
NA - NOT APPLICABLE
NIC - NOT IN CONTRACT
NO - NUMBER
NOM - NOMINAL
NRC - NOISE REDUCTION COEF.
NT - NOTE
NTS - NOT TO SCALE
OC - ON CENTER
OD - OUTSIDE DIAMETER
OH - OVERHEAD
OPP - OPPOSITE
PART - PARTITION
PED - PEDESTAL
PL - PROPERTY LINE
PLAM - PLASTIC LAMINATE
PLT - PLATE
PLWD - PLYWOOD
PRELIM - PRELIMINARY
PRESS - PRESSURE
PT - PAINT
PVC - POLYVINYL CHLORIDE
R - RADIUS
REC - RECESSED
REF - REFERENCE
REFR - REFRIGERATOR
REINF - REINFORCE/ - ED/ - ING
REM - REMOVE
REQD - REQUIRED
RET - RETAINING
REV - REVISE/ REVISION
RH - RATCH
RM - ROOM
RO - ROUGH OPENING
RS - RISER
RWL - RAIN WATER LEADER
SCHED - SCHEDULE
SD - SHOWER DRAIN
SECT - SECTION
SF - SQUARE FOOT
SHT - SHEET
SHTG - SHEATHING
SHWR - SHOWER
SIM - SIMILAR
SLNT - SEALANT
SPECO - SPECIFICATIONS
SQ - SQUARE
SS - STAINLESS STEEL
ST - STREET
STC - SOUND TRANSMISSION
STD - STANDARD
STL - STEEL
STN - STONE
STOR - STORAGE
STRUCT - STRUCTURAL
SUPV - SUPERVISOR
SUSP - SUSPENDED
SW - SWITCH
SWD - SOFTWOOD
SKYLT - SKYLIGHT
SYM - SYMMETRICAL
TAN - TANGENT
TEL - TELEPHONE
TEMP - TEMPERATURE
TG - TONGUE & GROOVE
THRES - THRESHOLD
TR - TREAD
TRANS - TRANSFORMER
TV - TELEVISION
TYP - TYPICAL
UNO - UNLESS NOTED OTHERWISE
UTIL - UTILITY
VENT - VENTILATION
VERT - VERTICAL
VEST - VESTIBULE
W - WIDTH/WIDE
WI - WROUGHT IRON
W/ - WITH
W/O - WITHOUT
WC - WATER CLOSET
WD - WOOD
WH - WATER HEATER
WIN - WINDOW
WT - WEIGHT
YD - YARD

SHEET SYMBOLS



12/7/2020 12:06:20 PM

CODE REVIEW

CHPT 5 - GENERAL HEIGHTS AND AREAS
TABLE 504 (FOR THE PURPOSE OF CALCULATING THE ALLOWABLE HEIGHT AND NUMBER OF STORIES).
R-3, CONSTRUCTION TYPE V-B, ALLOWED 3 STORIES, UNLIMITED AREA

CHPT 10 - EGRESS
1004.1 OCCUPANT LOAD
• RESIDENTIAL (200 GROSS)
1009.2 STAIRWAYS
• STAIRWAYS SERVING AN INDIVIDUAL UNIT ARE NOT REQUIRED TO BE ENCLOSED
1014.3 COMMON PATH OF EGRESS, FOOTNOTE E
• DOES NOT APPLY TO R-3 UNLESS IT IS IN A MIXED OCC. BLDG.
1006.2.1 EXIT AND EXIT ACCESS DOORWAYS, EXCEPTION 1 SPACES WITH 1 EXIT
• 1 EXIT OK WITH MAX 20 OCC. FOR R-3 W/ SPRINKLERS AND COMMON PATH OF EGRESS TRAVEL DOES NOT EXCEED 125 FEET.
1017.2 EXIT ACCESS TRAVEL
• 200' MAX W/O SPRINKLERS
1020.1 CORRIDORS
• FIRE RATING NOT REQ'D OF CORRIDORS CONTAINED WITHIN AN INDIVIDUAL GROUP R DWELLING UNIT
1030.1 EMERGENCY ESCAPE AND RESCUE
• SLEEPING ROOMS BELOW THE 4TH FLOOR ARE REQ'D TO HAVE AT LEAST 1 EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING
• MIN. NET CLEAR OPENING 5.7SF, 24" H. MIN., 20" W. MIN.

PROJECT DATA

812 SCOTT STREET				
DATA	EXISTING	PROPOSED		
CONSTR. TYPE	V-N	V-N		
OCCUPANCY	R-3	R-3		
BLDG HEIGHT	33'-9"	35'-1 1/2"		
NO. OF STORIES	2	2		
SPRINKLERS	NO	NO		
NO. OF UNITS	2	2		
SEISMIC UPGRADE	-	YES		

UNIT 1				
AREAS (GSF)	EXISTING	REMODEL	NEW	
SECOND FLOOR	1,480 SF	-	30 SF	1,510 SF
UNCONDITIONED - DECK	142 SF	30 SF	0 SF	112 SF
TOTAL	1,622 SF	30 SF	30 SF	1,622 SF

HAB. AREAS (GSF)	(E) HAB.	(E) NON HAB.	(N) HAB.	(N) NON HAB.
SECOND FLOOR	1,153 SF	327 SF	1,050 SF	460 SF

UNIT 2				
AREAS (GSF)	EXISTING	REMODEL	NEW	
FIRST FLOOR	773 SF	-	95 SF	1,654 SF
UNCONDITIONED - BRZVY + STOR./MECH.	786 SF	786 SF	-	0 SF
TOTAL	1,559 SF	786 SF	95 SF	1,654 SF

HAB. AREAS (GSF)	(E) HAB.	(E) NON HAB.	(N) HAB.	(N) NON HAB.
FIRST FLOOR	617 SF	156 SF	760 SF	894 SF

	EXISTING	PROPOSED
TOTAL (GSF)	3,148 SF	3,244 SF

HABITABLE SPACE PER CBC CHAPTER 2 - A SPACE IN A BUILDING FOR LIVING, SLEEPING, EATING, OR COOKING. BATHROOMS, TOILET ROOMS, CLOSETS, HALLS, STORAGE, OR UTILITY SPACES AND SIMILAR AREAS ARE NOT CONSIDERED HABITABLE SPACE.

OCCUPANCY

NO. EXITS REQ.: 1 UP TO OCC. 10
OCC. LOAD R: 1/200
TOTAL UNIT 1 HAB. SF: 1,050 SF
OCC. LOAD: 1,050 / 200 = 6
NO. EXITS: 1
TOTAL UNIT 2 HAB. SF: 760 SF
OCC. LOAD: 760 / 200 = 4
NO. EXITS: 1

EXIT ACCESS

.....➔	COMMON PATH OF EGRESS TRAVEL
——➔	VERTICAL EGRESS TRAVEL
— · · —➔	DISTANCE TO PUBLIC RIGHT OF WAY
➔	EXIT DOOR
➤	BEDROOM ESCAPE WINDOW

EXIT ACCESS TRAVEL DISTANCE (200'-0" MAX. WHEN NOT SPRINKLERED) PER TABLE 1017.1 FOR SINGLE EXIT

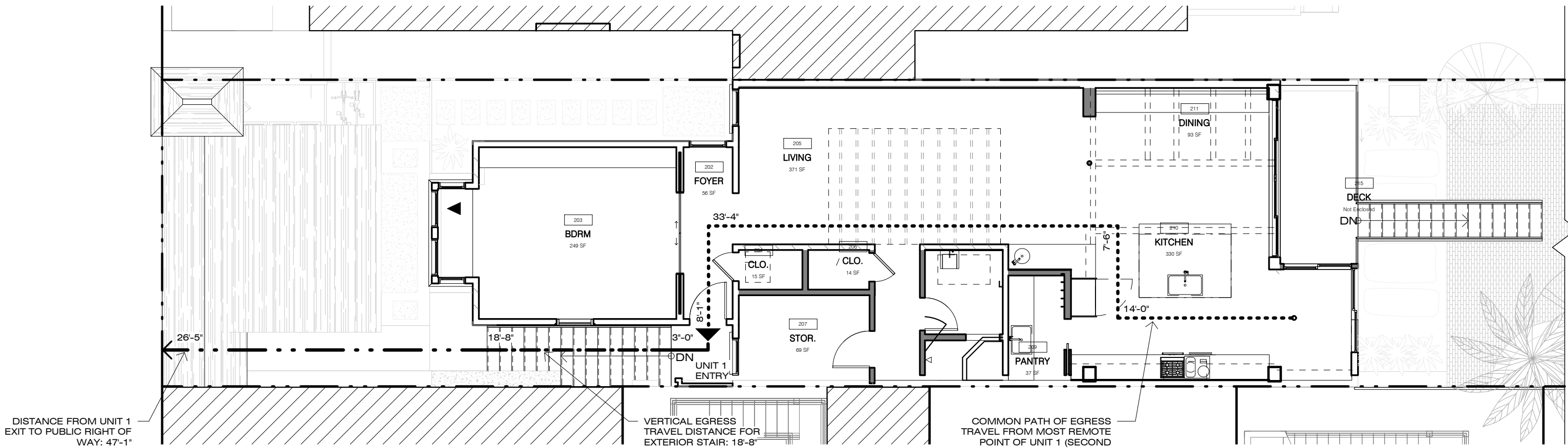
FLOOR	DISTANCE
FIRST FLOOR	65'-10"
SECOND FLOOR	62'-11"
TOTAL	130'-9"

VERTICAL EGRESS TRAVEL (50 FEET MAX.)

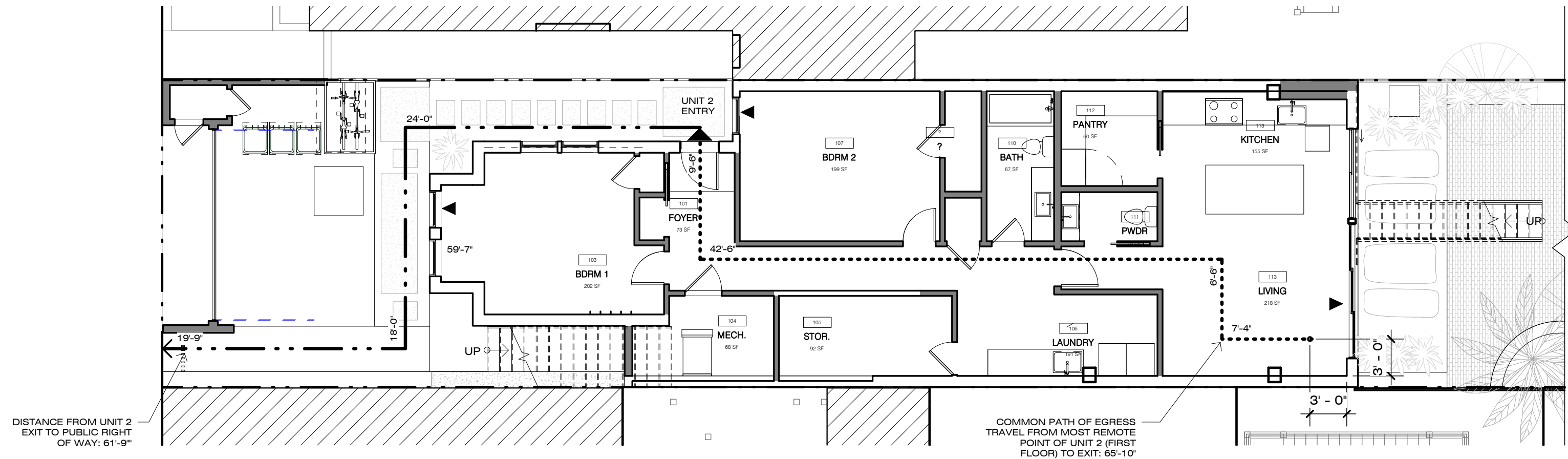
FLOOR	DISTANCE
FIRST FLOOR	-
SECOND FLOOR	18'-8"

TOTAL DISTANCE FROM MOST REMOTE POINT TO PUBLIC RIGHT OF WAY

FLOOR	DISTANCE
FIRST FLOOR	112'-0"
SECOND FLOOR	125'-7"



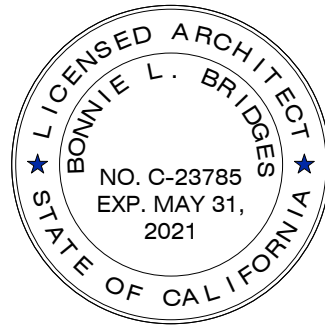
2 SECOND FLOOR PLAN - PROPOSED EGRESS - UNIT 1
1/8" = 1'-0"



1 FIRST FLOOR PLAN - PROPOSED EGRESS - UNIT 2
1/8" = 1'-0"

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2020-12-07 HPC / ZA
2020-08-11 PERMIT APPLICATION R4
2020-06-02 PERMIT APPLICATION R3
2020-01-30 PERMIT APPLICATION R2
2019-12-20 PERMIT APPLICATION R1
2019-07-02 PERMIT APPLICATION
2019-05-01 PRE APP MEETING

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PROJECT SCOTT FULTON
812 SCOTT STREET
SAN FRANCISCO, CA 94117
NUMBER 201833
CONTACT LeAnna Burgin
OWNER Scott Fulton, LLC
APN 1260/038A

EGRESS AND CODE REVIEW

Ao.1

SEC. 317

WALL DEMOLITION CALCULATION (LINEAR FOOT MEASUREMENT) SEC. 317(b)(2)(B)					
ELEMENT	(E) LENGTH (LF)	WALL REMOVED (LF) <small>(MEASURED AT FOUNDATION LEVEL)</small>	% REMOVED	MAX. PERMITTED	MEET CODE?
EAST FAÇADE	30'-9"	20'-9"	68%		
WEST FAÇADE	25'-0"	0'-0"	0%		
TOTAL (E+W)	55'-9"	20'-9"	37.2%	50%	YES
TOTAL EAST AND WEST ELEMENTS REMOVED = 37.2%					
NORTH FAÇADE	119'-5.75"	53'-4.5"	44.7%		
SOUTH FAÇADE	75'-5.25"	0'-0"	0%		
TOTALS (N+S)	194'-11"	53'-4.5"	27.4%		
TOTAL ALL SIDES	250'-6"	74'-1.5"	29.6%	65%	YES
TOTAL ALL SIDES ELEMENTS TO BE REMOVED = 29.6%					

WALL DEMOLITION CALCULATION (AREA MEASUREMENT) SEC.317(b)(2)(C)					
VERTICAL ELEMENT	AREA (SQFT)	AREA REMOVED (SQFT)	% REMOVED	MAX. PERMITTED	MEET CODE?
NORTH FAÇADE	1775.08	532.41	30.0%		
SOUTH FAÇADE	1538.66	27.1	1.8%		
EAST FAÇADE	547	302	55.2%		
WEST FAÇADE	451.3	49.01	10.9%		
TOTALS	4312.04	910.52	21.1%	50%	YES
TOTAL VERTICAL ELEMENTS TO BE REMOVED = 21.1%					

FLOOR DEMOLITION CALCULATION (AREA MEASUREMENT) SEC.317(b)(2)(C)					
HORIZONTAL ELEMENT	AREA (SQFT)	AREA REMOVED (SQFT)	% REMOVED	MAX. PERMITTED	MEET CODE?
1ST FLOOR	0	0	0.0%		
2ND FLOOR	1480	0	0.0%		
ATTIC	1467	163.95	11.2%		
ROOF	1632	360.14	22.1%		
TOTALS	4579	524.09	11.4%	50%	YES
TOTAL HORIZONTAL ELEMENTS TO BE REMOVED = 11.4%					

* PSC 1005 (f) (4) - Removal of more than 75 percent of the building's existing internal structural framework or floor plates unless the City determines that such removal is the only feasible means to meet the standards for seismic load and forces of the latest adopted version of the San Francisco Building Code and the State Historical Building Code.

THIS PROJECT IS NOT CONSIDERED AS DEMOLITION PER SAN FRANCISCO PLANNING CODE SEC.317 (2)(B)(C)

SEC. 1005

WALL REMOVAL >25% OF THE SURFACE OF ALL EXTERNAL WALLS FACING A PUBLIC STREET(S) - SEC.1005(f)1					
VERTICAL ELEMENT	AREA (SQFT)	AREA REMOVED (SQFT)	% REMOVED	MAX. PERMITTED	MEET CODE?
WEST FAÇADE	482.26	49.01	10.2%		
NORTH FAÇADE	444.91	61.34	13.8%		
SOUTH FAÇADE	295.95	27.1	9.2%		
TOTALS	1223.12	137.45	11.2%	25%	YES
TOTAL SURFACE OF EXTERNAL WALLS FACING STREET TO BE REMOVED = 11.2%					

REMOVAL OF MORE THAN 50% OF ALL EXTERNAL WALLS FROM THEIR FUNCTION AS ALL EXTERNAL WALLS - 1005(f)2					
VERTICAL ELEMENT	AREA (SQFT)	AREA REMOVED (SQFT)	% REMOVED	MAX. PERMITTED	MEET CODE?
NORTH FAÇADE	1775.08	532.41	30.0%		
SOUTH FAÇADE	1538.66	27.1	1.8%		
EAST FAÇADE	547	302	55.2%		
WEST FAÇADE	451.3	49.01	10.9%		
TOTALS	4312.04	910.52	21.1%	50%	YES
TOTAL EXTERNAL WALLS FUNCTION AS INTERNAL/EXTERNAL WALLS TO BE REMOVED = 21.2%					

REMOVAL OF MORE THAN 25% OF EXTERNAL WALLS FROM FUNCTION AS EITHER EXTERNAL OR INTERNAL WALLS - 1005(f)3					
VERTICAL ELEMENT	AREA (SQFT)	AREA REMOVED (SQFT)	% REMOVED	MAX. PERMITTED	MEET CODE?
NORTH FAÇADE	1775.08	532.41	30.0%		
SOUTH FAÇADE	1538.66	27.1	1.8%		
EAST FAÇADE	547	302	55.2%		
WEST FAÇADE	451.3	49.01	10.9%		
TOTALS	4312.04	910.52	21.1%	25%	YES
TOTAL EXTERNAL WALLS FUNCTION AS INTERNAL/EXTERNAL WALLS TO BE REMOVED = 21.2%					

REMOVAL OF >75% OF ALL INTERNAL STRUCTURE FRAMEWORK OR FLOOR PLATES - 1005(f)4					
STRUCTURAL WALL	(E) LF	REMOVED (LF)	% REMOVED	MAX PERMITTED	MEET CODE?
1ST FLOOR	40.25	28.50	70.8%		
SECOND FLOOR	45.5	27.5	60.4%		
TOTALS	85.75	56.00	65.3%	75%	YES
FLOOR	AREA (SQFT)	AREA REMOVED (SQFT)	% REMOVED		
1ST FLOOR	0	0	0.0%		
2ND FLOOR	1494	0	0.0%		
ATTIC	1467	163.95	11.2%		
ROOF	1632	360.14	22.1%		
TOTAL	4593	524.09	11.4%	75%	YES

THIS PROJECT IS NOT CONSIDERED AS DEMOLITION PER SAN FRANCISCO PLANNING CODE SEC.1005(f)(1),(2),(3),(4)

SEC.311

REMOVAL OF MORE THAN 75% OF A RESIDENTIAL BUILDING'S EXISTING INTERIOR WALL FRAMING					
FLOOR	(E) LF	REMOVED (LF)	% REMOVED	MAX PERMITTED	MEET CODE?
FIRST FLOOR	160.14	147.97	92%		
SECOND FLOOR	145.39	102.1	70%		
TOTAL	305.53	250.07	82%	75%	NO**

THIS PROJECT DOES NOT MEET SAN FRANCISCO PLANNING CODE SEC.311(b)(2)

** THIS PROJECT REQUIRES NOTIFICATION AND REVIEW PER SEC.311. FOR THE FIRST FLOOR ADDITION AND FOR INTERIOR WALL DEMOLITION PERCENTAGE.

LEGEND

AREA REMOVED

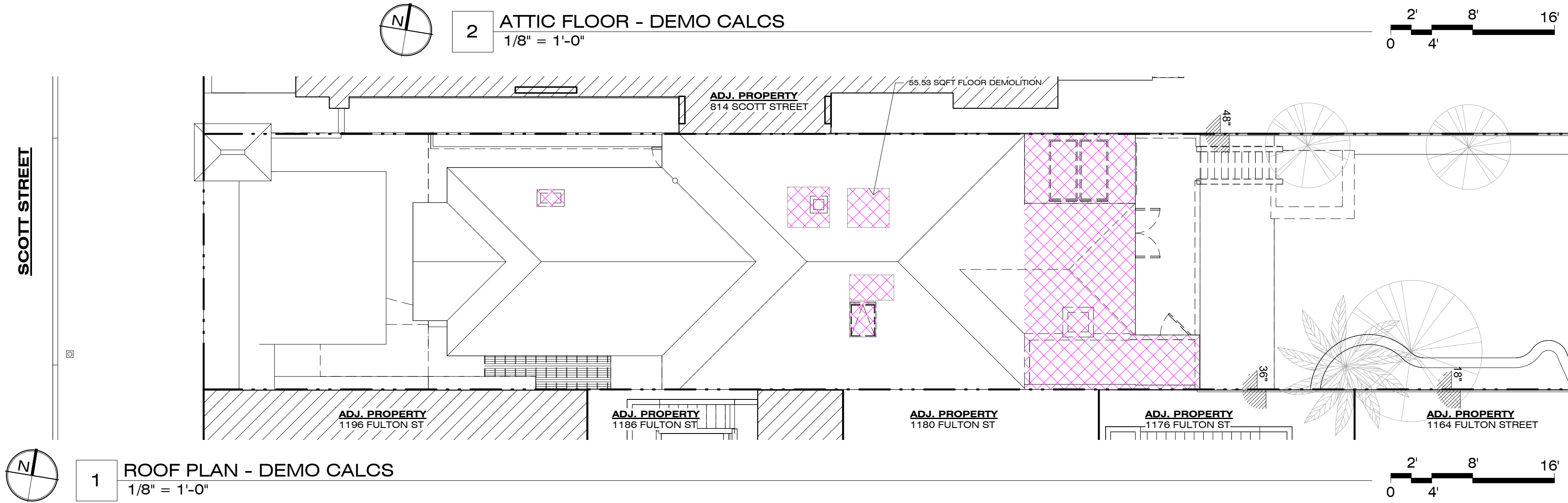
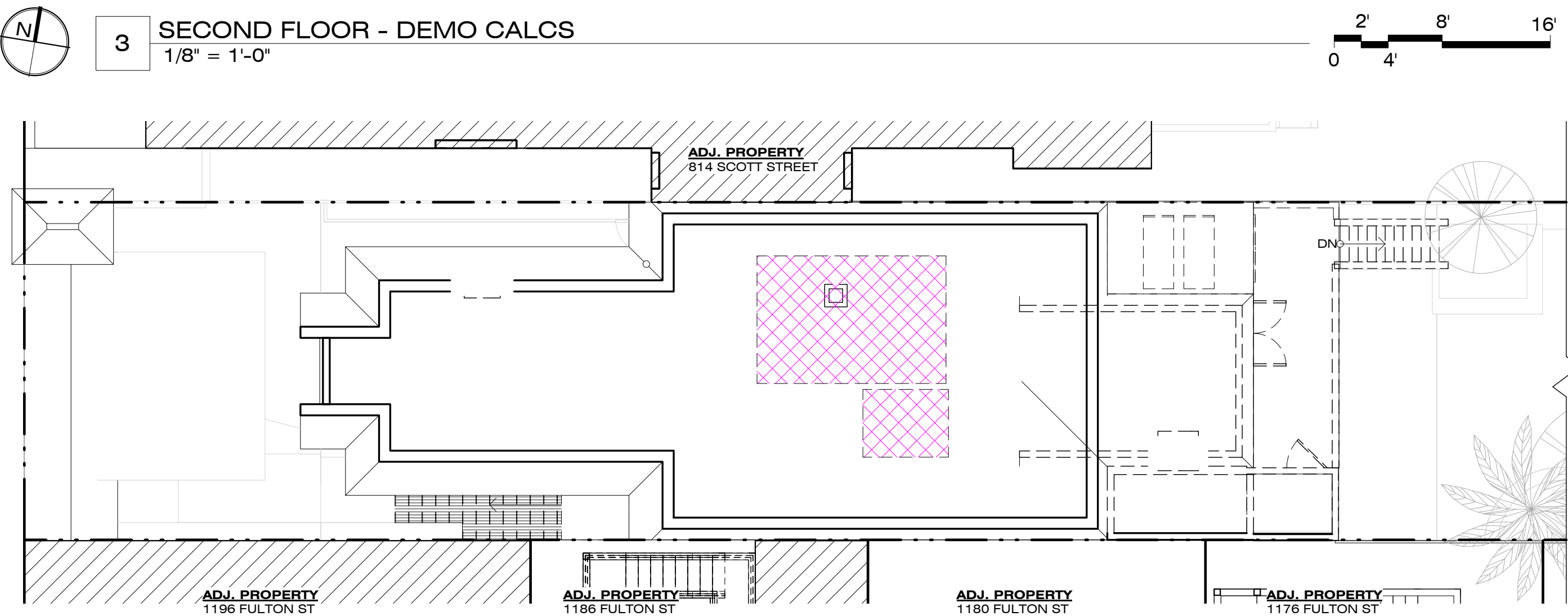
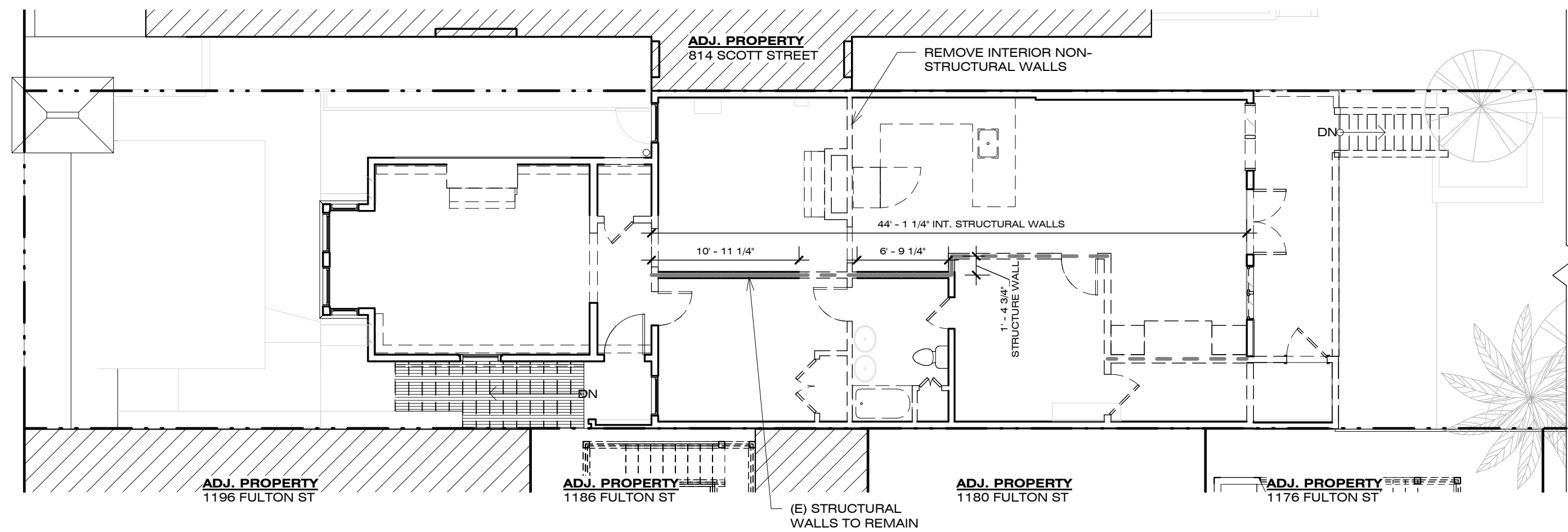
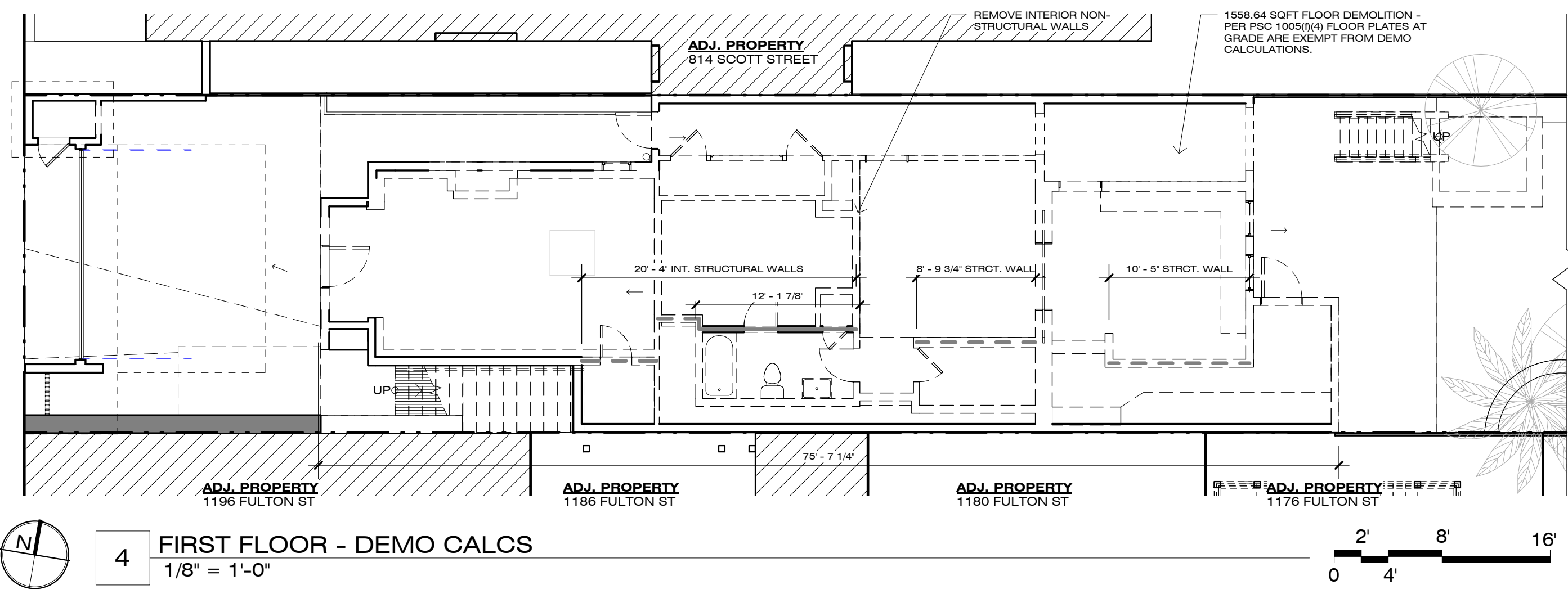
AREA OF VERTICAL ELEMENTS

WALLS TO REMAIN

WALLS DEMOLISHED

INT. STRUCTURAL WALLS TO REMAIN

DEMOLISHED INT. STRUCTURAL WALLS



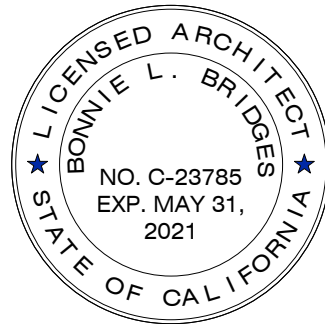
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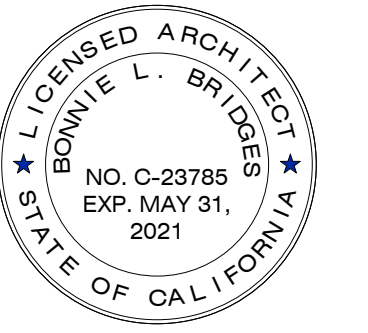
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2020-01-30	PERMIT APPLICATION R2
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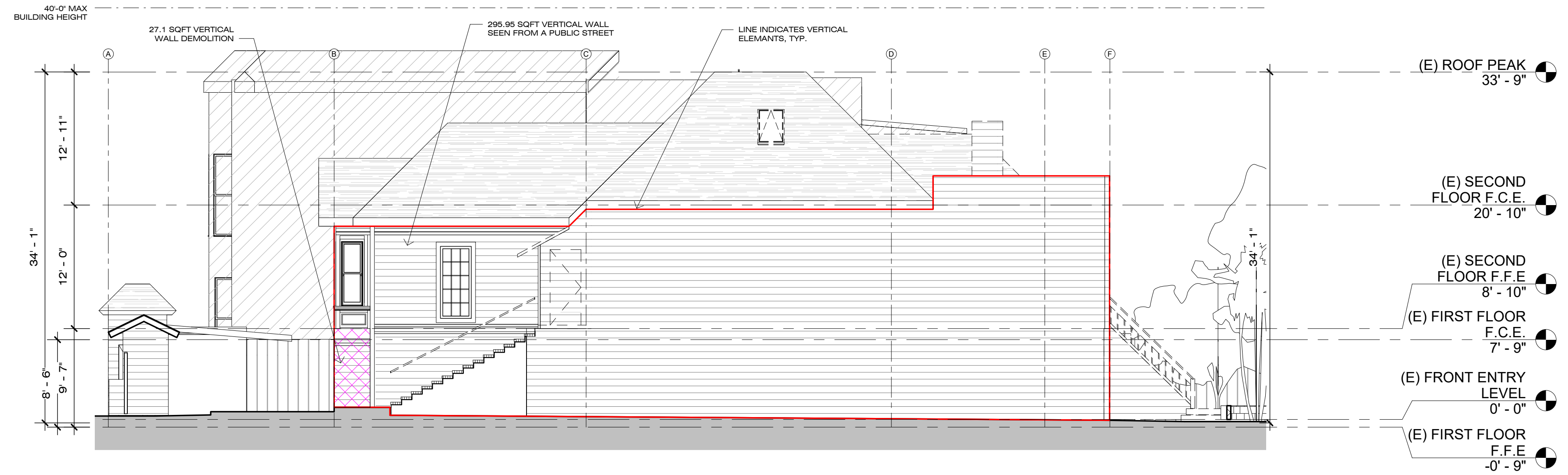
PROJECT	SCOTT FULTON
	812 SCOTT STREET
	SAN FRANCISCO, CA 94117
NUMBER	201833
CONTACT	LeAnna Burgin
OWNER	Scott Fulton, LLC
APN	1260/038A

DEMOLITION
CALCULATIONS

Ao.2

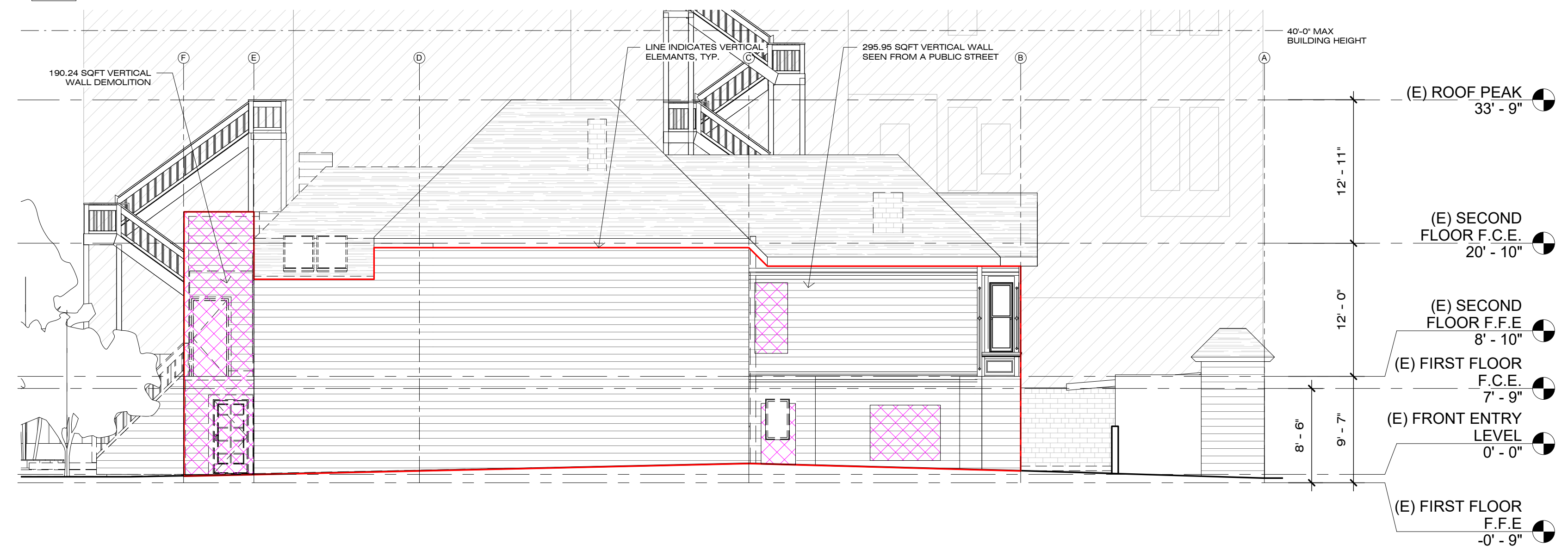


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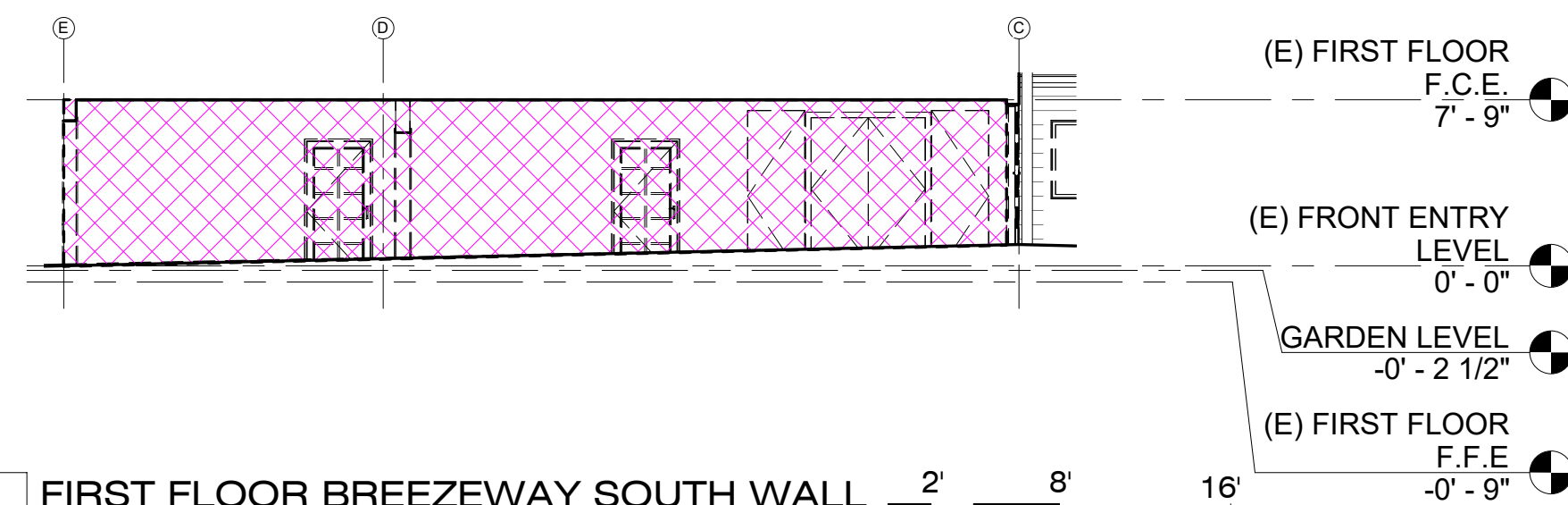
2 EXISTING SOUTH ELEVATION
1/8" = 1'-0"

2' 8' 16'
0 4'



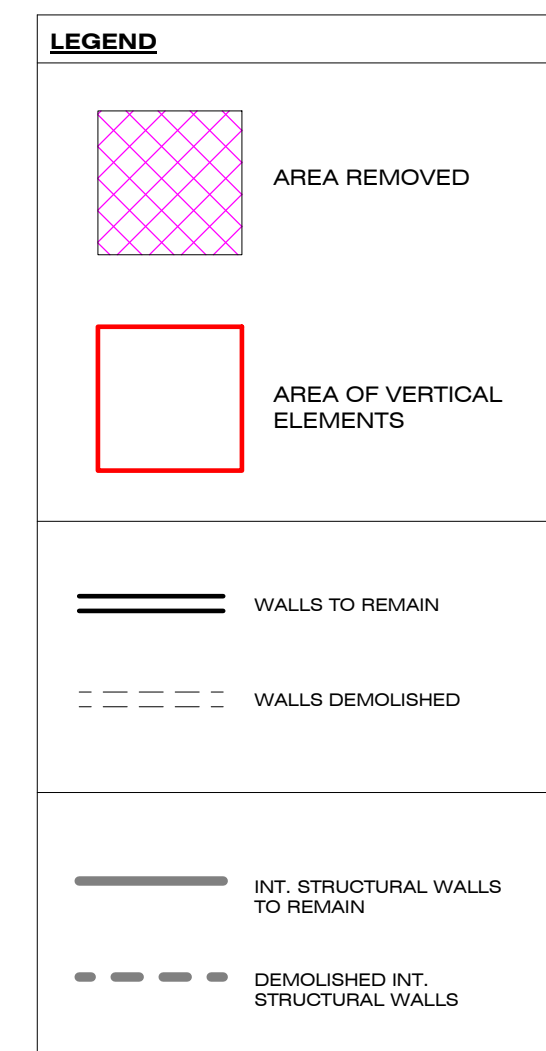
1 EXISTING NORTH ELEVATION
1/8" = 1'-0"

2' 8' 16'
0 4'

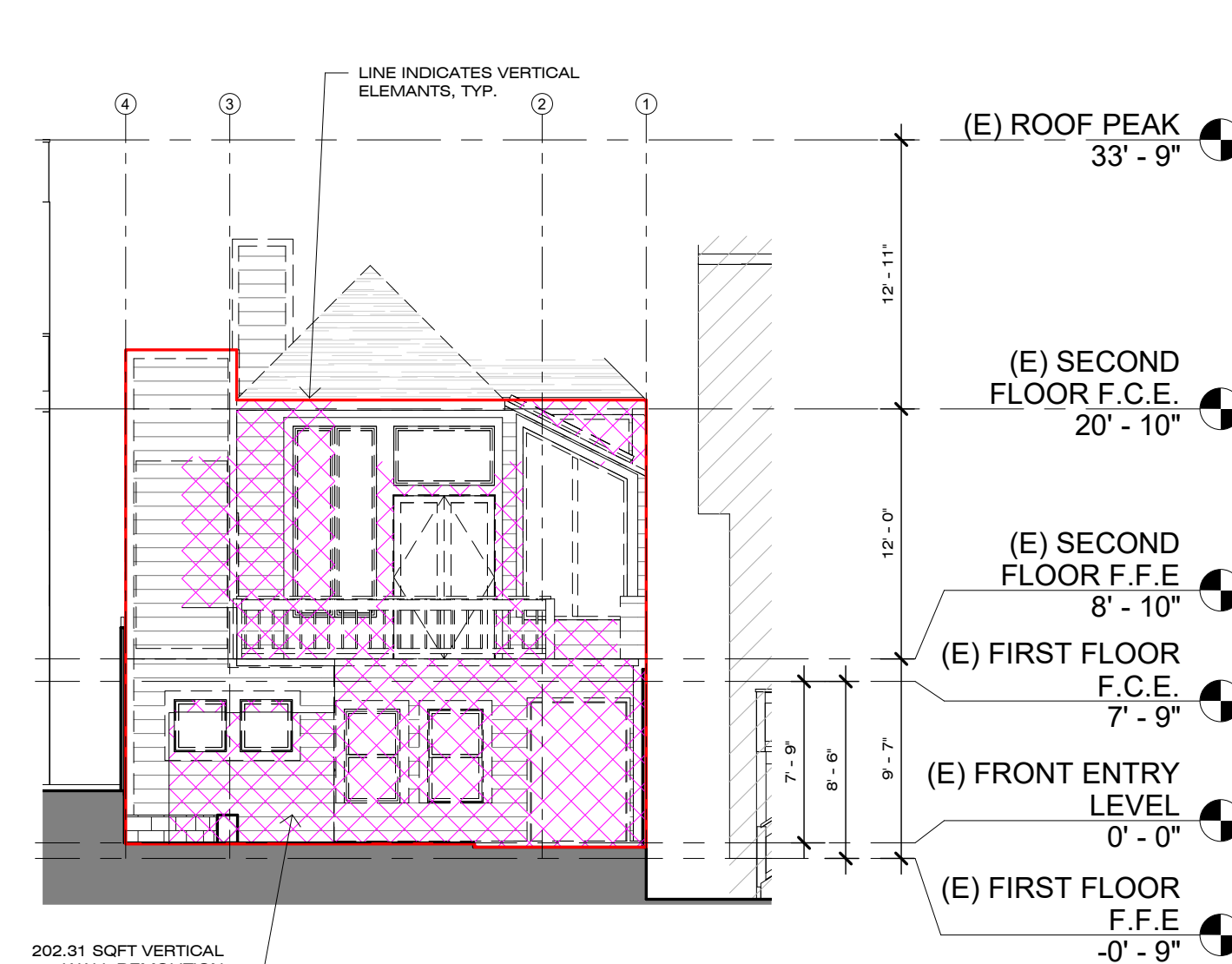


6 FIRST FLOOR BREEZEWAY SOUTH WALL
1/8" = 1'-0"

2' 8' 16'
0 4'

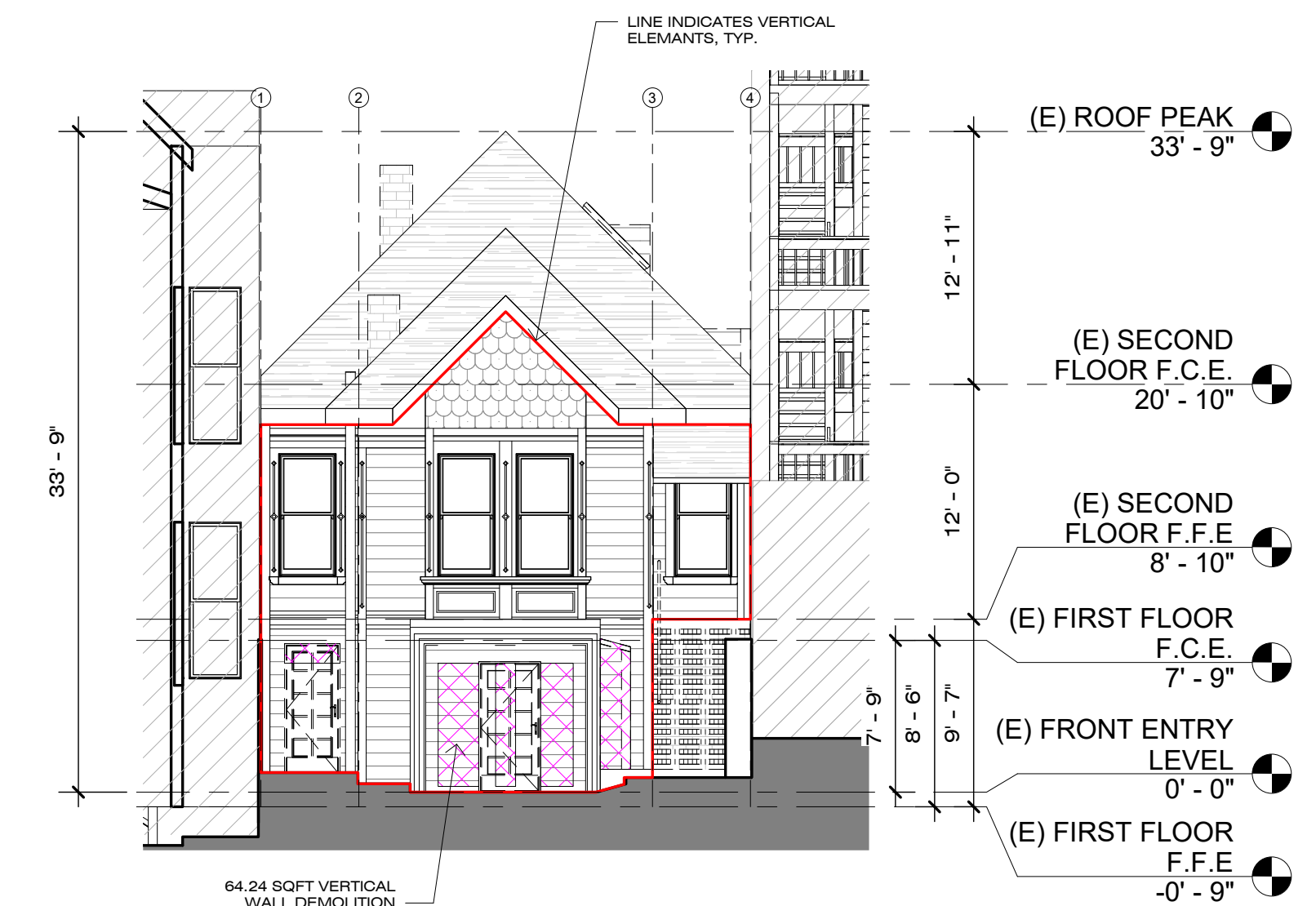


SEE A0.2 FOR DEMO CALCS



4 EXISTING EAST ELEVATION
1/8" = 1'-0"

2' 8' 16'
0 4'



3 EXISTING WEST ELEVATION
1/8" = 1'-0"

2' 8' 16'
0 4'

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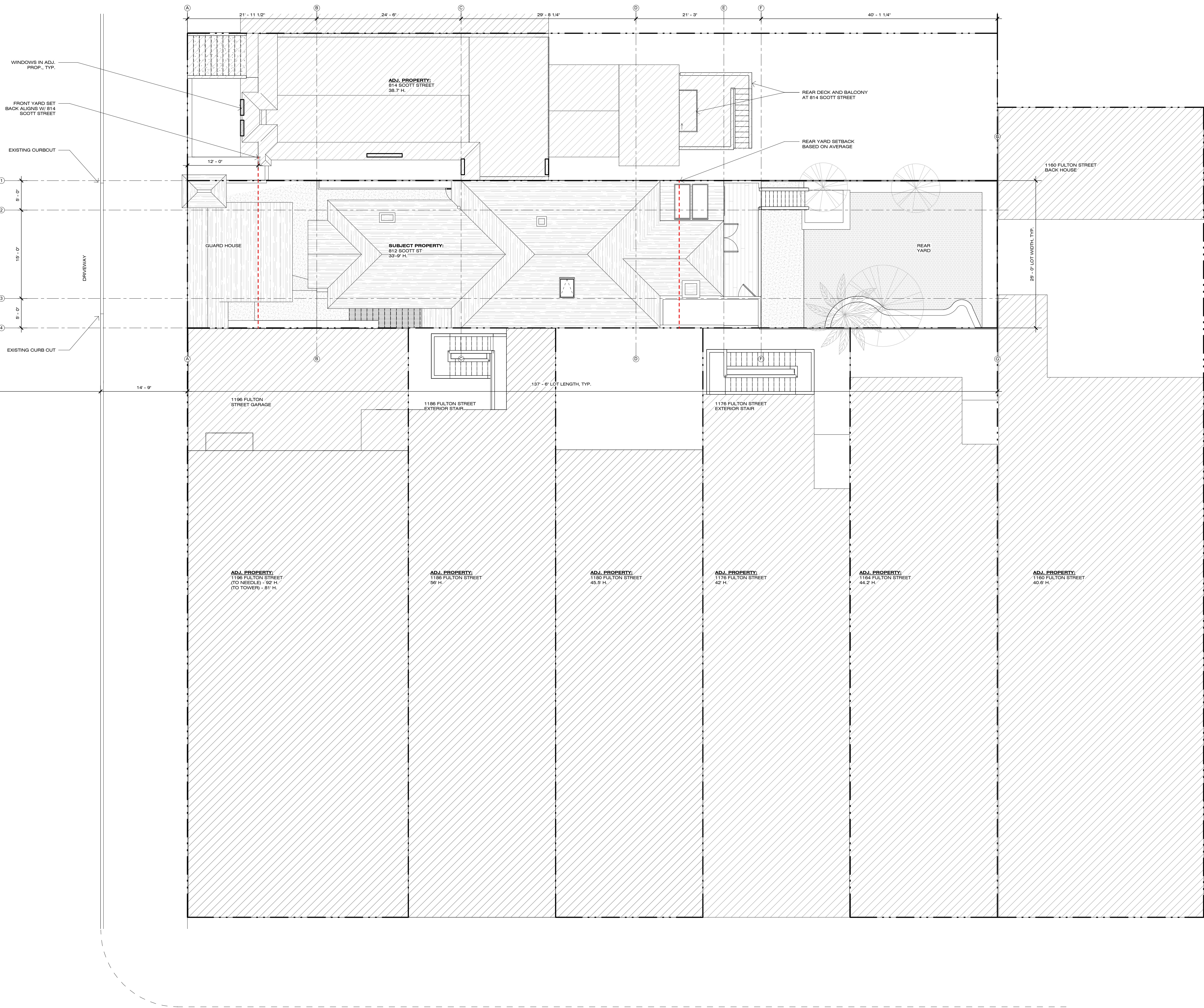
PROJECT	SCOTT FULTON 812 SCOTT STREET SAN FRANCISCO, CA 94117
NUMBER	201833
CONTACT	LeAnna Burgin
OWNER	Scott Fulton, LLC
APN	1260/038A

DEMOLITION
CALCULATIONS

A0.3

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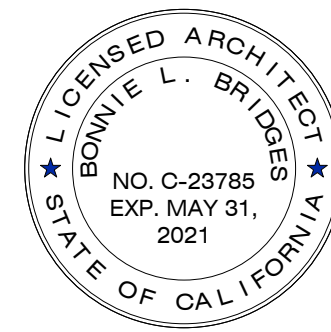
SCOTT STREET



FULTON STREET

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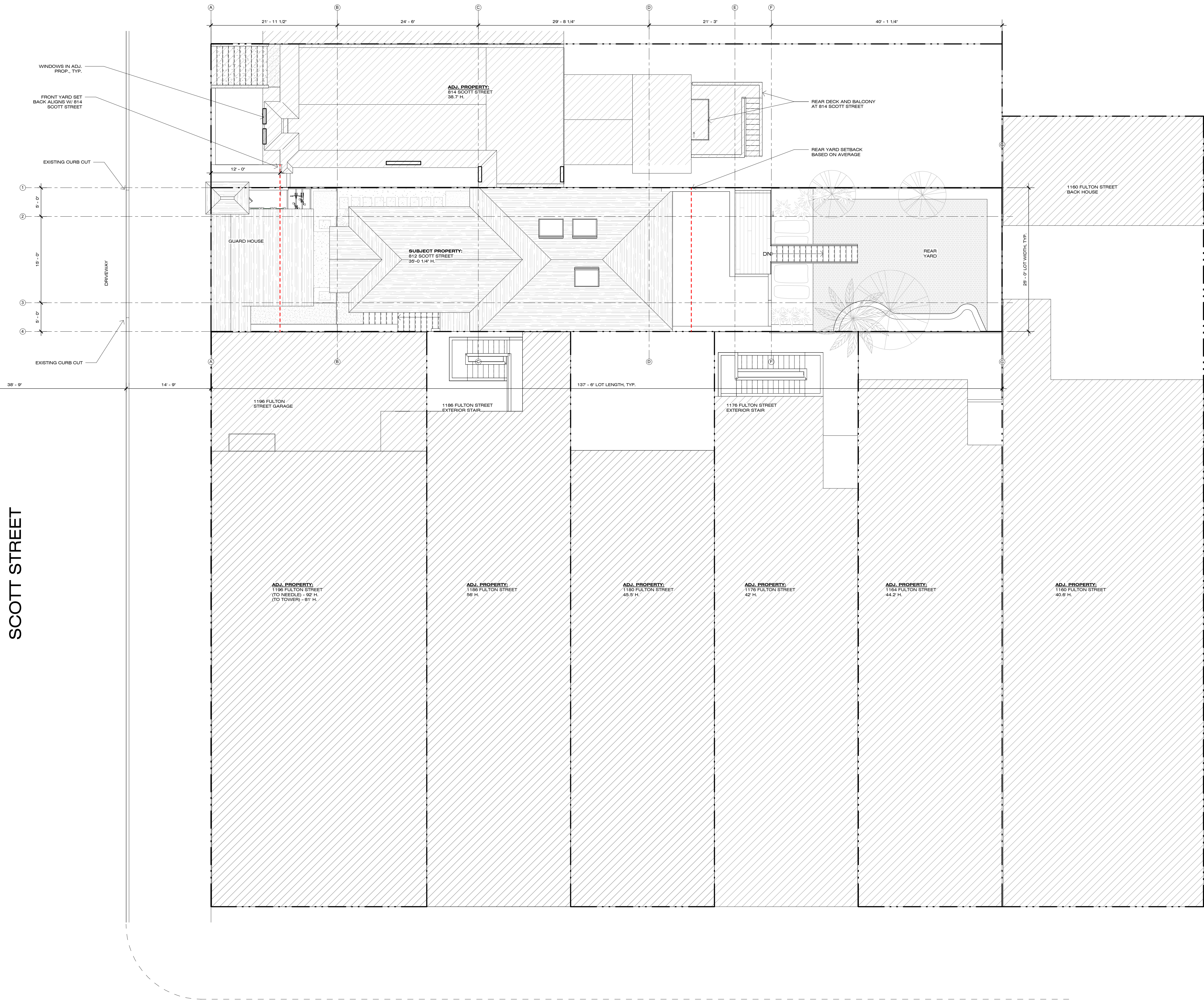
PROJECT **SCOTT FULTON**
812 SCOTT STREET
SAN FRANCISCO, CA 94117
NUMBER 201833
CONTACT LeAnna Burgin
OWNER Scott Fulton, LLC
APN 1260/038A

SITE PLAN - EXISTING +
PROPOSED

A1.0

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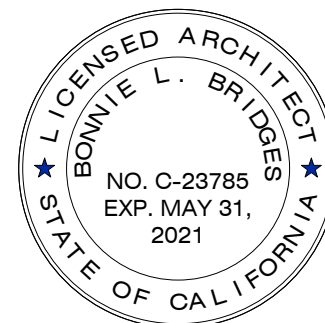
SCOTT STREET



FULTON STREET

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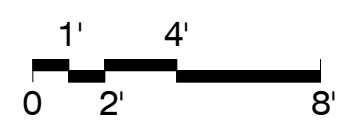
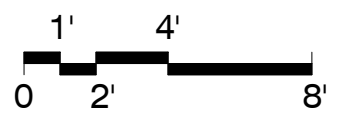
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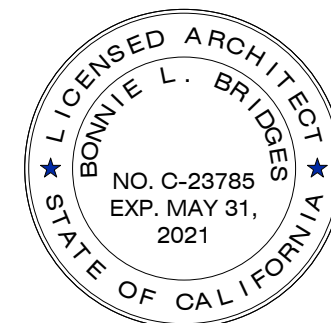
SITE PLAN - EXISTING +
PROPOSED

A1.0.1



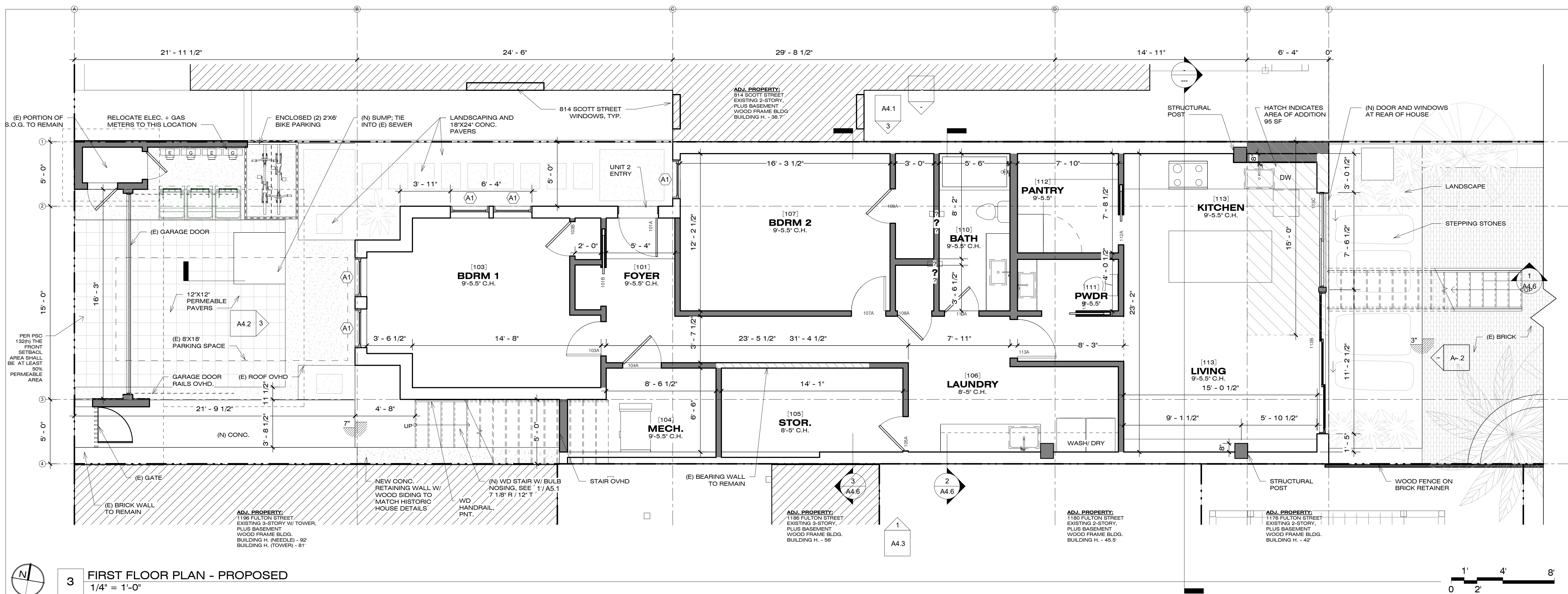


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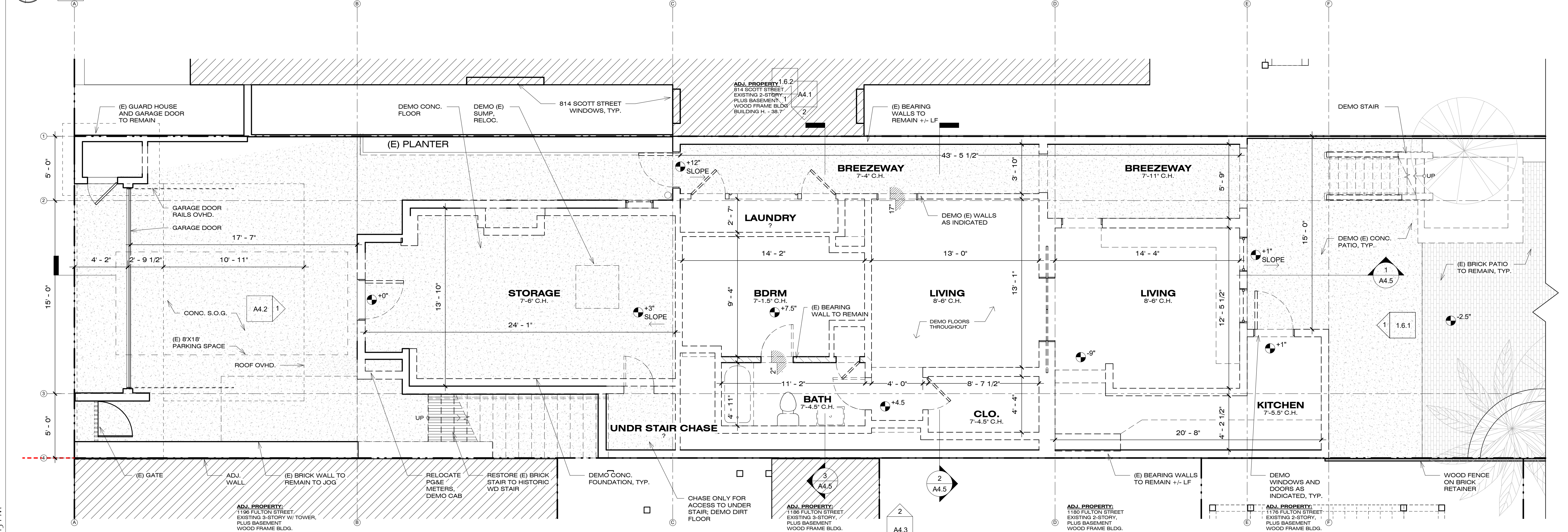


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ADJ. PROPERTY:
1164 FULTON STREET
EXISTING 2-STORY
PLUS BASEMENT
WOOD FRAME BLDG.
BUILDING H. - 44.2



3 FIRST FLOOR PLAN - PROPOSED
1/4" = 1'-0"



1 FIRST FLOOR - EXISTING / DEMOLITION
1/4" = 1'-0"

ISSUE

2020-12-07	HPG / ZA
2020-08-11	PERMIT APPLICATION R4
2020-06-02	PERMIT APPLICATION R3
2020-01-30	PERMIT APPLICATION R2
2019-12-20	PERMIT APPLICATION R1
2019-07-02	PERMIT APPLICATION
2019-05-01	PRE APP MEETING

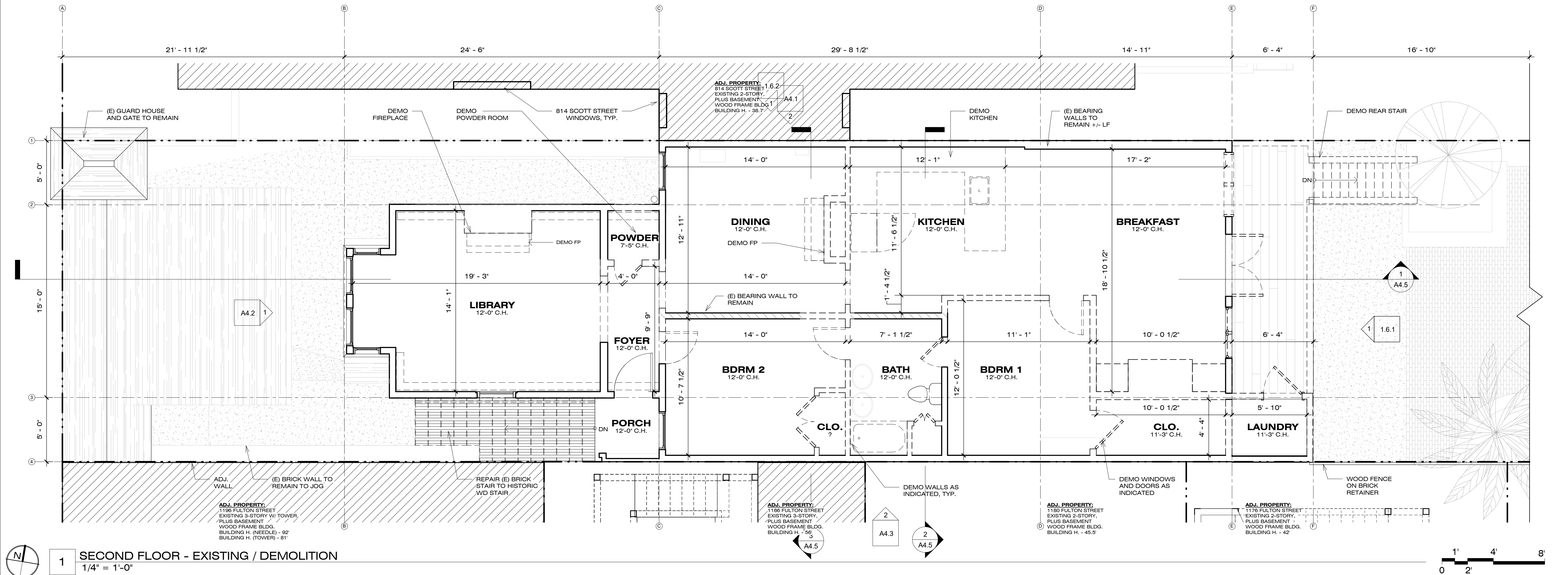
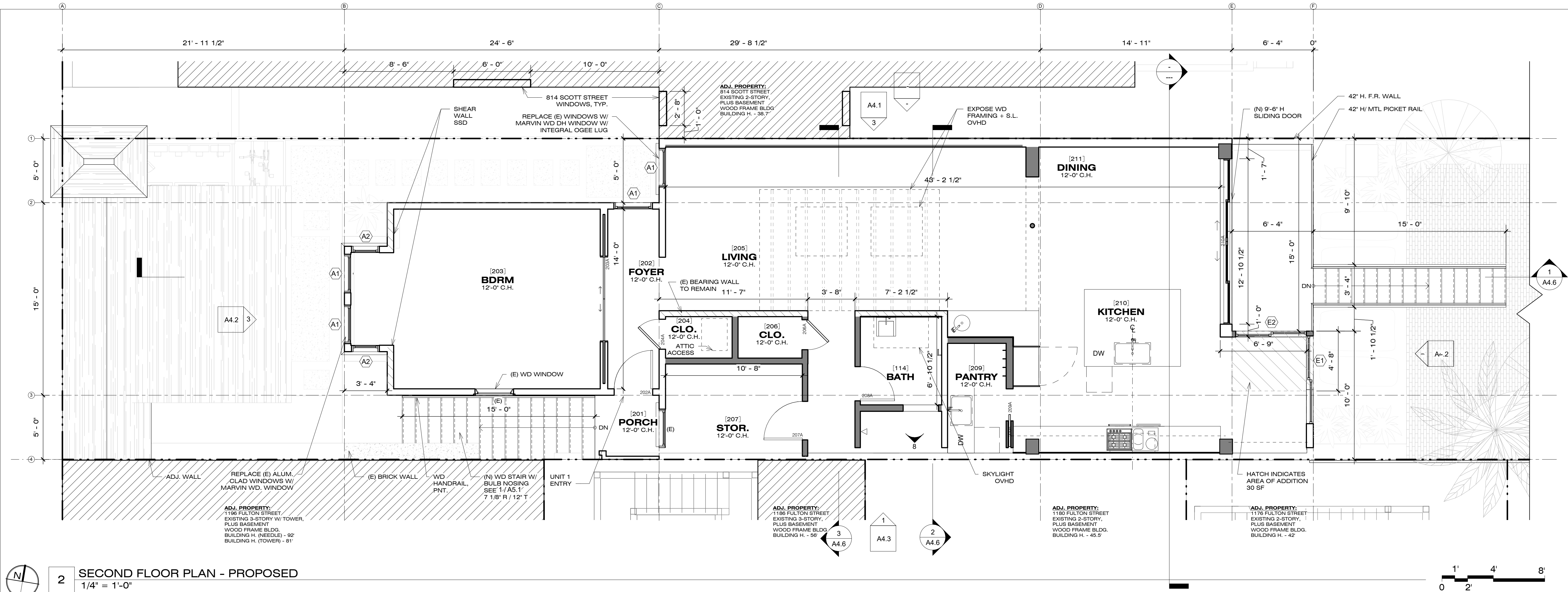
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PROJECT **SCOTT FULTON**
812 SCOTT STREET
SAN FRANCISCO, CA 94117
NUMBER 201833
CONTACT LeAnna Burgin
OWNER Scott Fulton, LLC
APN 1260/038A

FIRST FLOOR - EXISTING / PROPOSED

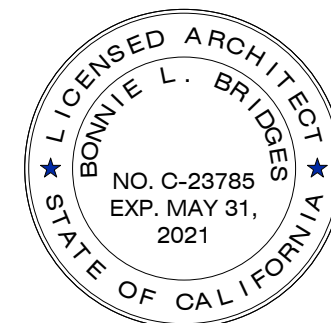
A2.1

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B. Bridges

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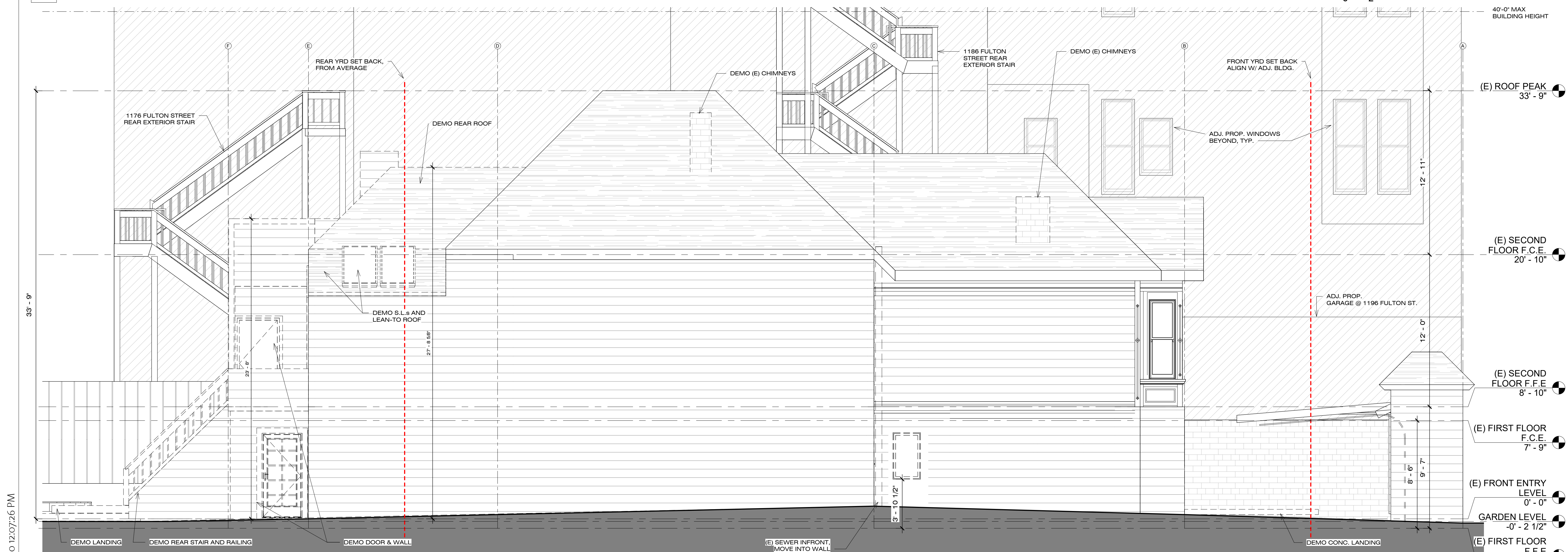
PROJECT SCOTT FULTON
812 SCOTT STREET
SAN FRANCISCO, CA 94117
NUMBER 201833
CONTACT LeAnna Burgin
OWNER Scott Fulton, LLC
APN 1260/038A

SECOND FLOOR - EXISTING / PROPOSED

A2.2



3 NORTH ELEVATION - PROPOSED
1/4" = 1'-0"



2 NORTH ELEVATION - EXISTING / DEMOLITION
1/4" = 1'-0"

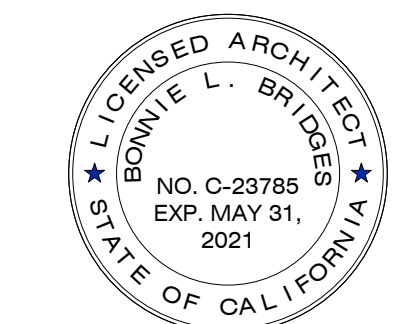
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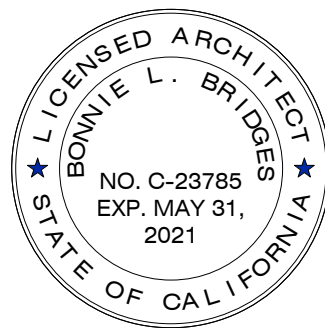
CONTACT LeAnna Burgin

OWNER Scott Fulton, LLC

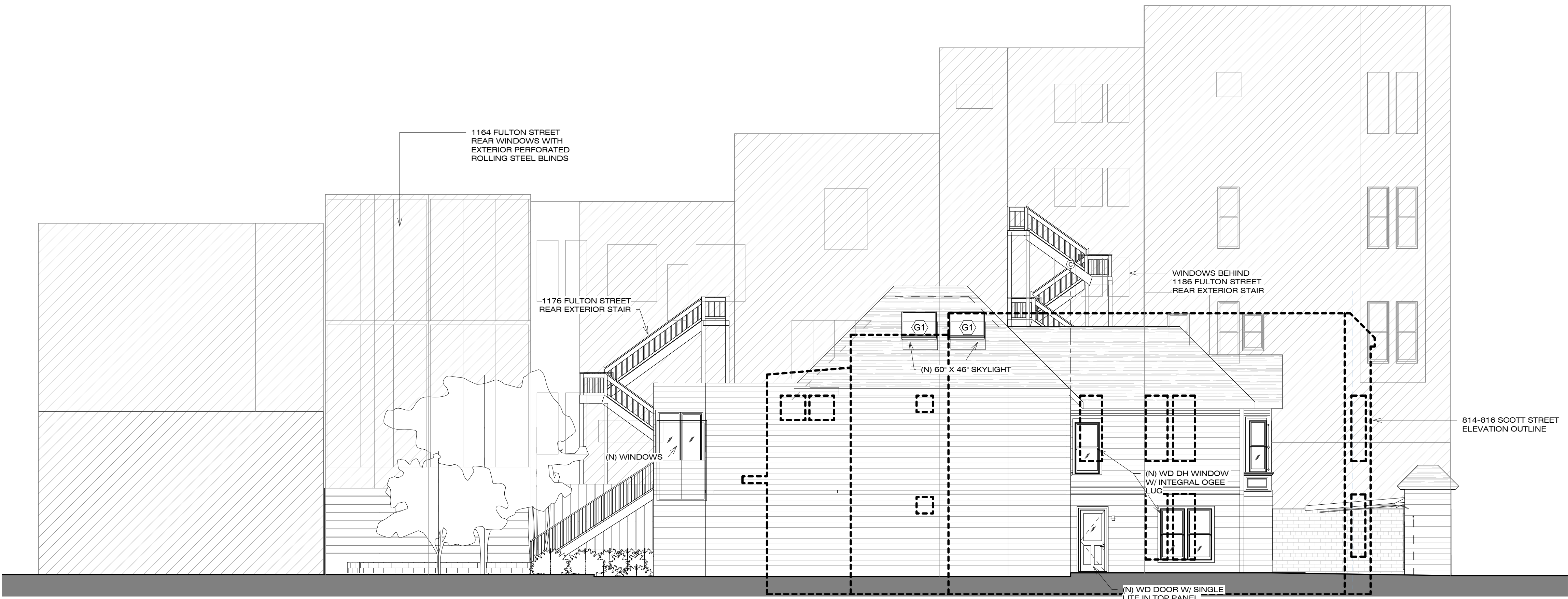
APN 1260/038A

EXTERIOR ELEVATIONS - EXISTING / PROPOSED

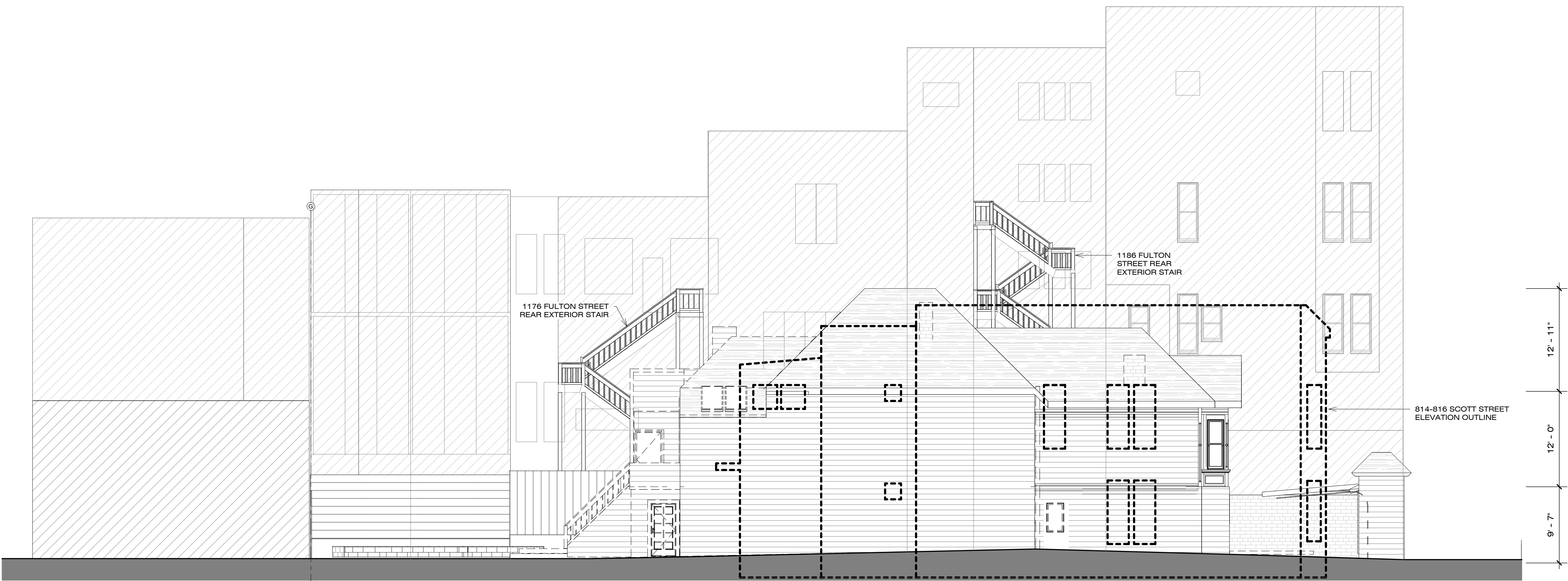
A4.1



B. Bridges



1 NORTH ELEVATION - PROPOSED WITH ADJACENT ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION - EXISTING / DEMOLITION WITH ADJACENT ELEVATION
1/8" = 1'-0"

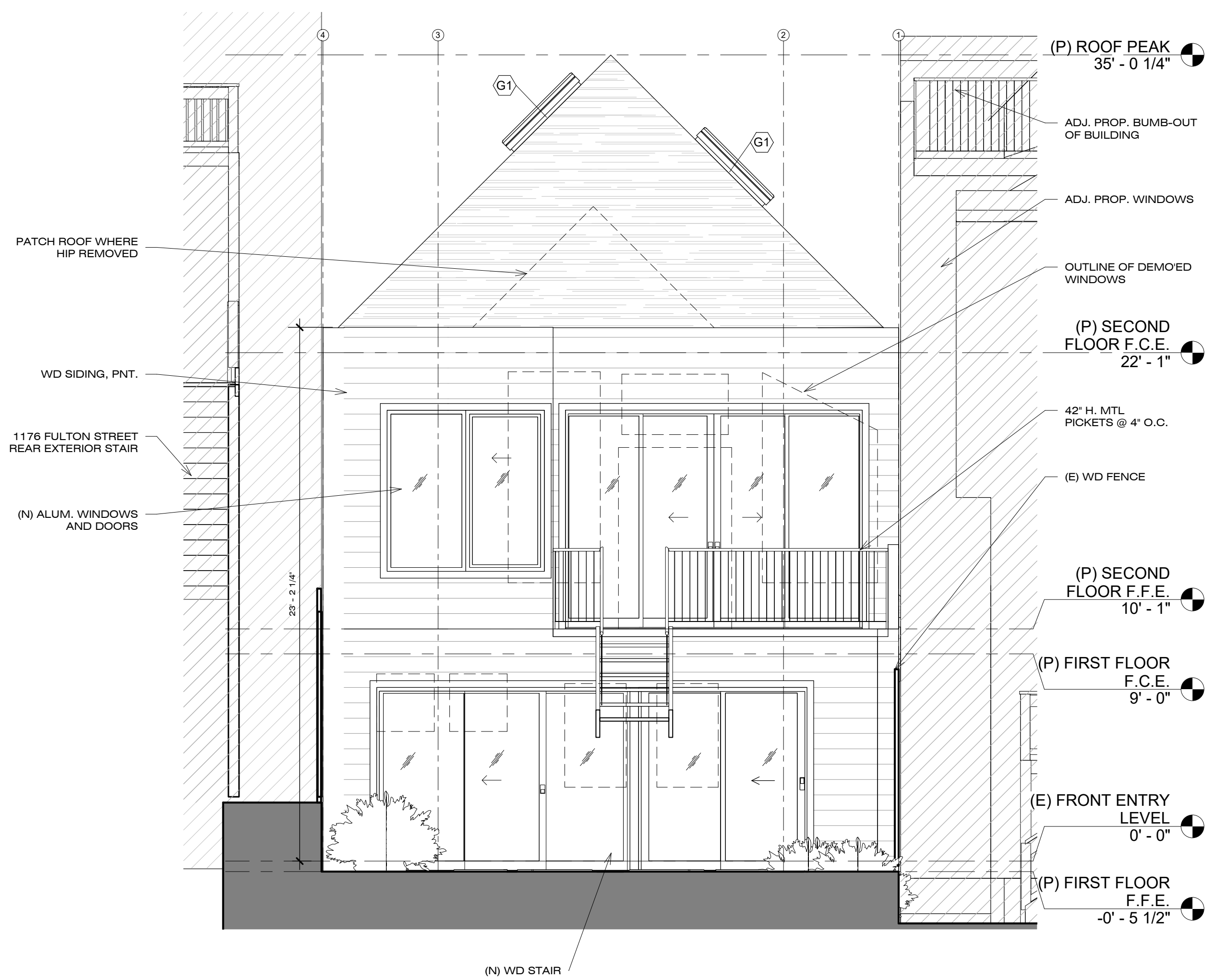
ISSUE	
2020-12-07	HPC / ZA
2020-08-11	PERMIT APPLICATION R4
2020-06-02	PERMIT APPLICATION R3
2020-01-30	PERMIT APPLICATION R2
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2019-05-01	PRE APP MEETING

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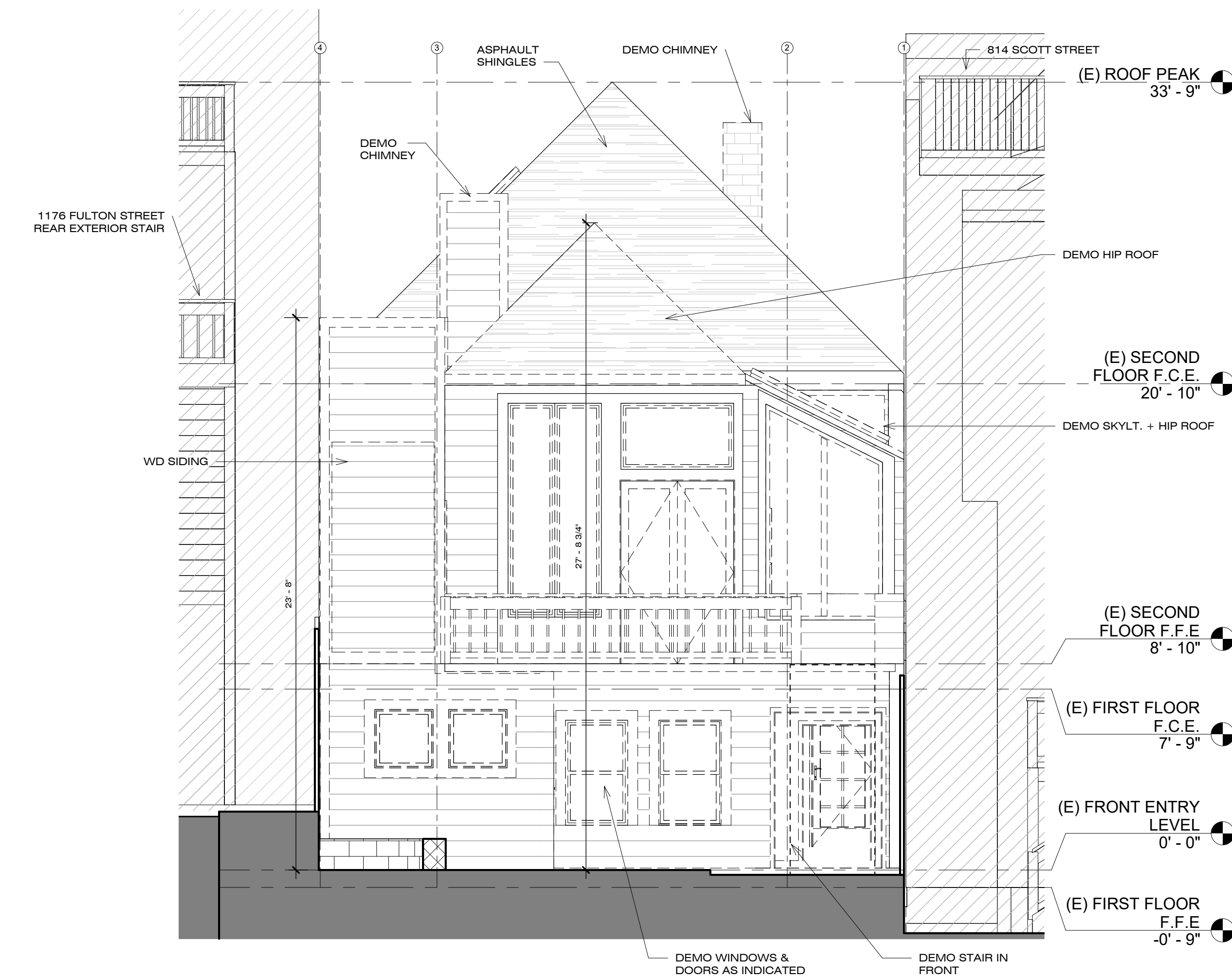
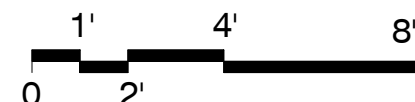
PROJECT	SCOTT FULTON 812 SCOTT STREET SAN FRANCISCO, CA 94117
NUMBER	201833
CONTACT	LeAnna Burgin
OWNER	Scott Fulton, LLC
APN	1260/038A

NORTH ELEVATION W/
ADJ. PROPERTY OUTLINE

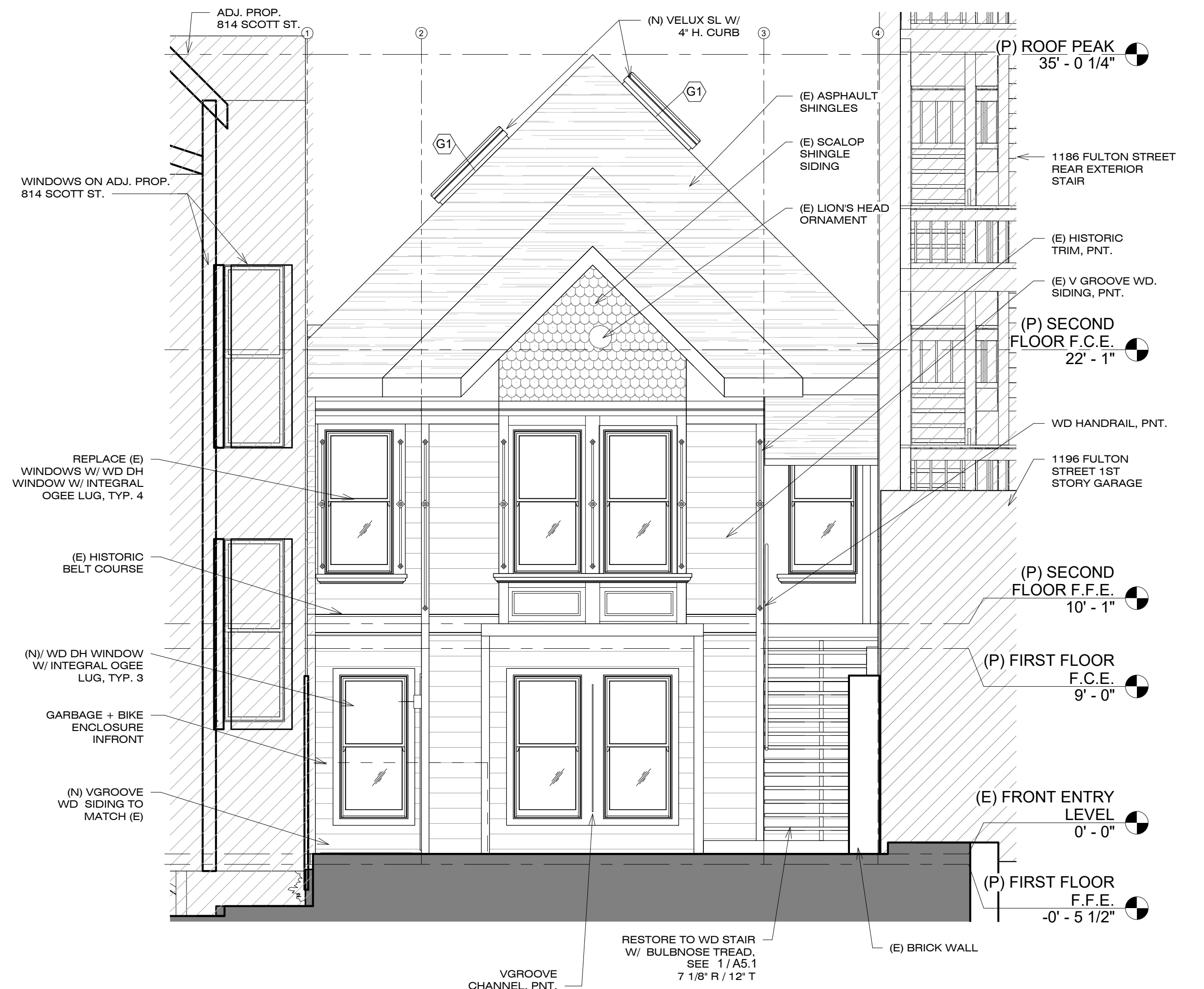
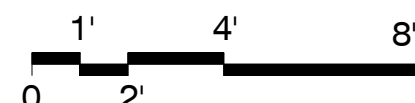
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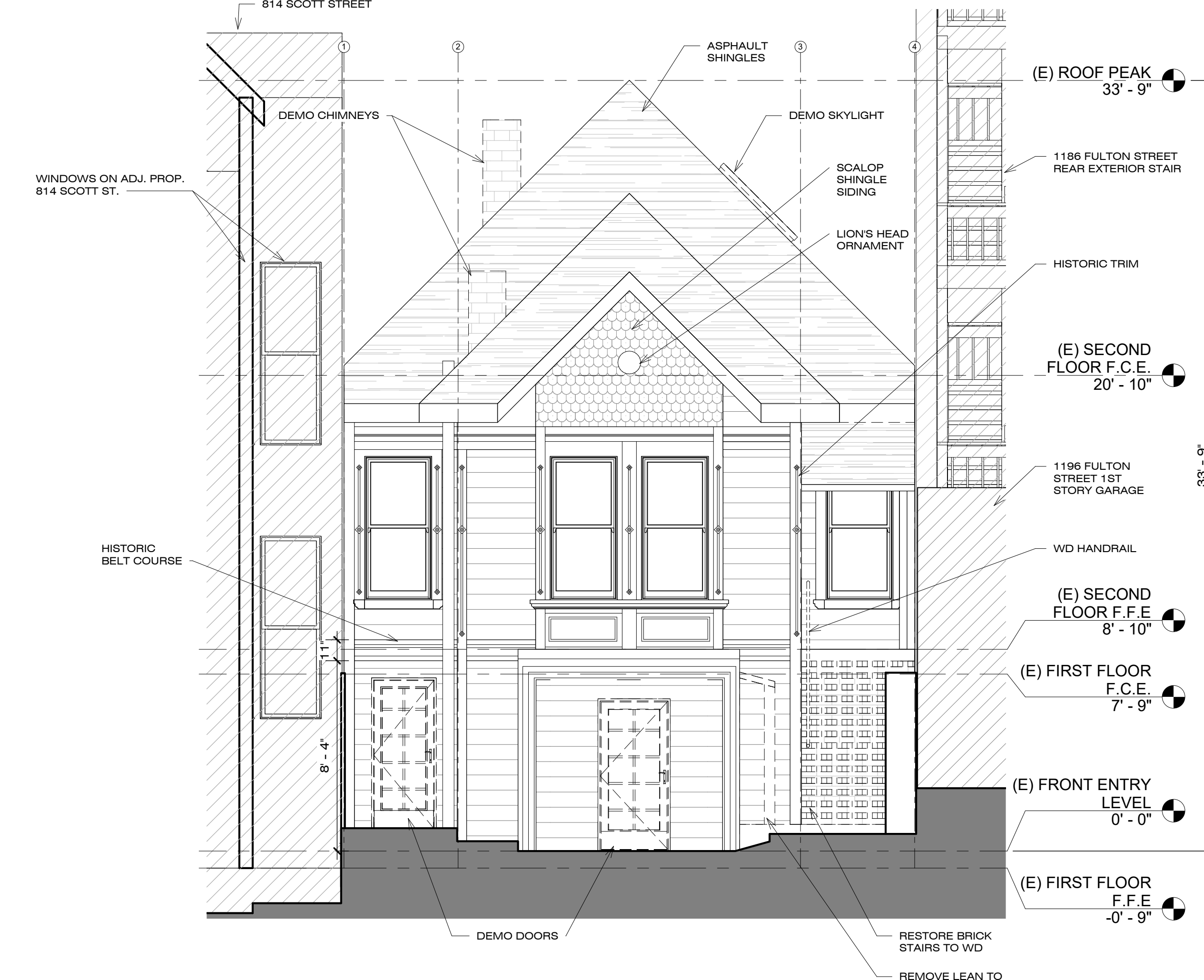
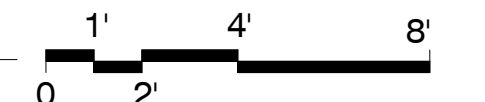
4 EAST ELEVATION - PROPOSED
1/4" = 1'-0"



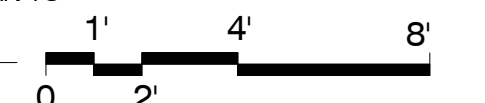
2 EAST ELEVATION - EXISTING / DEMOLITION
1/4" = 1'-0"



3 WEST ELEVATION - PROPOSED
1/4" = 1'-0"

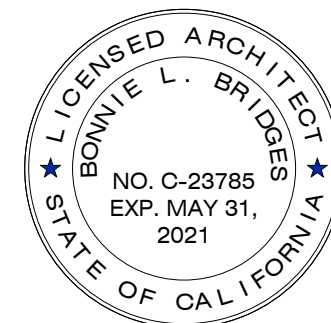


1 WEST ELEVATION - EXISTING / DEMOLITION
1/4" = 1'-0"



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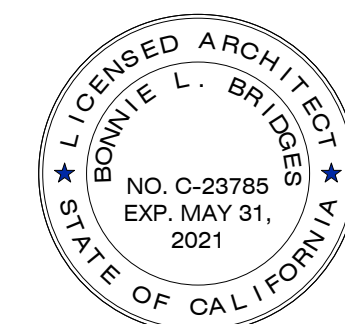
ISSUE	
2020-12-07	HPC / ZA
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2020-01-30	PERMIT APPLICATION R2
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PROJECT **SCOTT FULTON**
812 SCOTT STREET
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NUMBER 201833
CONTACT LeAnna Burgin
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APN 1260/038A

EXTERIOR ELEVATIONS -
EXISTING / PROPOSED

A4.2



书书



ISSUE	
2020-12-07	HPC / ZA
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2020-01-30	PERMIT APPLICATION R2
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2019-05-01	PRE APP MEETING

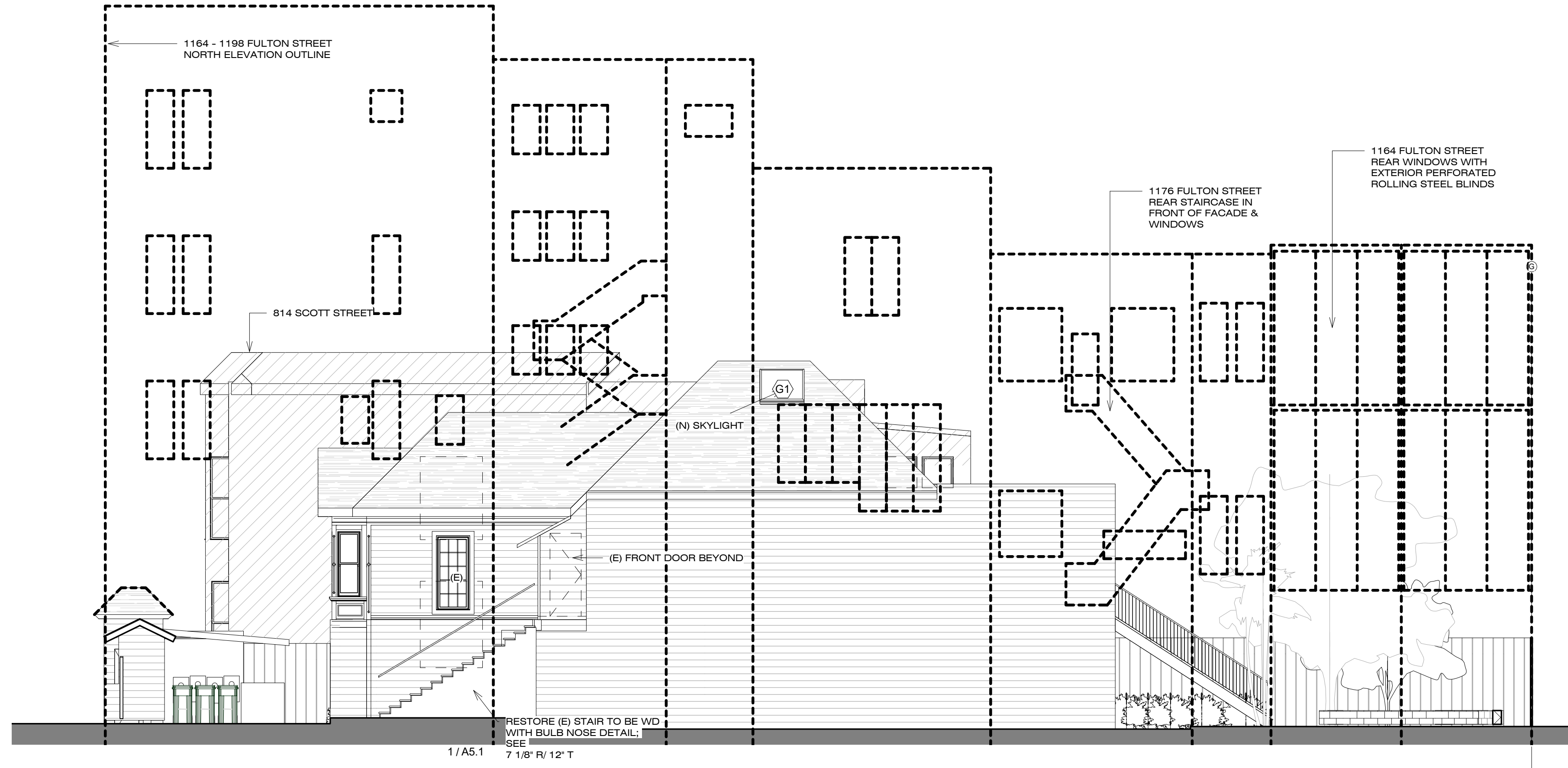
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CONTACT	LeAnna Burgin
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APN	1260/o38A

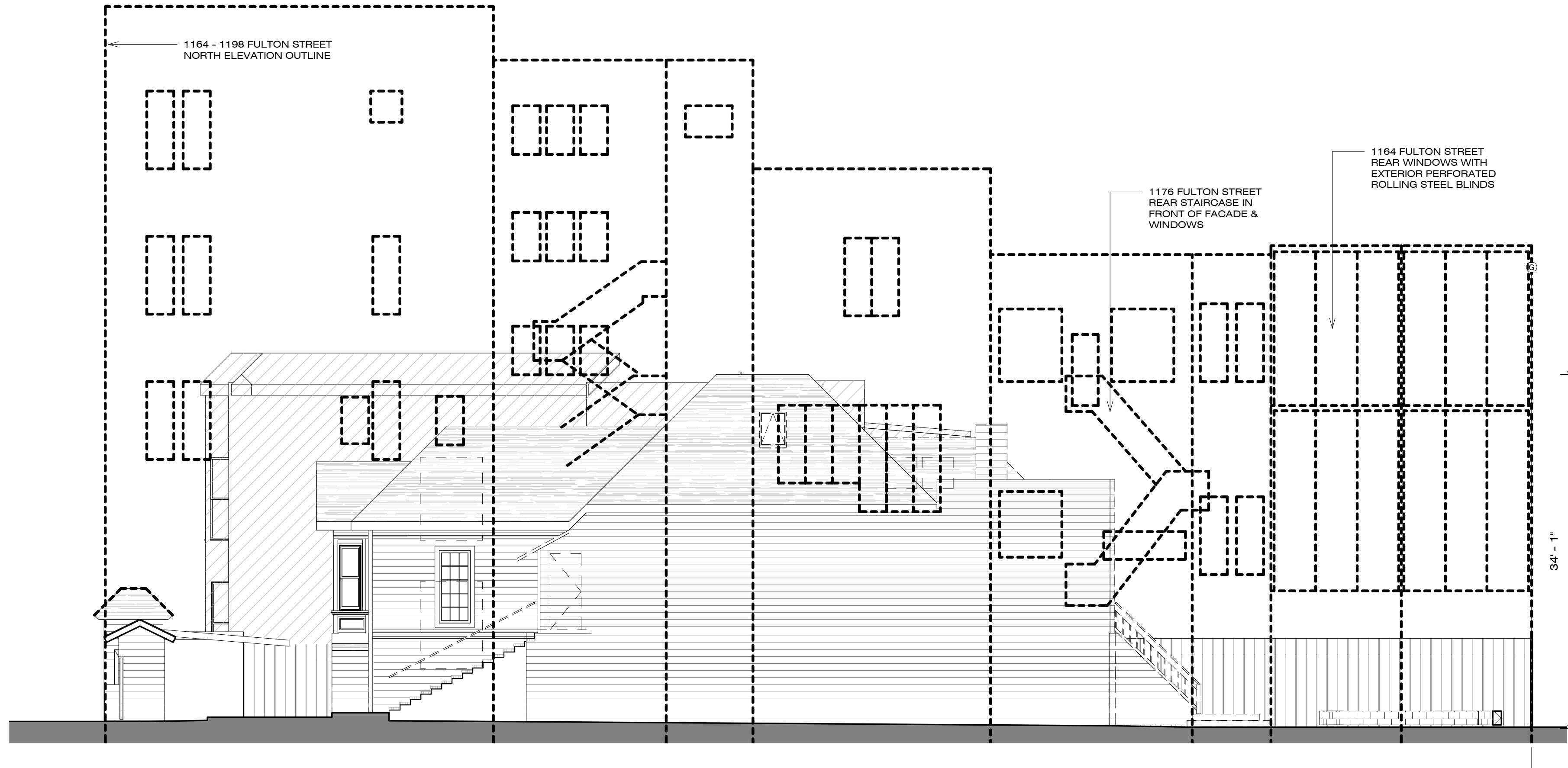
**EXTERIOR ELEVATIONS -
EXISTING / PROPOSED**

A4.3

12/7/2020 12:07:46 PM



1 SOUTH ELEVATION - PROPOSED WITH ADJACENT ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION - EXISTING / DEMOLITION
1/8" = 1'-0"

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2019-07-02	PERMIT APPLICATION
2019-05-01	PRE APP MEETING

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NUMBER 201833
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OWNER Scott Fulton, LLC
APN 1260/038A

SOUTH ELEVATION W/ ADJ.
PROPERTY OUTLINE

A4.3.1



2 WEST ELEVATION - PROPOSED ENTRY
1/4" = 1'-0"

1' 4' 8'
0 2'

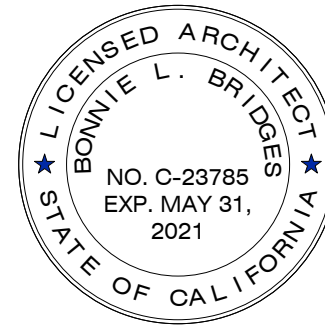


1 WEST ELEVATION - EXISTING ENTRY
1/4" = 1'-0"

1' 4' 8'
0 2'

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B. Bridges

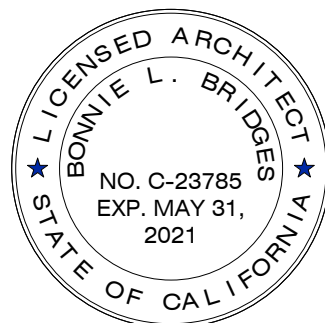
ISSUE
2020-12-07 HPC / ZA
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2020-01-30 PERMIT APPLICATION R2
2019-12-20 PERMIT APPLICATION R1
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2019-05-01 PRE APP MEETING

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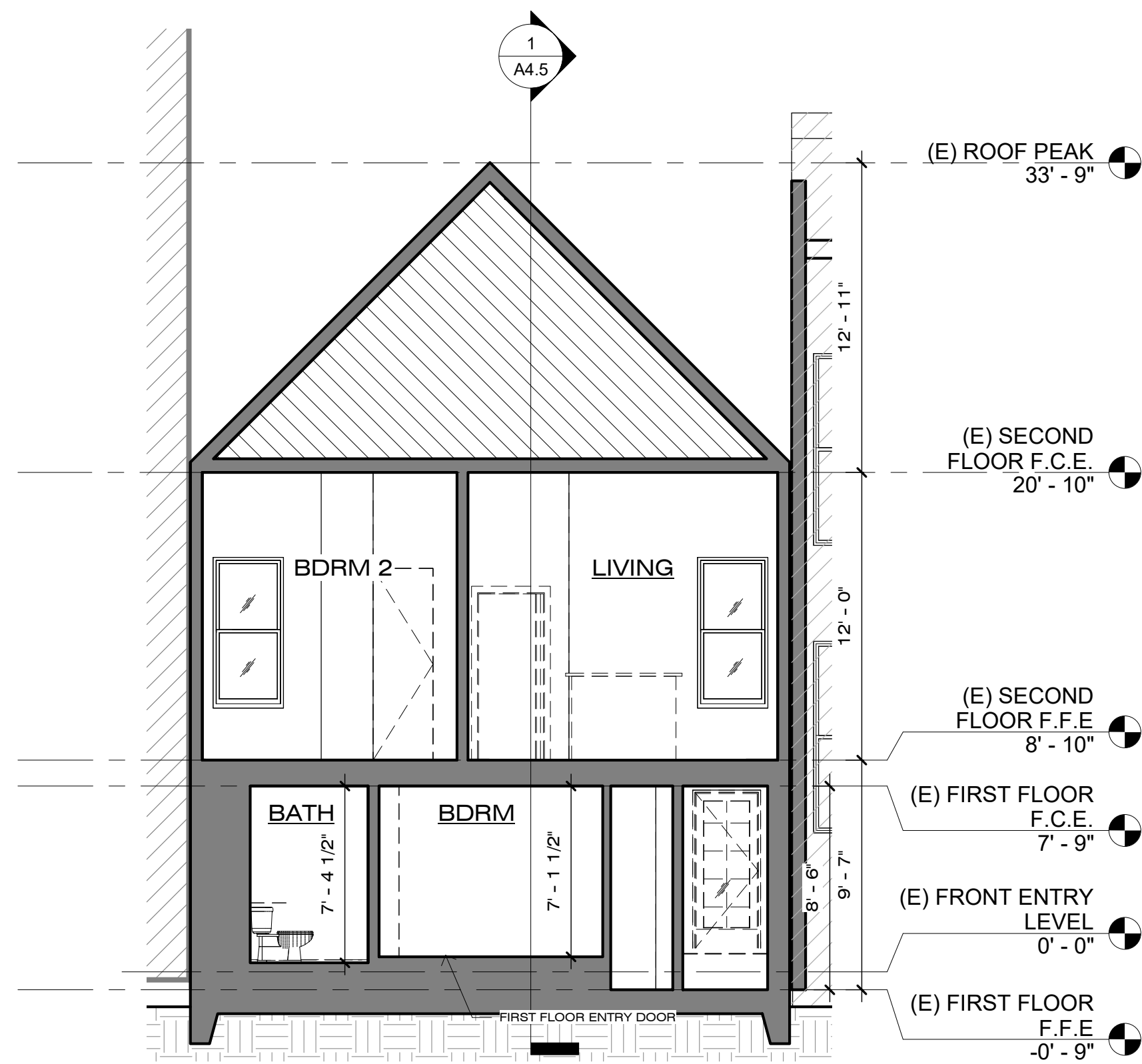
PROJECT SCOTT FULTON
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NUMBER 201833
CONTACT LeAnna Burgin
OWNER Scott Fulton, LLC
APN 1260/038A

EXTERIOR ELEVATIONS -
EXISTING / PROPOSED
ENTRY

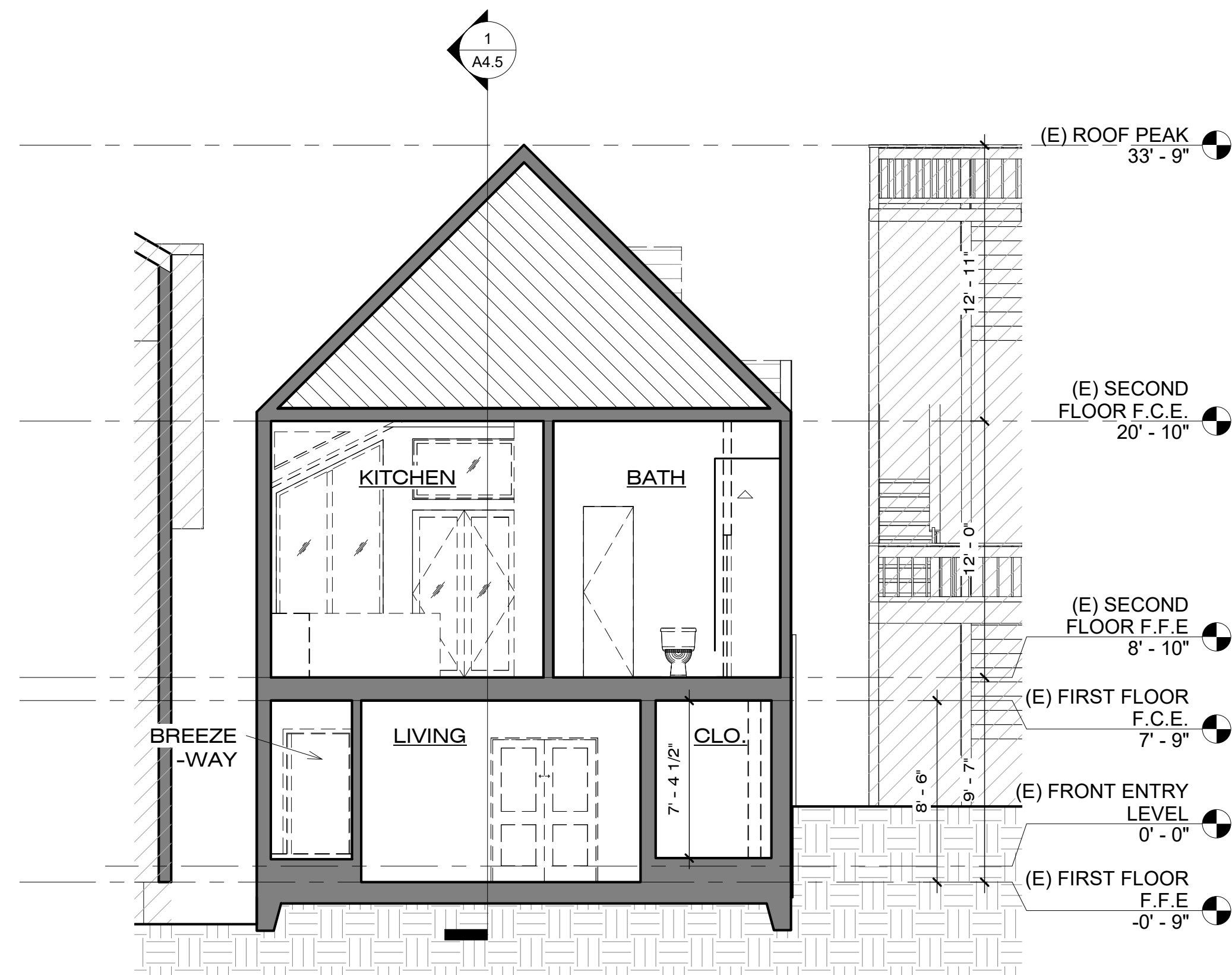
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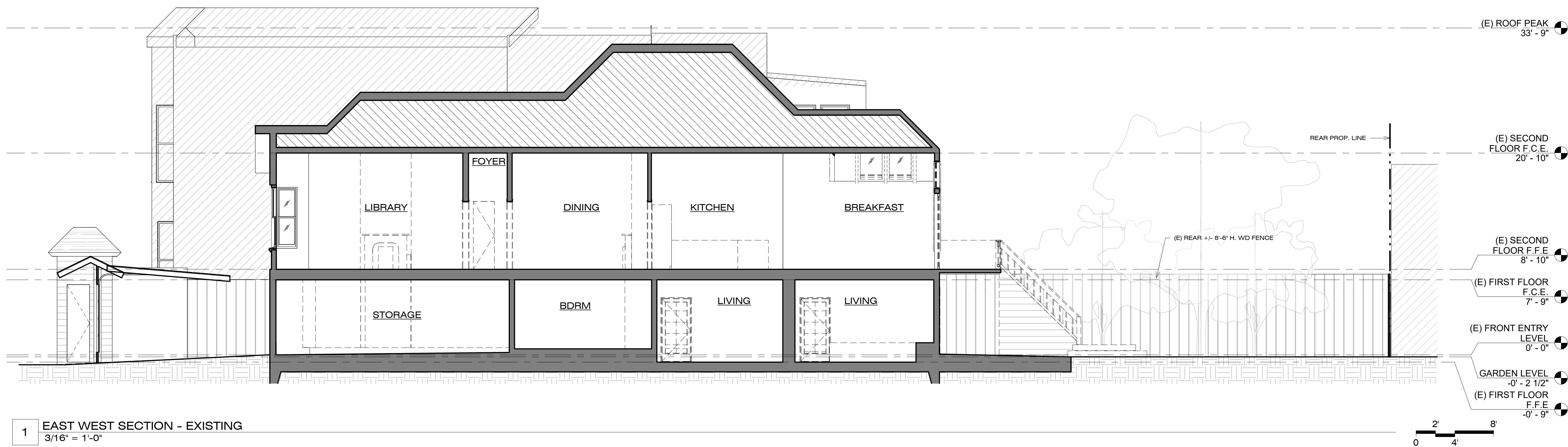
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3 SOUTH NORTH SECTION - EXISTING
3/16" = 1'-0" 0 2' 4' 8'



2 NORTH SOUTH SECTION - EXISTING
3/16" = 1'-0" 0 2' 4' 8'



1 EAST WEST SECTION - EXISTING
3/16" = 1'-0"

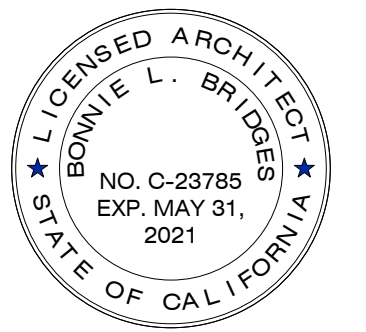
ISSUE	
2020-12-07	HPG / ZA
2020-08-11	PERMIT APPLICATION R4
2020-06-02	PERMIT APPLICATION R3
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2019-05-01	PRE APP MEETING

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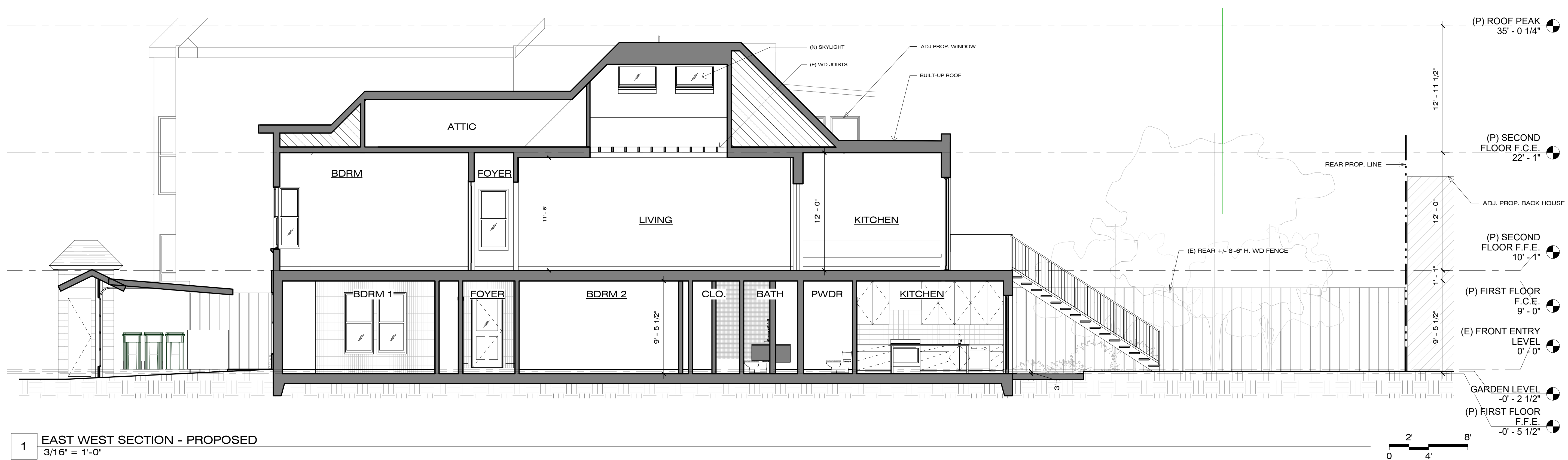
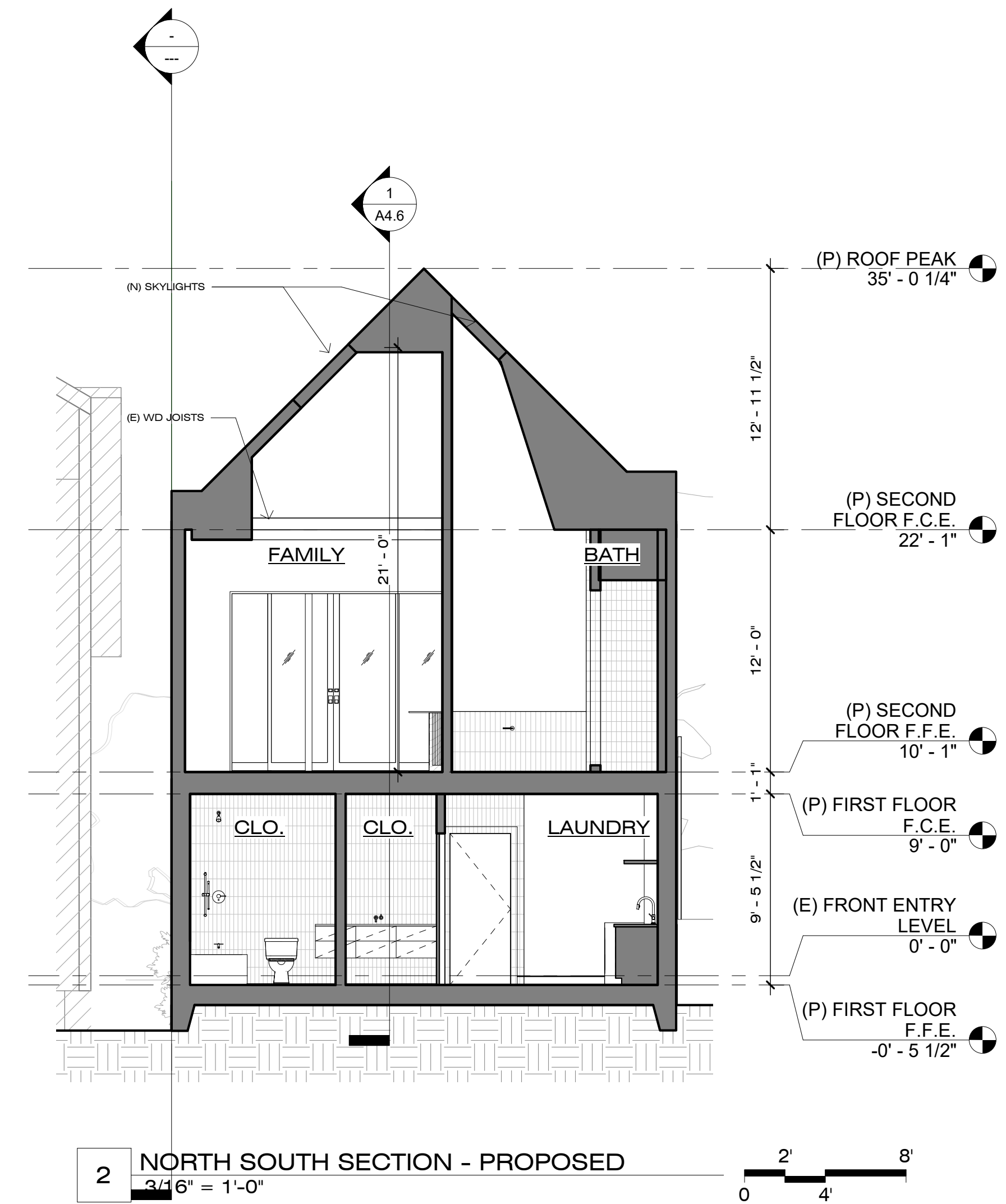
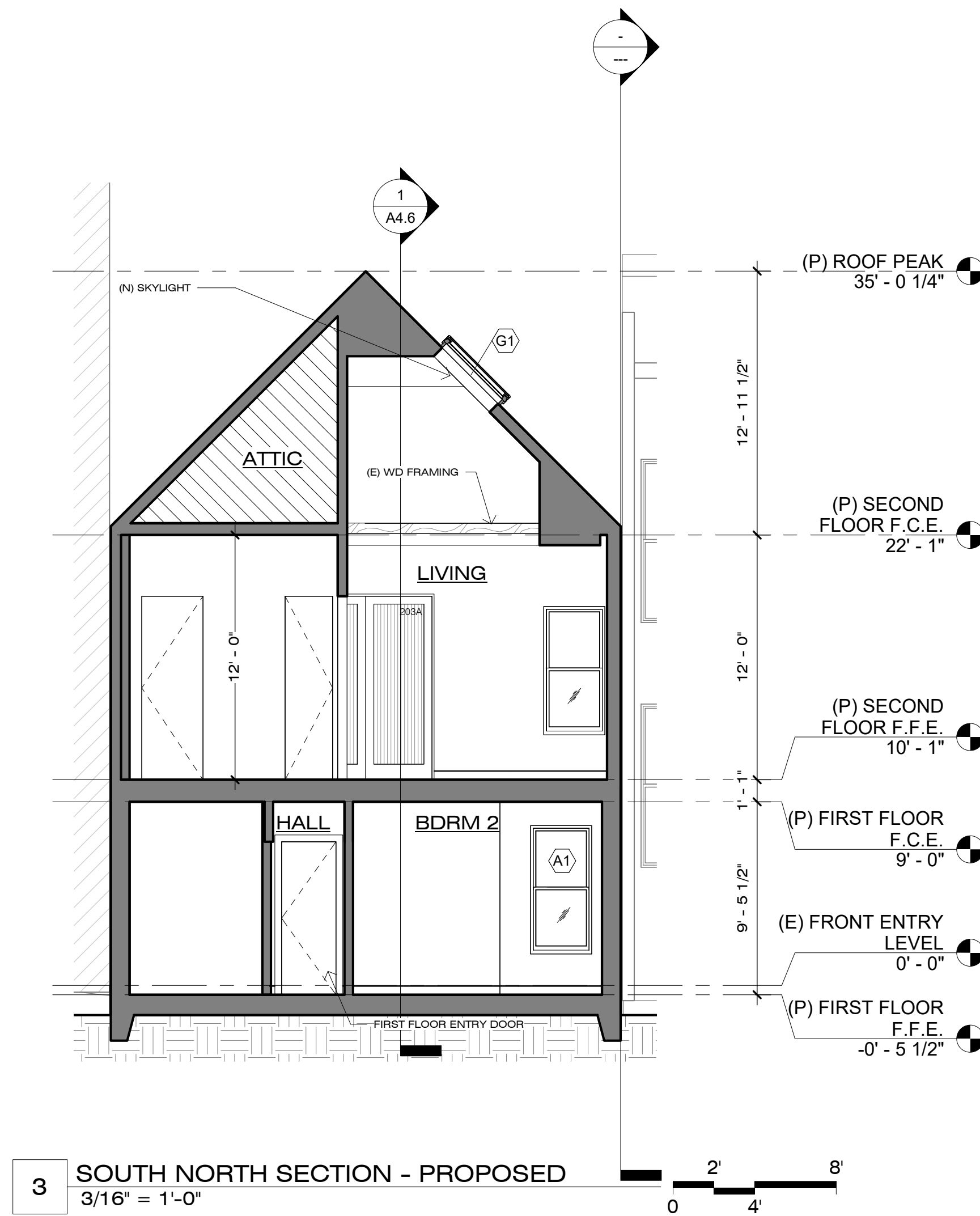
PROJECT	
812 SCOTT STREET	SCOTT FULTON
SAN FRANCISCO, CA 94117	
NUMBER	
201833	
CONTACT	
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OWNER	
Scott Fulton, LLC	
APN	
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BUILDING SECTIONS -
EXISTING

A4.5



B. Bridges



ISSUE	
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2020-06-02	PERMIT APPLICATION R3
2020-01-30	PERMIT APPLICATION R2
2019-12-20	PERMIT APPLICATION R1
2019-07-02	PERMIT APPLICATION
2019-05-01	PRE APP MEETING

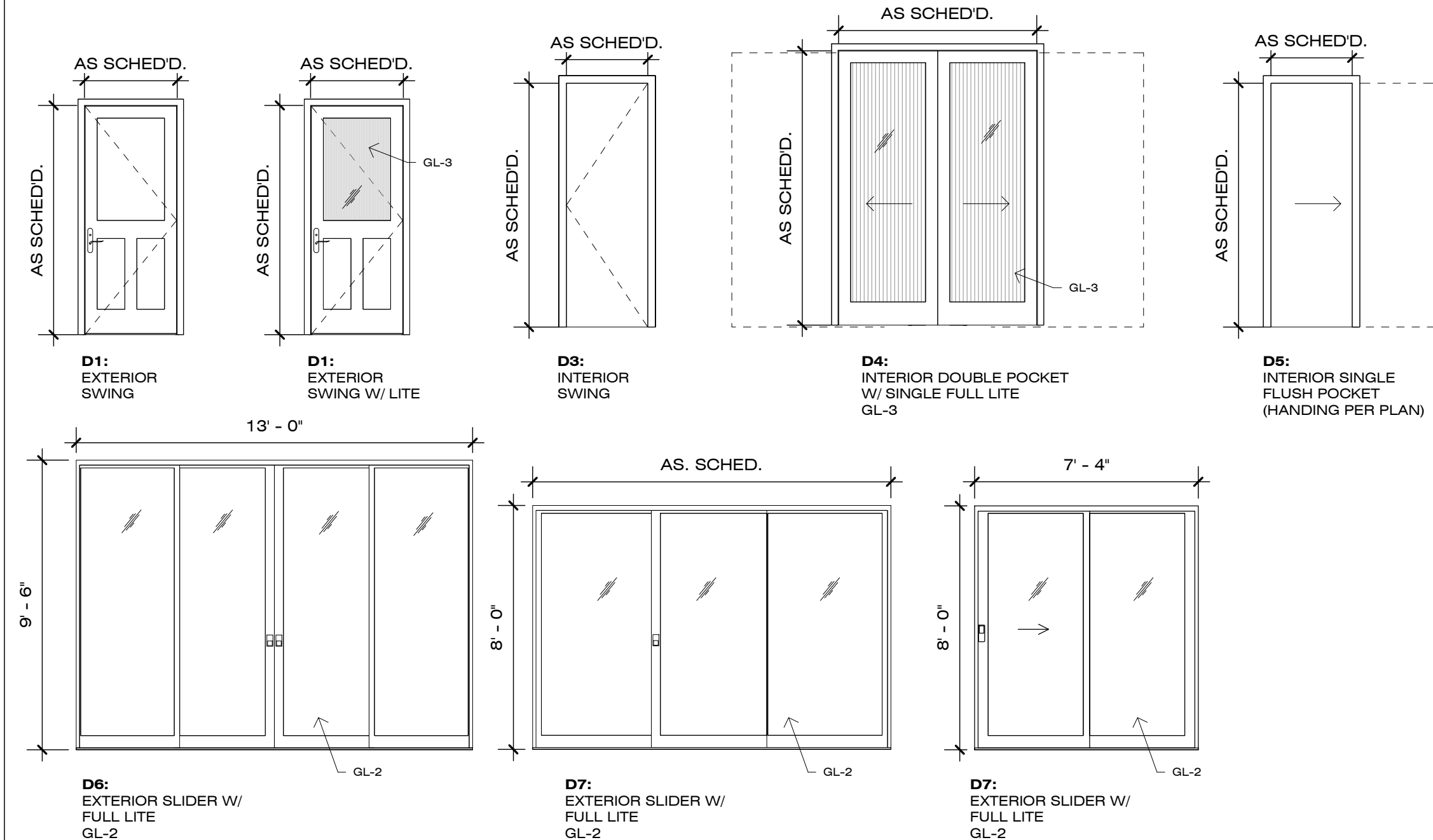
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Scott Fulton, LLC	
APN	
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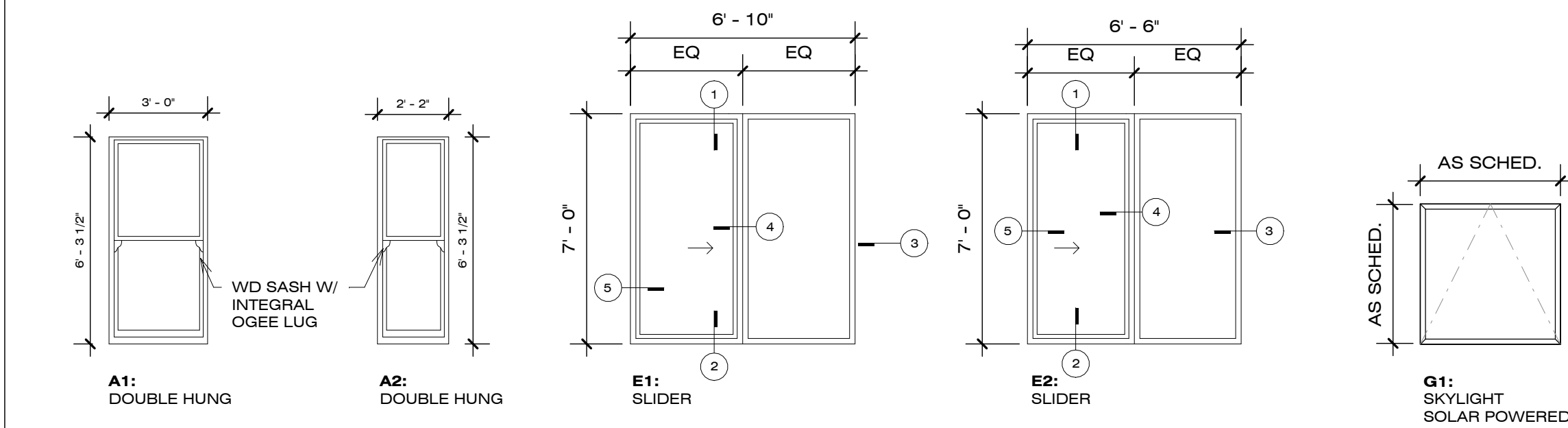
BUILDING SECTIONS -
PROPOSED

A4.6

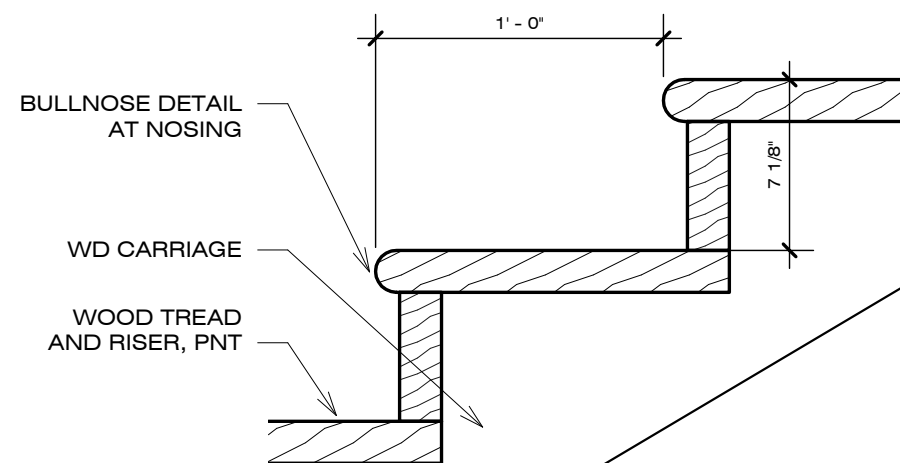
DOOR SCHEDULE										
MARK	DOOR TYPE	DESCRIPTION	MANUF.	MODEL	F-R	HEIGHT	WIDTH	MATERIAL	FIN.	NOTES
101A	D2	EXT. FRONT DOOR W/ LITE W/ PRIVACY GL.	-		N.R.	7'-6"	3'-0"	GL., WD	PNT.	
101B	D5	INT. POCKET DOOR	-		N.R.	7'-6"	3'-0"			
103A	D3	INT. SWING DOOR	-		N.R.	7'-6"	2'-8"			
103B	D2	INT. SWING DOOR	-		N.R.	7'-6"	2'-8"			
104A	D2		-			7'-6"	3'-0"	SCW	PNT.	
105A	D2	INT. SWING DOOR	-		2 HR	7'-6"	2'-8"			
107A	D3	INT. SWING DOOR	-		N.R.	7'-6"	2'-8"			
108A	D3	INT. SWING DOOR	-		N.R.	7'-6"	2'-8"	SCW	PNT.	
109A	D3	INT. SWING DOOR	-		N.R.	7'-6"	2'-8"			
110A	D3	INT. SWING DOOR	-		N.R.	7'-6"	2'-8"			
111A	D5		-			7'-0"	2'-8"			
112A	D5		-			7'-6"	2'-4"			
113A	D5	INT. SWING DOOR	-		N.R.	7'-6"	3'-0"			
113B	D7	EXT. SLIDING W/ FULL LITE	BONELLI	3070-T	N.R.	8'-0"	11'-0"			
113C	D8	EXT. SLIDING W/ FULL LITE	BONELLI	3070-T	N.R.	8'-0"	7'-4"	GL., ALUM.	BLACK	
202A	D1	EXT. FRONT SWING	-		N.R.	8'-0"	3'-0"	SCW	PNT.	
203A	D4	INT. DOUBLE POCKET W/ FULL LITE	-		N.R.	9'-0"	6'-6"	GL., SCW	BLACK	
204A	D3	INT. SWING DOOR	-		N.R.	9'-0"	2'-4"	SCW	PNT.	
206A	D3	INT. SWING DOOR	-		N.R.	9'-0"	2'-4"	SCW	PNT.	
207A	D3	INT. SWING DOOR	-		N.R.	9'-0"	3'-0"	SCW	PNT.	
208A	D3	INT. SWING DOOR	-		N.R.	9'-0"	2'-8"	SCW	PNT.	
209A	D5	INT. SWING DOOR	-		N.R.	8'-0"	2'-6"	SCW	PNT.	
210A	D6	EXT. SLIDING W/ FULL LITE	BONELLI	3070-T	N.R.	9'-6"	12'-10 21/32"	GL., ALUM.	BLACK	



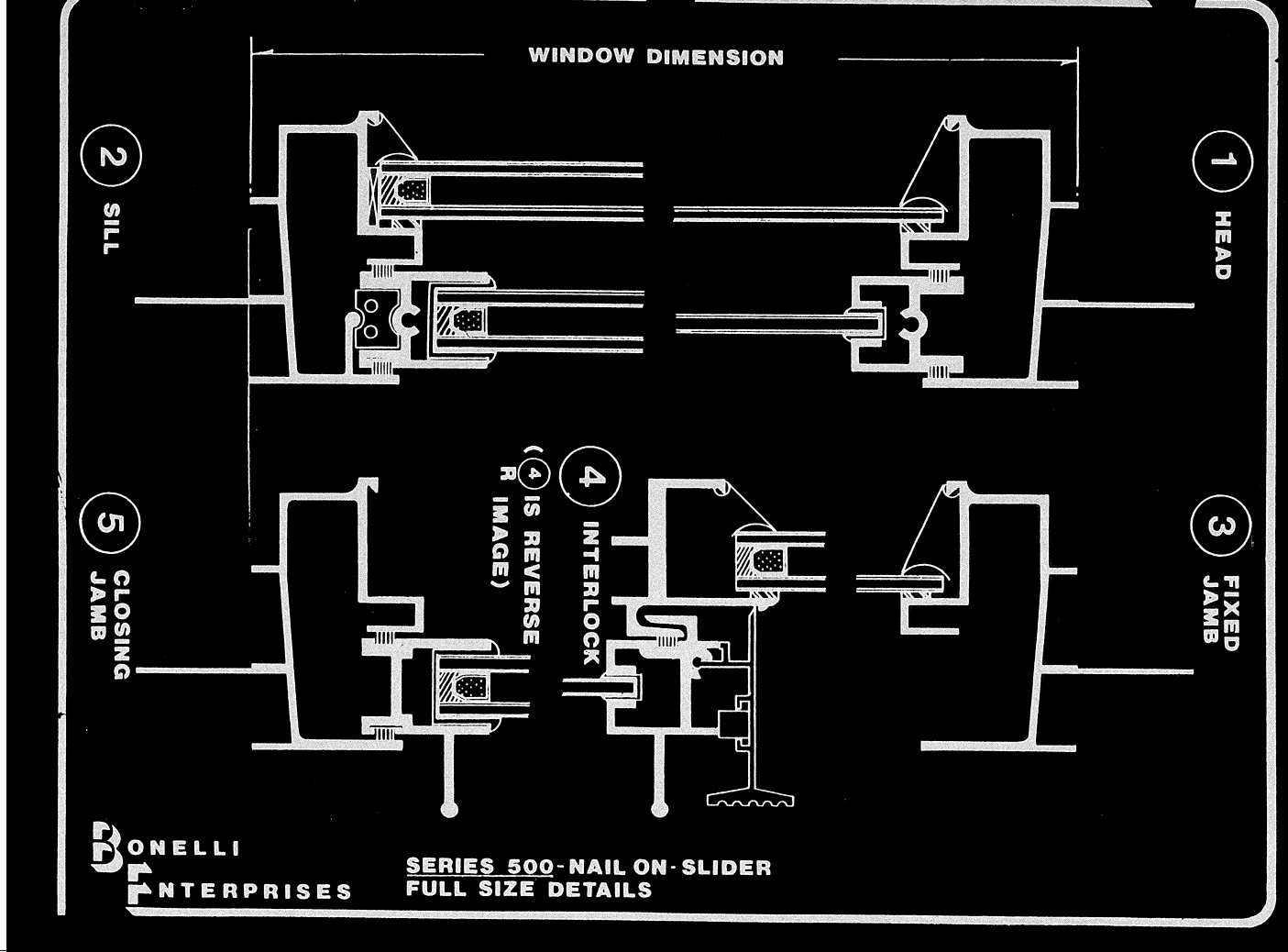
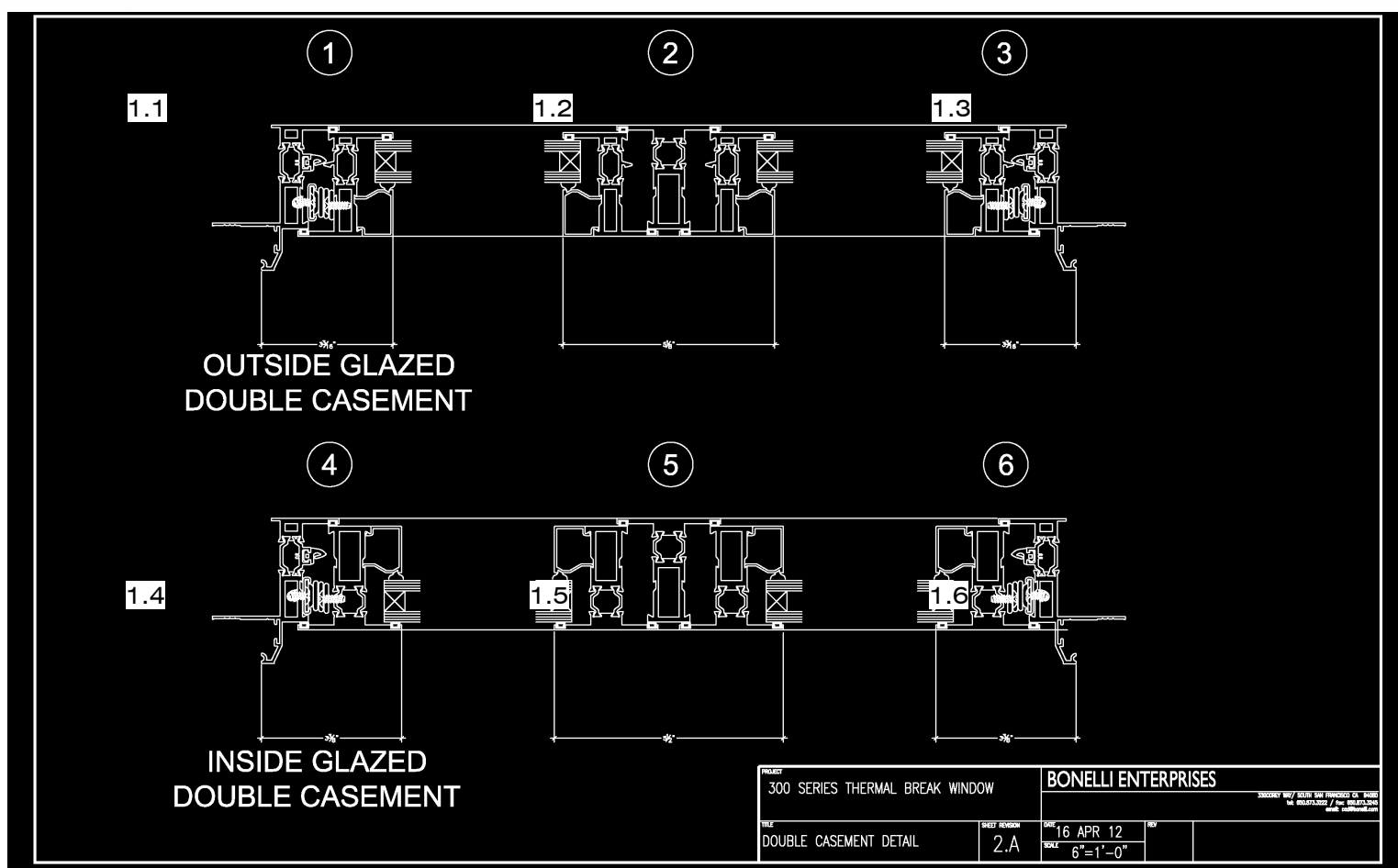
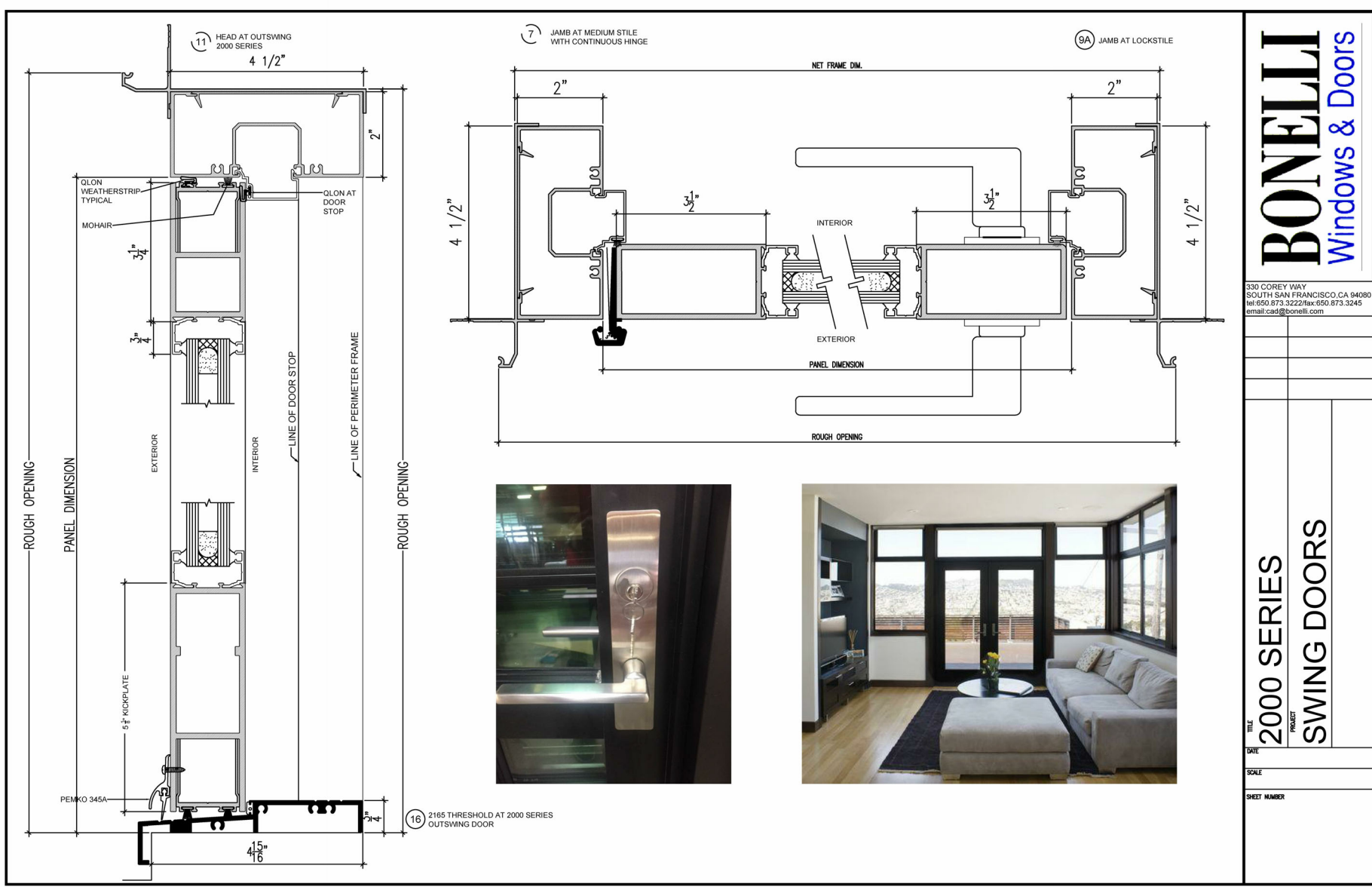
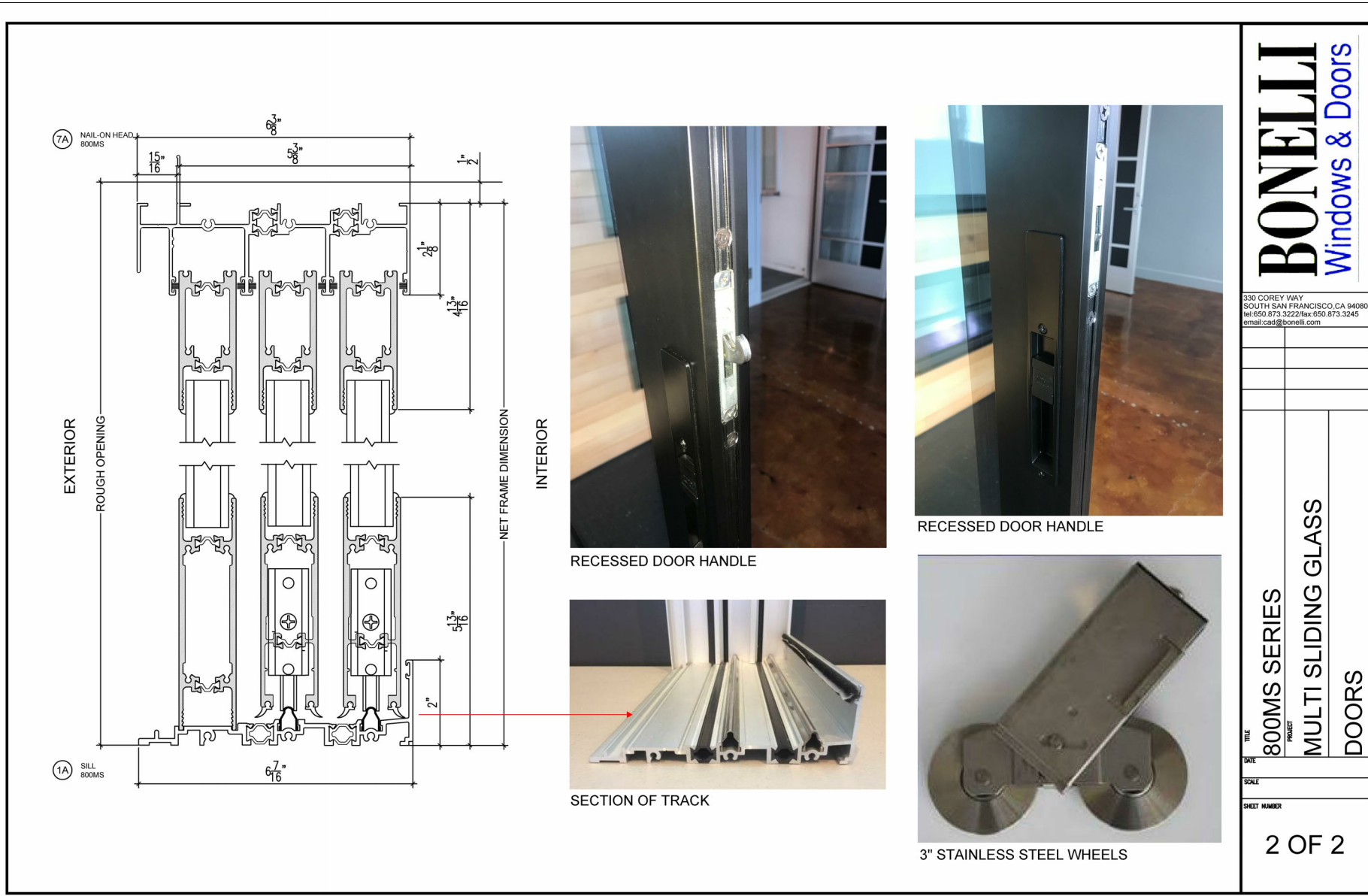
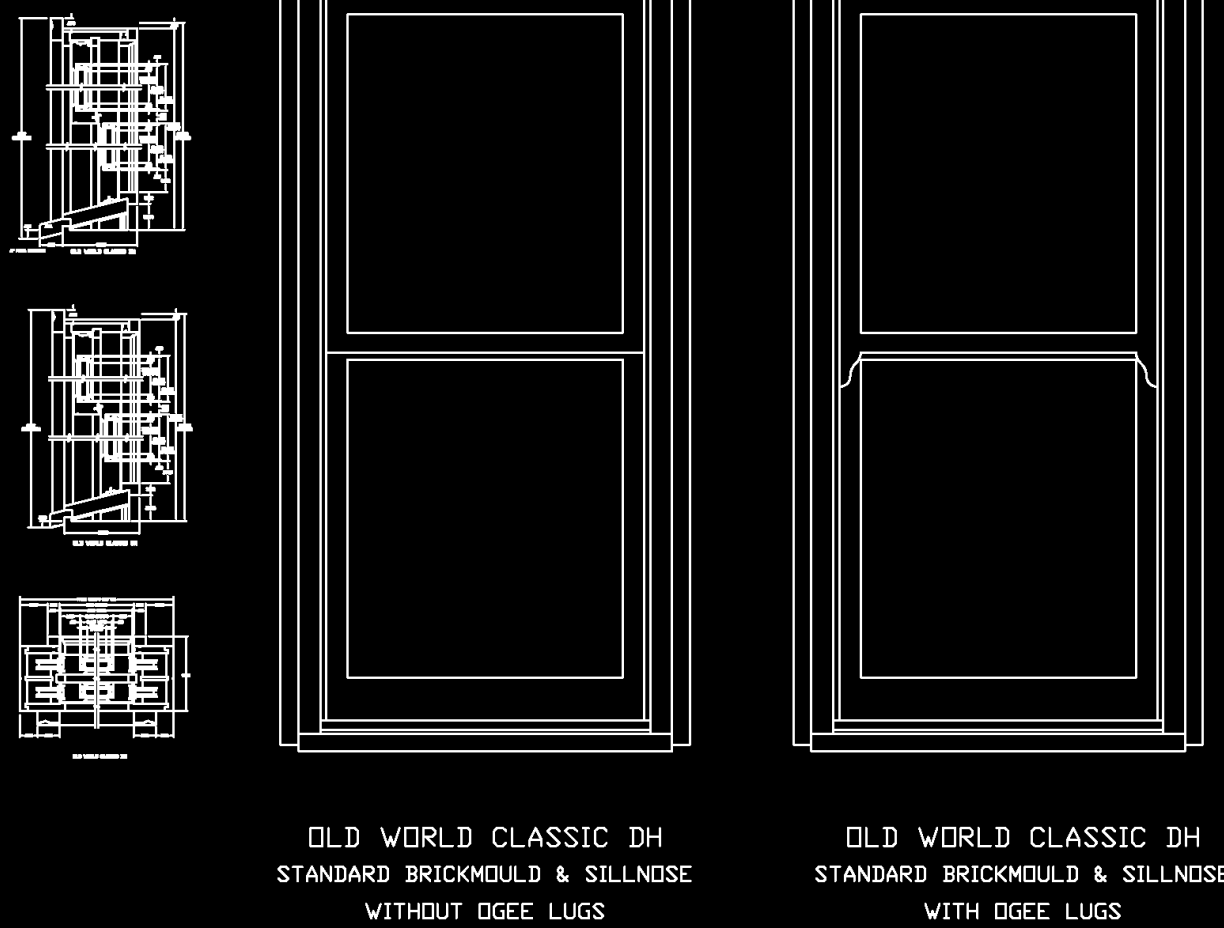
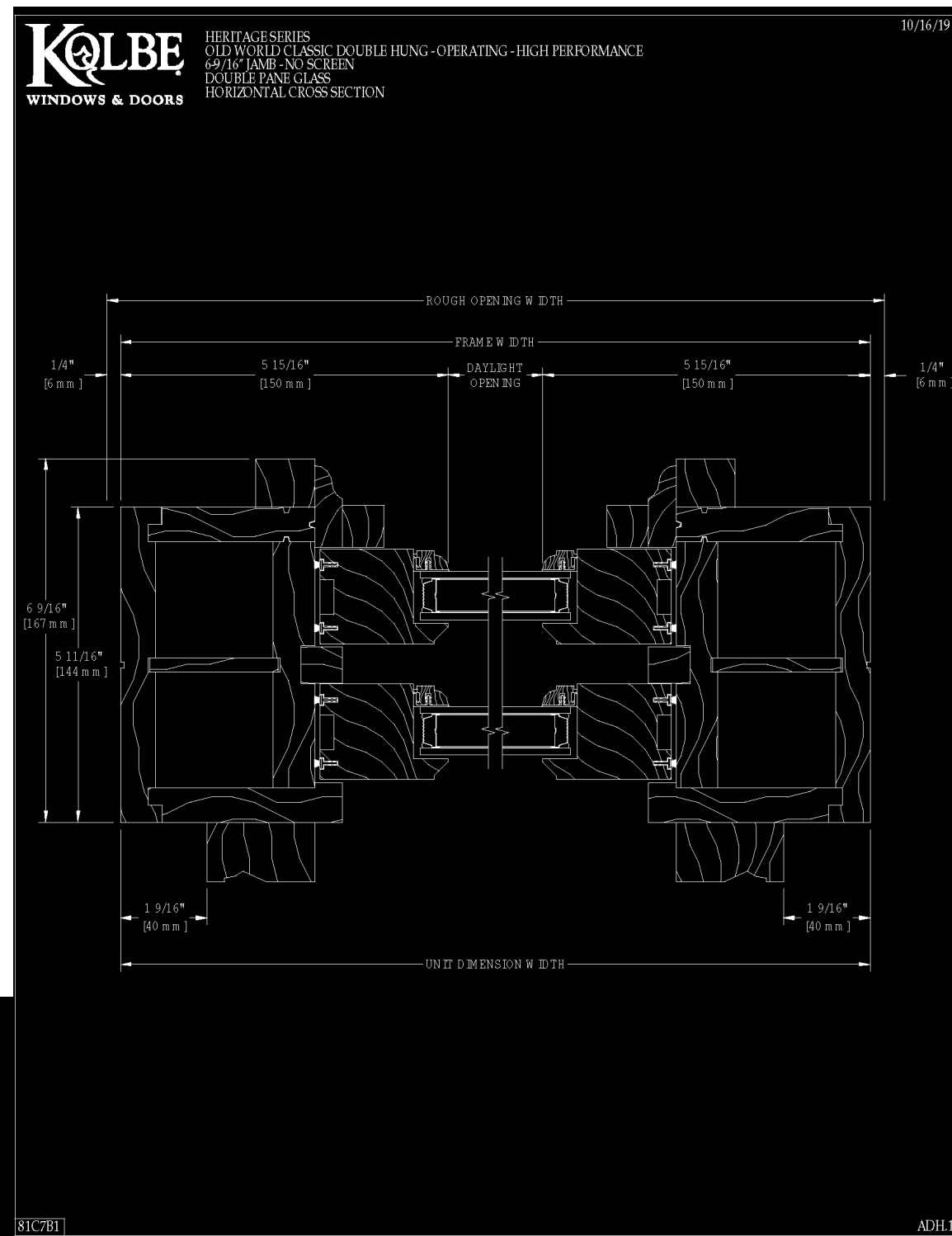
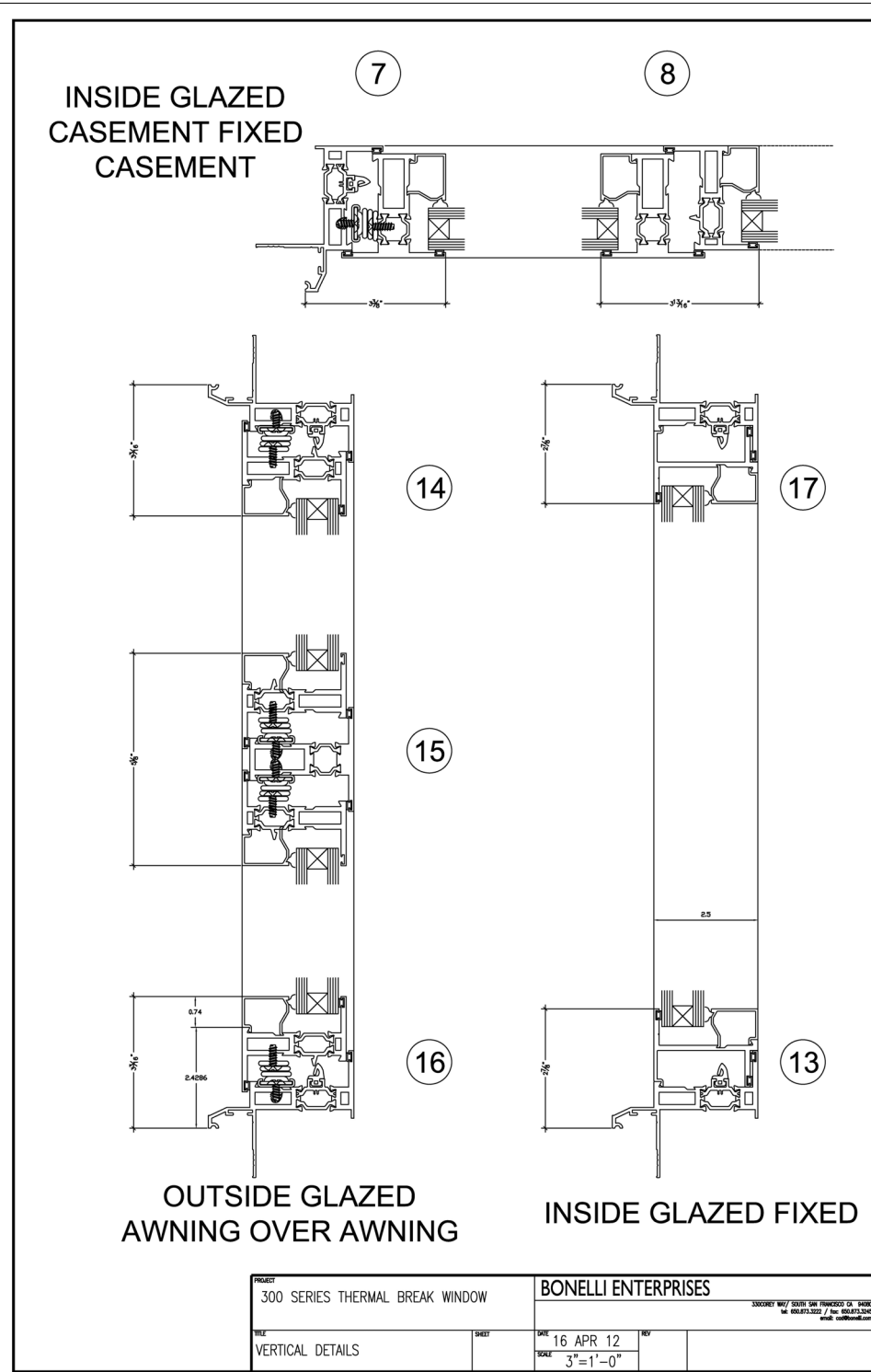
WINDOW SCHEDULE										
Type Mark	QTY	MFR.	MODEL	Width	Height	GLASS	MATERIAL	INT. FIN.	EXT. FIN.	COMMENTS
A1	9	KOLBE	OLD WORLD CLASSIC DH	3'-0"	6'-3 1/2"	GL-1	WD	PNT	PNT	HISTORIC WOOD WINDOWS WITH OGEE LUG, VIF REPLACEMENT LOCATIONS
A2	2	KOLBE	OLD WORLD CLASSIC DH	2'-2"	6'-3 1/2"	GL-1	WD	PNT	PNT	HISTORIC WOOD WINDOWS WITH OGEE LUG, VIF REPLACEMENT LOCATIONS
E1	1	BONELLI	500	6'-10"	7'-0"	GL-2	ALUM.	BLACK	BLACK	
E2	1	BONELLI	500	9'-6"	7'-0"	GL-1	ALUM.	BLACK	BLACK	
G1	3	VELUX	VCE	4'-3 1/8"	4'-3 1/8"	GL-5	ALUM.			



GLASS TYPES				
GL-1 1" INSULATED GLASS CLEAR	GL-2 1" INSULATED GLASS CLEAR TEMPERED	GL-3 1" INSULATED GLASS PRIVACY GLAZING TEMPERED	GL-4 1" INSULATED GLASS PRIVACY GLAZING	GL-5 DUAL PANE SEALED GLAZING TEMPERED LoE3 CLEAR



1 FRONT STAIR DETAIL
1 1/2" = 1'-0"



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LICENSED ARCHITECT
BONNIE L. BRIDGES
NO. C-23785
EXP. MAY 31, 2021
STATE OF CALIFORNIA

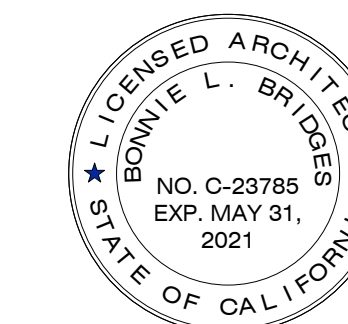
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PROJECT	SCOTT FULTON 812 SCOTT STREET SAN FRANCISCO, CA 94117
NUMBER	201833
CONTACT	LeAnna Burgin
OWNER	Scott Fulton, LLC
APN	1260/038A

DOOR & WINDOW
SCHEDULES

A5.1



B Bridges



2 PROPOSED FRONT OF HOUSE



1 EXISTING FRONT OF HOUSE

ISSUE
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2019-05-01 Pre Application Meeting

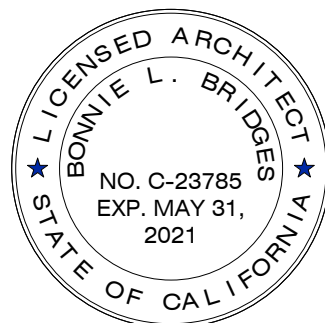
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PROJECT SCOTT FULTON
812 SCOTT STREET
SAN FRANCISCO, CA 94117
NUMBER 201833
CONTACT LeAnna Burgin
OWNER Scott Fulton, LLC
APN 1260/038A

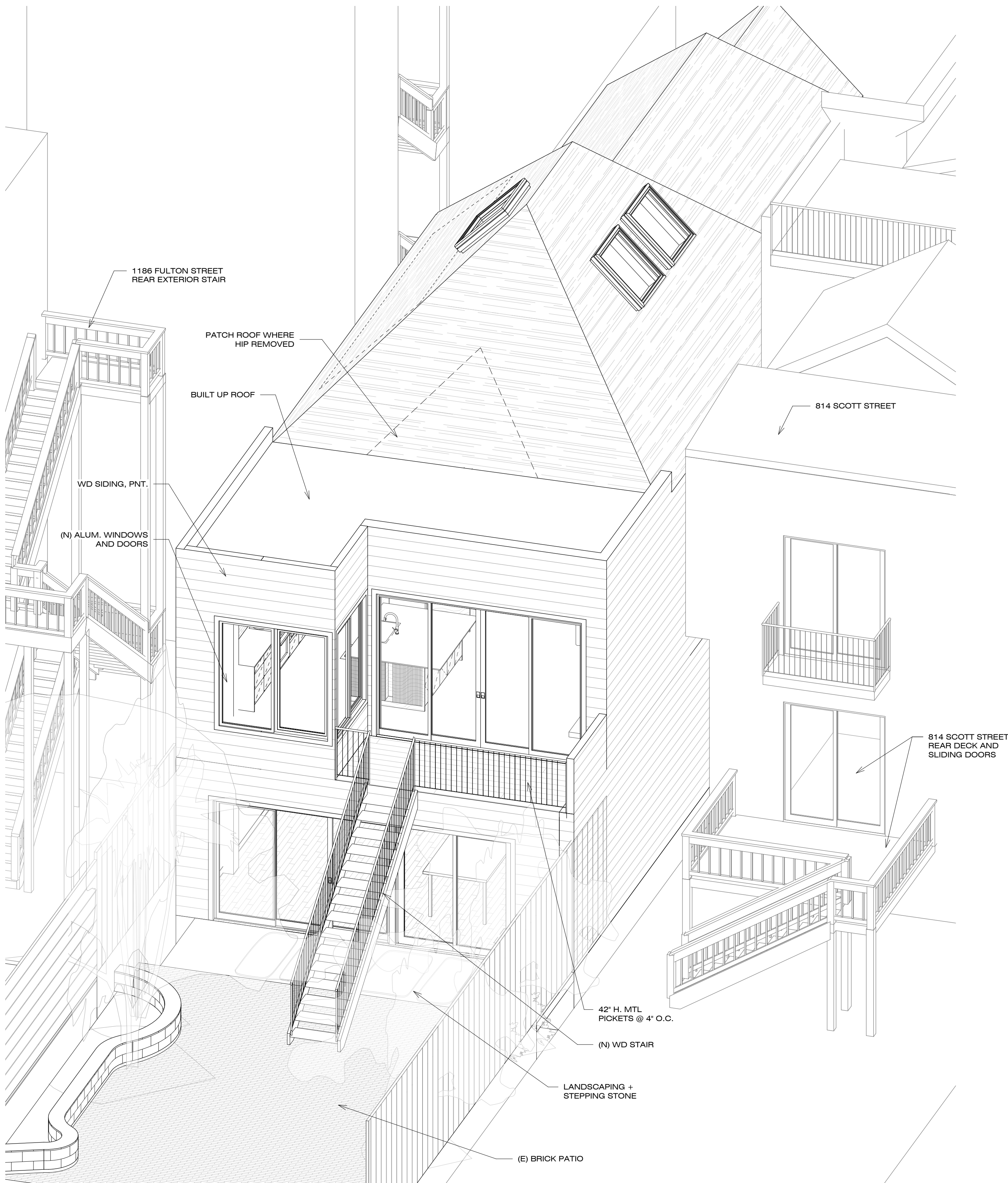
3D VIEWS - FRONT

A9.1

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San Francisco, CA 94109
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FAX 415 241 7164
WWW studio-bba.com



B. Bridges



2 PROPOSED REAR OF HOUSE



1 EXISTING REAR OF HOUSE

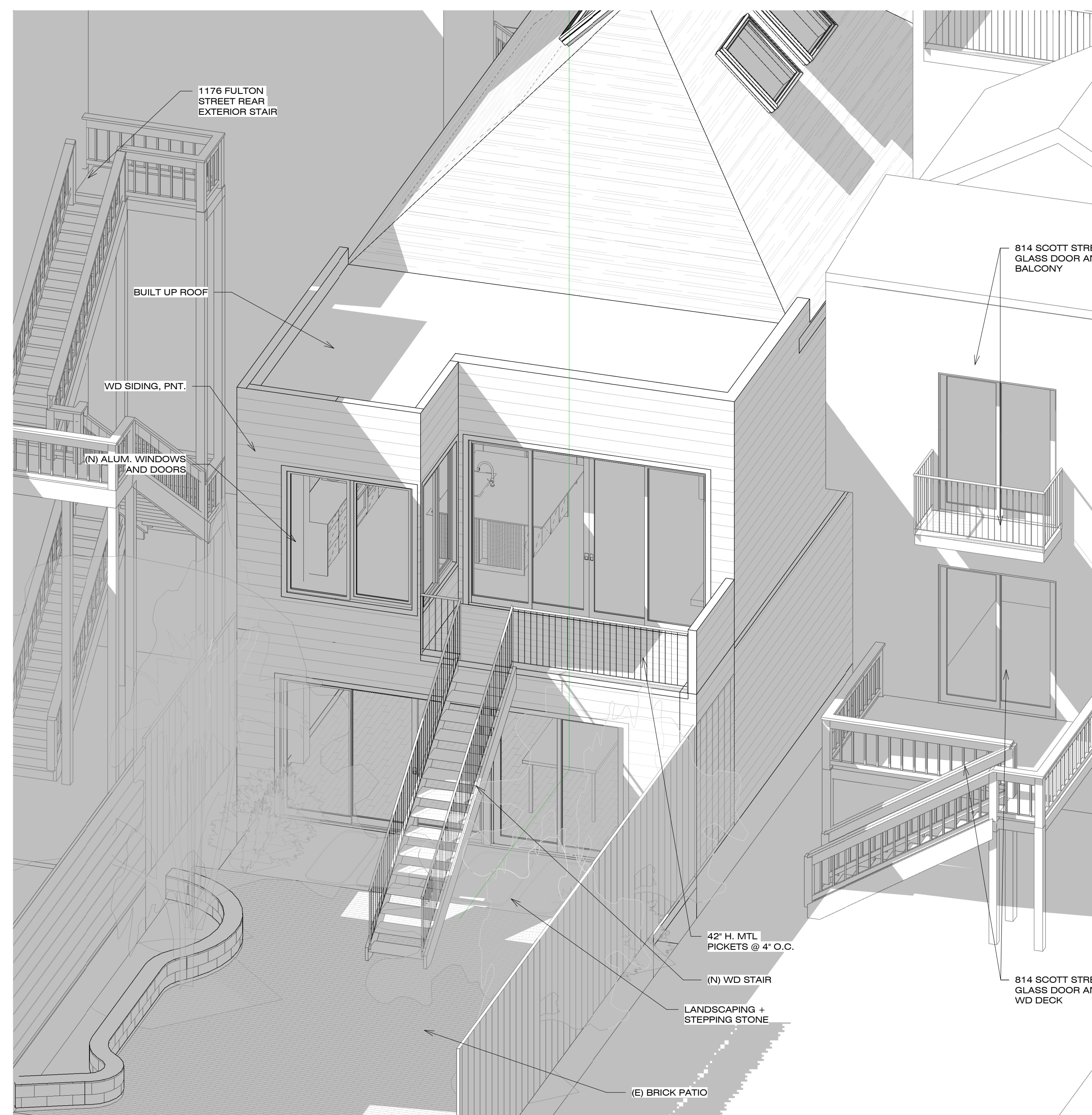
ISSUE
2020-08-11 PERMIT APPLICATION R4
2020-06-02 PERMIT APPLICATION R3
2020-01-30 PERMIT APPLICATION R2
2019-12-20 PERMIT APPLICATION R1
2019-07-02 PERMIT APPLICATION

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APN 1260/038A

3D VIEWS - REAR

A9.2



2 PROPOSED REAR OF HOUSE SHADOW STUDY - SPRING EQUINOX @ 12 PM



1 EXISTING REAR OF HOUSE SHADOW STUDY - SPRING EQUINOX @ 12 PM

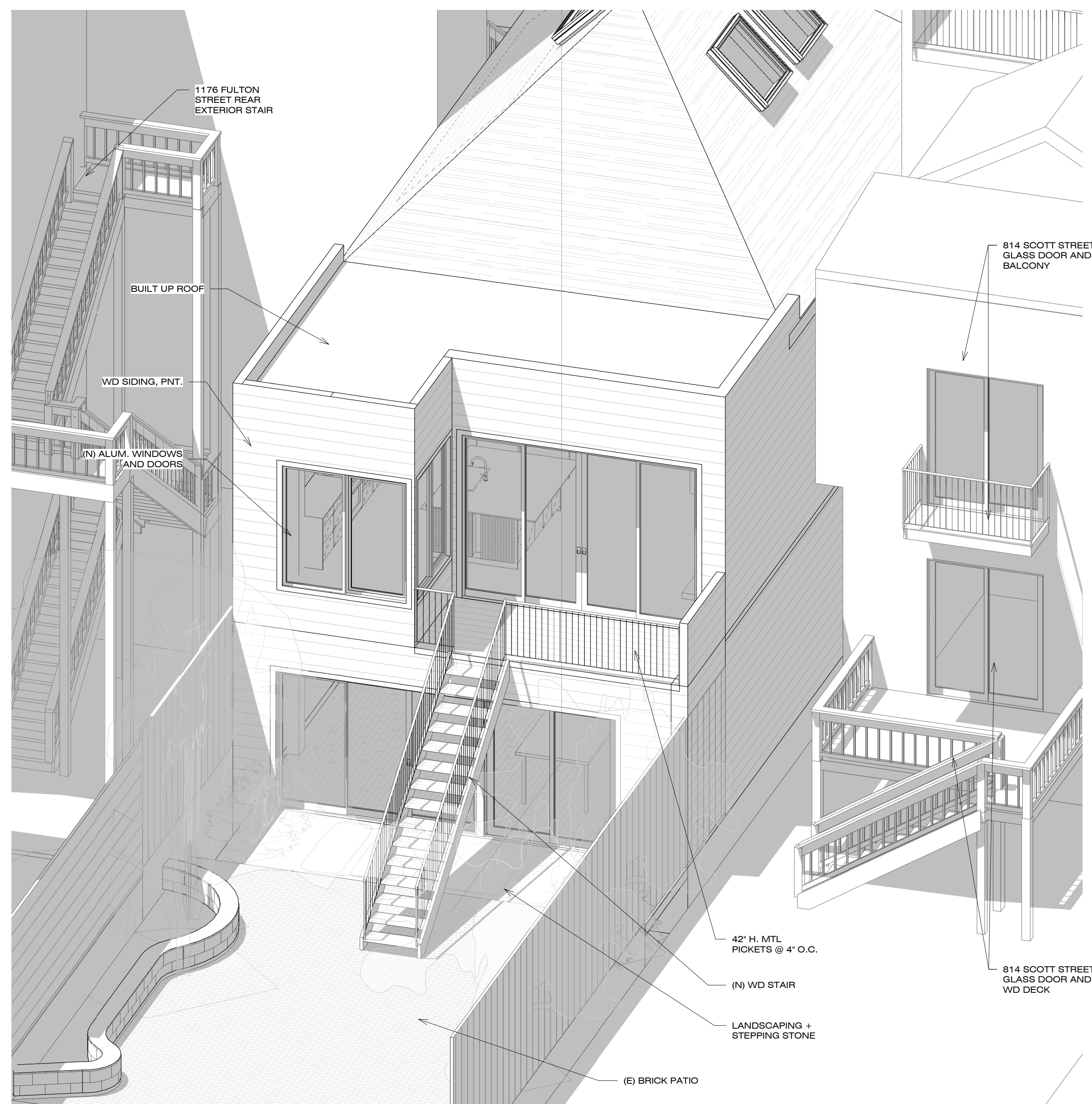
ISSUE
2020-08-11 PERMIT APPLICATION R4
2020-06-02 PERMIT APPLICATION R3
2020-01-30 PERMIT APPLICATION R2
2019-12-20 PERMIT APPLICATION R1
2019-07-02 PERMIT APPLICATION

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OWNER Scott Fulton, LLC
APN 1260/038A

3D VIEWS - REAR SHADOWS

A9.3



1 PROPOSED REAR OF HOUSE SHADOW STUDY - SUMMER SOLSTICE @ 12 PM



2 EXISTING REAR OF HOUSE SHADOW STUDY - SUMMER SOLSTICE @ 12 PM

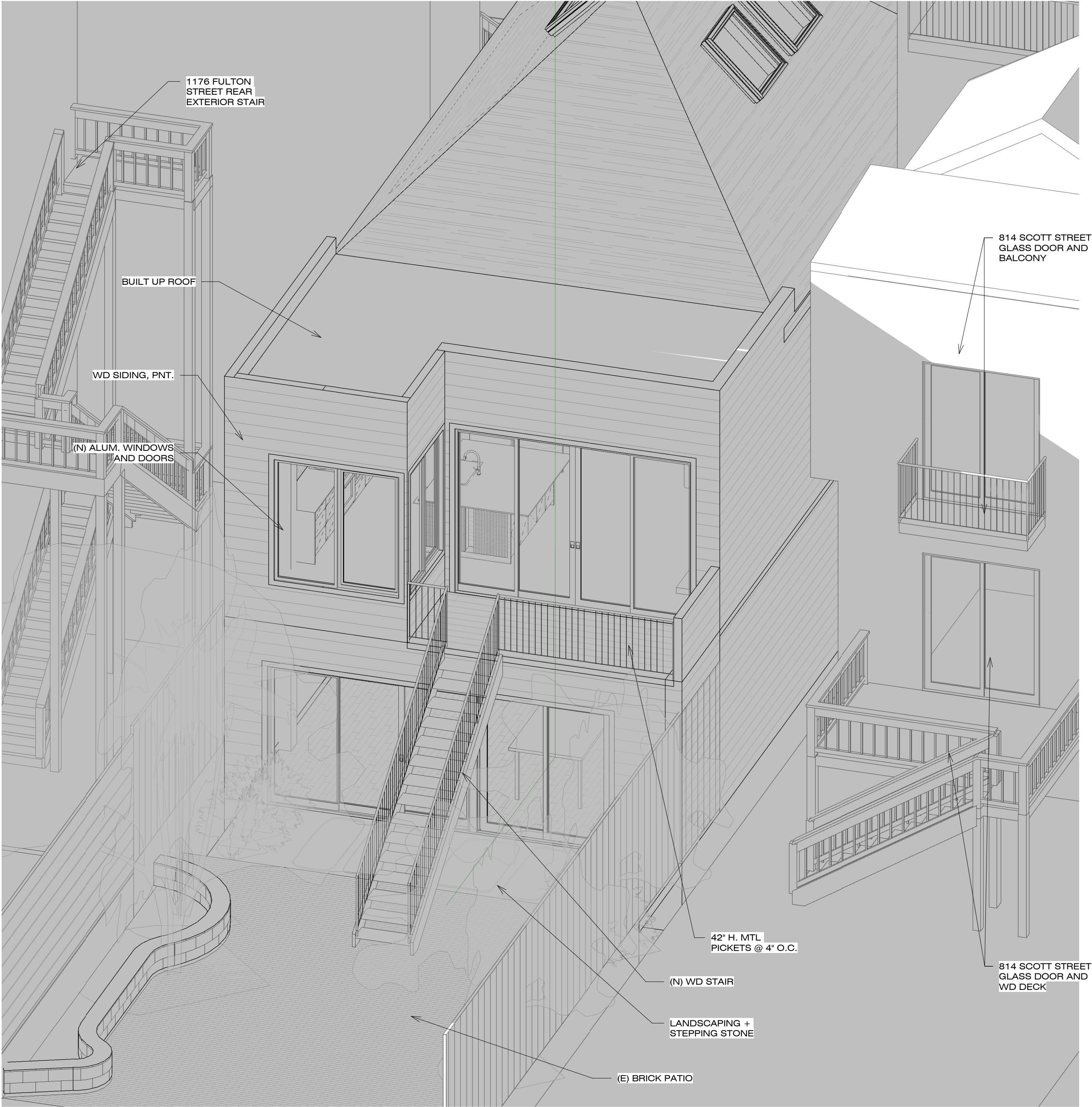
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2020-06-02 PERMIT APPLICATION R3
2020-01-30 PERMIT APPLICATION R2
2019-12-20 PERMIT APPLICATION R1
2019-07-02 PERMIT APPLICATION

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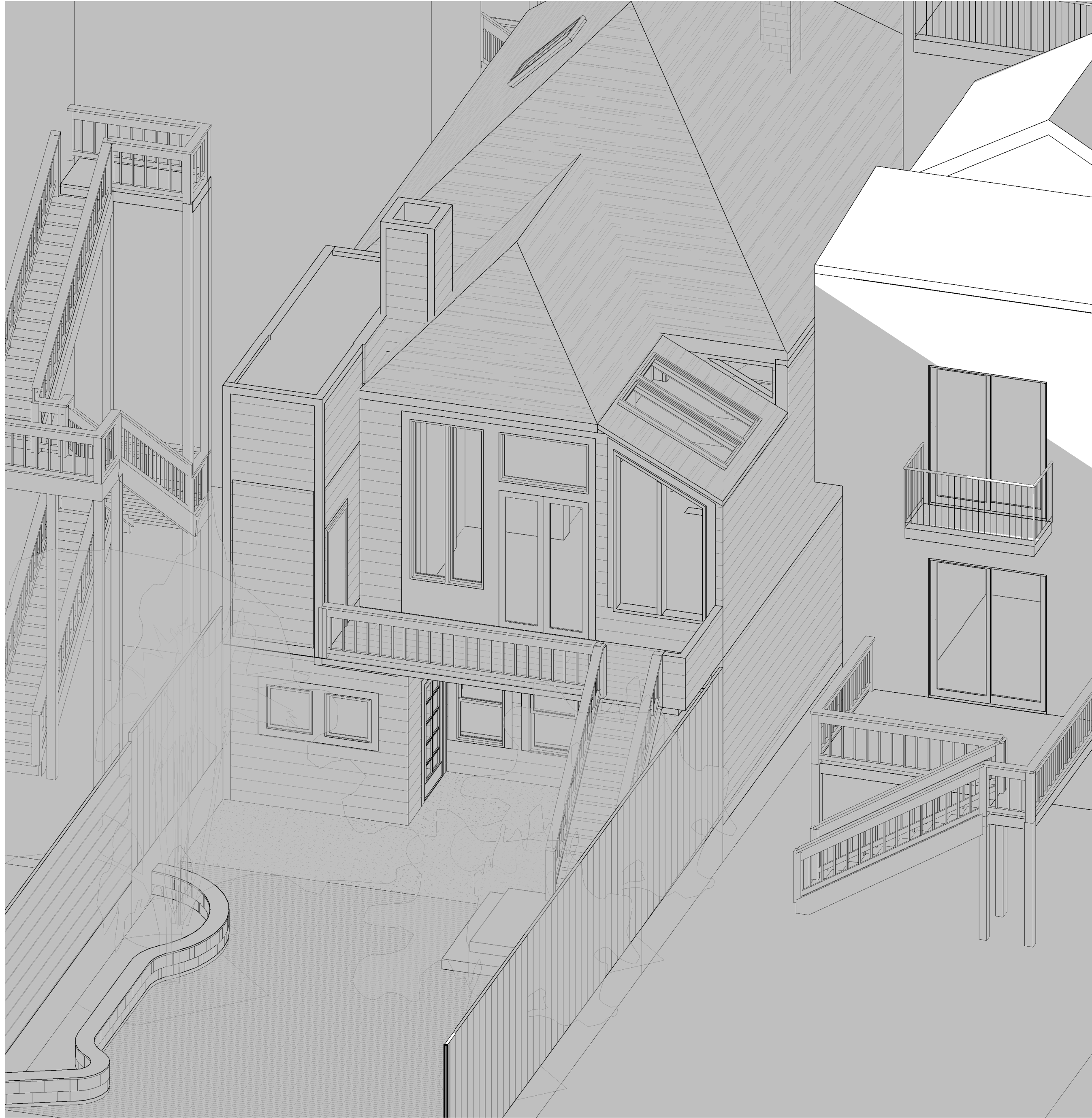
PROJECT SCOTT FULTON
812 SCOTT STREET
SAN FRANCISCO, CA 94117
NUMBER 201833
CONTACT LeAnna Burgin
OWNER Scott Fulton, LLC
APN 1260/038A

3D VIEWS - REAR SHADOWS

A9.4



1 PROPOSED REAR OF HOUSE SHADOW STUDY - WINTER SOLSTICE @ 12 PM



2 EXISTING REAR OF HOUSE SHADOW STUDY - WINTER SOLSTICE @ 12 PM

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B. Bridges

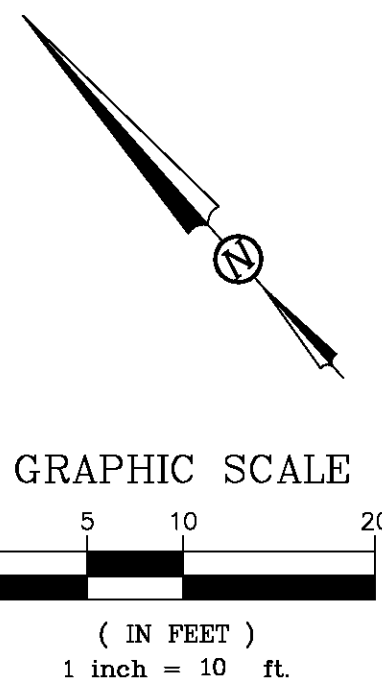
ISSUE
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2020-01-30 PERMIT APPLICATION R2
2019-12-20 PERMIT APPLICATION R1
2019-07-02 PERMIT APPLICATION

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SAN FRANCISCO, CA 94117
NUMBER 201833
CONTACT LeAnna Burgin
OWNER Scott Fulton, LLC
APN 1260/038A

3D VIEWS - REAR SHADOWS

A9.5



ENCHMARK:
BM111117
IN CONCRETE SIDEWALK 8.0' NORTH OF NORTH FACE OF CURB
OF GOLDEN GATE 10.3' EAST OF EAST FACE OF CURB OF
SCOTT 4.9' EAST FROM CENTER/CENTER OF TRAFFIC SIGNAL 11.0'
SOUTHEAST OF FIRE HYDRANT.
EL = 163.110' (CCSF-VD13)

NOTE:
ALL ANGLES ARE 90° UNLESS NOTED OTHERWISE

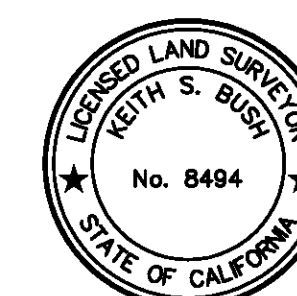
BASIS OF SURVEY:
THIS SURVEY WAS BASED UPON THE FOUND MONUMENT MARKS AS SHOWN
ON (M28),

PARCEL LOCATION THE DEED RECORDED OCTOBER 10, 2018, AS
Doc. #—2018-K681626—00, AND THE DEEDS OF THE IMMEDIATE ADJOINERS.

NOTE:
ALL ANGLES ARE 90° UNLESS NOTED OTHERWISE

BASIS OF SURVEY:
THIS SURVEY WAS BASED UPON THE FOUND MONUMENT MARKS AS SHOWN
ON (M28),

PARCEL LOCATION THE DEED RECORDED OCTOBER 10, 2018, AS
Doc.-2018-K681626-00, AND THE DEEDS OF THE IMMEDIATE ADJOINERS.



KEITH S. BUSH, L.S. 8494
DATE:

BOUNDARY &
TOPOGRAPHIC SURVEY

BEING THE REAL PROPERTY DESCRIBED IN THAT CERTAIN DEED RECORDED
ON NOVEMBER 26, 2018, AS 2018-K697537-00, ALSO BEING BEING A
PORTION OF WESTERN ADDITION BLOCK NO. 435.
CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA
MAY, 2020 SCALE 1" = 10'

MAY, 2020 SCALE 1" = 10'
BAY AREA LAND SURVEYING INC.

3065 RICHMOND PARKWAY, SUITE 101
RICHMOND, CA 94806
(510) 223-5167

SHT. 1 OF 1. JOB#20-4095. FB#XXX. /SCOTT4095-BT

Appendix B:

Environmental

Decision Document



CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
812 SCOTT ST		0777016
Case No.		Permit No.
2019-013740PRJ		
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
Project description for Planning Department approval. Interior and exterior additions and alterations to an existing 2-unit dwelling, including: lifting house to create more habitable space and foundation and seismic upgrade.		

STEP 1: EXEMPTION CLASS

The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. FOR ENVIRONMENTAL PLANNING USE ONLY
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? Note that a categorical exemption shall not be issued for a project located on the Cortese List if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).
<input type="checkbox"/>	Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography). If yes, Environmental Planning must issue the exemption.
<input type="checkbox"/>	Slope = or > 25%: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.
Comments and Planner Signature (optional): Michelle A Taylor	

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: <i>(refer to Property Information Map)</i>	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input checked="" type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input checked="" type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input checked="" type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .

<input checked="" type="checkbox"/>	<p>8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):</p> <p>Project proposes to convert doors into windows and add new door at ground floor in a sensitive and compatible manner. Applicant will replace brick front entry steps with period-appropriate wood, bull-nosed steps.</p>
<input checked="" type="checkbox"/>	<p>9. Other work that would not materially impair a historic district (specify or add comments):</p> <p>All work meets the Standards and is compatible with the historic district and context. New addition is not visible from public ROW.</p> <p><i>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</i></p>
<input type="checkbox"/>	<p>10. Reclassification of property status. <i>(Requires approval by Senior Preservation Planner/Preservation)</i></p> <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p><input type="checkbox"/> Reclassify to Category A</p> <p style="margin-left: 20px;">a. Per HRER or PTR dated</p> <p style="margin-left: 20px;">b. Other (specify):</p> </div> <div style="width: 45%;"> <p><input type="checkbox"/> Reclassify to Category C</p> <p style="margin-left: 20px;"><i>(attach HRER or PTR)</i></p> </div> </div>
<p>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.</p>	
<input checked="" type="checkbox"/>	<p>Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.</p>
<p>Comments (optional):</p> 	
<p>Preservation Planner Signature: Michelle A Taylor</p>	

STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input checked="" type="checkbox"/>	<p>No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.</p>	
	<p>Project Approval Action:</p> <p>Building Permit</p> <p>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p>	<p>Signature:</p> <p>Michelle A Taylor</p> <p>10/02/2020</p>
	<p>Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action.</p> <p>Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.</p>	

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

MODIFIED PROJECT DESCRIPTION

Modified Project Description:

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

- | | |
|--------------------------|--|
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code; |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312; |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)? |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |

If at least one of the above boxes is checked, further environmental review is required.

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

- | | |
|--------------------------|---|
| <input type="checkbox"/> | The proposed modification would not result in any of the above changes. |
|--------------------------|---|

If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.

Planner Name:

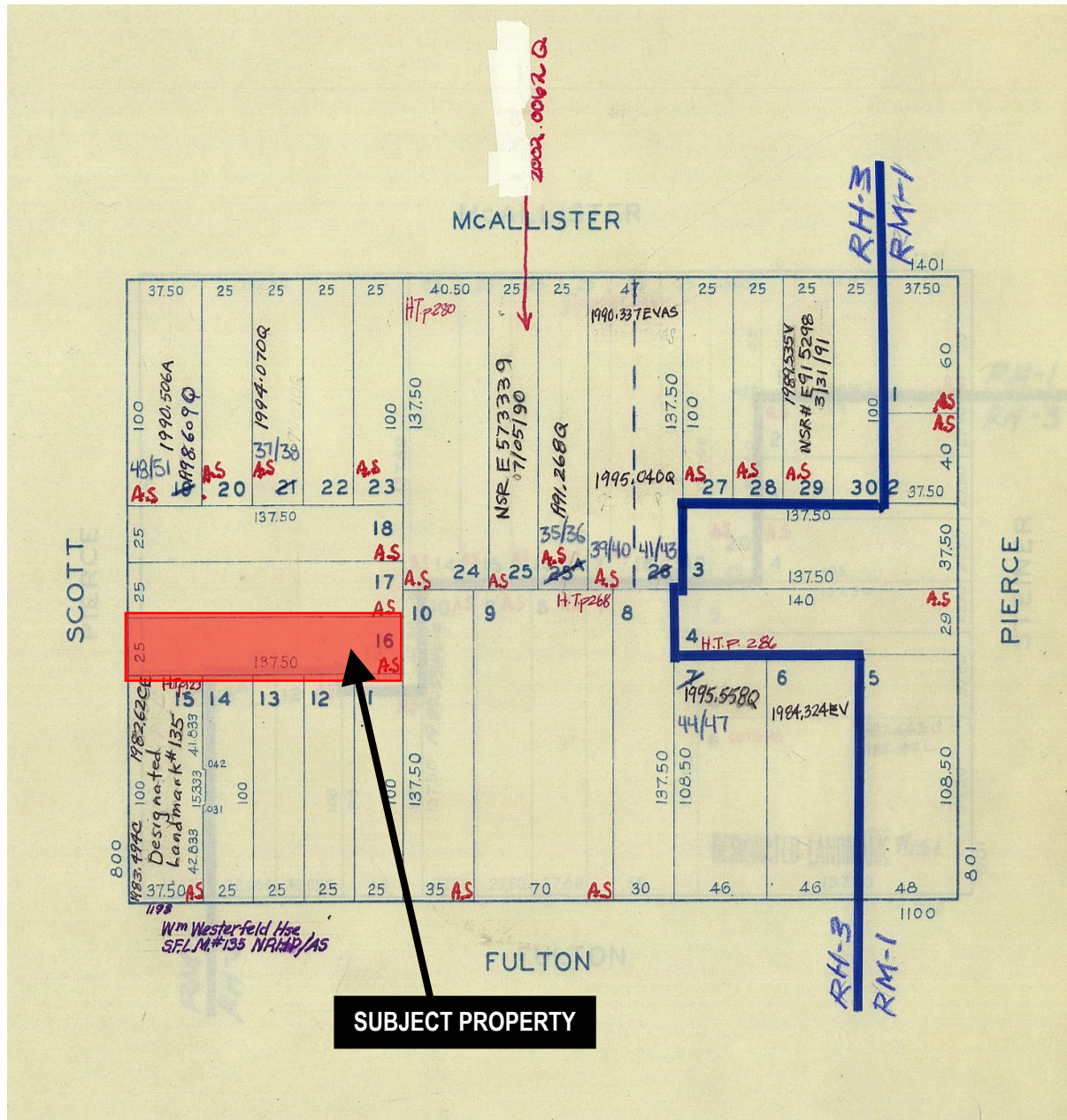
Date:

Appendix C:

Maps and Context

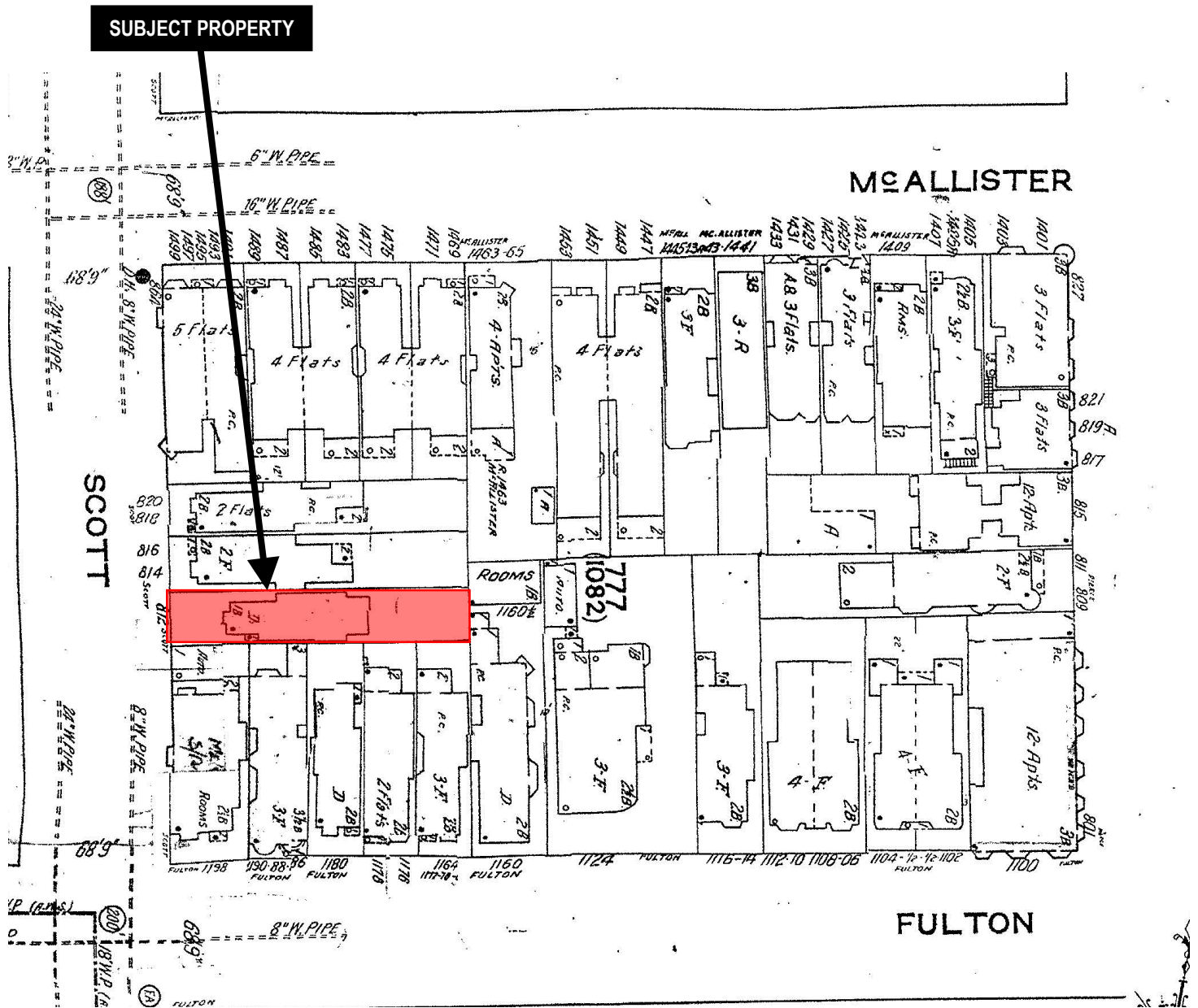
Photos

Parcel Map



Certificate of Appropriateness
Case Number 2019-013740COA
812 Scott Street

Sanborn Map*

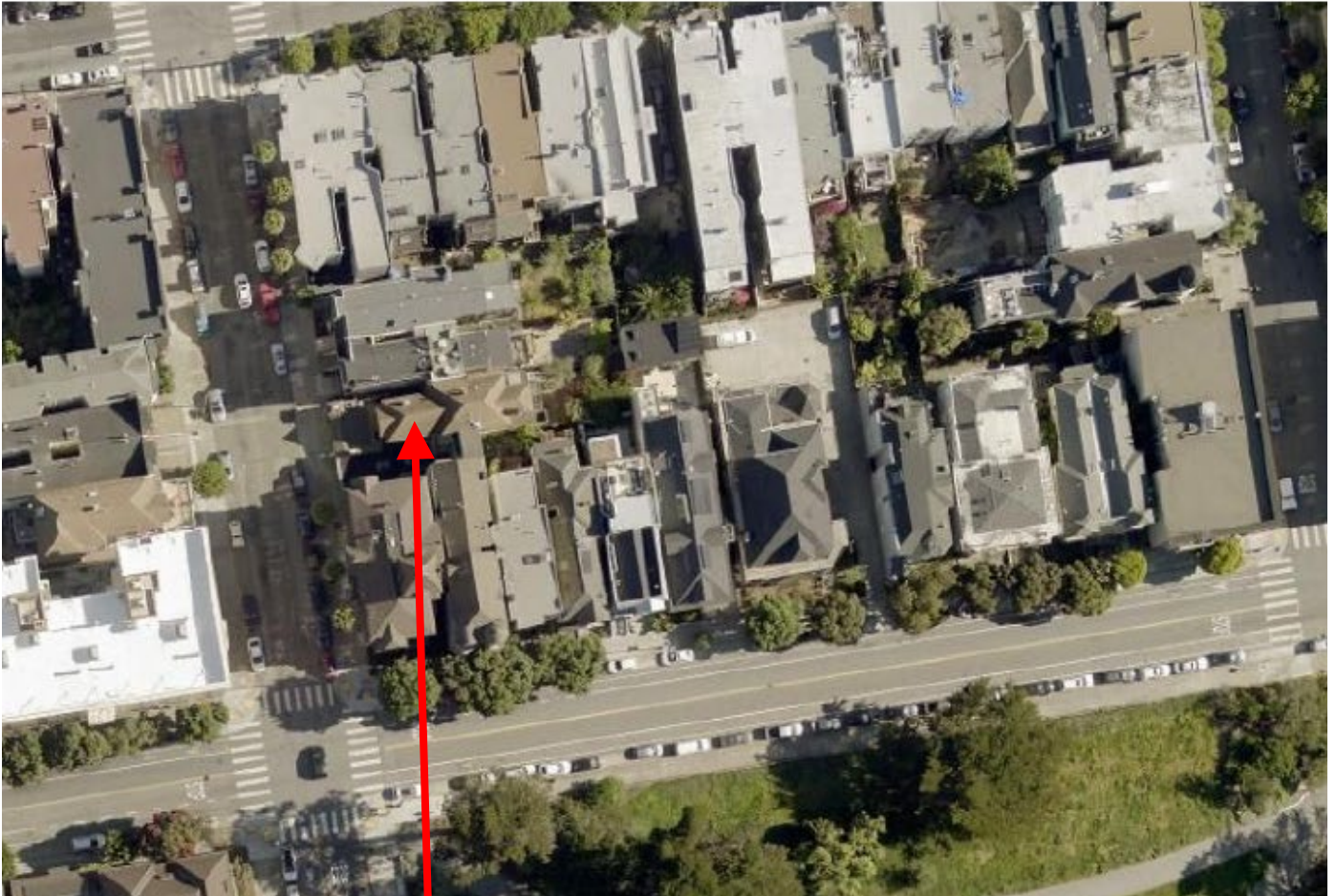


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Certificate of Appropriateness
Case Number 2019-013740COA
812 Scott Street

Aerial Photo – View 1



SUBJECT PROPERTY



Certificate of Appropriateness
Case Number 2019-013740COA
812 Scott Street

Aerial Photo – View 2

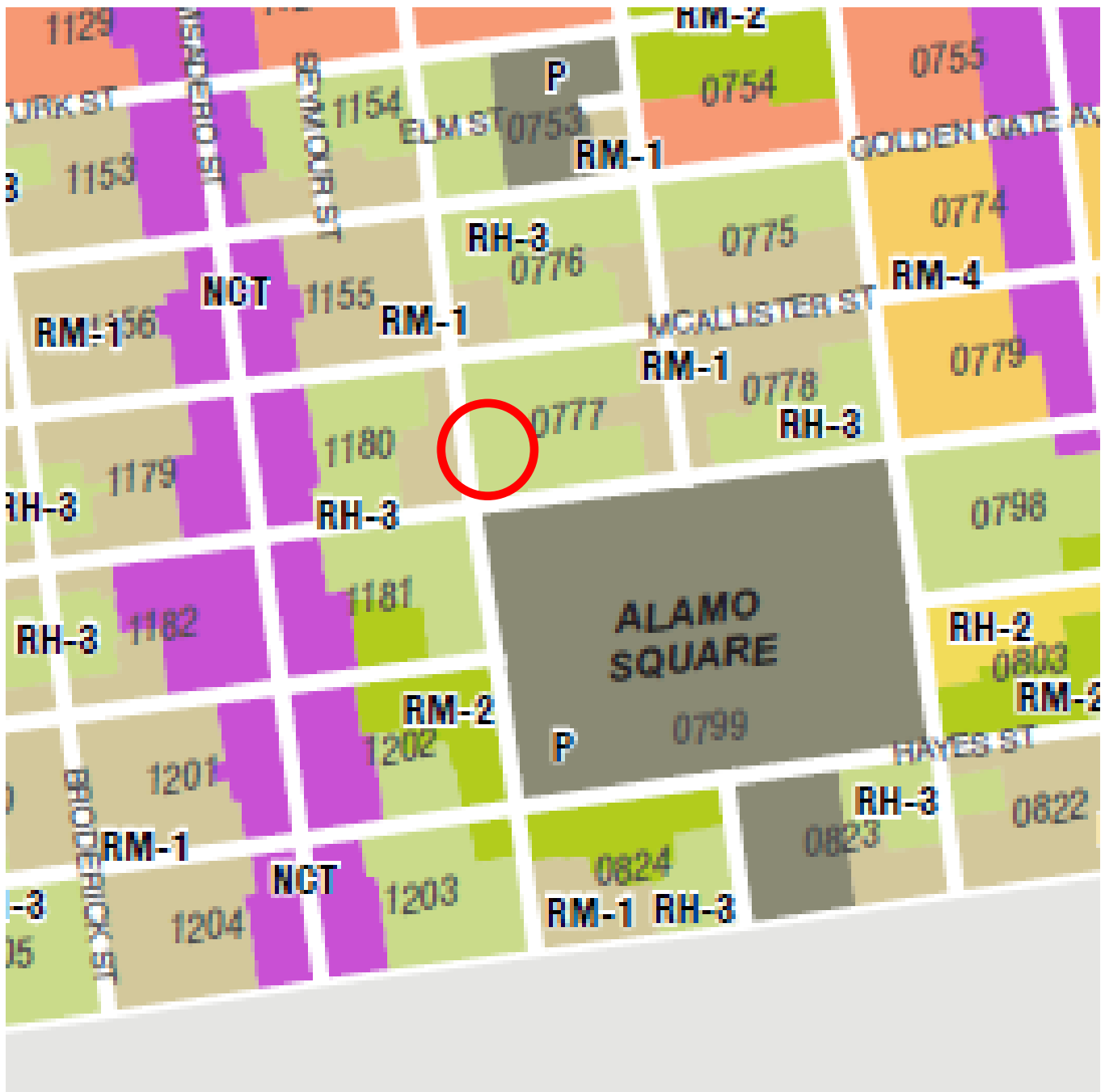


SUBJECT PROPERTY



Certificate of Appropriateness
Case Number 2019-013740COA
812 Scott Street

Zoning Map



Certificate of Appropriateness
Case Number 2019-013740COA
812 Scott Street

Site Photo #1

Front Elevation



Certificate of Appropriateness
Case Number 2019-013740COA
812 Scott Street

Site Photo #2

Rear Elevation



Certificate of Appropriateness
Case Number 2019-013740COA
812 Scott Street



Photo Survey - Exterior

2019 - 12 - 19

812 SCOTT STREET IMAGES

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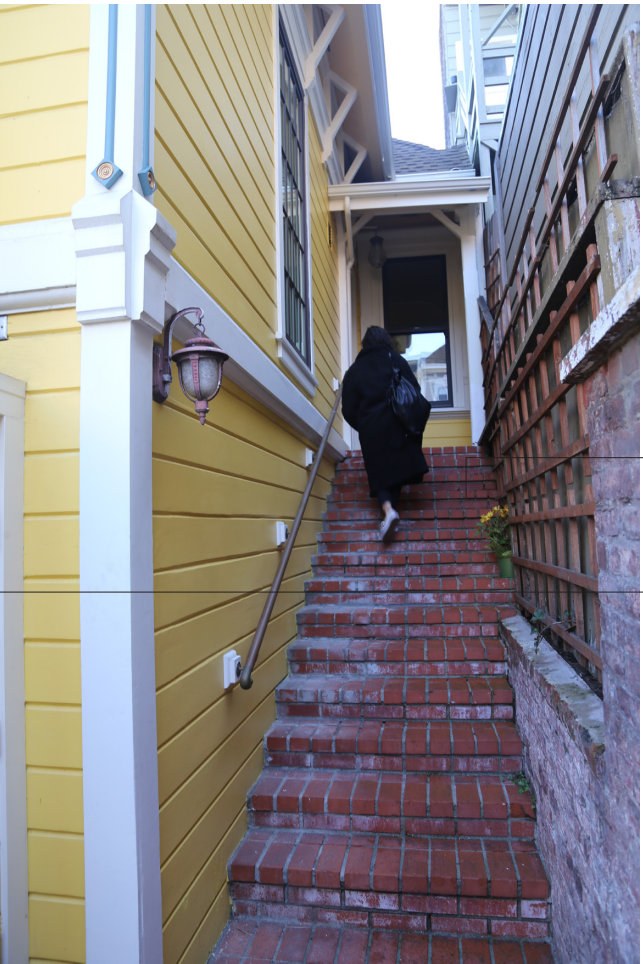


EXISTING FRONT
WINDOWS

EXISTING GUARD HOUSE



GUARD HOUSE



EXISTING BRICK STAIR

WALKWAY TO BREEZEWAY ON NORTH SIDE OF PROPERTY

ENTRY TO STORAGE ROOM



REAR FACADE



VIEW FROM REAR
BALCONY INTO
REAR YARD



BREEZEWAY ON
FIRST FLOOR -
LOOKING WEST



Photo Survey - Rear Exterior

2019 - 12 - 19

812 SCOTT STREET IMAGES

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Living Room



Living Room



Dining Room



Kitchen



Front Bedroom



Jack and Jill Bathroom



Master Bedroom



Kitchen



Family Room



Kitchen



Kitchen



Living Room



Bedroom



Exterior Hallway



Panic Room



Storage Room