



# SAN FRANCISCO PLANNING DEPARTMENT

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## Certificate of Appropriateness Executive Summary

HEARING DATE: JULY 15, 2020

*Record No.:* 2019-005728COA  
*Project Address:* 945-947 MINNESOTA ST  
*Landmark:* Contributor, Dogpatch Landmark District  
*Zoning:* RH-3 (RESIDENTIAL-HOUSE, THREE FAMILY) Zoning District  
40-X Height and Bulk District  
*Block/Lot:* 4107/018  
*Project Sponsor:* Suheil Shatara, Shatara Architecture  
890 7<sup>th</sup> Street  
San Francisco, CA  
*Staff Contact:* Monica Giacomucci - 415-575-8714  
Monica.Giacomucci@sfgov.org  
*Recommendation:* **Approval with Conditions**

1650 Mission St.  
Suite 400  
San Francisco,  
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### PROPERTY DESCRIPTION

945-947 MINNESOTA ST is located on the east side of Minnesota Street between 20<sup>th</sup> and 22<sup>nd</sup> Streets (Assessor's Block 4107; Lot 018). The subject building is a contributor to the Dogpatch Landmark District, locally designated under Article 10, Appendix L of the Planning Code.

The three-story, two-family residence was built circa 1901 according to Spring Valley Water Tap records. According to Assessor photos dating from the 1940s, the building had a gable-front roof, suggesting it was originally built in the Queen Anne Style. The wood-frame building has been altered over time, with most original fabric, including the roof, front façade cladding, and original windows, removed and/or covered with asbestos shingle cladding following a fire in the 1950s.

### PROJECT DESCRIPTION

The proposed project involves restoring the front façade of the building based on physical evidence uncovered during permitted exploratory demolition and other nearby buildings contemporary to the subject property within the Dogpatch Landmark District. The restoration includes new wood entry stairs, expanded window openings, new wood windows with ogee lugs, rustic siding, and a new paneled wood cornice with simple brackets. At the rear of the building, an existing wood exit stair will be reconstructed and a ground-floor open area under an existing rear addition will be infilled. An existing two-story addition will be topped with a deck, which requires an extended parapet and metal guardrail. This deck will be visible from the street and will include a visible spiral stair leading to a 400 square foot roof deck with a metal guardrail. Although the roof deck will also be visible from the public right-of-way, it is set back approximately 30 feet from the front façade, and it will be partially obscured by the proposed cornice. Please see photographs and plans for details.

## COMPLIANCE WITH PLANNING CODE

### Planning Code Development Standards.

The proposed project requires a Variance from the rear yard requirement of the Planning Code. All required applications are on file with the Planning Department.

In order to proceed, a building permit from the Department of Building Inspection is required.

### Applicable Preservation Standards.

The proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 1006.6 of the Planning Code, and complies with the *Secretary of the Interior's Standards for Rehabilitation*, in that:

- the proposal will restore the front façade of a heavily altered contributing building based on physical evidence and neighboring examples;
- the proposal would reestablish the original size of window openings with wood ogee-lug windows to restore the building's original fenestration pattern;
- the non-historic, mismatched wood siding would be replaced with wood rustic siding to match existing cladding materials on the side facades of the subject property;
- the proposed front entry stair is materially compatible with the building and will replace a damaged, unsafe terrazzo stair;
- the proposed third floor and rear decks are minimally visible due only to the open schoolyard adjacent to the subject property;
- the proposal respects the character-defining features of the subject building;
- the architectural character of the subject building will be maintained and that replacement elements will not affect the building's overall appearance;
- the integrity of distinctive stylistic features and examples of skilled craftsmanship that characterize the building shall be preserved; and,
- all new materials shall match the historic material in composition, design, color, texture, finish and other visual qualities and shall be based on accurate duplication of features.

The Department has determined that the proposed work will be in conformance with the requirements of Article 10 and the *Secretary of Interior's Standards for Rehabilitation*. Proposed work will not damage or destroy distinguishing original qualities or character of the subject building. The overall proposal includes restoration of the exterior building cladding. The proposal includes restoration of the front façade and minimally visible decks concentrated at the rear of the building. The Department finds that the historic character of the building will be retained and preserved and will not result in the removal of historic fabric.

## PUBLIC/NEIGHBORHOOD INPUT

The Department has not received any public correspondence about the proposed project.

## ISSUES & OTHER CONSIDERATIONS

- The Project is supported by Department staff since the Project would restore an altered building within the Dogpatch Landmark District.

- The Project previously received an Administrative Certificate of Appropriateness (see related Case No. 2019-005728COA-02) to permit selective removal of the existing non-historic asbestos shingle siding in limited areas. The intent of this selective removal was to uncover evidence of the building's original appearance, including fenestration, ornamentation, and cladding. The evidence observed following selective removal of the asbestos shingle siding informed restoration of the front façade. The Administrative Certificate of Appropriateness has been included as an Exhibit.

## **CONDITIONS OF APPROVAL**

Department staff have included a Condition of Approval in the Draft Motion to allow Department Preservation Staff to review product cut sheets for project elements, including but not limited to, the proposed new windows, entry doors, and metal railings prior to issuance of the architectural addenda. This Condition will allow the Project Sponsor to continue to refine details of the project with Department Preservation Staff following approval of the Certificate of Appropriateness. A second Condition will allow Department Preservation Staff to review and approve any revisions required by the Department of Building Inspection, particularly those related to life safety, at a staff level.

## **ENVIRONMENTAL REVIEW STATUS**

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

## **BASIS FOR RECOMMENDATION**

The Department recommends APPROVAL WITH CONDITIONS of the proposed project as it meets the provisions of Article 10 of the Planning Code regarding Major Alteration to a contributing resource in a Landmark District and the *Secretary of the Interior Standards for Rehabilitation*.

## **ATTACHMENTS**

Draft Motion – Certificate of Appropriateness  
Exhibit A – Conditions of Approval  
Exhibit B – Plans and Renderings  
Exhibit C – Administrative Certificate of Appropriateness for Exploratory Demolition  
Exhibit D – Environmental Determination  
Exhibit E – Maps and Context Photos



# SAN FRANCISCO PLANNING DEPARTMENT

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## Certificate of Appropriateness Draft Motion

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**ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR MAJOR ALTERATIONS DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10 OF THE SAN FRANCISCO PLANNING CODE, AND TO MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 018 IN ASSESSOR'S BLOCK 4107 IN A RH-3 RESIDENTIAL- HOUSE, THREE FAMILY ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.**

### **PREAMBLE**

On October 3, 2019, Suheil Shatara of Shatara Architecture (hereinafter "Project Sponsor") filed Application No. 2019-005728COA (hereinafter "Application") with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness for restoration and alterations at a subject building located on Lot 018 in Assessor's Block 4107, which is a contributing resource to the Dogpatch Landmark District and locally designated under Article 10, Appendix L of the Planning Code.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

On July 15, 2020, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Certificate of Appropriateness Application No. 2019-005728COA.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2019-005728COA is located at 1650 Mission Street, Suite 400, San Francisco, California.



The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby **APPROVES WITH CONDITIONS** the Certificate of Appropriateness, as requested in Application No. 2019-005728COA in conformance with the architectural plans dated May 26, 2020 and labeled Exhibit B based on the following findings:

## FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. **Project Description.** The proposed project involves restoring the front façade of the building based on physical evidence uncovered during permitted exploratory demolition and other buildings contemporary to the subject property within the Dogpatch Landmark District. The restoration includes new wood entry stairs, expanded window openings, new wood windows with ogee lugs, rustic siding, and a new paneled wood cornice with simple brackets. At the rear of the building, an existing wood exit stair will be reconstructed and a ground-floor open area under an existing rear addition will be infilled. An existing two-story addition will be topped with a deck, which requires an extended parapet and metal guardrail. This deck will be visible from the street and will include a visible spiral stair leading to a 400 square foot roof deck with a metal guardrail. Although the roof deck will also be visible from the public right-of-way, it is set back approximately 30 feet from the front façade, and it will be partially obscured by the proposed cornice. Please see photographs and plans for details.
3. **Property Description.** 945-947 Minnesota Street is located on the east side of Minnesota Street between 20<sup>th</sup> and 22<sup>nd</sup> Streets (Assessor's Block 4107; Lot 018). The subject building is a contributor to the Dogpatch Landmark District, locally designated under Article 10, Appendix L of the Planning Code. The 3-story, two-family residence was built circa 1901 according to Spring Valley Water Tap records. According to Assessor photos dating from the 1940s, the building had a gable-front roof, suggesting it was originally built in the Queen Anne Style. The wood-frame building has been altered over time, with most original fabric, including the roof, front façade cladding, and original windows, removed and/or covered with asbestos shingle cladding following a fire in the 1950s.
4. **Surrounding Properties and Neighborhood.** The Dogpatch Landmark District is a nine-block enclave of early industrial workers' housing and related industrial buildings located in the Central Waterfront area. The neighborhood is primarily comprised of single-family residential cottages and multi-family residential flats, as well as commercial, industrial, and civic buildings. Dogpatch is significant as San Francisco's oldest and most intact surviving concentration of Victorian-era housing for industrial workers and as one of the city's last remaining mixed-use industrial and residential areas. Most of the early residents of Dogpatch were American-born skilled craftsmen

employed at Potrero Point's boatyards or as foremen at large waterfront industrial outfits such as San Francisco Cordage or the Pacific Rolling Mill Company. Dogpatch became a small, self-contained community with a "company town" feel, leading to the establishment of neighborhood-serving shops concentrated along commercial corridors such as Solano Street (now 18<sup>th</sup> Street) and Sierra Street (now 22<sup>nd</sup> Street).

Near its intersection with 22<sup>nd</sup> Street, Minnesota Street is characterized primarily by one- and multi-family residential buildings constructed between ca. 1880 and 1920 in the Italianate and Queen Anne architectural styles. Closer to 20<sup>th</sup> Street, Minnesota Street features a number of industrial buildings constructed between 1929 and 2009. The property immediately north of the subject property, located at the approximate center of the block, is a large through lot containing the Irving Murray Scott School. The Classical Revival style I.M. Scott School was constructed in 1895 and is one of the most architecturally intact late-nineteenth century institutional buildings in San Francisco. The school's frontage is on Tennessee Street (addressed as 1060 Tennessee Street), so the area immediately of the lot that is adjacent to the subject property on Minnesota Street is primarily used as a parking lot and play yard, interrupting the consistent pattern of two- to three-story residential buildings on the block.

5. **Public Outreach and Comments.** The Department has received one request for information about the project from the public. No members of the public have submitted support or opposition to the project.
6. **Planning Code Compliance.** The Commission has determined that the proposed work is compatible with the exterior character-defining features of the subject property and meets the requirements of Article 10 of the Planning Code in the following manner:
  - A. **Article 10 of the Planning Code.** Pursuant to Section 1006.6 of the Planning Code, the proposed alteration shall be consistent with and appropriate for the effectuation of the purposes of this Article 10.

*The proposed project is consistent with Article 10 of the Planning Code.*

- B. **Secretary of the Interior's Standards.** Pursuant to Section 1006.6(b) of the Planning Code, the proposed work shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties for significant and contributory buildings, as well as any applicable guidelines, local interpretations, bulletins, or other policies. Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):
    - (1) **Standard 1:** A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

*Not Applicable. The property has historically been used as a residence and will remain in that use as part of the proposal.*

- (2) **Standard 2:** The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

*The proposal is to remove non-character-defining elements, including a structurally unsound terrazzo entry stair and asbestos shingle cladding and restore the building based on physical evidence of previous existing character-defining features. No existing character-defining features will be removed as part of the proposed project.*

- (3) **Standard 3:** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.

*The project proposes to add a simple Italianate cornice at the subject property. Although the building was originally constructed with a gable-front roof in the Queen Anne architectural style, a fire in the 1950s resulted in loss of that shaped roof and much of the front-façade ornamentation. The building has largely appeared as it does today since that fire occurred and was adopted as a contributor to the Dogpatch Landmark District in its current state in 2008. While the proposed cornice did not exist historically, it is designed in an aesthetically restrained manner, it will serve as a terminating element at the roofline which will improve the composition of the front façade, and it will partially obscure the roof deck as viewed from the public right-of-way.*

- (4) **Standard 4:** Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

*Not Applicable. The changes that have occurred at the subject property, including installation of asbestos shingle cladding on the front elevation, have not attained their own significance over time.*

- (5) **Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property shall be preserved.

*Not Applicable. Any of the front façade's distinctive features and finishes were either destroyed or damaged beyond repair as a result of a fire in the 1950s.*

- (6) **Standard 6:** Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

*The project includes restoration of the front façade based on physical evidence uncovered during permitted removal of the existing asbestos shingle siding that was observed by Planning*

*Department Preservation Staff on-site. Although some isolated areas of wood clapboarding sufficient to guide restoration efforts were found under the asbestos shingle siding, retaining these areas of clapboarding would require significant areas of infill, resulting in an inconsistent appearance. The project will replace the siding in-kind in terms of size and texture.*

- (7) **Standard 7:** Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

*Not Applicable.*

- (8) **Standard 8:** Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

*Not Applicable.*

- (9) **Standard 9:** New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

*The proposed decks located at the third floor and roof levels require construction of new guardrails and firewalls. The new guardrails for both decks are clad with simple wood siding at the base and will be topped with a simple metal railing, providing compatibility and differentiation with reference to the building's historic materials.*

- (10) **Standard 10:** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*The proposed work will not destroy historic materials or features that characterize the building, and could be removed in the future if desired. The third floor and roof decks are thoughtfully placed on existing roof areas, ensuring that they could be removed without impacting the building's essential form and integrity.*

- C. **Historic District.** Article 10 of the Planning Code outlines specific findings for the Commission to consider when evaluating applications for alterations to Landmarks or within designated Historic Districts.

1. Pursuant to Section 1006.6(d) of the Planning Code, for applications pertaining to property in historic districts, other than on a designated landmark site, any new construction, addition or exterior change shall be compatible with the character of the historic district as described in the designating ordinance; and, in any exterior change, reasonable efforts shall be made to preserve, enhance or restore, and not to damage or

destroy, the exterior architectural features of the subject property which are compatible with the character of the historic district.

*The project is in conformance with Article 10, and as outlined in Appendix A, as the work shall not adversely affect the Landmark site.*

2. Pursuant to Section 1006.6(e) of the Planning Code, for applications pertaining to all property in historic districts, the proposed work shall also conform to such further standards as may be embodied in the ordinance designating the historic district.

*The project is in conformance with Article 10, and as outlined in Appendix L, as the work is compatible with the Landmark District. Specifically, the Project meets the standards for review of Residential – Alterations and New Construction, as described in Section 7(b) of Appendix L of Article 10 of the Planning Code, as follows:*

1. False Historicism. False historicism and the conjectural replication of historic styles and details is discouraged; if restoration is the selected alteration approach, historic documentation through original architectural plans, historic photographs, or physical investigation will be required. Where original plans or historic photographs are unavailable, close physical examination of the building and existing scar traces, along with a comparison to buildings of the same age and style in the neighborhood, may be sufficient to reveal evidence necessary to guide the restoration.

*The project includes restoration of the front façade. Physical investigation at the project site produced evidence which has guided analysis of the project by Department Staff. The project also includes a new Italianate cornice at the front façade. While this feature was not historically found at the property, it provides a terminating feature that harmonizes the composition of the façade, and is designed in a simple, aesthetically restrained manner to avoid overly decorative, conjectural features. The design of the cornice is based upon other nearby examples found within the Landmark District.*

2. Materials. Horizontal rustic wood siding is the traditional cladding material in the district and its use is encouraged over other cladding materials, including wood shingles (except where appropriate).

*The front façade's existing asbestos shingle cladding will be removed and replaced with rustic wood siding.*

3. Fenestration. Fenestration should be proportionate and in scale with traditional patterns within the district. Double-hung wood sash windows are encouraged over vinyl or metal sash windows. "Slider" windows of vinyl or aluminum construction are discouraged, especially on primary facades. True divided lites, rather than snap-in or faux muntins, are encouraged when divided lite wood windows are appropriate.

*The existing wood double-hung windows at the front façade do not appear to be original to the building. Based on physical evidence of the original, larger window openings, new wood double-hung windows with ogee lugs will be installed to restore the building's original fenestration pattern. New double-hung wood windows will also be installed on the visible side façade to unify its fenestration pattern, as well.*

4. Style. New construction in a contemporary, yet compatible, idiom is encouraged.

*Not Applicable. The project does not propose new construction.*

5. Scale and Proportion. New construction must be compatible with the massing, size, scale and architectural details of residential resources found in the district.

*Not Applicable.*

6. Setbacks. New construction should conform to existing setback patterns found in the district.

*Not Applicable.*

7. Roofline. Gabled roof forms and raised parapets are encouraged on new construction.

*Not Applicable.*

8. Detailing. Detailing on new construction should relate to the simple, traditional vernacular forms found in the district.

*Not Applicable.*

7. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

### **URBAN DESIGN ELEMENT**

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

#### **OBJECTIVE 1:**

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

#### **Policy 1.3**

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

**OBJECTIVE 2:**

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

**Policy 2.4**

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

**Policy 2.5**

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

**Policy 2.7**

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

*The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.*

*The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject property for the future enjoyment and education of San Francisco residents and visitors.*

8. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

*The proposed project will not have an impact on neighborhood serving retail uses.*

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

*The proposed project will strengthen neighborhood character by respecting the character-defining features of the building to achieve conformance with the Secretary of the Interior's Standards for Rehabilitation.*

- C) The City's supply of affordable housing will be preserved and enhanced:

*The project will not affect the City's affordable housing supply.*

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking. It will provide sufficient off-street parking for the proposed units.*

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

*The proposed project will not have a direct impact on the displacement of industrial and service sectors.*

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*All construction will be executed in compliance with all applicable construction and safety measures.*

- G) That landmark and historic buildings will be preserved:

*The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.*

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

*The proposed project will not impact the access to sunlight or vistas for the parks and open space.*

9. For these reasons, the proposal overall, appears to meet the *Secretary of the Interior's Standards* and the provisions of Article 10 of the Planning Code regarding Major Alterations.



## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES WITH CONDITIONS a Certificate of Appropriateness** for the subject property located at Lot 018 in Assessor's Block 4107 for proposed work in conformance with the architectural submittal dated May 26, 2020 and labeled Exhibit B on file in the docket for Record No. 2019-005728COA.

**APPEAL AND EFFECTIVE DATE OF MOTION:** The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days after the date of this Motion No. XXXXXX. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 1650 Mission Street, (Room 304) or call (415) 575-6880.

**Duration of this Certificate of Appropriateness:** This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

**THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.**

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on July 15, 2020.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: July 15, 2020

## EXHIBIT A

### AUTHORIZATION

This authorization is for a Certificate of Appropriateness to allow Alterations located at 945-947 Minnesota Street (4107/018) pursuant to Planning Code Section(s) **1006** within the **RH-3** District and a **40-X** Height and Bulk District; in general conformance with plans, dated **May 26, 2020**, and stamped "EXHIBIT B" included in the docket for Record No. **2019-005728COA** and subject to conditions of approval reviewed and approved by the Historic Preservation Commission on **July 15, 2020** under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Historic Preservation Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Certificate of Appropriateness and any subsequent amendments or modifications.

### SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

### CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Historic Preservation Commission approval of a new Certificate of Appropriateness. In instances when Planning Commission also reviews additional authorizations for the project, Planning Commission may make modifications to the Certificate of Appropriateness based on majority vote and not required to return to Historic Preservation Commission.








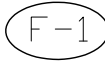

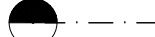


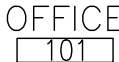


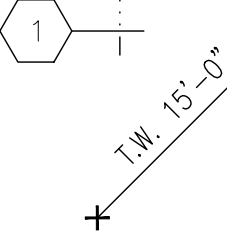

### CONDITIONS OF APPROVAL

1. That prior to issuance of the architectural addenda, the Project Sponsor shall provide product cut sheets for the proposed new windows, entry doors, and metal railings for review and approval to Department Preservation Staff.
2. As part of the future review of the building permit by the Department of Building Inspection or other city agencies, any required refinements to the Project may be reviewed and approved by Department Preservation staff, particularly if these refinements are required to address building or life safety requirements.



## GENERAL NOTES

1. CONTRACTOR SHALL ADHERE TO ALL CODES, RULES, AND REGULATIONS GOVERNING CONSTRUCTION, BUILDING ACCESS AND THE USE OF FACILITIES AS SET BY LOCAL BUILDING DEPARTMENT AGENCY AND THE BUILDING OWNERS. TITLE 24 C.A.C ESPECIALLY THOSE ABSTRACTS DEALING WITH ENERGY AND HANDICAPPED ACCESS REQUIREMENTS. ANYTHING SHOWN ON THESE DRAWINGS, NOT IN ACCORDANCE WITH THESE RULES AND REGULATIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH ANY WORK.
2. DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONAL INFORMATION.
3. THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE DESIGNER OF ANY CONFLICTS HEREIN, EITHER APPARENT OR OBVIOUS PRIOR TO START OF WORK ON THAT ITEM OR BEAR THE RESPONSIBILITY OF CORRECTING SUCH WORK AS DIRECTED BY THE ARCHITECT.
4. ALL WORK SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER BY MECHANICS SKILLED IN THEIR RESPECTIVE TRADES.
5. THE CONTRACTOR SHALL REVIEW PLANS AND THE AREA OF CONSTRUCTION CAREFULLY TO INSURE FULL UNDERSTANDING OF EXACT SCOPE OF WORK. THE ARCHITECT WILL BE AVAILABLE TO REVIEW ALL WORK ON SITE AND RESOLVE ANY UNCLAR ITEMS
6. THE CONTRACTOR SHALL CONTACT THE BUILDING MANAGEMENT TO BE ADVISED OF THE RULES OF THE BUILDING WITH RESPECT TO CONSTRUCTION, WHEN AND HOW DELIVERIES AND/OR REMOVALS CAN BE DONE ON REGULAR OR OVERTIME AND IN GENERAL, ANY BUILDING REQUIREMENTS WHICH WILL AFFECT THEIR WORK.
7. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL FABRICATION SHOP DWGS. AND FIXTURE CUTS FOR APPROVAL AFTER HAVING CHECKED AND APPROVED THEM FIRST, WHERE APPLICABLE
8. THE CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS AND WATER THROUGHOUT THE SPACE UNDER CONSTRUCTION, IF REQUIRED.
9. THE CONTRACTOR SHALL REMOVE FROM THE BUILDING ALL RUBBISH AND WASTE MATERIALS, FOR HIS OWN SUBCONTRACTING, IF REQUIRED.
10. NO WORK DEPENDING ON PARTITION LOCATIONS SHALL BE DONE UNTIL THE CONTRACTOR HAS MARKED PARTITION LOCATIONS ON THE FLOOR SLAB IN THE FIELD AND THE ARCHITECT HAS APPROVED THEM.
11. THE CONTRACTOR SHALL LEAVE THE PREMISES IN A CLEAN AND ORDERLY MANNER.
12. THE CONTRACTOR'S PRICE IS TO BE COMPLETE IN ALL WAYS INCLUDING TAXES, OVER-TIME, SHIPPING, ETC.
13. ALL MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S LATEST PRINTED SPECIFICATIONS AND WITH CODE REQUIREMENTS.
14. THE WORK INCLUDED UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH AIA GENERAL CONDITIONS DOCUMENT A-201, 1991 EDITION.
15. CONTRACTORS, SUBCONTRACTORS AND SUPPLIERS SHALL GUARANTEE THAT THE WORK IS FREE FROM ANY DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND BE RESPONSIBLE FOR REPAIR OR REPLACEMENT AT NO ADDITIONAL CHARGE.
16. CONTRACTORS TO CARRY EMPLOYER'S LIABILITY INSURANCE OF NOT LESS THAN \$1,000,000 PER OCCURRENCE, AND COMPREHENSIVE GENERAL LIABILITY OF AT LEAST \$2,000,000 COMBINED SINGLE LIMIT FOR BODILY INJURY, DEATH, OR PROPERTY DAMAGE THE POLICIES TO ALSO COVER LANDLORD AND TENANT AS ADDITIONAL INSURED.

- # SYMBOLS
- |   |                                      |   |   |
|---|--------------------------------------|---|---|
|   | SECTION<br>DRAWING<br>SHEET NUMBER   |  | EQUIPMENT SYMBOL<br>EQUIPMENT TYPE<br>EQUIPMENT GROUP |
|   | ELEVATION<br>DRAWING<br>SHEET NUMBER |  | REVISION  |
|   | DETAIL<br>DRAWING<br>SHEET NUMBER    |  | WALL TYPE   |
|   | UP                                   |  | FINISH SYMBOL   |
|   | LEFT                                 |  | MATCH LINE<br>SHADED PORTION<br>IS SIDE CONSIDERED    |
|   | DOWN                                 |  | DATUM POINT   |
|   | OFFICE                               |  | ROOM IDENTIFICATION<br>ROOM NAME<br>ROOM NUMBER       |
|  | DOOR NUMBER                          |  | COLUMN GRID   |
|  | WINDOW NUMBER                        |   | TOP OF WALL   |

[illegible]

**SITE PLAN 1/8"=1'-0"**

**ADJACENT LOT - 951 MINNESOTA ST**  
BLK&LOT: 4107/017

**ADJ. BLDG.**

**LINE OF 45% REAR YARD SETBACK**

**33'-4" NEIGHBOR REAR YARD DEPTH & REAR SETBACK LINE PER SFPC 134(C)(8)**

**25'-0" LINE OF MIN. 25% REAR YARD**

**45'-0"**

**21'-3"**

**12'-8 1/2"**

**30'-5"**

**10'-7 1/2"**

**2'-6 1/2"**

**8'-1"**

**25'-0" ADJACENT NEIGHBOR LOT WIDTH**

**15'-0" SIDEWALK**

**REAR YARD**

**6'-1"**

**8'-11"**

**2'-2 1/2"**

**5'-0"**

**REPLACE CLAPBOARD SIDING**

**945 MINNESOTA ST**  
BLK&LOT: 4107/018

**EXISTING ROOF**  
1360.50 SQ FT

**NEW CORNICE & PARAPET WALL**  
SEE SHEET A1.6.2

**SCOPE OF WORK:**  
REPLACE DAMAGED FRONT STAIR, ENTRY DOORS, & ALL WINDOWS. MODIFY WIDTH OF CENTER WINDOWS AT FRONT BAY. WOOD WINDOWS W/ OGEE LUGS AT FRONT & EXPOSED NORTH FACADE. ALL OTHER WINDOWS SHALL BE WD. MARVIN INTEGRITY. REPLACE ALL CLAPBOARD SIDING TO RUSTIC SIDING TO MATCH MAJORITY OF EXISTING SIDING. CREATE NEW DECK AT REAR AT EXISTING 3RD FLOOR ROOF LEVEL. CREATE NEW ROOF DECK AT ROOF LEVEL. INFILL BELOW EXISTING NONCONFORMING HABITABLE SPACE AT REAR.

**(N) ROOF DECK**  
400 SQ FT

**5'-0"**

**5'-0"**

**14'-5"**

**11'-0 1/2"**

**100'-0"**

**44'-0 1/2"**

**25'-0" LOT WIDTH**

**100'-0"**

**25'-0"**

**SCHOOL STRUCTURE**

**ROOF AREA: 1360.50 SQ FT**  
**ROOF DECK AREA: 400 SQ FT < 1/3 ROOF AREA**

**ADJACENT LOT - 1060 TENNESSEE ST**  
BLK&LOT: 4107/006 (THROUGH LOT)  
CITY FACILITY: SFUSD - IRVING M SCOTT BUILDING

**200' - 0"**  
**ADJACENT NEIGHBOR LOT LENGTH (THROUGH LOT FACING TENNESSEE ST AND MINNESOTA ST)**

**130' - 0"**  
**ADJACENT NEIGHBOR LOT WIDTH**

**MINNESOTA STREET**

**N**

<h2>SCOPE OF WORK</h2> <p>REPLACE DAMAGED FRONT STAIR, ENTRY DOORS, &amp; ALL WINDOWS. MODIFY WIDTH OF CENTER WINDOWS AT FRONT BAY. WOOD WINDOWS W/ OGEE LUGS AT FRONT &amp; EXPOSED NORTH FACADE. ALL OTHER WINDOWS SHALL BE WD. MARVIN INTEGRITY. REPLACE ALL CLAPBOARD SIDING TO RUSTIC SIDING TO MATCH MAJORITY OF EXISTING SIDING. CREATE NEW DECK AT REAR AT EXISTING 3RD FLOOR ROOF LEVEL. CREATE NEW ROOF DECK AT ROOF LEVEL. INFILL BELOW EXISTING NONCONFORMING HABITABLE SPACE AT REAR.</p>
<h2>CODE CYCLE</h2> <ul style="list-style-type: none"><li>- 2016 CALIFORNIA BUILDING CODE</li><li>- 2016 CALIFORNIA ELECTRIC CODE</li><li>- 2016 CALIFORNIA MECHANICAL CODE</li><li>- 2016 CALIFORNIA PLUMBING CODE</li><li>- 2016 GREEN BUILDING CODE</li><li>- 2016 CALIFORNIA FIRE CODE</li><li>- 2016 CALIFORNIA ENERGY CODE</li><li>- 2016 SAN FRANCISCO BUILDING CODE</li></ul>

PLANNING INFORMATION	
ZONING:	RH-3
HEIGHT LIMIT:	40-X
EXISTING NUMBER OF UNITS:	2
PROPOSED NUMBER OF UNITS:	2
LOT SIZE:	25' WIDE X 100' LONG

BUILDING INFORMATION	
BUILDING DESCRIPTION:	1 BUILDINGS IN LOT. EXISTING: 3 STORIES TYPE V – B PROPOSED: NO CHANGE
(E) OCCUPANCY CLASS.:	R-3 – NO CHANGE
OCCUPANT LOAD:	1 PER 200 SQ.FT.
(E) # OF DWELLING UNITS:	2 – NO CHANGE
YEAR BUILT:	1900
BUILDING AREA:	3,813 SQ FT + 327 SQ FT GARAGE = 4140
PARCEL AREA:	2,495 SQ FT
GARAGE SQ FT	327 SQ FT
FIRST FLOOR SQ FT	1,028 SQ FT
SECOND FLOOR SQ FT	1,453 SQ FT
THIRD FLOOR SQ FT	1,342 SQ FT

ABBREVIATIONS					
&	AND	DBL.	DOUBLE	F.O.S.	FACE OF
@	AT	DEPT.	DEPARTMENT	FFRF.	FIREPROOF
(E)	EXISTING	DIA.	DIAMETER	FT.	FOOT OF
ADJ.	ADJUSTABLE	DIM.	DIMENSION	FTG.	FOOTING
ALUM.	ALUMINUM	DN.	DOWN	FURR.	FURRING
APPROX.	APPROXIMATE	DR.	DOOR	GA.	GAUGE
ARCH.	ARCHITECTURAL	DS.	DOWNSPOUT	GALV.	GALVANIZED
ASPH.	ASPHALT	D.S.P.	DRY STANDPIPE	G.B.	GRAB BAR
BD.	BOARD	DWG.	DRAWING	GYP.	GYPSONUM
BITUM.	BITUMINOUS	E.	EAST	H.B.	HOSE BAR
BLDG.	BUILDING	EA.	EACH	HDWD.	HARDWOOD
BLK.	BLACK	EL.	ELEVATION	HORIZ.	HORIZONTAL
BLKC.	BLOCKING	ELEC.	ELECTRICAL	HOUR	HOUR
BM.	BEAM	ELEV.	ELEVATOR	HGT.	HEIGHT
BOT.	BOTTOM	ENCL.	ENCLOSURE	INSUL.	INSULATION
CAB.	CABINET	EQ.	EQUAL	INT.	INTERIOR
C.B.	CATCH BASIN	EQPT.	EQUIPMENT	JAN.	JANITOR
CEM.	CEMENT	(E)	EXISTING	JT.	JOINT
CLG.	CEILING	EXPO.	EXPOSED	LAV.	LAVATORY
CLKG.	CAULKING	EXP.	EXPANSION	LT.	LIGHT
CLO.	CLOSET	EXT.	EXTERIOR	MAX.	MAXIMUM
CLR.	CLEAR	F.A.	FIRE ALARM	MECH.	MECHANICAL
COL.	COLUMN	F.D.	FLOOR DRAIN	MEMB.	MEMBRANE
CONC.	CONCRETE	FDN.	FOUNDATION	MTL.	METAL
CONN.	CONNECTION	F.E.	FIRE EXTINGUISHER	MFR.	MANUFACTURE
CONSTR.	CONSTRUCTION	FIN.	FINISH	MIN.	MINIMUM
CONT.	CONTINUOUS	FL.	FLOOR	MISC.	MISCELLANEOUS
CORR.	CORRIDOR	FLASH.	FLASHING	MTD.	MOUNTING
CTSK.	COUNTERSUNK	FLUOR.	FLUORESCENT	MUL.	MULCH
CNTR.	COUNTER	F.O.C.	FACE OF CONCRETE	(N)	NEW
CTR.	CENTER	F.O.F.	FACE OF FINISH	N.	NORTH

### VICINITY MAP

The vicinity map shows the project location (highlighted in blue) situated between Minnesota St and Tennessee St, north of 22nd St. The map includes a north arrow and a scale bar indicating 280 feet. Surrounding streets shown are Indiana St, 3rd St, 22nd St, and 23rd St. A building footprint is labeled with a height of 46 ft.

# A0.0



SHATARA  
ARCHITECTURE  
INC.

890 7TH ST.  
SAN FRANCISCO  
CA 94107

TEL (415) 512-7566  
suhel@shataraarch.com

DRAWINGS AND SPECIFICATIONS, AS  
INSTRUMENTS OF PROFESSIONAL SERVICE,  
ARE AND SHALL REMAIN THE PROPERTY OF  
THE ARCHITECT.  
THESE DOCUMENTS ARE NOT TO BE USED, IN  
WHOLE OR IN PART, FOR ANY PROJECTS OR  
PURPOSES WHATSOEVER, WITHOUT THE  
PRIOR SPECIFIC WRITTEN AUTHORIZATION OF  
SHATARA ARCHITECTURE INC.

PROJECT  
**RESIDENTIAL  
RENOVATION**

ADDRESS  
**945 - 947 MINNESOTA  
STREET  
SAN FRANCISCO, CA**

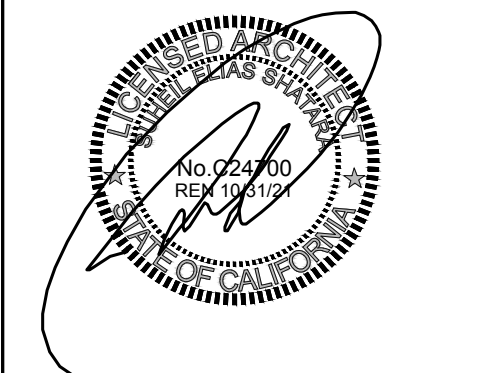
**BLOCK: 4107  
LOT: 018**

**PROJECT DIRECTORY  
OWNER**

**ARCHITECT**  
SHATARA ARCHITECTURE INC.  
890 7TH STREET  
SAN FRANCISCO, CA 94107  
TEL: 415-512-7566  
CONTACT: SUHEL SHATARA

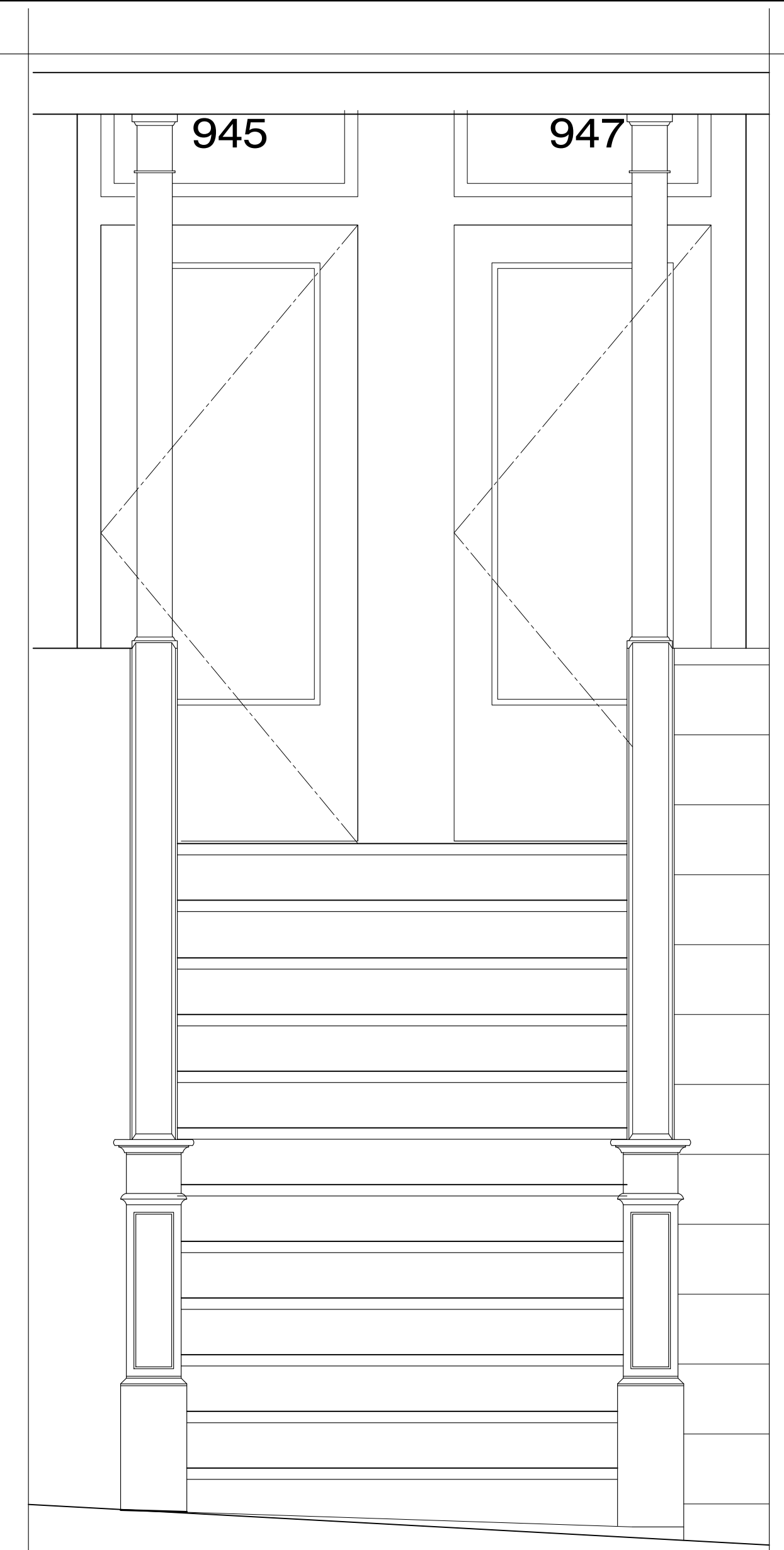
**DBI STAMP**

ISSUED	DATE	NO.
BUILDING	04.09.2018	
BUILDING	02.25.2019	
PLANNING	09.03.2019	
PLANNING	04.15.2020	
PLANNING	05.26.2020	

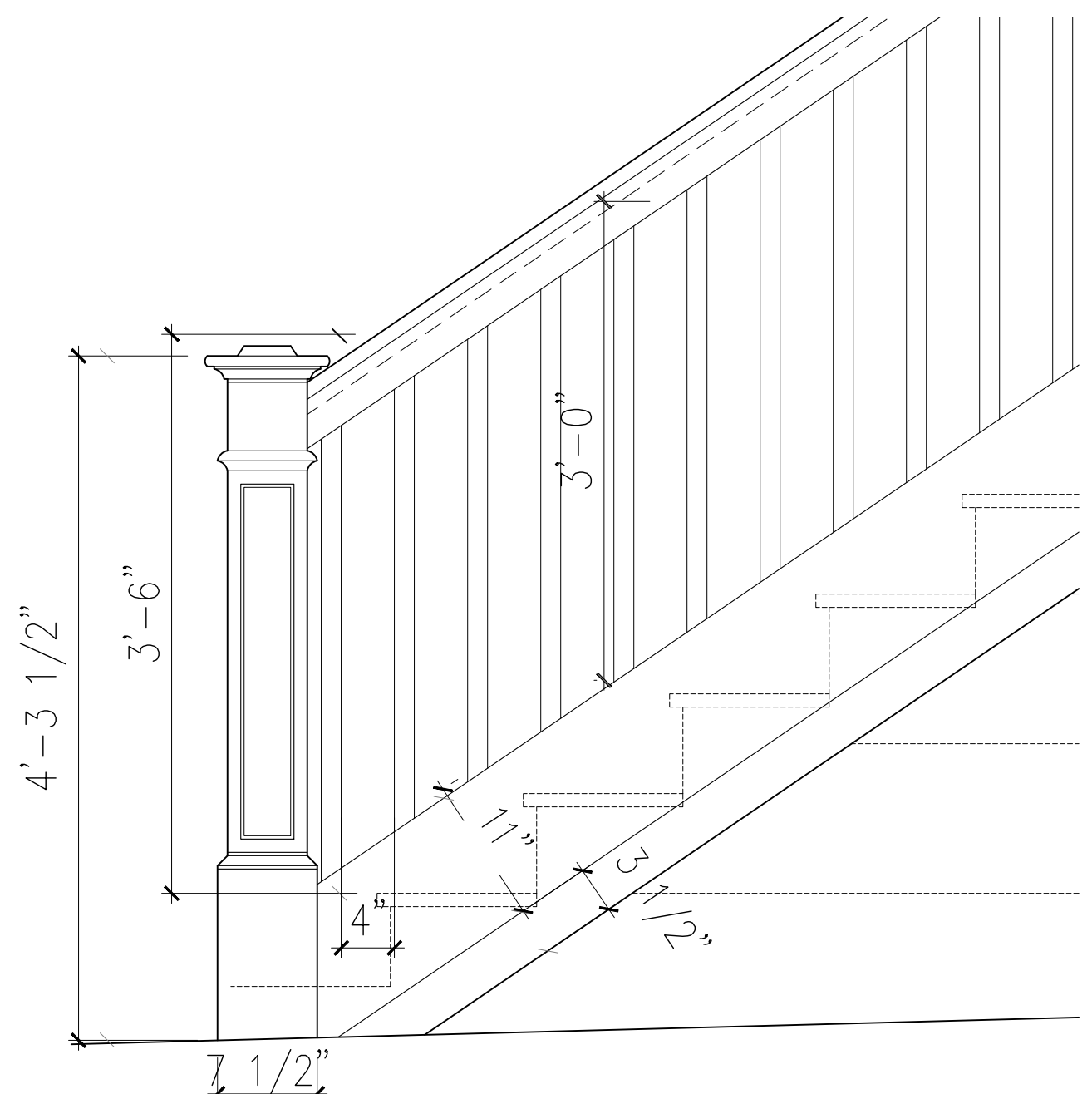
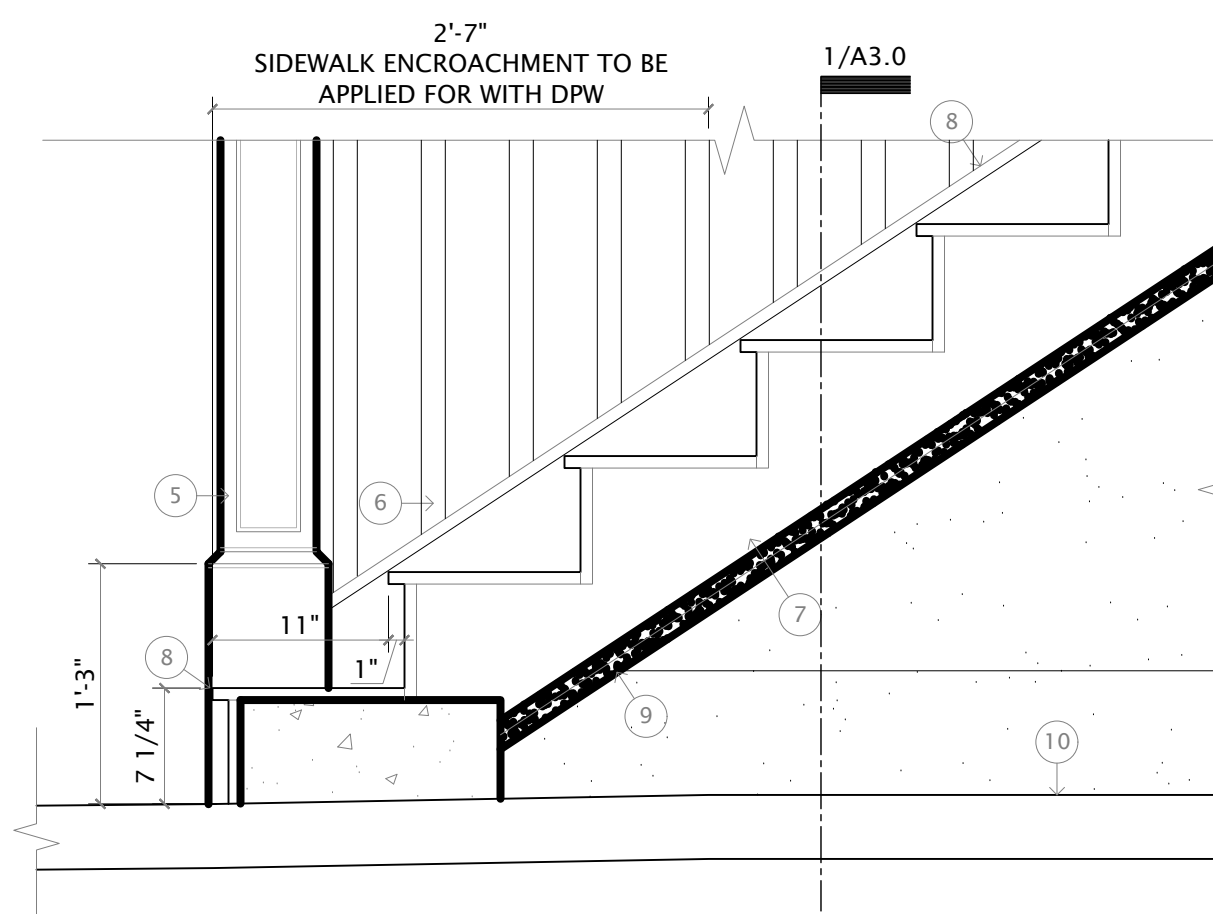
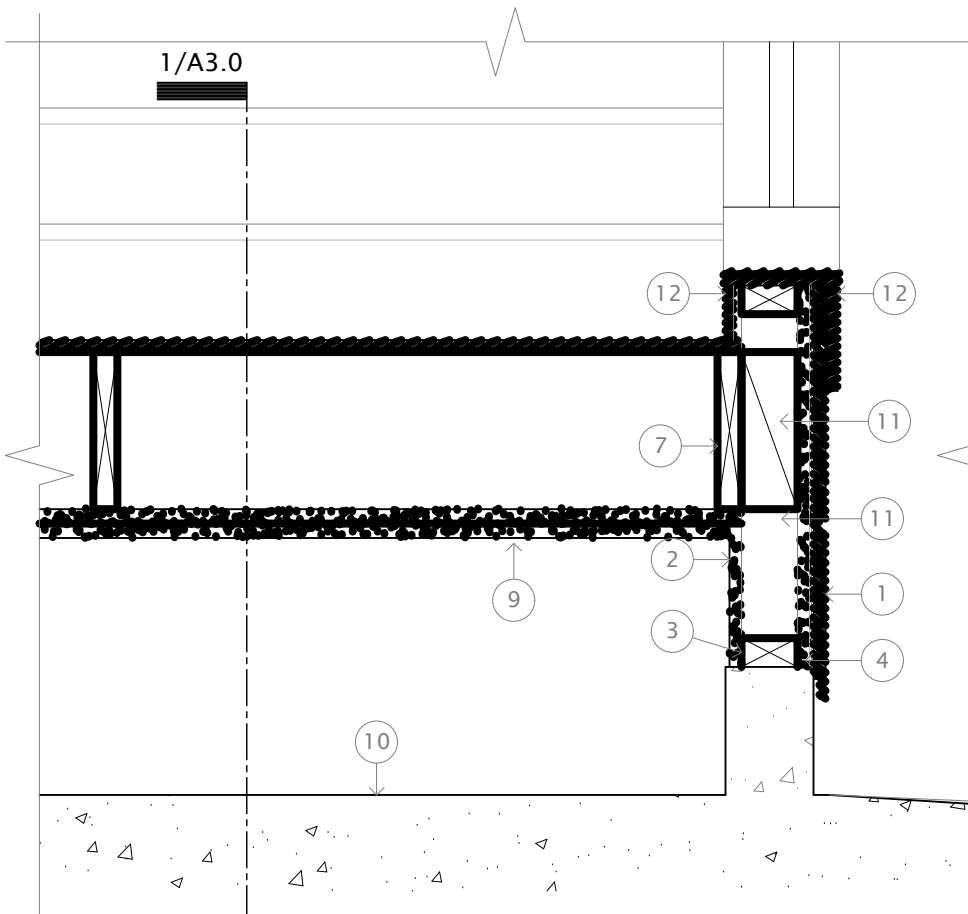
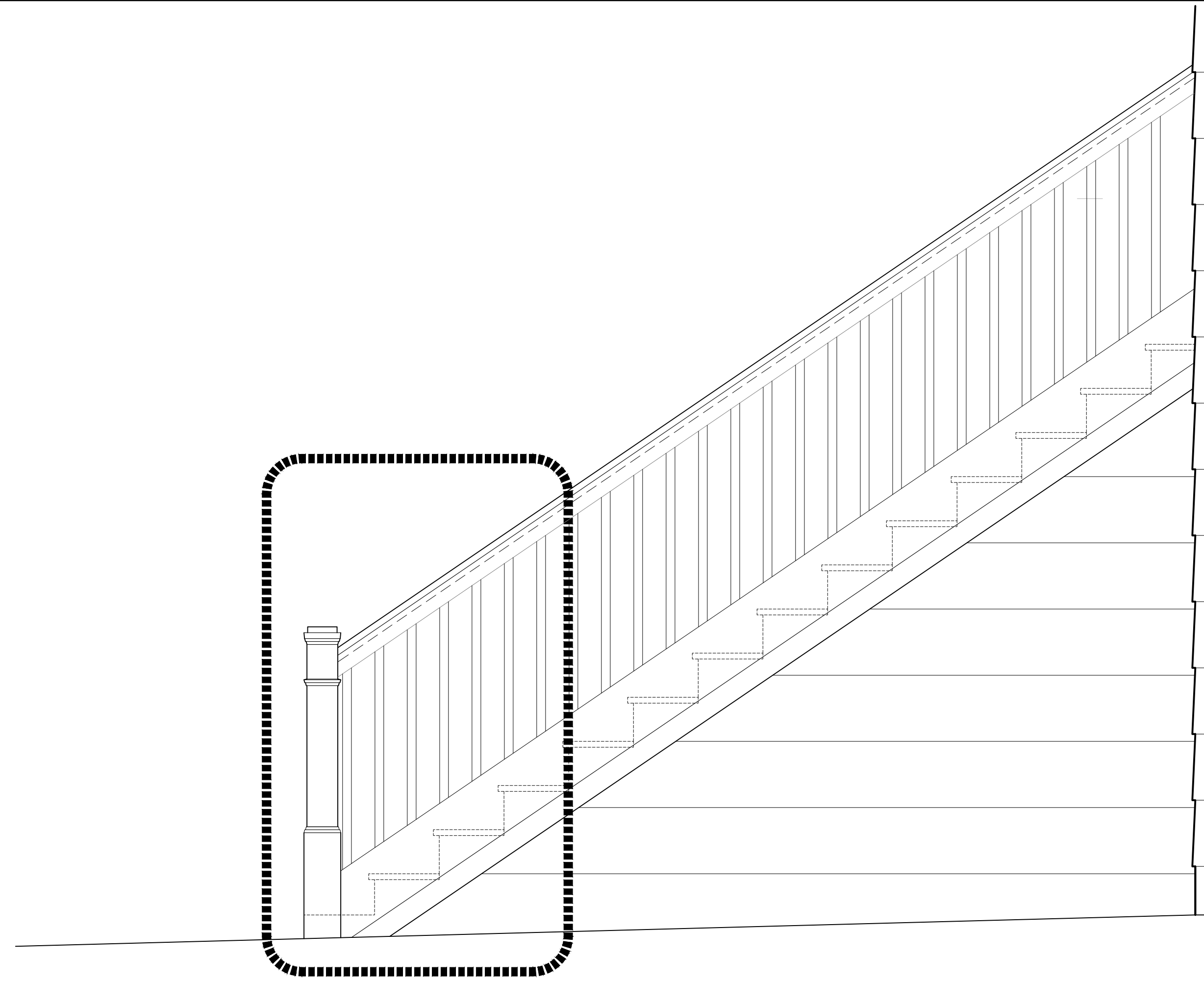
SHEET DESCRIPTION  
**STAIR/WALL  
DETAILS**

**A0.1**

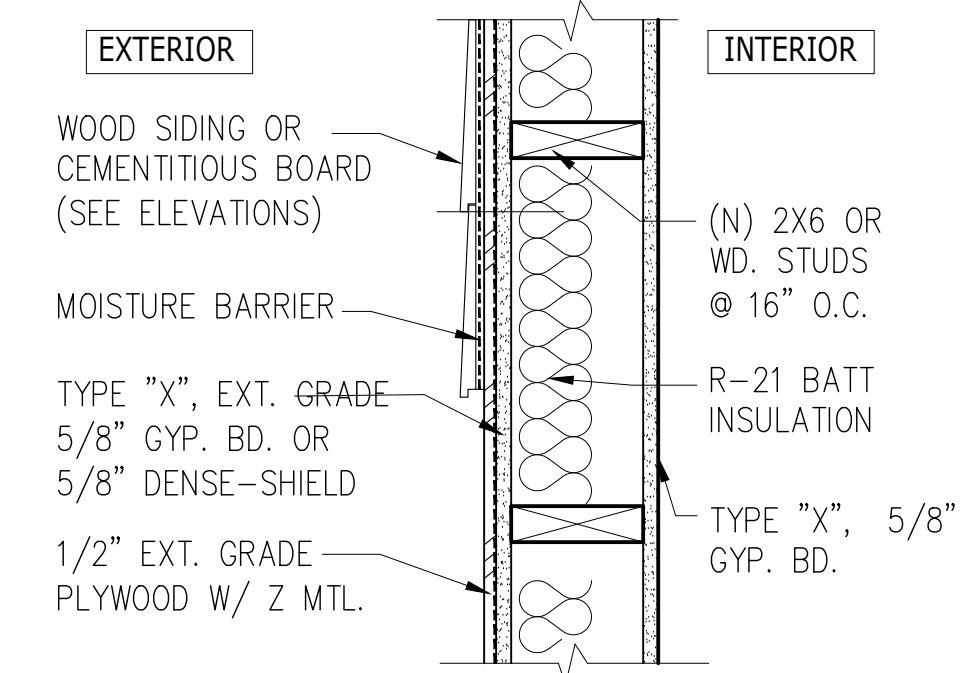


**ENTRY STAIR ELEV.**  
SCALE : 3/4"=1'-0"

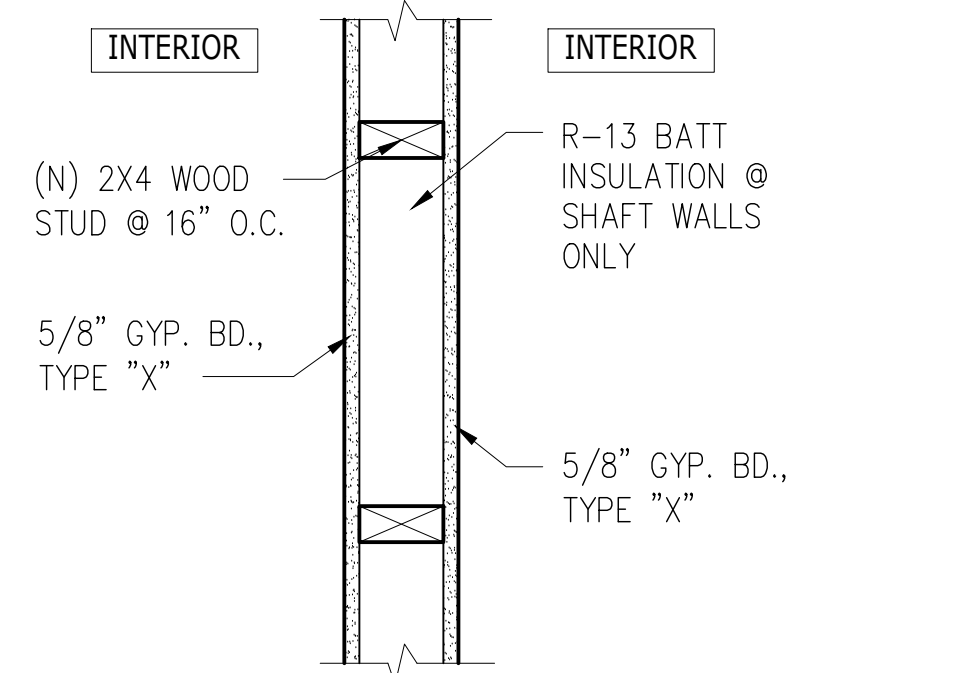
- (N) 3/4" WOOD OR COMPOSITE SIDING, OVER BUILDING PAPER ON PLYWOOD SHEATHING ATTACHED TO FRAME. USE TYPE X SHEATHING AT FIRE RATED WALLS, SEE PLANS FOR WALL TYPES.
- NEW GYP. BD. WALL FINISH, USE TYPE X GYP. BD. AT FIRE RATED WALLS. SEE FLOOR PLANS FOR OCCURRENCE OF FIRE RATED WALLS AND WALL TYPES
- (N) PRESSURE TREATED SILL PLATES FRAMING AND SHEATHING TO BE PRESSURE TREATED OR WET RATED FOR A MIN. OF 6" ABOVE TOP OF CONCRETE FOOTING OR ANY OTHER WET AREAS
- (N) 7 1/4" X 7 1/4" NEWEL POST, SEE A3.1 FOR STAIR PARTS SCHEDULE
- (N) 2 X 2 WOOD PICKETS , SEE A3.1 FOR STAIR PARTS SCHEDULE
- 2X UNDER CARRIAGE FRAMING
- BOXED EDGE STRINGERS
- 2 LAYERS OF EXTERIOR GRADE TYPE X GYP. BD. FOR A MIN. 1 HOUR FIRE RATING
- DRIVEWAY/SIDEWALK
- 2X4 WOOD STUDS FOR STAIR WALL AND BOX STRINGER CONSTRUCTION
- WOOD TRIM/BOARD FINISH AT BOX CORNICE, PAINTED TO MATCH FACADE TRIM



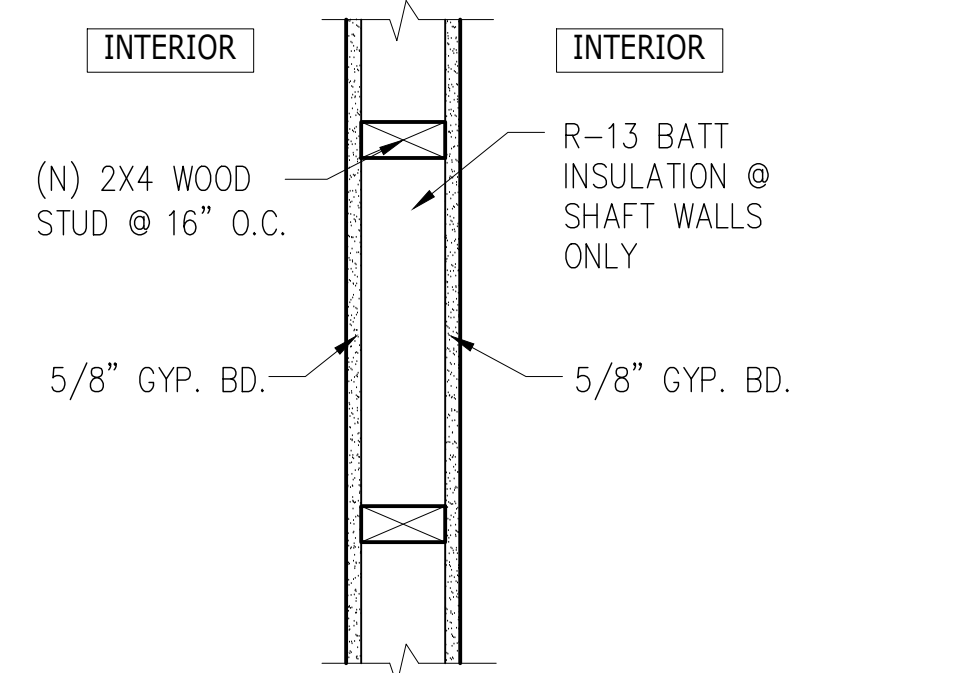
**STAIR DETAIL**  
SCALE :1"=1'-0"



**WALL DETAIL**  
SCALE :1"=1'-0"

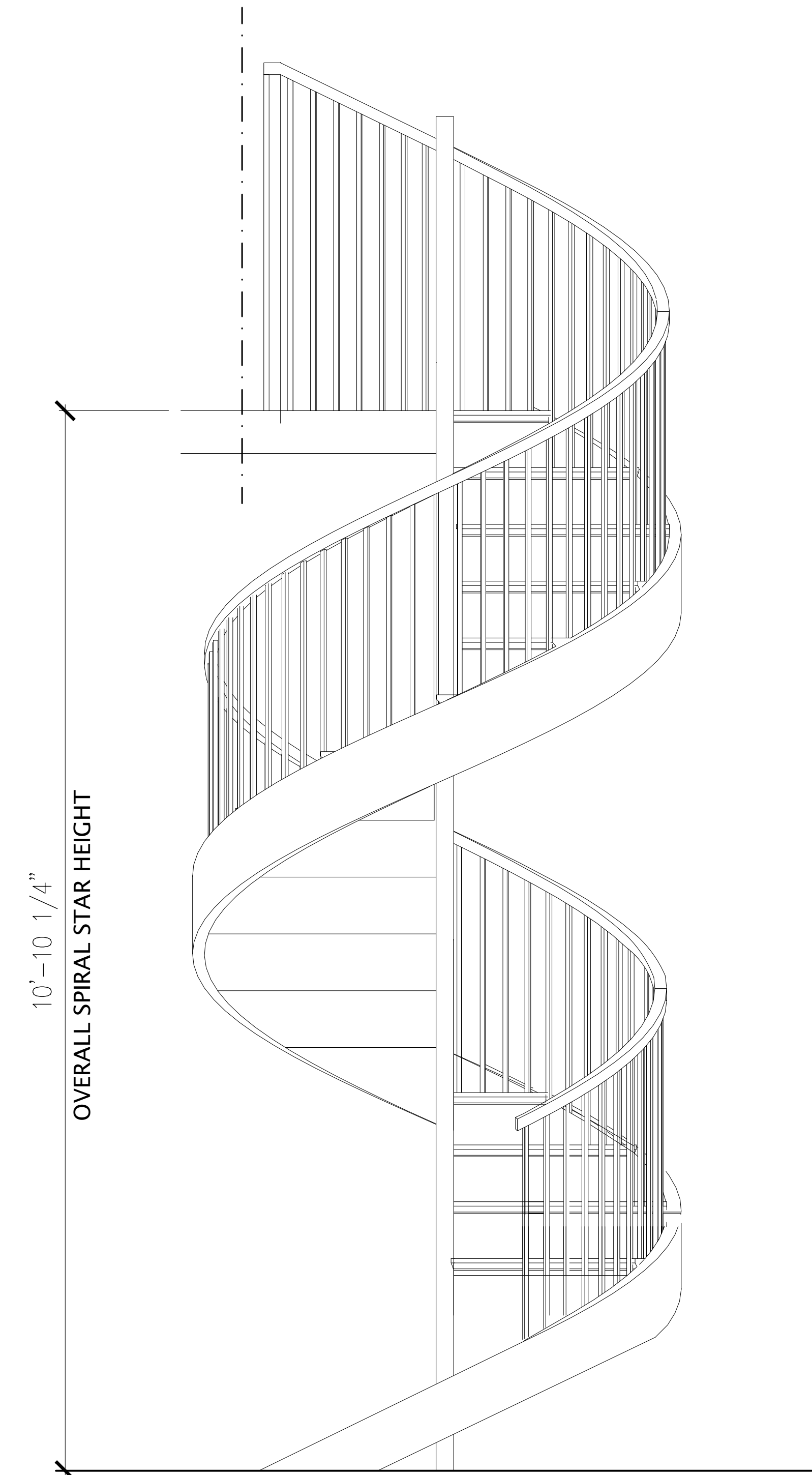


**WALL TYPE 2**  
1-HR. RATED INTERIOR WALL  
UL U329 or GA WP 3441  
Or REF. CBC. TABLE 721.1(2) ITEM 14-1.3



**WALL TYPE- 3**  
INTERIOR NON RATED WALLS





## 1 SPIRAL STAIR SECTION DETAILS & SPECS

SCALE :1"=1'-0"

### SPIRAL STAIR SPECS:

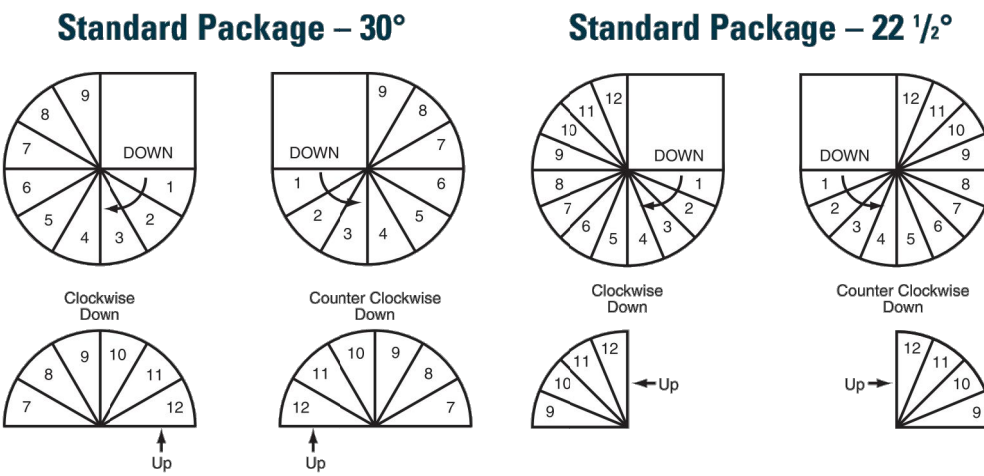
WIDTH :5' 0"  
HEIGHT :10' 10" (14 TREADS)  
TREAD PROFILE :STANDARD  
TREAD COVERING :DIAMOND PLATE  
HANDRAIL :VINYL  
NUMBER OF BALUSTERS :2  
BALUSTER TYPE :STEEL GALVANIZED TUBE  
FINISH :GALVANIZED STEEL

### Standard Packages Include:

(Metal Stairs) Center column, base plate and top cap; 1" outside diameter steel balusters; adjustable treads; 1 1/2" outside diameter handrail; Platform railing, 1" x 1" frame with 1" round balusters, platform (square); 40" tall column extension

Diameter	Recommended Finished Well Opening*	Platform Size	Clear Walking Path
3'6"	44" x 44"	22" x 22"	17"
4'	50" x 50"	25" x 25"	20"
4'6"	56" x 56"	28" x 28"	23"
5'	62" x 62"	31" x 31"	26"
5'6"	68" x 68"	34" x 34"	29"
6'	74" x 74"	37" x 37"	32"
6'6"	80" x 80"	40" x 40"	35"

\* Minimum opening is 2" smaller than the recommended opening size.  
Talk to your salesperson for further information.



## Special Half-Turn Stair Package

(Does Not Meet Code Compliancy)

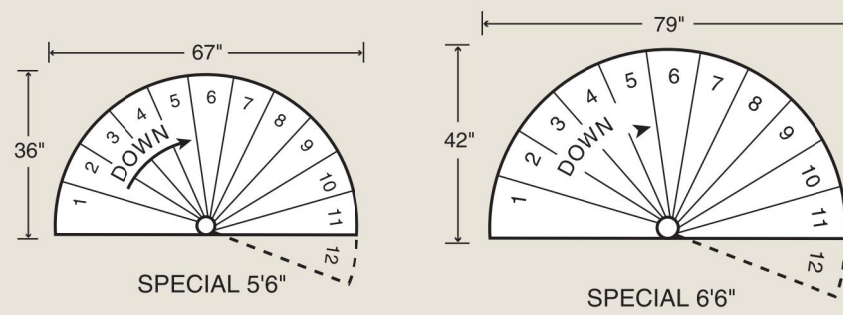
Diameter	Recommended Finished Well Opening	Platform Size	Clear Walking Path
5'6"	36" x 67"	N/A	28.5"
6'6"	42" x 79"	N/A	31.5"

### 16.36° Tread for Stair Sizes

5'6" | 6'6"

Floor to Floor Height Tread Adjustment		Treads & Risers Required		Degree of Rotation
Min.	Max.	Treads	Risers	
90"	102"	11	12	180°
97 1/2"	110 1/2"	12	13	196 1/2°

### Half-Turn Package – 16.36°



NOTE: The half-turn does not require a platform

## Code Stair Package

### Benefits of a Code Package

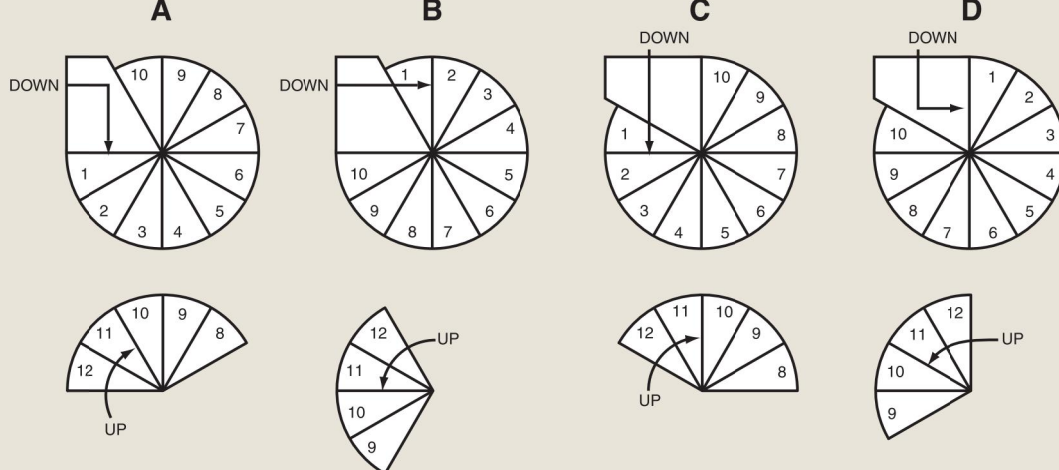
Designed for applications regulated by the national building codes. See our Codes Specifications section for further information.

Please check with your local building inspector for the dimensional requirements in your area before placing your order. The smallest stair available to still maintain the building code is 5' diameter. Salter Spiral Stair manufactures Code Stair Packages in 5', 5'6" and 6' diameter. Code Stair Packages also include extra center balusters for a maximum spacing of 4" (safety feature for stairs that will be used by small children to prevent pass through).  
\*Verify if your local code enforcement requires Code Riser treads, which are sold separately.

### Code Packages Include:

(Metal Stairs) 30° stair treads; 3 to 4 balusters per tread (maximum spacing of 4"); 60" platform (This will provide a minimum of 6'6" headroom); 1 1/2" aluminum handrail with end caps; Platform railing, 1" x 1" frame with 1" round balusters; Center column, base plate and top cap; 40" tall column extension

### Code Package – 30°



### 30° Tread for Stair Sizes

3'6" | 4' | 4'6" | 5' | 5'6" | 6'

Floor to Floor Height Tread Adjustment		Treads & Risers Required		Degree of Rotation
Min.	Max.	Treads	Risers	
85"	95"	9	10	270°
93 1/2"	104 1/2"	10	11	300°
102"	114"	11	12	330°
110 1/2"	123 1/2"	12	13	360°
119"	133"	13	14	390°

### 22 1/2° Tread for Stair Sizes

5' | 5'6" | 6' | 6'6"

Floor to Floor Height Tread Adjustment		Treads & Risers Required		Degree of Rotation
Min.	Max.	Treads	Risers	
82 1/2"	95"	10	11	225°
90"	102"	11	12	247 1/2°
97 1/2"	110 1/2"	12	13	270°
105"	119"	13	14	292 1/2°
112 1/2"	127 1/2"	14	15	315°

NOTE: To determine the number of treads and risers needed for your project, measure your finished floor to floor height and refer to the above charts. Since the standard stair packages use either 30° or 22 1/2° treads, use the appropriate chart. Custom sizes available upon request.

### SPIRAL STAIR NOTES:

- MINIMUM CLEAR WALKING PATH OF 26 INCHES. A 5–FOOT DIAMETER OR LARGER STAIR WILL PROVIDE THIS STANDARD STAIR WIDTH
- STAIR TREAD CODES STATES THAT EACH TREAD WILL HAVE A MINIMUM OF 7 1/2 INCH TREAD DEPTH AT 12 INCHES FROM THE NARROW EDGE
- ALL TREADS WILL BE IDENTICAL
- THE TREAD RISE SHALL NOT BE MORE THAN 9 1/2 INCHES HIGH
- MINIMUM HEADROOM OF 6 FOOT 6 INCHES SHALL BE PROVIDED, MEASURING PLUMB FROM THE EDGE OF THE PLATFORM DOWN TO THE TREAD BELOW
- LANDING WIDTH SHALL NOT BE LESS THAN THE REQUIRED STAIRCASE WIDTH. MINIMUM SPIRAL STAIR TREAD WIDTH IS 26 INCHES –SALTER’S CODE PLATFORMS START AT 31 INCHES WIDE
- STAIR BALUSTERS SHALL BE SPACED SO A 4–INCH OBJECT CANNOT PASS BETWEEN. THE IRC STAIR CODE PERMITS A 4 3/8 INCH SPACE
- BALCONY/WELL ENCLOSURE GUARDRAIL BALUSTERS SHALL BE SPACED SO A 4–INCH OBJECT CANNOT PASS
- BALCONY/WELL ENCLOSURE GUARDRAIL HEIGHT SHALL NOT BE LESS THAN 36 INCHES –IF YOUR STATE OR MUNICIPALITY REQUIRES 42–INCH TALL GUARDRAILS, THE SALES ORDER MUST REFLECT THIS DETAIL
- THE STAIRWAY SHALL BE EQUIPPED WITH ONE HANDRAIL ON THE WIDE EDGE OF THE TREAD ACCORDING TO STAIR CODES
- STAIR RAILING HEIGHT CODE, MEASURED VERTICALLY FROM THE TREAD NOSING, SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES
- HANDRAIL GRIP SIZE
- TYPE I–HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4 INCHES AND NOT GREATER THAN 2 INCHES –SALTER’S STANDARD CIRCULAR HANDRAIL IS 1 1/2 INCH DIAMETER. THIS WILL ADDRESS THE UBC MINIMUM CROSS SECTION OF 1 1/2 INCH DIAMETER. IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION NOT GREATER THAN 6 1/4 INCHES
- TYPE II–HANDRAILS, WITH A PERIMETER GREATER THAN 6 1/4 INCHES, SHALL PROVIDE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. FOR FURTHER INFORMATION ON OUR TYPE II OPTIONS, PLEASE CONTACT OUR SALES DEPARTMENT
- VERIFY WHAT HANDRAIL SIZE AND SHAPE YOUR INSPECTOR WILL REQUIRE. HANDRAIL SIZE AND SHAPE ARE A VERY CONTROVERSIAL AREA WITHIN STAIR CODE. WE RECOMMEND THAT YOU USE OUR STANDARD 1 1/2"ROUND HANDRAILS OR OUR 1 3/4"x 1 3/4" SOLID WOOD HANDRAIL TO COMPLY WITH THE PROPER CIRCUMFERENCE
- A 300 LB. CONCENTRATED LOAD IS REQUIRED. ON REQUEST, OUR SALES DEPARTMENT CAN PROVIDE STRUCTURAL CALCULATIONS FOR YOUR JOB SPECIFICATIONS

# SHATARA ARCHITECTURE INC.

890 7TH ST.  
SAN FRANCISCO  
CA 94107

TEL (415) 512-7566  
suhell@shataaarch.com

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### PROJECT RESIDENTIAL RENOVATION

ADDRESS  
**945 - 947 MINNESOTA STREET  
SAN FRANCISCO, CA**

**BLOCK: 4107  
LOT: 018**

### PROJECT DIRECTORY OWNER

**ARCHITECT**  
SHATARA ARCHITECTURE INC.

890 7TH STREET  
SAN FRANCISCO, CA 94107  
TEL: 415-512-7566  
CONTACT: SUHELL SHATARA

### DBI STAMP

ISSUED DATE NO.

BUILDING 04.09.2018

BUILDING 02.25.2019

PLANNING 09.03.2019

PLANNING 04.15.2020

PLANNING 05.26.2020



SHEET DESCRIPTION

### SPIRAL STAIR SPECS & DET.

# A0.2



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PROJECT  
**RESIDENTIAL RENOVATION**

ADDRESS  
**945 - 947 MINNESOTA STREET  
SAN FRANCISCO, CA**

**BLOCK: 4107  
LOT: 018**

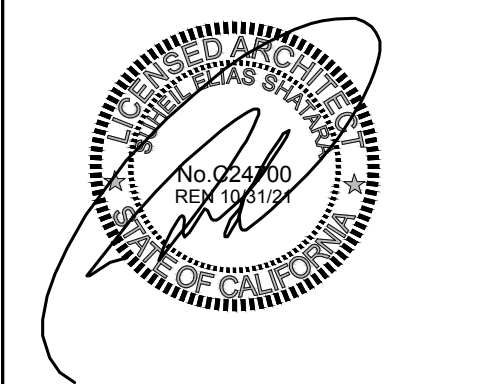
**PROJECT DIRECTORY**  
**OWNER**

**ARCHITECT**  
SHATARA ARCHITECTURE INC.

890 7TH STREET  
SAN FRANCISCO, CA 94107  
TEL: 415-512-7566  
CONTACT: SUHEIL SHATARA

**DBI STAMP**

ISSUED	DATE	NO.
BUILDING	04.09.2018	
BUILDING	02.25.2019	
PLANNING	09.03.2019	
PLANNING	04.15.2020	
PLANNING	05.26.2020	

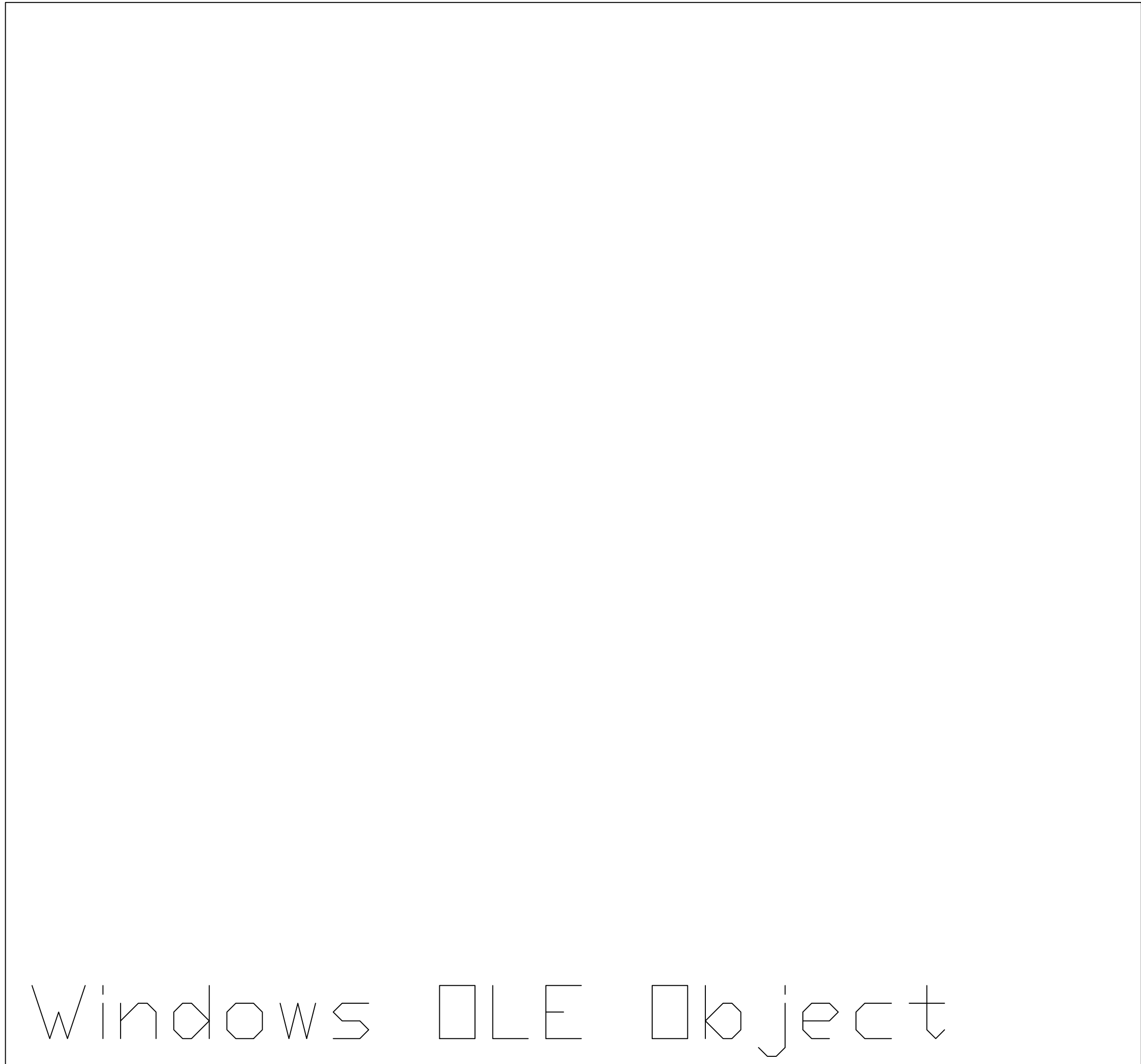



SHEET DESCRIPTION  
**DOOR/WINDOW SCHEDULE**

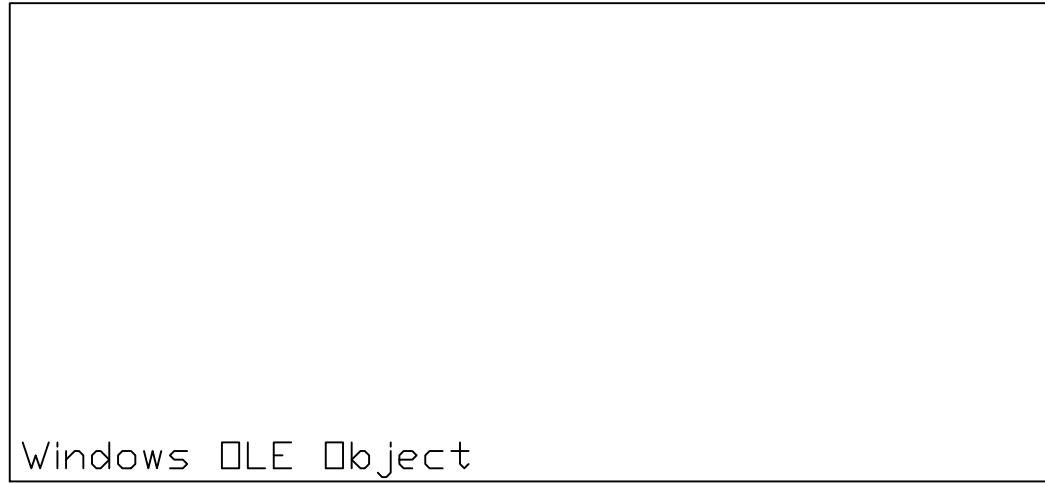
**A0.3**



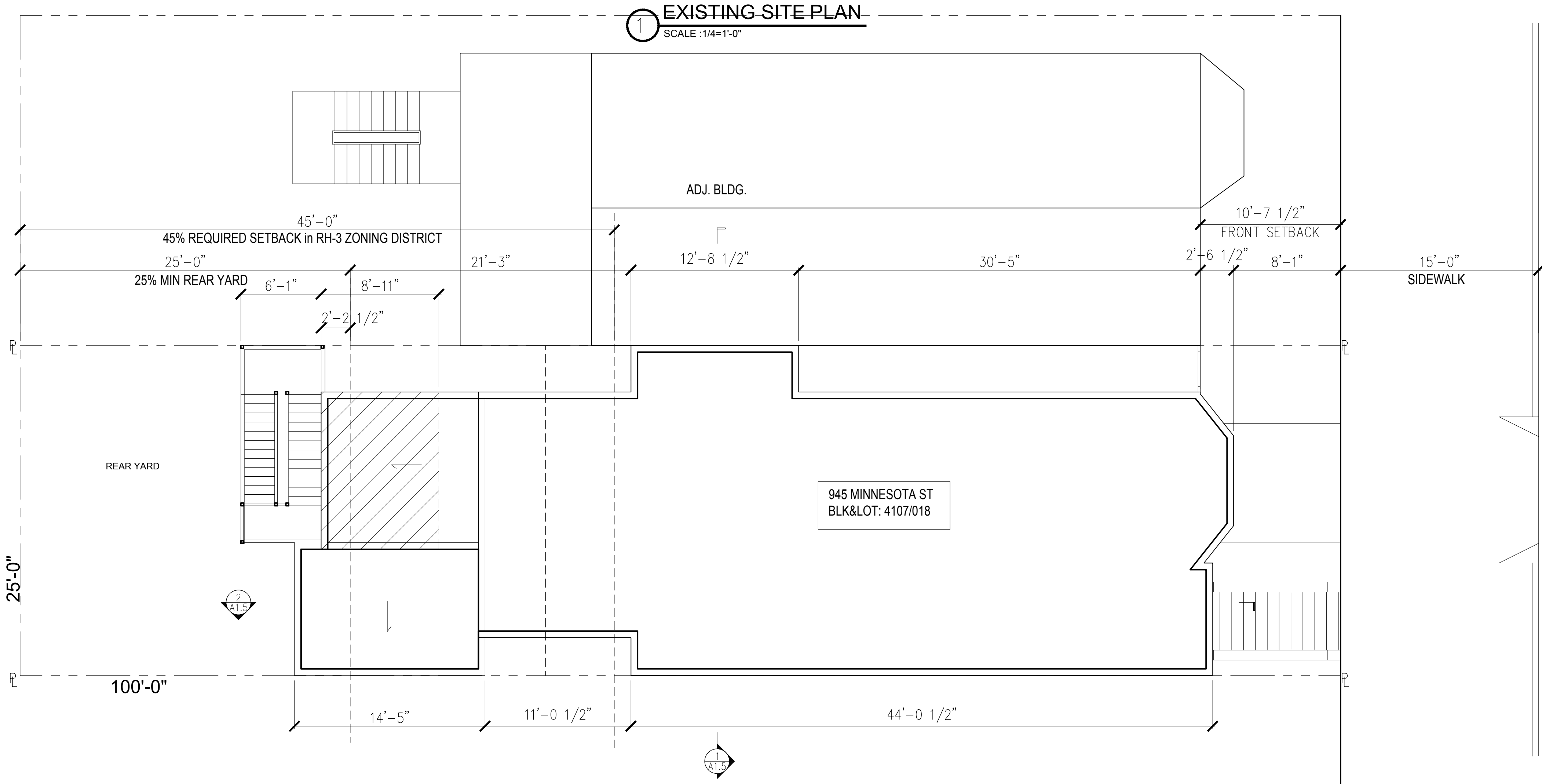
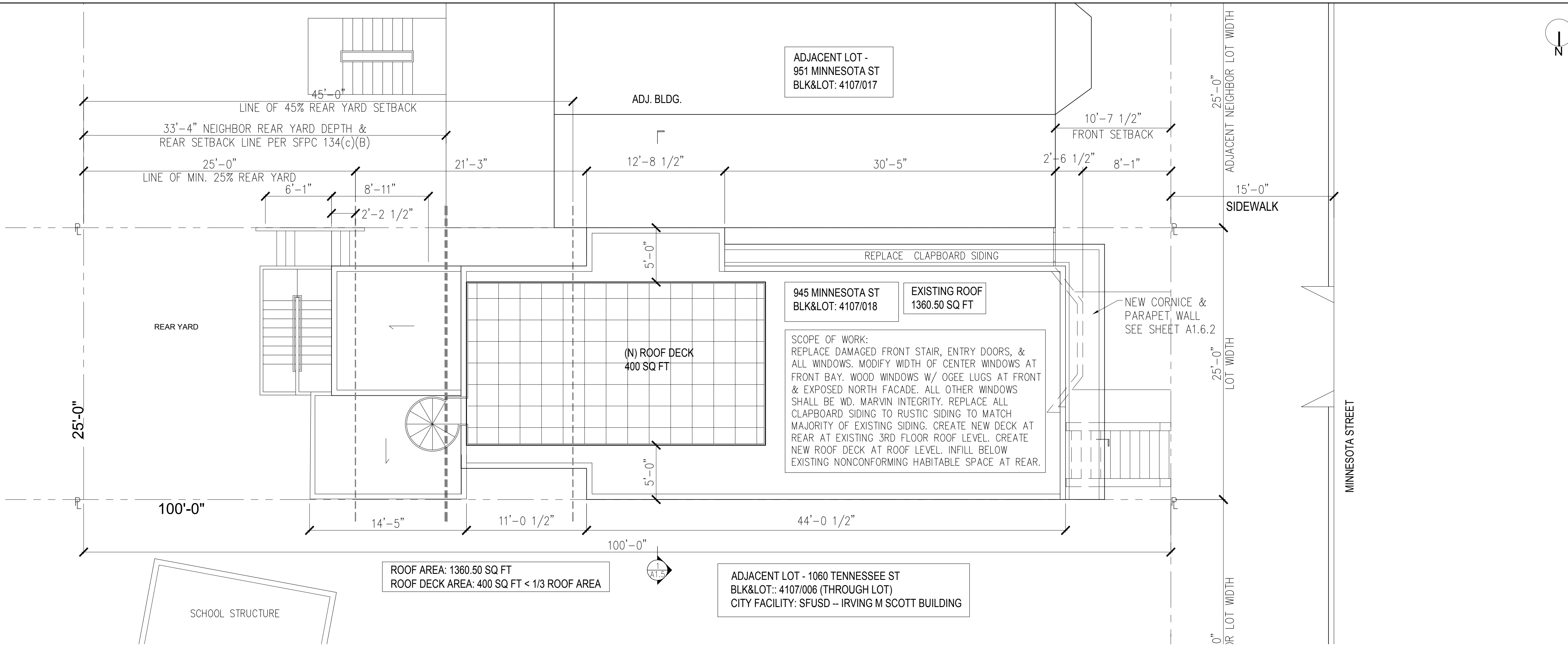
2 DOOR SCHEDULE & DOOR TYPES  
SCALE :1"=1'-0"



1 WINDOW SCHEDULE & WINDOW TYPES  
SCALE :1"=1'-0"



Windows OLE Object



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suhel@shataraarch.com

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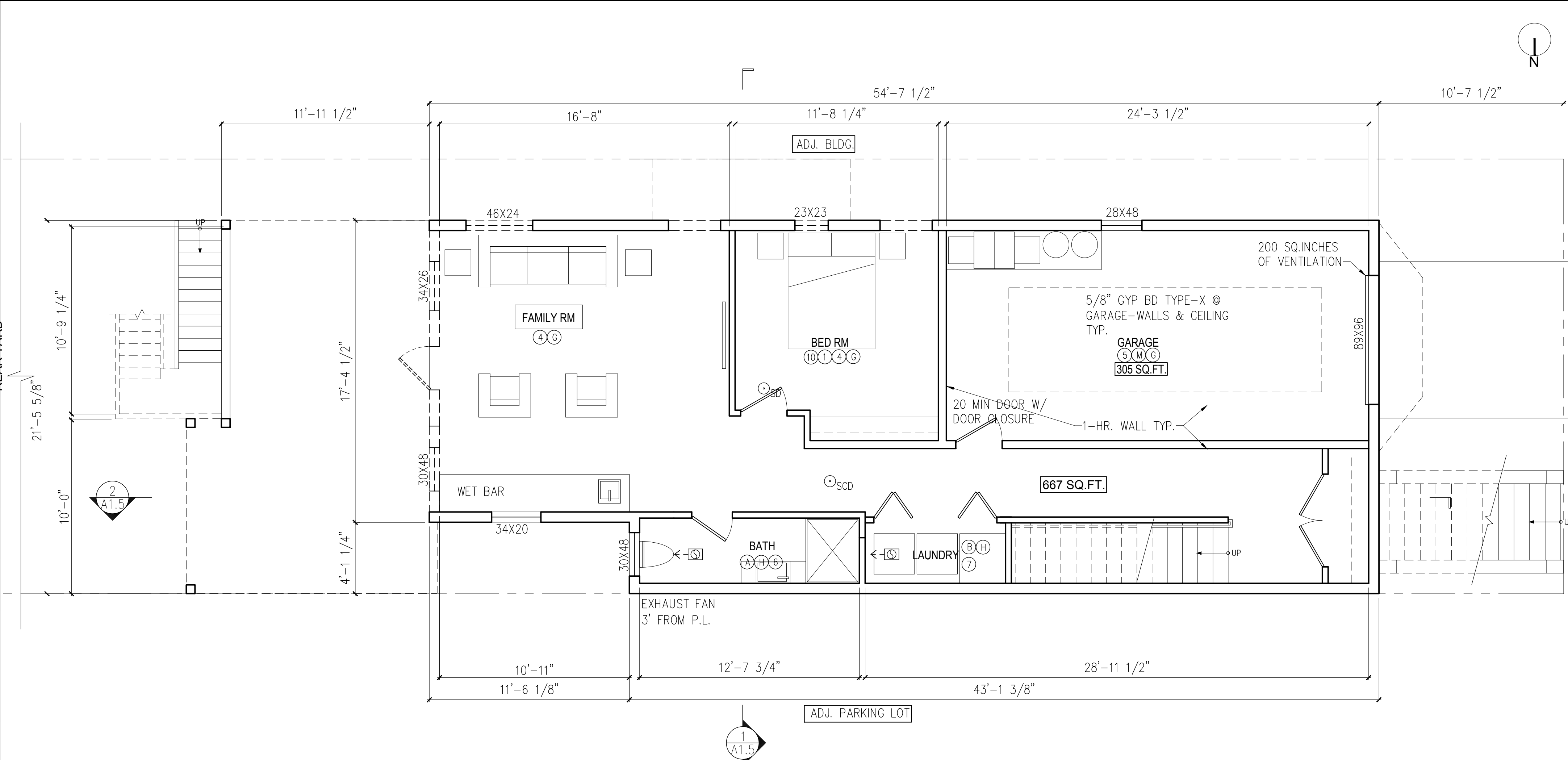
SHATARA ARCHITECTURE INC.

NO. 0224000  
REK 10/21/20

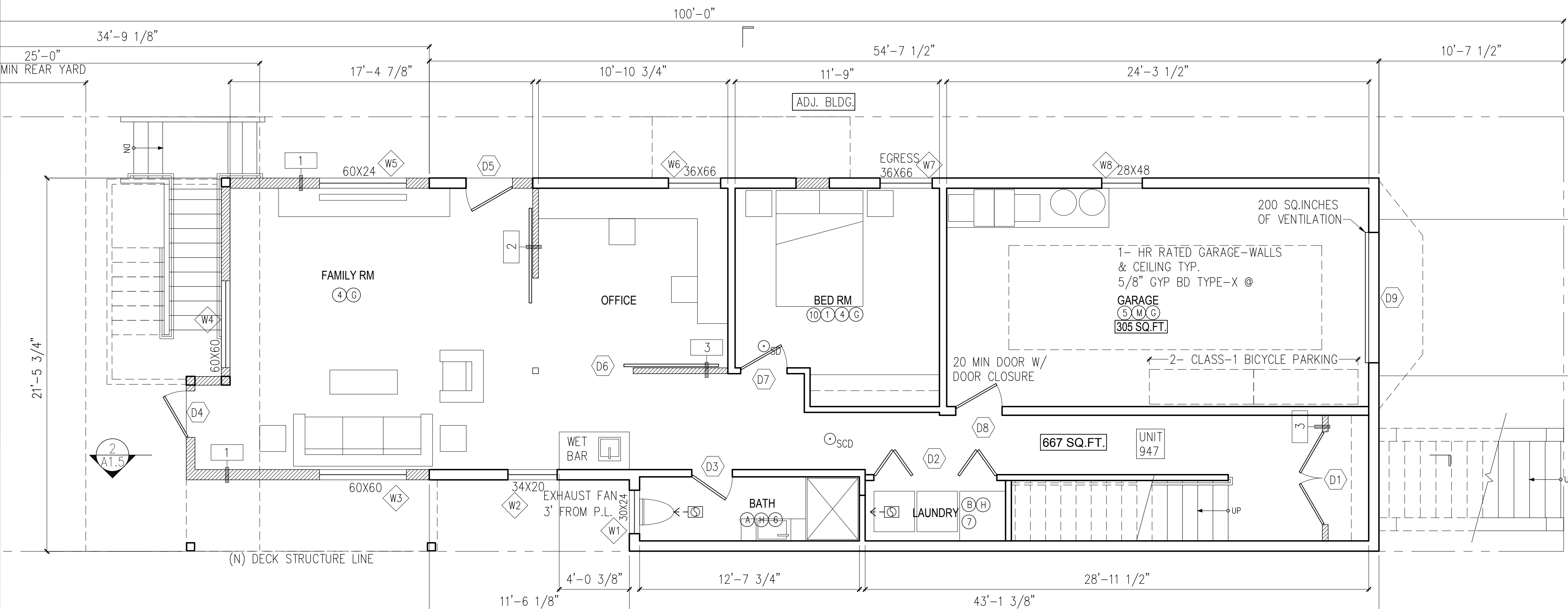
SHEET DESCRIPTION

EXISTING &  
PROPOSED  
SITE PLAN

A1.0



2 EXISTING AS APPROVED FIRST FLOOR PLAN  
SCALE : 1/4"=1'-0"



1 PROPOSED FIRST FLOOR PLAN  
SCALE : 1/4"=1'-0"

DEMOLITION NOTES

- DEMOLITION WORK SHOWN ON THESE DRAWINGS MAY NOT BE THE COMPLETE DEMOLITION REQUIRED TO ACCOMMODATE NEW WORK. THE INTENT OF THE DRAWING IS TO GENERALLY SHOW THE SCOPE OF THE WORK EXPECTED OF THE CONTRACTOR. THE CONTRACTOR SHALL CONTACT ARCHITECT IN ADVANCE IF REQUIRED DEMOLITION IS TO EXCEED THE SCOPE SHOWN ON ARCHITECTURAL DRAWINGS. EXCEEDING DEMOLITION SHOWN ON ARCHITECTURAL DRAWINGS MAY REQUIRE A PERMIT REVISION.
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- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL SHORING OF THE EXISTING SUBJECT BUILDING AND OF ANY ADJACENT STRUCTURES ASSOCIATED WITH THE DEMOLITION WORK INDICATED IN THESE DRAWINGS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROCURING PROFESSIONAL SERVICES, SUCH AS A STRUCTURAL ENGINEER, TO DETERMINE IF SHORING DESIGN IS NEEDED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR OBTAINING ADDITIONAL PERMITS, ENGINEERING, AND CONSTRUCTION DOCUMENTS RELATED TO THIS WORK.
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- 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY A REGISTERED HAULER TO A REGISTERED FACILITY, IN COMPLIANCE WITH THE SAN FRANCISCO CONSTRUCTION & DEMOLITION DEBRIS ORDINANCE.
- EXISTING DUCT OPENINGS AND OTHER AIR DISTRIBUTION COMPONENTS OPENINGS SHALL REMAIN COVERED DURING ALL PHASES OF CONSTRUCTION WITH TAPE, PLASTIC, SHEETMETAL, OR OTHER ACCEPTEABLE METHOD TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS ENTERING THE SYSTEM.

LEGEND:

- (E) WALL TO REMAIN
- (E) WALL TO BE REMOVED
- (N) WALL

SITE DEVELOPMENT

**STORM WATER POLLUTION CONTROL**  
A PLAN HAS BEEN DEVELOPED AND WILL BE IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.

**GRADING AND PAVING**  
CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. EXCEPTION FOR ADDITIONS AND ALTERATIONS WHICH DO NOT ALTER THE EXISTING DRAINAGE PATH.

**ELECTRICAL VEHICLE CHARGING FOR NEW CONSTRUCTION**  
FOR ONE AND TWO FAMILY DWELLINGS, INSTALL ELECTRIC VEHICLE CHARGING WIRING AND PANELS PER THE REQUIREMENTS.

WATER EFFICIENCY & CONSERVATION

**WATER CONSERVING PLUMBING FIXTURES**  
PLUMBING FIXTURES (WATER CLOSETS AND URINALS) SHALL COMPLY WITH THE FOLLOWING:

- THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GAL/FLUSH.
- THE EFFECTIVE FLUSH VOLUME OF WALL-MOUNTED URINALS SHALL NOT EXCEED 0.125 GAL/FLUSH. THE EFFECTIVE FLUSH VOLUME FOR ALL OTHER URINALS SHALL NOT EXCEED 0.5 GAL/FLUSH.

**WATER CONSERVING PLUMBING FITTINGS**  
FITTINGS (FAUCETS AND SHOWERHEADS) HAVE ALL REQUIRED STANDARDS LISTED ON PLANS AND ARE IN ACCORDANCE.

DETAILS SHEET NOTES

- WALL TYPES DWGS DO NOT CONVEY STRUCTURAL (SHEAR) REQUIREMENTS. SEE STRUCT. DWGS.
- FLOOR CEILING ASSEMBLIES DO NOT CONVEY STRUCTURAL REQUIREMENTS. SEE STRUCT. DWGS.

SHEET NOTES

- ALL PLAN DIMENSIONS TO FACE OF ROUGH FRAMING, FACE OF CONCRETE, OR CENTER LINE OF STEEL, U.O.N.
- ALL SECTION AND ELEVATION DIMENSIONS TO FINISH FLOOR.
- ALL WOOD FRAMED EXTERIOR WALLS TO BE FRAMED WITH 2X6 U.O.N. INTERIOR WALLS TO BE FRAMED WITH 2X4 U.O.N. REFER TO WALL TYPES TAGS FOR EXCEPTIONS.

KEYNOTES

- SMOKE DETECTOR & CARBON MONOXIDE DETECTOR:** SMOKE DETECTOR TO BE INSTALLED IN ALL SLEEPING ROOMS AND AREAS SERVINGS THE SLEEPING ROOMS. MIN. ONE SMOKE DETECTOR ON EACH LEVEL. ALARMS AT BEDROOM TO BE PLACED WITHIN 1'-0" OF THE CENTER OF THE DOOR. **INTERCONNECTION:** WHERE MORE THAN ONE SMOKE ALARM IS REQ'D WITHIN A DWELLING UNIT, SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE DWELLING UNIT. ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVE BACKGROUND NOISE WITH ALL INTERVENING DOORS CLOSED. **CARBON MONOXIDE DETECTOR:** ARE REQUIRED ON THE HALLWAY OUTSIDE ALL BEDROOMS: AT LEAST ONE ONE EACH STORY.
- STAIRS**  
**RISE AND RUN** 4" MIN. RISER, 7" MAX. RISER AND 11" MIN. TREAD RUN. (EXCEPTION: STEPS MAY BE 7.75" MAX. RISE AND 10" MIN. RUN FOR STAIRS WITHIN INDIVIDUAL DWELLING UNIT IF OCCUPANT LOAD IS <10; OR FOR STAIRS TO UNOCCUPIED ROOF). LARGEST RISE OR RUN IN A FLIGHT MAY NOT EXCEED SMALLEST BY MORE THAN 3/8". **HANDRAILS** REQ'D ON STAIRS WITH 4 OR MORE RISERS. HANDRAIL HEIGHT BETWEEN 34" & 38" ABOVE LEADING EDGE OF NOSING, WITH 12" EXTENSIONS TOP & BOTTOM, RETURNED TO WALL. HANDRAILS REQUIRED AT BOTH SIDES, EXCEPT WITHIN A DWELLING UNIT. **PICKETS & BALUSTERS:** OPENING LESS THAN 4". 6" MAX. DIAMETER OPENING AT TREAD/RISER/BALUSTER TRIANGLE. **GUARDRAIL** MIN. HEIGHT 42". (EXCEPTION: WITHIN DWELLING UNIT, 36" MIN. IF HANDRAIL MOUNTED ABOVE GUARDRAIL.) **LANDING** REQ'D AT EVERY 12 VERTICAL FEET, MAX. LENGTH OF LANDING EQUAL TO WIDTH OF STAIRS. **HEADROOM** MIN. 80" THROUGHOUT STAIRS. **TREAD ANTI-SLIP:** ON EXTERIOR STAIRS, PROVIDE TREAD TREATMENT TO ACHIEVE A COEFFICIENT OF FRICTION OF 1.02 DRY and 0.98 WET.
- STRUCTURE @ EXTERIOR** SUPPORT STRUCTURE FOR EXTERIOR STAIRS (AND ALL OTHER EXPOSED WOOD, OR WOOD IN CONTACT WITH CONCRETE) TO BE DECAY, TERMITE AND WEATHER RESISTANT WOOD. ALL CUT ENDS TO BE TREATED WITH "COPPER GREEN" OR SIMILAR PRESERVATIVE.
- LIGHT & VENTILATION:** LIGHT TO HABITABLE SPACE: 8% OF FLOOR AREA, MIN. 8 SQ. FT. HABITABLE ROOMS SHALL BE NATURALLY VENTILATED WITH AN AREA 4% OF THE FLOOR AREA WITH A MIN. 4 SQ. FT. OPENINGS.
- GARAGE VENTILATION** 200 SQ. INCHES MIN. FOR GARAGE OF UP TO 1,000 SQ. FT. FOR EACH ADDITIONAL 200 SQ. FT. PROVIDE ADDITIONAL 30 SQ. IN. OF CLR. VENT AREA.
- BATHROOM:** W.C.: MIN. OF 24" CLEARANCE IN FRONT OF W.C. 15" FROM CENTERLINE OF BOWL TO ADJACENT WALL. MAX. ALLOWABLE W.C. FLUSH RATE: 1.28 GALLONS, MAX. SHOWER: 30" MIN. DIA. CIRCLE & 1024 SQ. INCHES MIN. AREA, 32" X 32" INSIDE THRESHOLD; SHOWERHEAD FLOW RATE TO BE 2.5 GAL/MINUTE MAX. **WET AREAS:** NO GYPSUM BOARD OR GREENBOARD OR PURPLEBOARD ALLOWED ON WET AREAS; USE 1/2" CEMENTITIOUS BACKERS (HARDIE BACKER OR SIM.) AS TILE OR STONE UNDERLAYMENT. FAUCETS FLOW RATE TO BE 2.2 GAL/MINUTE MAX.
- LAUNDRY:** PROVIDE FLOOR DRAIN IN CENTER OF ROOM, SLOPE MIN. 1/4" PER FOOT.
- SKYLIGHTS:** (WITHOUT PARAPETS) LESS THAN 5 FEET FROM PROPERTY LINE TO BE 45 MIN. RATED ASSEMBLY W/ 1-HR. ROOF/CEILING CONSTRUCTION
- BEDROOM WINDOWS** AT LEAST ONE PER BEDROOM SHALL MEET EGRESS REQ'S OF MIN. WIDTH 20" (WITH MIN. HEIGHT OF 41") OR MIN. HEIGHT 24" (WITH 34.2" MIN. WIDTH) TOTALING 5.7 SQ. FT. MIN. CLR. OPENING. BOTTOM OF CLR. OPENING TO BE 44" MAX ABOVE BEDROOM FLOOR.
- ROOF PARAPETS:** AT UNRATED ROOFS: 1-HR RATED PARAPET, 30" MIN. HEIGHT REQ'D.
- ROOFING:** CLASS "B" MIN. ROOFING. FLAT ROOF 2% MIN. SLOPE, 1:48.
- ROOF DECK:** < 500 SQ.FT. FOR COMBUSTIBLE DECKING MATERIAL 1/8" SPACING BETWEEN PLANKS, PERIMETER OPENING CLOSED TO WITHIN 1" OF ROOF. CONSTRUCTION IS MIN. 2" NOMINAL HEART REDWOOD OR FIRE RESISTANT TREATED WOOD. **GUARDRAIL** MIN. HEIGHT 42". OPENING LESS THAN 4".
- OVERFLOW DRAINS:** SAME SIZE AS DRAIN AND 2" ABOVE LOW POINT.
- ATTIC VENTILATION & ACCESS:** ENCLOSED ATTIC AND RAFTER SPACES SHALL HAVE CROSS VENTILATION. NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/300 OF ATTIC OR RAFTER SPACE AREA WITH A CLASS 1 OR 2 VAPOR BARRIER PROVIDED ON THE WARM-IN-WINTER SIDE OF CEILING; 50% OF VENT AREA SHALL BE PROVIDED IN UPPER PORTION AND 50% BY EAVES OR CORNICE VENTS. **ACCESS:** 22"x30" ACCESS REQUIRED WHEN ATTIC HAS CLEAR HEIGHT OF 30" OR MORE. HEADROOM OF 30" MIN. REQ'D ABOVE ACCESS.
- UNDER-FLOOR VENTILATION & ACCESS:** CRAWL SPACE UNDER WOOD JOISTS SHALL HAVE CROSS VENTILATION, NOT LESS THAN 1 SQ.FT. FOR EACH 150 SQ.FT. OF CRAWL SPACE. **ACCESS:** 18"x24" MINIMUM SIZE ACCESS REQUIRED
- TEMPERED WINDOWS:** TEMPERED GLASS REQ'D WITHIN 24" OF THE STRIKE EDGE OF A DOOR; WITHIN 18" OF A FINISH FLOOR LEVEL (WALKING SURFACE); WITHIN SHOWER OR BATHTUB ENCLOSURE.

LEGEND

- 9 WALL TYPE
- 999 DOOR NUMBER
- 9A WINDOW NUMBER
- (E) WALL TO BE DEMOLISHED
- (E) WALL TO REMAIN
- (N) WALL
- SECTION
- ELEVATION
- FLOOR/CEILING ASSEMB. TYPE
- 1 HR FIRE RATED WALL
- 2 HR FIRE RATED WALL
- PROPERTY LINE
- ABOVE

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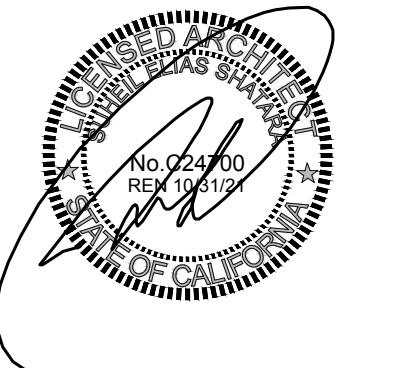
BUILDING 04.09.2018

BUILDING 02.25.2019

PLANNING 09.03.2019

PLANNING 04.15.2020

PLANNING 05.26.2020



SHEET DESCRIPTION  
**EXISTING &  
PROPOSED  
PLANS**

**A1.1**





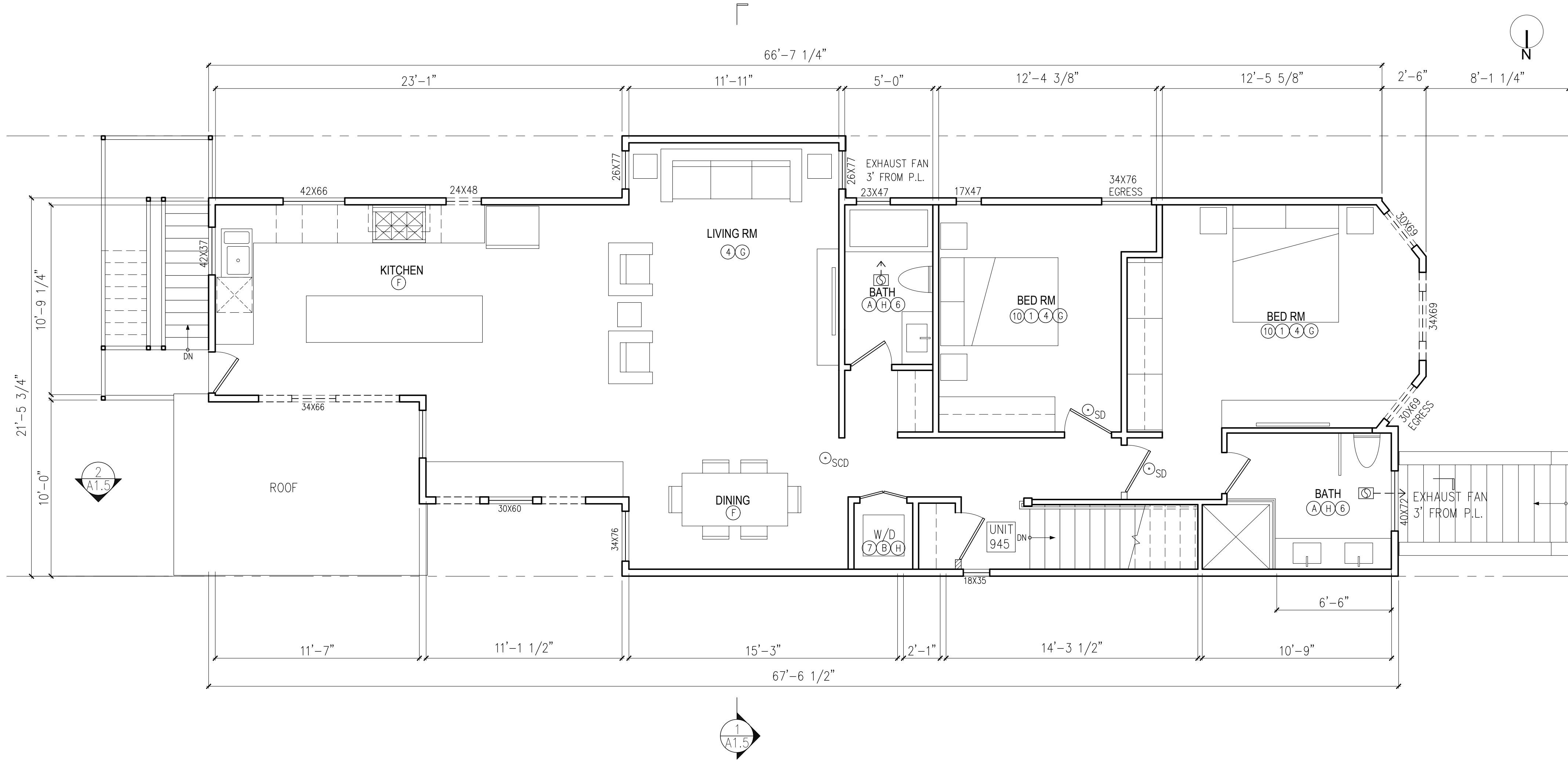
## (N) WALL

----- ABOVE

# A12

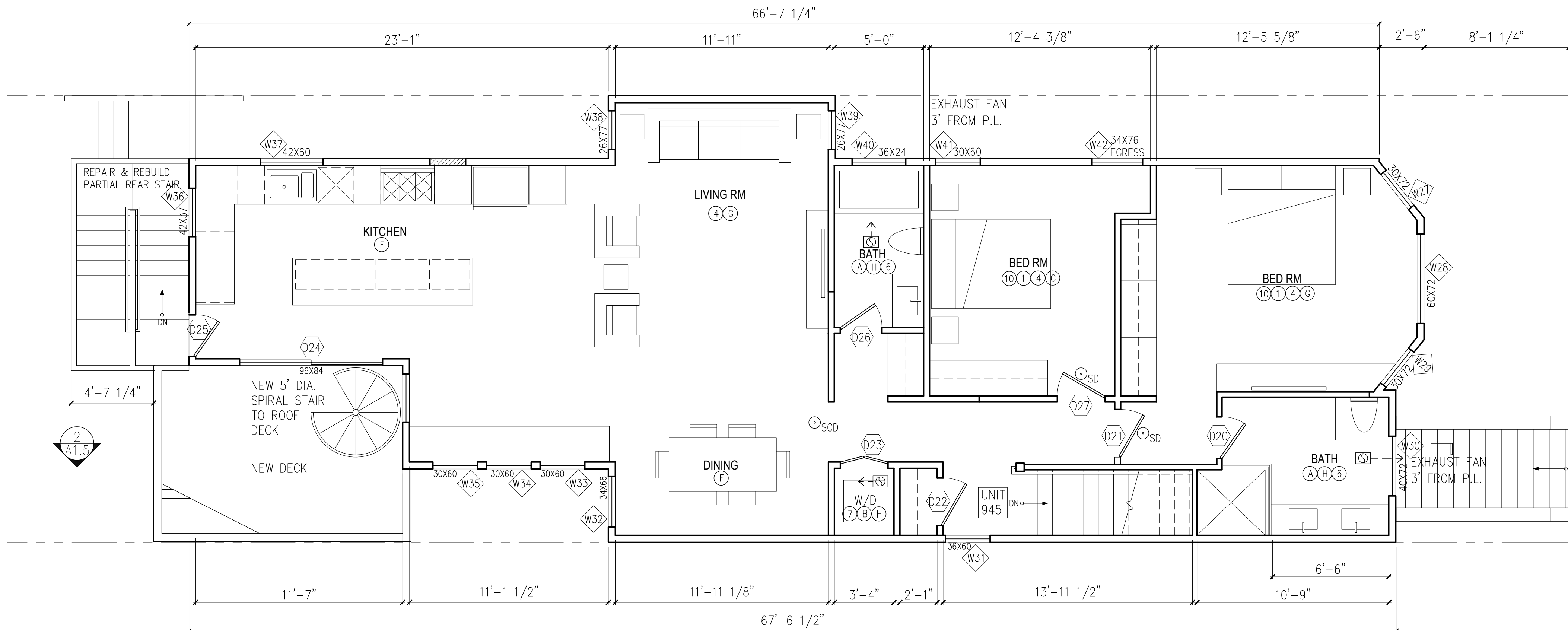


## A1.2



## EXISTING AS APPROVED THIRD FLOORPLAN

SCALE : 1/4"=1'-0"



## PROPOSED THIRD FLOOR PLAN

SCALE : 1/4"=1'-0"

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(E) WALL TO BE REMOVED

(N) WALL

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- STRUCTURE @ EXTERIOR** SUPPORT STRUCTURE FOR EXTERIOR STAIRS (AND ALL OTHER EXPOSED WOOD, OR WOOD IN CONTACT WITH CONCRETE) TO BE DECAY, TERMITE AND WEATHER RESISTANT WOOD. ALL CUT ENDS TO BE TREATED WITH "COPPER GREEN" OR SIMILAR PRESERVATIVE.
- LIGHT & VENTILATION:** LIGHT TO HABITABLE SPACE: 8% OF FLOOR AREA, MIN. 8 SQ. FT. HABITABLE ROOMS SHALL BE NATURALLY VENTILATED WITH AN AREA 4% OF THE FLOOR AREA WITH A MIN. 4 SQ. FT. OPENINGS.
- GARAGE VENTILATION** 200 SQ. INCHES MIN. FOR GARAGE OF UP TO 1,000 SQ. FT. FOR EACH ADDITIONAL 200 SQ. FT. PROVIDE ADDITIONAL 30 SQ. IN. OF CLR. VENT AREA.
- BATHROOM:** W.C.: MIN. OF 24" CLEARANCE IN FRONT OF W.C. 15" FROM CENTERLINE OF BOWL TO ADJACENT WALL. MAX. ALLOWABLE W.C. FLUSH RATE: 1.28 GALLONS, MAX. SHOWER: 30" MIN. DIA. CIRCLE & 1024 SQ. INCHES MIN. AREA, 32" X 32" INSIDE THRESHOLD; SHOWERHEAD FLOW RATE TO BE 2.5 GAL/MINUTE MAX. WET AREAS: NO GYPSUM BOARD OR GREENBOARD OR PURPLEBOARD ALLOWED ON WET AREAS; USE 1/2" CEMENTITIOUS BACKERS (HARDIE BACKER OR SIM.) AS TILE OR STONE UNDERLAYMENT. FAUCETS FLOW RATE TO BE 2.2 GAL/MINUTE MAX.
- LAUNDRY:** PROVIDE FLOOR DRAIN IN CENTER OF ROOM, SLOPE MIN. 1/4" PER FOOT.
- SKYLIGHTS:** (WITHOUT PARAPETS) LESS THAN 5 FEET FROM PROPERTY LINE TO BE 45 MIN. RATED ASSEMBLY W/ 1-HR. ROOF/CEILING CONSTRUCTION
- BEDROOM WINDOWS** AT LEAST ONE PER BEDROOM SHALL MEET EGRESS REQ'S OF MIN. WIDTH 20" (WITH MIN. HEIGHT OF 41") OR MIN. HEIGHT 24" (WITH 34.2" MIN. WIDTH) TOTALING 5.7 SQ. FT. MIN. CLR. OPENING BOTTOM OF CLR. OPENING TO BE 44" MAX ABOVE BEDROOM FLOOR.
- ROOF PARAPETS:** AT UNRATED ROOFS: 1-HR RATED PARAPET, 30" MIN. HEIGHT REQ'D.
- ROOFING:** CLASS "B" MIN. ROOFING. FLAT ROOF 2% MIN. SLOPE, 1:48.
- ROOF DECK:** < 500 SQ.FT. FOR COMBUSTIBLE DECKING MATERIAL 1/8" SPACING BETWEEN PLANKS, PERIMETER OPENING CLOSED TO WITHIN 1" OF ROOF, CONSTRUCTION IS MIN. 2" NOMINAL HEART REDWOOD OR FIRE RESISTANT TREATED WOOD. GUARDRAIL MIN. HEIGHT 42". OPENING LESS THAN 4".
- OVERFLOW DRAINS:** SAME SIZE AS DRAIN AND 2" ABOVE LOW POINT.
- ATTIC VENTILATION & ACCESS:** ENCLOSED ATTIC AND RAFTER SPACES SHALL HAVE CROSS VENTILATION. NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/300 OF ATTIC OR RAFTER SPACE AREA WITH A CLASS 1 OR 2 VAPOR BARRIER PROVIDED ON THE WARM-IN-WINTER SIDE OF CEILING; 50% OF VENT AREA SHALL BE PROVIDED IN UPPER PORTION AND 50% BY EAVES OR CORNICE VENTS. ACCESS: 22"x30" ACCESS REQUIRED WHEN ATTIC HAS CLEAR HEIGHT OF 30" OR MORE. HEADROOM OF 30" MIN. REQ'D ABOVE ACCESS.
- UNDER-FLOOR VENTILATION & ACCESS:** CRAWL SPACE UNDER WOOD JOISTS SHALL HAVE CROSS VENTILATION, NOT LESS THAN 1 SQ.FT. FOR EACH 150 SQ.FT. OF CRAWL SPACE. ACCESS: 18"x24" MINIMUM SIZE ACCESS REQUIRED
- TEMPERED WINDOWS:** TEMPERED GLASS REQ'D WITHIN 24" OF THE STRIKE EDGE OF A DOOR; WITHIN 18" OF A FINISH FLOOR LEVEL (WALKING SURFACE); WITHIN SHOWER OR BATHTUB ENCLOSURE.

#### LEGEND

- |     |                           |      |                            |
|-----|---------------------------|------|----------------------------|
| 9   | WALL TYPE                 | A3.4 | SECTION                    |
| 999 | DOOR NUMBER               | A3.4 | ELEVATION                  |
| 9A  | WINDOW NUMBER             | A    | FLOOR/CEILING ASSEMB. TYPE |
| --- | (E) WALL TO BE DEMOLISHED | ---  | 1 HR FIRE RATED WALL       |
| --- | (E) WALL TO REMAIN        | ---  | 2 HR FIRE RATED WALL       |
| --- | (N) WALL                  | ---  | PROPERTY LINE              |
| --- |                           | ---  | ABOVE                      |

## SHATARA ARCHITECTURE INC.

890 7TH ST.  
SAN FRANCISCO  
CA 94107

TEL (415) 512-7566  
suhel@shataarch.com

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.

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### PROJECT RESIDENTIAL RENOVATION

ADDRESS  
**945 - 947 MINNESOTA STREET  
SAN FRANCISCO, CA**

**BLOCK: 4107  
LOT: 018**

### PROJECT DIRECTORY OWNER

**ARCHITECT**  
SHATARA ARCHITECTURE INC.

890 7TH STREET  
SAN FRANCISCO, CA 94107  
TEL: 415-512-7566  
CONTACT: SUHEL SHATARA

### DBI STAMP

ISSUED	DATE	NO.
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BUILDING	04.09.2018	
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BUILDING	02.25.2019	
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PLANNING	09.03.2019	
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PLANNING	04.15.2020	
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PLANNING	05.26.2020	
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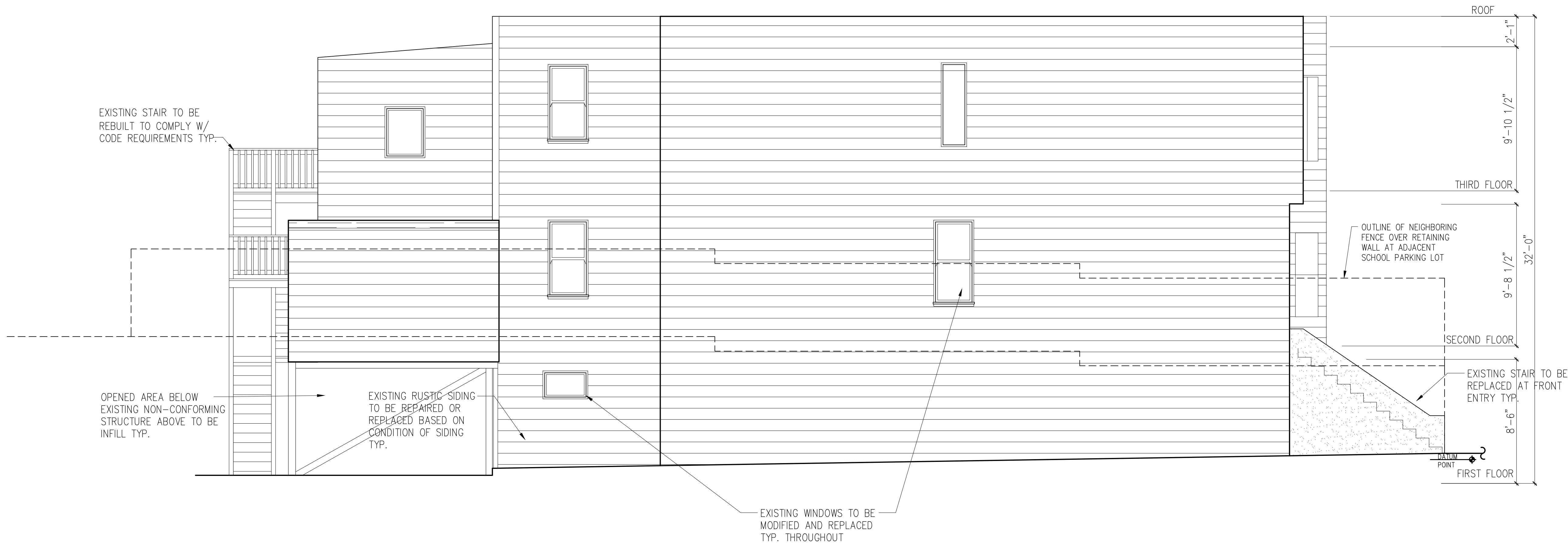
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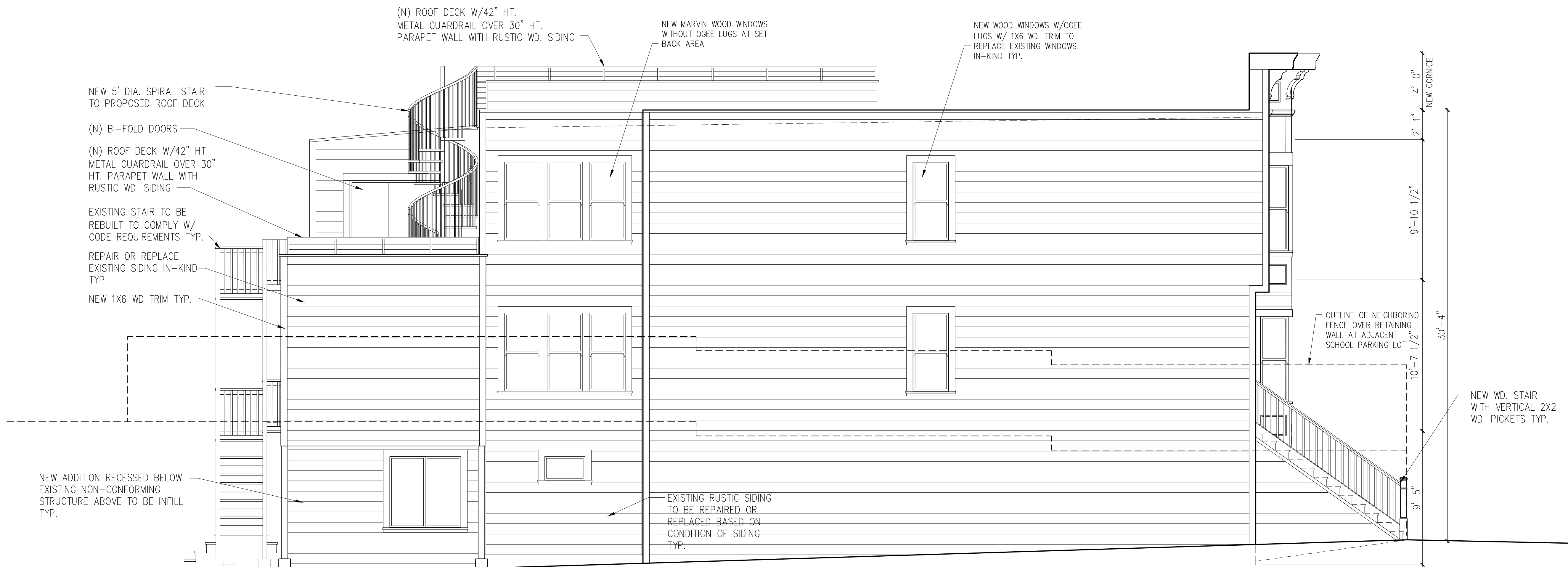
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2 (E) NORTH REAR ELEVATION  
SCALE : 1/4"=1'-0"



1 (P) NORTH SIDE ELEVATION  
SCALE : 1/4"=1'-0"

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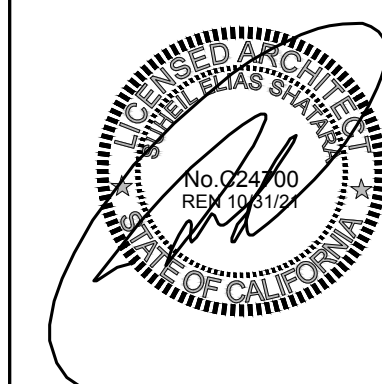
**BLOCK: 4107  
LOT: 018**

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OWNER**

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890 7TH STREET  
SAN FRANCISCO, CA 94107  
TEL: 415-512-7566  
CONTACT: SUHEIL SHATARA

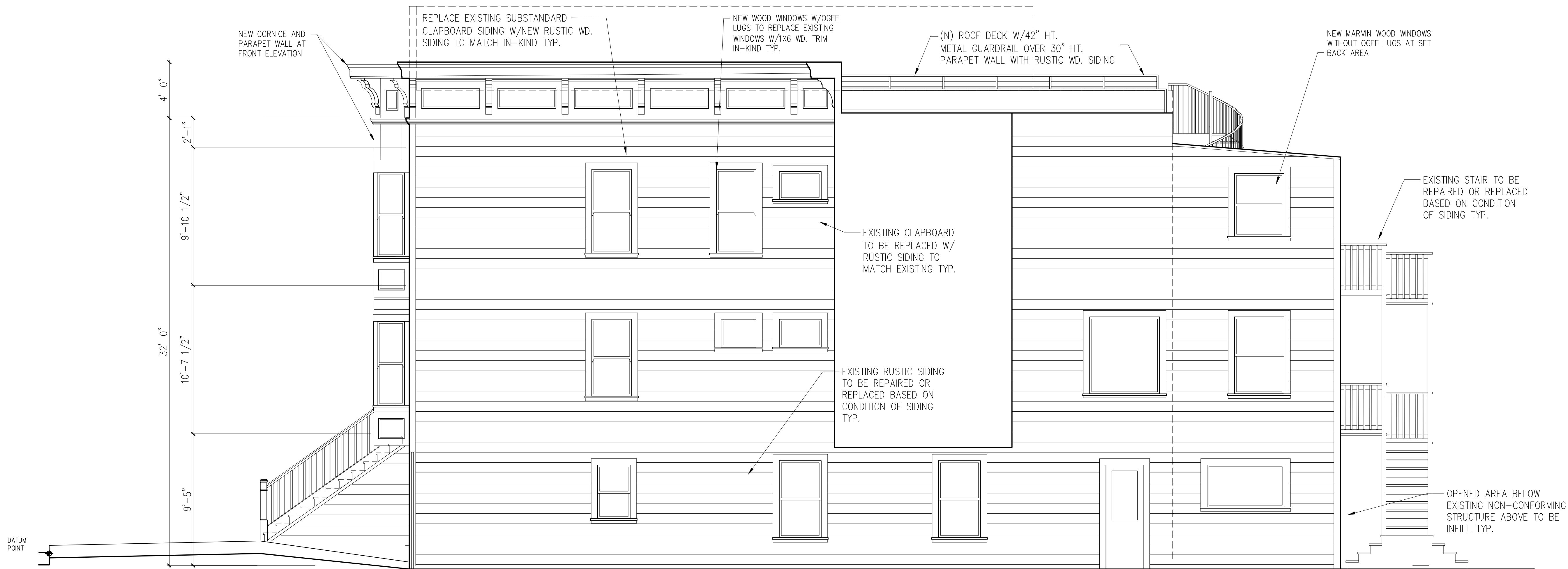
**DBI STAMP**

ISSUED	DATE	NO.
BUILDING	04.09.2018	
BUILDING	02.25.2019	
PLANNING	09.03.2019	
PLANNING	04.15.2020	
PLANNING	05.26.2020	

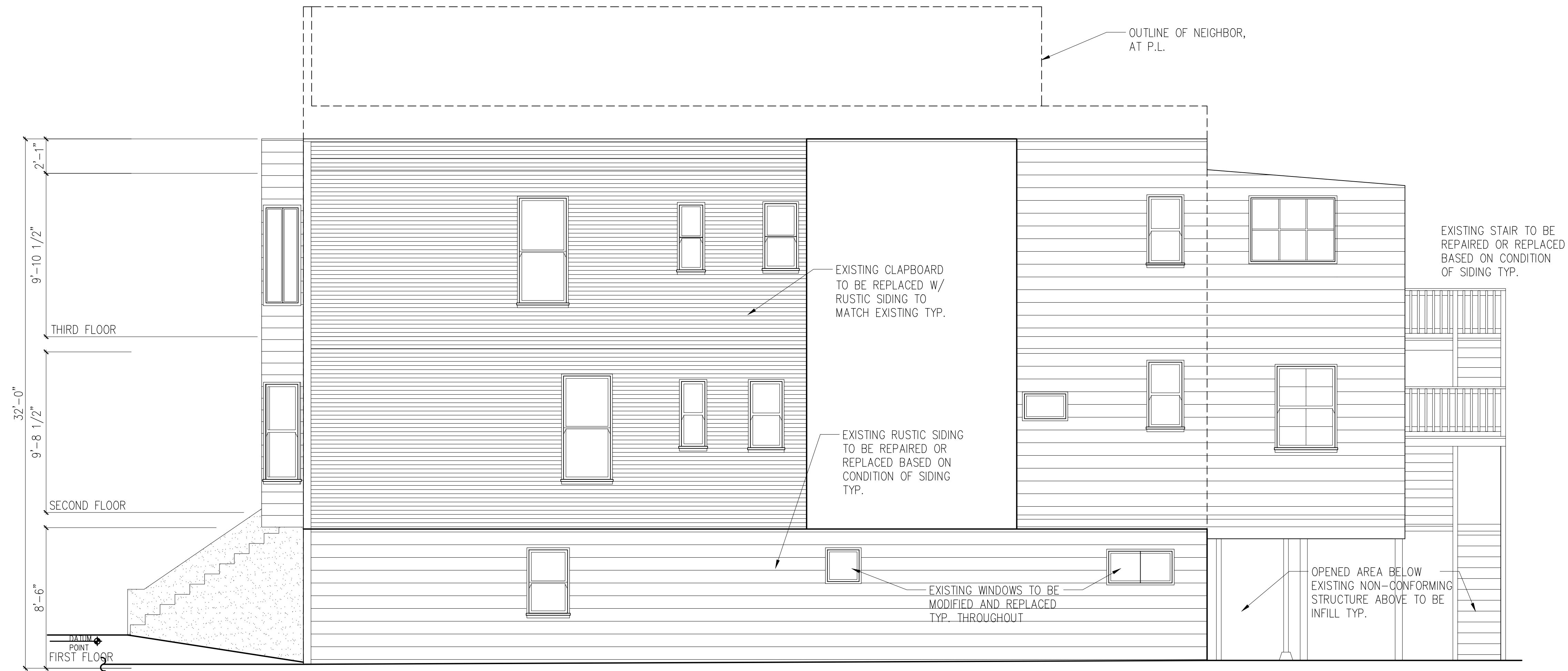


SHEET DESCRIPTION  
**EXISTING &  
PROPOSED  
ELEVATIONS**

**A1.4**



3 (P) SOUTH REAR ELEVATION  
SCALE : 1/4"=1'-0"



1 (E) SOUTH REAR ELEVATION  
SCALE : 1/4"=1'-0"

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PROJECT  
**RESIDENTIAL  
RENOVATION**

ADDRESS  
**945 - 947 MINNESOTA  
STREET  
SAN FRANCISCO, CA**

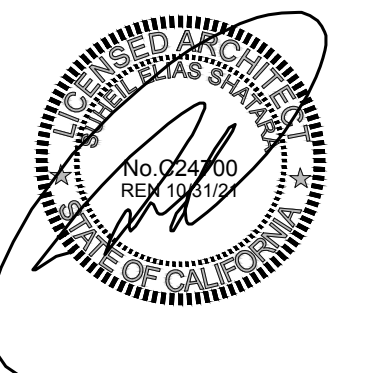
**BLOCK: 4107  
LOT: 018**

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OWNER**

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890 7TH STREET  
SAN FRANCISCO, CA 94107  
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PLANNING	04.15.2020	
PLANNING	05.26.2020	

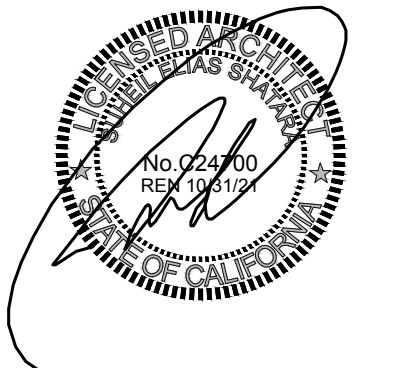


SHEET DESCRIPTION  
**EXISTING &  
PROPOSED  
ELEVATIONS**

# A1.5



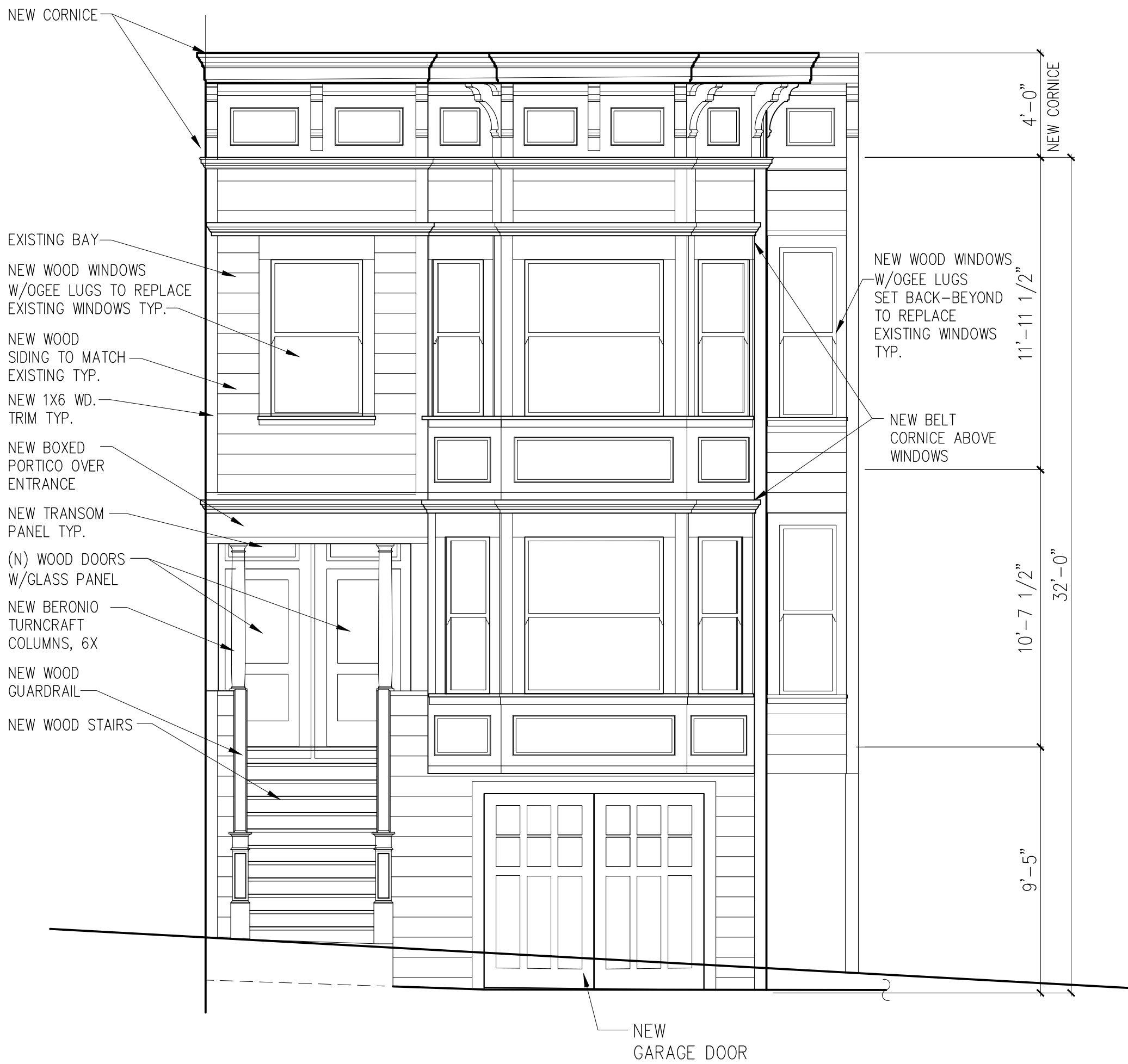
ISSUED	DATE	NO.
BUILDING	04.09.2018	
BUILDING	02.25.2019	
PLANNING	09.03.2019	
PLANNING	04.15.2020	
PLANNING	05.26.2020	



949-953 MINNESOTA

945/947 MINNESOTA

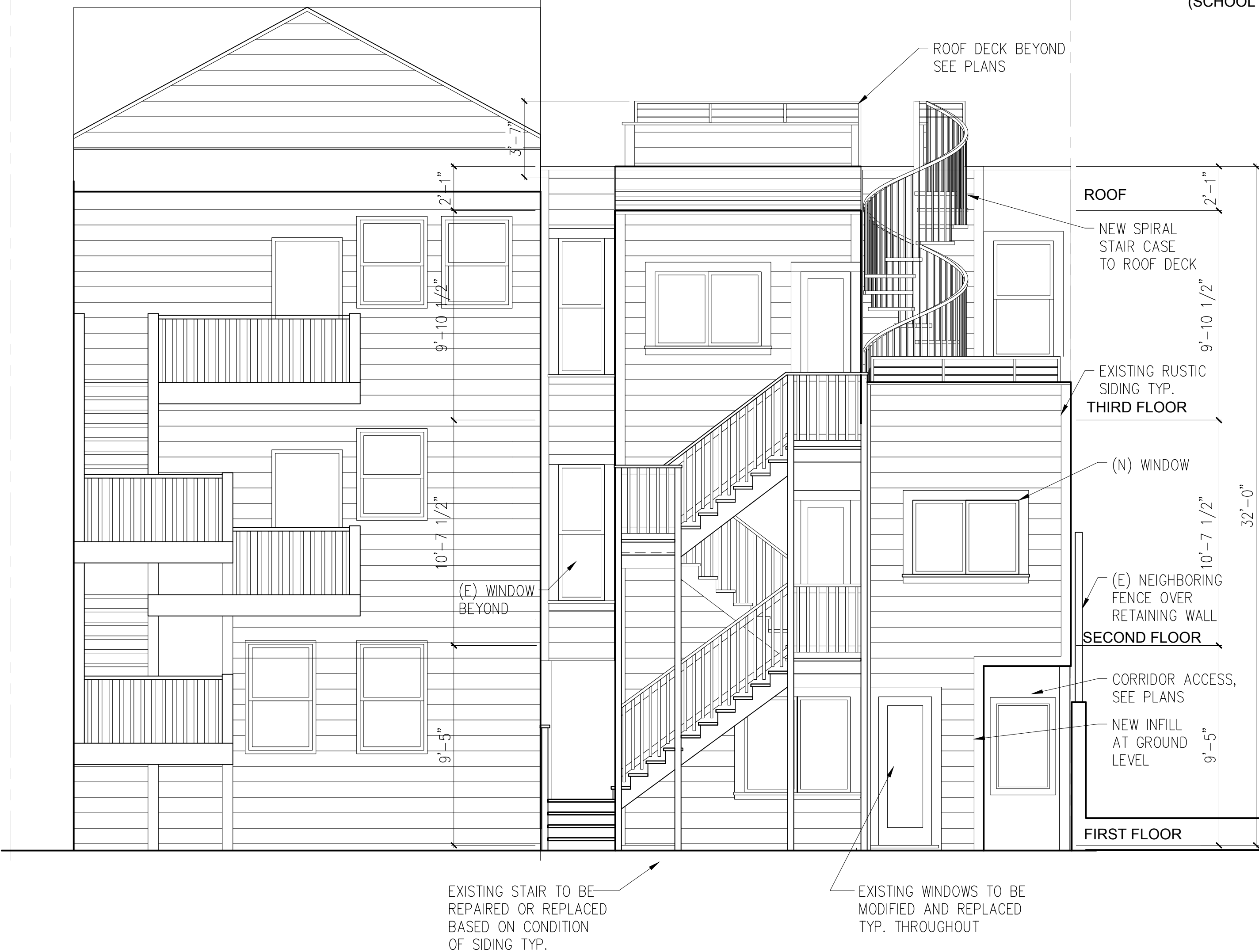
1060 TENNESSEE  
4107/006  
(SCHOOL YARD AND PARKING LOT)



3 (P) WEST FRONT ELEVATION  
SCALE : 1/4"=1'-0"



1 (E) WEST FRONT ELEVATION  
SCALE : 1/4"=1'-0"



4 (P) EAST REAR ELEVATION  
SCALE : 1/4"=1'-0"



2 (E) EAST REAR ELEVATION  
SCALE : 1/4"=1'-0"

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PROJECT  
**RESIDENTIAL  
RENOVATION**

ADDRESS  
**945 - 947 MINNESOTA  
STREET  
SAN FRANCISCO, CA**

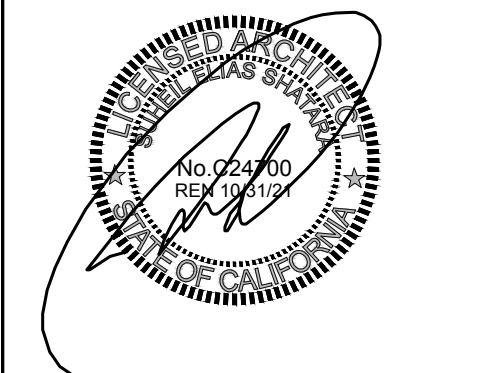
**BLOCK: 4107  
LOT: 018**

**PROJECT DIRECTORY  
OWNER**

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SHATARA ARCHITECTURE INC.  
890 7TH STREET  
SAN FRANCISCO, CA 94107  
TEL: 415-512-7566  
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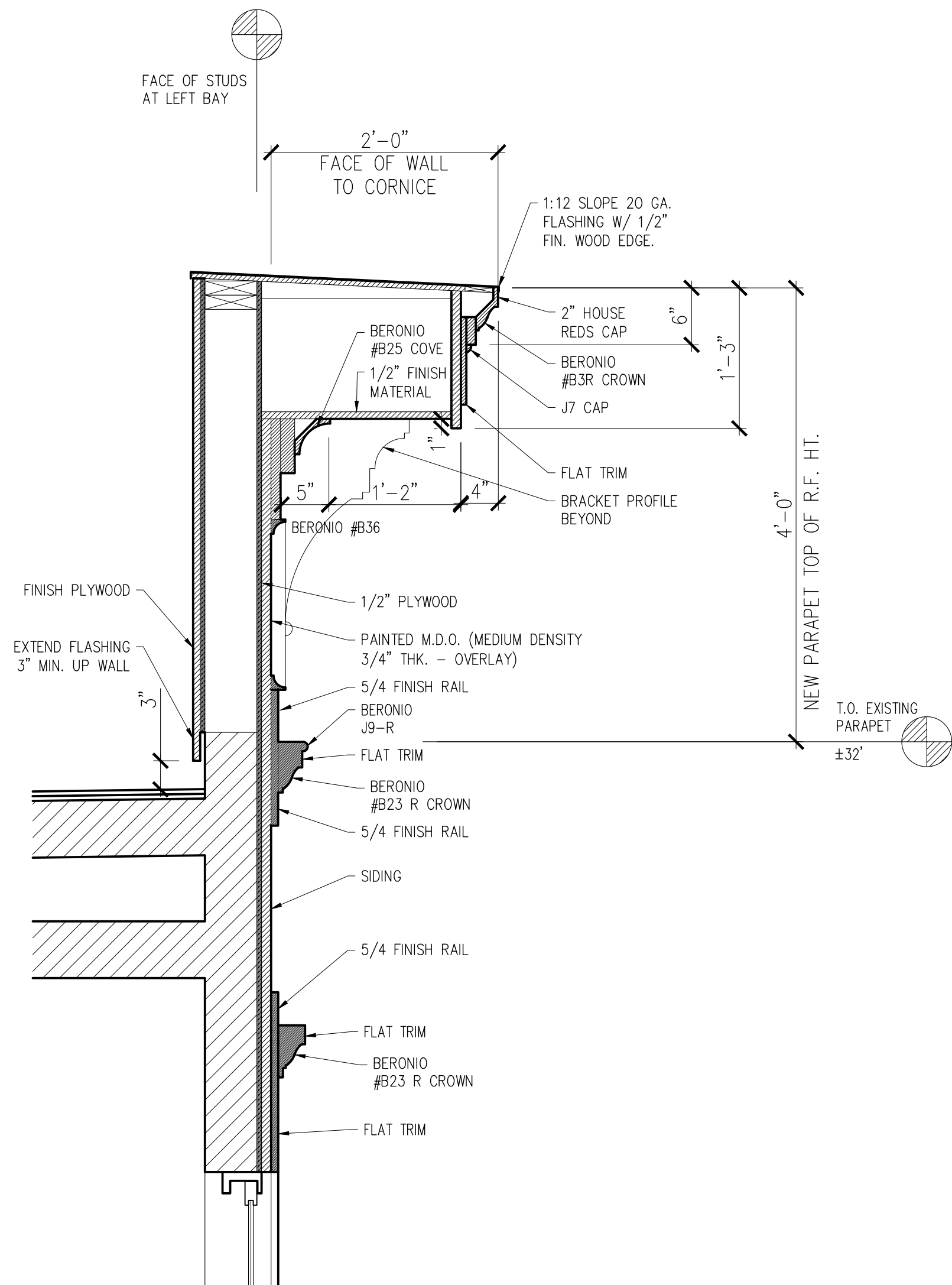
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BUILDING	04.09.2018	
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PLANNING	04.15.2020	
PLANNING	05.26.2020	

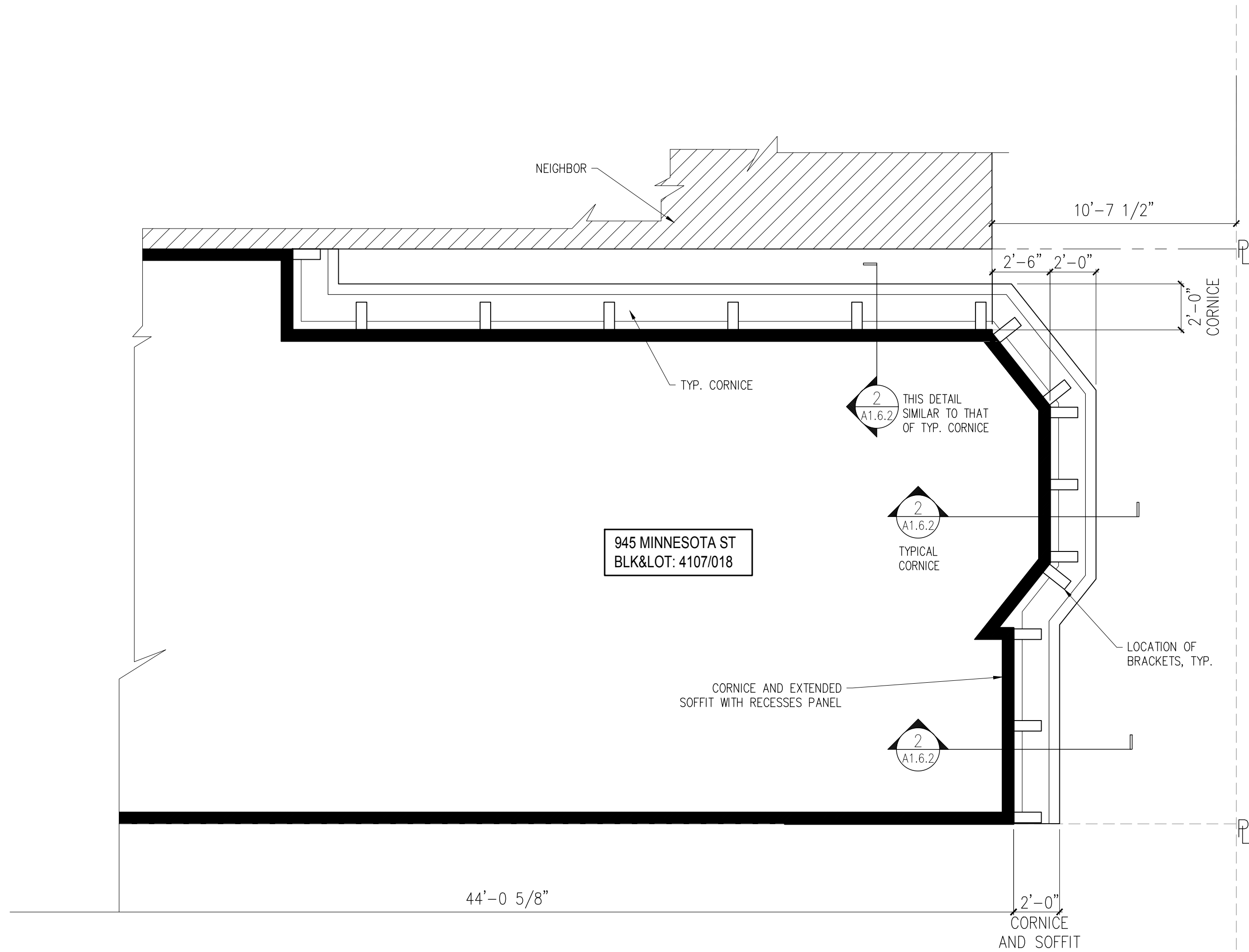


SHEET DESCRIPTION  
**CORNICE &  
PARAPET -  
RCP/DETAIL**

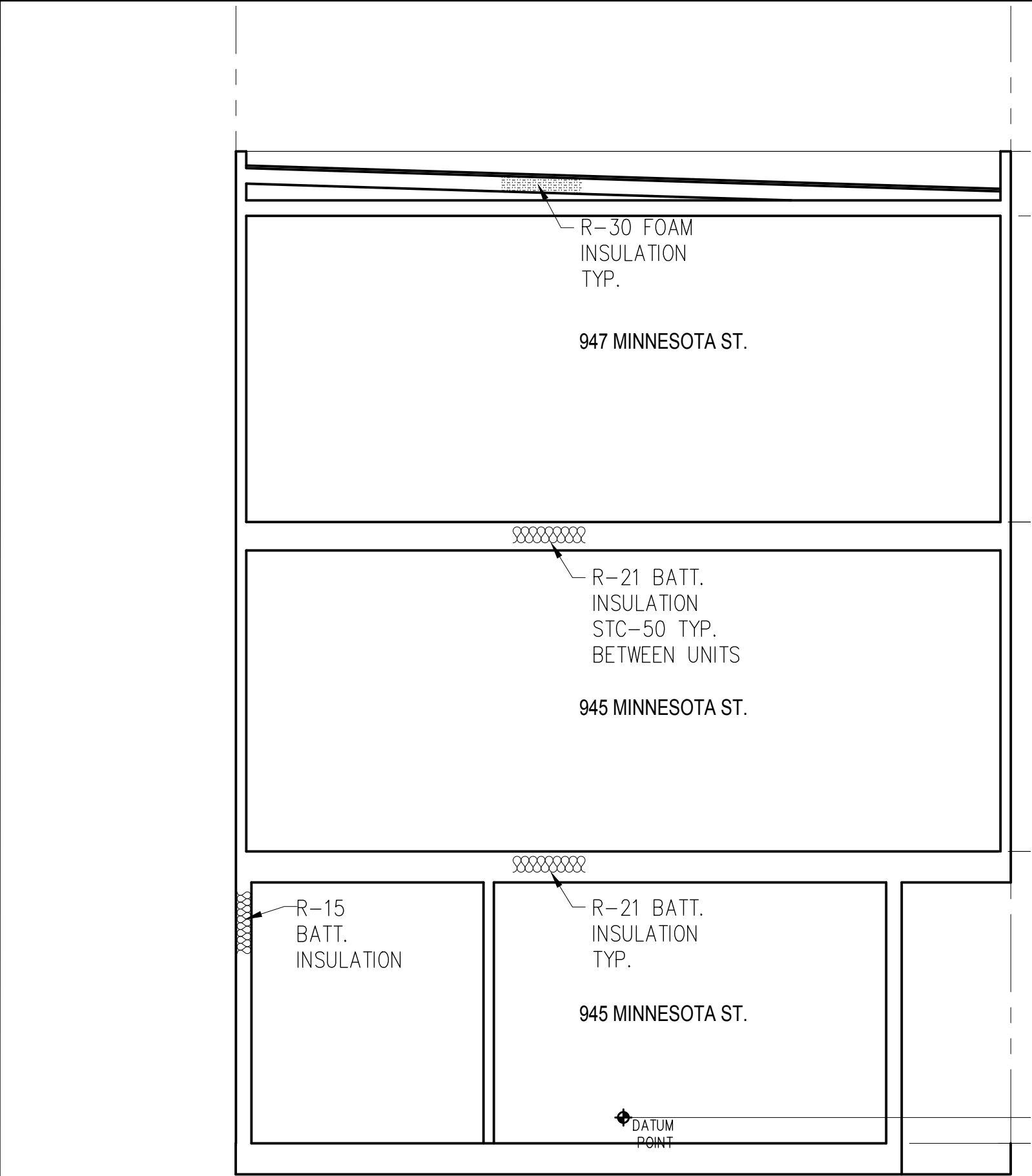
**A1.6.2**



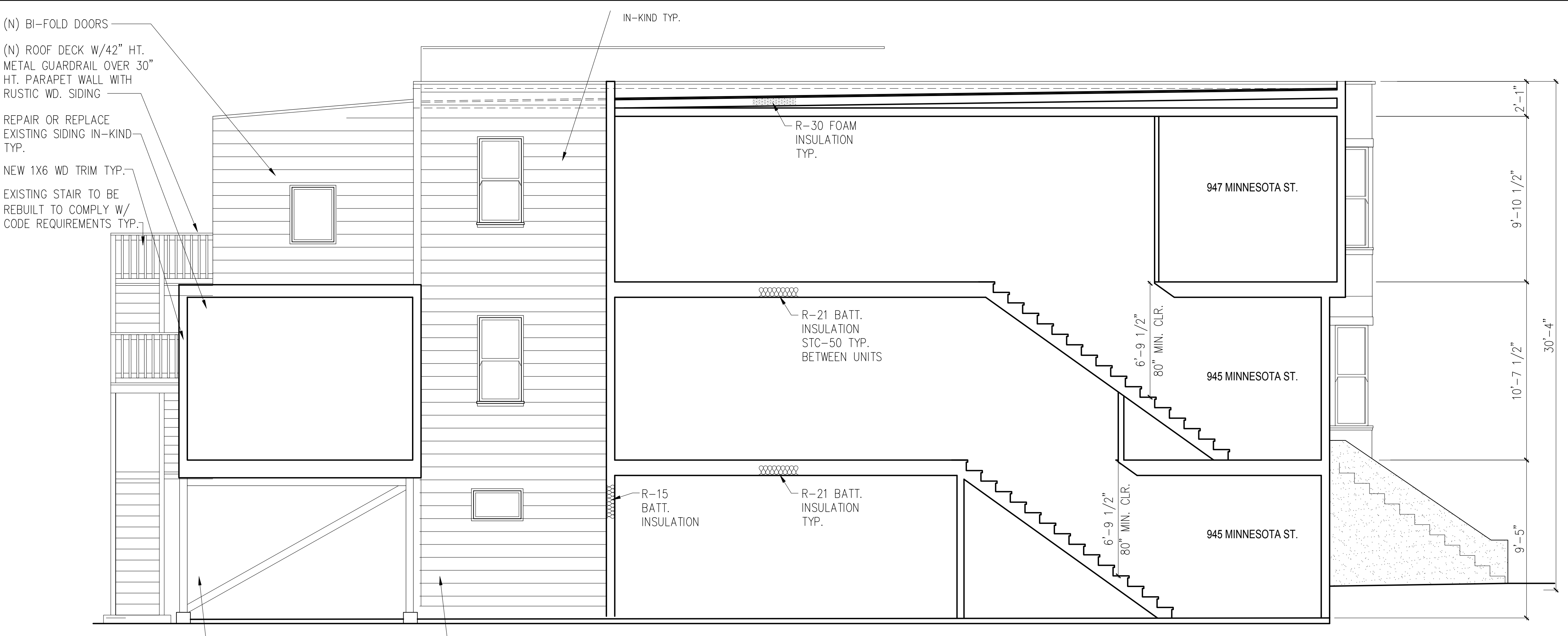
**2 STANDARD CORNICE DETAIL**  
SCALE : 1"=1'-0"



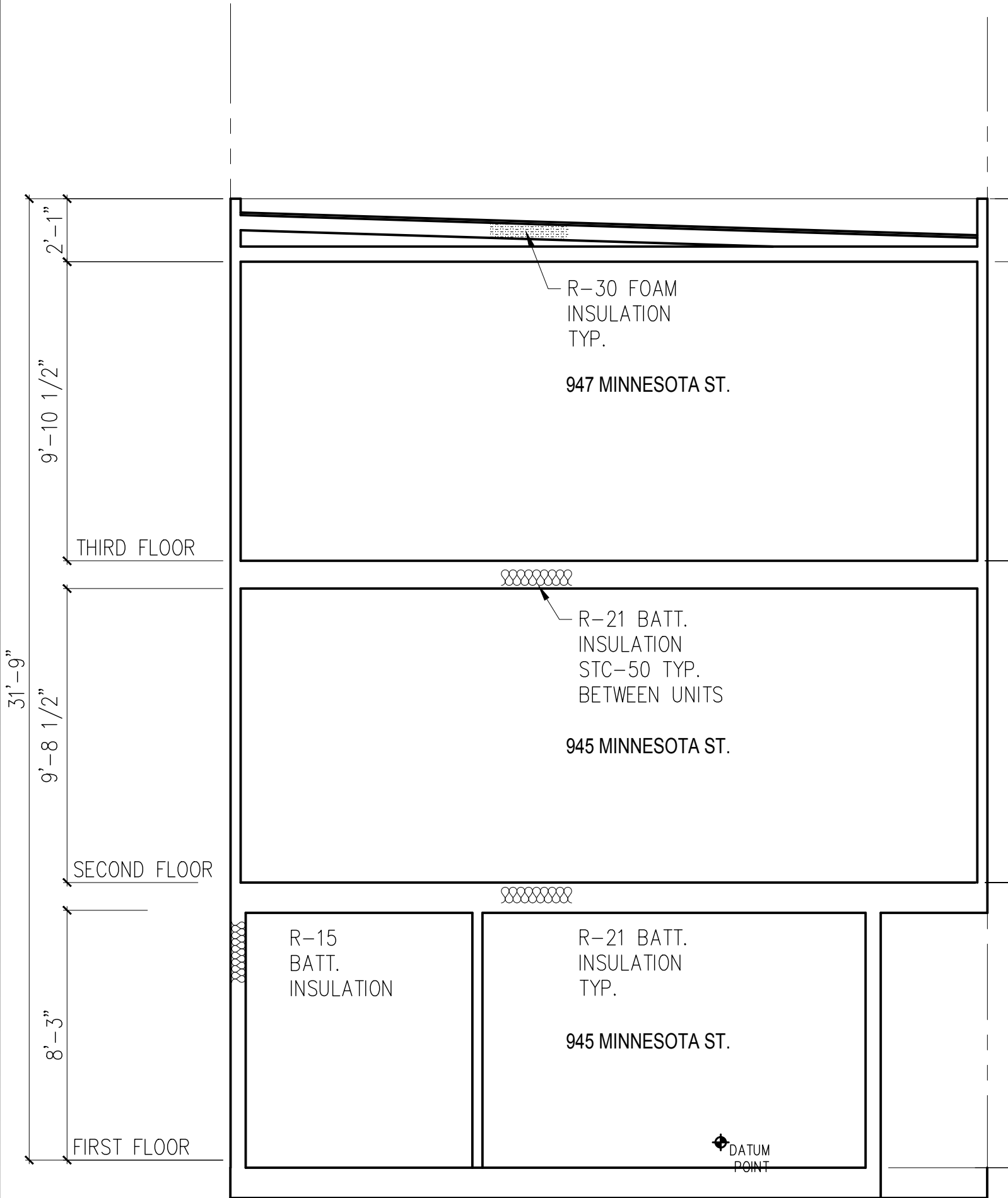
**1 RCP - CORNICE AND SOFFIT**  
SCALE : 1/4"=1'-0"



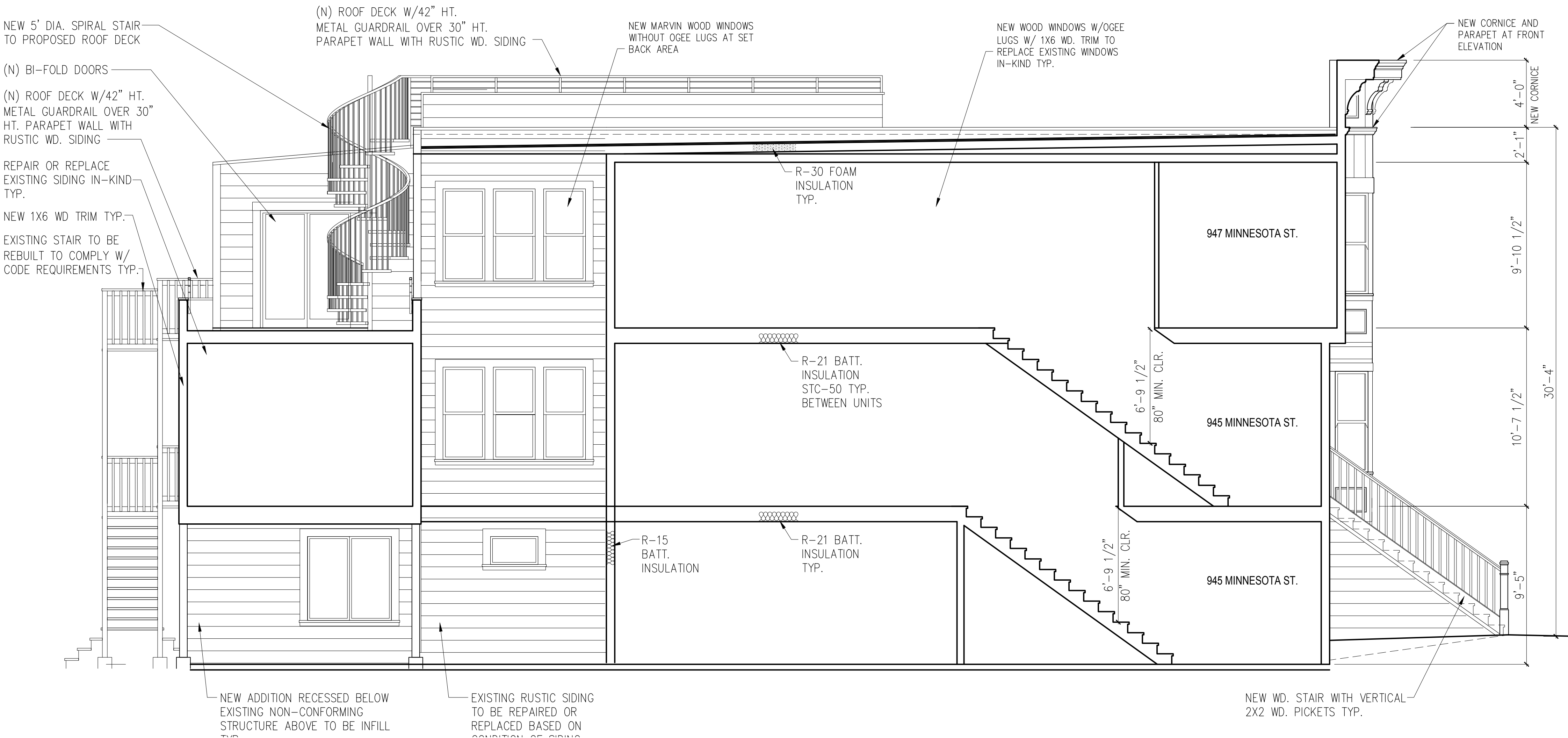
3 (E) WIDE SECTION  
SCALE : 1/4"=1'-0"



4 (E) LONGITUDE SECTION  
SCALE : 1/4"=1'-0"



1 (P) WIDE SECTION  
SCALE : 1/4"=1'-0"



2 (P) LONGITUDE SECTION  
SCALE : 1/4"=1'-0"

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## PROJECT RESIDENTIAL RENOVATION

ADDRESS  
**945 - 947 MINNESOTA  
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SAN FRANCISCO, CA**

**BLOCK: 4107  
LOT: 018**

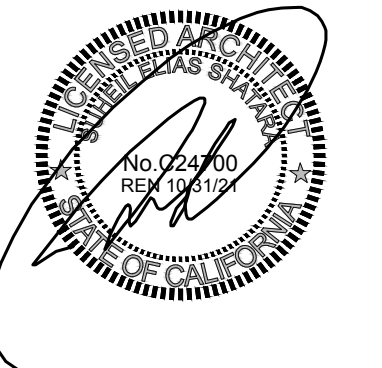
## PROJECT DIRECTORY OWNER

**ARCHITECT**  
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SAN FRANCISCO, CA 94107  
TEL: 415-512-7566  
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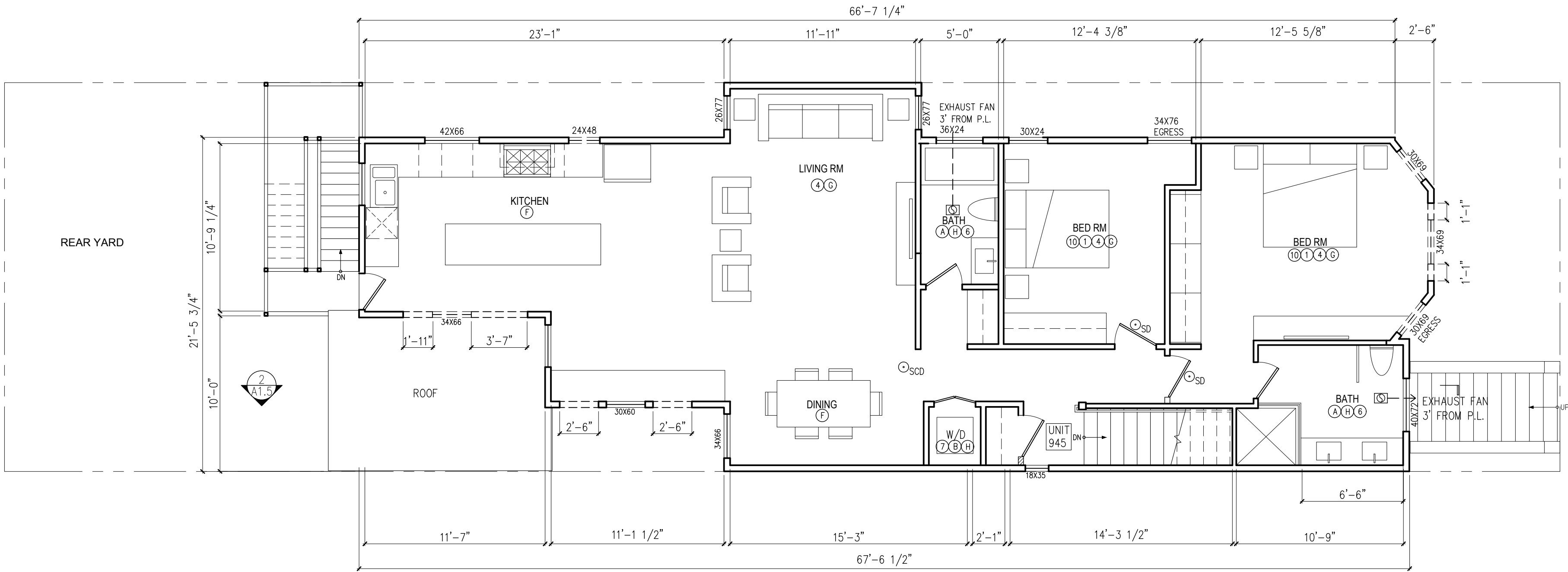
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BUILDING	04.09.2018	
BUILDING	02.25.2019	
PLANNING	09.03.2019	
PLANNING	04.15.2020	
PLANNING	05.26.2020	

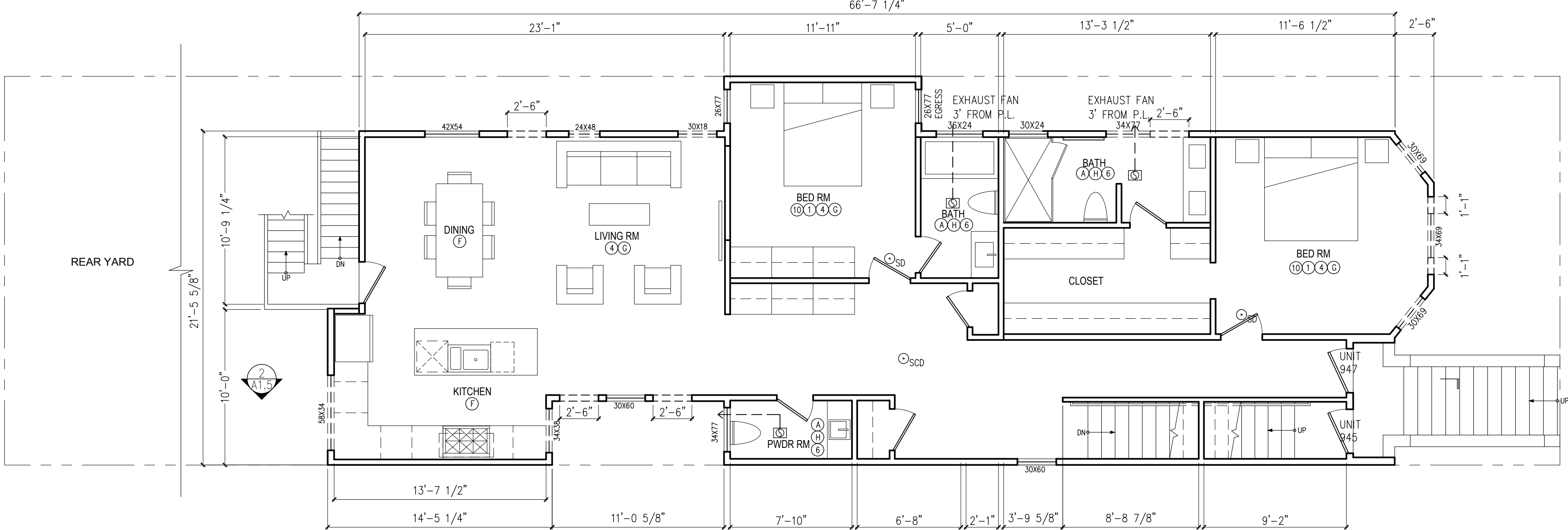


## SHEET DESCRIPTION EXISTING & PROPOSED SECTIONS

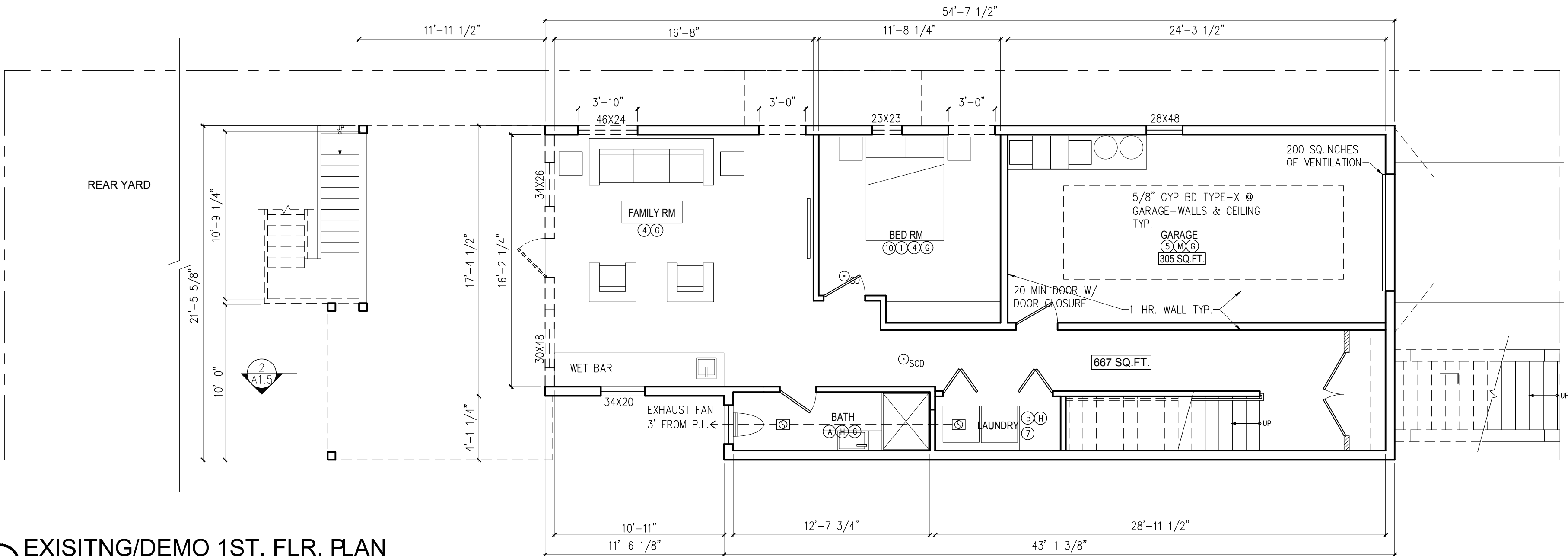
# A1.7



3 EXISTING/DEMO 3RD. FLR. PLAN  
SCALE : 3/16"=1'-0"



2 EXISTING/DEMO 2ND. FLR. PLAN  
SCALE : 3/16"=1'-0"



1 EXISTING/DEMO 1ST. FLR. PLAN  
SCALE : 3/16"=1'-0"

### SECTION 1005 DEMOLITION CALCULATIONS

#### ALL EXTERNAL WALLS FACING A PUBLIC STREET

1. PROPOSED DEMOLITION OF FRONT FACADE OR WALLS FACING THE PUBLIC STREET		
FLOOR LEVEL	EXTERNAL FRAMEWORK	FRAMEWORK TO BE DEMOLISHED
FIRST FLOOR	165 SQ.FT.	57.53 SQ.FT.
SECOND FLOOR	266.9 SQ.FT.	213.45 SQ.FT.
THIRD FLOOR	372.7 SQ. FT.	339.51 SQ.FT.
TOTAL	804.6 SQ. FT.	610.49 SQ.FT.
TOTAL FRONT WALL FRAMING TO BE REMOVED	610.49/807 SQ.FT. = 75.64% > 25% (MAX DEMOLITION ALLOWED)	

#### REMOVAL OF EXTERNAL WALLS WHICH FUNCTION AS EXTERNAL

2. PROPOSED DEMOLITION OF EXTERNAL WALLS		
FLOOR LEVEL	EXTERNAL FRAMEWORK	FRAMEWORK TO BE DEMOLISHED
FIRST FLOOR	152.16'	0'-0"
SECOND FLOOR	202.5'	0'-0"
THIRD FLOOR	186.41'	0'-0"
TOTAL DEMOLITION OF EXTERIOR WALL STRUCTURE	0'-0" / 541.08' = 0% < 50% (MAX DEMOLITION ALLOWED)	

#### REMOVAL OF EXTERNAL WALLS WHICH FUNCTION AS EXTERNAL OR INTERNAL

3. PROPOSED DEMOLITION OF EXTERNAL STRUCTURAL FRAMEWORK		
FLOOR LEVEL	EXTERNAL FRAMEWORK	FRAMEWORK TO BE DEMOLISHED
FIRST FLOOR	152.16'	29.68'
SECOND FLOOR	202.5'	38.77'
THIRD FLOOR	186.41'	34.16'
TOTAL DEMOLITION OF EXTERIOR WALL STRUCTURE	102.61' / 541.08' = 18.96% < 50% (MAX DEMOLITION ALLOWED)	

#### REMOVAL OF INTERIOR STRUCTURAL FRAMEWORK

4. PROPOSED DEMOLITION OF INTERNAL STRUCTURAL FRAMING		
PROPOSE DEMOLITION OF INTERNAL FLOOR PLATES		
FIRST FLOOR	(SLAB ON GRADE)	-
SECOND FLOOR	1397.31 SQ. FT.	0 SQ.FT.
THIRD FLOOR	1269.8 SQ. FT.	126.59 SQ. FT.
ROOF FRAMING	1398.7 SQ. FT.	0 SQ.FT.
TOTALS	4065.81 SQ. FT.	126.59 SQ. FT.
126.59 / 4065.81 = 3% < 75% (MAX DEMOLITION ALLOWED)		

### 311 DEMOLITION CALCULATIONS

#### B. REMOVAL OF INTERIOR WALLS

1.	NO INTERIOR WALL STRUCTURE DEMOLITION INVOLVED IN PROJECT SCOPE
2.	NO INTERIOR FRAMEWORK DEMOLITION INVOLVED IN PROJECT SCOPE

## SHATARA ARCHITECTURE INC.

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CA 94107

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STREET  
SAN FRANCISCO, CA

BLOCK: 4107  
LOT: 018

#### PROJECT DIRECTORY OWNER

ARCHITECT  
SHATARA ARCHITECTURE INC.  
890 7TH STREET  
SAN FRANCISCO, CA 94107  
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CONTACT: SUHEL SHATARA

#### DBI STAMP

ISSUED DATE NO.

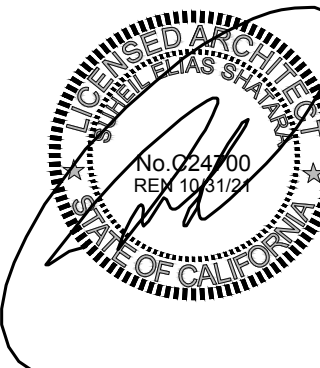
BUILDING 04.09.2018

BUILDING 02.25.2019

PLANNING 09.03.2019

PLANNING 04.15.2020

PLANNING 05.26.2020

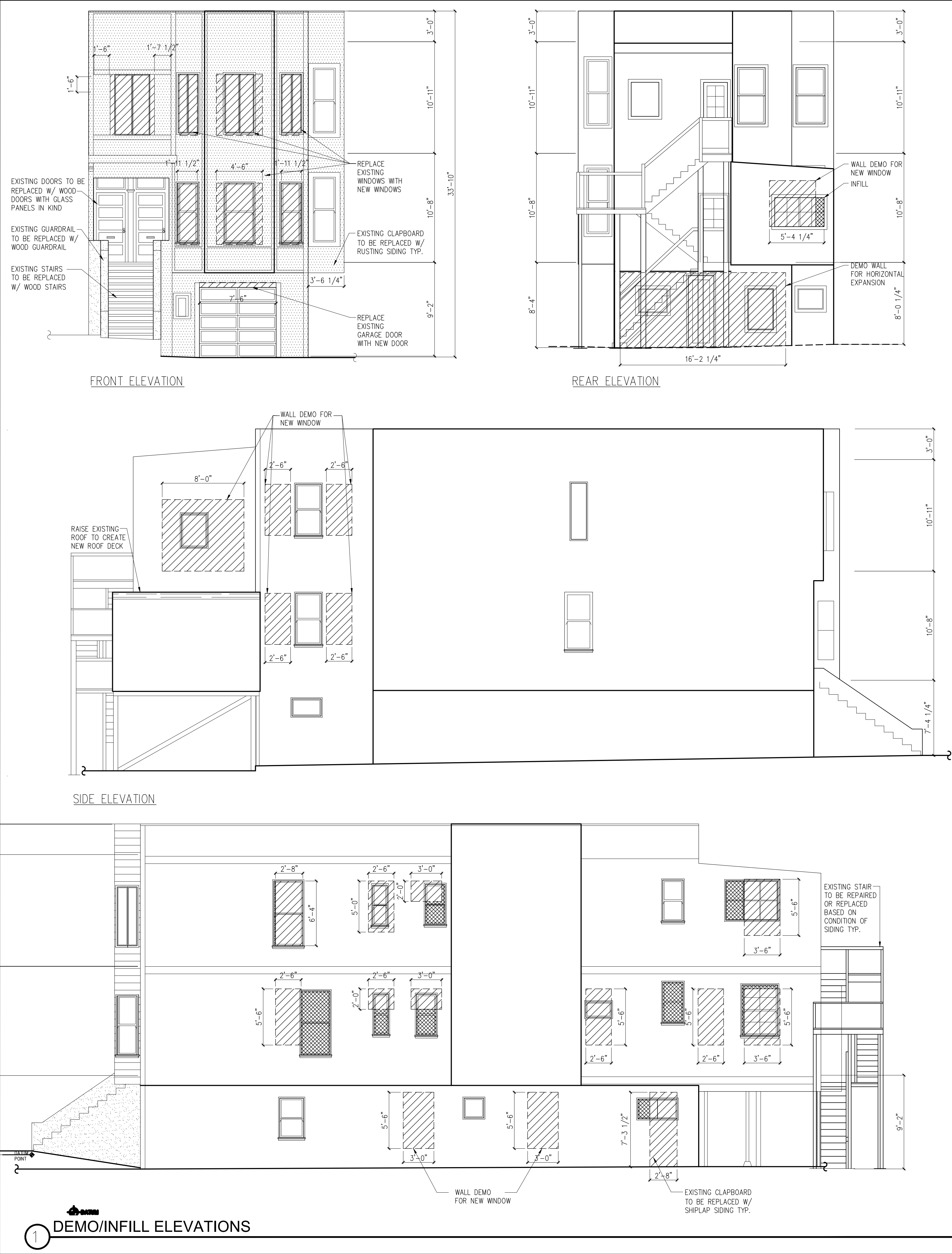


SHEET DESCRIPTION

## DEMO CALCULATIONS

# A2.0.1





SECTION 1005 DEMOLITION CALCULATIONS  
ALL EXTERNAL WALLS FACING A PUBLIC STREET

1. PROPOSED DEMOLITION OF FRONT FACADE OR WALLS FACING THE PUBLIC STREET		
FLOOR LEVEL	EXTERNAL FRAMEWORK	FRAMEWORK TO BE DEMOLISHED
FIRST FLOOR	165 SQ.FT.	57.53 SQ.FT.
SECOND FLOOR	266.9 SQ.FT.	213.45 SQ.FT.
THIRD FLOOR	372.7 SQ. FT.	339.51 SQ.FT.
TOTAL	804.6 SQ. FT.	610.49 SQ.FT.
TOTAL FRONT WALL FRAMING TO BE REMOVED	610.49/807 SQ.FT. = 75.64% > 25% (MAX DEMOLITIONALLOWED)	

REMOVAL OF EXTERNAL WALLS WHICH  
FUNCTION AS EXTERNAL

2. PROPOSED DEMOLITION OF EXTERNAL WALLS		
FLOOR LEVEL	EXTERNAL FRAMEWORK	FRAMEWORK TO BE DEMOLISHED
FIRST FLOOR	152.16'	0' - 0"
SECOND FLOOR	202.5'	0' - 0"
THIRD FLOOR	186.41'	0' - 0"
TOTAL DEMOLITION OF EXTERIOR WALL STRUCTURE	0'-0" / 541.08' = 0% < 50% (MAX DEMOLITIONALLOWED)	

REMOVAL OF EXTERNAL WALLS WHICH  
FUNCTION AS EXTERNAL OR INTERNAL

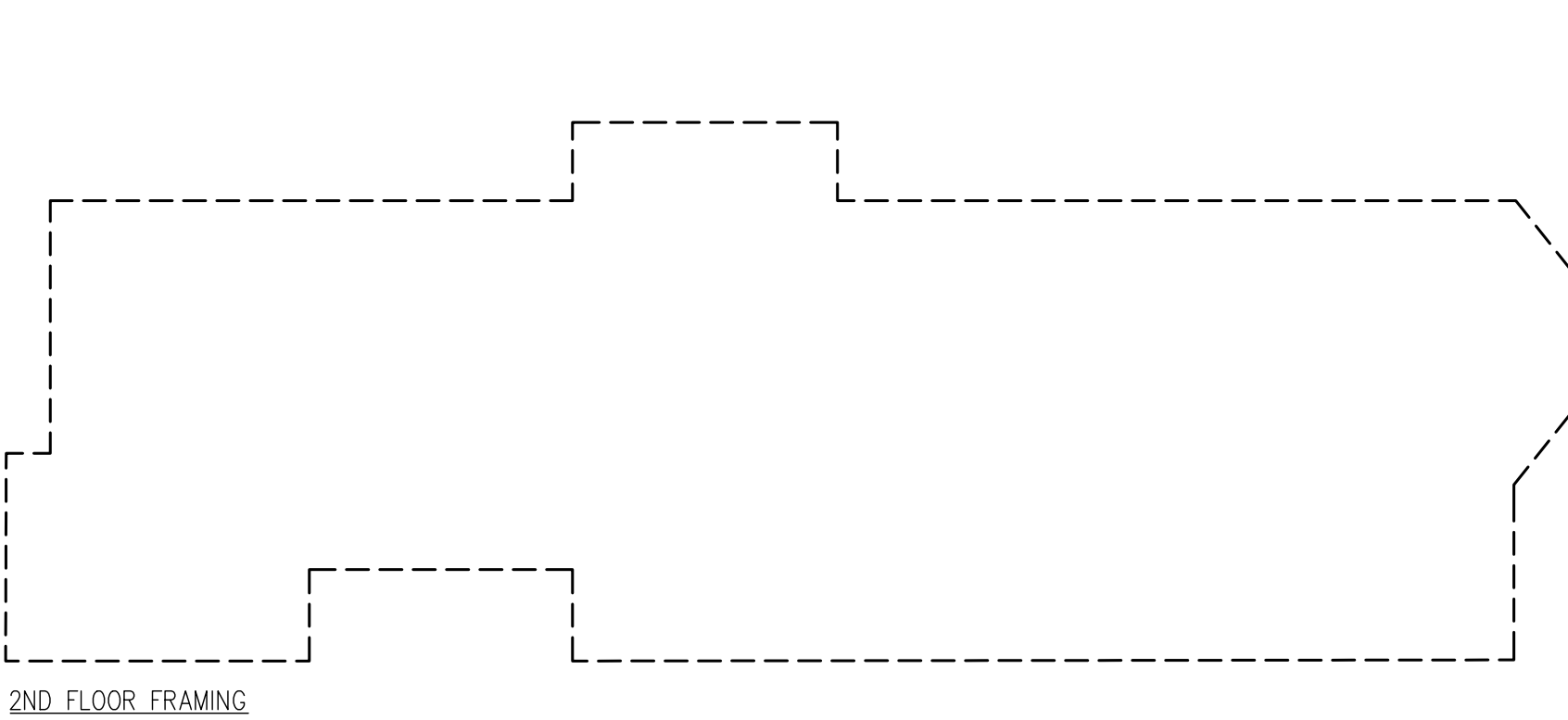
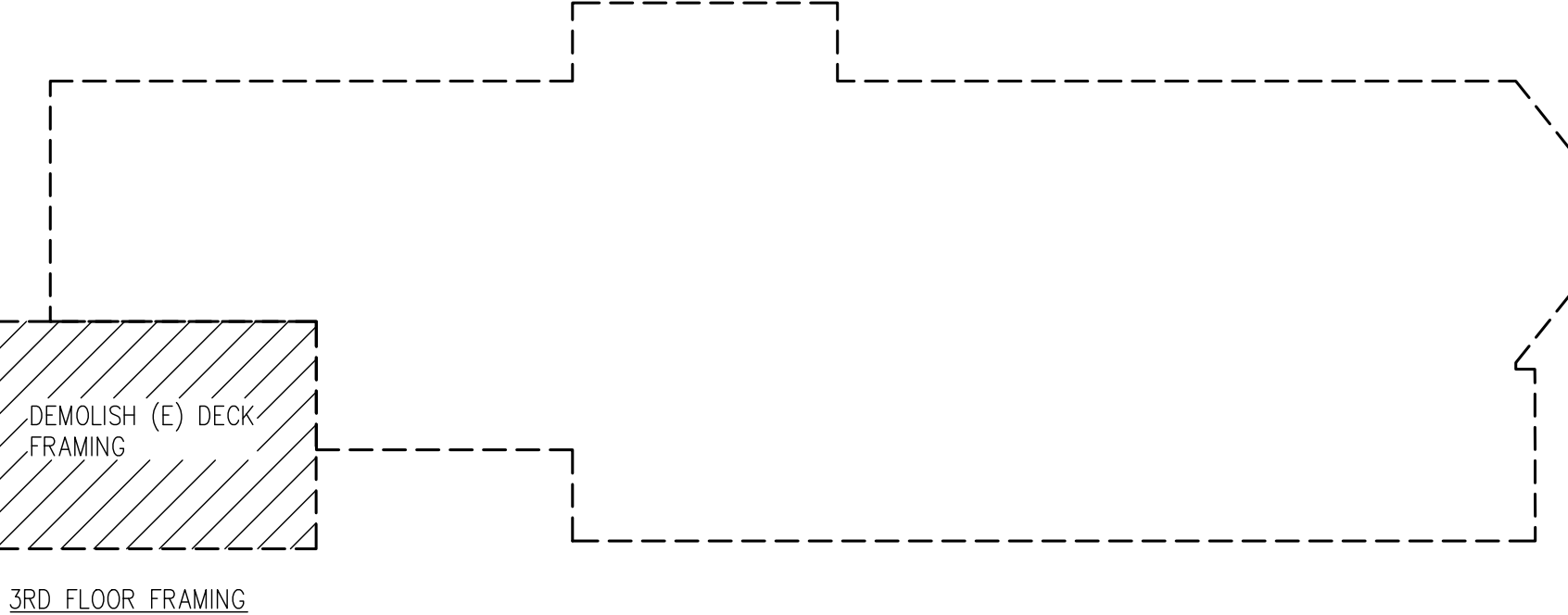
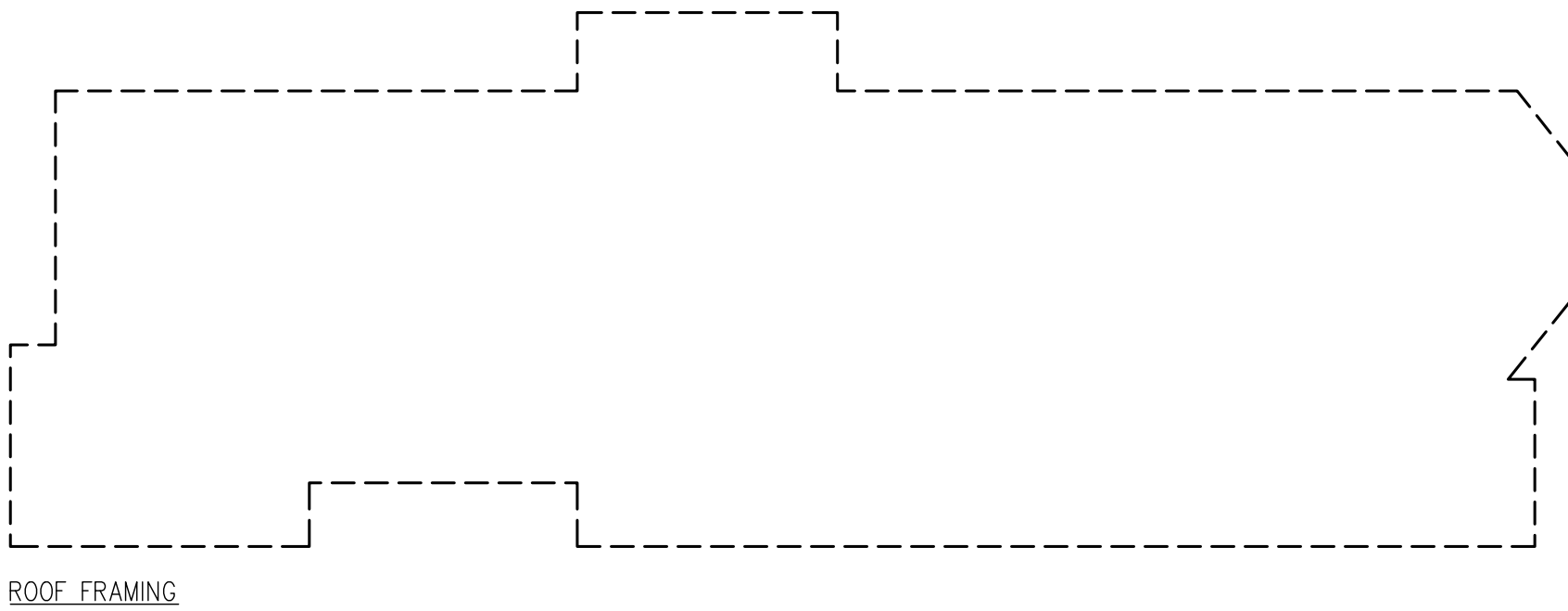
3. PROPOSED DEMOLITION OF EXTERNAL STRUCTURAL FRAMEWORK		
FLOOR LEVEL	EXTERNAL FRAMEWORK	FRAMEWORK TO BE DEMOLISHED
FIRST FLOOR	152.16'	29.68'
SECOND FLOOR	202.5'	38.77'
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TOTAL DEMOLITION OF EXTERIOR WALL STRUCTURE	102.61' / 541.08' = 18.96% < 50% (MAX DEMOLITIONALLOWED)	

REMOVAL OF INTERIOR STRUCTURAL  
FRAMEWORK

4. PROPOSED DEMOLITION OF INTERNAL STRUCTURAL FRAMING		
PROPOSE DEMOLITION OF INTERNAL FLOOR PLATES		
FIRST FLOOR	(SLAB ON GRADE)	-
SECOND FLOOR	1397.31 SQ. FT.	0 SQ.FT.
THIRD FLOOR	1269.8 SQ. FT.	126.59 SQ. FT.
ROOF FRAMING	1398.7 SQ. FT.	0 SQ.FT.
TOTALS	4065.81 SQ. FT.	126.59 SQ. FT.
126.59 / 4065.81 = 3% < 75% (MAX DEMOLITIONALLOWED)		

311 DEMOLITION CALCULATIONS  
B. REMOVAL OF INTERIOR WALLS

1.	NO INTERIOR WALL STRUCTURE DEMOLITION INVOLVED IN PROJECT SCOPE
2.	NO INTERIOR FRAMEWORK DEMOLITION INVOLVED IN PROJECT SCOPE



EXISTING/DEMO FRAMING

SHATARA  
ARCHITECTURE  
INC.

890 7TH ST.  
SAN FRANCISCO  
CA 94107

TEL (415) 512-7566  
suhel@shataraarch.com

DRAWINGS AND SPECIFICATIONS, AS  
INSTRUMENTS OF PROFESSIONAL SERVICE,  
ARE AND SHALL REMAIN THE PROPERTY OF  
THE ARCHITECT.

THESE DOCUMENTS ARE NOT TO BE USED, IN  
WHOLE OR IN PART, FOR ANY PROJECTS OR  
PURPOSES WHATSOEVER, WITHOUT THE  
PRIOR SPECIFIC WRITTEN AUTHORIZATION OF  
SHATARA ARCHITECTURE INC.

PROJECT  
**RESIDENTIAL  
RENOVATION**

ADDRESS  
**945 - 947 MINNESOTA  
STREET  
SAN FRANCISCO, CA**

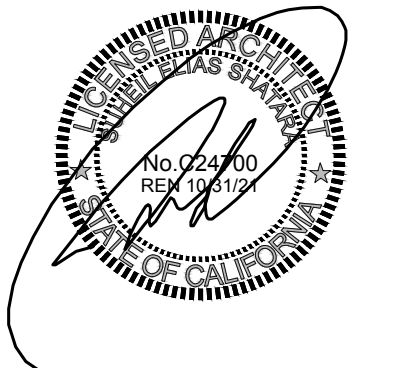
**BLOCK: 4107  
LOT: 018**

**PROJECT DIRECTORY  
OWNER**

**ARCHITECT**  
SHATARA ARCHITECTURE INC.  
890 7TH STREET  
SAN FRANCISCO, CA 94107  
TEL: 415-512-7566  
CONTACT: SUHEL SHATARA

**DBI STAMP**

ISSUED	DATE	NO.
BUILDING	04.09.2018	
BUILDING	02.25.2019	
PLANNING	09.03.2019	
PLANNING	04.15.2020	
PLANNING	05.26.2020	



SHEET DESCRIPTION  
**DEMO  
CALCULATIONS**

**A2.0.2**



890 7TH ST.  
SAN FRANCISCO  
CA 94107

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.

THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY PROJECTS OR PURPOSES WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF CHATARA ARCHITECTURE INC

ADDRESS  
945 - 947 MINNESOTA  
STREET  
SAN FRANCISCO, CA

890 7TH STREET  
SAN FRANCISCO, CA 94107  
TEL: 415-512-7566  
CONTACT: SUHEIL SHATAR

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**T-1**

CA Building Energy Efficiency Standards - 2013 Residential Compliance



# SAN FRANCISCO PLANNING DEPARTMENT

## CEQA Categorical Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

<b>Project Address</b>		<b>Block/Lot(s)</b>
945-947 MINNESOTA ST.		4107018
<b>Case No.</b>		<b>Permit No.</b>
2019-005728PRJ		201910033468
<input checked="" type="checkbox"/> <b>Addition/ Alteration</b>	<input type="checkbox"/> <b>Demolition (requires HRE for Category B Building)</b>	<input type="checkbox"/> <b>New Construction</b>
<b>Project description for Planning Department approval.</b> Certificate of Appropriateness to replace damaged façade stairs, entry doors, and all windows. Modification of windows at front bay includes widening center bay windows. Proposed side and rear windows will be aluminum clad wood windows. Replace all clapboard siding to rustic siding to partially match existing siding. Infill below existing conforming habitable space, create new rear deck at rear 3rd floor roof decks at 3rd floor and roof deck.		

### STEP 1: EXEMPTION CLASS

<b>The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).</b>	
<input checked="" type="checkbox"/>	<b>Class 1 - Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	<b>Class 3 - New Construction.</b> Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<b>Class 32 - In-Fill Development.</b> New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. <b>FOR ENVIRONMENTAL PLANNING USE ONLY</b>
<input type="checkbox"/>	<b>Class ____</b>



## STEP 2: CEQA IMPACTS

### TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)
<input type="checkbox"/>	<b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? <b>Note that a categorical exemption shall not be issued for a project located on the Cortese List if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap &gt; Maher layer).</b>
<input type="checkbox"/>	<b>Transportation:</b> Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	<b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	<b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography). If yes, Environmental Planning must issue the exemption.
<input type="checkbox"/>	<b>Slope = or &gt; 25%:</b> Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) <b>If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</b>
<input type="checkbox"/>	<b>Seismic: Landslide Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</b>
<input type="checkbox"/>	<b>Seismic: Liquefaction Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.</b>
<b>Comments and Planner Signature (optional):</b> Monica Giacomucci	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE**  
**TO BE COMPLETED BY PROJECT PLANNER**

<b>PROPERTY IS ONE OF THE FOLLOWING:</b> (refer to Property Information Map)	
<input checked="" type="checkbox"/>	<b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	<b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>
<input type="checkbox"/>	<b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b>

**STEP 4: PROPOSED WORK CHECKLIST**  
**TO BE COMPLETED BY PROJECT PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. <b>Change of use and new construction.</b> Tenant improvements not included.
<input type="checkbox"/>	2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input checked="" type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW**  
**TO BE COMPLETED BY PROJECT PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. <b>Interior alterations to publicly accessible spaces.</b>
<input checked="" type="checkbox"/>	3. <b>Window replacement</b> of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input checked="" type="checkbox"/>	4. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
<input checked="" type="checkbox"/>	6. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. <b>Addition(s)</b> , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input checked="" type="checkbox"/>	8. <b>Other work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):  Rear roof decks and reconstruction of rear stair
<input type="checkbox"/>	9. <b>Other work</b> that would not materially impair a historic district (specify or add comments):  (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. <b>Reclassification of property status.</b> (Requires approval by Senior Preservation Planner/Preservation <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category A  a. Per HRER or PTR dated  b. Other (specify): Certificate of Appropriateness required </div> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category C  (attach HRER or PTR) </div> </div>
<b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.</b>	
<input checked="" type="checkbox"/>	<b>Project can proceed with categorical exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. <b>GO TO STEP 6.</b>
<b>Comments (optional):</b>	
<b>Preservation Planner Signature:</b> Monica Giacomucci	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION**  
**TO BE COMPLETED BY PROJECT PLANNER**

<input checked="" type="checkbox"/>	<b>No further environmental review is required. The project is categorically exempt under CEQA.</b> <b>There are no unusual circumstances that would result in a reasonable possibility of a significant effect.</b>	
	<b>Project Approval Action:</b> Planning Commission Hearing	<b>Signature:</b> Monica Giacomucci 06/23/2020
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	

## STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

### TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

### MODIFIED PROJECT DESCRIPTION

Modified Project Description:

### DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

- |                          |  |
|--------------------------|--|
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code;   |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312;  |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)?   |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |

**If at least one of the above boxes is checked, further environmental review is required.**

### DETERMINATION OF NO SUBSTANTIAL MODIFICATION

- |                          |   |
|--------------------------|---|
| <input type="checkbox"/> | The proposed modification would not result in any of the above changes. |
|--------------------------|---|

If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.

**Planner Name:**

**Date:**



# SAN FRANCISCO PLANNING DEPARTMENT

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## Certificate of Appropriateness ADMINISTRATIVE

*Date:* 10/17/2019  
*Record No.:* 2019-005728COA-02  
*Building Permit No.:* 201910033463  
*Project Address:* 945-947 MINNESOTA ST.  
*Landmark District:* Dogpatch  
*Zoning:* RH-3 (RESIDENTIAL- HOUSE, THREE FAMILY)  
40-X Height and Bulk District  
*Block/Lot:* 4107/018  
*Project Sponsor:* Suheil Shatara  
890 7<sup>th</sup> Street  
San Francisco, CA 94107  
(415) 512-7566  
*Staff Contact* Monica Giacomucci – (415) 575-8714  
Monica.Giacomucci@sfgov.org

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

This is to notify you that pursuant to the process and procedures adopted by the Historic Preservation Commission ("HPC") in Motion No. 0376 and authorized by Section 1006.2 of the Planning Code, the scope of work identified in this Administrative Certificate of Appropriateness for **945-947 MINNESOTA ST.** has been delegated to the Department. The Department grants **APPROVAL** in conformance with supporting documentation in the docket for Record No. **2019-005728COA-02.**

### ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is categorically exempt from the California Environmental Quality Act ("CEQA") as a Class 1 (State CEQA Guidelines 15301 – Minor alteration of existing facilities with negligible or no expansion of use) Categorical Exemption because the project is an alteration of an existing structure and meets the *Secretary of the Interior's Standards for the Treatment of Historic Properties*.

### PROJECT DESCRIPTION

The proposed scope of work is to conduct exploratory removal of select areas of non-original narrow wood and asbestos cement shingle siding to determine the subject property's original cladding material, window openings, and decorative trims. Specifically, four areas each measuring approximately 1'-6" x 1'-6" (9 square feet in aggregate) will be removed: two from the spandrel area of the first-floor window bay, one from the spandrel area of the second-floor window bay, and one from the header area of the second-floor window above the entry. This work is intended to provide physical evidence to support the façade restoration proposed as part of the scope of work of a Certificate of Appropriateness (Record No. 2019-005728COA) requiring action at a hearing by the Historic Preservation Commission.

The proposed work conforms to the scopes of work delegated to Department Staff for Administrative



Certificate of Appropriateness review in HPC Motion No. 0376. Specifically, the proposed work conforms to Scope No. 1, pertaining to exploratory and investigative work limited to no more than 5% of the total surface area on a façade to assess for underlying historic materials. All work described above is consistent with the architectural character of the building and/or district and the *Secretary of the Interior's Standards*.

## FINDINGS

The project complies with the following requirements:

1. **The proposed work shall be appropriate for and consistent with the effectuation of the purposes of Article 10.**

*The project is consistent with Article 10 of the Planning Code.*

2. **Compliance with the Secretary of the Interior's Standards for Rehabilitation.**

**Standard 1.** A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

*The proposed project will retain the existing subject property's residential use.*

**Standard 2.** The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

*The proposed project will retain and preserve the historic character of the building and the landmark district. No distinctive materials, architectural elements, or spaces that characterize the resource would be removed. Removal of the non-historic asbestos-cement tile siding will expose any existing original cladding and decorative details, guiding material selection and overall design in a future façade restoration.*

**Standard 3.** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

*Not Applicable.*

**Standard 4.** Changes to a property that have acquired historic significance in their own right will be retained and preserved.

*The asbestos cement shingle siding and narrow wood siding are not original to the building and appear to have been added after a fire at the property. They have not gained significance in their own right.*

**Standard 5.** Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

*Not Applicable.*

**Standard 6.** Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

*Not Applicable.*

**Standard 7.** Chemical or physical treatments, if possible, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

*Not Applicable.*

**Standard 8.** Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

*Not Applicable.*

**Standard 9.** New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

*Not Applicable.*

**Standard 10.** New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*Not Applicable.*

3. **Conformance with the architectural character of the landmark property, as set forth in the Dogpatch Landmark District designation.**

*The project is in conformance with Section 1006.6 and Appendix L of Article 10 of the Planning Code.*

4. **General Plan Compliance.** The proposed Administrative Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

### **URBAN DESIGN ELEMENT**

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

#### **OBJECTIVE 1**

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

**Policy 1.3**

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

**OBJECTIVE 2**

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

**Policy 2.4**

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

**Policy 2.5**

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

**Policy 2.7**

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

*The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.*

*The proposed project qualifies for an Administrative Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject building for the future enjoyment and education of San Francisco residents and visitors.*

5. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- a. The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

*The proposed project will have no effect on the neighborhood-serving retail uses because the building is residential in nature.*

- b. The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

*The proposed project will strengthen neighborhood character by respecting the character-defining features of the subject building in conformance with the requirements set forth in HPC Motion No. 0376 and the Secretary of the Interior's Standards.*

- c. The City's supply of affordable housing will be preserved and enhanced:

*The proposed project will have no effect on the City's supply of affordable housing.*

- d. The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.*

- e. A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

*The proposed project will not affect the City's diverse economic base and will not displace any business sectors due to commercial office development.*

- f. The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*Preparedness against injury and loss of life in an earthquake is unaffected by the proposed project. Any construction or alteration associated would be executed in compliance with all applicable construction and safety measures.*

- g. That landmark and historic buildings will be preserved.

*The proposed project respects the character-defining features of the subject building and is in conformance with the requirements set forth in HPC Motion No. 0376 and the Secretary of the Interior's Standards.*

- h. Parks and open space and their access to sunlight and vistas will be protected from development:

*The proposed Administrative Certificate of Appropriateness will not impact the City's parks and open space.*

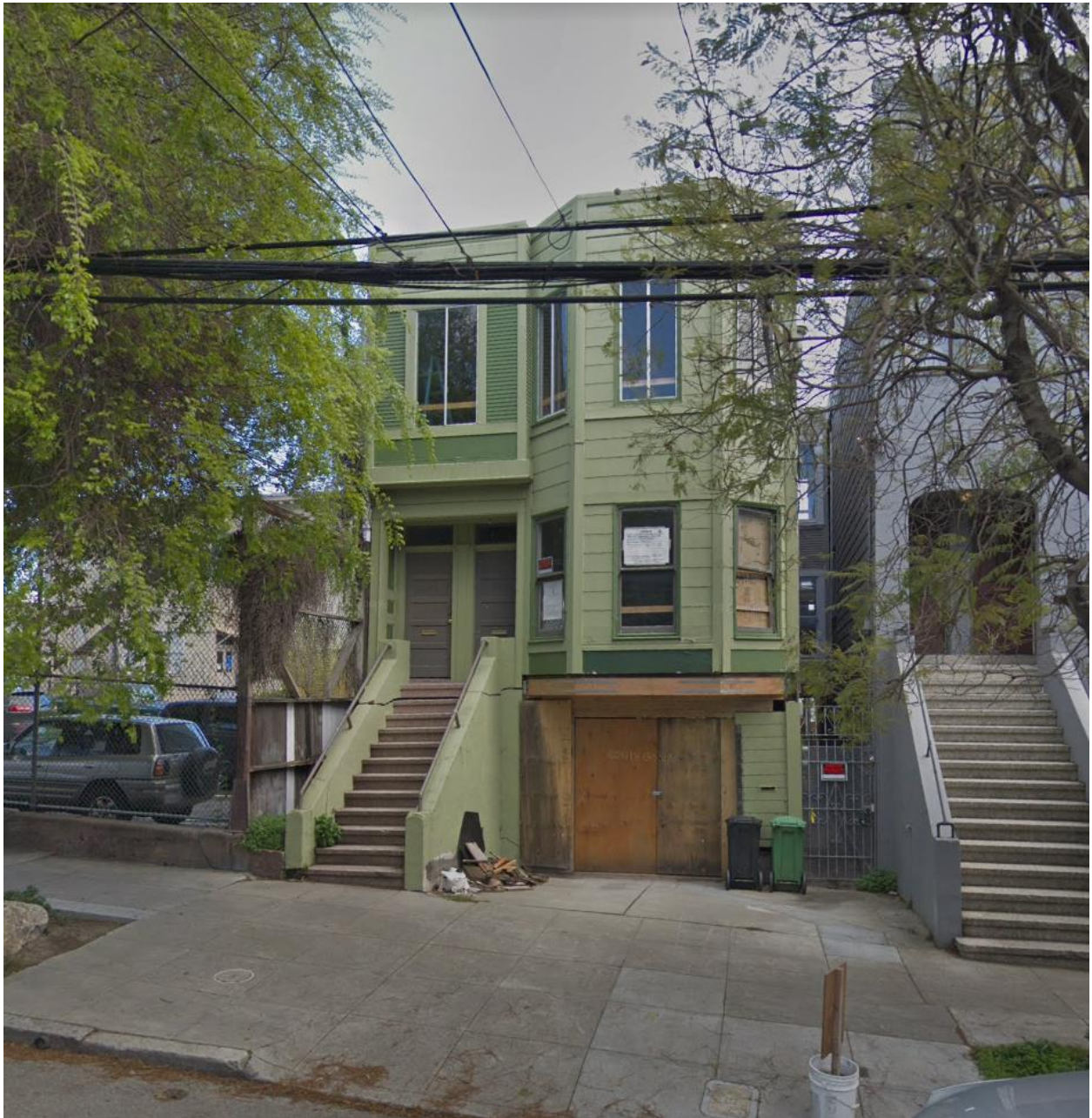
For these reasons, the above-cited work is consistent with the intent and requirements outlined in HPC Motion No. 0376 and will not be detrimental to the subject building.

**Duration of this Administrative Certificate of Appropriateness:** This Administrative Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Planning Department, as delegated by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

**REQUEST FOR HEARING:** If you have substantial reason to believe that there was an error in the issuance of this Administrative Certificate of Appropriateness, or abuse of discretion on the part of the Planning Department, you may file for a Request for Hearing with the Historic Preservation Commission within 20 days of the date of this letter. Should you have any questions about the contents of this letter, please contact the Planning Department at 1650 Mission Street, 4<sup>th</sup> Floor or call 415-575-9121.

cc: Historic Preservation Commission, 1650 Mission Street, Suite 400, San Francisco, CA 94103  
San Francisco Architectural Heritage, 2007 Franklin Street, San Francisco, CA 94109  
Nancy Shanahan, Planning & Zoning Committee, Telegraph Hill Dwellers, 224 Filbert Street, San Francisco, CA 94133  
Finance Division, San Francisco Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103

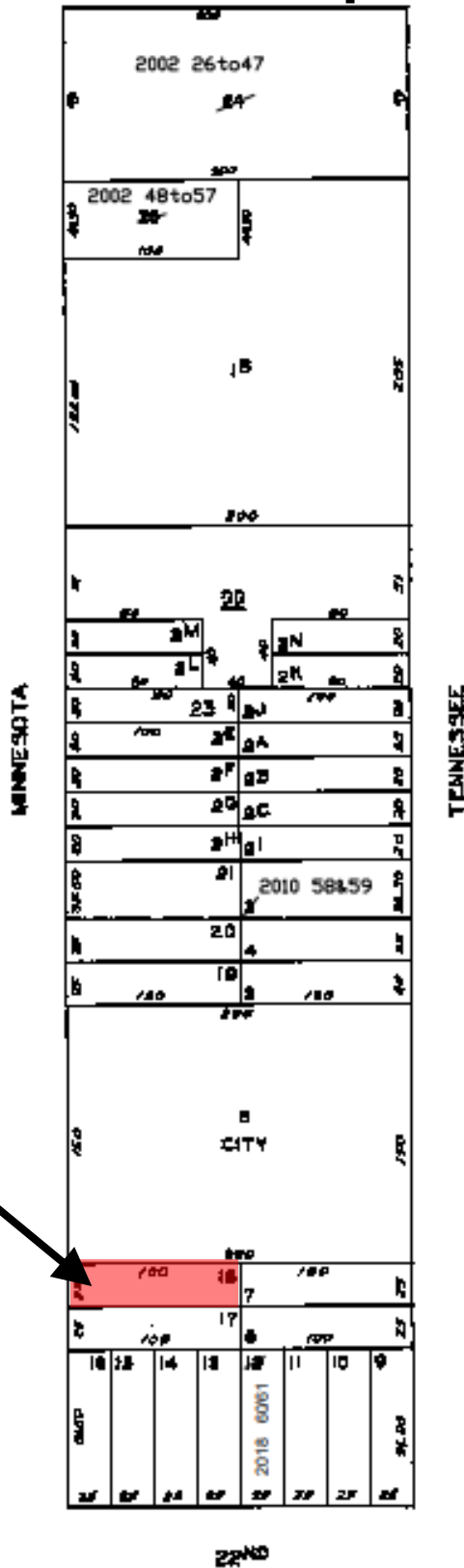
## Site Photo



945 Minn o S

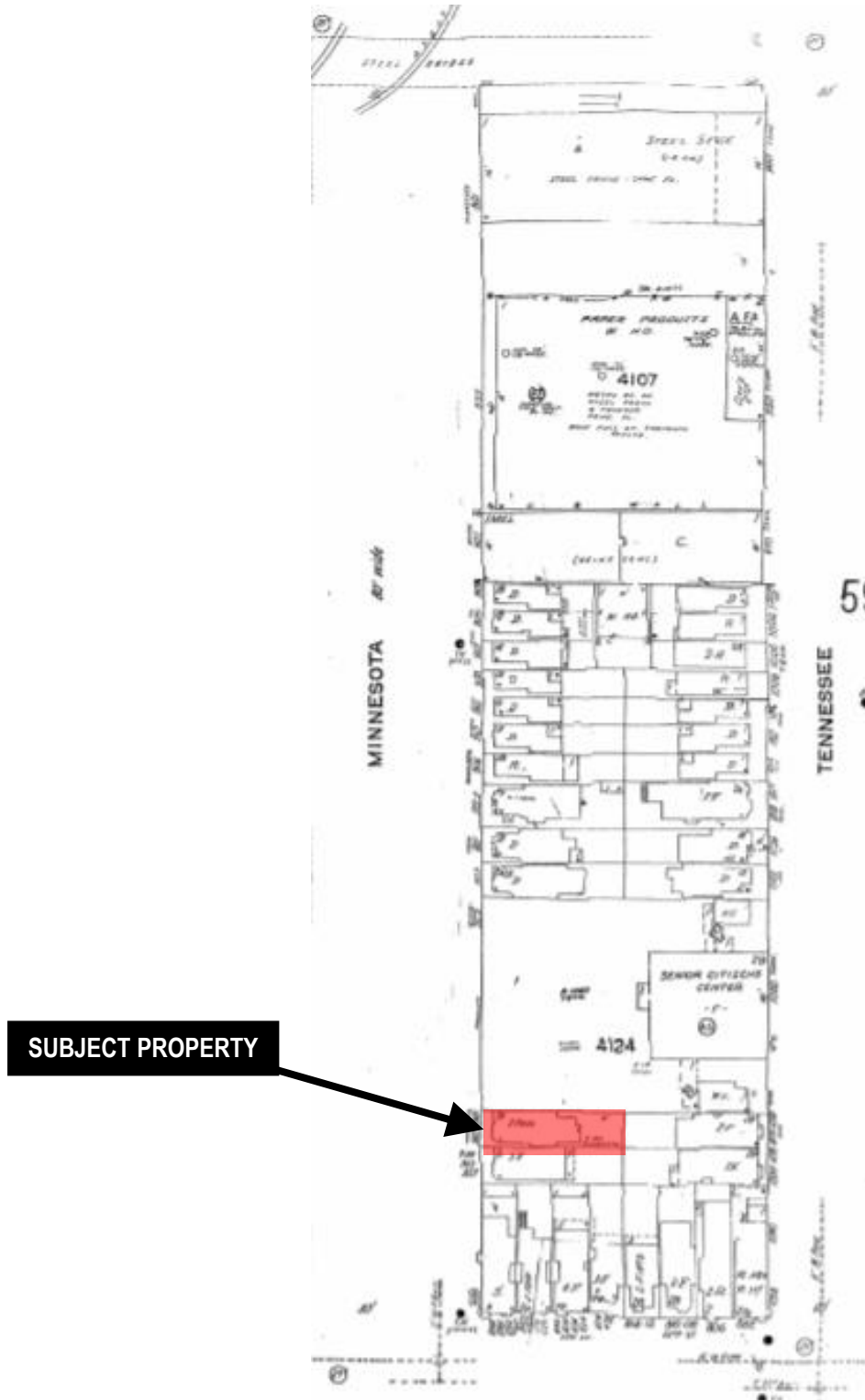
# Parcel Map

SUBJECT PROPERTY



Certificate of Appropriateness  
Case Number 2019-005728COA  
945-947 Minnesota Street  
Block 4107 Lot 018

# Sanborn Map\*



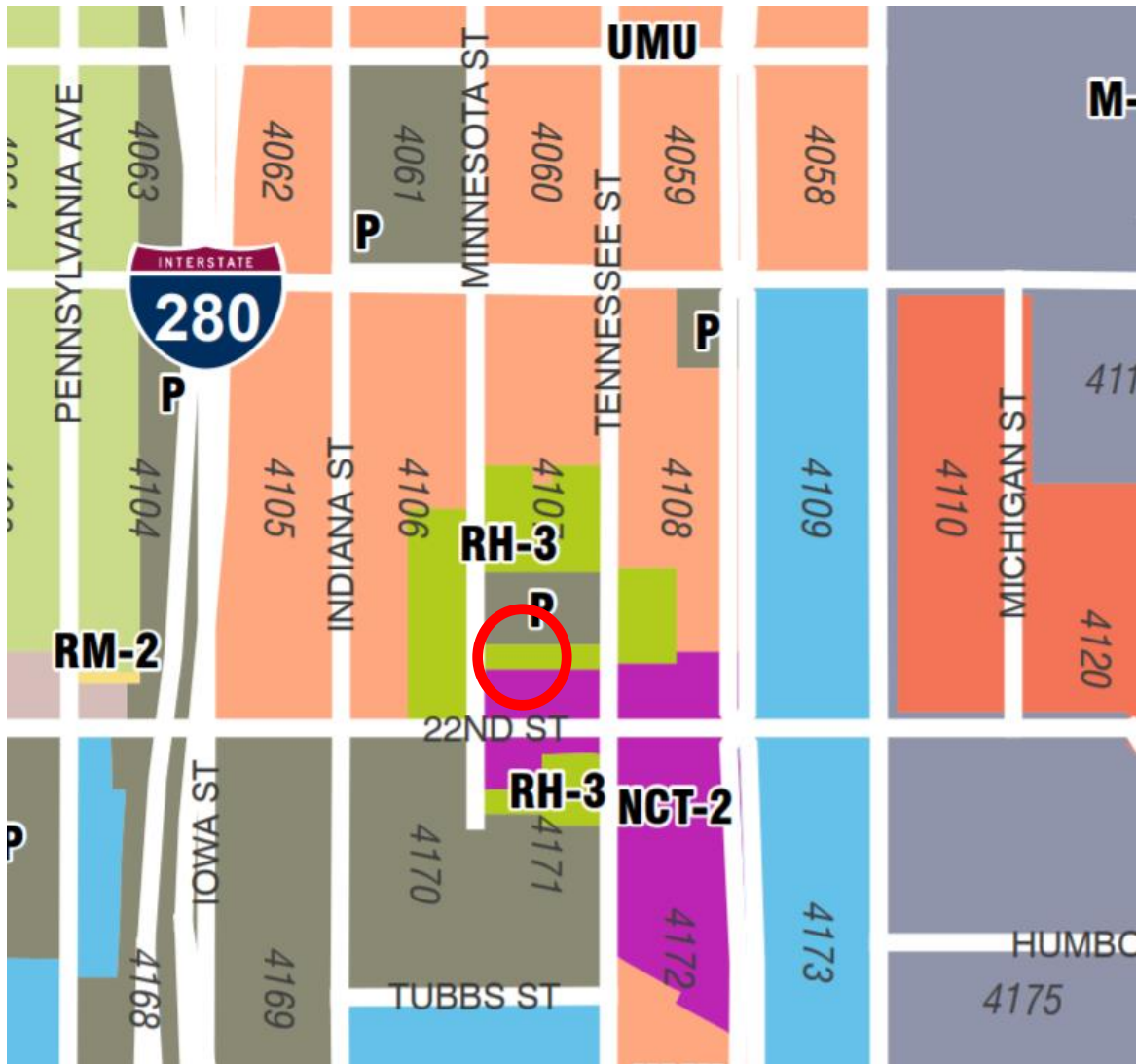
\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



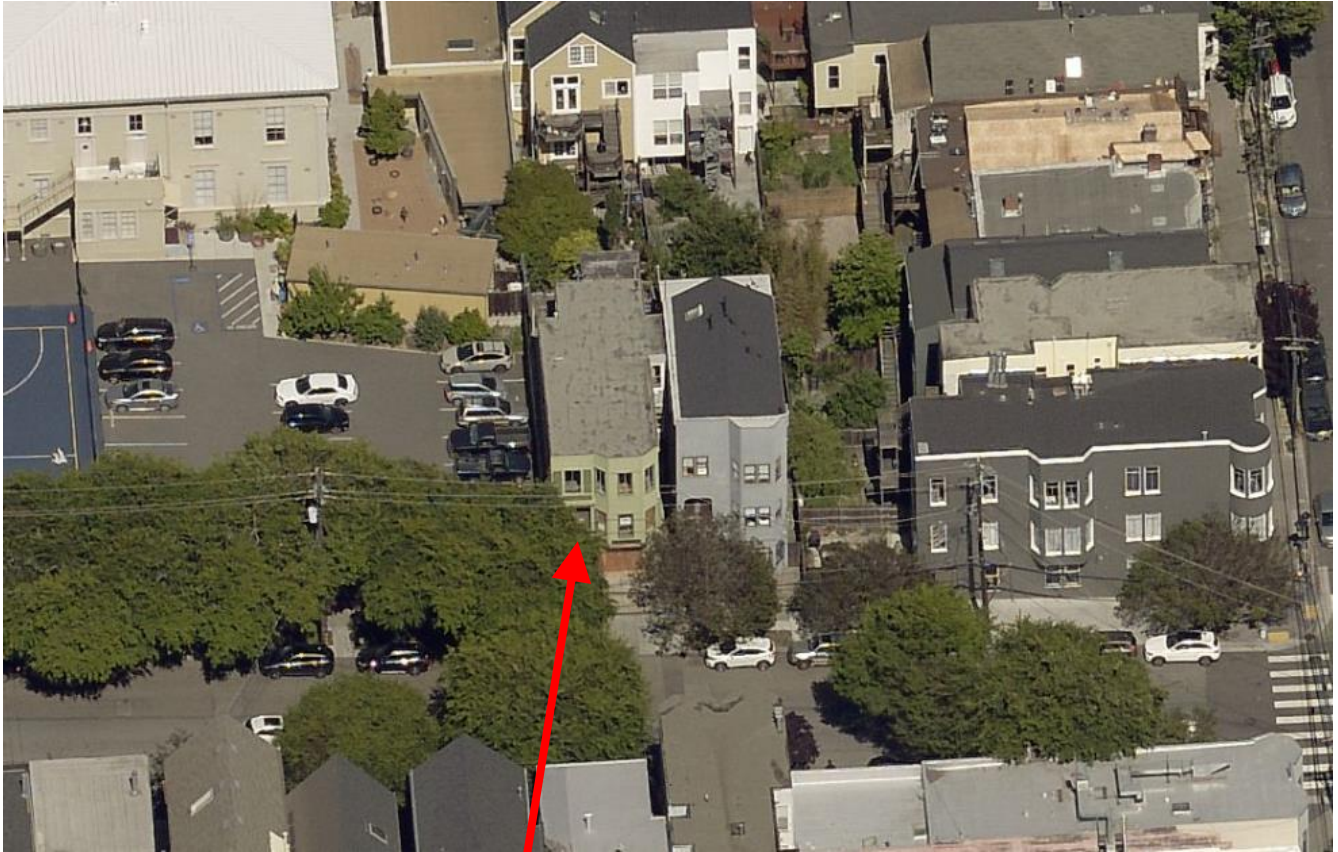
Certificate of Appropriateness  
Case Number 2019-005728COA  
945-947 Minnesota Street  
Block 4107 Lot 018



# Zoning Map



# Aerial Photo



**SUBJECT PROPERTY**



Certificate of Appropriateness  
Case Number 2019-005728COA  
945-947 Minnesota Street  
Block 4107 Lot 018



# Site Photo



**SUBJECT PROPERTY  
PRIOR TO WORK**

