



# SAN FRANCISCO PLANNING DEPARTMENT

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## Certificate of Appropriateness Executive Summary

HEARING DATE: DECEMBER 18, 2019

*Record No.:* 2019-004933COA  
*Project Address:* 73-75 FAIR OAKS ST  
*Landmark:* Contributor, Liberty Hill Landmark District  
*Zoning:* RH-3 RESIDENTIAL- HOUSE, THREE FAMILY Zoning District  
40-X Height and Bulk District  
*Block/Lot:* 3618/055  
*Project Sponsor:* William Pashelinsky  
1937 Hayes Street  
San Francisco, CA 94117  
*Staff Contact:* Stephanie Cisneros - 415-575-9186  
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### PROPERTY DESCRIPTION

73-75 FAIR OAKS ST is located on the east side of Fair Oaks Street between 22<sup>nd</sup> and 21<sup>st</sup> Streets (Assessor's Block 3618; Lot 055). The subject building is a contributor to the Liberty Hill Landmark District, locally designated under Article 10, Appendix F of the Planning Code.

The Queen Anne-style, 3-story-over-basement, two-family residence was built ca. 1906 by an unknown architect. The wood-framed building has a front gabled roof with decorative applied features and an off-centered recessed entry with porch and classic columns.

### PROJECT DESCRIPTION

The proposed project involves the following:

#### *East (Rear) Elevation:*

- Remove two existing sliding doors at the third and second floors and shift and replace with new metal glazed doors. New doors to be 64 square feet each.
- Replace four existing double-hung, single-glazed wood windows with new double-hung, double-glazed wood windows in same openings.
- Remove one existing fixed window at the first floor and infill with horizontal wood siding to match existing.
- Remove one existing door and sliding window at the first floor and replace with new wood sliding door to be 48 square feet. New horizontal wood siding to match existing will be used to patch where needed.
- Remove two existing decks at second and third floors and replace with new, smaller decks and associated stairs. The decks will include 42-inch-high cable railings. A new 15-foot-high fire wall is proposed for the south side of the decks.

*North Elevation:*

- Replace two existing double-hung, single-glazed wood windows with new double-hung, double-glazed wood windows in same openings.
- Replace one existing single-glazed, fixed wood window with a new double-glazed, fixed wood window in same opening.
- Infill two existing double hung wood windows with horizontal wood siding to match the existing.
- Remove one wood double hung window and install three new double hung wood windows with trim to match the existing. The proposed three new windows would be dimensioned at 14.6 square feet each, for a total of 43.8 square feet.
- Remove one existing slider window and install new wood fixed window.
- Install one new fixed window with trim to match the existing.
- Remove one existing door and slider window and install one new wood sliding door (54 square feet) and patch wood siding to match existing.

*South Elevation*

- Replace four existing single-glazed, double-hung wood windows with new double-glazed, double-hung wood windows in same openings.
- Replace two existing skylights with new skylights in same openings.

*West (Front) Elevation*

- Replace nine existing single-glazed, double-hung wood windows with new, double-glazed, wood double hung windows in same openings.
- Replace a single glazed wood fixed window in-kind with a new wood, double-glazed fixed window in same opening.
- Replace existing wood, bullnose tread entry stairs in-kind with new, wood, bullnose tread stairs. No proposed changes to existing balustrade and railing.

## COMPLIANCE WITH PLANNING CODE

### Planning Code Development Standards.

The proposed project also requires a Variance. All required applications are on file with the Planning Department.

Building Permits 201902193243 and 201904047122 are filed with the Department of Building Inspection.

### Applicable Preservation Standards.

The proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 1006.6 of the Planning Code, and complies with the *Secretary of the Interior's Standards for Rehabilitation, in that:*

- the proposal will address deteriorated features and water infiltration;
- the proposal respects the character-defining features of the subject building;
- the architectural character of the subject building will be maintained, and replacement elements

- will be done in-kind and will not affect the building's overall appearance;
- the integrity of distinctive stylistic features and examples of skilled craftsmanship that characterize the building shall be preserved; and,
  - all new materials shall match the historic material in composition, design, color, texture, finish and other visual qualities and shall be based on accurate duplication of features.

The Department has determined that the proposed work will be in conformance with the requirements of Article 10 and the *Secretary of Interior's Standards for Rehabilitation*. Proposed work will not damage or destroy distinguishing original qualities or character of the subject building. The overall proposal includes in-kind window and door replacements, in-kind entry stair replacement, deck replacements, and in-kind siding repair and replacement. The Department finds that the historic character of the building will be retained and preserved and will not result in the removal of historic fabric.

### **PUBLIC/NEIGHBORHOOD INPUT**

The Department has received no public inquiries for general information about the proposed project.

### **ISSUES & OTHER CONSIDERATIONS**

- The Project requires a Variance from the rear yard requirements to allow for the projection of the proposed decks at the second and third floors at the rear. The Project also requires a Variance to document and legalize three existing surface parking spaces at the rear.

### **ENVIRONMENTAL REVIEW STATUS**

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

### **BASIS FOR RECOMMENDATION**

The Department recommends APPROVAL of the proposed project as it meets the provisions of Article 10 of the Planning Code regarding Major Alteration to a contributing resource in a Landmark District and the *Secretary of the Interior Standards for Rehabilitation*.

### **ATTACHMENTS**

Draft Motion – Certificate of Appropriateness  
Exhibit B – Plans and Renderings  
Exhibit C – Environmental Determination  
Exhibit D – Maps and Context Photos



# SAN FRANCISCO PLANNING DEPARTMENT

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## Certificate of Appropriateness Draft Motion

HEARING DATE: DECEMBER 18, 2019

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**ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR MAJOR ALTERATIONS DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10 OF THE SAN FRANCISCO PLANNING CODE, AND TO MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 055 IN ASSESSOR'S BLOCK 3618 IN A RH-3 RESIDENTIAL- HOUSE, THREE FAMILY ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.**

### **PREAMBLE**

On August 15, 2019, William Pashelinsky, architect, (hereinafter "Project Sponsor") filed Application No. 2019-004933COA (hereinafter "Application") with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness for exterior alterations at a subject building located on Lot 055 in Assessor's Block 3618, which is a contributing resource to the Liberty Hill Landmark District and locally designated under Article 10, Appendix L of the Planning Code.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

On December 18, 2019, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Certificate of Appropriateness Application No. 2019-004933COA.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2019-004933COA is located at 1650 Mission Street, Suite 400, San Francisco, California.



The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby APPROVES the Certificate of Appropriateness, as requested in Application No. 2019-004933COA in conformance with the architectural plans dated October 30, 2019 and labeled Exhibit B based on the following findings:

## FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. **Project Description.** The proposed project involves in-kind window replacements at the front and an in-kind replacement of the entry front stairs. Additional alterations are proposed for the rear and sides that include window replacements, relocations and new window insertions and the construction of two new decks and associated stairs and landings at the second and third floors at the rear. The work will also include in-kind horizontal wood siding repair and replacement in area(s) where window relocations and insertions will be occurring.
3. **Property Description.** 73-75 FAIR OAKS ST is located on the east side of Fair Oaks Street between 22<sup>nd</sup> and 21<sup>st</sup> Streets (Assessor's Block 3618; Lot 055). The subject building is a contributor to the Liberty Hill Landmark District, locally designated under Article 10, Appendix F of the Planning Code. The Queen Anne-style, 3-story-over-basement, two-family residence was built ca. 1906 by an unknown architect. The wood-framed building has a front gabled roof with decorative applied features and an off-centered recessed entry with porch and classic columns.
4. **Surrounding Properties and Neighborhood.** The surrounding neighborhood includes two- to three-story, wood-frame, single- and multi-family residences developed beginning in the 1860s through the 1910s. Designated under Article 10 of the Planning Code, the Liberty Hill Historic District is one of the earliest residential suburbs in San Francisco and is comprised of nineteenth century middle class housing designed in Victorian styles such as Italianate, Stick, and Queen Anne.
5. **Public Outreach and Comments.** The Department has received no public correspondence regarding the proposed project.
6. **Planning Code Compliance.** The Commission has determined that the proposed work is compatible with the exterior character-defining features of the subject property and meets the requirements of Article 10 of the Planning Code in the following manner:

- A. **Article 10 of the Planning Code.** Pursuant to Section 1006.6 of the Planning Code, the proposed alteration shall be consistent with and appropriate for the effectuation of the purposes of this Article 10.

*The proposed project is consistent with Article 10 of the Planning Code.*

- B. **Secretary of the Interior's Standards.** Pursuant to Section 1006.6(b) of the Planning Code, the proposed work shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties for significant and contributory buildings, as well as any applicable guidelines, local interpretations, bulletins, or other policies. Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

- (1) **Standard 1:** A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

*Not Applicable*

- (2) **Standard 2:** The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

*The proposal is for in-kind window and entry stair replacements at the front and window relocations, removals, and replacements at the rear. Two decks are proposed at the second and third floors at the rear along with associated stairs and a 15-foot fire-wall. Siding repairs and replacements are also proposed to be in-kind – horizontal wood siding to match existing – in area(s) where windows will be removed or relocated. These changes will not remove distinctive materials, nor irreversibly alter features that characterize the building.*

- (3) **Standard 3:** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.

*Not Applicable*

- (4) **Standard 4:** Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

*Not Applicable*

- (5) **Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property shall be preserved.

*The distinctive features and finishes of the building will be retained and preserved. Replacement of windows, doors and entry stairs will be completed in a manner that is compatible to existing design and materials of the residence. Staff has reviewed the proposed replacement windows, doors and stair materials and has confirmed that as outlined in the scope of work, distinctive features and finishes will be preserved.*

- (6) **Standard 6:** Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

*The proposal to replace existing windows, doors, entry stairs, and rear decks addresses the current decaying condition of these features. The replacement work will match the existing in design, color, texture, and finish, and is materially compatible with the existing wood windows, doors, entry stairs, and rear decks.*

- (7) **Standard 7:** Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

*Not Applicable*

- (8) **Standard 8:** Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

*Not Applicable*

- (9) **Standard 9:** New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

*Not Applicable*

- (10) **Standard 10:** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*Not Applicable*

- C. **Liberty Hill Historic District.** Article 10 of the Planning Code outlines specific findings for the Commission to consider when evaluating applications for alterations to Landmarks or within designated Historic Districts.

Pursuant to Section 1006.6(e) of the Planning Code, for applications pertaining to all property in historic districts, the proposed work shall also conform to such further standards as may be embodied in the ordinance designating the historic district.

*The project is in conformance with Article 10, and as outlined in Appendix F, as the work is compatible with the Landmark district.*

7. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

**URBAN DESIGN ELEMENT**

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

**OBJECTIVE 1:**

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

**Policy 1.3**

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

**OBJECTIVE 2:**

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

**Policy 2.4**

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

**Policy 2.5**

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

**Policy 2.7**

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

*The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.*

*The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject property for the future enjoyment and education of San Francisco residents and visitors.*

8. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

*The proposed project will not have an impact on neighborhood serving retail uses.*

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

*The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards*

- C) The City's supply of affordable housing will be preserved and enhanced:

*The project will not affect the City's affordable housing supply.*

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking. It will provide sufficient off-street parking for the proposed units.*

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

*The proposed project is located on Fair Oaks Street and will not have a direct impact on the displacement of industrial and service sectors.*

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*All construction will be executed in compliance with all applicable construction and safety measures.*

- G) That landmark and historic buildings will be preserved:

*The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.*

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

*The proposed project will not impact the access to sunlight or vistas for the parks and open space.*

9. For these reasons, the proposal overall, appears to meet the *Secretary of the Interior's Standards* and the provisions of Article 10 of the Planning Code regarding Major Alterations.

## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES a Certificate of Appropriateness** for the subject property located at Lot 055 in Assessor's Block 3618 for proposed work in conformance with the architectural submittal dated October 30, 2019 and labeled Exhibit B on file in the docket for Record No. 2019-004933COA.

**APPEAL AND EFFECTIVE DATE OF MOTION:** The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days after the date of this Motion No. XXXXXX. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 1650 Mission Street, (Room 304) or call (415) 575-6880.

**Duration of this Certificate of Appropriateness:** This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

**THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.**

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on December 18, 2019.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: December 18, 2019

## EXHIBIT A

### AUTHORIZATION UPDATE

This authorization is for a Certificate of Appropriateness to allow window, door, entry stair, and rear deck and fire wall changes to the property located at 73-75 Fair Oaks Street, Lot 055, Assessor's Block 3618 pursuant to Planning Code Section 1006.6(e) within the **RH-3** District and a **40-X** Height and Bulk District; in general conformance with plans, dated **October 30, 2019**, and stamped "EXHIBIT B" included in the docket for Record No. **2019-004933COA** and subject to conditions of approval reviewed and approved by the Historic Preservation Commission on **December 18, 2019** under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Historic Preservation Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Certificate of Appropriateness and any subsequent amendments or modifications.

### SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

### CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Historic Preservation Commission approval of a new Certificate of Appropriateness. In instances when Planning Commission also reviews additional authorizations for the project, Planning Commission may make modifications to the Certificate of Appropriateness based on majority vote and not required to return to Historic Preservation Commission.



**GENERAL NOTES:**

**INTENT OF DOCUMENTS:**

It is the intent of these Contract Documents to establish a high quality of material and workmanship, but not necessarily to note and call for every last item of work to be done. Any item not specifically covered but deemed necessary for satisfactory completion of the work shall be accomplished by the Contractor in a manner consistent with the quality of the work without additional cost to the Owner. All materials and methods of installation shall be in accordance with industry standards and manufacturers recommendations.

A. All materials and workmanship shall conform to the requirements of the following codes and regulations and any other local and state laws and regulations:

- San Francisco Building Code 2016 Edition
- San Francisco Fire Code 2016 Edition
- San Francisco Plumbing Code 2016 Edition
- San Francisco Electrical Code 2016 Edition
- San Francisco Mechanical Code 2016 Edition

- Verify all existing conditions and dimensions at the project site. Notify the Architect and/or Engineer of any discrepancies before beginning construction.
- B. Provide adequate and proper shoring and bracing to maintain safe conditions at all times. The contractor shall be solely responsible for providing adequate shoring and bracing as required for protection of life and property during the construction of the project.
- C. At all times the Contractor shall be solely and completely responsible for all conditions at the jobsite, including safety of persons and property, and all necessary independent engineering reviews of these conditions. The Architects jobsite reviews are not intended nor shall they be construed to include a review of the adequacy of the contractors safety measures.
- D. Unless otherwise shown or noted, all typical details shall used where applicable.
- E. All details shall be constued typical at similar conditions.
- F. All Drawing conflicts shall be brought to the attention of the Architect and/or Consulting Engineer for clarification before work proceeds.
- G. The Contractor shall supply all labor, materials, equipment and services, including water and power, necessary for the proper execution of the work shown on these drawings. All materials shall be new and workmanship shall be good quality. All workman and subcontractors shall be skilled in their trade. Any inspections, special or otherwise, that are required by the building codes, local builing departments, on these plans shall be done by an independent inspection company.
- H. Finishes: Replace patch, repair and refinish all existing surfaces affected by the new work. All new finishes shall match the adjacent surface. all surfaces shall align.
- I. The General Contractor shall visit the site and familiarize themselves with the existing site conditions prior to finalizing of any proposal to the owner. The general Contractor shall be responsible to inform the owner or Architect of potential existing conditions that need to be addressed and or modified in order to complete the work as herein described in these Drawings.
- J. The General Contractor shall be reponsible for all means and methods of construction including but not limited to leveling, shimming, and blocking. The General Contractor shall make specific note of such items that can not be known prior to the commencement of construction.

**DRAWING INDEX:**

- A 1.01 SITE AND ROOF PLAN, GENERAL NOTES, AND DRAWING INDEX
- A 1.02 SITE AND ROOF PLANS
- A 2.01 FLOOR PLANS EXISTING 1ST FLOOR
- A 2.02 FLOOR PLANS EXISTING 2ND FLOOR
- A 2.03 FLOOR PLANS PROPOSED 3RD FLOOR
- A 3.01 EXTERIOR ELEVATIONS
- A 3.02 EXTERIOR ELEVATIONS
- A 3.03 EXTERIOR ELEVATIONS
- A 4.01 BUILDING SECTIONS

**PROJECT INFORMATION:**

ZONING: RH-3  
 OCCUPANCY R-3  
 TWO FAMILY RESIDENCE  
 EXISTING 3 STORIES 2 STORIES OVER STORAGE  
 PROPOSED 3 STORIES ALL 3 FLOORS TO BE HABITABLE SPACE  
 CONSTRUCTION TYPE: 5-B EXISTING AND PROPOSED  
 BLOCK 3618 LOT 055  
 SCOPE OF WORK: DEMOLISH EXISTING REAR DECK AND STAIRS AND REPLACE WITH NEW DECKS AND STAIRS. REPLACE AND PROVIDE NEW SLIDING WOOD DOORS, NEW WOOD WINDOWS, AND REPLACE NON REPAIRABLE EXISTING WINDOWS IN KIND (WOOD) DOUBLE GLAZED DOUBLE HUNG WINDOWS  
 NO EXCAATION AS PART OF WORK. NEW CONC FOOTING TO BE SPREAD FOOTING.

**PROJECT STATISTICS**

|                        |             |
|------------------------|-------------|
| EXISTING               |             |
| 1ST FLOOR:             |             |
| STORAGE:               | 124 SQ FT   |
| HABITABLE:             | 1,413 SQ FT |
| TOTAL 1ST FLOOR:       | 1,537 SQ FT |
| 2ND FLOOR:             |             |
| HABITABLE:             |             |
| UNIT 1:                | 1,462 SQ FT |
| UNIT 2:                | 54 SQ FT    |
| TOTAL 2ND FLOOR:       | 1,516 SQ FT |
| 3RD FLOOR:             |             |
| HABITABLE:             |             |
| UNIT 2:                | 1,582 SQ FT |
| TOTAL 3RD FLOOR:       | 1,582 SQ FT |
| TOTAL UNIT 1:          | 2,275 SQ FT |
| TOTAL UNIT 2:          | 1,636 SQ FT |
| TOTAL HABITABLE SPACE: | 3,911 SQ FT |
| TOTAL STORAGE:         | 224 SQ FT   |
| TOTAL AREA:            | 4,635 SQ FT |

**ABBREVIATIONS:**

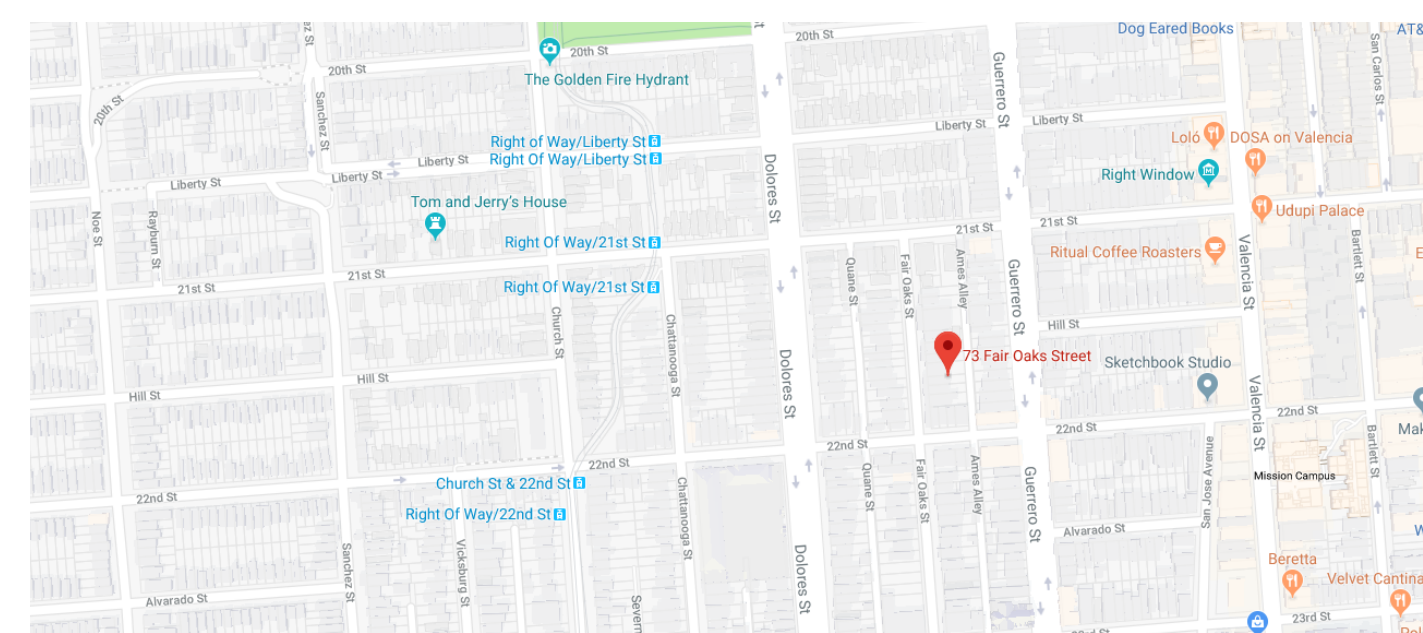
|         |                          |          |                        |
|---------|--------------------------|----------|------------------------|
| @       | AT                       | HGT./HT. | HEIGHT                 |
| CL      | CENTERLINE               | INSUL.   | INSULATION             |
| Ø       | DIAMETER OR ROUND        |          |                        |
| (E)     | EXISTING                 | MFG.     | MANUFACTURING          |
| (N)     | NEW                      | MAX.     | MAXIMUM                |
| (R)     | REPLACE                  | MTL.     | METAL                  |
|         |                          | MIN.     | MINIMUM                |
| AFF     | ABOVE FINISH FLOOR       | O.C.     | ON CENTER              |
| BM.     | BEAM                     | PR.      | PAIR                   |
| BLDG.   | BUILDING                 | PKT.     | POCKET                 |
|         |                          | P.T.     | PRESSURE TREATED       |
| CBC     | CALIFORNIA BUILDING CODE | REF.     | REFRIGERATOR           |
| CLR.    | CLEAR                    | REQ'D    | REQUIRED               |
| CLOS.   | CLOSET                   | REQ'T    | REQUIREMENT            |
| CONC.   | CONCRETE                 | RTG.     | RETAINING              |
|         |                          | R & S    | ROD AND SHELF          |
| DECK'G  | DECKING                  | RM.      | ROOM                   |
| DET.    | DETAIL                   | SIM.     | SIMILAR                |
| DIA.    | DIAMETER                 | S.C.     | SOLID CORE             |
| DISP.   | DISPOSAL                 | SQ. FT.  | SQUARE FOOT/FEET       |
| DW.     | DISHWASHER               | STOR.    | STORAGE                |
| DR.     | DOOR                     | STRUCT.  | STRUCTURAL             |
| DBL.    | DOUBLE                   |          |                        |
| DN.     | DOWN                     | TEMP.    | TEMPERED               |
| DRWGS.  | DRAWINGS                 | TRANS.   | TRANSPARENT            |
| D       | DRYER                    | TYP.     | TYPICAL                |
|         |                          | U.O.N.   | UNLESS OTHERWISE NOTED |
| EA.     | EACH                     |          |                        |
|         |                          | V.I.F.   | VERIFY IN FIELD        |
| F       | FAHRENHEIT               |          |                        |
| FIN.    | FINISH                   | W        | WASHER                 |
| F.R.    | FIRE RATED               | WH.      | WATER HEATER           |
| FLR.    | FLOOR                    | WP       | WATERPROOF             |
| FT.     | FOOT OR FEET             | WDO.     | WINDOW                 |
| FR.     | FRENCH                   | W/       | WITH                   |
| FURN.   | FURNISH                  | WD.      | WOOD                   |
| FURR.   | FURRING                  |          |                        |
|         |                          |          |                        |
| GA.     | GAUGE                    |          |                        |
| GL.     | GLAZING                  |          |                        |
| GYP.    | GYP SUM                  |          |                        |
| GYP.BD. | GYP SUM BOARD            |          |                        |

**WILLIAM PASHELINSKY ARCHITECT**

1937 HAYES STREET  
 SAN FRANCISCO, CA 94117  
 415 379 3676  
 billpash@gmail.com

**ALTERATIONS**

73-75 FAIR OAKS STREET  
 SAN FRANCISCO, CA



VIICINITY MAP

**DRAWING SYMBOLS**

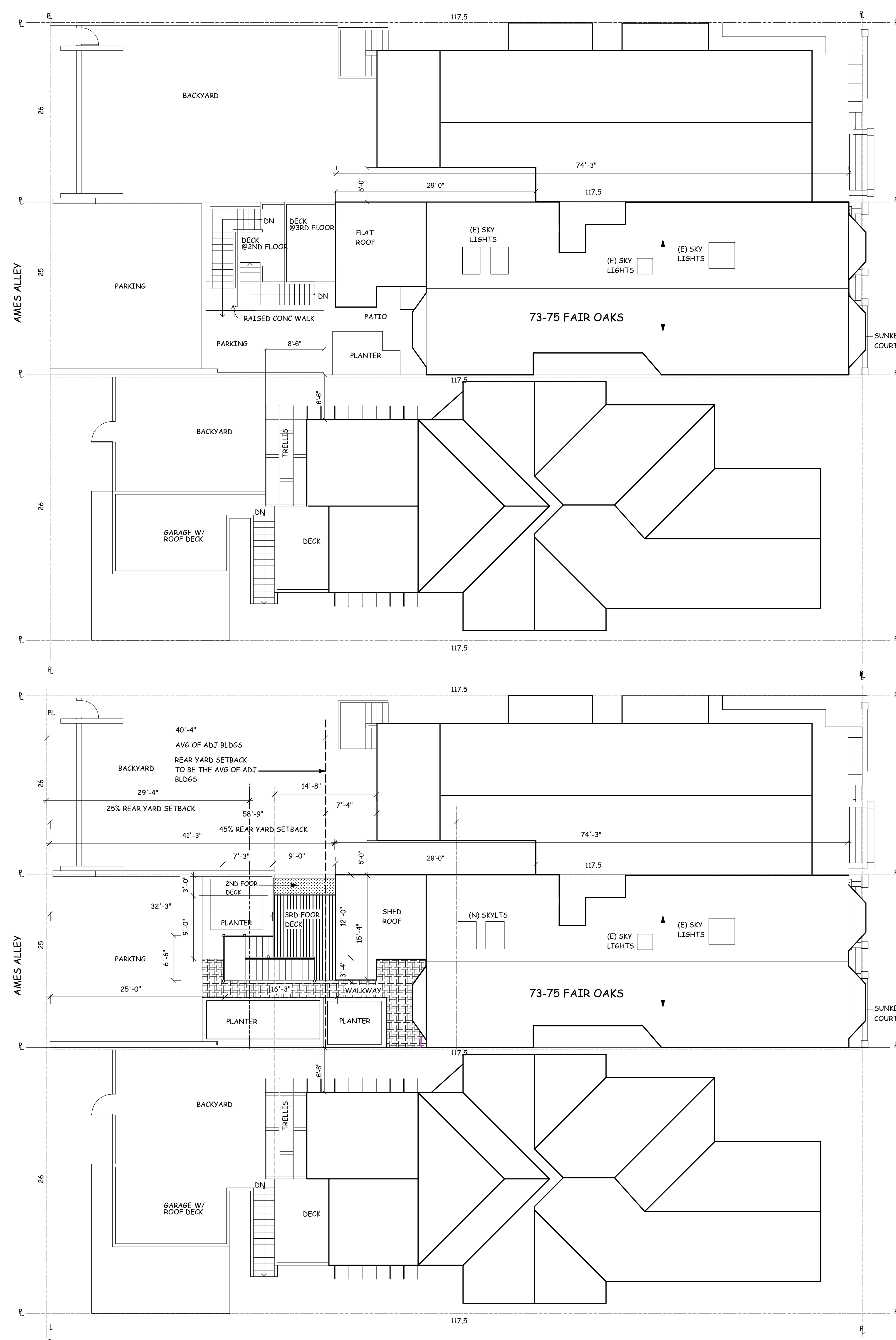
- 101 DOOR NUMBER
- 201 WINDOW NUMBER
- 101 SKYLIGHT NUMBER
- 1 DRAWING REVISION
- 1 A 6.02 DETAIL NUMBER AND DRAWING REFERENCE
- 1 NOTE/ITEM NUMBER
- 0'-0" GRADE
- PL - - - - - PROPERTY LINE
- 1 A 3.01 ELEV NO. DRAWING REFERENCE

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| NO. | DATE     | DESCRIPTION  |
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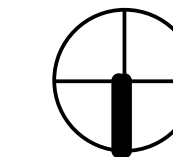
PROJECT NO. 2018.31  
 SHEET





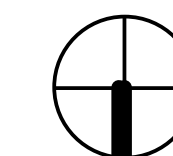
**SITE AND ROOF PLAN (E)**

1/8"=1'-0"



**SITE AND ROOF PLAN (N)**

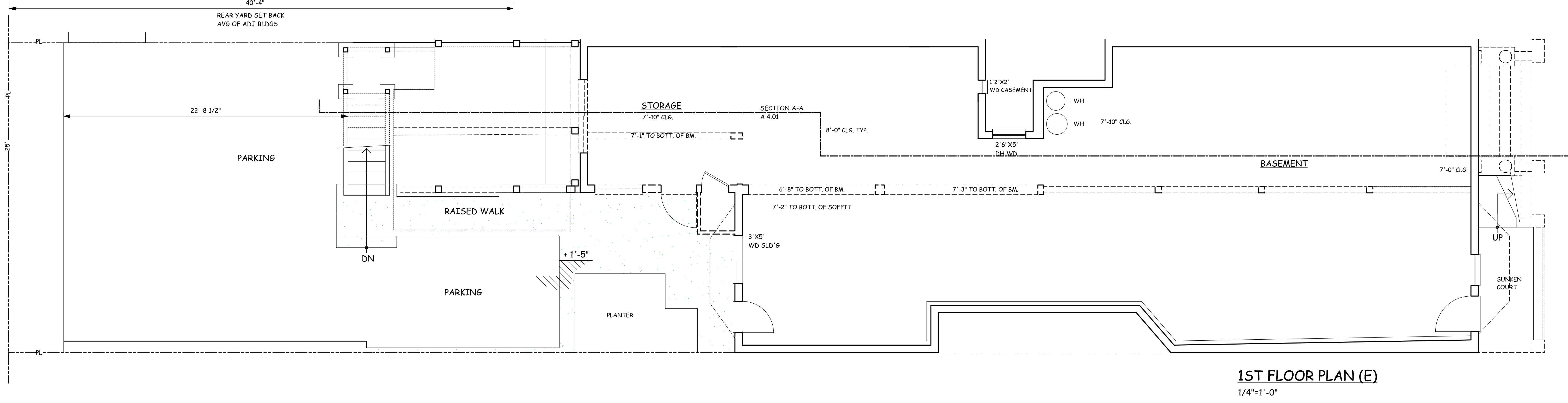
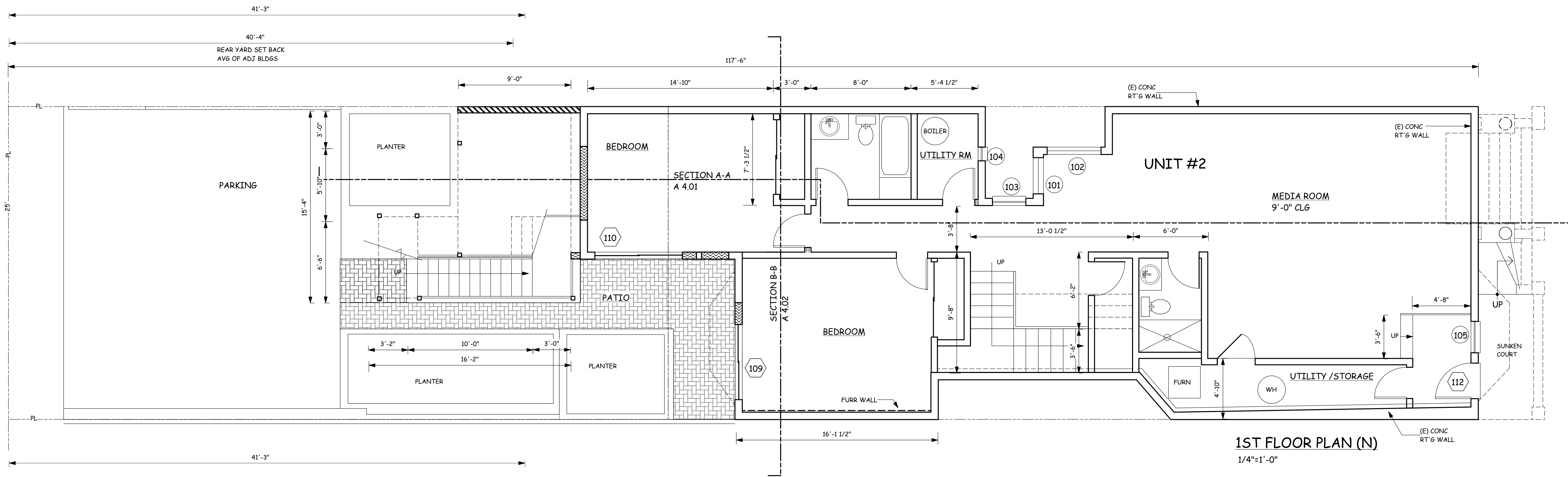
1/8"=1'-0"



**COMBINED PLANS**

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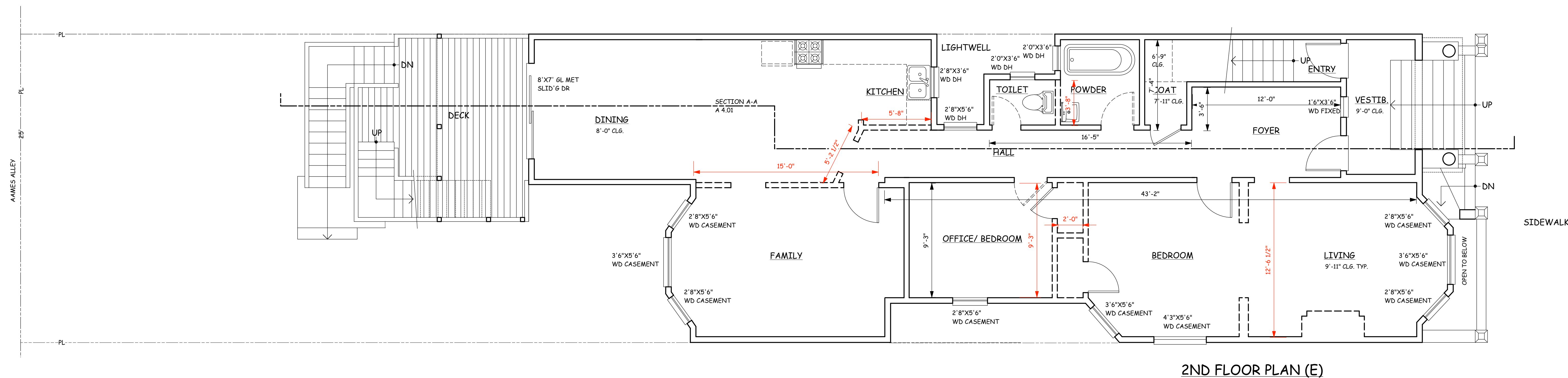
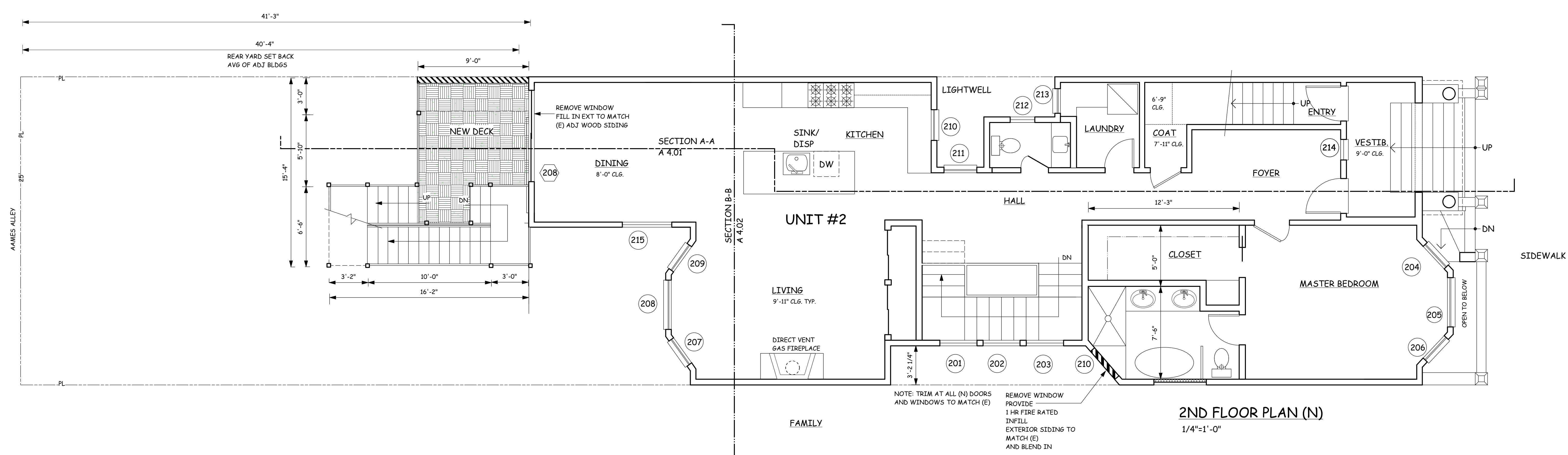
| NO. | DATE     | DESCRIPTION  |
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| 3   | 7.30.19  | PLANNING REV |
| 4   | 10.14.19 | PLANNING REV |
| 5   | 10.30.19 | PLANNING REV |



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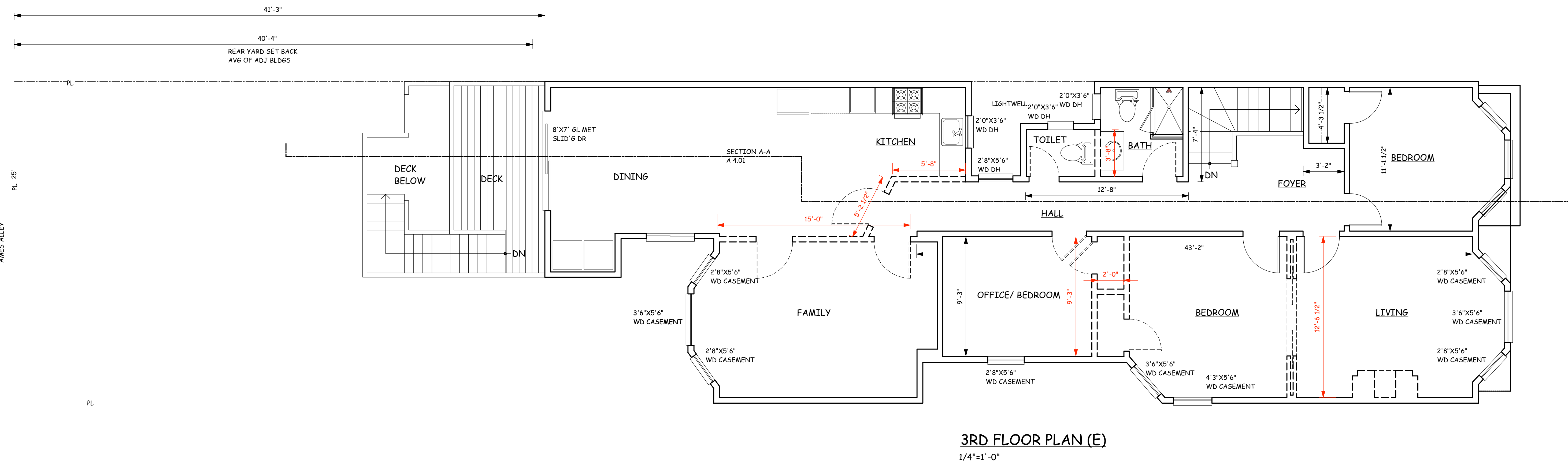
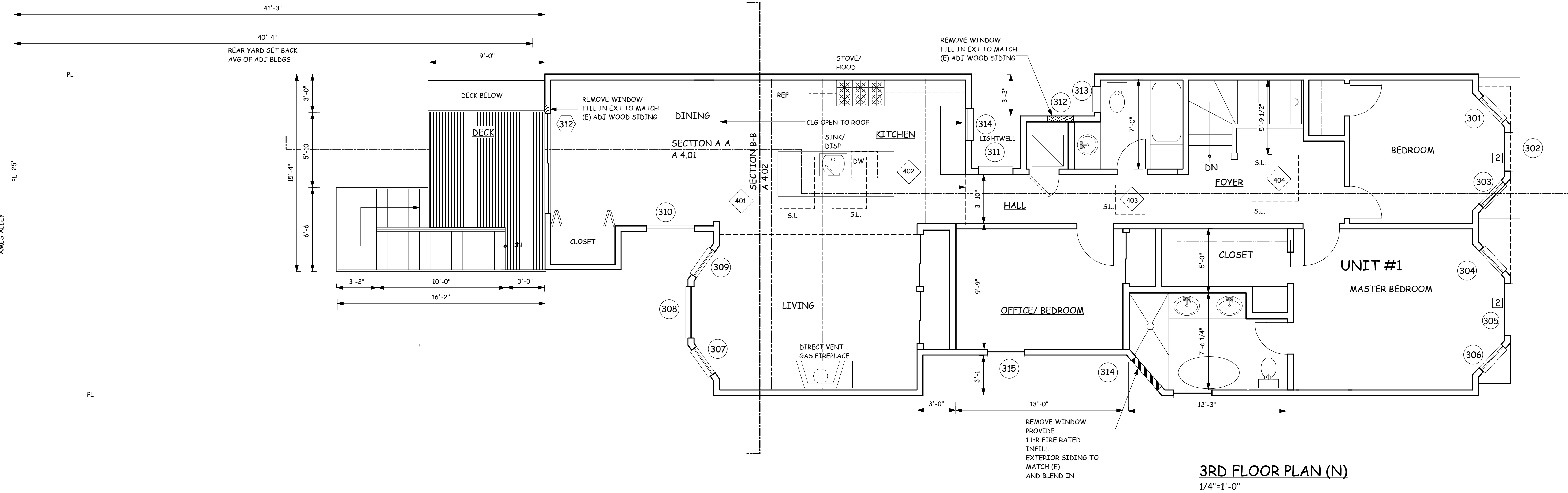


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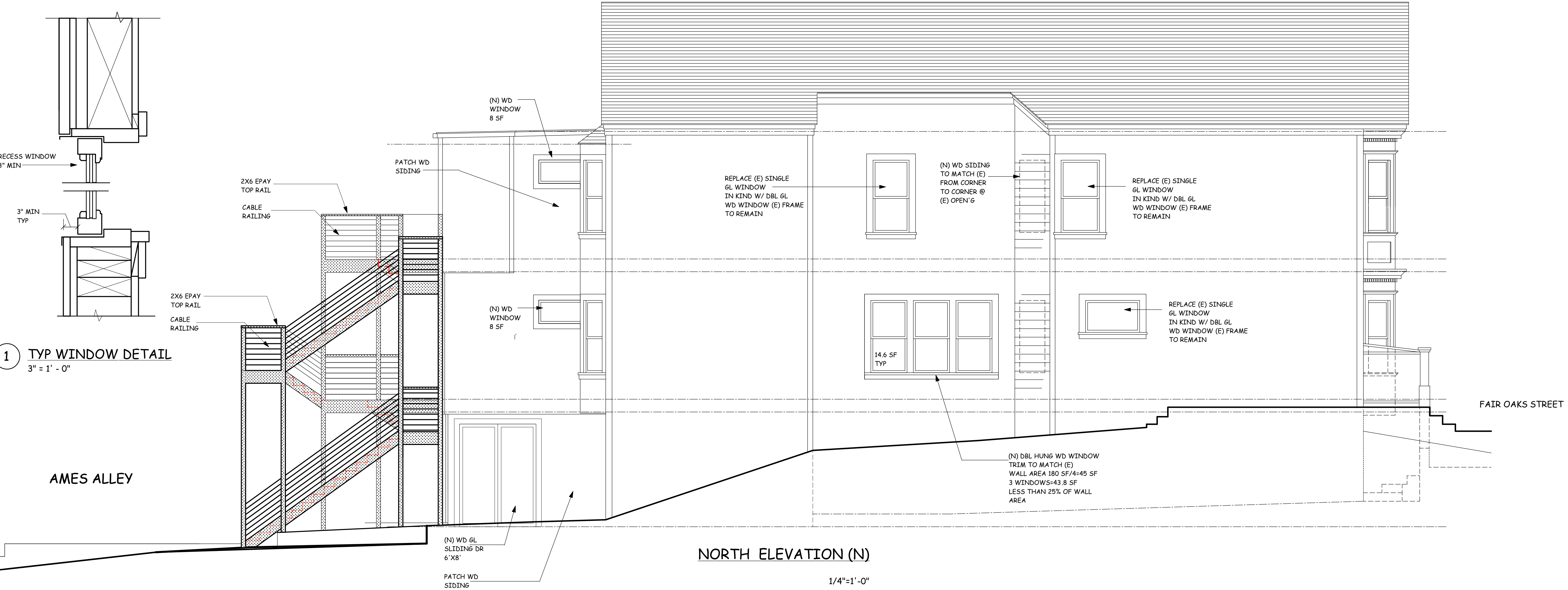




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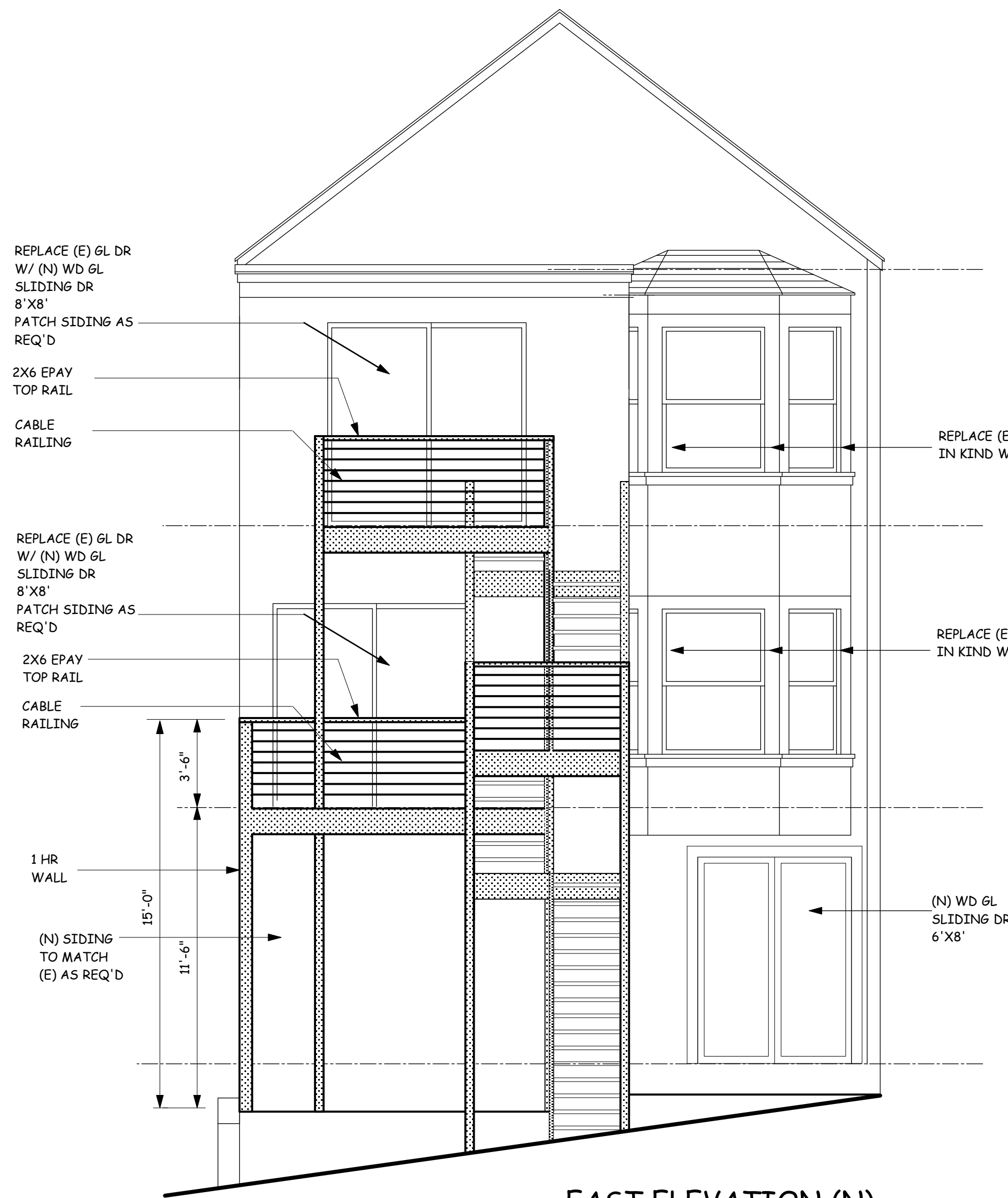


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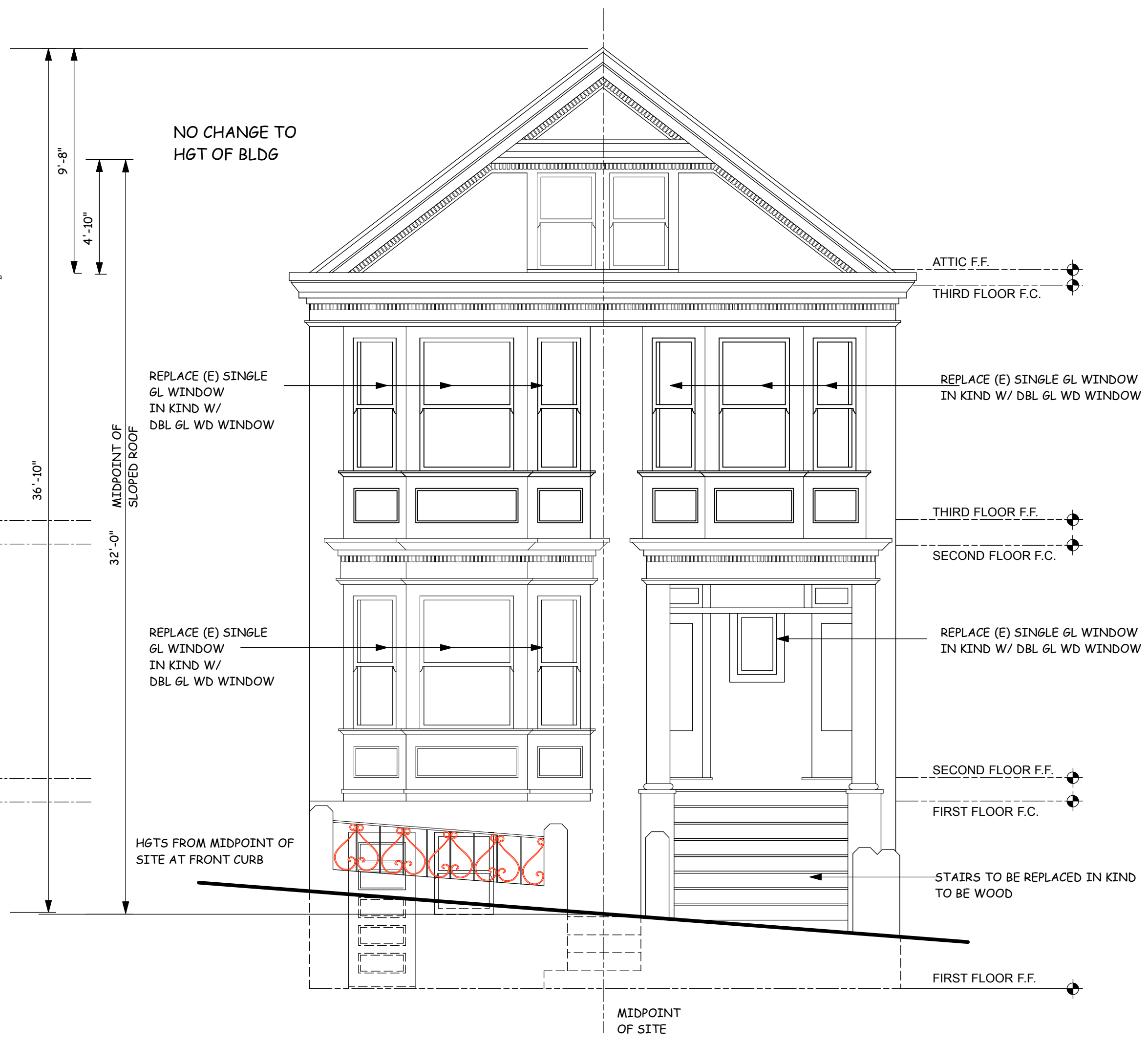
**EAST ELEVATION (N)**

1/4"=1'-0"



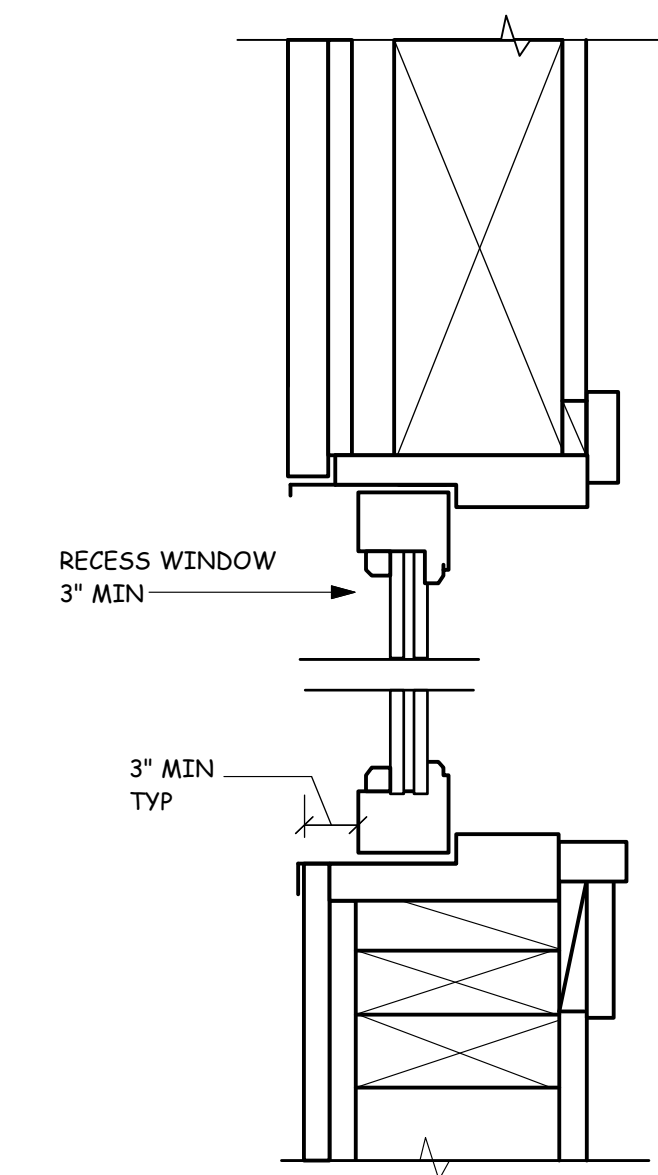
**EAST ELEVATION (E)**

1/4"=1'-0"



**WEST ELEVATION (E)**

1/4"=1'-0"

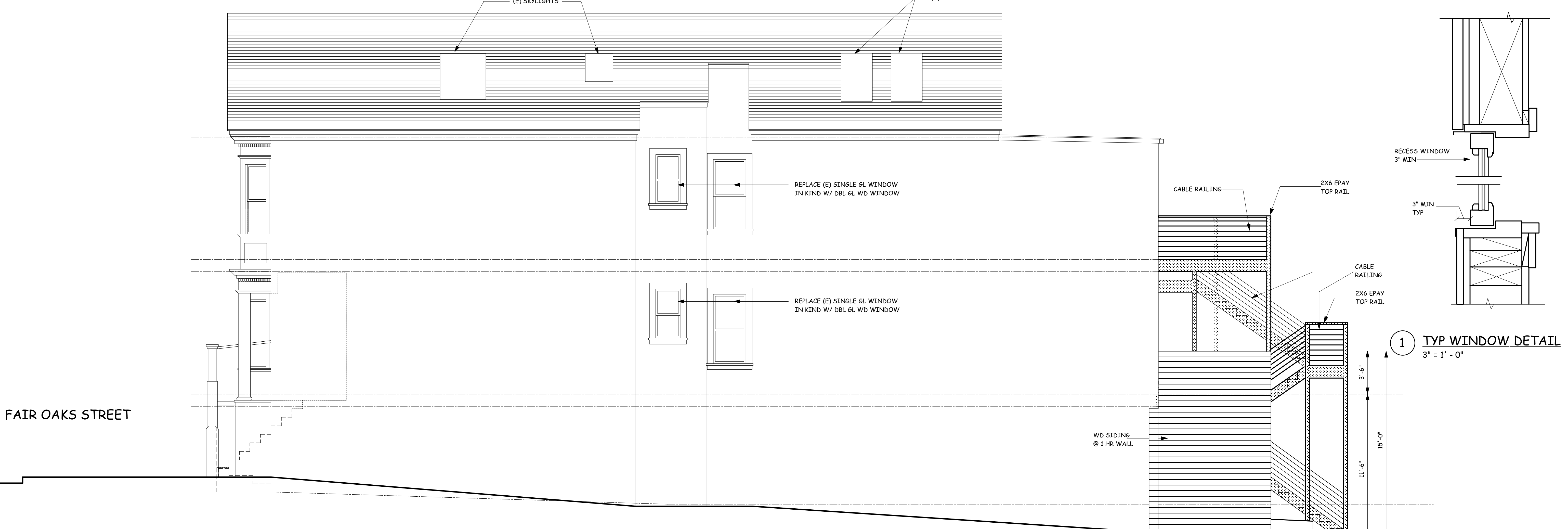


**1 TYP WINDOW DETAIL**  
 3" = 1' - 0"

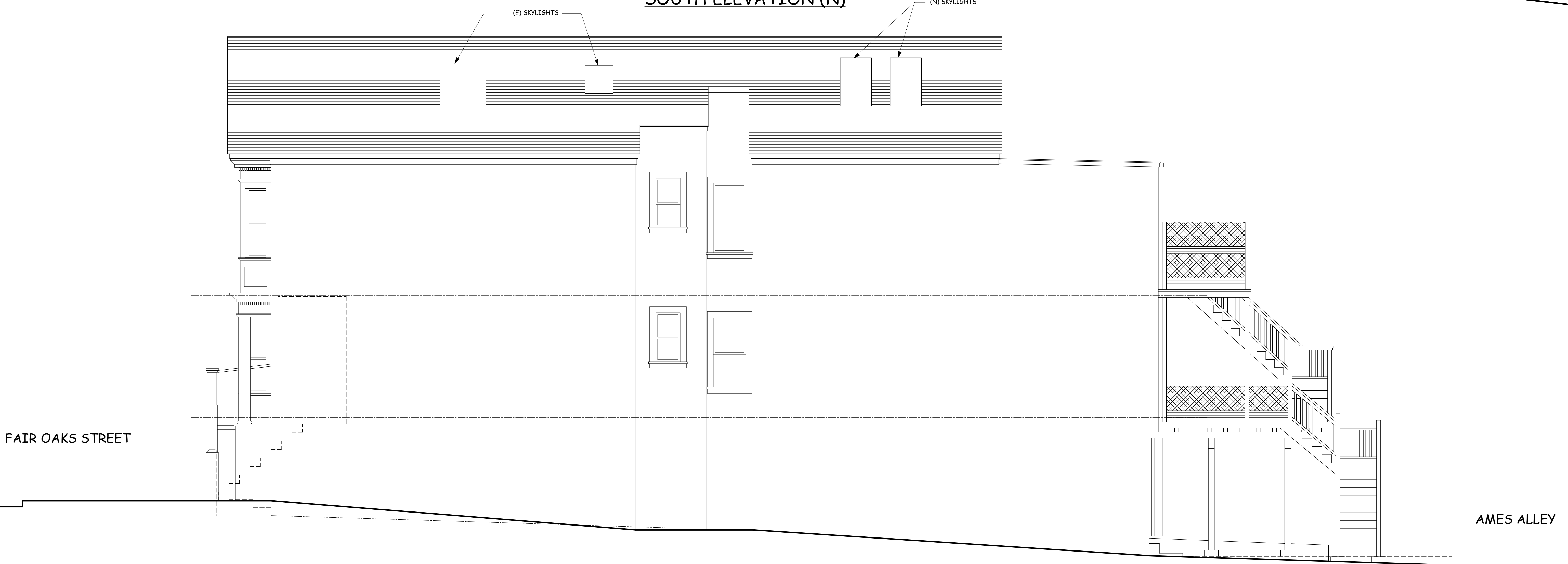
**COMBINED PLANS**

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| 5   | 10.30.19 | PLANNING REV |



**SOUTH ELEVATION (N)**



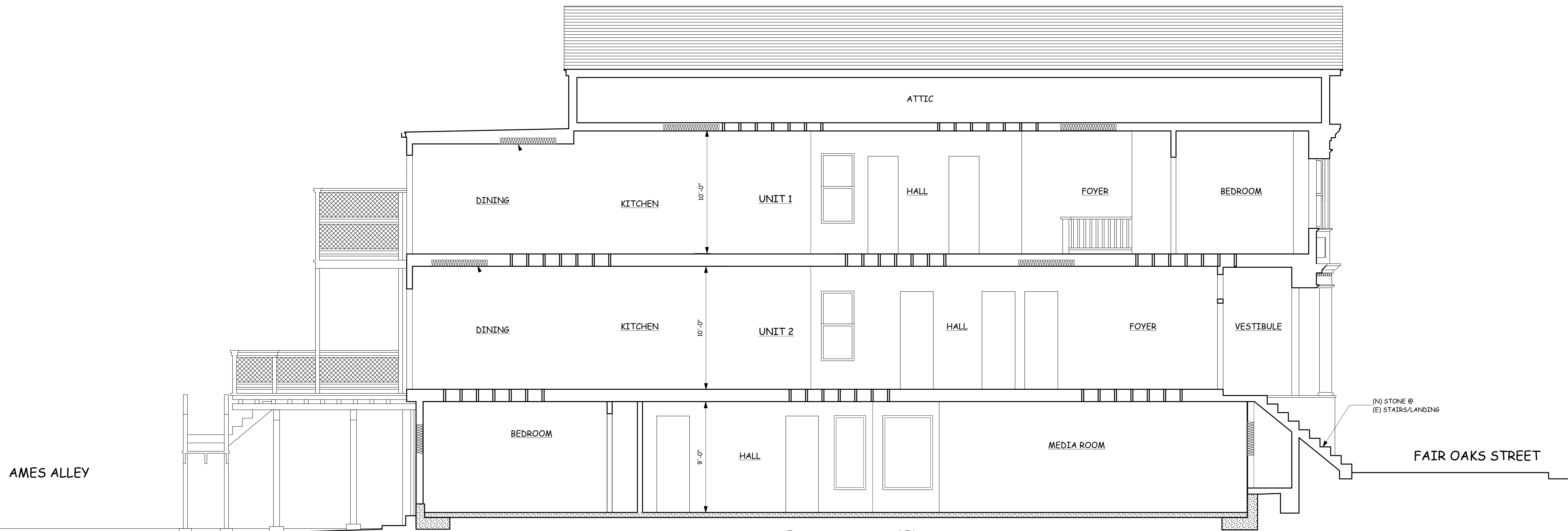
**SOUTH ELEVATION (E)**

**COMBINED PLANS**

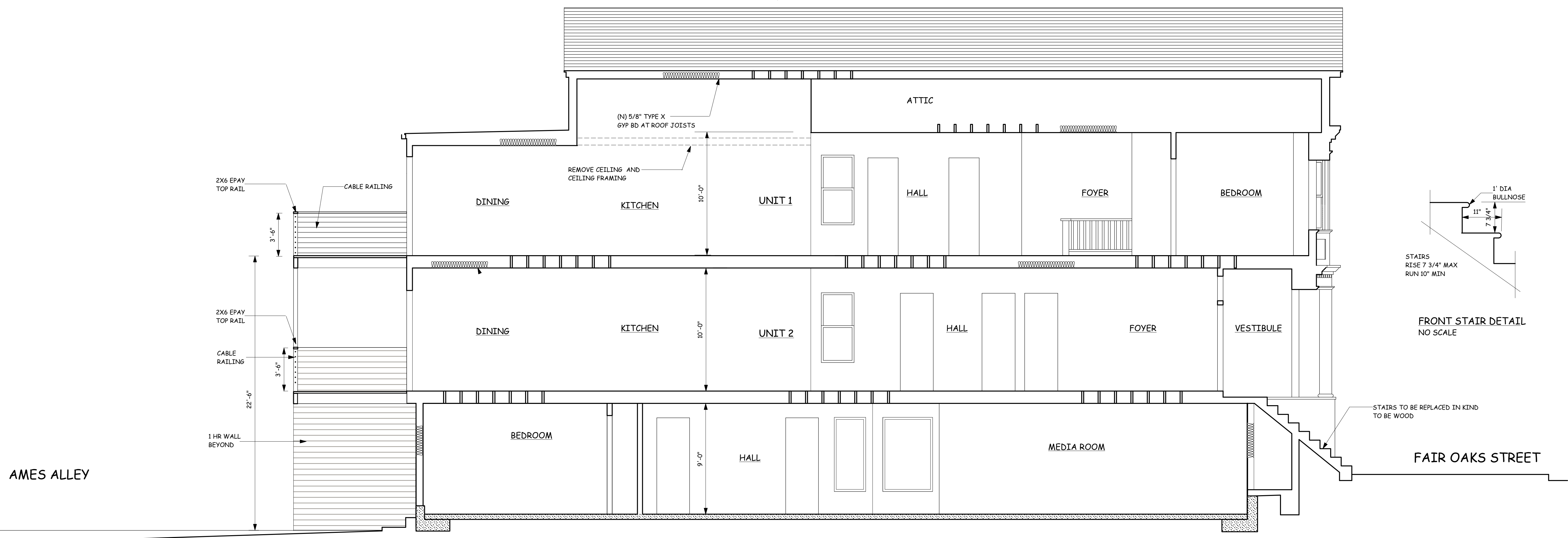
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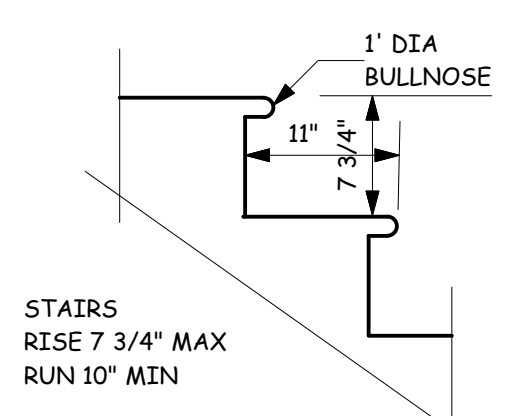




**SECTION A-A (E)**  
 1/4"=1'-0"



**SECTION A-A (N)**  
 1/4"=1'-0"



**COMBINED PLANS**

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| 3   | 7/30/19  | PLANNING REVISION |
| 4   | 10/14/19 | PLANNING REVISION |
| 5   | 10.30.19 | PLANNING REV      |

**DOOR SCHEDULE**

**1ST FLOOR UNIT 1**

109 6'X8' GL MET SLD'6 DR

110 6'X8' GL MET SLD'6 DR

111 (E) DOOR TO REMAIN

112 2'8" X7' GL WD ENTRY DR VERIFY SIZE (E) OPEN'6

**2ND FLOOR UNIT 1**

208 8'X8' GL SLD'6 MET SLD'6 DRS

**3RD FLOOR UNIT 2**

312 8'X8' GL MET SLD'6 DR

**NOTES:**

- ALL EXTERIOR GLAZED DOORS:
- 1.) WD DOORS MARVIN OR EQUAL
- 2.) GLAZING AT ALL DOORS TO BE TEMPERED/SAFETY GLAZED
- 3.) ALL GLAZED DRS TO BE DBL GL U VALUE PER T 24 ANALYSIS

**WINDOW SCHEDULE**

**1ST FLOOR UNIT 1**

101 3'X6' WD CASEMENT

102 4'X6' WD FIXED

103 2'6"X6' WD CASEMENT

104 (E) TO REMAIN

105 (E) REPLACE W/ DBL GL

**2ND FLOOR UNIT 1**

201 2'8"X5'6" WD DH

202 2'8"X5'6" WD DH

203 2'8"X5'6" WD DH

204 REPLACE (E) IN KIND WD DBL GL

205 REPLACE (E) IN KIND WD DBL GL

206 REPLACE (E) IN KIND WD DBL GL

207 REPLACE (E) IN KIND WD DBL GL

208 REPLACE (E) IN KIND WD DBL GL

209 REPLACE (E) IN KIND WD DBL GL

210 REMOVE (E)

211 REPLACE (E) IN KIND WD DBL GL

212 REPLACE (E) IN KIND WD DBL GL

213 REPLACE (E) IN KIND WD DBL GL

214 REPLACE (E) IN KIND WD DBL GL

215 4'X2' WD DBL GL FIXED 85F

**3RD FLOOR UNIT 2**

301 (E)

302 (E)

303 (E)

304 (E)

305 (E)

306 (E)

307 REPLACE (E) IN KIND WD DBL GL

308 REPLACE (E) IN KIND WD DBL GL

309 REPLACE (E) IN KIND WD DBL GL

310 4'X2' WD DBL GL FIXED 85F

311 REPLACE (E) IN KIND WD DBL GL

312 REPLACE (E) IN KIND WD DBL GL

313 REPLACE (E) IN KIND WD DBL GL

314 REMOVE (E)

315 REPLACE (E) IN KIND WD DBL G

**NOTES:**

- 1) ALL WINDOWS MARVIN OR EQUAL WD WINDOWS
- 2) ALL WINDOWS LESS THAN 18 INCHES FROM FIN FLR TO BE TEMPERED GLASS(TEMP)
- 3) ALL (N) WINDOWS TO BE U .32 MAX

**EMERGENCY ESCAPE WINDOW:**

- 5.7 SQ FT MIN
- 20 NET WITH MIN
- 24 NET HGT MIN
- SILL TO BE LESS THAN 42" FROM FIN FLOOR

**SKYLIGHT SCHEDULE**

**ROOF**

401 2'8"X4' VELUX SKYLIGHT

402 2'8"X4' VELUX SKYLIGHT

403 2'8"X2'8" VELUX SKYLIGHT

404 3'6"X3'6" VELUX SKYLIGHT

NOTES: ALL SKYLIGHTS WOOD VELUX DBL GL

**WILLIAM PASHELINSKY ARCHITECT**

1937 HAYES STREET  
SAN FRANCISCO, CA.94117  
415 379 3678  
billpash@gmail.com

**ALTERATIONS**

73-75 FAIR OAKS STREET  
SAN FRANCISCO, CA.

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| 2   | 10.14.19 | PLANING REV |





VIEW FROM SITE SOUTH WEST



VIEW FROM SITE SOUTH EAST



ADJ BLDG SOUTH

SUBJECT PROPERTY



VIEW FROM SITE NORTH WEST



VIEW FROM SITE NORTH EAST



SUBJECT PROPERTY

ADJ BLDG NORTH



SUBJECT PROPERTY

PHOTOS REAR OF  
 73-75 FAIR OAKS STREET

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# SAN FRANCISCO PLANNING DEPARTMENT

## CEQA Categorical Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

|   |   |  |
|---|---|--|
| <b>Project Address</b>  |   | <b>Block/Lot(s)</b>                                  |
| 73-75 FAIR OAKS ST  |   | 3618055  |
| <b>Case No.</b>   |   | <b>Permit No.</b>                                    |
| 2019-004933PRJ  |   | 201904047122   |
| <input checked="" type="checkbox"/> <b>Addition/<br/>Alteration</b>   | <input type="checkbox"/> <b>Demolition (requires HRE for<br/>Category B Building)</b> | <input type="checkbox"/> <b>New<br/>Construction</b> |
| <p><b>Project description for Planning Department approval.</b><br/>         REMOVE/REPLACE EXISTING REAR DECK &amp; STAIRS. IN-KIND WINDOW REPLACEMENT AT FRONT. WINDOW REPLACEMENT AND ALTERATIONS AT SIDES AND REAR. SKYLIGHT REPLACEMENT AT ROOF. INTERIOR ALTERATIONS.</p> |   |  |

### STEP 1: EXEMPTION CLASS

|  |   |
|--|---|
| <b>The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).</b> |   |
| <input checked="" type="checkbox"/>  | <b>Class 1 - Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.   |
| <input type="checkbox"/>   | <b>Class 3 - New Construction.</b> Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.  |
| <input type="checkbox"/>   | <p><b>Class 32 - In-Fill Development.</b> New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p><b>FOR ENVIRONMENTAL PLANNING USE ONLY</b></p> |
| <input type="checkbox"/>   | <b>Class ____</b>   |

## STEP 2: CEQA IMPACTS

### TO BE COMPLETED BY PROJECT PLANNER

|   |  |
|---|--|
| <input type="checkbox"/>  | <p><b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Air Pollution Exposure Zone)</p>   |
| <input type="checkbox"/>  | <p><b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?</p> <p><i>if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap &gt; Maher layer).</i></p> |
| <input type="checkbox"/>  | <p><b>Transportation:</b> Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>  |
| <input type="checkbox"/>  | <p><b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Archeological Sensitive Area)</p>  |
| <input type="checkbox"/>  | <p><b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Topography). If yes, Environmental Planning must issue the exemption.</p>  |
| <input type="checkbox"/>  | <p><b>Slope = or &gt; 25%:</b> Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Topography) <b>If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</b></p>   |
| <input type="checkbox"/>  | <p><b>Seismic: Landslide Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Seismic Hazard Zones) <b>If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</b></p>   |
| <input type="checkbox"/>  | <p><b>Seismic: Liquefaction Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Seismic Hazard Zones) <b>If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.</b></p>  |
| <p><b>Comments and Planner Signature (optional):</b> Stephanie Cisneros</p> |  |

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE**  
**TO BE COMPLETED BY PROJECT PLANNER**

|  |  |
|--|--|
| <b>PROPERTY IS ONE OF THE FOLLOWING:</b> (refer to Property Information Map) |  |
| <input checked="" type="checkbox"/>  | <b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>   |
| <input type="checkbox"/>   | <b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>                  |
| <input type="checkbox"/>   | <b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b> |

**STEP 4: PROPOSED WORK CHECKLIST**  
**TO BE COMPLETED BY PROJECT PLANNER**

|  |  |
|--|--|
| <b>Check all that apply to the project.</b>                          |  |
| <input type="checkbox"/>   | 1. <b>Change of use and new construction.</b> Tenant improvements not included.  |
| <input type="checkbox"/>   | 2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.  |
| <input checked="" type="checkbox"/>                                  | 3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.   |
| <input type="checkbox"/>   | 4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.  |
| <input checked="" type="checkbox"/>                                  | 5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.   |
| <input type="checkbox"/>   | 6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.   |
| <input type="checkbox"/>   | 7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .  |
| <input type="checkbox"/>   | 8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features. |
| <b>Note: Project Planner must check box below before proceeding.</b> |  |
| <input type="checkbox"/>   | Project is not listed. <b>GO TO STEP 5.</b>  |
| <input type="checkbox"/>   | Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>  |
| <input type="checkbox"/>   | Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>   |
| <input checked="" type="checkbox"/>                                  | Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>   |

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW**  
**TO BE COMPLETED BY PROJECT PLANNER**

|   |  |
|---|--|
| <b>Check all that apply to the project.</b> |  |
| <input type="checkbox"/>                    | 1. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.           |
| <input type="checkbox"/>                    | 2. <b>Interior alterations to publicly accessible spaces.</b>  |
| <input checked="" type="checkbox"/>         | 3. <b>Window replacement</b> of original/historic windows that are not "in-kind" but are consistent with existing historic character.                                  |
| <input type="checkbox"/>                    | 4. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.   |
| <input type="checkbox"/>                    | 5. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.  |
| <input type="checkbox"/>                    | 6. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings. |

|   |   |
|---|---|
| <input type="checkbox"/>  | 7. <b>Addition(s)</b> , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .   |
| <input type="checkbox"/>  | 8. <b>Other work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):   |
| <input type="checkbox"/>  | 9. <b>Other work</b> that would not materially impair a historic district (specify or add comments):<br><br>(Requires approval by Senior Preservation Planner/Preservation Coordinator)   |
| <input type="checkbox"/>  | 10. <b>Reclassification of property status.</b> (Requires approval by Senior Preservation Planner/Preservation<br><input type="checkbox"/> Reclassify to Category A<br>a. Per HRER or PTR dated<br><input type="checkbox"/> Reclassify to Category C<br>(attach HRER or PTR)<br>b. Other (specify): |
| <b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.</b> |   |
| <input checked="" type="checkbox"/>   | <b>Project can proceed with categorical exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. <b>GO TO STEP 6.</b>   |
| <b>Comments (optional):</b>   |   |
| <b>Preservation Planner Signature:</b> Stephanie Cisneros                                   |   |

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION  
TO BE COMPLETED BY PROJECT PLANNER**

|   |   |   |
|---|---|---|
| <input checked="" type="checkbox"/>   | <b>No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.</b> |   |
|   | <b>Project Approval Action:</b><br>Historic Preservation Commission & Variance Hearing  | <b>Signature:</b><br>Stephanie Cisneros |
|   | If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.   | 12/05/2019                              |
| Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.<br>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action.<br>Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals. |   |   |

## STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

### TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

### PROPERTY INFORMATION/PROJECT DESCRIPTION

|  |                              |   |
|--|------------------------------|---|
| Project Address (If different than front page) |                              | Block/Lot(s) (If different than front page) |
| 73-75 FAIR OAKS ST                             |                              | 3618/055                                    |
| Case No.                                       | Previous Building Permit No. | New Building Permit No.                     |
| 2019-004933PRJ                                 | 201904047122                 |   |
| Plans Dated                                    | Previous Approval Action     | New Approval Action                         |
|  | Other (please specify)       |   |
| Modified Project Description:                  |                              |   |

### DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

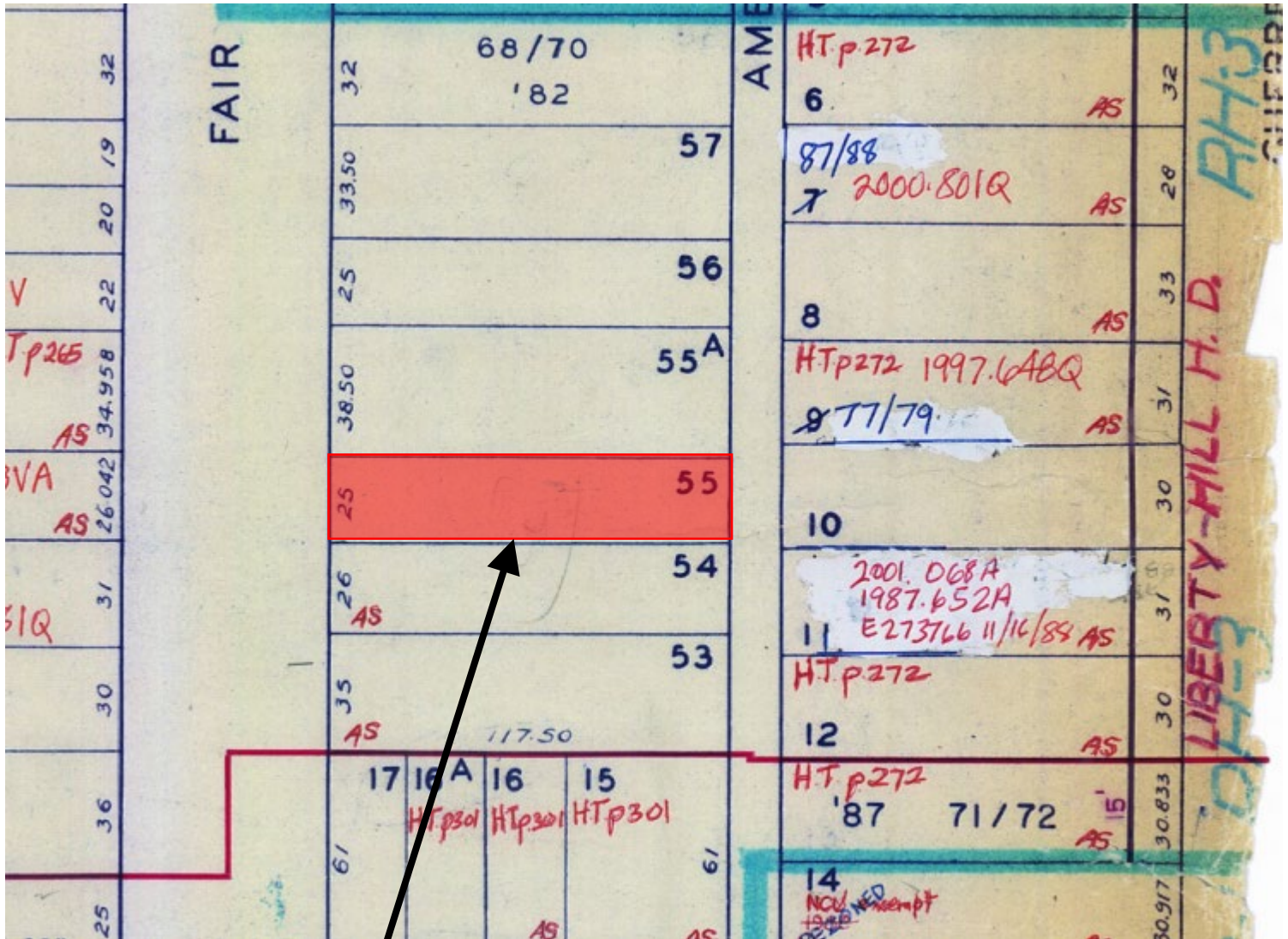
|   |  |
|---|--|
| Compared to the approved project, would the modified project:                                   |  |
| <input type="checkbox"/>  | Result in expansion of the building envelope, as defined in the Planning Code;   |
| <input type="checkbox"/>  | Result in the change of use that would require public notice under Planning Code Sections 311 or 312;  |
| <input type="checkbox"/>  | Result in demolition as defined under Planning Code Section 317 or 19005(f)?   |
| <input type="checkbox"/>  | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |
| <b>If at least one of the above boxes is checked, further environmental review is required.</b> |  |

### DETERMINATION OF NO SUBSTANTIAL MODIFICATION

|  |   |
|--|---|
| <input type="checkbox"/>   | The proposed modification would not result in any of the above changes. |
| If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination. |   |
| Planner Name:  | Date:   |
|  |   |



# Parcel Map



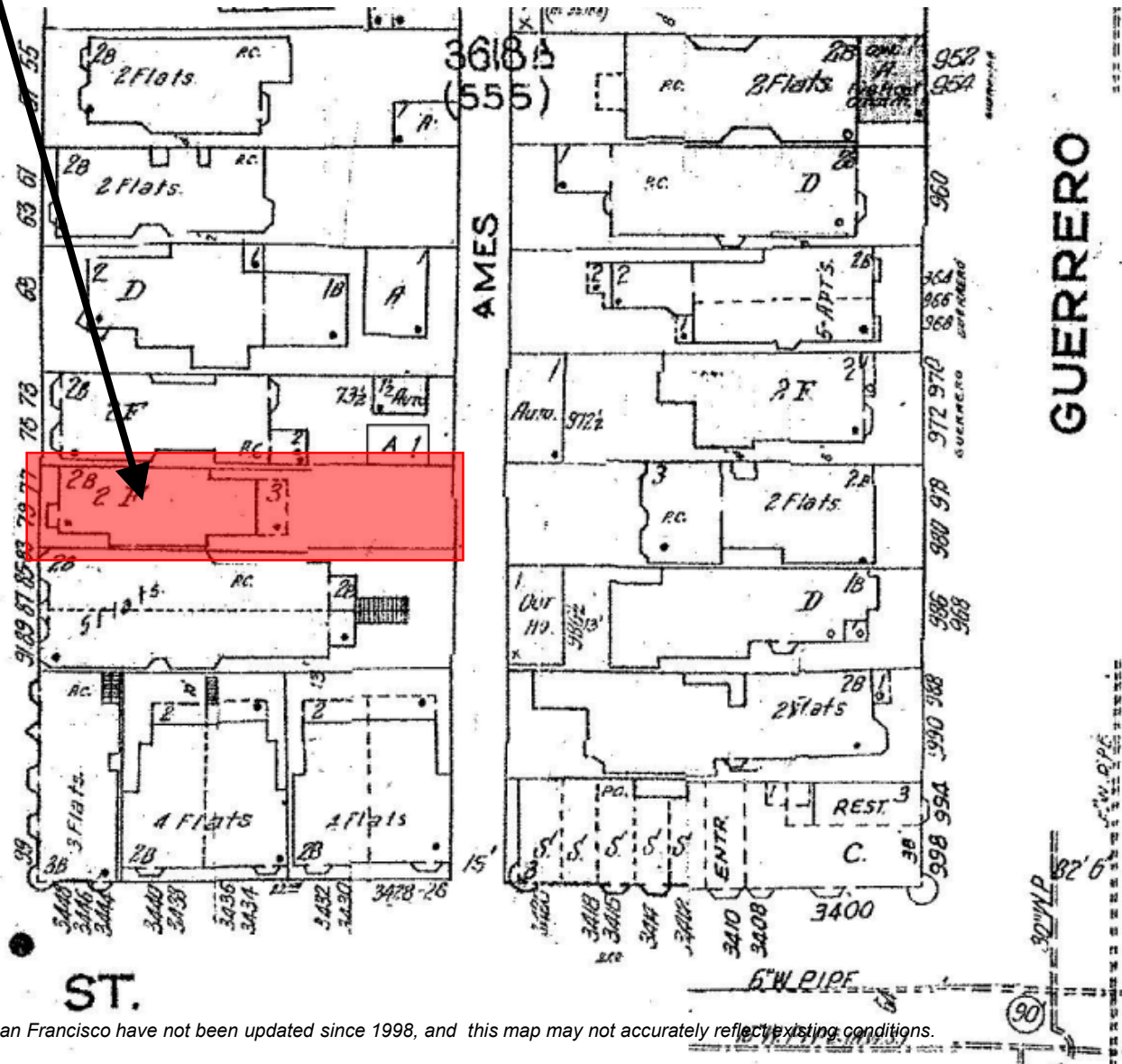
**SUBJECT PROPERTY**



Certificate of Appropriateness Hearing  
 Case Number 2019-004933COA  
 73-75 Fair Oaks Street

# Sanborn Map\*

SUBJECT PROPERTY

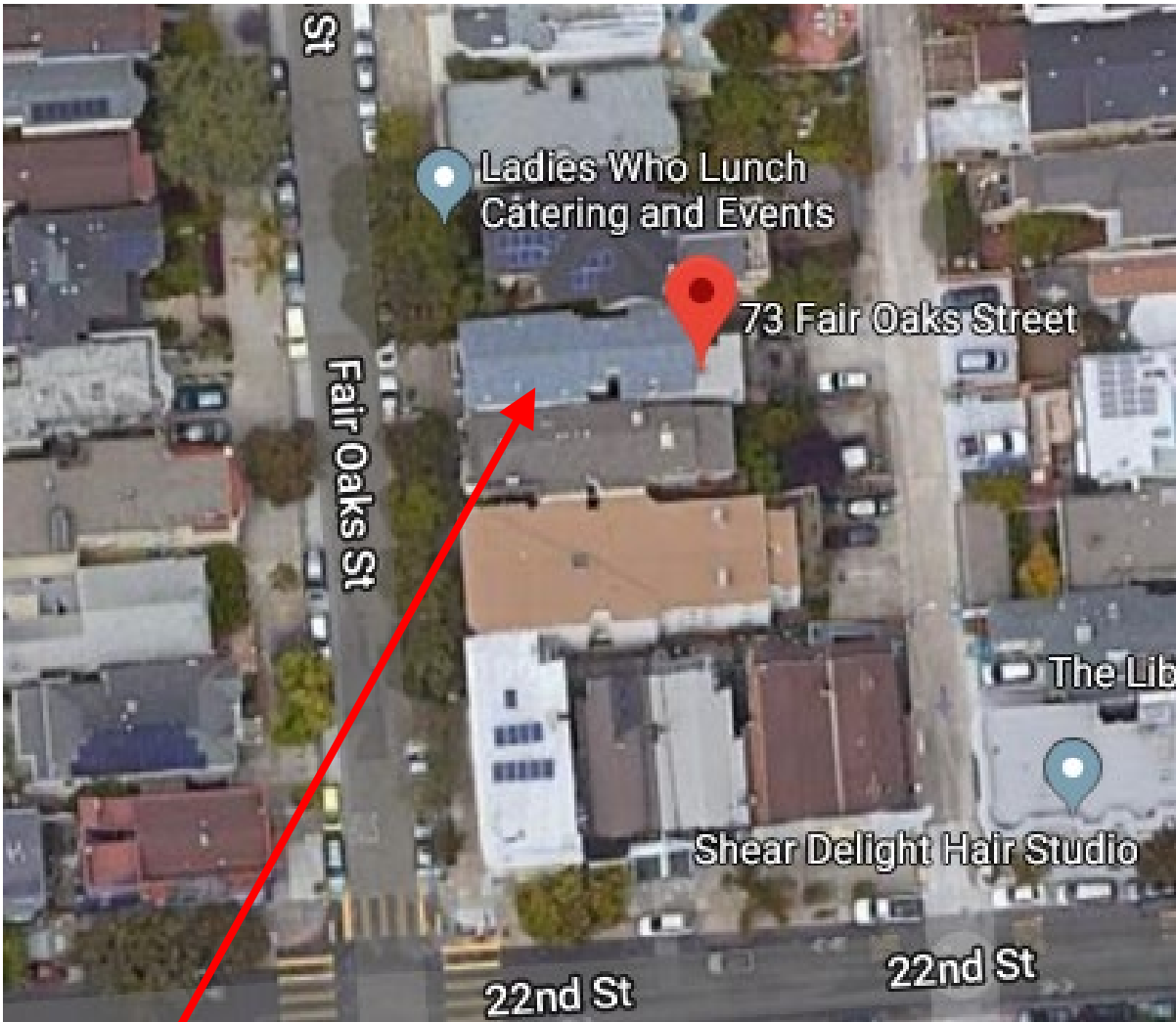


\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

Certificate of Appropriateness Hearing  
 Case Number 2019-004933COA  
 73-75 Fair Oaks Street



# Aerial Photo – View 1

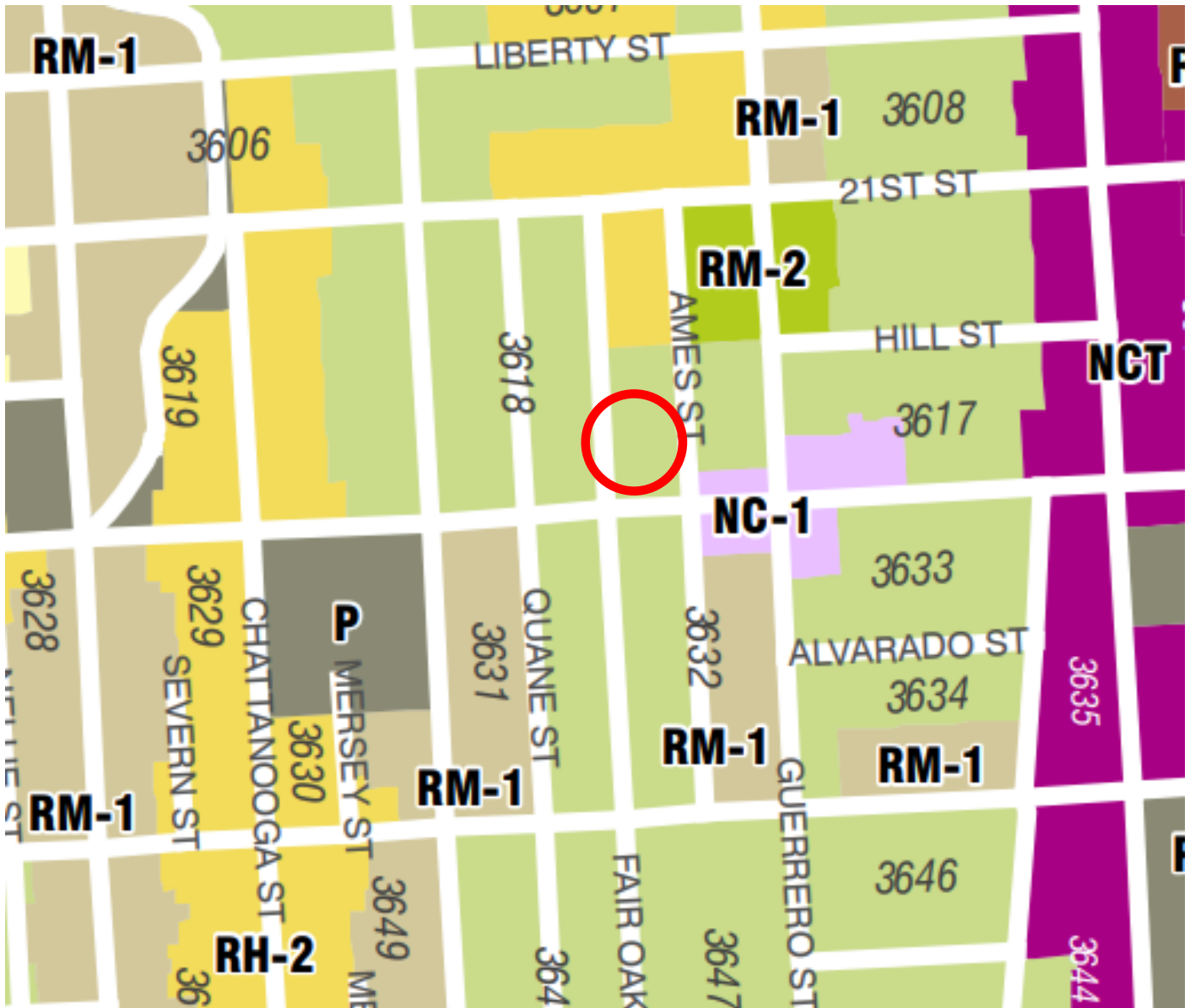


**SUBJECT PROPERTY**



Certificate of Appropriateness Hearing  
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# Zoning Map



Certificate of Appropriateness Hearing  
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# Site Photo



Certificate of Appropriateness Hearing  
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73-75 Fair Oaks Street