



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Executive Summary

HEARING DATE: NOVEMBER 6, 2019
CONSENT

Record No.: 2019-004892COA
Project Address: 178 TOWNSEND STREET
Landmark: Contributor, South End Landmark District
Zoning: CMUO (CENTRAL SOMA-MIXED USE OFFICE) Zoning District
65-X Height and Bulk District
Block/Lot: 3788/131
Project Sponsor: Bassel Samaha, Samaha+Hart Architecture
442 Post Street, Suite 301
San Francisco, CA 94102
Staff Contact: Monica Giacomucci – (415) 575-8714
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PROPERTY DESCRIPTION

178 TOWNSEND ST is located on the north side of Townsend Street between Clarence Place and Stanford Street (Assessor's Block 3788; Lots 131 through 226). The subject building is a contributor to the South End Landmark District, locally designated under Article 10, Appendix I of the Planning Code.

The existing building is a one-story, brick industrial building constructed in 1888 as an electricity-generating plant for the California Electric Light Company by the architectural firm of Percy & Hamilton and designed in the 19th-Century Commercial Style. The building was damaged by the 1906 Earthquake and a subsequent (unrelated) fire. It was heavily altered through 1908, when its second and third floors were removed and the stepped gable parapet was added. A four-story vertical addition containing 94 dwelling units was constructed above the one-story brick building in 2009.

PROJECT DESCRIPTION

The proposed project involves removal and replacement of the existing non-historic recessed aluminum and reflective-glass storefront along Townsend Street. The existing storefront is recessed approximately five feet from the property line, and the proposed storefront will be recessed approximately three feet. The new storefront will be comprised of painted wood and clear glass, with double-leaf glazed doors flanked by sidelites and topped with a transom. Please see photographs and plans for details.

COMPLIANCE WITH PLANNING CODE

Planning Code Development Standards.

The proposed project is in compliance with all other provisions of the Planning Code. In order to proceed, a building permit from the Department of Building Inspection is required.

Applicable Preservation Standards.

The proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 1006.6 of the Planning Code, and complies with the *Secretary of the Interior's Standards for Rehabilitation*, in that:

- the proposal will remove a non-historic storefront system;
- the new storefront will incorporate painted wood and clear glazing, which is typical at ground floor entries in the Landmark District and more compatible than the existing aluminum storefront with reflective glass;
- the proposal respects the character-defining features of the subject building;
- the architectural character of the subject building will be maintained and that replacement elements will not affect the building's overall appearance;
- the integrity of distinctive stylistic features and examples of skilled craftsmanship that characterize the building shall be preserved; and,
- all new materials shall match the historic material in composition, design, color, texture, finish and other visual qualities and shall be based on accurate duplication of features.

The Department has determined that the proposed work will be in conformance with the requirements of Article 10 and the *Secretary of Interior's Standards for Rehabilitation*. Proposed work will not damage or destroy distinguishing original qualities or character of the subject building. The overall proposal includes removal of a non-historic storefront and replacement with an aesthetically restrained, materially compatible storefront with a shallow recess. The Department finds that the historic character of the building will be retained and preserved and will not result in the removal of historic fabric.

PUBLIC/NEIGHBORHOOD INPUT

To date, the Department has not received public comment or inquiry about the proposed project.

ISSUES & OTHER CONSIDERATIONS

The Project is fully code compliant and is supported by Department Staff.

ENVIRONMENTAL REVIEW STATUS

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

BASIS FOR RECOMMENDATION

The Department recommends APPROVAL of the proposed project as it meets the provisions of Article 10 of the Planning Code regarding Major Alteration to a contributing resource in a Landmark District and the *Secretary of the Interior Standards for Rehabilitation*.

ATTACHMENTS

- Draft Motion – Certificate of Appropriateness
- Exhibit A – Plans and Renderings
- Exhibit B – Environmental Determination
- Exhibit C – Maps and Context Photos



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Draft Motion

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR MAJOR ALTERATIONS DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10 OF THE SAN FRANCISCO PLANNING CODE, AND TO MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 131 IN ASSESSOR'S BLOCK 3788 IN A CMUO CENTRAL SOMA-MIXED USE OFFICE ZONING DISTRICT AND A 65-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On April 5, 2019, Bassel Samaha of Samaha+Hart Architecture (hereinafter "Project Sponsor") filed Application No. 2019-004892COA (hereinafter "Application") with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness for a storefront alteration at a subject building located on Lots 131-226 in Assessor's Block 3788, which is a contributing resource to the South End Landmark District and locally designated under Article 10, Appendix I of the Planning Code.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

On November 6, 2019, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Certificate of Appropriateness Application No. 2019-004892COA.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2019-004892COA is located at 1650 Mission Street, Suite 400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby APPROVES the Certificate of Appropriateness, as requested in Application No. 2019-004892COA in conformance with the architectural plans dated October 1, 2019 and labeled Exhibit B based on the following findings:

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. **Project Description.** The proposed project involves removal and replacement of the existing non-historic recessed aluminum and reflective-glass storefront. The existing storefront is recessed approximately five feet from the property line, and the proposed storefront will be recessed approximately three feet. The new storefront will be comprised of painted wood and clear glass, with double-leaf glazed doors flanked by sidelites and topped with a transom. Please see photographs and plans for details.
3. **Property Description.** The subject building at 178 Townsend Street is located on the north side of Townsend Street between Clarence Place and Stanford Street (Assessor's Block 3788; Lots 131 through 226). The subject building is a contributor to the South End Landmark District, which is locally designated under Article 10, Appendix I of the Planning Code. The existing building is designed in a 19th-Century Commercial Style, and is a one-story, brick industrial building constructed in 1888 as an electricity-generating plant for the California Electric Light Company by the architectural firm of Percy & Hamilton. The building was damaged by the 1906 Earthquake and a subsequent (unrelated) fire. It was heavily altered through 1908, when its second and third floors were removed and the stepped gable parapet was added. A four-story vertical addition containing 94 dwelling units was constructed above the one-story brick building in 2009.
4. **Surrounding Properties and Neighborhood.** The South End Landmark District is a seven-block area located along Townsend and 2nd Streets in the South of Market neighborhood of San Francisco. South End represents the development of maritime, industrial, and warehouse buildings along the southern waterfront in the decades following the Gold Rush, when San Francisco became the West Coast's principal seaport. Contributing buildings in South End Landmark District are typically constructed of brick or reinforced concrete and designed in the 19th-Century Commercial Style, expressing functionality over aesthetic considerations. Decorative elements are typically limited to arched window openings, stepped pediments, and patterned brickwork.

While the majority of buildings along the subject block of Townsend Street were constructed during the South End Landmark District's Period of Significance (1867 to 1935), several new residential and mixed-use developments have been constructed in the past two decades. These are

primarily located across the street from the subject property, so that the north side of Townsend retains a high concentration of historic warehouse buildings.

The building immediately northwest of the subject property, 164 Townsend, is a three-story, stucco-clad reinforced concrete building with Classical Revival applied elements constructed in 1920 by Herman C. Baumann. Originally serving as the headquarters for the Winchester-Simmons Company, 164 Townsend was converted to live-work units in 1997. Located southeast of the subject property at the corner of Townsend and Clarence Place, 180 Townsend was originally constructed as a three-story wine storage warehouse for the California Wine Association in 1905 by Meyer & O'Brien and John H. Powers. The brick building is characterized by its arched window openings, marble cartouches, and a prominent cornice.

5. **Public Outreach and Comments.** The Department has not received any public inquiry or comment regarding the proposed project.
6. **Planning Code Compliance.** The Commission has determined that the proposed work is compatible with the exterior character-defining features of the subject property and meets the requirements of Article 10 of the Planning Code in the following manner:

- A. **Article 10 of the Planning Code.** Pursuant to Section 1006.6 of the Planning Code, the proposed alteration shall be consistent with and appropriate for the effectuation of the purposes of this Article 10.

The proposed project is consistent with Article 10 of the Planning Code.

- B. **Secretary of the Interior's Standards.** Pursuant to Section 1006.6(b) of the Planning Code, the proposed work shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties for significant and contributory buildings, as well as any applicable guidelines, local interpretations, bulletins, or other policies. Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

- (1) **Standard 1:** A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

Not applicable. The proposal does not involve a change of use.

- (2) **Standard 2:** The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposal is to replace a non-historic aluminum and reflective glass storefront installed in 2009 with a painted wood and clear glass storefront. These changes will not remove distinctive materials, nor irreversibly alter features that characterize the building.

- (3) **Standard 3:** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The original entry configuration and materials for this building are unknown, and a solid metal roll-up door was in place at the subject property as recently as 2009. The proposed wood and glass storefront is restrained in its design to avoid creating a false sense of historic development while allowing for more compatible materials at the entry.

- (4) **Standard 4:** Changes to a property that have acquired historic significance in their own right will be retained and preserved.

The storefront system proposed for removal is a modern intervention and has not gained significance in its own right.

- (5) **Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

Not applicable.

- (6) **Standard 6:** Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Not applicable.

- (7) **Standard 7:** Chemical or physical treatments, if possible, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Not applicable.

- (8) **Standard 8:** Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Not applicable.

- (9) **Standard 9:** New additions, exterior alterations, or related new construction will not destroy historic materials and features that characterize the building. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed work will not destroy historic materials or features that characterize the building. The new wood storefront will be differentiated from the existing wood windows and doors found at the subject property through its lack of divided lites and simple overall design.

- (10) **Standard 10:** New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed work would not damage or destroy the resource if removed in the future. The central opening has been altered several times over the building's history, resulting in no negative impacts to the building's essential form and integrity.

- C. **South End Landmark District.** Article 10 of the Planning Code outlines specific findings for the Commission to consider when evaluating applications for alterations to Landmarks or within designated Historic Districts.

1. Pursuant to Section 1006.6(d) of the Planning Code, for applications pertaining to property in historic districts, other than on a designated landmark site, any new construction, addition or exterior change shall be compatible with the character of the historic district as described in the designating ordinance; and, in any exterior change, reasonable efforts shall be made to preserve, enhance or restore, and not to damage or destroy, the exterior architectural features of the subject property which are compatible with the character of the historic district.

The project is in conformance with Article 10, and as outlined in Appendix A, as the work shall not adversely affect the Landmark site.

2. Pursuant to Section 1006.6(e) of the Planning Code, for applications pertaining to all property in historic districts, the proposed work shall also conform to such further standards as may be embodied in the ordinance designating the historic district.

The project is in conformance with Article 10, and the work is compatible with the specific review standards for the South End Landmark District under Section 7 of Appendix L as follows:

7(a). Character of the Historic District. The standards for review of all applications for the Certificate of Appropriateness are set forth in Section 1006.7 of Article 10. For

purposes of review pursuant to these standards, the character of the historic district shall mean the exterior architectural features as well as the historic brick and stone paving materials described in Section 6 of this ordinance.

The proposal concerns exterior architectural features, which are designed to be consistent with the character of the South End Landmark District.

7(b). New Construction. New construction on vacant sites should conform to the general profile of the District, especially as to scale, sculptural qualities of facade and entrance detailing, fenestration patterns and materials described in Section 6 of this ordinance.

Not Applicable.

7(c). Masonry, Brickwork and Stonework. A Certificate of Appropriateness shall be required for painting previously unpainted masonry, brick or stone exterior surfaces, for cleaning such surfaces with abrasives and/or treatment of such surfaces with waterproofing chemicals. Sandblasting and certain chemical treatment detrimental to masonry will not be approved.

Not Applicable.

7(d). Alterations. It is recognized that certain alterations to the exteriors of buildings within the Historic District may be necessary in order to accommodate adaptive reuse of, and to provide sufficient light and air in, such buildings. Substantial alterations to Principal Facades, as defined in Planning Code Section 102, should be discouraged. Substantial alterations to non-principal facades, not originally intended to be viewed from the street, may be appropriate, provided such alterations maintain the character of the historic district.

Although the proposal includes an alteration to a principal façade, the scope of work is limited to the non-historic storefront and is not substantial so as to negatively impact the character-defining features of the resource or the Landmark District.

7(e). 200 Brannan Street, Lot 24 within Assessor's Block 3774 is a site proposed for high-density mixed-income housing within the Rincon Point-South Beach Redevelopment Project Area Plan. The subject property is a donut-shaped group of buildings of different dates behind a single unifying wall and the continuous facade wall which runs along the First and Brannan Streets is the contributory element of the site and adaptive reuse of the subject property is acceptable.

Not Applicable.

- 7. General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2:

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

Policy 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

Policy 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject property for the future enjoyment and education of San Francisco residents and visitors.

8. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:
 - A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will support interior expansion of a neighborhood-serving retail use by minimizing an existing non-historic storefront recess.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not affect the City's affordable housing supply.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project will not have a direct impact on the displacement of industrial and service sectors.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

All construction will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

9. For these reasons, the proposal overall, appears to meet the *Secretary of the Interior's Standards* and the provisions of Article 10 of the Planning Code regarding Major Alterations.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES a Certificate of Appropriateness** for the subject property located at Lots 131 through 226 in Assessor's Block 3788 for proposed work in conformance with the architectural submittal dated October 1, 2019 and labeled Exhibit B on file in the docket for Record No. 2019-004892COA.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days after the date of this Motion No. XXXXXX. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 1650 Mission Street, (Room 304) or call (415) 575-6880.

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on November 6, 2019.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: November 6, 2019

ABBREVIATIONS

ADJ.	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
APPROX.	APPROXIMATE
BM.	BEAM
BOT.	BOTTOM
B.S.	BUILDING STANDARD
BTWN	BETWEEN
☐	CENTER LINE
CEM.	CEMENT
CER.	CERAMIC
C.J.	CONTROL JOINT
CLG.	CEILING
CLOS.	CLOSET
CLR.	CLEAR
CONC.	CONCRETE
CONT.	CONTINUOUS
CT	CERAMIC TILE
C.V.S.	CENTRAL VACUUM
DBL.	DOUBLE
DIA.	DIAMETER
DIM.	DIMENSION
DS.	DOWNSPOUT
(E)	EXISTING
EA	EACH
ELECT.	ELECTRICAL
EQ.	EQUAL
EXT.	EXTERIOR
F.D.V.	FIRE DEPARTMENT VALVE
F.E.C.	FIRE EXTINGUISHER CABINET
FIN.	FINISH
FL/FLR	FLOOR
F.O.	FACE OF
FT.	FEET
GALV.	GALVANIZED
GL	GLASS
G.S.M.	GALVANIZED SHEET METAL
GWB	GYPSPUM WALL BOARD
H.O	WATER
H.B.	HOSE BIBB
HGT.	HEIGHT
HORIZ.	HORIZONTAL
HR	HOUR
IC	INSIDE CLEAR
INSUL.	INSULATION
INT.	INTERIOR
MEMB.	MEMBRANE
MET.	METAL
MIN.	MINIMUM
MISC.	MISCELLANEOUS
M.R.	MOISTURE RESISTANT
MTD.	MOUNTED
MTL.	METAL
(N)	NEW
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OCC.	OCCUPANCY
O.D.	OVERFLOW DRAIN
OPP.	OPPOSITE
PL	PLATE
PLAS.	PLASTER
PLYWD.	PLYWOOD
PTD	PAINTED
PTN	PARTITION
PR.	PAIR
PROP.	PROPERTY
QTY.	QUANTITY
R.	RISER
(R)	RELOCATED
REF.	REFERENCE
REFR.	REFRIGERATOR
REQ./REQD.	REQUIRED
R.D.	ROOF DRAIN
RWL	RAIN WATER LEADER
SEP.	SEPARATION
SIM.	SIMILAR
SHT'G	SHEATHING
S.L.D.	SEE LANDSCAPE DWGS.
SPEC.	SPECIFICATION
S.S.D.	SEE STRUCTURAL DWGS.
STL.	STEEL
STOR.	STORAGE
T.B.	TOWEL BAR
TEMP.	TEMPERED
T&G	TONGUE AND GROOVE
THK.	THICK
THRU.	THROUGH
T.O.	TOP OF
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITION TILE
V.I.F.	VERIFY IN FIELD
WC	VINYL WALL COVERING
W/	WITH
WD.	WOOD
W.H.	WATER HEATER
W.O.	WHERE OCCURS
W/O	WITHOUT
WP.	WATERPROOF

GENERAL NOTES

ARCHITECTURAL

1. All construction to conform to the following codes: 2016 San Francisco Building Code, 2016 San Francisco Mechanical Code, 2016 San Francisco Electrical Code, 2016 San Francisco Plumbing Code, 2016 San Francisco Fire Code, and the 2016 California Energy Code.

Permits: Contractor shall obtain and pay for the plumbing, and all other permits, etc., required by the governing authorities for the scope limited to only the work in the Architects Drawings. All other work noted N.I.C. (not in contract) is by others.

2. Contractor shall examine and verify existing conditions of the job site. Any discrepancy between drawings and existing conditions shall be recorded and reported with a submittal copy to the Architect for resolution prior to commencement of work.

3. The contractor will notify the Architect about any condition requiring a modification or change before proceeding with the work.

4. All penetrations of the building envelope shall be fully caulked and sealed unless otherwise noted. Contractor to insure watertight conditions, including but not limited to, all new roofing, doors and windows.

5. All dimensions are to the finish face of cased openings, face of finish jamb (doors and windows), etc. Unless otherwise noted.

6. DO NOT SCALE THE DRAWINGS.

7. Verify all dimensions in field.

8. Use manufacturer's standard detail for all flashing unless otherwise noted.

9. Provide Fireblocking at ceiling, floor, furred down ceilings, showers, soffits and at concealed draft openings not to exceed 10 feet maximum. CBC 708.

DEMOLITION

1. The contractor is to dispose of demolition debris of site in a legal and ethical manner. Dump fees are to be paid by the contractor. Thoroughly clean and keep entire construction area free of debris and waste material to the satisfaction of the owner and architect.

2. The contractor shall protect existing structures and trees to be saved from damage. The contractor is responsible for the full repair and/or replacement cost for any damage caused.

3. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages

ELECTRICAL

1. All utilities (but not limited to the following: gas, electric, water, sewer, etc.) shall be inspected for existing and new capacity and modified as required to meet codes per note #1 above.

2. Provide 2-min. separate 20 amp circuits to kitchen appliances.

3. Provide 2-min separate 20-amp circuit to laundry appliances per NEC 220-4 (c).

4. All clothes closet lamps shall conform to clearances per NEC 410-8.

5. All electrical outlets located on opposite side of rated firewalls shall have a minimum 24" horizontal separation. CBC 709.7.

6. Space electrical outlets per NEC at rooms and hallways (max. 12 feet on center) per sec. 210-52 NEC

7. Smoke detectors shall be provided at all bedrooms and in areas leading to bedroom. There must be a minimum of one smoke detector on each level. Smoke detectors must be hardwired with battery back up and must be interconnected. Smoke detectors must be installed per manufacturer's specifications. CBC 907.2.10.1.

8. Specify GFCI protected outlets in garage, in bathrooms, in crawlspace or unfinished basements, and for non-dedicated outlets above kitchen counter tops and counter top within 6' of wet bar sink. NEC 210-8(a).

9. Space electrical outlets at counter tops (max. 2 feet from any edge & 4 feet on center there after) per sec. 210-52(c) of NEC

10. Provide a switch operated light at every exit (sec. 210-70 NEC).

SYMBOLS

	SECTION/ELEVATION
	DETAIL
	INTERIOR ELEVATION(S)
	ROOM IDENTIFICATION ROOM NAME ROOM NO.
	PROPERTY LINE
	NEW OR FINISHED CONTOURS
	TOP OF CURB
	TOP OF WALL
	TOP OF PAVEMENT
	DOOR SYMBOL
	WINDOW TYPE
	LOUVER TYPE
	REVISION
	MATCH LINE
	DATUM POINT
	WALL TYPES

PROJECT DATA

ADDRESS: 178 TOWNSEND STREET
SAN FRANCISCO, CA 94102
3788/131 and 132
BLOCK/LOT:
ZONING DISTRICT: CMUO: CENTRAL SOMA MIXED USE-OFFICE
HISTORIC DISTRICT: SOUTH END
CONSTRUCTION TYPE: I-B
OCCUPANCY: MIXED-USE (R-2, A-2, M, S-2)

PROJECT TEAM

ARCHITECT:

SAMAHA+HART ARCHITECTURE
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CONTACT: BASSEL SAMAHA, AIA

OWNER:

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CONTACT: PATRICK CABRERA

TENANT:

SAISON HOSPITALITY
178 TOWNSEND STREET
SAN FRANCISCO, CA 94107
T. 415.428.7990
CONTACT: BEVAN BUNCH

CONTRACTOR

TERRA NOVA INDUSTRIES
1607 TICE VALLEY BLVD
WALNUT CREEK, CA 94595
T. 925-934-6133
CONTACT: RON TAYLOR
LICENSE NUMBER:

PROJECT DESCRIPTION

THE SCOPE OF THE PROJECT INCLUDES THE REMOVAL AND RELOCATION OF THE EXISTING ENTRY DOORS AND SIDELITES. THE EXISTING DOORS AND SIDELITES ARE ALUMINUM AND GLASS. THE NEW PROPOSED DOORS AND SIDELITES ARE TO BE PAINTED WOOD WITH CLEAR GLASS. THE NEW DOORS WILL ALSO INCLUDE A POWER OPERATOR FOR INCREASED ACCESSIBILITY.

DRAWING INDEX

ARCHITECTURAL

A0.0	COVER SHEET
A0.1	EXISTING SITE PHOTOS
A1.0	EXISTING SITE PLAN
A2.0	FLOOR PLANS: LEVEL ONE
A5.0	EXTERIOR ELEVATIONS

SAMAHA+HART ARCHITECTURE

442 POST STREET, SUITE 301
SAN FRANCISCO, CA 94102
T 415.399.8700

saison

178 TOWNSEND STREET
SAN FRANCISCO, CA 94107

ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
10.01.19		CERTIFICATE OF APPROPRIATENESS

PROJECT NUMBER

2019-2

SHEET TITLE

COVER PAGE

SCALE
NTS

SHEET NUMBER

A0.0



OVERALL BUILDING VIEW FROM THE SOUTH (TOWNSEND STREET)



DETAIL VIEW OF THE ENTRY DOORS

**SAMAHA+HART
ARCHITECTURE**

442 POST STREET, SUITE 301
SAN FRANCISCO, CA 94102
T 415.399.8700

saison

178 TOWNSEND STREET
SAN FRANCISCO, CA 94107

ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
10.01.19		CERTIFICATE OF APPROPRIATENESS

PROJECT NUMBER
2019-2

SHEET TITLE
**EXISTING
SITE PHOTOS**

SCALE
NTS

SHEET NUMBER

A0.1

saison

178 TOWNSEND STREET
SAN FRANCISCO, CA 94107

TOWNSEND STREET

164 TOWNSEND STREET
(3 STORY)

21 CLARENCE PLACE
SAME BUILDING AS 178 TOWNSEND
BUT W/ A DIFFERENCE ADDRESS
(5 STORY)

SUBJECT PROPERTY:
178 TOWNSEND STREET
(1 STORY W/ MEZZANINE)

CLARENCE PLACE

685 3RD AVENUE
(5 STORY)

180 TOWNSEND STREET
(3 STORY)



ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
10.01.19		CERTIFICATE OF APPROPRIATENESS

PROJECT NUMBER
2019-2

SHEET TITLE
**EXISTING
SITE PLAN**

SCALE
1/8" = 1'-0" (@24"x36" SHEET)

SHEET NUMBER
A1.0

saison

178 TOWNSEND STREET
SAN FRANCISCO, CA 94107

ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
10.01.19		CERTIFICATE OF APPROPRIATENESS

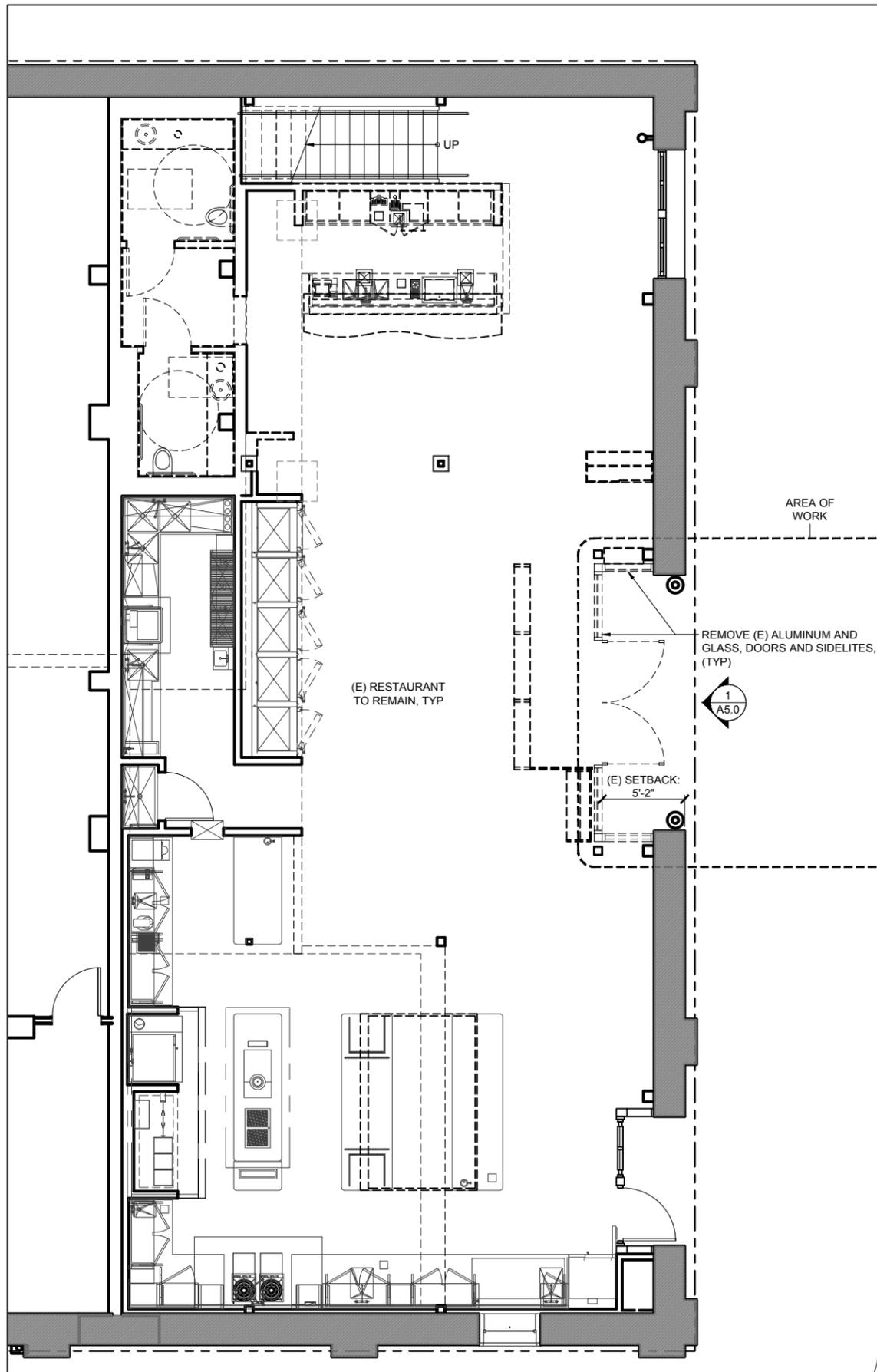
PROJECT NUMBER
2019-2

SHEET TITLE
**FLOOR PLANS:
LEVEL ONE**

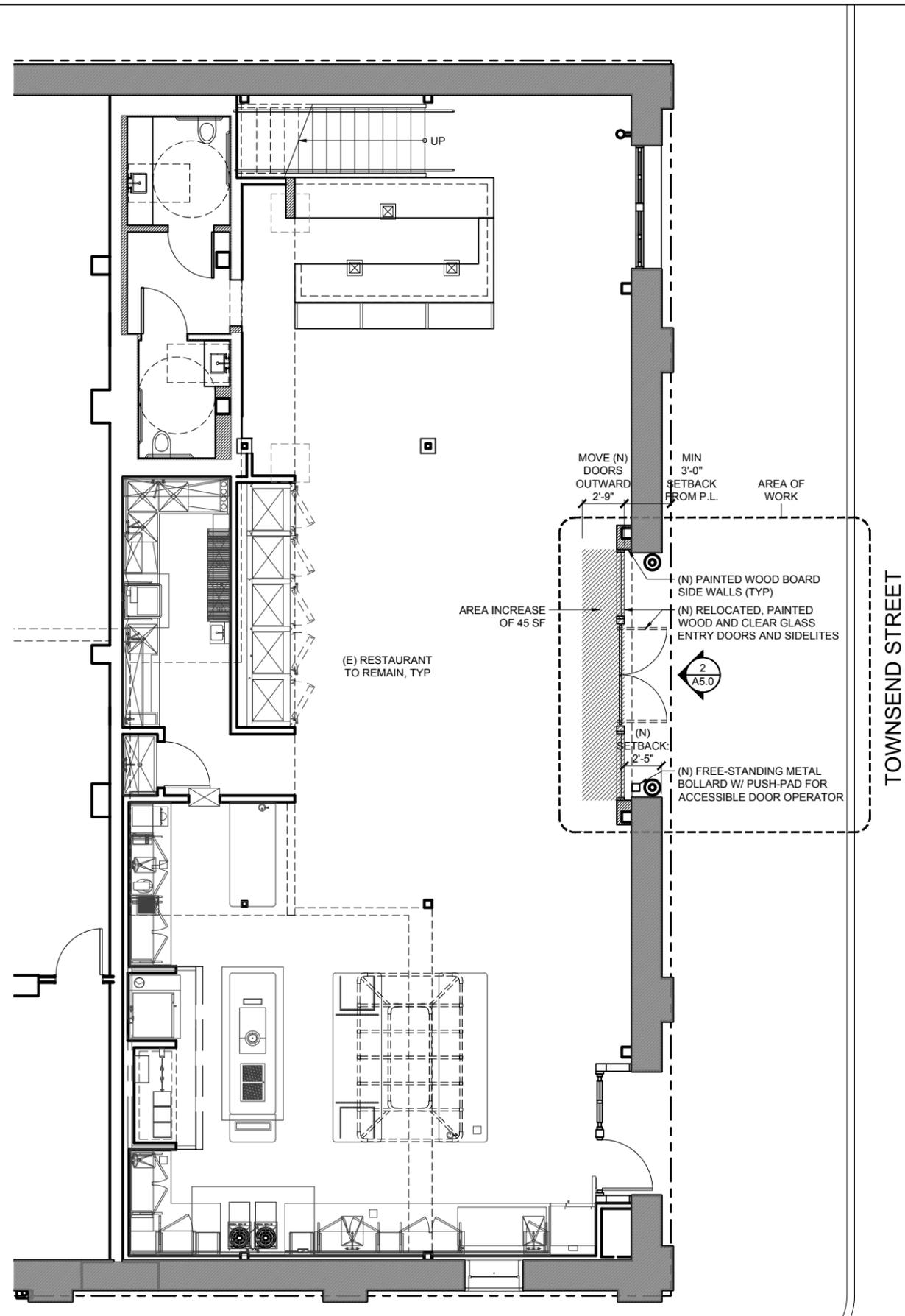
SCALE
1/4" = 1'-0" (@24"x36" SHEET)

SHEET NUMBER

A2.0



1 EXISTING-DEMOLITION FLOOR PLAN: LEVEL 1
A2.0 SCALE: 1/4" = 1'-0"



2 NEW FLOOR PLAN: LEVEL 1
A2.0 SCALE: 1/4" = 1'-0"



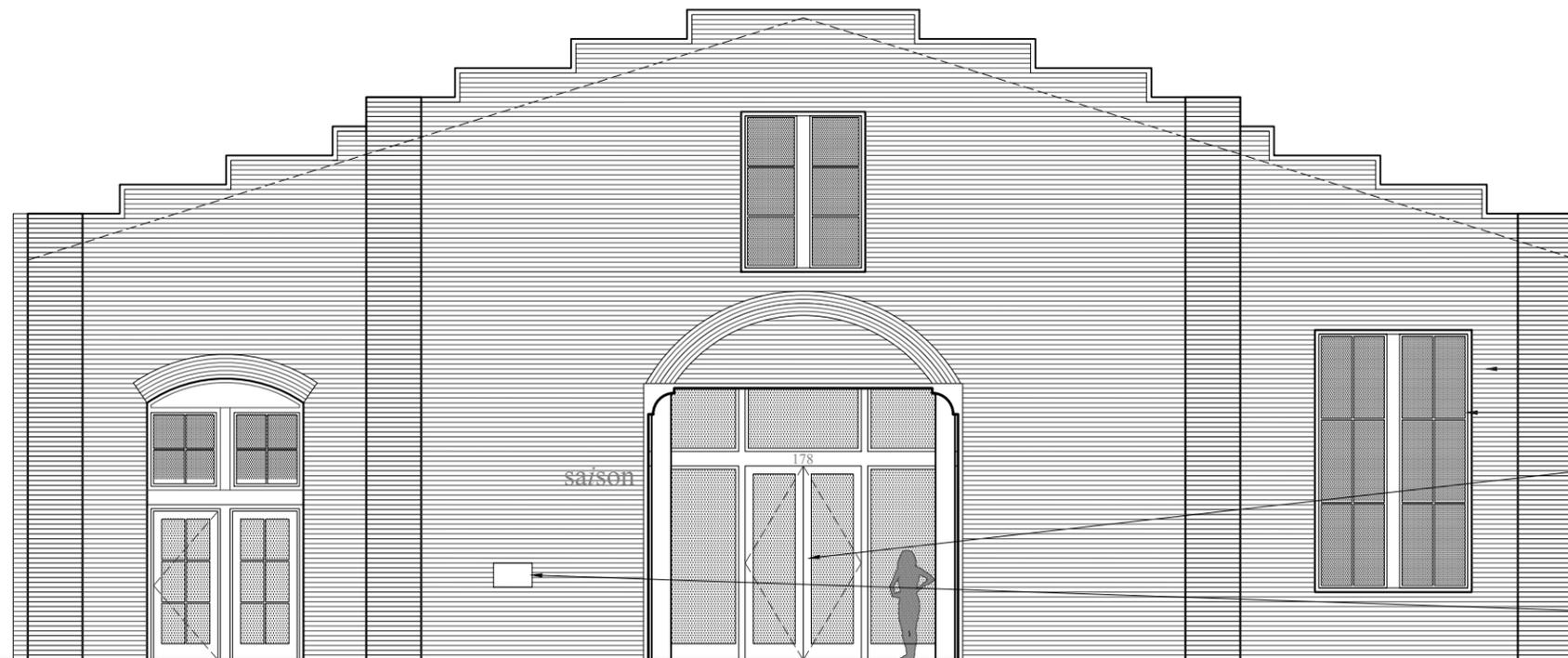
CLARENCE PLACE



- (E) BRICK CLADDING (TYP)
- (E) PAINTED WOOD AND GLASS WINDOWS TO REMAIN (TYP)
- REMOVE (E) ALUMINUM AND GLASS ENTRY DOORS, SIDELITES AND TRANSOM
- (E) BRONZE INTERPRETIVE PLAQUE TO REMAIN

1 EXISTING SOUTH (TOWNSEND STREET) ELEVATION
A5.0 SCALE: 1/4" = 1'-0"

CLARENCE PLACE



- (E) BRICK CLADDING (TYP)
- (E) PAINTED WOOD AND GLASS WINDOWS TO REMAIN (TYP)
- (N) CUSTOM, PAINTED WOOD AND CLEAR GLASS ENTRY DOORS, SIDELITES AND TRANSOM.
- (E) BRONZE INTERPRETIVE PLAQUE TO REMAIN

2 NEW SOUTH (TOWNSEND STREET) ELEVATION
A5.0 SCALE: 1/4" = 1'-0"

ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
10.01.19		CERTIFICATE OF APPROPRIATENESS

PROJECT NUMBER
2019-2

SHEET TITLE
**EXTERIOR
ELEVATION**

SCALE
1/4" = 1'-0" (@24"x36" SHEET)

SHEET NUMBER

A5.0



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
178 TOWNSEND ST		3788131, 3788132
Case No.		Permit No.
2019-004892PRJ		201904057211
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval. REMOVAL & RELOCATION OF THE (E) ENTRY DOORS & SIDELITES WHICH ARE ALUMINUM & GLASS. (N) DOORS & SIDELITES ARE TO BE PAINTED WOOD W/ CLEAR GLASS & TRUE DIVIDED LITES. (N) DOORS WILL ALSO INCLUDE A POWER OPERATOR FOR INCREASED ACCESSIBILITY</p>		

STEP 1: EXEMPTION CLASS

The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? <i>if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography). If yes, Environmental Planning must issue the exemption.
<input type="checkbox"/>	Slope = or > 25%: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.
Comments and Planner Signature (optional):	

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map)	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input checked="" type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <input type="checkbox"/> Reclassify to Category A a. Per HRER or PTR dated <input type="checkbox"/> Reclassify to Category C (attach HRER or PTR) b. Other (specify):
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Monica Giacomucci	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Building Permit	Signature: Monica Giacomucci
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	10/01/2019
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.		

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
178 TOWNSEND ST		3788/131
Case No.	Previous Building Permit No.	New Building Permit No.
2019-004892PRJ	201904057211	
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

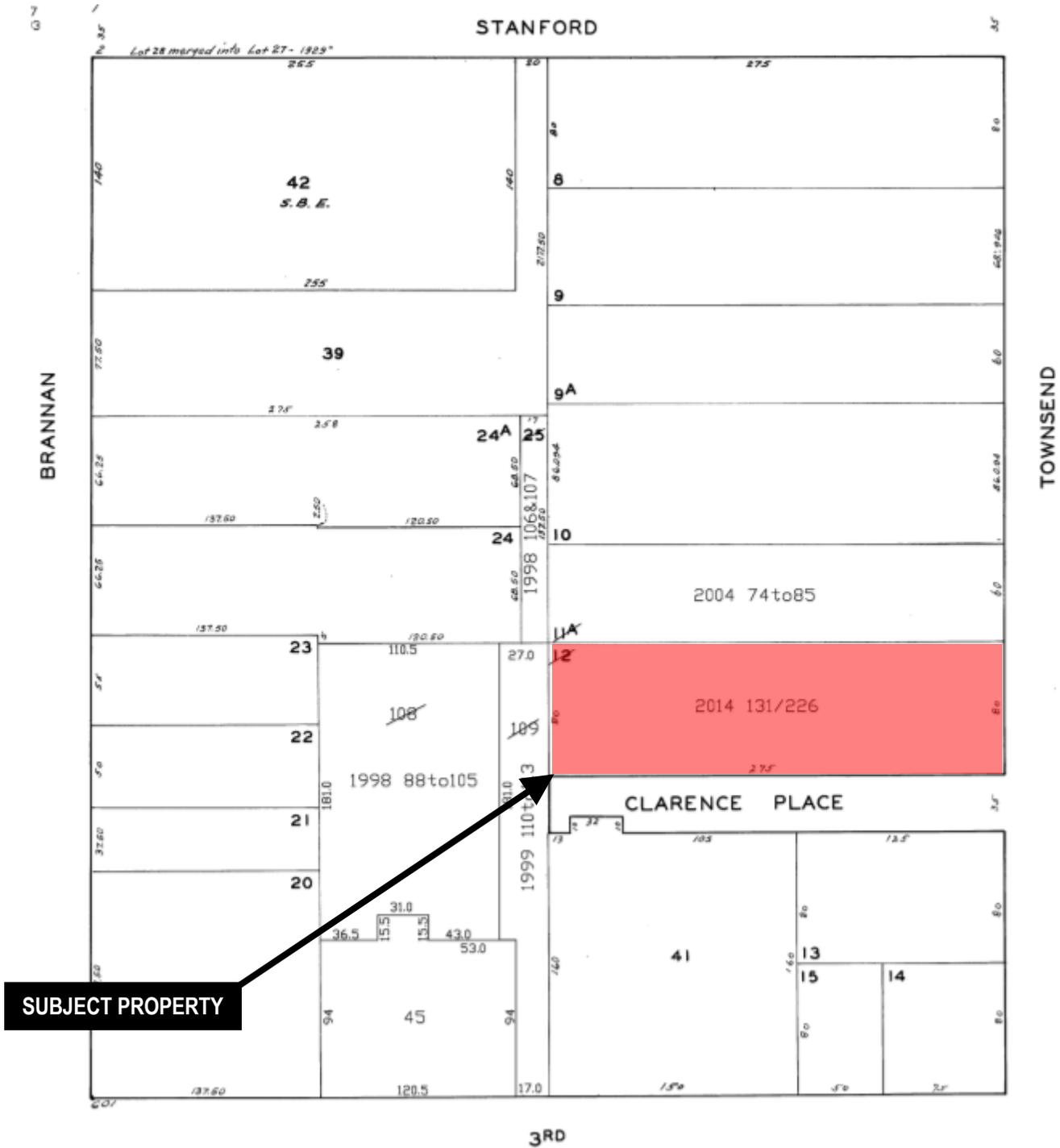
DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.	
Planner Name:	Date:

Parcel Map

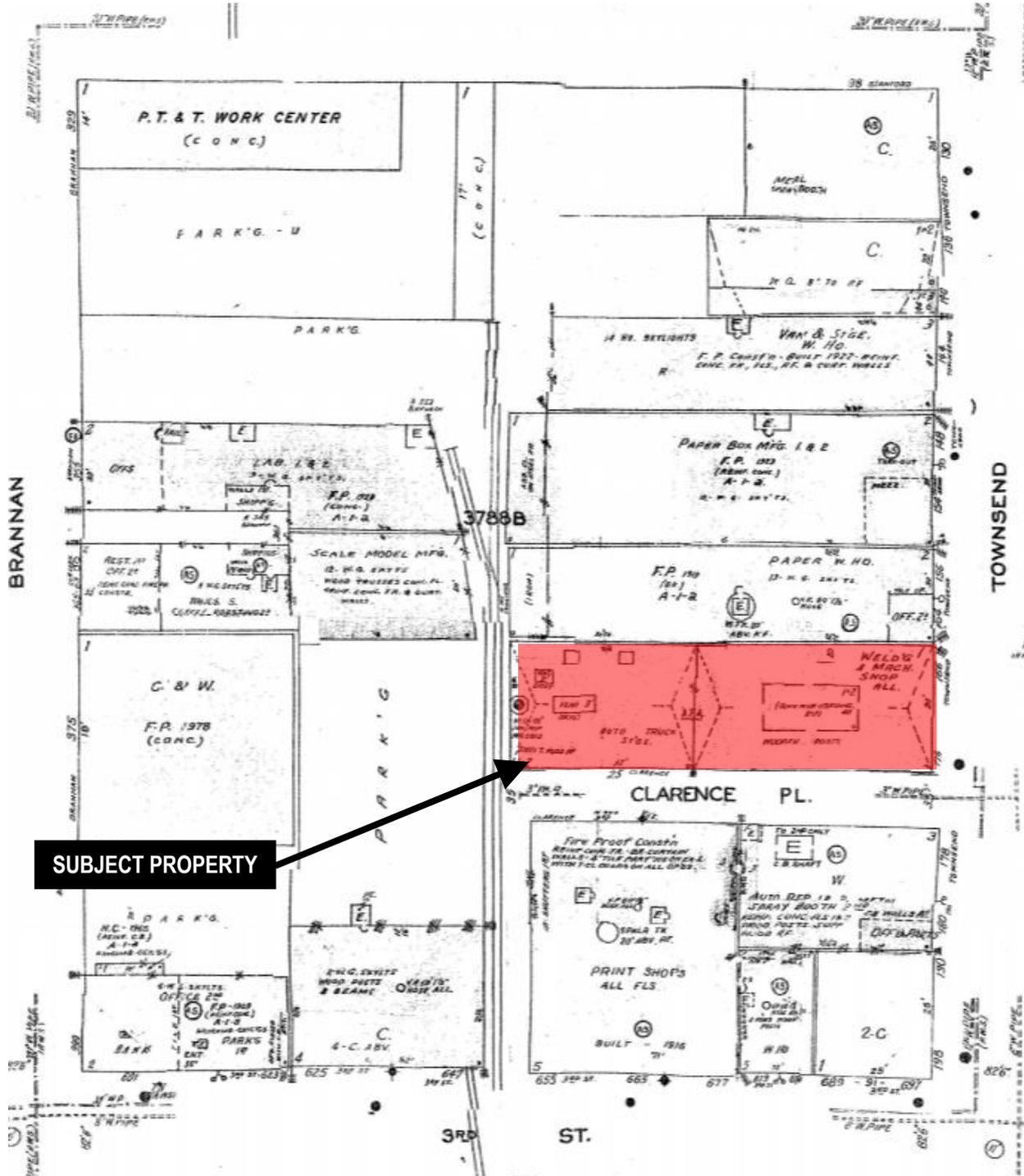


SUBJECT PROPERTY

Certificate of Appropriateness
Case Number 2019-004892COA
178 Townsend Street
Block 3788 Lot 131-226



Sanborn Map*



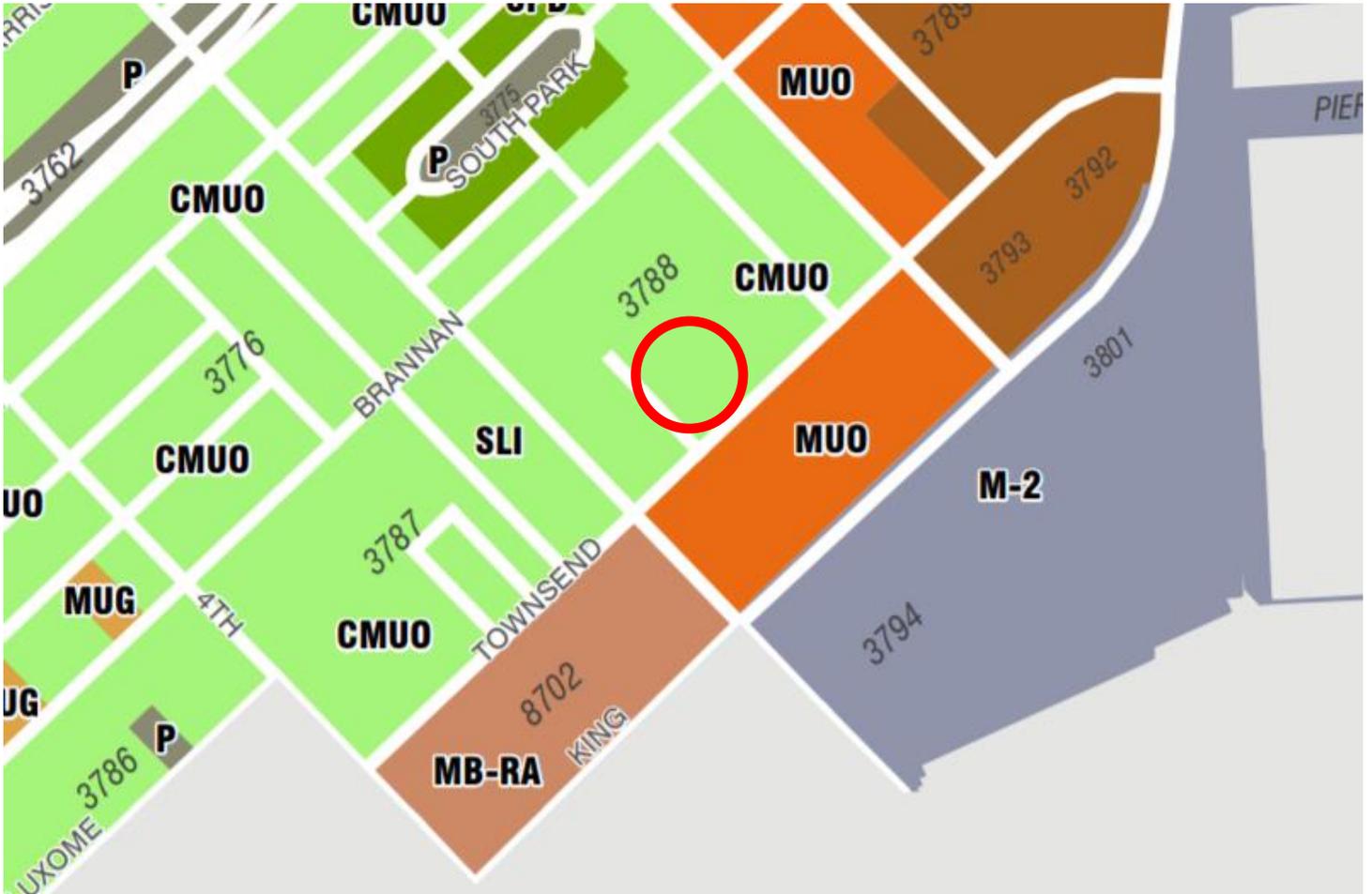
SUBJECT PROPERTY

*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



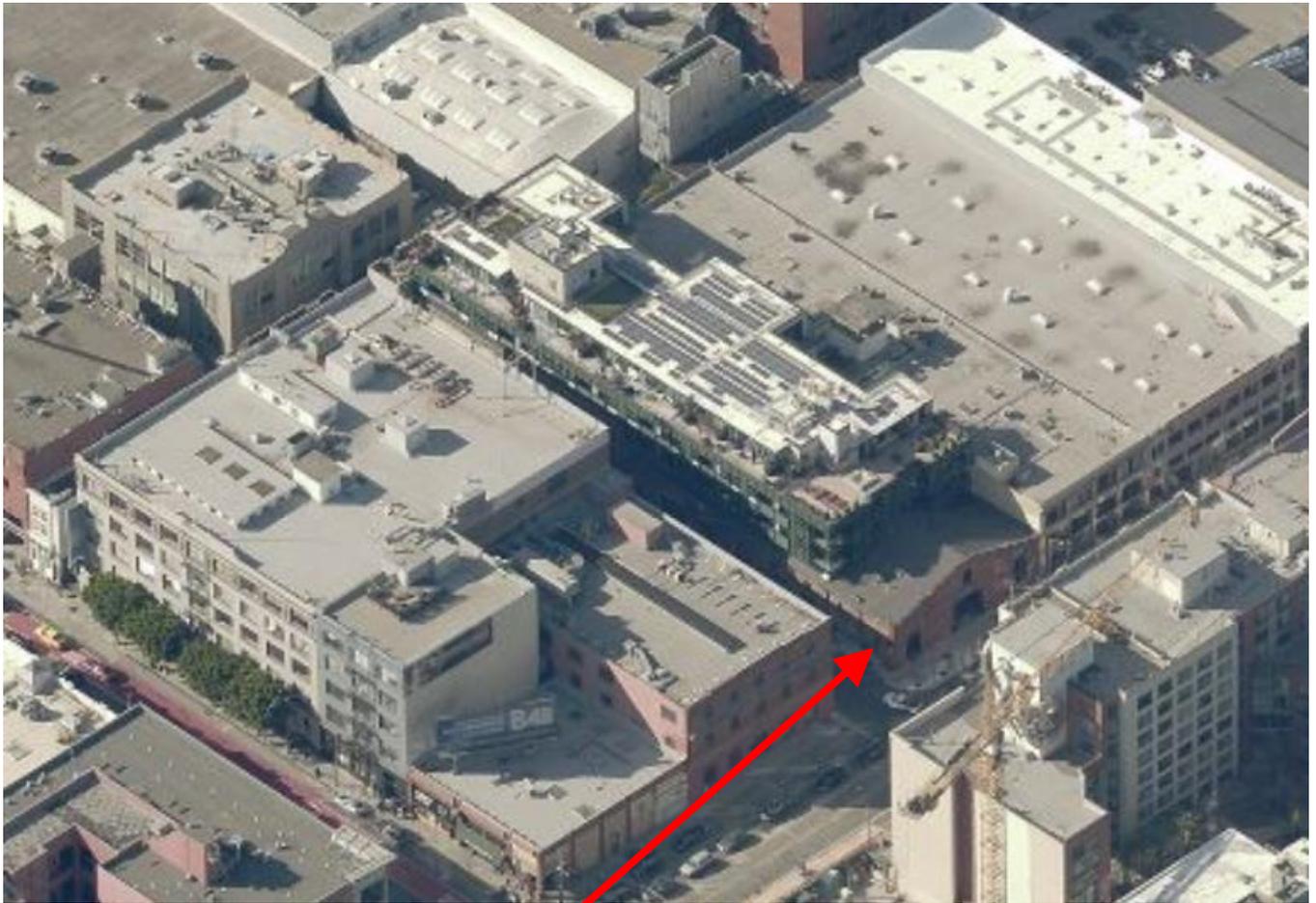
Certificate of Appropriateness
 Case Number 2019-004892COA
 178 Townsend Street
 Block 3788 Lot 131-226

Zoning Map



Certificate of Appropriateness
Case Number 2019-004892COA
178 Townsend Street
Block 3788 Lot 131-226

Aerial Photo



SUBJECT PROPERTY



Certificate of Appropriateness
Case Number 2019-004892COA
178 Townsend Street
Block 3788 Lot 131-226

Site Photo



**SUBJECT PROPERTY
PRIOR TO WORK**

Certificate of Appropriateness
Case Number 2019-004892COA
178 Townsend Street
Block 3788 Lot 131-226