



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

**DATE:** January 29, 2020

**TO:** Architectural Review Committee (ARC) of the Historic Preservation Commission (HPC)

**FROM:** Monica Giacomucci, Preservation Planner, (415) 575-8714

**REVIEWED BY:** Rich Sucre, Southeast Team Manager, (415) 575-9108

**RE:** **Review and Comment on a proposal to construct a three-story-over-basement school building fronting 18<sup>th</sup> Street to expand the existing institutional use of Landmark #139 – Saint Charles School.**

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## BACKGROUND

The Planning Department (Department) requests review and comment before the Architectural Review Committee (ARC) regarding a proposal for 3250-70 18<sup>th</sup> Street (subject property, Assessor's Block No. 3574, Lots No. 085 and 086) to demolish an existing two-story former convent building and construct a three-story-over-basement, 13,654 square-foot K-8 educational building ("New School Building") for La Scuola that will be located on a lot adjacent to Saint Charles School. The existing outdoor play yard space will be landscaped and hardscaped to achieve La Scuola's recreational program. Saint Charles School, located at 3250 18<sup>th</sup> Street (3574/085), was designated Landmark No. 139 in 1981. The building was originally constructed as a church for the Sisters of the Holy Cross in the Italianate Style in 1887-1888 by architect Charles J.I. Delvin and was converted for educational use in 1895. 3250-3270 Shotwell Street is located in an RH-3 (Residential-House, Three Family) Zoning District and a 55-X Height and Bulk District.

## PROPERTY DESCRIPTION

3250-3570 Shotwell Street is located on the north side of 18<sup>th</sup> Street east of its intersection with Shotwell Street in the Mission neighborhood. The subject property consists of two irregularly shaped lots (Lots 085 and 086) with 163 feet of frontage in aggregate along 18<sup>th</sup> Street. Lot 085 is large and irregularly shaped, with Saint Charles School located at the southeast corner of the lot and the remaining lot area open for use as a school-serving play yard. Lot 086 is wrapped on two sides by Lot 085 and is fully encompassed by a non-historic convent building (constructed in 1959) which is currently vacant. These buildings are part of the St. Charles Borromeo complex which spans west toward South Van Ness Avenue, and also includes St. Charles Borromeo Church (701 South Van Ness; built in 1915), St. Charles Borromeo Rectory (713 South Van Ness; built in 1926), and San Carlos Hall (741 South Van Ness; built 1919).

## PROJECT DESCRIPTION

The proposed project includes demolition of the existing convent building on Lot 086 and construction of a new, three-story-over-basement school building connected to Saint Charles School via an open pedestrian footbridge oriented parallel to the 18<sup>th</sup> Street frontage. Both the new building and the Landmark will be used as a new K-8 campus for La Scuola, an Italian immersion school. The phased project would also remodel San Carlos Hall at 741 South Van Ness Avenue for use by La Scuola. Specifically, the project includes:

- **Saint Charles School.** Saint Charles School on Lot 058 will be raised approximately 2 feet to increase ceiling heights in the existing basement and to better align the floorplates of the Landmark with those in the new building. Any new foundation will be masonry clad with smooth cement plaster to match the existing foundation cladding. A pedestrian footbridge in the form of a ramp with glass guardrails will connect to the Landmark at the first floor of its west façade at the second window bay. In general, Saint Charles School is in good condition and requires minimal intervention beyond regular maintenance and repair. The project would undertake the following work to this building:
  - **South (Front) Façade.** Existing entry stairs will be expanded to accommodate added height. This original entry will no longer serve as the main entrance to the school campus but will be preserved.
  - **West (Play Yard) Façade.** At the raised ground floor (basement) level, new windows and doors will allow access to the sunken play yard. At the second window bay at the first floor, an existing double-hung wood window will be removed and replaced with a man-door to allow entry into Saint Charles School from the pedestrian footbridge. The existing decorative wood window frame and hood will remain in place, and the window opening will be minimally expanded at the sill. Mechanical units will be added at the rear of the roof level.
  - **North (Rear) Façade.** At the blind rear façade, a small three-story semi-enclosed addition will be constructed to accommodate a new circulation core. The addition will be clad with siding to match the existing building, and it will have glass guardrails. New openings for door access to the circulation core will be added at the ground, first, second, and third floors. Four new window openings will be added at the east side of the rear façade.
  - **East (Shotwell Street) Façade.** No alterations are proposed for this façade aside from the addition of three new skylights at the roof level.
- **New School Building.** The New School Building on Lot 086 will rise three stories and will be topped with an occupiable roof. The roof will be accessed by separate stair and elevator penthouses not exceeding 10 feet in height and not visible from the street. The project would undertake the following work to this building:
  - **South (Front) Façade.** The front façade of the New School Building will feature a colored glass curtain wall with a louvered system to control light and heat infiltration at the front façade. Backlit metal letters will serve as signage (to be reviewed under a separate permit) over a new entry featuring a glass and metal awning. This entry is ADA accessible and will serve as the primary entrance to the La Scuola campus.
  - **West Façade.** The west façade of the New School Building is blind. It will be clad with cement-board panels. At the rear portion of this façade, three brise-soleil openings will allow light and air to penetrate a second-floor terrace.
  - **North (Rear) Façade.** The rear façade will have a glass curtain wall at all levels. At the second floor, an open terrace will be shielded by a brise-soleil and will have a glass guardrail.
  - **East (Play Yard) Façade.** The west façade of the New School Building will be clad with cement-board panels. Punched window openings will be arranged in an irregular manner.



At the ground floor, three doors will open onto the Play Yard. At the rear portion of this façade, three brise-soleil openings will allow light and air to penetrate a second-floor terrace.

- **Connective Footbridge.** The footbridge connecting the New School Building to Saint Charles School will be set back approximately 18 feet from the front property line. It will span from the New Building's large first-floor lobby to the existing first-floor entry vestibule of Saint Charles school at a slight downslope. The footbridge will be visible from the public-right-of-way, with the top of the bridge's guardrail measuring approximately 10 feet in height above sidewalk level. The footbridge will have glass guardrails to minimize its visibility and will connect to an existing window opening retrofit with a man-door on Saint Charles School's west façade to avoid destruction of historic fabric.
- **Play Yard.** The existing asphalt play yard is sunken below grade. It will be landscaped and hardscaped to meet La Scuola's programming needs. New features include permeable pavers, playground surfacing and equipment, furniture, and a basketball court. The retaining wall at 18<sup>th</sup> Street will be rebuilt, and open spans along 18<sup>th</sup> and Shotwell streets will have new fencing and gates.

#### OTHER ACTIONS REQUIRED

Pursuant to Planning Code Section 1006.1, the Historic Preservation Commission (HPC) shall review the application for a Certificate of Appropriateness for compliance with Article 10 of the Planning Code, the Secretary of Interior's Standards for Rehabilitation, and any applicable provisions of the Planning Code at a future date. The project also requires a Conditional Use Authorization-Planned Unit Development from the Planning Commission for expansion of a school use in an RH-3 Zoning District and to obtain Planning Code exceptions to address the front setback and rear yard requirements.

#### ENVIRONMENTAL REVIEW

The proposed project will undergo environmental review pursuant to the California Environmental Quality Act (CEQA) prior to a Historic Preservation Commission hearing.

#### PUBLIC/NEIGHBORHOOD INPUT

To date, the Department has not received any public comment about the proposed project.

#### CHARACTER DEFINING FEATURES OF THE LANDMARK BUILDING

The landmark designation for Saint Charles School does not include a period of significance. Department staff has determined the period of significance to be 1887-1895, spanning the building's construction as a Catholic church through its conversion to a school. The designation does not include a formal list of character defining features. Therefore, Department staff has identified the following character defining features:

- Italianate architectural style
- Three-story, boxlike form with symmetrical "in the round" design on three facades
- Wood-frame construction and wood shiplap cladding
- Two-stage hipped roof with arched ventilator dormers
- Grand full-height entry bay with ground floor recessed entry vestibule and second floor aedicule:
  - Paneled recessed entry with glazed wood double-doors and transom

- Paired Tuscan columns flanking arched entry portal with Classical frieze and pediment
- Aedicule with ornate wood pilasters, paneled arch, bracketed entablature and cornice, and broken pediment surrounding a single window
- Double-hung wood windows with ogee lugs and square or arched upper sashes
  - Single windows at the first floor of the east and west facades
  - Paired windows at the second floor of the east and west facades
- Pedimented window hoods
- Decorative wood corner quoins and pilasters
- Wood profile belt courses

## STAFF ANALYSIS

The Department seeks feedback from the ARC on the design, materiality, and relationship to setting of the new construction to the landmark property as defined by the Secretary of the Interior's Standards for Rehabilitation (Secretary's Standards) and Article 10 of the San Francisco Planning Code. Specifically, the Department seeks feedback on the overall massing of the New Building, the overall materials palette for the New Building, the location and attachment of the connective footbridge between the New Building and Saint Charles School, and the circulation core addition at the rear façade of Saint Charles School.

Staff reviewed the compatibility of the proposal (see attached plans) for conformance with:

- The Secretary's Standards;
- Character-defining features of the landmark building

The Department would like the ARC to consider the following information:

### Secretary of the Interior's Standards for Rehabilitation

The proposed project will not alter the existing Landmark aside from the connection for the footbridge and the rear circulation enclosure. The project has been sensitively designed so as to have its greatest impact on the blank rear façade. Likewise, the footbridge will require removal of only one window and will only minimally expand the existing window opening and will not damage any decorative window framing. The New School Building is designed in a contemporary idiom meant to differentiate it from the adjacent historic resource. Although the Play Yard is located on Lot 085 along with Saint Charles School, and is therefore included in the designating ordinance, the Play Yard has been substantially altered over time and retains no character-defining features. Department staff will undertake a complete analysis of the proposed project per the applicable Secretary's Standards as part of the environmental review and the subsequent preservation entitlement (Certificate of Appropriateness).

- **New School Building**
  - **Massing, Scale and Proportions:** The overall proposed massing, scale and proportions of the New School Building are generally compatible with both the landmark site and the surrounding context. Standing at three stories and approximately 54 feet 9 inches tall, the new building will sit slightly lower than the 60-foot, three-story-over-basement Saint Charles School. The pedestrian bridge, which is approximately 37 feet 6 inches long, provides sufficient relief so that the Landmark's character-defining west façade may be viewed from the public right-of-way.

**Recommendation:** Staff finds the massing of the proposed new construction consistent and compatible with the landmark site and the surrounding context. The new construction will read as a secondary, later addition on the campus and will replace an existing, non-historic convent building with the same footprint. Staff will provide a full compatibility analysis to the HPC as part of the Certificate of Appropriateness hearing materials. Staff requests clarification on whether the ARC concurs with this assessment.

- **Design:** The New School Building is designed in a contemporary idiom, with minimal decorative elements or features which allow those character-defining features found on Saint Charles School to take visual precedence on the 18<sup>th</sup> Street portion of the La Scuola campus.

**Recommendation:** Staff finds the design of the proposed New School Building substantially differentiated from and generally compatible with the Landmark. Proposed louvers and panes within the glass curtain wall reflect the scale and horizontality of Saint Charles School's character-defining shiplap cladding. The New School Building's front façade is also articulated in a tripartite arrangement, with clear base and terminating elements. Staff recommends that the subtle tripartite composition proposed for the front façade of the New School Building continue onto the other three facades to provide more compatibility with Saint Charles School. Staff requests clarification on whether the ARC concurs with this assessment.

- **Materials:** The materials proposed for the new construction include clear and multicolored glass curtain walls and multicolored cement board panels, striking a marked contrast with the Italianate Landmark, with its wood shiplap cladding and decorative millwork.

**Recommendation:** Staff believes that the proposed cladding materials highly differentiated from those found on the Landmark. Staff requests material samples for the proposed multi-colored glass and cement board surface materials. Staff finds cement board products to be variable in terms of texture and quality of finish, and requests that alternative, high-quality materials be explored. Staff asks for clarification on whether or not the ARC concurs with staff's assessment.

- **Fenestration:** Fenestration of the proposed new construction includes glass curtain walls on the front and rear facades, and irregularly punched openings on the east (Play Yard) façade. The proposed fenestration will be simple in comparison to the fenestration of the Landmark.

**Recommendation:** Staff finds the irregularly-punched openings to be compatible with the Landmark in terms of size and orientation, but thoughtfully differentiated from the strict symmetry of the Landmark's fenestration pattern. Staff requests additional information about the proposed window materials, and further requests that alternative, high quality materials be explored. Staff asks for clarification on whether the ARC concurs with staff's assessment.

- **Saint Charles School:** In order to accommodate a habitable head height in its existing basement, Saint Charles School will be raised approximately two feet. The new portions of the foundation will be masonry clad with smooth cement plaster to match the existing foundation. Although the entry will remain intact, the existing entry stair will be expanded with additional steps to accommodate the raised height. An encroachment permit from the Department of Public Works will be required, as the new steps will be located within the public right-of-way. A new semi-open circulation core

will replace an existing wood stair at the rear façade. New skylights will be added at the east side of the roof. See “Connective Footbridge” below for analysis of the proposed footbridge.

**Recommendation:** Staff finds the proposal to raise Saint Charles School approximately two feet appropriate with minimal impact of the existing historic property. The additional height will have minimal impact on perception and scale of the Landmark and will facilitate programmatic goals within the development. Any added foundation will match the existing in terms of material and surface finish. The new circulation core is designed sensitively and will be located where an exit stair already exists. On balance, the project requires little intervention at Saint Charles School beyond raising the building. Staff requests clarification on whether or not the ARC concurs with staff's assessment.

- **Connective Footbridge:** The footbridge connecting the New Building to Saint Charles School will be located parallel to and set back approximately 18 feet from the 18<sup>th</sup> Street property line. It will span from the lobby entrance on the east façade of the New Building to an existing window opening in the second bay of the west façade of Saint Charles School, leading to the historic entry vestibule of the Landmark. To accommodate this new entry point, an existing wood double-hung window will be replaced with a man-door, and the window's sill will be dropped. The new footbridge will have glass guardrails. This will allow wheelchair access to Saint Charles School without modification to the character-defining main entrance on 18<sup>th</sup> Street.

**Recommendation:** Overall, Staff finds the proposed footbridge's design and manner of attachment to the historic resource to be compatible with the Standards, especially in terms of reversibility. Although the footbridge will result in the loss of one double-hung wood window on the west façade of Saint Charles School, care is taken to maintain the size of the existing opening and to avoid destruction of the character-defining milled window framing and hood. Glass guardrails are an appropriate selection for the footbridge in order to minimize its visibility. However, the footbridge will rise approximately 10 feet above grade at 18<sup>th</sup> Street (to top of guardrail), making it visible from the public right-of-way. Staff requests more information about the materials proposed for the deck and bulkhead of the footbridge to determine the general visual weight of the footbridge structure at this location. Staff requests clarification on whether or not the ARC concurs with staff's assessment.

- **Play Yard:** The existing outdoor play yard, which is solely located on Lot 085 along with Saint Charles School, will be renovated into an outdoor recess and learning space. Located between the New School Building and Saint Charles School approximately 8 feet below grade, the play yard will have access at the ground floor from both buildings. The proposed footbridge will span above the play yard. Improvements will include landscaping, permeable hardscaping, new play equipment, new outdoor furniture, a learning garden, and a basketball court. The basketball court, located behind Saint Charles School, will be used for parking for St. Charles Borromeo Church on weekends, per an agreement with the property owner. The play yard will be bounded by a new perimeter fence to replace the existing.

**Recommendation:** Staff believes that modifications to the existing outdoor play yard will be generally compatible with the landmark site as it will enhance the educational and outdoor experience of the school with little to no impact to the Landmark. Staff requests more information on modifications to the play yard over time, if any, to ensure that the proposal does not impact any potential character-defining elements of Lot 085.

*Staff also requests more information about the selected materials, such as pavers, fencing, furnishings, etc. Staff requests clarification on whether the ARC concurs with staff's assessment.*

#### **REQUESTED ACTION**

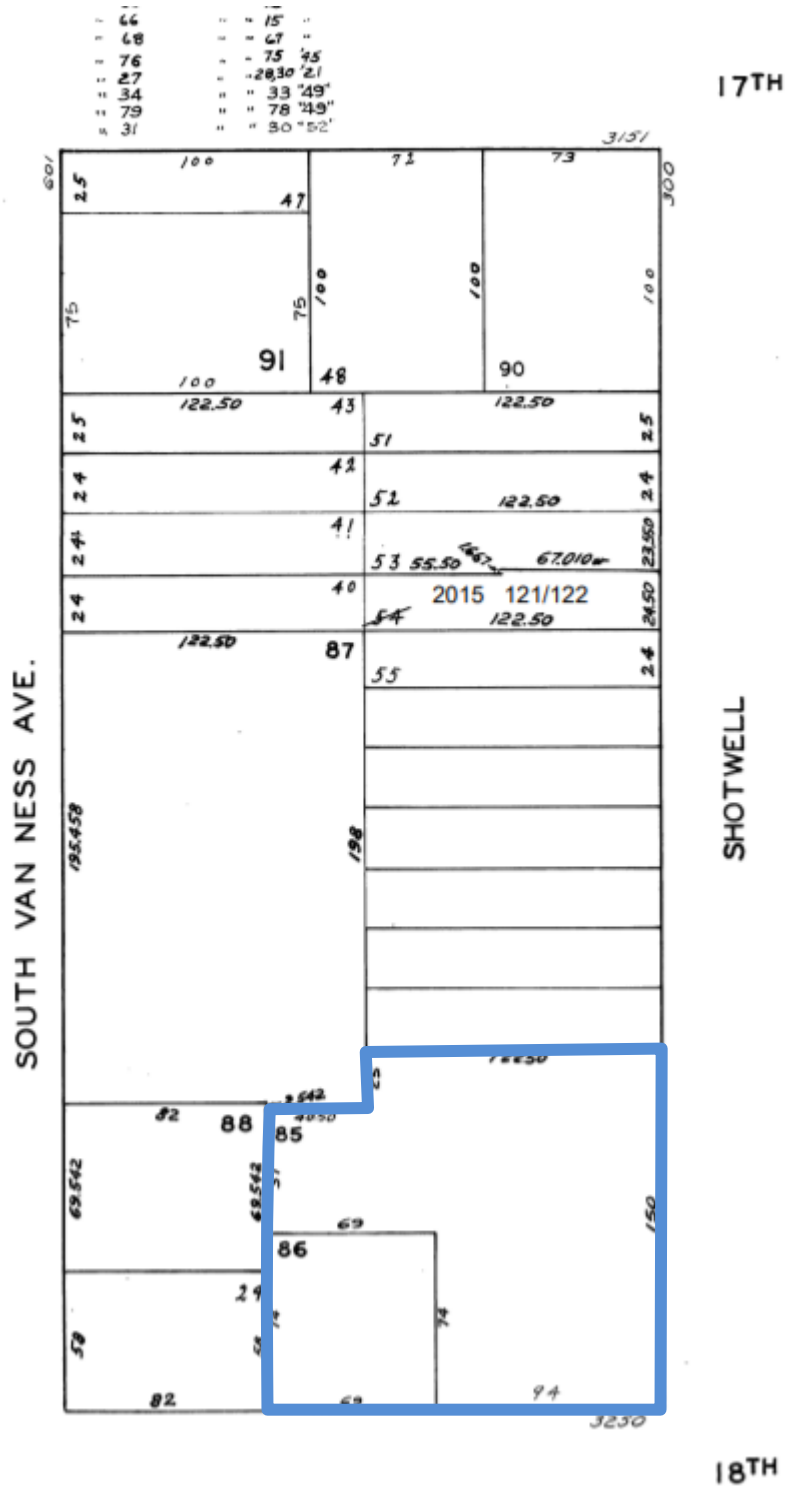
The Department seeks comments on:

- Compatibility of the proposal with the character defining features of the landmark property;
- Recommendations for overall form and continuity of the proposal;
- Recommendations for scale and proportion of the proposal;
- Recommendations for fenestration of the proposal;
- Recommendations for materials, texture, and details of the proposal.

#### **ATTACHMENTS**

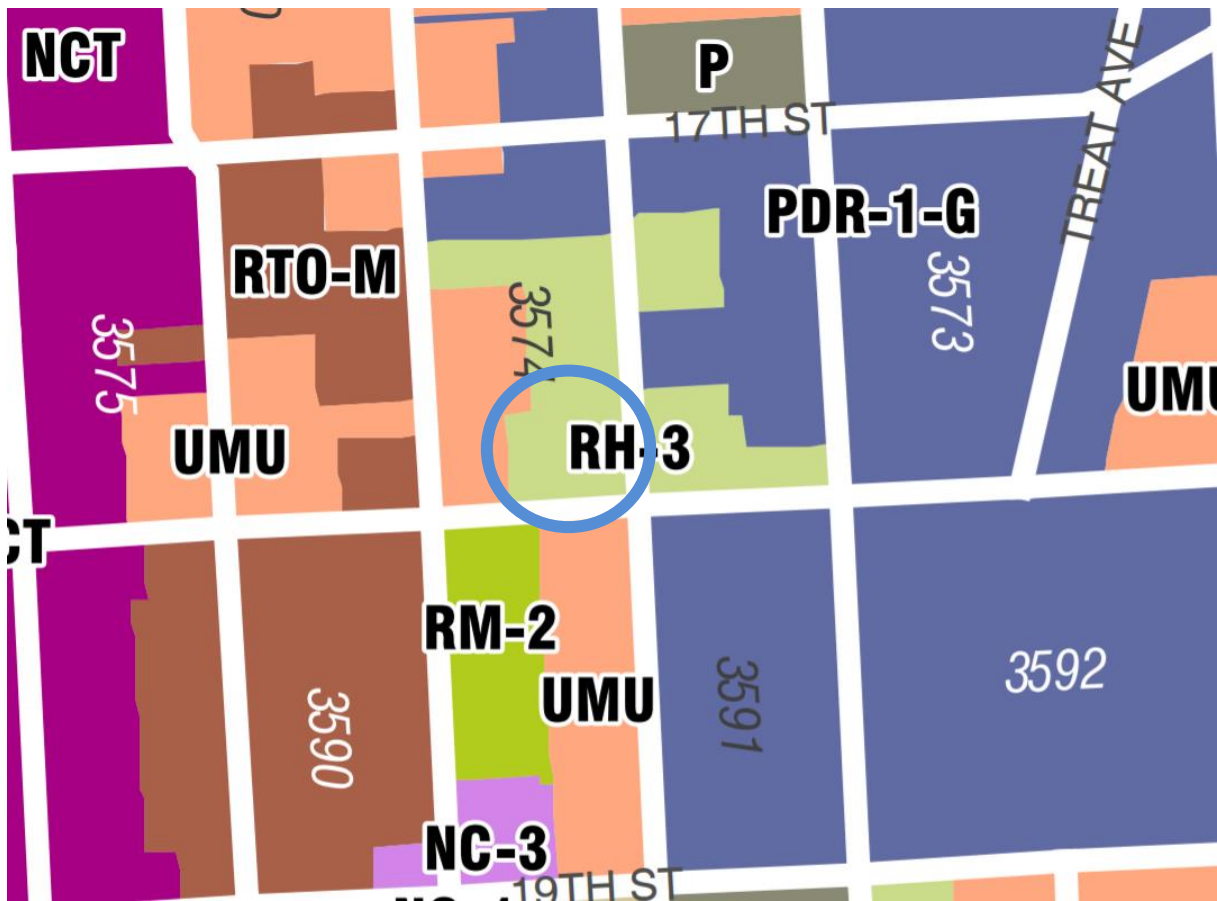
- Exhibits including:
  - Parcel Map
  - Zoning Map
  - Aerial Photo
  - Sanborn Map
  - Exterior site photos
- Landmark Designation Report
- Architectural and Conceptual Plans dated August 28, 2019

# Parcel Map



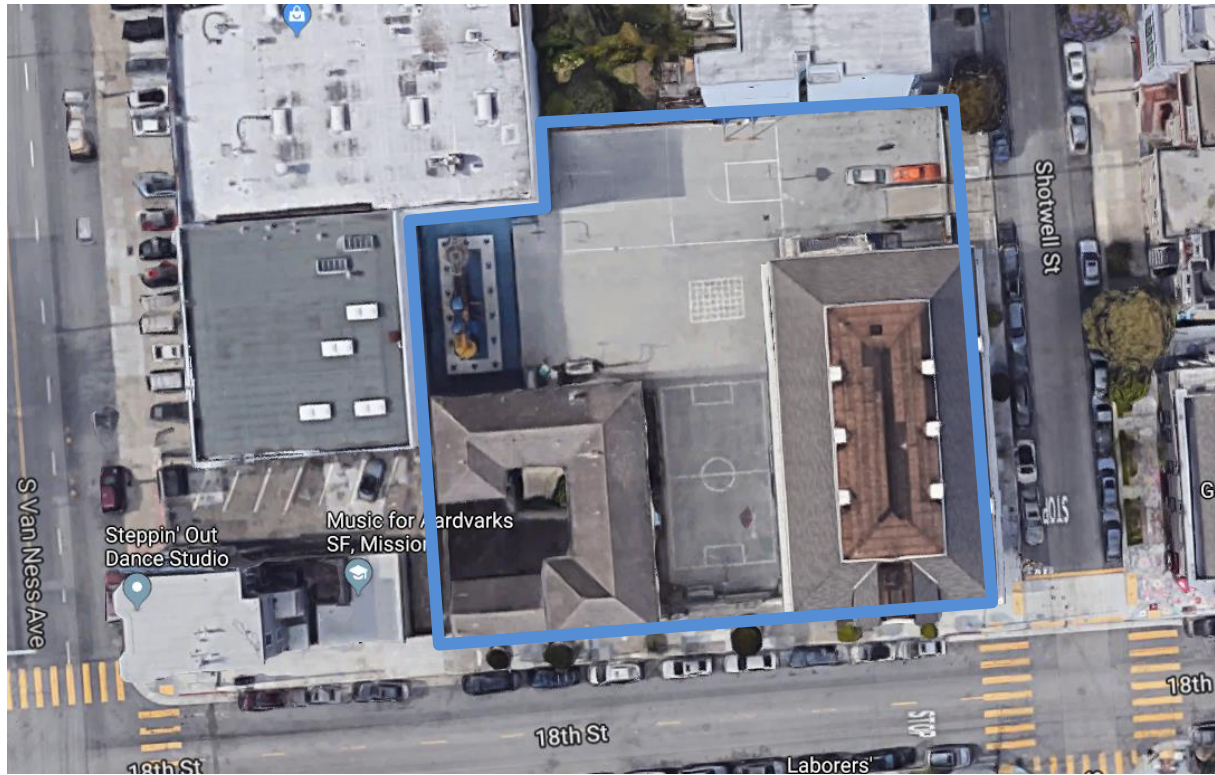
Subject property outlined in blue.

## Zoning Map



Subject property circled in blue.

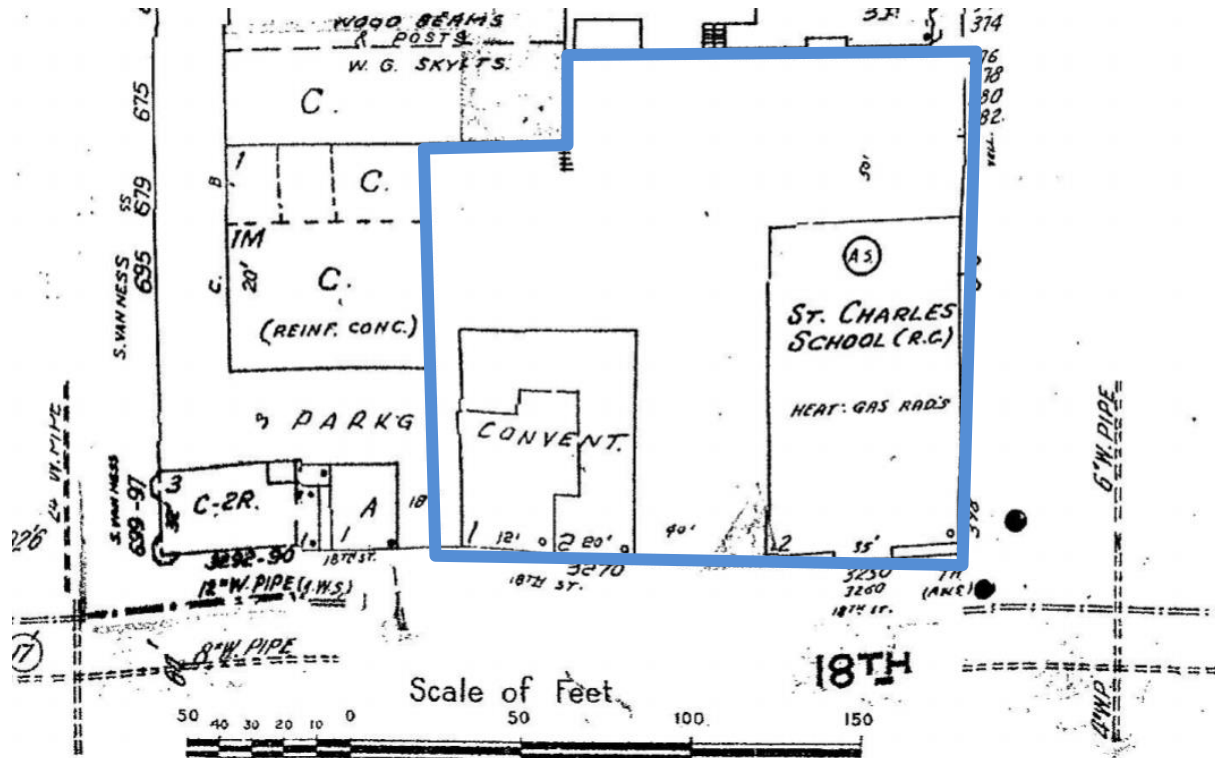
## Aerial Photo



Subject property outlined in blue.



## Sanborn Map



Subject property outlined in blue.

## Site Photos



Subject property looking west on 18<sup>th</sup> Street from Shotwell Street. Source: Google Maps.



Subject property looking east on 18<sup>th</sup> Street. Source: Google Maps.



Subject property looking south on Shotwell Street toward 18<sup>th</sup> Street. Source: Google Maps.





LA SCUOLA

3250 & 3270 18TH STREET and  
741 SOUTH VAN NESS  
SAN FRANCISCO, CA 94110

Perkins&Will | Pfau Long

ZPZ PARTNERS



Description of work:

The La Scuola International,in collaboration with the SF Archdiocese, is working pm a project to upgrade two diocese school sites for use by La Scuola for their K-8 campus.

Site one is located 18th and Shotwell and site 2 is located on South Van Ness between 18th and 19th Street.

The 18th and Shotwell site consists of 5 parcels, Assessor's Block 3574, Lots 85 and 86. The site has two existing buildings located on the site The St. Charles School located at 3250 18th Street and The Convent located at 3270 18th Street. The St. Charles School is a San Francisco Landmark.

The South Van Ness site consists of 1 parcel, Assessor's Block 3591 Lot 11. The site has one existing building located on the site, San Carlos Hall located at 741 South Van Ness.

The first phase of the project is focused on San Carlos Hall. The project consists of doing a full structural, seismic, electrical, fire/life safety, and ada upgrade with a full interior remodel. The building is a class B historic resource which was used by the St. Charles School for classrooms and gym use. This building will house primarily middle school age children for La Scuola. The changes to the exterior are minimal, the bulk of th work will be to restore the historic character of the property.

The second phase of the project will focus on the site at 18th and Shotwell. This phase will include the demolition of the convent building and construction of a New Buidling. This new educational building which will consist of new classrooms, offices, dining and kitchen area, library, an occupied roof and other support spaces for Kindergarten thru 8th Grade. A single level pedestrian bridge will connect the New Building to the St. Charles School. A portion of the play yard and garden site will be built under this phase. This phase may also include the addition of a stair and elevator to the St. Charles School to make the building accessible.

The third phase of the project is focused on the St. Charles School and any remaining play yard, garden ans streetscape upgrades that were not completed in the previous phases. The St. Charles School work will include a full structural and seismic upgrade which will include raising the building approximately 18". The work will also include electrical, fire/life safety and additional ada upgrades with a full interior remodel. The changes to the exterior are minimal, the bulk of th work will be to restore the historic character of the property.

Project Address:

St. Charles School	The Convent/New Building	San Carlos Hall
3250 18th Street	3270 18th Street	741 South Van Ness
San Francisco, CA 94110	San Francisco, CA 94110	San Francisco, CA 94110

Building Name:

St. Charles (StC)	Address:	Assessors Block/Lot:
The Convent/New Building (NB)	3250 18th Street	3574 / 85
San Carlos Hall (SC)	3270 18th Street	3574 / 86
	741 South Van Ness	3591 / 11

Zoning District:

St. Charles (StC) and New Building (NB)	RH-3, Residential, Mixed (Houses & Apartments): Low Density
San Carlos Hall (SC)	RM-2, Residential- Mixed: Moderate Density

Planning Height and Bulk Limitations:

St. Charles (StC) and New Building (NB)	55-x
San Carlos Hall (SC)	50-x

Existing/Proposed Building Use:

St. Charles (StC) and New Building (NB)	Group E - Education
San Carlos Hall (SC)	Group E - Education, Accessory: Group A - Assembly

Type of Construction:

St. Charles (StC)	V-B Sprinklered per CHBC 8-302.4 Except. 1
New Building (NB)	II-B Sprinklered
San Carlos Hall (SC)	V-B Sprinklered

Building Code Building Height Limit:

St. Charles (StC)	60'-0" per CHBC 8-302.4 Except. 1
New Building (NB)	75'-0"
San Carlos Hall (SC)	60'-0"

Number of Stories:

St. Charles (StC)	Basement + 2 + Mezz
New Building (NB)	Bsement + 3
San Carlos (SC)	2 + Mezz

Floor Area Ratio (F.A.R):

PROPERTY	LOT AREA	F.A.R.	MAX G.F.A	PROP G.F.A
St. Charles(StC)	23602/2	1.8	11801x1.8= 21242	10316
New Building(NB)	23602/2	1.8	11801x1.8= 21242	13654
San Carlos(SC)	7350	1.8	7350x1.8= 13230	14611

Building Area (approx. gross floor area\*):

	StC	NB	SC
Basement	0* /5980	0* /5770	-
First Level	4822*/6025	4872*/5770	5982*/7191
Second Level/Mezz	4181*/5441	4482*/5089	2574*/3185
Thirld Level/Mezz	1313*/2285	4300*/5089	6055*/6465
Roof (Occupied)		3947	3541

Totals	10316*/19731	13654*/21718	14611*/16841
gsf/gsa as number comparisons			
gsf= gross square feet			

\*'Gross Floor Area' per SF Planning Code Sec. 102.9, excluding the following areas, including but not limited to: 3) mechanical and areas necessary to the operation or maintenance of the building itself, 6) accessory off the street parking, and driveways and maneuvering areas incidental thereto, 7) bike parking and 9b) roof decks

Parking:

Required Parking: (SF Planning Code, Table 151)  
No Parking is required for School Use

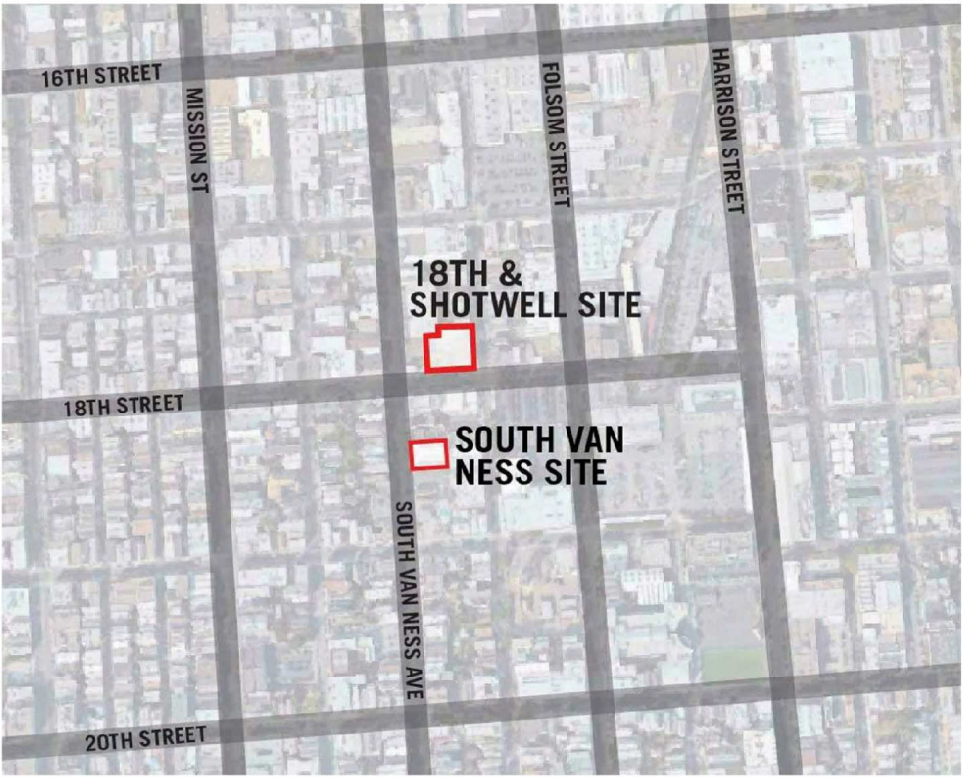
Bicycle Parking:

Per Section 155.2 SF Planning Code bicycle parking is calculated based on the number of classrooms. The New Buildingwill have a total of 5 new classrooms.  
Class 1 Bicycle Parking Spaces (Table 155.2.20):  
(5) Classrooms x 4sp/classroom = 20 spaces  
Class 2 Bicycle Parking Spaces (Table 155.2.20):  
(5) Classrooms x 1sp/classroom = 5 spaces

Applicable Codes:

San Francisco Municipal Codes & Administrative Bulletings, Including:  
San Francisco Planning Code  
San Francisco Historic Code  
2016 California Building Code w/ San Francisco Admendments  
2016 California Mechanical Code  
2016 California Plumbing Code  
2016 California Electrical Code  
2016 California Energy Code  
2016 San Francisco Fire Code  
NFPA 13  
NFPA 14  
NFPA 20  
NFPA 24  
ACSE 7

VICINITY MAP



PROJECT TEAM

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K-8 Campus (415) 551-0000

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ATTN: Kim Zylder

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ATTN: Alex Filatov

LIGHTING DESIGN

Lighting Design Alliance  
2830 Temple Ave.  
Long Beach, CA 90806  
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ATTN: Kelly Jones

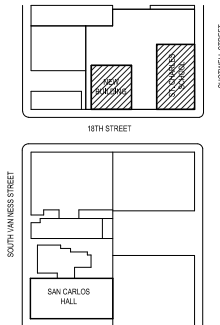
SYMBOLS

	Property Line		Detail
	Match Line		Door/Window Tag
	Column Line		Window/Storefront
	Center Line		Control Point or Datum Point
	Section		Revision and Delta
	Exterior Elevation		Partition Type Tag
	Interior Elevation		Key Note Tag

Perkins&Will|Pfau Long

ZPZ PARTNERS

LA SCUOLA



La Scuola  
3250 18th Street  
San Francisco CA 94110

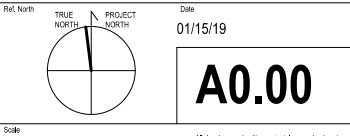
No.	Date	Issues + Revisions
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1	08/28/2019	Planning Submittal
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Project Name  
La Scuola

Project Number  
28009

Sheet Name  
PROJECT DATA



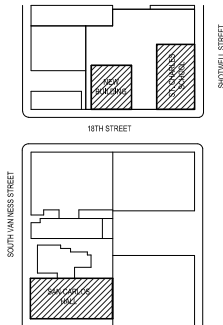
All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used or disclosed without written consent of the architect

ABBREVIATIONS

@	At	DW	Dishwasher	INCL.	Include(d)(ing)	PTD.	Painted	T.O.P.	Top of Parapet
⌄	Centerline	DWG(S).	Drawing(s)	INS./INSUL.	Insulation	PTD./R.	Paper Towel Dispenser	T.O.P.L.	Top of Plate
©	Copyright	DWR.	Drawer	INT.	Interior		& Receptacle	T.O.S.	Top of Steel
°	Degrees	(E)	Existing	INTER.	Intermediate	PTN.	Partition	T.O.S.SLAB	Top of Slab
∅	Diameter	E	East	INV.	Invert	P.T.R.	Paper Towel Receptacle	T.O.W.	Top of Wall
#	Number, Pound	EA.	Each	J.	Joist	PVC	Polyvinyl Chloride	T.P.D.	Toilet Paper Dispenser
±	Plus or Minus	E.J.T.	Expansion Joint	J-BOX	Junction Box	PVMT.	Pavement	T.W.	Top of Wall
ℓ	Property Line	EL.	Elevation, Elevator	JAN.	Janitor's Closet	PWD.	Plywood	TYP.	Typical
		ELEC.	Electrical	JST.	Joist	Q.T.	Quarry Tile	TZ.	Terrazzo
A.B.	Anchor Bolt	ELEV.	Elevator	JT.	Joint	QTY.	Quantity		
ABV.	Above	E.M.	Entry Mat					U.B.C.	Uniform Building Code
A/C	Air Conditioning	EMER.	Emergency	KIT.	Kitchen	R.	Riser	U.C.	Under Counter
ACOUS.	Acoustical	ENC./ENCL.	Enclosure	K.O.	Knockout	R.A.	Return Air	UL	Underwriter's Laboratory
A.C.T.	Acoustical Ceiling Tile	ENGR.	Engineer	K.P.	Kick Plate	RAD.	Radius, Radii	UNF.	Unfinished
A.D.	Area Drain	E.O.S.	Edge of Slab			R.B.	Resilient Base	U.O.N.	Unless Otherwise Noted
ADA	Americans with Disabilities Act	E.P.	Electrical Panelboard	LAM.	Laminated	RCP	Reflected Ceiling Plan	UR.	Urinal
ADD.	Addendum	EQ.	Equal, Equal to	LAV.	Laboratory	R.D.	Roof Drain		
ADDL.	Additional	EQPT./EQUIP.	Equipment	LEV.	Locker	RE.	Reinforced	VAR.	Varies
ADH.	Adhesive	E.R.A.	Exterior Roof Assembly	LCKR.	Lock	REC.	Recessed	VB.	Vapor Barrier
ADJ.	Adjacent	E.S.A.	Exterior Soffit Assembly	L.F.	Lineal Foot	REF.	Reference, Refrigerator	VEN.	Veneer
ADJT.	Adjustable	E.W.A.	Exterior Wall Assembly	LOC.	Location	REINF.	Reinforced	VER.	Verify
A.F.	Athletic Flooring	E.W.C.	Electric Water Cooler	L.P./L.P.T.	Low Point	REM.	Remaining	VERT.	Vertical
A.F.F.	Above Finish Floor	EXH.	Exhaust	L.S.	Light Switch	REQ./REQ'D	Required	VEST.	Vestibule
AGG./AGGR.	Aggregate	EXP.	Expansion, Exposed	LT.	Light	RES.	Resistant, Resilient	V.I.F.	Verify in Field
ALRM.	Alarm	EXPO.	Exposed	LT. FIXT.	Light Fixture	RESIL.	Resilient	VIN.	Vinyl
AL./ALUM.	Aluminum	EXT.	Exterior	LTWT.	Lightweight	RET.	Retaining	VOL.	Volume
ALT.	Alternate	EXTD.	Extruded	LVL.	Level, Laminated	REV.	Revise(d)(vision)	V.P.	Veneer Plaster
AMT.	Amount			LVR.	Veneer Lumber	RFL.	Reflect(ed)(ive)(or)	V.T.	Vinyl Tile
ANC.	Anchor, Anchorage	F.	Fabric		Louver	RGTR.	Register	V.W.C.	Vinyl Wall Covering
ANOD.	Anodized	F.A.	Fire Alarm, Floor Assembly	M	Men, Meter	R.H.	Right Hand		
AP	Access Panel	FAB.	Fabricate(d)	MACH.	Machine	R.M.	Room	W	Women, West
APPROX	Approximate	FACP	Fire Alarm Control Panel	MAINT.	Maintenance	R.O.	Rough Opening	W/	With
ARCH.	Architect(ural)	FB.	Fiberboard	MAN.	Masonry	R.P.	Radius Point	W.B.	White Board
ASPH.	Asphalt	F.D.	Floor Drain	MAS.	Masonry	R.S.	Rainscreen	WC	Water Closet
AUTO	Automatic	FDC	Fire Department Connection	MAT./MATL.	Material	R.S.F.	Resilient Sheet Flooring	WD.	Wood
AVG.	Average	F.E.	Fire Extinguisher	MAX.	Maximum	R.T.	Resilient Tile	WDW.	Window
A.W.P.	Acoustical Wall Panel	F.E.C.	Fire Extinguisher Cabinet	M.C.	Medicine Cabinet	RWL.	Rain Water Leader	W.F.	Wood Flooring
		FF	Finish Floor	MDF	Medium Density Fiber Board			W.H.	Water Heater
BD.	Board	F.H.	Flat Head, Full Height	MECH.	Mechanical	S	South	WIN.	Window
BDF	Building Distribution Facility	F.H.C.	Fire Hose Cabinet	MEMB.	Membrane	S.A.	Soffit Assembly	WIN	Within
BEL.	Below	F.H.W.S.	Flat Head Wood Screw	MEP	Mechanical, Electrical, Plumbing	SAN.	Sanitary	WM	Wire Mesh
BIT.	Bituminous	FIN.	Finish			SBS	Styrene Butadiene Styrene	W/O	Without
B.F.P.	Backflow Preventer	FIXT.	Fixture	MFR.	Manufacturer	S.C.	Solid Core, Sealed Concrete	W.P.	Water Proof
BKT.	Bracket	FLASH./FLG.	Flashing	M.H.	Manhole	S.C.D.	See Civil Drawings	WP/W.P.T.	Work Point
BLDG.	Building	FL./FLR.	Floor	M.C.	Microwave	SCHED.	Schedule(d)	W.R.	Water Resistant
BLK.(G.)	Block(ing)	FLUOR.	Flourescent	MID.	Middle	S.D.	Soap Dispenser	WRB	Weather Resistant Barrier
BLKG.	Blocking	FM	Factory Mutual	MIN.	Minimum	SEC./SECT.	Section	WSC.T.	Wainscot
B.O.	Bottom Of	FND.	Foundation	MIRR.	Mirror	S.E.D.	See Electrical Drawings	WT.	Weight
BOT.	Bottom	F.O.	Face Of	MISC.	Miscellaneous	SF	Square Feet	WWF	Welded Wire Fabric
BRG.	Bearing	F.O.B.	Face of Building	MLDG.	Moulding	SFBC	San Francisco Building Code		
BRK.	Brick	F.O.C.	Face of Concrete	MOD.	Module	S.F.D.	See Finish Drawings		
BRKT.	Bracket	F.O.F.	Face Of Finish	MPOE	Main Point of Entry	S.F.P.D.	See Fire Protectin Drawings		
BSMT.	Basement	F.O.M.	Face Of Masonry	M.R.	Moisture Resistant	S.H.	Sprinkler Head		
BTWN	Between	F.O.S.	Face of Stud	MTD.	Mounted	SH.	Shelving		
B.U.R.	Built-Up Roof	F.O.W.	Face of Wall	MTL.	Metal	SHLF.	Shelf		
		F.P.	Fireproof(ing)	MUL.	Mullion	SHT.	Sheet		
CAB.	Cabinet	F.R.	Fire Rated, Fire Retardant	MWRK.	Millwork	SHWR.	Shower		
CAT.	Category	F.S.	Fire Sprinkler, Full Size			SIM.	Similar		
CEM.	Cement	F.S.D.	Fire Separation Distance			S.J.C.	Seismic Joint Cover		
CER.	Ceramic	F.T.	Fire Tested, Fire Treated	(N)	New	SK.	Sink		
C.G.	Corner Guard	FT.	Foot, Feet	N	North	SKD. GD.	Skid Guard		
C.I.P.	Cast In Place	FTG.	Footing	N/A	Not Applicable	SL.	Sliding		
C.J.	Control Joint	FUR./FURR.	Furring	N.I.C.	Not in Contract	S.L.D.	See Landscape Drawings		
C.L.	Center Line	FUT.	Future	NO.	Number	S.M.	Sheet Metal, Stantion Module		
C.L.G.	Ceiling	F.V.C.	Fire Valve Cabinet	NOM.	Nominal	S.M.D.	See Mechanical Drawings		
CLKG.	Caulking			N.T.S.	Not To Scale	S.N.D.	Sanitary Napkin Dispenser		
CLO.	Closet	GA.	Gauge			S.N.R.	Sanitary Napkin Receptacle		
CLR.	Clear	GALV.	Galvanized	OA	Overall	SNT.	Sealant		
CMU	Concrete Masonry Unit	G.B.	Grab Bar	O.C.	On Center	SOG	Slab On Grade		
CNTR.	Counter	GC	General Contractor	O.D.	Outside Diameter	SPEC.	Specification(s)		
C.O.	Cleanout, Cased Opening	G.D.	Garbage Disposal	OFCI	Owner Furnished	S.P.D.	See Plumbing Drawings		
COL.	Column	G.F.	Ground Face	OFOI	Owner Furnished	SPKR.	Speaker		
COMP.	Compress(ed)(ion)(ible)	GFCI	Ground Fault Circuit Interruption	OFF.	Office	SQ.	Square		
CONC.	Concrete	GL.	Glass, Glazing	OFF.	Office	S.S.D.	See Structural Drawings		
COND.	Condition(ing)	GND.	Ground	OPNG.	Opening	S.SK.	Service Sink		
CONT.	Continuous, Continue(d)	GR.	Grade	OSB	Oriented Strand Board	SST	Stainless Steel		
CONST.	Construction	G.S.M.	Galvanized Sheet Metal	OVHD.	Overhead	ST.	Steel/Street/Stair		
CONTR.	Contractor	GT.	Grout	OZ.	Ounce	STA.	Station		
CORR.	Corridor	GWB	Gypsum Wall Board			STC	Sound Transmission Class		
CPT.	Carpet	GYP.	Gypsum			STD.	Standard		
CRS.	Course					STL.	Steel		
C.S.F.H.	Countersunk Flat Head					STOR.	Storage		
C.T.	Ceramic Tile	H.B.	Hose Bib	P.	Paint	STR/STRUCT.	Structure(al)		
CTR.	Center	H.C.	Hollow Core	PBD.	Partideboard	SUSP	Suspend(ed)		
CTSK.	Countersink	HCP.	Handicapped	PERF.	Perforated	S.Y.	Square Yards		
C.W.	Curtain Wall	H.D.	Hand Dryer	PERP.	Perpendicular	SYM.	Symmetrical		
		HD.	Head	P.G.	Paint Grade	(T)	Tempered		
D.A.	Double Acting	HDB./HDBD.	Hardboard	P.L.	Property Line	T.	Tread		
D.B.	Design-Build	HDR.	Header	P.L.	Plate	T&B	Top and Bottom		
DBL.	Double	HDW.	Hardware	P.LAM.	Plastic Laminate	T&G	Tongue and Groove		
DEPR.	Depress(ed)(ion)	HDWD.	Hardwood	PLAS.	Plaster	T.B.	Towel Bar		
DET.	Detail	H.M.	Hollow Metal	PLBG.	Plumbing	T.B.D.	To Be Determined		
D.F.	Drinking Fountain	H.P./H.P.T.	High Point	PLY./PLYWD.	Plywood	T.C.	Terra Cotta, Top of Concrete		
DIA.	Diameter	H.R.	Handrail	P.M.	Panel Module	T.C.R.S.	Terra Cotta Rainscreen		
DIM.	Dimension	HR.	Hour	PNL.	Panel	T.D.	Top of Decking		
DISP.	Disposal, Dispenser	HT.	Height	POL.	Polished	TEL.	Telephone		
DN.	Down	HVAC	Heating/Ventilation/Air Cond.	PR.	Pair	TEMP.	Temporary, Tempered		
D.O.	Door Opening	H.W.	Hot Water	PREFAB	Prefabricated	T.F.	Top of Footing		
D.P.	Disabled Person			PROP.	Proposed	TH./THK.	Thick		
D.P.T.	Dimension Point	ID.	Inside Diameter	PSF	Pounds per Square Foot	THRU	Through		
DPR.	Dispenser	IN.	Inch	PT.	Pounds per Square Inch	T.J.	Top of Joist		
DR.	Door	INFO.	Information	P.T.D.	Paper Towel Dispenser	TKBD.	Tackbaord		
DRN.	Drain					T.O.	Top Of		
D.S.	Downspout					T.O.C.	Top of Concrete		
DTL.	Detail								

SHEET INDEX

00 - PROJECT DATA	
0 COVER	
A0.00 PROJECT DATA	
A0.01 SHEET INDEX	
A0.03 SITE IMAGES	
A0.04 SITE IMAGES	
5	
01 - CIVIL	
C1.1 SURVEY1	
C1.2 SURVEY2	
C1.3 SURVEY3	
3	
02 - LANDSCAPE	
L1.00 NEW BLDG & ST.CHARLES - SITE PLAN AND STREET SCAPE	
L1.01 NEW BLDG - OCCUPIED ROOF LANDSCAPE PLAN	
L1.02 SAN CARLOS - OCCUPIED ROOF LANDSCAPE PLAN	
L1.03 SAN CARLOS - STREET SCAPE	
4	
03 - DEMO PLANS	
AD2.00 NEW BLDG & ST.CHARLES - GROUND FLOOR DEMO PLANS	
AD2.01 NEW BLDG & ST.CHARLES - FIRST FLOOR DEMO PLANS	
AD2.02 NEW BLDG & ST.CHARLES - SECOND FLOOR DEMO PLANS	
AD2.03 NEW BLDG & ST.CHARLES - ROOF DEMO PLANS	
AD2.10 SAN CARLOS - DEMO PLANS	
AD2.11 SAN CARLOS - DEMO PLANS	
6	
04 - ARCHITECTURAL	
A1.01 CONVENT & ST.CHARLES - EXISTING SITE PLAN	
A1.02 NEW BLDG & ST.CHARLES - PROPOSED SITE PLAN	
A1.03 SAN CARLOS - EXISTING SITE PLAN	
A1.04 SAN CARLOS - PROPOSED SITE PLAN	
A2.00 NEW BLDG & ST.CHARLES - GROUND FLOOR PLANS	
A2.01 NEW BLDG & ST.CHARLES - FIRST FLOOR PLANS	
A2.02 NEW BLDG & ST.CHARLES - SECOND FLOOR PLANS	
A2.03 NEW BLDG & ST.CHARLES - THIRD FLOOR PLANS	
A2.04 NEW BLDG & ST.CHARLES - ROOF PLANS	
A2.10 SAN CARLOS - FLOOR PLANS	
A2.11 SAN CARLOS - FLOOR PLANS	
A3.00 NEW BUILDING + ST. CHARLES - SOUTH BUILDING ELEVATIONS	
A3.01 SAN CARLOS HALL - WEST ELEVATIONS	
A3.02 ST. CHARLES - EAST / WEST BUILDING ELEVATIONS	
A3.03 NEW BUILDING + ST. CHARLES - NORTH BUILDING ELEVATIONS	
A3.04 NEW BUILDING - EAST / WEST BUILDING ELEVATIONS	
A3.05 NEW BUILDING - ELEVATION AND SITE LINE SECTION	
A3.06 SAN CARLOS ELEVATIONS	
A3.07 SAN CARLOS ELEVATION AND SITE LINE SECTION	
A3.10 RENDERINGS	
A3.13 AERIAL PERSPECTIVES	
A4.00 NEW BLDG & ST.CHARLES - BUILDING SECTIONS	
A4.01 ST. CHARLES SECTION	
A4.02 SAN CARLOS SECTIONS	
A6.00 ENLARGED VIEWS	
A10.00 WINDOWS SCHEDULES	
26	
TOTAL SHEETS: 44	



La Scuola  
3250 18th Street  
San Francisco CA 94110

No.	Date	Issues + Revisions
-----	------	--------------------

1	08/28/2019	Planning Submittal
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Project Name  
La Scuola

Project Number  
28009

Sheet Name  
SHEET INDEX

True North

Scale

A0.01

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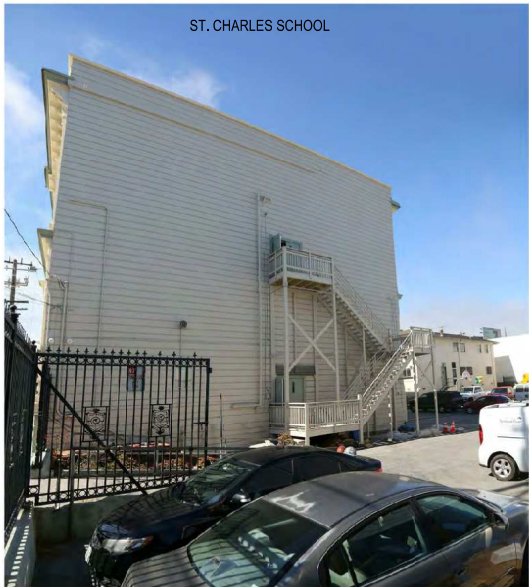
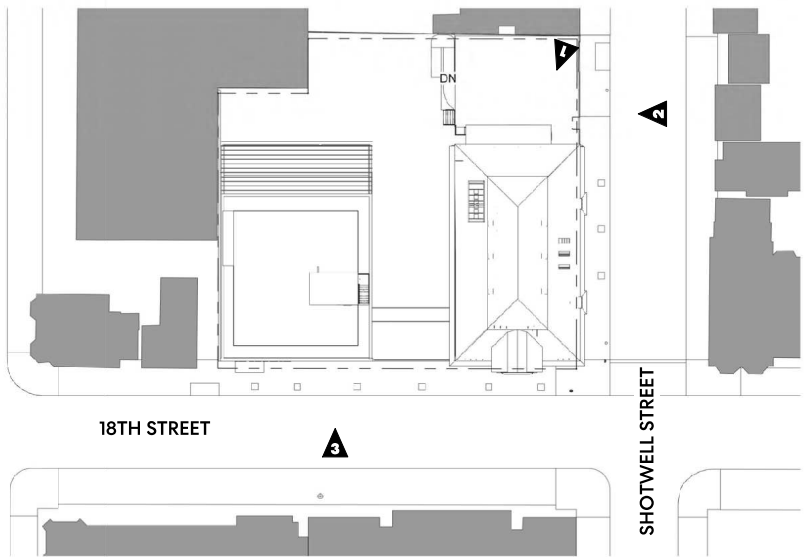




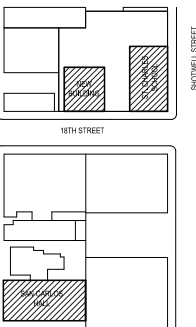
ST. CHARLES 18TH. STREET VIEW  
12" = 1'-0" 3



ST. CHARLES SCHOOL - SHOTWELL STREET VIEW  
12" = 1'-0" 2



ST.CHARLES SCHOOL - NORTH STREET VIEW  
12" = 1'-0" 1



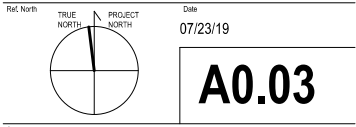
**La Scuola**  
3250 18th Street  
San Francisco CA 94110

No.	Date	Issues + Revisions
1	08/28/2019	Planning Submittal

Project Name  
La Scuola

Project Number  
28009

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SITE IMAGES



A0.03

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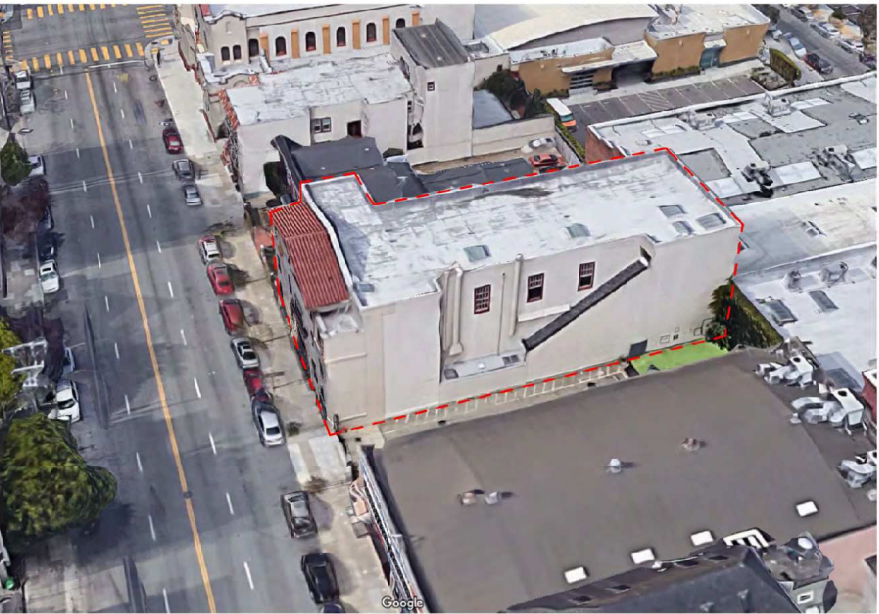




SAN CARLOS WEST STREET VIEW  
12" = 1'-0" 3



SAN CARLOS NORTH AERIAL  
12" = 1'-0" 2



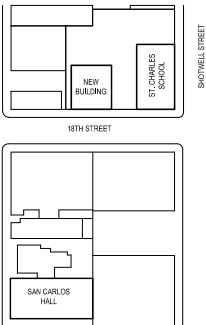
SAN CARLOS SOUTH AERIAL  
12" = 1'-0" 1



PFAULONG  
PERKINS+WILL

ZPZ PARTNERS

LA SCUOLA



**La Scuola**  
3250 18th Street  
San Francisco CA 94110  
APN: 35740850 & -086

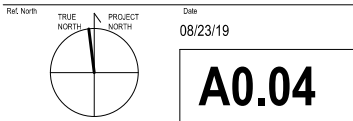
APN: 3591-011

No.	Date	Issues + Revisions
5/15/2019	50% SCHEMATIC DESIGN	

Project Name  
La Scuola

Project Number  
28009

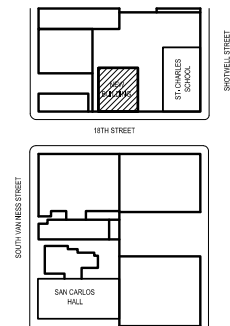
Sheet Name  
SITE IMAGES



08/23/19  
**A0.04**

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## La Scuola

3250 18th Street  
San Francisco CA 94110  
APN: 35740850 & -086

APN: 3591-011

No. Date Issues + Revisions

1 08/28/2019 Planning Submittal

Project Name  
La Scuola

Project Number  
28009

Sheet Name  
Survey - 1

## RECORD REFERENCES

- R1) MONUMENT MAP NO. 261, ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR.  
R2) MONUMENT MAP NO. 282, ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR.  
R3) MONUMENT MAP NO. 281, ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR.  
R4) MONUMENT MAP NO. 262, ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR.  
R5) HISTORIC BLOCK DIAGRAM OF MISSION BLOCK 59, SHOWING A DATE OF MARCH 12, 1908.  
R6) PARCEL MAP, FILED IN BOOK 43 OF PARCEL MAPS, PAGES 198-200, OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO.  
R7) PARCEL MAP 4780, FILED IN BOOK 122 OF CONDOMINIUM MAPS, PAGES 167-168, OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO.  
R8) HISTORIC BLOCK DIAGRAM OF MISSION BLOCK 58, SHOWING A DATE OF JULY 12, 1910.  
R9) PARCEL MAP, FILED OCTOBER 18, 1968 IN BOOK 1 OF PARCEL MAPS, PAGE 19, OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO.

## BASIS OF SURVEY

BASIS OF SURVEY IS FOUND MONUMENTS ON 18TH STREET BETWEEN SOUTH VAN NESS AVENUE AND FOLSOM STREET, AS SHOWN ON MONUMENT MAPS NO. 261, 262, AND 281 ON FILE IN THE OFFICE OF THE CITY ENGINEER.

## BENCHMARK

BM 11219, BEING SET CCSF STANDARD 1/2" DOMED STAINLESS STEEL ANCHOR SCREW WITH WASHER STAMPED "CCSF CONTROL", LOCATED AT THE NORTHEAST CORNER OF SOUTH VAN NESS AND 17TH STREET, IN WALK AT THE NORTHEASTERLY RETURN OF SOUTH VAN NESS AVENUE AND 17TH STREET, 1.0 FEET SOUTHWESTERLY FROM BACK OF WALK INTERSECTION, 9.6 FEET NORTHWESTERLY FROM FIRE HYDRANT, 11.8 FEET NORTHEASTERLY FROM CENTER/CENTER CATCH BASIN, 10.0 FEET EASTERLY FROM CENTER/CENTER TRAFFIC SIGNAL LIGHT POLE. ELEVATION = 26.367 FEET, SAN FRANCISCO VERTICAL DATUM OF 2013 (SFVD13).

## NOTES

- EASEMENTS AND/OR RIGHTS OF WAY ARE SHOWN HEREON PER THE PTR. OTHER EASEMENTS AND/OR RIGHTS OF WAY OF RECORD, IF ANY, ARE NOT SHOWN HEREON.
- DATE OF FIELD SURVEY: NOVEMBER 1 AND 2, 2018 AS TO THE BOUNDARY AND TOPOGRAPHIC SURVEY OF THE SUBJECT PROPERTY.
- THE UTILITIES SHOWN HEREON ARE BY SURFACE OBSERVATION AND RECORD INFORMATION ONLY AND NO WARRANTY IS GIVEN HEREIN AS TO THEIR EXACT LOCATION. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO VERIFY THE EXACT LOCATION OF THE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY.
- UTILITY JURISDICTIONS / PROVIDERS ARE AS FOLLOWS:  
STORM DRAINS: CITY AND COUNTY OF SAN FRANCISCO  
SANITARY SEWER: CITY AND COUNTY OF SAN FRANCISCO  
WATER: CITY AND COUNTY OF SAN FRANCISCO  
ELECTRICITY: PACIFIC GAS & ELECTRIC CO.  
NATURAL GAS: PACIFIC GAS & ELECTRIC CO.
- ALL DISTANCES SHOWN ARE IN FEET. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.

## SURVEYOR'S STATEMENT

THIS SURVEY WAS DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE LAND SURVEYORS ACT IN DECEMBER 2018.

Jacqueline Luk, P.L.S. 8934  
FOR LUK & ASSOCIATES, INC.

DATE DECEMBER 7, 2018



## LEGEND

SYMBOLS	DESCRIPTION
---	BOUNDARY - SUBJECT PROPERTY
---	RIGHT-OF-WAY LINE
---	ADJOINERS PROPERTY LINE
---	MONUMENT LINE
---	PARCEL LINE PER PTR PARCELS
---	ASSESSOR'S PARCEL LINE
---	BUILDING LINE
SS	SANITARY SEWER LINE
W	WATER LINE
SSCO	SANITARY SEWER CLEANOUT
FDC	FIRE DEPARTMENT CONNECTION
SSMH	SANITARY SEWER MANHOLE
SL	STREET LIGHT
PP	POWER POLE
WM	WATER METER
COL	COLUMN
THR	THRESHOLD
GV	GAS VALVE
GM	GAS METER
WV	WATER VALVE
GUY	GUY WIRE
HCR	HANDICAP RAMP
MW	MONITORING WELL
JP	JOINT POLE
UTMH	UTILITY MANHOLE
FNCE	FENCE
BBALL POST	BASKETBALL POST
DI	DRAIN INLET
AC	ASPHALT CONCRETE
BLDG	BUILDING
BSW	BACK OF SIDEWALK

SYMBOLS	DESCRIPTION
CONC	CONCRETE
DWY	DRIVEWAY
PGE	PACIFIC GAS AND ELECTRIC
S.F.	SQUARE FEET
±	MORE OR LESS
APN	ASSESSOR'S PARCEL NUMBER
R/W	RIGHT OF WAY
COR.	CORNER
BRK	BRICK
STY	STORY
MK	MARK
APN	ASSESSOR'S PARCEL NUMBER
PTR	PRELIMINARY TITLE REPORT
(T)	TOTAL
DOC. NO.	DOCUMENT NUMBER
S.F.	SQUARE FEET
M.M.	MONUMENT TO MONUMENT
MEAS.	MEASURED
(60' 7/8")	RECORD DISTANCE
CONC	CONCRETE ELEVATION
23.57	
TC	TOP OF CURB ELEVATION
23.79	
FL	FLOWLINE ELEVATION
23.44	
LIP	LIP ELEVATION
23.99	
BSW	BACK OF SIDEWALK ELEVATION
24.14	
TP	TOP OF PAVEMENT ELEVATION
23.59	
TREE	TREE

## TOPOGRAPHIC AND BOUNDARY SURVEY

FOR

376 SHOTWELL & 3270 18TH STREET  
CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA  
DECEMBER 2018

PREPARED BY  
LUK AND ASSOCIATES  
CIVIL ENGINEER - LAND PLANNERS - LAND SURVEYORS  
738 ALFRED NOBEL DRIVE  
HERCULES, CALIFORNIA 94547  
(510) 724-3388

TOPOGRAPHIC AND  
BOUNDARY SURVEY

FOR

376 SHOTWELL & 3270 18TH STREET

CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA

DECEMBER 2018

PREPARED BY

LUK AND ASSOCIATES

CIVIL ENGINEER — LAND PLANNERS — LAND SURVEYORS

738 ALFRED NOBEL DRIVE

HERCULES, CALIFORNIA 94547

(510) 724-3388

659 SOUTH VAN NESS, LLC

DOC. NO. 2005-H910295

APN 3574-087

AB 3574  
MISSION BLOCK NO. 59

NGUYEN  
DOC. NO. 2018-K598217  
APN 3574-099  
43 PM 198

PARCEL TWO (PTR)

AC PAVEMENT

PARCEL THREE (PTR)

PARCEL ONE (PTR)

PARCEL FOUR (PTR)

PARCEL FIVE (PTR)

THE ARCHDIOCESE OF SAN FRANCISCO  
PARISH AND SCHOOL JURIDIC PERSONS  
REAL PROPERTY SUPPORT CORPORATION

DOC. NO. 2009-I879598

APN 3574-085 & -086

TWO STORY  
WOOD FRAME BUILDING

TWO STORY  
CONCRETE BUILDING

SOUTH VAN NESS AVENUE  
(82.50' WIDE)

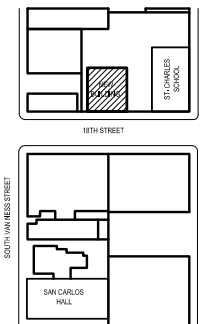
18TH STREET  
(64.00' WIDE)

SHOTWELL STREET  
(60.00' WIDE)

Perkins&Will Pfau Long

ZPZ PARTNERS

LA SCUOLA



La Scuola

3250 18th Street  
San Francisco CA 94110  
APN: 35740850 & -086

APN: 3591-011

No. Date Issues + Revisions

1 08/28/2019 Planning Submittal

Project Name  
La Scuola

Project Number  
28009

Sheet Number

Sheet Name

Survey - 2

Plot North TRUE NORTH PROJECT NORTH Date 08/13/2019

C1.2

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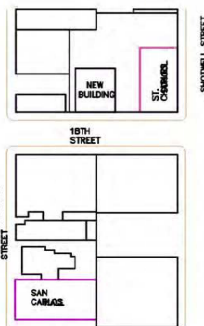






No.	Date	Issues + Revisions
1	08/28/2016	Planning Submittal





**La Scuola**  
3250 18th Street  
San Francisco CA 94110  
APN: 35740850 & -086

APN: 3591-011

No.	Date	Issues + Revisions
1	08/28/2016	Planning Submittal

Project Name  
**La Scuola**

Project Number  
**28009**

Sheet Name  
**New Building Occupied Roof Landscape Plan**

Ref. North TRUE NORTH PROJECT NORTH Date

Scale  
3/16" = 1'-0"

**L1.01**

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42' x 17' PERM. METAL SHADE  
STRUCTURE

PLANTING, TYP.

8' TALL WOOD  
ENCLOSURE

GROUP TABLE W/ SEATING  
TYP.

SPECIAL PAVING TYPE,  
TYPE 1

3',10" MEDIUM SIZED  
TREE IN POT, TYP.

OUTDOOR FLOOR CUSHION ,  
TYP.

SPECIAL PAVING TYPE,  
TYPE 2

CUSTOM WOOD SEATING

PLANTING, TYP.  
W/ 12" OF SOIL

36" TALL PLANTING BED

42" GUARDRAIL

15' WORK BOARD

MECHANICAL

DN





**La Scuola**  
3250 18th Street  
San Francisco CA 94110  
APN: 35740850 & -086

APN: 3591-011

No.	Date	Issues + Revisions
1	08/28/2016	Planning Submittal

Project Name  
La Scuola  
Project Number  
28009

Sheet Name  
San Carlos Occupied Roof  
Landscape Plan

Ref. North  
TRUE NORTH  
PROJECT NORTH  
Date



Scale  
3/16" = 1'-0"

**L1.02**

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ADJACENT BUILDING

CHICKEN COOP

8' TALL MECHANICAL SCREENING

GROUP TABLE & SEATING, TYP.

SPECIAL PAVING TYPE, TYPE 1

3' x 4' PLANTING BED, TYP.

3', 10" MEDIUM SIZED TREE IN POT, TYP.

5' X 5' WOOD TABLE & SEATING, TYP.

MECHANICAL

ELEV

POLLINATOR PLANTING, TYP.

CUSTOM WOOD SEATING

SPECIAL PAVING TYPE, TYPE 2

48' x 16' CUSTOM STEEL TRELLIS

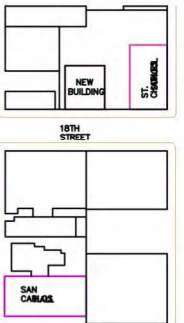
BEE KEEPING AREA

8' TALL SCREENING

PARKING LOT

PLA PROJECT NO.:  
28009  
Scuola

8/19/2019  
9:58:30 AM



**La Scuola**

3250 18th Street  
San Francisco CA 94110  
APN: 35740850 & -086

APN: 3591-011

No.	Date	Issues + Revisions
1	08/28/2019	Planning Submittal

ADJACENT BUILDING

PARKING LOT

ADJACENT BUILDING

CLASS 2 BIKE RACK, TYP  
(1 OF 5)

(N) MEDIUM SIZED  
TREE IN 3'-0" TREE  
GRATE, TYP (1 OF 4)

CITY STANDARD CONCRETE  
PAVING, TYP.

(E) MUNI POLE

DRIVEWAY, SCD

(E) VEHICLE GATE

LOW

11'-5"

7'-10"

1'-5"  
TYP.

3'-0"  
TYP.

3'-0"  
TYP.

LOW

15'-6"

20'-9"

18'-2"

21'-0"

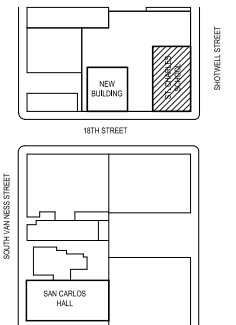
Ref. North TRUE NORTH PROJECT NORTH Date 08/29/19

Scale 3/16" = 1'

L1.03

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**La Scuola**  
3250 18th Street  
San Francisco CA 94110

No.	Date	Issues + Revisions
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1 08/28/2019 Planning Submittal

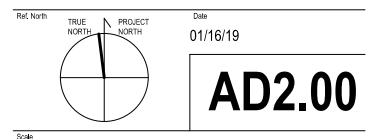
Project Name La Scuola

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Project Number 28009

Sheet Name

NEW BLDG & ST.CHARLES - GROUND FLOOR  
DEMO PLANS



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## LEGEND

EXISTING

DEMO

(E) TREE

## GENERAL NOTES

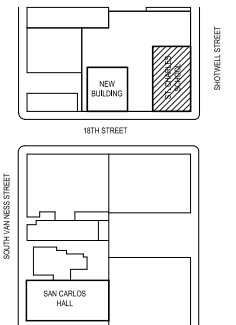
- 1 HISTORICAL PRESERVATION: ST CHARLES SCHOOL AND  
SAN CARLOS HISTORIC FEATURES APPEAR TO BE INTACT.  
THE EXTERIOR ENVELOPE APPEARS TO BE IN GOOD  
CONDITION.
- 2 FUTURE MAINTENANCE AND REPAIRS SHOULD BE  
CONSIDERED:
- 3 INSPECT AND REPAIR ROOF SHEATHING AS REQUIRED. IF  
REQUIRED REPLACE IN-KIND.
- 4 INSPECT AND REPAIR EXISTING WINDOW SASH, INSTALL  
NEW WEATHER-STRIPPING.
- 5 INSPECT EXTERIOR SIDING AND REPAIR IN-KIND ANY  
DAMAGE, AND REPAINT.
- 6 CONCRETE FOUNDATIONS: INCREASED EXPOSED  
FOUNDATIONS SHOULD MATCH EXISTING TEXTURED  
SURFACE PAINTED TO CONTRAST WITH HISTORIC WOOD  
SIDING.
- 7 WOOD EXTERIOR SHOULD REMAIN INTACT
- 8 ENTRY STAIRS: ACCOMMODATION OF ADDITIONAL RISERS  
RESULTING FROM LIFTING THE BUILDING SHOULD BE  
ACCOMPLISHED BY RECESSING THE EXISTING DOOR WAY.

## SHEET NOTES

- 04 (E) CURB CUT  
05 SIDEWALK  
07 BASKETBALL HOOPS  
10 STREET LIGHT  
11 FLAG POLE  
15 (E) PEDESTRIAN GATE  
16 (E) RAMP  
33 (E) TREE  
34 (E) HYDRANT

NEW BLDG & ST.CHARLES - GROUND FLOOR DEMO PLANS | 1  
1/8" = 1'-0"





**La Scuola**  
3250 18th Street  
San Francisco CA 94110

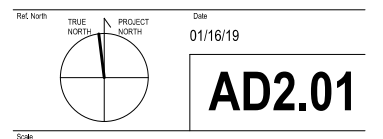
No.	Date	Issues + Revisions
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1 08/28/2019 Planning Submittal

Project Name **La Scuola**

Project Number  
28009

Sheet Name  
NEW BLDG & ST.CHARLES - FIRST FLOOR  
DEMO PLANS



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## LEGEND

— EXISTING

DEMO

(E) TREE

## GENERAL NOTES

- 1 HISTORICAL PRESERVATION: ST CHARLES SCHOOL AND SAN CARLOS HISTORIC FEATURES APPEAR TO BE INTACT. THE EXTERIOR ENVELOPE APPEARS TO BE IN GOOD CONDITION.
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## SHEET NOTES

- 04 (E) CURB CUT  
05 SIDEWALK  
09 (E) FENCE  
15 (E) PEDESTRIAN GATE  
33 (E) TREE  
34 (E) HYDRANT

NEW BLDG & ST.CHARLES - FIRST FLOOR DEMO PLANS | 1  
1/8" = 1'-0"

1/8" = 1'-0"

1

LEGEND

EXISTING

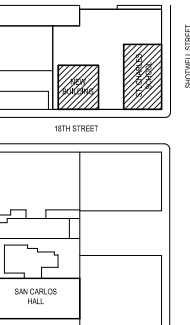
DEMO

DEMO

GENERAL NOTES

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SHEET NOTES



**La Scuola**  
3250 18th Street  
San Francisco CA 94110

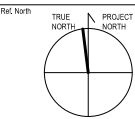
No. Date Issues + Revisions

1 08/28/2019 Planning Submittal

Project Name  
La Scuola

Project Number  
28009

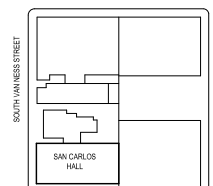
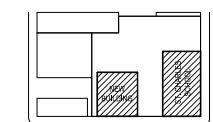
Sheet Name  
NEW BLDG & ST.CHARLES - SECOND FLOOR  
DEMO PLANS



Date  
08/09/19

AD2.02

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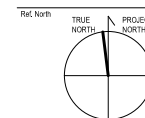


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3250 18th Street  
San Francisco CA 94110

No.	Date	Issues + Revisions
-----	------	--------------------

1 08/28/2019 Planning SubmittalProject Name  
**La Scuola**Project Number  
28009

Sheet Name NEW BLDG & ST.CHARLES - ROOF DEMO  
PLANS



Date  
08/09/19

## AD2.03

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## LEGEND

EXISTING

2/2/2

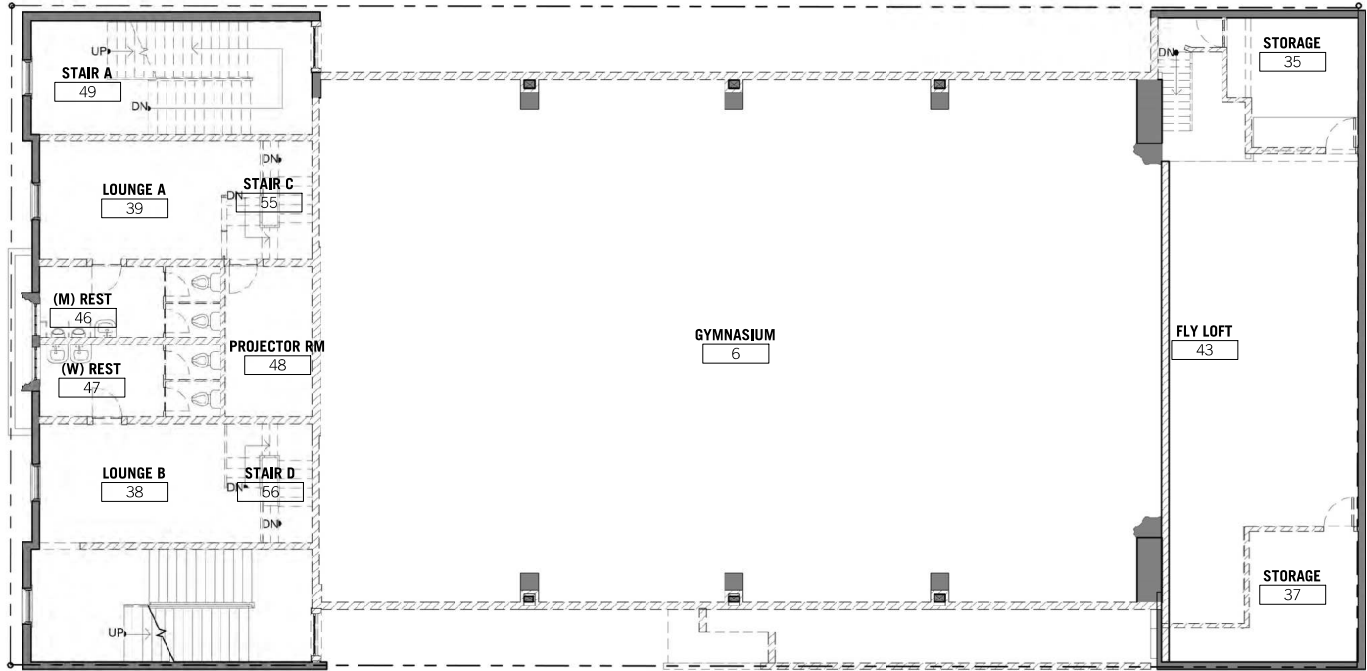
DEMO

## GENERAL NOTES

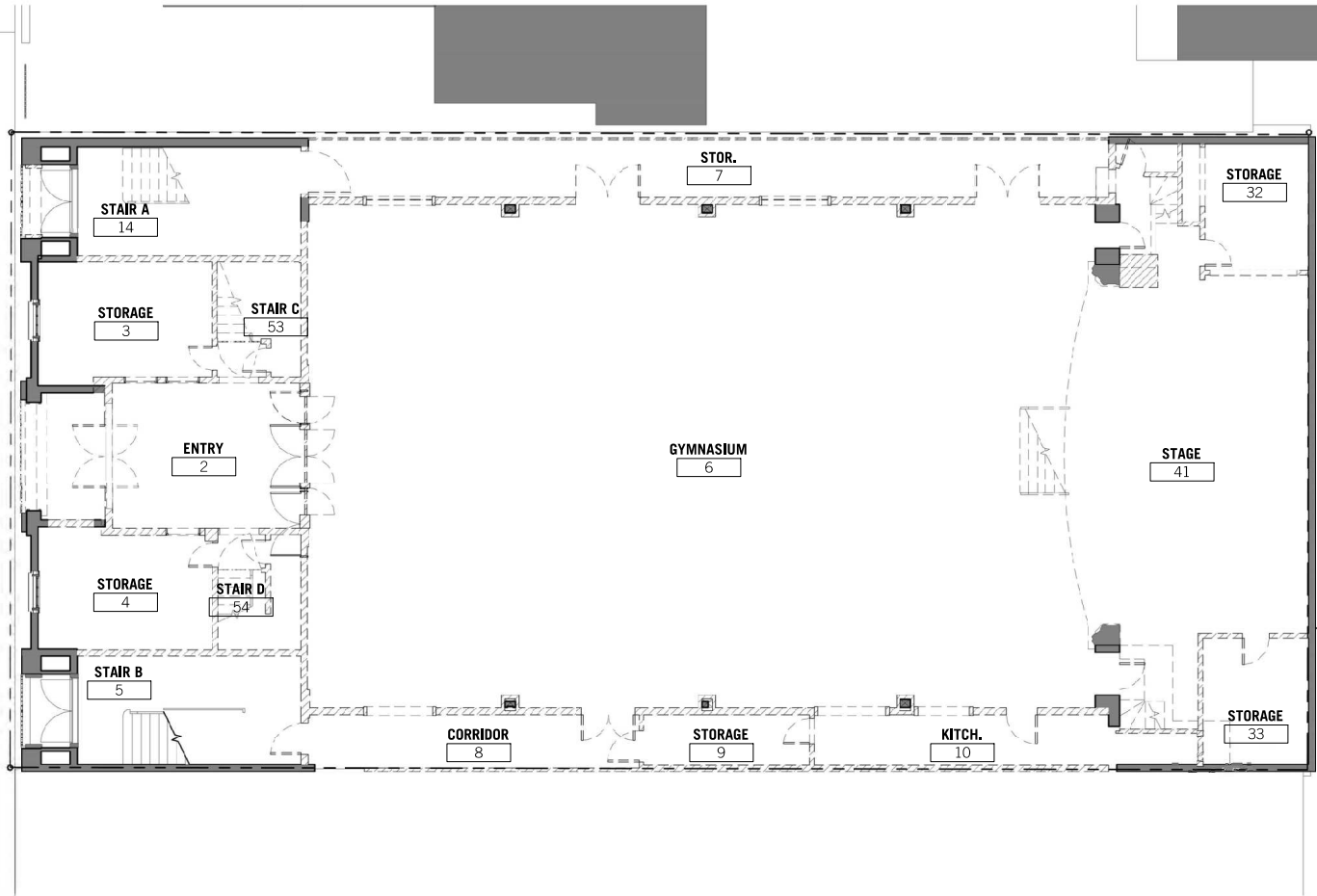
- 1 HISTORICAL PRESERVATION: ST CHARLES SCHOOL AND  
SAN CARLOS HISTORIC FEATURES APPEAR TO BE INTACT.  
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RESULTING FROM LIFTING THE BUILDING SHOULD BE  
ACCOMPLISHED BY RECESSING THE EXISTING DOOR WAY.

SHEET NOTES

39 (E) SLOPING ROOF



SAN CARLOS - MEZZANINE DEMO PLAN | 1  
1/8" = 1'-0"



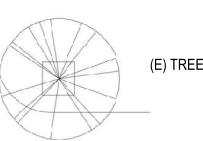
SAN CARLOS - FIRST FLOOR DEMO PLAN | 5  
1/8" = 1'-0"

LEGEND

EXISTING

DEMO

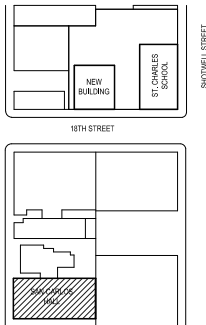
DEMO



GENERAL NOTES

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SHEET NOTES



**La Scuola**  
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San Francisco CA 94110

No. Date Issues + Revisions

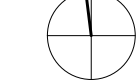
1 08/28/2019 Planning Submittal

Project Name  
La Scuola

Project Number  
28009

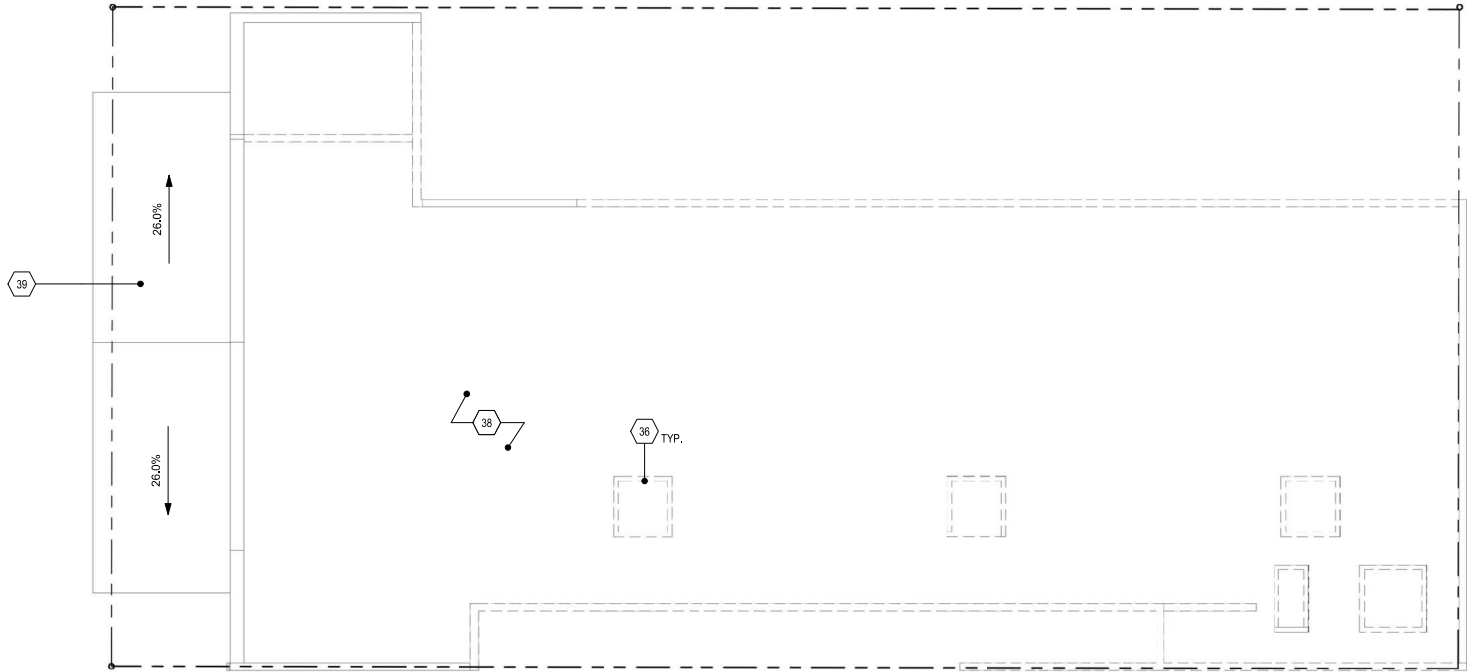
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SAN CARLOS - DEMO PLANS

Plat North TRUE NORTH PROJECT NORTH Date 08/14/19

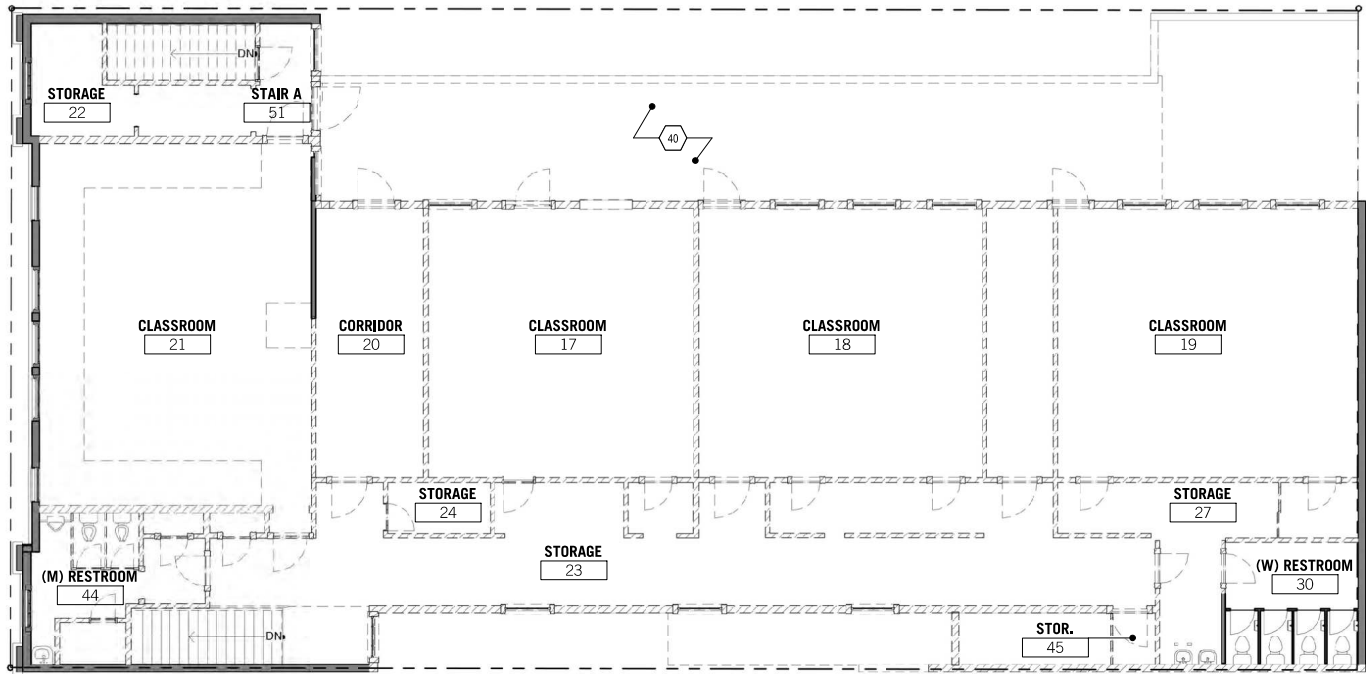


AD2.10

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SAN CARLOS - ROOF DEMO PLAN | 1  
1/8" = 1'-0"



SAN CARLOS - SECOND FLOOR DEMO PLAN | 4  
1/8" = 1'-0"

#### LEGEND

EXISTING

DEMO

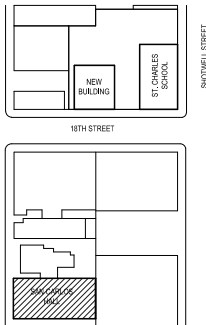
DEMO

#### GENERAL NOTES

- 1 HISTORICAL PRESERVATION: ST CHARLES SCHOOL AND SAN CARLOS HISTORIC FEATURES APPEAR TO BE INTACT. THE EXTERIOR ENVELOPE APPEARS TO BE IN GOOD CONDITION.
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#### SHEET NOTES

- 36 (E) SKYLIGHT  
38 (E) FLAT ROOF  
39 (E) SLOPING ROOF  
40 (E) ROOF DECK BELOW



**La Scuola**  
3250 18th Street  
San Francisco CA 94110

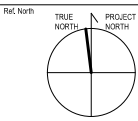
No. Date Issues + Revisions

1 08/28/2019 Planning Submittal

Project Name  
La Scuola

Project Number  
28009

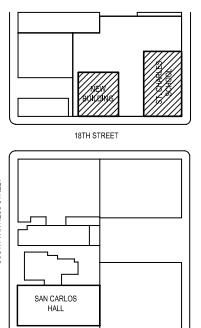
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SAN CARLOS - DEMO PLANS



AD2.11

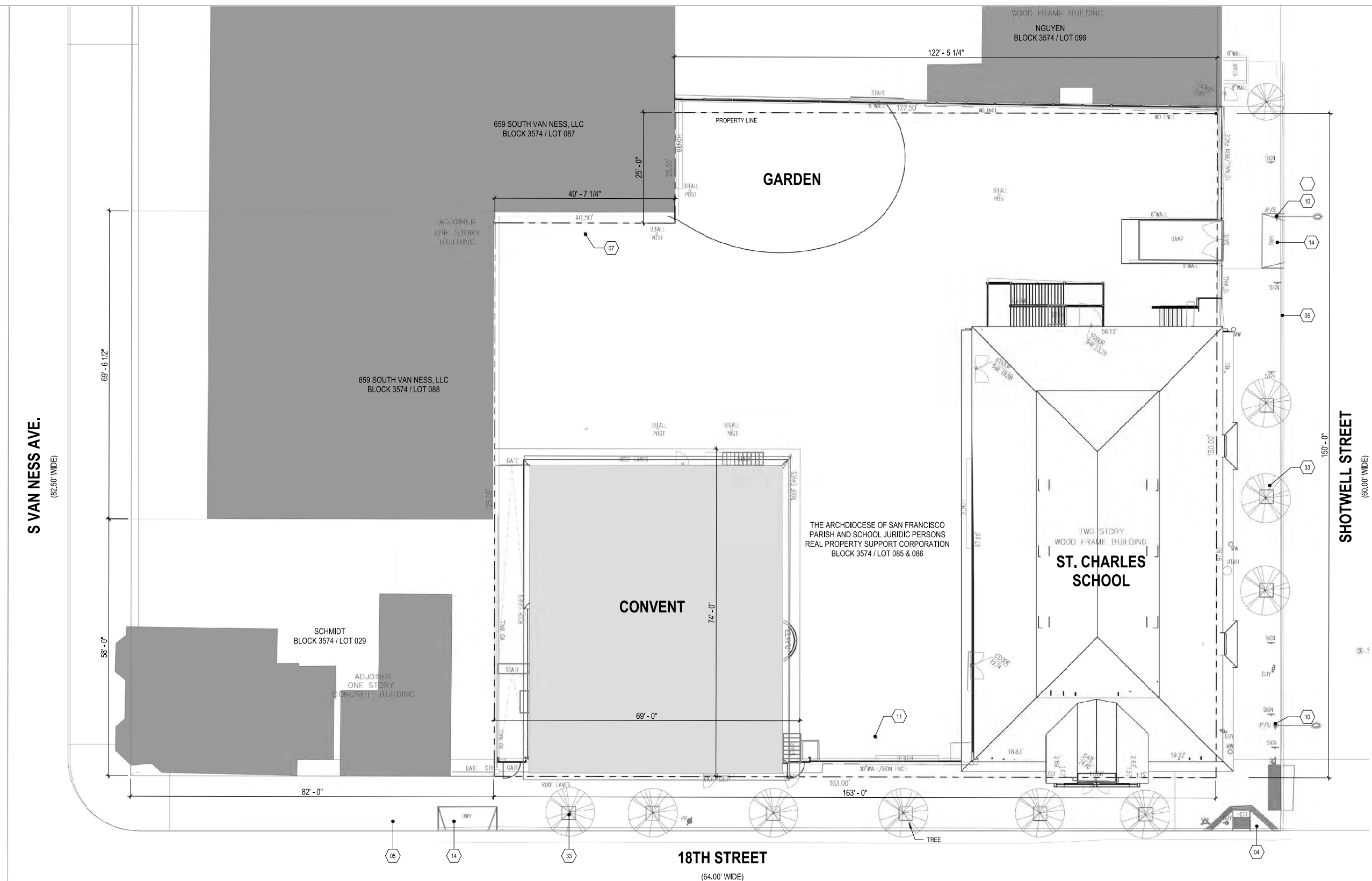
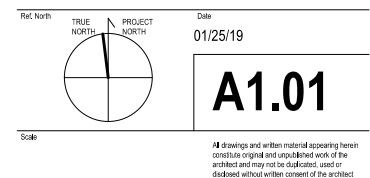
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**La Scuola**  
3250 18th Street  
San Francisco CA 94110

No.	Date	Issues + Revisions
1	08/28/2019	Planning Submittal
Project Name	La Scuola	
Project Number:	28009	

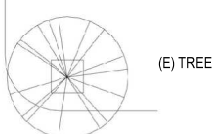


CONVENT & ST.CHARLES - EXISTING SITE PLAN | 1  
3/32" = 1'-0"

## SHEET NOTES

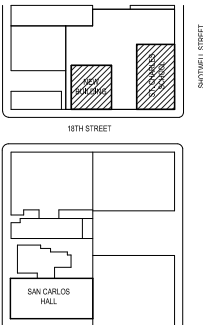
- |    |                  |
|----|------------------|
| 04 | (E) CURB CUT     |
| 05 | SIDEWALK         |
| 07 | BASKETBALL HOOPS |
| 10 | STREET LIGHT     |
| 11 | FLAG POLE        |
| 14 | DRIVEWAY         |
| 33 | (E) TREE         |

## LEGEND



## GENERAL NOTES

- |   |   |     |   |
|---|---|-----|---|
| 1 | FOR SYMBOLS SHOWN ON THIS PAGE, SEE A0.00 FOR SYMBOL LEGEND.  | 7.1 | INSPECT AND REPAIR ROOF SHEATHING AS REQUIRED. IF REQUIRED REPLACE IN-KIND.   |
| 2 | SEE L1.00 FOR LANDSCAPE SITEPLAN AND STREETScape PLAN.  | 7.2 | INSPECT AND REPAIR EXISTING WINDOW SASH, INSTALL NEW WEATHER-STRIPPING.   |
| 3 | SEE L1.01 FOR NEW BUILDING OCCUPIED ROOF LANDSCAPE PLAN.  | 7.3 | INSPECT EXTERIOR SIDING AND REPAIR IN-KIND ANY DAMAGE, AND REPAINT.   |
| 4 | SEE L1.02 FOR SAN CARLOS OCCUPIED ROOF PLAN.  | 7.4 | CONCRETE FOUNDATIONS: INCREASED EXPOSED FOUNDATIONS SHOULD MATCH EXISTING TEXTURED SURFACE PAINTED TO CONTRAST WITH HISTORIC WOOD SIDING.       |
| 5 | SEE A10.00 FOR TYPICAL EXTERIOR WINDOW AND DOOR TYPES   | 7.5 | WOOD EXTERIOR SHOULD REMAIN INTACT  |
| 6 | HISTORICAL PRESERVATION: ST CHARLES SCHOOL AND SAN CARLOS HISTORIC FEATURES APPEAR TO BE INTACT. THE EXTERIOR ENVELOPE APPEARS TO BE IN GOOD CONDITION. | 7.6 | ENTRY STAIRS: ACCOMMODATION OF ADDITIONAL RISERS RESULTING FROM LIFTING THE BUILDING SHOULD BE ACCOMPLISHED BY RECESSING THE EXISTING DOOR WAY. |



**La Scuola**  
3250 18th Street  
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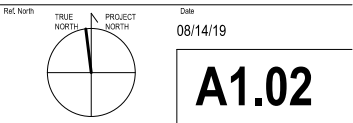
No. Date Issues + Revisions

1 08/28/2019 Planning Submittal

Project Name  
La Scuola

Project Number  
28009

Sheet Name  
NEW BLDG & ST.CHARLES - PROPOSED SITE PLAN



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S VAN NESS AVE.  
(82.50' WIDE)

SHOTWELL STREET  
(60.00' WIDE)

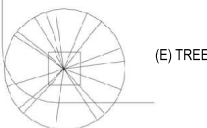
18TH STREET  
(64.00' WIDE)

NEW BLDG & ST.CHARLES - PROPOSED SITE PLAN | 1  
3/32" = 1'-0"

SHEET NOTES

- 02 GLASS RAILING
- 04 (E) CURB CUT
- 05 SIDEWALK
- 10 STREET LIGHT
- 11 FLAG POLE
- 14 DRIVEWAY
- 17 (N) VEHICULAR GATE
- 18 (N) PEDESTRIAN GATE
- 23 (N) PEDESTRIAN BRIDGE
- 33 (E) TREE
- 34 (E) HYDRANT
- 35 (N) RAISED PLAY YARD

LEGEND



GENERAL NOTES

- FOR SYMBOLS SHOWN ON THIS PAGE, SEE A0.00 FOR SYMBOL LEGEND.
- SEE L1.00 FOR LANDSCAPE SITEPLAN AND STREETScape PLAN.
- SEE L1.01 FOR NEW BUILDING OCCUPIED ROOF LANDSCAPE PLAN.
- SEE L1.02 FOR SAN CARLOS OCCUPIED ROOF PLAN.
- SEE A10.00 FOR TYPICAL EXTERIOR WINDOW AND DOOR TYPES
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659 SOUTH VAN NESS, LLC  
BLOCK 3574 / LOT 087

659 SOUTH VAN NESS, LLC  
BLOCK 3574 / LOT 088

SCHMIDT  
BLOCK 3574 / LOT 029

NGUYEN  
BLOCK 3574 / LOT 099

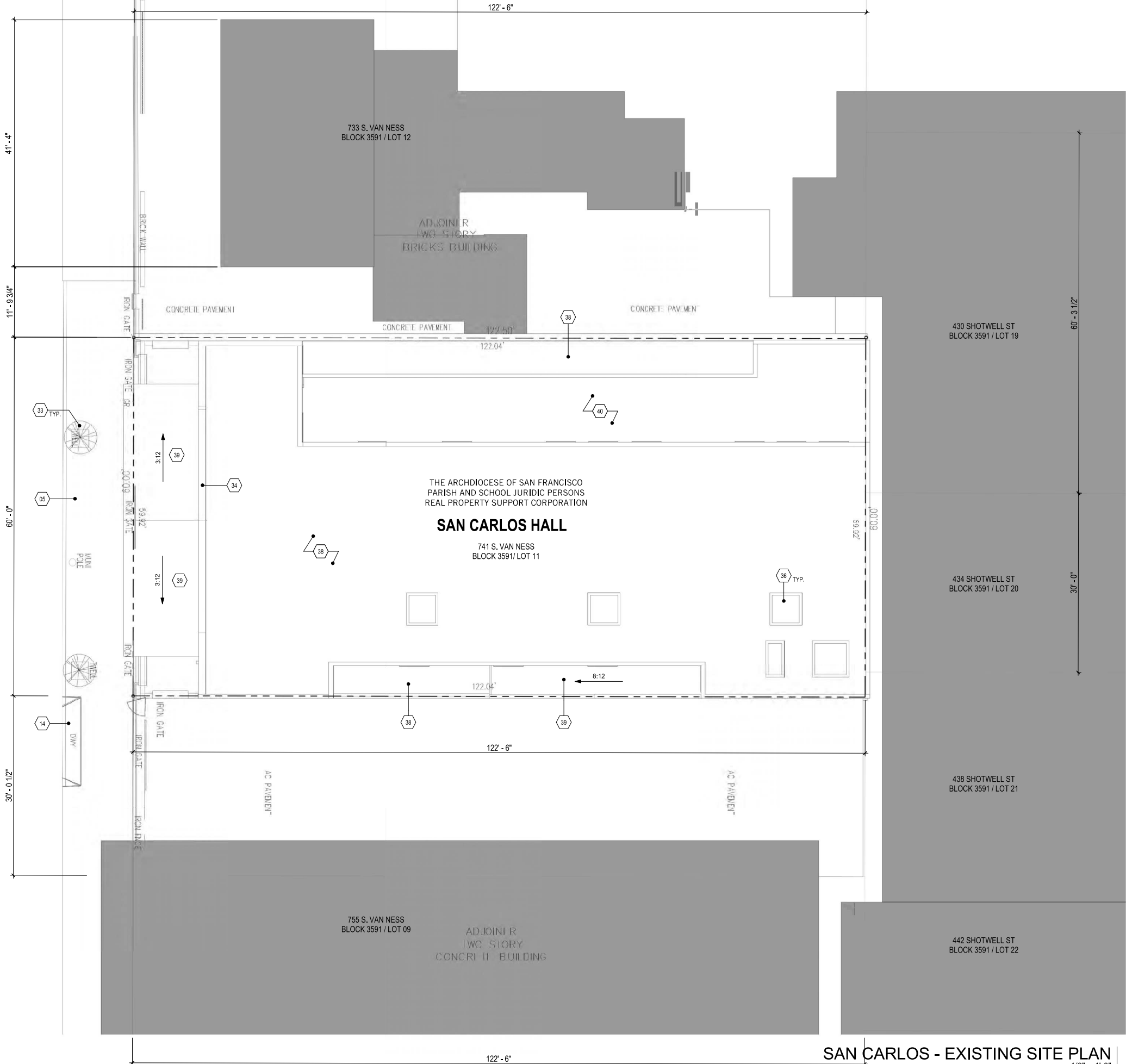
GARDEN

RAISED YARD

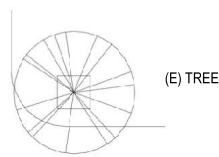
(N) NEW BUILDING

ST. CHARLES  
SCHOOL

THE ARCHDIOCESE OF SAN FRANCISCO  
PARISH AND SCHOOL JURIDIC PERSONS  
REAL PROPERTY SUPPORT CORPORATION  
BLOCK 3574 / LOT 085 & 086



LEGEND

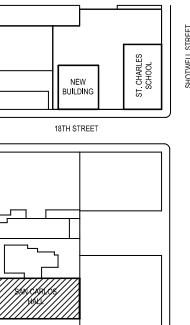


GENERAL NOTES

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SHEET NOTES

- 05 SIDEWALK
- 14 DRIVEWAY
- 33 (E) TREE
- 34 (E) HYDRANT
- 36 (E) SKYLIGHT
- 38 (E) FLAT ROOF
- 39 (E) SLOPING ROOF
- 40 (E) ROOF DECK BELOW



**La Scuola**  
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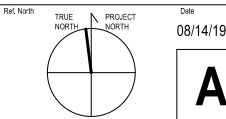
No.	Date	Issues + Revisions
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1	08/28/2019	Planning Submittal
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Project Name  
**La Scuola**

Project Number  
**28009**

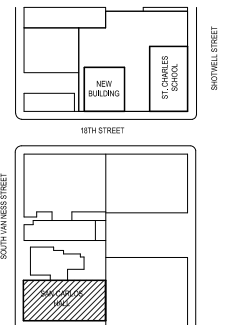
Sheet Name  
**SAN CARLOS - EXISTING SITE PLAN**



**A1.03**

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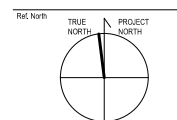
No.	Date	Issues + Revisions
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1 08/28/2019 Planning Submittal

Project Name **La Scuola**

Project Number  
28009

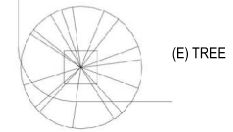
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**SAN CARLOS - PROPOSED SITE PLAN**



## A1.04

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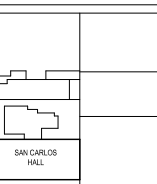


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SHEET NOTES

- |    |                     |
|----|---------------------|
| 02 | GLASS RAILING       |
| 05 | SIDEWALK            |
| 14 | DRIVEWAY            |
| 33 | (E) TREE            |
| 37 | (N) SKYLIGHT        |
| 39 | (E) SLOPING ROOF    |
| 40 | (E) ROOF DECK BELOW |
| 41 | (E) PARAPET         |



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1 08/28/2019 Planning Submittal

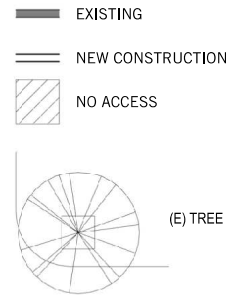
Project Name  
La Scuola

Project Number  
28009

Sheet Name  
NEW BLDG & ST.CHARLES - GROUND FLOOR PLANS

Plat North TRUE NORTH PROJECT NORTH Date 04/19/19  
**A2.00**  
Scale  
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LEGEND

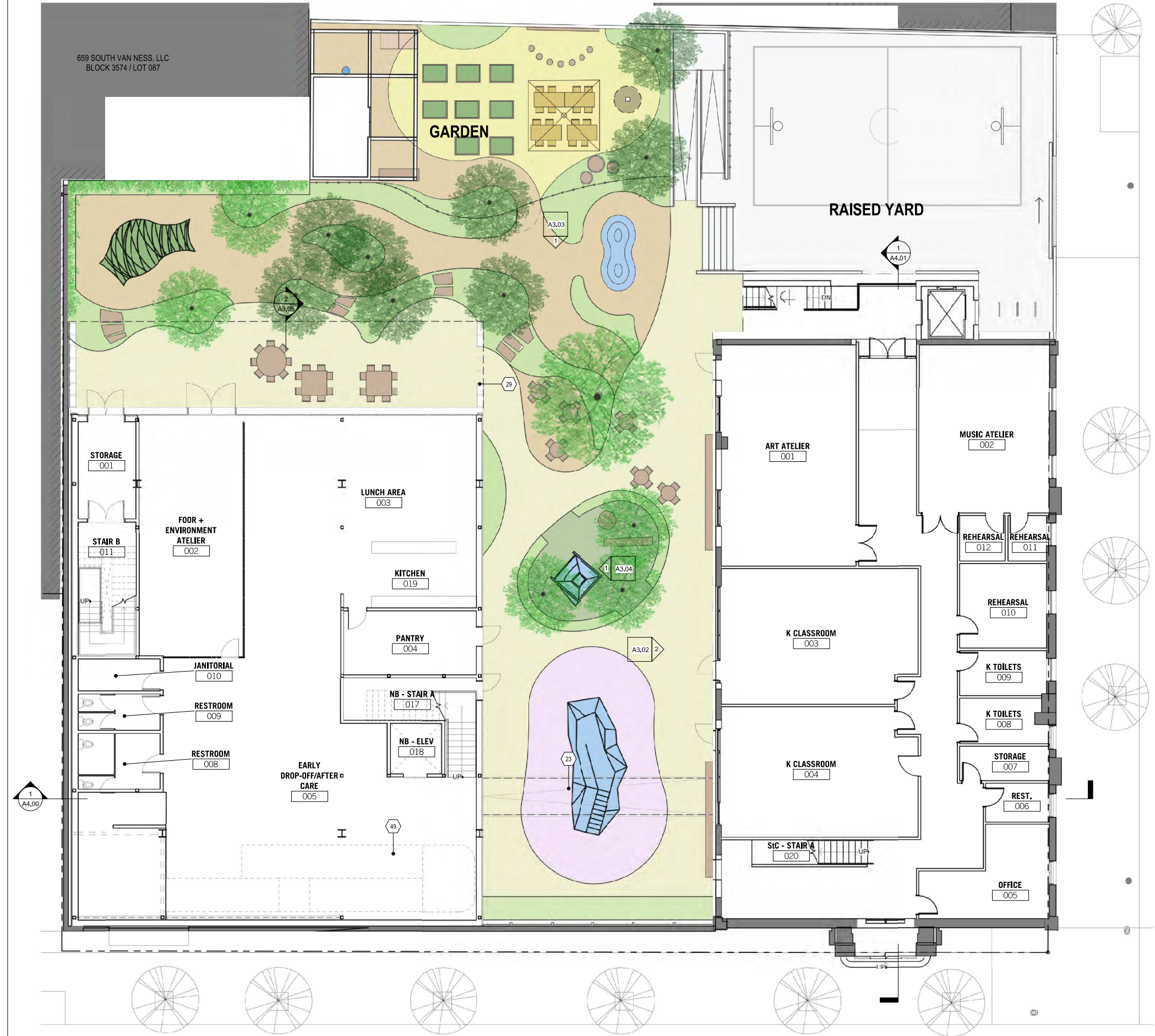


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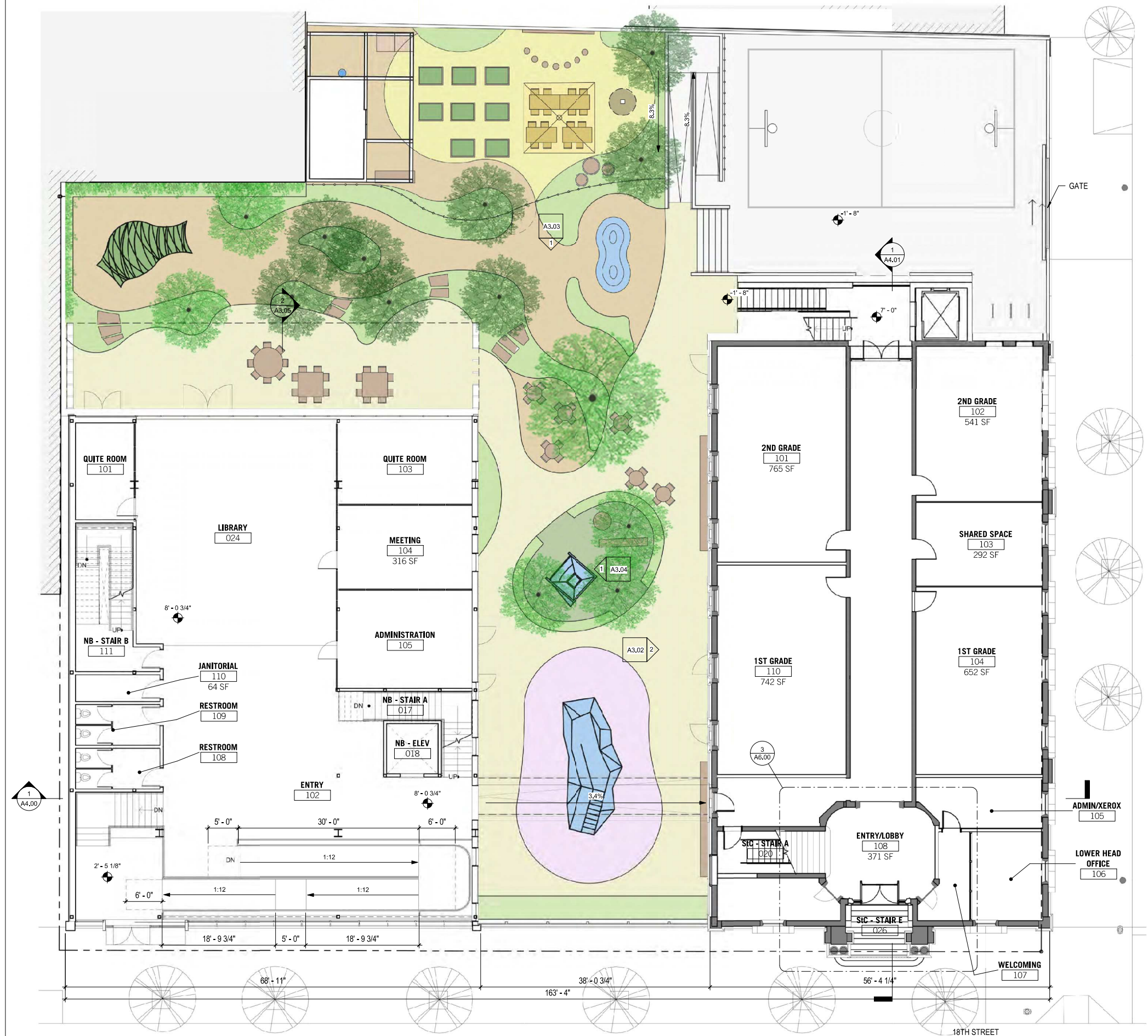
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SHEET NOTES

- 23 (N) PEDESTRIAN BRIDGE  
29 BRISE SOLEIL  
49 (N) ADA RAMP







NEW BLDG & ST.CHARLES - FIRST FLOOR PLANS  
1/8" = 1'-0" 1

#### LEGEND

- EXISTING
- NEW CONSTRUCTION
- NO ACCESS
- (E) TREE

#### GENERAL NOTES

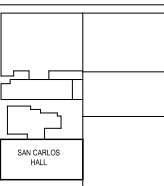
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#### SHEET NOTES

Perkins&Will Pfau Long

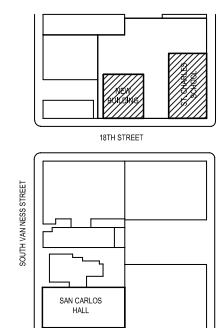
ZPZ PARTNERS

LA SCUOLA



**La Scuola**  
3250 18th Street  
San Francisco CA 94110

No.	Date	Issues + Revisions
1	08/28/2019	Planning Submittal
Project Name La Scuola		
Project Number 28009		
Sheet Name NEW BLDG & ST.CHARLES - FIRST FLOOR PLANS		
Plat North	TRUE NORTH	PROJECT NORTH
Scale	06/04/19	A2.01
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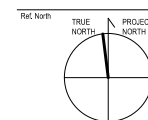
**La Scuola**  
3250 18th Street  
San Francisco CA 94110

No.	Date	Issues + Revisions
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1 08/28/2019 Planning SubmittalProject Name **La Scuola**

Project Number 28009

Sheet Name  
NEW BLDG & ST.CHARLES - SECOND FLOOR  
PLANS



Date  
04/19/19

## A2.02

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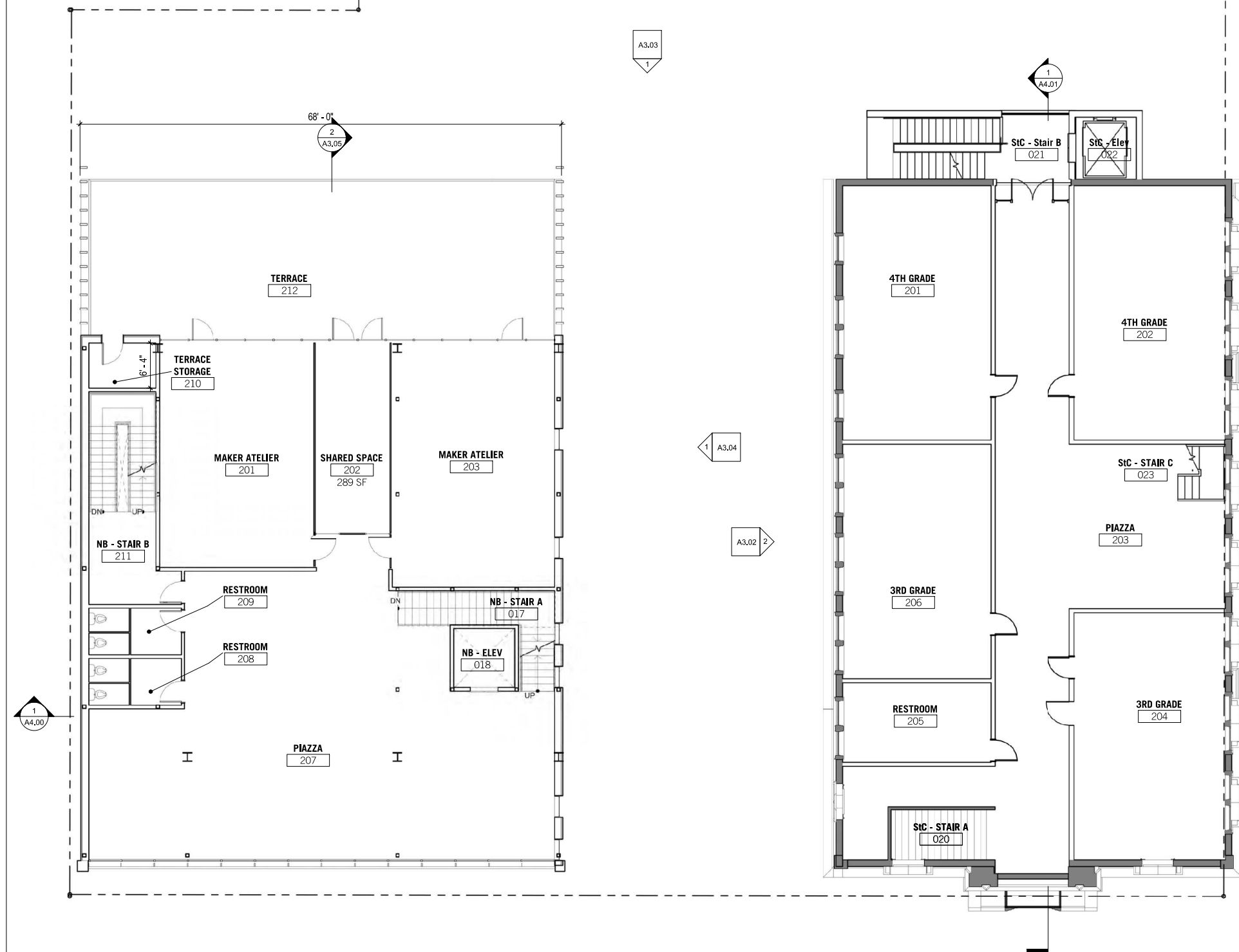
## LEGEND

-  EXISTING  
 NEW CONSTRUCTION  
 NO ACCESS

## GENERAL NOTES

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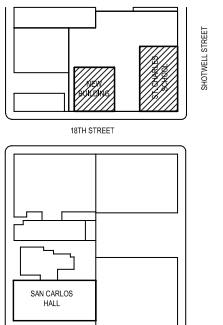
SHEET NOTES

NEW BLDG & ST.CHARLES - SECOND FLOOR PLANS | 1  
1/8" = 1'-0"

1/8" = 1'-0"

1





**La Scuola**  
3250 18th Street  
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No.	Date	Issues + Revisions
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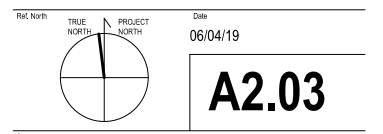
Project Name La Scuola

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Project Number 28009

Sheet Name

NEW BLDG & ST.CHARLES - THIRD FLOOR  
PLANS



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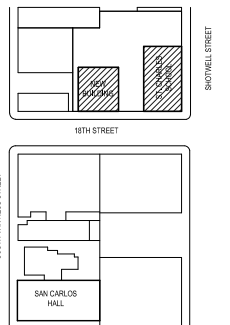
SHEET NOTES

29 BRISE SOLEIL

PLA PROJECT NO.: 28009  
La Scuola

8/30/2019 4:43:35 PM

NEW BLDG & ST.CHARLES - THIRD FLOOR PLANS | 1  
1/8" = 1'-0"



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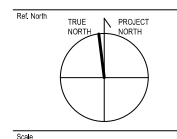
No.	Date	Issues + Revisions
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1 08/28/2019 Planning Submittal

Project Name **La Scuola**

Project Number  
28009

Sheet Name  
NEW BLDG & ST.CHARLES - ROOF PLANS



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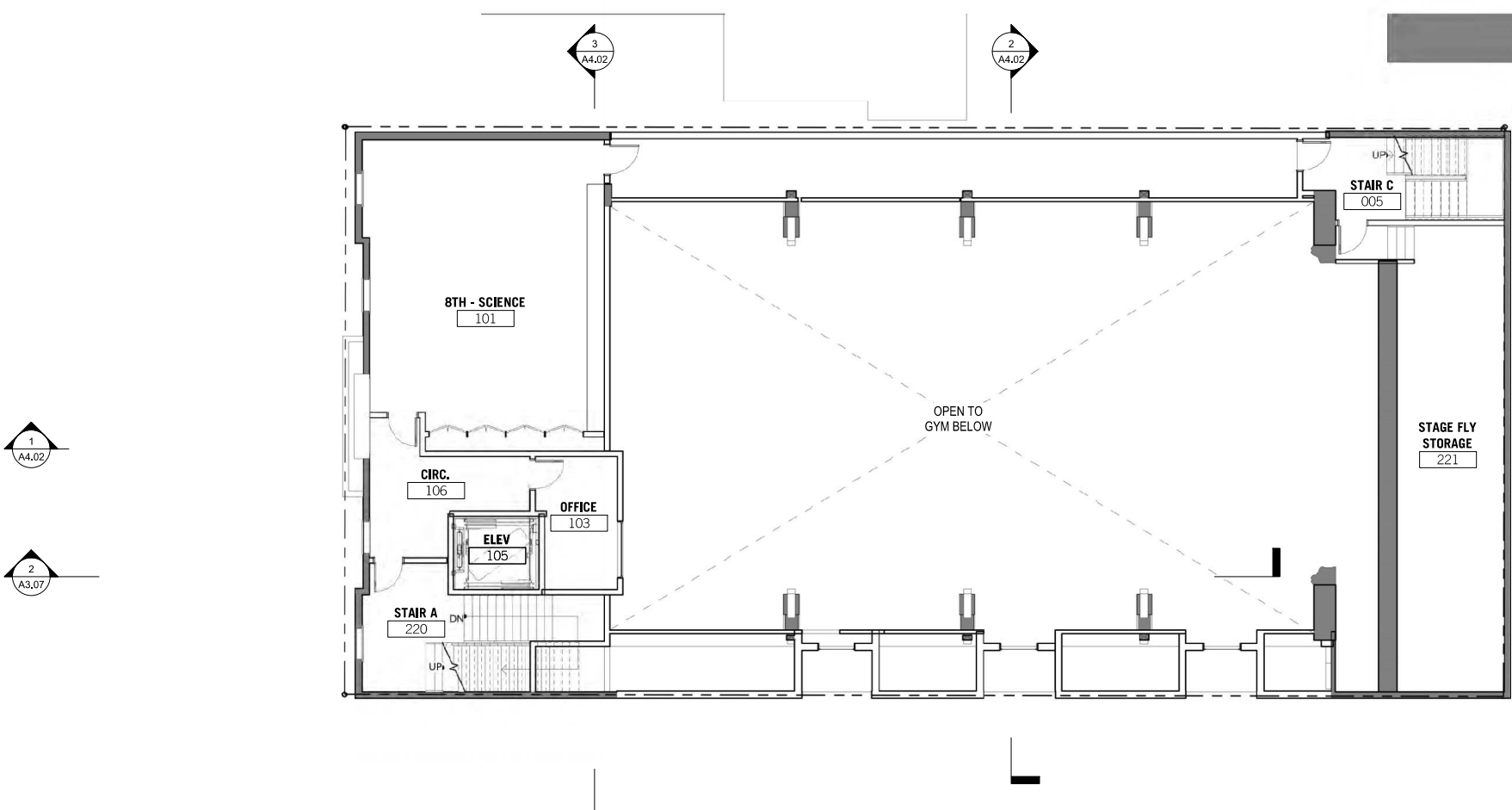
## SHEET NOTES

- |     |                    |
|-----|--------------------|
| 31  | MECHANICAL UNITS   |
| 37  | (N) SKYLIGHT       |
| 39  | (E) SLOPING ROOF   |
| 46  | OCCUPIED ROOF, SLD |
| MT3 |                    |

NEW BLDG & ST.CHARLES - ROOF PLANS | 1  
1/8" = 1'-0"

1/8" = 1'-0"

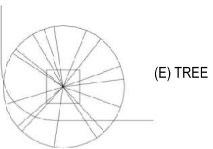
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SAN CARLOS - MEZZANINE PLAN 2  
1/8" = 1'-0"

LEGEND

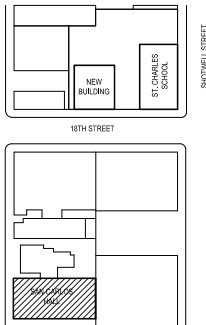
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SHEET NOTES



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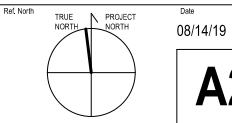
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1	08/28/2019	Planning Submittal
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Project Name  
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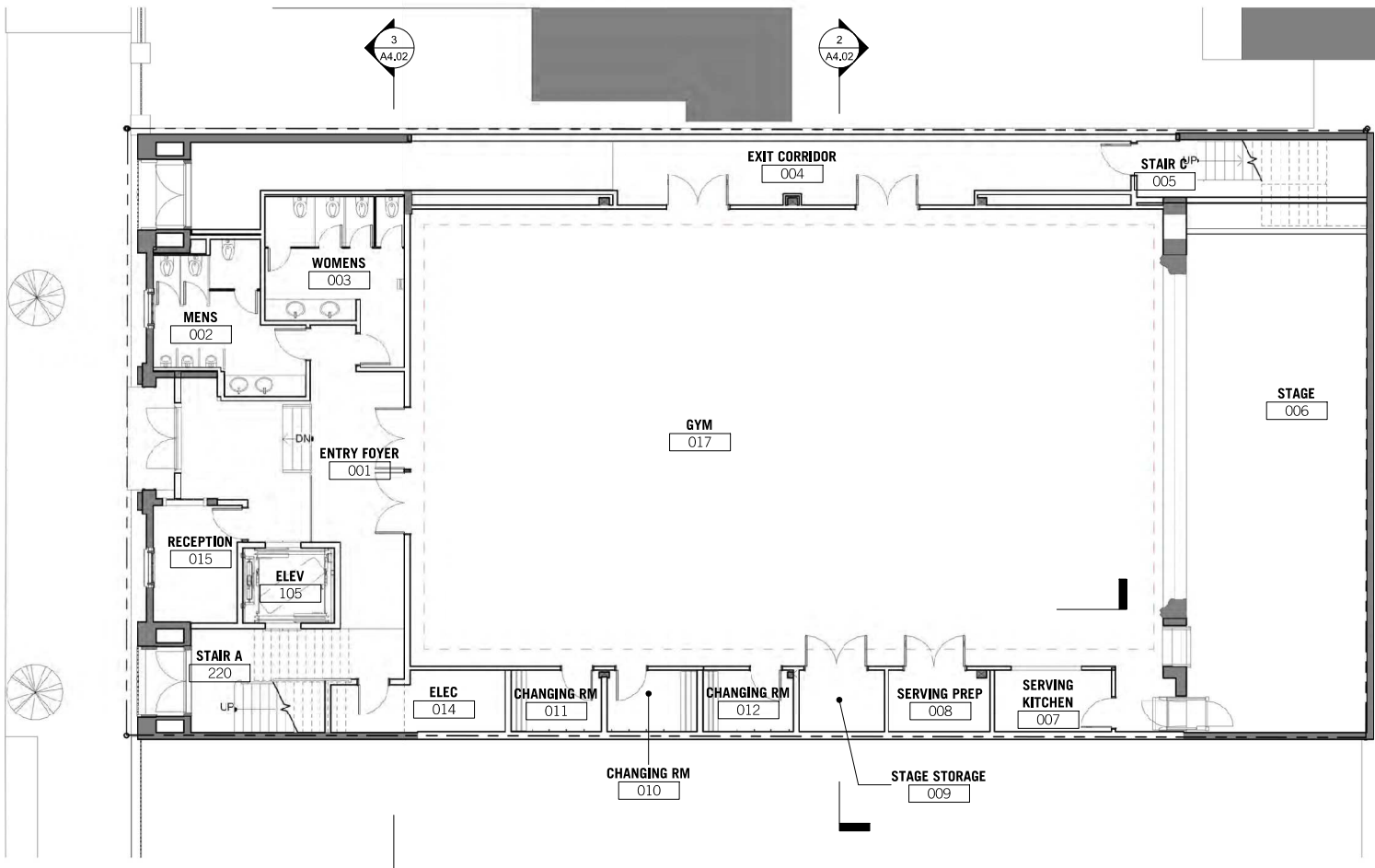
Project Number  
28009

Sheet Name  
SAN CARLOS - FLOOR PLANS

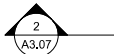
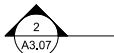
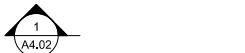


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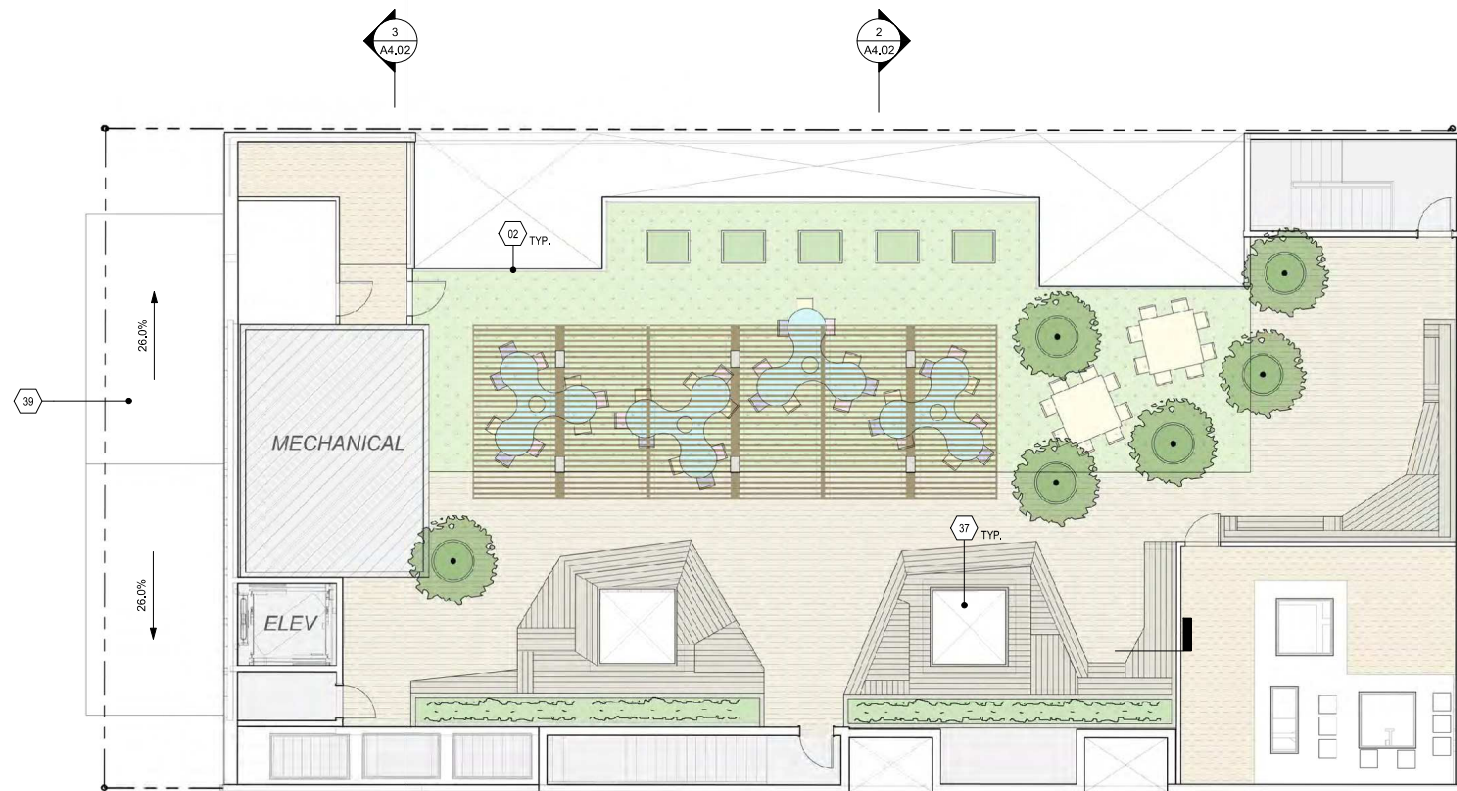
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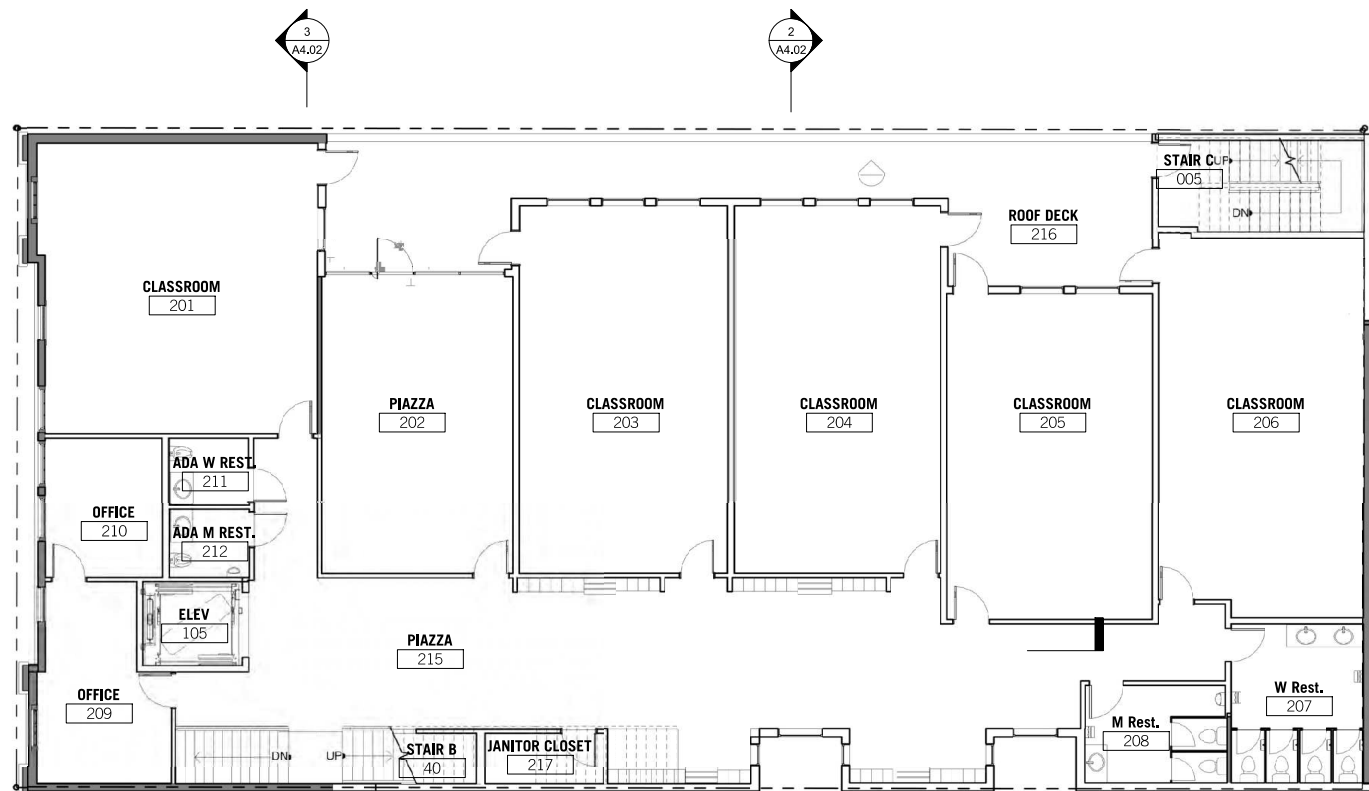
SAN CARLOS - FIRST FLOOR PLANS 1  
1/8" = 1'-0"





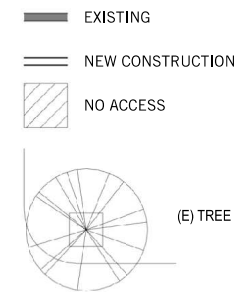


SAN CARLOS - ROOF PLAN | 2  
1/8" = 1'-0"



SAN CARLOS - SECOND FLOOR PLAN | 1  
1/8" = 1'-0"

## LEGEND

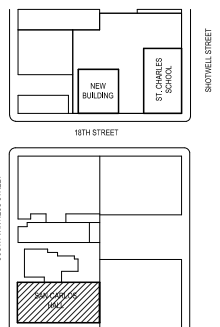


## GENERAL NOTES

- FOR SYMBOLS SHOWN ON THIS PAGE, SEE A0.00 FOR SYMBOL LEGEND.
- SEE L1.00 FOR LANDSCAPE SITEPLAN AND STREETSCAPE PLAN.
- SEE L1.01 FOR NEW BUILDING OCCUPIED ROOF LANDSCAPE PLAN.
- SEE L1.02 FOR SAN CARLOS OCCUPIED ROOF LANDSCAPE PLAN.
- SEE A10.00 FOR TYPICAL EXTERIOR WINDOW AND DOOR TYPES
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- 1 INSPECT AND REPAIR ROOF SHEATHING AS REQUIRED. IF REQUIRED REPLACE IN-KIND.
- 2 INSPECT AND REPAIR EXISTING WINDOW SASH, INSTALL NEW WEATHER-STRIPPING.
- 3 INSPECT EXTERIOR SIDING AND REPAIR IN-KIND ANY DAMAGE, AND REPAINT.
- 4 CONCRETE FOUNDATIONS: INCREASED EXPOSED FOUNDATIONS SHOULD MATCH EXISTING TEXTURED SURFACE PAINTED TO CONTRAST WITH HISTORIC WOOD SIDING.
- 5 WOOD EXTERIOR SHOULD REMAIN INTACT
- 6 ENTRY STAIRS: ACCOMMODATION OF ADDITIONAL RISERS RESULTING FROM LIFTING THE BUILDING SHOULD BE ACCOMPLISHED BY RECESSING THE EXISTING DOOR WAY.

## SHEET NOTES

- 02 GLASS RAILING  
37 (N) SKYLIGHT  
39 (E) SLOPING ROOF



**La Scuola**  
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No. Date Issues + Revisions

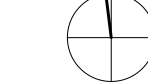
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Project Name  
La Scuola

Project Number  
28009

Sheet Name  
SAN CARLOS - FLOOR PLANS

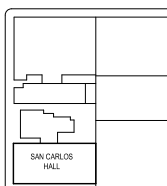
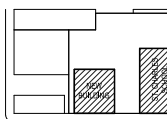
Plat North TRUE NORTH PROJECT NORTH Date 08/14/19



A2.11

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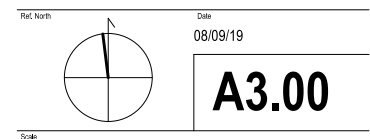
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Project Name **La Scuola**

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Project Number 28009

Sheet Name  
NEW BUILDING + ST. CHARLES - SOUTH  
BUILDING ELEVATIONS



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## GENERAL NOTES

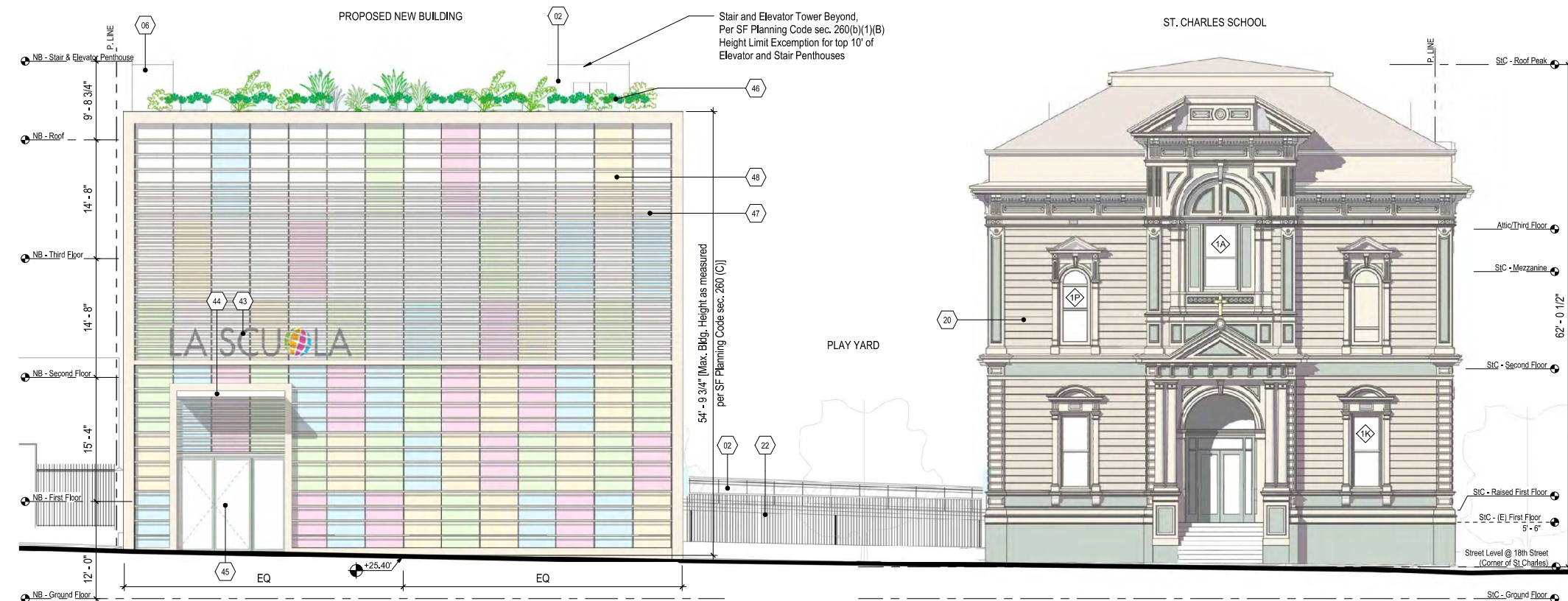
- 1 HISTORICAL PRESERVATION: ST CHARLES SCHOOL AND  
SAN CARLOS HISTORIC FEATURES APPEAR TO BE INTACT.  
THE EXTERIOR ENVELOPE APPEARS TO BE IN GOOD  
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- 5 INSPECT EXTERIOR SIDING AND REPAIR IN-KIND ANY  
DAMAGE, AND REPAINT.
- 6 CONCRETE FOUNDATIONS: INCREASED EXPOSED  
FOUNDATIONS SHOULD MATCH EXISTING TEXTURED  
SURFACE PAINTED TO CONTRAST WITH HISTORIC WOOD  
SIDING.
- 7 WOOD EXTERIOR SHOULD REMAIN INTACT
- 8 ENTRY STAIRS: ACCOMMODATION OF ADDITIONAL RISERS  
RESULTING FROM LIFTING THE BUILDING SHOULD BE  
ACCOMPLISHED BY RECESSING THE EXISTING DOOR WAY.

## SHEET NOTES

- 02 GLASS RAILING  
06 STAIR  
09 (E) FENCE  
15 (E) PEDESTRIAN GATE  
20 (E) WOOD SIDING  
22 (N) FENCE  
34 (E) HYDRANT  
43 METAL LETTERS BACKLIT TO DEFINE ENTRY  
44 GLASS AND METAL AWNING  
45 MAIN ENTRY OF 'LA SCUOLA'  
46 OCCUPIED ROOF, SLD  
47 LOUVERED SYSTEM  
48 COLORED GLASS CURTAIN WALL



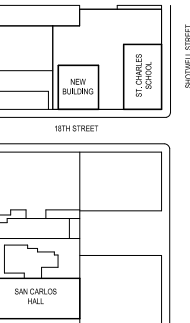
EXISTING 18TH STREET ELEVATION | 3  
1/8" = 1'-0"



PROPOSED 18TH STREET ELEVATION | 1  
1/8" = 1'-0"







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No.	Date	Issues + Revisions
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1	08/28/2019	Planning Submittal
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Project Name  
**La Scuola**

Project Number  
**28009**

Sheet Name  
**ST. CHARLES - EAST / WEST BUILDING ELEVATIONS**

Rev. North  
TRUE NORTH  
PROJECT NORTH  
Date  
08/13/19

**A3.02**

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LEGEND

GENERAL NOTES

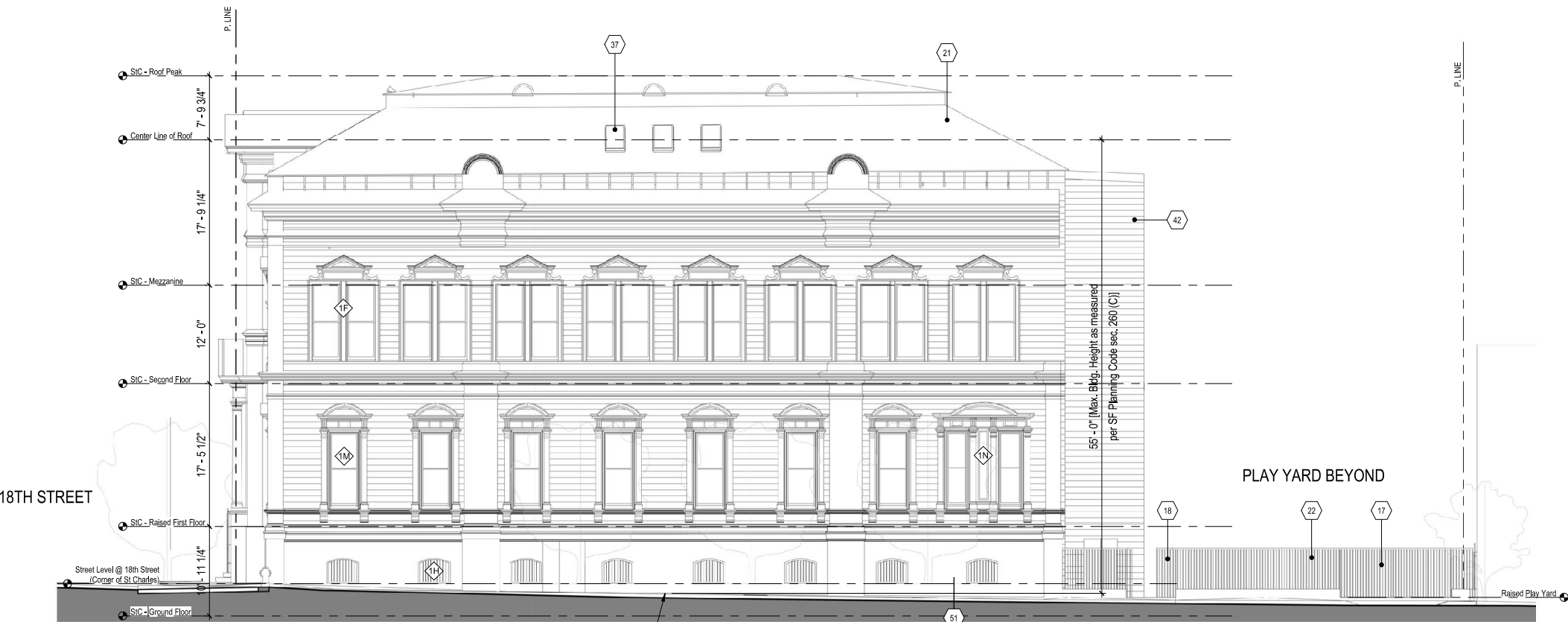
- FOR SYMBOLS SHOWN ON THIS PAGE, SEE A0.00 FOR SYMBOL LEGEND.
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  - ENTRY STAIRS: ACCOMMODATION OF ADDITIONAL RISERS RESULTING FROM LIFTING THE BUILDING SHOULD BE ACCOMPLISHED BY RECESSING THE EXISTING DOOR WAY.

SHEET NOTES

- 02 GLASS RAILING
- 06 STAIR
- 17 (N) VEHICULAR GATE
- 18 (N) PEDESTRIAN GATE
- 19 (E) WOOD WINDOWS
- 20 (E) WOOD SIDING
- 21 (E) ROOF
- 22 (N) FENCE
- 23 (N) PEDESTRIAN BRIDGE
- 37 (N) SKYLIGHT
- 42 ELEVATOR
- 50 (N) WINDOW
- 51 PLASTER COVERED MASONRY

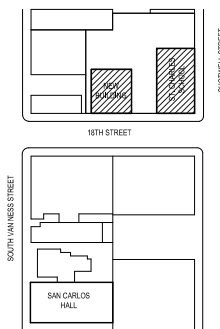


ST. CHARLES - PROPOSED WEST ELEVATION | 2  
1/8" = 1'-0"



ST. CHARLES - PROPOSED SHOTWELL/EAST ELEVATION | 1  
1/8" = 1'-0"





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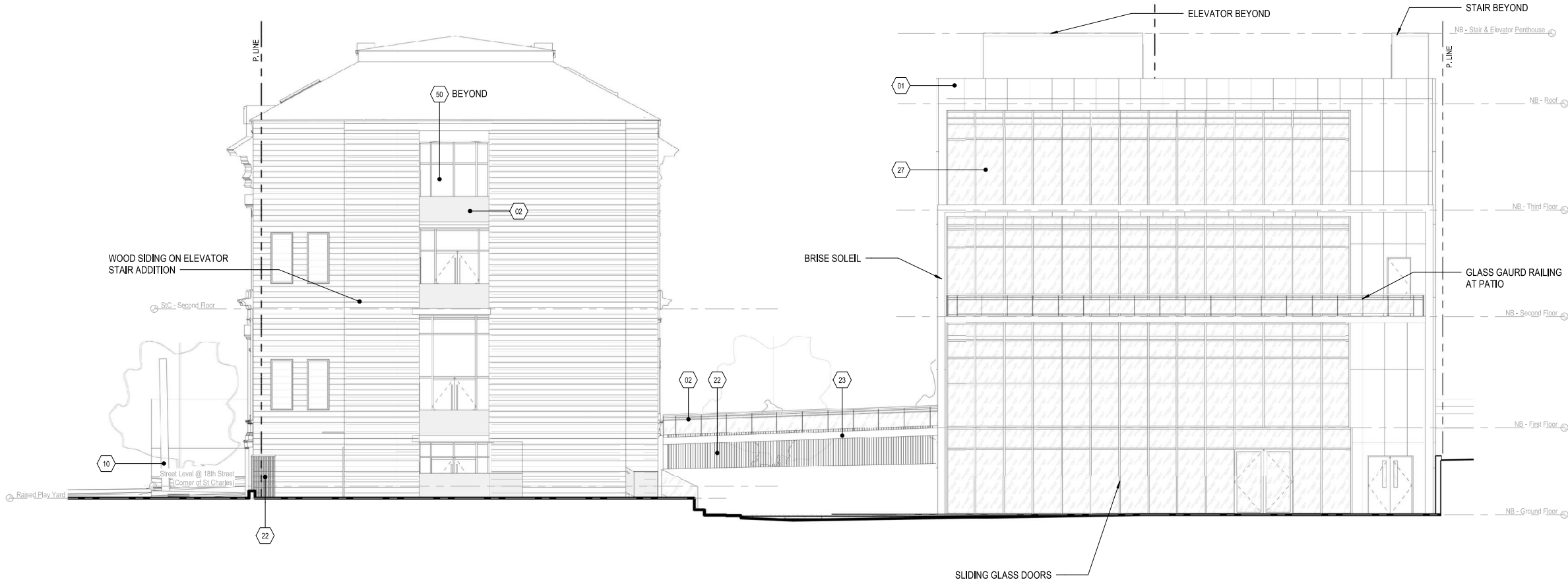
Project Name  
La Scuola

Project Number  
28009

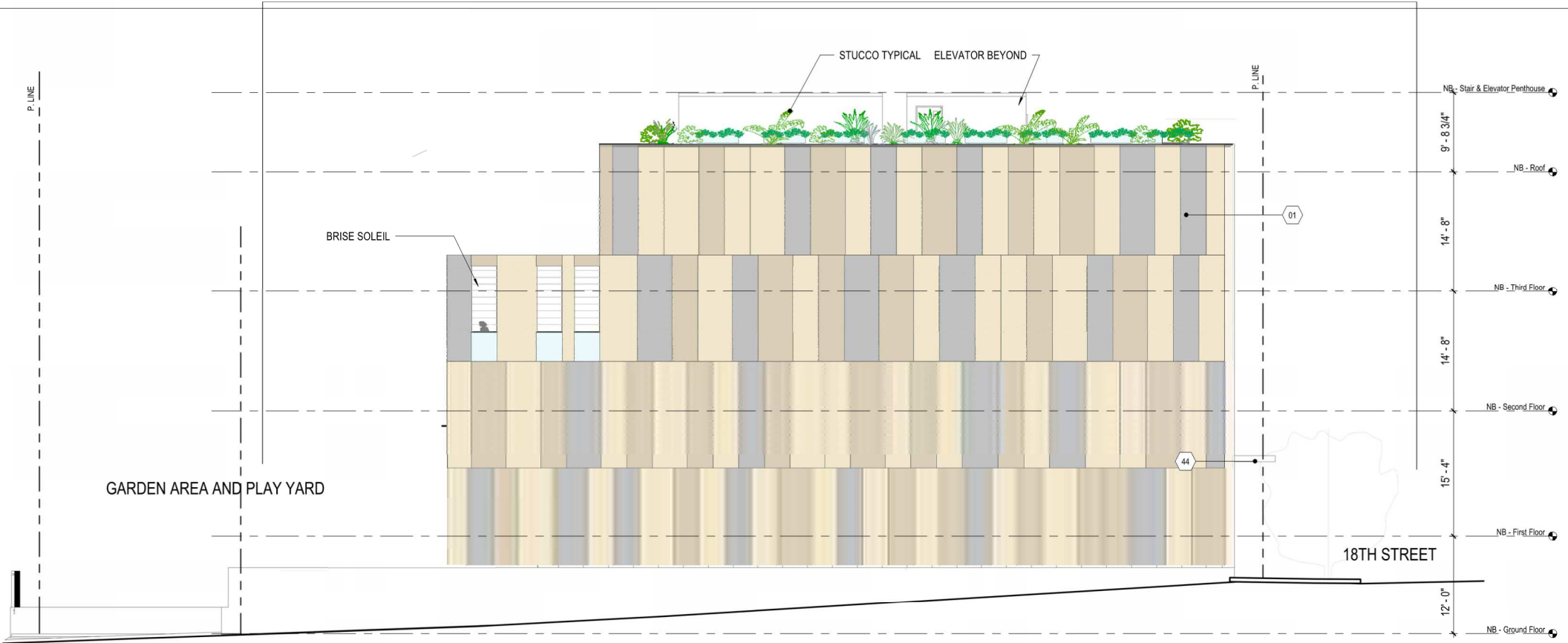
Sheet Name  
NEW BUILDING + ST. CHARLES - NORTH  
BUILDING ELEVATIONS

Rel. North  
Date  
07/25/19

Scale  
A3.03  
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NEW BUILDING + ST. CHARLES - PROPOSED NORTH ELEVATION | 1  
1/8" = 1'-0"



NEW BUILDING - PROPOSED WEST ELEVATION 2  
1/8" = 1'-0"



NEW BUILDING - PROPOSED EAST ELEVATION 1  
1/8" = 1'-0"

LEGEND

GENERAL NOTES

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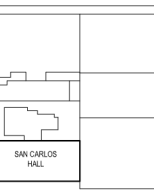
SHEET NOTES

- 01 CEMENT BOARDS
- 02 GLASS RAILING
- 42 ELEVATOR
- 44 GLASS AND METAL AWNING
- 46 OCCUPIED ROOF, SLD
- 50 (N) WINDOW
- 52 (N) DOOR

Perkins&Will Pfau Long

ZPZ PARTNERS

LA SCUOLA



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1 08/28/2019 Planning Submittal

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La Scuola

Project Number  
28009

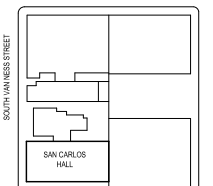
Sheet Name  
NEW BUILDING - EAST / WEST BUILDING ELEVATIONS

Ref. North  
Date  
05/07/19



A3.04

Scale  
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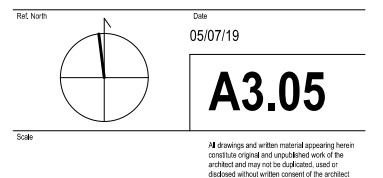
Project Name La Scuola

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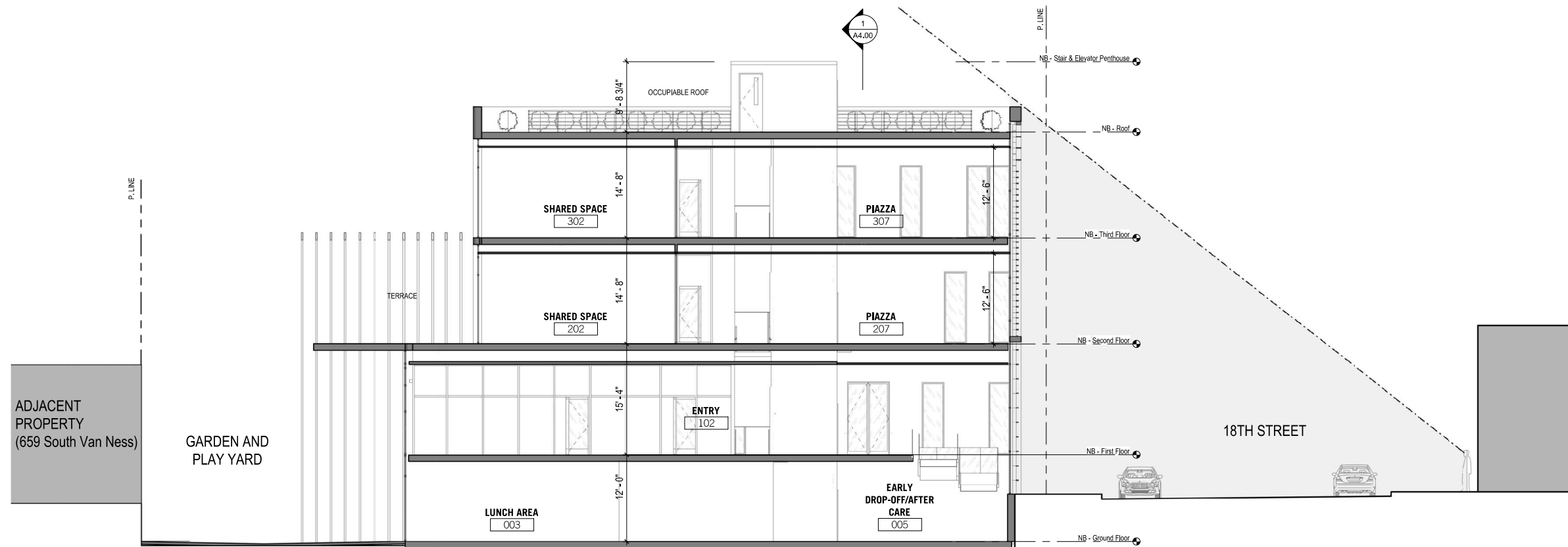
Project Number 28009

Sheet Name

**NEW BUILDING - ELEVATION AND SITE LINE  
SECTION**

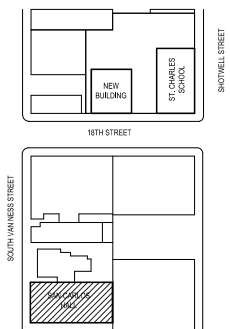


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18TH STREET - SITE LINE SECTION | 2  
1/8" = 1'-0"





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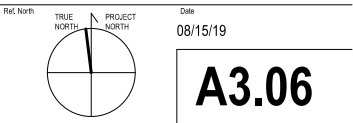
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Project Name  
La Scuola

Project Number  
28009

Sheet Name  
SAN CARLOS ELEVATIONS



**A3.06**

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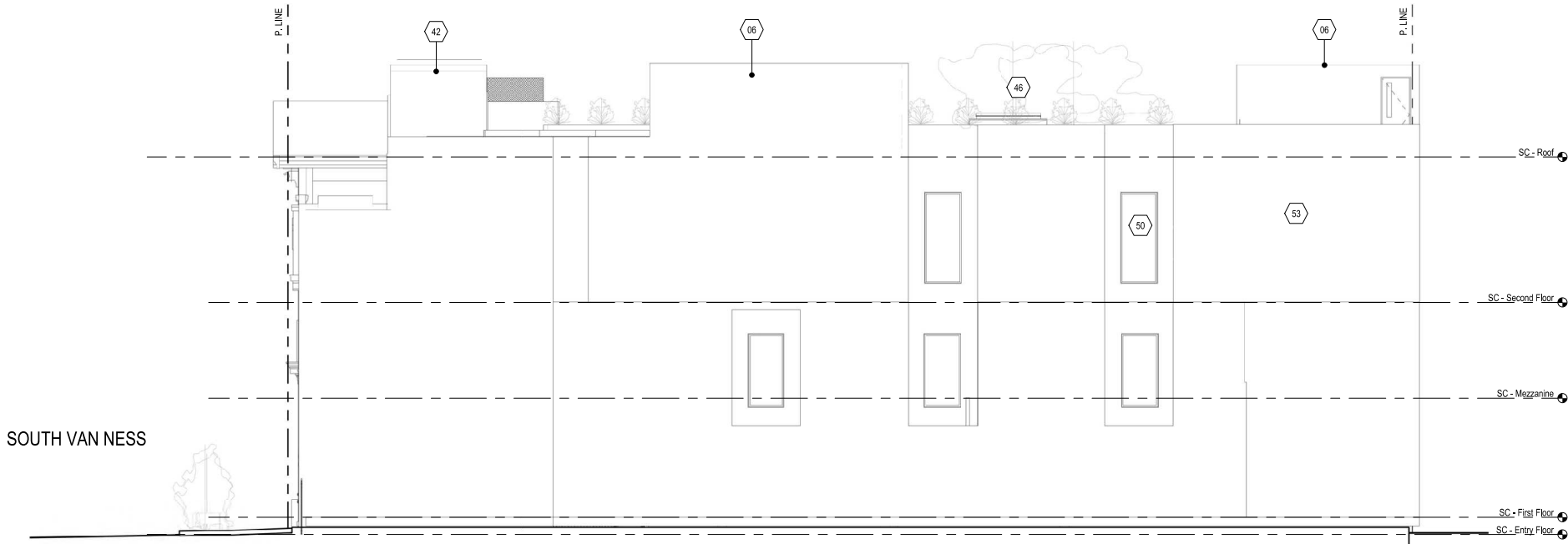
LEGEND

GENERAL NOTES

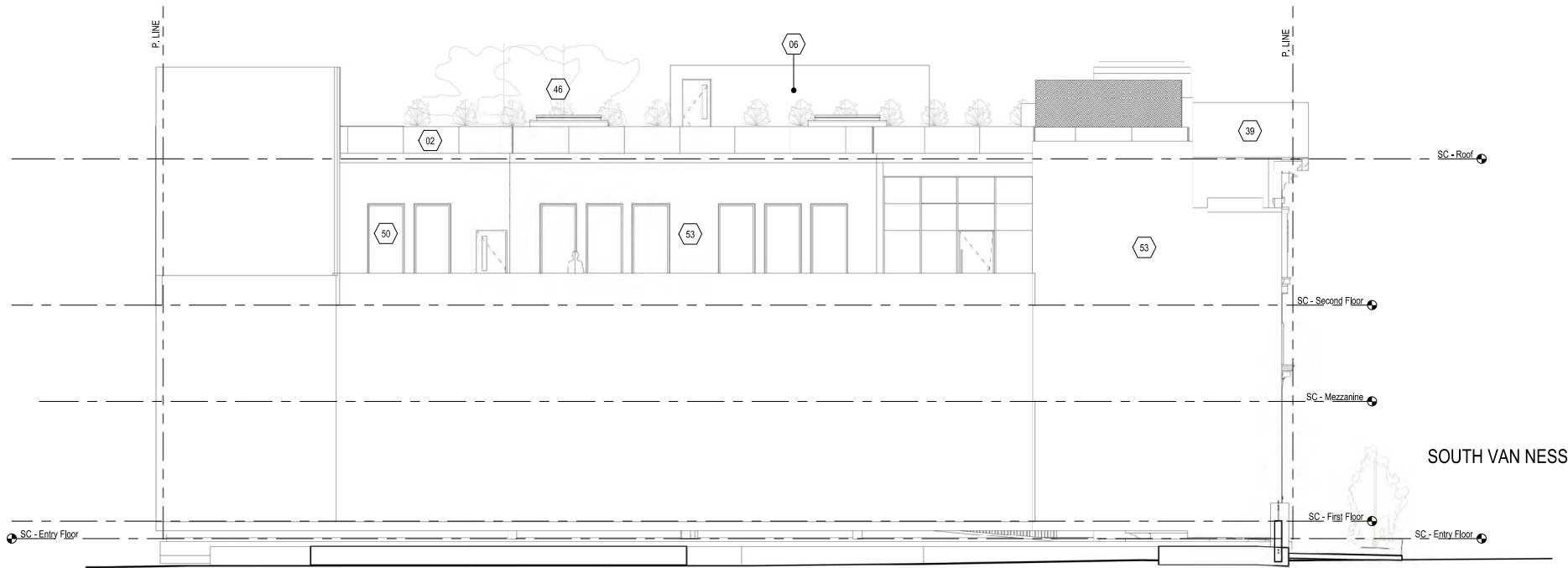
- FOR SYMBOLS SHOWN ON THIS PAGE, SEE A0.00 FOR SYMBOL LEGEND.
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SHEET NOTES

- 02 GLASS RAILING
- 06 STAIR
- 39 (E) SLOPING ROOF
- 42 ELEVATOR
- 46 OCCUPIED ROOF, SLD
- 50 (N) WINDOW
- 53 (N) STUCCO



SAN CARLOS - PROPOSED SOUTH ELEVATION 2  
1/8" = 1'-0"



SAN CARLOS - PROPOSED NORTH ELEVATION 1  
1/8" = 1'-0"



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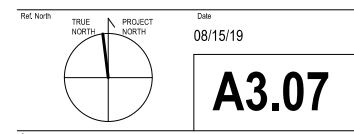
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Project Number: 28009

Sheet Name

SAN CARLOS ELEVATION AND SITE LINE  
SECTION



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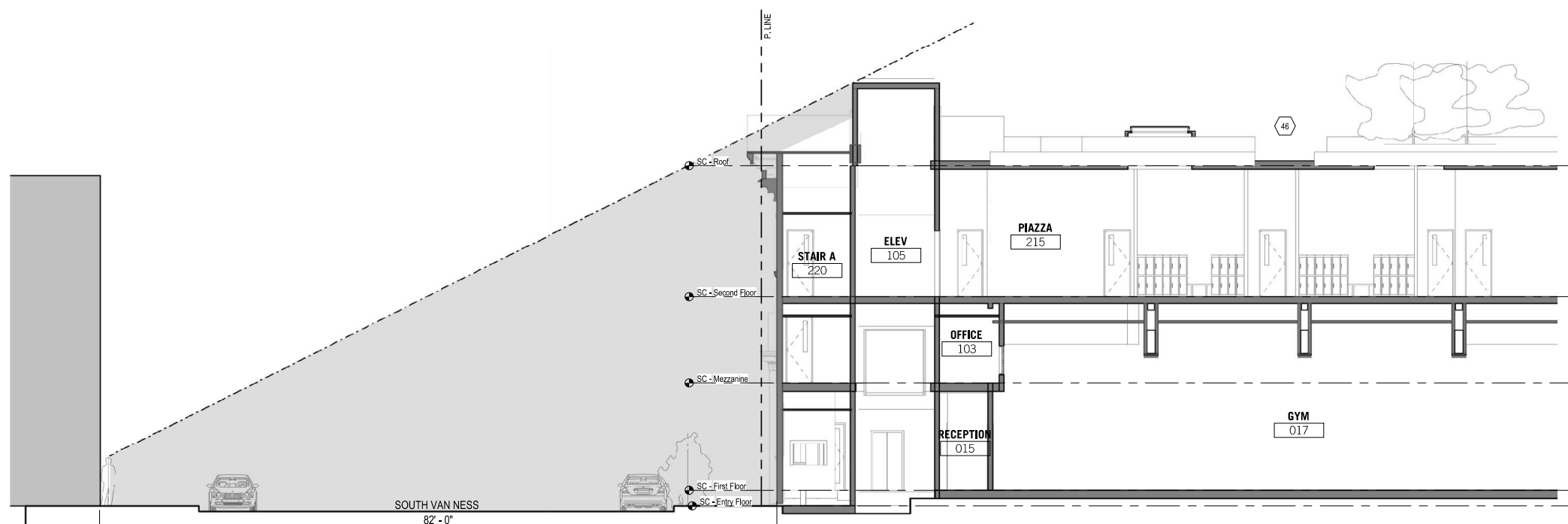
## LEGEND

## GENERAL NOTES

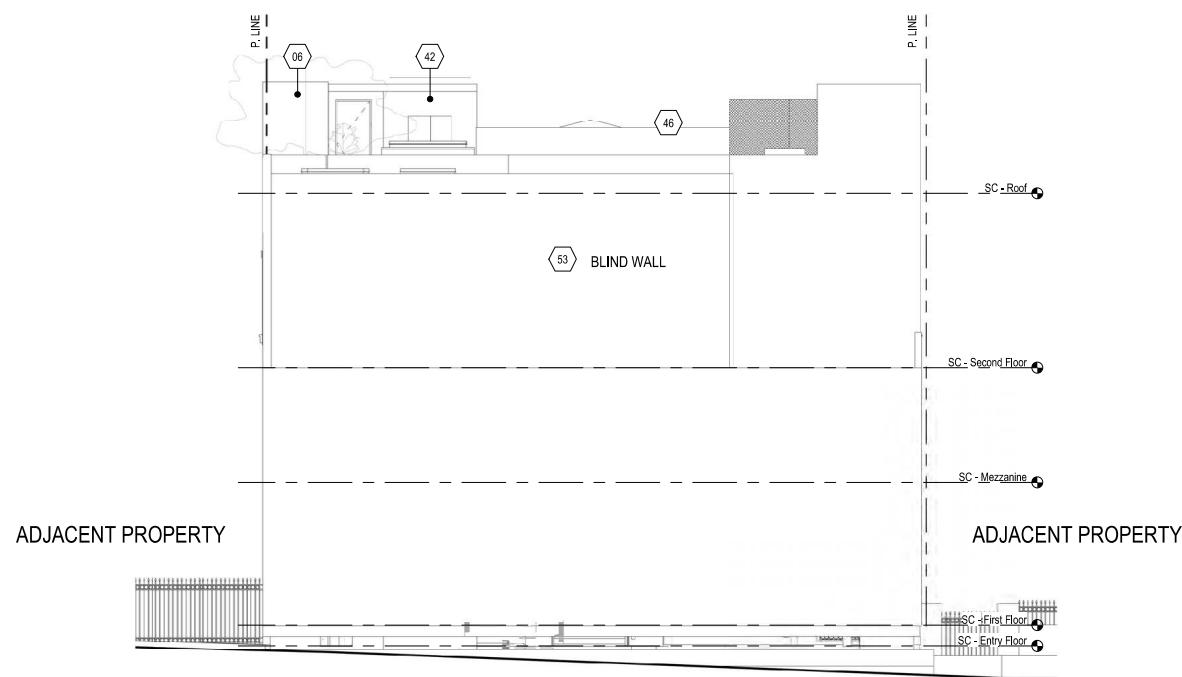
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## SHEET NOTES

- |    |                    |
|----|--------------------|
| 06 | STAIR              |
| 42 | ELEVATOR           |
| 46 | OCCUPIED ROOF, SLD |
| 53 | (N) STUCCO         |



SAN CARLOS - PROPOSED SITE LINE SECTION | 2  
1/8" = 1'-0"



SAN CARLOS - PROPOSED EAST ELEVATION | 1  
1/8" = 1'-0"





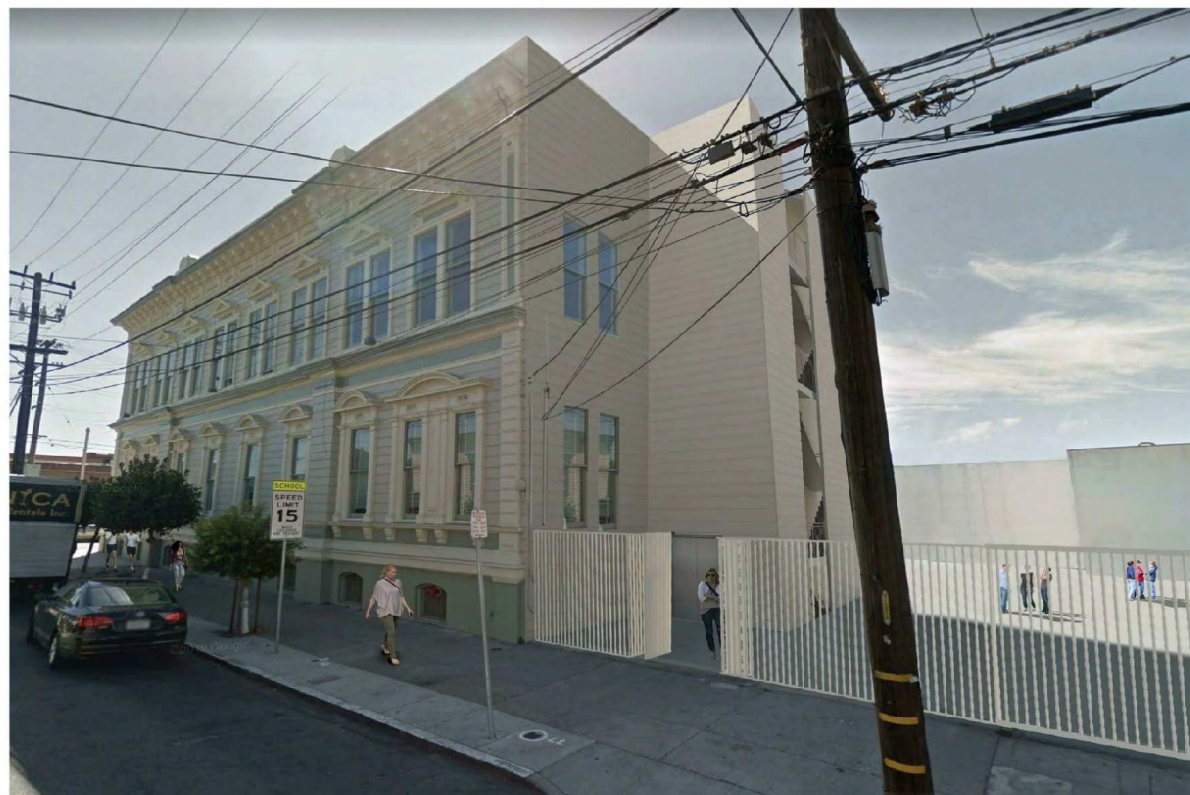
VIEW OF NEW BLDG/ST. CHARLES LOOKING DOWN 18TH STREET 12" = 1'-0" 4



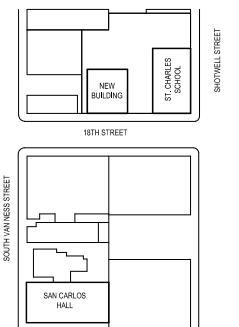
VIEW OF ST. CHARLES AND NEW BUILDING ON 18TH STREET 12" = 1'-0" 2



VIEW OF NEW BLDNG AND ST. CHARLES ON 18TH LOOKING EAST 12" = 1'-0" 3



VIEW OF ST. CHARLES NORTH STAIR ELEVATOR ADDITION 12" = 1'-0" 1



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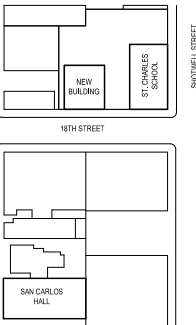
Sheet Name  
RENDERINGS



**A3.10**

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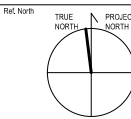
No. Date Issues + Revisions

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La Scuola

Project Number  
28009

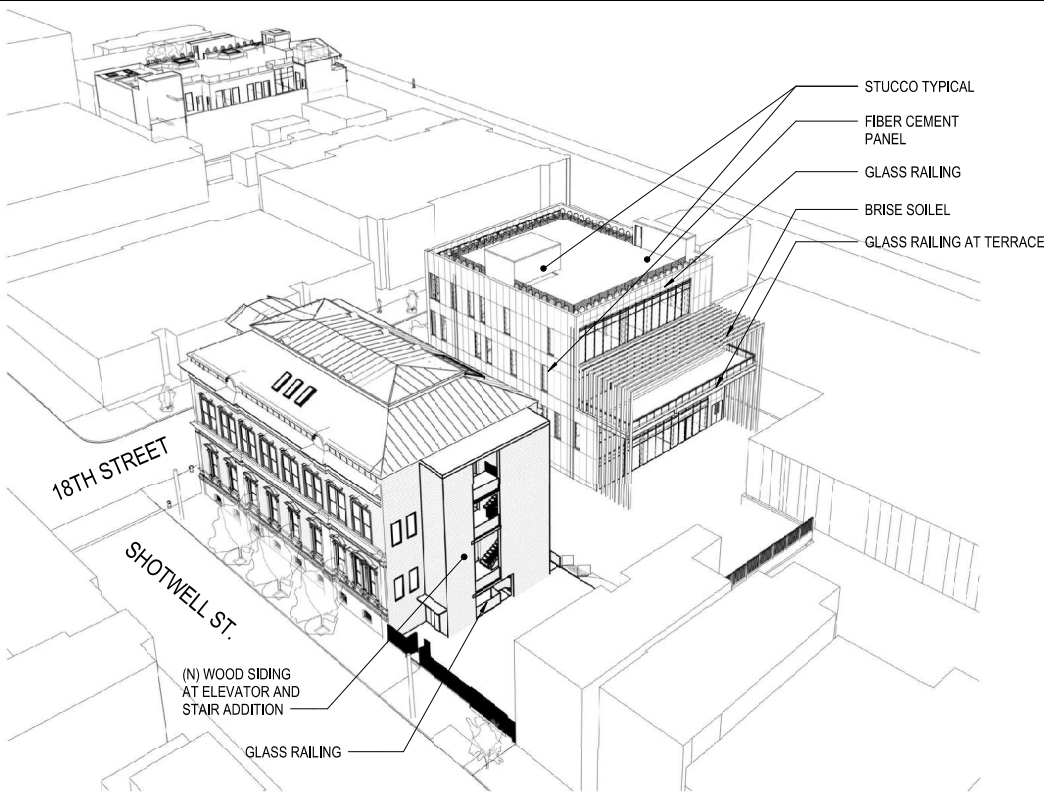
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AERIAL PERSPECTIVES



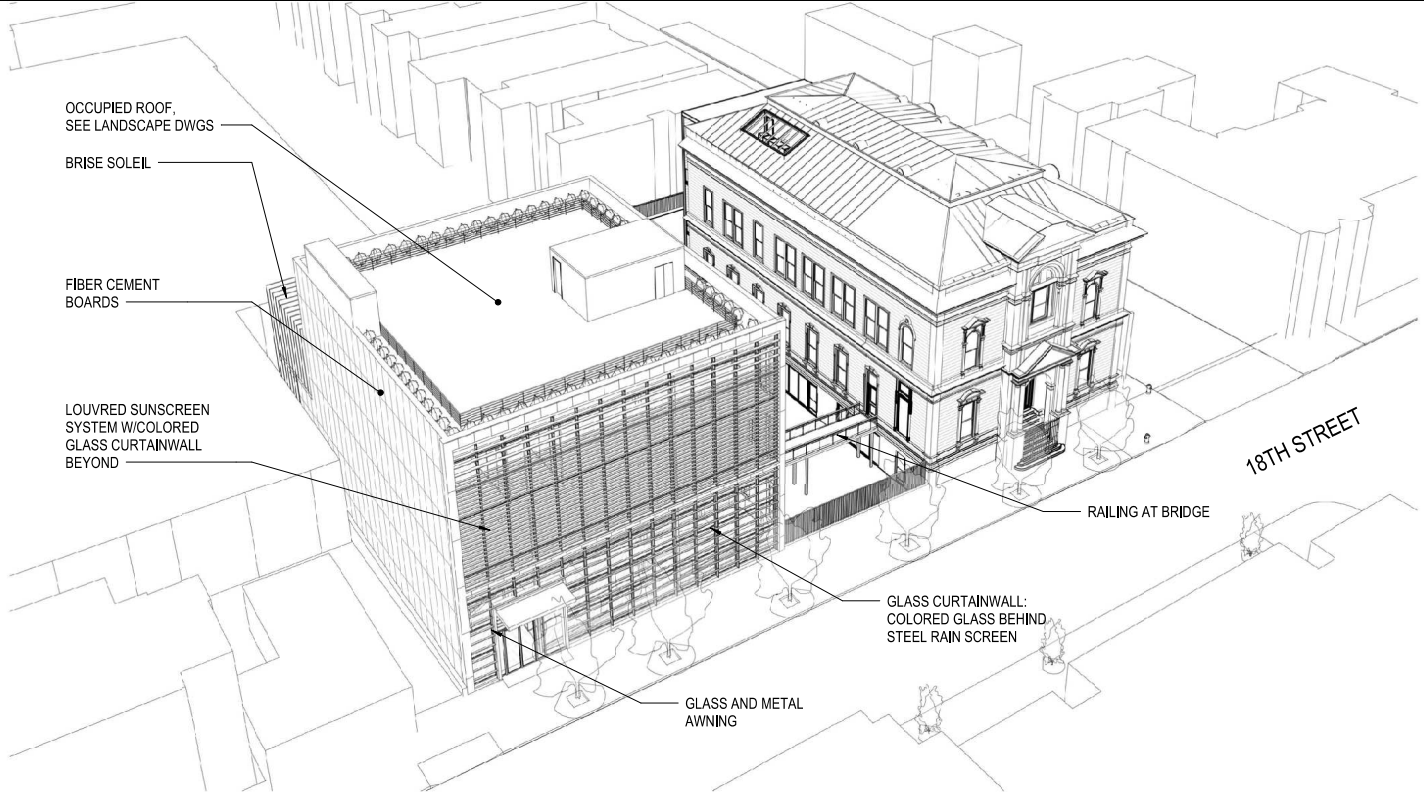
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05/17/19

**A3.13**

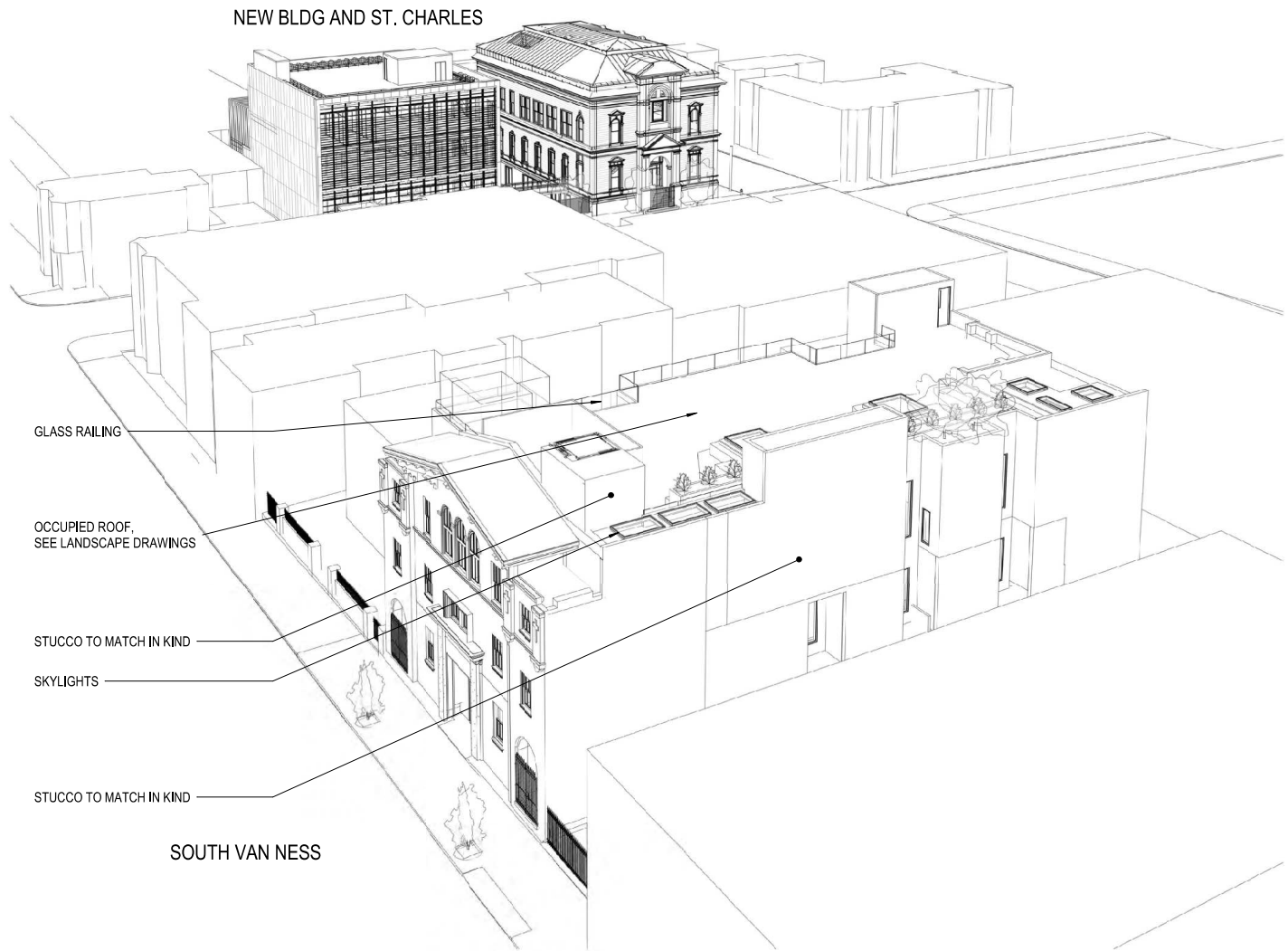
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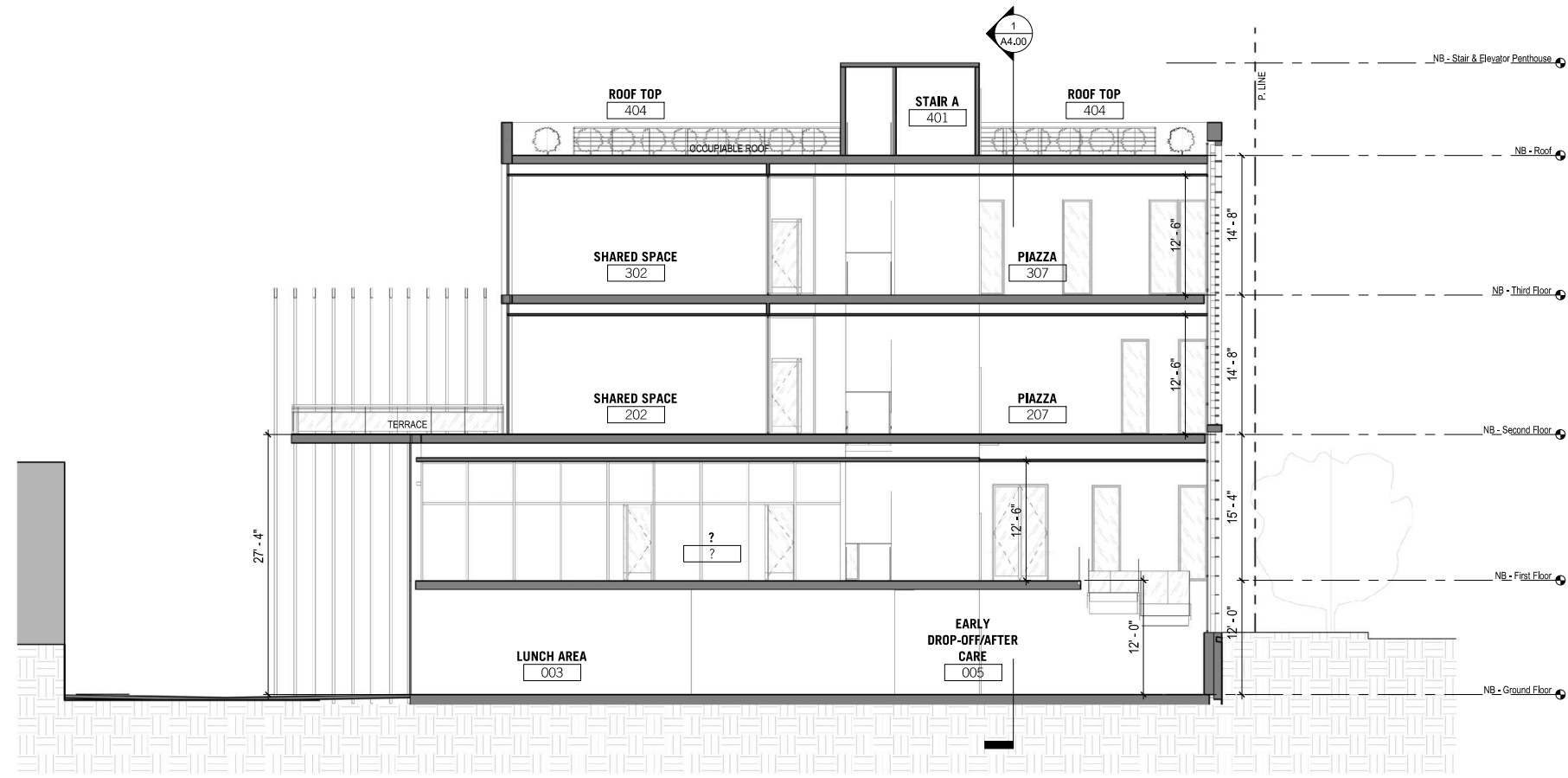
VIEW OF ST. CHARLES AND NEW BLDG FROM SHOTWELL  
N.T.S. 3



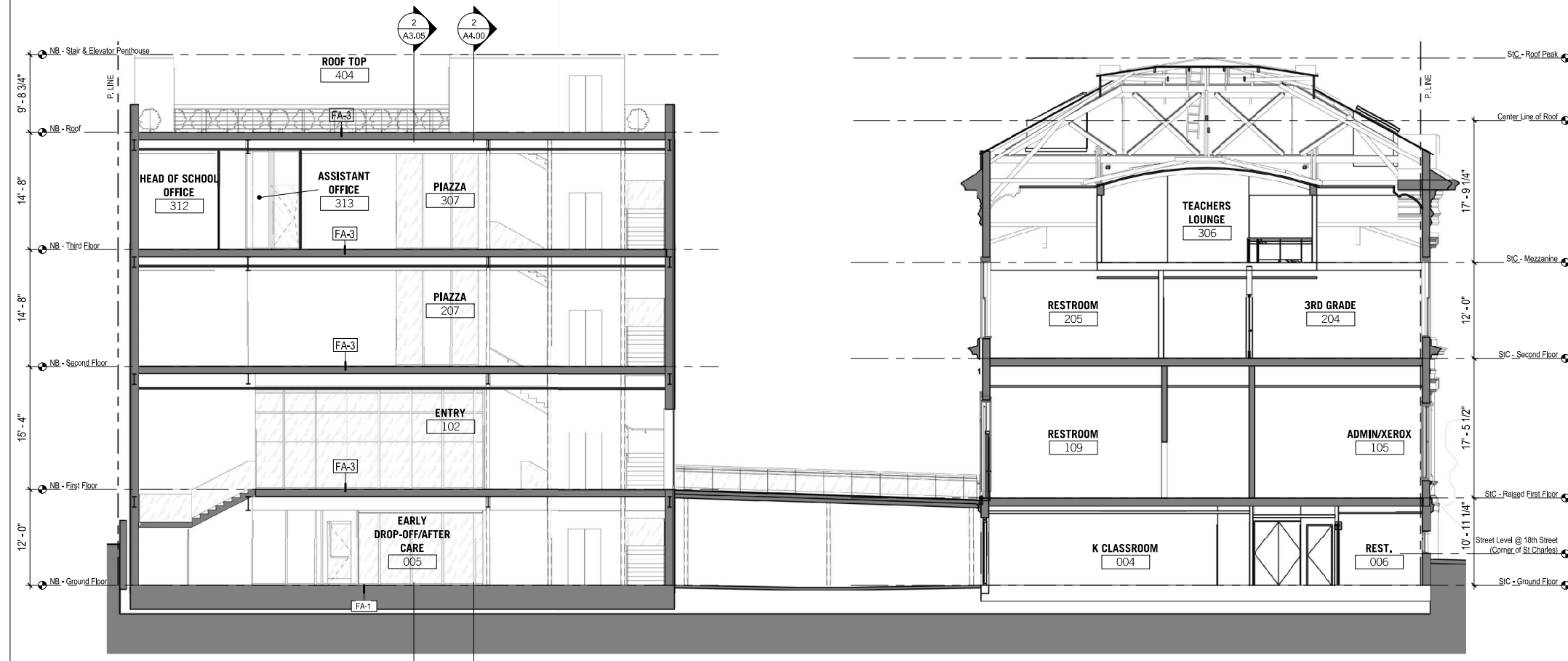
VIEW OF NEW BLDG AND ST. CHARLES FROM 18TH STREET  
N.T.S. 2



VIEW OF SAN CARLOS AND OTHER BLDGS FROM SOUTH VAN NESS  
N.T.S. 1



NEW BUILDING NORTH - SOUTH SECTION | 2  
1/8" = 1'-0"



NEW BUILDING + ST. CHARLES EAST-WEST SECTION | 1  
1/8" = 1'-0"

LEGEND

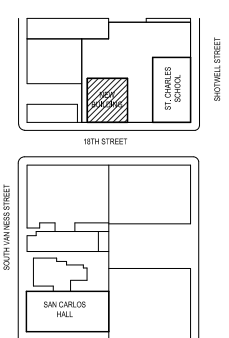
GENERAL NOTES

SHEET NOTES

Perkins&Will | Pfau Long

ZPZ PARTNERS

LA SCUOLA



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Project Number  
**28009**

Sheet Name  
**NEW BLDG & ST. CHARLES - BUILDING SECTIONS**

Plat North

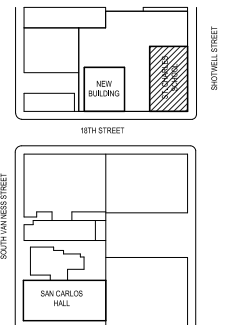
DATE

05/07/19

Scale

**A4.00**

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3250 18th Street  
San Francisco CA 94110

No.	Date	Issues + Revisions
1	08/28/2019	Planning Submittal

Project Name La Scuola

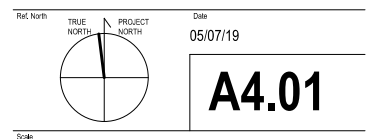
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Project Number

28009

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Sheet Name  
**ST. CHARLES SECTION**

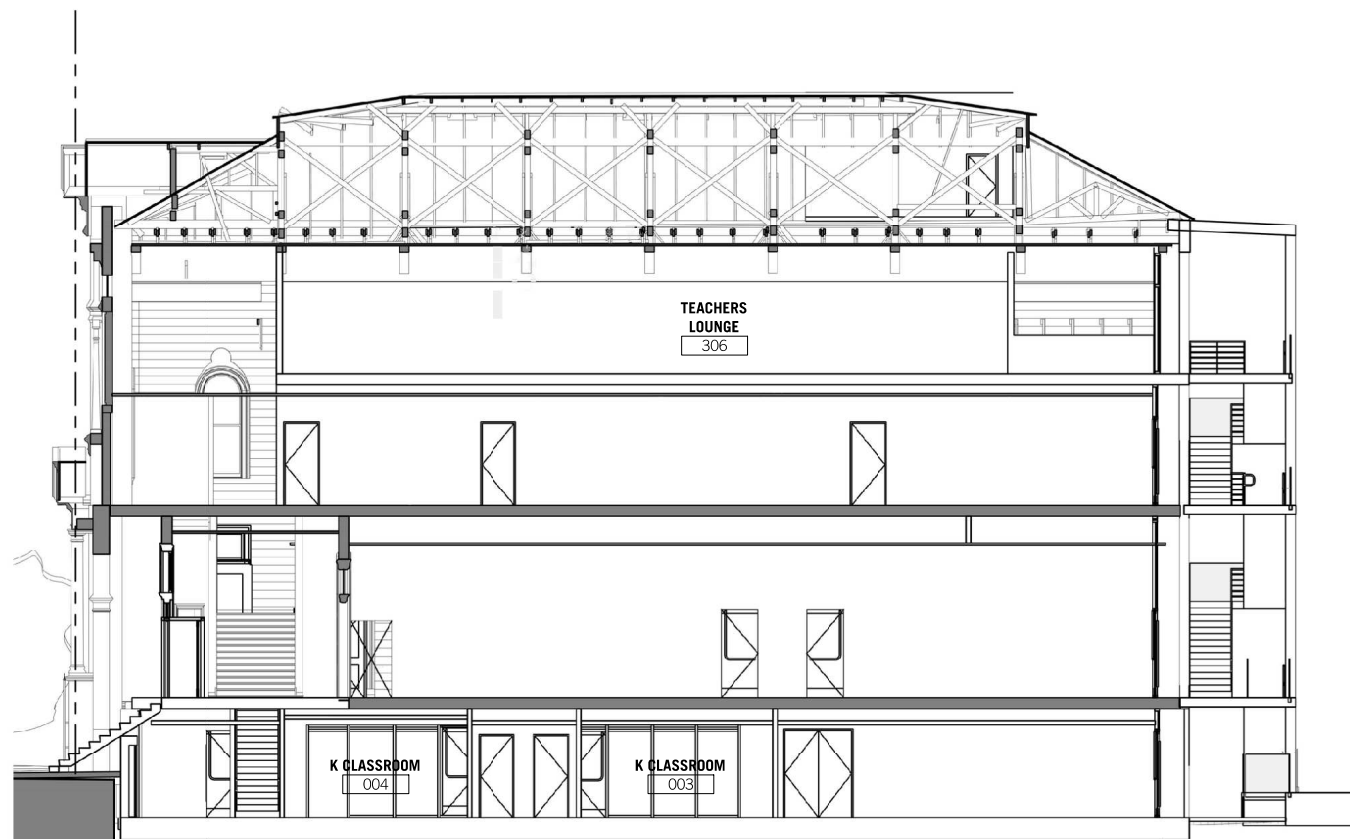


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## LEGEND

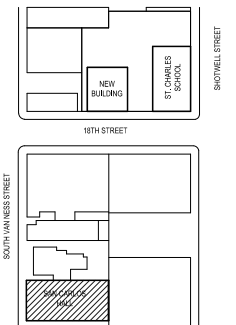
GENERAL NOTES

SHEET NOTES



ST. CHARLES - PROPOSED LONGITUDINAL SECTION | 1  
1/8" = 1'-0"





**La Scuola**  
3250 18th Street  
San Francisco CA 94110

No.	Date	Issues + Revisions
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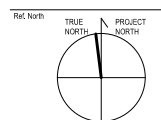
1 08/28/2019 Planning Submittal

Project Name **La Scuola**

Project Number  
28009

Sheet Name

SAN CARLOS SECTIONS




Date  
05/07/19

## A4.02

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## LEGEND

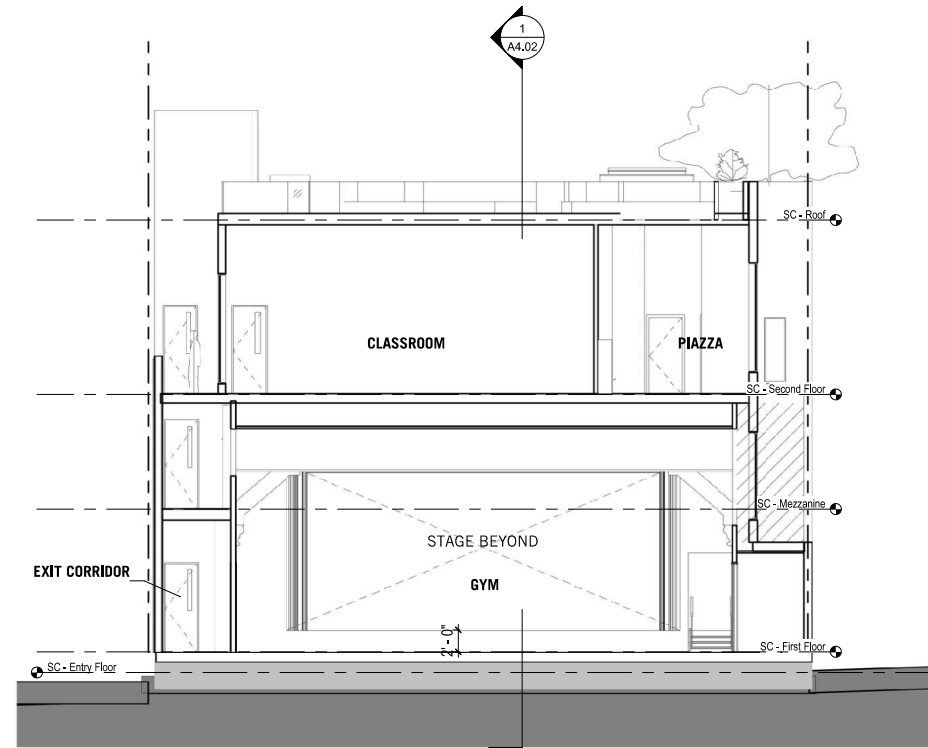
-  EXISTING  
 NEW CONSTRUCTION  
 NO ACCESS

## GENERAL NOTES

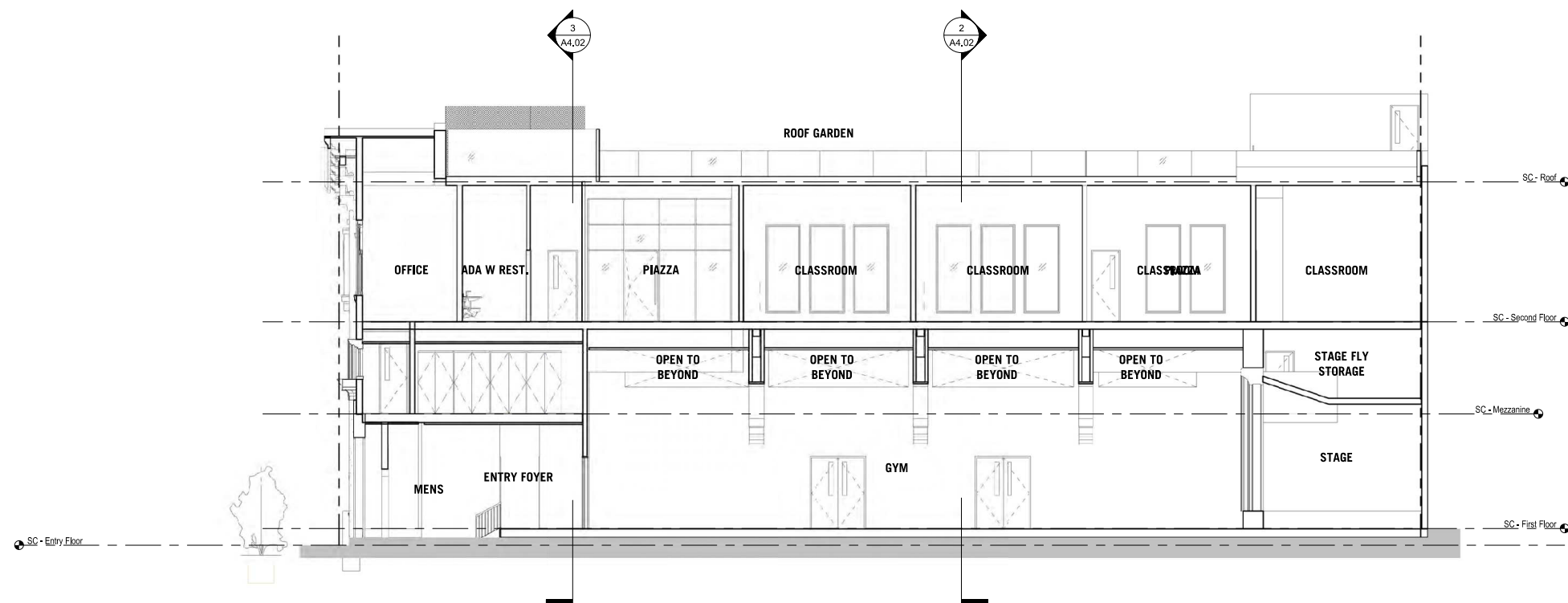
## SHEET NOTES



SAN CARLOS - PROPOSED NORTH-SOUTH SECTION | 3  
1/8" = 1'-0"

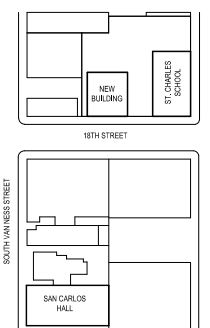
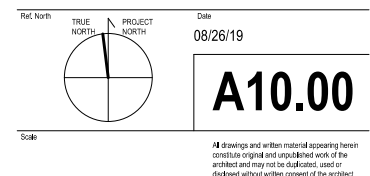


SAN CARLOS - PROPOSED SECTION AT GYM | 2  
1/8" = 1'-0"



SAN CARLOS - PROPOSED EAST-WEST SECTION 1  
1/8" = 1'-0"



[illegible]

Window Schedule					
Type Mark	Head Height	Sill Height	Width	Height	Phase Created
<b>NB - Third Floor</b>					
A	10' - 0 1/16"	0' - 0"	3' - 0 5/8"	10' - 0 1/16"	New Construction
<b>NB - Second Floor</b>					
A	10' - 0 1/16"	0' - 0"	3' - 0 5/8"	10' - 0 1/16"	New Construction
<b>NB - First Floor</b>					
A	10' - 0 1/16"	0' - 0"	3' - 0 5/8"	10' - 0 1/16"	New Construction
<b>28009 - San Carlos_Revit Model</b>					
<b>SC - Stage Fly</b>					
2F	6' - 7 23/32"	1' - 3 23/32"	3' - 3 13/16"	5' - 4"	Existing
2K	6' - 8 3/32"	2' - 1 3/32"	9' - 0"	4' - 7"	Existing
<b>SC - Second Floor</b>					
2A	7' - 0"	1' - 0"	2' - 0"	6' - 0"	New Construction
2C			4' - 0"	10' - 0"	New Construction
2G			4' - 2 13/32"	9' - 1 17/32"	Existing
2H	8' - 8 17/32"	4' - 4 17/32"	3' - 4"	4' - 4"	Existing
2J	9' - 11 21/32"	3' - 5 21/32"	3' - 1"	6' - 6"	Existing
<b>SC - Mezzanine</b>					
2B	7' - 0"	-1' - 0"	4' - 0"	8' - 0"	New Construction
2D	4' - 6"	1' - 0"	6' - 0"	3' - 6"	New Construction
2F	8' - 5 5/8"	3' - 1 5/8"	3' - 3 13/16"	5' - 4"	Existing
<b>SC - First Floor</b>					
2E	10' - 4 13/32"	4' - 1"	3' - 3 11/16"	6' - 3 13/32"	Existing
2L	6' - 0 11/16"	3' - 0"	4' - 4 3/4"	3' - 0 11/16"	New Construction
<b>28009 - StCharles_Revit Model</b>					
<b>StC - Second Floor</b>					
1A	13' - 1 21/32"	9' - 1 21/32"	5' - 2"	4' - 0"	Existing
1B	12' - 8"	2' - 5 1/2"	8' - 10 1/8"	10' - 2 1/2"	Existing
1C	12' - 9 3/16"	2' - 5 1/2"	4' - 1"	10' - 3 11/16"	Existing
1D	14' - 4 1/32"	2' - 5 23/32"	5' - 0 19/32"	11' - 10 5/16"	Existing
1E	22' - 11 25/32"	18' - 11 25/32"	3' - 0"	4' - 0"	Existing
1F	12' - 8 1/4"	2' - 8 1/4"	8' - 10 3/16"	10' - 0"	Existing
1P	13' - 6 31/32"	1' - 9"	4' - 4 5/16"	11' - 9 31/32"	Existing
1Q	10' - 6"	3' - 6"	3' - 0"	7' - 0"	New Construction
<b>StC - Lower Level</b>					
1G	6' - 11 25/32"	3' - 11 25/32"	3' - 10"	3' - 0"	Existing
1H	6' - 11 25/32"	3' - 11 25/32"	3' - 11"	3' - 0"	Existing
<b>StC - First Floor (Elevated)</b>					
1J	12' - 3"	0' - 0"	5' - 0"	12' - 3"	Existing
1I	12' - 1 17/32"	2' - 2 1/32"	5' - 0"	9' - 11 1/2"	Existing
1K	11' - 10"	2' - 1 7/8"	4' - 3 13/32"	9' - 8 1/8"	Existing
1L	15' - 7 5/8"	2' - 0 1/16"	5' - 0 1/2"	13' - 7 9/16"	
1M	11' - 10"	2' - 1 7/8"	4' - 3 13/32"	9' - 8 1/8"	Existing
1N	13' - 3 9/16"	2' - 1 7/8"	10' - 0 3/16"	11' - 1 11/16"	Existing
1Q	10' - 6"	3' - 6"	3' - 0"	7' - 0"	New Construction