

Appendix B:

Plans and Renderings

Certificate of Appropriateness
Case Number 2019-001839COA
1128 Market Street

GENERAL NOTES

1. All labor, materials, fabrication, installation, etc., shall be performed in full accordance with California Title 24, the Americans with Disabilities Act (ADA), all governing agencies and all national, state and local codes, laws and ordinances, especially those requirements regarding energy and handicapped accessibility. In case of conflict, the more stringent shall govern.

2. It is the general contractor's responsibility to verify and coordinate all work with the design build subcontractors to ensure project completion in accordance with the design intent set forth within these construction documents and specifications. Contractor to refer to Project Manual for additional information.

3. The appearance of the architect's identification block on drawings prepared by other firms shall not be construed to indicate responsibility for the contents of such drawings on the part of the architect.

4. General contractor shall verify all dimensions and conditions at the job site before starting work and shall notify architect of any discrepancies or errors. Contractor shall be responsible for all costs required due to his failure to do so. Commencement of work by any trade shall constitute agreement that conditions are acceptable for such work.

5. The drawings and specifications are complementary. Every effort has been made to coordinate the drawings and specifications of the architect and the consulting engineers; however, any item, instruction, specification, etc., shown in one location shall be required as if shown in all applicable locations. In case of discrepancy, consult with architect before proceeding.

6. All work shown, listed or implied on any construction document must be supplied and installed by the general contractor, unless noted otherwise. The general contractor must closely coordinate his work with that of subcontractors and suppliers to assure that schedules are met and that work is done in conformance to manufacturer's requirements.

7. The use of the word "provided" in connection with any specified item is intended to mean that the item must be furnished, installed, connected, and ready for use, unless otherwise noted.

8. The construction documents illustrate the design and type of construction desired in general and imply only the finest quality of construction, material and workmanship. By assuming responsibility for the work indicated, the general contractor must comply with the spirit as well as the letter in which they were written.

9. The general contractor shall coordinate the work of all subcontractors: mechanical, electrical, structural, plumbing, etc. General contractor shall report to the architect any discrepancies for correction. Requests for cost increases caused by lack of proper coordination will not be allowed. All work listed, shown or implied on any construction document shall be supplied and installed by the general contractor, except where noted otherwise. General contractor shall coordinate his work with that of other contractors or vendors to assure that all schedules are met and that all work is done in conformance to manufacturer's requirements. Workmanship shall be equal to the best standard of the following institutions:

- American Society of Testing Materials (ASTM)
- American Institute of Steel Construction (AISC)
- American Welding Society (AWS)
- American Concrete Institute (ACI)
- American National Standards Institute (ANSI)
- Architectural Aluminum Manufacturer's Association (AAMA)
- Aluminum Association, Inc. (AA)
- American Institute of Steel Construction (AISC)
- Concrete Reinforcing Steel Institute (CRSI)
- National Association of Architectural Metal Manufacturers (NAAMM)
- National Fire Protection Association (NFPA)
- National Woodwork Manufacturer's Association (NWMA)
- Woodwork Institute of California (WIC)

10. General contractor shall continuously check architectural and structural clearances for accessibility of equipment, including construction equipment, and mechanical, electrical and plumbing systems. Contractor shall verify that no conflicts exist and that all required clearances for installation and maintenance of such items is provided without altering noted dimensions. No allowance of any kind will be made for general contractor's failure to foresee means of installing such items into position inside structure.

11. All materials shall be new and of first quality, and all work shall be performed by skilled mechanics.

12. Dimensions:
 a. All partition dimensions are to face of finish, unless otherwise noted.
 b. Do not scale drawings.
 c. Dimensions and reference elevations are to finished face of floors and at roof (not to top of covering or roofing), unless otherwise noted.
 d. All dimensions shall be verified in field before fabrication.

13. All dimensions are to be exact within 1/4" along full height and full width of walls. Contractor shall not adjust any dimension marked "clear" or "clr" without written instructions from architect.

14. "Typical" or "typ" means identical for all similar conditions, unless noted otherwise.

15. "Similar" or "sim" means comparable characteristics for items noted. Verify dimensions & orientation on plan.

16. General contractor shall provide all chases, sleeves, openings, etc., as required by the various trades, whether noted on construction documents or not.

17. Substantial blocking, backing or other support shall be provided for all fixtures, appliances, cabinets, shelves, rods, accessories or other items to be secured in the walls, whether such blocking or backing is specifically indicated or not.

18. Attachments, connections or fastenings of any nature are to be properly and permanently secured in conformance with best practice. The drawings show only special conditions to assist the contractor; they do not illustrate every such detail.

19. All work shall provide for material expansion and contraction, shrinkage, building movement, etc., sufficient to prevent cracks, buckling or other deformation due to humidity/temperature change and normal loading.

20. All openings to exterior shall be fully sealed all around. Sealant colors shall match adjacent surfaces where possible. Verify sealant colors with architect. Operable doors and windows shall be fully weather-stripped.

21. Provide all flashings, counterflashings, copings, sheet metal, etc., to provide a fully watertight building, whether specifically indicated on the drawings or not. Flashings shall be compatible with all adjacent surfaces. See specifications for more information.

22. Contractor shall waive "common practice" and "common usage" as construction criteria wherever details and contract documents or governing codes, ordinances, etc., require greater quantity or better quality than common usage would require.

23. No work defective in construction or quality or deficient in any requirements of drawings and specifications will be acceptable, despite owner's or architect's failure to discover such defects or deficiencies during construction. Defective work shall be replaced by work conforming to intent of contract. No payment whether partial or final shall be construed as an acceptance of defective work or improper materials.

24. The general contractor must submit shop drawings for all fabricated items, cut sheets for all fixtures and equipment, and samples of all finishes to architect for review and action prior to ordering and fabrication.

25. The contractor must protect the area and all new or existing materials and finishes from damage which may occur from demolition, construction, dust, water, etc., and must provide and maintain temporary barricades as required to protect the public during the period of construction. Damage to new and existing structures, materials, finishes and equipment must be repaired or replaced to the satisfaction of the Owner at the expense of the general contractor.

26. The contractor must notify the architect of any lead time coordination problems.

27. Substitutions, revisions or changes may be allowed only if such items are submitted to the architect in a timely manner, in writing, and subsequently approved by the architect in writing. All substitutions must be at least of equal quality, design and performance. The contractor is liable for replacement, repair and delays caused by an unauthorized substitution of any item for this project. All requests for substitutions shall include the project name, description and drawings, as required, comparing items. The architect reserves the right to reject any substitutes for any reason.

28. The general contractor must maintain a complete, current set of construction documents on the job site during all phases of construction for use by all trades and must provide all subcontractors with current construction documents as required.

29. The subcontractors must remove all rubbish and waste materials on a regular basis and must exercise strict control over job cleaning to prevent any dirt, debris or dust from affecting, in any way, finished areas in or outside job site.

30. The structural, mechanical and electrical drawings are supplementary to the architectural drawings. If a discrepancy exists between the architectural drawings and other drawings, such discrepancy shall be brought to the architect's attention in writing prior to installation of said work. Any work installed in conflict with the architectural drawings shall be corrected by the contractor at contractor's expense.

31. Provide gypsum wallboard behind and around all openings (including cabinets and electrical panels) and fire rated 3M box wrap pad around electrical boxes, where required by code, to maintain fire rated construction.

32. The contractor shall be responsible for and shall supervise all cutting and patching of finished work already installed if made necessary by errors, changes or other reasons. All replacement work shall match adjoining surfaces with no visible markings of redo/repair work.

33. All material shall be furnished and installed by the contractor, unless otherwise noted.

34. All revisions to the drawings must proceed through the owner and architect. Contractor revisions may be considered invalid if not approved by the owner.

35. Contractor shall be responsible for providing adequate cover for the protection of all installed utilities during the construction of this project.

36. Contractor shall be responsible for locating and protecting all utilities that are to remain in use, whether or not shown hereon.

37. Contractor shall provide all temporary lights, signs, barricades, flag persons, and other devices necessary to provide for public safety.

38. Contractor shall be responsible for any on-site permit signs required by local ordinances.

39. Mechanical, electrical and fire safety to provide drawings for location of all access panels for architect's review and approval.

40. Large scale detail drawings take precedence over smaller scale drawings.

41. The contractor shall be responsible for verification and coordination with other trades and their work for compliance with the drawings and specifications. Also, contractor shall verify sizes and locations of all openings for mechanical, plumbing and electrical equipment with these subcontractors, as well as obtaining the approval of the architect before proceeding with the work. Otherwise it will be assumed that the contractor can perform the work as outlined on the drawings without additional cost to the owner.

42. Contractor shall maintain and keep accurate record drawings that show the final location, elevation and description of the completed work.

43. The contractor must notify the architect in writing when his work nears completion. Upon inspection, the architect will prepare a final "punch list" outlining incomplete or unacceptable work. The project will not be considered complete until all items on the punch list have been resolved.

44. The contractor shall furnish to the owner two copies of the manufacturer's instruction, operation and maintenance manuals for products and equipment specified in the contract documents, including special tools, accessories, spare parts, etc.

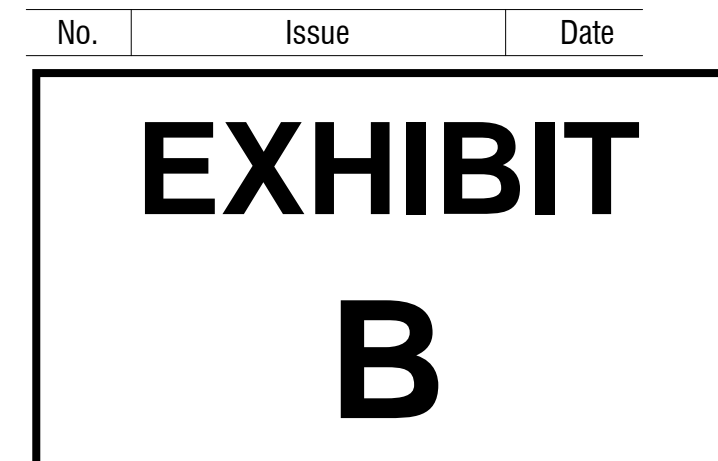
45. Prior to completion of the project, the contractor must submit to the owner in duplicate on behalf of himself and his respective subcontractors a one (1) year written guarantee against defective workmanship and/or materials, as well as complete operating and maintenance instructions for all mechanical and electrical portions of the work.

46. Contractor to submit to owner release of all liens from subcontractors, suppliers, etc., assuring owner that all payrolls, bills for equipment and materials, and all other indebtedness connected with the work has been paid or otherwise satisfied.

Costa Brown Architecture

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 San Francisco, CA 94111
 Tel: 415 986 0101

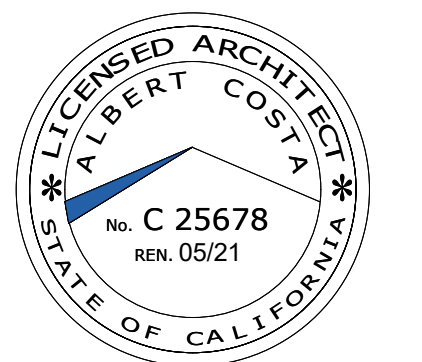
1128 Market Street



1128 Market Street

SYMBOLS	LOCATION PLAN	PROJECT INFORMATION	PROJECT CONTACTS	DRAWING INDEX
<p>DETAIL</p> <p>5 DRAWING NUMBER SHEET NUMBER A-2</p> <p>SECTION</p> <p>2 DRAWING NUMBER SHEET NUMBER A-2</p> <p>INTERIOR ELEVATION</p> <p>A-5.1</p> <p>DOOR</p> <p>07 DOOR TYPE</p> <p>WINDOW</p> <p>5 WINDOW TYPE 1 = INTERIOR WINDOW</p> <p>ROOM/AREA IDENTIFICATION</p> <p>OFFICE 103 ROOM NAME ROOM NUMBER</p> <p>REVISION</p> <p>CLOUDED AROUND EXTENT OF REVISION. SEE REVISION NUMBER AND DATE ON TITLE BLOCK.</p> <p>WALL</p> <p>8 WALL TYPE</p> <p>FINISHE</p> <p>P-2 FINISH SPECIFICATIONS</p>	<p style="text-align: center;">PROJECT SITE</p>	<p><u>PROJECT DESCRIPTION:</u></p> <p>Exterior work only. At Ground Floor - adding an accessibility compliant entry ramp to existing retail space. At Roof Top - adding a new single story elevator access from (E) 6th Floor to Roof Level and adding new roof deck.</p> <p>MEP Under separate permit. Fire sprinklers under separate permit.</p> <p>PROJECT ADDRESS: 10 UNITED NATIONS PLAZA, SAN FRANCISCO, CA</p> <p>BLOCK & LOT NO.: 0351/046</p> <p>BUILDING OCCUPANCY: B - BUSINESS</p> <p>ORIGINAL CONSTRUCTION: 1982</p> <p>CONSTRUCTION TYPE: CONCRETE/ STEEL STRUCTURE</p> <p>LOT AREA: 6,080 SF</p> <p>BUILDING AREA: 76,500 SF</p> <p>ZONING: UMU - P - PUBLIC</p> <p>HEIGHT LIMIT: 80 - X</p> <p>PLAN AREA: CIVIC CENTER</p> <p>STORIES: 6</p> <p>FIRE SPRINKLERS: (E) AT 5TH + 6TH FLOOR. FLOORS 1-4 (FULL BUILDING) TO BE INSTALLED.</p> <p>Building Code Editions: 2016 CBC, CMC, CPC, CEC, CALIFORNIA ENERGY CODE 2016 SAN FRANCISCO AMENDMENTS</p>	<p><u>OWNER:</u></p> <p>1130 MARKET LLC, 55 SECOND STREET SUITE 1900 SAN FRANCISCO, CA 94105</p> <p><u>ARCHITECT:</u></p> <p>Costa Brown Architecture, Inc. Albert Costa: Project Architect 1620 Montgomery St, Suite 300 San Francisco, CA , 94111 (415) 986-0101 TEL (415) 986-5412 FAX</p>	<p style="text-align: center;">ARCHITECTURAL DRAWINGS - EXTERIOR WORK</p> <p>A-0.00 COVER SHEET</p> <p>A-0.01 GS4 - SAN FRANCISCO GREEN BUILDING SUBMITTAL FORM</p> <p>A-0.02 SITE PLAN</p> <p>A-0.03 EXISTING & DEMO LEVEL 1 - EXISTING LEVEL 2 3 & 4</p> <p>A-0.04 EXISTING PLAN LEVEL 5, LEVEL 6 & ROOF</p> <p>A-0.05 PROPOSED GROUND FLOOR</p> <p>A-0.06 PROPOSED PLAN LEVEL 6</p> <p>A-0.07 PROPOSED PLAN ROOF</p> <p>A-0.08 EXISTING - SOUTHEAST BUILDING ELEVATION</p> <p>A-0.09 EXISTING - NORTHEAST BUILDING ELEVATION</p> <p>A-0.10 PROPOSED - SOUTHEAST BUILDING ELEVATION</p> <p>A-0.11 PROPOSED - NORTHEAST BUILDING ELEVATION</p> <p>A-0.13 DETAILS - ENTRANCE TO RETAIL @ GROUND FLOOR</p> <p>A-0.14 PROPOSED ROOF ELEVATIONS</p> <p>A-0.15 PROPOSED ROOF ELEVATIONS</p> <p>A-0.16 ROOF DECK SIGHTLINE SECTION</p> <p>A-0.17 DETAILS, AND D.A. CHECKLIST</p> <p>A-0.18 ACCESSIBILITY DETAILS</p> <p>A-0.19 TITLE 24</p> <p>A-0.20 TITLE 24</p> <p>A-0.21 TITLE 24</p> <p>A-0.22 TITLE 24</p>

PRINT DATE: 1/16/2020 4:04:04 PM



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Date: 1/16/2020

Description:
COVER SHEET

Sheet Number:

A-0.00

No.	Issue	Date



① Site Plan.
1" = 20'-0"



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Date: 1/16/2020

Scale: 1" = 20'-0"

Description:
SITE PLAN


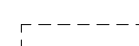



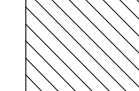
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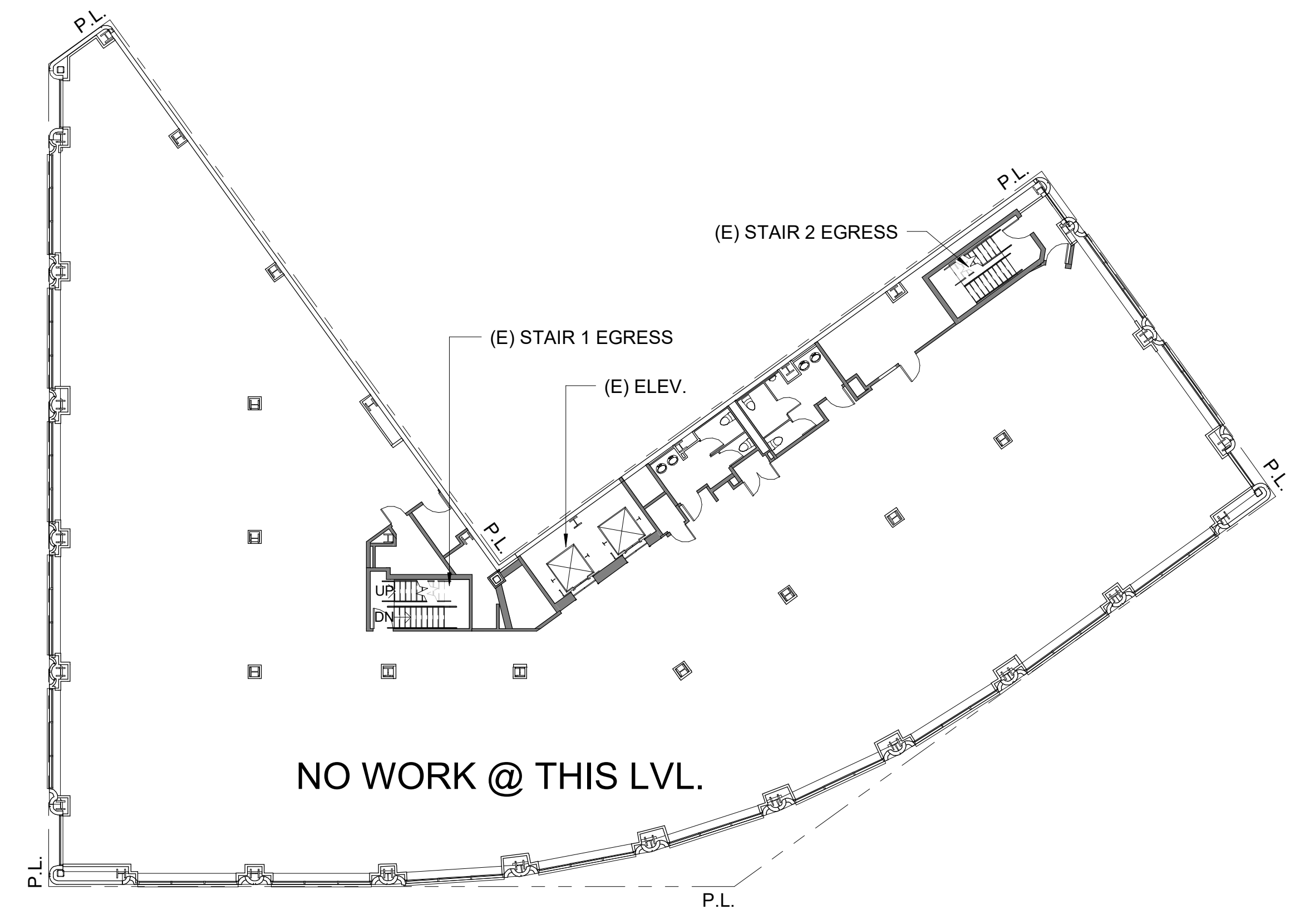


No.	Issue	Date

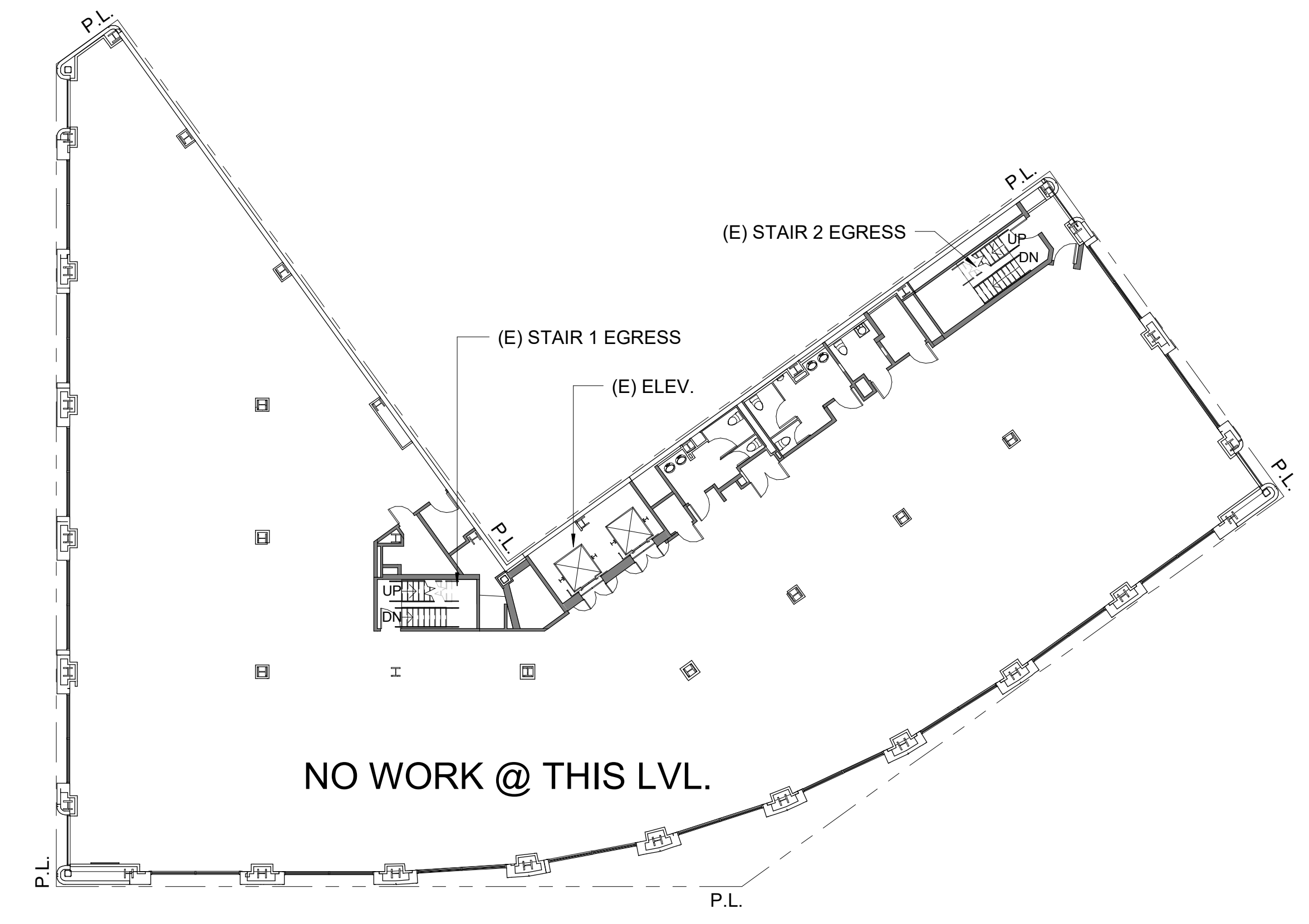
WALL LEGEND

-  (E) WALL TO REMAIN
-  (E) WALL TO BE DEMOLISHED
-  (E) WALL - 2 HR FIRE RATED
-  (N) WALL
-  PATH OF TRAVEL
-  DEMO (E) FLOOR - VIF

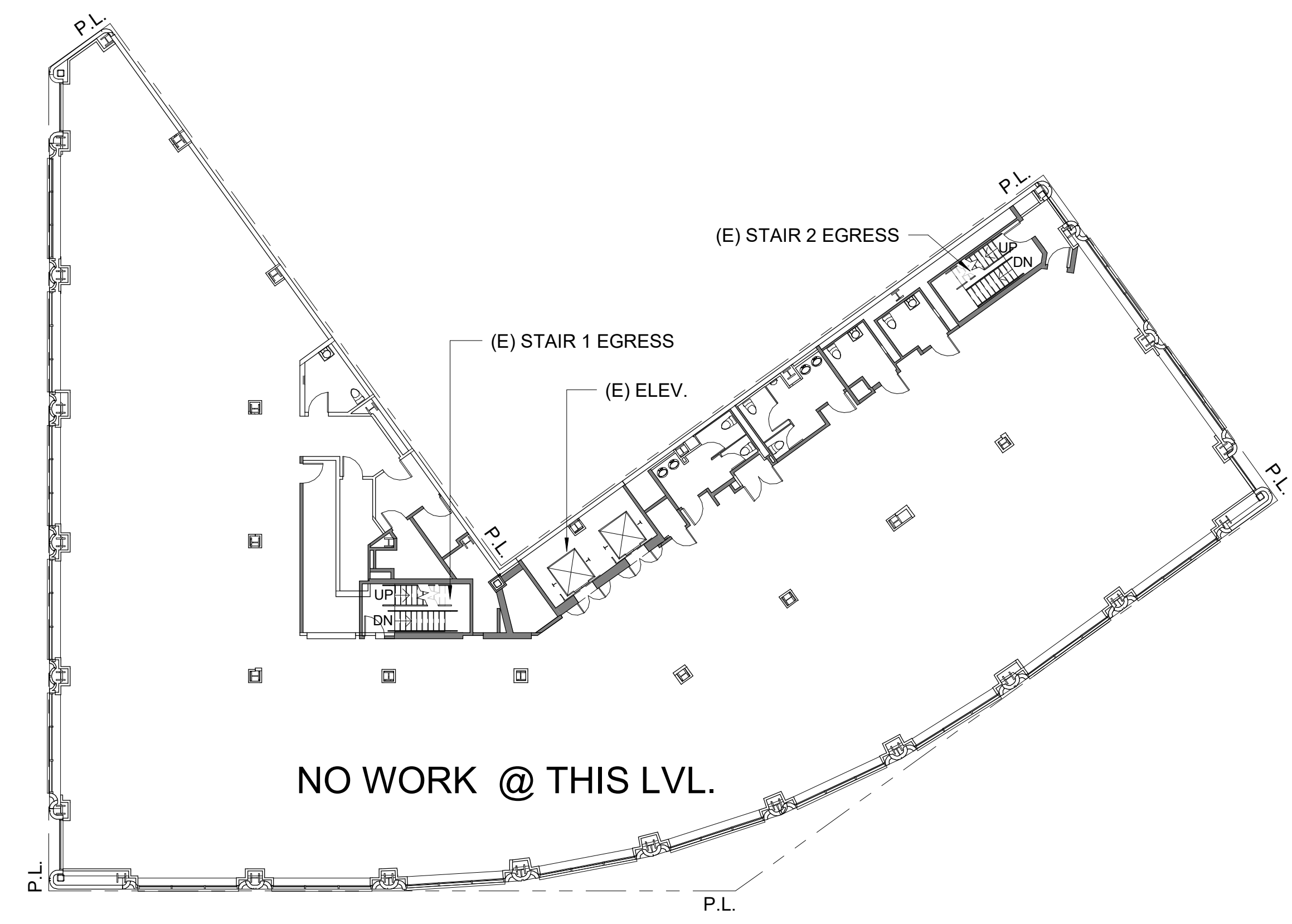
- GS4 - SAN FRANCISCO GREEN BUILDING SUBMITTAL NOTES:
- Use products that comply with the emission limit requirements of 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area) and composite wood products.
 - Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials.
 - For 100% of mixed C & D debris, use registered transporters and registered processing facilities with a minimum of 65% diversion rate.



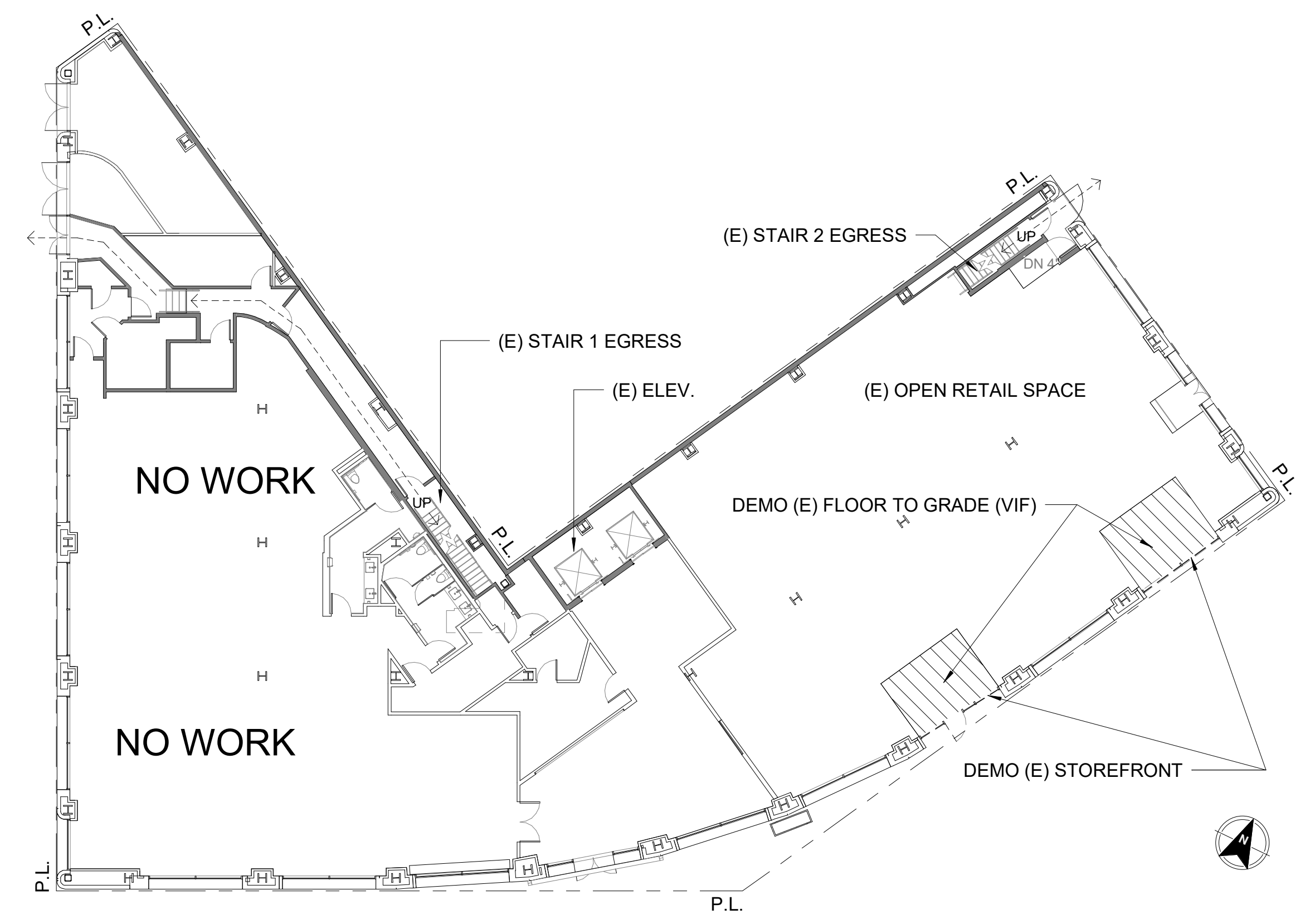
3 Level 4 - Existing - No Work
1/16" = 1'-0"



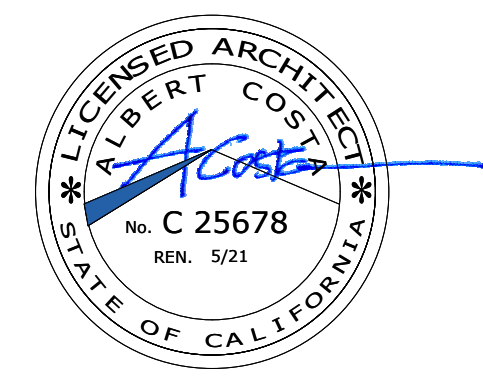
2 Level 2 - Existing - No Work
1/16" = 1'-0"



4 Level 3 - Existing - No Work
1/16" = 1'-0"



1 Level 1 - Existing..
1/16" = 1'-0"



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Date: 1/16/2020




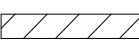


Scale: As indicated

Description:
**EXISTING &
DEMO LEVEL 1 -
EXISTING LEVEL
2 3 & 4**

Sheet Number:

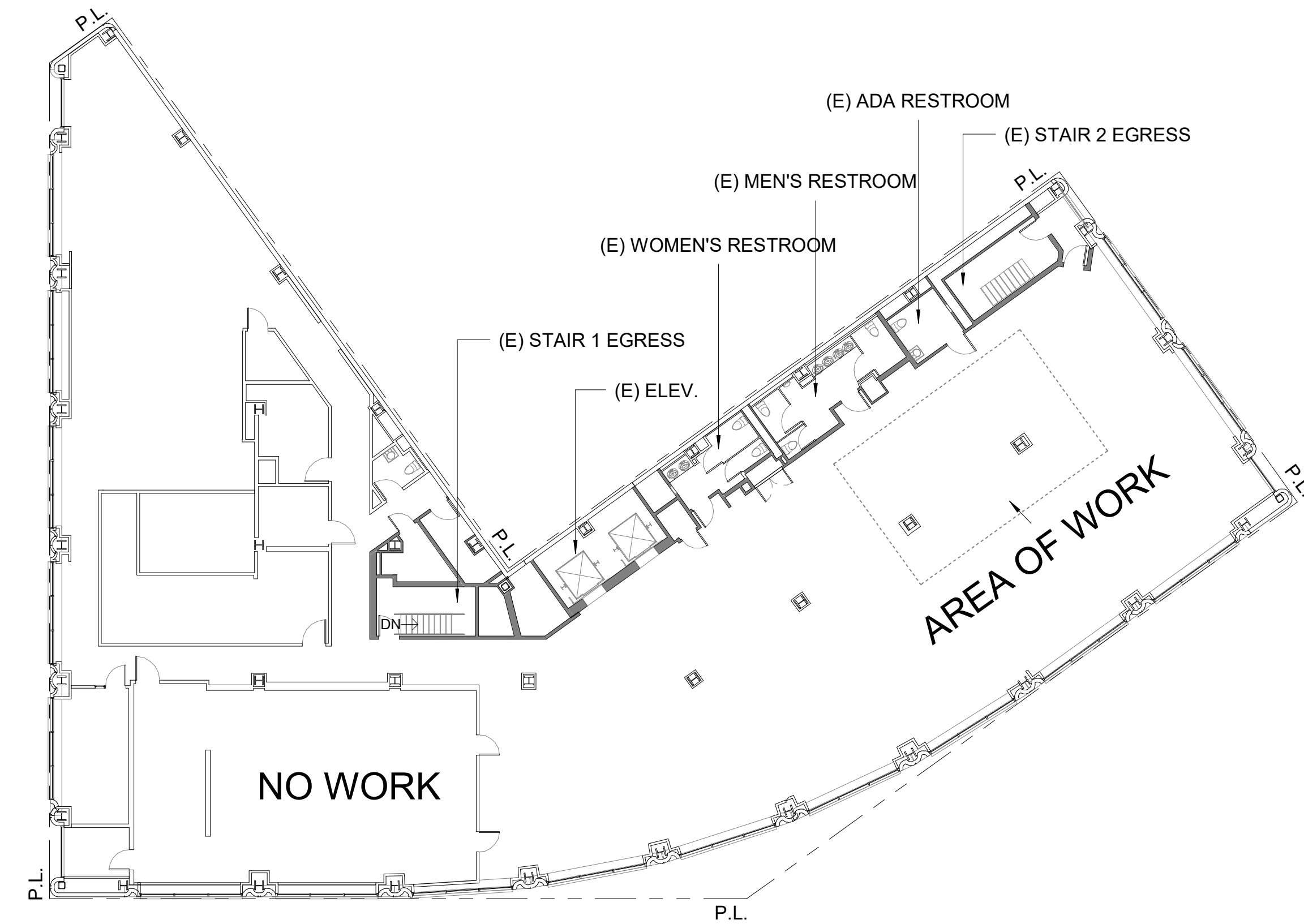
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No.	Issue	Date

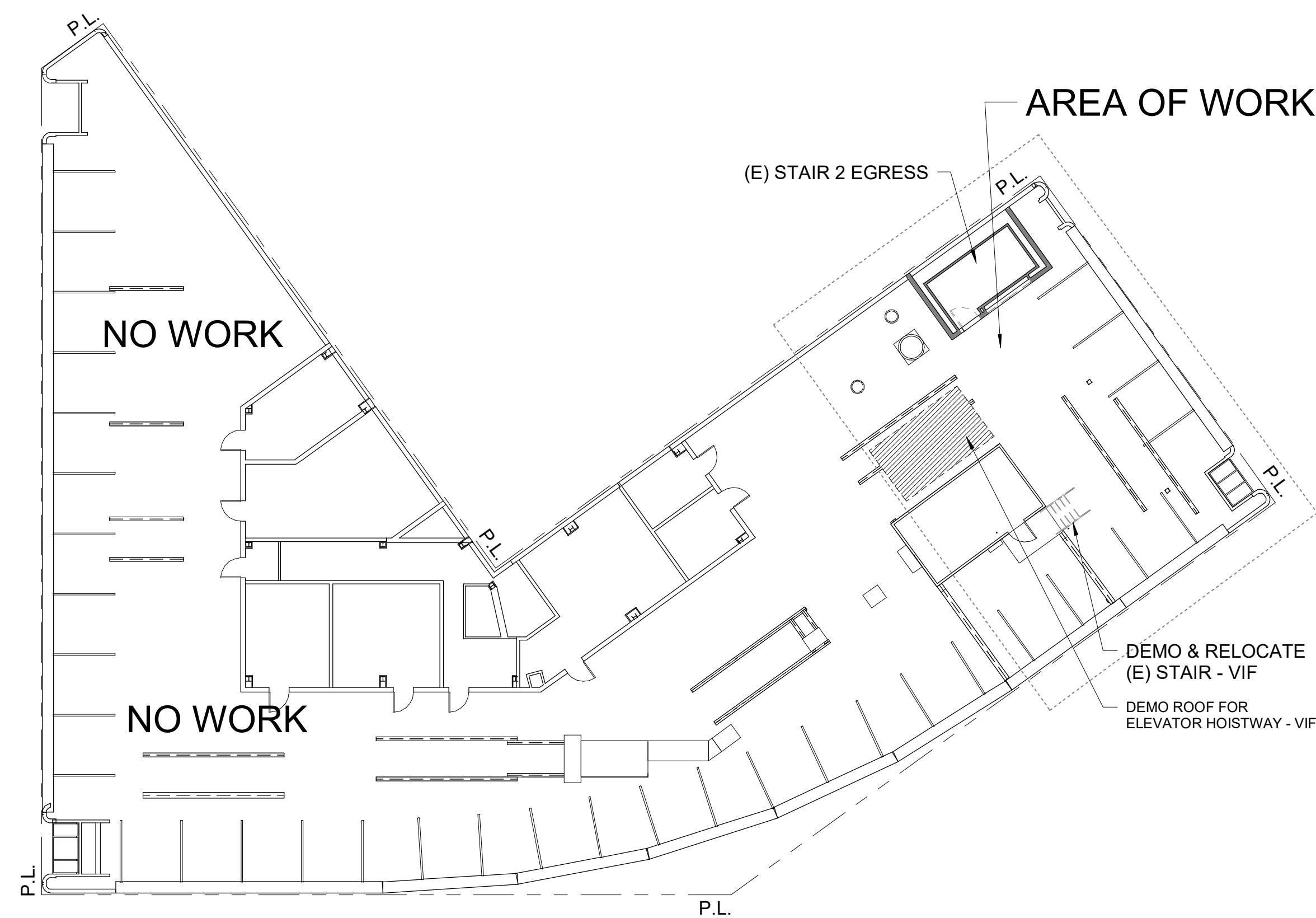
WALL LEGEND	
	(E) WALL TO REMAIN
	(E) WALL TO BE DEMOLISHED
	(E) WALL - 2 HR FIRE RATED
	(N) WALL
	PATH OF TRAVEL
	DEMO (E) FLOOR - VIF

GS4 - SAN FRANCISCO GREEN BUILDING
SUBMITTAL NOTES:

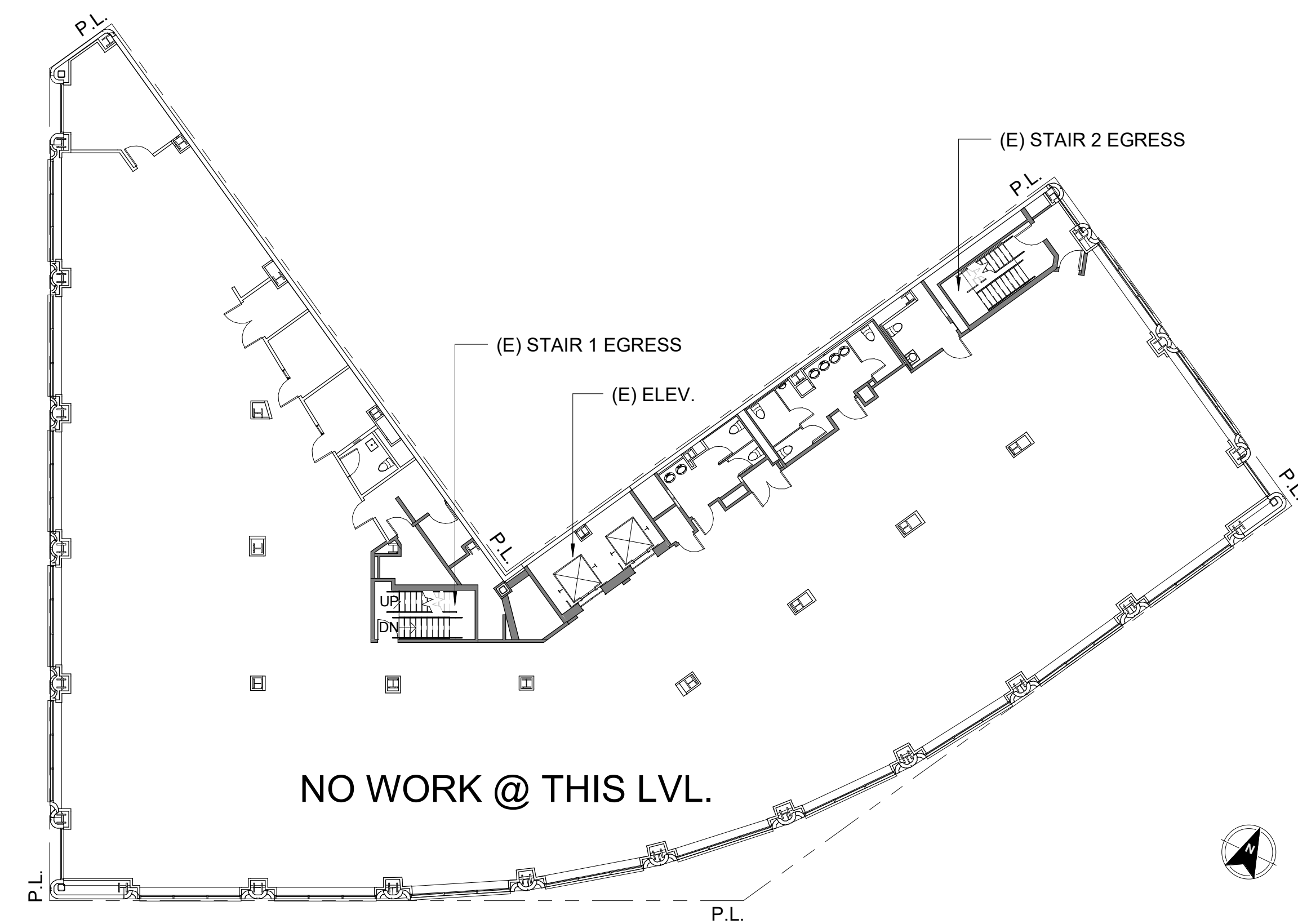
1. Use products that comply with the emission limit requirements of 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area) and composite wood products.
2. Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials.
3. For 100% of mixed C & D debris, use registered transporters and registered processing facilities with a minimum of 65% diversion rate.



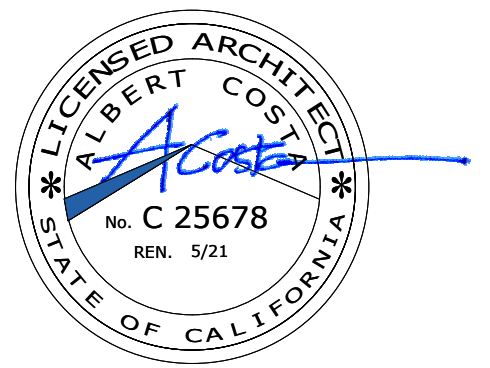
2 Level 6 - Existing & Demo
1/16" = 1'-0"



3 Roof - Existing & Demo
1/16" = 1'-0"



1 Level 5 - Existing - No Work
1/16" = 1'-0"



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Scale: As indicated

Description:
**EXISTING PLAN
LEVEL 5, LEVEL
6 & ROOF**

Sheet Number:

A-0.04

No.	Issue	Date

WALL LEGEND	
	(E) WALL TO REMAIN
	(E) WALL TO BE DEMOLISHED
	(E) WALL - 2 HR FIRE RATED
	(N) WALL
	PATH OF TRAVEL
	DEMO (E) FLOOR - VIF

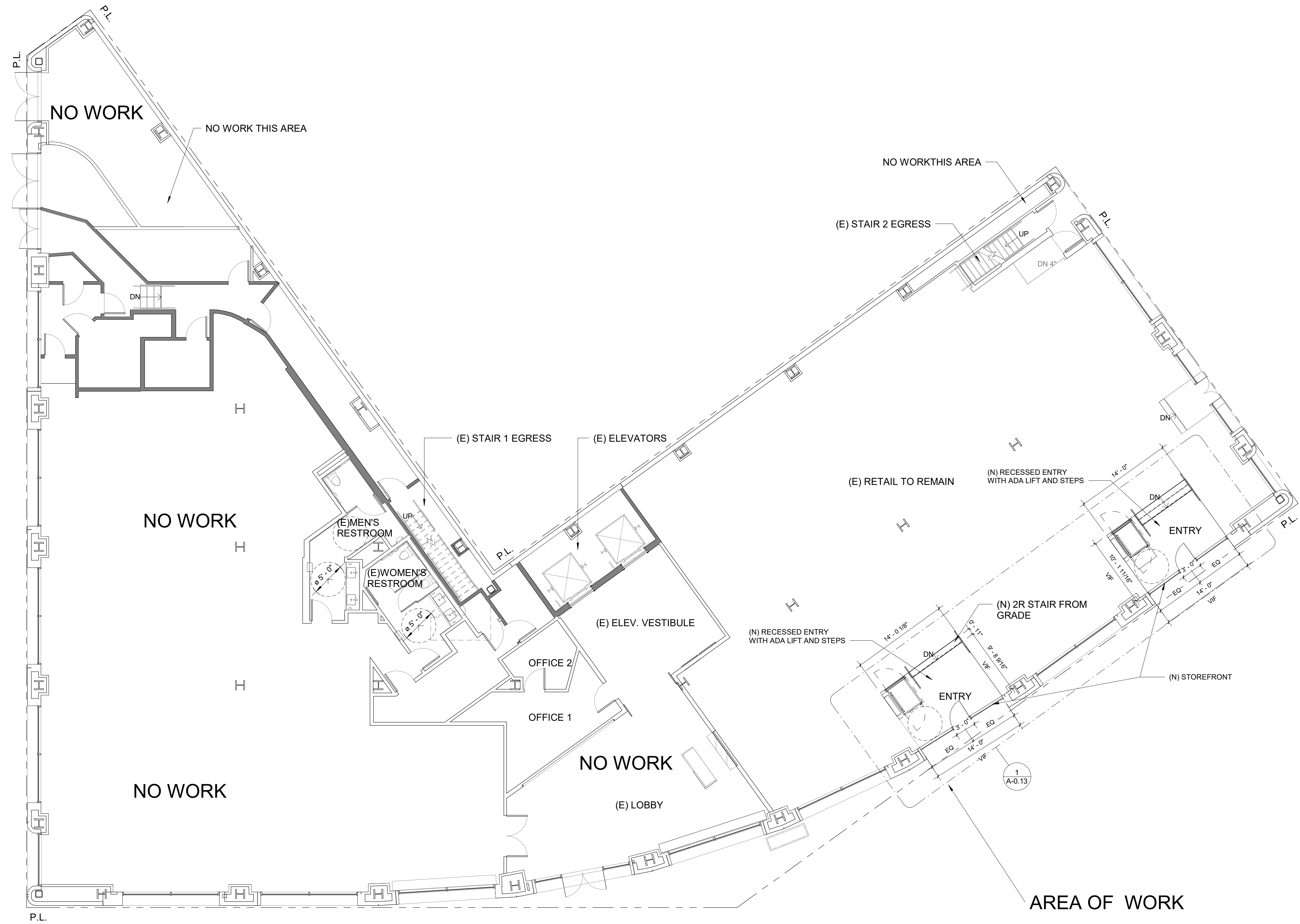
GENERAL NOTES:

1. Demolish existing walls shown on plan. Verify in field and bring to architects attention any discrepancies.
2. Retain boxed in surrounding sheet rock at all existing columns. Patch, repair and finish as required. Verify in field.
3. Verify existing floor finish; restore to original concrete floor, polished and sealed.
4. Verify existing windows and restore finishes as required and clean up.
5. Verify in field and demolish existing drop down ceilings and clean up as required.

GS4 - SAN FRANCISCO GREEN BUILDING SUBMITTAL NOTES:

1. Use products that comply with the emission limit requirements of 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area) and composite wood products.
2. Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials.
3. For 100% of mixed C & D debris, use registered transporters and registered processing facilities with a minimum of 65% diversion rate.

EXISTING FLOOR AREA - GROSS SF	
LEVELS	AREA
1	12,740



1 PROPOSED GROUND FLOOR
1/8" = 1'-0"



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Scale: As indicated


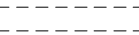

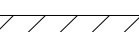

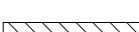
Description:

**PROPOSED
GROUND
FLOOR**

Sheet Number:

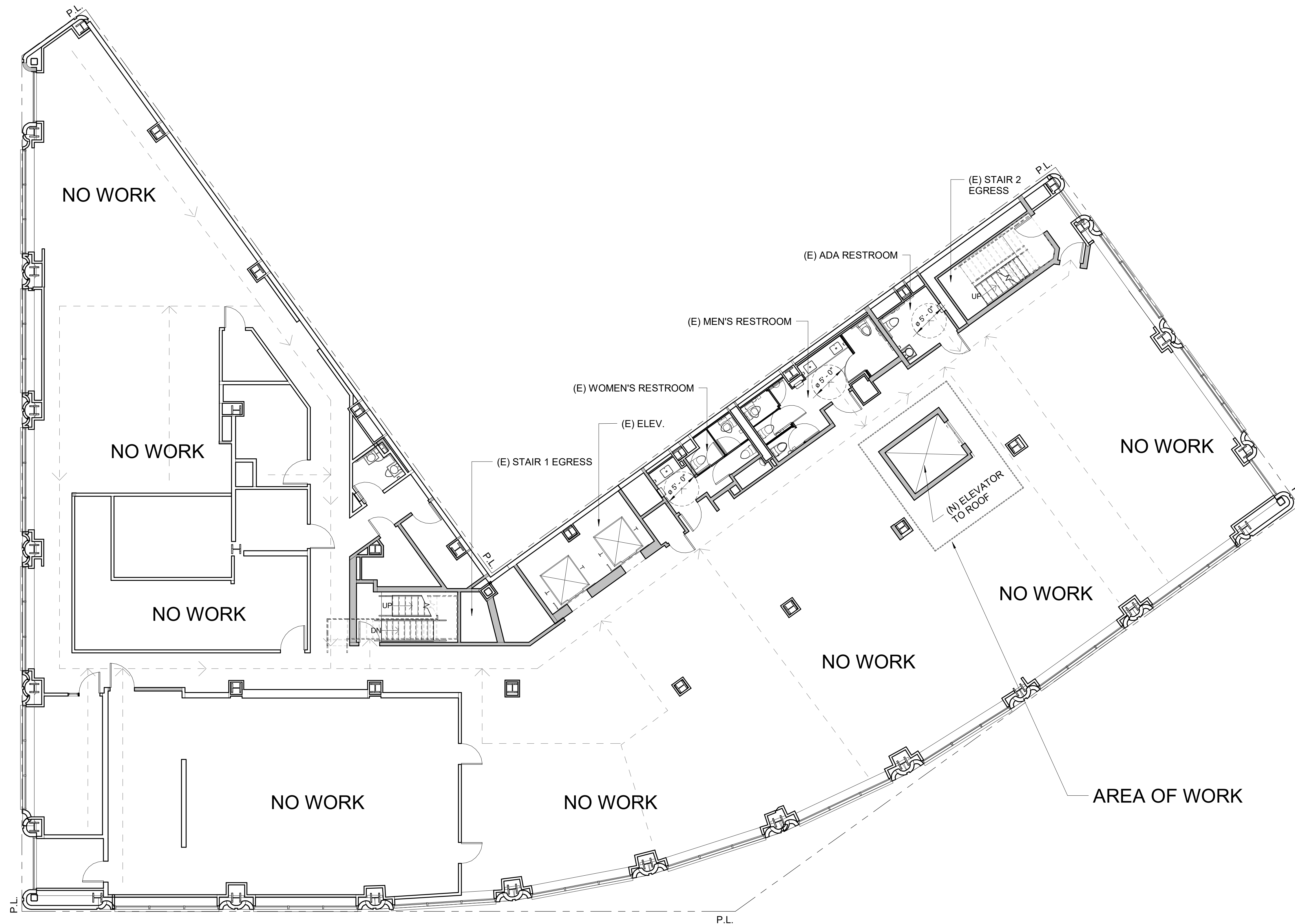
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No.	Issue	Date

WALL LEGEND	
	(E) WALL TO REMAIN
	(E) WALL TO BE DEMOLISHED
	(E) WALL - 2 HR FIRE RATED
	(N) WALL
	PATH OF TRAVEL
	DEMO (E) FLOOR - VIF

**GS4 - SAN FRANCISCO GREEN BUILDING
SUBMITTAL NOTES:**

1. Use products that comply with the emission limit requirements of 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area) and composite wood products.
2. Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials.
3. For 100% of mixed C & D debris, use registered transporters and registered processing facilities with a minimum of 65% diversion rate.



1 Level 6 - Proposed
1/8" = 1'-0"



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Date: 1/16/2020

Scale: As indicated

Description:

**PROPOSED
PLAN LEVEL 6**

Sheet Number:

A-0.06

No.	Issue	Date

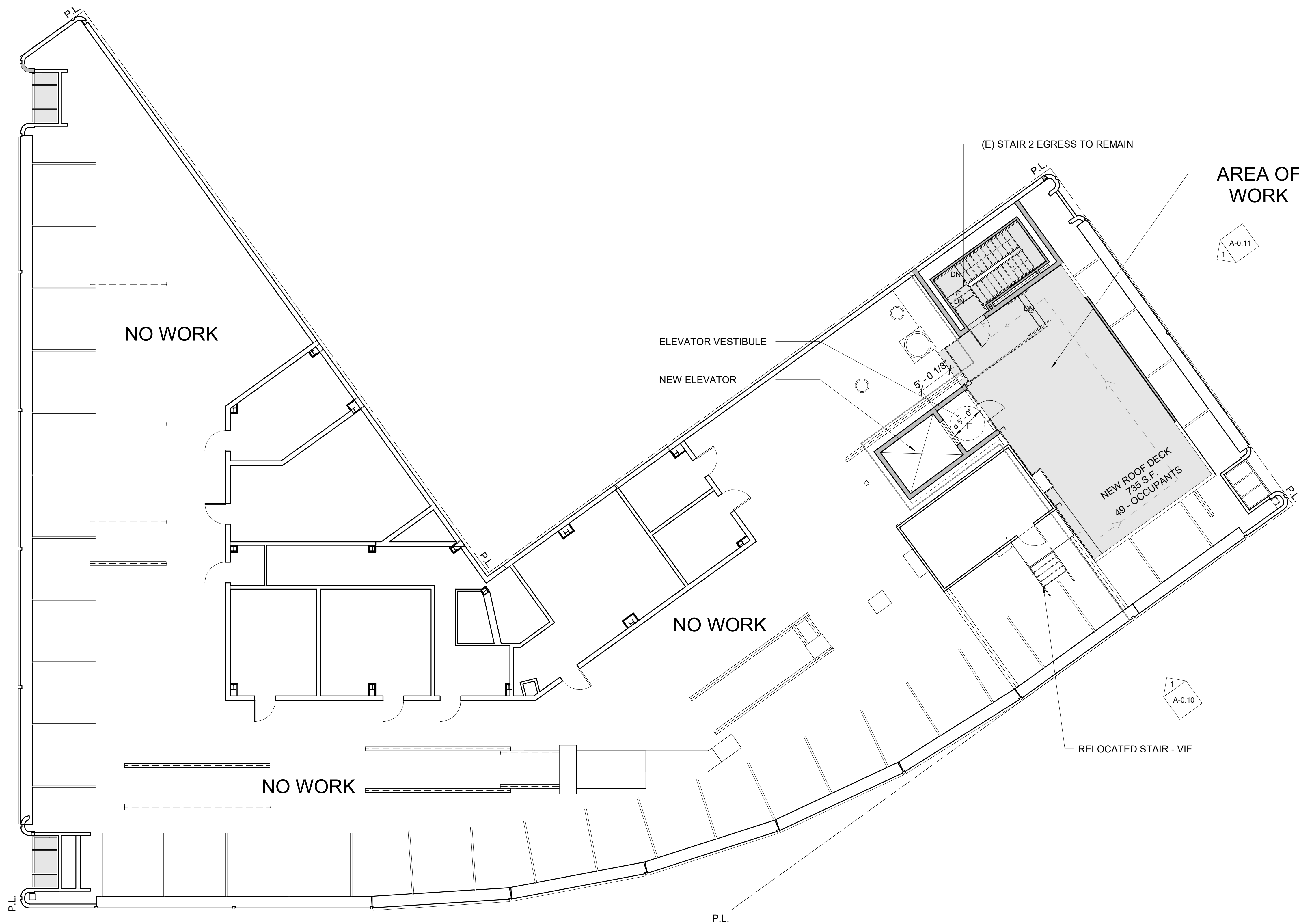
WALL LEGEND	
	(E) WALL TO REMAIN
	(E) WALL TO BE DEMOLISHED
	(E) WALL - 2 HR FIRE RATED
	(N) WALL
	PATH OF TRAVEL
	DEMO (E) FLOOR - VIF

OCCUPANT LOAD CALCULATION - ROOF DECK PERMIT			
LEVEL	AREA	FACTOR	OCCUPANTS
ROOF DECK	735 SF	@15 NET	49

OCCUPANT LOAD CALCULATED BASED ON CBC 2016 - TABLE 1004.1.2 WHERE UNCONCENTRATED TABLES & CHAIRS HAS AN OCCUPANT LOAD FACTOR OF 15 NET PER SQUARE FEET.

GS4 - SAN FRANCISCO GREEN BUILDING SUBMITTAL NOTES:

1. Use products that comply with the emission limit requirements of 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area) and composite wood products.
2. Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials.
3. For 100% of mixed C & D debris, use registered transporters and registered processing facilities with a minimum of 65% diversion rate.



1 Roof - Proposed
1/8" = 1'-0"



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Date: 1/16/2020

Scale: As indicated

Description:

**PROPOSED
PLAN ROOF**



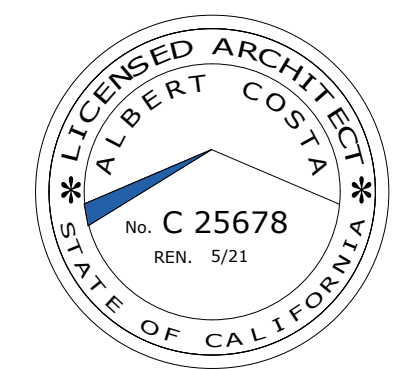
Sheet Number:

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No.	Issue	Date



1 Roof Trellis Plan
1/8" = 1'-0"



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Date: 1/16/2020

Scale: 1/8" = 1'-0"

Description:
ROOFTOP PLAN

Sheet Number:

A-0.7A

No.	Issue	Date
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① Southeast Elevation - Existing
1/8" = 1'-0"



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Date: 1/16/2020

Scale: 1/8" = 1'-0"

Description:
**EXISTING -
SOUTHEAST
BUILDING
ELEVATION**

Sheet Number:

A-0.08

No.	Issue	Date
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- (E) Penthouse Parapet 93' - 7"
- (E) LL Penthouse 89' - 2"
- (E) Top of Parapet 84' - 0"
- (E) Level 7 - Roof 78' - 8"
- Level 6 66' - 0"
- Level 5 53' - 6"
- Level 4 41' - 0"
- Level 3 28' - 6"
- Level 2 16' - 0"
- Level 1 0' - 0"

1 Northeast Elevation - Existing
1/8" = 1'-0"



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Date: 1/16/2020

Scale: 1/8" = 1'-0"

Description:
**EXISTING -
NORTHEAST
BUILDING
ELEVATION**

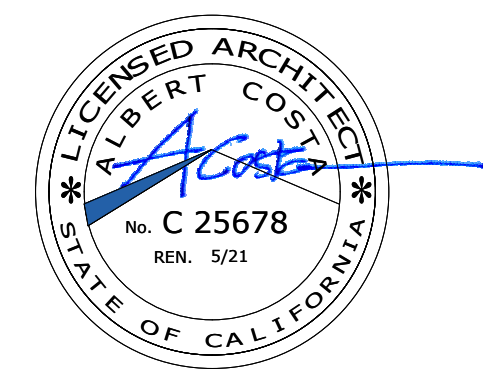
Sheet Number:

A-0.09

No.	Issue	Date



① Southeast Elevation - Proposed
1/8" = 1'-0"



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Date: 1/16/2020

Scale: 1/8" = 1'-0"

Description:
**PROPOSED -
SOUTHEAST
BUILDING
ELEVATION**

Sheet Number:

A-0.10

No.	Issue	Date



1 Northeast Elevation - Proposed
1/8" = 1'-0"



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Date: 1/16/2020

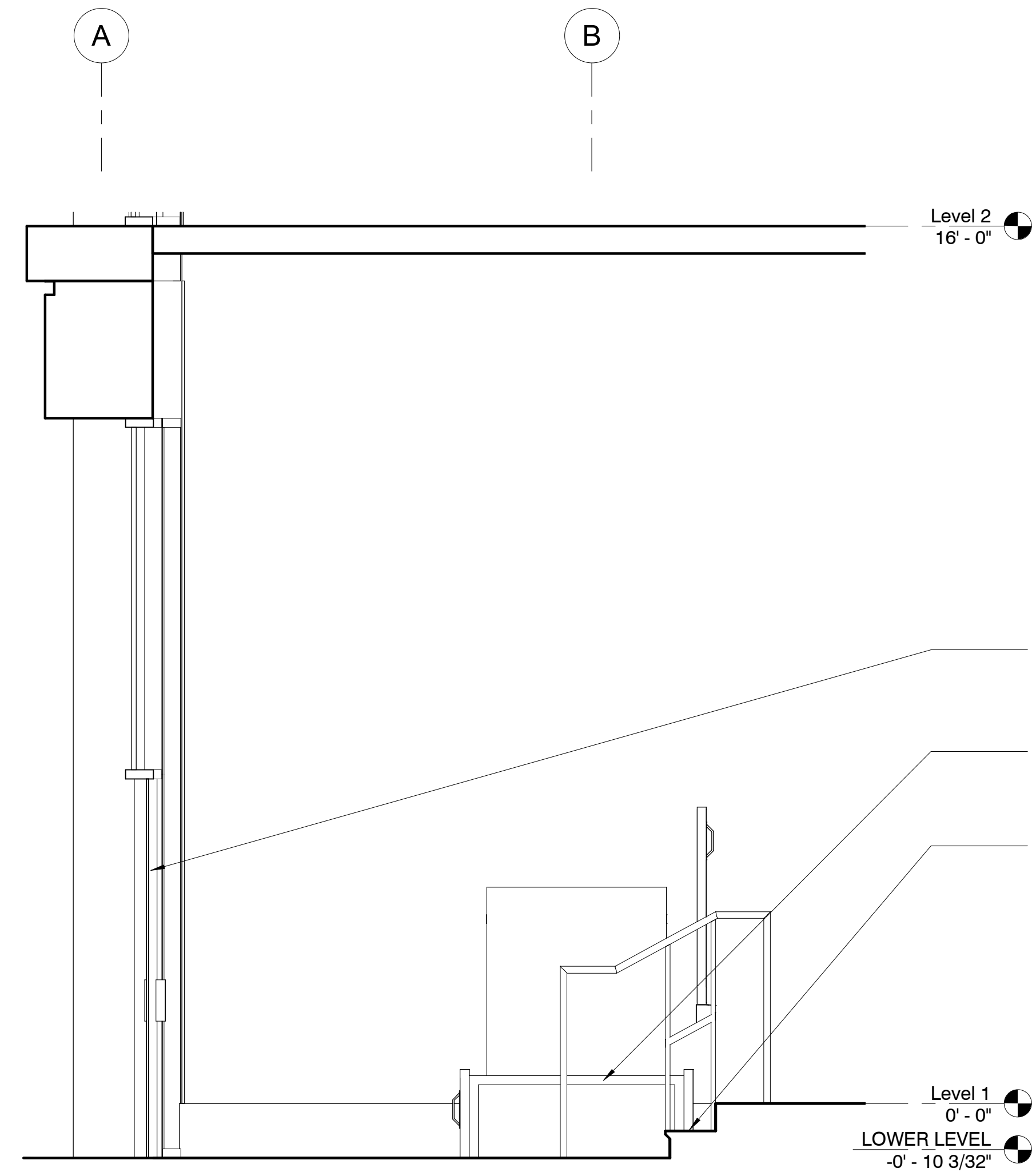
Scale: 1/8" = 1'-0"

Description:
**PROPOSED -
NORTHEAST
BUILDING
ELEVATION**

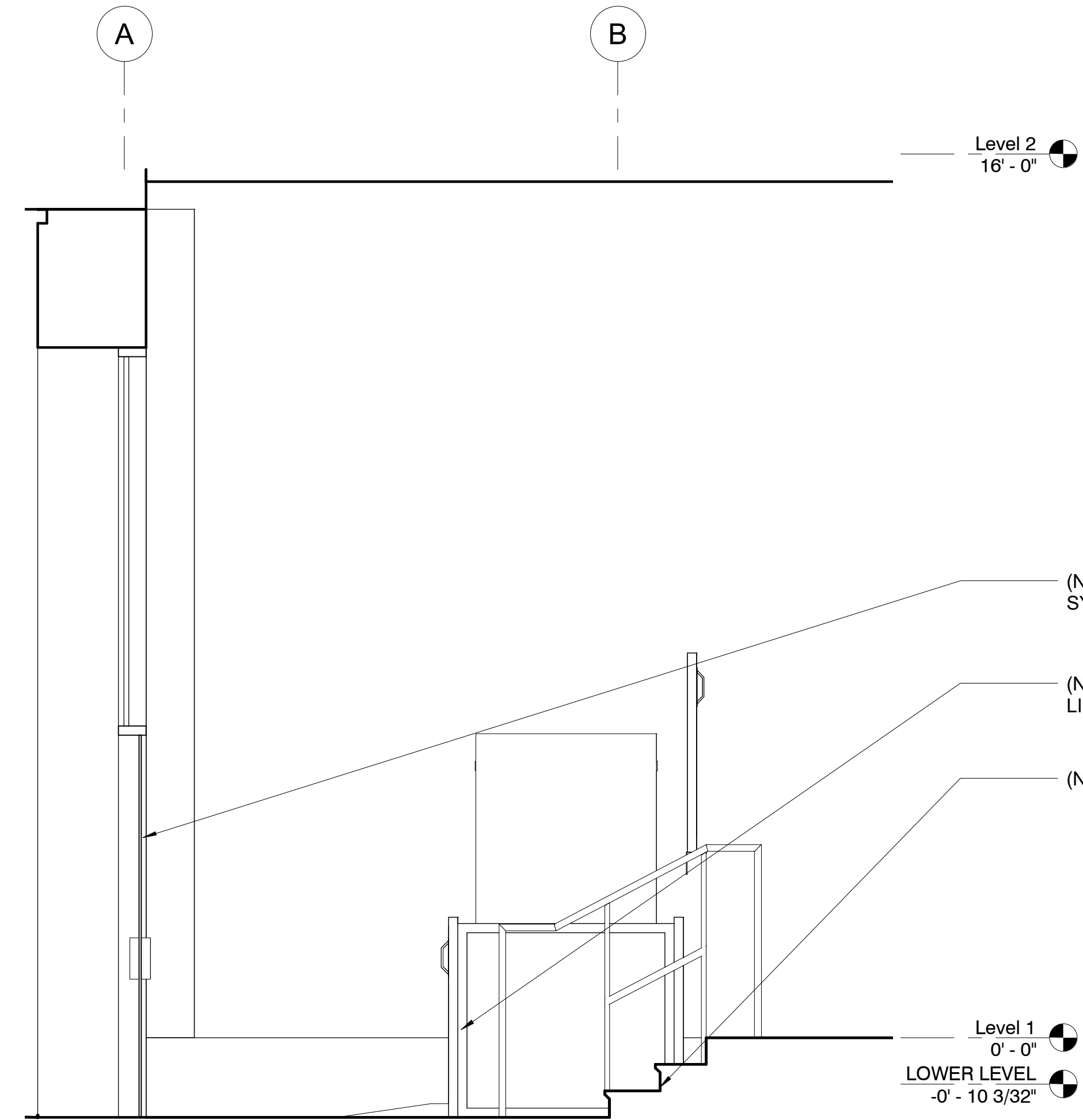
Sheet Number:

A-0.11

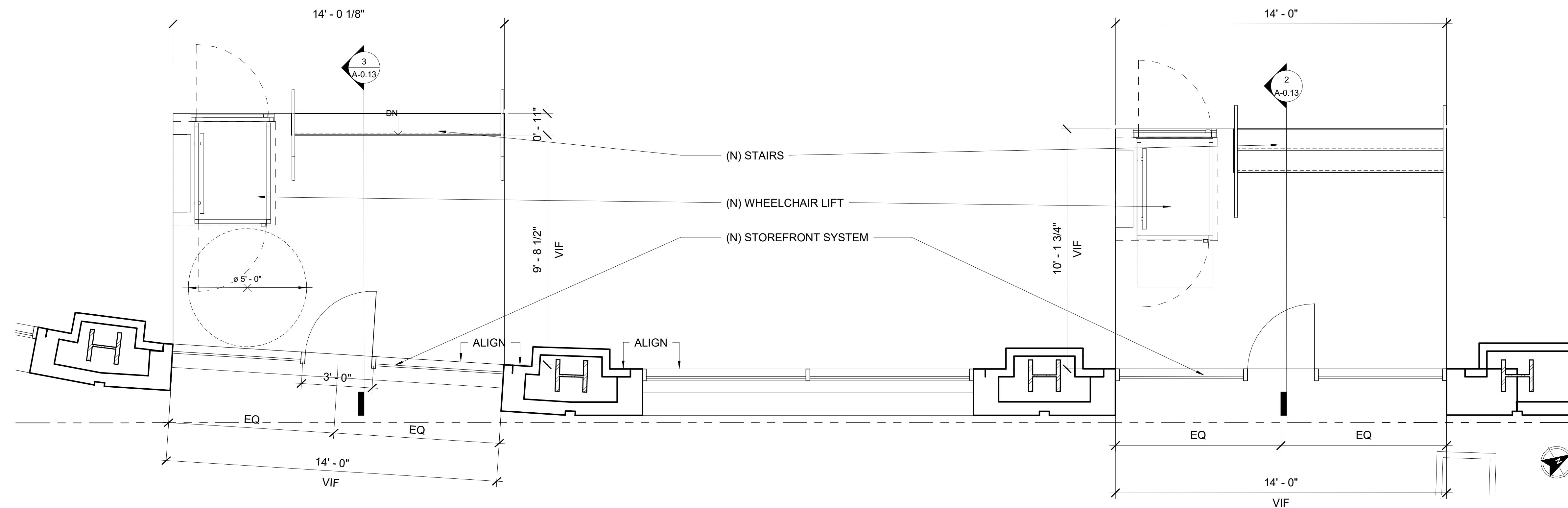
No.	Issue	Date



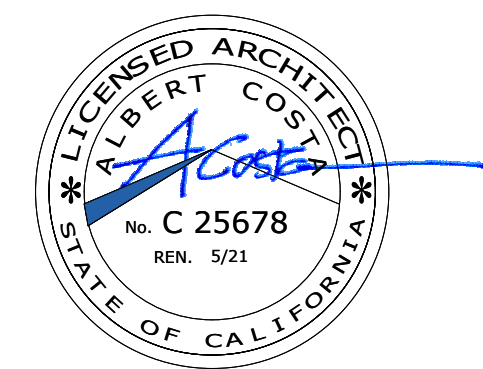
③ Accessible Entrance Section 1
1/2" = 1'-0"



② Accessible Entrance Section 2
1/2" = 1'-0"



① PROPOSED GROUND FLOOR - CALLOUT
- ENTRY RAMP
3/8" = 1'-0"



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Date: 1/16/2020

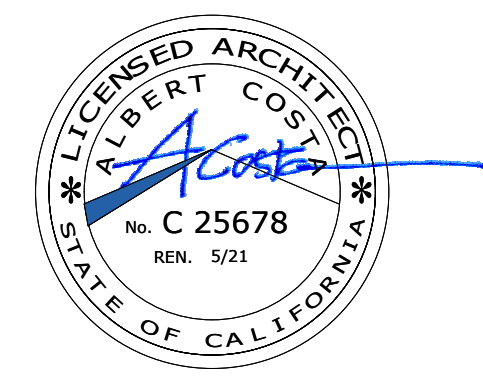
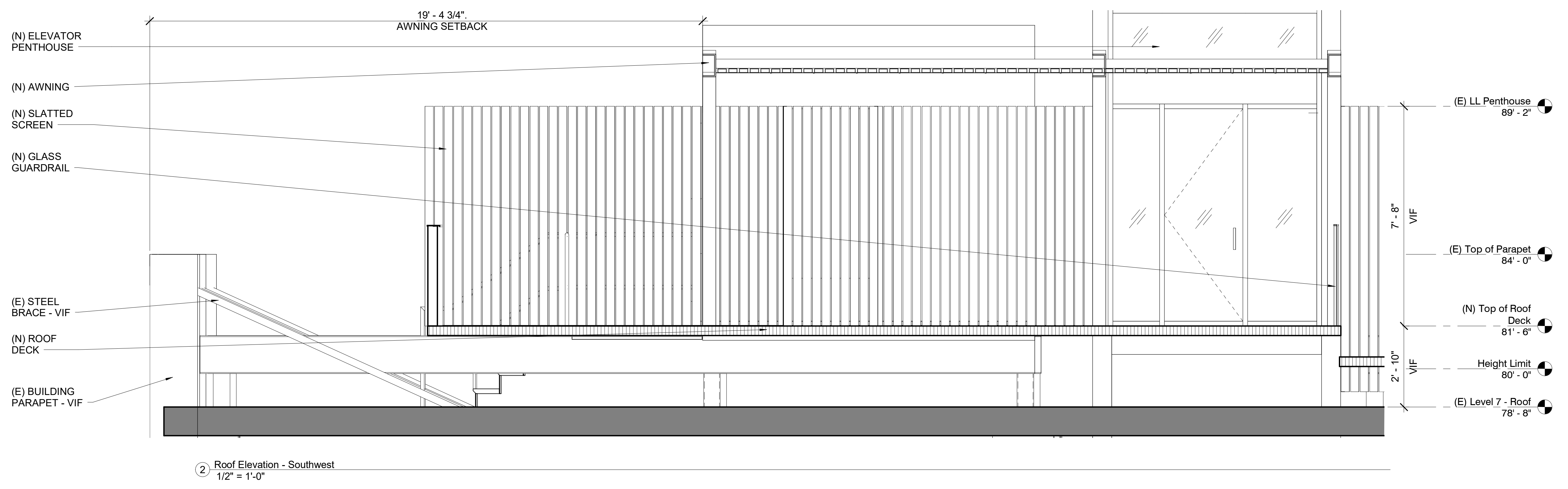
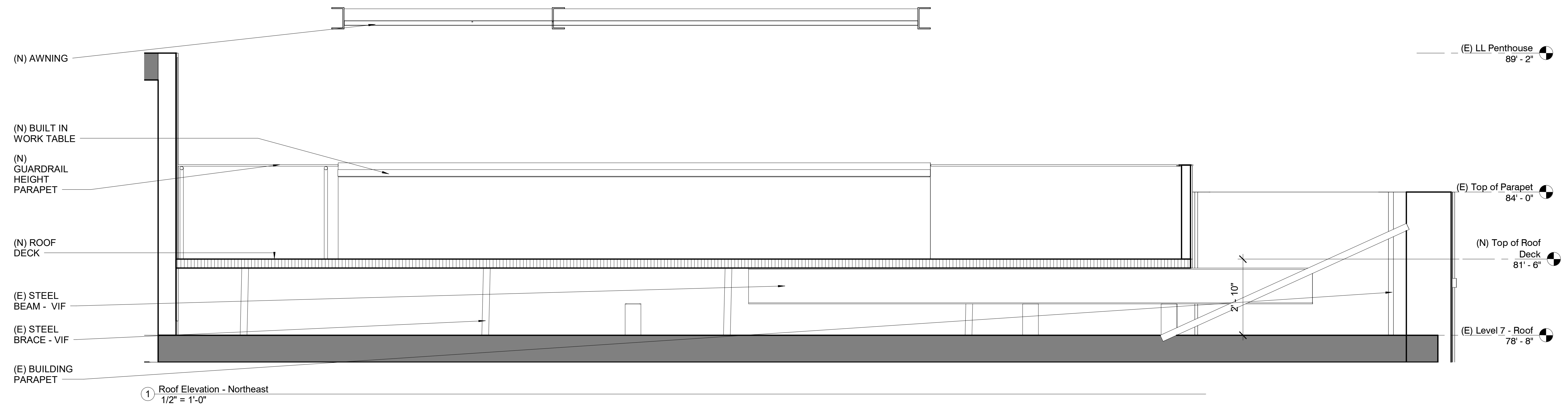
Scale: As indicated

Description:
**DETAILS -
ENTRANCE TO
RETAIL @
GROUND
FLOOR**

Sheet Number:

A-0.13

No.	Issue	Date



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Date: 1/16/2020

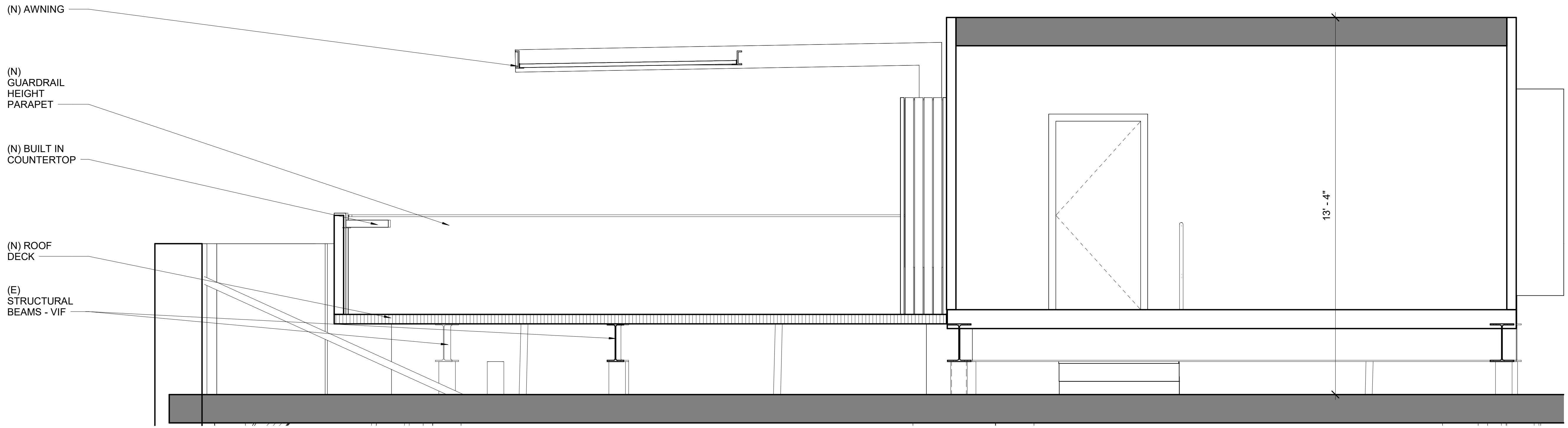
Scale: 1/2" = 1'-0"

Description:
**PROPOSED
ROOF
ELEVATIONS**

Sheet Number:

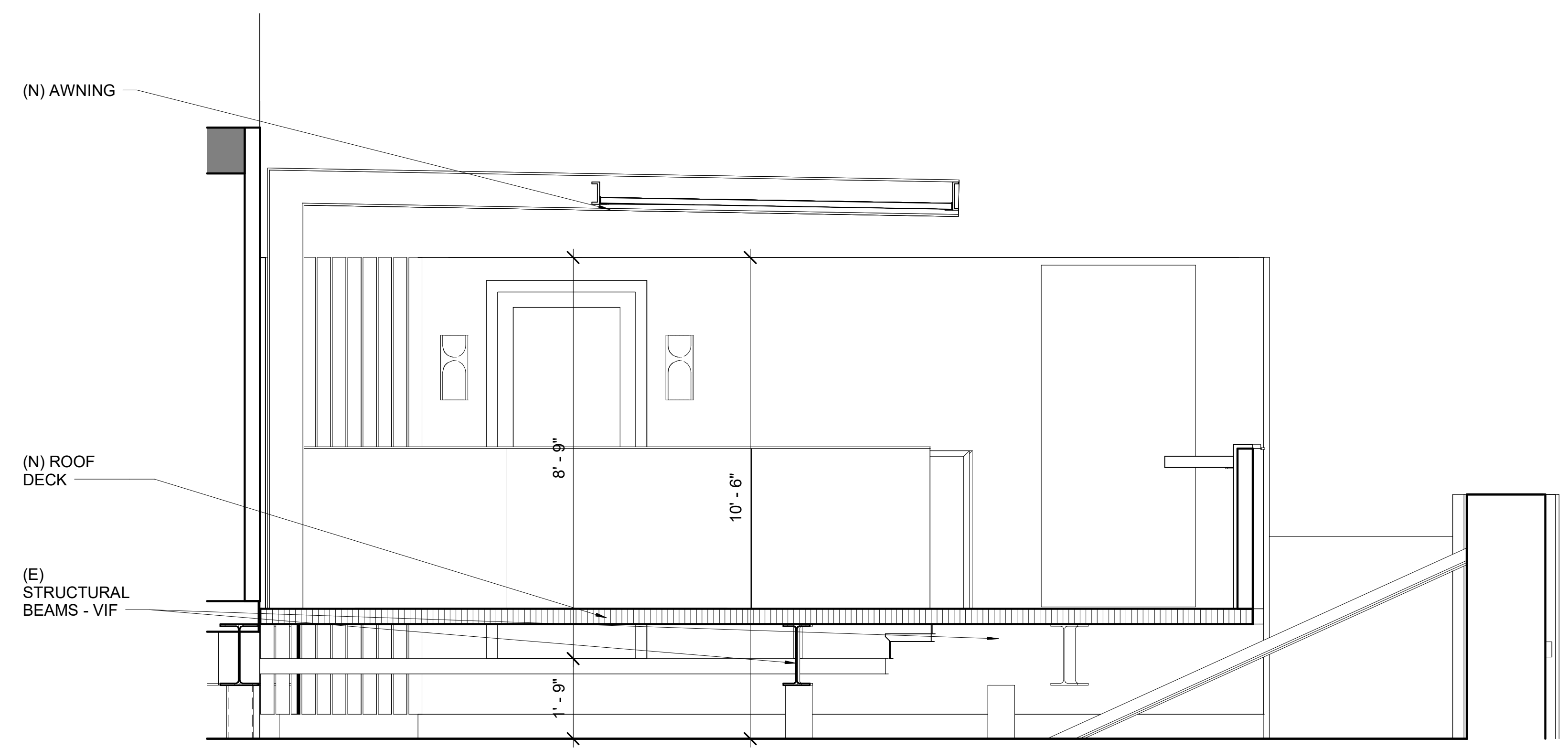
A-0.14

No.	Issue	Date



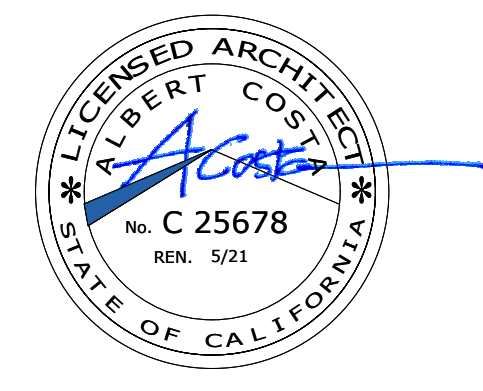
- (E) LL Penthouse 89' - 2"
- (E) Top of Parapet 84' - 0"
- (N) Top of Roof Deck 81' - 6"
- Height Limit 80' - 0"
- (E) Level 7 - Roof 78' - 8"

① Roof Elevation - Southeast
1/2" = 1'-0"



- (E) LL Penthouse 89' - 2"
- (E) Top of Parapet 84' - 0"
- (N) Top of Roof Deck 81' - 6"
- (E) Level 7 - Roof 78' - 8"

② Roof Elevation - Northwest
1/2" = 1'-0"



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Date: 1/16/2020

Scale: 1/2" = 1'-0"

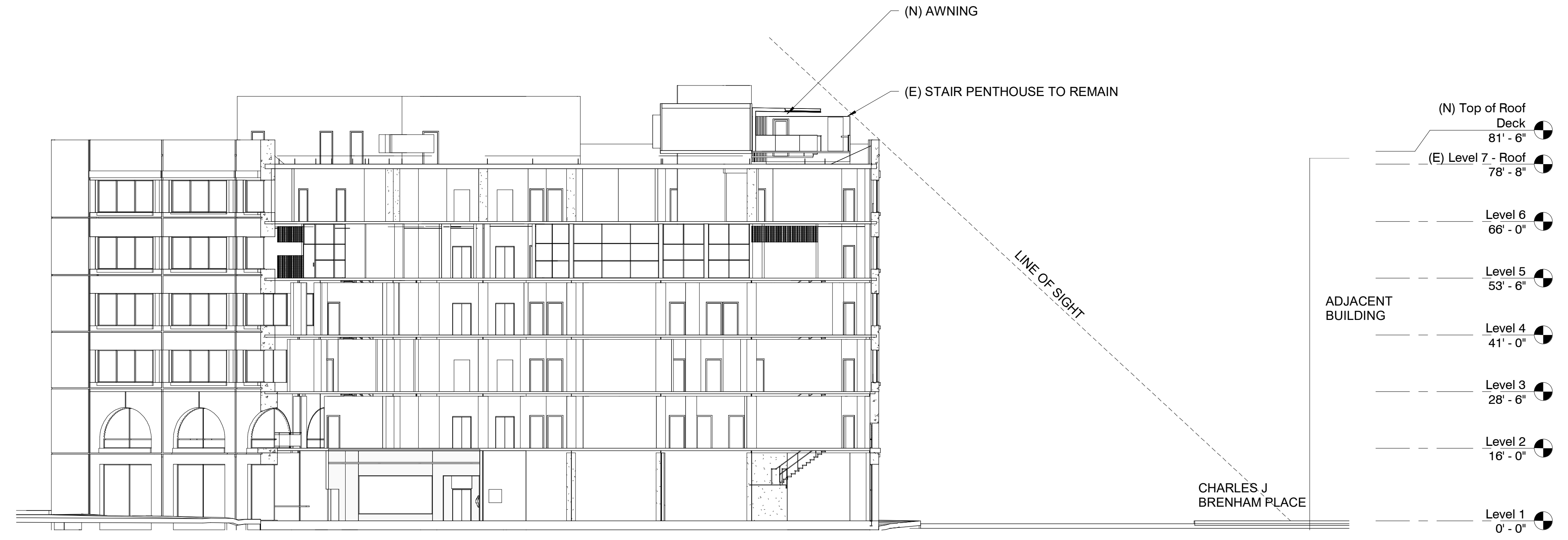
Description:

**PROPOSED
ROOF
ELEVATIONS**

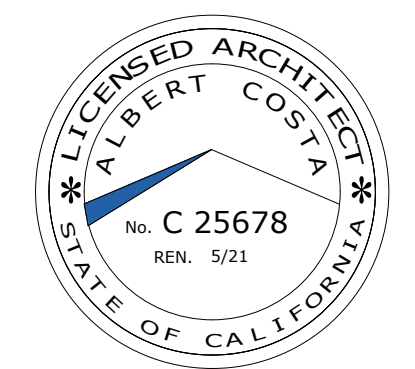
Sheet Number:

A-0.15

No.	Issue	Date
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① SIGHTLINE SECTION
1/16" = 1'-0"



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Date: 1/16/2020

Scale: 1/16" = 1'-0"

Description:

**ROOF DECK
SIGHTLINE
SECTION**

Sheet Number:

A-0.16

Appendix C:

Environmental Determination

Certificate of Appropriateness
Case Number 2019-001839COA
1128 Market Street



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
1128 MARKET ST		0351050
Case No.		Permit No.
2019-001839PRJ		201902011937
<input type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
Project description for Planning Department approval. Add new single story elevator access from (e) 6th fl to roof level and adding new roof deck with trellis		

STEP 1: EXEMPTION CLASS

The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. FOR ENVIRONMENTAL PLANNING USE ONLY
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?</p> <p><i>if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i></p>
<input type="checkbox"/>	<p>Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography). If yes, Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Slope = or > 25%: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.</p>
<p>Comments and Planner Signature (optional): Jonathan Vimr</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map)	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input checked="" type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input checked="" type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <div style="display: flex; justify-content: space-around;"> <div style="text-align: center;"> <input type="checkbox"/> Reclassify to Category A a. Per HRER or PTR dated b. Other (specify): </div> <div style="text-align: center;"> <input type="checkbox"/> Reclassify to Category C (attach HRER or PTR) </div> </div>
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional): installation of partially visible roof deck and elevator penthouse on noncontributory building within a district. new ADA ramp at ground level.	
Preservation Planner Signature: Jonathan Vimr	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Building Permit	Signature: Jonathan Vimr
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	01/29/2020
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.		

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
1128 MARKET ST		0351/050
Case No.	Previous Building Permit No.	New Building Permit No.
2019-001839PRJ	201902011937	
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

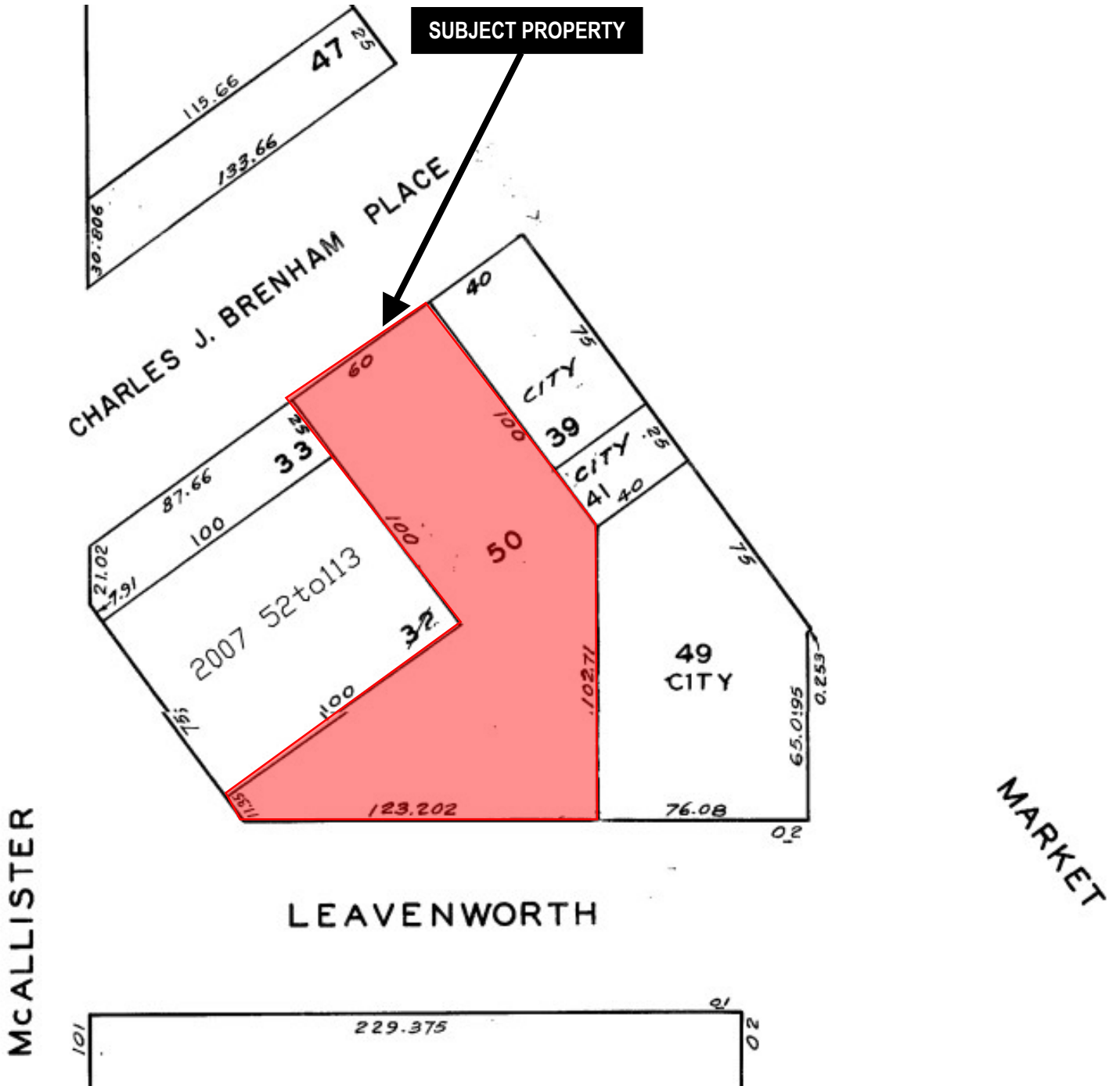
DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.	
Planner Name:	Date:

Appendix D:

Maps and Context Photos

Parcel Map



SUBJECT PROPERTY

Certificate of Appropriateness
Case Number 2019-001839COA
1128 Market Street

Aerial Photo

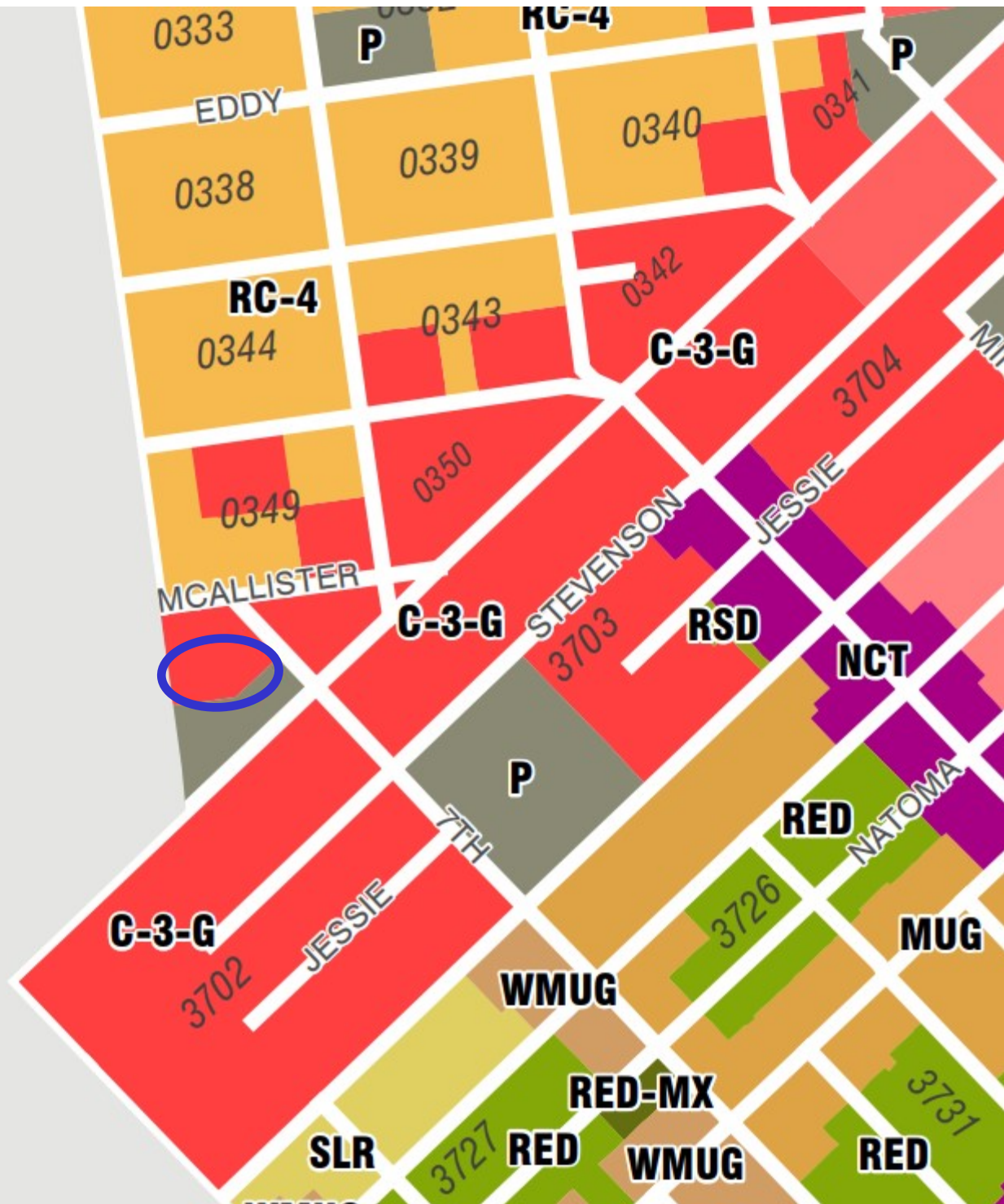


SUBJECT PROPERTY



Certificate of Appropriateness
Case Number 2019-001839COA
1128 Market Street

Zoning Map



Certificate of Appropriateness
Case Number 2019-001839COA
1128 Market Street

Civic Center Landmark District



Certificate of Appropriateness
Case Number 2019-001839COA
1128 Market Street

Site Photo*



**Market Street façade.*

Certificate of Appropriateness
Case Number 2019-001839COA
1128 Market Street

Site Photo*



**Charles J Brenham Place façade..*

Certificate of Appropriateness
Case Number 2019-001839COA
1128 Market Street

Appendix E:

Designating Ordinance

Certificate of Appropriateness
Case Number 2019-001839COA
1128 Market Street

[Print](#)

San Francisco Planning Code

APPENDIX J TO ARTICLE 10 - CIVIC CENTER HISTORIC DISTRICT

SEC. 1. FINDINGS AND PURPOSES.

The Board of Supervisors hereby finds that the area known and described in this ordinance as the Civic Center Historic District contains a number of structures having a special character and special historical, architectural and aesthetic interest and value, and constitutes a distinct section of the City. The Board of Supervisors further finds that designation of said area as an Historic District will be in furtherance of and in conformance with the purposes of Article 10 of the City Planning Code and the standards set forth therein, and that preservation on an area basis rather than on the basis of individual structures alone is in order.

This ordinance is intended to further the general purpose of historic preservation legislation as set forth in Section 1001 of the City Planning Code, to promote the health, safety and general welfare of the public.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 2. DESIGNATION.

Pursuant to Section 1004 of the City Planning Code, Chapter II, Part II of the San Francisco Municipal Code, the San Francisco Civic Center Historic District is hereby designated as an Historic District, this designation having been duly approved by Resolution No. 13719 of the City Planning Commission and Resolution No. 454 of the Landmarks Preservation Advisory Board.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 3. LOCATION AND BOUNDARIES.

The location and boundaries of the San Francisco Civic Center Historic District generally bounded by Golden Gate Avenue to the north, Franklin Street to the west, Jones Street to the east and Market Street to the south shall be as designated on the San Francisco Civic Center Historic District Map, the original of which is on file with the Clerk of the Board of Supervisors under File No. 115-94-10, which Map is hereby incorporated herein as though fully set forth.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 4. RELATION TO CITY PLANNING CODE AND THE PROVISIONS OF THE CHARTER OF THE CITY AND COUNTY OF SAN FRANCISCO.

(a) Article 10 of the City Planning Code is the basic law governing historic preservation in the City and County of San Francisco. This ordinance, being a specific application of Article 10, is both subject to and in addition to the provisions thereof.

(b) Except as may be specifically provided to the contrary in this ordinance, nothing in this ordinance shall supersede, impair or modify any City Planning Code provisions applicable to property in the San Francisco Civic Center Historic District, including but not limited to existing and future regulations controlling uses, height, bulk, lot coverage, floor area ratio, required open space, off-street parking and signs.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 5. STATEMENT OF SIGNIFICANCE.

The San Francisco Civic Center possesses a unique place and significance in the areas of architecture, history, and environment worthy of protection as an historic district.

The land on which the Civic Center stands was declared a City Hall Reservation as early as 1870. Portions of that reservation land were sold to raise funds for City Hall construction, and Old City Hall - located on the site that had first been used as the Yerba Buena Cemetery, approximately where the present library stands - was erected between 1871 and 1897, in a lengthy project marked by the now well known City government corruption of that time.

In 1899, B.J.S. Cahill, with the encouragement of Mayor Phelan, proposed a grander vision for the area, with the dual goal of clearing up land titles clouded by the dubious practices of the promoters of the Old City Hall and, at the same time, of creating an imposing setting for the entire area. This plan envisioned clearing out smaller structures and visually uniting the remaining monumental structures - Old City Hall, the Main Post Office, the Hibernia Bank building, and other larger structures - and setting them off against new open spaces (such as a planned extension of the Golden Gate Park panhandle to Market Street). Conflicting new developments were blocked for a time, but the plan eventually failed, in large part because of general distrust - bred of experience, perhaps - of large government projects.

Undaunted, former Mayor Phelan soon led the formation of an Association for the Improvement and Adornment of San Francisco. In 1904, the Association invited Daniel Burnham to design a grand plan for the City, with B.J.S. Cahill providing a design for the Civic Center. This produced two visions of the Civic Center: Cahill, with the practicality borne of personal and local experience, proposed using existing structures and City-owned land to create a central plaza, surrounded by major buildings, and, again, connected to a Golden Gate Park panhandle extension; Burnham proposed a grander Civic Center, with buildings connected by a generally circular series of boulevards and grand open vistas. The Burnham Plan, though politically impractical, fired the public imagination and was submitted to and adopted by the Board of Supervisors on September 27, 1905.

Following the 1906 earthquake, the public desire to rebuild and reclaim what had just been lost confirmed in practice what Cahill had perceived before: that political expediency set limits to the definition of the Civic Center. Competition continued between the different views of Burnham and Cahill of what the Civic Center might become, but by 1912 the Board of Supervisors had endorsed the Cahill Plan as modified in 1909. The momentum of growing civic pride and the Civic Center development effort - spearheaded by then-Mayor Rolph and the coming of the 1915 Panama-Pacific Exposition - was focused into the general outlines sketched by Cahill.

Mayor Rolph, a reform candidate, saw the Civic Center as a central civic improvement, the symbol of a new unity of the people under a new and honest political era and a permanent expression of the grandeur and vitality which the 1915 Exposition would exemplify on a temporary scale.

The World Columbian Exposition in Chicago, in 1893, was the source of inspiration for the "City Beautiful" movement which emphasizes formal plan and composition of monumental scale, neoclassical style buildings fronting plazas, boulevards and grand public gathering spaces. The order, harmony, cleanliness, and grandeur of the exhibition, called "The White City," was in sharp contrast to the rapid, chaotic growth that most U.S. cities had experienced in the preceding era of rapid immigration and industrialization.

Several world's fairs were held throughout the country in the later 1800's, spreading the ideals of classical architecture, Beaux Arts forms, and the concepts of planning and cooperation for ensemble effect in design. These planning and design schemes were an important influence for forty years, with their primary manifestation coming in designs for cities, parks, and civic centers. Numerous City plans were commissioned in the early years, but only Cleveland and San Francisco implemented a portion of their plans, with San Francisco more nearly reaching completion.

The historic significance of the "City Beautiful" movement lies in the manner in which it reformed and refocused architectural vision, contributing to something of a national style of architecture; and, on a practical level, in the formation of City Planning Departments and schools or courses devoted to City Planning.

The design of the San Francisco Civic Center is an example of the development of those significant contributions. More particularly, the San Francisco Civic Center is an expression of a nation ready to display its new international importance in an architectural statement. At the time it took form, geography and historical events had made San Francisco the center of western America. Monumental classical architecture for the City's central public space expressed this consciousness, as well as the accompanying belief that such inspiring surroundings should be democratically available to all, not just a privileged few.

The Exposition Auditorium, the Central Plaza, and the Powerhouse were completed before the 1915 Panama-Pacific Exposition, and the new City Hall was completed in late 1915. The library was completed in 1916; the State Building in 1921; and the Public Health Building in 1932 and the Old Federal Building in 1936. The present Opera House and Veterans Building expanded the Civic Center to the west in 1932 and 1933, respectively, much in the manner the original proponents envisioned. The original plaza was excavated in 1956 to add the underground parking garage. At this time the ground level details were changed into the present reflecting pool and semi-park. United Nations Plaza, which opens the vista to the east of City Hall in a manner consistent with the original vision of the Civic Center, was created in the mid-1970's.

It is an exemplary City Beautiful complex in the best of the American Academic Beaux Arts tradition. Designed and built in the revival of classical style, stemming from the Chicago World's Fair of 1893 that has been called the "American Renaissance," it succeeds in making a strong impression of Civic dignity and pride. The San Francisco Civic Center Historic District consists of a principal aggregation of monumental buildings around a central open space, with additional buildings extending the principal axis at either end. It includes all or part of the fifteen City blocks. There are eight major buildings, a group of secondary buildings, three unrealized building sites, and a large plaza within the Historic District.

Each building in the Civic Center was faced with the problem of providing modern, functional facilities in a classical idiom. The classical Beaux Arts style was deemed suitable as the traditional style of American governmental buildings, and was amenable to City Beautiful ideals of harmony among many buildings on a grand scale. The formal composition of "City Beautiful" architecture, plantings, street embellishments and plazas was meant to be an expression of civic authority and pride - intending to impress and overawe. The classical style aptly expressed the mood of a nation eager to redefine its newly achieved international importance in architectural terms. It reflected a mood and an existing state of affairs as much as an inspiration to dominance. In San Francisco, it represented the city's emergence as a regional center of national importance, and within the City, it symbolized the united efforts of a population recently divided along many lines.

In terms of "democratic" architecture, or architecture for an ever larger segment of the population, monumental classical architecture uncompromisingly demonstrated the enhanced concern for the general public. Only a few years earlier, such splendor was exclusively reserved for the rich and the privileged few. To this day, no greater public interiors have been built in the United States than those influenced by and representative of the City Beautiful Movement, including among the very finest, the San Francisco City Hall.

Within the scope of turn of the century classical architecture in the United States, the San Francisco Civic Center contains several fine examples of the mode and one superlative example in its City Hall. The other buildings in the group, although less interesting individually cannot properly be evaluated in the same way. In particular, the State Building, the Federal Building, the Health Building and the War Memorial group would probably appear rather dull compared to City Hall, as if they were missing an essential ingredient. But seen in the context of the Civic Center as a whole, and in relation to City Hall, all the buildings together achieve distinction.

The criteria on which the buildings are judged, then, must be the degree to which each enhances the group without distracting from City Hall. These qualities are achieved through a harmony of color, material, scale, size, texture, rhythm and style. Within these constrictions the buildings achieve individual interest through the imaginative manipulation of the elements.

The historic Civic Center buildings are unified in the Beaux Arts classical design. They are organized into horizontal bands of vertically proportioned elements, with the grand order of the facade displayed on two or three floors above a usually rusticated base of one or two ground and partially sub-ground floors. Civic Center Historic District contains standard features such as overall form, massing, scale, proportion, orientation, depth of face, fenestration and ornamentation, materials, color, texture, architectural detailing, facade line continuity, decorative and sculptural features, street furniture, granite curbing and grille work.

The Civic Center is designated as both a National Historic Landmark District and a Historic District on the National Register of Historic Places, the former designation occurred on February 27, 1987, the latter, October 10, 1978. These designations offer recognition that certain properties within the Historic District are worthy of preservation and alterations undertaken both in the local and federal districts shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties. Said Standards were adopted by the Landmarks Preservation Advisory Board at its Regular Meeting of October 2, 1985, the amended Standards were readopted by the Landmarks Board at its Regular Meetings of February 6, 1991 and August 3, 1994.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 6. FEATURES.

The architectural features of said Historic District that should be preserved are set forth in this ordinance and described and depicted in the Landmarks Preservation Advisory Board's Case Report "San Francisco Civic Center Historic District" including Appendix A: Survey of Parcels. Said Case Report was adopted by the Landmarks Preservation Advisory Board at its Regular Meeting of October 6, 1993 by Resolution No. 454 and was adopted and amended by the City Planning Commission at its Regular Meeting of July 7, 1994 by Resolution No. 13719. The architectural features, formal plan composition and streetscape elements of said Historic District that should be preserved and strengthened are also identified in the Civic Center Plan, an Element of the City's Master Plan, and in the Civic Center Urban Design Guidelines adopted by the Planning Commission pursuant to that plan.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 7. ADDITIONAL PROVISIONS FOR CERTIFICATES OF APPROPRIATENESS.

The procedures, requirements, controls and standards in Sections 1005 through 1006.8 of Article 10 of the City Planning Code shall apply to all applications for Certificates of Appropriateness in the San Francisco Civic Center Historic District.

In addition, the following provisions shall apply to all such applications. In the event of any conflict or inconsistency between the following provisions and Article 10, the procedures, requirements, controls and standards affording stricter protection to the Historic District shall prevail, except for the provisions of Section 8 of this designation ordinance.

A Certificate of Appropriateness shall be required for all major alterations, as set forth below, to Contributory or Contributory/Altered buildings sites, structures or objects within the Historic District. Within 10 days after the Central Permit Bureau refers any permit application to the Department, the Zoning Administrator and the Secretary to the Landmarks Preservation Advisory Board shall determine in writing whether the proposed alteration is a major alteration or a minor alteration. The decision of the Zoning Administrator shall be final.

(a) An alteration is considered major if any of the following apply:

(1) The alteration will remove or cover an exterior architectural feature or a portion of an exceptionally significant interior as set forth in Section 10, or replace it with substitutes that are inappropriate in material, scale, color or architectural style. This provision shall apply to exceptionally significant interior public spaces designated in Section 10 of said ordinance; or

(2) The alteration would affect all or any substantial part of a structure's interior or exterior column or load-bearing wall, exterior walls or exterior ornamentation; or

(3) The alteration results in a substantial addition of height above the height of the structure; or

(4) The cumulative impacts of serial permits may be determined to be a major alteration. An alteration, in combination with other alterations authorized within the preceding five years, shall be deemed a major alteration if the cumulative impact of said alterations may be considered a major alteration as described above.

(b) An alteration is considered minor if the criteria set forth in Subsection (a) do not apply or the work consists of ordinary repair and maintenance.

(c) The Department of City Planning in consultation with the Landmarks Preservation Advisory Board, may promulgate Rules and Regulations to distinguish major alterations from minor alterations for this Historic District consistent with this Section 7.

(d) Permit applications determined to be for minor alterations shall be returned, with that determination noted, to the Central Permit Bureau for further processing; provided, however, that the Zoning Administrator may take any other otherwise authorized action with respect to the application.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 8. APPEALS FROM THE LANDMARKS PRESERVATION ADVISORY BOARD AND CITY PLANNING COMMISSION DECISIONS ON CERTIFICATES OF APPROPRIATENESS.

(a) Certificate of Appropriateness decisions of the Landmarks Preservation Advisory Board may be appealed to the City Planning Commission pursuant to the provisions of Planning Code Section 1006.8. Nothing in this ordinance shall supersede, impair or modify provisions of the City Charter or laws governing the State of California and the United States of America. All governmental bodies shall work cooperatively with the Landmarks Preservation Advisory Board on proposed exterior and interior changes to ensure that the alteration of buildings within this Historic District comply with the Secretary of the Interior's Standards for Rehabilitation, Revised 1990 (and subsequent revisions).

(b) This ordinance designating the Civic Center Historic District shall in no way diminish the powers, rights and duties vested in the Art Commission, the War Memorial Board of Trustees, the Library or the Asian Art Museum. It is the intent of the Board of Supervisors, however, to retain its authority, and the authority of the Landmarks Preservation Advisory Board and the Planning Commission, over historic preservation decisions in the Civic Center Historic District in order to ensure the appropriate treatment of the historical elements of this historic district.

(c) The entities referenced in Subsection 8(b) above shall consult with the Landmarks Preservation Advisory Board on any proposed interior alterations to the publicly accessible spaces of their buildings, regardless of whether a Certificate of Appropriateness is required by this ordinance or by Article 10.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 9. STANDARDS FOR REVIEW OF APPLICATIONS.

(a) The standards for review of all applications for Certificates of Appropriateness are as set forth in Section 1006.7 of Article 10 and are as follows:

(b) For applications pertaining to sites, buildings, structures and objects in the Civic Center Historic District, any alteration, construction, relocation or demolition, shall comply with the standards contained in Section 1017(c), and shall (1) be compatible with respect to height, massing, fenestration, materials, color, texture, detail, style, scale and proportion, signage, landscaping and street furniture which may define the character of the historic district as described in Section 5 of this designating ordinance and in the Civic Center Urban Design Guidelines adopted by the City Planning Commission; and (2) preserve, enhance or restore, and not damage or destroy, the exterior architectural appearance of the subject site, building, structure and object which is compatible with the character of the Historic District.

(1) Notwithstanding the foregoing, any exterior change to a site, building, structure and object which is not already compatible with the character of the Historic District shall bring the site, building, structure and object closer to compatibility. Where the required compatibility exists, the application for a Certificate of Appropriateness shall be approved.

(2) Except as provided in Planning Code Subsection 1017(d), no application for a demolition permit in a Historic District may be approved until a Certificate of Appropriateness for the replacement structure has been approved by the Landmarks Board.

(c) Alterations to Contributory and Contributory/Altered buildings shall be compatible with the architectural and historic character of this Historic District. New construction shall be compatible with the character of the Historic District as described in the Landmarks Preservation Advisory Board San Francisco Civic Center Historic District Case Report and its Appendix A and with the Civic Center Urban Design Guidelines adopted by the City Planning Commission. Said Case Report was adopted by the Landmarks Preservation Advisory Board at its Regular Meeting of October 6, 1993 by Resolution No. 454 and was adopted and amended by the City Planning Commission at its Regular Meeting of July 7, 1994 by Resolution No. 13719 and is contained in Board of Supervisors File No. 115-94-10.

(d) Treatment of Stone Surfaces. Numerous structures in the Historic District exhibit stone, terra cotta, or brick exterior surfacing. Proposed treatment of said masonry surfaces with any acid wash, sandblasting, high pressure wash or other abrasive methods is discouraged as such abrasive treatments can severely damage historic masonry surfaces.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 10. CERTIFICATE OF APPROPRIATENESS APPLICABILITY FOR ALTERATIONS TO EXCEPTIONALLY SIGNIFICANT INTERIOR PUBLIC SPACES.

Pursuant to Section 1004(c)(1) of the City Planning Code, proposed alterations to exceptionally significant interiors of the following publicly owned buildings shall require a Certificate of Appropriateness:

(a) San Francisco City Hall, 400 Van Ness Avenue (City Landmark No. 21 and a Contributory Building to the Historic District) shall comply with Sections 1006 and 1006.8(e) for any construction or alteration which requires a building permit for the following exceptionally significant interior public spaces which shall be designated and shall include: the Board of Supervisor's Chambers (Room C200); the Rotunda; and the Mayor's Office (Rooms D200, D205 and D209) including the Reception Room, inner corridors and offices and the Chief Administrator's Officers (C.A.O.'s) Offices (Room 289) which were previously designated under Ordinance No. 16-70, effective date, March 13, 1970.

(b) The Main Library, 200 Larkin Street, a Contributory Building to the Historic District. The following exceptionally significant interior public spaces shall be designated: the Monumental Grand Staircase (Room S101), the Main Entrance Hall and Vestibule, (Rooms 101 and 191); the Monumental Public

Corridors and Balcony Spaces including the Gottardo Piazzoni Murals in Public Corridor 290 (Rooms 190, 192, 193, 290 and 291A); and the Main Program Spaces (Rooms 200, 201, 202, 203, 210 and 218).

(c) The Public Health Department, 101 Grove Street, a Contributory Building to the Historic District. The following exceptionally significant interior public spaces shall be designated: the Main Entry and Elevator Lobby; the Marble Lined Corridors (All Floors) and the Third Floor Board Meeting Room/Auditorium.

(d) No other sites, buildings, structures and objects have exceptionally significant interior public spaces and would be subject to this Section.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 11. SIGNIFICANCE OF INDIVIDUAL BUILDINGS TO THE HISTORIC DISTRICT.

The history of each parcel within the Historic District is documented in Appendix A: Survey of Parcels, and is included in the San Francisco Civic Center Historic District Case Report as readopted by the Landmarks Board on October 6, 1993 by Resolution No. 454 and as amended and readopted by the City Planning Commission on July 7, 1994 by Resolution No. 13719 and is located in Board of Supervisors File No. 115-94-10.

Each building is assigned a finding from the three following categories:

1. **Contributory.** This category identifies buildings which date from the Historic District's period of significance (1906 to 1936) which reflect a Beaux Arts style and which retain their historic and architectural integrity. These structures are of the highest importance in maintaining the character of the Historic District. Recognizing the unique character of this Historic District which is derived from its expression of an historic plan, some structures within the Historic District may date from the Historic District's period of significance but do not contribute to the intended original plan in their architecture, detailing, height or scale. Such buildings are designated noncontributory and may be considered for replacement with structures designed in a monumental style and manner which would complete the San Francisco Civic Center Plan as originally conceived.

The following buildings are deemed Contributory to the Historic District: Newton Tharp Commercial High School, 170 Fell Street, Lot 1 within Assessor's Block 815; (a portion of Landmark No. 140), Federal Building, 50 Fulton Street, (50 United Nations Plaza) Lot 35 within Assessor's Block 351; Exposition Auditorium, 99 Grove Street, Assessor's Block 812; Department of Public Health, 101 Grove Street/50 Ivy/Lech Walesa Street, Lot 1 in Assessor's Block 811; San Francisco Public Library, 200 Larkin Street, Lot 1 in Assessor's Block 353; Orpheum Theater Building, 1182 - 92 Market Street, Lot 22 in Assessor's Block 351; 1212 Market Street, Lot 3 in Assessor's Block 355; 1240 - 1242 Market Street, Lot 6 in Assessor's Block 355; Hotel Avalon, 1272 - 1276 Market Street, Lot 9 in Assessor's Block 355; 1278 - 1298 Market Street, Lot 10 in Assessor's Block 355; Methodist Book Concern, 83 McAllister Street, Lot 32 in Assessor's Block 351; Old State Office Building, 50 McAllister Street, Lot 2 in Assessor's Block 765; Barbara Apartments, 580 McAllister Street, Lot 8 in Assessor's Block 767; 1 United Nations Plaza (35 - 57 Fulton Street); Lot 37 in Assessor's Block 351; the High School of Commerce, 135 Van Ness Avenue, (a portion of Landmark No. 140), Lot 1 in Assessor's Block 815; War Memorial Opera House, 301 Van Ness Avenue (a portion of Landmark No. 84), Lot 1 in Assessor's Block 786; San Francisco City Hall, 400 Van Ness Avenue (Landmark No. 21), Lot 1 in Assessor's Block 787; War Memorial Veteran's Building, 401 Van Ness Avenue (a portion of Landmark No. 84), Lot 1 in Assessor's Block 786; and, the Corinthian Court Apartments, 500 - 524 Van Ness Avenue, Lot 6 in Assessor's Block 766.

2. **Contributory/Altered.** This category identifies buildings which date from the Historic District's period of significance and have had alterations as detailed on page 22 of the San Francisco Civic Center Historic District Case Report located in Board of Supervisors File No. 115-94-10. Appropriate restoration of such buildings is encouraged, though in certain situations (see No. 1 above) their demolition and replacement

may be more appropriate in order to achieve completion of the original San Francisco Civic Center plan. Such replacement should adhere to any Civic Center Urban Design Guidelines adopted by the City Planning Commission.

The following buildings shall be deemed Contributory/Altered within the Historic District: Marye Building, 1200-1208 Market Street, Lot 15 in Assessor's Block 355; 1220-1232 Market Street (29 Grove Street), Lot 4 in Assessor's Block 355; 1236 Market Street (37 - 39 Grove Street), Lot 5 in Assessor's Block 355; the Wells Fargo Building, 1256 - 1264 Market Street, Lot 8 in Assessor's Block 355. The following site shall also be deemed Contributory/Altered within the Historic District: Civic Center Plaza, being all of Block 788.

3. Noncontributory. This category identifies buildings which post-date the Historic District's period of significance or have had their integrity compromised by inappropriate alterations as detailed on page 21 of the San Francisco Civic Center Historic District Case Report. Demolition permit applications for these buildings will be processed without reference to the suspension provisions of Article 10. Alterations to Noncontributory buildings will require Certificate of Appropriateness if determined to be a major alteration in order to minimize conflicts with the historic character of the Historic District. Replacement buildings should adhere to Civic Center Urban Design Guidelines adopted by the City Planning Commission.

The remaining buildings shall also be deemed to be Noncontributory within the Historic District: California State Courts Building, 455 Golden Gate Avenue, Lot 3 within Assessor's Block 765; vacant lot, 41 - 47 Grove Street, Lot 12 in Assessor's Block 355; vacant lot, southeast corner of Grove Street at Larkin Street, Lot 11 in Assessor's Block 355; vacant lot, 165 Grove Street, Lot 21 in Assessor's Block 811; Library Annex, 45 Hyde Street, Lot 1 in Assessor's Block 353; the New Main Library, 100 Larkin Street, Lot 1 in Assessor's Block 354; 1170 Market Street, Lot 51 in Assessor's Block 351; 1220 - 1232 Market Street (29 Grove Street), Lot 4 in Assessor's Block 355; 1236 Market Street (37 - 39 Grove Street), Lot 5 in Assessor's Block 355; 1244-1254 Market Street, Lot 7 in Assessor's Block 355; 77 - 79 McAllister Street, Lot 33 in Assessor's Block 351; 456 McAllister Street., Lot 4 in Assessor's Block 766; 460 McAllister Street, Lot 5 in Assessor's Block 766; vacant lot, 401 Polk Street, Lot 2 in Assessor's Block 766; 10 United Nations Plaza, Lot 50 in Assessor's Block 351; Louise M. Davies Symphony Hall, 201 Van Ness Avenue, Lot 1 in Assessor's Block 810; 234 Van Ness Avenue, Lot 18 in Assessor's Block 811; 240 Van Ness Avenue, Lot 19 in Assessor's Block 811 and the Edmund G. Brown State Office Building, 501 Van Ness Avenue, Assessor's Block 767.

The Board of Supervisors, through the adoption of this ordinance, shall deem 450 McAllister Street, Lot 3 in Assessor's Block 766, the Civic Center Powerhouse, 320 Larkin Street (298 McAllister Street) Lot 8 in Assessor's Block 347, the San Francisco Art Commission Gallery, 155 Grove Street, Lot 16 in Assessor's Block 811 and the Church of Christ Building, 171-195 Grove Street, Lot 20 in Assessor's Block 811 as Noncontributory buildings. Any replacement building should adhere to Civic Center Urban Design Guidelines adopted by the City Planning Commission.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 12. CERTIFICATES OF APPROPRIATENESS FOR CITY HALL ALTERATIONS.

Section 1006.8(e) of the City Planning Code describes the process for review of Certificate of Appropriateness applications proposing alterations to City Hall, Landmark No. 21. Nothing in this legislation shall be construed to amend said Section 1006.8(e). Said process shall serve to meet the Certificate of Appropriateness requirement for City Hall by its inclusion in this Historic District.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 13. PAINT COLOR.

Nothing in this legislation shall be construed to regulate paint colors within the Historic District. Painting of previously unpainted masonry and stone surfaces is discouraged.

(Added by Ord. 413-94, App. 12/23/94)

CIVIC CENTER HISTORIC DISTRICT

