



# CERTIFICATE OF APPROPRIATENESS EXECUTIVE SUMMARY

**HEARING DATE: SEPTEMBER 2, 2020**

**CONTINUED FROM: MAY 20, 2020**

## CONSENT

**Record No.:** 2018-013643COA  
**Project Address:** 556-560 Scott Street  
**Landmark:** Contributor, Alamo Square Landmark District  
**Zoning:** RM-2 RESIDENTIAL- MIXED, MODERATE DENSITY Zoning District  
40-X Height and Bulk District  
**Block/Lot:** 0824/012  
**Project Sponsor:** Dawn Ma, Q-Architecture  
4243 25<sup>th</sup> Street  
San Francisco, CA 94114  
**Staff Contact:** Natalia Kwiatkowska – 628-652-7306  
Natalia.Kwiatkowska@sfgov.org

**Recommendation:** Approval

## Property Description

556-560 Scott Street is located on the southeast corner of Scott Street and Hayes Street (Assessor's Block 0824; Lot 012). The subject building is a contributor to the Alamo Square Landmark District, locally designated under Article 10, Appendix E of the Planning Code.

The Edwardian-style, 4-story, multi-family residence was built circa 1900. The wood-framed building features trapezoidal bays and a recessed entry with a flat roof concealed by a visually heavy cornice. Based on historic research, a larger garage was constructed sometime between 1938 and 1950. This garage was significantly modified and reduced in size sometime between 1950 and 1975, prior to construction of the adjacent property directly to the South when the property lot lines were reconfigured.

## Project Description

The proposed project involves replacement and addition of wood-sash windows and doors and infilling a non-historic garage opening with wood cladding to accommodate the addition of Accessory Dwelling Units (ADUs). Please see photographs and plans for details.

## Compliance With Planning Code

### PLANNING CODE DEVELOPMENT STANDARDS.

The proposed project is in compliance with all other provisions of the Planning Code.

In order to proceed, a building permit from the Department of Building Inspection is required.

### APPLICABLE PRESERVATION STANDARDS.

The proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 1006.6 of the Planning Code, and complies with the *Secretary of the Interior's Standards for Rehabilitation*, in that:

- the proposal respects the character-defining features of the subject building;
- the architectural character of the subject building will be maintained and that replacement elements will not affect the building's overall appearance;
- the integrity of distinctive stylistic features and examples of skilled craftsmanship that characterize the building shall be preserved; and,
- all new materials shall match the historic material in composition, design, color, texture, finish and other visual qualities and shall be based on accurate duplication of features.

The Department has determined that the proposed work will be in conformance with the requirements of Article 10 and the *Secretary of Interior's Standards for Rehabilitation*. Proposed work will not damage or destroy distinguishing original qualities or character of the subject building. The overall proposal includes replacement and addition of windows and doors to accommodate additional dwelling units. The Department finds that the historic character of the building will be retained and preserved and will not result in the removal of historic fabric.

## Public/Neighborhood Input

The Department has received one letter of support for the proposed project from YIMBY Action and three inquiries (two from tenants and one from a neighbor). These inquiries express concern in regard to loss of off-street parking spaces/conversion of garage, inaccuracy of the plans, excavation, and impacts on adjacent properties. Since the receipt of these comments, the project has been modified to accurately depict the existing conditions and the Sponsor has engaged with conversations with the tenants and neighbor.

## **Environmental Review Status**

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 categorical exemption.

## **Basis for Recommendation**

The Department recommends APPROVAL of the proposed project as it meets the provisions of Article 10 of the Planning Code regarding Major Alteration to a contributing resource in a Landmark District and the Secretary of the Interior Standards for Rehabilitation.

## **Attachments**

Draft Motion – Certificate of Appropriateness  
Exhibit A – Plans and Renderings  
Exhibit B – Environmental Determination  
Exhibit C – Maps and Context Photos  
Exhibit D - Project Sponsor Brief



# CERTIFICATE OF APPROPRIATENESS DRAFT MOTION

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR MAJOR ALTERATIONS DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10 OF THE SAN FRANCISCO PLANNING CODE, AND TO MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 012 IN ASSESSOR'S BLOCK 0824 IN A RM-2 RESIDENTIAL- MIXED, MODERATE DENSITY ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

## Preamble

On October 5, 2018, Dawn Ma of Q-Architecture (hereinafter "Project Sponsor") filed Application No. 2018-013643COA (hereinafter "Application") with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness for exterior and interior remodel at a subject building located on Lot 012 in Assessor's Block 0824, which is a contributing resource to Alamo Square Landmark District and locally designated under Article 10, Appendix E of the Planning Code.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

On May 20, 2020, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Certificate of Appropriateness Application No. 2018-013643COA and continued the Project to September 2, 2020.

On September 2, 2020, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Certificate of Appropriateness Application No. 2018-013643COA.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2018-013643COA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby **APPROVES** the Certificate of Appropriateness, as requested in Application No. 2018-013643COA in conformance with the architectural plans dated August 21, 2020 and labeled Exhibit A based on the following findings:

## Findings

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. **The above recitals are accurate and also constitute findings of the Commission.**
2. **Project Description.** The proposed project involves replacement and addition of wood-sash windows and doors and infilling a garage opening with wood cladding to accommodate the addition of Accessory Dwelling Units (ADUs). Please see photographs and plans for details.
3. **Property Description.** 556-560 Scott Street is located on the southeast corner of Scott Street and Hayes Street (Assessor's Block 0824; Lot 012). The subject building is a contributor to the Alamo Square Landmark District, locally designated under Article 10, Appendix E of the Planning Code. The Edwardian-style, 4-story, multi-family residence was built circa 1900. The wood-framed building features trapezoidal bays and a recessed entry with a flat roof concealed by a visually heavy cornice. Based on historic research, a larger garage was constructed sometime between 1938 and 1950. This garage was significantly modified and reduced in size sometime between 1950 and 1975, prior to construction of the adjacent property directly to the South when the property lot lines were reconfigured.
4. **Surrounding Properties and Neighborhood.** The subject corner property faces directly onto Alamo Square Park and is a defining boundary of the Landmark District to the south. Directly adjacent to the east is a two-story residential building constructed in 1925 and directly to the south is a three-story residential building constructed in 1988 when the property lot lines were redefined. The surrounding area is unified in residential character, relatively small scale, construction type, materials, and ornamentation.

5. **Public Outreach and Comments.** The Department has received one letter of support for the proposed project from YIMBY Action and three inquiries (two from tenants and one from a neighbor). Specifically, the correspondence states concern in regard to loss of off-street parking spaces/conversion of garage, inaccuracy of the plans, excavation, and impacts on adjacent properties. Since the receipt of these comments, the project has been modified to accurately depict the existing conditions and the Sponsor has engaged with conversations with the tenants and neighbor.
6. **Planning Code Compliance.** The Commission has determined that the proposed work is compatible with the exterior character-defining features of the subject property and meets the requirements of Article 10 of the Planning Code in the following manner:

- A. **Article 10 of the Planning Code.** Pursuant to Section 1006.6 of the Planning Code, the proposed alteration shall be consistent with and appropriate for the effectuation of the purposes of this Article 10.

*The proposed project is consistent with Article 10 of the Planning Code.*

- B. **Secretary of the Interior's Standards.** Pursuant to Section 1006.6(b) of the Planning Code, the proposed work shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties for significant and contributory buildings, as well as any applicable guidelines, local interpretations, bulletins, or other policies. Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

- (1) **Standard 1:** A [property](#) shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

*The proposal will retain the subject property's existing residential use.*

- (2) **Standard 2:** The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

*The proposal is to replace and install additional wood-sash windows and doors to accommodate ADUs. The replacement windows will include double-hung, casement, and awning wood-sash windows to satisfy Building Code requirements for safety and will be located on the Hayes and Scott Street facades. The proposal will also infill the garage opening with cladding and fenestration matching existing while referencing the original configuration. Installation of new doors is limited to the rear elevation, which will not be visible from the public right-of-way. These changes will not irreversibly alter features that characterize the building.*

- (3) **Standard 3:** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features

or elements from other historic properties, shall not be undertaken.

*Not Applicable*

- (4) **Standard 4:** Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

*Not Applicable*

- (5) **Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property shall be preserved.

*The distinctive features and finishes of the building will be retained and preserved. Replacement and addition of windows is necessary to accommodate ADUs.*

- (6) **Standard 6:** Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

*Not Applicable*

- (7) **Standard 7:** Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

*Not Applicable*

- (8) **Standard 8:** Significant **archeological resources** affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

*Not Applicable.*

- (9) **Standard 9:** New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the [property](#). The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the [property](#) and its environment.

*The proposed work will not destroy historic materials or features that characterize the building. The replacement and new windows will be of wood-sash, double-hung, casement, and awning windows, which is required to satisfy Building Code requirements for ADUs. The infill of the garage opening will feature compatible materials and will reference the garage opening. The windows will be compatible with the existing fenestration and character-defining features of the building and landmark district.*

- (10) **Standard 10:** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic [property](#) and its environment would be unimpaired.

*The proposed work will not destroy historic materials or features that characterize the building. The proposed work will not affect the essential form and integrity of the landmark district. The proposed window replacement and addition is required to accommodate ADUs and is designed to be compatible with the building and landmark district*

- C. **Alamo Square Landmark District.** Article 10 of the Planning Code outlines specific findings for the Commission to consider when evaluating applications for alterations to Landmarks or within designated Historic Districts.
1. Pursuant to Section 1006.6(d) of the Planning Code, for applications pertaining to property in historic districts, other than on a designated landmark site, any new construction, addition or exterior change shall be compatible with the character of the historic district as described in the designating ordinance; and, in any exterior change, reasonable efforts shall be made to preserve, enhance or restore, and not to damage or destroy, the exterior architectural features of the subject property which are compatible with the character of the historic district.
  2. Pursuant to Section 1006.6(e) of the Planning Code, for applications pertaining to all property in historic districts, the proposed work shall also conform to such further standards as may be embodied in the ordinance designating the historic district.
    - a. Character of the Historic District. The standards for review of all applications for Certificates of Appropriateness are set forth in Section 1006.7 of Article 10. For purposes of review pursuant to these standards, the character of the historic district shall mean the exterior architectural features of the Alamo Square Historic District described in Section 6 of this ordinance.
    - b. Minor Exterior Alterations. A Certificate of Appropriateness shall be required for the following minor exterior changes if visible from a public street: Awnings, copings, retaining walls, fences, balustrades and security grates.
    - c. New Construction. New construction on vacant sites shall conform with the general profile of the District, especially as to scale, sculptural qualities of facade and entrance detailing, fenestration patterns and materials as described in Section 6 of this ordinance.
    - d. Street and Park Furniture. Any new or replacement street or park furniture shall require a Certificate of Appropriateness.



- e. Masonry, Brickwork and Stonework. A Certificate of Appropriateness shall be required for painting previously unpainted masonry, brick or stone exterior surfaces, for cleaning such surfaces with abrasives and/or treatment of such surfaces with waterproofing chemicals. Sandblasting and certain chemical treatments detrimental to older brick will not be approved.

*The project is in conformance with Article 10, and as outlined in Appendix E, as the work is compatible with the Landmark district.*

7. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

**URBAN DESIGN ELEMENT**

THE URBAN DESIGN ELEMENT concerns the physical character and order of the city, and the relationship between people and their environment.

**OBJECTIVE 1:**

**EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.**

**Policy 1.3**

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

**OBJECTIVE 2:**

**CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.**

**Policy 2.4**

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

**Policy 2.5**

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

**Policy 2.7**

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

*The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.*

*The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject property for the future enjoyment and education of San Francisco residents and visitors.*

8. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

*The proposed project will not have an impact on neighborhood serving retail uses.*

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

*The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards*

- C) The City's supply of affordable housing will be preserved and enhanced:

*The project will not affect the City's affordable housing supply.*

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.*

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

*The proposed project will not have a direct impact on the displacement of industrial and service sectors.*

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*All construction will be executed in compliance with all applicable construction and safety measures.*

- G) That landmark and historic buildings will be preserved:

*The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.*

H) Parks and open space and their access to sunlight and vistas will be protected from development:

*The proposed project will not impact the access to sunlight or vistas for the parks and open space.*

9. **For these reasons, the proposal overall, appears to meet the Secretary of the Interior's Standards and the provisions of Article 10 of the Planning Code regarding Major Alterations.**

## Decision

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES a Certificate of Appropriateness** for the subject property located at Lot **012** in Assessor's Block **0824** for proposed work in conformance with the architectural submittal dated August 21, 2020 and labeled Exhibit A on file in the docket for Record No. **2018-013643COA**.

**APPEAL AND EFFECTIVE DATE OF MOTION:** The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days after the date of this Motion No. XXXXXX. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 49 South Van Ness Ave, Suite 1475 or call (628) 652-1150.

**Duration of this Certificate of Appropriateness:** This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

**THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.**

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on September 2, 2020.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: September 2, 2020

# ACCESSORY DWELLING UNITS

560 SCOTT STREET  
SAN FRANCISCO, CA 94117

| GENERAL NOTES   | ABBREV.  | SYMBOLS   |
|---|--|---|
| <p>1. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY THE OWNER.</p> <p>2. ALL CONSTRUCTION MUST COMPLY WITH ALL LOCAL GOVERNING CODES.</p> <p>3. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERROR OR OMISSION HE MAY DISCOVER IN THE DRAWINGS, OR ANY INCONSISTENCY BETWEEN THE DRAWINGS AND FIELD CONDITIONS, PRIOR TO CONSTRUCTION SO THAT THE ARCHITECT MAY ISSUE WRITTEN CLARIFICATION IN A TIMELY MANNER.</p> <p>4. DETAILS ARE INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS OR CONDITIONS AND WILL BE INCLUDED AS PART OF THE WORK SUBJECT TO APPROVAL OF THE DESIGNER.</p> <p>5. ALL PLAN DIMENSIONS ARE TO FACE OF FRAMING, CENTERLINE OF OPENING, CENTERLINE OF WALL, CENTERLINE OF FOOTING, OR EDGE OF SLAB UNLESS NOTED OTHERWISE.</p> <p>6. DIMENSIONS SHOWN ON PLANS WILL TAKE PRECEDENCE TO SCALE. THE CONTRACTOR WILL VERIFY ALL DIMENSIONS AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES OR OMISSIONS.</p> <p>7. DO NOT SCALE DRAWINGS.</p> <p>8. CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND FEES.</p> <p>9. THE CONTRACTOR WILL USE MEANS NECESSARY TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC, TO NEIGHBORS, AND TO OTHER WORKS BEING PERFORMED ON OR NEAR THE SITE.</p> <p>10. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE BLOCKING AT THE REQUIRED LOCATIONS FOR ALL WALL MOUNTED SHELVING, TABLES, ETC. NO EXTRA FEES WILL BE ENTERTAINED FOR LACK OF COORDINATION.</p> <p>11. CONTRACTOR IS RESPONSIBLE FOR RECEIVING AND ON-SITE STORAGE OF ALL SOFT-GOODS (SMALLWARES, ETC.) DURING REGULAR CONSTRUCTION HOURS.</p> <p>12. CONTRACTOR SHALL CONTROL NOISE PRODUCING ITEMS (STEREOS) AT ALL TIMES.</p> <p>13. ALL WORK SHALL CONFORM TO THE LATEST ISSUE OF THE BUILDING STANDARD SPECIFICATIONS AND DETAILS. COORDINATION IN ADDITION TO GENERAL COORDINATION: COORDINATE THE INTERFACING OF ALL THE SAME ITEMS WHICH RELATE TO THE BUILDING AND WHICH ARE COVERED BY SEPARATE PERMIT. SOME OF THESE ITEMS ARE LISTED BELOW:</p> <p>A. COORDINATION WITH UTILITY COMPANIES FOR SERVICE INCLUDING WATER, SEWER, GAS AND ELECTRICAL SERVICES. VERIFY POINTS OF CONNECTION IN FIELD.</p> <p>15. CONTRACTOR WILL PROVIDE TEMPORARY 42" HIGH PROTECTIVE RAILING AT ALL OPENINGS WHERE SUCH OPENINGS ARE MORE THAN 30 INCHES ABOVE GRADE OR FLOOR BELOW.</p> <p>16. CONTRACTOR SHALL PROVIDE SAMPLES OF ALL NON-BUILDING STANDARD MATERIALS FOR REVIEW BY TENANT REPRESENTATIVE OR ARCHITECT. REFER TO FINISHES PLAN FOR REQUIRED ITEMS.</p> <p>17. ALL WORK AND MATERIALS USED TO ACCOMPLISH DESIGNATED WORK SHALL BE COORDINATED WITH CONTRACTOR, TENANT REPRESENTATIVE (WHEN APPLICABLE) AND BUILDING OWNER REPRESENTATIVE WITH RESPECT TO DELIVERY AND STORAGE.</p> <p>18. CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK, AND SHALL COORDINATE SUCH WITH TENANT REPRESENTATIVE.</p> <p>19. CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT APPROVED CONTRACT DOCUMENTS.</p> <p>20. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ARCHITECTURAL, MECHANICAL, TELEPHONE, ELECTRICAL (INCLUDING LIGHTING), AND PLUMBING SO TO ENSURE THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ALL EQUIPMENT ARE PROVIDED.</p> <p>21. DIMENSIONS SHALL NOT BE CHANGED WITHOUT ARCHITECTS WRITTEN APPROVAL.</p> <p>22. CONTRACTOR TO PROTECT EXISTING CONSTRUCTION AND RESTORE ALL FINISH SURFACES TO THEIR ORIGINAL CONDITION WHERE DAMAGED.</p> <p>23. CONTRACTOR TO COORDINATE ACTIVITIES WITH BUILDING REPRESENTATIVES AND/OR TENANTS.</p> <p>24. CONTRACTOR SHALL SUBMIT ALL SAMPLES PER SPECIFICATIONS OR AS REQUESTED BY OWNER. ALL SAMPLE SHALL BE APPROVED AND SIGNED OFF BY DESIGNER PRIOR TO CONSTRUCTION.</p> <p>25. ALL FASTENERS AND CONNECTORS WITHIN 3' OF GRADE OR EXPOSED TO THE ELEMENTS SHALL BE TRIPLED-DIPPED GALVANIZED OR STAINLESS STEEL.</p> <p>26. THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE FACT THAT THE ADJACENT SPACES IN THE BUILDING ARE OCCUPIED AND OPERATIONAL. ALL EFFORTS SHALL BE TAKEN TO MINIMIZE OF THE BUILDING AND TO AVOID ANY UNSCHEDULED SERVICES INTERRUPTION.</p> <p>27. ANY PART OF THE ADJACENT BUILDING THAT BECOMES SOILED OR DAMAGED DUE TO THIS WORK DURING ANY PHASE OF CONSTRUCTION SHALL BE CLEANED, REPAIRED, OR REPLACED BY THE GENERAL CONTRACTOR AT NO EXPENSE TO THE OWNER OR TENANT.</p> <p>28. WORKS SHALL BE PERFORMED IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR THE SAFETY AND PROTECTION OF ALL PERSONNEL, EXISTING SURFACES, MATERIALS, AND EQUIPMENT. PROTECTIVE AND DUST-PROTECTIVE DEVICES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY, AND AS REQUIRED BY OWNER/CLIENT.</p> <p>29. ALL WORK SHALL BE PERFORMED SO THAT THERE IS MINIMUM INTERFERENCE WITH ADJACENT PROPERTY.</p> <p>30. ALL MATERIAL SHALL BE REMOVED BY THE APPROPRIATE LICENSED CONTRACTOR, REMOVED UNDER THE STRICT GUIDELINES OF THE MATERIAL. TO BE DISPOSED OF AT APPROPRIATE LEGAL LOCATION AWAY FROM THE SITE PER REGULATING AUTHORITY.</p> <p>31. DETAILS TO SUPERSEDE LARGER PLANS, SECTIONS, ELEVATIONS, ETC.</p> <p>32. DESIGNER REQUIRED IN THESE DOCUMENTS, CONTRACTOR SHALL OBTAIN OWNER/ARCHITECT APPROVAL PRIOR TO PURCHASE, FABRICATION, OR INSTALLATION.</p> <p>33. THE CONTRACTOR'S COST SHALL INCLUDE THE COST OF PROPER INSURANCE AS REQUIRED BY THE LAWS OF STATE, LOCAL OR BUILDING REGULATIONS OR CODES TO ADEQUATELY PROTECT PERSONS AND LIABILITY.</p> <p>34. THE CONTRACTOR SHALL PROVIDE, ENGINEER, MAINTAIN AND BE RESPONSIBLE FOR THE INTEGRITY AND ADEQUACY OF ALL SCAFFOLDING, DUST BARRIERS, BARRICADES, BRACING, SHORING, STRUCTURAL SYSTEMS AND TEMPORARY CONSTRUCTION REQUIRED FOR THE INSTALLATION OF NEW WORK.</p> <p>35. SUBSTITUTION REQUESTS SHALL BE IN WRITING AND SHALL PROVIDE SUFFICIENT INFORMATION FOR REVIEW. SUBSTITUTE PRODUCTS SHALL NOT BE ORDERED WITHOUT APPROVAL BY THE DESIGNER. ALL CONTRACTOR'S SUBSTITUTION REQUESTS CONSTITUTE A REPRESENTATION THAT THE CONTRACTOR:</p> <p>A) HAS INVESTIGATED PROPOSED PRODUCT AND DETERMINED THAT IT MEETS OR EXCEEDS, IN ALL RESPECTS, THE SPECIFIED PRODUCT.</p> <p>B) WILL PROVIDE THE SAME WARRANTY FOR THE SUBSTITUTION AS FOR THE SPECIFIED PRODUCT.</p> <p>C) WILL COORDINATE INSTALLATION AND MAKE OTHER CHANGES WHICH MAY BE REQUIRED FOR WORK TO BE COMPLETED IN ALL RESPECTS</p> <p>D) WAIVES ALL CLAIMS FOR ADDITIONAL COSTS WHICH SUBSEQUENTLY BECOMES APPARENT.</p> <p>E) WILL PAY COSTS OF CHANGES TO DRAWINGS, DETAILS AND SPECIFICATIONS REQUIRED BY APPROVED SUBSTITUTIONS.</p> | <p>L @<br/>#<br/>A.F.F.<br/>APPX<br/>AL.<br/>ARCH.<br/>BLDG.<br/>BOT.<br/>B.P.<br/>CL.G.<br/>CL.R.<br/>COL.<br/>CONC.<br/>CONT.<br/>CTR.<br/>D.I.A.<br/>DIM.<br/>DWN.<br/>DWG.<br/>DBL<br/>DTL<br/>(E)<br/>EL.<br/>ELEV.<br/>ELEC.<br/>E.Q.<br/>EOPT.<br/>E.S.<br/>F.D.<br/>F.F.<br/>F.O.C.<br/>F.O.F.<br/>F.O.J.<br/>F.O.S.<br/>F.O.W.<br/>F.G.<br/>F.S.<br/>GA<br/>GALV.<br/>GI.<br/>GYP.<br/>H.M.<br/>HDWR<br/>H.P.<br/>HT.<br/>JAN.<br/>MAX<br/>MECH<br/>MIN<br/>MTL<br/>MFR.<br/>MISC.<br/>(N)<br/>N.I.C<br/>NOM.<br/>N.T.S<br/>O.C.<br/>O.A.A.<br/>O.D.<br/>OPNG.<br/>P.LAM.<br/>PLYWD.<br/>R.<br/>RF.<br/>R.D.<br/>REF.<br/>REINF.<br/>RM.<br/>R.O.<br/>R.W.L.<br/>S.C.<br/>SHT.<br/>SIM.<br/>SPEC.<br/>SQ.<br/>STD.<br/>STR.<br/>STRUC.<br/>T.C.<br/>T.W.<br/>TYP.<br/>U.O.N.<br/><br/>W/<br/>W.C.<br/>W.L.<br/>WD.<br/>WO<br/>WP.<br/>WIR</p> <p>ANGLE<br/>AT<br/>NUMBER<br/>ABOVE FINISH FLOOR<br/>APPROXIMATE<br/>ALUMINUM<br/>ARCHITECTURAL<br/>BUILDING<br/>BOTTOM<br/>BOTTOM OF POOL<br/>CEILING<br/>CLEAR<br/>COLUMN<br/>CONCRETE<br/>CONTINUOUS<br/>CENTER<br/>DIAMETER<br/>DIMENSION<br/>DOWN<br/>DRAWING<br/>DOUBLE<br/>DETAIL<br/>EXISTING<br/>EACH<br/>ELEVATION<br/>ELECTRICAL<br/>EQUAL<br/>EQUIPMENT<br/>EACH SIDE<br/>FLOOR DRAIN<br/>FINISH FLOOR<br/>FACE ON CONCRETE<br/>FACE ON FINISH<br/>FACE ON JAMB<br/>FACE ON STUD<br/>FACE ON WALL<br/>FINISH GRADE<br/>FINISH SURFACE<br/>GAUGE<br/>GALVANIZED<br/>GALVANIZED IRON<br/>GYPSUM BOARD<br/>HOLLOW METAL<br/>HARDWARE<br/>HIGH POINT<br/>HEIGHT<br/>JANITOR<br/>MAXIMUM<br/>MECHANICAL<br/>CEILING<br/>METAL<br/>MANUFACTURER<br/>MISCELLANEOUS<br/>NEW<br/>NOT IN CONTRACT<br/>NOMINAL<br/>NOT TO SCALE<br/>ON CENTER<br/>OR APPROVED<br/>ALTERNATE<br/>OUTSIDE DIAMETER<br/>OPENING<br/>PLASTIC LAMINATE<br/>PLYWOOD<br/>RISER<br/>ROOF<br/>ROOF DRAIN<br/>REFERENCE<br/>REINFORCED<br/>ROOM<br/>ROUGH OPENING<br/>RAIN WATER LEADER<br/>SOLID CORE<br/>SHEET<br/>SIMILAR<br/>SPECIFICATION<br/>SQUARE<br/>STANDARD<br/>STEEL<br/>STRUCTURAL<br/>TOP OF CURB<br/>TOP OF WALL<br/>TYPICAL<br/>UNLESS<br/>OTHERWISE NOTED<br/><br/>WITH<br/>WATER CLOSET<br/>WATER LEVEL<br/>WOOD<br/>WITHOUT<br/>WATER PROOF<br/>WATER RESISTANT<br/>CONTINUOUS</p> | <p>1<br/>A<br/>DETAIL NO.<br/>SHEET NO.<br/>ROOM NAME<br/>101<br/>C.H. 9'-0" CEILING HT.<br/>ELEV. NO.<br/>SHEET NO.<br/>SECTION NO.<br/>SHEET NO.<br/>MATCH LINE<br/>PLAN DETAIL<br/>DETAIL<br/>WORK POINT, CONTROL POINT OR DATUM POINT<br/>WINDOW TYPE<br/>101A<br/>DOOR NUMBER<br/>NORTH ARROW<br/>REVISION<br/>WALL/PARTITION TYPE<br/>ALIGN SURFACES<br/>PROPERTY LINE</p> <p>COLUMN OR GRID LINE<br/>DETAIL NO.<br/>SHEET NO.<br/>ROOM NAME<br/>C.H. 9'-0" CEILING HT.<br/>ELEV. NO.<br/>SHEET NO.<br/>SECTION NO.<br/>SHEET NO.<br/>MATCH LINE<br/>PLAN DETAIL<br/>DETAIL<br/>WORK POINT, CONTROL POINT OR DATUM POINT<br/>WINDOW TYPE<br/>DOOR NUMBER<br/>NORTH ARROW<br/>REVISION<br/>WALL/PARTITION TYPE<br/>ALIGN SURFACES<br/>PROPERTY LINE</p> <p>UNDISTURBED FILL<br/>FILL<br/>SAND/MORTAR<br/>BRICK<br/>CONCRETE<br/>ASPHALT SHINGLE<br/>STEEL<br/>WOOD FINISHED<br/>WOOD FRAMING THROUGH MEMBER<br/>WOOD INTERRUPTED MEMBER<br/>PLYWOOD<br/>GLASS<br/>ACOUSTIC TILE OR BOARD<br/>GYPSUM BOARD<br/>RIGID INSULATION<br/>CERAMIC TILE<br/>PLASTER ON METAL LATH<br/>FIRE SPRINKLER NFPA 13-R COMPLIANT</p> |
| <h2>PROJECT DESCRIPTION</h2> <p>-ADDING (4) ACCESSORY DWELLING UNITS (ADU) WITHIN (E) BUILDING ENVIRONMENT<br/>-REF. TO APPROVED SOFT STORY RETROFIT PERMIT # 201609076989<br/>-DEFERRED SUBMITTALS:<br/>1.-(N) SPRINKLERS UNDER SEPARATE PERMIT PER SF8C 2019 PROVIDE NFPA PASSAGEWAY PER FS-05.<br/>2.-MEP UNDER SEPARATE PERMIT.<br/>3.-FIRE ALARM UNDER SEPARATE PERMIT PER SFFD AB 2.011 OR AB 4.11 (SP)</p>   |  |   |
| <h2>VICINITY MAP</h2>   |  |   |

| PROJECT CODE SUMMARY   |                         |              | DRAWING INDEX |  |
|--|-------------------------|--------------|---------------|--|
| AUTHORITY: CITY & COUNTY OF SAN FRANCISCO<br>CODES:<br>2019 CALIFORNIA GREEN BUILDING STANDARDS CODE<br>2019 CALIFORNIA BUILDING CODE, TITLE 24, PART 2<br>2019 CALIFORNIA FIRE CODE, TITLE 24, PART 9<br>2019 CALIFORNIA ENERGY CODE, TITLE 24, PART 6<br>2019 CALIFORNIA MECHANICAL & PLUMBING CODE (CMC)<br>2019 CALIFORNIA ELECTRICAL CODE (CEC) |                         |              | 1             | CO PROJECT DATA, DRAWING INDEX, ABBREV. & SYMBOLS  |
| BUILDING CODE ANALYSIS   |                         |              | 2             | CO2 TITLE 24 INSPECTION FORM                       |
|  |                         |              | 3             | GS5 GREEN BUILDING SUBMITTAL FORM                  |
| BLOCK/LOT: 2449/026  |                         |              | 4             | A100 (E) & (N) SITE PLANS                          |
| EXISTING NEW   |                         |              | 5             | A101 (E) GROUND FLOOR PLANS                        |
| ZONING   | RM-2                    | NO CHANGE    | 6             | A102 (N) GROUND FLOOR PLANS                        |
| OCCUPANCY  | R2                      | NO CHANGE    | 7             | A103 (E) 1ST FLOOR PLANS                           |
| CONSTRUCTION TYPE  | VB                      | NO CHANGE    | 8             | A104 (N) 1ST FLOOR PLANS                           |
| UNITS  | 13                      | 17 (ADDED 4) | 9             | A105 (E) 2ND FLOOR PLANS - NO WORK, FOR REF. ONLY  |
| STORIES  | 5                       | NO CHANGE    | 10            | A106 (E) 3RD FLOOR PLANS - NO WORK, FOR REF. ONLY  |
| SETBACK:   |                         |              | 11            | A107 (E) 4TH FLOOR PLANS - NO WORK, FOR REF. ONLY  |
| FRONT  | 0                       | NO CHANGE    | 12            | A108 CODE COMPLIANCE EXT. ELEV. & AREA CALCULATION |
| REAR   | 33'-5"                  | NO CHANGE    | 13            | A109 CODE COMPLIANCE EXT. ELEV. & AREA CALCULATION |
| HEIGHT LIMIT   | 40'                     | NO CHANGE    | 14            | A301 (E) & (N) NORTH EXTERIOR ELEVATIONS           |
|  | EXISTING                | PROPOSED     | 15            | A302 (E) WEST EXTERIOR ELEVATION                   |
| GROUND FLOOR   |                         |              | 16            | A303 (N) WEST EXTERIOR ELEVATION                   |
| CONDITIONED  | 0 SF                    | 945 SF       | 17            | A304 (E) & (N) SOUTH EXTERIOR ELEVATIONS           |
| UNCONDITIONED  | 0 SF                    | 0 SF         | 18            | A305 (E) EAST EXTERIOR ELEVATION                   |
| GARAGE   | 228 SF                  | 0SF          | 19            | A306 (N) EAST EXTERIOR ELEVATION                   |
| 1ST FLOOR  |                         |              | 20            | A401 (E) & (N) BUILDING SECTIONS                   |
| CONDITIONED  | 1064 SF                 | 1849 SF      | 21            | A601 WALL DETAILS                                  |
| UNCONDITIONED  | 1084 SF                 | 299 SF       | 22            | A801 WINDOW SCHEDULE & DETAILS                     |
| 2ND FLOOR  |                         |              | 23            | A802 DOOR SCHEDULE & DETAILS                       |
| CONDITIONED  | 2120 SF                 | NO CHANGE    | 24            | T24-1 TITLE 24 ENERGY CALCULATIONS                 |
| UNCONDITIONED  | 182 SF                  | NO CHANGE    | 25            | T24-2 TITLE 24 ENERGY CALCULATIONS                 |
| 3RD FLOOR  |                         |              | 26            | T24-3 TITLE 24 ENERGY CALCULATIONS                 |
| CONDITIONED  | 2120 SF                 | NO CHANGE    | 27            | S-1.1 GENERAL NOTES AND SITE PLAN                  |
| UNCONDITIONED  | 182 SF                  | NO CHANGE    | 28            | S-1.2 SPECIAL INSPECTION TABLES                    |
| 4TH FLOOR  |                         |              | 29            | S-2.1 BASEMENT PLAN                                |
| CONDITIONED  | 2120 SF                 | NO CHANGE    | 30            | S-2.2 FOUNDATION PLAN & BASEMENT SHEAR WALLS       |
| UNCONDITIONED  | 182 SF                  | NO CHANGE    | 31            | S-2.3 1ST FL. FRAMING PLAN & BASEMENT SHEAR WALLS  |
| TOTAL  |                         |              | 32            | S-3.1 FOUNDATION DETAILS                           |
| CONDITIONED  | 7466 SF                 | 9154 SF      | 33            | S-3.2 FOUNDATION DETAILS                           |
| UNCONDITIONED  | 1880 SF                 | 845 SF       | 34            | S-3.3 FOUNDATION DETAILS                           |
| (INCLD. GARAGE)  |                         |              | 35            | S-3.4 FOUNDATION DETAILS                           |
| CONTACT INFO   |                         |              | 36            | S-3.5 FOUNDATION DETAILS                           |
| OWNER:   | ARCHITECT/ENGINEER:     |              | 37            | S-4.1 WOOD FRAMING DETAILS                         |
| JENNIFER BERG  | DAWN MA, PE, AIA        |              | 38            | S-4.2 WOOD FRAMING DETAILS                         |
| AMSI PROPERTY MANAGEMENT   | Q-ARCHITECTURE          |              | 39            | S-4.3 WOOD FRAMING DETAILS                         |
| 2800 VAN NESS AVE  | 4243 25TH STREET        |              | 40            | S-4.4 WOOD FRAMING DETAILS                         |
| SAN FRANCISCO, CA 94109  | SAN FRANCISCO, CA 94114 |              | 41            | S-5.1 STEEL FRAMING DETAILS                        |
| (415) 447-2083   | 415-695-2700            |              | 42            | HF1 ANCHORAGE DETAILS - HFX PANELS                 |
| JBERG@AMSIEMAIL.COM  | DMA@QUE-ARCH.COM        |              | 43            | HF2 FRAMING DETAILS - HFX PANELS                   |
| CONTRACTOR   |                         |              | 44            | HF3 FLOOR SYSTEM DETAILS - HFX PANELS              |
| ALI AFRASIABI  |                         |              | 45            | SH-1.1 FOUNDATION BASEMENT SHORING PLAN            |
| (415) 637 2460   |                         |              | 46            | SH-1.2 BASEMENT FRAMING SHORING PLAN               |
| REBUILDUP@GMAIL.COM;   |                         |              | 47            | SH-1.3 FOUNDATION FIRST FLOOR SHORING PLAN         |
| ALI@REBUILDUP.COM  |                         |              | 48            | SH-1.4 FIRST FLOOR FRAMING SHORING PLAN            |
| CA LICENSE #1034261  |                         |              | 49            | SH-2.1 SHORING DETAILS                             |
| OP IN ACCORDANCE W/ PLANNING ORDINANCE 162-16.   |                         |              | 50            | SH-2.2 SHORING DETAILS                             |
| A 13-R SPRINKLERS FOR ALL (N) UNITS & RATED EXIT   |                         |              | 51            | SH-2.3 SHORING DETAILS                             |
| RINKLER WATER FLOW MONITORING).  |                         |              | 52            | SH-2.4 SHORING DETAILS                             |
|  |                         |              | 53            | SH-2.5 SHORING DETAILS                             |

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## ACCESSORY DWELLING UNIT

FOR  
556-560 SCOTT STREET  
SAN FRANCISCO  
CA 94117

BLOCK: 0824  
LOT: 012



| REVISIONS |          |   |
|-----------|----------|---|
| NO.       | DATE     | DESCRIPTION                                   |
| 1         | 02/13/20 | PERMIT SUBMITTAL                              |
|           | 08/21/20 | RESPONSE TO PLANNING<br>RECORD 2020-002304PIC |

SHEET TITLE

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PROJECT DATA,  
DRAWING INDEX,  
ABBREV. & SYMBOLS

JOB NO: 16-110

SCALE: N/A DATE: 08/21/20

DRAWN BY: DMA/HY/DRG

DRAWING NO: 1 OF 53

SHEET NO:

CO





FOR  
556-560 SCOTT STREET  
SAN FRANCISCO  
CA 94117

SHEET TITLE

JOB NO: 16-110

SCALE: 1/8" = 1'-0"      DATE: 08/21/20

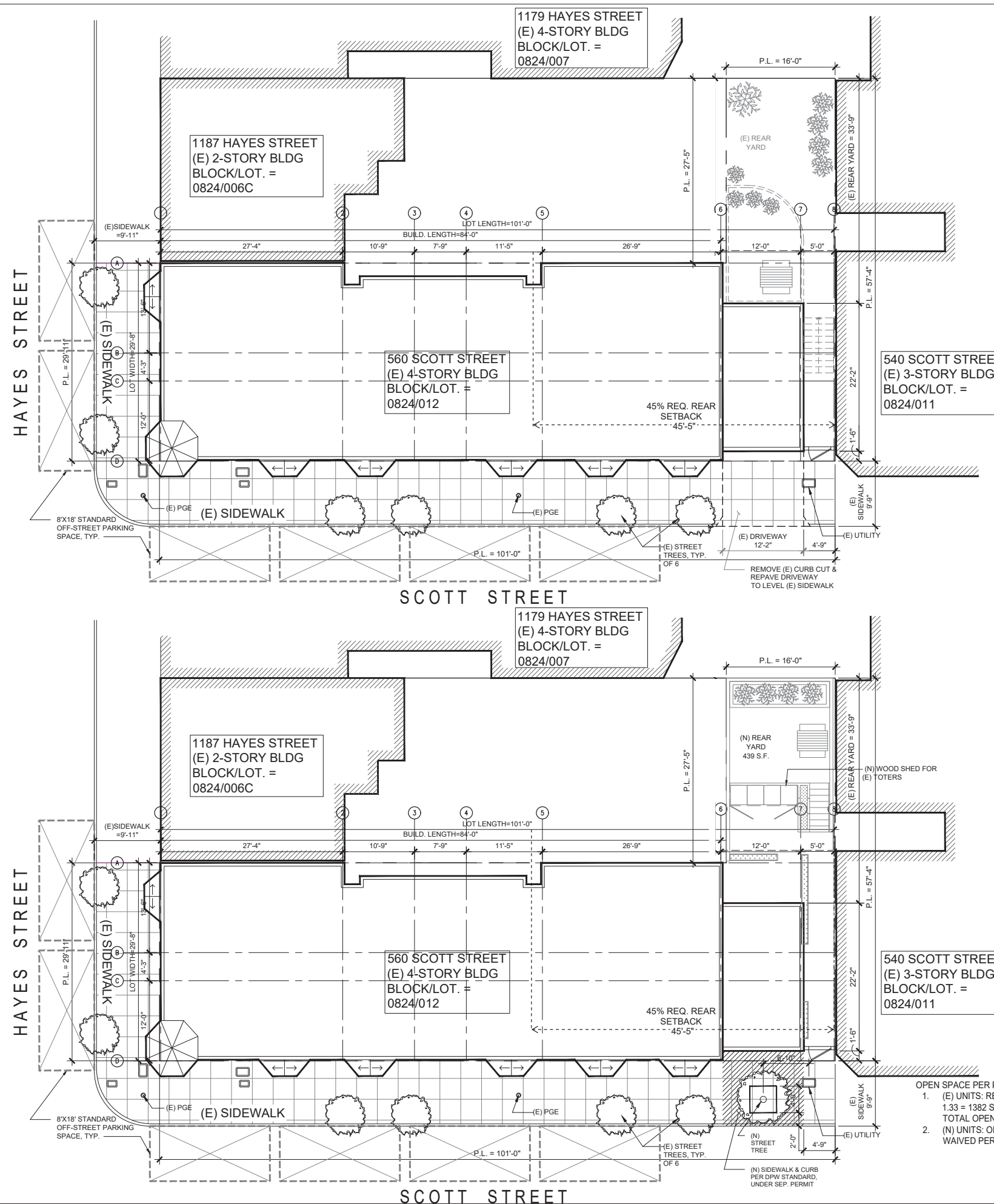
DRAWN BY: DMA/HY/DRG

FILE: 16110-A100

DRAWING NO: 4 OF 53

SHEET NO:

A100



OPEN SPACE PER PLANNING SECTION CODE SEC. 135:

- (E) UNITS: REQUIRED OPEN SPACE =  $80 \times 13 \times 1.33 = 1382$  S.F.  
TOTAL OPEN SPACE =  $27'-5" \times 16'-0" = 660$  S.F.
- (N) UNITS: OPEN SPACE REQUIREMENTS MAY BE  
WAIVED PER PLANNING CODE, SEC. 207.

FIRE SHEETNOTES :

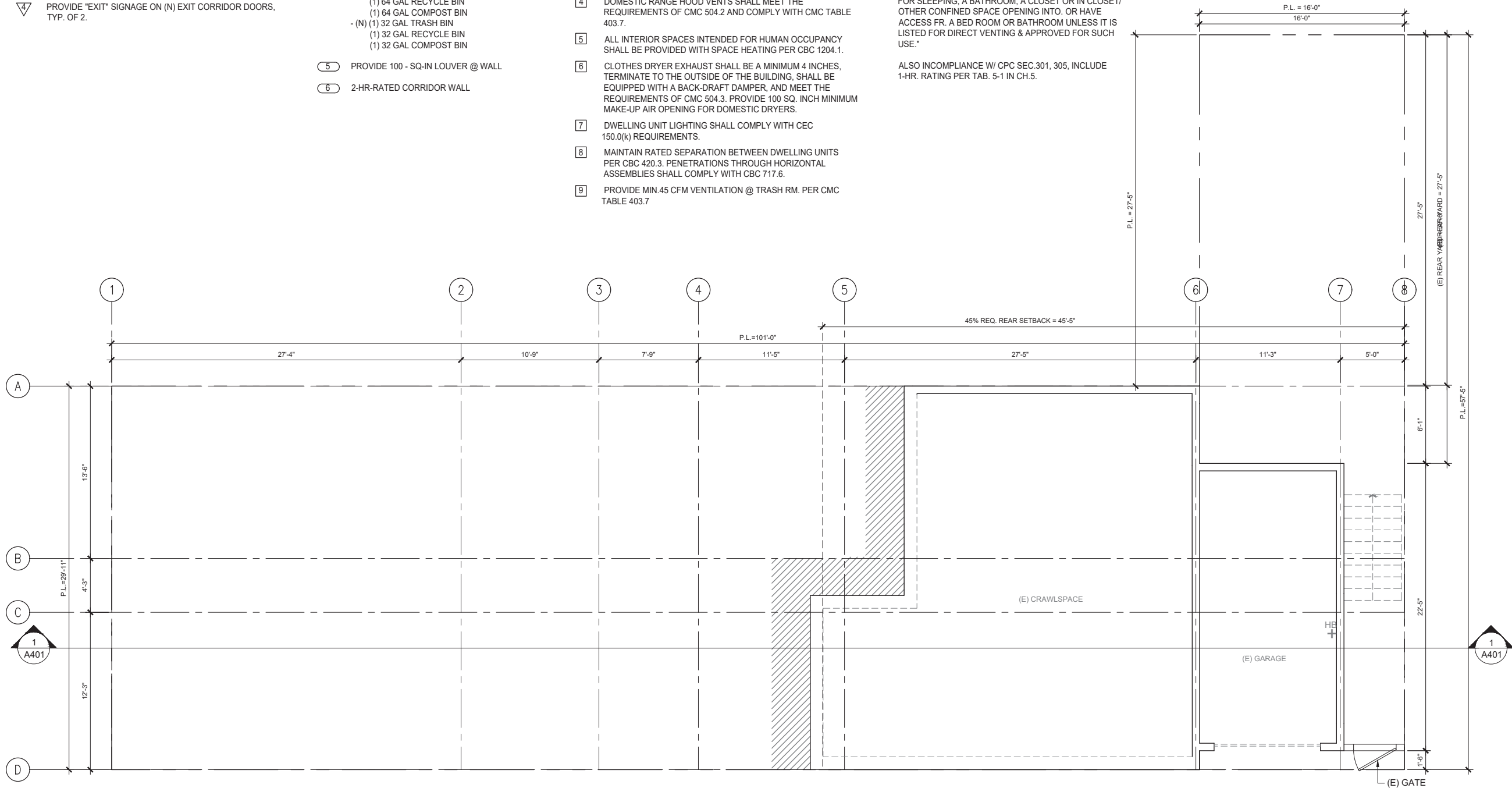
- 1 PROVIDE RATED ENCLOSURE FOR ELEC. METERS
- 2 PROVIDE NON-SPARK PRODUCING SHUT OFF TOOL.  
PROVIDE APPROVED SHUTOFF VALVE BEFORE AND AFTER GAS METER
- 3 PROVIDE (N) WALL-MOUNT FIRE EXTINGUISHER ADJ. TO REAR STAIRS, IN (E) COMMON LOBBY, IN (N) LAUNDRY ROOM, AND IN (E) GARAGE.
- 4 PROVIDE "EXIT" SIGNAGE ON (N) EXIT CORRIDOR DOORS, TYP. OF 2.

BUILDING CODE SHEETNOTES :

- 1 ALL BEDROOM WINDOWS PER CBC. 1029
- 2 1-HR RATED WALL SEE DET.2 / A601, &  
1-HR RATED CEILING SEE DET.3 / A601
- 3 2-HR RATED WALL SEE DET.4,5 / A601  
2-HR RATED CEILING SEE DET.6 / A601
- 4 (N) TRASH ROOM:  
- (E) (1) 64 GAL TRASH BIN  
(1) 64 GAL RECYCLE BIN  
(1) 64 GAL COMPOST BIN  
- (N) (1) 32 GAL TRASH BIN  
(1) 32 GAL RECYCLE BIN  
(1) 32 GAL COMPOST BIN
- 5 PROVIDE 100 - SQ-IN LOUVER @ WALL
- 6 2-HR-RATED CORRIDOR WALL

MECHANICAL SHEETNOTES :

- 1 GAS VENT TERMINATIONS SHALL MEET THE REQUIREMENTS OF CMC 802.6 & SFMC 802.6.2.
- 2 COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMC CHAPTER 7.
- 3 ENVIRONMENTAL AIR DUCT SHALL TERMINATE 3 FEET FROM THE PROPERTY LINE AND 3 FEET FROM OPENINGS INTO THE BUILDING PER CMC 504.5 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC 504.1.
- 4 DOMESTIC RANGE HOOD VENTS SHALL MEET THE REQUIREMENTS OF CMC 504.2 AND COMPLY WITH CMC TABLE 403.7.
- 5 ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1204.1.
- 6 CLOTHES DRYER EXHAUST SHALL BE A MINIMUM 4 INCHES, TERMINATE TO THE OUTSIDE OF THE BUILDING, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER, AND MEET THE REQUIREMENTS OF CMC 504.3. PROVIDE 100 SQ. INCH MINIMUM MAKE-UP AIR OPENING FOR DOMESTIC DRYERS.
- 7 DWELLING UNIT LIGHTING SHALL COMPLY WITH CEC 150.0(k) REQUIREMENTS.
- 8 MAINTAIN RATED SEPARATION BETWEEN DWELLING UNITS PER CBC 420.3. PENETRATIONS THROUGH HORIZONTAL ASSEMBLIES SHALL COMPLY WITH CBC 717.6.
- 9 PROVIDE MIN.45 CFM VENTILATION @ TRASH RM. PER CMC TABLE 403.7
- 10 (N)DRYER VENT. DUCT 14'-0" MAX. W/(2) - 90° BEND
- 11 (N) DIRECT VENT HEATERS TO COMPLY W/ CMC SEC.802.8.3
- 12 (N) ON-DEMAND H.W.HEATER TO COMPLY W/ CPC SEC.301, 501, 509.
- "NO GAS APPLIANCE TO BE LOCATED IN A ROOM USED FOR SLEEPING, A BATHROOM, A CLOSET OR IN CLOSET/ OTHER CONFINED SPACE OPENING INTO. OR HAVE ACCESS FR. A BED ROOM OR BATHROOM UNLESS IT IS LISTED FOR DIRECT VENTING & APPROVED FOR SUCH USE."
- ALSO INCOMPLIANCE W/ CPC SEC.301, 305, INCLUDE 1-HR. RATING PER TAB. 5-1 IN CH.5.



1 (E) GROUND FLOOR PLAN  
SCALE: 1/4"=1'-0"



WALL LEGEND :

- (E) DEMOLITION WALL
- (E) WALL TO REMAIN
- (N) WALL
- (N) LOW WALL
- (N) 1-HR. RATED WALL (PER CMC 420.2, 420.3)

OTHER LEGEND :

- (N) MECH DUCT
- EMERGENCY ESCAPE & RESCUE
- ENTER TO UNIT
- ENTER TO SISTER UNIT



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LOT: 012



REVISIONS

| NO. | DATE     | DESCRIPTION                                |
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| 1   | 02/13/20 | PERMIT SUBMITTAL                           |
|     | 08/21/20 | RESPONSE TO PLANNING RECORD 2020-002304PIC |

SHEET TITLE

**(E) GROUND  
FLOOR PLAN**

JOB NO: 16-110

SCALE: 1/4" = 1'-0" DATE: 08/21/20

DRAWN BY: DMA/HY/DRG

FILE: 16110-A100

DRAWING NO: 5 OF 53

SHEET NO:

**A101**

1

BLOCK: 0824  
LOT: 012



| REVISIONS |          |   |
|-----------|----------|---|
| NO.       | DATE     | DESCRIPTION                                   |
| 1         | 02/13/20 | PERMIT SUBMITTAL                              |
|           | 08/21/20 | RESPONSE TO PLANNING<br>RECORD 2020-002304PIC |

SHEET TITLE

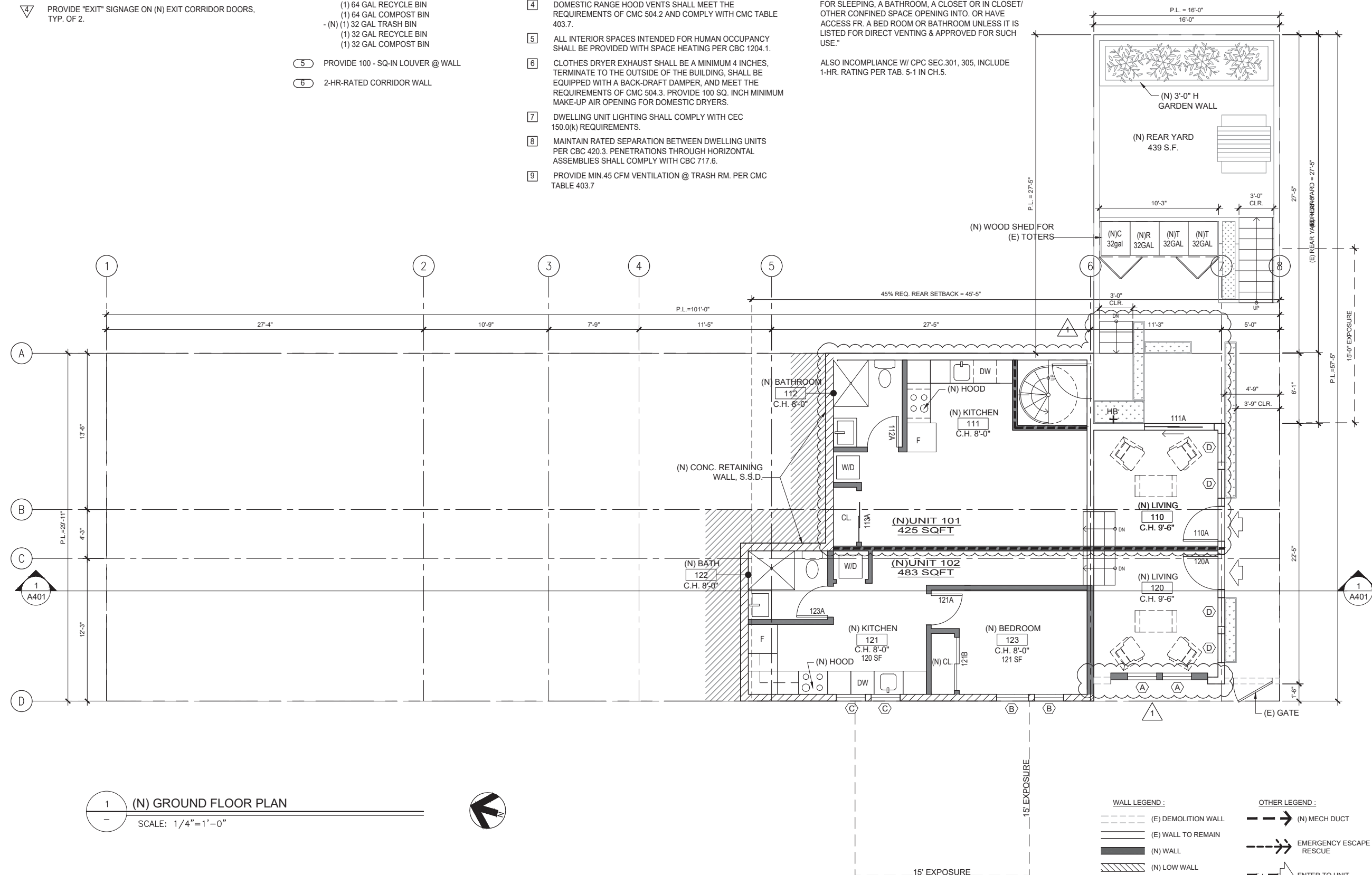
|             |              |       |          |
|-------------|--------------|-------|----------|
| JOB NO:     | 16-110       |       |          |
| SCALE:      | 1/4" = 1'-0" | DATE: | 08/21/20 |
| DRAWN BY:   | DMA/HY/DRG   |       |          |
| FILE:       | 16110-A100   |       |          |
| DRAWING NO: | 6            | OF    | 53       |
| SHEET NO:   |              |       |          |

A102

|   |  |
|---|--|
| 1 | PROVIDE RATED ENCLOSURE FOR ELEC. METERS   |
| 2 | PROVIDE NON-SPARK PRODUCING SHUT OFF TOOL.<br>PROVIDE APPROVED SHUTOFF VALVE BEFORE AND AFTER GAS METER                    |
| 3 | PROVIDE (N) WALL-MOUNT FIRE EXTINGUISHER ADJ. TO REAR STAIRS, IN (E) COMMON LOBBY, IN (N) LAUNDRY ROOM, AND IN (E) GARAGE. |
| 4 | PROVIDE "EXIT" SIGNAGE ON (N) EXIT CORRIDOR DOORS, TYP. OF 2.  |

- 1 ALL BEDROOM WINDOWS PER CBC. 1029
- 2 1-HR RATED WALL SEE DET.2 / A601, &  
1-HR RATED CEILING SEE DET.3 / A601
- 3 2-HR RATED WALL SEE DET.4,5 / A601  
2-HR RATED CEILING SEE DET.6 / A601
- 4 (N) TRASH ROOM:
  - (E) (1) 64 GAL TRASH BIN
  - (1) 64 GAL RECYCLE BIN
  - (1) 64 GAL COMPOST BIN
  - (N) (1) 32 GAL TRASH BIN
  - (1) 32 GAL RECYCLE BIN
  - (1) 32 GAL COMPOST BIN
- 5 PROVIDE 100 - SQ-IN LOUVER @ WALL
- 6 2-HR-RATED CORRIDOR WALL

|     |  |      |   |
|-----|--|------|---|
| [1] | GAS VENT TERMINATIONS SHALL MEET THE REQUIREMENTS OF CMC 802.6 & SFCM 802.6.2.   | [10] | (N)DRYER VENT. DUCT 14'-0" MAX. W/(2) - 90° BEND  |
| [2] | COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMC CHAPTER 7.   | [11] | (N) DIRECT VENT HEATERS TO COMPLY W/ CMC SEC.802.8.3  |
| [3] | ENVIRONMENTAL AIR DUCT SHALL TERMINATE 3 FEET FROM THE PROPERTY LINE AND 3 FEET FROM OPENINGS INTO THE BUILDING PER CMC 504.5 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC 504.1.   | [12] | (N) ON-DEMAND H.W.HEATER TO COMPLY W/ CPC SEC.301, 501, 509.  |
| [4] | DOMESTIC RANGE HOOD VENTS SHALL MEET THE REQUIREMENTS OF CMC 504.2 AND COMPLY WITH CMC TABLE 403.7.  |      | "NO GAS APPLIANCE TO BE LOCATED IN A ROOM USED FOR SLEEPING, A BATHROOM, A CLOSET OR IN CLOSET, OTHER CONFINED SPACE OPENING INTO. OR HAVE ACCESS FR. A BED ROOM OR BATHROOM UNLESS IT IS LISTED FOR DIRECT VENTING & APPROVED FOR SUCH USE." |
| [5] | ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1204.1.  |      | ALSO INCOMPLIANCE W/ CPC SEC.301, 305, INCLUDE 1-HR. RATING PER TAB. 5-1 IN CH.5.   |
| [6] | CLOTHES DRYER EXHAUST SHALL BE A MINIMUM 4 INCHES, TERMINATE TO THE OUTSIDE OF THE BUILDING, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER, AND MEET THE REQUIREMENTS OF CMC 504.3. PROVIDE 100 SQ. INCH MINIMUM MAKE-UP AIR OPENING FOR DOMESTIC DRYERS. |      |   |
| [7] | DWELLING UNIT LIGHTING SHALL COMPLY WITH CEC 150.0(k) REQUIREMENTS.  |      |   |
| [8] | MAINTAIN RATED SEPARATION BETWEEN DWELLING UNITS PER CBC 420.3. PENETRATIONS THROUGH HORIZONTAL ASSEMBLIES SHALL COMPLY WITH CBC 717.6.  |      |   |
| [9] | PROVIDE MIN.45 CFM VENTILATION @ TRASH RM. PER CMC TABLE 403.7   |      |   |





# ACCESSORY DWELLING UNIT

FOR  
556-560 SCOTT STREET  
SAN FRANCISCO  
CA 94117

BLOCK: 0824  
LOT: 012



## REVISIONS

| NO. | DATE     | DESCRIPTION                                   |
|-----|----------|---|
| 1   | 02/13/20 | PERMIT SUBMITTAL                              |
|     | 08/21/20 | RESPONSE TO PLANNING<br>RECORD 2020-002304PIC |

## SHEET TITLE

## (E) 1ST FLOOR PLAN

JOB NO: 16-110

SCALE: 1/4" = 1'-0" DATE: 08/21/20

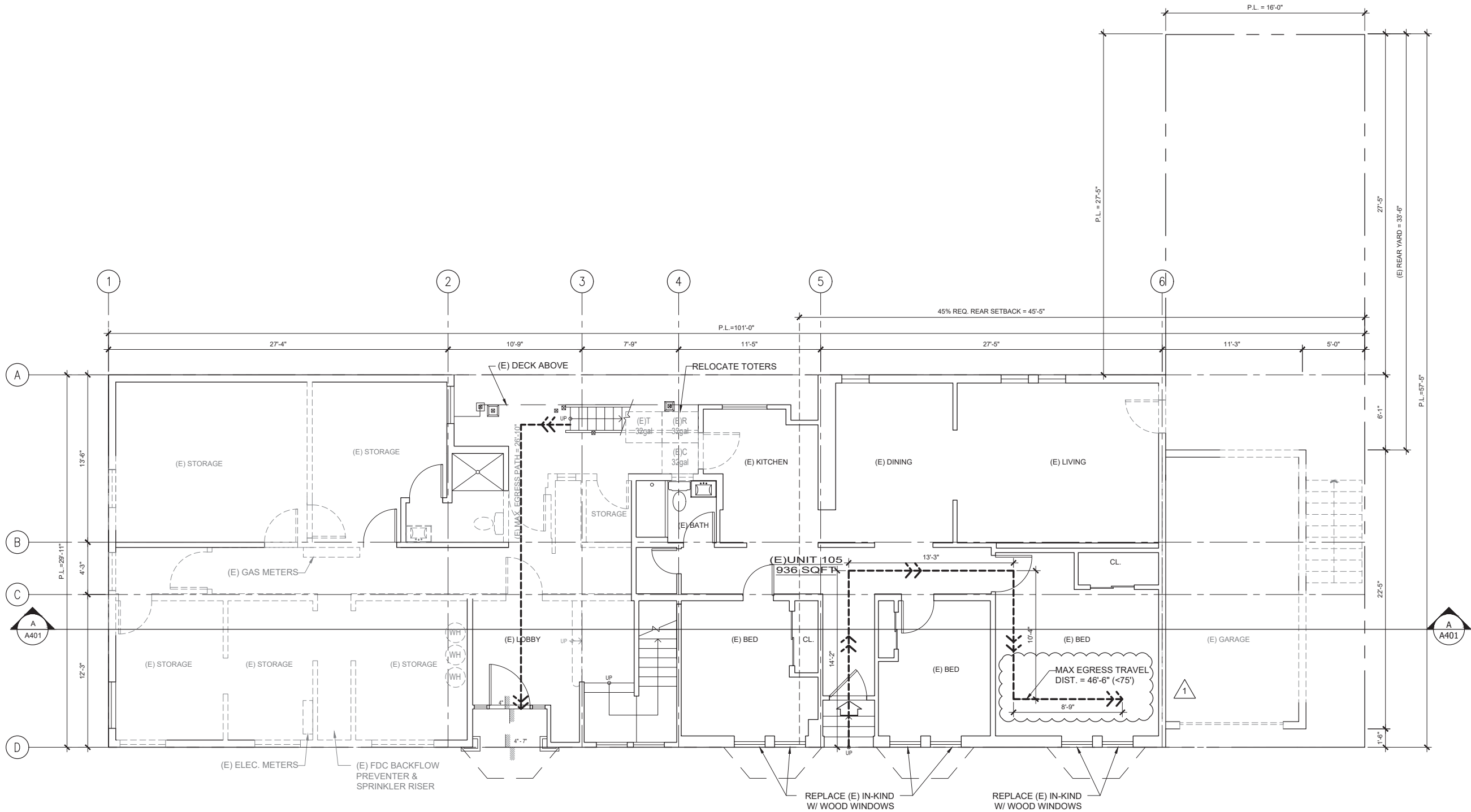
DRAWN BY: DMA/HY/DRG

FILE: 16110-A100

DRAWING NO: 7 OF 53

SHEET NO:

A103



1 (E) 1ST FLOOR PLAN  
SCALE: 1/4"=1'-0"



### WALL LEGEND:

- (E) DEMOLITION WALL
- (E) WALL TO REMAIN
- (N) WALL
- (N) LOW WALL
- (N) 1-HR. RATED WALL (PER CMC 420.2, 420.3)

### OTHER LEGEND:

- (N) MECH DUCT
- EMERGENCY ESCAPE & RESCUE
- ENTER TO UNIT
- ENTER TO SISTER UNIT

FIRE SHEETNOTES:

- 1 PROVIDE RATED ENCLOSURE FOR ELEC. METERS
- 2 PROVIDE NON-SPARK PRODUCING SHUT OFF TOOL.  
PROVIDE APPROVED SHUTOFF VALVE BEFORE AND AFTER GAS METER
- 3 PROVIDE (N) WALL-MOUNT FIRE EXTINGUISHER ADJ. TO REAR STAIRS, IN (E) COMMON LOBBY, IN (N) LAUNDRY ROOM, AND IN (E) GARAGE.
- 4 PROVIDE "EXIT" SIGNAGE ON (N) EXIT CORRIDOR DOORS, TYP. OF 2.

BUILDING CODE SHEETNOTES:

- 1 ALL BEDROOM WINDOWS PER CBC. 1029
- 2 1-HR RATED WALL SEE DET.2 / A601, &  
1-HR RATED CEILING SEE DET.3 / A601
- 3 2-HR RATED WALL SEE DET.4.5 / A601  
2-HR RATED CEILING SEE DET.6 / A601
- 4 (N) TRASH ROOM:  
- (E) (1) 64 GAL TRASH BIN  
(1) 64 GAL RECYCLE BIN  
(1) 64 GAL COMPOST BIN  
- (N) (1) 32 GAL TRASH BIN  
(1) 32 GAL RECYCLE BIN  
(1) 32 GAL COMPOST BIN
- 5 PROVIDE 100 - SQ-IN LOUVER @ WALL
- 6 2-HR-RATED CORRIDOR WALL

MECHANICAL SHEETNOTES:

- 1 GAS VENT TERMINATIONS SHALL MEET THE REQUIREMENTS OF CMC 802.6 & SFMC 802.6.2.
- 2 COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMC CHAPTER 7.
- 3 ENVIRONMENTAL AIR DUCT SHALL TERMINATE 3 FEET FROM THE PROPERTY LINE AND 3 FEET FROM OPENINGS INTO THE BUILDING PER CMC 504.5 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC 504.1.
- 4 DOMESTIC RANGE HOOD VENTS SHALL MEET THE REQUIREMENTS OF CMC 504.2 AND COMPLY WITH CMC TABLE 403.7.
- 5 ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1204.1.
- 6 CLOTHES DRYER EXHAUST SHALL BE A MINIMUM 4 INCHES, TERMINATE TO THE OUTSIDE OF THE BUILDING, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER, AND MEET THE REQUIREMENTS OF CMC 504.3. PROVIDE 100 SQ. INCH MINIMUM MAKE-UP AIR OPENING FOR DOMESTIC DRYERS.
- 7 DWELLING UNIT LIGHTING SHALL COMPLY WITH CEC 150.0(k) REQUIREMENTS.
- 8 MAINTAIN RATED SEPARATION BETWEEN DWELLING UNITS PER CBC 420.3. PENETRATIONS THROUGH HORIZONTAL ASSEMBLIES SHALL COMPLY WITH CBC 717.6.
- 9 PROVIDE MIN.45 CFM VENTILATION @ TRASH RM. PER CMC TABLE 403.7
- 10 (N)DRYER VENT. DUCT 14'-0" MAX. W/(2) - 90° BEND
- 11 (N) DIRECT VENT HEATERS TO COMPLY W/ CMC SEC.802.8.3
- 12 (N) ON-DEMAND H.W.HEATER TO COMPLY W/ CPC SEC.301, 501, 509.
- "NO GAS APPLIANCE TO BE LOCATED IN A ROOM USED FOR SLEEPING, A BATHROOM, A CLOSET OR IN CLOSET/ OTHER CONFINED SPACE OPENING INTO. OR HAVE ACCESS FR. A BED ROOM OR BATHROOM UNLESS IT IS LISTED FOR DIRECT VENTING & APPROVED FOR SUCH USE."
- ALSO INCOMPLIANCE W/ CPC SEC.301, 305, INCLUDE 1-HR. RATING PER TAB. 5-1 IN CH.5.



**Q-ARCHITECTURE, INC.**  
4243 25th St. San Francisco, CA 94114  
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F +1 415 695 1308  
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# ACCESSORY DWELLING UNIT

FOR  
556-560 SCOTT STREET  
SAN FRANCISCO  
CA 94117

BLOCK: 0824  
LOT: 012



REVISIONS

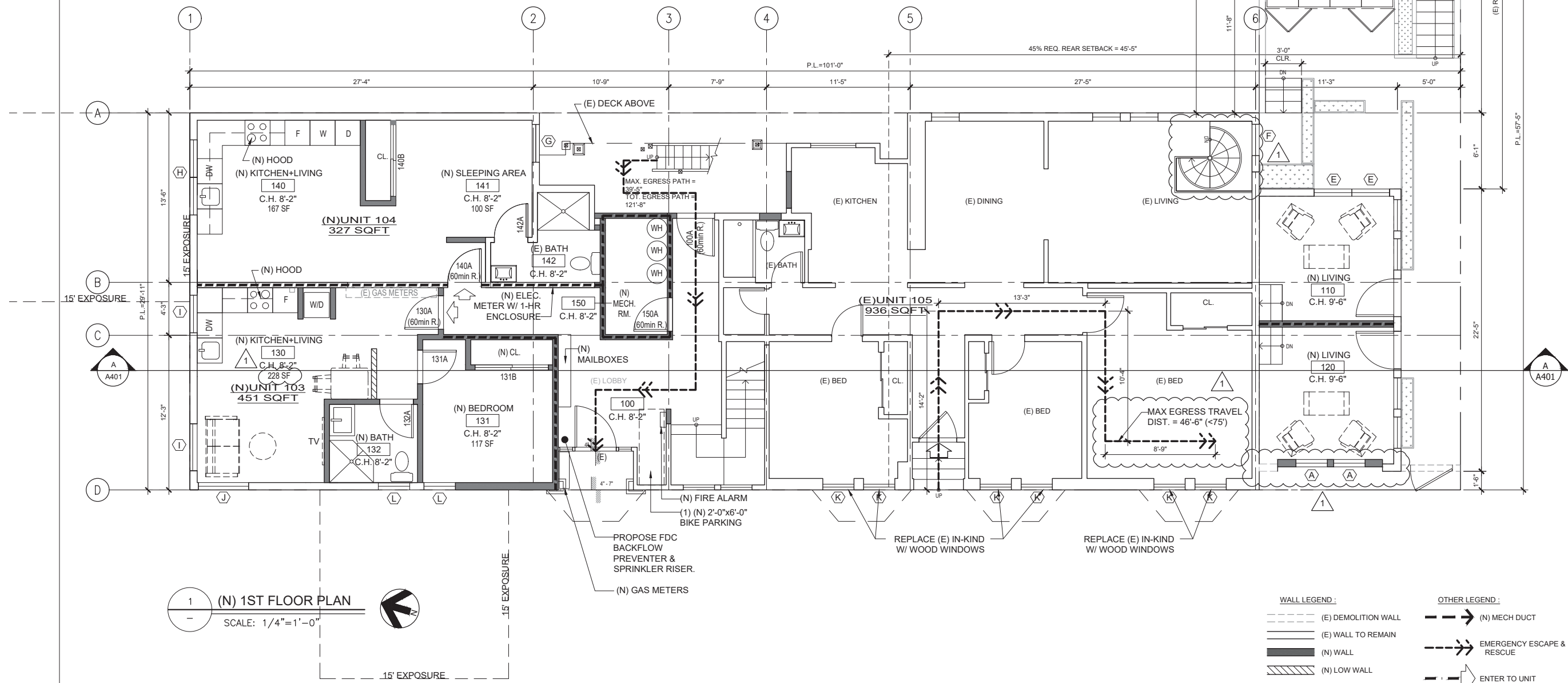
| NO. | DATE     | DESCRIPTION                                |
|-----|----------|--|
| 1   | 02/13/20 | PERMIT SUBMITTAL                           |
|     | 08/21/20 | RESPONSE TO PLANNING RECORD 2020-002304PIC |

SHEET TITLE

## (N) 1ST FLOOR PLAN

JOB NO: 16-110  
SCALE: 1/4" = 1'-0" DATE: 08/21/20  
DRAWN BY: DMA/HY/DRG  
FILE: 16110-A100  
DRAWING NO: 8 OF 53  
SHEET NO:

## A104



**ACCESSORY  
DWELLING UNIT**  
FOR  
556-560 SCOTT STREET  
SAN FRANCISCO  
CA 94117

BLOCK: 0824  
LOT: 012



| REVISIONS |          |   |
|-----------|----------|---|
| NO.       | DATE     | DESCRIPTION                                   |
| 1         | 02/13/20 | PERMIT SUBMITTAL                              |
|           | 08/21/20 | RESPONSE TO PLANNING<br>RECORD 2020-002304PIC |

**SHEET TITLE**

**(E) 2ND FLOOR PLAN  
(NO WORK-FOR  
REF. ONLY)**

JOB NO: 16-110

SCALE: 1/4" = 1'-0" DATE: 08/21/20

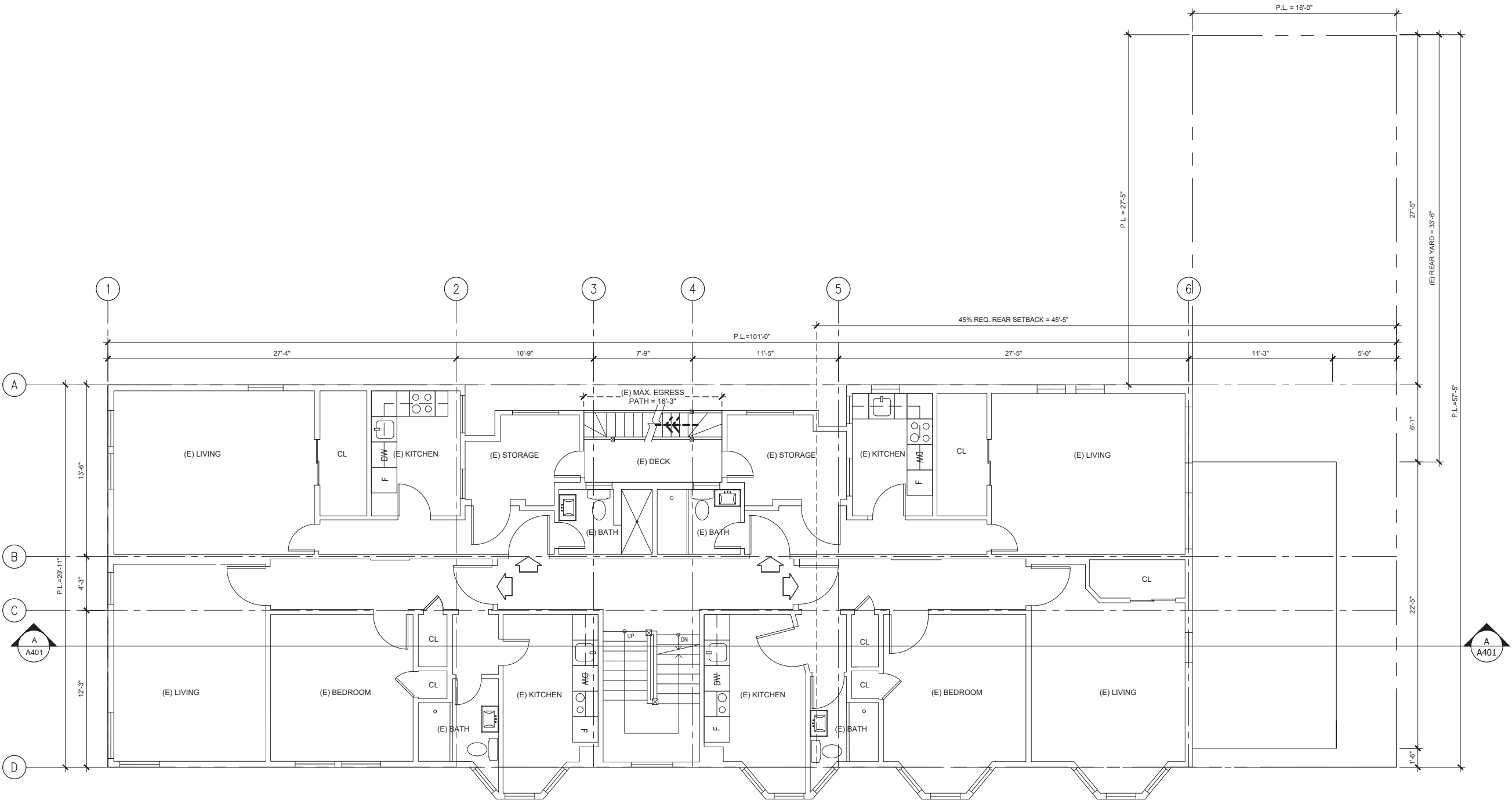
DRAWN BY: DMA/HY/DRG

FILE: 16110-A100

DRAWING NO: 9 OF 53

SHEET NO:

**A105**



1 (E) 2ND FLOOR PLAN(NO WORK, FOR REF. ONLY)  
SCALE: 1/4"=1'-0"

- WALL LEGEND :**
- (E) DEMOLITION WALL
  - (E) WALL TO REMAIN
  - (N) WALL
  - (N) LOW WALL
  - (N) 1-HR. RATED WALL (PER CMC 420.2, 420.3)
- OTHER LEGEND :**
- (N) MECH DUCT
  - EMERGENCY ESCAPE & RESCUE
  - ENTER TO UNIT
  - ENTER TO SISTER UNIT

**ACCESSORY  
DWELLING UNIT**  
FOR  
556-560 SCOTT STREET  
SAN FRANCISCO  
CA 94117

BLOCK: 0824  
LOT: 012



| REVISIONS |          |   |
|-----------|----------|---|
| NO.       | DATE     | DESCRIPTION                                   |
| 1         | 02/13/20 | PERMIT SUBMITTAL                              |
|           | 08/21/20 | RESPONSE TO PLANNING<br>RECORD 2020-002304PIC |

SHEET TITLE

**(E) 3RD FLOOR PLAN  
(NO WORK-FOR  
REF. ONLY)**

JOB NO: 16-110

SCALE: 1/4" = 1'-0" DATE: 08/21/20

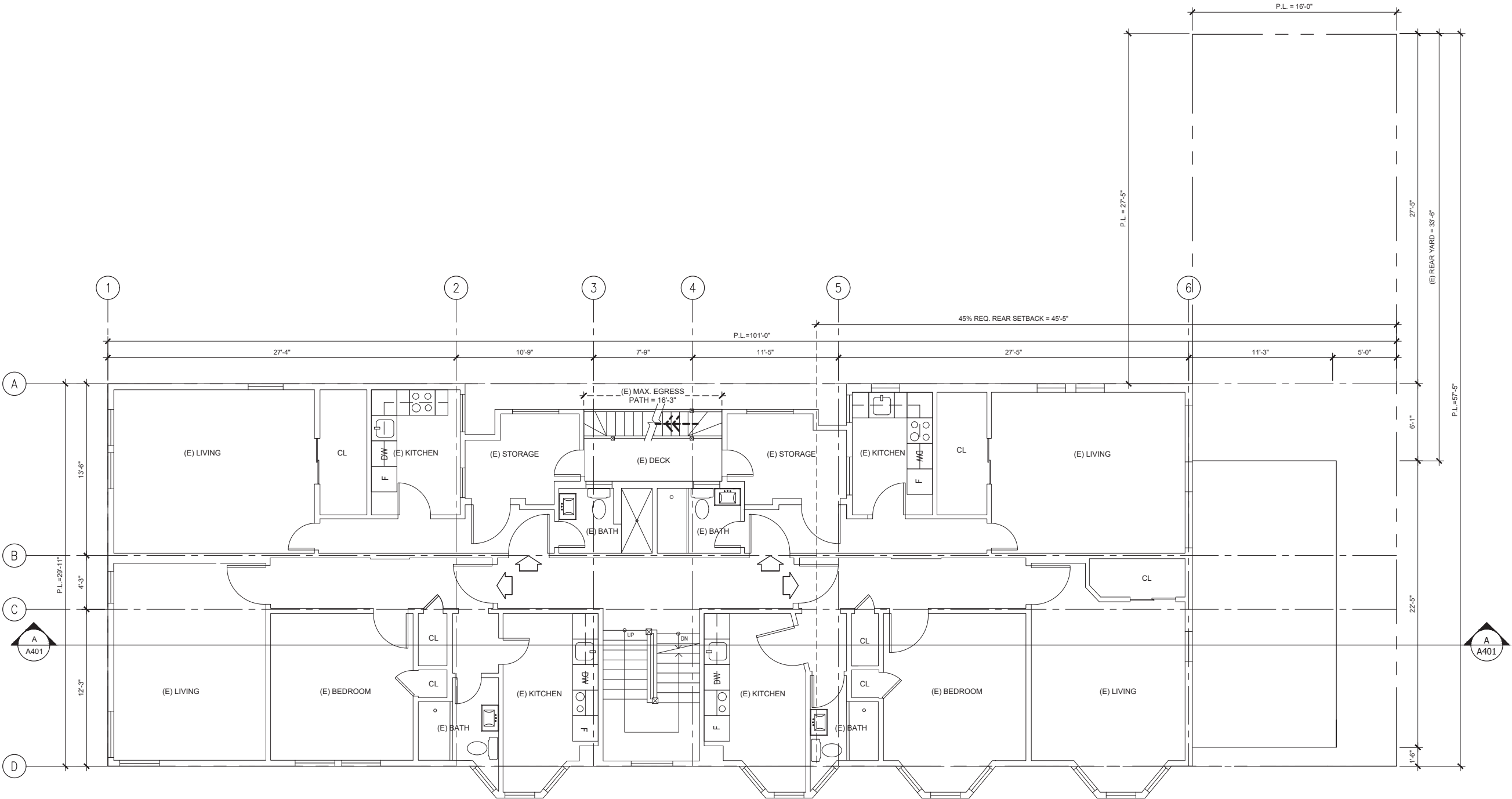
DRAWN BY: DMA/HY/DRG

FILE: 16110-A100

DRAWING NO: 10 OF 53

SHEET NO:

**A106**



1 (E) 3RD FLOOR PLAN(NO WORK, FOR REF. ONLY)

SCALE: 1/4"=1'-0"

NOTE:  
(E) UNITS KITCHENS & BATHROOM LAYOUT SHOWN HERE ARE SCHEMATIC FOR PUC  
FIXTURE COUNT ONLY. THIS DOES NOT REPRESENT THE ACTUAL CABINETRY & FIXTURES  
LAYOUT.

WALL LEGEND:

- (E) DEMOLITION WALL
- (E) WALL TO REMAIN
- (N) WALL
- (N) LOW WALL
- (N) 1-HR. RATED WALL  
(PER CMC 420.2, 420.3)

OTHER LEGEND:

- (N) MECH DUCT
- EMERGENCY ESCAPE &  
RESCUE
- ENTER TO UNIT
- ENTER TO SISTER UNIT

## ACCESSORY DWELLING UNIT

FOR  
556-560 SCOTT STREET  
SAN FRANCISCO  
CA 94117

BLOCK: 0824  
LOT: 012



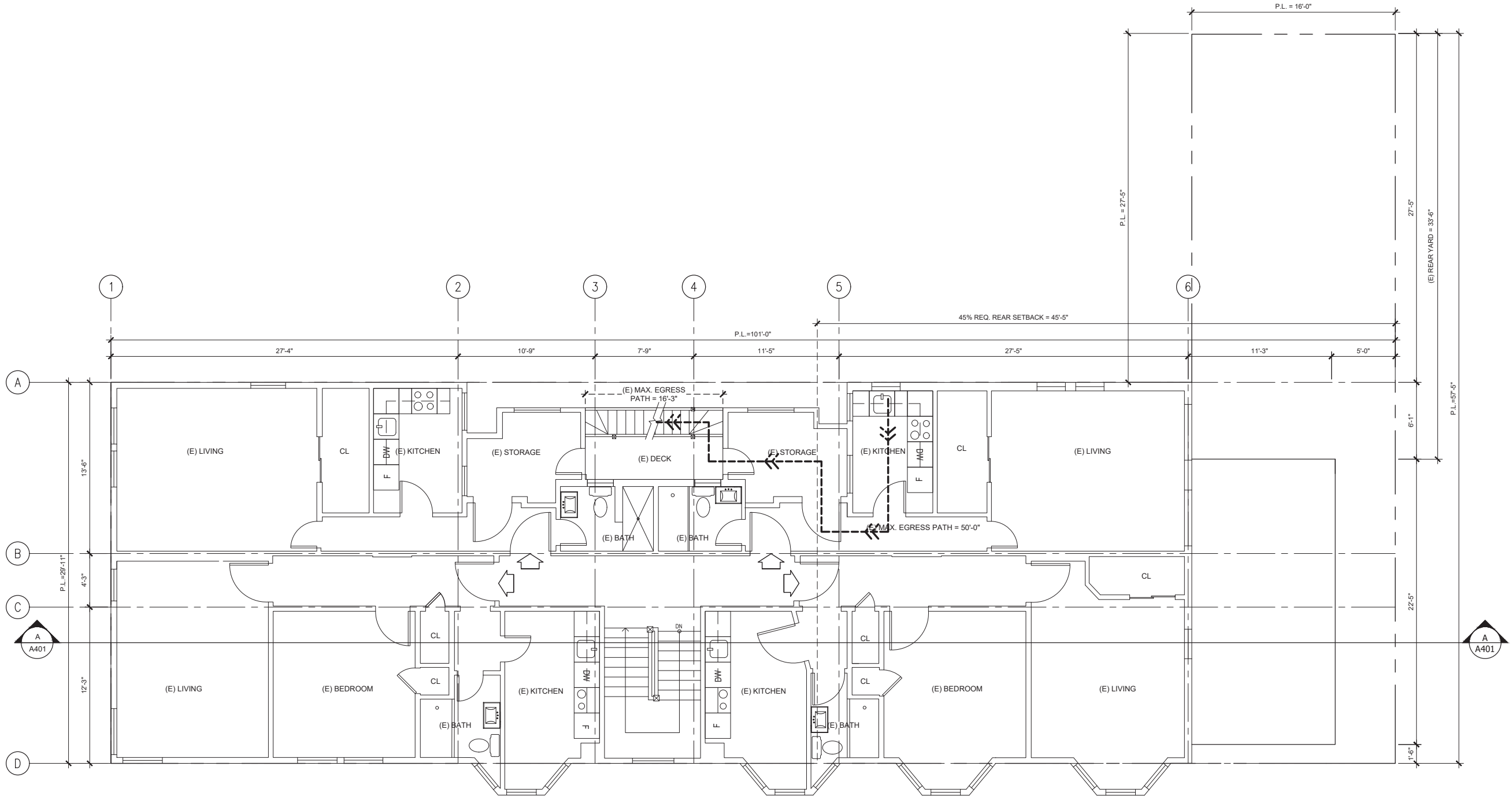
| REVISIONS |          |   |
|-----------|----------|---|
| NO.       | DATE     | DESCRIPTION                                   |
| 1         | 02/13/20 | PERMIT SUBMITTAL                              |
|           | 08/21/20 | RESPONSE TO PLANNING<br>RECORD 2020-002304PIC |

### SHEET TITLE

## (E) 4TH FLOOR PLAN (NO WORK-FOR REF. ONLY)

JOB NO: 16-110  
SCALE: 1/4" = 1'-0" DATE: 08/21/20  
DRAWN BY: DMA/HY/DRG  
FILE: 16110-A100  
DRAWING NO: 11 OF 53  
SHEET NO:

# A107



1 (E) 4TH FLOOR PLAN(NO WORK, FOR REF. ONLY)  
SCALE: 1/4"=1'-0"

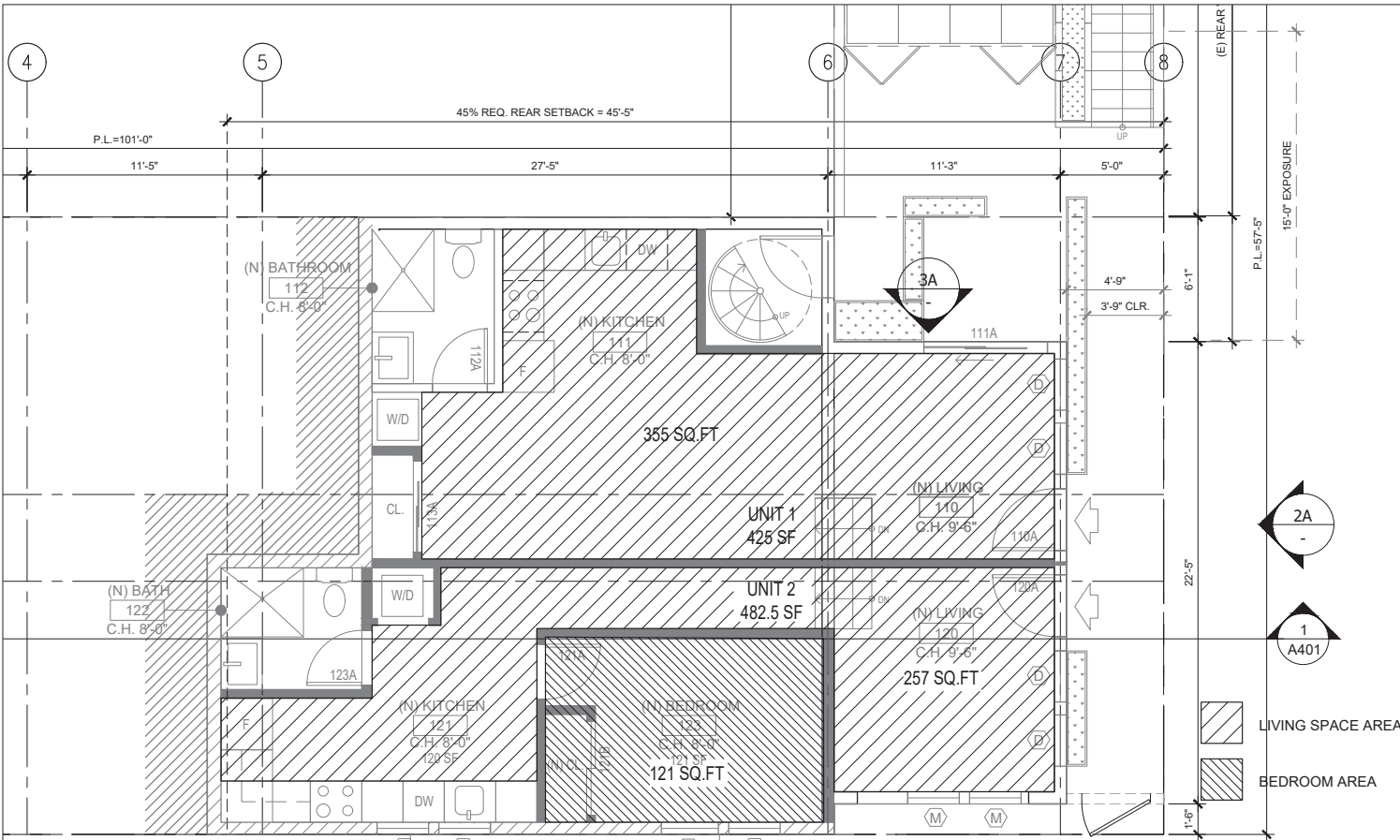
NOTE:  
(E) UNITS KITCHENS & BATHROOM LAYOUT SHOWN HERE ARE SCHEMATIC FOR PUC  
FIXTURE COUNT ONLY. THIS DOES NOT REPRESENT THE ACTUAL CABINETRY & FIXTURES  
LAYOUT.

#### WALL LEGEND:

- (E) DEMOLITION WALL
- (E) WALL TO REMAIN
- (N) WALL
- (N) LOW WALL
- (N) 1-HR. RATED WALL  
(PER CMC 420.2, 420.3)

#### OTHER LEGEND:

- (N) MECH DUCT
- EMERGENCY ESCAPE &  
RESCUE
- ENTER TO UNIT
- ENTER TO SISTER UNIT



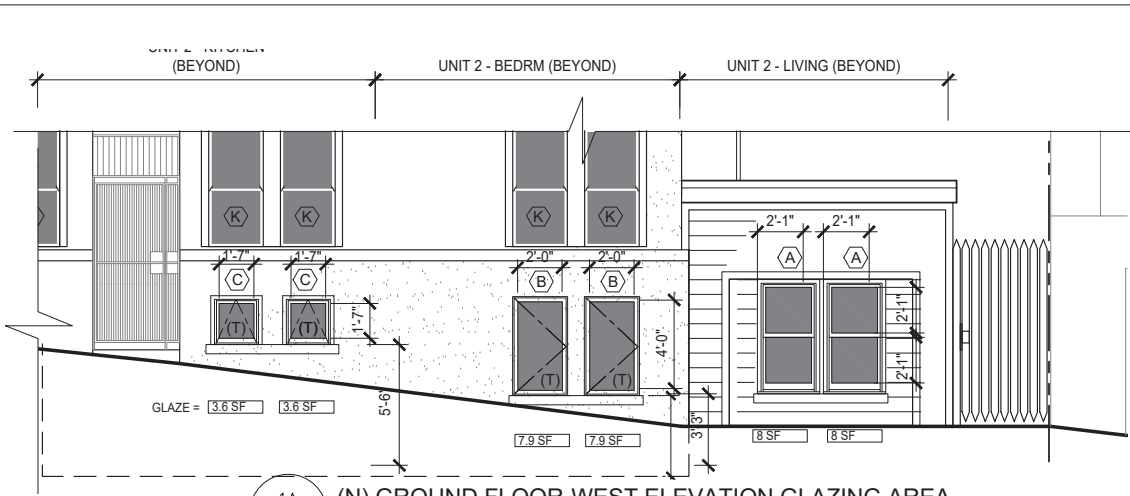
1 (N) GROUND FLOOR PLAN FOR EXPOSURE CALC.  
SCALE: 1/4"=1'-0"

- WALL LEGEND:
- (E) DEMOLITION WALL
  - (E) WALL TO REMAIN
  - (N) WALL
  - (N) LOW WALL
  - (N) 1-HR. RATED WALL (PER CMC 420.2, 420.3)
- OTHER LEGEND:
- (N) MECH DUCT
  - EMERGENCY ESCAPE & RESCUE
  - ENTER TO UNIT
  - ENTER TO SISTER UNIT

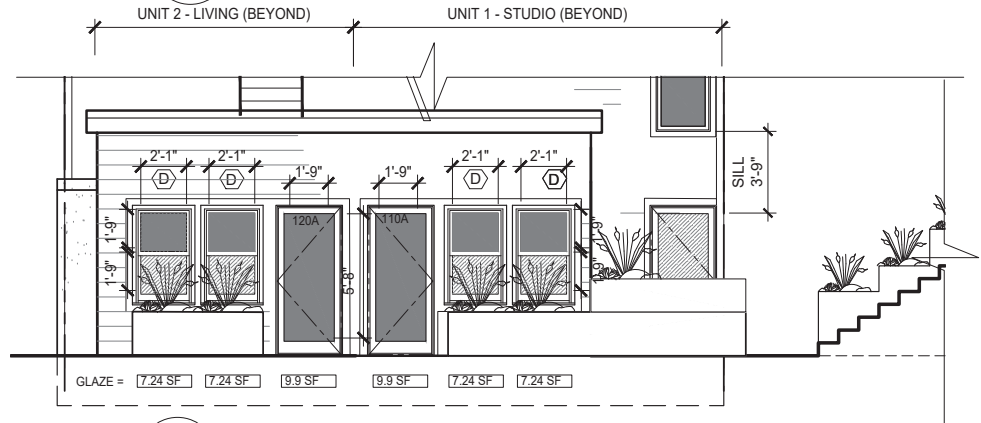
| (N) UNIT - WINDOW CODE COMPLIANCE |              |   |                                  |                |   |                                  |   |                              |
|-----------------------------------|--------------|---|----------------------------------|----------------|---|----------------------------------|---|------------------------------|
|                                   | LIVING SPACE |   |                                  | BEDROOM        |   |                                  | ESCAPE AREA<br>REQUIRED (SF)<br>MINIMUM | ESCAPE AREA<br>PROVIDED (SF) |
|                                   | AREA (SF)    | AREA OF GLAZING<br>REQUIRED (SF) 1/5 OF<br>GROSS AREA MINIMUM | AREA OF GLAZING<br>PROVIDED (SF) | AREA (SF)      | AREA OF GLAZING<br>REQUIRED (SF) 1/5 OF<br>GROSS AREA MINIMUM | AREA OF GLAZING<br>PROVIDED (SF) |   |                              |
| UNIT 1                            | 425          | 35  | 61                               | N/A FOR STUDIO |   |                                  |   |                              |
| UNIT 2                            | 257          | 21  | 37                               | 121            | 10  | 16                               | 5                                       | 2x8                          |
| TOTAL                             |              |   | 108                              |                |   | 16                               |   |                              |

DIMENSION NOTE:  
1. ALL DIMENSIONS ON ELEVATION ARE FOR GLAZING  
CODE REFERENCE:  
1. ALL HABITABLE SPACE TO MEET LIGHT & VENTILATION:  
- SFBC. 2016, SEC.1203 AND SEC.1205  
- SF PLANNING CODE, SEC.140  
2. ALL BEDROOM WINDOWS TO MEET EMERGENCY & ESCAPE:  
- SFBC. 2016, SEC.1030

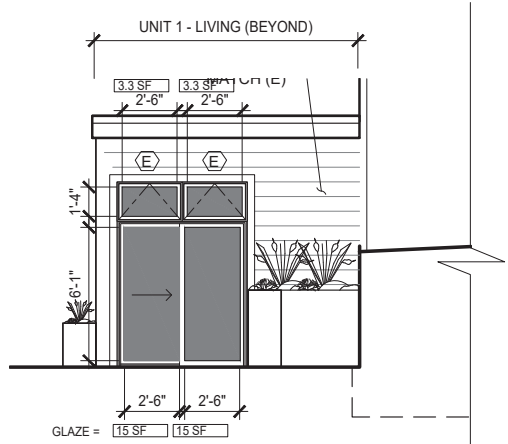
SHEET DESCRIPTION:  
1.THIS SHEET PROVIDES INFORMATION INDICATING  
THAT THE NEW ADDITIONAL DWELLING UNITS (ADU)  
MEET OR EXCEED THE REQUIREMENTS FOR  
GLAZING AREA TO LIVING SPACE REF. TO CODE  
REFERENCE NOTE AND TABLE ENTITLED "(N) UNIT -  
WINDOW CODE COMPLIANCE"



1A (N) GROUND FLOOR-WEST ELEVATION GLAZING AREA  
SCALE: 1/4"=1'-0"



2A (N) GROUND FLOOR-SOUTH ELEVATION GLAZING AREA  
SCALE: 1/4"=1'-0"



3A (N) GROUND FLOOR-EAST ELEVATION GLAZING AREA  
SCALE: 1/4"=1'-0"

ACCESSORY  
DWELLING UNIT  
FOR  
556-560 SCOTT STREET  
SAN FRANCISCO  
CA 94117

BLOCK: 0824  
LOT: 012



| REVISIONS |          |   |
|-----------|----------|---|
| NO.       | DATE     | DESCRIPTION                                   |
| 1         | 02/13/20 | PERMIT SUBMITTAL                              |
|           | 08/21/20 | RESPONSE TO PLANNING<br>RECORD 2020-002304PIC |

SHEET TITLE  
CODE COMPLIANCE  
EXT. ELEV. &  
AREA CALCULATION

JOB NO: 16-110  
SCALE: 1/4" = 1'-0" DATE: 08/21/20  
DRAWN BY: DMA/HY/DRG  
FILE: 16110-A100  
DRAWING NO: 12 OF 53  
SHEET NO:

A108



## ACCESSORY DWELLING UNIT

FOR  
556-560 SCOTT STREET  
SAN FRANCISCO  
CA 94117

BLOCK: 0824  
LOT: 012



### REVISIONS

| NO. | DATE     | DESCRIPTION                                   |
|-----|----------|---|
| 1   | 02/13/20 | PERMIT SUBMITTAL                              |
| 1   | 08/21/20 | RESPONSE TO PLANNING<br>RECORD 2020-002304PIC |

### SHEET TITLE

## CODE COMPLIANCE EXT. ELEV. & AREA CALCULATION

JOB NO: 16-110

SCALE: 1/4" = 1'-0" DATE: 08/21/20

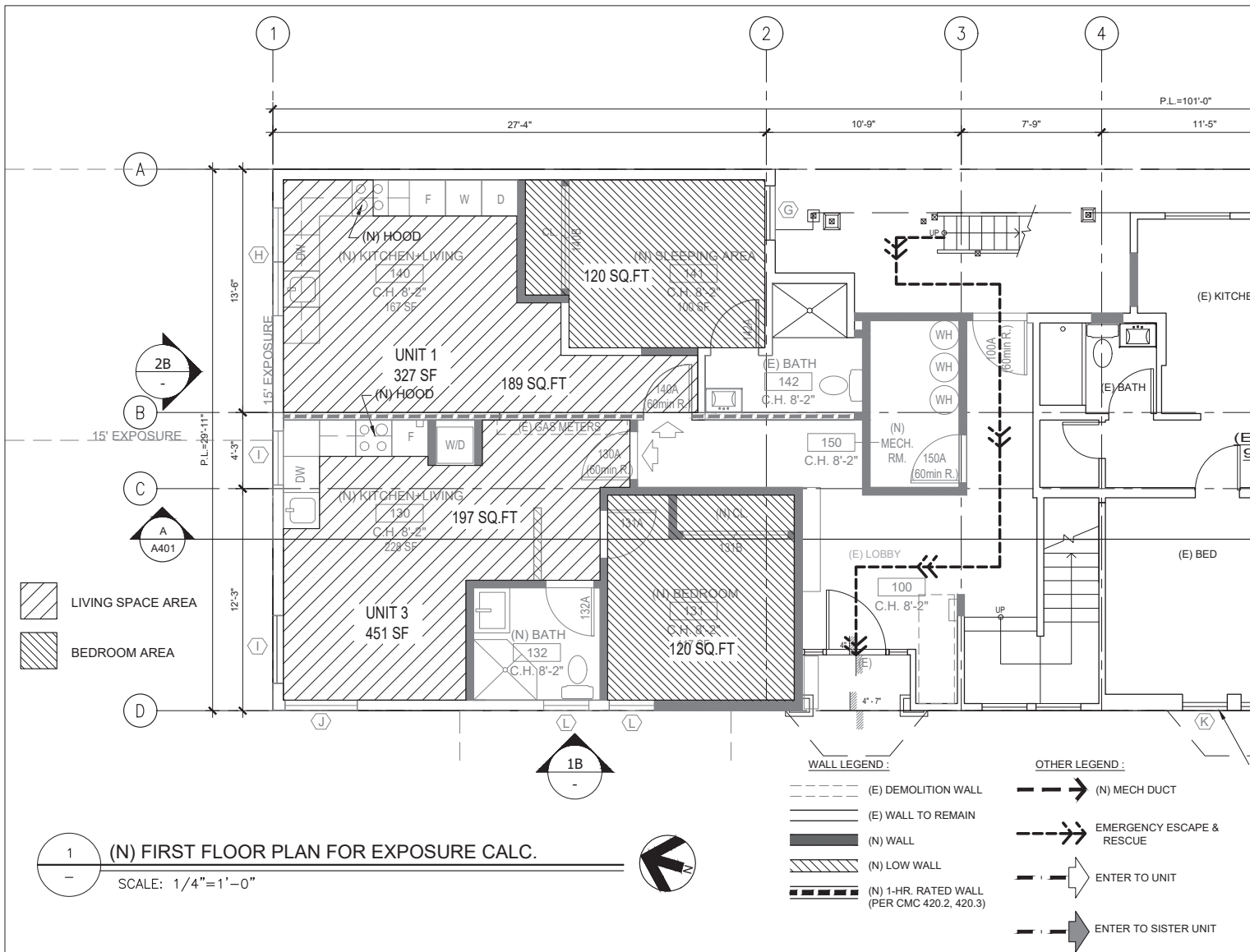
DRAWN BY: DMA/HY/DRG

FILE: 16110-A100

DRAWING NO: 13 OF 53

SHEET NO:

# A109



### (N) UNIT - WINDOW CODE COMPLIANCE

|        | LIVING SPACE |   |                                  | BEDROOM   |   |                                  | ESCAPE AREA<br>REQUIRED (SF)<br>MINIMUM | ESCAPE AREA<br>PROVIDED (SF) |
|--------|--------------|---|----------------------------------|-----------|---|----------------------------------|---|------------------------------|
|        | AREA (SF)    | AREA OF GLAZING<br>REQUIRED (SF) 1/5 OF<br>GROSS AREA MINIMUM | AREA OF GLAZING<br>PROVIDED (SF) | AREA (SF) | AREA OF GLAZING<br>REQUIRED (SF) 1/5 OF<br>GROSS AREA MINIMUM | AREA OF GLAZING<br>PROVIDED (SF) |   |                              |
| UNIT 3 | 197          | 17  | 28                               | 120       | 10  | 10                               | 5                                       | 10                           |

#### DIMENSION NOTE:

1. ALL DIMENSIONS ON ELEVATION ARE FOR GLAZING

#### CODE REFERENCE:

1. ALL HABITABLE SPACE TO MEET LIGHT & VENTILATION:

- SFBC, 2016, SEC.1203 AND SEC.1205

- SF PLANNING CODE, SEC.140

2. ALL BEDROOM WINDOWS TO MEET EMERGENCY & ESCAPE:

- SFBC, 2016, SEC.1030

#### SHEET DESCRIPTION:

1. THIS SHEET PROVIDES INFORMATION INDICATING THAT THE NEW ADDITIONAL DWELLING UNITS (ADU) MEET OR EXCEED THE REQUIREMENTS FOR GLAZING AREA TO LIVING SPACE REF. TO CODE REFERENCE NOTE AND TABLE ENTITLED "(N) UNIT - WINDOW CODE COMPLIANCE"

## ACCESSORY DWELLING UNIT

FOR  
556-560 SCOTT STREET  
SAN FRANCISCO  
CA 94117

BLOCK: 0824  
LOT: 012



| REVISIONS |          |   |
|-----------|----------|---|
| NO.       | DATE     | DESCRIPTION                                   |
| 1         | 02/13/20 | PERMIT SUBMITTAL                              |
|           | 08/21/20 | RESPONSE TO PLANNING<br>RECORD 2020-002304PIC |

### SHEET TITLE

## (E) WEST EXTERIOR ELEVATION

JOB NO: 16-110  
SCALE: 1/4" = 1'-0" DATE: 08/21/20  
DRAWN BY: DMA/HY/DRG  
FILE: 16110-A100  
DRAWING NO: 15 OF 53  
SHEET NO:

A302



### (E) WEST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



## ACCESSORY DWELLING UNIT

FOR  
556-560 SCOTT STREET  
SAN FRANCISCO  
CA 94117

BLOCK: 0824  
LOT: 012



| REVISIONS |          |   |
|-----------|----------|---|
| NO.       | DATE     | DESCRIPTION                                   |
| 1         | 02/13/20 | PERMIT SUBMITTAL                              |
|           | 08/21/20 | RESPONSE TO PLANNING<br>RECORD 2020-002304PIC |

### SHEET TITLE

## (N) WEST EXTERIOR ELEVATION

JOB NO: 16-110  
SCALE: 1/4" = 1'-0" DATE: 08/21/20  
DRAWN BY: DMA/HY/DRG  
FILE: 16110-A100  
DRAWING NO: 15 OF 53  
SHEET NO:

## A303



## ACCESSORY DWELLING UNIT

FOR  
556-560 SCOTT STREET  
SAN FRANCISCO  
CA 94117

BLOCK: 0824  
LOT: 012



### REVISIONS

| NO. | DATE     | DESCRIPTION                                   |
|-----|----------|---|
| 1   | 02/13/20 | PERMIT SUBMITTAL                              |
| 1   | 08/21/20 | RESPONSE TO PLANNING<br>RECORD 2020-002304PIC |

### SHEET TITLE

## (E) & (N) SOUTH EXTERIOR ELEVATIONS

JOB NO: 16-110

SCALE: 1/4" = 1'-0" DATE: 08/21/20

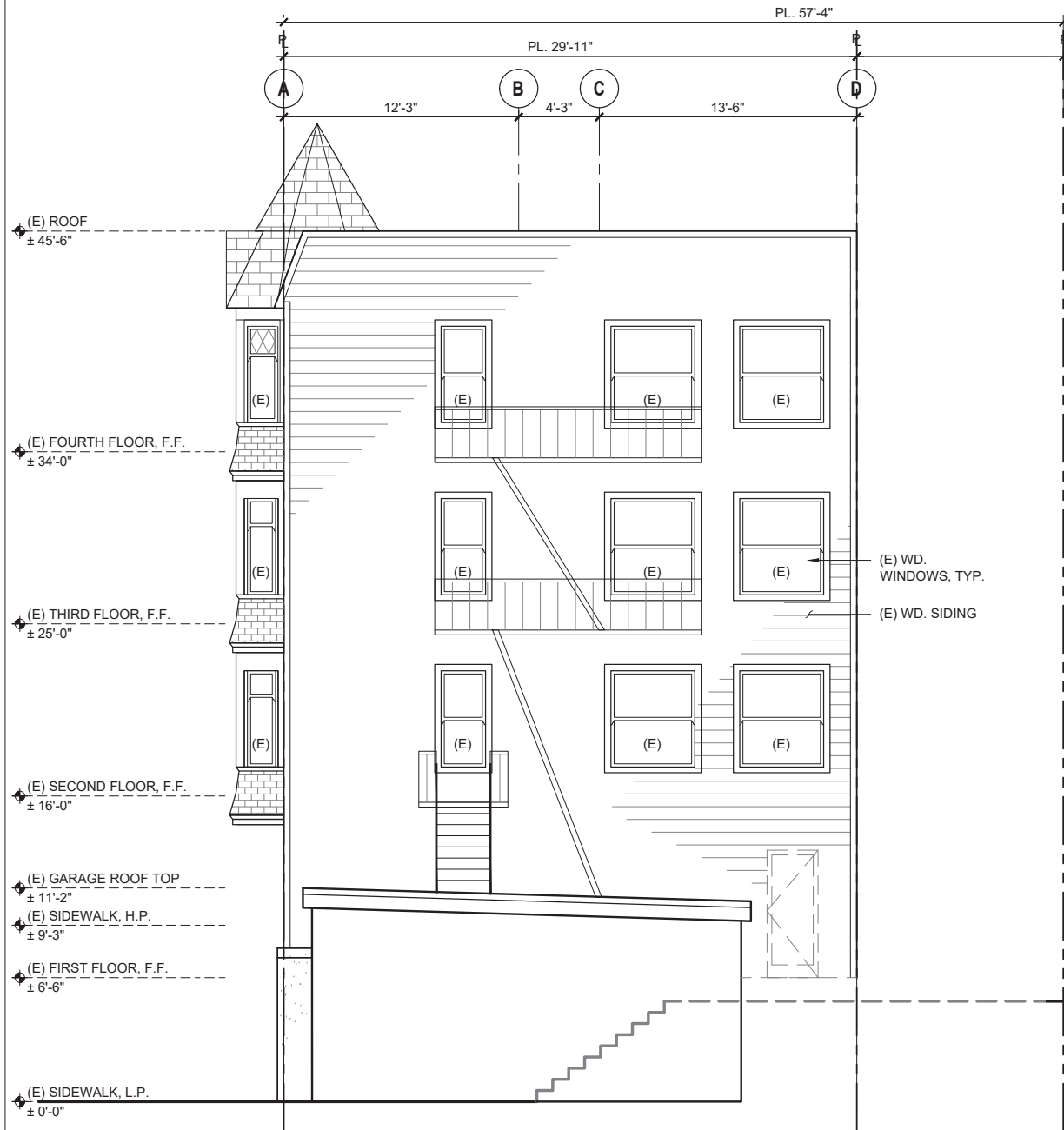
DRAWN BY: DMA/HY/DRG

FILE: 16110-A100

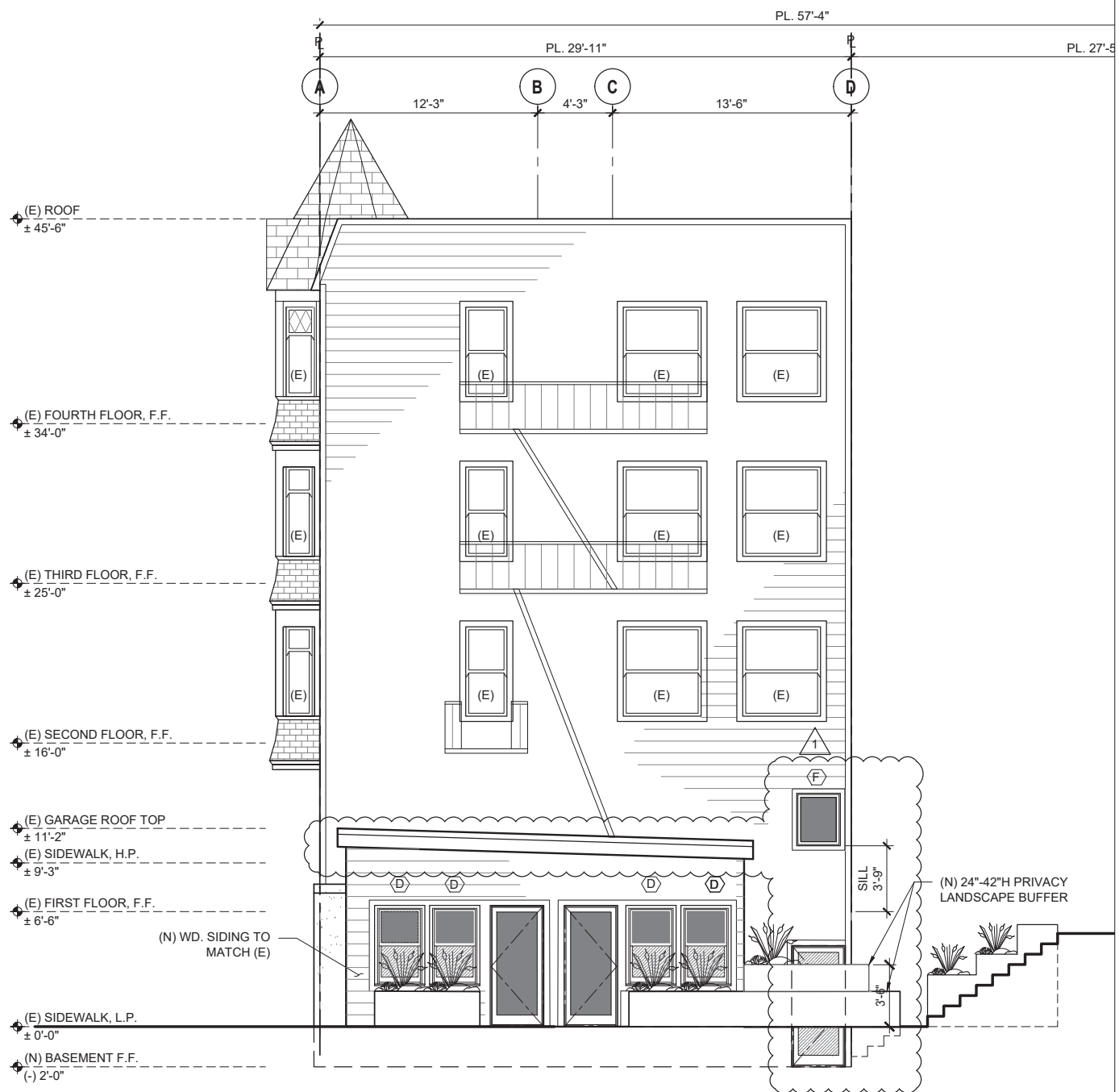
DRAWING NO: 17 OF 53

SHEET NO:

# A304



1 (E) SOUTH EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"



2 (N) SOUTH EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"

ACCESSORY  
DWELLING UNIT  
FOR  
556-560 SCOTT STREET  
SAN FRANCISCO  
CA 94117

BLOCK: 0824  
LOT: 012



| REVISIONS |          |   |
|-----------|----------|---|
| NO.       | DATE     | DESCRIPTION                                   |
| 1         | 02/13/20 | PERMIT SUBMITTAL                              |
|           | 08/21/20 | RESPONSE TO PLANNING<br>RECORD 2020-002304PIC |

SHEET TITLE

(E) EAST  
EXTERIOR ELEVATION

JOB NO: 16-110

SCALE: 1/4" = 1'-0"DATE: 08/21/20

DRAWN BY: DMA/HY/DRG

FILE: 16110-A100

DRAWING NO: 18 OF 53

SHEET NO:

A305



# ACCESSORY DWELLING UNIT

FOR  
556-560 SCOTT STREET  
SAN FRANCISCO  
CA 94117

BLOCK: 0824  
LOT: 012



| REVISIONS |          |   |
|-----------|----------|---|
| NO.       | DATE     | DESCRIPTION                                   |
| 1         | 02/13/20 | PERMIT SUBMITTAL                              |
|           | 08/21/20 | RESPONSE TO PLANNING<br>RECORD 2020-002304PIC |

## SHEET TITLE

### (N) EAST EXTERIOR ELEVATION

JOB NO: 16-110  
SCALE: 1/4" = 1'-0" DATE: 08/21/20  
DRAWN BY: DMA/HY/DRG  
FILE: 16110-A100  
DRAWING NO: 19 OF 53  
SHEET NO:

A306



## ACCESSORY DWELLING UNIT

FOR  
556-560 SCOTT STREET  
SAN FRANCISCO  
CA 94117

BLOCK: 0824  
LOT: 012



| REVISIONS |          |   |
|-----------|----------|---|
| NO.       | DATE     | DESCRIPTION                                   |
| 1         | 02/13/20 | PERMIT SUBMITTAL                              |
|           | 08/21/20 | RESPONSE TO PLANNING<br>RECORD 2020-002304PIC |

SHEET TITLE

### (E) & (N) NORTH EXTERIOR ELEVATIONS

JOB NO: 16-110

SCALE: 1/4" = 1'-0" DATE: 08/21/20

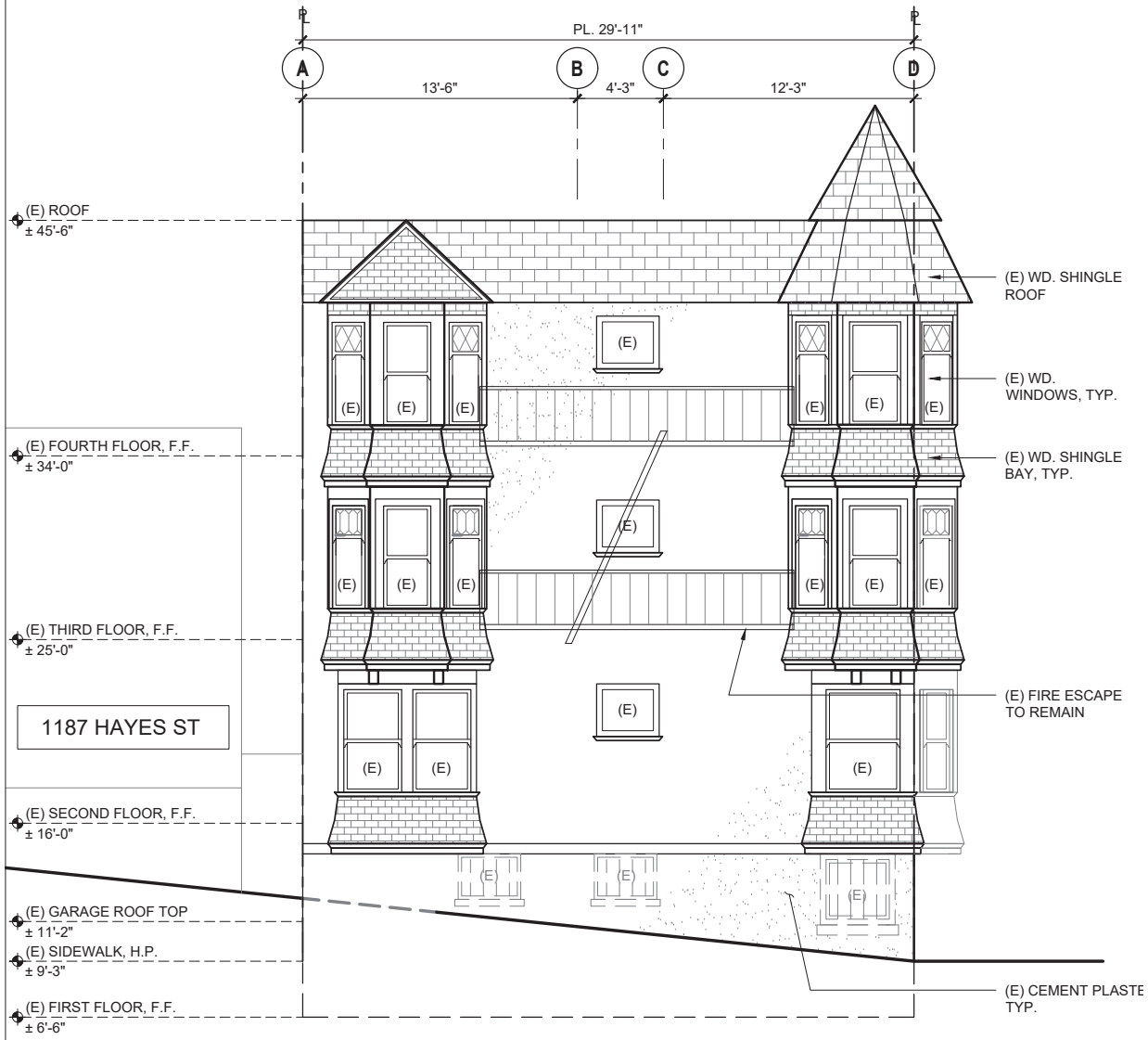
DRAWN BY: DMA/HY/DRG

FILE: 16110-A100

DRAWING NO: 14 OF 53

SHEET NO:

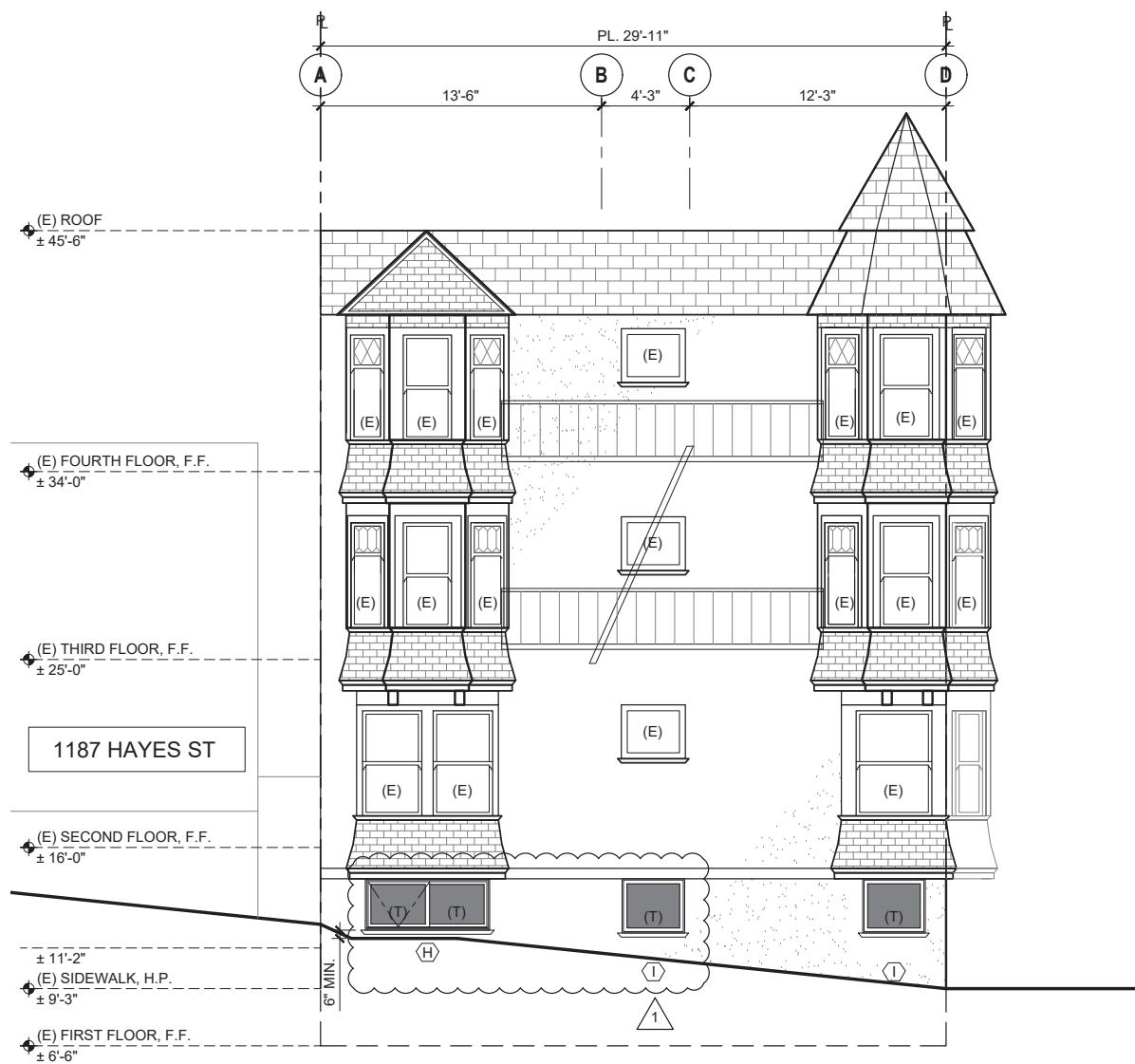
A301



1

(E) NORTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



2

(N) NORTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

## ACCESSORY DWELLING UNIT

FOR  
556-560 SCOTT STREET  
SAN FRANCISCO  
CA 94117

BLOCK: 0824  
LOT: 012



| REVISIONS |          |   |
|-----------|----------|---|
| NO.       | DATE     | DESCRIPTION                                   |
| 1         | 02/13/20 | PERMIT SUBMITTAL                              |
|           | 08/21/20 | RESPONSE TO PLANNING<br>RECORD 2020-002304PIC |

| SHEET TITLE                           |               |                |
|---------------------------------------|---------------|----------------|
| (E) & (N)<br>LONGITUDINAL<br>SECTIONS |               |                |
| JOB NO:                               | 16-110        |                |
| SCALE:                                | 3/16" = 1'-0" | DATE: 08/21/20 |
| DRAWN BY:                             | DMA/HY/DRG    |                |
| FILE:                                 | 16109-A400    |                |
| DRAWING NO:                           | 20            | OF 53          |
| SHEET NO:                             | A401          |                |





WINDOW SCHEDULE

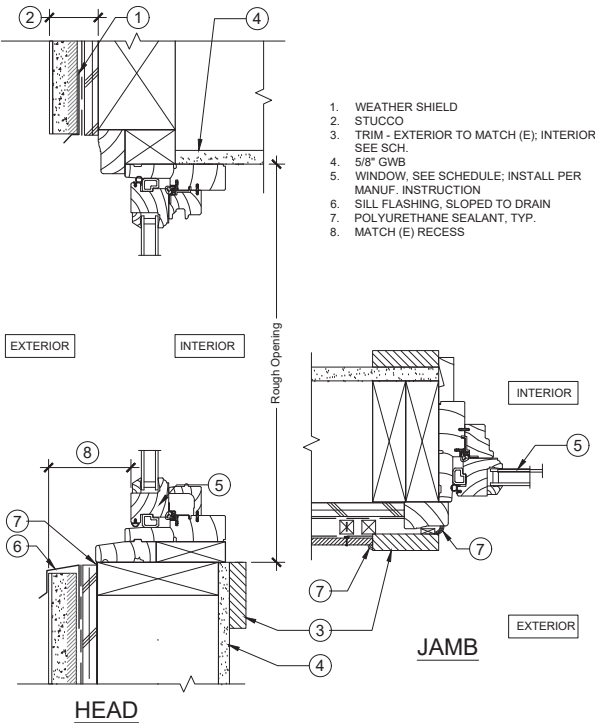
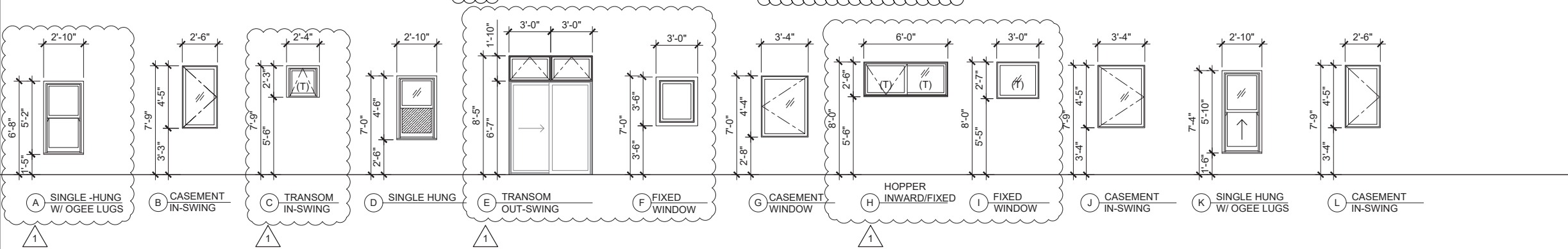
| MARK | WIDTH  | HEIGHT | HEAD HEIGHT | QTY. | TYPE                | GLASS                     | FRAME  |        | RATING       | U-VALUE / SHGC | HDWR.NOTE | REMARKS  | DISTANCE TO PROPERTY LINE | MAXIMUM ALLOWABLE AREA | OPENING AREA |
|------|--------|--------|-------------|------|---------------------|---------------------------|--------|--------|--------------|----------------|-----------|--|---------------------------|------------------------|--------------|
|      |        |        |             |      |                     |                           | CONST. | FINISH |              |                |           |  |                           |                        |              |
| A    | 2'-10" | 5'-2"  | 6'-8"       | 2    | SINGLE HUNG         | TEMP, INSUL. CLEAR, LOW E | WD.    | PAINT  | NR           |                | BY MANUF. | MARVIN ULTIMATE ALL-WOOD WINDOW WITH WOOD TRIM & OGEE LUGS | N/A                       | N/A                    | N/A          |
| B    | 2'-6"  | 4'-5"  | 7'-9"       | 2    | CASEMENT, IN-SWING  | TEMP, INSUL. CLEAR, LOW E | WD.    | PAINT  | NR           |                | BY MANUF. | MARVIN ULTIMATE ALL-WOOD WINDOW WITH WOOD TRIM             | N/A                       | N/A                    | N/A          |
| C    | 2'-4"  | 2'-3"  | 7'-9"       | 2    | TRANSOM, IN-SWING   | TEMP, INSUL. CLEAR, LOW E | WD.    | PAINT  | NR           |                | BY MANUF. | MARVIN ULTIMATE ALL-WOOD WINDOW WITH WOOD TRIM             | N/A                       | N/A                    | N/A          |
| D    | 2'-10" | 4'-6"  | 7'-0"       | 4    | SINGLE-HUNG         | INSUL. CLEAR, LOW E       | WD.    | PAINT  | 45 MIN RATED |                | BY MANUF. | MARVIN ULTIMATE ALL-WOOD WINDOW WITH WOOD TRIM & OGEE LUGS | 4'-6"                     |                        |              |
| E    | 3'-0"  | 1'-10" | 8'-5"       | 2    | TRANSOM, OUT-SWING  | INSUL. CLEAR, LOW E       | WD.    | PAINT  | NR           |                | BY MANUF. | MARVIN ULTIMATE ALL-WOOD WINDOW WITH WOOD TRIM             | N/A                       |                        |              |
| F    | 3'-0"  | 3'-6"  | 7'-0"       | 1    | FIXED               | INSUL. CLEAR, LOW E       | WD.    | PAINT  | NR           |                | BY MANUF. | MARVIN ULTIMATE ALL-WOOD WINDOW WITH WOOD TRIM             | N/A                       |                        |              |
| G    | 3'-4"  | 4'-4"  | 7'-0"       | 1    | CASEMENT, IN-SWING  | INSUL. CLEAR, LOW E       | WD.    | PAINT  | NR           |                | BY MANUF. | MARVIN ULTIMATE ALL-WOOD WINDOW WITH WOOD TRIM             | N/A                       | N/A                    | N/A          |
| H    | 6'-0"  | 2'-6"  | 8'-0"       | 1    | HOPPER INWARD/FIXED | INSUL. CLEAR, LOW E       | WD.    | PAINT  | NR           |                | BY MANUF. | MARVIN ULTIMATE ALL-WOOD WINDOW WITH WOOD TRIM             | N/A                       | N/A                    | N/A          |
| I    | 3'-0"  | 2'-7"  | 8'-0"       | 1    | FIXED               | INSUL. CLEAR, LOW E       | WD.    | PAINT  | NR           |                | BY MANUF. | MARVIN ULTIMATE ALL-WOOD WINDOW WITH WOOD TRIM             | N/A                       | N/A                    | N/A          |
| J    | 3'-4"  | 4'-5"  | 7'-9"       | 1    | CASEMENT, IN-SWING  | INSUL. CLEAR, LOW E       | WD.    | PAINT  | NR           |                | BY MANUF. | MARVIN ULTIMATE ALL-WOOD WINDOW WITH WOOD TRIM             | N/A                       | N/A                    | N/A          |
| K    | 2'-10" | 5'-10" | 7'-4"       | 8    | SINGLE-HUNG         | INSUL. CLEAR, LOW E       | WD.    | PAINT  | NR           |                | BY MANUF. | MARVIN ULTIMATE ALL-WOOD WINDOW WITH WOOD TRIM & OGEE LUGS | N/A                       | N/A                    | N/A          |
| L    | 2'-6"  | 4'-5"  | 7'-9"       | 2    | CASEMENT, IN-SWING  | INSUL. CLEAR, LOW E       | WD.    | PAINT  | NR           |                | BY MANUF. | MARVIN ULTIMATE ALL-WOOD WINDOW WITH WOOD TRIM             | N/A                       | N/A                    | N/A          |

HARDWARE NOTES:

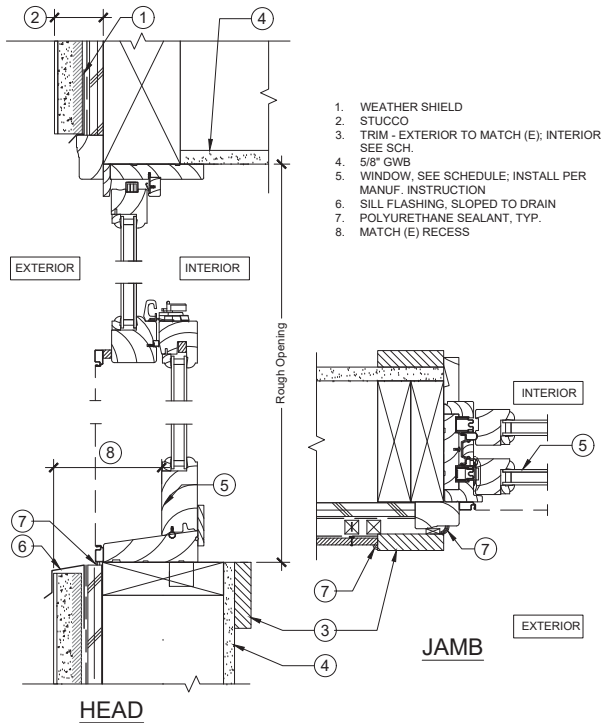
1. HINGES TO MATCH DOOR KNOB AND LOCKSET.  
2. ALL HARDWARE SHALL BE FLUSHED.  
3. PRIVACY SET DOOR KNOB.  
4. SINGLE KEYED DEAD BOLT W/ THUMB TURN.  
5. BY DESIGNER/OWNER.

ABBREVIATIONS:

|                     |                             |  |
|---------------------|-----------------------------|--|
| CONSTRUCTION:       | FINISH:                     |  |
| AL ALUMINUM         | AC ACRYLIC                  |  |
| HC HOLLOW CORE WOOD | BSS BRUSHED STAINLESS STEEL |  |
| SC SOLID CORE WOOD  | FG FIBERGLASS               |  |
| PN WOOD PANEL       | GL GLASS                    |  |
| HM HOLLOW METAL     | PT PAINT                    |  |
| ABS LUSTRAN         | S STONE                     |  |
| MF METAL FRAME      | STL STEEL                   |  |
| VY VINYL            | WD WOOD                     |  |
| SG SINGLE           |                             |  |
| DBL DOUBLE          | DOOR RATING:                |  |
|                     | NR NOT RATE                 |  |
|                     | R RATED                     |  |



1 TYP. FRONT WINDOW DETAIL (WOOD CASEMENT)  
Scale: 3\"/>



2 TYP. FRONT WINDOW DETAIL (WOOD SINGLE HUNG)  
Scale: 3\"/>



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ACCESSORY  
DWELLING UNIT  
FOR  
556-560 SCOTT STREET  
SAN FRANCISCO  
CA 94117

BLOCK: 0824  
LOT: 012

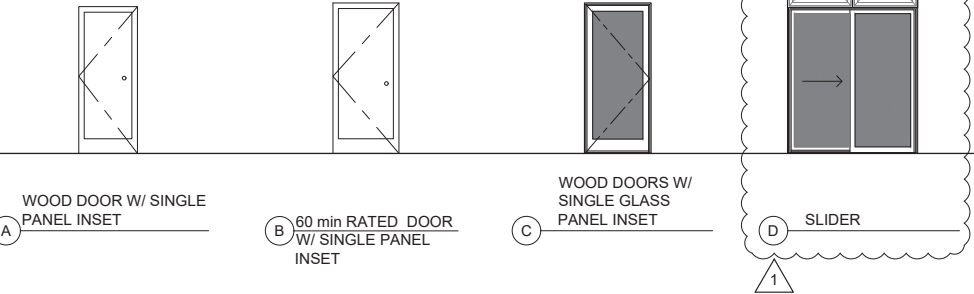


| REVISIONS |          |  |
|-----------|----------|--|
| NO.       | DATE     | DESCRIPTION                                |
| 1         | 02/13/20 | PERMIT SUBMITTAL                           |
|           | 08/21/20 | RESPONSE TO PLANNING RECORD 2020-002304PIC |

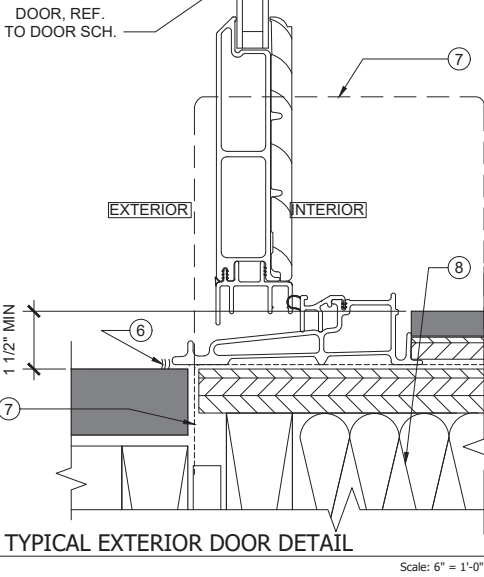
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|----------------------------|-------------------------|
| WINDOW SCHEDULES & DETAILS |                         |
| JOB NO:                    | 16-110                  |
| SCALE:                     | AS SHOWN DATE: 08/21/20 |
| DRAWN BY:                  | DMA/HY/DRG              |
| FILE:                      | 16109_A800.dwg          |
| DRAWING NO:                | 21 OF 53                |
| SHEET NO:                  |                         |

A801

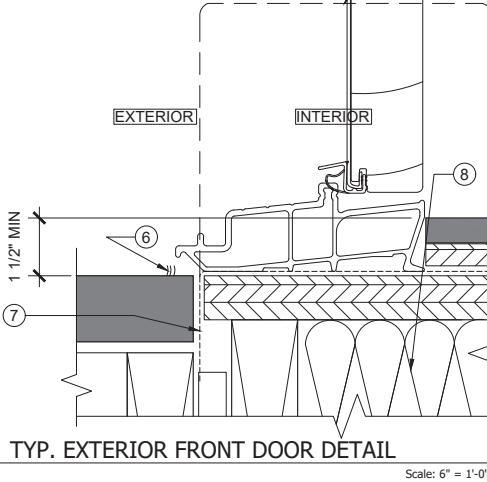
| DOOR SCHEDULE             |      |                        |       |        |      |                           |         |       |         |         |             |                |           |              |         |  |
|---------------------------|------|------------------------|-------|--------|------|---------------------------|---------|-------|---------|---------|-------------|----------------|-----------|--------------|---------|--|
| MARK                      | ROOM | ROOM NAME              | DOOR  |        |      |                           |         | FRAME |         |         | FIRE RATING | U-VALUE / SHGC | HDWR.NOTE | SWING        | REMARKS |  |
|                           | #    |                        | WIDTH | HEIGHT | TYPE | CONSTR.                   | FINISH  | TYPE  | CONSTR. | FINISH  |             |                |           |              |         |  |
| FIRST FLOOR-COMMON SPACES |      |                        |       |        |      |                           |         |       |         |         |             |                |           |              |         |  |
| 100A<br>(60min)           | 100  | LOBBY                  | 3'-0" | 7'-0"  | B    | SC WD W/SG<br>PANEL INSET | PAINTED |       | WOOD    | PAINTED | NR          |                | BY MANUF  | IN-SWING     |         |  |
| GROUND FLOOR-UNIT 101     |      |                        |       |        |      |                           |         |       |         |         |             |                |           |              |         |  |
| 110A                      | 110  | UNIT 101<br>ENTRY      | 3'-0" | 6'-8"  | C    | FB W/<br>FROSTED<br>GLASS | PAINTED |       | WOOD    | PAINTED | NR          |                | BY MANUF  | IN-SWING     |         |  |
| 111A                      | 110  | UNIT 101<br>REAR PATIO | 5'-0" | 6'-8"  | D    | FB                        | PAINTED |       | WOOD    | PAINTED | NR          |                | BY MANUF  | SLIDER       |         |  |
| 112A                      | 112  | (N)<br>BATHROOM        | 2'-8" | 6'-8"  | A    | SC WD W/SG<br>PANEL INSET | PAINTED |       | WOOD    | PAINTED | NR          |                | BY MANUF  | IN-SWING     |         |  |
| 113B                      | 113  | CLOSET                 | VIF   | 6'-8"  | A    | SC WD W/SG<br>PANEL INSET | PAINTED |       | WOOD    | PAINTED | NR          |                | BY MANUF  | DBL/ SLIDING |         |  |
| GROUND FLOOR-UNIT 102     |      |                        |       |        |      |                           |         |       |         |         |             |                |           |              |         |  |
| 120A                      | 120  | UNIT 102<br>ENTRY      | 3'-0" | 6'-8"  | C    | FB W/<br>FROSTED<br>GLASS | PAINTED |       | WOOD    | PAINTED | NR          |                | BY MANUF  | IN-SWING     |         |  |
| 121A                      | 121  | (N) BED<br>ROOM        | 2'-8" | 6'-8"  | A    | SC WD W/SG<br>PANEL INSET | PAINTED |       | WOOD    | PAINTED | NR          |                | BY MANUF  | IN-SWING     |         |  |
| 121B                      | 121  | CLOSET                 | VIF   | 6'-8"  | A    | SC WD W/SG<br>PANEL INSET | PAINTED |       | WOOD    | PAINTED | NR          |                | BY MANUF  | DBL/ SLIDING |         |  |
| 123A                      | 123  | (N)<br>BATHROOM        | 2'-8" | 6'-8"  | A    | SC WD W/SG<br>PANEL INSET | PAINTED |       | WOOD    | PAINTED | NR          |                | BY MANUF  | IN-SWING     |         |  |
| FIRST FLOOR- UNIT 103     |      |                        |       |        |      |                           |         |       |         |         |             |                |           |              |         |  |
| 130A<br>(60min)           | 130  | UNIT 103<br>ENTRY      | 2'-8" | 6'-8"  | B    | SC WD W/SG<br>PANEL INSET | PAINTED |       | WOOD    | PAINTED | 60 MIN      |                | BY MANUF  | IN-SWING     |         |  |
| 131A                      | 131  | (N) BED<br>ROOM        | 2'-8" | 6'-8"  | A    | SC WD W/SG<br>PANEL INSET | PAINTED |       | WOOD    | PAINTED | NR          |                | BY MANUF  | IN-SWING     |         |  |
| 131B                      | 131  | CLOSET                 | VIF   | 6'-8"  | A    | SC WD W/SG<br>PANEL INSET | PAINTED |       | WOOD    | PAINTED | NR          |                | BY MANUF  | DBL/ SLIDING |         |  |
| 132A                      | 132  | (N)<br>BATHROOM        | 2'-8" | 6'-8"  | A    | SC WD W/SG<br>PANEL INSET | PAINTED |       | WOOD    | PAINTED | NR          |                | BY MANUF  | IN-SWING     |         |  |
| FIRST FLOOR- (E) UNIT 104 |      |                        |       |        |      |                           |         |       |         |         |             |                |           |              |         |  |
| 140A<br>(60min)           | 140  | UNIT 104<br>ENTRY      | 2'-8" | 6'-8"  | B    | SC WD W/SG<br>PANEL INSET | PAINTED |       | WOOD    | PAINTED | 60 MIN      |                | BY MANUF  | IN-SWING     |         |  |
| 140B                      | 140  | CLOSET                 | 2'-8" | 6'-8"  | A    | SC WD W/SG<br>PANEL INSET | PAINTED |       | WOOD    | PAINTED | NR          |                | BY MANUF  | OUT-SWING    |         |  |
| 141A                      | 141  | (N) BED<br>ROOM        | 2'-8" | 6'-8"  | A    | SC WD W/SG<br>PANEL INSET | PAINTED |       | WOOD    | PAINTED | NR          |                | BY MANUF  | IN-SWING     |         |  |
| 141B                      | 141  | CLOSET                 | VIF   | 6'-8"  | A    | SC WD W/SG<br>PANEL INSET | PAINTED |       | WOOD    | PAINTED | NR          |                | BY MANUF  | DBL/ SLIDING |         |  |
| 142A                      | 142  | (N)<br>BATHROOM        | 2'-8" | 6'-8"  | A    | SC WD W/SG<br>PANEL INSET | PAINTED |       | WOOD    | PAINTED | NR          |                | BY MANUF  | IN-SWING     |         |  |



- [illegible]



- [illegible]



### HARDWARE NOTES:

1. HINGES TO MATCH DOOR KNOB AND LOCKSET.
2. ALL HARDWARE SHALL BE FLUSHED.
3. PRIVACY SET DOOR KNOB.
4. SINGLE KEYED DEAD BOLT W/ THUMB TURN.
5. BY DESIGNER/OWNER.

**ABBREVIATIONS:**

**CONSTRUCTION:**

|     |                  |
|-----|------------------|
| AL  | ALUMINUM         |
| HC  | HOLLOW CORE WOOD |
| SC  | SOLID CORE WOOD  |
| PN  | WOOD PANEL       |
| HM  | HOLLOW METAL     |
| ABS | LUSTRAN          |
| MF  | METAL FRAME      |
| VY  | VINYL            |
| SG  | SINGLE           |
| DBL | DOUBLE           |

FINI  
AC  
BSS  
FG  
GL  
PT  
S  
STL  
WD  
  
DOC  
NR  
R

ACRYLIC  
BRUSHED STAINLESS STEEL  
FIBERGLASS  
GLASS  
PAINT  
STONE  
STEEL  
WOOD

NOT RATE  
RATED

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# ACCESSORY DWELLING UNIT

FOR  
556-560 SCOTT STREET  
SAN FRANCISCO  
CA 94117

BLOCK: 0824  
LOT: 012



## REVISIONS

| NO.   | DATE     | DESCRIPTION                                   |
|---|----------|---|
|  | 02/13/20 | PERMIT SUBMITTAL                              |
|   | 08/21/20 | RESPONSE TO PLANNING<br>RECORD 2020-002304PIC |

## SHEET TITLE

# DOOR SCHEDULES & DETAILS

JOB NO: 16-110

SCALE: AS SHOWN      DATE: 08/21/20

DRAWN BY: DMA/HY/DRG

FILE: 16109\_A800.dwg

DRAWING NO: 22 OF 53

SHEET NO:

# A802





# SAN FRANCISCO PLANNING DEPARTMENT

## CEQA Categorical Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

|  |   |  |
|--|---|--|
| <b>Project Address</b>   |   | <b>Block/Lot(s)</b>                                  |
| 560 SCOTT ST   |   | 0824012  |
| <b>Case No.</b>  |   | <b>Permit No.</b>                                    |
| 2018-013643PRJ   |   | 201709158459   |
| <input checked="" type="checkbox"/> <b>Addition/<br/>Alteration</b>  | <input type="checkbox"/> <b>Demolition (requires HRE for<br/>Category B Building)</b> | <input type="checkbox"/> <b>New<br/>Construction</b> |
| <b>Project description for Planning Department approval.</b><br>The proposed project includes replacement and addition of wood-sash windows and doors and infilling a garage opening with wood cladding to accommodate the addition of 4 Accessory Dwelling Units (ADUs) per Ord. 162-16 and 2018-013643COA. |   |  |

### STEP 1: EXEMPTION CLASS

|  |  |
|--|--|
| <b>The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).</b> |  |
| <input checked="" type="checkbox"/>  | <b>Class 1 - Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.  |
| <input type="checkbox"/>   | <b>Class 3 - New Construction.</b> Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.   |
| <input type="checkbox"/>   | <b>Class 32 - In-Fill Development.</b> New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:<br>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.<br>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.<br>(c) The project site has no value as habitat for endangered rare or threatened species.<br>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.<br>(e) The site can be adequately served by all required utilities and public services.<br><b>FOR ENVIRONMENTAL PLANNING USE ONLY</b> |
| <input type="checkbox"/>   | <b>Class ____</b>  |

## STEP 2: CEQA IMPACTS

### TO BE COMPLETED BY PROJECT PLANNER

|   |   |
|---|---|
| <input type="checkbox"/>  | <b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)   |
| <input type="checkbox"/>  | <b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?<br><b>Note that a categorical exemption shall not be issued for a project located on the Cortese List if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap &gt; Maher layer).</b> |
| <input type="checkbox"/>  | <b>Transportation:</b> Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?  |
| <input type="checkbox"/>  | <b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)  |
| <input type="checkbox"/>  | <b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography). If yes, Environmental Planning must issue the exemption.  |
| <input type="checkbox"/>  | <b>Slope = or &gt; 25%:</b> Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) <b>If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</b>   |
| <input type="checkbox"/>  | <b>Seismic: Landslide Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</b>   |
| <input type="checkbox"/>  | <b>Seismic: Liquefaction Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.</b>  |
| <b>Comments and Planner Signature (optional):</b> Natalia Kwiatkowska |   |

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE**  
**TO BE COMPLETED BY PROJECT PLANNER**

**PROPERTY IS ONE OF THE FOLLOWING:** (refer to Property Information Map)

|                                     |  |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>   |
| <input type="checkbox"/>            | <b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>                  |
| <input type="checkbox"/>            | <b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b> |

**STEP 4: PROPOSED WORK CHECKLIST**  
**TO BE COMPLETED BY PROJECT PLANNER**

**Check all that apply to the project.**

|                          |  |
|--------------------------|--|
| <input type="checkbox"/> | 1. <b>Change of use and new construction.</b> Tenant improvements not included.  |
| <input type="checkbox"/> | 2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.  |
| <input type="checkbox"/> | 3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.   |
| <input type="checkbox"/> | 4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.  |
| <input type="checkbox"/> | 5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.   |
| <input type="checkbox"/> | 6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.   |
| <input type="checkbox"/> | 7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .  |
| <input type="checkbox"/> | 8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features. |

**Note: Project Planner must check box below before proceeding.**

|                                     |  |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | Project is not listed. <b>GO TO STEP 5.</b>                                    |
| <input type="checkbox"/>            | Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>    |
| <input type="checkbox"/>            | Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>   |
| <input type="checkbox"/>            | Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b> |

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW**  
**TO BE COMPLETED BY PROJECT PLANNER**

**Check all that apply to the project.**

|                                     |  |
|-------------------------------------|--|
| <input type="checkbox"/>            | 1. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.           |
| <input type="checkbox"/>            | 2. <b>Interior alterations to publicly accessible spaces.</b>  |
| <input checked="" type="checkbox"/> | 3. <b>Window replacement</b> of original/historic windows that are not "in-kind" but are consistent with existing historic character.                                  |
| <input checked="" type="checkbox"/> | 4. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.   |
| <input type="checkbox"/>            | 5. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.  |
| <input type="checkbox"/>            | 6. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings. |

|  |  |
|--|--|
| <input type="checkbox"/>   | 7. <b>Addition(s)</b> , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .  |
| <input type="checkbox"/>   | 8. <b>Other work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):  |
| <input type="checkbox"/>   | 9. <b>Other work</b> that would not materially impair a historic district (specify or add comments):<br><br>(Requires approval by Senior Preservation Planner/Preservation Coordinator)  |
| <input type="checkbox"/>   | 10. <b>Reclassification of property status.</b> (Requires approval by Senior Preservation Planner/Preservation<br><div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category A<br/>           a. Per HRER or PTR dated<br/>           b. Other (specify):         </div> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category C<br/>           (attach HRER or PTR)         </div> </div> |
| <b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.</b>  |  |
| <input checked="" type="checkbox"/>  | <b>Project can proceed with categorical exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. <b>GO TO STEP 6.</b>  |
| <b>Comments (optional):</b><br>proposal conforms with SOIS (proportions, materials, and dimensions) to convert garage, storage, and crawlspace to residential use, and is compatible with existing residential character of building and surrounding |  |
| <b>Preservation Planner Signature:</b> Natalia Kwiatkowska   |  |

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION**  
**TO BE COMPLETED BY PROJECT PLANNER**

|                                     |   |  |
|-------------------------------------|---|--|
| <input checked="" type="checkbox"/> | <b>No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.</b>   |  |
|                                     | <b>Project Approval Action:</b><br>Building Permit  | <b>Signature:</b><br>Natalia Kwiatkowska |
|                                     | If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.   | 08/25/2020                               |
|                                     | Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.<br>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action.<br>Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals. |  |

## STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

### TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

### MODIFIED PROJECT DESCRIPTION

Modified Project Description:

### DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

- |                          |  |
|--------------------------|--|
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code;   |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312;  |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)?   |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |

**If at least one of the above boxes is checked, further environmental review is required.**

### DETERMINATION OF NO SUBSTANTIAL MODIFICATION

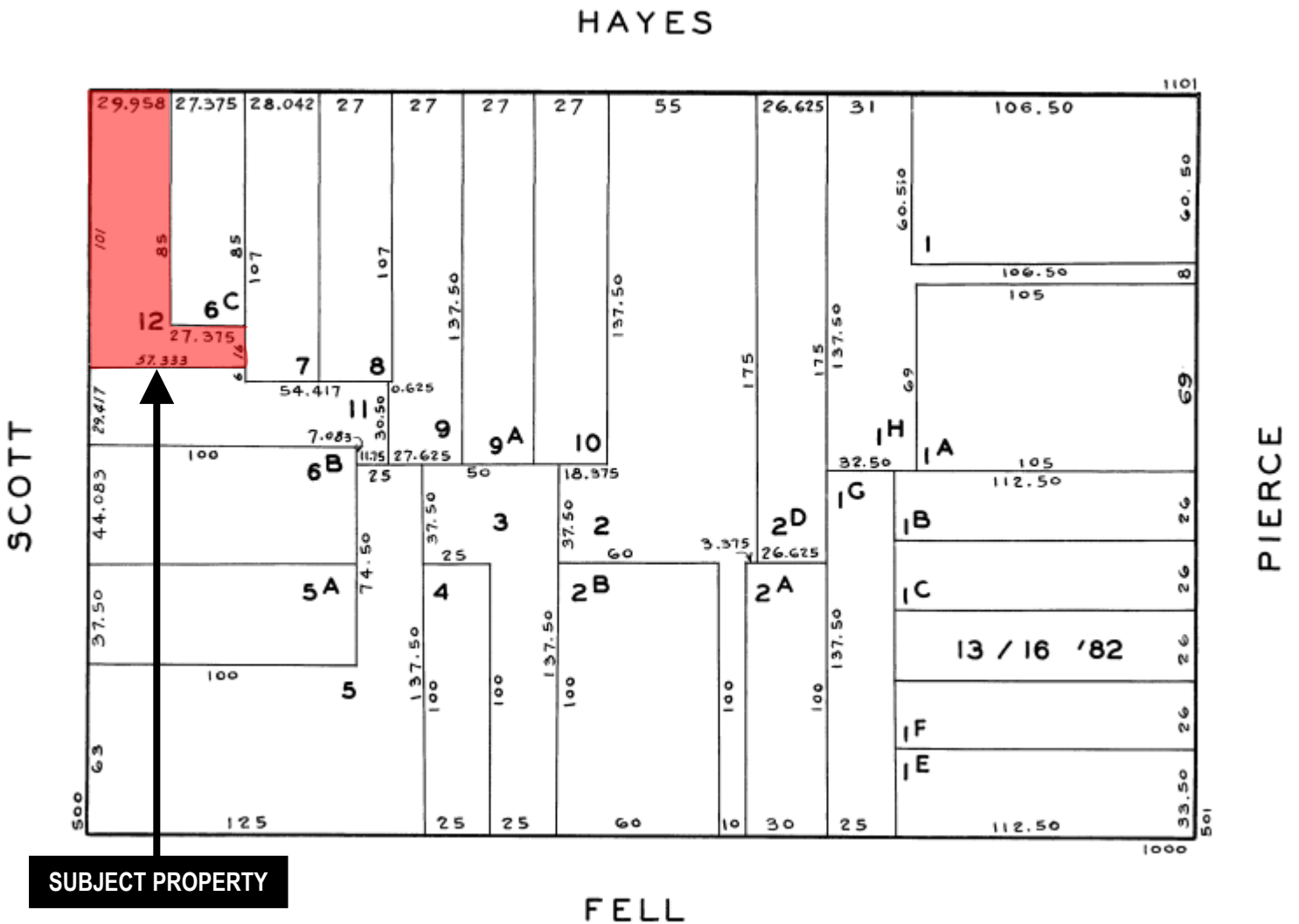
- |                          |   |
|--------------------------|---|
| <input type="checkbox"/> | The proposed modification would not result in any of the above changes. |
|--------------------------|---|

If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.

**Planner Name:**

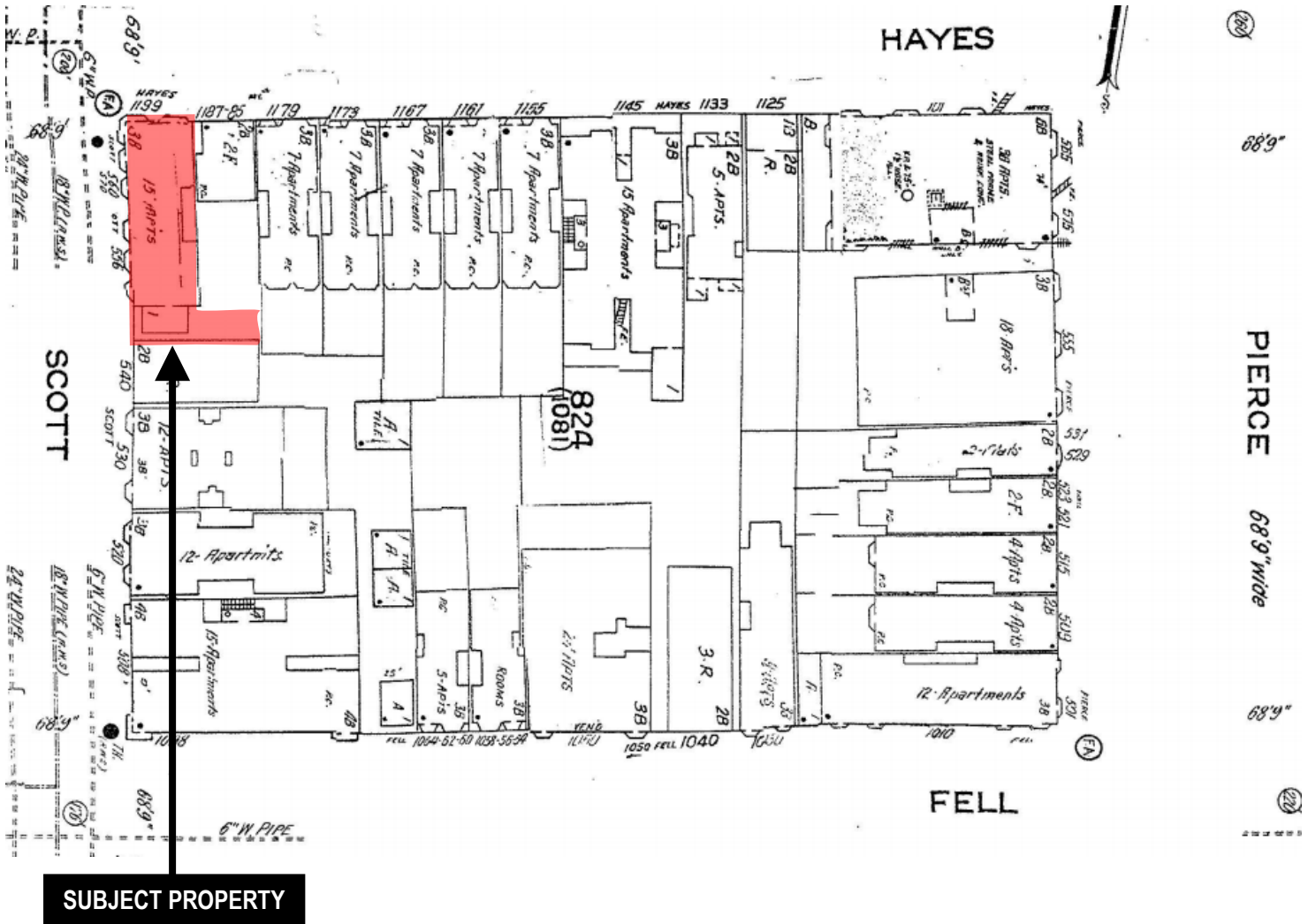
**Date:**

# Parcel Map



Certificate of Appropriateness Hearing  
**Case Number 2018-013643COA**  
 556-560 Scott Street  
 Block 0824 Lot 012

# Sanborn Map\*



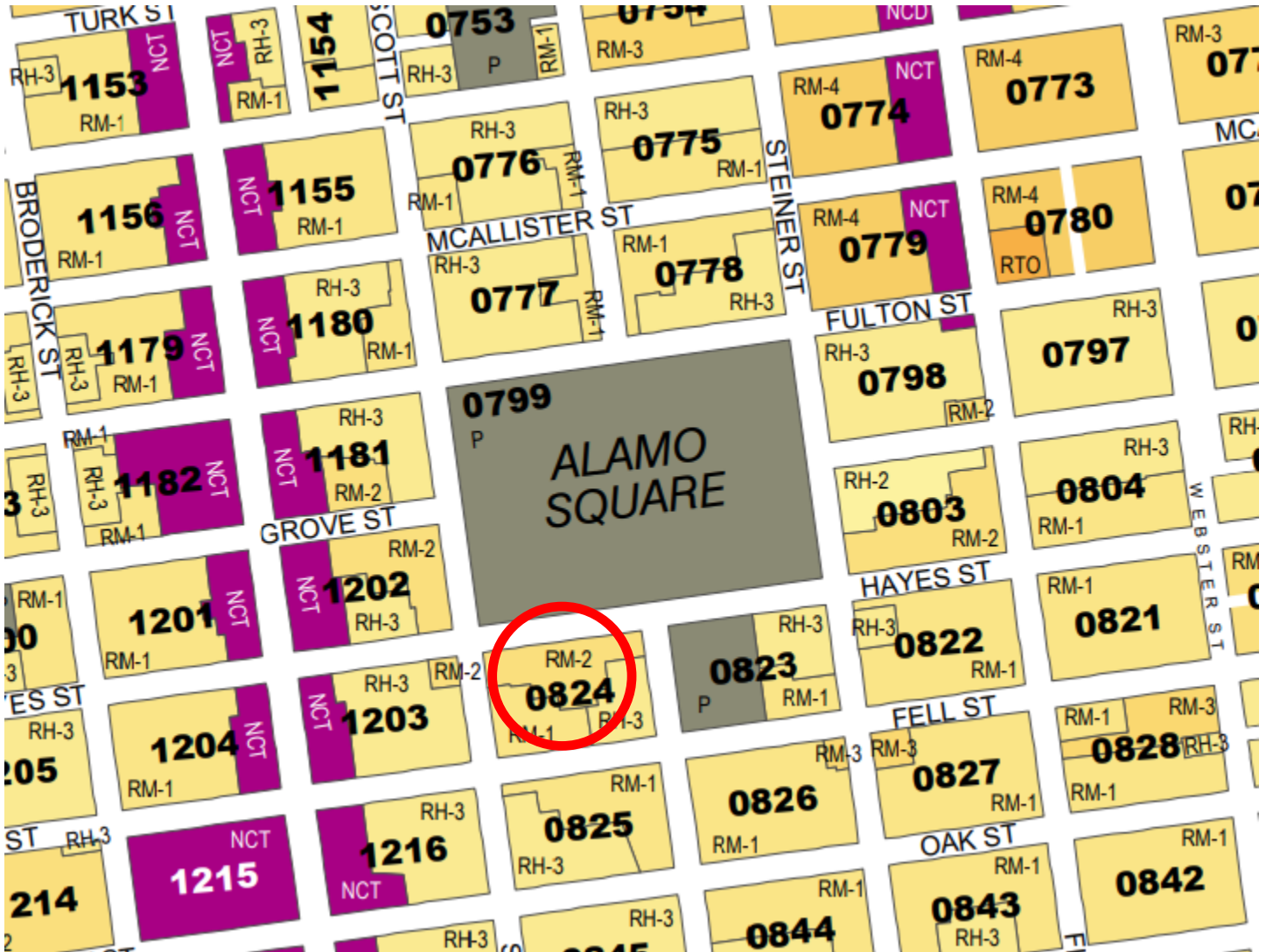
\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Certificate of Appropriateness Hearing  
Case Number 2018-013643COA  
556-560 Scott Street  
Block 0824 Lot 012



# Zoning Map



Certificate of Appropriateness Hearing  
Case Number 2018-013643COA  
556-560 Scott Street  
Block 0824 Lot 012



# Aerial Photo



**SUBJECT PROPERTY**

Certificate of Appropriateness Hearing  
Case Number 2018-013643COA  
556-560 Scott Street  
Block 0824 Lot 012



# Site Photo



**SUBJECT PROPERTY**

Certificate of Appropriateness Hearing  
Case Number 2018-013643COA  
556-560 Scott Street  
Block 0824 Lot 012

Property Address:      556-560 Scott St, San Francisco, CA 94117  
Block/Lot:              0824/012  
Permit Application #:    2020.0219.4869

August 24, 2020

## PROJECT BRIEF

This building is a multi-family apartment complex with an attached single-car garage, accessible via Scott Street. Located at the southwest corner of Alamo Square, on the corner of Scott and Hayes, the property's eastern facing facade contains both the building's main entrance for its residents and the solitary garage. The building is situated on an L-shaped lot, with the widest section extending behind the rear of the adjacent property (1185-1187 Hayes Street). It is because of this arrangement that the site provides a unique open space opportunity for a garage-to-ADU conversion.

As such, the project scope is to add (4) four new accessory dwelling units (ADU) within the existing building envelope. Two of which are to be placed within the building's storage area, with exposure to both Scott and Hayes Streets. A new mechanical room will be added amongst these two units. The remaining two ADUs will be created from the (E) garage structure on Scott Street, and extended below (E) first floor unit. Due to the sloped site, we are able to meet exposure for the ADU facing Scott Street. At the back of the garage, we will provide an enclosed shed for toters.

Currently the building fenestration on the first level is haphazardly placed and the wood frames are in poor condition. Thus, as well as the ADU scope of the project, all (E) first floor windows will be replaced by the same pre-existing Marvin all-wood windows. These windows will be aligned with the bays above and proportionally sized to maintain architectural uniformity. Specifically:

- (2) (E) casement windows along Haye Street will be replaced by an in-swing hopper and (2) casement windows, all aligning with the openings above.
- On Scott Street, (3) (E) casement windows will be replaced by three operable casement windows, again, all aligning with the openings above.
- Every first floor unit single hung windows will also be replaced in kind with ogee lugs.
- The garage ADU facing Scott Street will have (4) operable windows that align with those situated on the first floor unit above.
- Finally, the (E) wood panel garage door will be replaced by (2) new single hung windows with ogee lugs, to match the ground floor unit.

The (E) garage roof will be leveled while maintaining the same roof line along street front. The existing side wood security gate will remain as the common access to rear yard by all tenants.

UPDATE:

Tenant at Unit 303 (Philip White) – current renter of the garage

- Owner explained the project scope to tenant, and they tenant reached an agreement on rent deduction in exchange for the garage returning to owner for the ADU development. Attaching email confirmation of this settlement.

Tenant at 556 Scott (Adam Winchester) – first floor tenant next to the garage

- Tenant noted the original submitted plan mistakenly removed his rear door to the rear yard. The plans has since been corrected.
- Tenant also request continue access to the rear yard thru his rear door. While owner confirmed he does not have sole access to the rear yard per his rental agreement, they're willing to honor his request. We are providing an internal spiral stair at the same location as his rear door so he can have this additional access. Attaching signed agreement with tenant.

Neighbor on 1179 Hayes (John Dallas)

- Neighbor concerns about proposed ADUs has property line windows that open into his rear yard. We email confirmed our shared property line is at our rear yard and our building is 27.5 ft away from his rear yard.

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**556-560 Scott Street**

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**Robb Fleischer** <rfleischer@amsiemail.com>

Wed, Aug 12, 2020 at 11:48 AM

To: Dawn Ma &lt;dma@que-arch.com&gt;, Jennifer Berg &lt;jberg@amsiemail.com&gt;

Dawn, Here is the email chain from Philip White. Ultimately, we will do a lease addendum on the undetermined start date but this email chain shows his proposal and our acceptance. Is this sufficient?

----- Forwarded message -----

From: **Robb Fleischer** <rfleischer@amsiemail.com>

Date: Fri, Aug 7, 2020 at 10:00 AM

Subject: Re: 556-560 Scott Street

To: Philip White &lt;philwhite88@hotmail.com&gt;

Hi Philip,

I hope that you are doing well and managing well during these challenging times.

To give you an update: We still do not have all of our estimates and financing in place to pursue the 4 units, however, we are reasonably confident that we'll be forging ahead with that direction.

Your proposal of \$154.00 or 25% of today's rent, or proration thereof reflecting any annual increase on the determined effective date is agreeable to us.

We will continue to communicate with you as the details and project plan continue to formulate.

Thank you,

Robb

On Thu, May 28, 2020 at 2:35 PM Robb Fleischer <rfleischer@amsiemail.com> wrote:

Hi Philip,

Thanks for your reply to my email.

I understand this morning that the hearing has been postponed until July 15th. We will use this time to obtain additional bids for the 2 vs. 4 units, which is essential for us. Although on the surface it would appear that a recoup of the expense would be easily achieved, this won't occur

for a number of years, on the other hand, it does not make sense to make sense to organize a sizable investment without looking at the future needs of the building.

Sorry about the perceived lack of communication. We simply did not have enough data yet to initiate any succinct conversations, but apparently the requirement to comply with the permits for the seismic soft story work required the posting of the ADU drawings as well.

I appreciate your thoughtful proposal regarding the garage. I am both pleased and confident that you and I will arrive at a conclusion, and I'll circle back to you once we have more numbers and cost options to review.

Martin Deets. That takes us back years (I won't say decades). I was living on Scott between Fulton and Grove during those years, when most friends questioned my choice of neighborhoods.

Thanks again for reaching out. We will follow up with you soon.

Thanks, Robb

On Sat, May 23, 2020 at 12:48 PM Philip White <[philwhite88@hotmail.com](mailto:philwhite88@hotmail.com)> wrote:

May 23, 2020

Hello Robb,

Thank you for your letter this past Thursday. It was good to hear from someone, in either ownership or management, reply to my questions as they have been ignored up until now. Your letter clearly explained your plans and positions and I appreciate your frankness and honesty. I understand that retro-fitting is a costly undertaking and constructing four new apartments should recoup this expenditure for both Zoya and yourself.

To be honest I understand your position and was mostly perturbed about the lack of outreach to the affected tenants. We saw a notice one day informing us of a final hearing in three weeks to decide our collective futures by telephone by the Historic Preservation Commission. My emails to AMSI went unanswered and I felt uneasy about their motives.

I think the most reasonable way to handle my situation is to simply reduce my rent; subtracting the percentage of the garage from the total rent paid by me.

My rent in 1984 was \$225.00 and rent increased to \$234.00 on April 1st, 1985. I was doing maintenance in the building at the time in exchange for use of the garage. Shortly thereafter Martin Deets, the property manager from Heritage West, told me they wanted to terminate our arrangement and start charging me \$60.00 rent for the garage. I complied and my rent was increased to \$294.00. This amount, combined with the apartment rent, was raised concurrently every year up to the present date. I estimate this would result in a 25% reduction, or \$154.00 to my present rent.

I realize my rent is lower than other residents' but I have lived here since the neighborhood was dangerous and not very desirable. Before Facebook, Google, or even computers for that matter, and the income of my neighbors has increased dramatically, as I have retired. I believe this is a win-win, as you will not have to outlay any capital and I get a fair settlement I can live with.

Please let me know your thoughts.



best,  
Philip White  
415 864 5089

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**From:** Robb Fleischer <[rfleischer@amsiemail.com](mailto:rfleischer@amsiemail.com)>  
**Sent:** Thursday, May 21, 2020 4:53 PM  
**To:** [philwhite88@hotmail.com](mailto:philwhite88@hotmail.com) <[philwhite88@hotmail.com](mailto:philwhite88@hotmail.com)>  
**Cc:** Jennifer Berg <[jberg@amsiemail.com](mailto:jberg@amsiemail.com)>  
**Subject:** [556-560 Scott Street](#)

Correspondence Attached

--

Robb C. Fleischer



## AMSI Real Estate Services

California Real Estate License #01403882

[415-447-2009](tel:415-447-2009)

[2800 Van Ness Avenue](#)  
[San Francisco CA 94109](#)



**Showing you the Way Home, Nationwide**

At AMSI, we believe that a first impression is a lasting impression, and our primary goal is to provide a quality experience and excellent service from start to finish.



August 12, 2020

In response to objection by Tenant Adam Winchester of [556 Scott Street, San Francisco, CA](#) for Accessory Dwelling Unit Plans for [556-560 Scott Street, Block 0824, Lot 12](#), the property owner has made modifications to the plans acceptable to Adam Winchester with the placement of a deck and circular staircase providing continued access to the back yard and addressing the alternative ingress and egress concerns expressed.

*Adam Winchester*

08-12-2020 10:34 AM PDT

Adan Winchester, Tenant  
556 Scott Street  
San Francisco, CA. 94117