



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Executive Summary

HEARING DATE: JANUARY 15, 2020

Record No.: 2018-010825COA
Project Address: 694 TENNESSEE STREET
Landmark: Contributor, Dogpatch Landmark District
Zoning: RH-2 (RESIDENTIAL-HOUSE, TWO FAMILY) Zoning District
40-X Height and Bulk District
Block/Lot: 3996/007
Project Sponsor: Skylar Hall
2906 Van Ness Avenue
San Francisco, CA 94109
Staff Contact: Monica Giacomucci - 415-575-8714
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PROPERTY DESCRIPTION

694 TENNESSEE STREET is located on the west side of Tennessee Street between 18th and Mariposa streets (Assessor's Block 3996; Lot 007). The subject building is a contributor to the Dogpatch Landmark District, locally designated under Article 10, Appendix L of the Planning Code.

The Italianate-style, two-story-over-basement, mixed-use building was constructed circa 1884 according to Spring Valley Water Company tap records. The corner property was used historically as a shop and saloon, and one dwelling unit was added sometime between 1915 and 1950. The wood-frame building is designed in an Italianate style, with wood channel-drop siding, second-floor boxed bays, wood segmental-arch windows, and a projecting cornice with paneled frieze.

PROJECT DESCRIPTION

The proposal includes rehabilitation of the exterior channel-drop wood clapboard siding and replacement of deteriorated clapboards in limited areas. Replacement cladding will total approximately 910 square feet in surface area in aggregate (157 sq. ft. on the west façade, 273 sq. ft. on the east façade, 417 sq. ft. on the south façade, and 63 sq. ft. on the north façade) and will match the existing painted wood channel-drop siding fully in-kind. Existing deteriorated wood windows will be rehabilitated or replaced in-kind where deteriorated beyond repair on the west and south facades. At the rear, existing windows and doors will be removed, and new wood windows and sliding doors will be installed. At the second floor of the rear facade, a small wood deck with a spiral stair leading to the rear yard will be constructed. The stair requires a 20-foot firewall at the shared north property line. Construction of a sunken patio at the basement level and interior work in the second-floor dwelling unit are also proposed. No work is proposed for the garage located at the rear of the property.

COMPLIANCE WITH PLANNING CODE

Planning Code Development Standards.

The proposed project requires a Rear Yard Variance from the Zoning Administrator. All required applications are on file with the Planning Department.

In order to proceed, a building permit from the Department of Building Inspection is required.

Applicable Preservation Standards.

The proposal overall is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 1006.6 of the Planning Code, and complies with the *Secretary of the Interior's Standards for Rehabilitation*, in that:

- the proposal will repair and selectively replace deteriorated wood siding and rehabilitate deteriorated wood windows;
- the proposed rear deck and stair will be located on the north side of the rear façade so as to minimize their visibility from the public right-of-way;
- new windows and doors on the rear façade will be wood and therefore consistent with the materiality of existing historic fenestration;
- the proposal respects the character-defining features of the subject building;
- the architectural character of the subject building will be maintained and that replacement elements will not affect the building's overall appearance;
- the integrity of distinctive stylistic features and examples of skilled craftsmanship that characterize the building shall be preserved; and,
- all new materials shall match the historic material in composition, design, color, texture, finish and other visual qualities and shall be based on accurate duplication of features.

The Department has determined that the proposed work will be in conformance with the requirements of Article 10 and the *Secretary of Interior's Standards for Rehabilitation*. Proposed work will not damage or destroy distinguishing original qualities or character of the subject building. The overall proposal includes repair and selective replacement of the wood channel-drop siding, rehabilitation of wood segmental arch windows, installation of new wood windows and doors at the visible rear façade, and construction of a new wood deck and spiral stair at the rear. The Department finds that the historic character of the building will be retained and preserved, and the project will not result in the removal of historic fabric.

PUBLIC/NEIGHBORHOOD INPUT

The Department has received one public inquiry for general information about the proposed project.

ISSUES & OTHER CONSIDERATIONS

- The Project requires a Variance from the rear yard requirement under Section 134 of the Planning Code. The proposed rear spiral stair and firewall intrude into the required rear yard.

- The property has active Enforcement under Planning Department Complaint No. 2018-008993ENF for construction without a permit. The proposed work under this Record No. 2018-010825COA will abate the violation.

CONDITIONS OF APPROVAL

1. If additional windows require repair or replacement beyond what is identified in the proposed plans, the Project Sponsor will submit a consultant-prepared Window Conditions Assessment for any windows found to be deteriorated beyond repair during the rehabilitation process for review and comment by Department Preservation Staff. This additional work shall be documented in a new building permit application. Only those windows found to be deteriorated beyond repair in the Conditions Assessment will be eligible for full replacement in-kind.
2. The Project Sponsor shall coordinate a site visit with Planning Department Preservation and/or Enforcement Staff prior to occupancy to ensure compliance with project plans and conditions of approval, and to confirm abatement of the violation.

ENVIRONMENTAL REVIEW STATUS

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

BASIS FOR RECOMMENDATION

The Department recommends APPROVAL WITH CONDITIONS of the proposed project as it meets the provisions of Article 10 of the Planning Code regarding Major Alteration to a contributing resource in a Landmark District and the *Secretary of the Interior Standards for Rehabilitation*.

ATTACHMENTS

Draft Motion – Certificate of Appropriateness
Exhibit A – Conditions of Approval
Exhibit B – Plans and Renderings
Exhibit C – Environmental Determination
Exhibit D – Maps and Context Photos



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Draft Motion

HEARING DATE: JANUARY 15, 2020

Record No.: 2018-010825COA
Project Address: 694 TENNESSEE STREET
Landmark: Contributor, Dogpatch Landmark District
Zoning: RH-2 (RESIDENTIAL-HOUSE, TWO FAMILY) Zoning District
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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR MAJOR ALTERATIONS DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10 OF THE SAN FRANCISCO PLANNING CODE, AND TO MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 007 IN ASSESSOR'S BLOCK 3996 IN A RH-2 RESIDENTIAL-HOUSE, TWO FAMILY ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On July 30, 2018, Skylar Hall (hereinafter "Project Sponsor") filed Application No. 2018-010825COA (hereinafter "Application") with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness for an exterior restoration and rear decks at a subject building located on Lot 007 in Assessor's Block 3996, which is a contributing resource to Dogpatch Landmark District and locally designated under Article 10, Appendix L of the Planning Code.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

On January 15, 2020, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Certificate of Appropriateness Application No. 2018-010825COA.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2018-010825COA is located at 1650 Mission Street, Suite 400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby APPROVES WITH CONDITIONS the Certificate of Appropriateness, as requested in Application No. 2018-010825COA in conformance with the architectural plans dated December 15, 2019, and labeled Exhibit B based on the following findings:

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. **Project Description.** The proposal includes rehabilitation of the exterior channel-drop wood clapboarding and replacement of deteriorated clapboarding in limited areas. Replacement cladding will total approximately 910 square feet in surface area in aggregate (157 sq. ft. on the west façade, 273 sq. ft. on the east façade, 417 sq. ft. on the south façade, and 63 sq. ft. on the north façade) and will match the existing painted wood channel-drop siding fully in-kind. Existing deteriorated wood windows will be rehabilitated or replaced in-kind where deteriorated beyond repair on the west and south facades. At the rear, existing windows and doors will be removed, and new wood windows and sliding doors will be installed. At the second floor of the rear facade, a small wood deck with a spiral stair leading to the rear yard will be constructed. The stair requires a 20-foot firewall at the shared north property line. Construction of a sunken patio at the basement level and interior work in the second-floor dwelling unit are also proposed. No work is proposed for the garage located at the rear of the property. Please see photographs and plans for details.
3. **Property Description.** 694 Tennessee Street is located on the west side of Tennessee Street between 18th and Mariposa streets (Assessor's Block 3996; Lot 007). The subject building is a contributor to the Dogpatch Landmark District, locally designated under Article 10, Appendix L of the Planning Code. The building was constructed in the Italianate style circa 1884 according to Spring Valley Water Tap records.
4. **Surrounding Properties and Neighborhood.** The Dogpatch Landmark District is a nine-block enclave of early industrial workers' housing and related industrial buildings located in the Central Waterfront area. The neighborhood is primarily comprised of single-family residential cottages and multi-family residential flats, as well as commercial, industrial, and civic buildings. Dogpatch is significant as San Francisco's oldest and most intact surviving concentration of Victorian-era housing for industrial workers and as one of the city's last remaining mixed-use industrial and residential areas. Most of the early residents of Dogpatch were American-born skilled craftsmen employed at Potrero Point's boatyards or as foremen at large waterfront industrial outfits such as San Francisco Cordage or the Pacific Rolling Mill Company. Dogpatch became a small, self-contained community with a "company town" feel, leading to the establishment of neighborhood-

serving shops concentrated along commercial corridors such as Solano Street (now 18th Street) and Sierra Street (now 22nd Street).

Between Mariposa and 19th streets, Tennessee Street is characterized by a mixture of residential and industrial buildings constructed between ca. 1880 and 1999. The property immediately north of the subject property at 690 Tennessee Street is a former pump repair shop constructed in 1949. It has since been converted to warehouse and commercial uses. As the subject property is located at the corner of 18th and Tennessee streets, it has no adjacent neighbor to the south.

5. **Public Outreach and Comments.** The Department has received public correspondence from one individual with a request for general information about the project.
6. **Planning Code Compliance.** The Commission has determined that the proposed work is compatible with the exterior character-defining features of the subject property and meets the requirements of Article 10 of the Planning Code in the following manner:

- A. **Article 10 of the Planning Code.** Pursuant to Section 1006.6 of the Planning Code, the proposed alteration shall be consistent with and appropriate for the effectuation of the purposes of this Article 10.

The proposed project is consistent with Article 10 of the Planning Code.

- B. **Secretary of the Interior's Standards.** Pursuant to Section 1006.6(b) of the Planning Code, the proposed work shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties for significant and contributory buildings, as well as any applicable guidelines, local interpretations, bulletins, or other policies. Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

- (1) **Standard 1:** A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

No change of use is proposed as part of the project. The subject property was historically used as a commercial space, with a residential unit added in the first half of the 20th century. The subject property will maintain its commercial uses at the basement and ground floors, and the dwelling unit at the second floor will also remain as part of the proposed project.

- (2) **Standard 2:** The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposal includes repair and selective in-kind replacement of historic wood channel-drop siding. Likewise, second-story wood segmental-arch double-hung windows with ogee lugs will be

rehabilitated to preserve a character-defining feature of the subject property. The windows and doors proposed for removal on the rear façade date from various eras of the building's history and are only partially visible from the public right-of-way. The removed wood deck at the rear was built within the last 30 years, according to Sanborn Maps. No character-defining features of the subject building will be removed or damaged as part of the proposed project.

- (3) **Standard 3:** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.

The work proposed on primary facades is limited to rehabilitation or selective in-kind replacement of existing historic features. On the rear façade, which is partially visible from the public right-of-way, new windows and doors are proposed, as are a new deck, spiral stair, firewall, and balcony. The proposed new wood doors and windows have square heads and clear glazing to appropriately coordinate with the original doors and segmental-arch windows found elsewhere on the building without directly mimicking historic features. The proposed deck, stair, firewall, and balcony are also designed in a simple manner to avoid conferring a false sense of historic development at the subject property.

- (4) **Standard 4:** Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Not Applicable.

- (5) **Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property shall be preserved.

The distinctive features and finishes of the building will be retained and preserved. The second-story wood segmental-arch windows and their decorative hoods represent a distinctive example of late 19th-century construction techniques. These features will be rehabilitated, with only their most deteriorated elements removed and replaced through Dutchman repairs.

- (6) **Standard 6:** Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The project proposes to rehabilitate the building's existing distinctive wood windows and window hoods. A total surface area of 910 square feet of heavily deteriorated siding will be removed and replaced in-kind with wood channel-drop siding. Areas of new siding will match the existing siding in profile and clapboard width, thereby matching the historic siding in design and texture. No missing or conjectural features are proposed for replacement.

- (7) **Standard 7:** Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Not Applicable.

- (8) **Standard 8:** Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Not Applicable.

- (9) **Standard 9:** New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The project proposes to install two new windows at the rear façade which will be differentiated from existing wood double hung windows, including distinctive segmental-arch windows, on the 18th Street and Tennessee Street building facades. The new windows will be wood to ensure material compatibility but will feature square headers to distinguish them from the historic windows elsewhere on the building. Likewise, the proposed rear façade doors will be wood with full clear glazing to ensure that they are compatible with but differentiated from the paneled wood door on the 18th Street façade. The new deck, stairs, and balconies are designed in simple expression to differentiate these features from the historic resource. The new sunken patio is not visible from the street and will pave over an unimproved rear yard area. None of the proposed rear façade features will create a false sense of historical development at the subject property.

- (10) **Standard 10:** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The new deck, stair, balcony, and firewall will not damage existing historic wood siding on the rear façade, and these proposed elements could be easily removed in the future with minimal to no impact to the building.

- C. **Findings in the Dogpatch Landmark District.** Appendix L of Article 10 of the Planning Code outlines specific findings for the Commission to consider when evaluating applications for alterations to buildings within the boundaries of the Dogpatch Landmark District.

1. Pursuant to Section 1006.6(d) of the Planning Code, for applications pertaining to property in historic districts, other than on a designated landmark site, any new construction, addition or exterior change shall be compatible with the character of the historic district as described in the designating ordinance; and, in any exterior change, reasonable efforts shall be made to preserve, enhance or restore, and not to damage or

destroy, the exterior architectural features of the subject property which are compatible with the character of the historic district.

The project is in conformance with Article 10, and as outlined in Appendix A, as the work shall not adversely affect the Landmark site.

2. Pursuant to Section 1006.6(e) of the Planning Code, for applications pertaining to all property in historic districts, the proposed work shall also conform to such further standards as may be embodied in the ordinance designating the historic district.

The project is in conformance with Article 10, and as outlined in Appendix L, as the work is compatible with the Landmark district. Specifically, the Project meets the standards for review of Residential – Alterations and New Construction, as described in Section 7(b) of Appendix L of Article 10 of the Planning Code, as follows:

1. False Historicism. False historicism and the conjectural replication of historic styles and details is discouraged; if restoration is the selected alteration approach, historic documentation through original architectural plans, historic photographs, or physical investigation will be required. Where original plans or historic photographs are unavailable, close physical examination of the building and existing scar traces, along with a comparison to buildings of the same age and style in the neighborhood, may be sufficient to reveal evidence necessary to guide the restoration.

The project does not include full restoration; rather, existing historic windows and siding will be rehabilitated and/or selectively replaced. The project does not require physical investigation.

2. Materials. Horizontal rustic wood siding is the traditional cladding material in the district and its use is encouraged over other cladding materials, including wood shingles (except where appropriate).

Existing wood siding will be repaired and selectively replaced (a total of 910 square feet replaced in aggregate across all four building facades). No other cladding materials are proposed for installation as part of this project.

3. Fenestration. Fenestration should be proportionate and in scale with traditional patterns within the district. Double-hung wood sash windows are encouraged over vinyl or metal sash windows. "Slider" windows of vinyl or aluminum construction are discouraged, especially on primary facades. True divided lites, rather than snap-in or faux muntins, are encouraged when divided lite wood windows are appropriate.

New windows will be wood double-hung to match the existing windows at the subject property. The Commission has included a Condition of Approval regarding the future

repair of other windows on the subject building, which may be deteriorated and/or requiring repair.

4. Style. New construction in a contemporary, yet compatible, idiom is encouraged.

The project does not propose new construction. The new deck, spiral stair, and balcony has been designed in a simple, utilitarian style that is differentiated from and compatible with the subject property and the Dogpatch Landmark District.

5. Scale and Proportion. New construction must be compatible with the massing, size, scale and architectural details of residential resources found in the district.

Not Applicable.

6. Setbacks. New construction should conform to existing setback patterns found in the district.

Not Applicable.

7. Roofline. Gabled roof forms and raised parapets are encouraged on new construction.

Not Applicable.

8. Detailing. Detailing on new construction should relate to the simple, traditional vernacular forms found in the district.

Not Applicable.

7. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2:

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

Policy 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

Policy 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject property for the future enjoyment and education of San Francisco residents and visitors.

8. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have an impact on neighborhood-serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not affect the City's affordable housing supply.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. Any future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project does not include commercial office development and will not have a direct impact on the displacement of industrial and service sectors.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake:

All construction will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

9. For these reasons, the proposal overall, appears to meet the *Secretary of the Interior's Standards* and the provisions of Article 10 of the Planning Code regarding Major Alterations.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES WITH CONDITIONS a Certificate of Appropriateness** for the subject property located at Lot 007 in Assessor's Block 3996 for proposed work in conformance with the architectural submittal dated November 21, 2012 and labeled Exhibit B on file in the docket for Record No. 2018-010825COA.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days after the date of this Motion No. XXXXXX. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 1650 Mission Street, (Room 304) or call (415) 575-6880.

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on January 15, 2020.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: January 15, 2020

EXHIBIT A

AUTHORIZATION

This authorization is for a Certificate of Appropriateness to allow Alterations located at **694 Tennessee Street**, Lot 007 in Assessor's Block 3996, pursuant to Planning Code Section(s) **1006** within the **RH-2** District and a **40-X** Height and Bulk District; in general conformance with plans, dated **December 15, 2019**, and stamped "EXHIBIT B" included in the docket for Record No. **2018-010825COA** and subject to conditions of approval reviewed and approved by the Historic Preservation Commission on **XXXXXX** under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Historic Preservation Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Certificate of Appropriateness and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Historic Preservation Commission approval of a new Certificate of Appropriateness. In instances when Planning Commission also reviews additional authorizations for the project, Planning Commission may make modifications to the Certificate of Appropriateness based on majority vote and not required to return to Historic Preservation Commission.

CONDITIONS OF APPROVAL

1. If additional windows require repair or replacement beyond what is identified in the proposed plans, the Project Sponsor will submit a consultant-prepared Window Conditions Assessment for any windows found to be deteriorated beyond repair during the rehabilitation process for review and comment by Department Preservation Staff. This additional work shall be documented in a new building permit application. Only those windows found to be deteriorated beyond repair in the Conditions Assessment will be eligible for full replacement in-kind.
2. Planning Department Preservation and/or Enforcement Staff shall conduct periodic monitory and/or site visits to ensure proper detailing of rehabilitated windows and siding, and to confirm abatement of the violation.

PROJECT INFORMATION

SCOPE OF WORK

THE EXISTING BUILDING IS A MIXED USE 2 STORY STRUCTURE WITH A BASEMENT. THE BASEMENT & FIRST FLOOR IS COMMERCIAL SPACE. THE SECOND FLOOR IS A SINGLE FAMILY DWELLING UNIT.

PROJECT SCOPE OF WORK:

- 1. INTERIOR RENOVATION OF DWELLING UNIT ON THE SECOND FLOOR. THE ADDRESS OF THIS UNIT IS 704 18TH STREET.
- 2. HISTORIC REHABILITATION OF EXISTING DETERIORATED WOOD WINDOW SYSTEMS & EXTERIOR FINISHES (WOOD SIDING, TRIM, MOULDING, ETC.) REPLACE IN-KIND. (NOV #2018-008993ENF) EXISTING WINDOWS HAVE NOT BEEN REMOVED.
- 3. REAR BUILDING FENESTRATIONS, DECK & SUNKEN PATIO.
- 4. CATALOGGING ALL THE PREVIOUS REMODELLING WORK TO CONFIRM COMPLIANCE WITH PRESERVATION GUIDELINES FOR HISTORIC STRUCTURES

OWNER: CHRIS MCCAFFREY

PROJECT CONTACT: ONE DESIGN
PO. BOX 40606
SAN FRANCISCO, CALIFORNIA

94140 (415) 828-4412
info@onedesignsnf.com

BLOCK NUMBER: 3996
LOT NUMBER: 007
AUTHORITY: CITY & COUNTY OF SAN FRANCISCO
APPLICABLE CODE: 2016 CALIFORNIA BUILDING CODE WITH SFBC AMENDMENTS

ZONING DISTRICT: RH-2
CONSTRUCTION: TYPE V.
EXISTING NUMBER OF STORIES: 2
PROPOSED NUMBER OF STORIES: 2 (NO CHANGE)

HISTORIC DESIGNATION: CATAGORY A

AREA CALCULATIONS

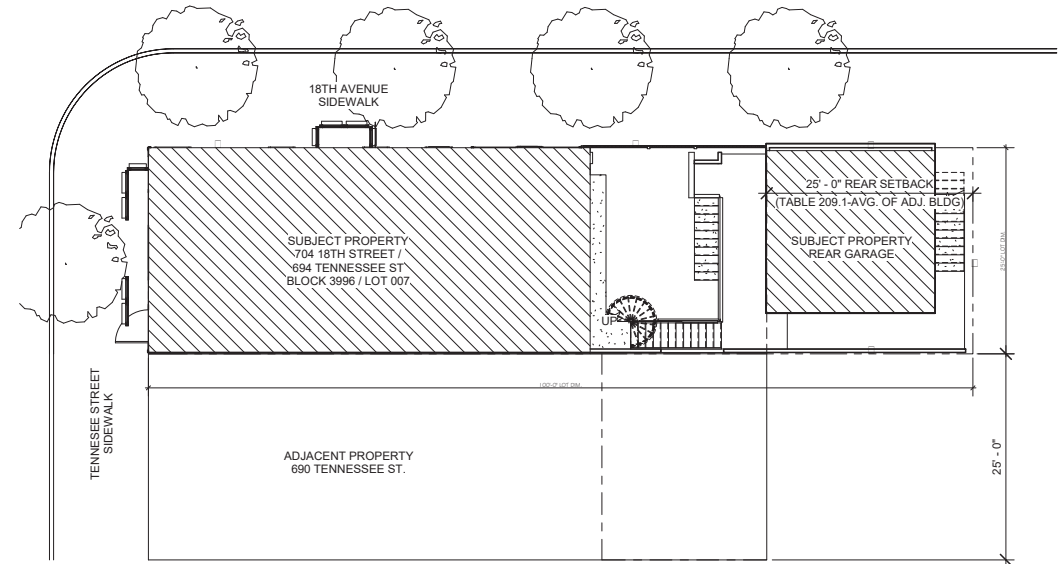
EXISTING		
BASEMENT:	CONDITIONED 1,312 SF	NON-CONDITIONED 368 SF (STORAGE)
FIRST FLOOR:	1,298 SF	401 SF (GARAGE)
SECOND FLOOR:	1,363 SF	
TOTAL:	3,973 SF	801 SF
PROPOSED		
BASEMENT:	CONDITIONED 1,312 SF	NON-CONDITIONED
GARDEN UNIT:	368 SF	
FIRST FLOOR:	1,298 SF	401 SF (GARAGE)
SECOND FLOOR:	1,382 SF	
TOTAL:	4,341 SF	401 SF

SEE SHEET A1.0 FOR DEMOLITION & EXISTING FLOOR PLAN CALCULATIONS.

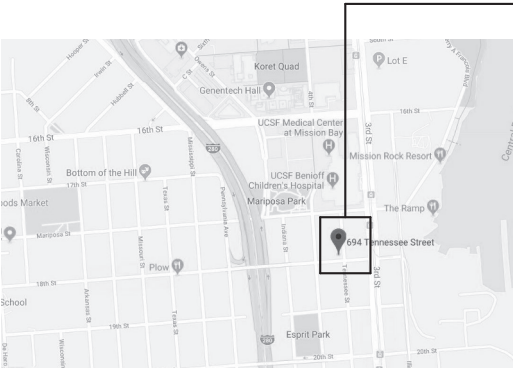
DRAWING SYMBOLS

- BUILDING ELEVATION TAG
- BUILDING SECTION TAG
- WINDOW / STOREFRONT TAG
- DETAIL TAG
- INT. WALL TYPE TAG (NUMBERS)
- LOWER CASE LETTER DENOTES SUBCATEGORY
- EXT. WALL TYPE TAG (LETTERS)
- KEY NOTE
- DOOR TAG
- PROPERTY LINE

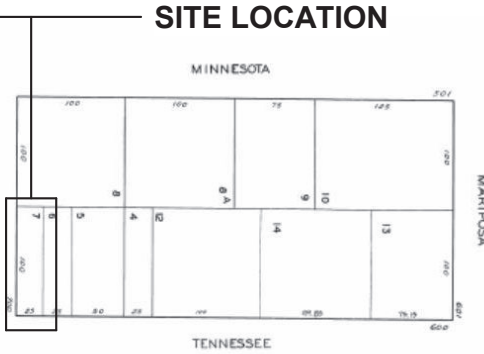
BUILDING RENOVATION FOR
704 18TH / 694 TENNESSEE ST.
SAN FRANCISCO, CA 94107



2 SITE PLAN
3/32" = 1'-0"



VINCINITY MAP



ASSESSOR'S MAP

SHEET INDEX

- ARCHITECTURAL
- A0.0 - TITLE SHEET
 - A1.0 - EXISTING & DEMOLITION PLAN CALCULATIONS
 - A2.0 - DEMOLITION & PROPOSED BASEMENT FLOOR PLAN
 - A2.1 - DEMOLITION & PROPOSED GROUND FLOOR PLAN
 - A2.2 - DEMOLITION & PROPOSED 2ND FLOOR PLAN
 - A3.0 - DEMOLITION & PROPOSED WEST ELEVATION (TENNESSEE STREET)
 - A3.1 - DEMOLITION & PROPOSED SOUTH ELEVATION (18TH AVENUE)
 - A3.2 - DEMOLITION & PROPOSED EAST ELEVATION
 - A3.3 - DEMOLITION & PROPOSED NORTH ELEVATION
 - A3.4 - PROPOSED SUNKEN PATIO SECTION, AXONOMETRIC
 - A4.1 - SCHEDULES
 - A5.1 - DETAILS
 - A5.2 - DETAILS
 - A5.3 - DETAILS
- STRUCTURAL
- S1.0 - GENERAL NOTES, SPECIAL INSPECTION SHEET
 - S1.1 - BASEMENT & FOUNDATION PLAN
 - S1.2 - GROUND, SECOND, ROOF FRAMING PLAN
 - S2.2 - TYPICAL FRAMING DETAILS
 - S2.3 - STRUCTURAL DETAILS
 - S3.1 - FOUNDATION DETAILS

STREET ELEVATION



GENERAL NOTES:
1. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND WORKMANSHIP FOR ALL CONSTRUCTION REQUIRED HEREIN AND SHALL BE IN ACCORDANCE WITH THE:
2016 CBC BUILDING CODE
2016 CBC ELECTRICAL CODE
2016 CBC ENERGY CODE
2016 CBC MECHANICAL CODE
2016 CBC PLUMBING CODE
2016 CALIFORNIA FIRE CODE

COORDINATE ALL WORK WITH STRUCTURAL DRAWINGS

2. IN THE EVENT THE CONTRACTOR ENCOUNTERS ON THE SITE MATERIAL REASONABLY BELIEVED TO BE ASBESTOS, POLYCHLORINATED BIPHENYL (PCB) OR ANY OTHER HAZARDOUS MATERIAL WHICH HAS NOT BEEN RENDERED HARMLESS OR PREVIOUSLY IDENTIFIED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND THE ARCHITECT IN WRITING.

3. MANUFACTURER'S DESIGNATIONS ARE NOTES TO INDICATE PATTERN, COLOR AND PERFORMANCE.

4. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD AND IN THE EVENT OF DISCREPANCY, REPORTING SUCH DISCREPANCY TO THE ARCHITECT, BEFORE COMMENCING WORK.

5. CONTRACTOR SHALL NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL ALWAYS GOVERN CONTRACTOR REQUIRING DIMENSIONS NOT NOTED, SHALL CONTACT THE ARCHITECT FOR SUCH INFORMATION PRIOR TO PROCEEDING WITH THE WORK RELATED TO THOSE DIMENSIONS.

6. ALL PLAN DIMENSIONS INDICATED ARE TO COLUMN CENTERLINE, TO FACE OF CONCRETE, TO FINISHED FACE OF GYP. BD., OR TO FACE OF MASONRY U.O.N.

7. CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS AND/OR OTHER SUPPORTS FOR ALL FIXTURES, EQUIPMENT, CASEWORK, FURNISHINGS AND ALL OTHER ITEMS REQUIRING SAME.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL AND EQUIPMENT.

9. CONTRACTOR SHALL TAKE SUITABLE MEASURES TO PREVENT INTERACTION BETWEEN DISSIMILAR METALS.

10. "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.

11. "TYPICAL" OR "TYP." MEANS FOR ALL SIMILAR CONDITIONS, U.O.N.

12. DETAILS ARE USUALLY KEYED ONLY ONCE (ON PLANS OR ELEVATIONS WHEN THEY FIRST OCCUR) AND ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.

13. CONSTRUCTION AREA MUST BE BROOM CLEANED DAILY AND ALL MATERIALS SHALL BE STACKED OR PILED IN AN ORDERLY FASHION OUT OF TRAFFIC PATTERNS.

14. AT COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL MARKS, STAINS, FINGERPRINTS, DUST, DIRT, SPLATTERED PAINT, AND BLEMISHES RESULTING FROM THE VARIOUS OPERATIONS THROUGHOUT THE PROJECT.

15. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGED AREAS THAT OCCUR DURING CONSTRUCTION THAT ARE WITHIN THE SCOPE OF WORK OR OUTSIDE SCOPE OF WORK, THAT ARE CAUSED BY HIM/HER OR SUBCONTRACTORS.

16. WHERE ADJOINING DOORS HAVE DISSIMILAR FLOORING, MAKE CHANGE UNDER CENTERLINE OF DOOR, U.O.N.

17. ALL PIPE, CONDUIT AND DUCT PENETRATIONS THROUGH FLOORS AND FIRE-RATED WALL AND CEILING SHALL BE SEALED WITH FIREPROOFING PLASTER OR FIRESTOPPING TO FULL DEPTH OF SLAB OR THICKNESS OF WALL/CEILING.

18. ENTERING INTO AN AGREEMENT WITH THE OWNER INDICATES THAT THE CONTRACTOR(S) HAS VISITED THE SITE, FAMILIARIZED HIM/HERSELF WITH THE EXISTING CONDITIONS, AND REVIEWED SAME WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS

19. CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL SUB-CONTRACTORS, INCLUDING THOSE UNDER SEPARATE CONTRACT WITH THE OWNER.

20. CONTRACTOR SHALL SUBMIT CONFIRMATION WITH DELIVERY DATES ON ORDERS OF MATERIALS AND EQUIPMENT OF ANY LONG LEAD TIME ORDER ITEMS.

21. A 6'-8" MINIMUM HEADROOM SHALL BE PROVIDE AT ALL STAIRS.

22. CONTRACTOR SHALL PROTECT ALL EXCAVATION AND CONSTRUCTION FROM RAIN OR WATER DAMAGE.

23. COMMON ABBREVIATIONS:
(E) = EXISTING, (N) = NEW,
GWB = GYP. BD. = GYPSUM WALLBOARD,
MTL = METAL, S.S. = STAINLESS STEEL,
SSD = SEE STRUCTURAL DRAWINGS,
AFF = ABOVE FINISHED FLOOR.

24. OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER ADDRESSING 2013 CALGREEN SECTION 4.410.1 ITEMS 1 THROUGH 10.
CODE NOTES:
A. FIRE SPRINKLERS REQUIRED. OBTAIN SEPARATE FIRE PERMIT. DESIGN & INSTALL IN ACCORDANCE WITH NFPA 1 JD 2013 AND CMV RESIDENTIAL FIRE SPRINKLER SYSTEM REQUIREMENTS. COORDINATE WITH RESIDENTIAL AND WATER MAIN SIZE WITH APPROVED FIRE SPRINKLER SHOP DRAWINGS. (MIN. 1" METER AND 1" SERVICE UNLESS HYDRAULIC CALCULATIONS PROVE (E) ADEQUATE).

B. PER CBC 907.2.10.1.2, PROVIDE HARD WIRED SMOKE DETECTORS ON EVERY FLOOR AND IN EVERY SLEEPING ROOM AND HALLWAY OUTSIDE LINE.

C. PER CBC TABLE 602, PROVIDE ON HOUR RATED STRUCTURE EVERYWHERE WITHIN 5 FEET OF AND PARALLEL TO THE PROPERTY

D. PER CBC 406.1.4 PROVIDE GWB ASSEMBLIES BETWEEN PRIVATE GARAGE AND HABITABLE ROOMS, (MIN. 1/2" GWB BETWEEN THE DWELLING & ATTIC AREA, GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN A 5/8" TYPE 'X' GWB OR EQ).

E. PROVIDE MIN. 1 EMERGENCY ESCAPE & RESCUE WINDOW PER CBC 1026 AT ALL SLEEPING ROOMS.

GENERAL ELECTRICAL NOTES:
A. PER TITLE-24, BATHROOMS, LAUNDRY ROOMS, GARAGES, UTILITY ROOMS ARE TO HAVE ALL HIGH EFFICACY (H.E.) UNLESS LIGHTING IS CONTROLLED BY CERTIFIED OCCUPANT SENSOR(S) WHICH MUST BE MANUAL-ON MOTION SENSOR AND MUST NOT HAVE 'ALWAYS-ON'
B. PER TITLE-24, OTHER ROOMS - BEDROOMS, HALLWAYS, DINING ROOMS, AND CLOSETS LARGER THAN 70SF - ARE TO HAVE ALL H.E. LIGHTING UNLESS LIGHTING IS CONTROLLED BY DIMMER SWITCH OR CERTIFIED OCCUPANT SENSOR(S) WITH MANUAL-ON SENSOR AND NO 'ALWAYS-ON'

C. PER TITLE-24, ALL RECESSED LUMINARIES IN INSULATED CEILINGS MUST BE APPROVED FOR ZERO-CLEARANCE INSULATION COVER AND MUST BE CERTIFIED AS AIR TIGHT.

D. PER TITLE-24, ALL OUTDOOR LIGHTING IS TO BE H.E. UNLESS LIGHTING IS:
1- CONTROLLED BY CERTIFIED MOTION SENSORS AND PHOTOCONTROL;
2- OF LANDSCAPE LIGHTING (NOT ATTACHED TO BUILDING);
3-IN OR AROUND SWIMMING POOLS OR WATER

E. PER SFBC 1205.3, IF A ROOM INTENDED FOR HUMAN OCCUPANCY DOES NOT HAVE MIN. NET GLAZED AREA FOR NATURAL LIGHT, PROVIDE MIN. ARTIFICIAL LIGHT OF 10 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 IN.

F. PER SFBC 1205.4, STAIRWAYS WITHIN DWELLING UNITS & EXTERIOR STAIRWAYS SERVING A DWELLING UNIT SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT-CANDLE WITH CONTROLS PER SPEC.

ELECTRICAL KEYED NOTES:

E1- SEPARATE KITCHEN CIRCUITS TO BE PROVIDED FOR COUNTERTOP OUTLETS, REFRIGERATOR, AND DISHWASHER/DISPOSAL. PROVIDE MIN. 2 - 20 AMP SMALL APPLIANCE BRANCH CIRCUITS (PER SPEC SECT. 210.52 & 220-4)

E2 - GFCI PROTECTION REQ'D ON ANY RECEPT. WITHIN 6'-0" SINK.

E3 - PROVIDE ELEC. OUTLETS IN KITCHEN SO THAT NO POINT ALONG A COUNTER IS MORE THAN 24" FROM AN OUTLET PER SPEC-210.52. PROVIDE ACCESSIBLE OUTLET AT ISLAND.

E4 - PER TITLE-24, IN KITCHENS:
1- AT LEAST 50% OF INSTALLED LUMINARIES WATTAGE MUST BE H.E. LIGHTING AND MUST BE SWITCHED SEPARATELY FROM NON-H.E. LIGHTING;
2 - INSTALLED WATTAGES MUST BE CALCULATED.

MECHANICAL NOTES:

M1 - PROVIDE 200 SQ. IN. NET OPENING FOR GARAGE VENTILATION PER SFBC 406.1.3 (UP TO 1,000

M2 - PER SFBC 406.1.4 (2), DUCTING IN PRIVATE GARAGE \$ DUCTS PENETRATING THE WALLS OR CEILING. SEPARATING THE DWELLING UNIT FROM THE GARAGE TO BE MIN. 0.019 IN. SHEET METAL & HAVE OPENINGS INTO THE GARAGE.

M3 - PROVIDE COMBUSTION AIR OPENINGS FROM OUTSIDE FOR PER SFPC-507. (FURNACE PER SFMC-CH.7). ANY APPLIANCE WITH FLAME SOURCE TO BE MOUNTED MIN. 18" ABOVE FLOOR IN GARAGE PER SFMC-308 (W.H. SFPC-510.1).

M4 - PROVIDE APPROVED SEISMIC STRAPS W.H. (OR WATER STORAGE TANKS) TO WALL PER SFPC-510.5

M5 - TERMINATE GAS VENT PER SFMC CHAPTER 8.

M6 - DRYER EXHAUST DUCT: 14'-0" MAX. WITH 2 - 90° SFMC-504.3 OR PER MANUF. - VENT TO EXT. PROVIDE BOOSTER FAN PER CODE REQ'D (FANTECH # RVF4XL EXT. MTD FAN OR

M7 - PROVIDE 100 SQ. IN. NET OPENING FOR DRYER MAKE-UP AIR PER SFMC-504.3.2

M8 - PER SFBC 1203.4.2.1, BATHROOMS CONTAINING BATHTUBS, SHOWERS, SPAS, OR SIM. BATHING FIXTURES TO BE MECH. VENTILATED PER SFMC.

M9 - TERMINATE ALL ENVIRONMENTAL AIR EXHAUST DUCTS (KITCHEN, RANGE HOOD, BATHROOM FAN, DRYER) MIN. 3 FT. FROM ANY OR PROPERTY LINE PER SFMC 504. PROVIDE BACK DRAFT DAMPER (B.D.D.)

M10 - PER SFMC TABLE 4-4, PROVIDE EXHAUST FAN (MIN. 50

M11 - PROVIDE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS AT SHOWERS AND TUB/SHOWERS PER SFPC.

M12 - PROVIDE MECHANICAL VENTILATION PER SFMC CH. 4 & TABLE 4-1

M13 - PROVIDE FIREPLACE VENT/FLUE PER MANUFACTURER & SFMC.

GENERAL PLUMBING NOTES:
A. TOILET SHALL BE 1.6 GALLONS PER FLUSH MAX. CPC 402.2

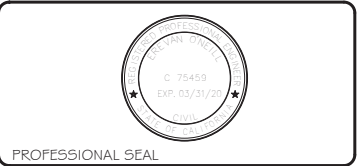
B. 2007 CPC 407.6 PROVIDE MIN. 30" CLEAR WIDTH & 24" IN FRONT @ METER CLOSETS PER CPC407.6

C. SHOWERS & TUB SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROLS OF THE PRESSURE BALANCE TYPE OR THE THERMOSTATIC MIXING VALVE TYPE PER CPC 418.

D. PRESSURE ABSORBING DEVICE REQ'D ON WATER LINE CLOSE TO QUICK ACTING VALVES.

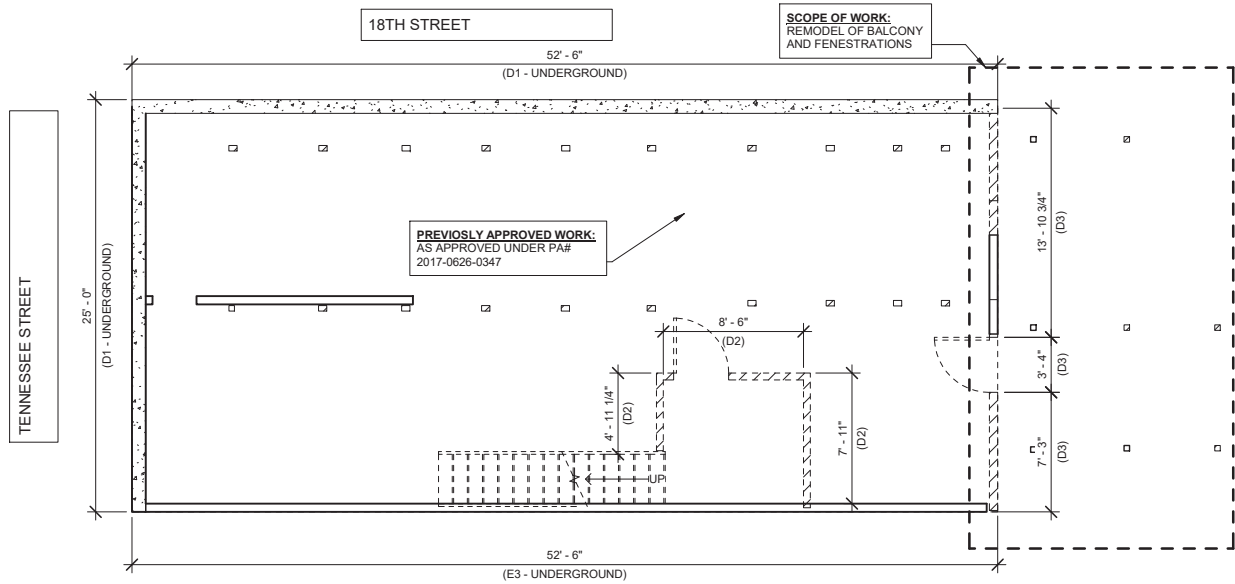


2	RESPONSE TO COMMENTS	07-10-19
1	PLAN CHECK	10-09-18
	PERMIT SUBMISSION	07-16-18

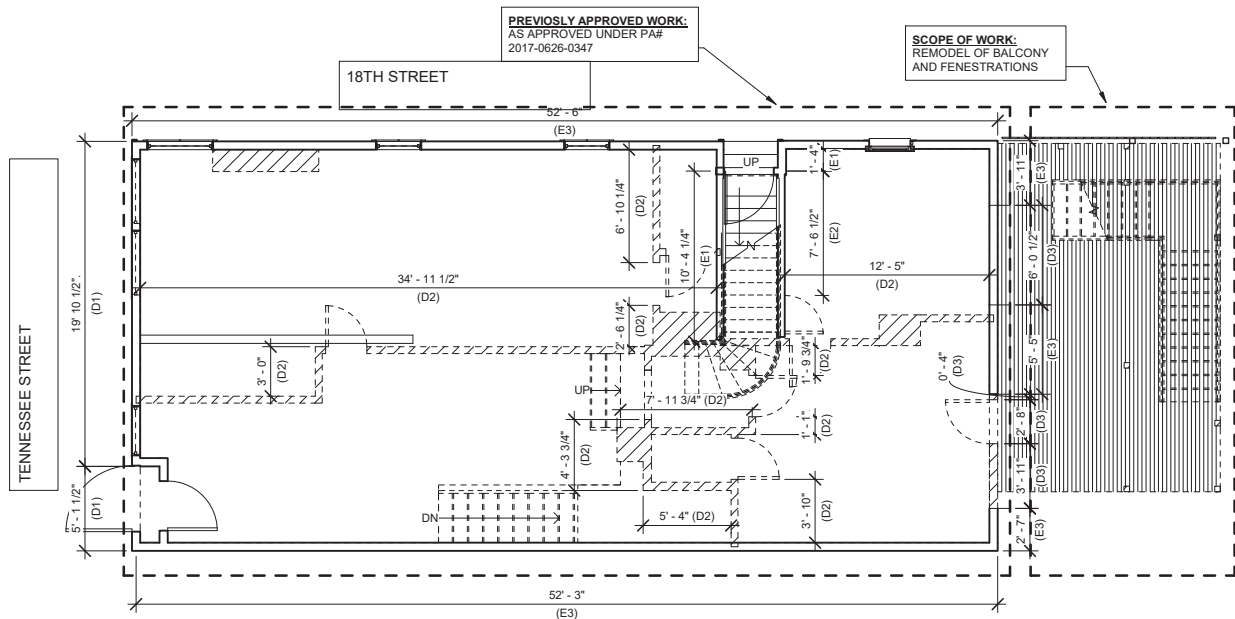


TITLE SHEET

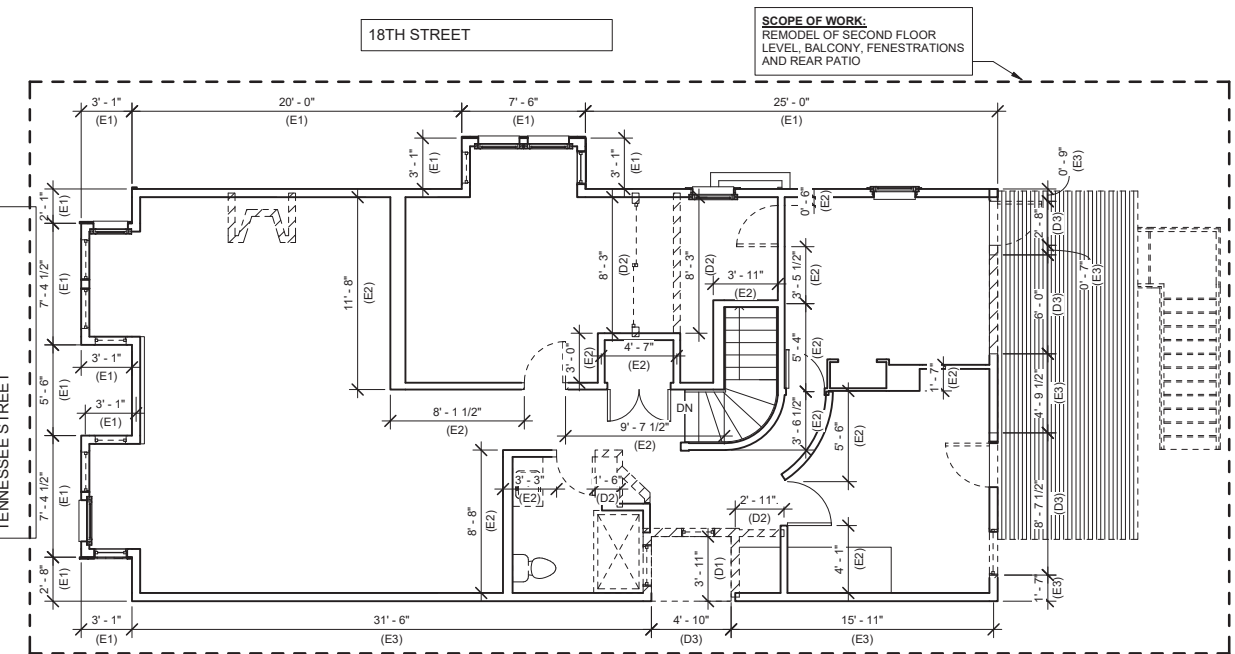
CLIENT CHRIS MCCAFFREY 694 TENNESSEE STREET	SCALE 3/32" = DATE 04-26-17 DRAWN EON JOB #: 1722
TITLE REMODEL 694 TENNESSEE STREET	DRAWING NO. AO.O OF SHEETS



1 BASEMENT DEMOLITION - DIAGRAM
3/16" = 1'-0"



2 FIRST FLOOR DEMOLITION - DIAGRAM
3/16" = 1'-0"

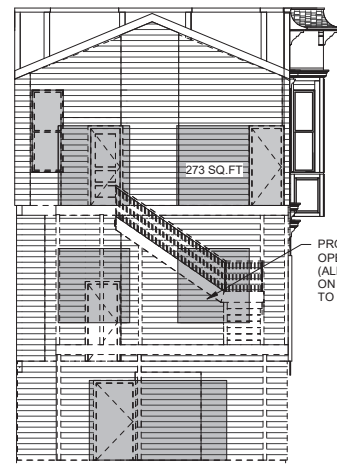


3 SECOND FLOOR DEMOLITION - DIAGRAM
3/16" = 1'-0"

REMOVAL OF MORE THAN 75 PERCENT OF BUILDING'S EXISTING INTERNAL STRUCTURAL FRAMEWORK OR FLOOR PLATES

EXISTING WALL TO REMAIN = 75' - 11"
EXISTING WALL DEMOLITION = 141' - 1"
TOTAL REMOVAL IS 64.9% < 75%

EXTENT OF SIDING REPLACEMENT



7 EAST ELEVATION DEMOLITION - DIAGRAM
1/8" = 1'-0"



6 WEST ELEVATION DEMOLITION - DIAGRAM
1/8" = 1'-0"

WALL DEMOLITION CALCULATION (LINEAR FOOTAGE MEASUREMENT) SEC.317 (b)(2)(B)					
ELEMENT	(E) LENGTH (LF)(1)	WALL REMOVED (LF)	% REMOVED	MAX PERMITTED	MEET CODE?
NORTH FAÇADE	60.5	9	15%		
SOUTH FAÇADE	52.5	0	0%		
TOTALS (NORTH & SOUTH)	113	9	8%	<50%	YES
EAST FAÇADE	25	0	0%		
WEST FAÇADE	25	12.67	51%		
TOTALS (EAST & WEST)	50	30.67	61%	<50%	YES
TOTALS (ALL FAÇADES)	163	39.67	24%	<65%	YES
TOTAL ALL SIDES TO BE REMOVED = 8%				<65%	YES

(1) MEASURED AT FOUNDATION

WALL DEMOLITION CALCULATION (AREA MEASUREMENT) SEC.317 (b)(2)(C)					
VERTICAL ELEMENT	AREA (SQFT)	AREA REMOVED (SQFT)	% REMOVED	MAX PERMITTED	MEET CODE?
NORTH FAÇADE	1528	103.5	7%		
SOUTH FAÇADE	1528	0	0%		
EAST FAÇADE	735	0	0%		
WEST FAÇADE	823	273	33%		
TOTALS (ALL FAÇADES)	4614	376.5	8%	<50%	YES
TOTAL VERTICAL ELEMENTS TO BE REMOVED = 6%				<50%	YES

(1) MEASURED AT FOUNDATION

WALL REMOVAL OF >25% OF THE SURFACE OF ALL EXTERNAL WALLS FACING A PUBLIC STREET(S) - 1005(f)1

STRUCTURAL WALL	AREA (SQFT)	AREA REMOVED (SQFT)	% REMOVED	MAX PERMITTED	MEET CODE?
NORTH FAÇADE	1528	0	0%		
SOUTH FAÇADE	1528	417	27%		
EAST FAÇADE	735	157	21%		
WEST FAÇADE	823	823	100%		
TOTALS	4614	1397	30%	<25%	NO

TOTAL PERCENTAGE OF ALL EXTERNAL WALLS FROM FUNCTION AS EITHER EXTERNAL OR INTERNAL WALLS BEING REMOVED = 30.28% <25% THEREFORE IS SUBJECT TO 311 NOTIFICATION

REMOVAL OF >25% OF ALL EXTERNAL WALLS FROM FUNCTION AS EITHER EXTERNAL OR INTERNAL WALLS- 1005(f)3					
STRUCTURAL WALL	AREA (SQFT)	AREA REMOVED (SQFT)	% REMOVED	MAX PERMITTED	MEET CODE?
NORTH FAÇADE	1528	0	0%		
SOUTH FAÇADE	1528	0	0%		
EAST FAÇADE	735	0	0%		
WEST FAÇADE	823	273	33%		
TOTALS	4614	273	6%	<25%	YES

TOTAL PERCENTAGE OF ALL EXTERNAL WALLS FROM FUNCTION AS EITHER EXTERNAL OR INTERNAL WALLS BEING REMOVED = 5.92% <25% THEREFORE MEETS 1004(f) 3

REMOVAL OF > 75% OF ALL INTERNAL STRUCTURAL FRAMEWORK OR FLOOR PLATES: 1004 (f) 4

STRUCTURAL WALL	AREA (SQFT)	AREA REMOVED (SQFT)	% REMOVED	MAX PERMITTED	MEET CODE?
BASEMENT	210.5	210.5	100%		
GROUND FLOOR	1273	1059	83%		
SECOND FLOOR	1309	236.5	18%		
TOTALS	2792.5	1506	54%	<75%	YES

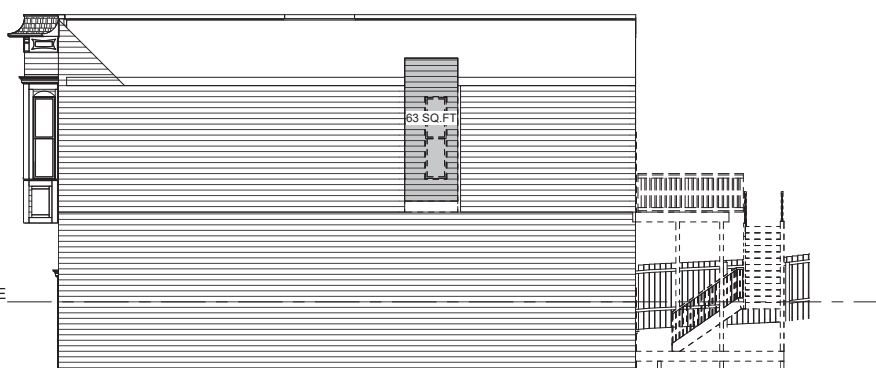
FLOOR	AREA (SQFT)	AREA REMOVED (SQFT)	% REMOVED	MAX PERMITTED	MEET CODE?
BASEMENT	NA				
GROUND FLOOR	1285	1285	100%		
SECOND FLOOR	1330	0	0%		
TOTALS	2615	1285	49%	<75%	YES

TOTAL PERCENTAGE OF OF ALL INTERNAL STRUCTURAL FRAMEWORK OR FLOOR PLATES: 51.5% <75% THEREFORE MEETS 1004(f) 4

THIS PROJECT IS NOT CONSIDERED A DEMOLITION PER SAN FRANCISCO PLANNING CODE SECTION 317 (2) (B)&(C)
THIS PROJECT IS CONSIDERED A DEMOLITION PER SAN FRANCISCO PLANNING CODE SECTION 1005 (f) 1 AS THE AMOUNT OF SIDING BEING REPLACED IS 30% WHICH IS MORE THAN THE PERMITTED 25%



5 SOUTH ELEVATION DEMOLITION - DIAGRAM
1/8" = 1'-0"



4 NORTH ELEVATION DEMOLITION - DIAGRAM
1/8" = 1'-0"

2	RESPONSE TO COMMENTS	07-10-19
1	PLAN CHECK	10-09-18
	PERMIT SUBMISSION	07-16-18



PROFESSIONAL SEAL

DEMOLITION DIAGRAMS &
CALCULATIONS

CLIENT
CHRIS MCCAFFREY
694 TENNESSEE STREET

SCALE As indicated
DATE 04-26-17
DRAWN EON
JOB #: 1722

TITLE
REMODEL
694 TENNESSEE STREET

DRAWING NO.
A1.0
OF SHEETS

NOTE 1:
ALL DIMENSIONS SHOWN HERE SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO WORK. ALL EXISTING CONDITIONS SHALL BE VERIFIED & ANY DEVIATIONS FROM WHAT IS SHOWN IN THESE PLANS SHALL BE MADE KNOWN TO ONE DESIGN.

NOTE 2:
REMOVE ALL (E) INTERIOR FINISHES ON FLOORS, WALLS & CEILINGS THROUGHOUT IN PREP. FOR NEW CONSTRUCTION.

NOTE 3:
REMOVE &/OR REPAIR ANY (E) DRY-ROT DAMAGE TO EXISTING WOOD FRAMING. WALK THROUGH SPACE WITH ARCHITECT OR ENGINEER TO IDENTIFY SCOPE OF WORK.

NOTE A:
ALL DIMENSIONS SHOWN HERE SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO WORK. ALL EXISTING CONDITIONS SHALL BE VERIFIED AND ANY DEVIATIONS FROM WHAT IS SHOWN IN THESE PLANS SHALL BE MADE KNOWN TO ONE DESIGN.

NOTE B:
INSULATE ALL EXTERIOR WALLS WITH CLOSED CELL SPRAY FOAM INSULATION AT ALL STUD WALLS ENCLOSING CONDITPONED SPACE. ALL WATERPROOFING AND FLASHING SHALL BE BY CONTRACTOR. SEE STRUCTURAL DRAWINGS FOR STUD WALL FRAMING INFORMATION.

ALL WALLS ARE TYPE 1a @ INTERIOR & TYPE 4a @ EXTERIOR SEE 1/A7.1

NOTE C:
ALL PLUMBING SHALL BE UNDER A SEPARATE PERMIT AND EXISTING LINES SHALL BE INVESTIGATED TO ENSURE THEY HAVE CAPACITY FOR ADDITIONAL BATHROOMS REFER TO CAL GREEN NOTES ON SHEET A0.1 & TYP. NOTES ON SHEET A0.0

NOTE D:
ALL (N) LIGHTING TO BE LED LIGHTING TYP. PROVIDE AN ALLOWANCE FOR LIGHTING AND ELECTRICAL PROVIDE NEW CARBON MONOXIDE DETECTORS AT EACH LEVEL AND SMOKE ALARMS IN EVERY ROOM.

NOTE E:
ELECTRICIAN TO DO A WALK THROUGH W/ OWNER PRIOR TO RUNNING WIRES & VERIFY ALL OUTLETS, SWITCHES & FIXTURES.

NOTE F:
REFER TO TYPICAL NOTES ON SHEET A5.1 FOR ADDITIONAL NOTES RELATING TO FINISHES AND SERVICES

NOTE G:
PROVIDE BATHROOM EXHAUST FAN & LIGHT COMBO. EXHAUST A MIN OF 3FT AWAY FROM PROPERTY LINE & OPENINGS

NOTE J:
PROVIDE HARDWIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP SEE CODE NOTE 1 ON SHEET A0.0

NOTE K:
ALL WINDOWS ARE EXISTING & SHALL BE REPLACED IN KIND.

NOTE L:
LANDSCAPING AND OUTDOOR WORK AND SIDEWALK REPLACEMENT AS REQUIRED SHALL BE BY OTHERS

NOTE M:
FIRE SPRINKLERS SHALL BE PROVIDED UNDER A SEPARATE PERMIT PER NFP13

NOTE N:
REFER TO OWNER FOR ADDITIONAL ITEMS THAT MAY BE REQUIRED TO BE DONE AS PART OF THIS PROJECT

NOTE O:
MECHANICAL SUBCONTRACTOR SHALL PROVIDE ALL DUCTWORK AND VENTING AS REQUIRED FOR HEATING AND VENTILATION SYSTEMS. CHASES AND SOFFITS WHERE REQUIRED SHALL BE CONFIRMED WITH ONE DESIGN ND THE OWNER IN ADVANCE.

NOTE P:
ALL HOME SYSTEMS SHALL BE SMART SYSTEMS COMPATIBLE WITH AMAZON ECHO FOR COMPLETE VOICE ACTIVATED HOME SYSTEMS. <https://www.amazon.com/Amazon-Echo-Bluetooth-Speaker-with-WiFi-Alexa/dp/B00X4WHP5E>

NOTE Q:
BASEMENT DRAINAGE AND PLUMBING SYSTEMS SHALL BE EQUIPPED WITH A BACK UP GENERATOR THAT CAN PROVIDE THE NECESSARY POWER TO THE PUMPS DURING A LOSS OF POWER. REFER TO GEOTECHNICAL ENGINEERS REPORT.

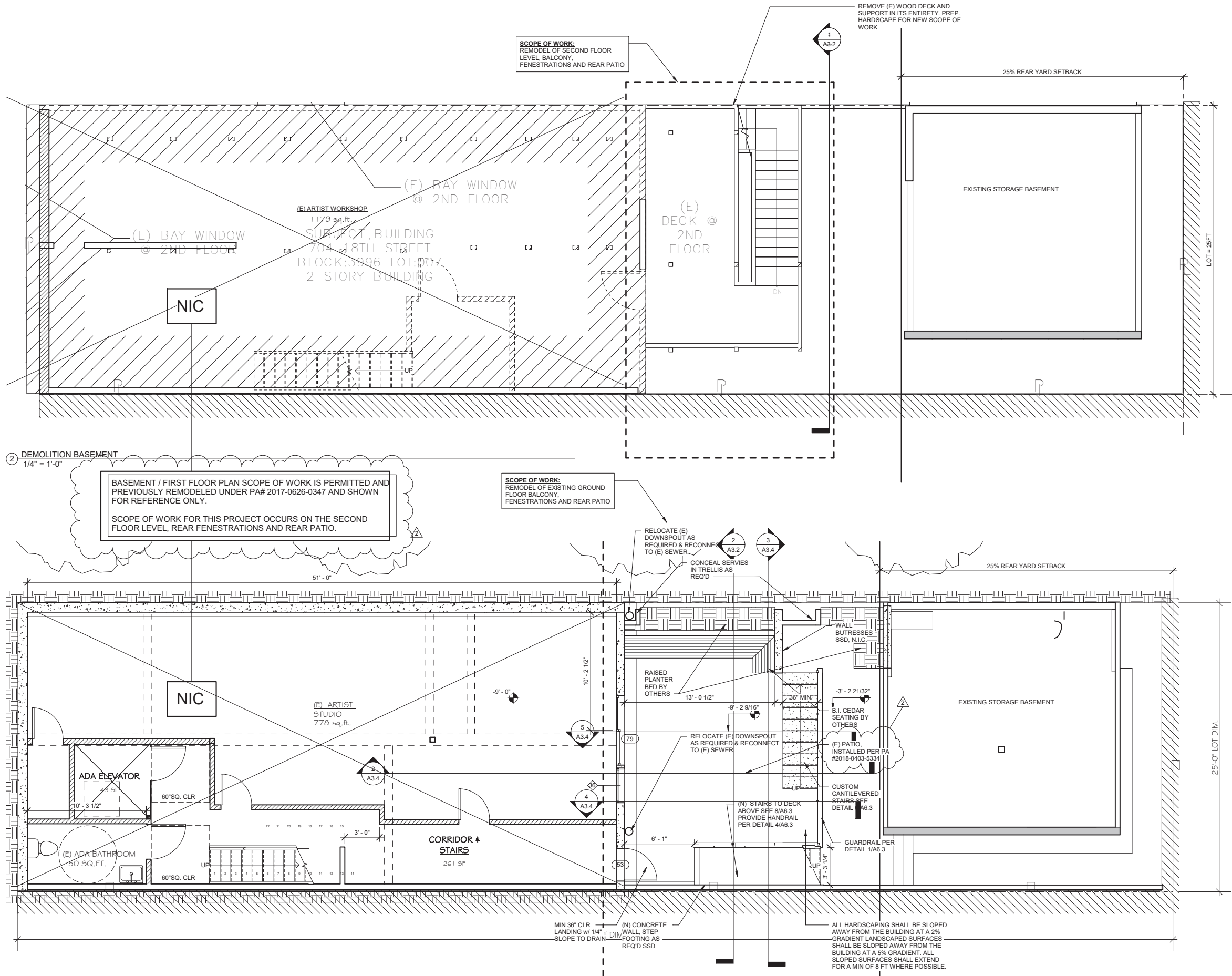
2	RESPONSE TO COMMENTS	07-10-19
1	PLAN CHECK	10-09-18
	PERMIT SUBMISSION	07-16-18



PROFESSIONAL SEAL

BASEMENT FLOOR PLAN

CLIENT CHRIS MCCAFFREY 694 TENNESSEE STREET	SCALE 1/4" = 1'-0" DATE 04-26-17 DRAWN EON JOB # 722
TITLE REMODEL 694 TENNESSEE STREET	DRAWING NO. A2.0 OF SHEETS



1 PROPOSED BASEMENT FLOOR
1/4" = 1'-0"



NOTE 1:
ALL DIMENSIONS SHOWN HERE SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO WORK. ALL EXISTING CONDITIONS SHALL BE VERIFIED & ANY DEVIATIONS FROM WHAT IS SHOWN IN THESE PLANS SHALL BE MADE KNOWN TO ONE DESIGN.

NOTE 2:
REMOVE ALL (E) INTERIOR FINISHES ON FLOORS, WALLS & CEILINGS THROUGHOUT IN PREP. FOR NEW CONSTRUCTION.

NOTE 3:
REMOVE &/OR REPAIR ANY (E) DRY-ROT DAMAGE TO EXISTING WOOD FRAMING. WALK THROUGH SPACE WITH ARCHITECT OR ENGINEER TO IDENTIFY SCOPE OF WORK.

NOTE A:
ALL DIMENSIONS SHOWN HERE SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO WORK. ALL EXISTING CONDITIONS SHALL BE VERIFIED AND ANY DEVIATIONS FROM WHAT IS SHOWN IN THESE PLANS SHALL BE MADE KNOWN TO ONE DESIGN.

NOTE B:
INSULATE ALL EXTERIOR WALLS WITH CLOSED CELL SPRAY FOAM INSULATION AT ALL STUD WALLS ENCLOSING CONDITIONED SPACE. ALL WATERPROOFING AND FLASHING SHALL BE BY CONTRACTOR. SEE STRUCTURAL DRAWINGS FOR STUD WALL FRAMING INFORMATION.

ALL WALLS ARE TYPE 1a @ INTERIOR & TYPE 4a @ EXTERIOR SEE 1/A7.1

NOTE C:
ALL PLUMBING SHALL BE UNDER A SEPARATE PERMIT AND EXISTING LINES SHALL BE INVESTIGATED TO ENSURE THEY HAVE CAPACITY FOR ADDITIONAL BATHROOMS REFER TO CAL GREEN NOTES ON SHEET A0.1 & TYP. NOTES ON SHEET A0.0

NOTE D:
ALL (N) LIGHTING TO BE LED LIGHTING TYP. PROVIDE AN ALLOWANCE FOR LIGHTING AND ELECTRICAL PROVIDE NEW CARBON MONOXIDE DETECTORS AT EACH LEVEL AND SMOKE ALARMS IN EVERY ROOM

NOTE E:
ELECTRICIAN TO DO A WALK THROUGH W/ OWNER PRIOR TO RUNNING WIRES & VERIFY ALL OUTLETS, SWITCHES & FIXTURES.

NOTE F:
REFER TO TYPICAL NOTES ON SHEET A5.1 FOR ADDITIONAL NOTES RELATING TO FINISHES AND SERVICES

NOTE G:
PROVIDE BATHROOM EXHAUST FAN & LIGHT COMBO. EXHAUST A MIN OF 3FT AWAY FROM PROPERTY LINE & OPENINGS

NOTE J:
PROVIDE HARDWIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP SEE CODE NOTE 1 ON SHEET A0.0

NOTE K:
ALL WINDOWS ARE EXISTING & SHALL BE REPLACED IN KIND.

NOTE L:
LANDSCAPING AND OUTDOOR WORK AND SIDEWALK REPLACEMENT AS REQUIRED SHALL BE BY OTHERS

NOTE M:
FIRE SPRINKLERS SHALL BE PROVIDED UNDER A SEPARATE PERMIT PER NFP13

NOTE N:
REFER TO OWNER FOR ADDITIONAL ITEMS THAT MAY BE REQUIRED TO BE DONE AS PART OF THIS PROJECT

NOTE O:
MECHANICAL SUBCONTRACTOR SHALL PROVIDE ALL DUCTWORK AND VENTING AS REQUIRED FOR HEATING AND VENTILATION SYSTEMS. CHASES AND SOFFITS WHERE REQUIRED SHALL BE CONFIRMED WITH ONE DESIGN ND THE OWNER IN ADVANCE.

NOTE P:
ALL HOME SYSTEMS SHALL BE SMART SYSTEMS COMPATIBLE WITH AMAZON ECHO FOR COMPLETE VOICE ACTIVATED HOME SYSTEMS. <https://www.amazon.com/Amazon-Echo-Bluetooth-Speaker-with-WiFi-Alexa/dp/B00X4WHP5E>

NOTE Q:
BASEMENT DRAINAGE AND PLUMBING SYSTEMS SHALL BE EQUIPPED WITH A BACK UP GENERATOR THAT CAN PROVIDE THE NECESSARY POWER TO THE PUMPS DURING A LOSS OF POWER. REFER TO GEOTECHNICAL ENGINEERS REPORT.

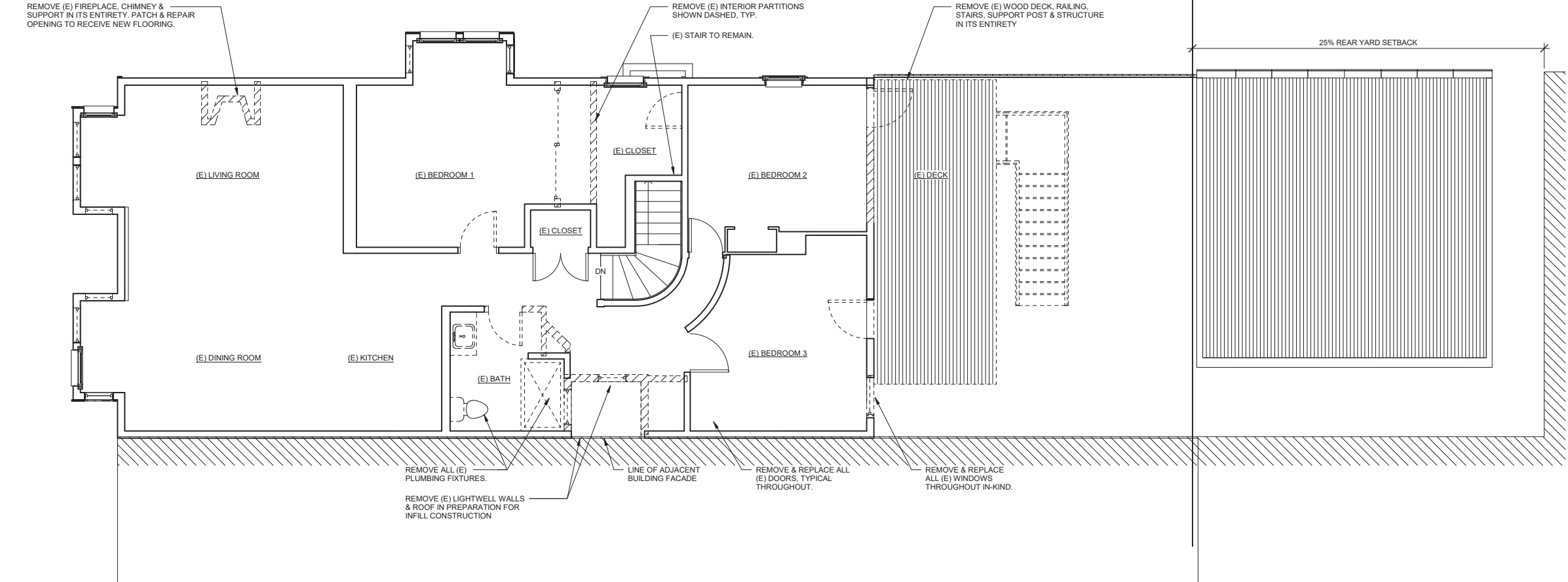
2	RESPONSE TO COMMENTS	07-10-19
1	PLAN CHECK	10-09-18
	PERMIT SUBMISSION	07-16-18



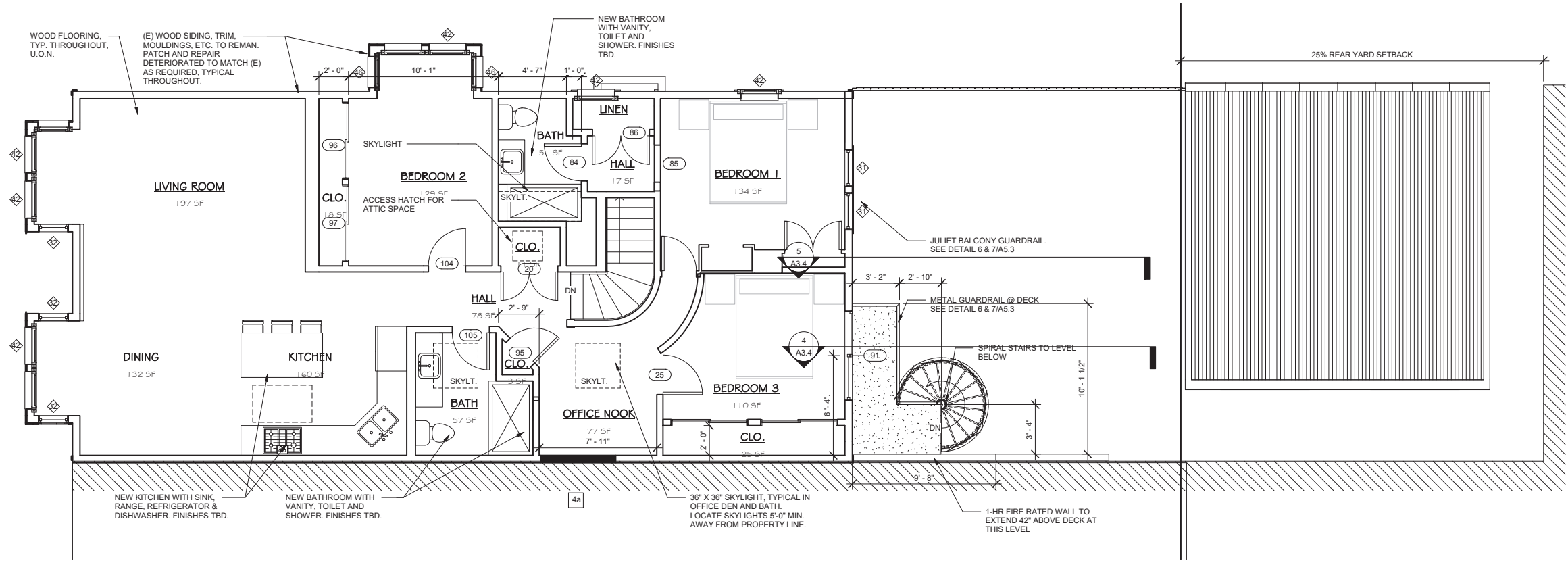
PROFESSIONAL SEAL

SECOND FLOOR PLAN

CLIENT CHRIS MCCAFFREY 694 TENNESSEE STREET	SCALE 1/4" = 1'-0" DATE 04-26-17 DRAWN EON
TITLE REMODEL 694 TENNESSEE STREET	DRAWING NO. A2.2 OF SHEETS



1 DEMOLITION SECOND FLOOR
1/4" = 1'-0"

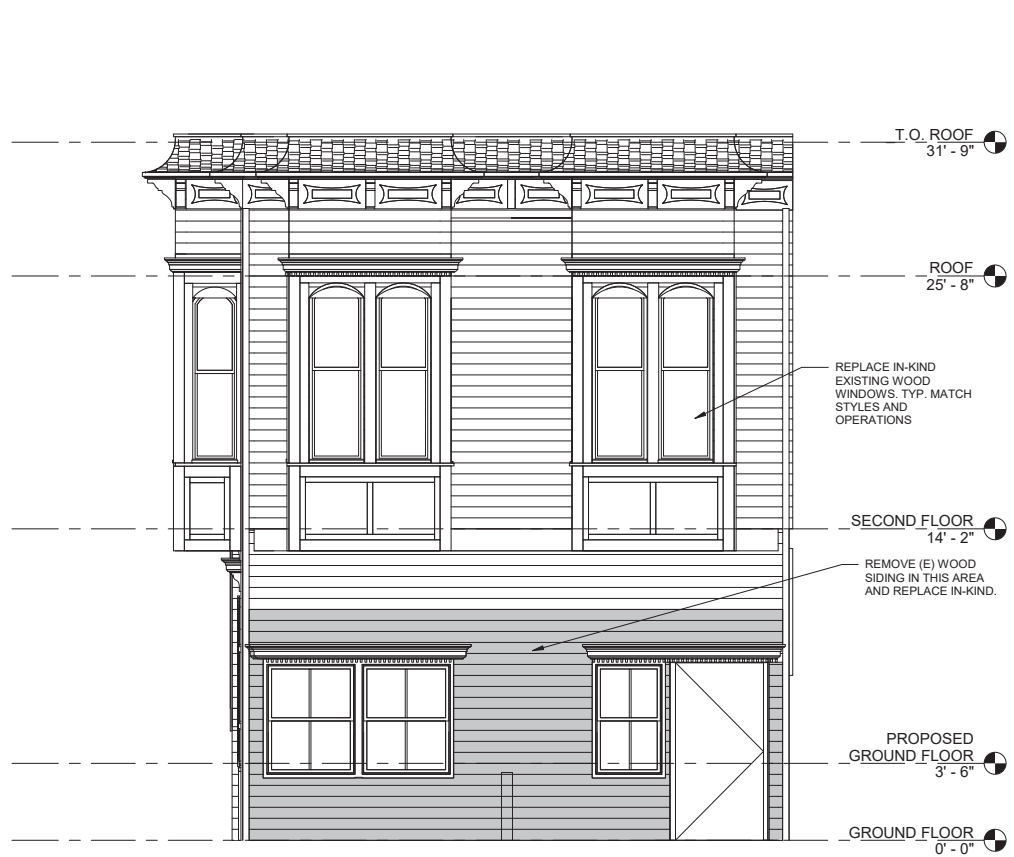


2 PROPOSED SECOND FLOOR
1/4" = 1'-0"

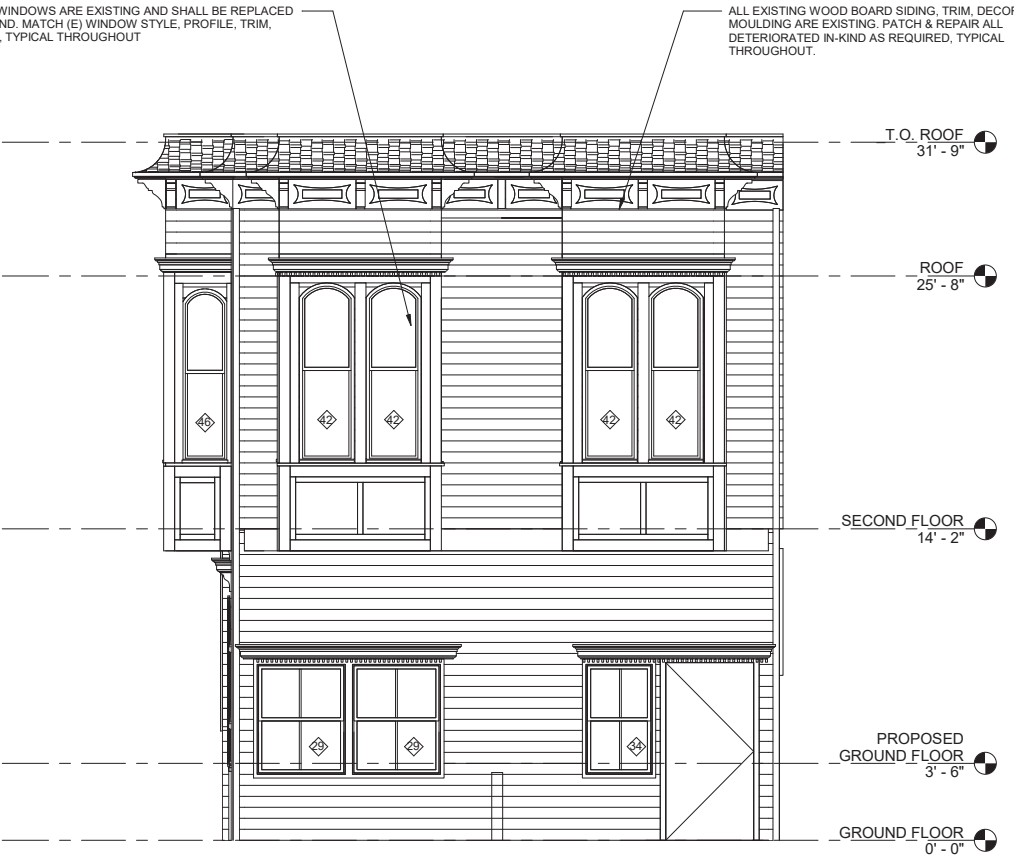
NOTE A:
PROTECT EXISTING BUILDING FACADE FINISHES DURING CONSTRUCTION. WHERE EXISTING FINISHES ARE DETERIORATED AND DAMAGED, REPLACE FINISHES IN-KIND. DEMOLISH FINISH ONLY WHERE REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.

NOTE B:
REMOVE ALL ABANDONED MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS FROM THE EXTERIOR OF BUILDING FACADE. PROVIDE PATCH AND REPAIR TO MATCH (E) ADJACENT.

NOTE C:
PREPARE EXTERIOR FINISHES FOR NEW PAINT FINISH. COLOR TBD.

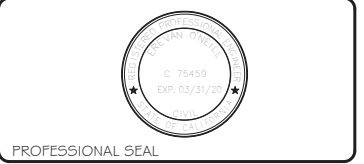


1 EXISTING EAST ELEVATION (TENNESSEE ST)
1/4" = 1'-0"



3 PROPOSED EAST ELEVATION (TENNESSEE ST)
1/4" = 1'-0"

2	RESPONSE TO COMMENTS	07-10-19
1	PLAN CHECK	10-09-18
	PERMIT SUBMISSION	07-16-18



EAST ELEVATIONS (TENNESSEE ST.)

CLIENT CHRIS MCCAFFREY 694 TENNESSEE STREET	SCALE 1/4" = 1'-0" DATE 04-26-17 DRAWN EON JOB #: 1722
TITLE REMODEL 694 TENNESSEE STREET	DRAWING NO. A3.0 OF SHEETS

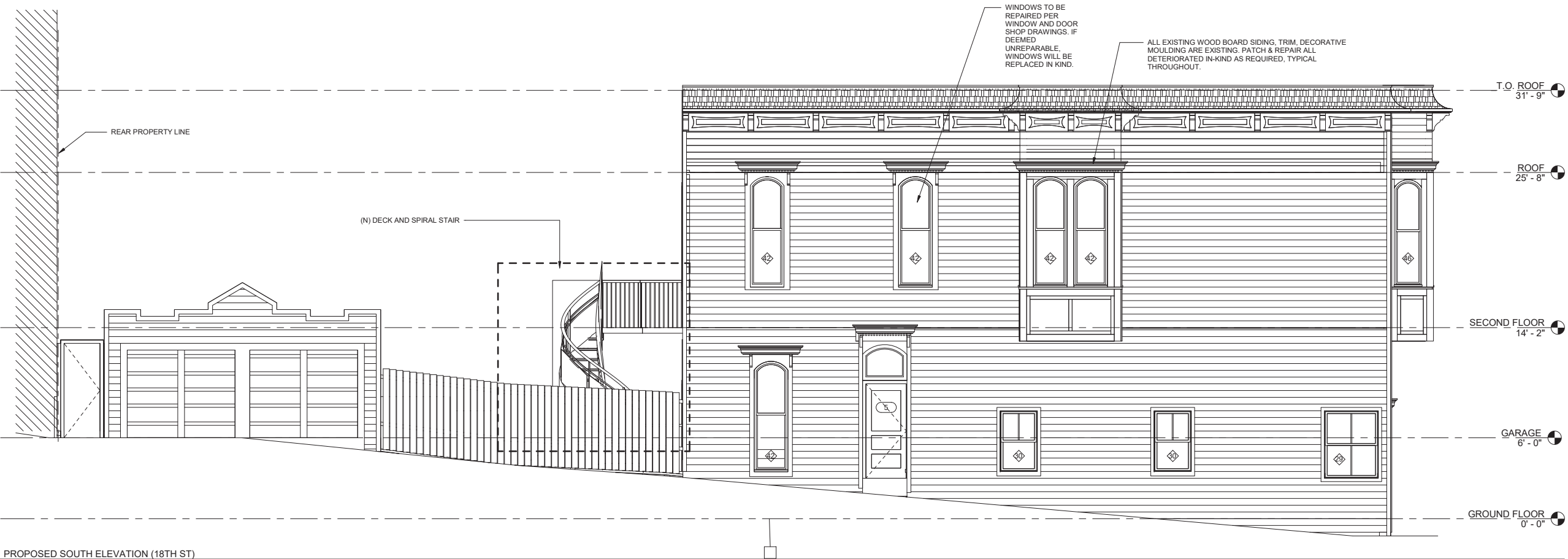
NOTE A:
PROTECT EXISTING BUILDING FACADE FINISHES DURING CONSTRUCTION. WHERE EXISTING FINISHES ARE DETERIORATED AND DAMAGED, REPLACE FINISHES IN-KIND. DEMOLISH FINISH ONLY WHERE REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.

NOTE B:
REMOVE ALL ABANDONED MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS FROM THE EXTERIOR OF BUILDING FACADE. PROVIDE PATCH AND REPAIR TO MATCH (E) ADJACENT.

NOTE C:
PREPARE EXTERIOR FINISHES FOR NEW PAINT FINISH. COLOR TBD.



② EXISTING SOUTH ELEVATION
1/4" = 1'-0"



① PROPOSED SOUTH ELEVATION (18TH ST)
1/4" = 1'-0"

2	RESPONSE TO COMMENTS	07-10-19
1	PLAN CHECK	10-09-18
	PERMIT SUBMISSION	07-16-18



PROFESSIONAL SEAL

SOUTH ELEVATIONS (18TH AVE.)

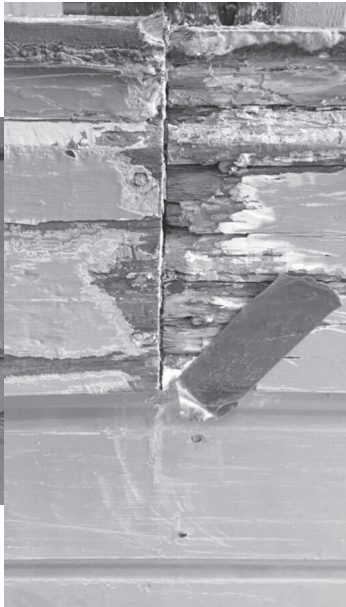
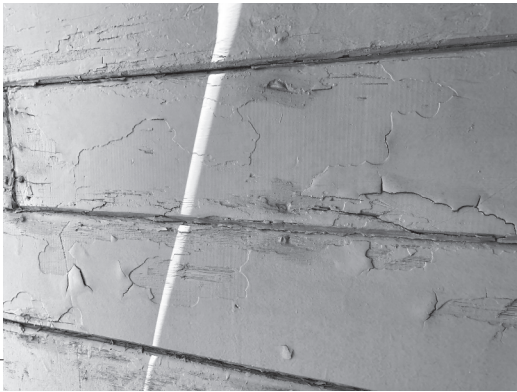
CLIENT
CHRIS MCCAFFREY
694 TENNESSEE STREET

SCALE 1/4" = 1'-0"
DATE 04-26-17
DRAWN EON
JOB # 1722

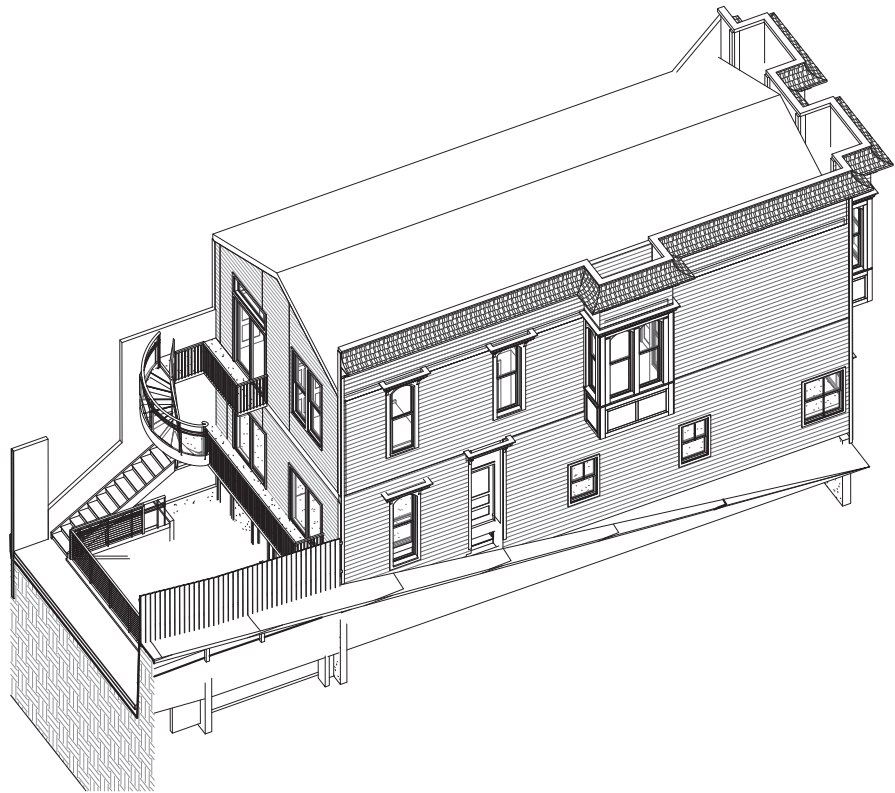
TITLE
REMODEL
694 TENNESSEE STREET

DRAWING NO.

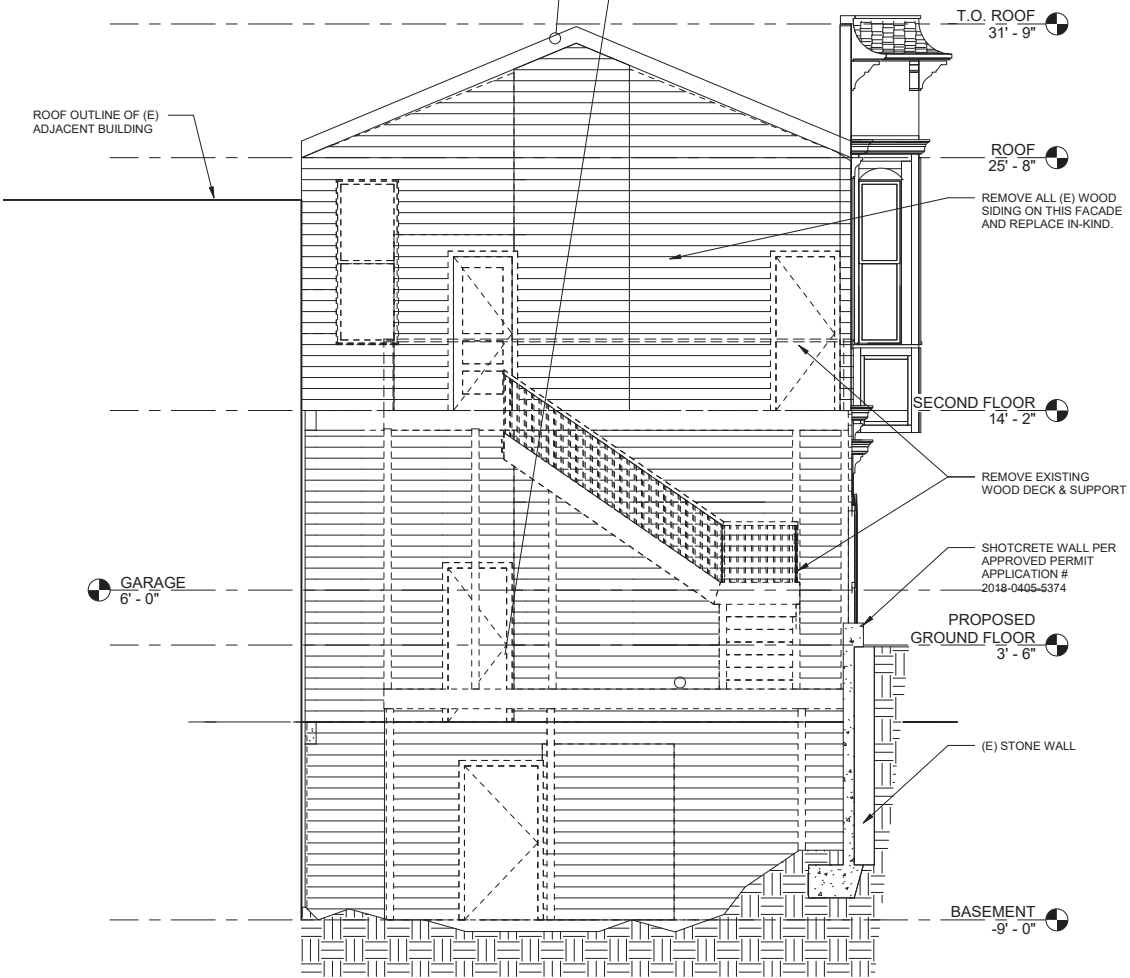
A3.1
OF SHEETS



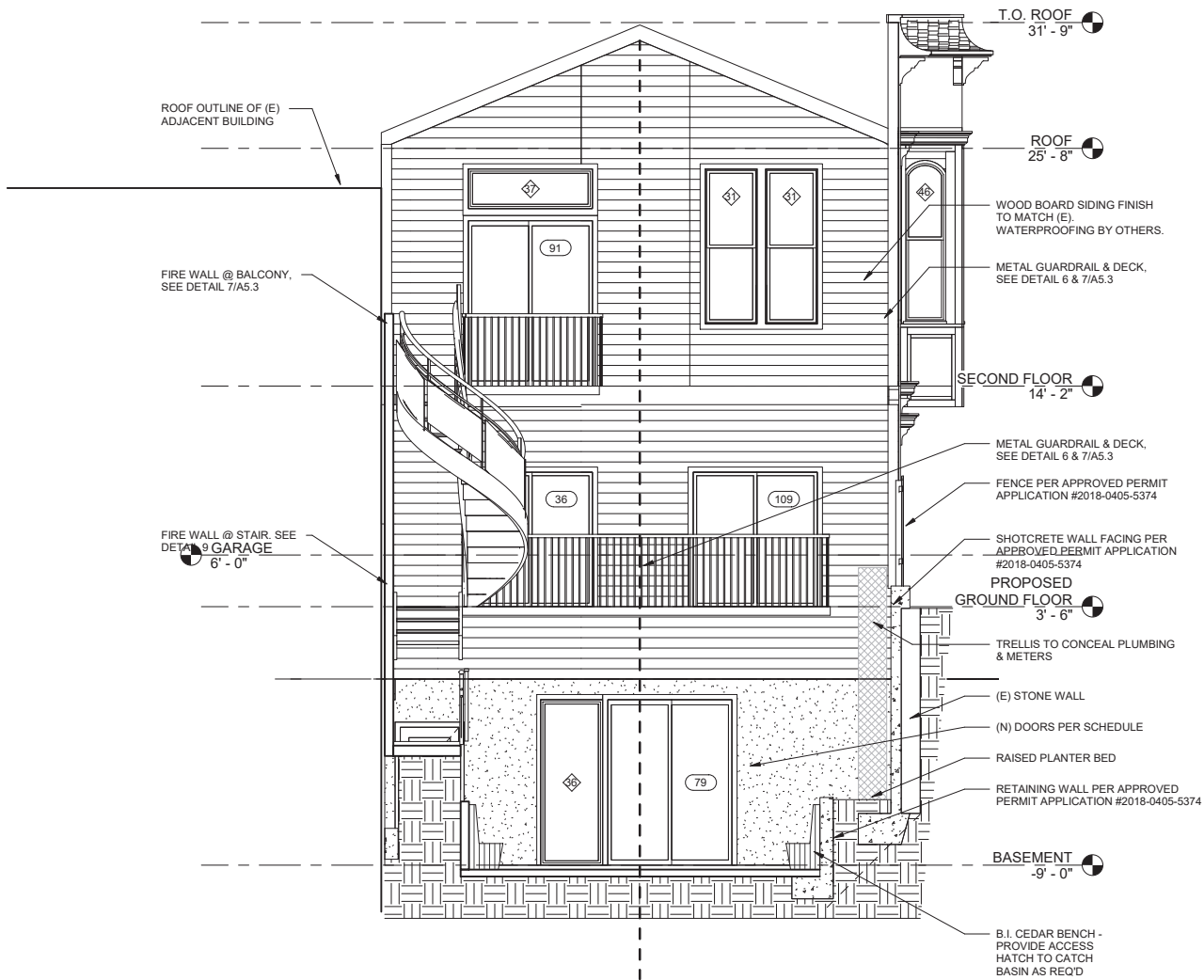
EXISTING DETERIORATED WOOD SIDING. REMOVE AND REPLACE ALL SIDING ON REAR FACADE AND REPLACE IN-KIND.



3 REAR DECK 3D VIEW



1 EXISTING REAR ELEVATION
1/4" = 1'-0"



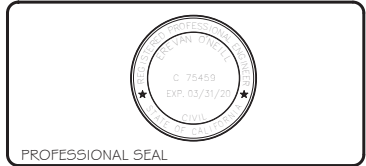
2 PROPOSED REAR ELEVATION
1/4" = 1'-0"

NOTE A:
PROTECT EXISTING BUILDING FACADE FINISHES DURING CONSTRUCTION. WHERE EXISTING FINISHES ARE DETERIORATED AND DAMAGED, REPLACE FINISHES IN-KIND. DEMOLISH FINISH ONLY WHERE REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.

NOTE B:
REMOVE ALL ABANDONED MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS FROM THE EXTERIOR OF BUILDING FACADE. PROVIDE PATCH AND REPAIR TO MATCH (E) ADJACENT.

NOTE C:
PREPARE EXTERIOR FINISHES FOR NEW PAINT FINISH. COLOR TBD.

2	RESPONSE TO COMMENTS	07-10-19
1	PLAN CHECK	10-09-18
	PERMIT SUBMISSION	07-16-18



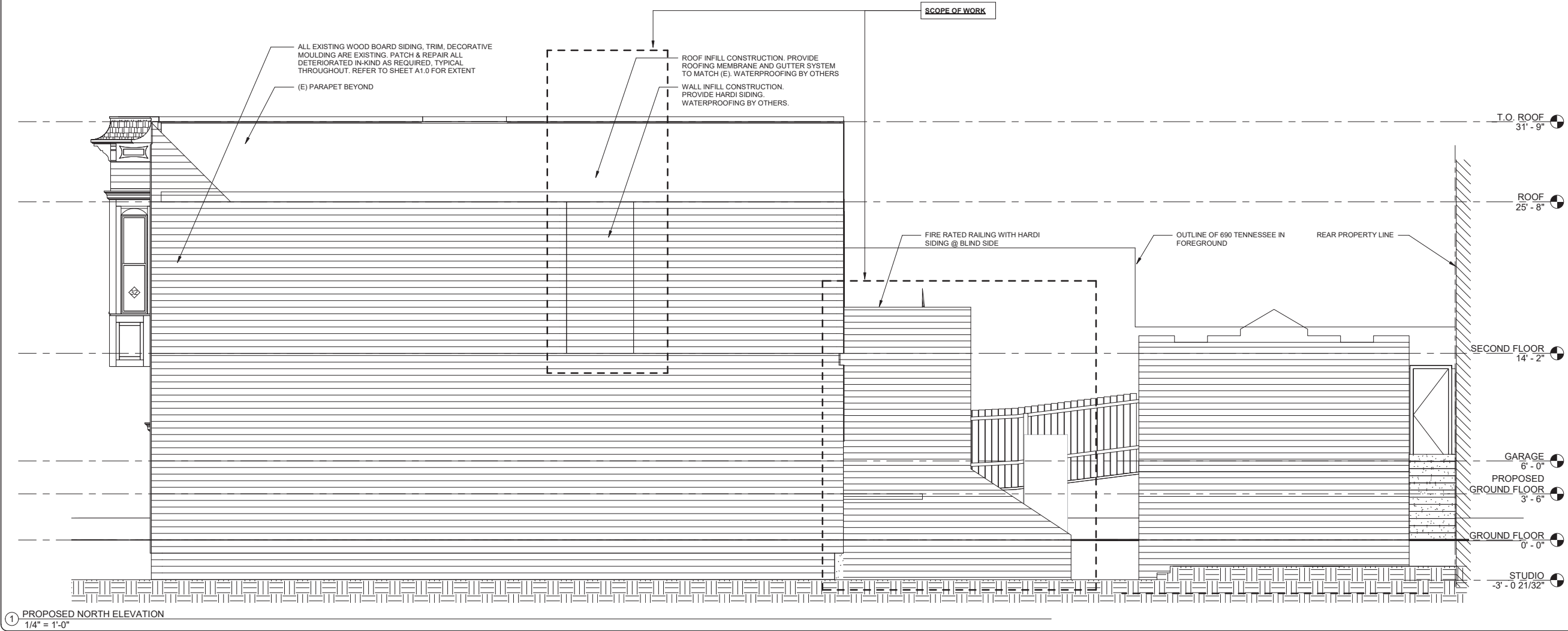
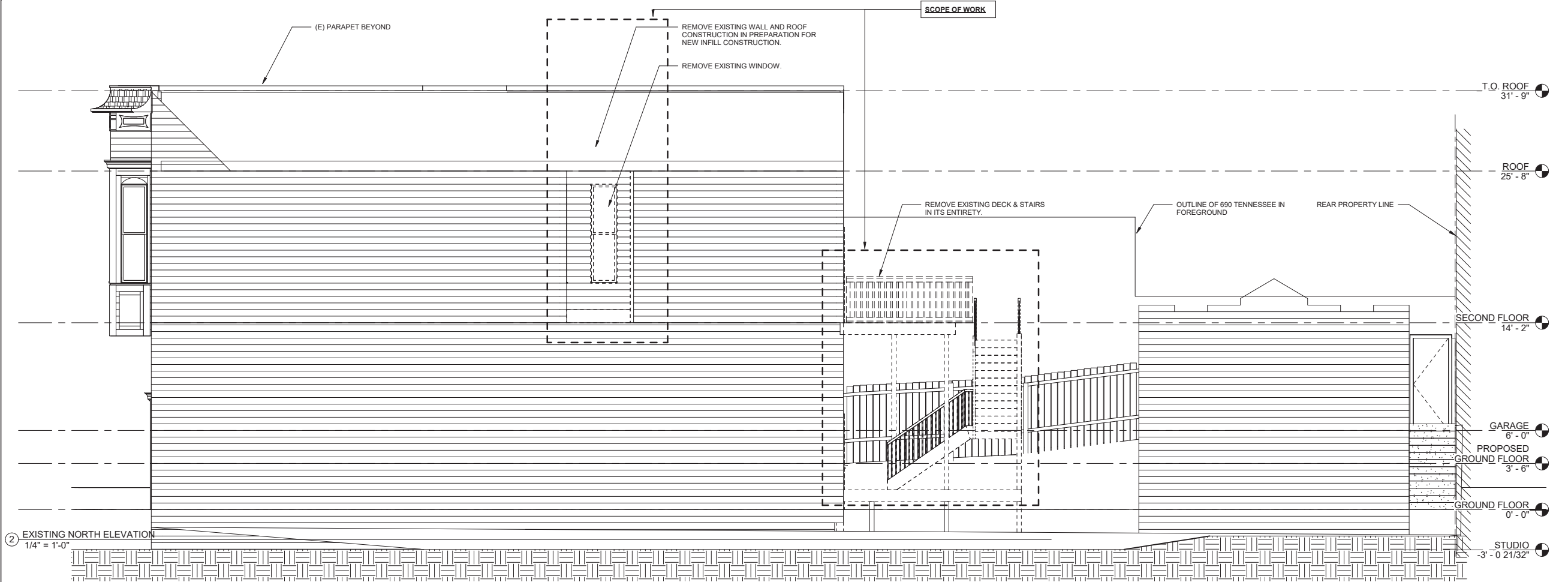
WEST ELEVATIONS

CLIENT CHRIS MCCAFFREY 694 TENNESSEE STREET	SCALE 1/4" = 1'-0" DATE 04-26-17 DRAWN EON
TITLE REMODEL 694 TENNESSEE STREET	DRAWING NO. A3.2 OF SHEETS

NOTE A:
PROTECT EXISTING BUILDING FACADE FINISHES DURING CONSTRUCTION. WHERE EXISTING FINISHES ARE DETERIORATED AND DAMAGED, REPLACE FINISHES IN-KIND. DEMOLISH FINISH ONLY WHERE REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.

NOTE B:
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NOTE C:
PREPARE EXTERIOR FINISHES FOR NEW PAINT FINISH. COLOR TBD.



2	RESPONSE TO COMMENTS	07-10-19
1	PLAN CHECK	10-09-18
	PERMIT SUBMISSION	07-16-18



PROFESSIONAL SEAL

NORTH ELEVATIONS

CLIENT
CHRIS MCCAFFREY
694 TENNESSEE STREET

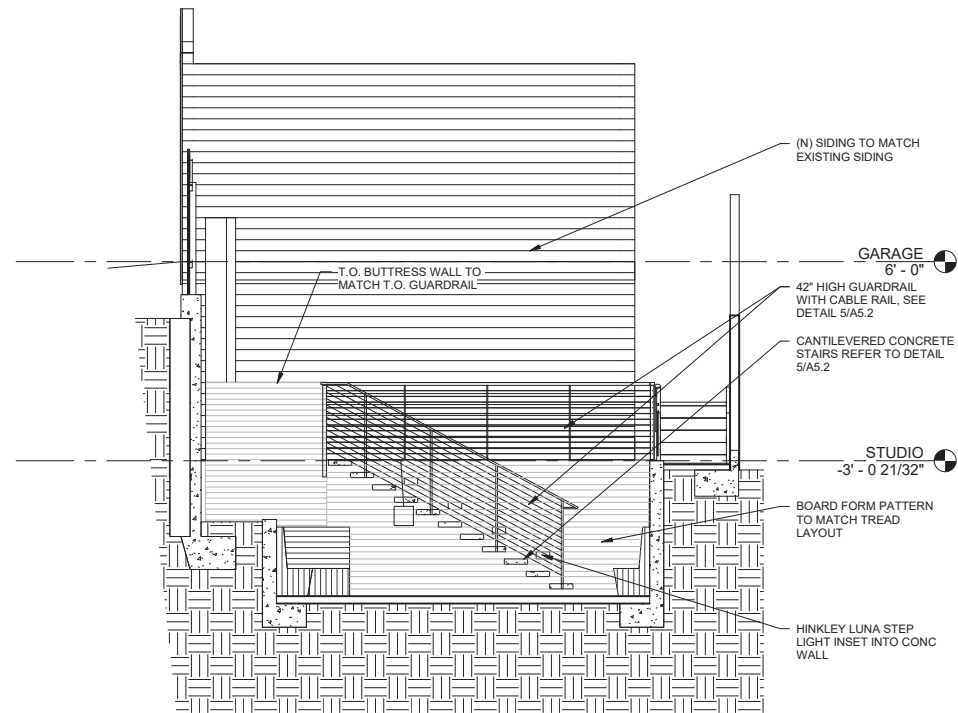
SCALE 1/4" = 1'-0"
DATE 04-26-17
DRAWN EON

TITLE
REMODEL
694 TENNESSEE STREET

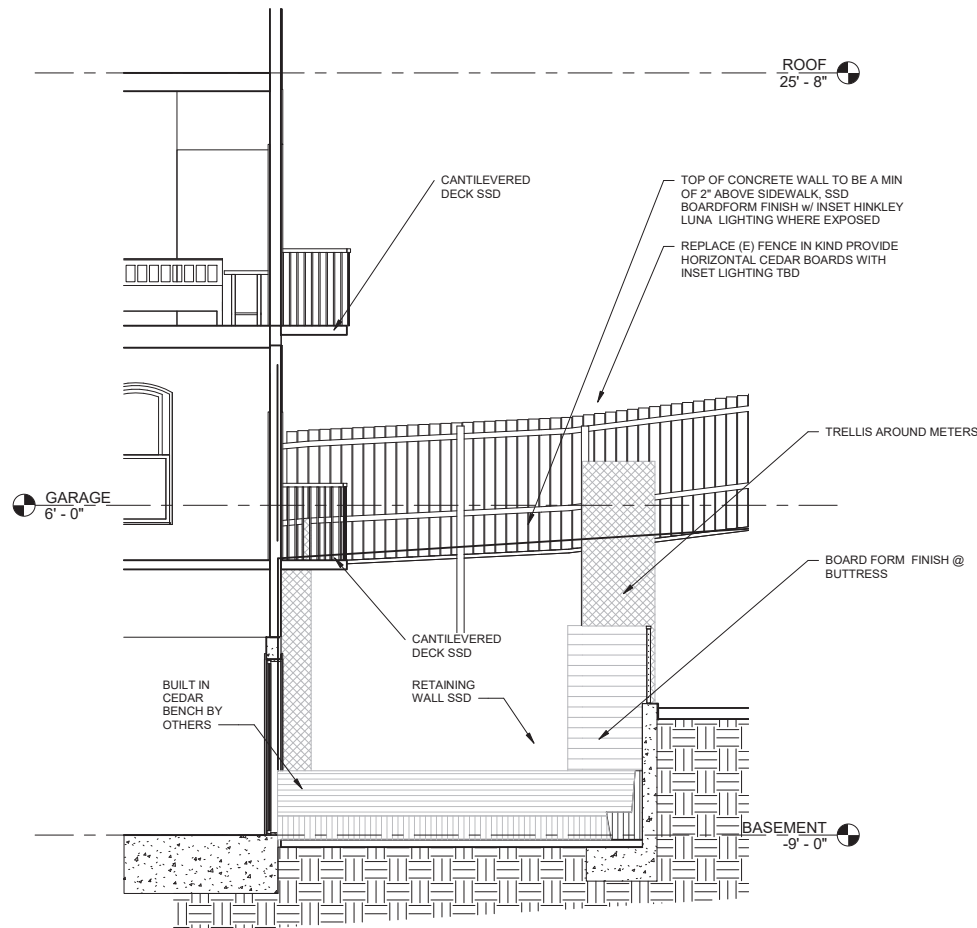
JOB #: 1722

DRAWING NO.

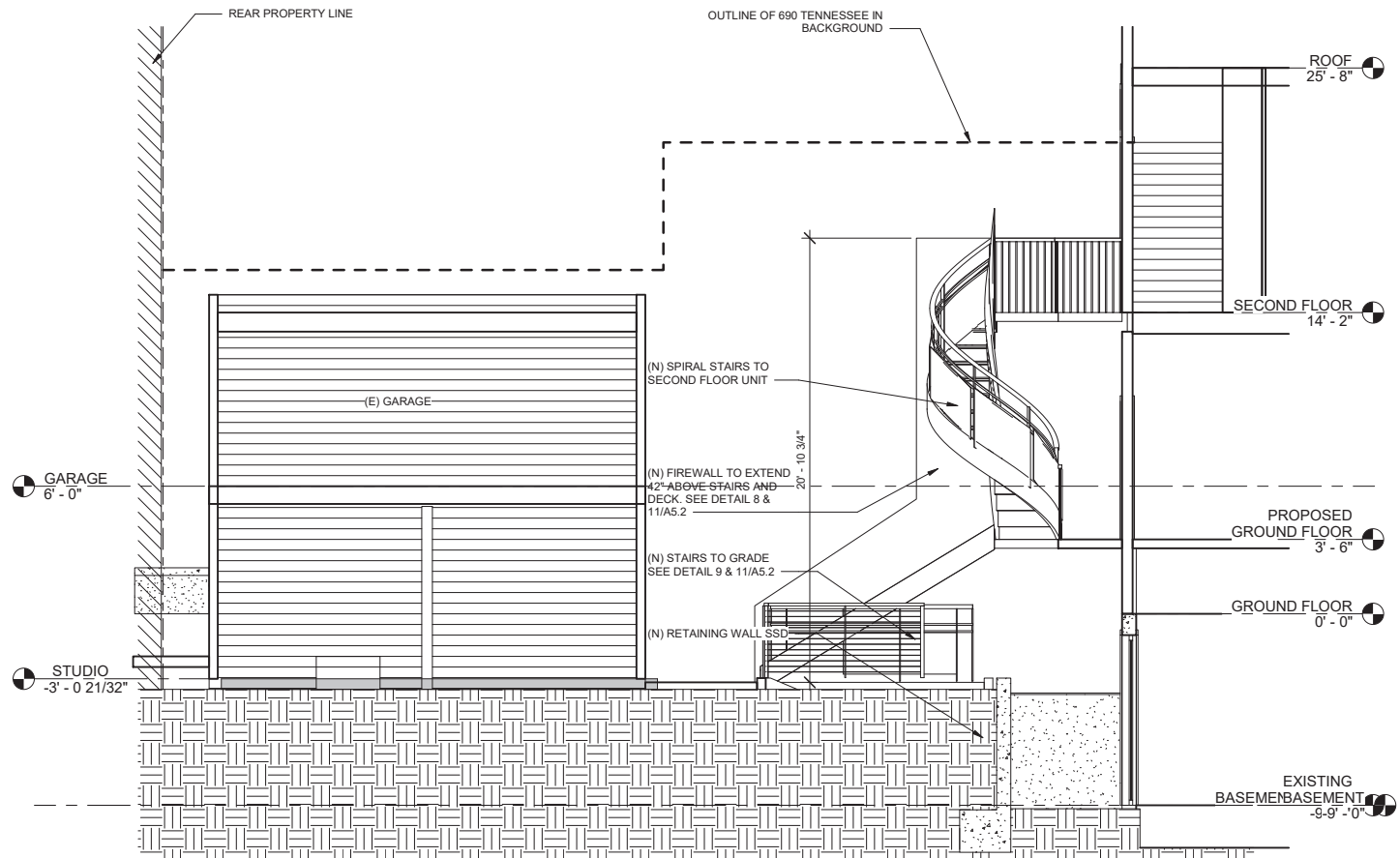
A3.3
OF SHEETS



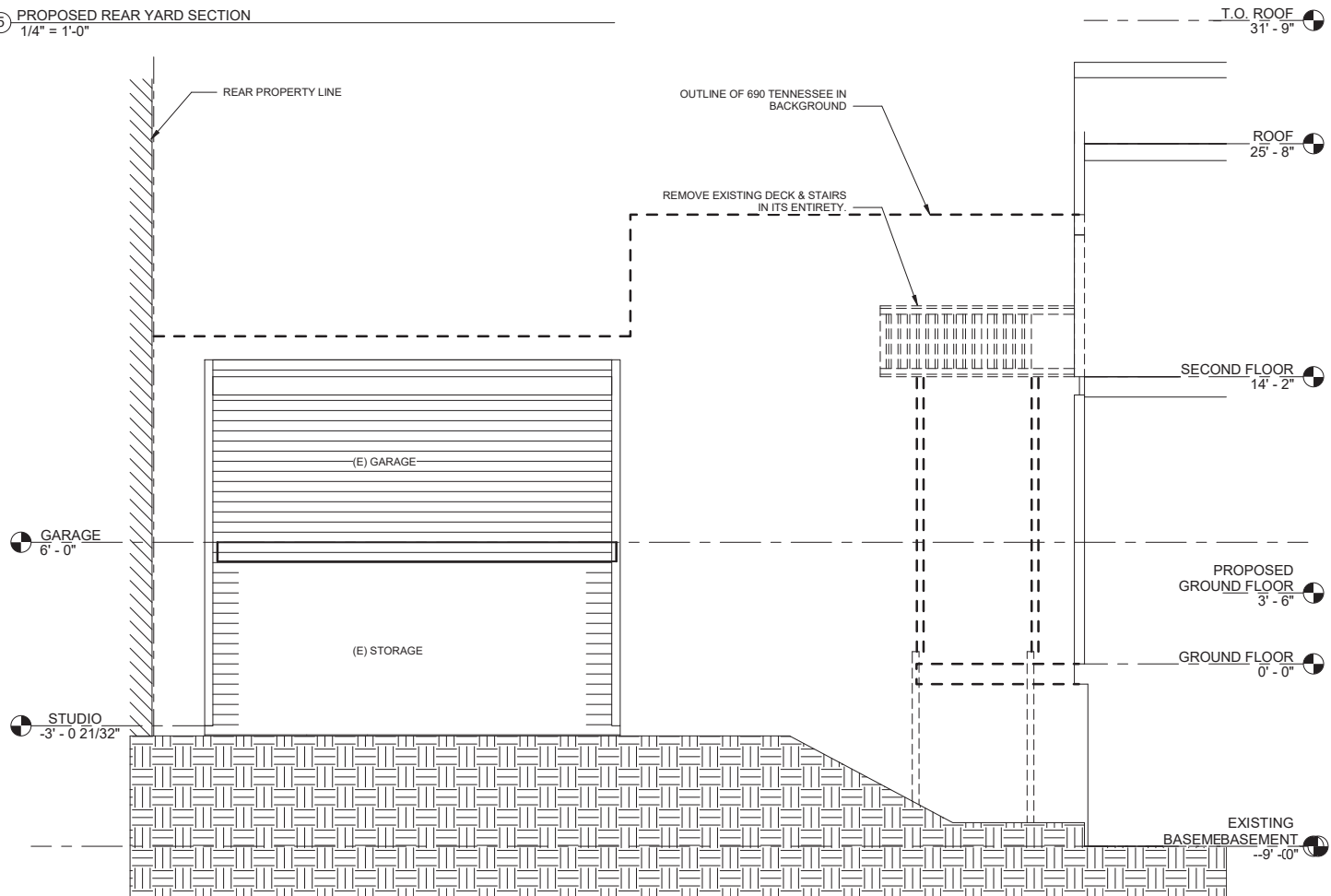
③ PROPOSED SECTION - GARAGE STRUCTURE
1/4" = 1'-0"



② PROPOSED SECTION - SUNKEN PATIO
1/4" = 1'-0"



⑤ PROPOSED REAR YARD SECTION
1/4" = 1'-0"



④ EXISTING REAR YARD SECTION
1/4" = 1'-0"

2	RESPONSE TO COMMENTS	07-10-19
1	PLAN CHECK	10-09-18
	PERMIT SUBMISSION	07-16-18



PROFESSIONAL SEAL

PROPOSED SUNKEN PATIO
ELEVATIONS

CLIENT
CHRIS MCCAFFREY
694 TENNESSEE STREET

SCALE 1/4" = 1'-0"
DATE 04-26-17
DRAWN EON

TITLE
REMODEL
694 TENNESSEE STREET

DRAWING NO.
A3.4
OF SHEETS

GENERAL FENESTRATION NOTES:

1. PROVIDE SELF ADHESIVE MEMBRANE FLASHING AROUND ALL EXTERIOR OPENINGS. REFER TO SHEET A7.1
2. VERIFY WITH OWNER ALL DIMENSIONS, HARDWARE, WINDOW OPERATIONS, COLORS AND STYLES.
3. ALL WATERPROOFING AND FLASHING BY CONTRACTOR.

Door Schedule							
Level	Mark	Phase Created	Width	Height	Frame Material	Comments	Description
PROPOSED GROUND FLOOR	36	New Construction	6' - 0"	6' - 6"	WOOD	TEMPERED GLASS DOOR	MARVIN ULTIMATE SLIDING PATIO DOOR
BASEMENT	79	New Construction	6' - 0"	8' - 0"	WOOD	TEMPERED GLASS DOOR	MARVIN ULTIMATE SLIDING PATIO DOOR
SECOND FLOOR	91	New Construction	6' - 0"	8' - 0"	WOOD	TEMPERED GLASS DOOR	MARVIN ULTIMATE SLIDING PATIO DOOR
PROPOSED GROUND FLOOR	109	New Construction	6' - 0"	6' - 6"	WOOD	TEMPERED GLASS DOOR	MARVIN ULTIMATE SLIDING PATIO DOOR

GENERAL DOOR NOTES:

1. ALL EXTERIOR DOORS, FRAMES AND TRIM SHALL BE PAINTED WOOD. FRAMES AND TRIM PROFILES SHALL MATCH (E) HISTORIC.
2. ALL INTERIOR WOOD DOORS SHALL BE PAINTED HOLLOW CORE, U.O.N.

Window Schedule					
Type Mark	Description	Width	Construction Type	Height	Comments
21	DBL HUNG	3' - 0"	WOOD	4' - 0"	(N) AT NORTH ELEVATION
29	DBL HUNG	4' - 0"	WOOD	5' - 0"	WINDOWS TO BE REPAIRED PER WINDOW AND DOOR SHOP SPECS
30	DBL HUNG	2' - 9"	WOOD	4' - 6"	WINDOWS TO BE REPAIRED PER WINDOW AND DOOR SHOP SPECS
31	DBL HUNG	2' - 6"	WOOD	7' - 6"	WINDOWS TO BE REPAIRED PER WINDOW AND DOOR SHOP SPECS, (N) AT REAR ELEVATION
32	DBL HUNG	2' - 0"	WOOD	7' - 6"	WINDOWS TO BE REPAIRED PER WINDOW AND DOOR SHOP SPECS, (N) AT REAR ELEVATION
34	DBL HUNG	3' - 0"	WOOD	5' - 0"	WINDOWS TO BE REPAIRED PER WINDOW AND DOOR SHOP SPECS
36	FIXED	3' - 0"	WOOD	8' - 0"	(E) WOOD WINDOWS SHALL BE REPLACED IN-KIND, MAINTENANCE & OPERATION.
37	FIXED	6' - 0"	WOOD	1' - 11"	TRANSOM, (N) AT REAR ELEVATION
42	DBL HUNG	2' - 6"	WOOD	8' - 2 1/4"	WINDOWS TO BE REPAIRED PER WINDOW AND DOOR SHOP SPECS
46	DBL HUNG	2' - 1"	WOOD	7' - 11"	WINDOWS TO BE REPAIRED PER WINDOW AND DOOR SHOP SPECS

GENERAL WINDOW NOTES:


1. ALL GLAZING WITHIN 24" OF FLOOR SURFACES SHALL BE TEMPERED
2. PROVIDE VALENCES AT WINDOWS WHERE REQUIRED BY OWNER.

EGRESS WINDOWS:

EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM) MEASURED FROM THE FLOOR. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (610 MM). THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (508 MM). THE NET CLEAR OPENING DIMENSION SHALL BE THE RESULT OF THE NORMAL OPERATION OF THE OPENING.



2	RESPONSE TO COMMENTS	07-10-19
1	PLAN CHECK	10-09-18
	PERMIT SUBMISSION	07-16-18



PROFESSIONAL SEAL

SCHEDULES

CLIENT
CHRIS MCCAFFREY
694 TENNESSEE STREET

SCALE
DATE 04-26-17
DRAWN EON
JOB #: 1722

TITLE
REMODEL
694 TENNESSEE STREET

2

DRAWING NO.
A4.1
OF 4 SHEETS



185 Industrial Street
San Francisco, Ca 94124
415 282 6192
Fax 415 282 6193

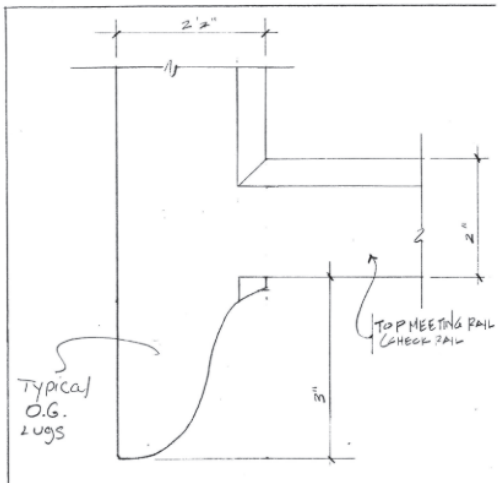
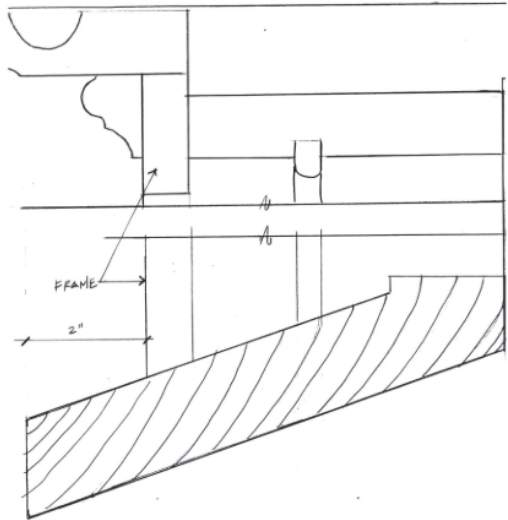
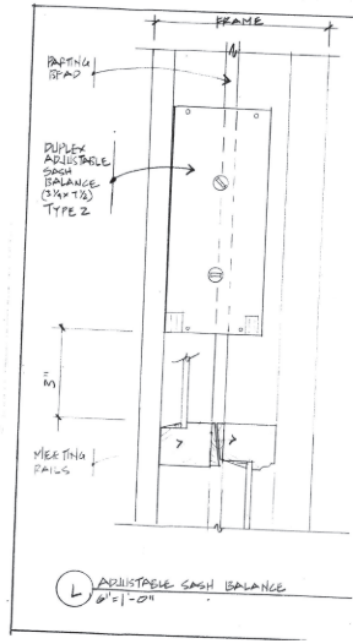
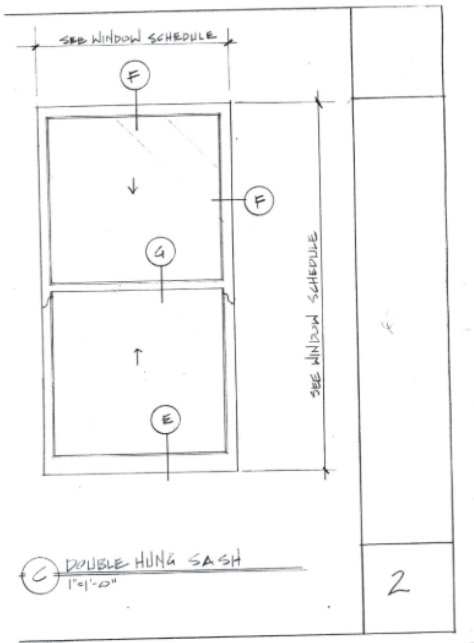
Thursday October 17, 2019

To: Whom it may concern

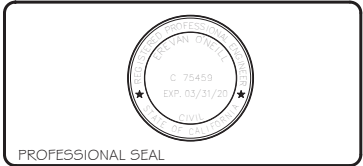
Re: General notes on our windows fabrication for double hung

Type of wood: vertical doug fir wood 85/15 FSC
Type of glue: Waterproof Titebond III ultimate wood glue.
Type of nails: Senco, 15 gage. 1 1/2, 32 mm. 3d finish nails.
Type of dowels: 1/2" X 3" hardwood spiral dowels.
Type of joinery: male/female cope and dowel using above nails, glue and dowels.
Type of glass: 1/2 O.A., insulated glass lowe2
Type of caulking: DAP, DYNAFLEX 230.
Top sash with authentic O.G. lugs
Complete double hung units with spring balancers.
Double hung sashes prep for rope cut out on the side

Thank you
Chico Ochoa
The Window And Door Shop, Inc.



2	RESPONSE TO COMMENTS	07-10-19
1	PLAN CHECK	10-09-18
	PERMIT SUBMISSION	07-16-18



SPECS

CLIENT CHRIS MCCAFFREY 694 TENNESSEE STREET	SCALE DATE 04-26-17 DRAWN EON JOB #: 1722
TITLE REMODEL 694 TENNESSEE STREET	DRAWING NO. A4.2 OF SHEETS



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
694 TENNESSEE ST		3996007
Case No.		Permit No.
2018-010825PRJ		201706260347
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
Project description for Planning Department approval. Interior renovation of dwelling unit located on second floor. Rehabilitation of existing deteriorated wood window system and exterior wood siding, trim, and moldings. Fenestration of deck and sunken patio at rear of building.		

STEP 1: EXEMPTION CLASS

The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. FOR ENVIRONMENTAL PLANNING USE ONLY
<input type="checkbox"/>	Class ____

TO BE COMPLETED BY PROJECT PLANNER

Comments and Planner Signature (optional):

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map)	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input checked="" type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input checked="" type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input checked="" type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input checked="" type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category A a. Per HRER or PTR dated b. Other (specify): </div> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category C (attach HRER or PTR) </div> </div>
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature:	

STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Building Permit If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	Signature: Monica Giacomucci 12/10/2019
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.		

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
694 TENNESSEE ST		3996/007
Case No.	Previous Building Permit No.	New Building Permit No.
2018-010825PRJ	201706260347	
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

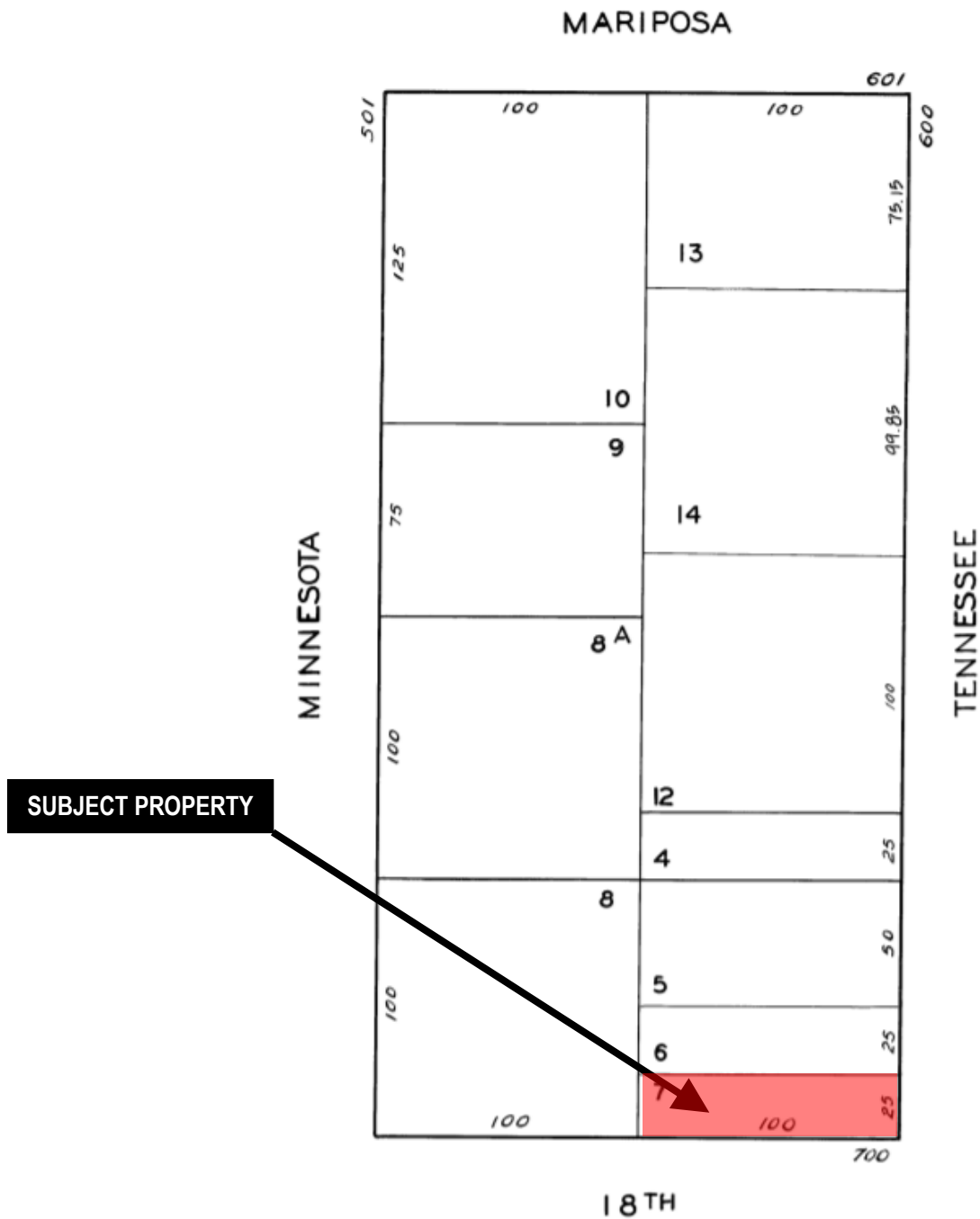
DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

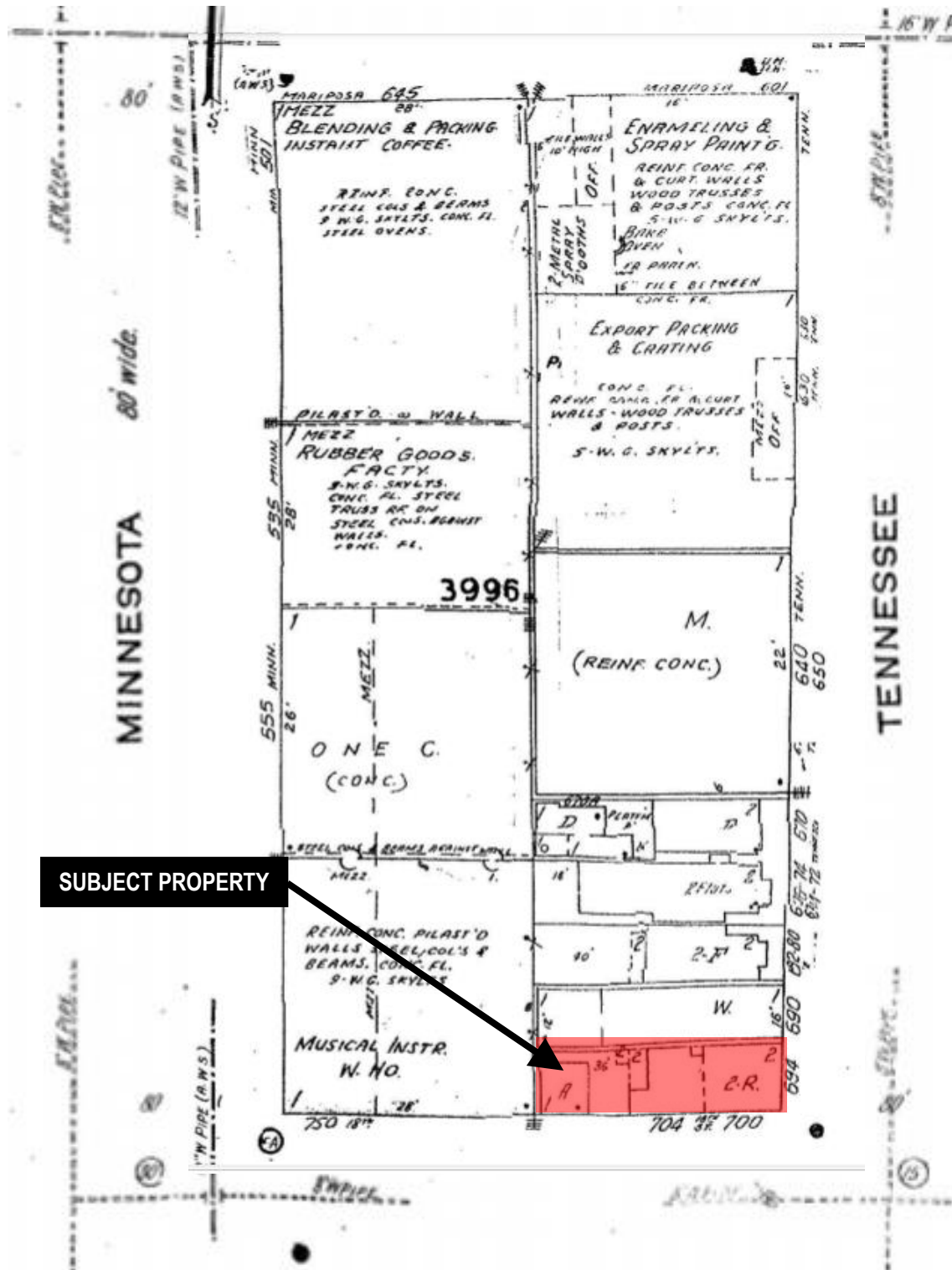
DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.	
Planner Name:	Date:

Parcel Map



Sanborn Map*



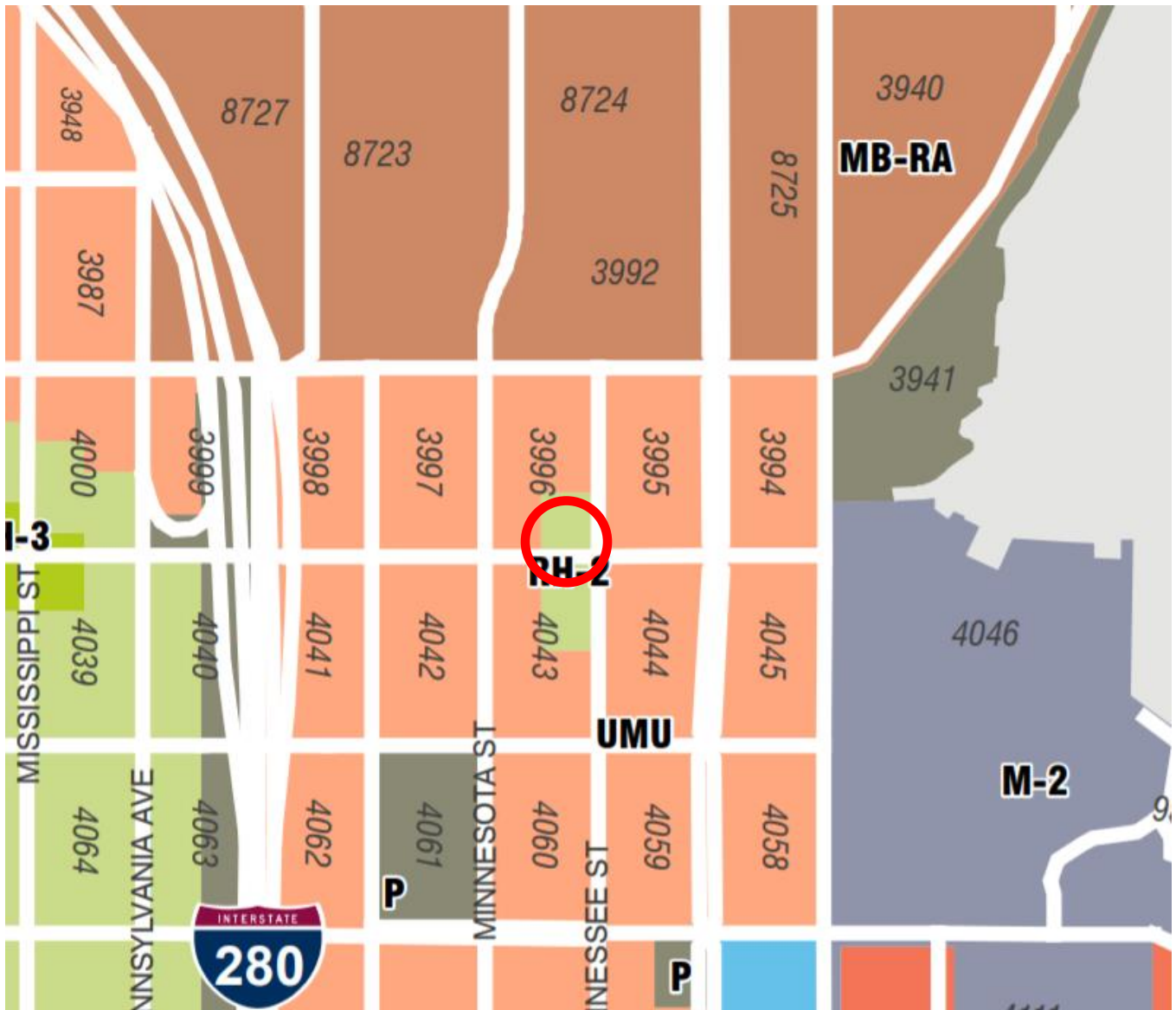
SUBJECT PROPERTY

*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



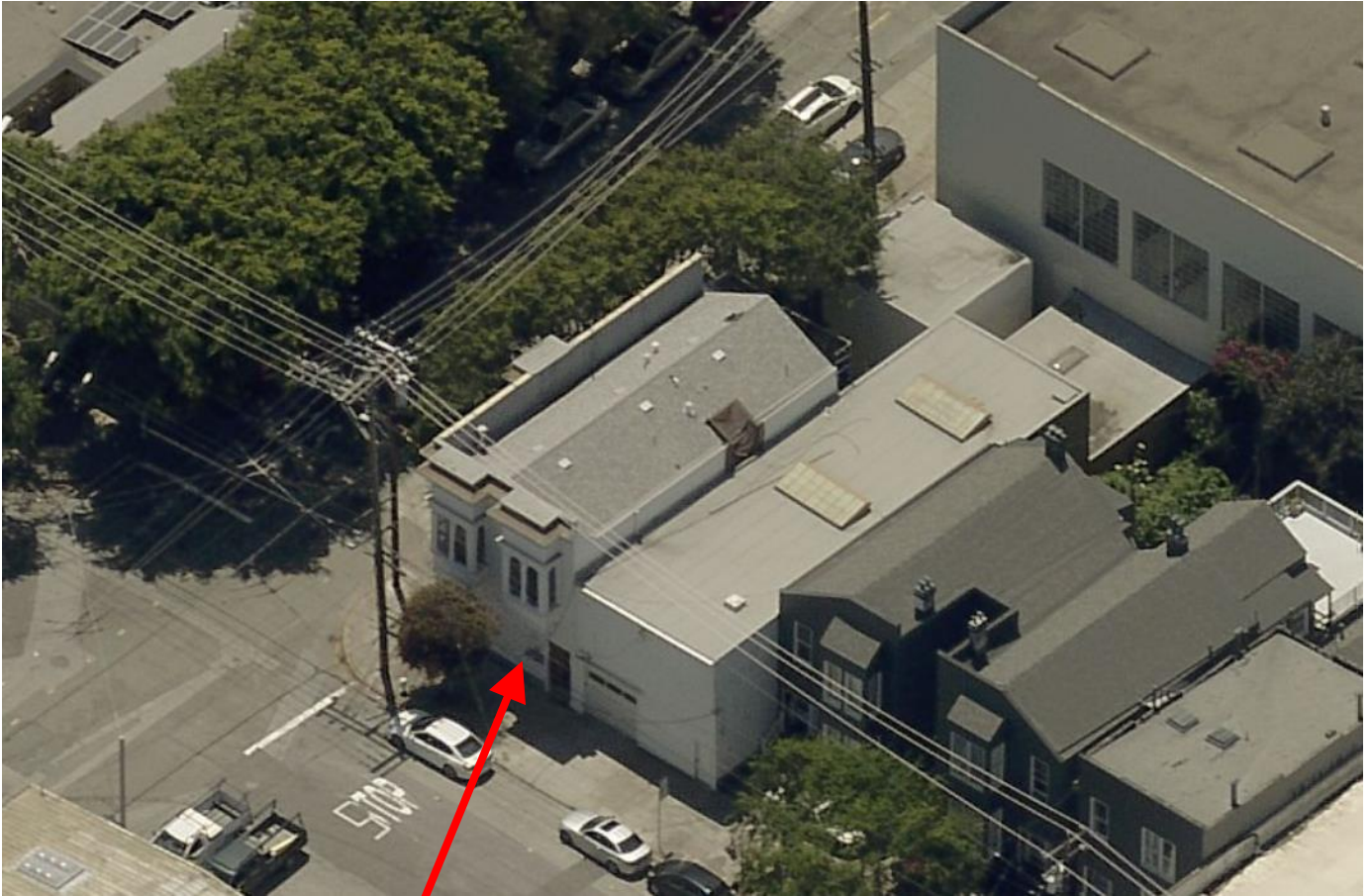
Certificate of Appropriateness
Case Number 2018-010825COA
694 Tennessee Street
Block 3996 Lot 007

Zoning Map



Certificate of Appropriateness
Case Number 2018-010825COA
694 Tennessee Street
Block 3996 Lot 007

Aerial Photo



SUBJECT PROPERTY



Site Photo



**SUBJECT PROPERTY
PRIOR TO WORK**

