



# SAN FRANCISCO PLANNING DEPARTMENT

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## Certificate of Appropriateness Executive Summary

HEARING DATE: APRIL 1, 2020

*Record No.:* 2017-013752COA  
*Project Address:* 1772 VALLEJO ST  
*Landmark:* Landmark No. 31  
*Zoning:* RH-2 RESIDENTIAL- HOUSE, TWO FAMILY Zoning District  
40-X Height and Bulk District  
*Block/Lot:* 0552/029  
*Project Sponsor:* Ambrose Wong, Garavaglia Architecture  
582 Market Street, Suite 1800  
San Francisco, CA 94104  
*Staff Contact:* Shannon M. Ferguson - 415-575-9074  
Shannon.Ferguson@sfgov.org

1650 Mission St.  
Suite 400  
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CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

### PROPERTY DESCRIPTION

1772 VALLEJO STREET (subject property) is located on the north side of Vallejo Street between Franklin and Gough streets in San Francisco's Pacific Heights neighborhood. Also known as the Burr House, the subject property is designated as City Landmark No. 31 (1970), holds a Mills Act Contract (2013) and is listed on the National Register of Historic Places (2014).

Designed with a blend of Italianate and Second Empire style influences, the building is a three-story-over-raised-basement single-family dwelling constructed circa 1878 by former San Francisco mayor, Ephraim W. Burr, as a wedding gift for his son, Edmund Burr (a chemical engineer), and his wife Anna Barnard. The design is attributed to the builder, Edmund M. Wharf. The subject property is an extremely rare example of an Italianate and Second Empire style residence located within a large garden setting and exemplifies the type of Gilded Age properties constructed in Pacific Heights during the last quarter of the nineteenth century.

### PROJECT DESCRIPTION

The proposed project is a three-story horizontal addition at the rear (north) elevation of the main house. The footprint of the addition will be approximately 9-feet by 33-feet and set in from the east and west elevations of the house. The first and second stories will be nearly the full width of the rear elevation and the third story will extend approximately half the width of the rear elevation. The addition will be clad in plaster at the first story and "V" rusticated siding to match the spacing and align with the existing channel rustic siding. The rear elevation of the addition will have a door with arched transom will be flanked by three arched windows at each side at the first story. Two banks of three arched windows will be located at the second story. The third story will contain a bank of three arched windows. All new windows will have wood, double-hung sash and a plain trim profile. Roof decks with wood railings will be located at the third and fourth stories. The west elevation of the addition will have double doors accessing the trash enclosure and one arched window at the second story. The east elevation of the addition will have one arched

window with wood, double-hung sash at the second story and a door at the third story will access the new roof deck. Please see photographs and plans for details. Please see photographs and plans for details.

## COMPLIANCE WITH PLANNING CODE

### Planning Code Development Standards.

The proposed project is in compliance with all other provisions of the Planning Code.

In order to proceed, a building permit from the Department of Building Inspection is required.

### Applicable Preservation Standards.

The proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 1006.6 of the Planning Code, and complies with the *Secretary of the Interior's Standards for Rehabilitation*, in that:

- the addition will be at the rear elevation of the main house and appears to be minimally visible from the street.
- the addition will remove a substantial portion of the rear elevation. However, the first and second stories have been previously altered with an enclosed room, removal of an enclosed porch and alterations to windows. The previous alterations to the first and second stories of the rear elevation have not acquired significance in their own right. The third story portion of the addition removes one historic window and is notched to retain the second historic window at this elevation. The addition retains visibility of the historic quoining at the sides the house. The roof deck at the third story will be below the bay window, which appears to allow the historic features below the bay window to remain visible. The roof deck at the fourth story is below the brackets of the mansard roof which maintains visibility;
- the massing, size and scale of the new addition is compatible with the house. The arched windows with simple profile trim and V-rusticated siding proposed for the addition is differentiated yet compatible with the size, scale, materials, and architectural features of the house;
- the new addition is constructed in a manner that may be removed in the future. The first and second stories have undergone previous alterations. At the first story, this area was previously enclosed. Also at the first story, windows proposed for infill may be opened in the future. The second story wall will be removed nearly in its entirety; however, this portion of the house has been previously altered. At the third story, one windows will be removed and used as an opening into the addition, while the other will be retained.

The Department has determined that the proposed work will be in conformance with the requirements of Article 10 and the *Secretary of Interior's Standards for Rehabilitation*. Proposed work will not damage or destroy distinguishing original qualities or character of the subject building. The Department finds that the historic character of the building will be retained and preserved and will result in a modest removal of historic fabric.

## **PUBLIC/NEIGHBORHOOD INPUT**

The Department has received no public inquiries for general information about the proposed project at the date of this report.

## **ISSUES & OTHER CONSIDERATIONS**

The Architectural Review Committee (ARC) of the Historic Preservation Commission reviewed the proposed project on January 15, 2020. The ARC commented that the cornice at the addition seemed insubstantial and recommended a more prominent cornice; the metal railing at the roof decks were incompatible with the materials of the subject property and recommended wood railings; the rectangular window on the west elevation of the addition is incompatible with the fenestration pattern of the subject property and recommended the window be arched with trim in a plain profile; and recommended differentiating the first story fenestration from the upper stories at the rear elevation of the addition. The project sponsor has incorporated ARC comments and the revised proposal is supported by Department Staff.

## **CONDITIONS OF APPROVAL**

None

## **ENVIRONMENTAL REVIEW STATUS**

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

## **BASIS FOR RECOMMENDATION**

The Department recommends APPROVAL of the proposed project as it meets the provisions of Article 10 of the Planning Code regarding Major Alteration to a contributing resource in a Landmark District and the *Secretary of the Interior Standards for Rehabilitation*.

## **ATTACHMENTS**

Draft Motion – Certificate of Appropriateness  
Exhibit A – Plans and Renderings  
Exhibit B – Environmental Determination  
Exhibit C – Maps and Context Photos  
Exhibit D - Project Sponsor Brief



# SAN FRANCISCO PLANNING DEPARTMENT

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## Certificate of Appropriateness Draft Motion

HEARING DATE: APRIL 1, 2020

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

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Shannon.Ferguson@sfgov.org

**ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR MAJOR ALTERATIONS DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10 OF THE SAN FRANCISCO PLANNING CODE, AND TO MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 029 IN ASSESSOR'S BLOCK 0552 IN A RH-2 RESIDENTIAL- HOUSE, TWO FAMILY ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.**

### **PREAMBLE**

On September 11, 2017, Ambrose Wong of Garavaglia Architecture (hereinafter "Project Sponsor") filed Application No. 2017-013752COA (hereinafter "Application") with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness for a three-story horizontal addition at the rear elevation at the subject building located on Lot 029 in Assessor's Block 0552, which is Landmark No. 31 and locally designated under Article 10 of the Planning Code.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

On January 15, 2020, the Architectural Review Committee of the Historic Preservation Commission reviewed on commented on the proposed project.

On April 1, 2020, the Historic Preservation Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Certificate of Appropriateness Application No. 2017-013752COA.



The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2017-013752COA is located at 1650 Mission Street, Suite 400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby APPROVES the Certificate of Appropriateness, as requested in Application No. 2017-013752COA in conformance with the architectural plans dated February 12, 2020 and labeled Exhibit B based on the following findings:

## FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. **Project Description.** The proposed project is a three-story horizontal addition at the rear (north) elevation of the main house. The footprint of the addition will be approximately 9-feet by 33-feet and set in from the east and west elevations of the house. The first and second stories will be nearly the full width of the rear elevation and the third story will extend approximately half the width of the rear elevation. The addition will be clad in plaster at the first story and “V” rusticated siding to match the spacing and align with the existing channel rustic siding. The rear elevation of the addition will have a door with arched transom will be flanked by three arched windows at each side at the first story. Two banks of three arched windows will be located at the second story. The third story will contain a bank of three arched windows. All new windows will have wood, double-hung sash and a plain trim profile. Roof decks with wood railings will be located at the third and fourth stories. The west elevation of the addition will have double doors accessing the trash enclosure and one arched window at the second story. The east elevation of the addition will have one arched window with wood, double-hung sash at the second story and a door at the third story will access the new roof deck. Please see photographs and plans for details.
3. **Property Description.** 1772 VALLEJO STREET is located on the north side of Vallejo Street between Franklin and Gough streets in San Francisco’s Pacific Heights neighborhood. Also known as the Burr House, the subject property is designated as City Landmark No. 31 (1970), holds a Mills Act Contract (2013) and is listed on the National Register of Historic Places (2014). Designed with a blend of Italianate and Second Empire style influences, the building is a three-story-over-raised-basement single-family dwelling constructed circa 1878 by former San Francisco mayor, Ephraim W. Burr, as a wedding gift for his son, Edmund Burr (a chemical engineer), and his wife Anna Barnard. The design is attributed to the builder, Edmund M. Wharf. The subject property is an extremely rare example of an Italianate and Second Empire style residence located within a large garden setting and exemplifies the type of Gilded Age properties constructed in Pacific Heights during the last quarter of the nineteenth century.

4. **Surrounding Properties and Neighborhood.** The neighborhood is predominantly an urban residential area with a mix of single-family homes and small and large apartment buildings.
5. **Public Outreach and Comments.** The Department has received no public correspondence at the date of the executive summary.
6. **Planning Code Compliance.** The Commission has determined that the proposed work is compatible with the exterior character-defining features of the subject property and meets the requirements of Article 10 of the Planning Code in the following manner:

- A. **Article 10 of the Planning Code.** Pursuant to Section 1006.6 of the Planning Code, the proposed alteration shall be consistent with and appropriate for the effectuation of the purposes of this Article 10.

*The proposed project is consistent with Article 10 of the Planning Code.*

- B. **Secretary of the Interior's Standards.** Pursuant to Section 1006.6(b) of the Planning Code, the proposed work shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties for significant and contributory buildings, as well as any applicable guidelines, local interpretations, bulletins, or other policies. Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

- (1) **Standard 1:** A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

*The property will remain a single family home. The addition will be at the rear elevation of the main house and appears to be minimally visible from the street.*

- (2) **Standard 2:** The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

*The addition will remove a substantial portion of the rear elevation. However, the first and second stories have been previously altered with an enclosed room, removal of an enclosed porch and alterations to windows. The third story portion of the addition removes one historic window and is notched to retain the second historic window at this elevation. The addition retains visibility of the historic quoining at the sides the house. The roof deck at the third story will be below the bay window, which appears to allow the historic features below the bay window to remain visible. The roof deck at the fourth story is below the brackets of the mansard roof which maintains visibility.*

- (3) **Standard 3:** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural

features or elements from other historic properties, shall not be undertaken.

*Not applicable.*

- (4) **Standard 4:** Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

*The previous alterations to the first and second stories of the rear elevation have not acquired significance in their own right.*

- (5) **Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property shall be preserved.

*The addition retains visibility of the historic quoining at the sides the house. The roof decks at the third story will be below the bay window and roof bracket, allowing these features remain visible.*

- (6) **Standard 6:** Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

*Not applicable.*

- (7) **Standard 7:** Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

*Not applicable.*

- (8) **Standard 8:** Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

*Not Applicable.*

- (9) **Standard 9:** New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

*The massing, size and scale of the new addition is compatible with the house. The arched windows with simple profile trim and V-rusticated siding proposed for the addition is differentiated yet compatible with the size, scale, materials, and architectural features of the house.*

- (10) **Standard 10:** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*The new addition is constructed in a manner that may be removed in the future. The first and second stories have undergone previous alterations. At the first story, this area was previously enclosed. Also at the first story, windows proposed for infill may be opened in the future. The second story wall will be removed nearly in its entirety; however, this portion of the house has been previously altered. At the third story, one windows will be removed and used as an opening into the addition, while the other will be retained.*

- C. **Landmarks.** Article 10 of the Planning Code outlines specific findings for the Commission to consider when evaluating applications for alterations to Landmarks.

Landmarks

1. Pursuant to Section 1006.6(c) of the Planning Code, for applications pertaining to landmark sites, the proposed work shall preserve, enhance or restore, and shall not damage or destroy, the exterior architectural features of the landmark and, where specified in the designating ordinance pursuant to Section 1004(c), its major interior architectural features. The proposed work shall not adversely affect the special character or special historical, architectural or aesthetic interest or value of the landmark and its site, as viewed both in themselves and in their setting, nor of the historic district in applicable cases.

*The project is in conformance with Article 10 as the work shall not adversely affect the Landmark site.*

7. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

**URBAN DESIGN ELEMENT**

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

**OBJECTIVE 1:**

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

**Policy 1.3**

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

**OBJECTIVE 2:**

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

**Policy 2.4**

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

**Policy 2.5**

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

**Policy 2.7**

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

*The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.*

*The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject property for the future enjoyment and education of San Francisco residents and visitors.*

8. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

*The proposed project will not have an impact on neighborhood serving retail uses.*

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

*The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards*

- C) The City's supply of affordable housing will be preserved and enhanced:

*The project will not affect the City's affordable housing supply.*

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.*

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

*The proposed project will not have a direct impact on the displacement of industrial and service sectors.*

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*All construction will be executed in compliance with all applicable construction and safety measures.*

- G) That landmark and historic buildings will be preserved:

*The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.*

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

*The proposed project will not impact the access to sunlight or vistas for the parks and open space.*

9. For these reasons, the proposal overall, appears to meet the *Secretary of the Interior's Standards* and the provisions of Article 10 of the Planning Code regarding Major Alterations.

## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES a Certificate of Appropriateness** for the subject property located at Lot 029 in Assessor's Block 0552 for proposed work in conformance with the architectural submittal dated February 12, 2020 and labeled Exhibit B on file in the docket for Record No. 2017-013752COA.

**APPEAL AND EFFECTIVE DATE OF MOTION:** The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days after the date of this Motion No. XXXXXX. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 1650 Mission Street, (Room 304) or call (415) 575-6880.

**Duration of this Certificate of Appropriateness:** This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

**THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.**

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on April 1, 2020.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: April 1, 2020

## EXHIBIT A

### AUTHORIZATION UPDATE

This authorization is for a Certificate of Appropriateness to allow Alterations/ New Construction/ located at 1772 Vallejo Street, Block 0552, and Lot 029 pursuant to Planning Code Section(s) **1006** within the **RH-2** District and a **40-X** Height and Bulk District; in general conformance with plans, dated **February 12, 2020**, and stamped "EXHIBIT B" included in the docket for Record No. **2017-013752COA** and subject to conditions of approval reviewed and approved by the Historic Preservation Commission on **April 1, 2020** under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Historic Preservation Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Certificate of Appropriateness and any subsequent amendments or modifications.

### SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

### CHANGES AND MODIFICATIONS

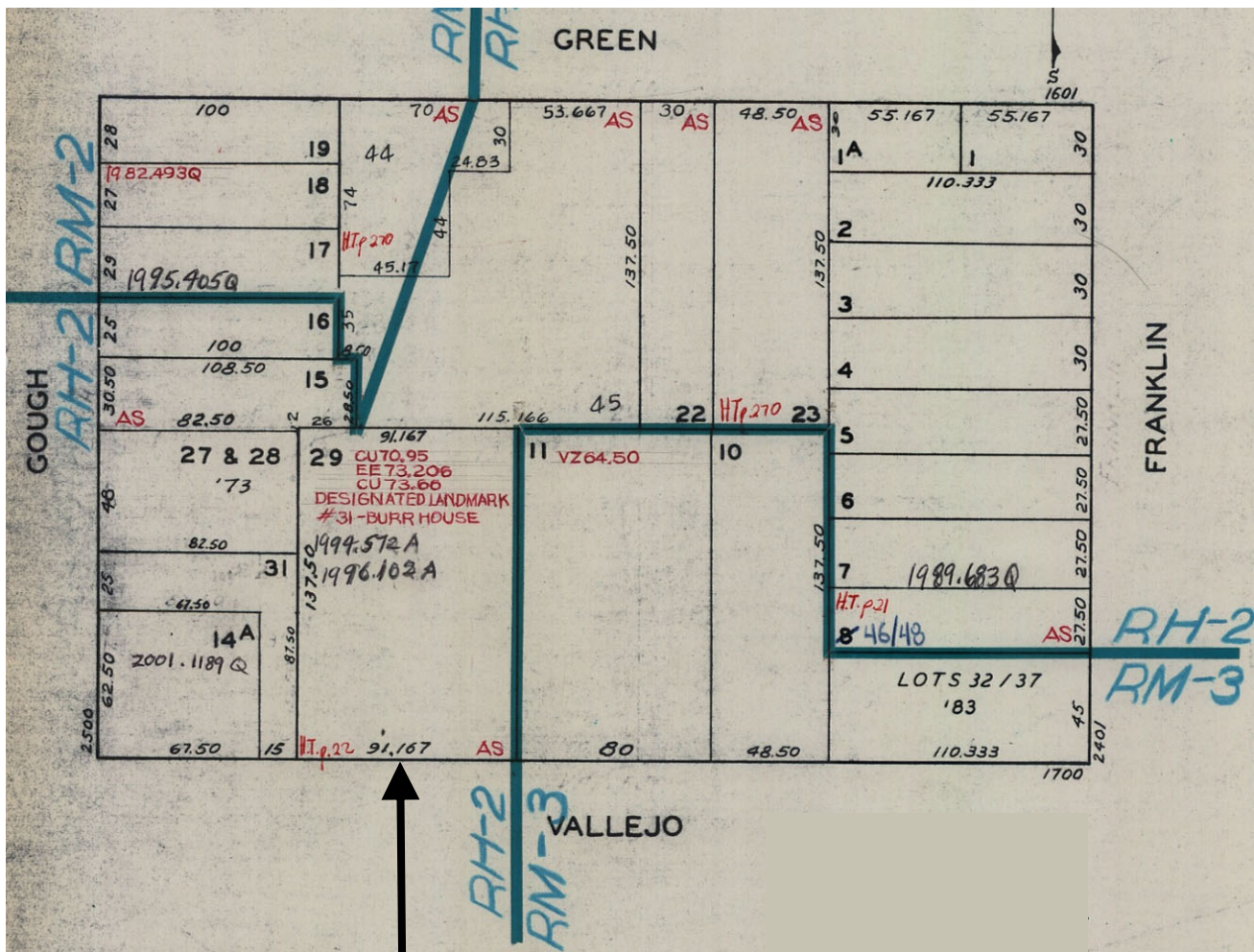
Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Historic Preservation Commission approval of a new Certificate of Appropriateness. In instances when Planning Commission also reviews additional authorizations for the project, Planning Commission may make modifications to the Certificate of Appropriateness based on majority vote and not required to return to Historic Preservation Commission.

### CONDITIONS OF APPROVAL

1. None



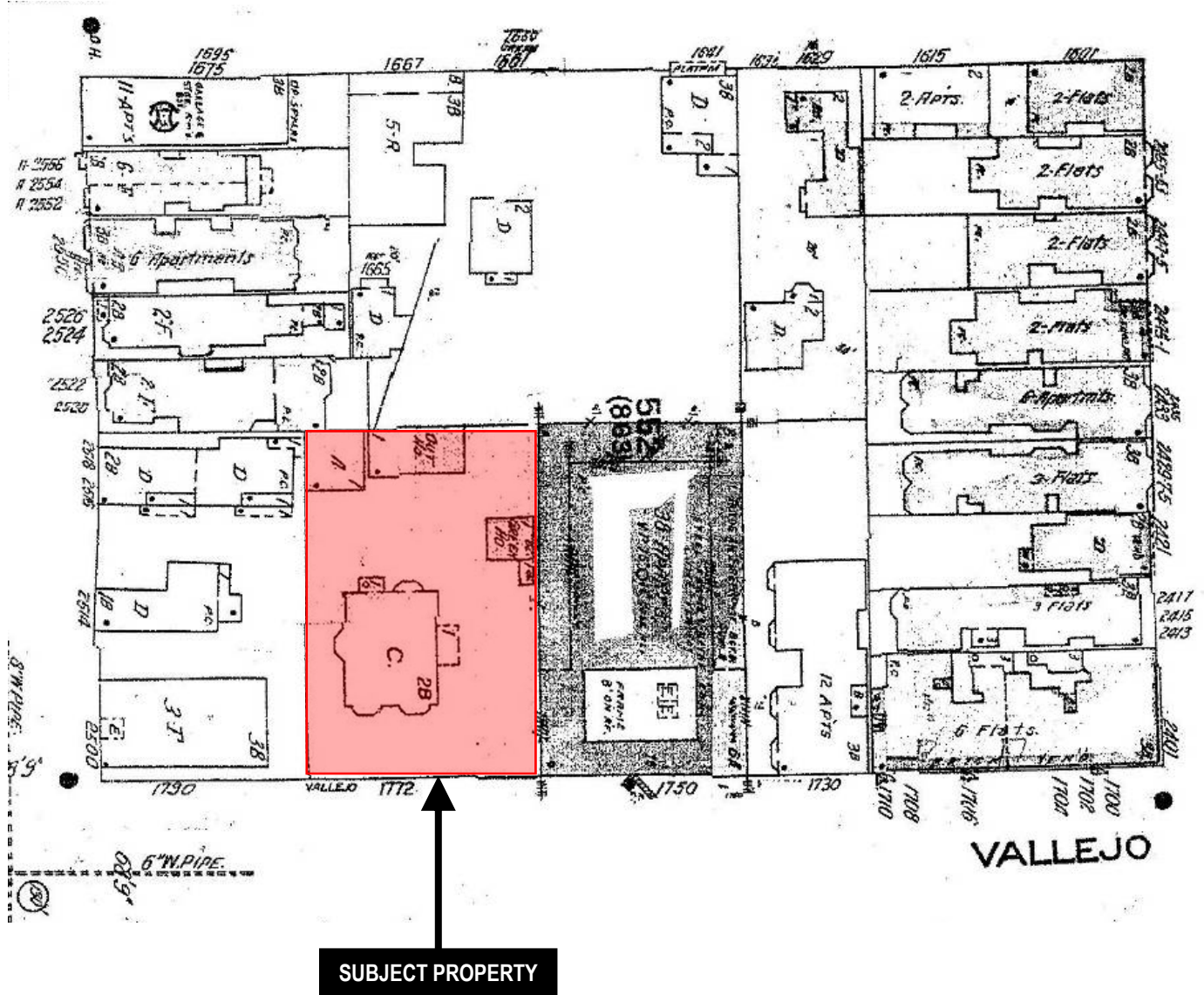
# Parcel Map



**SUBJECT PROPERTY**

Architectural Review Committee  
**Case Number 2017-013752COA**  
 1772 Vallejo Street  
 January 15, 2020

# Sanborn Map\*



Note: Greenhouse is no longer extant.

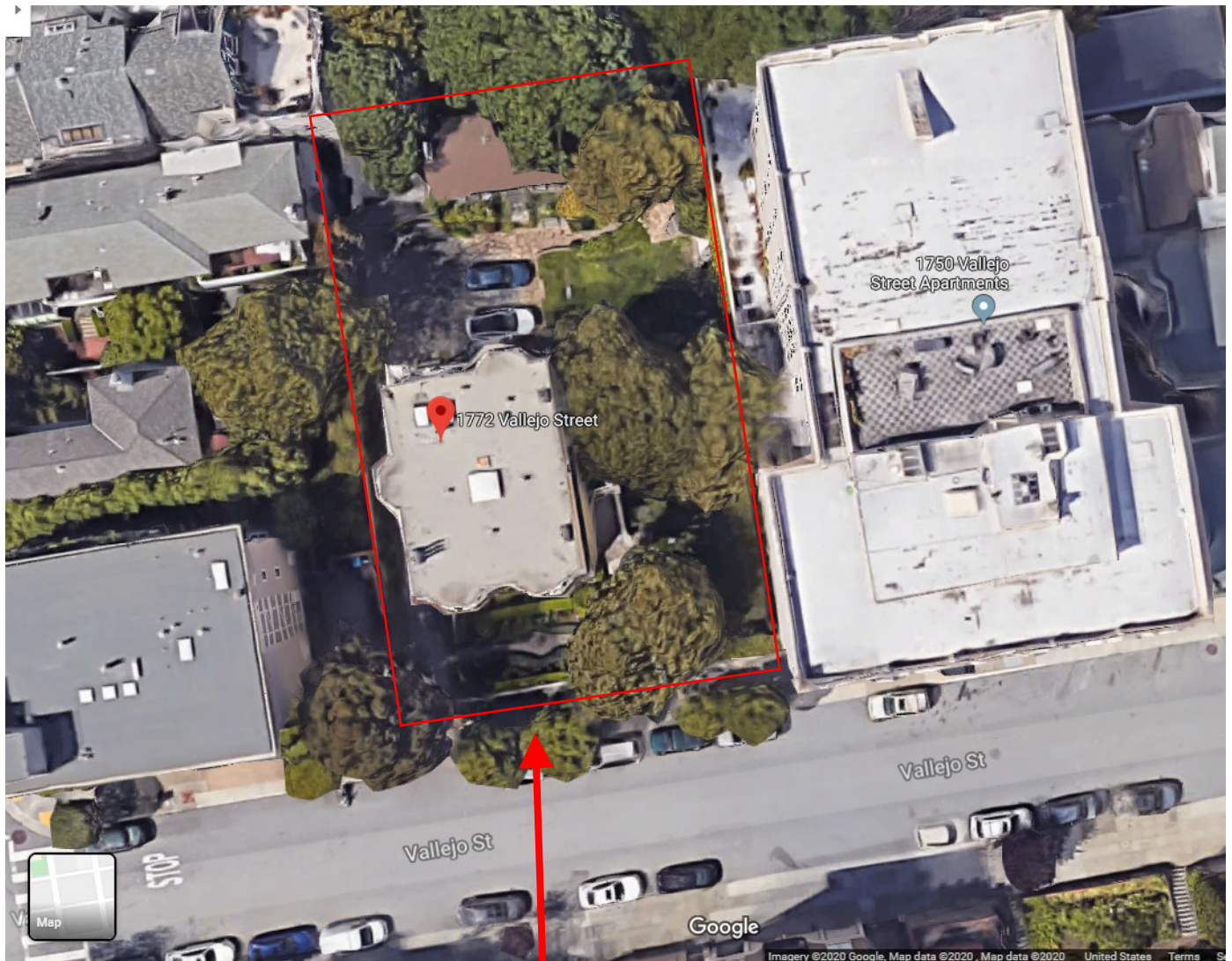
*\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.*



Architectural Review Committee  
**Case Number 2017-013752COA**  
 1772 Vallejo Street  
 January 15, 2020



# Aerial Photo – View 1



**SUBJECT PROPERTY**



Architectural Review Committee  
Case Number 2017-013752COA  
1772 Vallejo Street  
January 15, 2020

# Site Photo



Front (south) elevation

Architectural Review Committee  
**Case Number 2017-013752COA**  
1772 Vallejo Street  
January 15, 2020



# Site Photo



Existing rear (north) elevation

Architectural Review Committee  
Case Number 2017-013752COA  
1772 Vallejo Street  
January 15, 2020



# Historic Photo



Rear (north) elevation c. 1970

Architectural Review Committee  
Case Number 2017-013752COA  
1772 Vallejo Street  
January 15, 2020



# Historic Photo




Rear (north) elevation c. 1970

Architectural Review Committee  
Case Number 2017-013752COA  
1772 Vallejo Street  
January 15, 2020





City and County of San Francisco  
Department of Building Inspection



Edwin M. Lee, Mayor  
Tom C. Hui, S.E., C.B.O., Director

June 9, 2017

Ambrose Wong  
Garavaglia Architecture  
582 Market St. Suite 1800  
San Francisco, CA 94104

Re: 0552 APN Block 029 Lot


Dear Ambrose Wong:

In response to your request to be authorized to apply the California Historical Building Code to the building at 1772 Vallejo St., please be advised that the California Historical Building Code, Section 8-101.2 and 8-218, indicates that the building(s) that are on lists or surveys adopted by a national, state or local agency, or buildings that have been deemed eligible for such lists or surveys, may apply the California Historical Building Code.

The subject building was built in 1900 is a designated Landmark and categorized "A – Historic Resource Present" by the San Francisco Planning Department. Based on the historical features of the building, you are entitled to apply the California Historical Building Code to work that takes place in the building and on the site at 1772 Vallejo St.


Any specific application to use the California Historical Building Code must detail the specific provisions of that code that you wish to apply along with an explanation of the reasons as to why the regular building code cannot be applied. State Law requires that the Department of Building Inspection, Fire Department and other enforcing agencies in San Francisco accept reasonable equivalent alternatives to the regular code in dealing with qualified historical buildings. You may also wish to review Administrative Bulletin AB-013, Disabled Access Alternatives for Historical Buildings, which is printed in the "Rules and Regulations" section of the San Francisco Building Code.

Very truly yours,

  
Associate Engineer  
Technical Services Division

For:  
David Leung, Manager, Permit Submittal & Issuance  
Dan Lowery, Deputy Director of Permit Services

TECHNICAL SERVICES DIVISION  
1660 Mission Street – San Francisco CA 94103  
Office (415) 558-6205 – FAX (415) 558-6401  
Website: www.sfdbi.org





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MORAN RESIDENCE

1772 VALLEJO STREET  
SAN FRANCISCO, CA 94123

# REHABILITATION & ADDITION

LOCATION MAP	PROJECT INFORMATION	CODE INFORMATION	PROJECT DIRECTORY	DRAWING INDEX																																																																													
<div>ADDRESS: 1772 VALLEJO STREET SAN FRANCISCO, CA 94123</div> <div>PROJECT LOCATION</div>  <div></div>	<div>ADDRESS: 1772 VALLEJO STREET SAN FRANCISCO, CA 94123</div> <div>BLOCK/LOT NO: 0552/029</div> <div>ZONING: GROUP RH-2</div> <div>OCCUPANCY: GROUP R-3</div> <div>DESCRIPTION: NEW 9'-4" ADDITION AT REAR OF HOUSE: FIRST, SECOND AND THIRD FLOORS ONLY. MINOR ALTERATIONS TO EXISTING KITCHEN AND BATHROOMS WITHIN THE EXISTING HOUSE FOOTPRINT.</div> <div>CONSTRUCTION TYPE: TYPE V-B</div> <div>PROJECT DATA SUMMARY:<table><tr><td>EXISTING BUILDING AREA (FOOTPRINT):</td><td>2,103 SF</td></tr><tr><td>PROPOSED BUILDING AREA (FOOTPRINT):</td><td>2,411 SF</td></tr><tr><td>NET LOT AREA: 91.67' x 137.5' =</td><td>12,605 SF</td></tr><tr><td>LOT COVERAGE (PROPOSED):</td><td>19 %</td></tr><tr><td>ALLOWABLE LOT COVERAGE:</td><td>%</td></tr><tr><td colspan="2">GROSS FLOOR AREA (SF):</td></tr><tr><td>EXISTING</td><td>ADDT'L PROPOSED</td><td>TOTAL</td></tr><tr><td>FIRST FLR.</td><td>1,727</td><td>308</td><td>2,035</td></tr><tr><td>SECOND FLR.</td><td>1,769</td><td>308</td><td>2,077</td></tr><tr><td>THIRD FLR.</td><td>1,797</td><td>266</td><td>2,063</td></tr><tr><td>FOURTH FLR.</td><td>1,797</td><td>114</td><td>1,911</td></tr><tr><td>TOTAL</td><td>7,090 SF</td><td>996 SF</td><td>8,086 SF</td></tr></table></div>	EXISTING BUILDING AREA (FOOTPRINT):	2,103 SF	PROPOSED BUILDING AREA (FOOTPRINT):	2,411 SF	NET LOT AREA: 91.67' x 137.5' =	12,605 SF	LOT COVERAGE (PROPOSED):	19 %	ALLOWABLE LOT COVERAGE:	%	GROSS FLOOR AREA (SF):		EXISTING	ADDT'L PROPOSED	TOTAL	FIRST FLR.	1,727	308	2,035	SECOND FLR.	1,769	308	2,077	THIRD FLR.	1,797	266	2,063	FOURTH FLR.	1,797	114	1,911	TOTAL	7,090 SF	996 SF	8,086 SF	<div>BUILDING CODE: 2019 CALIFORNIA HISTORICAL BUILDING CODE 2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA PLUMBING, MECHANICAL, ELECTRICAL AND ENERGY EFFICIENCY STANDARDS</div> <div>GUIDELINES: FIRE SPRINKLERS ARE REQUIRED (2019 CBC - SECTION 903.2.8, GROUP R, AND 2019 CBC - SECTION 903.2.8.1, GROUP R-3)</div> <div>FIRE SPRINKLER SYSTEM: HOUSE IS PROTECTED BY AN EXISTING AUTOMATIC FIRE SPRINKLER SYSTEM. SUCH SYSTEM MAY BE NFPA 13D (2019 CBC - SECTION 903.3.1.3, AS AMENDED IN CHAPTER 35).</div> <div>MEANS OF EGRESS: 2 EXITS ARE REQUIRED, BASED ON OCCUPANT LOAD, USE AND NUMBER OF STORIES (2019 CBC - TABLES 1006.2.1, 1006.3.1 AND 1006.3.2(1)). 2 EXITS ARE PROVIDED.</div>	<div>OWNER: JOHN MORAN CONTACT: JOHN MORAN 1772 VALLEJO STREET SAN FRANCISCO, CA 94123 TEL: 415-305-1155 EML: johnpmoran1@gmail.com</div> <div>ARCHITECT: MICHAEL GARAVAGLIA, AIA GARAVAGLIA ARCHITECTURE, INC. 582 MARKET STREET SUITE 1800 SAN FRANCISCO, CA 94104 CONTACT: AMBROSE WONG TEL: 415-391-9633 FAX: 415-391-9647 EML: ambrose@garavaglia.com</div>	<div>ARCHITECTURAL:</div> <table><tr><td>A-0.00</td><td>COVER SHEET</td></tr><tr><td>A-0.01</td><td>GENERAL NOTES</td></tr><tr><td>A-1.11</td><td>SITE PLAN - PROPOSED</td></tr><tr><td>A-2.01</td><td>FIRST FLOOR PLAN - DEMOLITION</td></tr><tr><td>A-2.02</td><td>SECOND FLOOR PLAN - DEMOLITION</td></tr><tr><td>A-2.03</td><td>THIRD FLOOR PLAN - DEMOLITION</td></tr><tr><td>A-2.04</td><td>FOURTH FLOOR PLAN - DEMOLITION</td></tr><tr><td>A-2.11</td><td>FIRST FLOOR PLAN - PROPOSED</td></tr><tr><td>A-2.12</td><td>SECOND FLOOR PLAN - PROPOSED</td></tr><tr><td>A-2.13</td><td>THIRD FLOOR PLAN - PROPOSED</td></tr><tr><td>A-2.14</td><td>FOURTH FLOOR PLAN - PROPOSED</td></tr><tr><td>A-3.01</td><td>EXTERIOR ELEVATION - DEMOLITION</td></tr><tr><td>A-3.02</td><td>EXTERIOR ELEVATION - DEMOLITION</td></tr><tr><td>A-3.03</td><td>EXTERIOR ELEVATION - EXISTING</td></tr><tr><td>A-3.04</td><td>EXTERIOR ELEVATION - DEMOLITION</td></tr><tr><td>A-3.11</td><td>EXTERIOR ELEVATION - PROPOSED</td></tr><tr><td>A-3.12</td><td>EXTERIOR ELEVATION - PROPOSED</td></tr><tr><td>A-3.13</td><td>EXTERIOR ELEVATION - PROPOSED</td></tr><tr><td>A-3.14</td><td>EXTERIOR ELEVATION - PROPOSED</td></tr><tr><td>A-3.21</td><td>LONGITUDINAL SECTION - PROPOSED</td></tr><tr><td>A-3.22</td><td>STREET ELEVATION</td></tr></table>	A-0.00	COVER SHEET	A-0.01	GENERAL NOTES	A-1.11	SITE PLAN - PROPOSED	A-2.01	FIRST FLOOR PLAN - DEMOLITION	A-2.02	SECOND FLOOR PLAN - DEMOLITION	A-2.03	THIRD FLOOR PLAN - DEMOLITION	A-2.04	FOURTH FLOOR PLAN - DEMOLITION	A-2.11	FIRST FLOOR PLAN - PROPOSED	A-2.12	SECOND FLOOR PLAN - PROPOSED	A-2.13	THIRD FLOOR PLAN - PROPOSED	A-2.14	FOURTH FLOOR PLAN - PROPOSED	A-3.01	EXTERIOR ELEVATION - DEMOLITION	A-3.02	EXTERIOR ELEVATION - DEMOLITION	A-3.03	EXTERIOR ELEVATION - EXISTING	A-3.04	EXTERIOR ELEVATION - DEMOLITION	A-3.11	EXTERIOR ELEVATION - PROPOSED	A-3.12	EXTERIOR ELEVATION - PROPOSED	A-3.13	EXTERIOR ELEVATION - PROPOSED	A-3.14	EXTERIOR ELEVATION - PROPOSED	A-3.21	LONGITUDINAL SECTION - PROPOSED	A-3.22	STREET ELEVATION
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## COVER SHEET

PROJ. NO.	2017-003	
SCALE	NO SCALE	
DATE	24 APRIL 2017	
PHASE	DD	
DRAWN		
CHECKED		
NO.	DATE	REVISION
18 JUL 2017		PLANNING REVIEW
11 SEP 2017		C.O.A. APPLICATION
24 DEC 2019		ARC REVIEW
12 FEB 2020		UPDATE COA/311

SHEET NO.

A-0.00

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ARCHITECTURAL GENERAL NOTES

1. THE CONTRACTOR FOR CONSTRUCTION SHALL BE THE A.I.A. DOCUMENT A107 - STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR FOR A PROJECT OF LIMITED SCOPE, 2007 ed. AND A.I.A. DOCUMENT A201 - GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, 2007 ed.

2. THE ARCHITECT/OWNER SHALL SUBMIT DRAWINGS FOR PLAN CHECK. THE OWNER SHALL PAY FOR ALL PLAN CHECK FEES. THE CONTRACTOR SHALL PICK UP PERMITS.

3. ALL WORK SHALL CONFORM TO THE 2019 CALIFORNIA HISTORICAL BUILDING CODE, THE 2019 CALIFORNIA BUILDING CODE AS WELL AS TO THE LATEST EDITIONS OF THE ELECTRICAL, PLUMBING, MECHANICAL, AND ANY OTHER APPLICABLE CODES. ALL WORK SHALL CONFORM TO THE SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION AS OUTLINED ON THIS SHEET.

4. ALL WORK SHALL CONFORM TO ALL LOCAL CODES AND/OR ORDINANCES.

5. ALL WORK SHALL BE COMPLETED SKILLFULLY AND IN ACCORDANCE WITH ACCEPTED TRADE STANDARDS.

6. EXCEPT WHERE CONTRACT DOCUMENTS INCLUDE MORE STRINGENT REQUIREMENTS, APPLICABLE INDUSTRY STANDARDS INCLUDING MANUFACTURER STANDARDS AND INSTALLATION INSTRUCTIONS HAVE THE SAME FORCE AND EFFECT AS IF BOUND OR COPIED INTO THE CONTRACT DOCUMENTS. SUCH STANDARDS ARE PART OF THE CONTRACT DOCUMENTS BY REFERENCE. WHERE COMPLIANCE WITH A STANDARD IS REQUIRED, COMPLY WITH THE STANDARD IN EFFECT AS OF THE DATE OF THE CONTRACT DOCUMENTS.

7. THE CONTRACTOR SHALL COORDINATE THE VARIOUS CONSTRUCTION ACTIVITIES TO ENSURE EFFICIENT AND ORDERLY INSTALLATION OF EACH PART OF THE WORK. COORDINATE CONSTRUCTION OPERATIONS THAT ARE DEPENDENT UPON EACH OTHER FOR PROPER INSTALLATION, CONNECTION, AND OPERATION.

8. CONTRACTOR SHALL COORDINATE WITH OWNER FOR OWNER PROVIDED MATERIALS.

9. CONTRACTOR SHALL COORDINATE WITH OWNER FOR REQUIRED SCHEDULING & ORDERING INFORMATION. CONTRACTOR SHALL ASSIST IN DETERMINING QUANTITIES WHEN REQUIRED.

10. CONTRACTOR SHALL PROVIDE OWNER W/ REQUESTED DELIVERY DATES FOR ALL P.B.O. PRODUCTS & KEEP OWNER ABEAST OF SCHEDULE REVISIONS. OWNER SHALL DETERMINE LEAD TIME FOR ALL PRODUCTS & HAVE PRODUCTS DELIVERED WHEN NEEDED BY CONTRACTOR.

11. CONTRACTOR SHALL INFORM THE ARCHITECT OF SCHEDULE REVISIONS.

12. CONTRACTOR SHALL INFORM THE ARCHITECT ON THE PROGRESS OF THE WORK ON A WEEKLY BASIS OR MORE FREQUENTLY AS CONDITIONS WARRANT.

13. CONTRACTOR SHALL SCHEDULE MEETINGS WITH THE ARCHITECT ON A TIMELY BASIS AND TO ALLOW FOR TIME REQUIRED TO PROVIDE APPROPRIATE RESPONSE TO ANY QUESTIONS OR SITE CONDITIONS.

14. CONTRACTOR SHALL ARRANGE FOR A PRECONSTRUCTION MEETING AND FOR ANOTHER MEETING AFTER DETERMINING THE PROJECT DIMENSIONAL LAYOUT FOR THE REVIEW BY THE ARCHITECT AND OWNER.

15. CONTRACTOR SHALL ALLOW TWO WEEKS FOR REVIEW BY THE ARCHITECT OF SUBMITTALS, SHOP DRAWINGS, SUBSTITUTIONS, AND RFIs BY THE ARCHITECT. CONTRACTOR SHALL REVIEW ALL SUBMITTALS BEFORE ISSUING THEM TO THE ARCHITECT FOR REVIEW.

16. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW OF CONFORMANCE WITH DESIGN INTENT.

17. ALL CHANGE ORDERS SHALL BE IN WRITING AND SHALL BE SIGNED BY THE OWNER, ARCHITECT, AND CONTRACTOR. CHANGE ORDERS SHALL BE SIGNED PRIOR TO BEGINNING THE WORK OR ORDERING THE MATERIALS ADDRESSED IN THE CHANGE ORDER.

18. CONTRACTOR SHALL SUBMIT ALL DESIGN CHANGES OR SUBSTITUTIONS TO THE ARCHITECT FOR APPROVAL. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CHANGES IN PLANS, DETAILS, OR SPECIFICATIONS UNLESS APPROVED IN WRITING AND IN ADVANCE BY THE ARCHITECT.

19. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL MODIFICATIONS REQUESTED BY THE BUILDING DEPARTMENT, OR OFFICIAL HAVING JURISDICTION, AND OF ALL CHANGES REQUESTED BY THE INSPECTOR, OWNER, OR OTHERS. SUBSTITUTIONS WILL BE CONSIDERED, BUT DO NOT SUBSTITUTE DETAILS, EQUIPMENT, OR METHODS WITHOUT SPECIFIC WRITTEN APPROVAL BY THE ARCHITECT.

20. CONTRACTOR SHALL VERIFY WITH THE ARCHITECT CODE UPGRADE WORK NOT REQUIRED BY BUILDING INSPECTORS. IF THE CONTRACTOR BELIEVES CODE WORK IS NECESSARY, AND IT HAS NOT BEEN REQUIRED BY BUILDING INSPECTOR, THE ARCHITECT SHALL DETERMINE, WITH OWNER'S CONSENT, WHETHER WORK SHALL BE UNDERTAKEN.

21. REMODELING OR REHABILITATION OF AN EXISTING BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS, BECAUSE SOME OF THE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT DESTROYING ADEQUATE OR SERVICEABLE PORTIONS OF THE BUILDING. THE CONTRACTOR SHALL VERIFY ALL QUESTIONS, CONDITIONS AND PROCEDURES WITH THE ARCHITECT PRIOR TO COMMENCING EACH PORTION OF THE WORK.
22. THE CONTRACTOR SHALL CONFIRM ALL EXISTING DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO BEGINNING WORK. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS MUST BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK. THE CONTRACTOR SHALL RESOLVE ANY DISCREPANCY PRIOR TO PROCEEDING WITH WORK.

23. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. DIMENSIONS ARE TO THE FACE OF FINISH, UNLESS OTHERWISE NOTED.

24. WHERE CONSTRUCTION ABUTS ADJACENT PROPERTY OR AN EXISTING STRUCTURE, THE CONTRACTOR SHALL VERIFY, PRIOR TO THE START OF WORK, IF ANY CONDITIONS WILL AFFECT WORK PROGRESS OR CONFORMANCE TO THESE DOCUMENTS.

25. THE REMOVAL OR ALTERING IN ANY WAY OF EXISTING WORK SHALL BE CARRIED ON IN SUCH A MANNER AS TO PREVENT INJURY OR DAMAGE TO ANY PORTION(S) OF THE EXISTING WORK, WHICH REMAINS(S).

26. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE INCURRED AS A RESULT OF THE WORK. ANY DAMAGE SHALL BE REPAIRED AT NO ADDITIONAL COST TO OWNER.

27. EXECUTE WORK TO ENSURE THE SAFETY OF PERSONS AND ADJACENT PROPERTY FROM DAMAGE CAUSED BY CONSTRUCTION OPERATIONS IN CONNECTION WITH THIS WORK. WHERE EXISTING CONSTRUCTION IS CUT, DAMAGED, OR REMODELED, PATCH OR REPLACE WITH MATERIALS TO MATCH IN KIND, QUALITY, AND PERFORMANCE WITH ADJACENT MATERIALS.

28. DO NOT NOTCH, BORE, OR CUT MEMBERS FOR PIPES, DUCTS, OR OTHER REASONS WITHOUT THE SPECIFIC, ADVANCE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.

29. THE CONTRACTOR IS RESPONSIBLE FOR CAPPING OFF ANY UTILITY LINES DISTURBED DURING THE DEMOLITION AND CONSTRUCTION PROCESS THAT COULD BE A SAFETY HAZARD OR CAUSE DAMAGE TO THE BUILDING.

30. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TEMPORARY SUPPORTS, BARRICADES, AND SHORING AS REQUIRED DURING THE CONSTRUCTION PROCESS.

31. UNLESS OTHERWISE INDICATED, ALL NEW WORK SHALL MATCH EXISTING MATERIALS, DETAILS, TRIM, ETC. TO THE FULLEST EXTENT POSSIBLE. PROVIDE PRODUCTS OF THE SAME KIND AND FROM A SINGLE SOURCE.

32. PRIOR TO ORDERING OR FABRICATING MATERIAL, EQUIPMENT, OR PRODUCTS, THE CONTRACTOR SHALL DETERMINE THAT THE SIZE AND PRODUCTS INDICATED MEET THE INTENT OF THE CONTRACT DOCUMENTS.

33. THE CONTRACTOR SHALL INSPECT MATERIALS AND EQUIPMENT IMMEDIATELY UPON DELIVERY AND AGAIN PRIOR TO INSTALLATION. CONTRACTOR SHALL REJECT DAMAGED AND DEFECTIVE ITEMS.

34. CONTRACTOR SHALL INSTALL ALL EQUIPMENT, FIXTURES AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS. FOLLOW MANUFACTURER'S INSTRUCTIONS CAREFULLY. MANUFACTURER'S INSTRUCTIONS AND GUARANTEES SHALL BE GIVEN TO THE OWNER AT THE END OF THE JOB.

35. THE CONTRACTOR SHALL FLASH AND COUNTERFLASH TO S.M.A.C.N.A. STANDARDS, INDUSTRY STANDARDS, AND MANUFACTURER'S SPECIFICATIONS WHEREVER NECESSARY TO PROVIDE A WATERPROOF AND WEATHERPROOF CONSTRUCTION PROJECT.

36. IF OPENED IN COURSE OF WORK PROVIDE AND INSTALL NEW FIBERGLASS BATT INSULATION AS FOLLOWS, U.O.N.:  
R-13 AT (N) EXTERIOR WALLS OR WALLS ADJACENT TO UNCONDITIONED SPACES  
R-19 AT (E) AND (N) FLOORS,  
R-19 AT (E) AND (N) ATTICS  
R-19 AT (N) CEILINGS/FLOORS

37. WHERE GLASS IS BEING REPLACED IN (E) HISTORIC WINDOWS OR DOORS, PROVIDE AND INSTALL REPLACEMENT GLASS IN KIND. PROVIDE AND INSTALL TEMPERED GLAZING IN (N) NON-HISTORIC OPENINGS WHERE REQUIRED BY CODE.

38. CONTRACTOR SHALL INSPECT AND APPROVE STUCCO PLYWOOD SUBSTRATE AND BUILDING PAPER FOR PROPER INSTALLATION. ADEQUATE PREPARATION OF THE SUBSTRATE IS IMPERATIVE FOR PROPER BONDING OF THE PAINT. PREPARE EACH SUBSTRATE AS RECOMMENDED BY THE MANUFACTURER. CLEAN ALL SURFACES THROUGHOUT, REMOVE ANY PAINT WHERE BONDING FAILURE IS EVIDENT & ROUGHEN ANY SURFACES AS REQUIRED FOR ADHESION OF (N) PAINT.

39. CONTRACTOR SHALL PROVIDE AND INSTALL 5/8" WATER RESISTANT GYP. BD. AT ALL BATH, TOILET, AND LAUNDRY ROOM WALLS TO BE PAINTED. CONTRACTOR SHALL PROVIDE AND INSTALL CEMENTITIOUS BACKER BOARD, WONDER BOARD OR EQUAL AT ALL WALL AND CEILING SURFACES TO BE FINISHED WITH TILE.

40. ALL EXTERIOR EXPOSED WOOD TO BE APPROVED, NATURALLY WEATHER AND PEST RESISTANT, OR PRESSURE TREATED. ALL CUTS SHALL BE TREATED W/ PRESERVATIVE COATING BEFORE INSTALLATION. ALL METAL CONNECTORS AND FASTENERS IN CONTACT WITH TREATED WOOD SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.

41. ALL FINISHES SHALL BE PAINTED AS FOLLOWS:  
EXTERIOR: THREE COAT STAIN & SEAL WHERE INDICATED  
INTERIOR: TWO COAT FOR LIGHT INTERIOR, THREE COAT FOR DARK INTERIOR  
STAIN & SEAL WHERE INDICATED  
COLORS TO BE SELECTED BY THE ARCHITECT & OWNER. FINAL ACCEPTANCE OF COLORS WILL BE FROM JOB-APPLIED SAMPLES. PROVIDE FULL COAT FINISH SAMPLES ON SURFACES WITH A MINIMUM SIZE OF 4 SF FOR APPROVAL BY THE ARCHITECT & OWNER.

42. AS A MINIMUM, ALL INTERIOR WOOD TRIM SHALL BE PAINT GRADE, SOLID WOOD, (SPECIES TO BE DETERMINED) AND ALL EXTERIOR WOOD TRIM SHALL BE PAINT GRADE, WEATHER-RESISTANT WOOD.

43. CONTRACTOR SHALL CONTACT ARCHITECT FOR DECISIONS REGARDING ALL MATERIALS PROVIDED BY CONTRACTOR WHICH REQUIRE COLOR OR FINISH SELECTIONS.

44. PROVIDE COMPLETE FURRING AND SOFFITS TO INSTALL ALL HORIZONTAL AND VERTICAL HVAC DUCTS, VENTING AND PLUMBING. LOCATIONS AND CONFIGURATIONS TO BE REVIEWED BY ARCHITECT.

45. PLUMBING AND EQUIPMENT VENTING: WHERE FEASIBLE VENT ALL PLUMBING FIXTURES, EXHAUST VENTS, FURNACE, WATER HEATER, EXHAUST VENTS AND PLUMBING FIXTURES TO ROOF- COMBINE WHEN ALLOWED BY CODE. VERIFY ALL LOCATIONS OF VENTS WITH ARCHITECT PRIOR TO INSTALLATION.

46. THE CONTRACTOR SHALL KEEP THE JOB SITE CLEAN AND SAFE AT ALL TIMES, INCLUDING CLEANING MATERIALS, PROTECTING CONSTRUCTION IN PROGRESS AND ADJOINING MATERIALS IN PLACE. PROVIDE TEMPORARY, PROTECTIVE COVERINGS WHERE NECESSARY TO ENSURE PROTECTION FROM DAMAGE OR DETERIORATION.

47. CONTRACTOR SHALL PERIODICALLY CLEAN AND MAINTAIN COMPLETED CONSTRUCTION ON A REGULAR BASIS. AT THE COMPLETION OF THE PROJECT, PROVIDE A FINAL CLEANING OF ALL SURFACES. POLISH ALL GLASS, BROOM SWEEP EXTERIOR SURFACES, AND VACUUM ALL INTERIOR FLOORS. CONTRACTOR SHALL LEAVE THE PREMISES CLEAN AND ORDERLY AND READY FOR OCCUPANCY.

48. CONTRACTOR SHALL DISPOSE OF ALL DEBRIS AND WASTE OFF SITE IN A LEGAL MANNER ON A REGULAR BASIS TO PREVENT EXCESS ACCUMULATION ON SITE.

49. CONTRACTOR IS TO INSPECT THE (E) BLDG FOR ANY ADDITIONAL PROBLEMS OR CONCERNS (STRUCTURAL, FINISH, MECHANICAL, ETC.) WHICH ARE NOT REFLECTED IN THE DRAWINGS & NOTATIONS. REPORT ANY FINDINGS TO THE ARCHITECT DURING BID PHASE AND BEFORE PROCEEDING WITH WORK.

50. ELECTRICAL, MECHANICAL (HVAC), AND PLUMBING SYSTEMS SHALL BE "DESIGN/BUILD." PERFORMANCE SPECIFICATIONS SHALL BE REVIEWED BY THE ARCHITECT BEFORE COMMENCEMENT OF THE WORK (I.E. FURNACE SIZE AND TYPE, ELECTRICAL PANEL SIZES.)

SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION

1. A PROPERTY WILL BE USED AS IT WAS HISTORICALLY OR BE GIVEN A NEW USE THAT REQUIRES MINIMAL CHANGE TO ITS DISTINCTIVE MATERIALS, FEATURES, SPACES AND SPATIAL RELATIONSHIPS.

2. THE HISTORIC CHARACTER OF A PROPERTY WILL BE RETAINED AND PRESERVED. THE REMOVAL OF DISTINCTIVE MATERIALS OR ALTERATION OF FEATURES, SPACES, AND SPATIAL RELATIONSHIPS THAT CHARACTERIZE A PROPERTY WILL BE AVOIDED.

3. EACH PROPERTY WILL BE RECOGNIZED AS A PHYSICAL RECORD OF ITS TIME, PLACE, AND USE. CHANGES THAT CREATE A FALSE SENSE OF HISTORICAL DEVELOPMENT, SUCH AS ADDING CONJECTURAL FEATURES OR ELEMENTS FROM OTHER HISTORIC PROPERTIES, WILL NOT BE UNDERTAKEN.

4. CHANGES TO A PROPERTY THAT HAVE ACQUIRED HISTORIC SIGNIFICANCE IN THEIR OWN RIGHT WILL BE RETAINED AND PRESERVED.

5. DISTINCTIVE MATERIALS, FEATURES, FINISHES AND CONSTRUCTION TECHNIQUES OR EXAMPLES OF CRAFTSMANSHIP THAT CHARACTERIZE A PROPERTY WILL BE PRESERVED.

6. DETERIORATED HISTORIC FEATURES WILL RE REPAIRED RATHER THAN REPLACED. WHERE THE SEVERITY OF DETERIORATION REQUIRES REPLACEMENT OF A DISTINCTIVE FEATURE, THE NEW FEATURE WILL MATCH THE OLD IN DESIGN, COLOR, TEXTURE, AND, WHERE POSSIBLE, MATERIALS. REPLACEMENT OF MISSING FEATURES WILL BE SUBSTANTIATED BY DOCUMENTARY AND PHYSICAL EVIDENCE.

7. CHEMICAL OR PHYSICAL TREATMENTS, IF APPROPRIATE, WILL BE UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE. TREATMENTS THAT CAUSE DAMAGE TO HISTORIC MATERIALS WILL NOT BE USED.

8. ARCHEOLOGICAL RESOURCES WILL BE PROTECTED AND PRESERVED IN PLACE. IF SUCH RESOURCES MUST BE DISTURBED, MITIGATION MEASURES WILL BE UNDERTAKEN.

9. NEW ADDITIONS, EXTERIOR ALTERATIONS, OR RELATED NEW CONSTRUCTION WILL NOT DESTROY HISTORIC MATERIALS, FEATURES, AND SPATIAL RELATIONSHIPS THAT CHARACTERIZE THE PROPERTY. THE NEW WORK WILL BE DIFFERENTIATED FROM THE OLD AND WILL BE COMPATIBLE WITH THE HISTORIC MATERIALS, FEATURES, SIZE, SCALE AND PROPORTION, AND MASSING TO PROTECT THE INTEGRITY OF THE PROPERTY AND ITS ENVIRONMENT.

10. NEW ADDITIONS AND ADJACENT OR RELATED NEW CONSTRUCTION WILL BE UNDERTAKEN IN SUCH A MANNER THAT, IF REMOVED IN THE FUTURE, THE ESSENTIAL FORM AND INTEGRITY OF THE HISTORIC PROPERTY AND ITS ENVIRONMENT WOULD BE UNIMPAIRED.
- FOR COMPLETE TEXT AND GUIDELINES, GO TO PAGE 76:  
<https://www.nps.gov/lps/standards/treatment-guidelines-2017.pdf>

ARCHITECTURAL REPLACEMENT OF MISSING HISTORICAL ELEMENTS

1. ALL WORK FOR THIS PROJECT SHALL CONFORM TO THE SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION. THESE STANDARDS ARE LISTED ON THIS SHEET.

2. THE REPLACEMENT OF MISSING HISTORICAL CONSTRUCTION ELEMENTS REQUIRES THE FULL ATTENTION AND COOPERATION OF THE CONTRACTOR. THE CONTRACTOR SHOULD DEVELOP A SYSTEM OR PROCESS OF RECORDATION PRIOR TO THE START OF ANY WORK.

3. EVERY EFFORT SHALL BE MADE TO REPAIR, RATHER THAN REPLACE, EXISTING ELEMENTS. SUCH REPAIR MAY INCLUDE REPLACEMENT OF EXTENSIVELY DETERIORATED OR MISSING ELEMENTS.

4. HISTORICAL PHYSICAL AND PICTORIAL DOCUMENTATION, IN ADDITION TO SURVIVING PROTOTYPES, WILL BE THE BASIS FOR ANY HISTORIC RESTORATION. MEASURE AND DOCUMENT ALL EXISTING DETAILS PRIOR TO START OF ANY REPAIR OR REPLACEMENT WORK,

5. THE USE OF SALVAGED MATERIALS IS STRONGLY ENCOURAGED AS A MEANS OF REPLACING FEATURES NO LONGER COMMONLY AVAILABLE. THIS OPTION SHALL BE GIVEN THE HIGHEST PRIORITY WHEN IT IS NOT FEASIBLE TO REPAIR A DETERIORATED ELEMENT.

6. CONTRACTOR SHALL DOCUMENT THE LOCATION, ORIENTATION AND ANY OTHER INFORMATION THAT WILL AID IN THE CORRECT REINSTALLATION OF AN ELEMENT PRIOR TO REMOVAL AND STORAGE OF THAT ELEMENT AS REQUIRED BY THE CONTRACT DOCUMENTS OR AS MIGHT BE REQUIRED TO ALLOW OTHER WORK TO PROCEED.

7. PROTECT ALL EXISTING ELEMENTS DURING ALL PHASES OF CONSTRUCTION WORK.

8. CONTRACTOR SHALL PROVIDE HISTORICAL ELEMENT SHOP DRAWINGS AS OUTLINED BELOW.

9. CONTRACTOR SHALL MEASURE AND DOCUMENT ON HISTORICAL ELEMENT SHOP DRAWINGS THE "GHOSTING" OF MISSING ELEMENTS REQUIRING REPLACEMENT AND THEIR LOCATIONS. THE CONTRACTOR SHALL ALSO RECORD ON THESE SHOP DRAWINGS ANY OTHER RELEVANT INFORMATION REGARDING THESE MISSING ELEMENTS THAT CAN BE GLEANED FROM THE FIELD. THESE MEASUREMENTS SHALL BE RECORDED ONTO THESE SHOP DRAWINGS AT AN APPROPRIATE SCALE AND SUBMITTED TO THE ARCHITECT FOR REVIEW.

10. THE CONTRACTOR SHALL NOTE ON THE HISTORICAL ELEMENT SHOP DRAWINGS THE MATERIALS OF IN SITU ELEMENTS AND PROPOSE ALTERNATIVE MATERIALS, SHOULD THE IN SITU MATERIALS NO LONGER BE AVAILABLE.

11. THE HISTORICAL ELEMENT SHOP DRAWINGS SHALL SHOW HOW THE CONTRACTOR INTENDS TO FABRICATE AND INSTALL THESE ELEMENTS. THE ARCHITECT WILL REVIEW THESE SHOP DRAWINGS FOR DESIGN INTENT.

12. ONCE THE ARCHITECT HAS HAD AN OPPORTUNITY TO REVIEW THESE SHOP DRAWINGS, THE ARCHITECT AND CONTRACTOR SHALL ARRANGE A SPECIAL COORDINATION MEETING TO REVIEW THE INTERPRETATION PROPOSED BY THE ARCHITECT AND THE RECONSTRUCTION METHOD PROPOSED BY THE CONTRACTOR.

13. THE ARCHITECT WILL THEN ISSUE THE REVIEWED HISTORICAL ELEMENT SHOP DRAWINGS TO THE CONTRACTOR WITH APPROPRIATE COMMENTS.

ARCHITECTURAL ABBREVIATIONS

<	ANGLE	KIT.	KITCHEN
@	AT	LAM.	LAMINATE
Ⓒ	CENTERLINE	LAV.	LAVATORY
#	POUND OR NUMBER	L.P.	LOW POINT
(E)	EXISTING	M.O.	MASONRY OPENING
(N)	NEW	MAX.	MAXIMUM
A.F.F.	ABOVE FLOOR FINISH	MECH.	MECHANICAL
ACOUS.	ACOUSTICAL	MTL.	METAL
ADJ.	ADJUSTABLE	MIN.	MINIMUM
AGGR.	AGGREGATE	N.A.	NOT APPLICABLE
ALUM.	ALUMINUM	N.I.C.	NOT IN CONTRACT
APPROX.	APPROXIMATE	N.T.S.	NOT TO SCALE
ARCH.	ARCHITECTURAL	NO.	NUMBER
ASPH.	ASPHALT	O.C.	ON CENTER
BM.	BEAM	OPNG.	OPENING
BTWN.	BETWEEN	OPP.	OPPOSITE
BITUM.	BITUMINOUS	O.F.O.S.	OUTSIDE FACE OF STUD
BLKG.	BLOCKING	ø/	OVER
BD.	BOARD	O.D.	OUTSIDE DIAMETER
BOT.	BOTTOM	OF.D.	OVERFLOW DRAIN
BLDG.	BUILDING	PTD.	PAINTED
CLG.	CEILING	PR.	PAIR
CEM.	CEMENT	PART.	PARTITION
CER.	CERAMIC	PERM.	PERMANENT
CLR.	CLEAR	PLAS.	PLASTER
CLO.	CLOSET	PL.	PLATE
COL.	COLUMN	PLUMB.	PLUMBING
CONC.	CONCRETE	PLYWD.	PLYWOOD
CONT.	CONTINUOUS	PT.	POINT
CORR.	CORRIDOR	PREFIN.	PREFINISHED
DTL.	DETAIL	P.T.D.F.	PRESSURE TREATED DOUGLAS FIR
DIA.	DIAMETER	P.B.O.	PROVIDED BY OWNER
DIM.	DIMENSION	R.	RADIUS
DR.	DOOR	R.W.L.	RAIN WATER LEADER
D.H.	DOUBLE HUNG	REF.	REFRIGERATOR
DN	DOWN	REINF.	REINFORCED
DWG.	DRAWING	REQ.	REQUIRED
EA.	EACH	R.D.	ROOF DRAIN
ELEC.	ELECTRICAL	RM.	ROOM
ELEV.	ELEVATION / ELEVATOR	R.O.	ROUGH OPENING
EQ.	EQUAL	S.S.D.	SEE STRUCTURAL DRAWINGS
E. J.	EXPANSION JOINT	SHT.	SHEET
EXT.	EXTERIOR	SMACNA	SHEET METAL AND AIR CONDITIONING CONTRACTORS' NATIONAL ASSOCIATION
F. O. C.	FACE OF CONCRETE	SIM.	SIMILAR
F. O. F.	FACE OF FINISH	S.H.	SINGLE HUNG
F. O. S.	FACE OF STUD	S.C.	SOLID CORE
FIN.	FINISH	SPEC.	SPECIFICATION
F.E.	FIRE EXTINGUISHER	SQ.	SQUARE
FLR.	FLOOR	S.S.	STAINLESS STEEL
F. D.	FLOOR DRAIN	STOR.	STORAGE
FLUOR.	FLUORESCENT	STRUCT.	STRUCTURAL
FT.	FOOT OR FEET	SUSP.	SUSPENDED
FTG.	FOOTING	SYM.	SYMBOL
F.A.U.	FORCED AIR UNIT	TEL.	TELEPHONE
FDN.	FOUNDATION	TOI.	TOILET
FURR.	FURRING	T.& G.	TONGUE AND GROOVE
GALV.	GALVANIZED	T.O.	TOP OF
GA.	GAUGE	T.O.C.	TOP OF CURB
GL.	GLASS	T.O.W.	TOP OF WALL
GYP.	GYPSUM	TYP.	TYPICAL
HT.	HEIGHT	U.O.N.	UNLESS OTHERWISE NOTED
H.P.	HIGH POINT	VERT.	VERTICAL
H.C.	HOLLOW CORE	VEST.	VESTIBULE
H.B.	HOSE BIBB	W.C.	WATER CLOSET
HR.	HOSE	W/	WITH
INSUL.	INSULATION	W/O	WITHOUT
INT.	INTERIOR	WD.	WOOD
I.D.	INSIDE DIAMETER		

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MORAN RESIDENCE

1772 VALLEJO STREET  
SAN FRANCISCO, CA 94123

GENERAL NOTES

PROJ. NO. 2017-003  
SCALE NO SCALE  
DATE 24 APRIL 2017  
PHASE DD  
DRAWN  
CHECKED

NO.	DATE	REVISION
18 JUL 2017		PLANNING REVIEW
11 SEP 2017		C.O.A. APPLICATION
24 DEC 2019		ARC REVIEW
12 FEB 2020		UPDATE COA/311

SHEET NO.

A-0.01

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1. PROPERTY LINES, EXISTING STRUCTURE LOCATION, SITE FEATURES, CONTOURS& SPOT ELEVATIONS ARE BASED ON A SURVEY PREPARED BY MARTIN M. RON ASSOCIATES, DATED 11/22/94.
2. SETBACKS SHOWN ARE PER ZONING CODE SECTION 134, APPLICABLE FOR PROPOSED USE.

1772 VALLEJO STREET  
SAN FRANCISCO, CA 94123

- 1 (N) REAR ADDITION
- 2 (E) DRIVEWAY
- 3 (E) PARKING AREA
- 4 NOT USED
- 5 REROOF w/ TPO ROOFING
- 6 (N) ROOF TOP REAR DECK
- 7 REMOVE (E) CHIMNEY, FRAME  
OPENING AS REQUIRED
- 8 (E) SKYLIGHT
- 9 (E) MANSARD ROOF
- 10 (N) SKYLIGHT BELOW

PROPOSED

PROJ. NO.	<u>2017-003</u>
SCALE	<u>1/8"=1'-0"</u>
DATE	<u>20 JUNE 2017</u>
PHASE	<u>SD</u>
DRAWN	<u>HA</u>
CHECKED	<u>AW</u>

NO.	DATE	REVISION
	<u>18 JUL 2017</u>	<u>PLANNING REVIEW</u>
	<u>11 SEPT 2017</u>	<u>C.O.A. APPLICATION</u>
	<u>24 DEC 2019</u>	<u>ARC REVIEW</u>
	<u>12 FEB 2020</u>	<u>UPDATE COA/311</u>

SHEET NO.

A-1.11

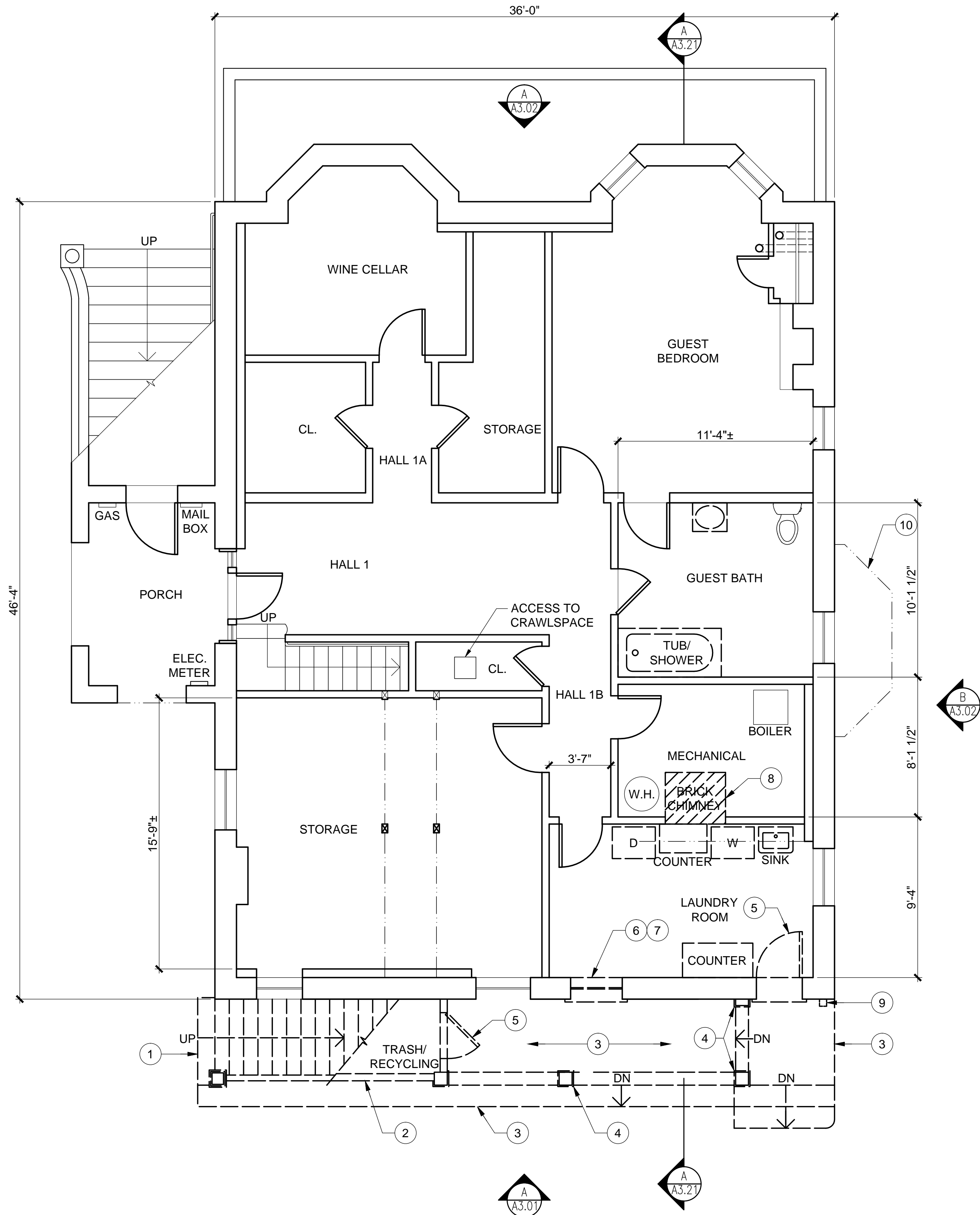
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# SITE PLAN

SCALE: 1/8" = 1'-0"





SHEET NOTES

1. PRIOR TO START OF REMOVAL, PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
2. DEMOLISH AND REMOVE COMPLETE, ITEMS SHOWN DASHED AND NOTED FOR DEMOLITION.
3. MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE, U.O.N.
4. WALL FINISH NOTED FOR DEMOLITION TO BE REMOVED BACK TO FACE OF STUD, U.O.N.
5. COORDINATE DEMOLITION SCOPE W/ STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW STRUCTURAL ELEMENTS.
6. REFER TO ARCHITECTURAL GENERAL NOTES FOR ADDITIONAL DEMOLITION-SPECIFIC REQUIREMENTS.

KEY NOTES

- 1 REMOVE (E) STAIRS TO 2ND FLOOR.
- 2 REMOVE (E) WALLS AT STORAGE ROOM.
- 3 REMOVE (E) CONC. STEPS, LANDING & PORCH FLOOR.
- 4 REMOVE (E) WD. POSTS & TRIM.
- 5 REMOVE & (E) WD. DOOR, FRAME & TRIM.
- 6 REMOVE & (E) WD. WINDOW, FRAME & TRIM.
- 7 AFTER REMOVAL OF (E) WINDOW, ENLARGE OPENING TO ACCOMMODATE PROPOSED (N) DOOR.
- 8 REMOVE (E) BRICK CHIMNEY, FROM TOP TO 6" BELOW FINISH FLOOR LEVEL, PATCH (E) FLOOR TO MATCH ADJACENT.
- 9 REMOVE (E) "JOMY" FIRE ESCAPE LADDER.
- 10 (E) BAY WINDOW ABOVE TO REMAIN. PROTECT IN PLACE.



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MORAN RESIDENCE

1772 VALLEJO STREET  
SAN FRANCISCO, CA 94123

FLOOR PLAN

DEMOLITION  
1ST FLOOR

PROJ. NO. 2017-003  
SCALE 1/4"=1'-0"  
DATE 24 APRIL 2017  
PHASE SD  
DRAWN HA  
CHECKED AW

NO.	DATE	REVISION
	<u>18 JUL 2017</u>	<u>PLANNING REVIEW</u>
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	<u>24 DEC 2019</u>	<u>ARC REVIEW</u>
	<u>12 FEB 2020</u>	<u>UPDATE COA/311</u>

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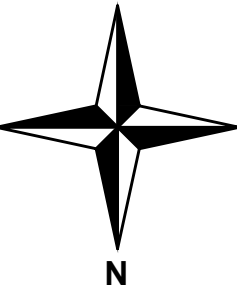
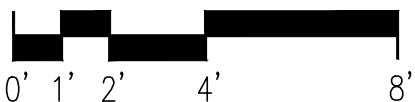
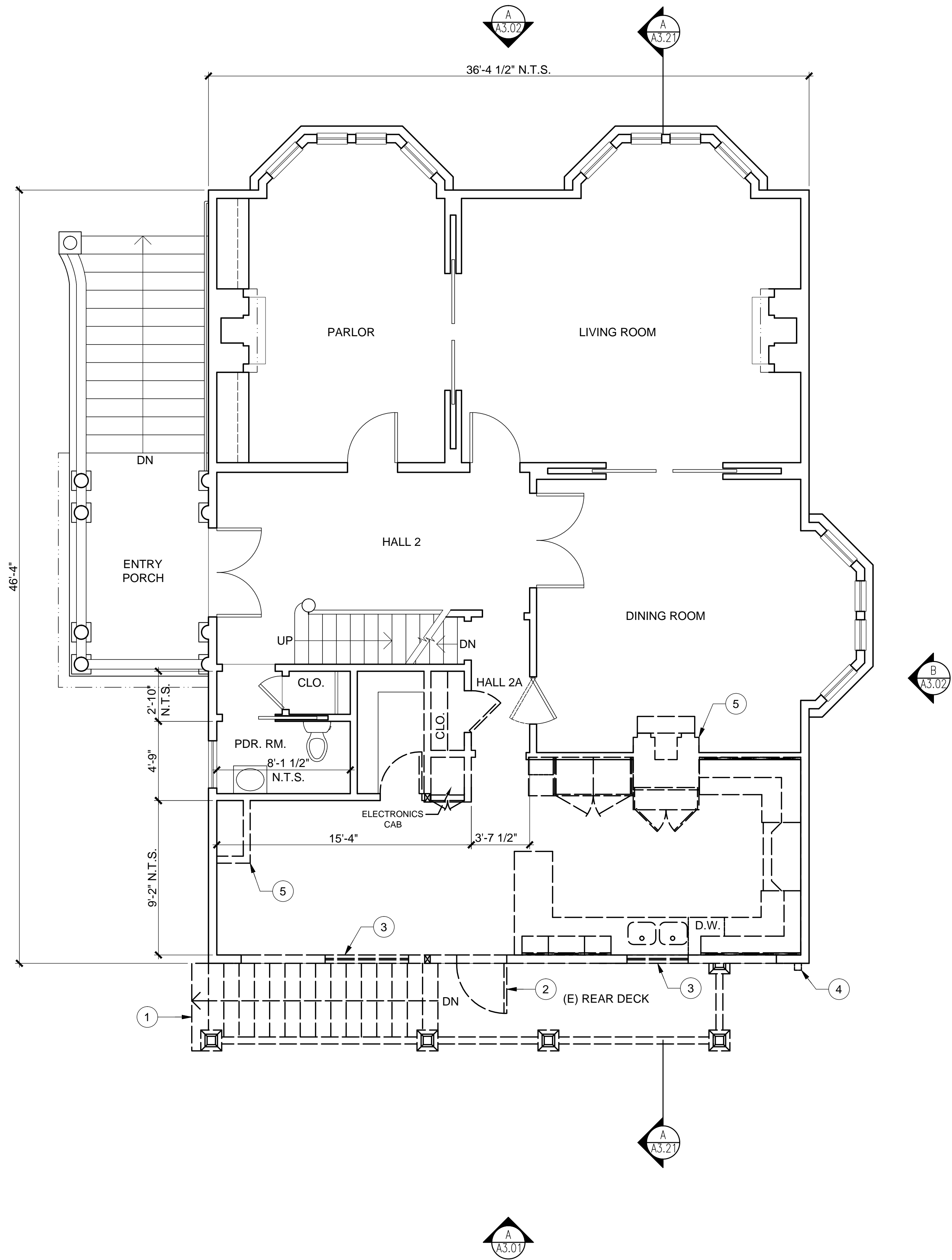
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1 SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



SHEET NOTES

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2. DEMOLISH AND REMOVE COMPLETE, ITEMS SHOWN DASHED AND NOTED FOR DEMOLITION.
3. MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE, U.O.N.
4. WALL FINISH NOTED FOR DEMOLITION TO BE REMOVED BACK TO FACE OF STUD, U.O.N.
5. COORDINATE DEMOLITION SCOPE W/ STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW STRUCTURAL ELEMENTS.
6. REFER TO ARCHITECTURAL GENERAL NOTES FOR ADDITIONAL DEMOLITION-SPECIFIC REQUIREMENTS.

KEY NOTES

- 1 REMOVE (E) REAR DECK & STAIRS TO GRADE.
- 2 REMOVE (E) WD. DOOR, FRAME & TRIM.
- 3 REMOVE (E) WD. WINDOW, FRAME & TRIM.
- 4 REMOVE (E) "JOMY" FIRE ESCAPE LADDER.
- 5 REMOVE (E) MASONRY CHIMNEY; SALVAGE MANTLE & SURROUND WHERE OCCURS



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FLOOR PLAN

DEMOLITION  
2ND FLOOR

PROJ. NO. 2017-003  
SCALE 1/4"=1'-0"  
DATE 20 JUNE 2017  
PHASE SD  
DRAWN HA  
CHECKED AW

NO.	DATE	REVISION
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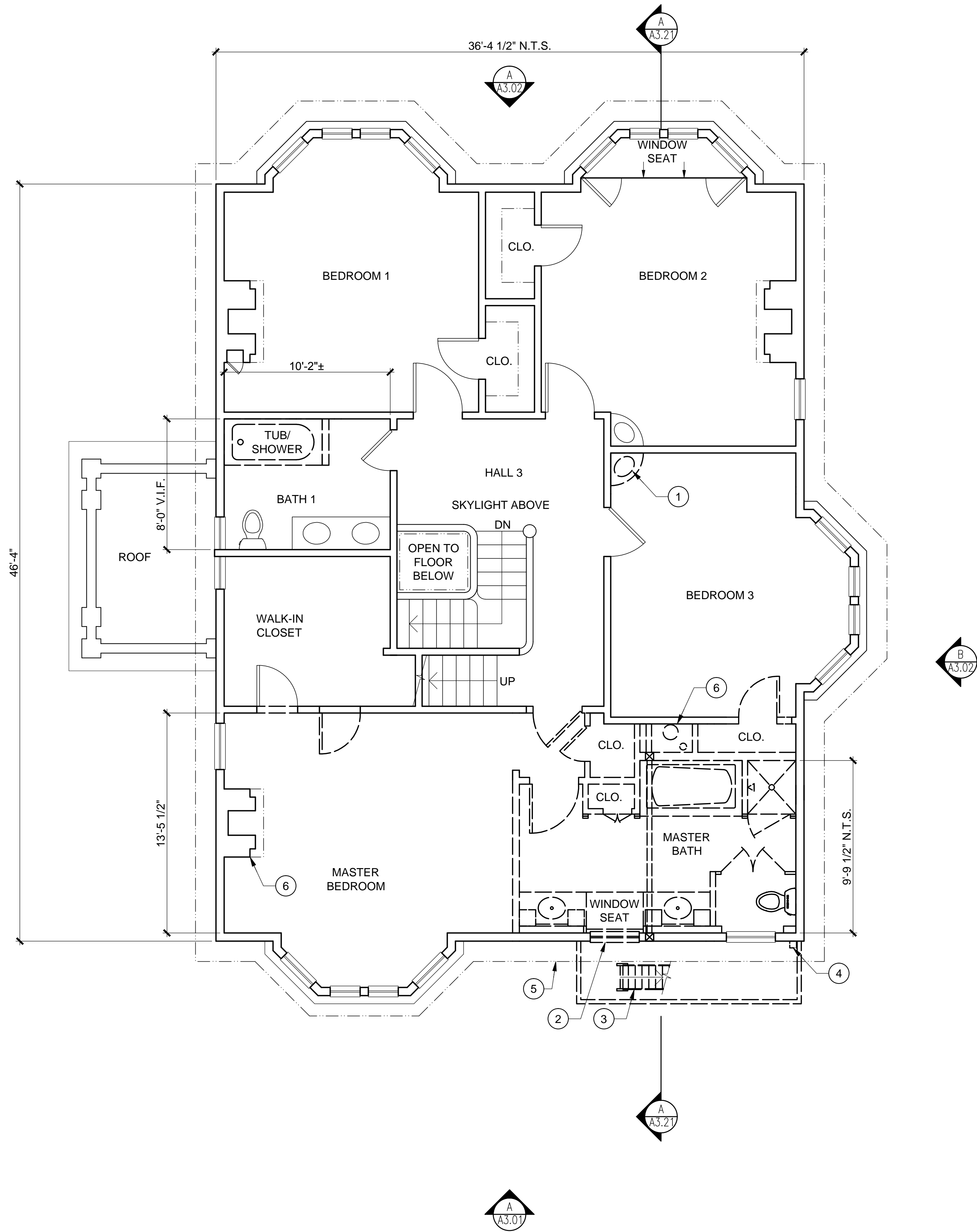
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1 THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"



SHEET NOTES

1. PRIOR TO START OF REMOVAL, PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
2. DEMOLISH AND REMOVE COMPLETE, ITEMS SHOWN DASHED AND NOTED FOR DEMOLITION.
3. MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE, U.O.N.
4. WALL FINISH NOTED FOR DEMOLITION TO BE REMOVED BACK TO FACE OF STUD, U.O.N.
5. COORDINATE DEMOLITION SCOPE W/ STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW STRUCTURAL ELEMENTS.
6. REFER TO ARCHITECTURAL GENERAL NOTES FOR ADDITIONAL DEMOLITION-SPECIFIC REQUIREMENTS.

KEY NOTES

- 1 REMOVE & SALVAGE (E) SINK & CABINET; STORE PER OWNER INSTRUCTIONS
- 2 REMOVE & SALVAGE (E) WOOD WINDOW.
- 3 REMOVE (E) FIRE ESCAPE.
- 4 REMOVE (E) "JOMY" FIRE ESCAPE LADDER.
- 5 OVERHANG OF (E) ROOF CORNICE ABOVE.
- 6 REMOVE (E) MASONRY CHIMNEY; SALVAGE MANTLE & SURROUND WHERE OCCURS



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FLOOR PLAN

DEMOLITION  
3RD FLOOR

PROJ. NO. 2017-003  
SCALE 1/4"=1'-0"  
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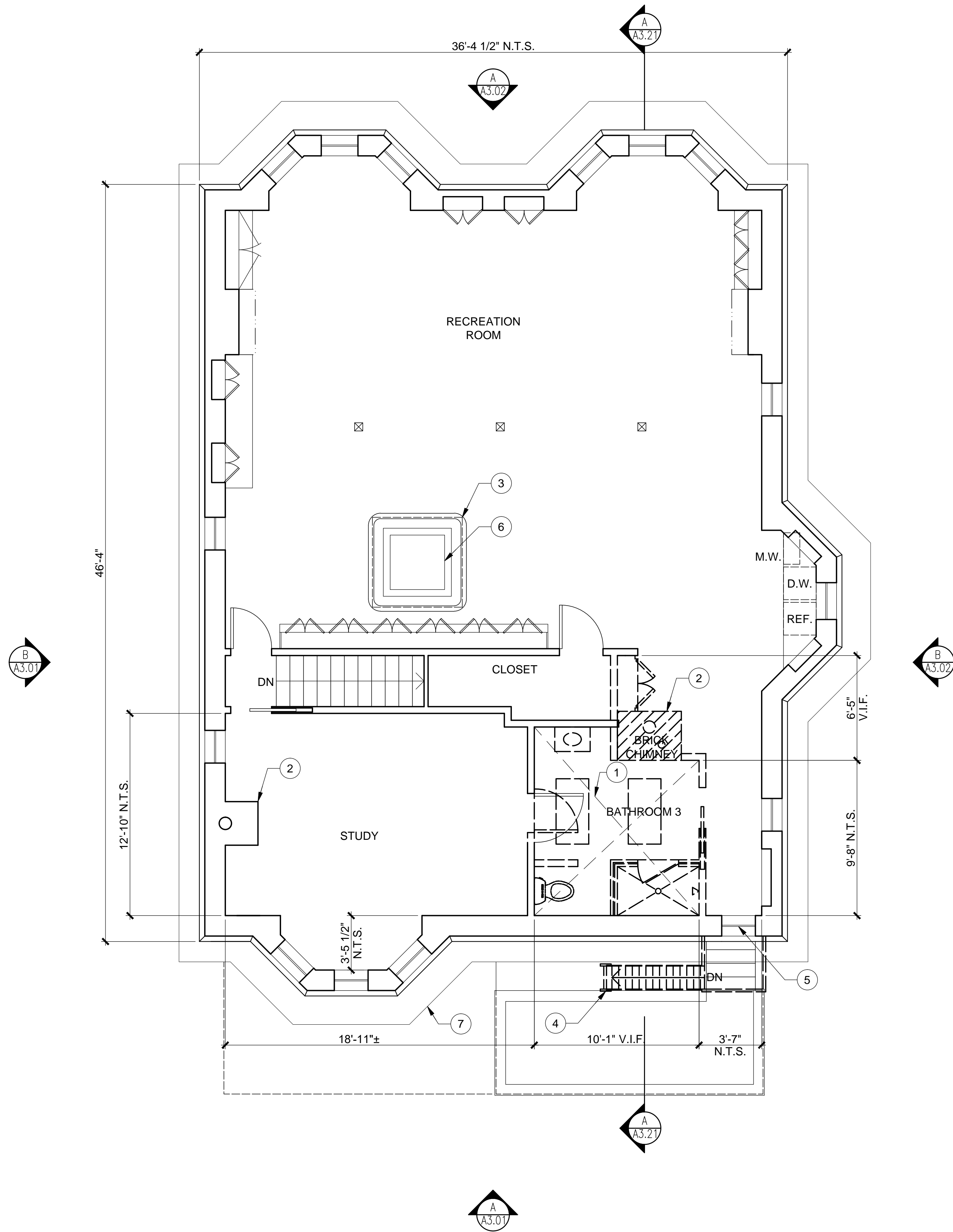
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1 FOURTH FLOOR PLAN  
SCALE: 1/4" = 1'-0"



SHEET NOTES

1. PRIOR TO START OF REMOVAL, PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
2. DEMOLISH AND REMOVE COMPLETE, ITEMS SHOWN DASHED AND NOTED FOR DEMOLITION.
3. MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE, U.O.N.
4. WALL FINISH NOTED FOR DEMOLITION TO BE REMOVED BACK TO FACE OF STUD, U.O.N.
5. COORDINATE DEMOLITION SCOPE W/ STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW STRUCTURAL ELEMENTS.
6. REFER TO ARCHITECTURAL GENERAL NOTES FOR ADDITIONAL DEMOLITION-SPECIFIC REQUIREMENTS.

KEY NOTES

- 1 REMOVE FIXTURES & FINISHES BACK TO FOS & T.O. SUBFLOOR
- 2 REMOVE (E) BRICK CHIMNEY COMPLETE
- 3 (E) SKYLIGHT ABOVE; PROTECT IN PLACE.
- 4 REMOVE (E) FIRE ESCAPE & LADDER.
- 5 (E) WD WINDOW TO REMAIN. PROTECT IN PLACE.
- 6 (E) STAINED GLASS SKYLIGHT AT FLOOR LEVEL w/ (E) WOOD RAILING TO REMAIN
- 7 (E) BAY WINDOW AND CORNICE TO REMAIN



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FLOOR PLAN

DEMOLITION  
4TH FLOOR

PROJ. NO. 2017-003  
SCALE 1/4"=1'-0"  
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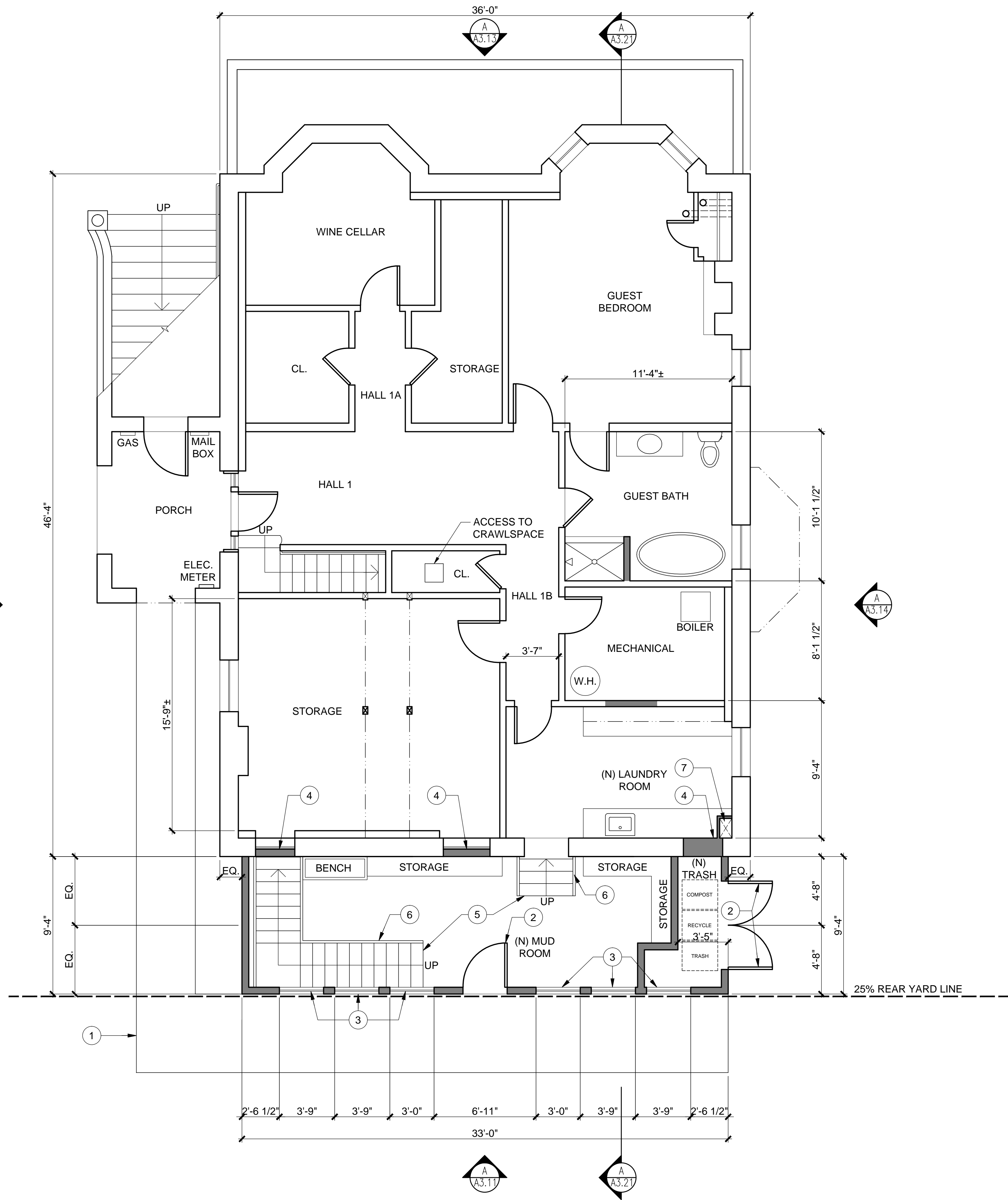
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1 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



SHEET NOTES

1. PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
2. BUILD WALLS, DOORWAYS AND WINDOW OPENINGS AS LOCATED.
3. COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF STRUCTURAL & OTHER BUILDING ELEMENTS.
4. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS ARE TO REMAIN IN PLACE & BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION, UON.

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KEY NOTES

1. REQUIRED LEVEL LANDING
2. (N) DOORWAY
3. (N) WINDOW OPENING
4. (N) WALL INFILL AT (E) OPENING
5. (N) STAIR
6. (N) STAIR RAILING
7. (N) LAUNDRY CHUTE

**FLOOR PLAN**  
**PROPOSED**  
**1ST FLOOR**

PROJ. NO. 2017-003  
SCALE 1/4"=1'-0"  
DATE 20 JUNE 2017  
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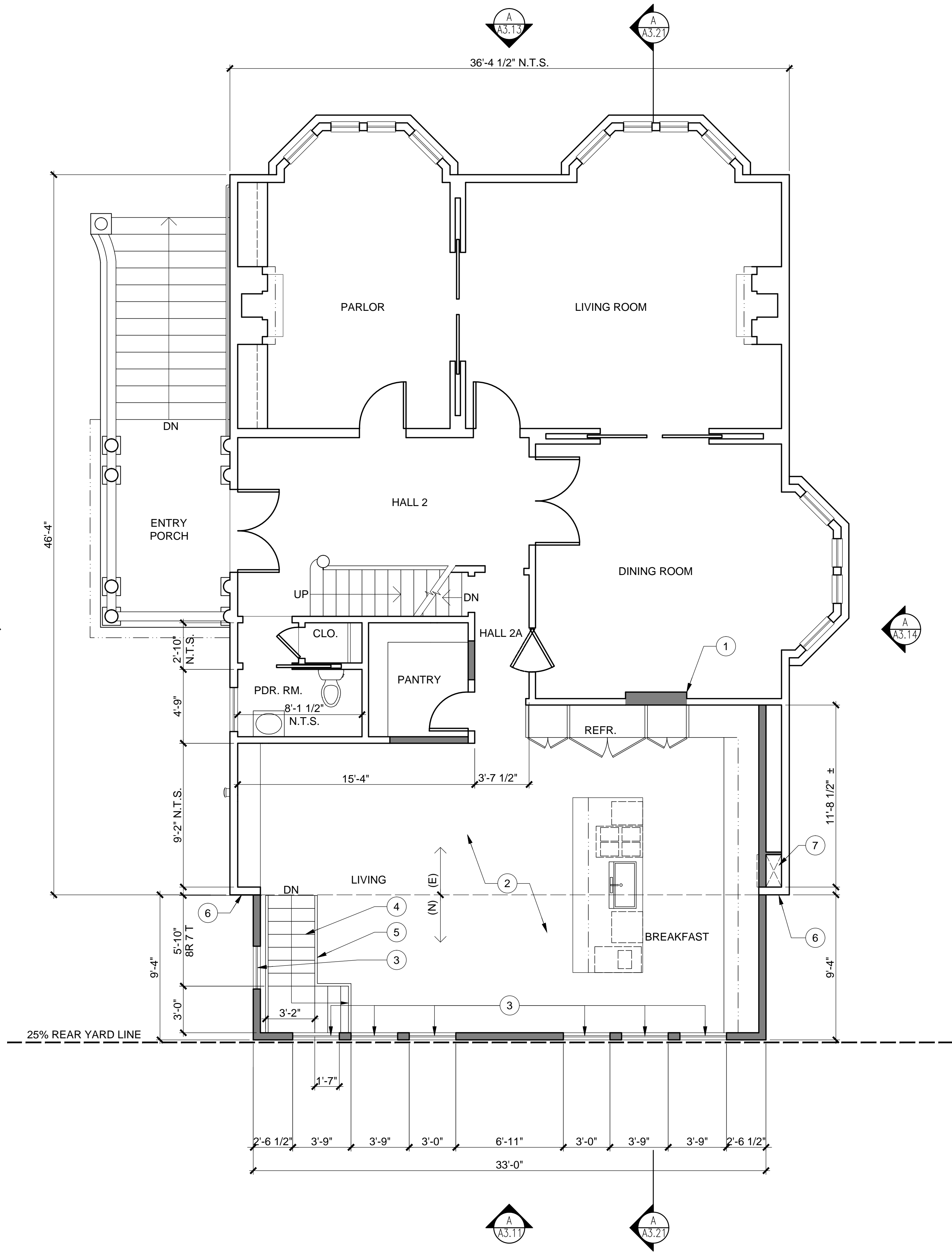
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SHEET NO.  
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1 SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



SHEET NOTES

1. PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
2. BUILD WALLS, DOORWAYS AND WINDOW OPENINGS AS LOCATED.
3. COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF STRUCTURAL & OTHER BUILDING ELEMENTS.
4. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS ARE TO REMAIN IN PLACE & BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION, UON.



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KEY NOTES

- 1 REINSTALL SALVAGED ORIGINAL MANTLE AND SURROUND
- 2 (N) SOFFITED CEILING ABOVE
- 3 (N) WINDOWS, TYP.
- 4 (N) STAIR
- 5 (N) STAIR RAILING
- 6 (E) QUOINS TO REMAIN
- 7 (N) LAUNDRY CHUTE

FLOOR PLAN

PROPOSED  
2ND FLOOR

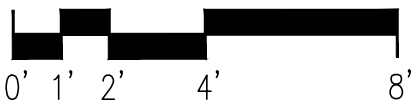
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SHEET NO.

A-2.12

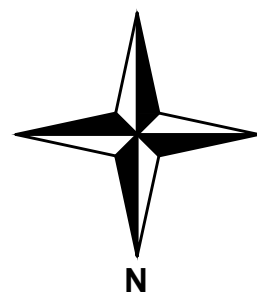
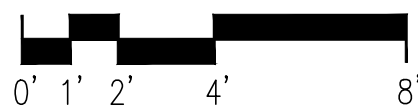
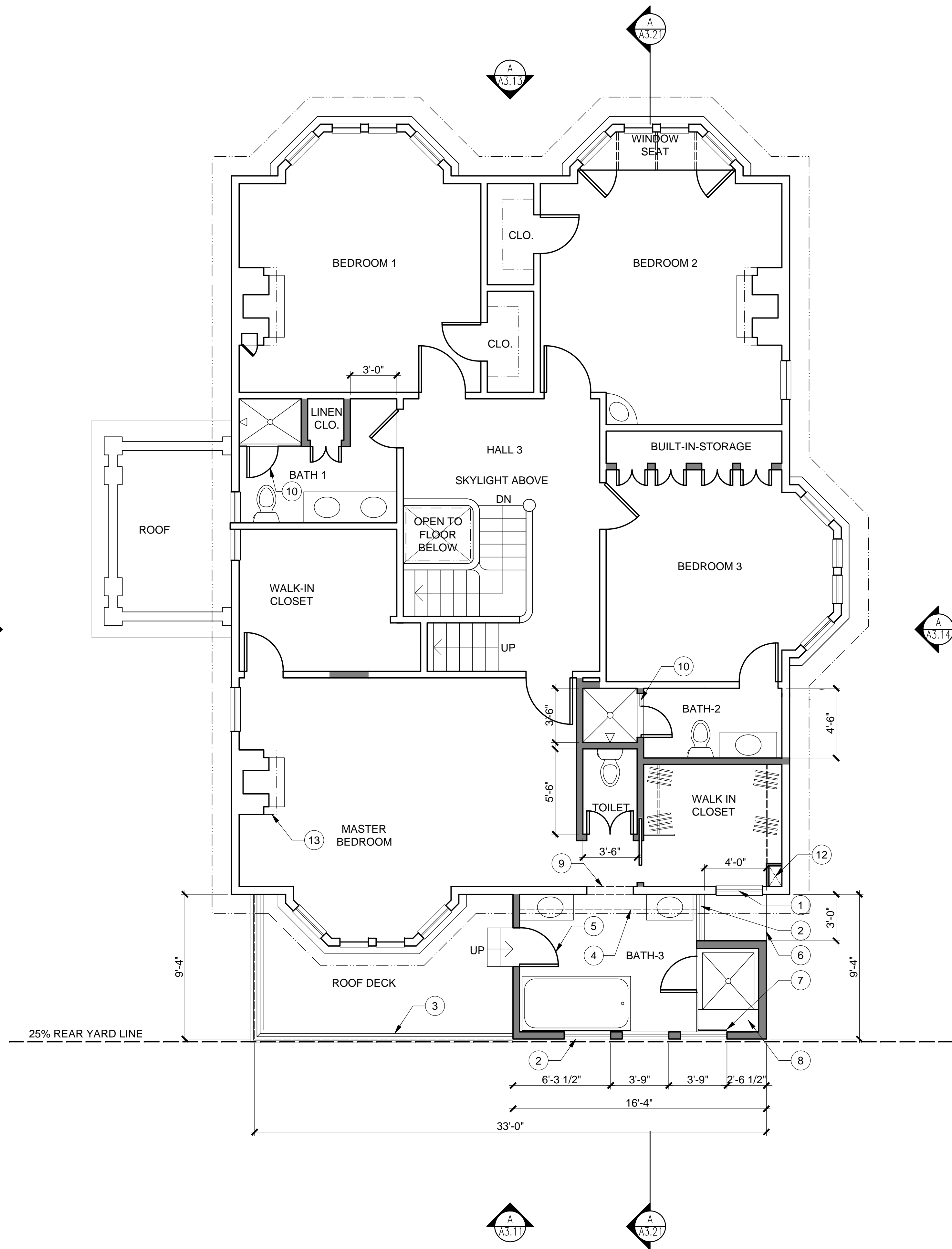
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1 THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"



SHEET NOTES

1. PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
2. BUILD WALLS, DOORWAYS AND WINDOW OPENINGS AS LOCATED.
3. WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF STRUCTURAL & OTHER BUILDING ELEMENTS.
4. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS ARE TO REMAIN IN PLACE & BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION, UON.

KEY NOTES

- 1 (E) WINDOW TO REMAIN; PROTECT IN PLACE
- 2 (N) WINDOWS, TYP.
- 3 WOOD RAILING
- 4 (N) SKYLIGHT ABOVE AT HYPHEN
- 5 BLIND DOOR
- 6 ROOF BELOW
- 7 TEMPERED GLASS PANEL
- 8 SHOWER SEAT
- 9 (E) WINDOW OPENED AS DOOR
- 10 SHOWER GLASS ENCLOSURE & GLASS DOOR
- 11 NOT USED
- 12 (N) LAUNDRY CHUTE
- 13 REINSTALL SALVAGED ORIGINAL MANTLE AND SURROUND



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MORAN RESIDENCE

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SAN FRANCISCO, CA 94123

FLOOR PLAN

PROPOSED  
3RD FLOOR

PROJ. NO. 2017-003  
SCALE 1/4"=1'-0"  
DATE 20 JUNE 2017  
PHASE SD  
DRAWN HA  
CHECKED AW

NO.	DATE	REVISION
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	<u>24 DEC 2019</u>	<u>ARC REVIEW</u>
	<u>12 FEB 2020</u>	<u>UPDATE COA/311</u>

SHEET NO.

A-2.13

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SHEET NOTES

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2. BUILD WALLS, DOORWAYS AND WINDOW OPENINGS AS LOCATED.
3. COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF STRUCTURAL& OTHER BUILDING ELEMENTS.
4. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS ARE TO REMAIN IN PLACE & BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION, UON.

KEY NOTES

- 1 (N) WOOD RAILING
- 2 (N) STAIRS TO ROOF DECK
- 3 (N) SKYLIGHT AT HYPHEN
- 4 (E) WINDOW TO REMAIN
- 5 (E) BAY WINDOW

PROGRESS PRINT

NOT FOR CONSTRUCTION

13 SEPT 2017

FLOOR PLAN

PROPOSED  
4TH FLOOR

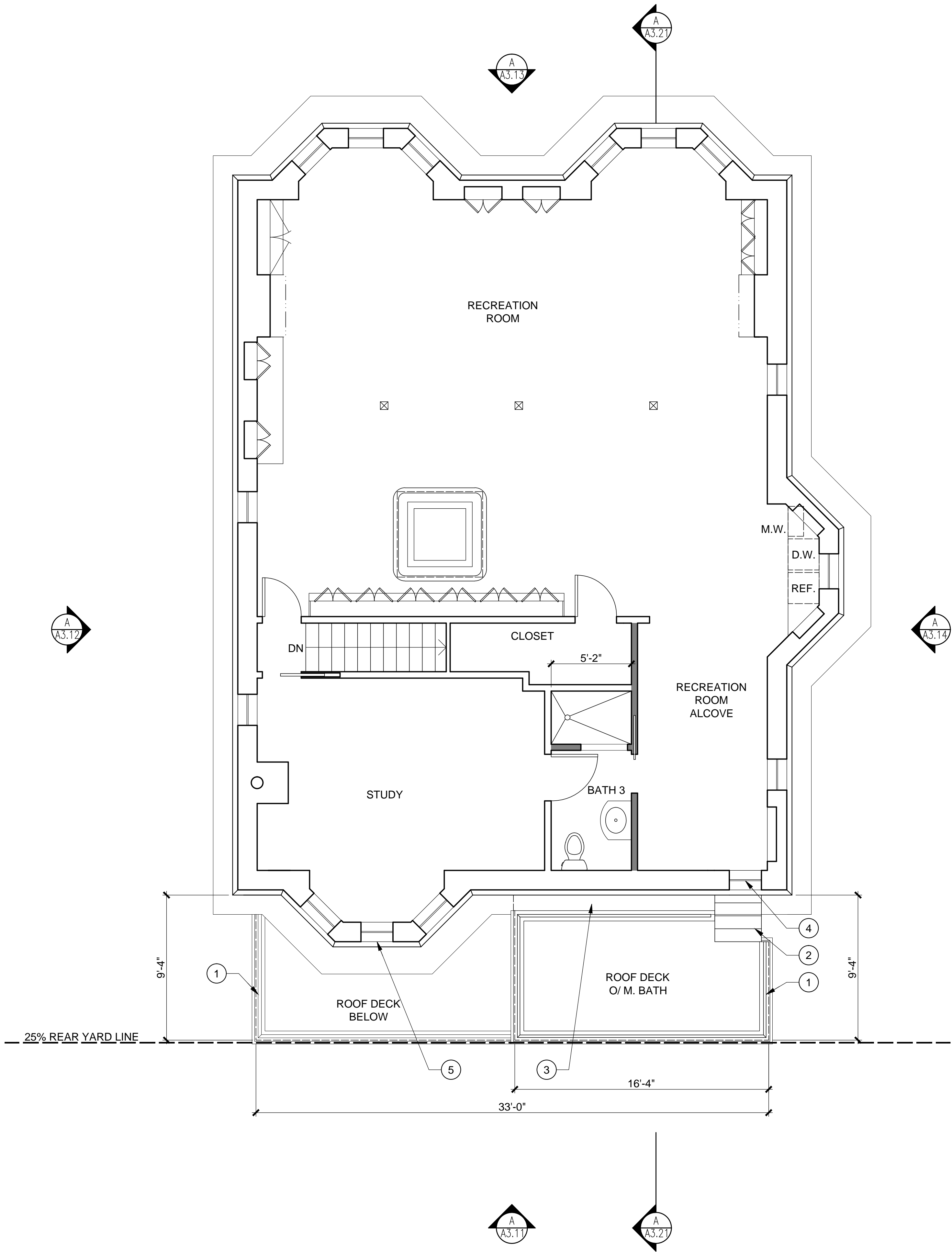
PROJ. NO. 2017-003  
SCALE 1/4"=1'-0"  
DATE 20 JUNE 2017  
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SHEET NO.

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1

FOURTH FLOOR PLAN

SCALE: 1/4" = 1'-0"

SHEET NOTES

- 1. PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
- 2. DEMOLISH AND REMOVE COMPLETE, ITEMS SHOWN DASHED AND NOTED FOR DEMOLITION.
- 3. MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE, U.O.N.
- 4. WALL FINISH NOTED FOR DEMOLITION TO BE REMOVED BACK TO FACE OF STUD, U.O.N.
- 5. COORDINATE DEMOLITION SCOPE W/ STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW STRUCTURAL ELEMENTS.
- 6. REFER TO ARCHITECTURAL GENERAL NOTES FOR ADDITIONAL DEMOLITION-SPECIFIC REQUIREMENTS.



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MORAN RESIDENCE

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KEY NOTES

- 1 REMOVE (E) STAIRS TO 2ND FLOOR.
- 2 REMOVE (E) WALLS AT STORAGE ROOM.
- 3 REMOVE (E) CONC. STEPS, LANDING & PORCH FLOOR.
- 4 REMOVE & (E) WD. POSTS & TRIM.
- 5 REMOVE & (E) WD. DOOR, FRAME & TRIM.
- 6 REMOVE & (E) WD. WINDOW, FRAME & TRIM.
- 7 ENLARGE (E) WINDOW OPENING TO ACCOMMODATE PROPOSED (N) DOOR.
- 8 REMOVE (E) "JOMY" FIRE ESCAPE LADDER.
- 9 REMOVE (E) REAR DECK.
- 10 REMOVE (E) WD. WINDOW, FRAME & TRIM.
- 11 PROTECT (E) BAY WINDOW DURING ALL WORK.
- 12 REMOVE (E) FIRE ESCAPE & LADDER.
- 13 (E) WD. WINDOW TO REMAIN. PROTECT IN PLACE.
- 14 REMOVE & SALVAGE (E) WINDOW AND STORE WHERE DIRECTED BY OWNER; REMOVE SILL OF OPENING FOR (N) DOORWAY.
- 15 CUT OPENING FOR CONNECTION TO (N) ADDITION.
- 16 (E) CORNICE AT MANSARD TO REMAIN, PROTECT IN PLACE DURING ALL WORK.
- 17 (E) QUOINS TO REMAIN. PROTECT IN PLACE.
- 18 (E) BAY WINDOW AT MANSARD TO REMAIN; PROTECT IN PLACE DURING ALL WORK.

EXTERIOR ELEVATION

DEMOLITION

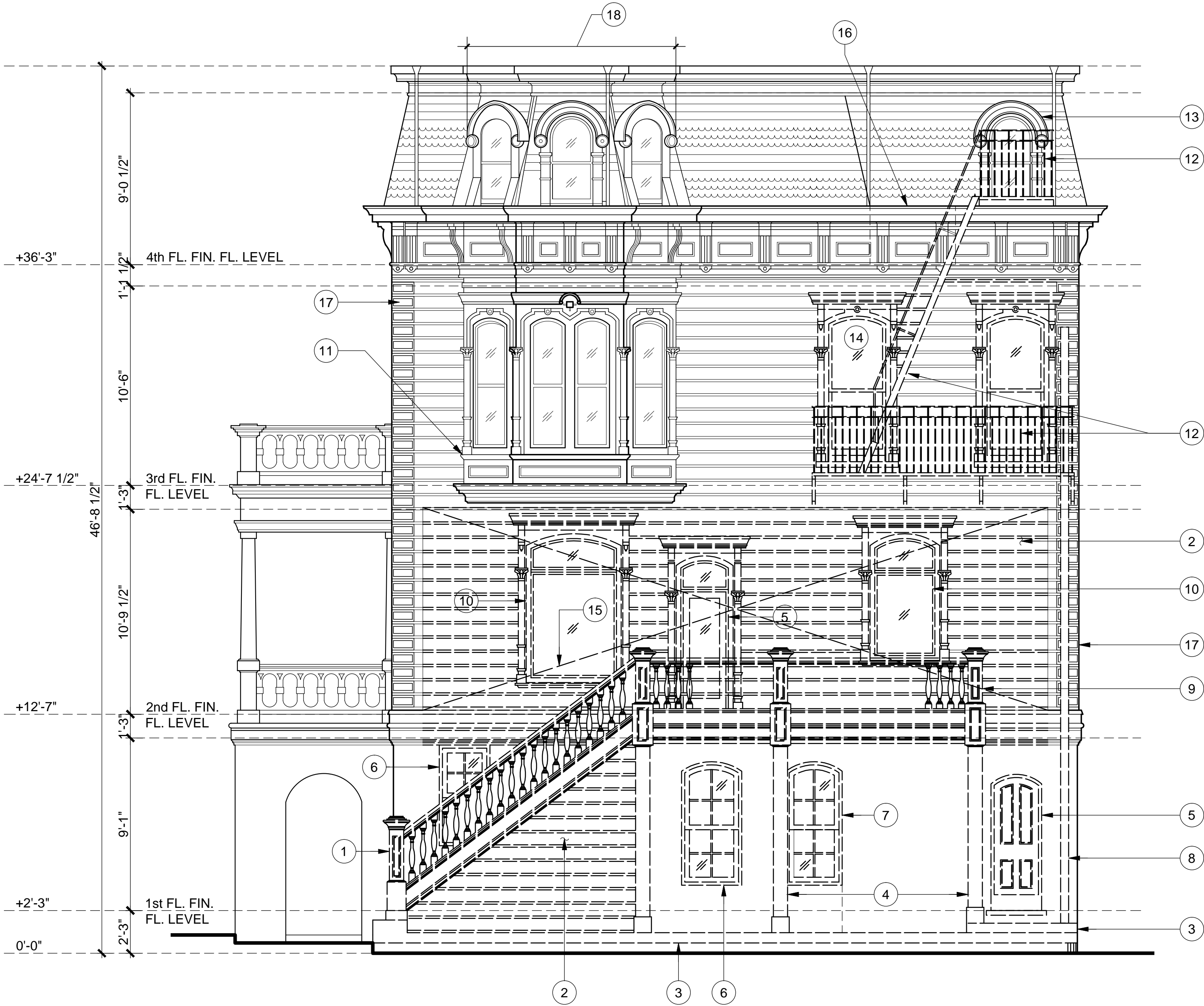
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SHEET NO.

A-3.01

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A NORTH  
SCALE: 1/4" = 1'-0"



SHEET NOTES

- 1. PRIOR TO START OF REMOVAL, PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
- 2. DEMOLISH AND REMOVE COMPLETE, ITEMS SHOWN DASHED AND NOTED FOR DEMOLITION.
- 3. MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE, U.O.N.
- 4. WALL FINISH NOTED FOR DEMOLITION TO BE REMOVED BACK TO FACE OF STUD, U.O.N.
- 5. COORDINATE DEMOLITION SCOPE W/ STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW STRUCTURAL ELEMENTS.
- 6. REFER TO ARCHITECTURAL GENERAL NOTES FOR ADDITIONAL DEMOLITION-SPECIFIC REQUIREMENTS.



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KEY NOTES

- 1 REMOVE (E) STAIRS TO 2ND FLOOR.
- 2 REMOVE (E) REAR DECK.
- 3 NOT USED
- 4 (E) BAY WINDOW TO REMAIN.
- 5 (E) QUOINS TO REMAIN. PROTECT IN PLACE.

EXTERIOR ELEVATION

DEMOLITION

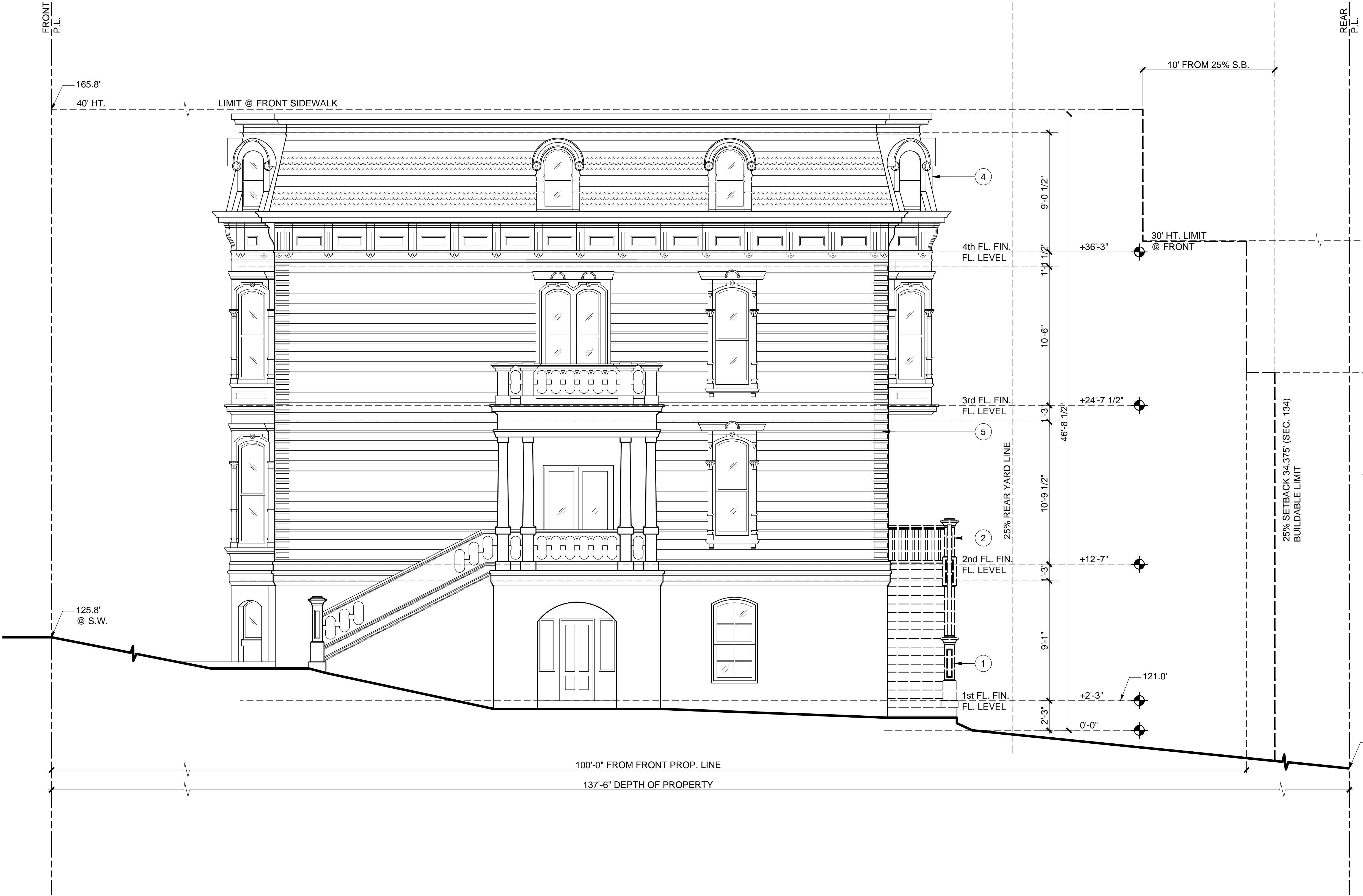
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A-3.02

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A EAST  
SCALE: 1/4" = 1'-0"



SHEET NOTES

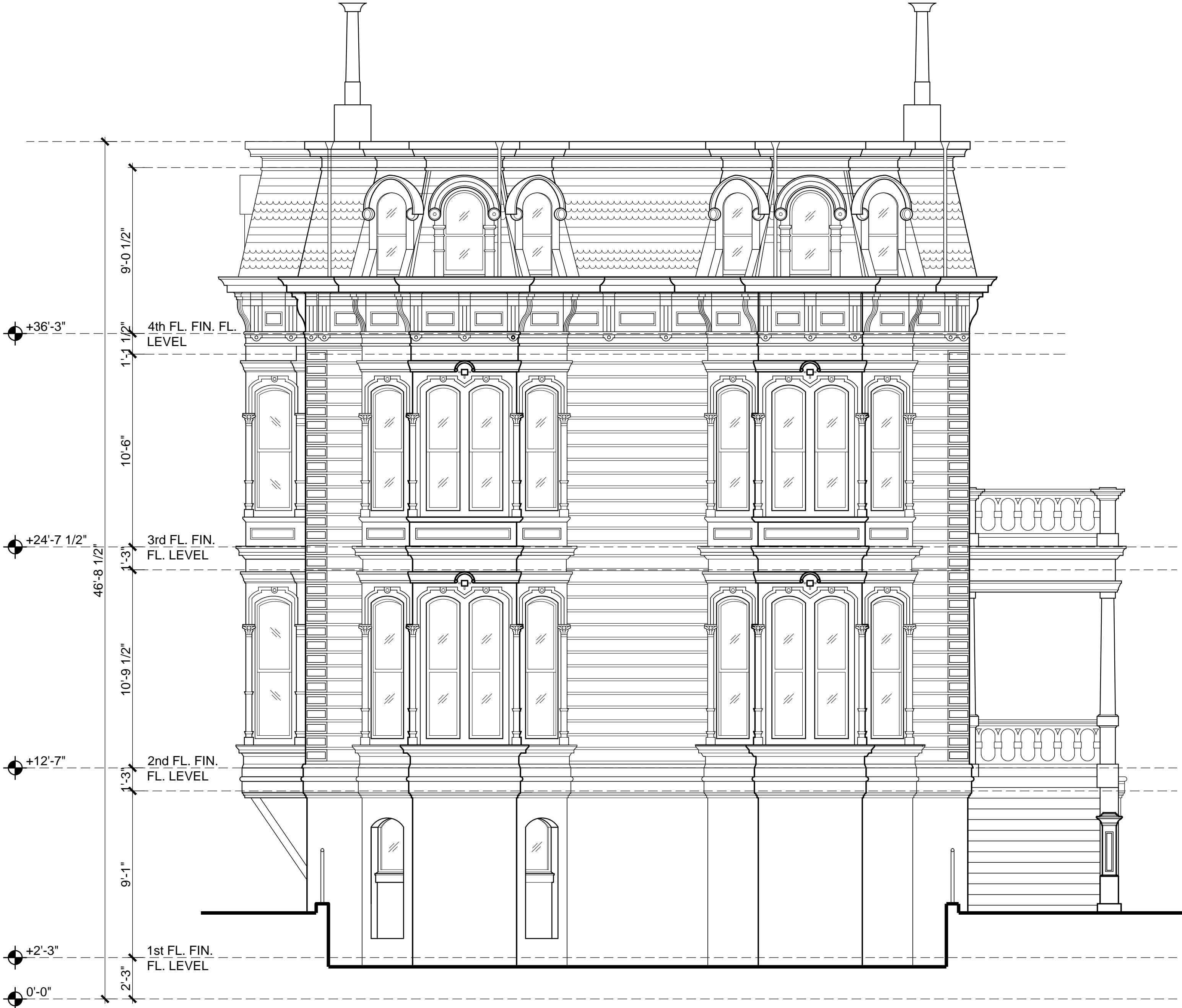
1. NO SHEET NOTES APPLICABLE TO THIS ELEVATION. ALL EXISTING ELEMENTS TO REMAIN IN PLACE.



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SAN FRANCISCO, CA 94123



KEY NOTES

1. NO KEY NOTES APPLICABLE TO THIS ELEVATION. ALL EXISTING ELEMENTS TO REMAIN IN PLACE.

EXTERIOR ELEVATION

EXISTING

PROJ. NO. 2017-003  
SCALE 1/4"=1'-0"  
DATE 20 JUNE 2017  
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A SOUTH  
SCALE: 1/4" = 1'-0"



SHEET NO.

A-3.03

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SHEET NOTES

- 1. PRIOR TO START OF REMOVAL, PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
- 2. DEMOLISH AND REMOVE COMPLETE, ITEMS SHOWN DASHED AND NOTED FOR DEMOLITION.
- 3. MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE, U.O.N.
- 4. WALL FINISH NOTED FOR DEMOLITION TO BE REMOVED BACK TO FACE OF STUD, U.O.N.
- 5. COORDINATE DEMOLITION SCOPE W/ STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW STRUCTURAL ELEMENTS.
- 6. REFER TO ARCHITECTURAL GENERAL NOTES FOR ADDITIONAL DEMOLITION-SPECIFIC REQUIREMENTS.



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KEY NOTES

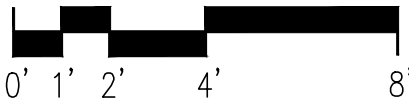
- 1 REMOVE (E) WALLS AT STORAGE ROOM.
- 2 REMOVE (E) CONC. STEPS, LANDING & PORCH FLOOR.
- 3 REMOVE (E) WD. POSTS & TRIM.
- 4 REMOVE (E) WD. DOOR, FRAME & TRIM.
- 5 REMOVE(E) "JOMY" FIRE ESCAPE LADDER
- 6 REMOVE (E) REAR DECK
- 7 REMOVE (E) FIRE ESCAPE & LADDER.
- 8 (E) QUOINS TO REMAIN. PROTECT IN PLACE.

EXTERIOR ELEVATION

DEMOLITION

PROJ. NO. 2017-003  
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SHEET NOTES

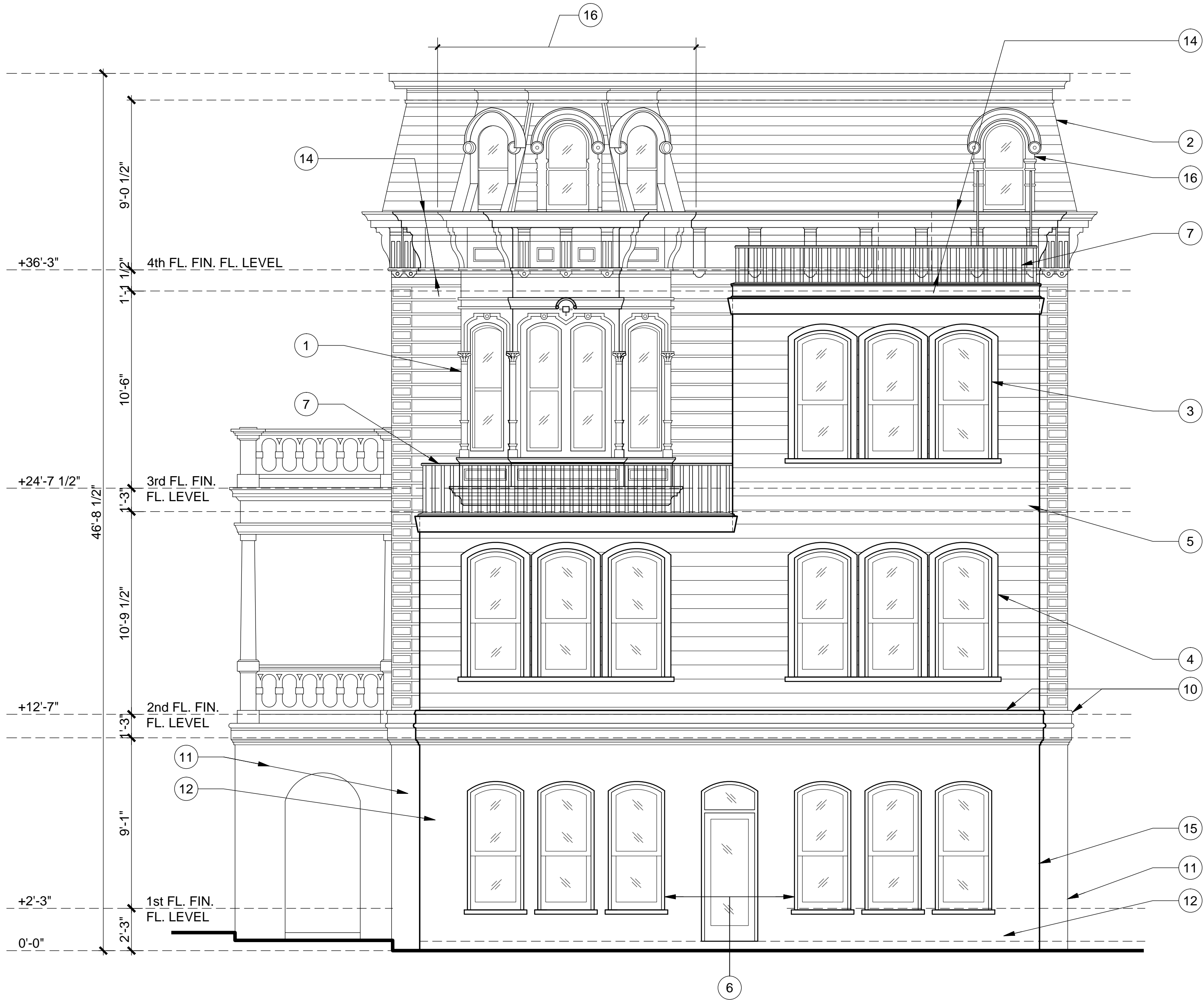
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3. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS THAT ARE TO REMAIN IN PLACE MUST BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
4. ALL SIDING & TRIM TO BE PRIMED AND PAINTED PER FINISH SCHEDULE WITH EXPOSED FOUNDATION TO BE PAINTED ADJACENT BODY COLOR.
5. FURNISH REQUIRED ATTIC VENTILATION, PER CBC SECTION 1203 IN LOCATIONS NOTED.



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KEY NOTES

1. (E) BAY WINDOW & CORNICE TO REMAIN; PROTECT IN PLACE
2. (E) MANSARD ROOF ASSEMBLY TO REMAIN
3. (N) WINDOWS TO BE ARCH TOP SIMILAR TO (E) HISTORIC
4. (N) WINDOW TRIM TO BE SIMILAR BUT WITH PLAIN PROFILE COMPARED TO (E) HISTORIC TRIM
5. (N) "V" RUSTICSIDING TO MATCH SPACING AND ALIGN w/ (E) CHANNEL RUSTIC SIDING
6. NO WINDOW TRIM AT CEMENT PLASTER OPENINGS
7. (N) TURNED WOOD BALUSTER RAILING
8. NOT USED
9. NOT USED
10. (N) CORNICE TO ALIGN w/ (E) CORNICE
11. (E) BRICK WALL
12. (N) CEMENT PLASTER WALL FINISH AT ADDITION
13. NOT USED
14. PROTECT (E) CORNICE, TYPICAL
15. (N) TRASH/RECYCLE ROOM FIN. FLOOR LEVEL TO MATCH ADJACENT GRADE.
16. (E) WINDOW TO REMAIN

EXTERIOR ELEVATION

PROPOSED

PROJ. NO. 2017-003  
SCALE 1/4"=1'-0"  
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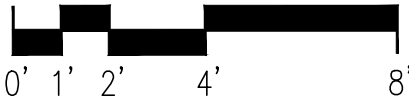
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A-3.11

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A NORTH  
SCALE: 1/4" = 1'-0"





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SHEET NOTES

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4. ALL SIDING & TRIM TO BE PRIMED AND PAINTED PER FINISH SCHEDULE WITH EXPOSED FOUNDATION TO BE PAINTED ADJACENT BODY COLOR.
5. FURNISH REQUIRED ATTIC VENTILATION, PER CBC SECTION 1203 IN LOCATIONS NOTED.

KEY NOTES

- 1 (E) BAY WINDOW & CORNICE TO REMAIN; PROTECT IN PLACE
- 2 (E) MANSARD ROOF ASSEMBLY TO REMAIN
- 3 (N) WINDOWS TO BE ARCH TOP SIMILAR TO (E) HISTORIC
- 4 (N) WINDOW TRIM TO BE SIMILAR BUT WITH PLAIN PROFILE COMPARED TO (E) HISTORIC TRIM
- 5 (N) "V" RUSTIC SIDING TO MATCH SPACING AND ALIGN w/ (E) CHANNEL RUSTIC SIDING
- 6 NOT USED
- 7 (N) TURNED WOOD BALUSTER RAILING
- 8 NOT USED
- 9 NOT USED
- 10 (N) CORNICE TO ALIGN w/ (E) CORNICE
- 11 (E) BRICK WALL
- 12 (N) CEMENT PLASTER WALL FINISH AT ADDITION
- 13 (N) DOOR FROM BATH, SEE SCHEDULE
- 14 PROTECT (E) CORNICE, TYPICAL

EXTERIOR ELEVATION

PROPOSED

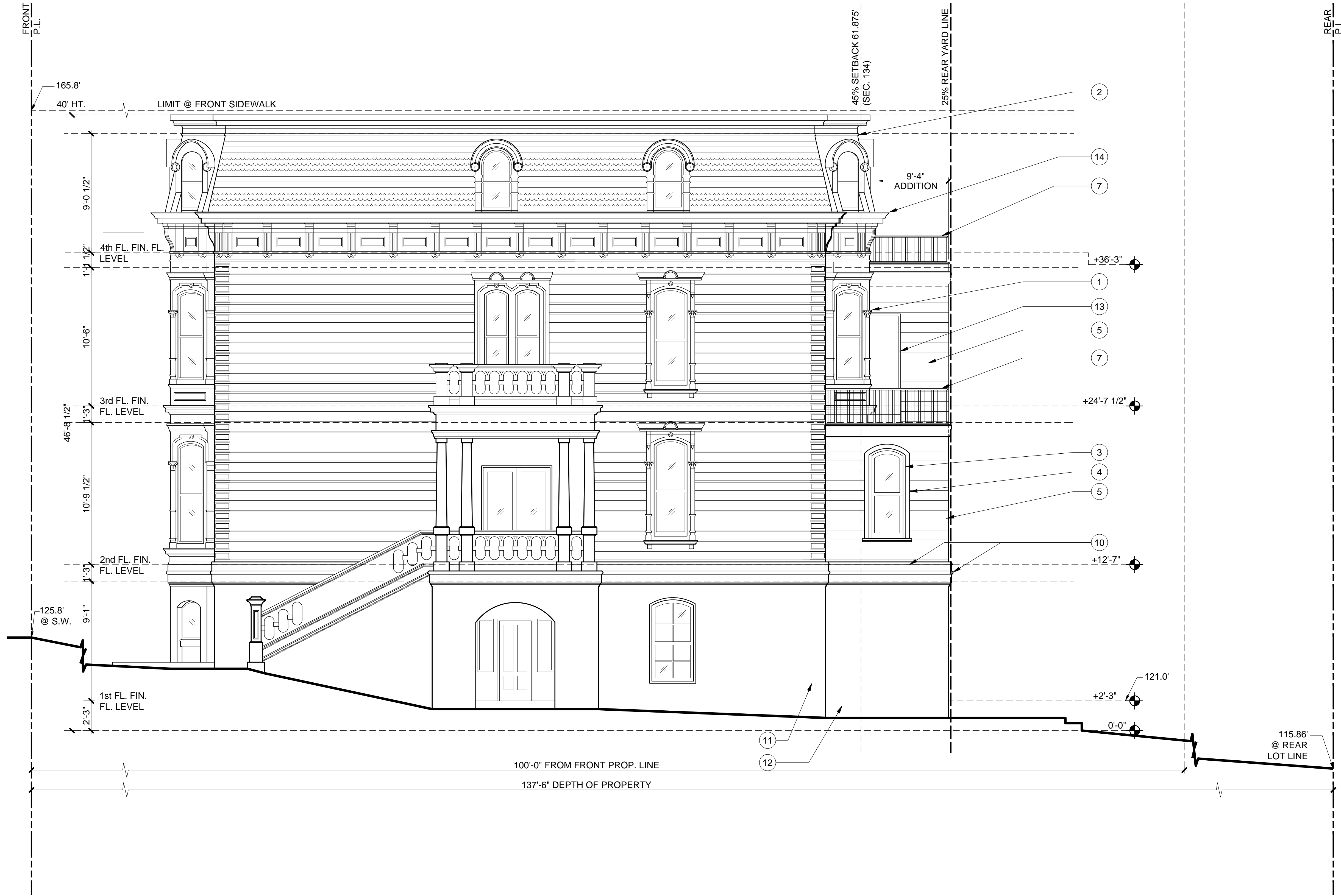
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A EAST  
SCALE: 1/4" = 1'-0"





SHEET NOTES

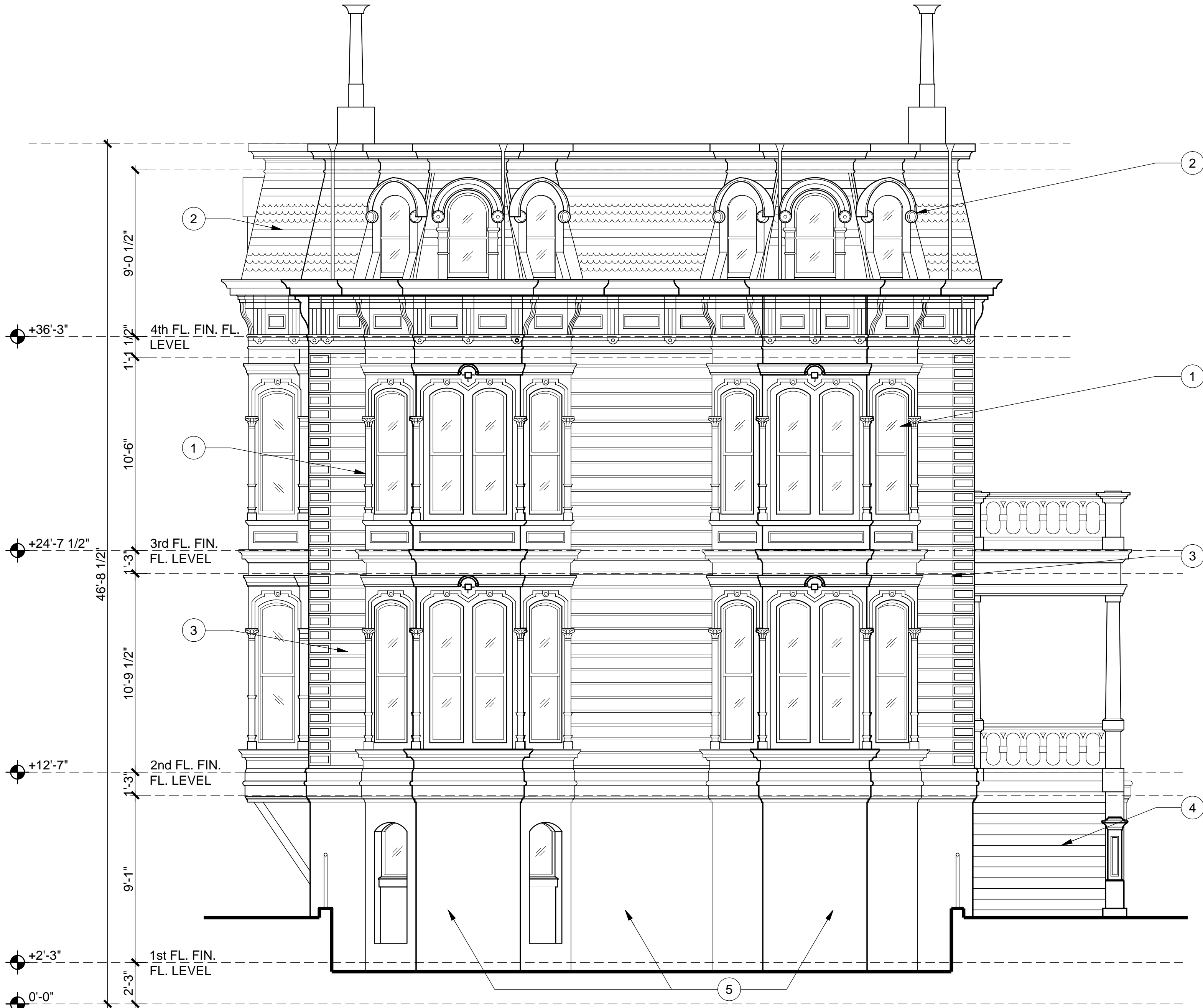
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- 4. ALL SIDING & TRIM TO BE PRIMED AND PAINTED PER FINISH SCHEDULE WITH EXPOSED FOUNDATION TO BE PAINTED ADJACENT BODY COLOR.
- 5. FURNISH REQUIRED ATTIC VENTILATION, PER CBC SECTION 1203 IN LOCATIONS NOTED.



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MORAN RESIDENCE

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SAN FRANCISCO, CA 94123



KEY NOTES

- 1 (E) BAY WINDOW
- 2 (E) MANSARD ROOF ASSEMBLY TO REMAIN
- 3 (E) SIDING
- 4 (E) ENTRY STAIRS
- 5 (E) BRICK WALL

EXTERIOR ELEVATION

PROPOSED

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A SOUTH  
SCALE: 1/4" = 1'-0"



1. PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING WORK IN ADJACENT AREAS.
2. COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF (N) STRUCTURAL & OTHER BUILDING ELEMENTS.
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5. FURNISH REQUIRED ATTIC VENTILATION, PER CBC SECTION 1203 IN LOCATIONS NOTED.



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- 1 NOT USED
- 2 (E) MANSARD ROOF ASSEMBLY TO REMAIN
- 3 (N) WINDOWS TO BE ARCH TOP SIMILAR TO (E) HISTORIC
- 4 (N) WINDOW TRIM TO BE SIMILAR BUT WITH PLAIN PROFILE COMPARED TO (E) HISTORIC TRIM
- 5 (N) "V" RUSTIC SIDING TO MATCH SPACING AND ALIGN w/ (E) CHANNEL RUSTIC SIDING
- 6 NOT USED
- 7 NOT USED
- 8 NOT USED
- 9 (N) TURNED WOOD BALUSTER RAILING
- 10 (N) DOORS TO TRASH / RECYCLING BIN ENCLOSURE
- 11 (E) BRICK WALL
- 12 (N) CEMENT PLASTER WALL FINISH AT ADDITION

PROJ. NO. 2017-003  
SCALE 1/4"=1'-0"  
DATE 20 JUNE 2017  
PHASE  
DRAWN HA  
CHECKED AW

NO.	DATE	REVISION
	<u>18 JUL 2017</u>	<u>PLANNING REVIEW</u>
	<u>11 SEPT 2017</u>	<u>C.O.A. APPLICATION</u>
	<u>24 DEC 2019</u>	<u>ARC REVIEW</u>
	<u>12 FEB 2020</u>	<u>UPDATE COA/311</u>

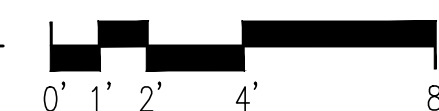
SHEET NO.

A-3.14

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**WEST**  
SCALE: 1/4" = 1'-0"



SHEET NOTES



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T: 415.391.9633  
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MORAN RESIDENCE

1772 VALLEJO STREET  
SAN FRANCISCO, CA 94123

KEY NOTES

PROGRESS PRINT  
NOT FOR CONSTRUCTION  
13 SEPT 2017

BUILDING SECTION  
PROPOSED

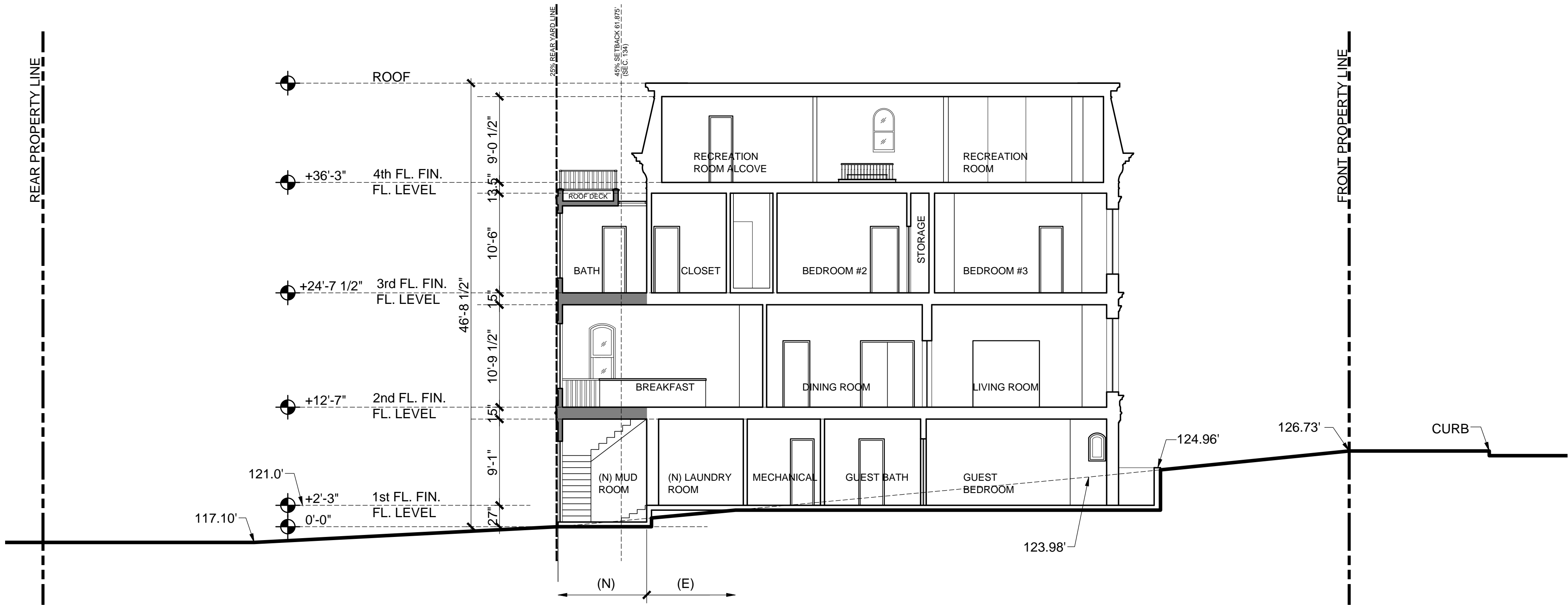
PROJ. NO. 2017-003  
SCALE AS NOTED  
DATE 8 FEB 2017  
PHASE SD  
DRAWN HA  
CHECKED AW

NO.	DATE	REVISION
18 JUL 2017	PLANNING REVIEW	
11 SEPT 2017	C.O.A. APPLICATION	
24 DEC 2019	ARC REVIEW	
12 FEB 2020	UPDATE COA/311	

SHEET NO.

A-3.21

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A SECTION  
SCALE: 1/8" = 1'-0"



SHEET NOTES

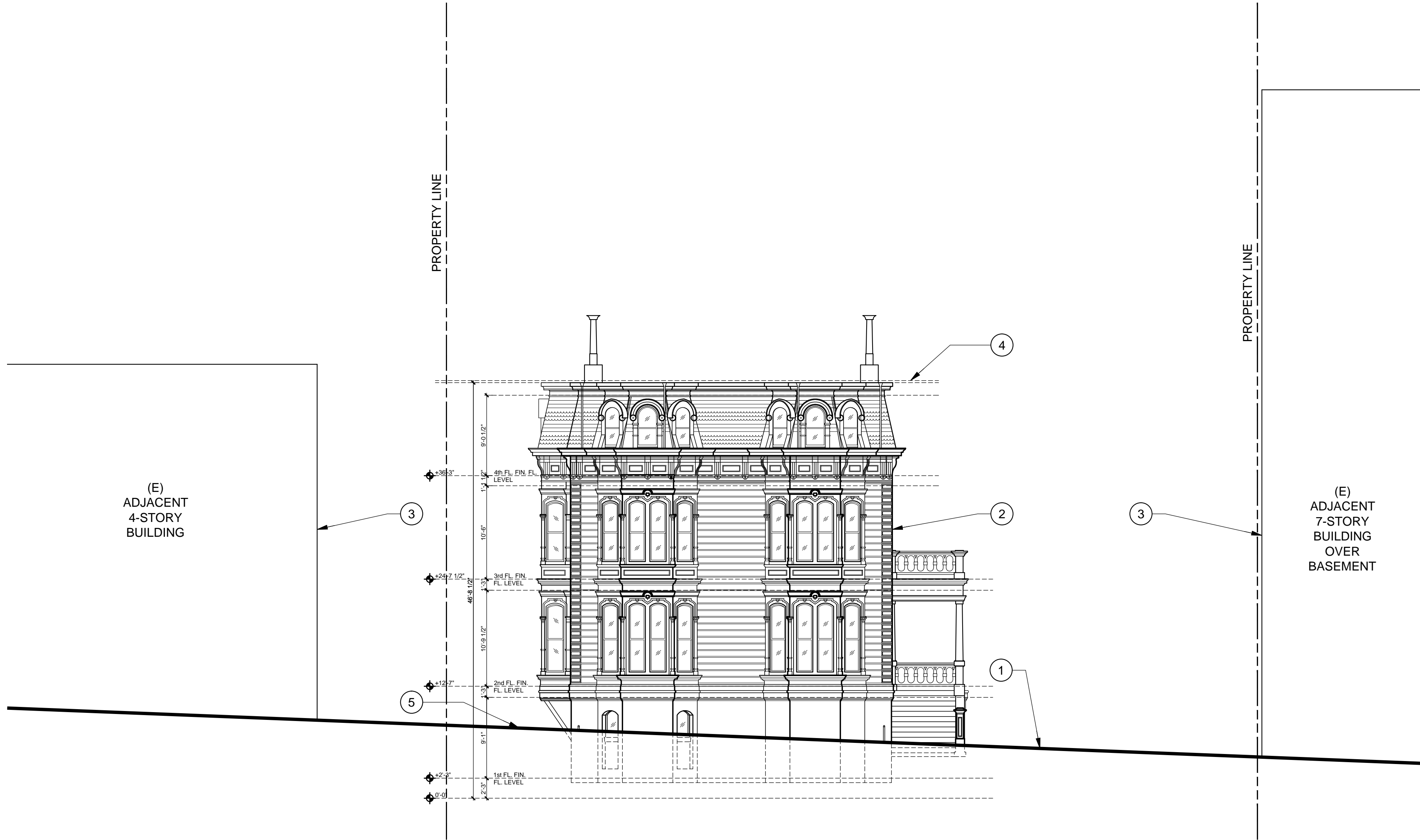
1. HEIGHTS OF (E) ADJACENT BUILDINGS SHOWN ARE APPROXIMATE BASED ON AVAILABLE INFORMATION, NEITHER WERE NOT FIELD MEASURED



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KEY NOTES

- ① LINE OF (E) SIDEWALK  
② (E) PROJECT BUILDING  
③ (E) ADJACENT NEIGHBOR BUILDING  
④ LINE OF 40' HEIGHT LIMIT AS MEASURED AT FRONT PROPERTY LINE  
⑤ (E) DRIVEWAY ACCESS

STREET ELEVATION

1 STREET ELEVATION  
SCALE: 1/8" = 1'-0"



PROJ. NO. 2017-003  
SCALE AS NOTED  
DATE 05 MAR 2020  
PHASE PLANNING  
DRAWN EP  
CHECKED

NO.	DATE	REVISION
	<u>18 JUL 2017</u>	<u>PLANNING REVIEW</u>
	<u>11 SEPT 2017</u>	<u>C.O.A. APPLICATION</u>
	<u>24 DEC 2019</u>	<u>ARC REVIEW</u>
	<u>12 FEB 2020</u>	<u>UPDATE COA/311</u>

SHEET NO.

A-3.22

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