



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report

HEARING DATE: JUNE 6, 2018

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
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Planning
Information:
415.558.6377

Case No.: 2015-007715COA-02
Project Address: 2342-2344 3RD STREET
Historic Landmark: Dogpatch Landmark District
Zoning: UMU (Urban Mixed Use)
45-X Height and Bulk District
Block/Lot: 4108/003A
Applicant: John Kevlin
Reuben, Junius & Rose, LLP
1 Bush Street, Suite 600
San Francisco, CA 94104
Staff Contact: Natalia Kwiatkowska - (415) 575-9185
natalia.kwiatkowska@sfgov.org
Reviewed By: Tim Frye – (415) 575-6822
tim.frye@sfgov.org

PROPERTY DESCRIPTION

2342-2344 3RD STREET is a three-story, group housing building located on a rectangular midblock lot on the west side of 3rd Street between 20th and 22nd Streets. The subject property was originally constructed between 1905 and 1914 in a flat-front Italianate style. The front façade of the building was stripped and clad in stucco at an unknown date. The building is a contributor to the Article 10 Dogpatch Landmark District.

PROJECT DESCRIPTION

The proposed project entails the rehabilitation of the existing building including restoration of the exterior, addition of a storefront, removal of a non-historic rear addition, and an interior remodel. The restoration is based on physical evidence upon the removal of the non-historic stucco and shingles and historic photographs in accordance with the *Secretary of the Interior's Standards for Rehabilitation*. Please reference the plans and photographs for details. The exterior work is described in more detail below:

- Remove existing non-historic stucco at front façade and non-historic roofing shingles at side and restore historic wood cladding including repair and replacement where existing conditions are deteriorated beyond repair.
- Replace existing non-historic aluminum windows with wood-sash, double-hung windows with ogee lugs, divisions, and wood trim based on historic evidence. The project includes minor changes to the fenestration at side and rear facades including installation of new windows and doors, relocation of windows, and elimination of windows.

- Replace existing non-historic garage and entries at ground level with a wood-sash storefront and a wood residential entry based on historic evidence.
- Restore existing wood cornice and parapet.
- Replacement of existing metal gate and fence at front.
- Remove existing non-historic shed-roofed addition at rear and replace existing wood stair with a steel stair, which is a required second means of egress per the Building Code. The existing rear wall will be partially demolished and the remaining portion will be fire-rated.

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a historic district, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

ARTICLE 10 – Appendix L – Dogpatch Landmark District

In reviewing an application for a Certificate of Appropriateness, the Historic Preservation Commission must consider whether the proposed work would be compatible with the character of the Dogpatch Landmark District as described in Appendix L of Article 10 of the Planning Code and the character-defining features specifically outlined in the designating ordinance.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1: A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The proposed project would maintain the subject property's current and historic residential use while restoring exterior features. Therefore, the proposed project complies with Rehabilitation Standard 1.

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposed project would not remove or alter any features or spaces, which characterize the building or surrounding landmark district. The decorative ornament and window trim was stripped and the front façade was clad in stucco at an unknown date. The project will reconstruct and restore the historic character of the subject property, as defined by its character-defining features including, but not limited to, its overall mass and form, storefront, double-hung wood-sash windows, wood cladding, wood cornice and decorative elements based on physical evidence upon removal of the existing non-historic cladding and on historic evidence. Therefore, the proposed project complies with Rehabilitation Standard 2.

Standard 3: Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The proposed project does not include the addition of conjectural elements or architectural features from other buildings. The proposed façade elements will be designed in accordance with physical building evidence upon the removal of the non-historic cladding and on historic photographs. The project will install a storefront based on historic photographs. The new work will not create a false sense of historical development. The new work will be compatible with and will improve the integrity of the building and surrounding district. Therefore, the proposed project complies with Rehabilitation Standard 3.

Standard 5: Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

The proposed project does not impact or destroy any distinctive features, finishes or construction techniques, which characterize the surrounding district. Nearly all character-defining elements at the primary façade have previously been removed. All restorative work will match the lost historic features in design, material, and finish. All other features in repairable condition will be preserved. Therefore, the proposed project complies with Rehabilitation Standard 5.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacements of a distinctive feature, the new feature will

match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The subject property was substantially altered in the past and nearly all of the character-defining features have been removed including decorative ornament, windows and trim, cornice, and storefront; however, the property is still contributing in its current form. Some character-defining features such as historic wood cladding were exposed through the exploratory removal of non-historic stucco and shingles. The project proposes to restore the historic wood cladding including repair and replacement where the severity of deteriorated requires it. All replacement of missing features is based on physical evidence upon the removal of non-historic cladding and on historic photographs. All replacement features will match the old in design, color, texture, and materials. Therefore, the proposed project complies with Rehabilitation Standard 6.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed project would not destroy or damage any contributing elements to the Dogpatch Landmark District. The project will remove a non-historic, shed-roofed, addition at rear that was not constructed during the period of significance and does not possess character-defining features associated with the building or district. The wood stair at rear will be reconstructed of steel materials to meet current Building Code requirements. The replacement stair will be minimally visible from the public right-of-way. Therefore, the proposed project complies with Rehabilitation Standard #9.

Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed project is not additive in nature, but would restore the historic character of the building including a ground floor storefront. The proposed scope of work does not entail any additions or related new construction. Therefore, the proposed project complies with Rehabilitation Standard 10.

Summary: The Department finds that the overall project is consistent with the *Secretary of the Interior Standards for Rehabilitation*.

PUBLIC/NEIGHBORHOOD INPUT

To date, the Department has not received any public comment in regards to the project.

STAFF ANALYSIS

Included as an exhibit are architectural drawings of the existing building and the proposed project. Based on the requirements of Article 10, Appendix L of Article 10 of the Planning Code, and the *Secretary of Interior's Standards*, Department staff has determined that the proposed work is compatible with the character-defining features of the subject building and with the Dogpatch Landmark District. Due to the extensive removal of historic materials at the primary façade, the proposed scope of reconstructive work would restore the historic character of the existing building, including distinctive materials, architectural elements, and spaces that characterize the property. The new features specified for the façade will be in alignment with the property's and district's character-defining features. The proposal includes new openings at the ground level on the side elevation which are compatible in terms of size, proportion, and materials and will not be visible from the public right-of-way.

Staff recommends four Conditions of Approval that will ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness.

Department staff finds that the proposed work will be in conformance with the *Standards* and requirements of Article 10, and that the work is compatible with the Dogpatch Landmark District. Staff recommends approval with conditions.

ENVIRONMENTAL REVIEW STATUS

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the *Secretary of the Interior Standards for Rehabilitation* and requirements of Article 10.

1. As part of the Building Permit, the Project Sponsor shall contact Planning Department preservation staff once full demolition of the existing non-historic cladding is complete to coordinate on site review prior to work commencing on the exterior restoration.
2. If necessary, based on new information the Project Sponsor shall revise the proposed façade restoration details in conformance with physical evidence and staff site visit recommendations subject to Department review and approval.
3. As part of the Building Permit, the Project Sponsor shall provide material samples to ensure compatibility with the surrounding landmark district. These material samples shall demonstrate the range of color and finishes for the identified materials.
4. As part of the Building Permit, the Project Sponsor shall include a notation on the plan set stating a mock-up for the new storefront, window systems, and cornice will be provided prior to commencement of work. The proposed storefront shall be based on physical and historic

evidence. The Project Sponsor shall continue working with staff on details to ensure compatibility with the landmark district. The required mock-up is subject to review and approval by Planning Department Preservation staff prior to work commencement.

ATTACHMENTS

Draft Motion

Exhibits:

- Parcel Map
- Sanborn Map
- Zoning Map
- Aerial Photograph
- Site Photo

Environmental Analysis

Project Sponsor submittal, including:

- Reduced Plans



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Historic Preservation Commission Draft Motion

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 003A IN ASSESSOR'S BLOCK 4108, WITHIN UMU (URBAN MIXED USE) ZONING DISTRICT, A 45-X HEIGHT AND BULK DISTRICT, AND THE DOGPATCH LANDMARK DISTRICT.

PREAMBLE

WHEREAS, on June 21, 2017, Reuben, Junius & Rose ("Project Sponsor") filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness for exterior and interior alterations of the subject property including: restoration of the exterior, addition of a storefront, removal of a non-historic rear addition, and an interior remodel.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission ("Commission") has reviewed and concurs with said determination.

WHEREAS, on June 6, 2018, the Commission conducted a duly noticed public hearing on the current project, Case No. 2015-007715COA-02 (Project) for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the

Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans labeled Exhibit A on file in the docket for Case 2015-007715COA-02 based on the following findings:

CONDITIONS OF APPROVAL

1. As part of the Building Permit, the Project Sponsor shall contact Planning Department preservation staff once full demolition of the existing non-historic cladding is complete to coordinate on site review prior to work commencing on the exterior restoration.
2. If necessary, based on new information the Project Sponsor shall revise the proposed façade restoration details in conformance with physical evidence and staff site visit recommendations subject to Department review and approval.
3. As part of the Building Permit, the Project Sponsor shall provide material samples to ensure compatibility with the surrounding landmark district. These material samples shall demonstrate the range of color and finishes for the identified materials.
4. As part of the Building Permit, the Project Sponsor shall include a notation on the plan set stating a mock-up for the new storefront, window systems, and cornice will be provided prior to commencement of work. The proposed storefront shall be based on physical and historic evidence. The Project Sponsor shall continue working with staff on details to ensure compatibility with the landmark district. The required mock-up is subject to review and approval by Planning Department Preservation staff prior to work commencement.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historic Preservation Commission has determined that the proposed work is compatible with the character of the landmark as described in the designation report.

- The project will retain the existing residential use and historic character of the building and landmark district.
- The proposed project will not add any conjectural historical features or features that add a false sense of historical development. The façade restoration will be based on documentary evidence including historic photographs and physical evidence upon removal of the non-historic cladding.

- The project will restore distinctive materials and finishes from the period of significance, including wood cladding, double-hung wood sash windows, wood cornice and decorative elements, and replacing the existing roll-up garage door and ground floor entries with a wood storefront and entry to gain further compatibility with the landmark district.
- The proposed project meets the requirements of Article 10, Appendix L of the Planning Code.
- The proposed project meets the following *Secretary of Interior's Standards for Rehabilitation*:

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 6.

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the contributory property and landmark district for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project includes the addition of a storefront for a future retail use.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the site and landmark district in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not reduce the affordable housing supply as the existing units will be retained.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake will be improved by the proposed work. The work will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the

Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS a Certificate of Appropriateness** for the property located at Lot 003A in Assessor's Block 4108 for proposed work in conformance with the renderings labeled Exhibit A on file in the docket for Case No. 2015-007715COA-02.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on June 6, 2018

Jonas P. Ionin
Commission Secretary

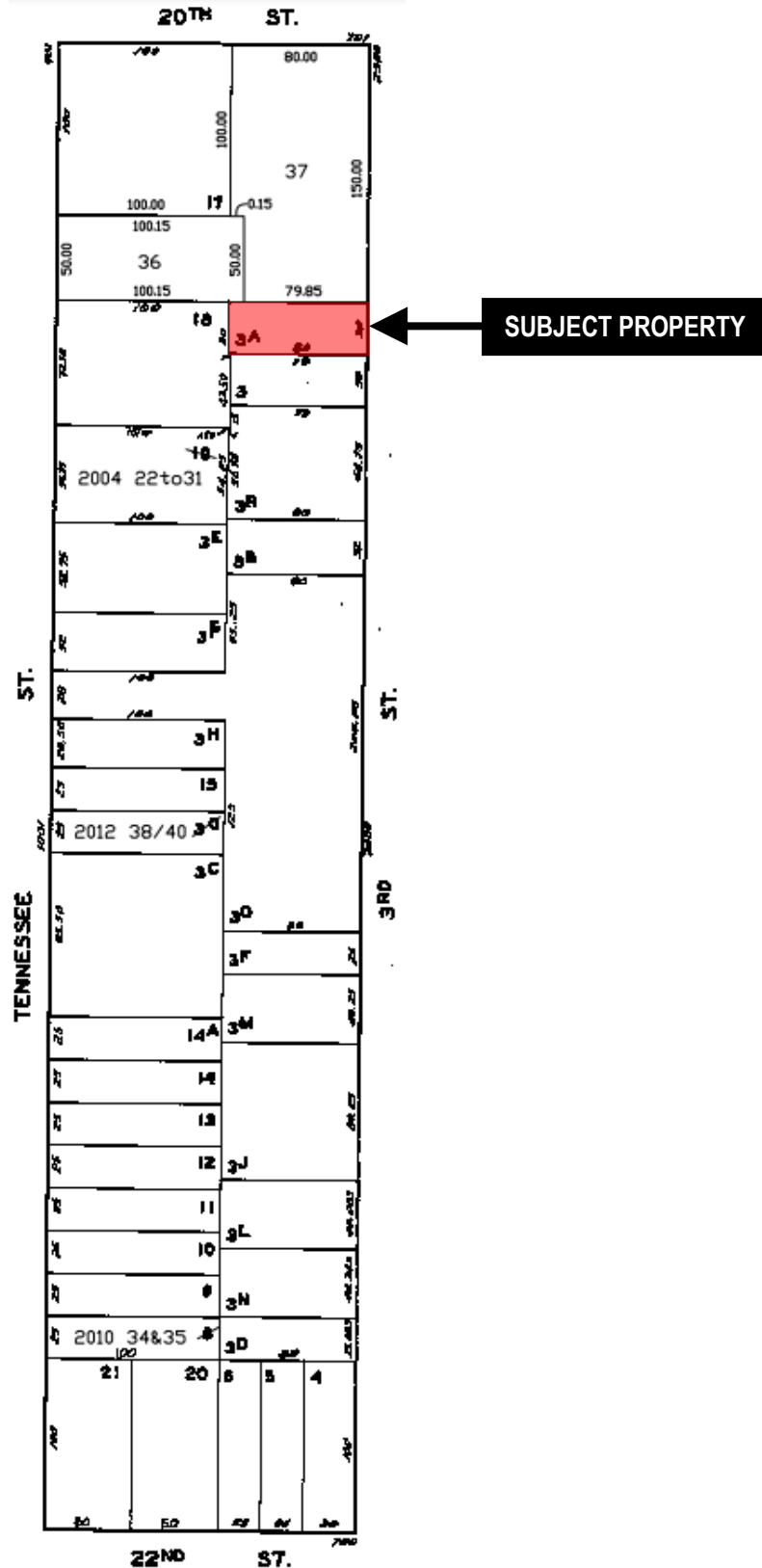
AYES:

NAYS:

ABSENT:

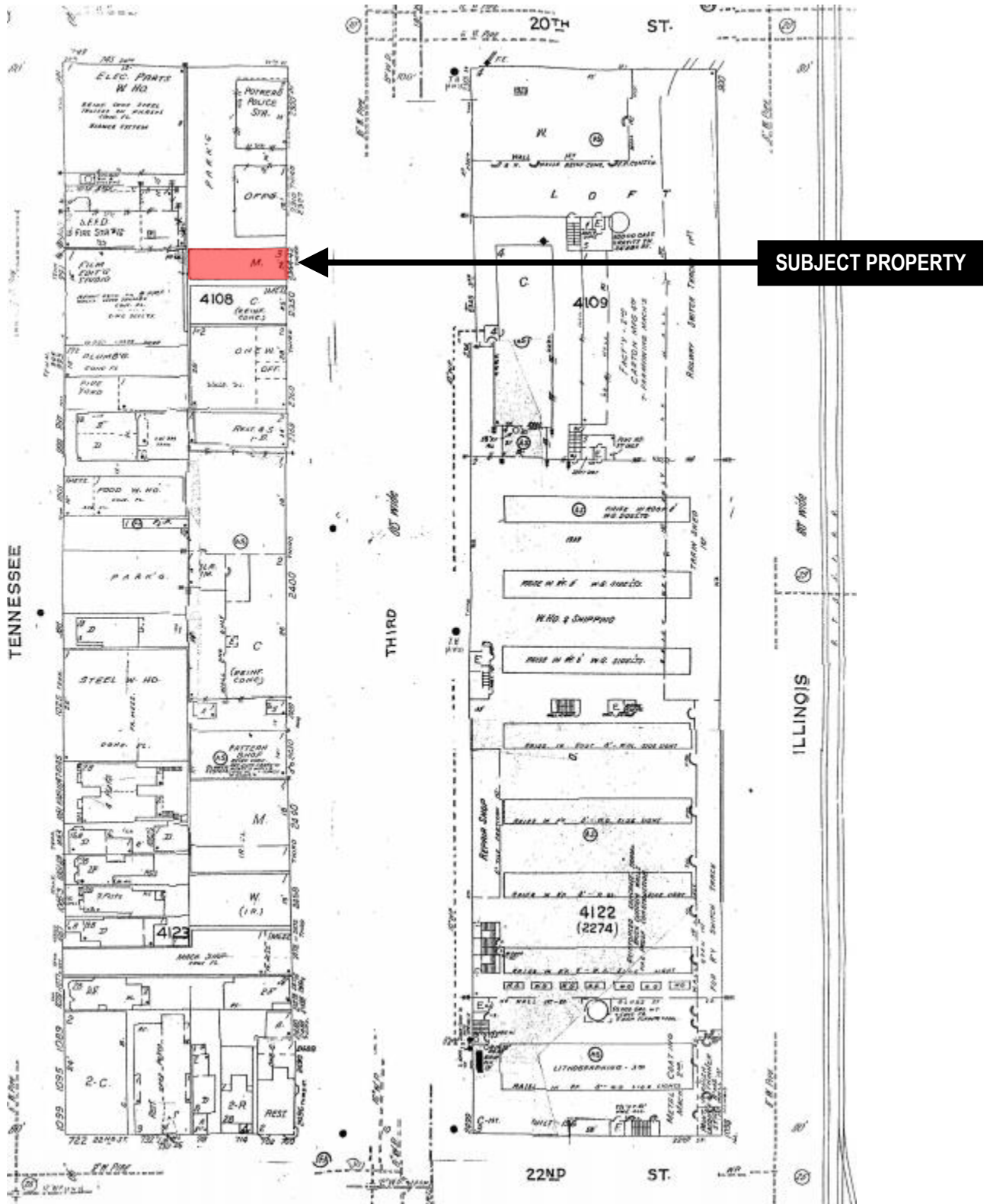
ADOPTED: June 6, 2018

Parcel Map



Certificate of Appropriateness Hearing
 Case Number 2015-007715COA-02
 2342 3rd Street
 Block 4108 Lot 003A

Sanborn Map*

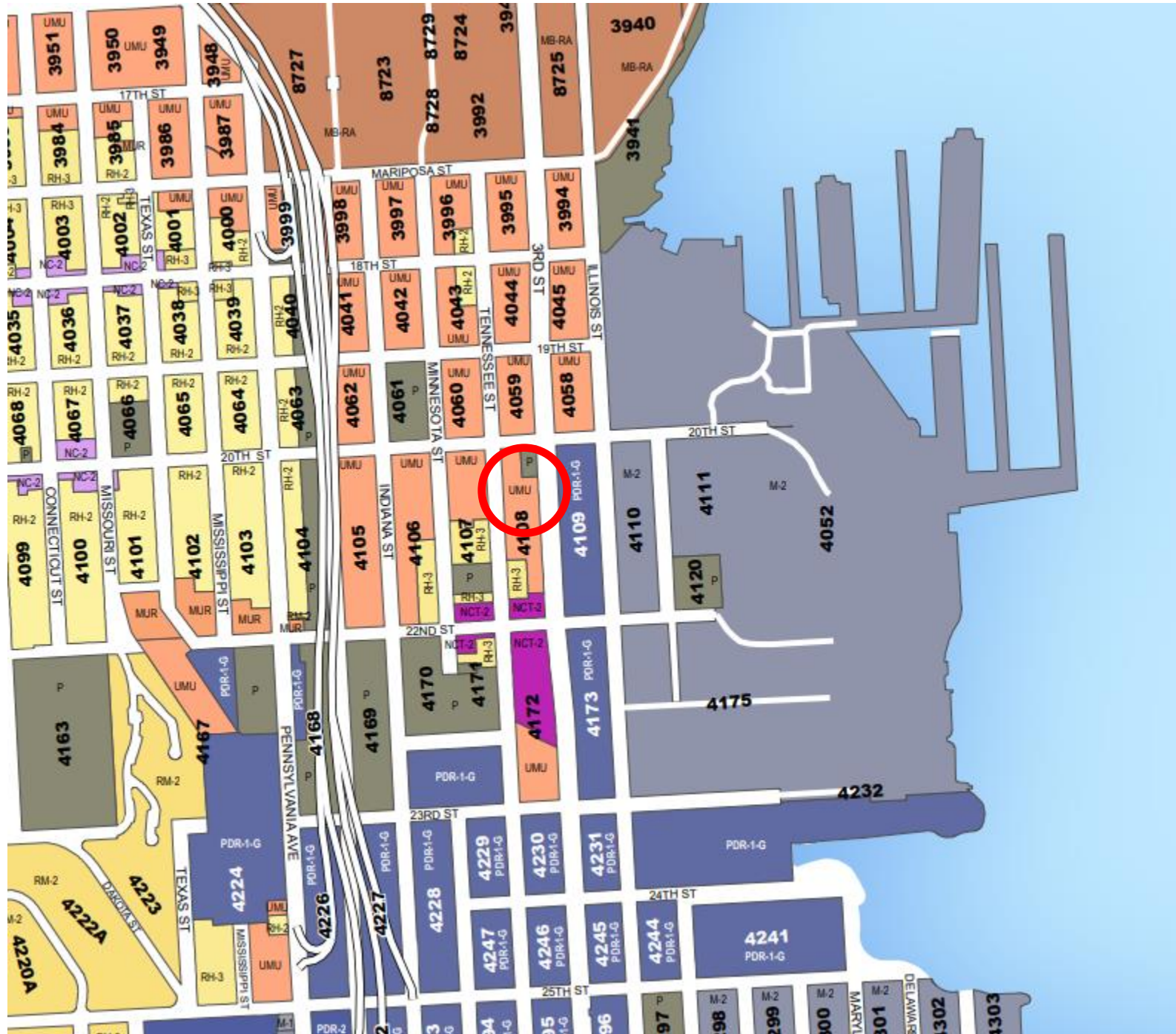


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

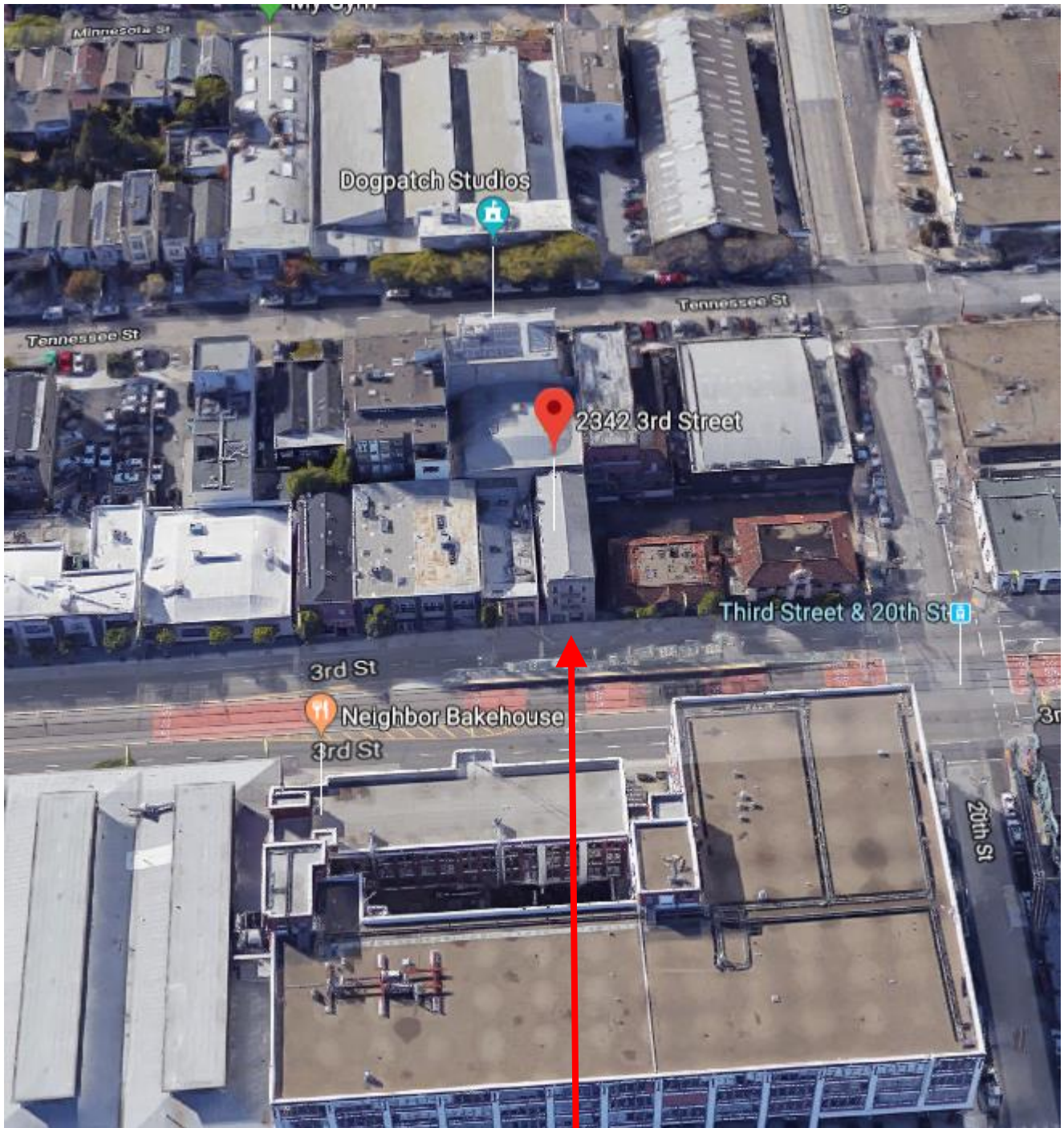


Certificate of Appropriateness Hearing
Case Number 2015-007715COA-02
2342 3rd Street
Block 4108 Lot 003A

Zoning Map



Aerial Photo



SUBJECT PROPERTY



Certificate of Appropriateness Hearing
Case Number 2015-007715COA-02
2342 3rd Street
Block 4108 Lot 003A

Site Photo



SUBJECT PROPERTY

Certificate of Appropriateness Hearing
Case Number 2015-007715COA-02
2342 3rd Street
Block 4108 Lot 003A



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
2342 -2344 3rd St.		4108003A
Case No.		Permit No.
2015-007715PRJ		201503171039
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
Project description for Planning Department approval. The proposed project entails rehabilitation of the existing three-story, residential building including restoration of the exterior, installation of a new storefront, removal of a non-historic rear addition, and an interior remodel. The subject property, constructed between 1905 and 1914, is a contributor to the Article 10 Dogpatch Landmark District. .		

STEP 1: EXEMPTION CLASS

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. FOR ENVIRONMENTAL PLANNING USE ONLY
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an *Environmental Evaluation Application* is required.

<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.

If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an *Environmental Evaluation Application* is required, unless reviewed by an Environmental Planner.

Comments and Planner Signature (optional): Natalia Kwiatkowska

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input checked="" type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input checked="" type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input checked="" type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input checked="" type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input checked="" type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input checked="" type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category A a. Per HRER dated b. Other (specify): </div> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category C (attach HRER) </div> </div>
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Natalia Kwiatkowska	

STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 - CEQA Impacts <input type="checkbox"/> Step 5 - Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Building Permit If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	Signature: Natalia Kwiatkowska 05/18/2018
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
2342 -2344 3rd St.		4108/003A
Case No.	Previous Building Permit No.	New Building Permit No.
2015-007715PRJ	201503171039	
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:

[illegible]



Subject Building (Viewed from 3rd Street)
East Elevation



Subject Building (Viewed from 3rd Street)
North Wall



Subject Building
South Wall



Subject Building
South Elevation



Subject Building
North Elevation

PROJECT NAME
2342-2344 3rd Street
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
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SHEET TITLE

Photos

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
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DATE	11/15/2015
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JOB NO.	15-1684
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SHEET NO.

A-0.2



Subject Building (Historical Photo)



Subject Building (Historical Photo)

PROJECT NAME
2342-2344 3rd Street
SAN FRANCISCO, CA



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Historic Photos

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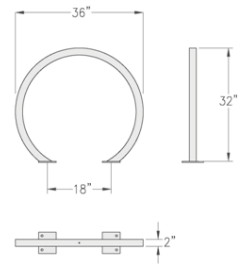
DATE	11/15/2015
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REVISED DATE	05/01/2018
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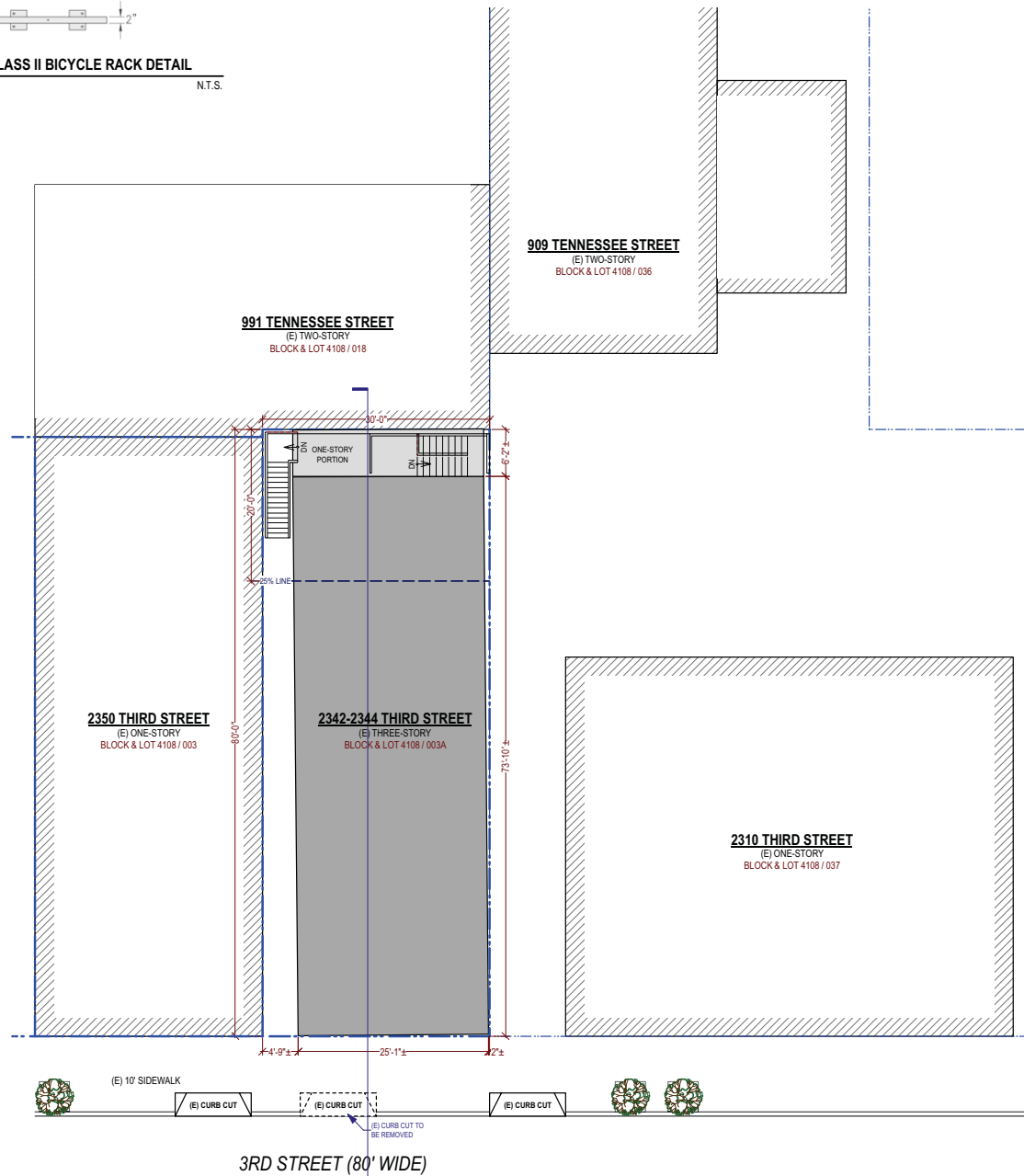
JOB NO.	15-1684
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SHEET NO.	
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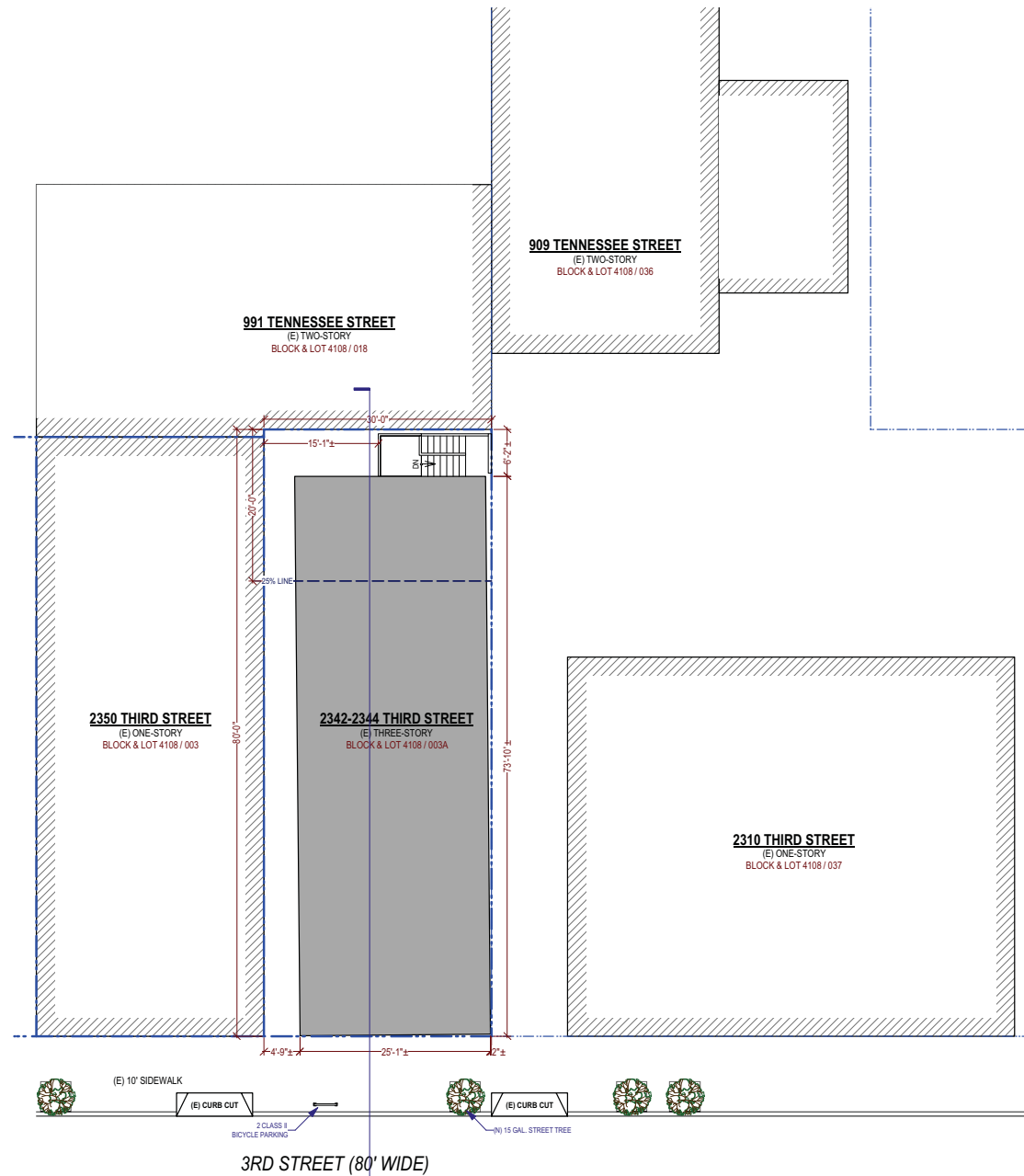
A-0.3



CLASS II BICYCLE RACK DETAIL
N.T.S.



Existing Site Plan
3/32" = 1'-0"



Proposed Site Plan
3/32" = 1'-0"

BLOCK & LOT: 4108/003A	
PROPERTY LINE:	
OUTLINE OF SUBJECT BUILDING:	
OUTLINE OF NEIGHBORS:	

PROJECT NAME
2342-2344 3rd Street
SAN FRANCISCO, CA



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Site Plans

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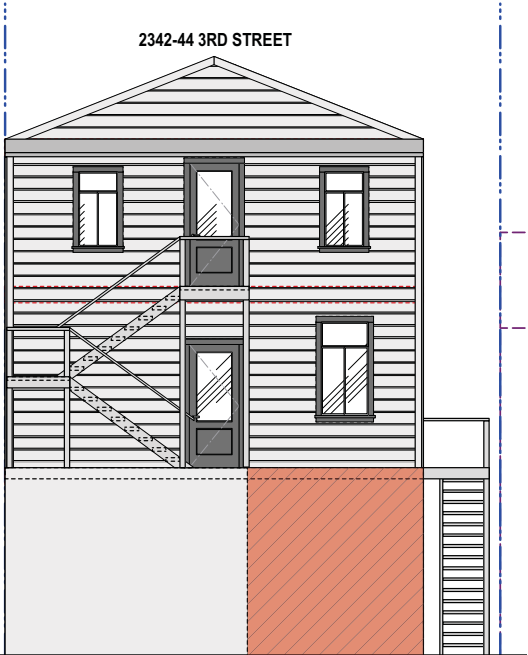
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JOB NO.	15-1684
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SHEET NO.

A-1.1



EXISTING
Rear (West) Facade
3/16" = 1'-0"



PROPOSED



EXISTING
Front (East) Facade
3/16" = 1'-0"



PROPOSED

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2342-2344 3rd Street
SAN FRANCISCO, CA



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SHEET TITLE

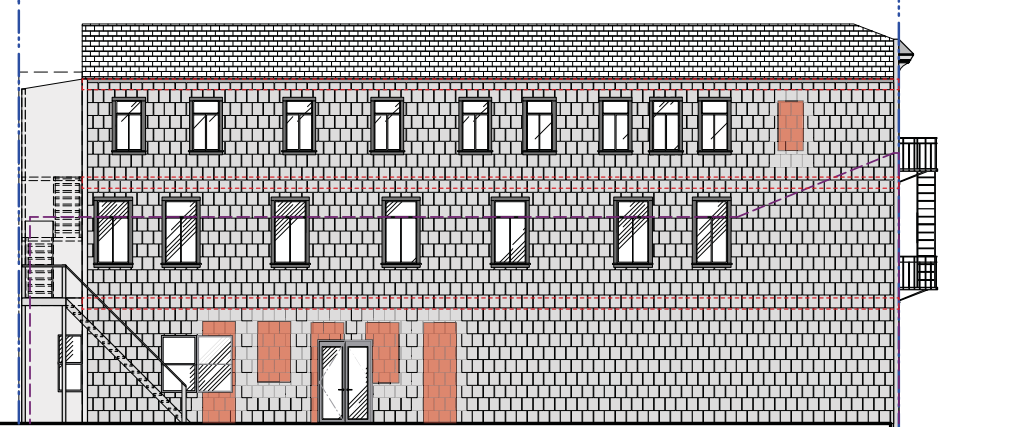
Demo Calculations

DEMOLITION CALCULATIONS TABL

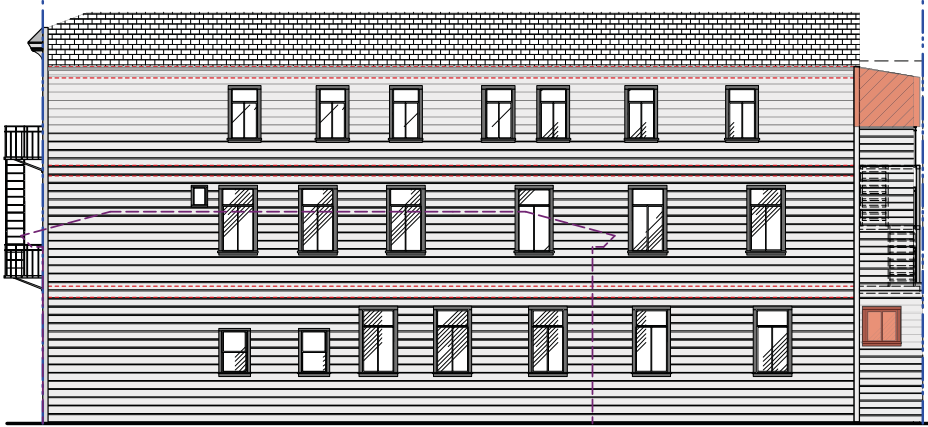
Removal of Elements	Sec. 1005 Limits	Proposed Project	Proposed Project Total	Meets Planning Code
Vertical Envelope Elements (s.f. of surface area) [by elevation: front, sides, back exterior walls]	50% or more (function as external walls) OR	10 %	10 %	YES
External walls (used for external or internal wall functions)	25% or more OR	8.9 %	8.9 %	YES
Horizontal Elements⁵ [roof area, floor plates except at/below grade]	75% or more (combined internal structural frame work or floor plates)	0.04 %	57.6 %	YES
Internal Structural Framework [interior partitions, etc.]		57.6 %		

NOTE:
If removal & replacement of additional building elements considered beyond repair is required during construction, contact the Planning Department immediately for review & approval. This includes floor framing, sidewalls & other structural members not visible from the public right-of-way. Removal of elements beyond percentages submitted above is considered a violation.
If removal is beyond percentages outlined in Planning Code Sec. 1005, further environmental review by the Planning Department is required.

 : EXISTING SURFACE AREA TO BE REMOVED



Existing Left (South) Facade
1/8" = 1'-0"



Existing Right (North) Facade
1/8" = 1'-0"



Proposed Left (South) Facade
1/8" = 1'-0"



Proposed Right (North) Facade
1/8" = 1'-0"

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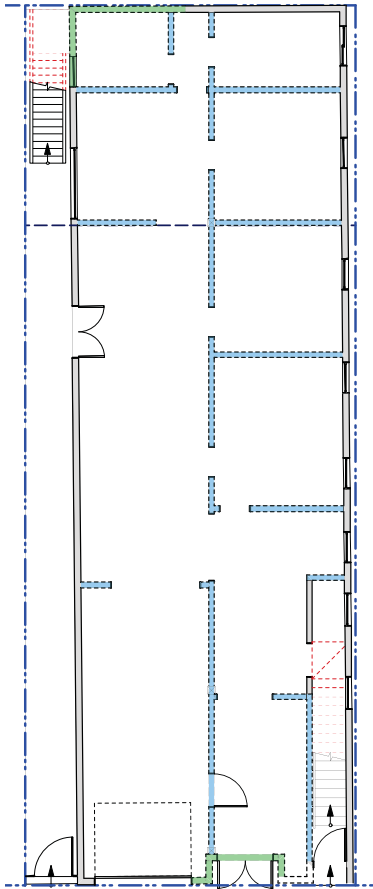
SHEET NO.

A-1.2

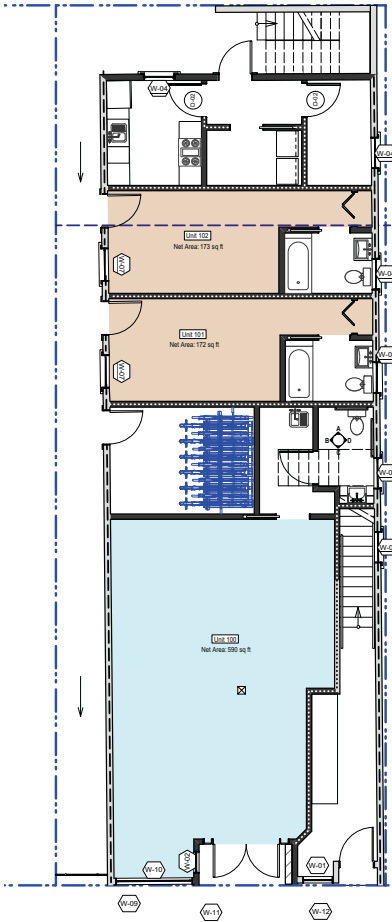
DEMOLITION CALCULATIONS TABL				
Removal of Elements	Sec. 1005 Limits	Proposed Project	Proposed Project Total	Meets Planning Code
Vertical Envelope Elements (s.f. of surface area) [by elevation: front, sides, back exterior walls]	50% or more (function as external walls) OR	12 %	12 %	YES
External walls (used for external or internal wall functions)	25% or more OR	9.1 %	9.1 %	YES
Horizontal Elements ⁵ [roof area, floor plates except at/below grade]	75% or more (combined internal structural frame work or floor plates)	0.04 %	57.6 %	YES
Internal Structural Framework [interior partitions, etc.]		57.6 %		

NOTE:
If removal & replacement of additional building elements considered beyond repair is required during construction, contact the Planning Department immediately for review & approval. This includes floor framing, sidewalls & other structural members not visible from the public right-of-way.
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If removal is beyond percentages outlined in Planning Code Sec. 1005, further environmental review by the Planning Department is required.

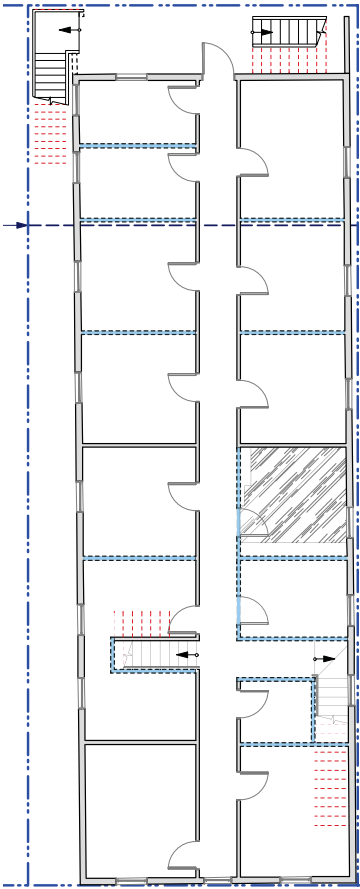
- : EXISTING SURFACE AREA TO BE REMOVED
- : EXISTING FLOOR AREA TO BE REPAIRED
- : EXISTING EXTERIOR WALL TO BE REMOVED
- : EXISTING INTERIOR WALL TO BE REMOVED



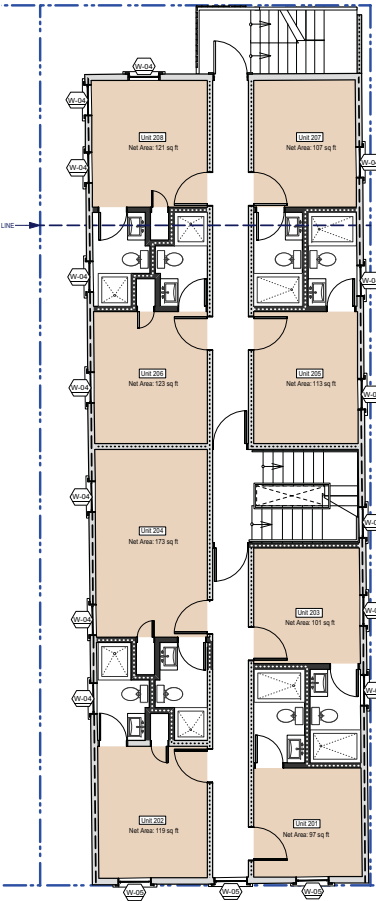
EXISTING
1st Floor Plan
1/8" = 1'-0"



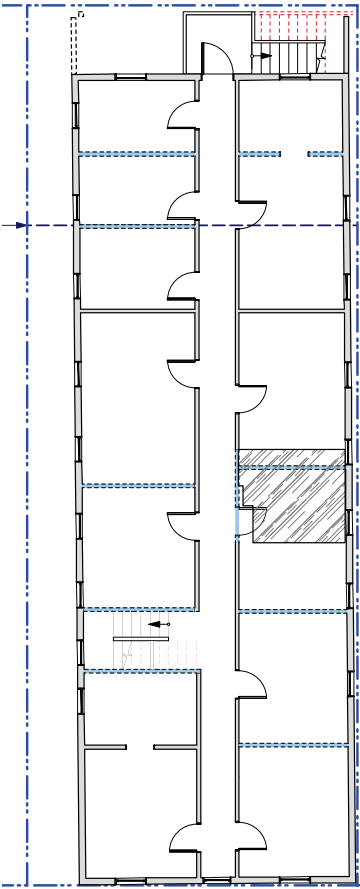
PROPOSED



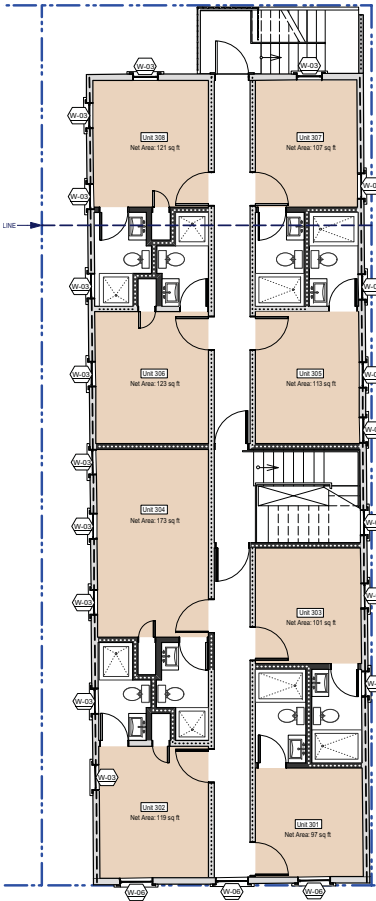
EXISTING
2nd Floor Plan
1/8" = 1'-0"



PROPOSED



EXISTING
3rd Floor Plan
1/8" = 1'-0"



PROPOSED

PROJECT NAME
2342-2344 3rd Street
SAN FRANCISCO, CA



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SHEET TITLE

Demo Calculations

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JOB NO.	15-1684
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SHEET NO.	A-1.3
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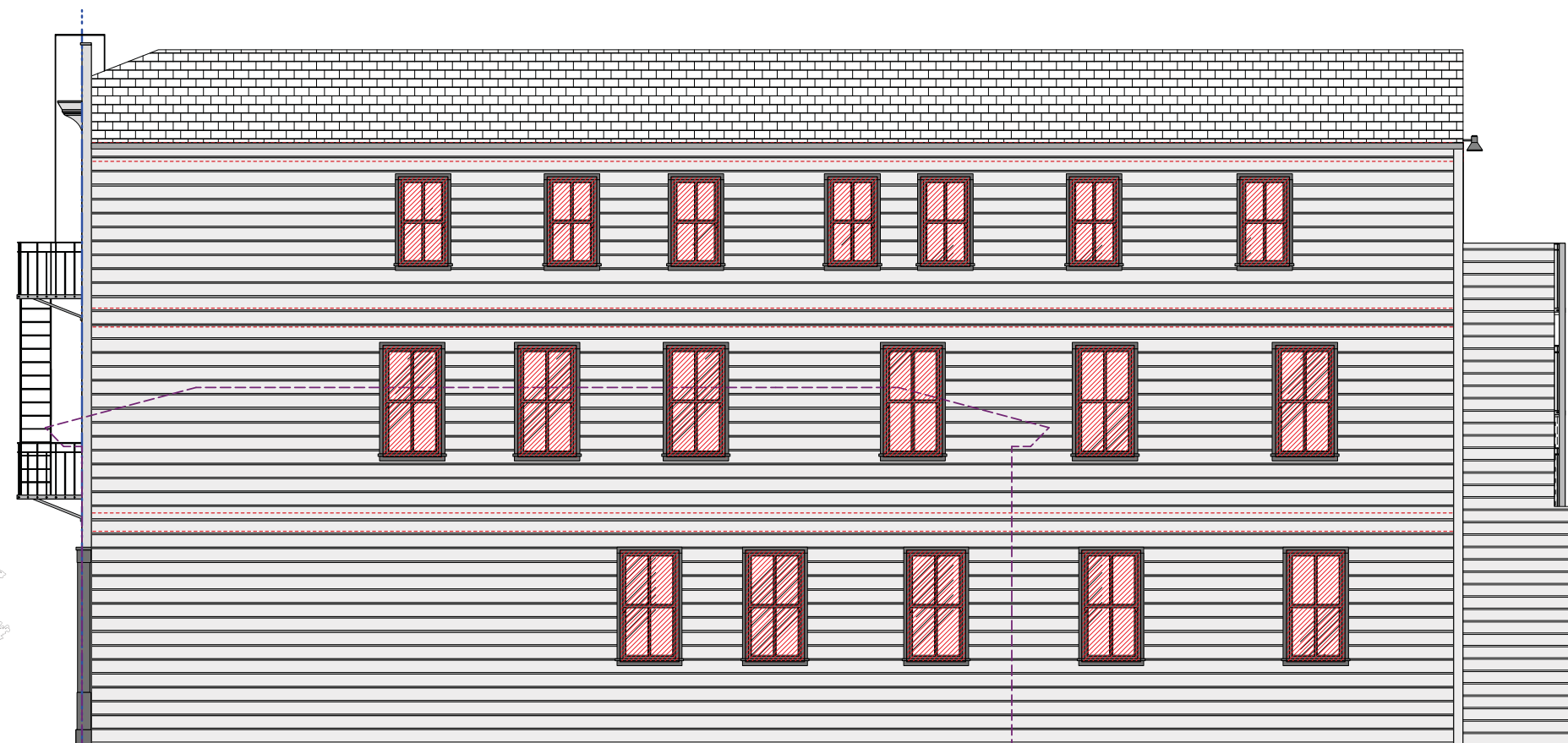


Existing Right Elevation (North)

1/4" = 1'-0"

0 1' 3' 5' 10'

Total Rough Opening: **324 ±S.F.**



Proposed Right Elevation (North)

1/4" = 1'-0"

0 1' 3' 5' 10'

Total Rough Opening: **297 ±S.F.**



Existing Front Facade (East) Total Rough Opening: **279 ±S.F.**
 1/4" = 1'-0"
 0 1' 3' 5' 10'

Total Rough Opening: **279 ±S.F.**



Proposed Front Facade (East) Total Rough Opening: **307 ±S.F.**

g) Total Rough Opening: **307 ±S.F.**

PROJECT NAME	
2342-2344 3rd Street	
SAN FRANCISCO, CA	



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Rough Opening Calculations

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DATE		11/15/2015
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JOB NO.		15-1684

SHEET NO.

A-1.4



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Rough Opening Calculations

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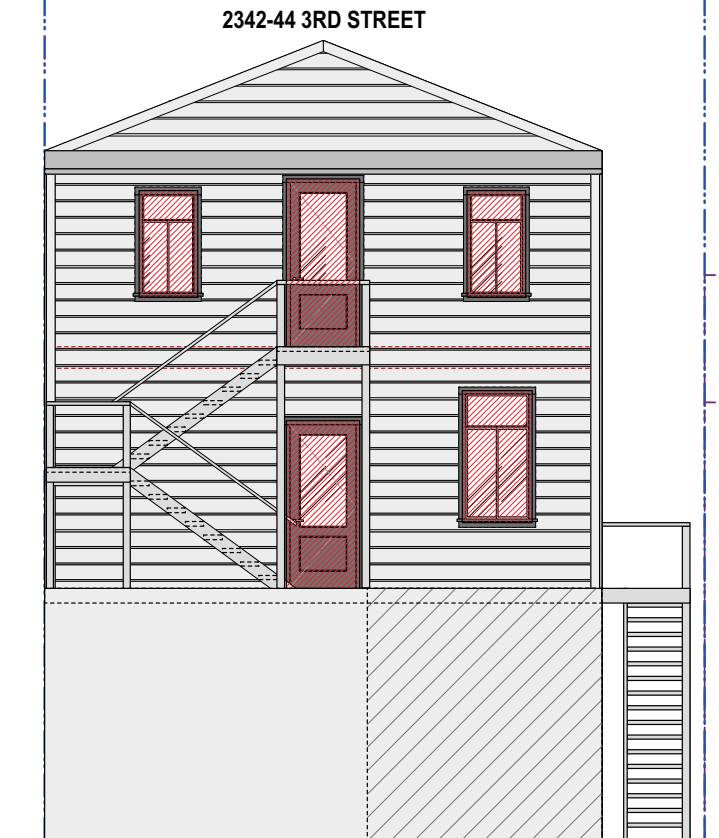
DATE 11/15/2015

REVISÉ DATE 05/01/2018

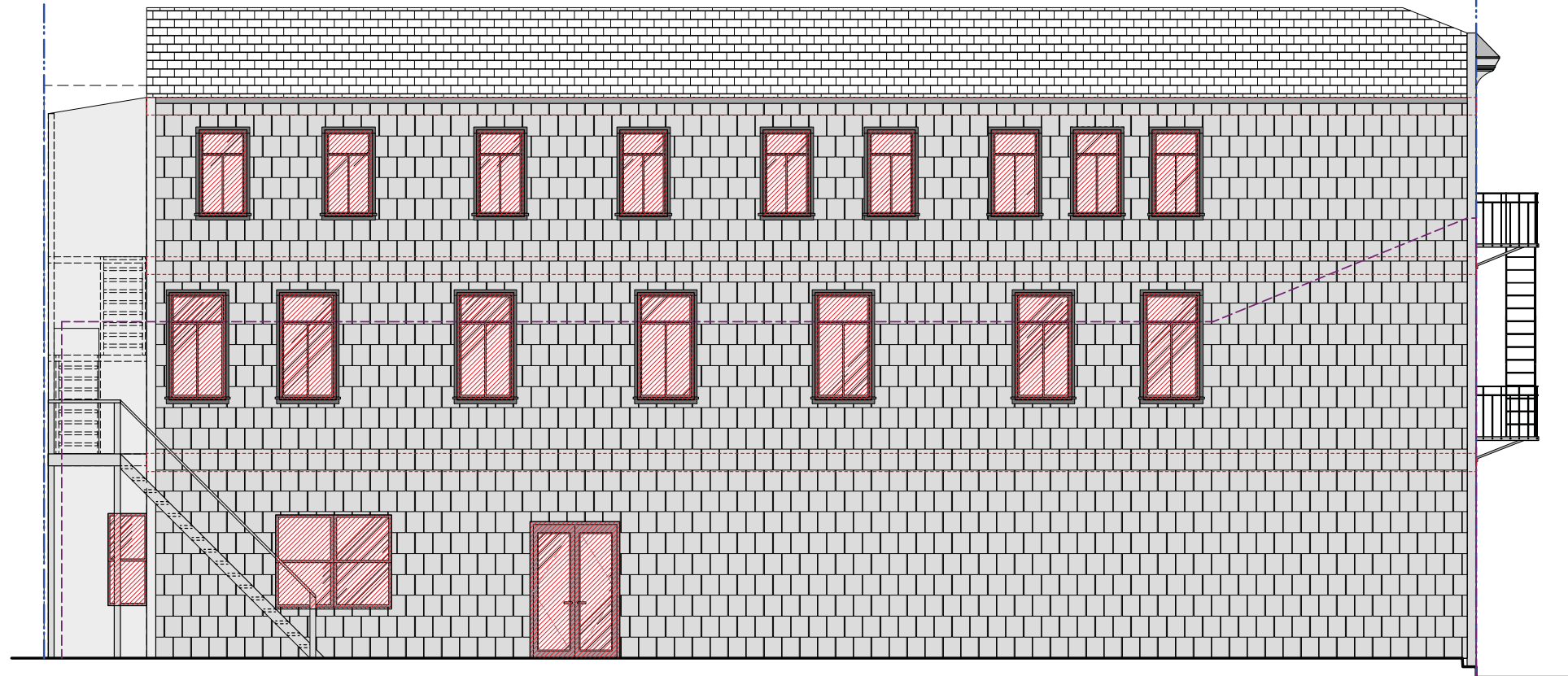
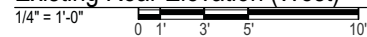
JOB NO. 15-1684

SHEET NO.

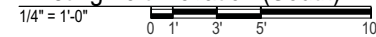
A-1.5



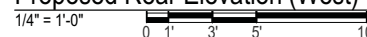
Existing Rear Elevation (West) Total Rough Opening: **96 ±S.F.**



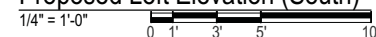
Existing Left Elevation (South) Total Rough Opening: **332 ±S.F.**



Proposed Rear Elevation (West) Total Rough Opening: **147 ±S.F.**



Proposed Left Elevation (South) Total Rough Opening: **384 ±S.F.**

**Net Change:**

North Elevation Net Change: **-27 S.F.***

East	Elevation Net Change:	+28 S.F.
------	-----------------------	-----------------

South Elevation Net Change: **+52 S.F.**

West Elevation Net Change: **+51 S.F.**

* RESTORATIVE, BASED ON HISTORIC DOCUMENTATION

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
	(E) WALL TO BE RETROFITTED TO 2-HR. FIRE RATED
	(N) WALL TO BE CONSTRUCTED
	(N) WALL TO BE 1-HR. FIRE RATED

PLAN KEY NOTES:

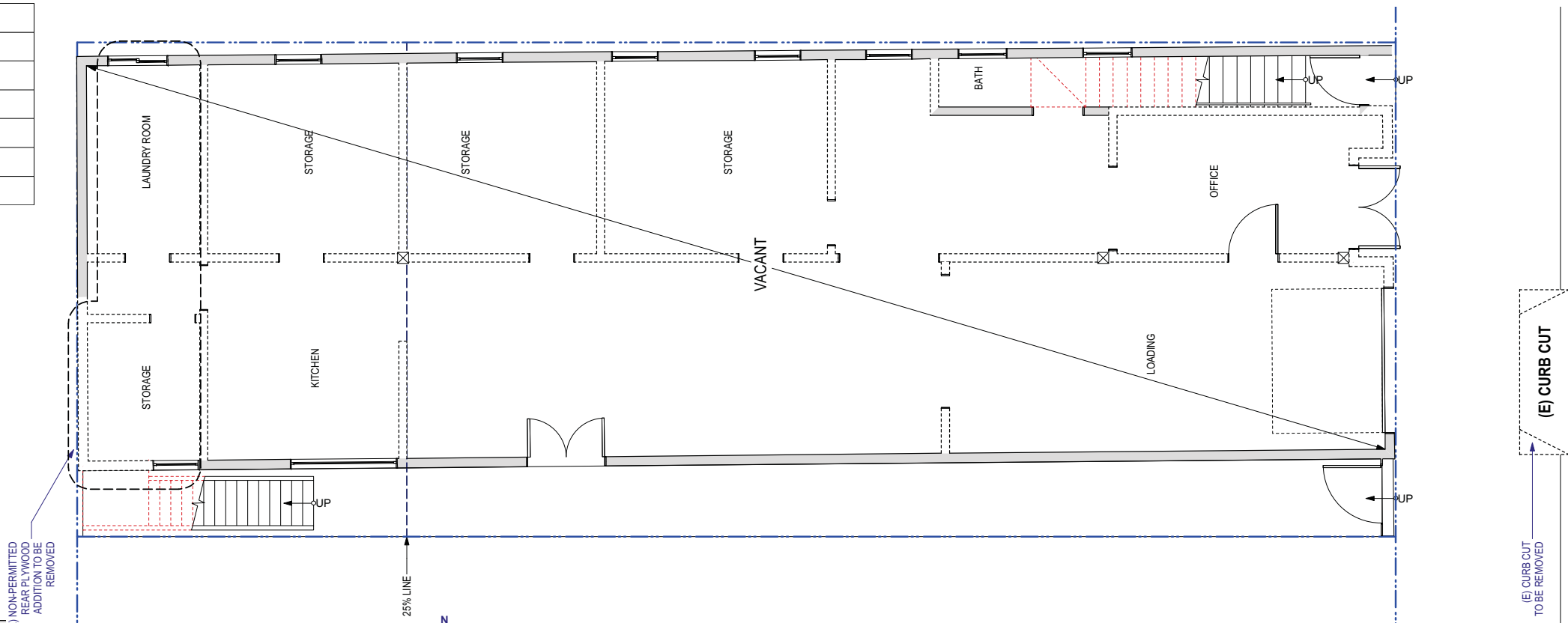
- 01 11" MIN. RUN, 7" MAX. RISE FOR COMMON STAIRS
- 02 PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. STAIR NOSINGS, TYP.
- 03 PROV. STAIR IDENTIFICATION PER CBC. 1022.8
- 04 1-HR FIRE RATED FLR.-CEILING SEPARATION UNDER STAIR, TYP.
- 05 PROV. ILLUMINATED EXIT SIGN W/ BACKUP BATTERY POWER
- 06 PROV. OPEN METAL GUARDRAIL W/ OPENINGS LESS THAN 4", OR SAFETY GLASS GUARDRAIL, 42" HIGH, TYP.
- 07 ADA BATHROOMS IN UNITS SHALL COMPLY WITH SEC. 1134A. SEE SHEET A-4.3 FOR DETAILS
- 08 PROV. PANIC HARDWARE FOR DOOR PER CBC 1008.1.10
- 09 PROV. MIN. 5'X5' CLR LEVEL LANDING, MAX 2% SLOPE ON BOTH SIDES OF THE ENTRY, TYP.

Window Schedule

	Mark	Width	Height	Sash Material	Operation
	W-01	2'9"	5'6"	Wood	Fixed Glass
	W-02	2'0"	5'2"	Wood	Fixed Glass
	W-03	2'4"	4'6"	Wood	Single Hung
	W-04	2'10"	5'8"	Wood	Single Hung
	W-05	3'0"	6'6"	Wood	Single Hung
	W-06	3'0"	5'6"	Wood	Single Hung
	W-07	3'0"	6'0"	Wood	Single Hung
	W-09	7'0"	2'6"	Wood	Fixed Glass
	W-10	7'0"	5'6"	Wood	Fixed Glass
	W-11	8'0"	2'6"	Wood	Fixed Glass
	W-12	6'9"	2'6"	Wood	Fixed Glass

NOTE:

- PROPOSED WINDOWS ARE TRUE-DIVIDED LITE (TDL)
- ALL WINDOWS TO BE WOOD CLAD WITH 2" MIN OFFSET FROM EXTERIOR FACE OF WALL.
- MARVIN WINDOW MANUFACTURER OR COMPARABLE.

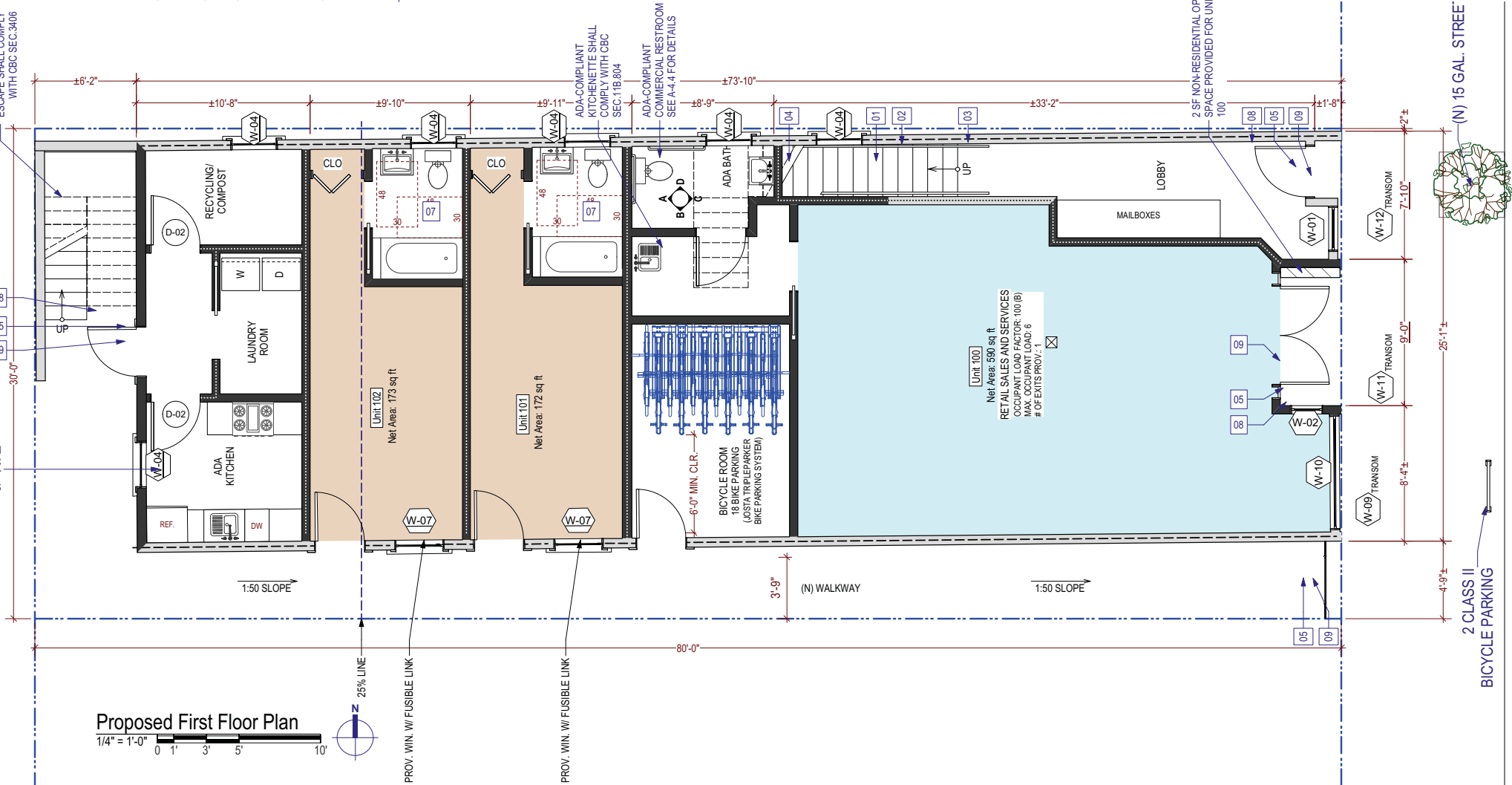


Existing First Floor Plan

1/4" = 1'-0"

(N) STEEL REAR FIRE ESCAPE SHALL COMPLY WITH CBC SEC.3406

ADA-COMPLIANT KITCHEN SHALL COMPLY WITH CBC SEC.1133A. SEE SHEET A-4.4 FOR DETAILS



Proposed First Floor Plan

1/4" = 1'-0"

PROJECT NAME

2342-2344 3rd Street
SAN FRANCISCO, CA



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First
Floor Plans

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NO. DATE DESCRIPTION

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CHECKED R.K.

DATE 11/15/2015

REVISED DATE 05/01/2018

JOB NO. 15-1684

SHEET NO.

A-2.1

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
	(E) WALL TO BE RETROFITTED TO 2-HR. FIRE RATED
	(N) WALL TO BE CONSTRUCTED
	(N) WALL TO BE 1-HR. FIRE RATED

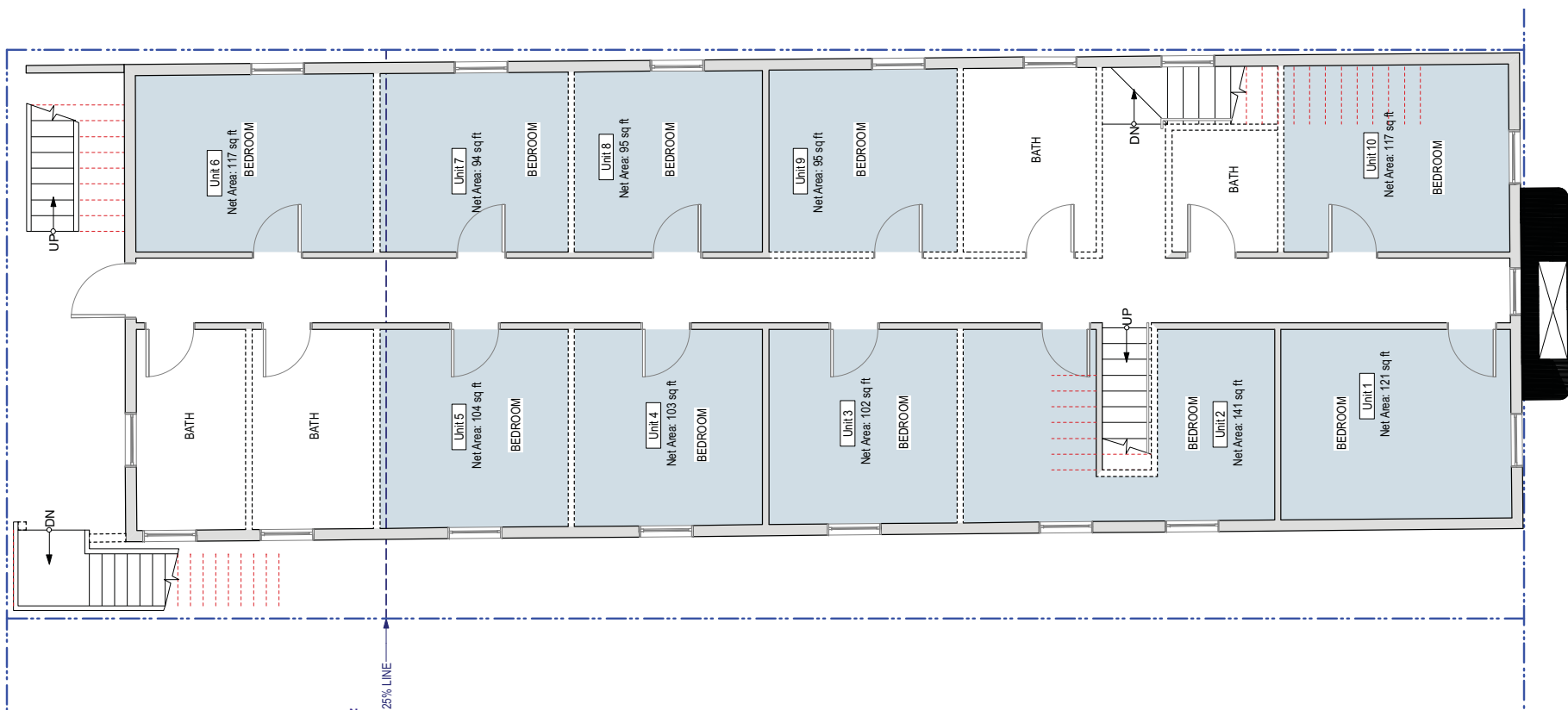
PLAN KEY NOTES:

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- 03 PROV. STAIR IDENTIFICATION PER CBC. 1022.8
- 04 1-HR FIRE RATED FLR.-CEILING SEPARATION UNDER STAIR, TYP.
- 05 PROV. ILLUMINATED EXIT SIGN W/ BACKUP BATTERY POWER
- 06 PROV. OPEN METAL GUARDRAIL W/ OPENINGS LESS THAN 4", OR SAFETY GLASS GUARDRAIL, 42" HIGH, TYP.

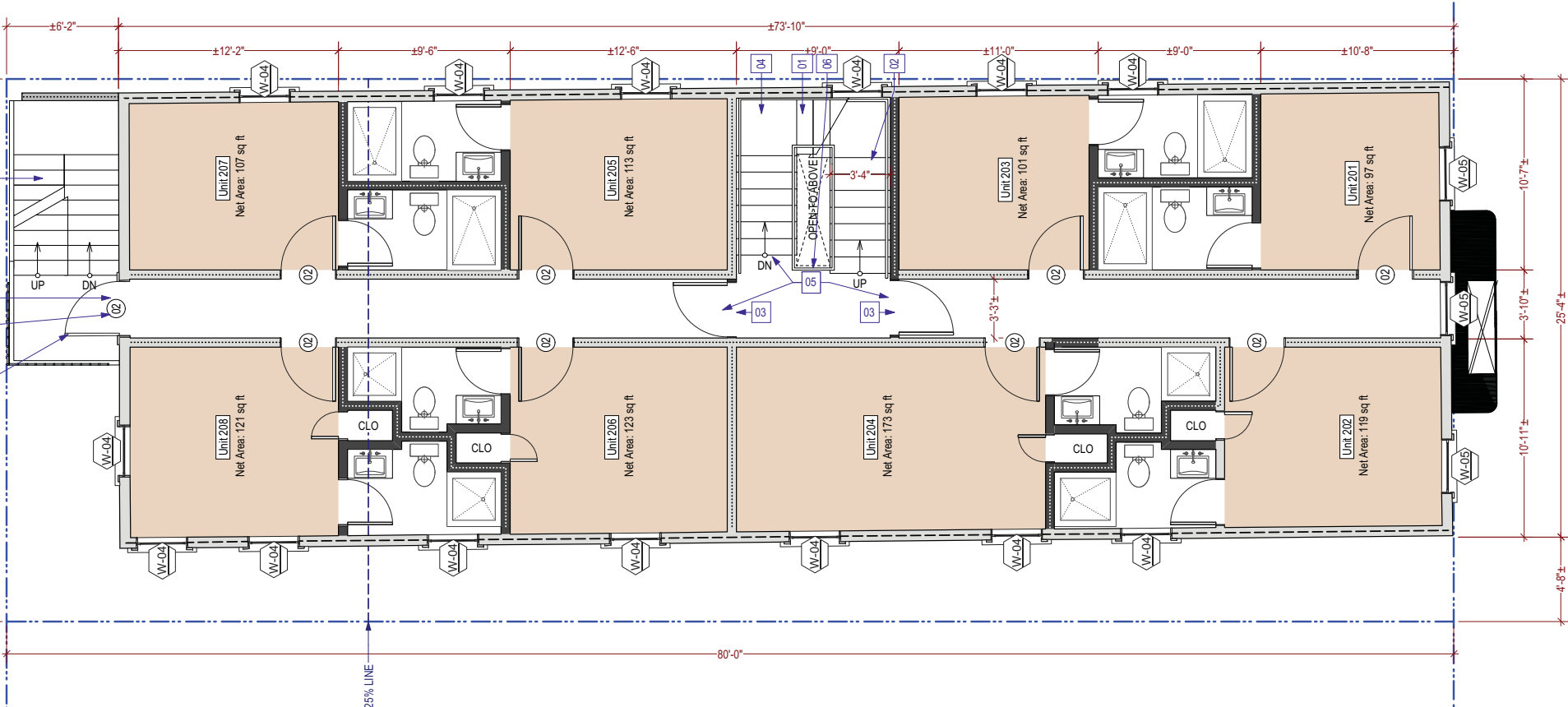
Window Schedule					
	Mark	Width	Height	Sash Material	Operation
	W-01	2'9"	5'6"	Wood	Fixed Glass
	W-02	2'0"	5'2"	Wood	Fixed Glass
	W-03	2'4"	4'6"	Wood	Single Hung
	W-04	2'10"	5'8"	Wood	Single Hung
	W-05	3'0"	6'6"	Wood	Single Hung
	W-06	3'0"	5'6"	Wood	Single Hung
	W-07	3'0"	6'0"	Wood	Single Hung
	W-09	7'0"	2'6"	Wood	Fixed Glass
	W-10	7'0"	5'6"	Wood	Fixed Glass
	W-11	8'0"	2'6"	Wood	Fixed Glass
	W-12	6'9"	2'6"	Wood	Fixed Glass

NOTE:

- PROPOSED WINDOWS ARE TRUE-DIVIDED LITE (TDL)
- ALL WINDOWS TO BE WOOD CLAD WITH 2" MIN OFFSET FROM EXTERIOR FACE OF WALL.
- MARVIN WINDOW MANUFACTURER OR COMPARABLE.



Existing Second Floor Plan



Proposed Second Floor Plan

PROJECT NAME

2342-2344 3rd Street
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292
FAX: (415) 849.1252
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SHEET TITLE

Second Floor Plans

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
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CHECKED	R.K.
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DATE	11/15/2015
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REVISED DATE	05/01/2018
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JOB NO.	15-1684
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SHEET NO.	
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A-2.2

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
	(E) WALL TO BE RETROFITTED TO 2-HR. FIRE RATED
	(N) WALL TO BE CONSTRUCTED
	(N) WALL TO BE 1-HR. FIRE RATED

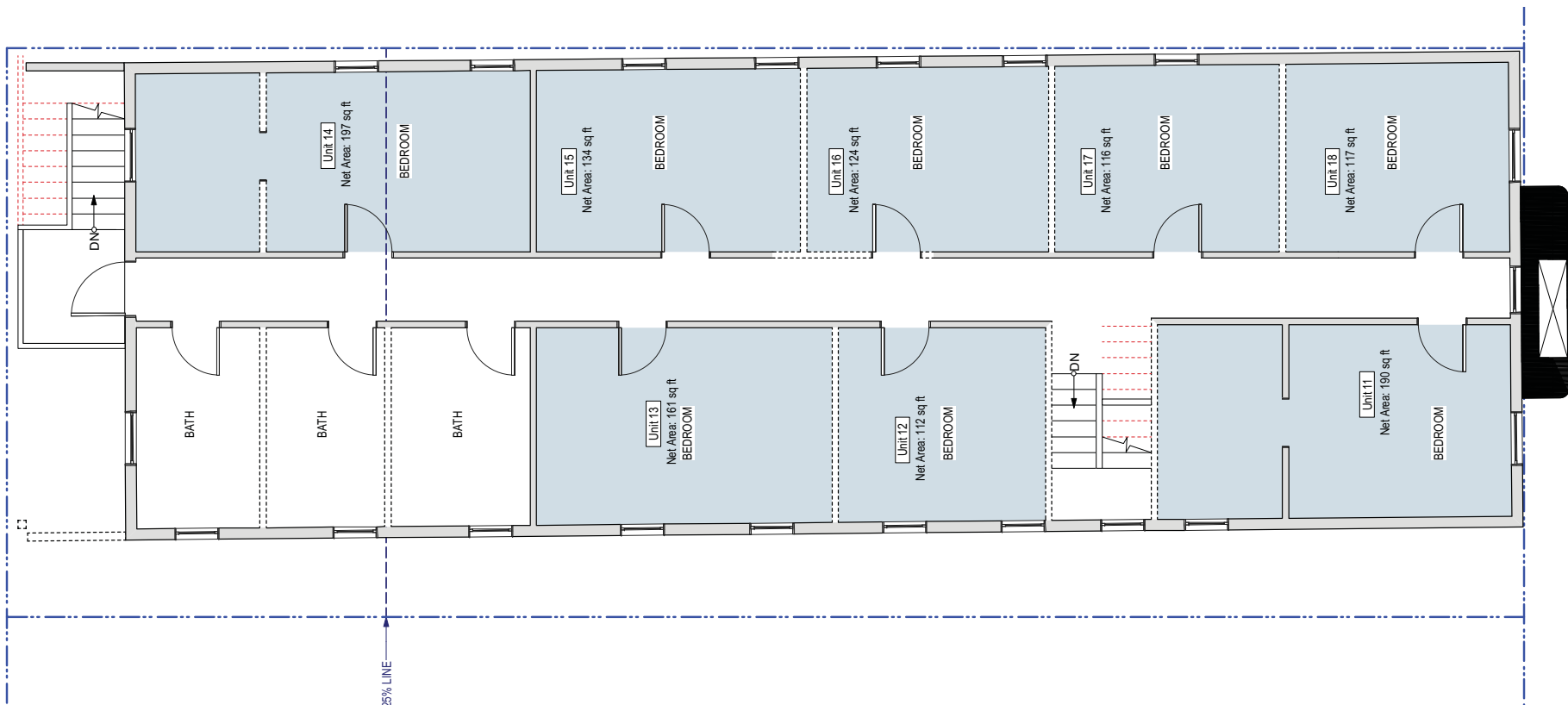
PLAN KEY NOTES:

- 01 11" MIN. RUN, 7" MAX. RISE FOR COMMON STAIRS
- 02 PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. STAIR NOSINGS, TYP.
- 03 PROV. STAIR IDENTIFICATION PER CBC. 1022.8
- 04 1-HR FIRE RATED FLR.-CEILING SEPARATION UNDER STAIR, TYP.
- 05 PROV. ILLUMINATED EXIT SIGN W/ BACKUP BATTERY POWER
- 06 PROV. OPEN METAL GUARDRAIL W/ OPENINGS LESS THAN 4", OR SAFETY GLASS GUARDRAIL, 42" HIGH, TYP.

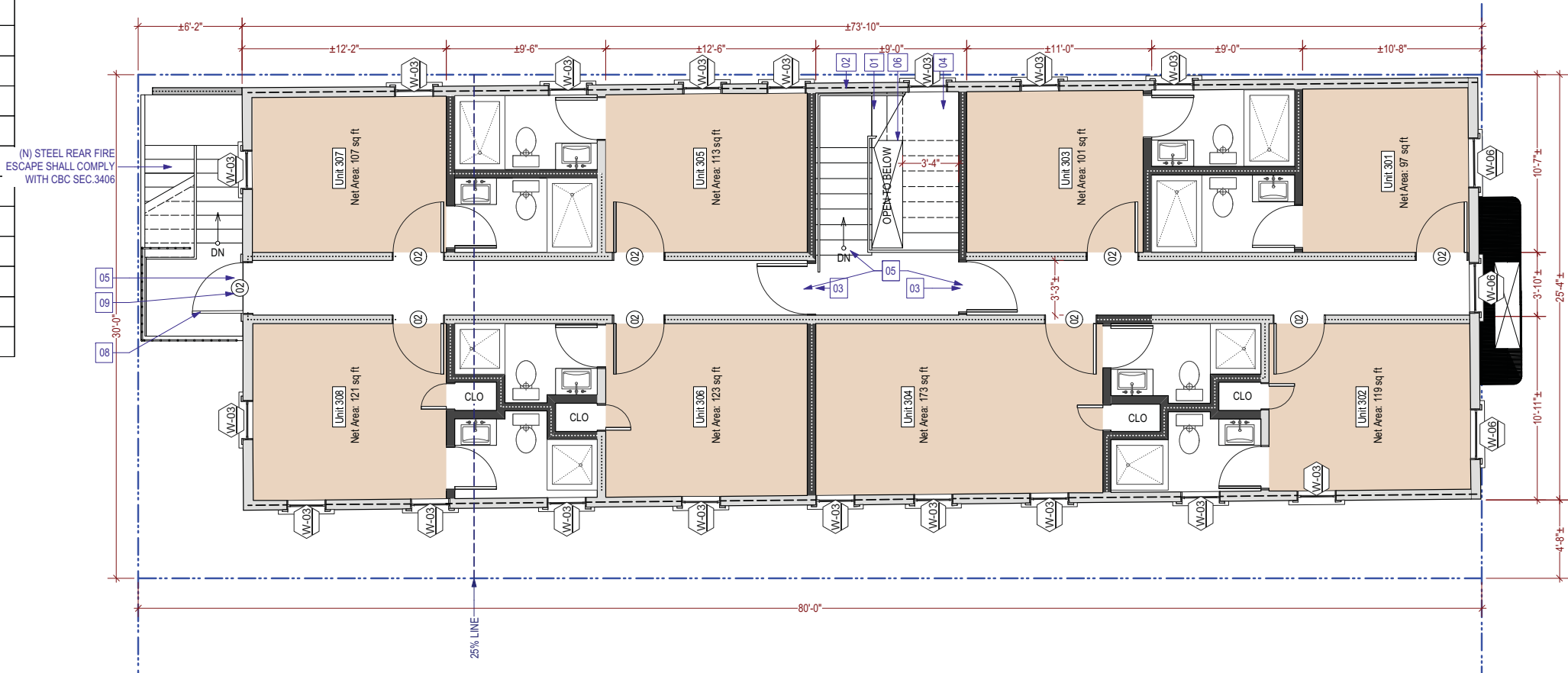
Window Schedule					
	Mark	Width	Height	Sash Material	Operation
	W-01	2'9"	5'6"	Wood	Fixed Glass
	W-02	2'0"	5'2"	Wood	Fixed Glass
	W-03	2'4"	4'6"	Wood	Single Hung
	W-04	2'10"	5'8"	Wood	Single Hung
	W-05	3'0"	6'6"	Wood	Single Hung
	W-06	3'0"	5'6"	Wood	Single Hung
	W-07	3'0"	6'0"	Wood	Single Hung
	W-09	7'0"	2'6"	Wood	Fixed Glass
	W-10	7'0"	5'6"	Wood	Fixed Glass
	W-11	8'0"	2'6"	Wood	Fixed Glass
	W-12	6'9"	2'6"	Wood	Fixed Glass

NOTE:

- PROPOSED WINDOWS ARE TRUE-DIVIDED LITE (TDL)
- ALL WINDOWS TO BE WOOD CLAD WITH 2" MIN OFFSET FROM EXTERIOR FACE OF WALL.
- MARVIN WINDOW MANUFACTURER OR COMPARABLE.



Existing Third Floor Plan
1/4" = 1'-0"



Proposed Third Floor Plan
1/4" = 1'-0"

PROJECT NAME
2342-2344 3rd Street
SAN FRANCISCO, CA



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Third Floor Plans

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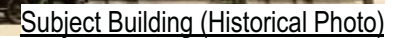
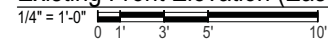
JOB NO.	15-1684
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SHEET NO.

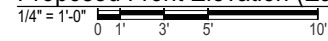
A-2.3



Exploratory Surface Removal Diagram



A 2 1

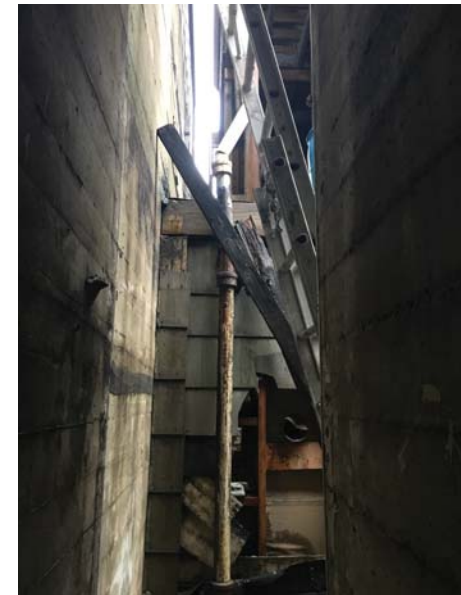


A-3.2

PROPERTY LINE



View towards the Rear Wall (Subject to removal)



View towards the Rear Wall (Subject to removal)

OUTLINE OF 2310 3RD STREET

2342-44 3RD STREET

ALL (E) ALUM. SLIDER
WIN, TYP.

(E) WOOD STAIRS TO BE
REPLACED W/ STEEL
STAIRS

OUTLINE OF 2350 3RD STREET

(E) HORIZONTAL SIDING

(E) WOOD ENTRY DOOR

(E) WOOD STAIRS TO BE
REMOVED

AREA OF (E) PLYWOOD
WALL TO BE
DEMOLISHED SHOWN
HATCHED

Existing Rear Elevation (West)

1/4" = 1'-0"

0 1' 3' 5' 10'

OUTLINE OF 2310 3RD STREET

2342-44 3RD STREET

ALL (E) ALUM. SLIDER
WIN. TO BE REMOVED &
REPLACED W/ (N) DBL.
GLZ. DBL. HUNG WIN.,
TYP.

(N) STEEL REAR FIRE
ESCAPE (PER SEC.
CBC 3406)

(E) WALL - PARTIALLY
DEMOLISHED, NO NEW
CONSTRUCTION. WALL TO
BE UPGRADED TO 1-HR.
FINISH TO MATCH REAR
WALL WOOD SIDING.

OUTLINE OF 2350 3RD STREET

(N) LIGHT CAN, TYP.

(N) DBL. GLZ. WOOD
ENTRY DOOR, TYP.

(N) WOOD DBL.
GLZ. DOUBLE
HUNG WIN., TYP.

(N) DBL. GLZ. WOOD
ENTRY DOOR/TRANSOM
TO MATCH (E)

(N) HORIZONTAL SIDING
TO MATCH (E)

Proposed Rear Elevation (West)

1/4" = 1'-0"

0 1' 3' 5' 10'

PROJECT NAME

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SHEET TITLE

Rear Elevations
(West)

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SHEET NO.

A-3.3

PROPERTY LINE

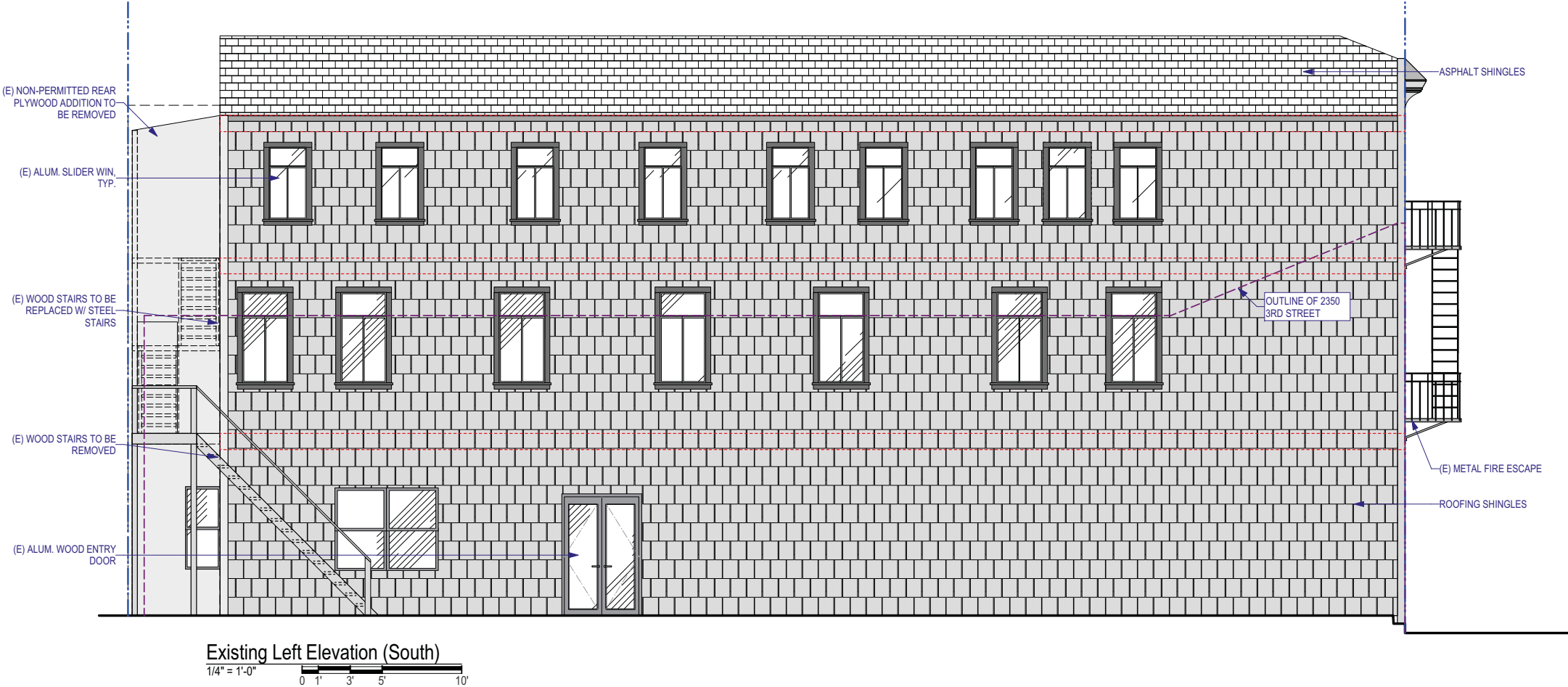
PROJECT NAME
2342-2344 3rd Street
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Left Elevations
(South)



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DATE	11/15/2015
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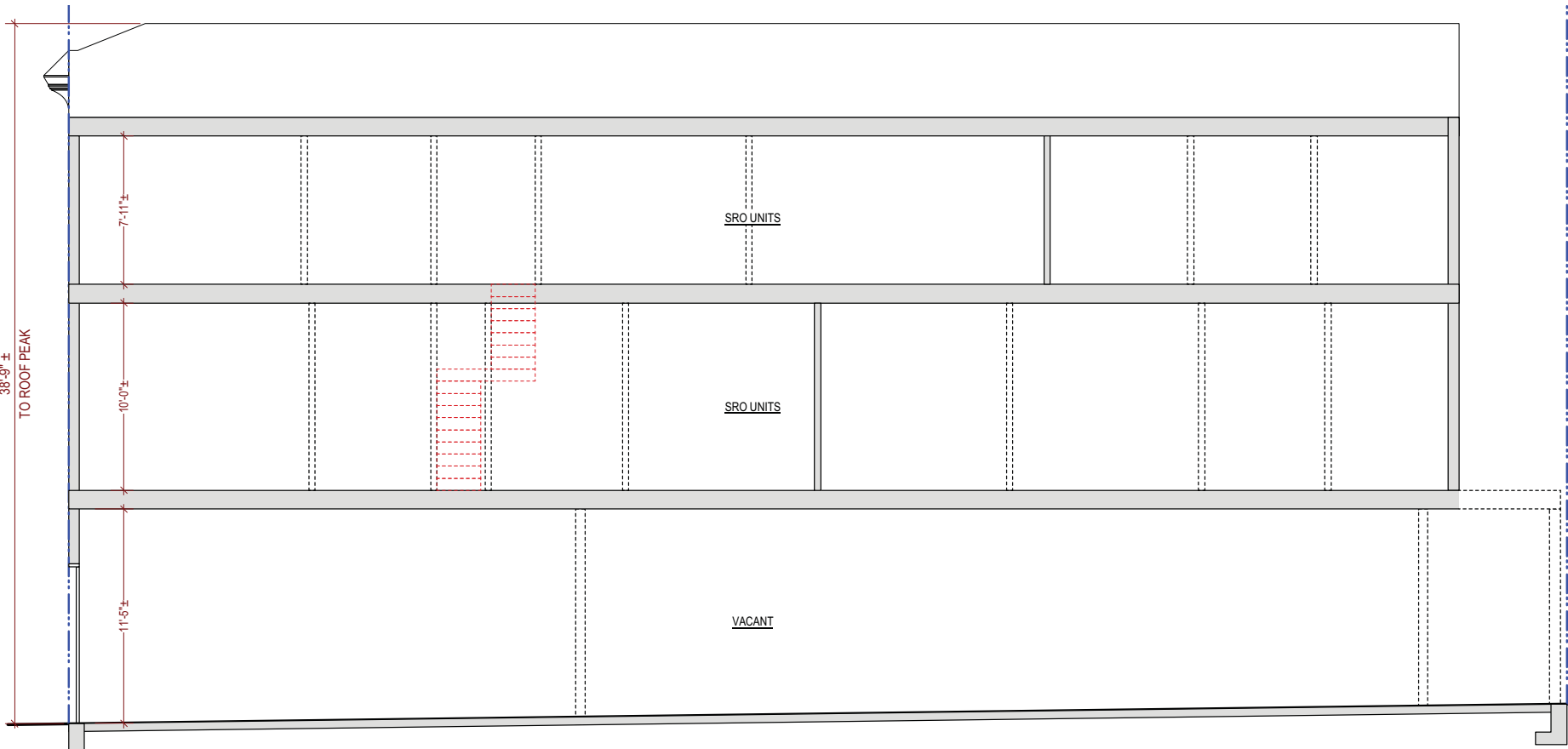
REVISED DATE	05/01/2018
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JOB NO.	15-1684
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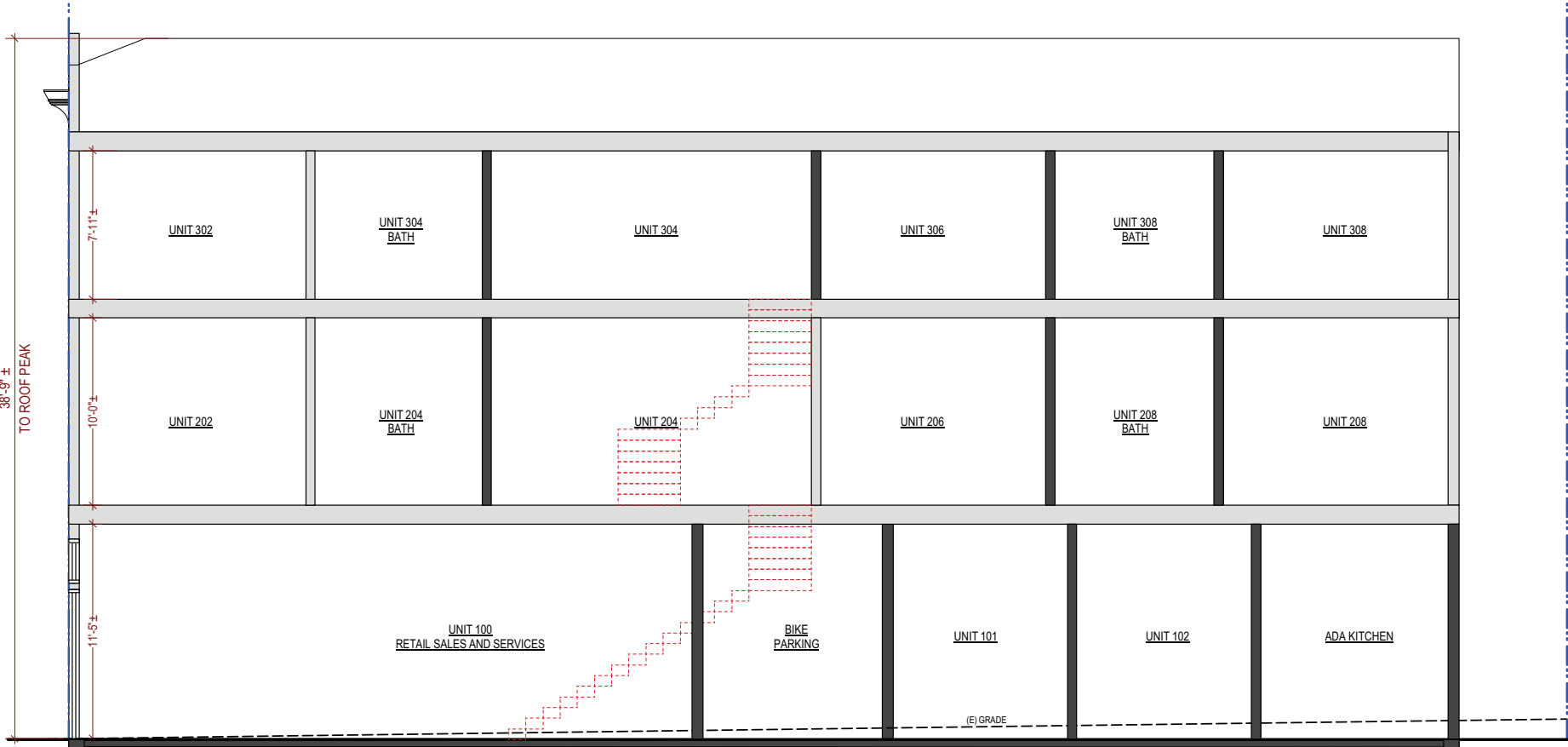
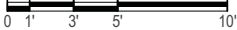
SHEET NO.	
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A-3.4

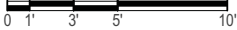
	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(N) WALL TO BE CONSTRUCTED



Existing Section A
1/4" = 1'-0"



Proposed Section A
1/4" = 1'-0"



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SHEET TITLE

Sections

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SHEET NO.	

A-4.1

Most Remote Travel Distance Calc:

First Floor

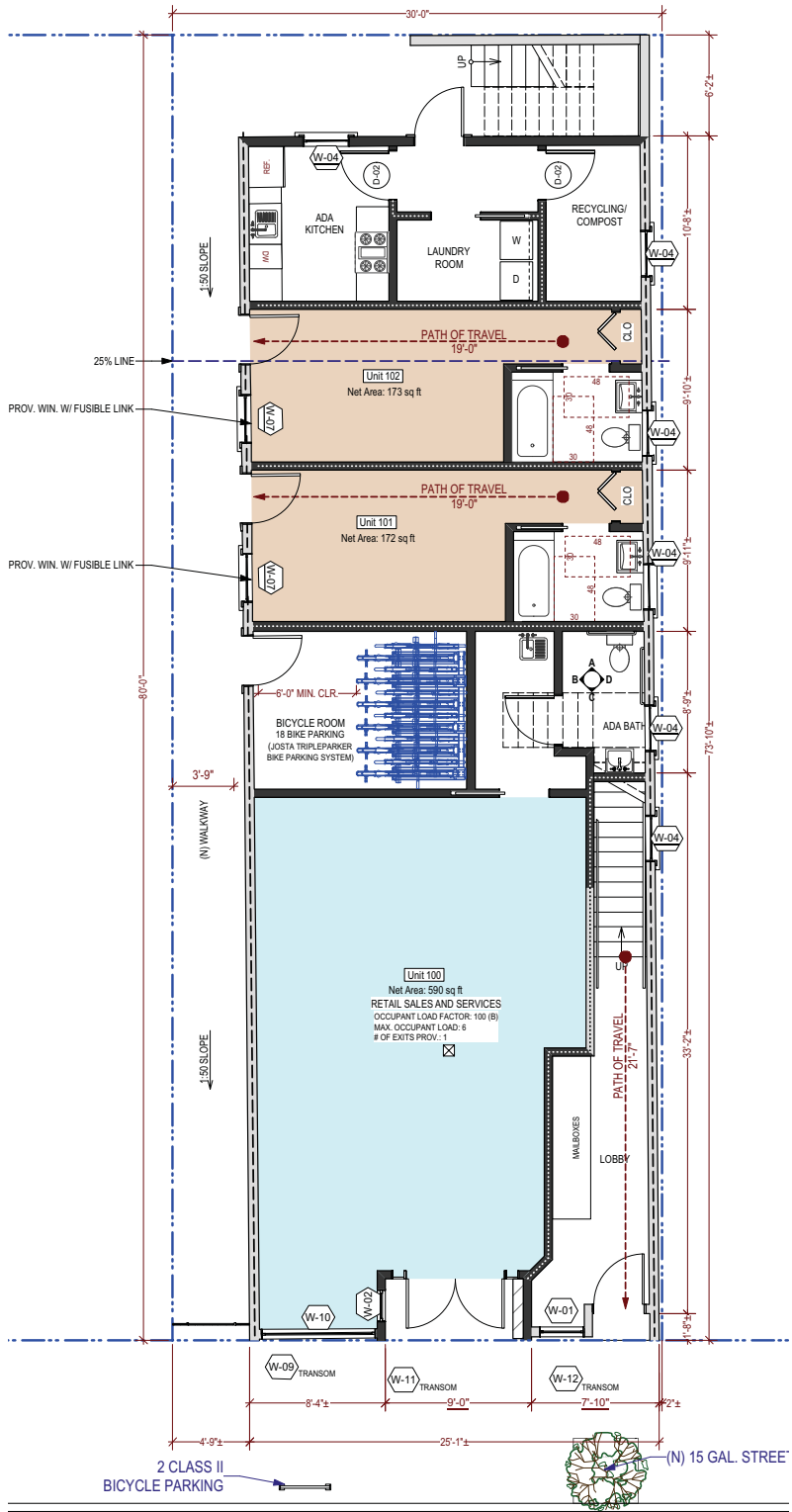
Unit #102
Total: 19'-0" < 125'

Second Floor

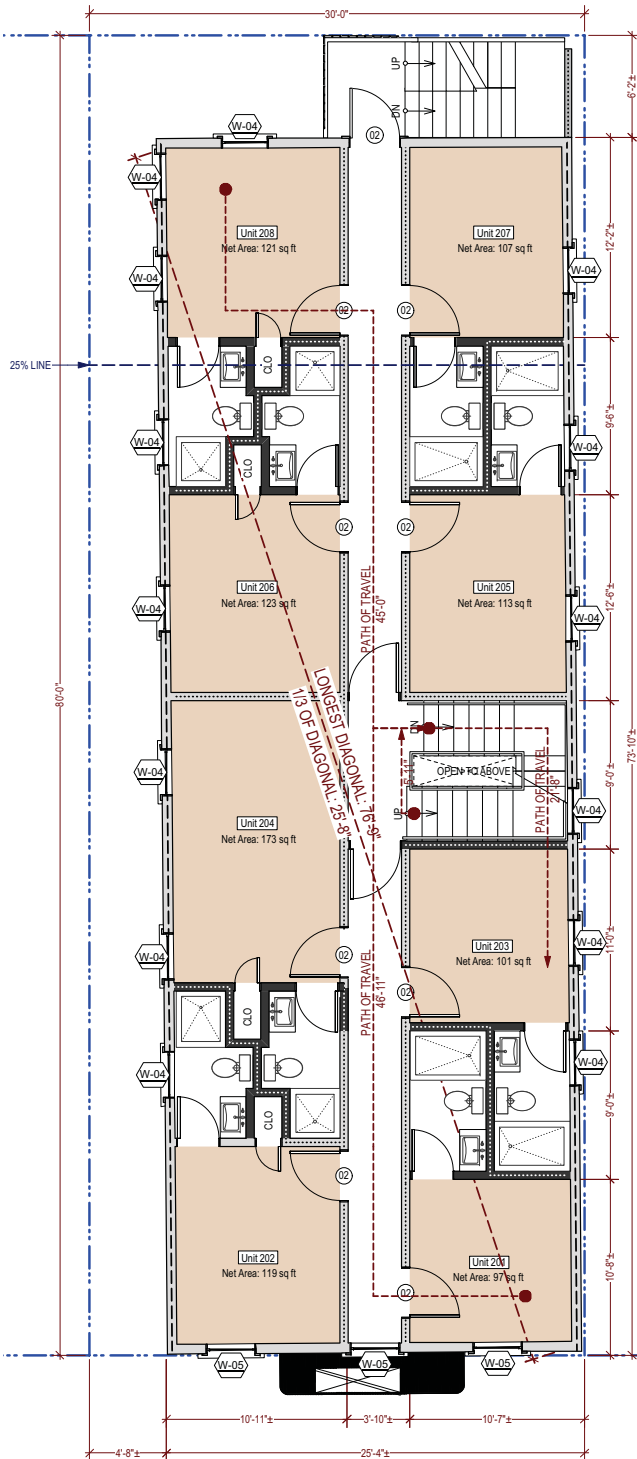
Unit #201
Travel Distance 46'-11"
Stairs to 1st Floor 21'-8" x 1.35 = 29'-3"
Hallway @ 1st Floor 21'-7"
Total: 97'-9"

Third Floor

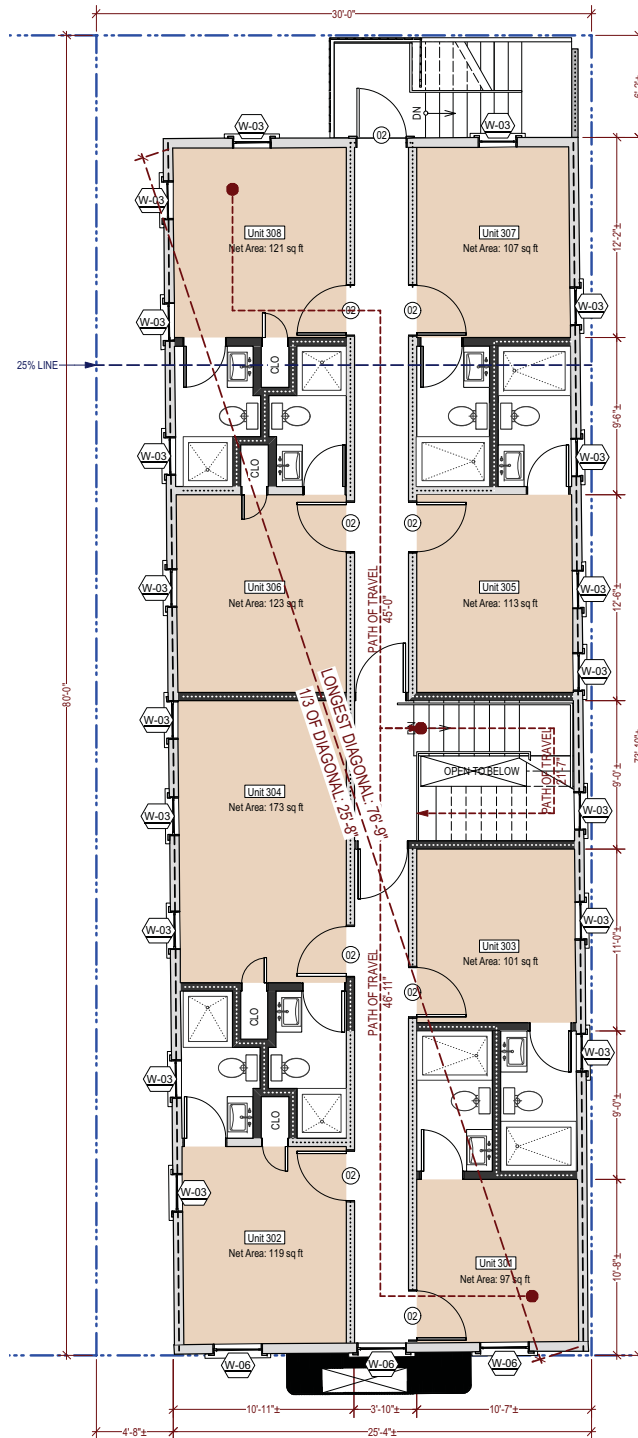
Unit #301
Travel Distance 46'-11"
Stairs to 2nd Floor 21'-7" x 1.35 = 29'-3"
Hallway @ 2nd Floor 10'-4"
Stairs to 1st Floor 21'-8" x 1.35 = 29'-3"
Hallway @ 1st Floor 21'-7"
Total: 137'-4"



Proposed First Floor Plan
3/16" = 1'-0"



Proposed Second Floor Plan
3/16" = 1'-0"



Proposed Third Floor Plan
3/16" = 1'-0"

OCCUPANT LOAD CALCULATION							
FLOOR LEVEL	TYPE OF USE	NET AREA (SQ. FT.)	OCCUPANCY GROUP	LOAD FACTOR	OCCUPANT LOAD	MAX. OCCUPANT LOAD FOR ONE MEANS OF EGRESS (TABLE 1015.1)	# OF EXITS PROVIDED
1ST FLOOR	COMMERCIAL	616	B	30	7	49	1
	RESIDENTIAL	332	R-2	200	2	10	1
2ND FLOOR	RESIDENTIAL	969			5	10	1
3RD FLOOR	RESIDENTIAL	969			5	10	1
TOTAL RESIDENTIAL NET FLOOR AREA (1ST, 2ND, & 3RD FLOORS)		2,270	12 (R-2 ONLY)				

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Exit Diagram

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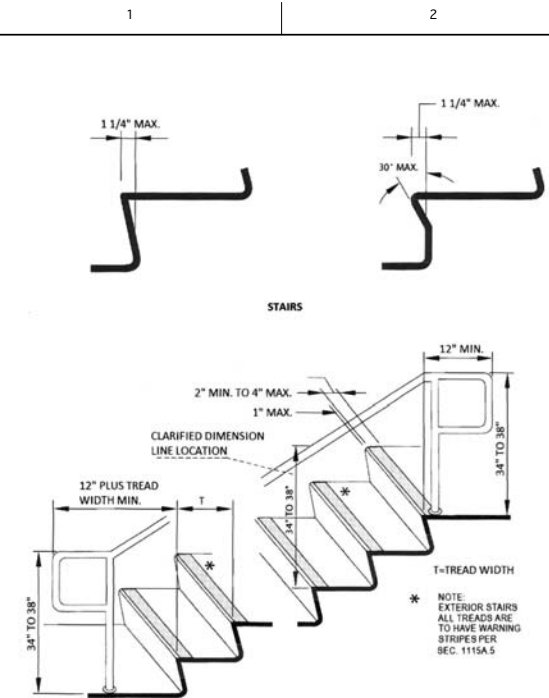
DATE	11/15/2015
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REVISED DATE	05/01/2018
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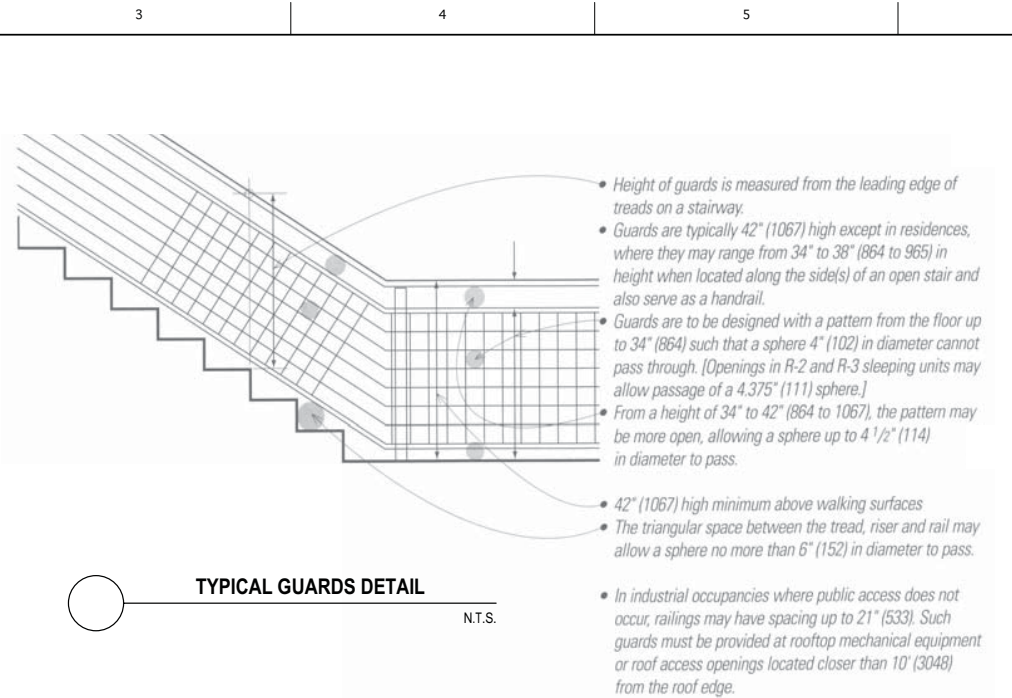
JOB NO.	15-1684
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SHEET NO.	
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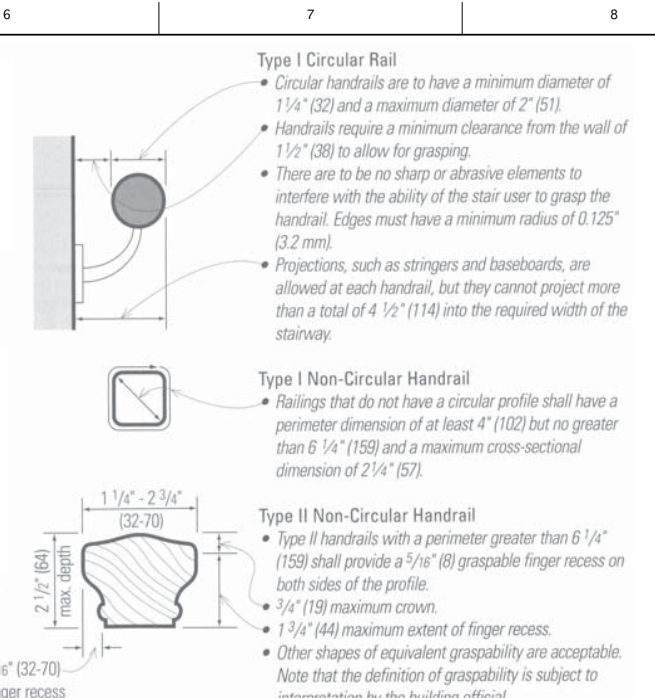
A-5.0



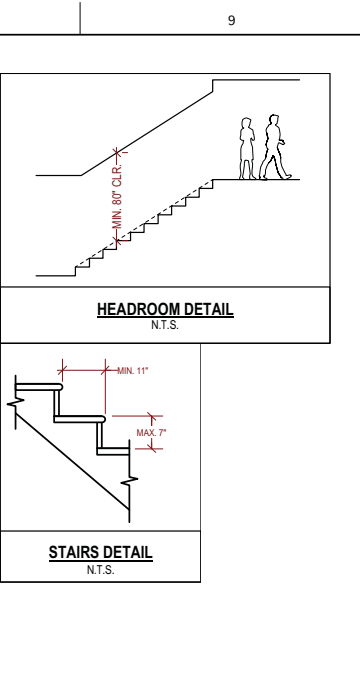
STAIRS
N.T.S.



TYPICAL GUARDS DETAIL
N.T.S.



TYPICAL HANDRAIL DETAILS
N.T.S.



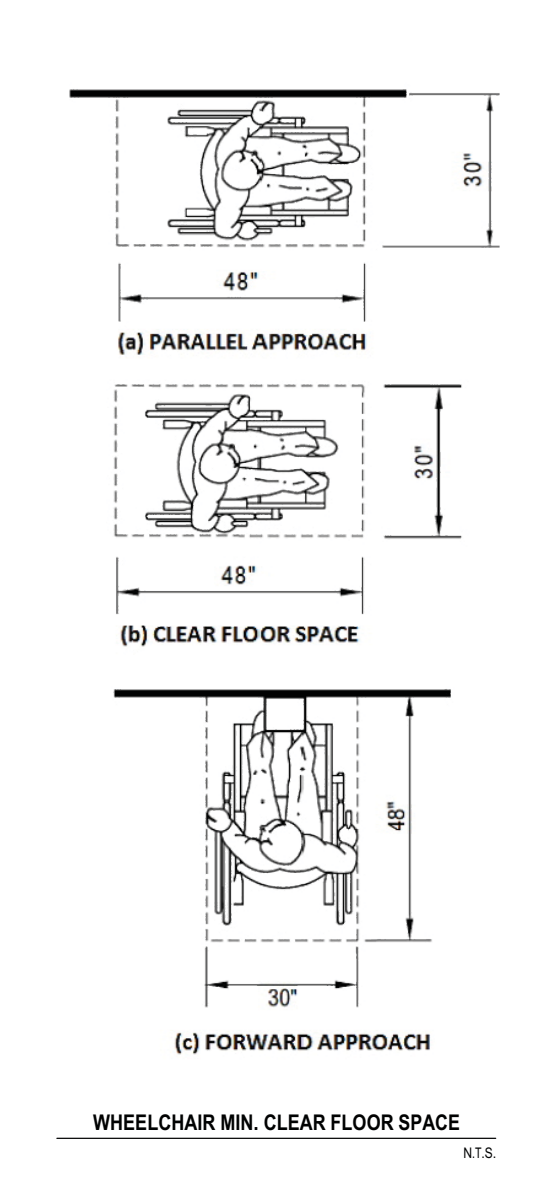
HEADROOM DETAIL
N.T.S.

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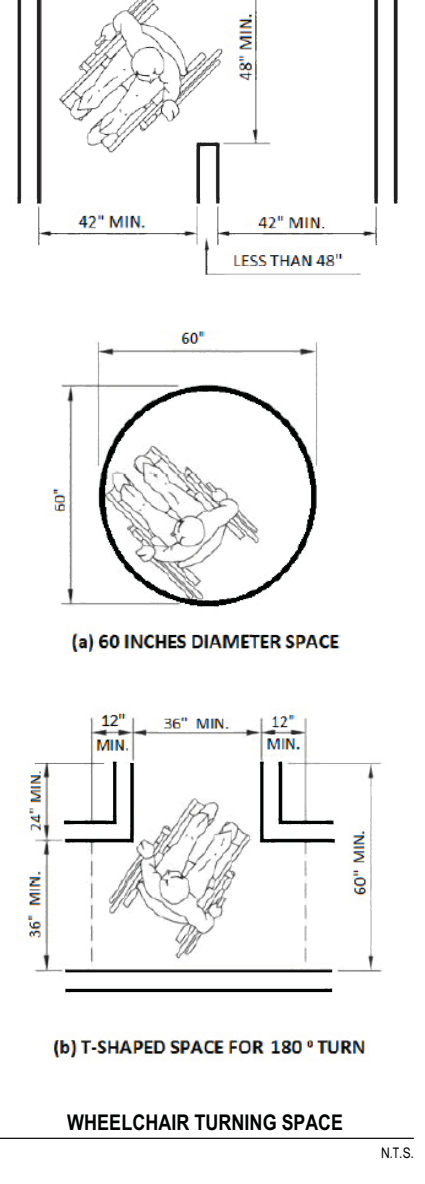
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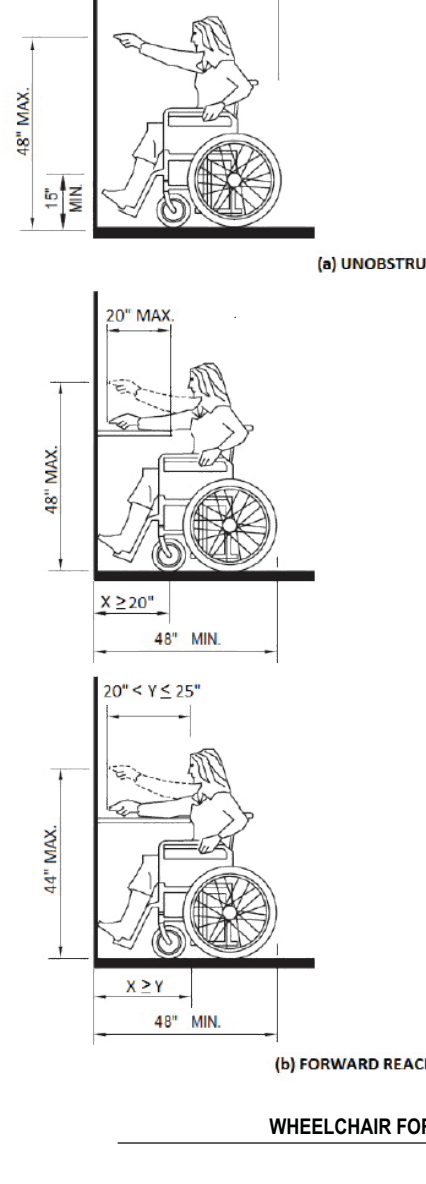
SHEET TITLE



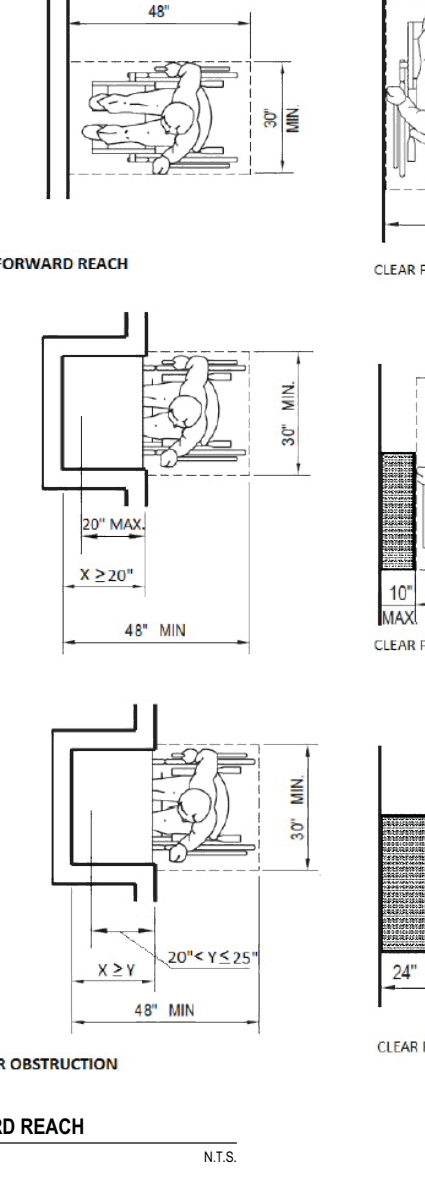
WHEELCHAIR MIN. CLEAR FLOOR SPACE
N.T.S.



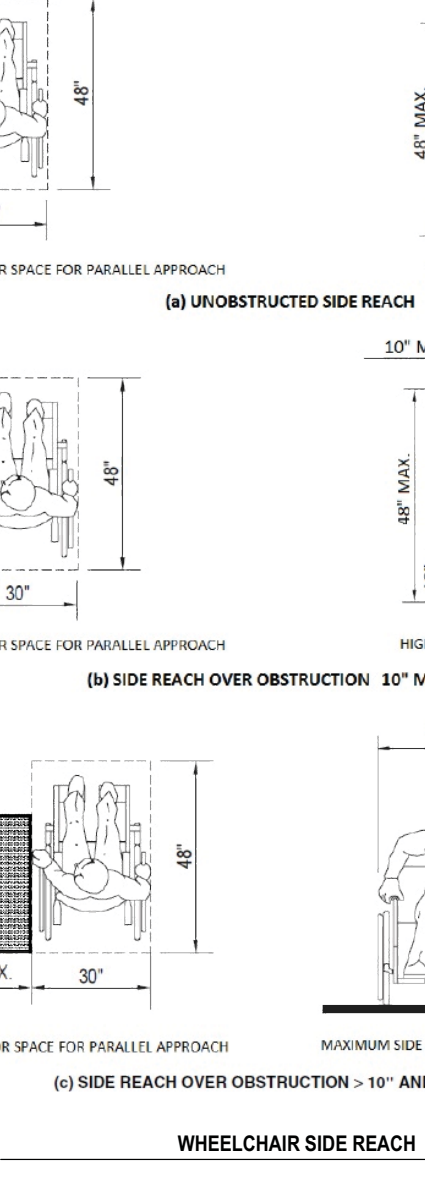
WHEELCHAIR TURNING SPACE
N.T.S.



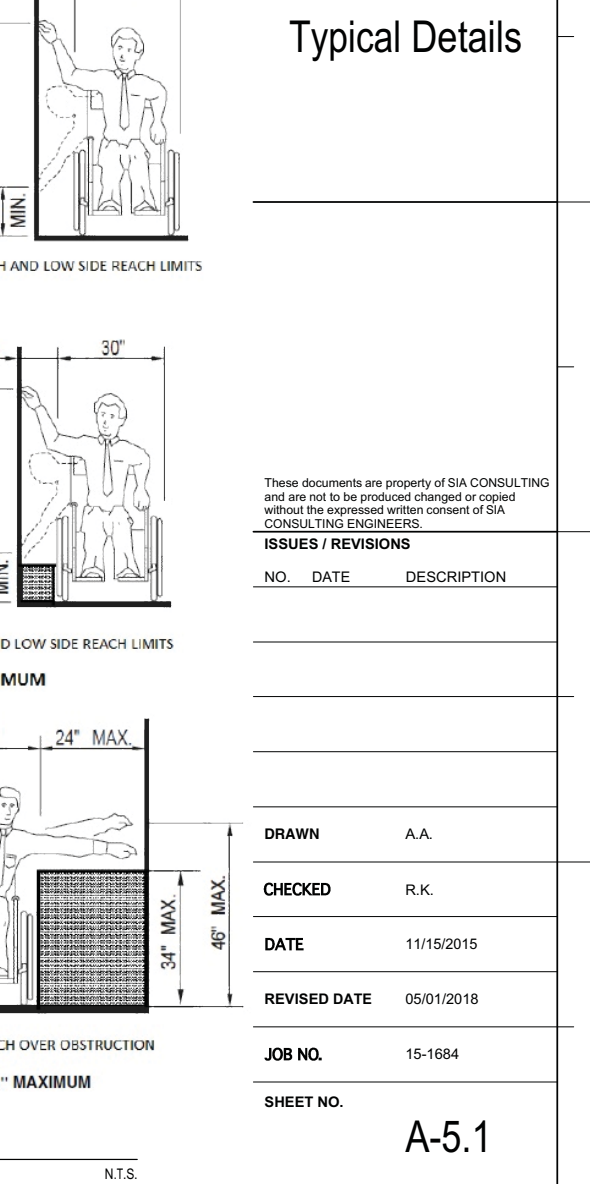
WHEELCHAIR FORWARD REACH
N.T.S.



WHEELCHAIR FORWARD REACH
N.T.S.



WHEELCHAIR SIDE REACH
N.T.S.



WHEELCHAIR SIDE REACH
N.T.S.

Typical Details

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ISSUES / REVISIONS

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DRAWN A.A.

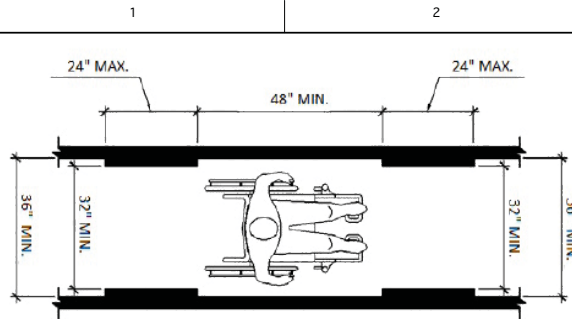
CHECKED R.K.

DATE 11/15/2015

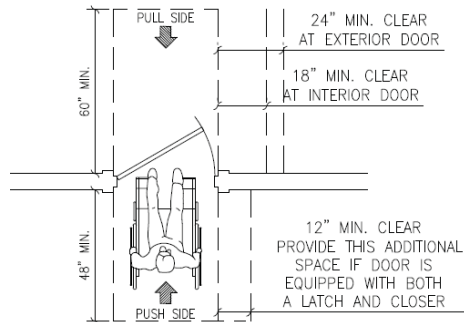
REVISED DATE 05/01/2018

JOB NO. 15-1684

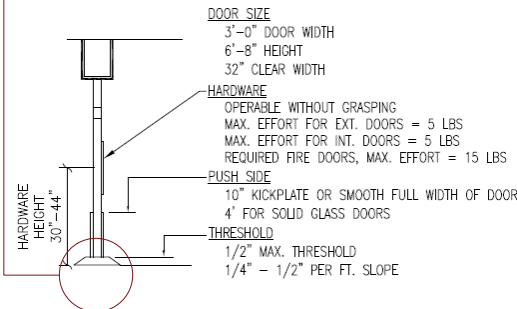
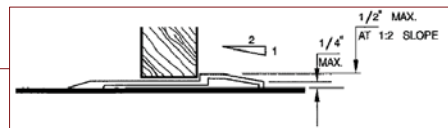
SHEET NO. A-5.1



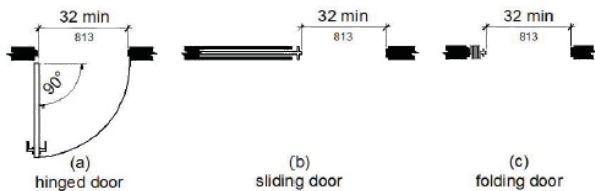
CLEAR WIDTH OF AN ACCESSIBLE ROUTE
N.T.S.



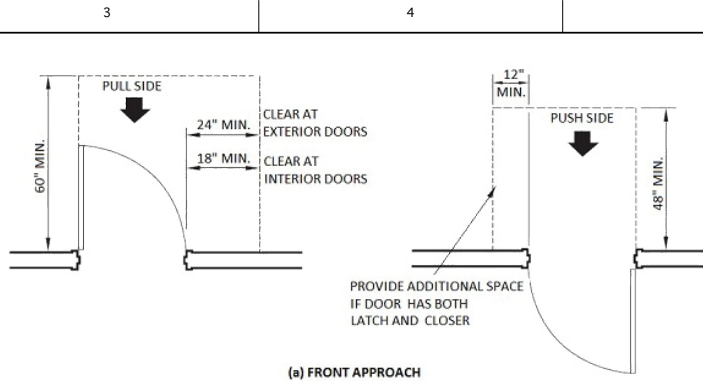
DOOR CLEARANCE DETAIL
N.T.S.



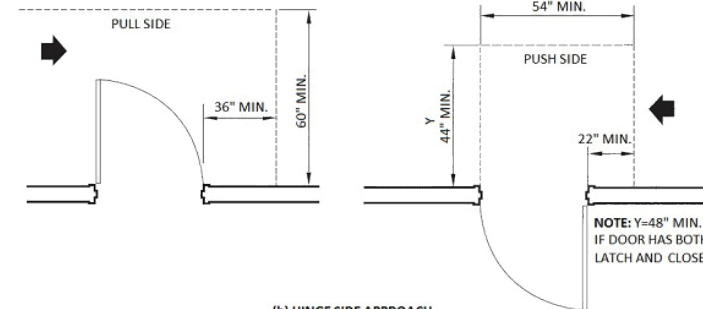
SECTION @ DOOR / THRESHOLD
N.T.S.



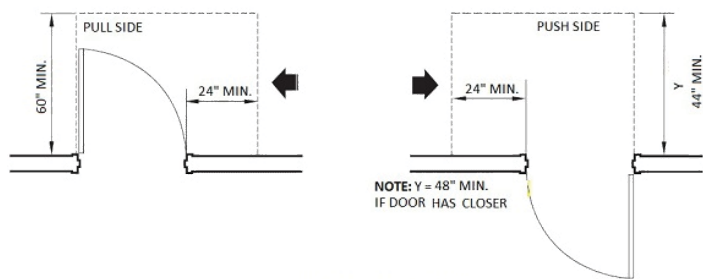
CLEAR WIDTH OF DOORWAYS
N.T.S.



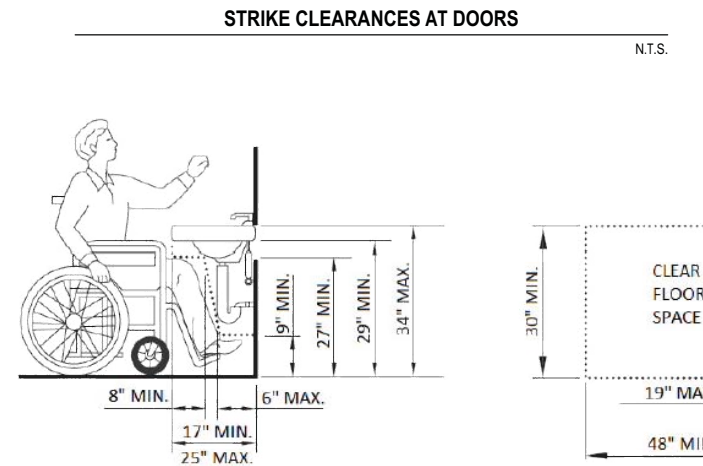
(a) FRONT APPROACH



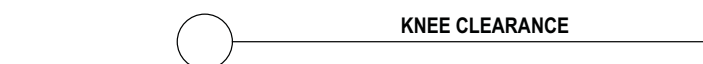
(b) HINGE SIDE APPROACH



(c) LATCH SIDE APPROACH



STRIKE CLEARANCES AT DOORS
N.T.S.

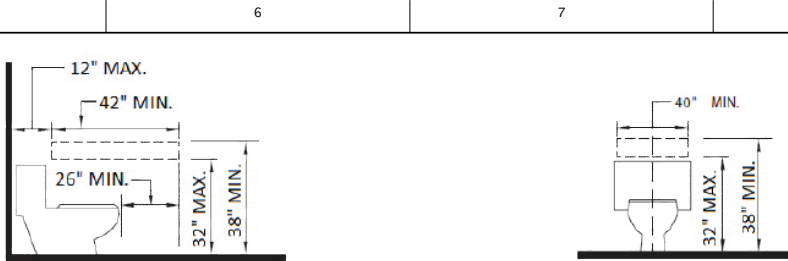


KNEE CLEARANCE
N.T.S.

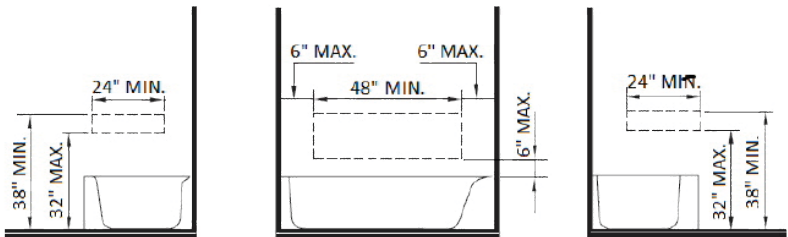
KEY #	SIZE	MATERIAL	GLAZING	FIRE RATING	NOTES
01	3'-0" X 6'-8"	-	-	90 MIN.	SOLID CORE DOOR W/ SELF CLOSURE & SMOKE GASKET
02	3'-0" X 6'-8"	-	-	20 MIN.	SOLID CORE DOOR W/ SELF CLOSURE & SMOKE GASKET

NOTES:

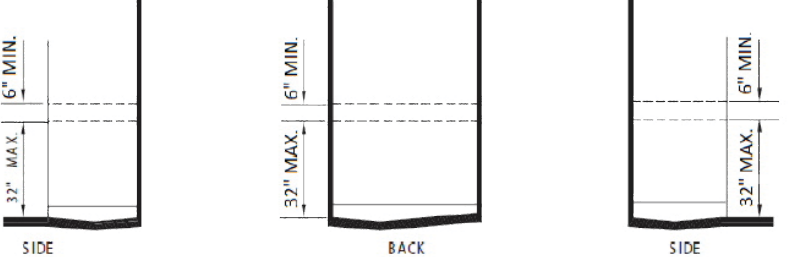
- SEE ENERGY COMPLIANCE REPORT FOR U-FACTORS OF DOORS
- ALL DOORS TO MEET SFBC 1003A & 1005A, IF APPLICABLE
- ALL DOORS SHOULD BE MIN. 42" CLEAR WIDTH & ALL SWING DOORS SHOULD HAVE 18" STRIKE EDGE CLEARANCE
- ALL RESCUE / EGRESS DOORS SHALL COMPLY WITH CBC 1029, IF APPLICABLE
- NFRC LABELS ON NEW DOORS SHALL NOT BE REMOVED UNTIL AFTER FINAL INSPECTION



(a) GRAB BAR REINFORCEMENT FOR ADAPTABLE WATER CLOSETS

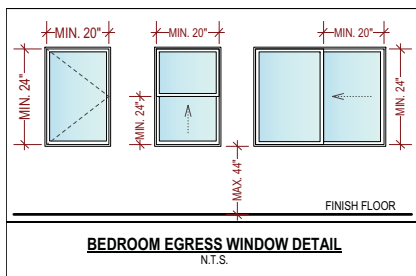
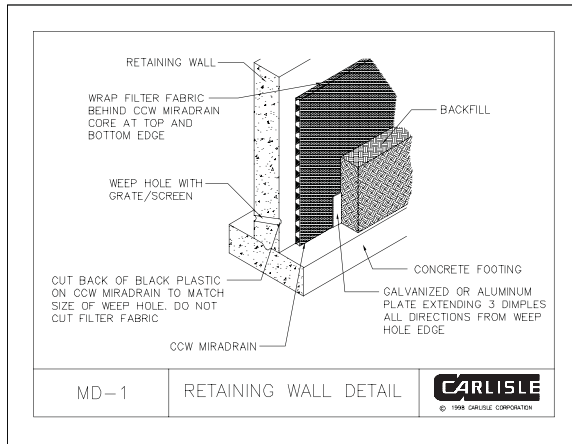


(b) GRAB BAR REINFORCEMENT FOR ADAPTABLE BATHTUBS

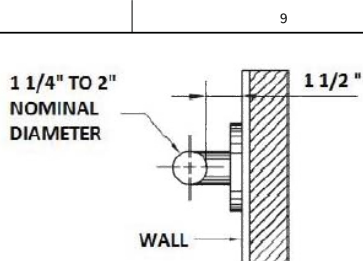


(c) GRAB BAR REINFORCEMENT FOR ADAPTABLE SHOWERS

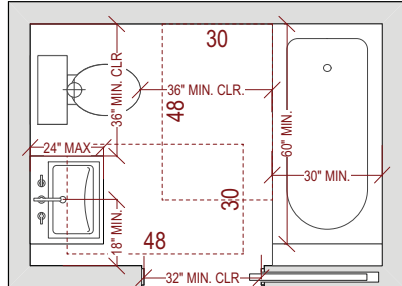
GRAB BAR LOCATIONS OF TOILET & BATHING FACILITIES
N.T.S.



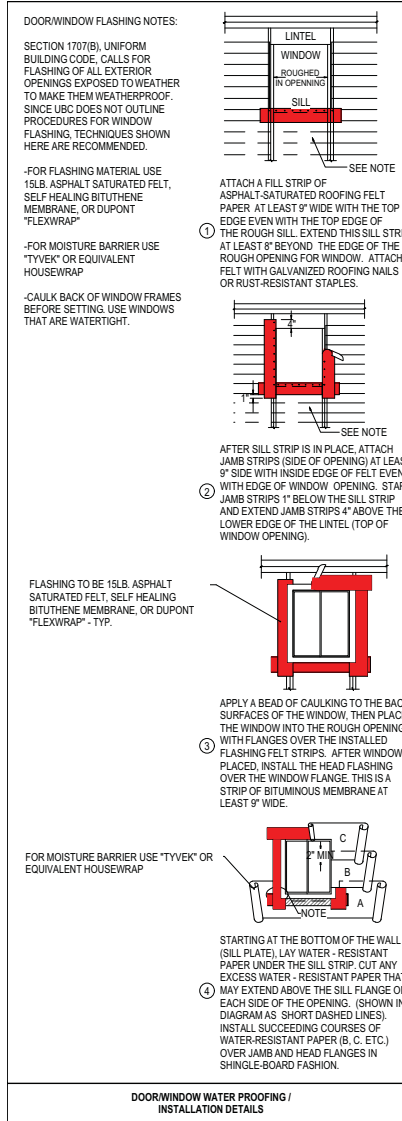
BEDROOM EGRESS WINDOW DETAIL
N.T.S.



TYPICAL GRAB BAR SECTION
N.T.S.



RESIDENTIAL ADA BATHROOM DETAIL
N.T.S.



PROJECT NAME
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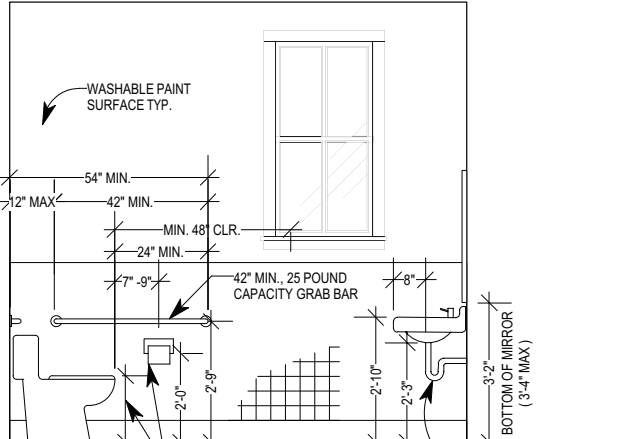
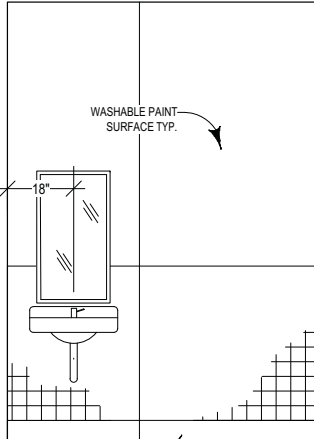
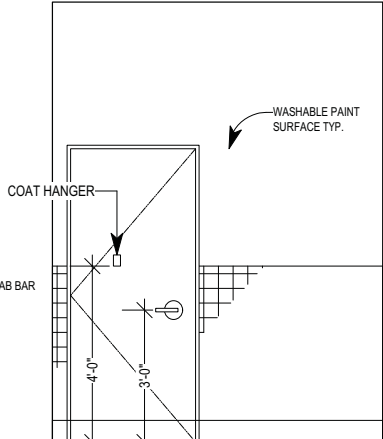
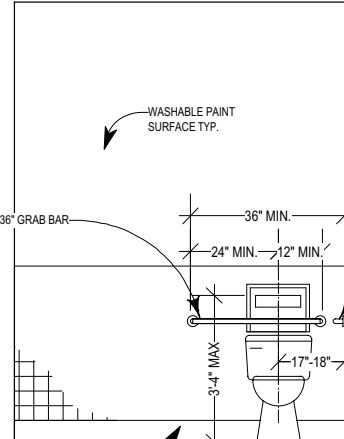
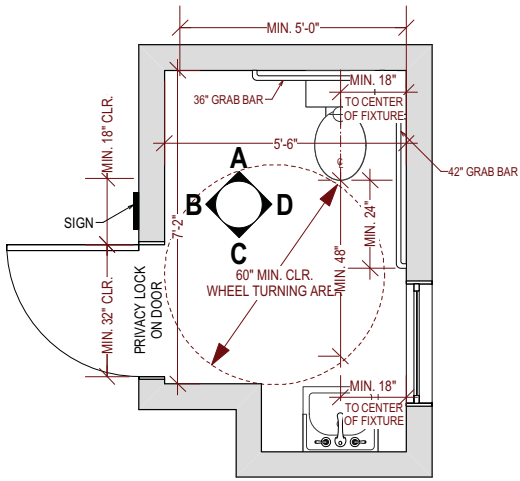
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A-5.2



A

B

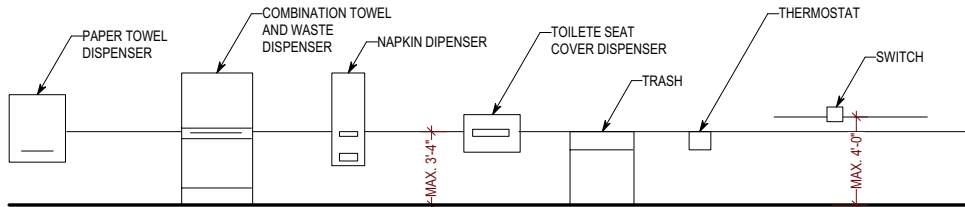
C

D

NOTE: TOILET TO BE TANK TYPE TOILET, TYP.

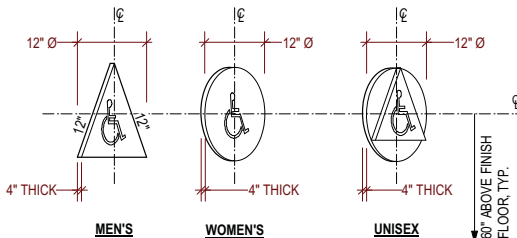
COMMERCIAL TYPICAL ADA RESTROOM ELEVATIONS

N.T.S.

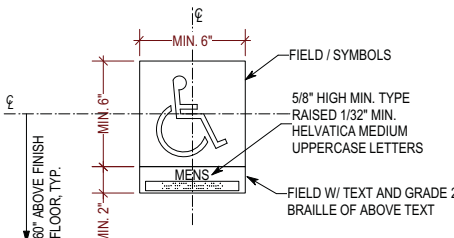


HANDICAP ACCESSORY NOTES & DETAILS

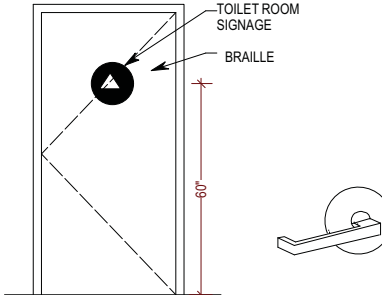
N.T.S.



NOTE: CENTER OF TOILET ENTRY DR., TYP.



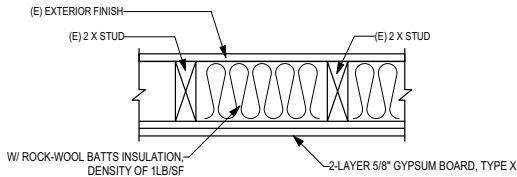
ADA PERMANENT ROOM IDENTIFICATION SIGNAGE



TOILET ROOM SIGNAGE

N.T.S.

W-2 (E) WALLS AND PARTITIONS, WOOD-FRAMED TO BE UPGRADED 1 HOUR FIRE



W-3 EXTERIOR WALLS, WOOD-FRAMED

SYSTEM DESCRIPTION	SKETCH AND DESIGN DATA
GA FILE NO. WP 8105 GENERIC GYPSUM WALLBOARD, GYPSUM SHEATHING, WOOD STUDS EXTERIOR SIDE: One layer 48" wide 5/8" type X gypsum sheathing applied parallel to 2 x 4 wood studs 24" o.c. with 1 1/4" galvanized roofing nails 4" o.c. at vertical joints and 7" o.c. at intermediate studs and top and bottom plates. Joints of gypsum sheathing may be left untreated. Exterior cladding to be attached through sheathing to studs. INTERIOR SIDE: One layer 5/8" type X gypsum wallboard, water-resistant gypsum backing board, or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails, 17/16" long, 0.0915" shank, 1/4" heads, 7" o.c. (LOAD-BEARING)	1 HOUR FIRE Thickness: Varies Approx. Weight: 7 psf Fire Test: See WP 3510 (UL R3501-47, -48, 9-17-65, UL Design U309; UL R1319-129, 7-22-70, UL Design U314)

W-4 WALLS & INTERIOR PARTITIONS, WOOD-FRAMED

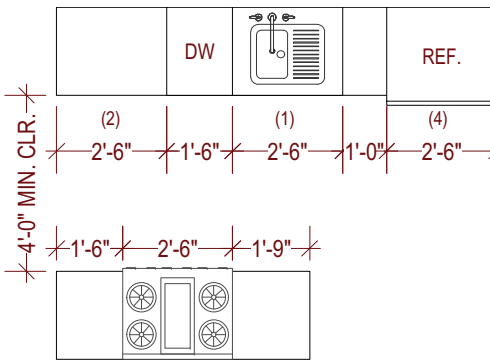
SYSTEM DESCRIPTION	SKETCH AND DESIGN DATA
GA FILE NO. WP 3243 GENERIC GYPSUM WALLBOARD, RESILIENT CHANNELS, MINERAL OR GLASS FIBER INSULATION, WOOD STUDS Resilient channels 24" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 24" o.c. with 1 1/4" Type S drywall screws. One layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to channels with 1" Type S drywall screws 8" o.c. with vertical joints located midway between studs. 3" mineral or glass fiber insulation in stud space. OPPOSITE SIDE: One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to studs with 6d cement coated nails, 17/16" long, 0.0915" shank, 1/4" heads, 7" o.c. (LOAD-BEARING) Vertical joints staggered 24" on opposite sides. (LOAD-BEARING)	1 HOUR FIRE 50 to 54 STC SOUND Thickness: 5/8" Approx. Weight: 7 psf Fire Test: Based on UL R14196, OSNKO5371, 2-15-05, UL Design U309 Sound Test: NRCC TL-93-103, IRC-IR-761, 3/98

C-1 (E) FLOOR-CEILING SYSTEMS, WOOD-FRAMED

SYSTEM DESCRIPTION	SKETCH AND DESIGN DATA
GA FILE NO. FC 5105 PROPRIETARY* GYPSUM WALLBOARD, RESILIENT CHANNELS, WOOD JOISTS One layer 1/2" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 60" long with screws at 12" o.c. Resilient channels applied at right angles to 2 x 10 wood joists 16" o.c. with 6d common nails. Wood joists supporting 1 1/2" plywood and 1" proprietary sanded gypsum underlayment. STC rated with 3 1/2" glass fiber insulation in joist spaces and with carpet and pad. Second layer of 1/2" or 5/8" type X gypsum wallboard required to achieve 1 hour fire resistance rating when glass fiber insulation is used. PROPRIETARY GYPSUM BOARD CertainTeed Gypsum Inc. - 1/2" CertainTeed® Type C Gypsum Board CertainTeed Gypsum Canada Inc. - 1/2" CertainTeed® Type C Gypsum Board Georgia Pacific Gypsum LLC - 1/2" ToughRock® Fireguard CDB Gypsum Board Lafarge North America Inc. - 1/2" Firecheck® Type C Gypsum Board National Gypsum Company - 1/2" Gold Bond® Brand FIRE-SHIELD C™ Gypsum Board PABCO Gypsum - 1/2" FLAME CURB® Super C™ Gypsum Board Temple-Inland - 1/2" TG-C	1 HOUR FIRE 55 to 59 STC SOUND Approx. Ceiling Weight: 2 psf Fire Test: UL R6352, 4-21-71, UL Design L502 Sound Test: G&H BW-10 MT, 10-13-70 (73 C & P) G&H BW-10 MT, 10-13-70

C-2 ROOF-CEILING, WOOD FRAME

SYSTEM DESCRIPTION	SKETCH AND DESIGN DATA
GA FILE NO. RC 2601 GENERIC GYPSUM WALLBOARD, WOOD JOISTS, ROOF COVERING Base layer 5/8" type X gypsum wallboard applied at right angles to 2 x 10 wood joists 24" o.c. with 1 1/4" Type W or S drywall screws 24" o.c. Face layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to joists with 1 1/4" Type W or S drywall screws 12" o.c. at joints and intermediate joints and 1 1/2" Type G drywall screws 12" o.c. placed 2" back on either side of end joints. Joints offset 24" from base layer joints. Wood joists supporting 1/2" plywood with exterior glue applied at right angles to joists with 6d nails. Appropriate roof covering. Ceiling provides one hour fire resistance protection for framing, including trusses.	1 HOUR FIRE Approx. Ceiling Weight: 5 psf Fire Test: FM FC 172, 2-25-72; ITS, 9-6-98



ADA KITCHEN LAYOUT*

N.T.S.

*NOTE: ALL KITCHENS SHALL COMPLY WITH SECTION 1133A

- (1) 30" minimum countertop space for sink installation with removable base cabinet and finish flooring beneath the sink; 30" x 48" minimum clear floor space to allow parallel or forward approach.
- (2) 30" minimum countertop for work surface with removable base cabinet and finish flooring beneath; 30" x 48" minimum clear floor space to allow parallel or forward approach.
- (3) 30" x 48" minimum clear floor space adjacent to range to allow parallel approach.
- (4) 30" x 48" clear floor space at refrigerator, dishwasher, trash compactor or other appliances to allow parallel or forward approach.

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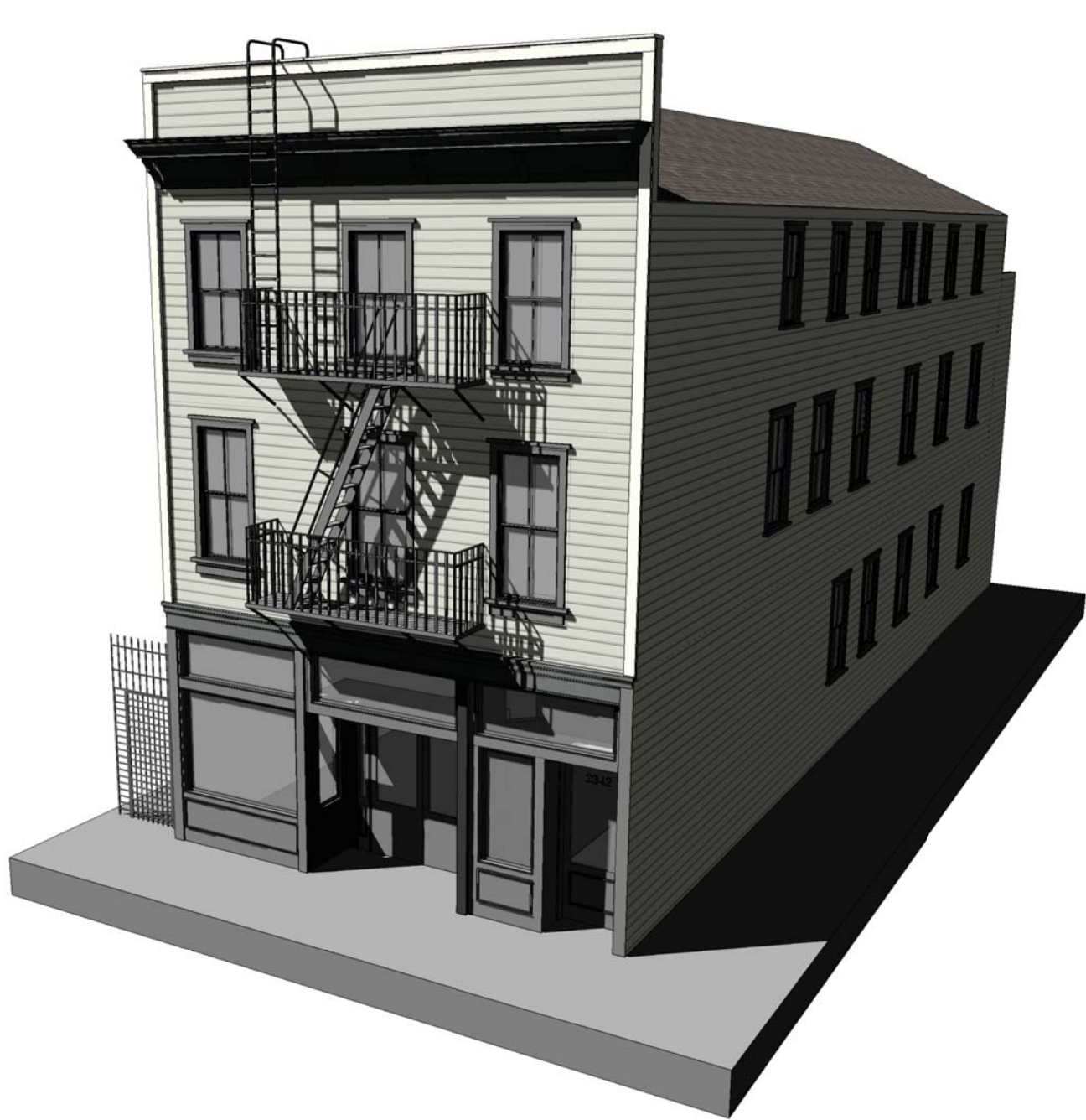
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A-5.3



Facade Perspective 2
NTS



Facade Perspective 1
NTS

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Facade
Renderings

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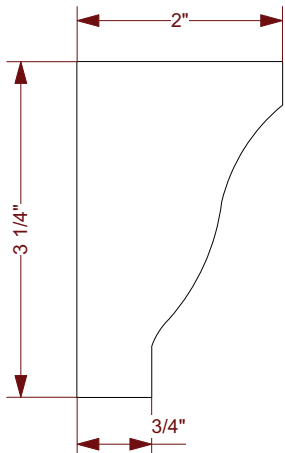
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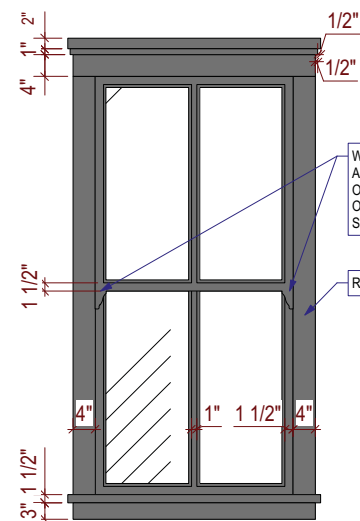
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A-5.4



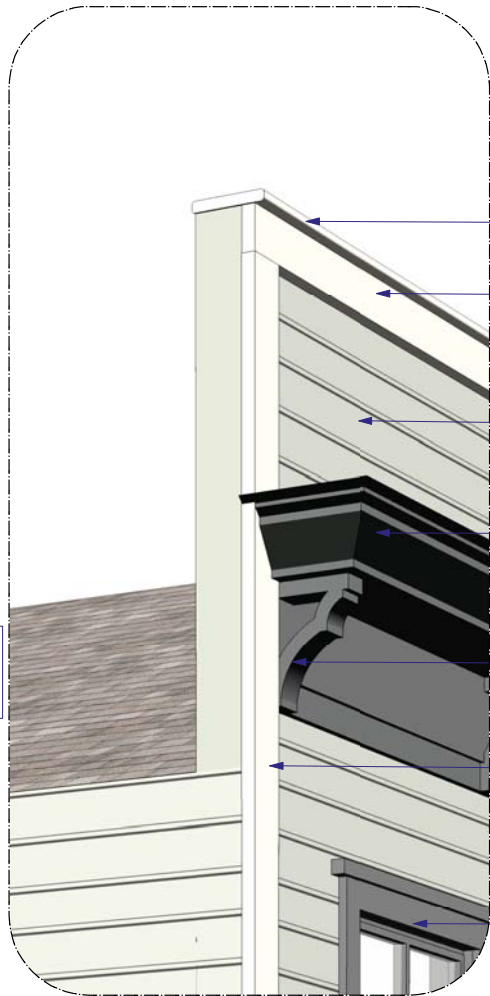
Ogee Lug Detail
N.T.S



Typical Window Elevation Detail
N.T.S

WINDOW WILL HAVE
A CONTINUOUS
OGEE LUG AS PART
OF THE UPPER
SASH.

REDWOOD TRIM



Perspective Detailed View
N.T.S

(N) REDWOOD CAP

(N) REDWOOD 1x6

(N) HORIZONTAL WOOD SIDING
DIMENSIONS TO MATCH (E)
HISTORIC CONDITIONS FOUND
ON SITE

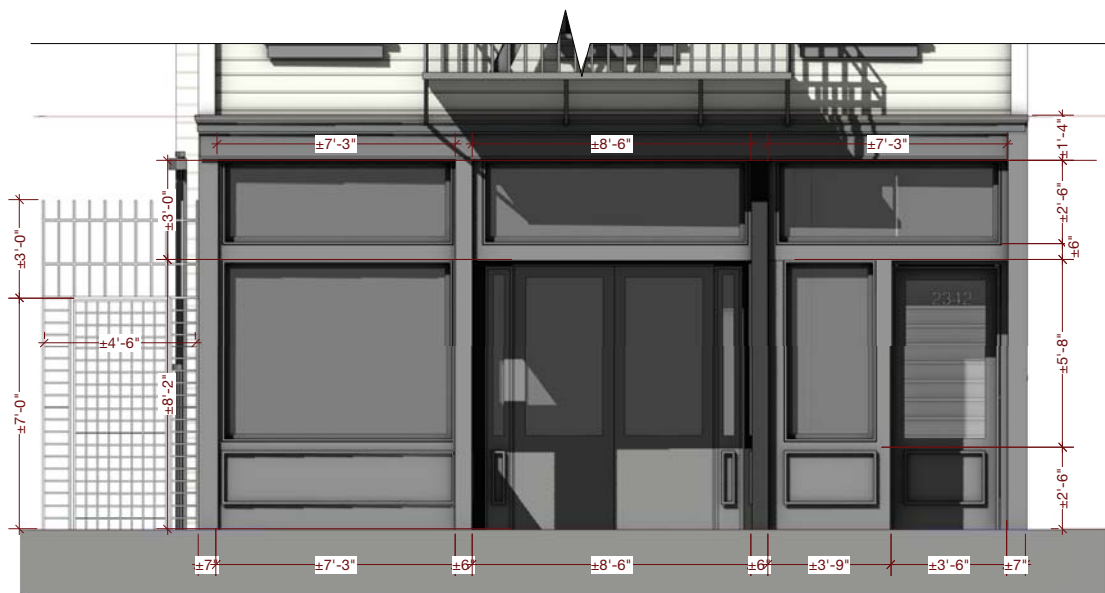
(E) ORIGINAL
CORNICE TO BE
REVIVED *

(N) REDWOOD
BRACKET

(N) REDWOOD 1x6

ALL (E) ALUM. SLIDER WIN. TO BE
REMOVED & REPLACED W/
HISTORICALLY COMPATIBLE DBL.
GLZ. DBL. HUNG WINDOWS, TYP.

*(E) ORIGINAL CORNICE TO BE
REVIVED PER HISTORICAL
EVIDENCE AND FIELD
EXPLORATION. ANY
REPLACEMENT BEYOND
HISTORICAL EVIDENCE TO BE
CONSULTED WITH THE
PLANNING DEPARTMENT.



Detailed Storefront View
3/8"=1'-0"



Facade Perspective
N.T.S

PROJECT NAME

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Facade Analysis

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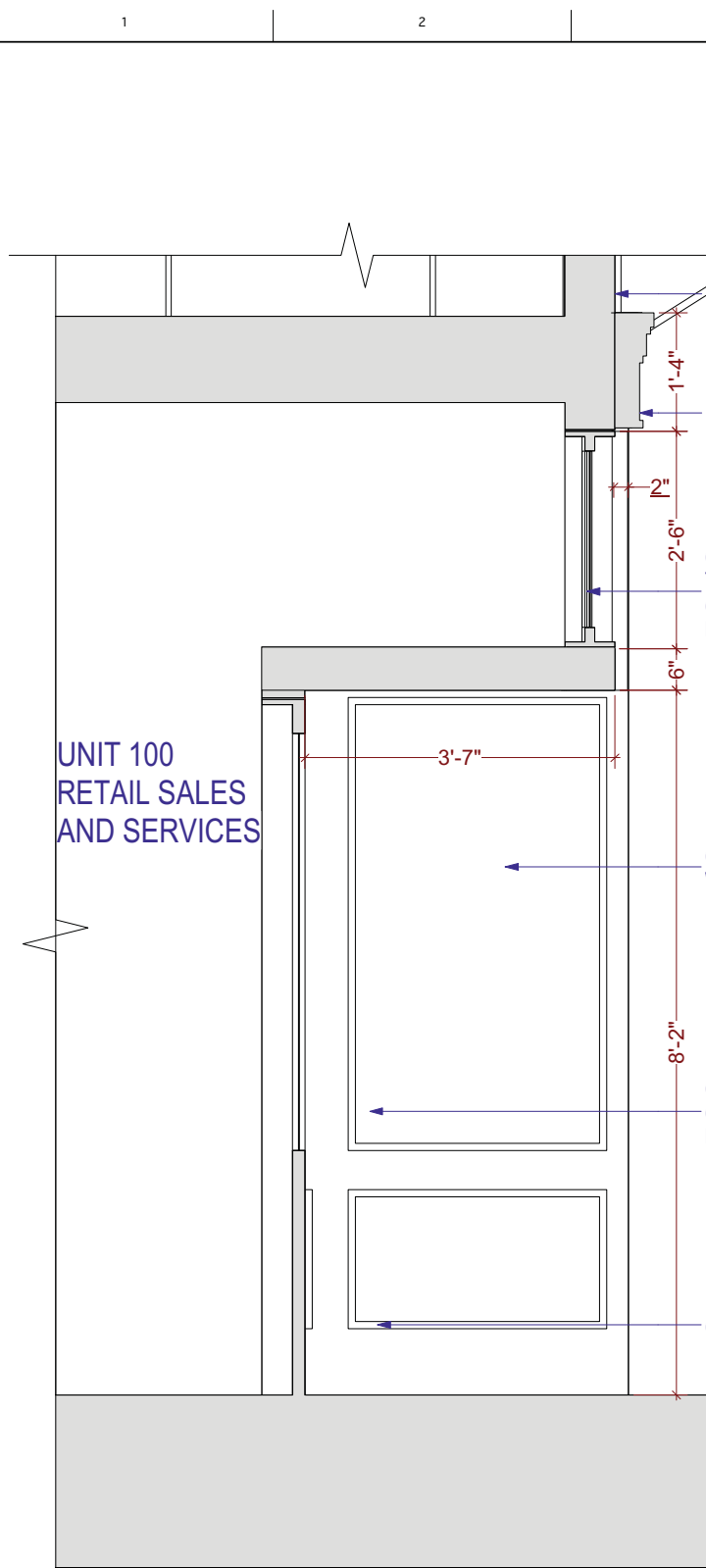
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A-5.5



Proposed Section through Recessed Storefront

3/8" = 1'-0"

(N) HORIZONTAL WOOD SIDING
DIMENSIONS TO MATCH (E)
HISTORIC CONDITIONS FOUND
ON SITE

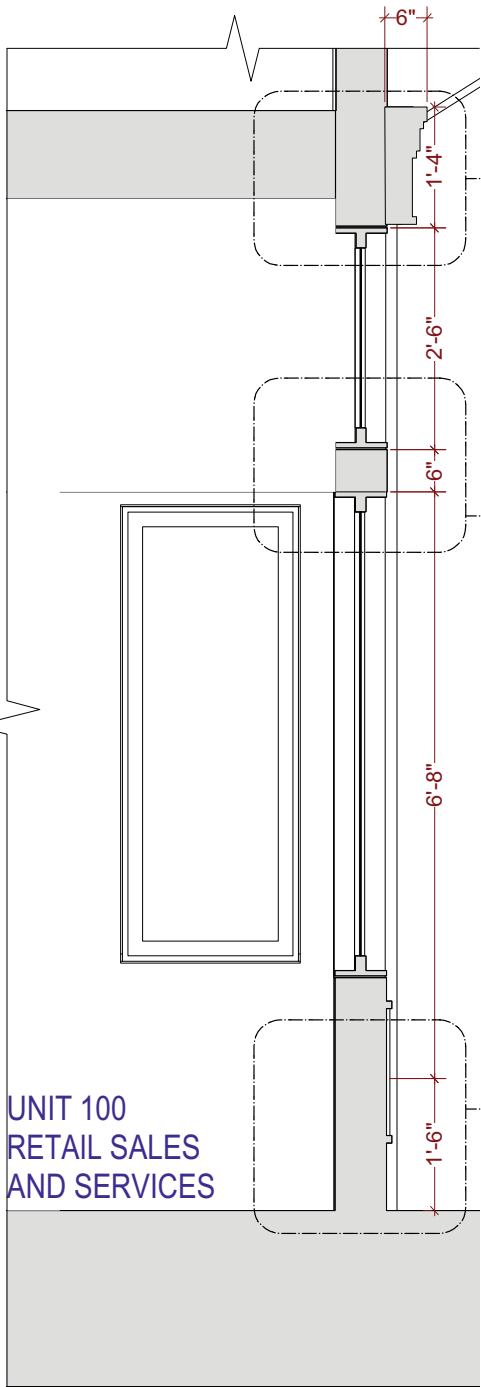
(E) ORIGINAL CORNICE TO BE
REVIVED *

(N) WOODEN DBL. GLZ.
TRANSOM.
(MAX U-FACTOR: 0.41,
MAX. RSHGC: 0.26)

(N) DBL. GLZ.
WOOD WINDOW

(N) WOODEN STOREFRONT.
(MAX U-FACTOR: 0.41,
MAX. RSHGC: 0.26)

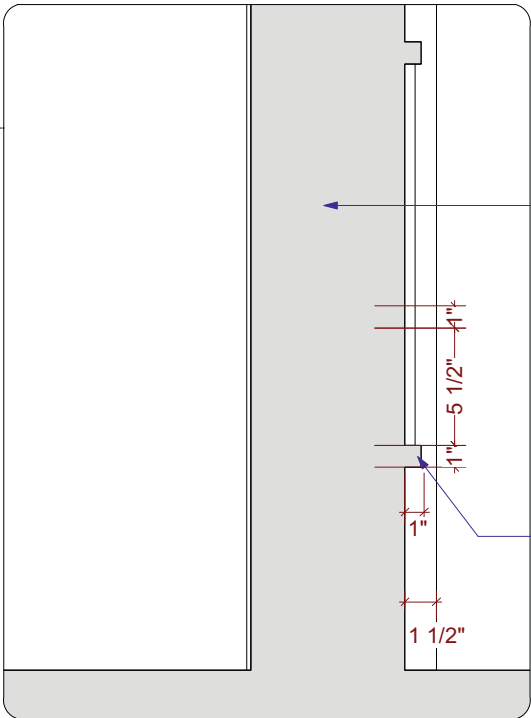
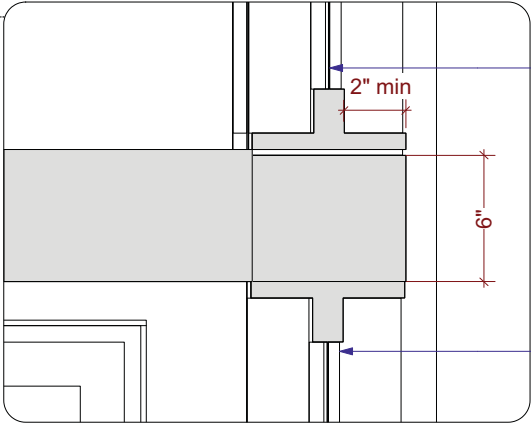
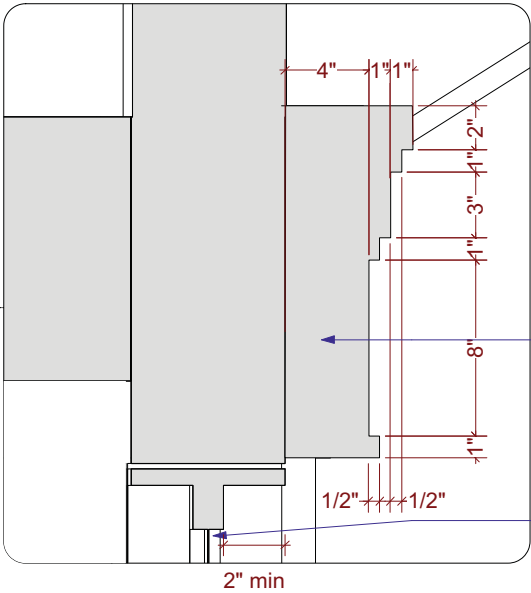
(N) REDWOOD 1X1



Proposed Section through Typical Storefront

3/8" = 1'-0"

*(E) ORIGINAL CORNICE TO BE
REVIVED PER HISTORICAL EVIDENCE
AND FIELD EXPLORATION. ANY
REPLACEMENT BEYOND HISTORICAL
EVIDENCE TO BE CONSULTED WITH
THE PLANNING DEPARTMENT.



Detailed Section through Storefront

3" = 1'-0"

(E) ORIGINAL
CORNICE TO BE
REVIVED *

(N) WOODEN DBL. GLZ.
TRANSOM.
(MAX U-FACTOR: 0.41,
MAX. RSHGC: 0.26)

(N) WOODEN DBL. GLZ.
TRANSOM.
(MAX U-FACTOR: 0.41,
MAX. RSHGC: 0.26)

(N) WOODEN STOREFRONT.
(MAX U-FACTOR: 0.41,
MAX. RSHGC: 0.26)

(N) WOODEN STOREFRONT.
(MAX U-FACTOR: 0.41,
MAX. RSHGC: 0.26)

(N) REDWOOD 1x1

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Storefront
Section

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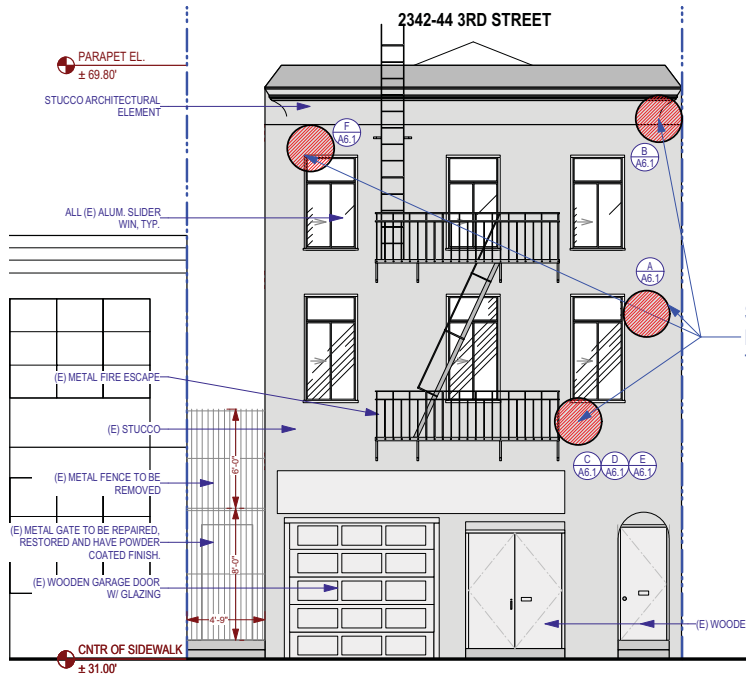
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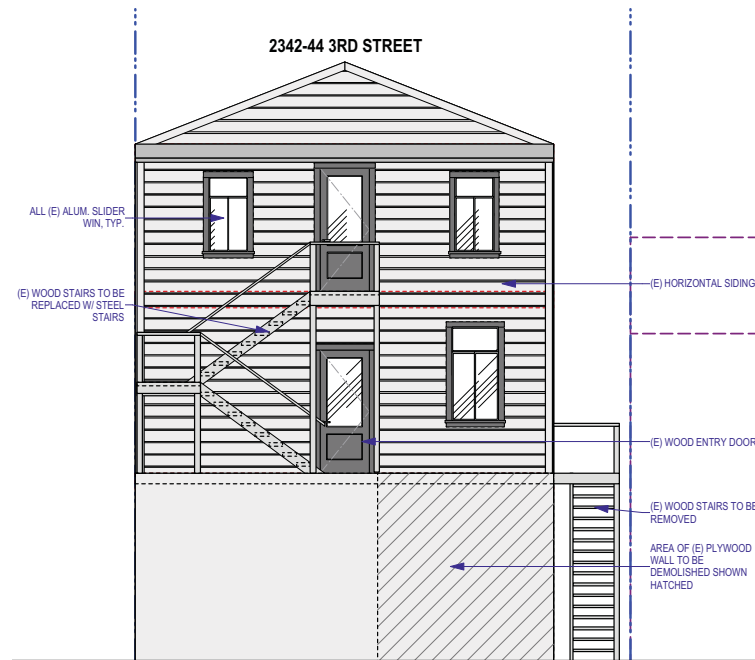
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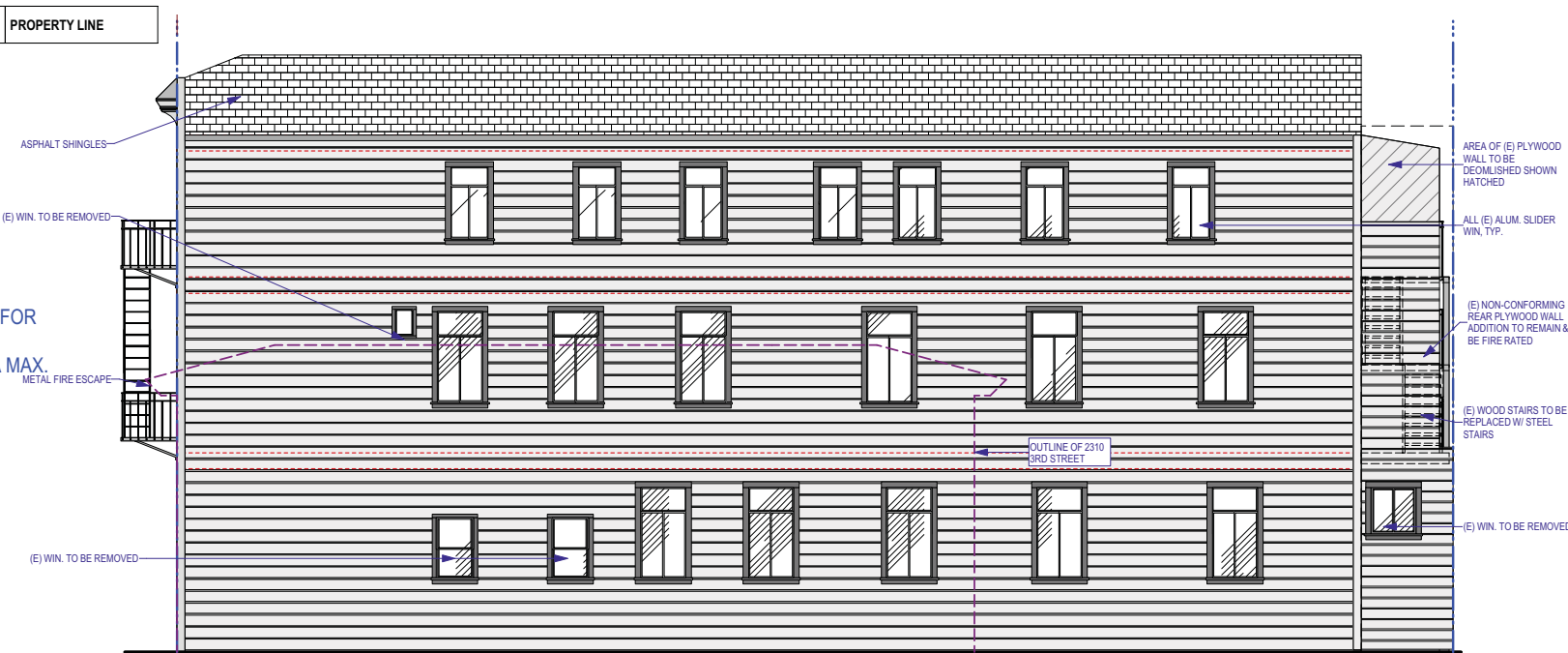
A-5.6



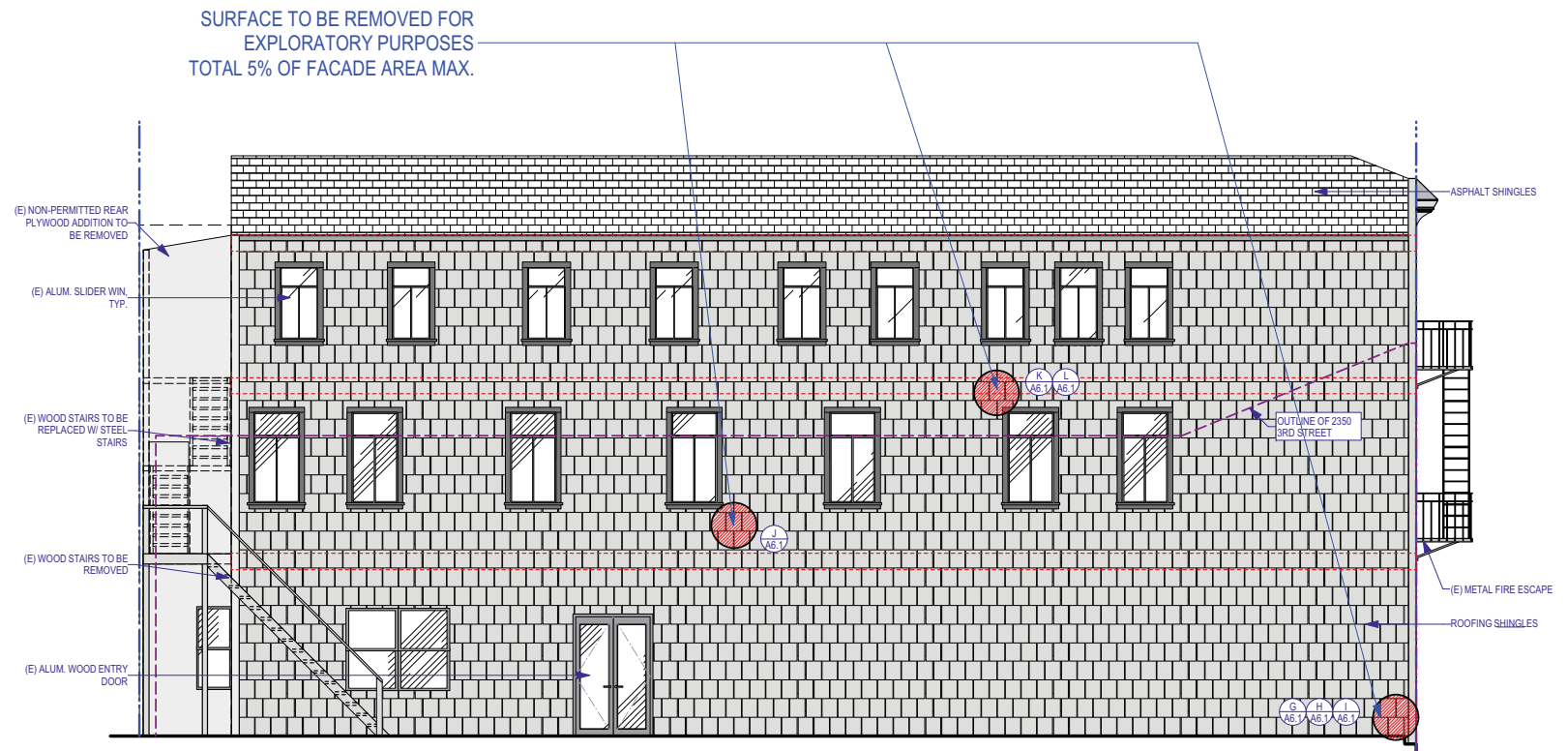
Existing Front Elevation (East)
3/16" = 1'-0"



Existing Rear Elevation (West)
3/16" = 1'-0"



Existing Right Elevation (North)
3/16" = 1'-0"



Existing Left Elevation (South)
3/16" = 1'-0"

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Exploratory Surface Removal Diagram

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A-6.0

ALL EXPLORATORY WORK UNDER BPA #201708235651



Front Façade



A



B



C



D

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Exploratory
Demo Photos (1)

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ALL EXPLORATORY WORK UNDER BPA #201708235651



E



F



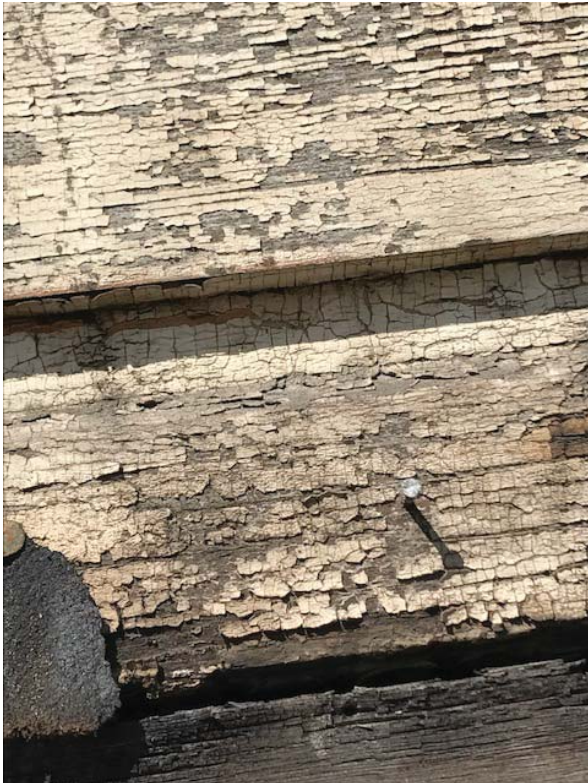
G



H



I



J



K



L

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Exploratory
Demo Photos (2)

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