

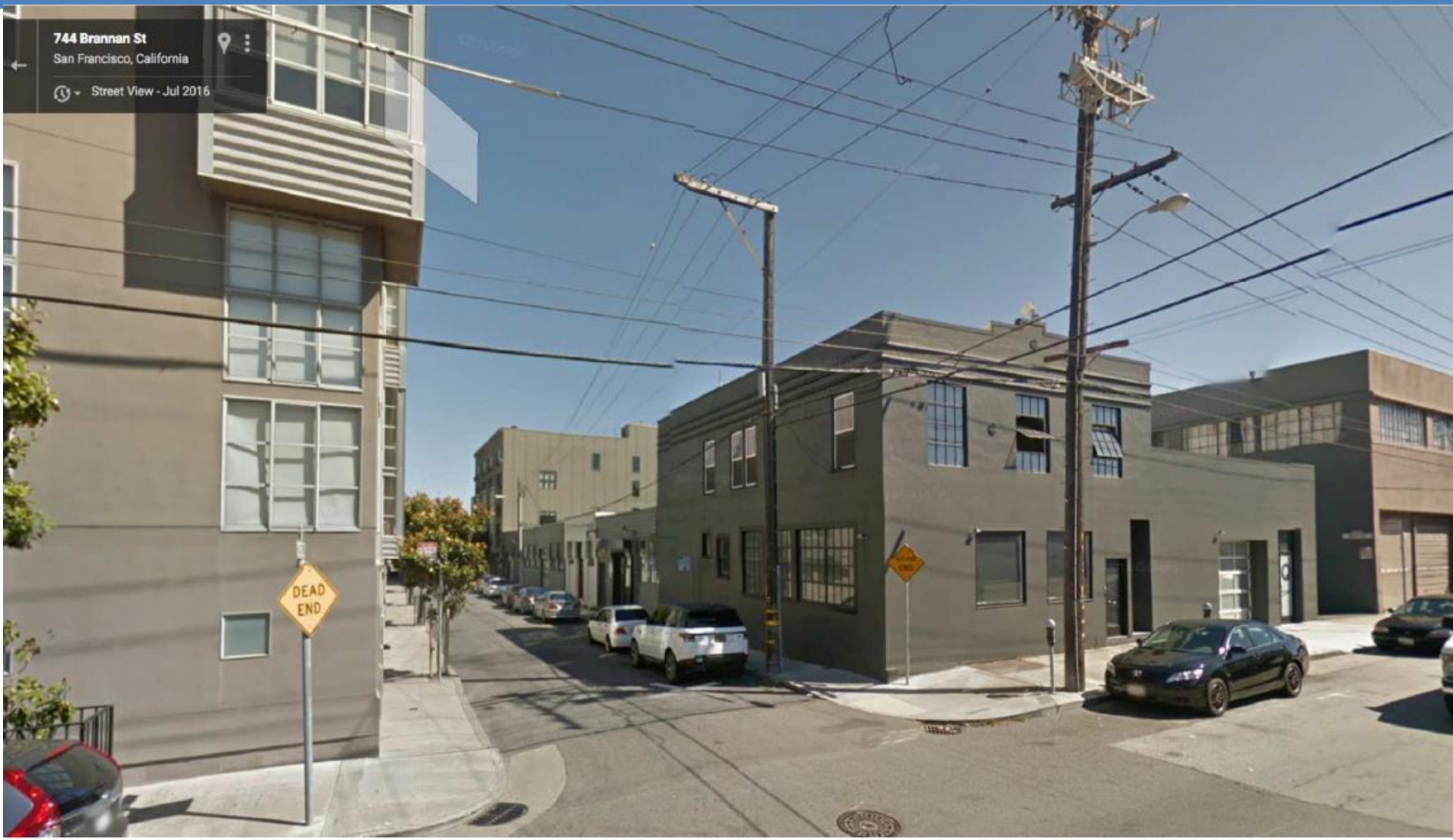


# 755 Brannan Street



# Existing Conditions

## 755 Brannan Street



# Project Features

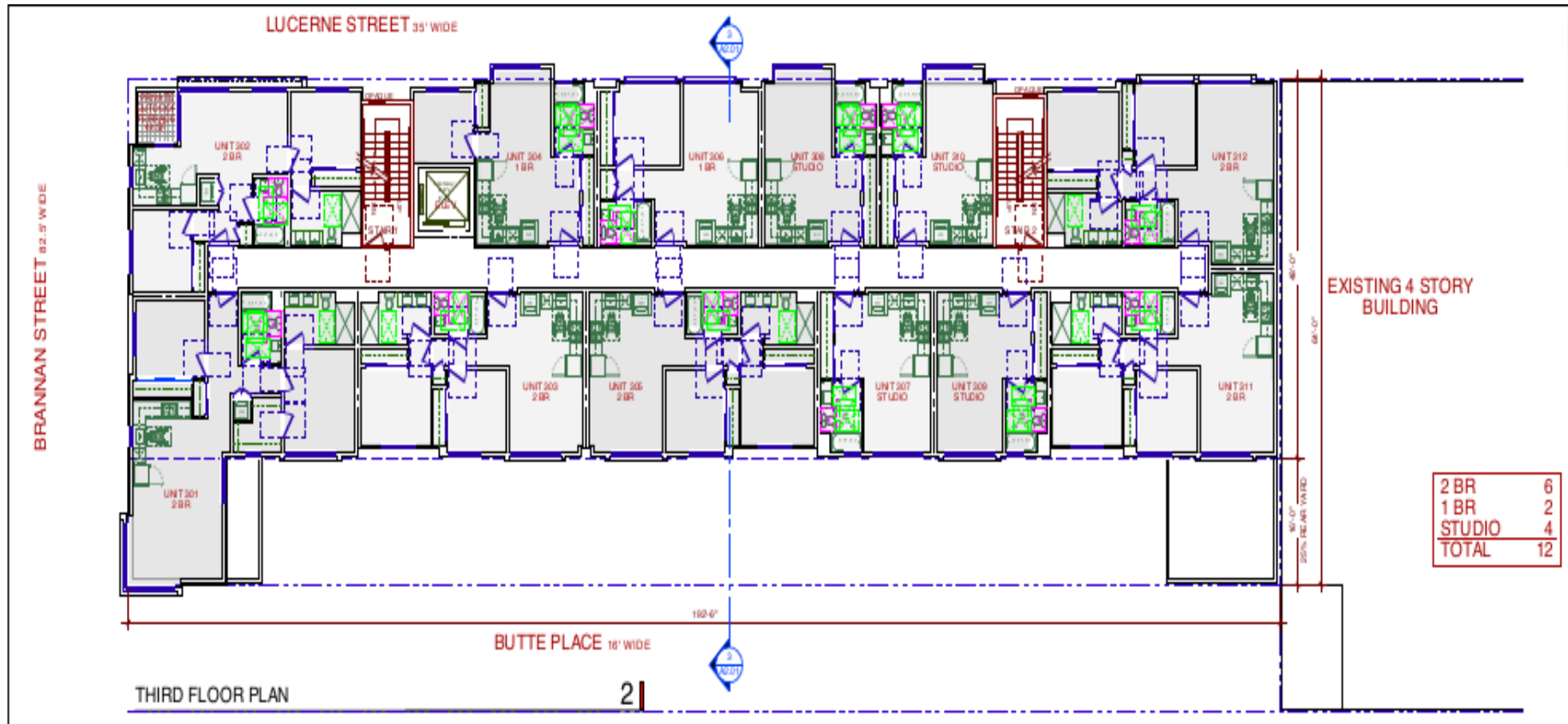
755 Brannan Street

- Located within the Western SoMa Plan Area
- 57 total dwelling units over five floors
- 46% 2 bedroom units, in excess of the 40% requirement
- 18% on-site affordable units, for a total of 8 BMR units
- Project Sponsor will pay the Affordable Housing Fee on the bonus units
- No vehicular parking on-site



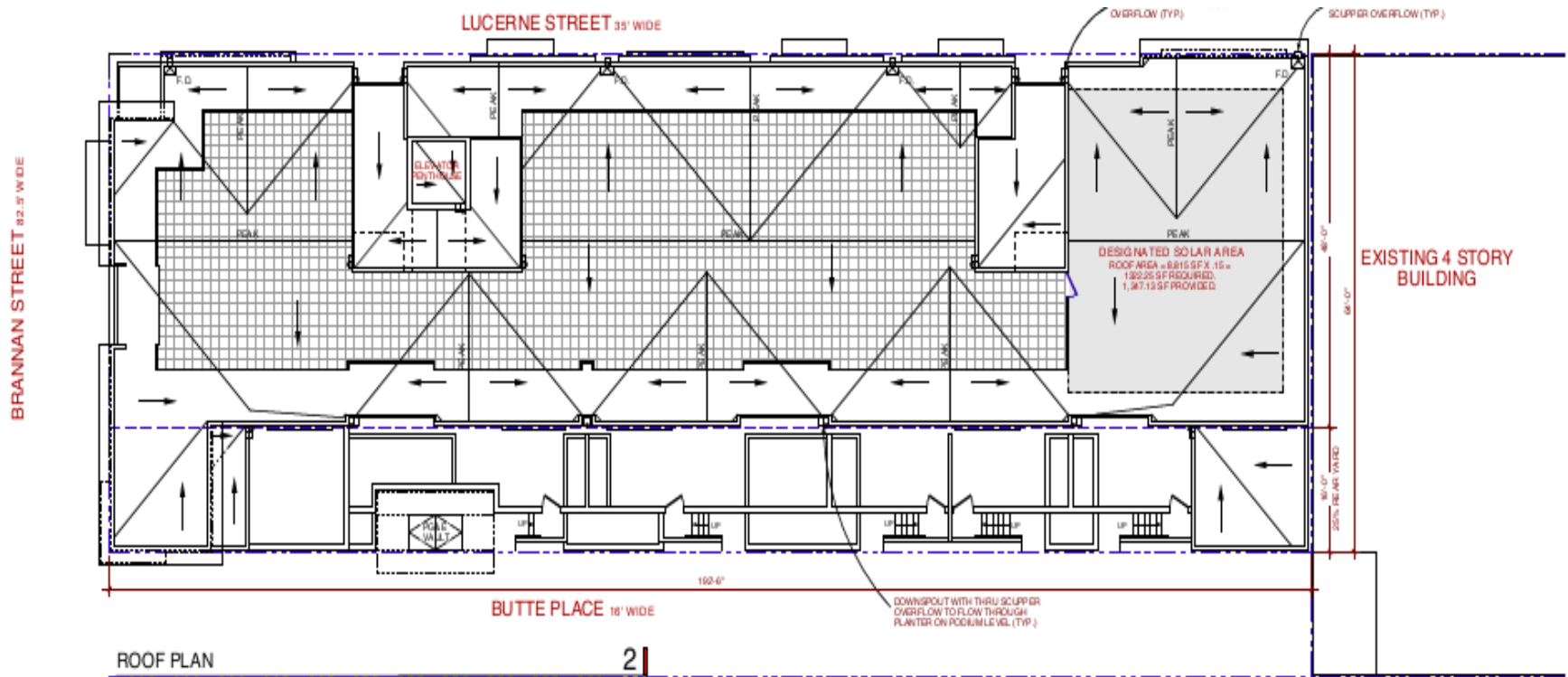
# 755 Brannan Street

## Design: Typical Upper Floor Plan



# Design: Roof Deck

# 755 Brannan Street





# Design: Lucerne Street & Butte Place Elevations

# 755 Brannan Street



PROPOSED DENSITY BONUS BUILDING

# 755 Brannan Street





# 755 Brannan Street



# Existing Conditions: Butte Place

## 755 Brannan Street



BRANNAN STREET AND BUTTE PLACE



Existing Conditions:  
50 Lucerne Street

755 Brannan Street





Existing Conditions:  
50 Lucerne Street Interior

755 Brannan Street



## BUILDING DEPARTMENT NOTES

**PROJECT LOCATION:** 755 BRANNAN STREET, SAN FRANCISCO, CA, BLOCK 374 LOT 181

**APPLICABLE BUILDING CODES:** 2016 SAN FRANCISCO BUILDING CODE (CONSISTS OF 2016 CALIFORNIA BUILDING CODE WITH 2016 SPECIFICATIONS AND 2016 CALIFORNIA ADOPTED BUILDING CODES (CBO) 2016 CALIFORNIA MECHANICAL, ELECTRICAL AND PLUMBING CODE (CM), 2016 SAN FRANCISCO FIRE CODE & SFPD, 2016 WIRELESS CODE, 2016 SAN FRANCISCO HOUSING CODE, SFPD 2016, SECTIONS 16.47 FOR EFFECTS OF CALIFORNIA FIRE CODE 2016, CALIFORNIA CODE 9.5.2 & 9.5.3 FOR GROUP 4 SUBDIVISIONS.

**OCCUPANCY CLASSIFICATIONS:** OCCUPIED ROOF TERRACE AND ONE UP TWO RESIDENTIAL.

**CONSTRUCTION TYPE:** TYPE II-A, ONE-HOUR, MODERATE FRAMED CONSTRUCTION (5 STORY B).

**BUILDING HEIGHT:** CIRC TABLE 5.10.3, REQUIRED FOR TYPE II-A, (WITH UTILITY INCREASE) = 11' HEIGHT. PROPOSED BUILDING HEIGHT = 11' BUILT. BUILDING COMPLEX.

**BUILDING NUMBER OF STORIES:** CIRC TABLE 5.10.3, REQUIRED FOR TYPE II-A, (WITH UTILITY INCREASE) = 5 STORIES. PROPOSED BUILDING IS 5 STORIES. BUILDING COMPLEX.

**BUILDING AREA:** CIRC TABLE 5.10.3, REQUIRED FOR TYPE II-A, (WITH UTILITY INCREASE) = 7,554 SF. PROPOSED BUILDING IS 7,554 SF. BUILDING COMPLEX.

**OCCUPANCY SEPARATION:** CIRC TABLE 5.10.3, GROUP 1, TYPE II-A, NO OCCUPANCY SEPARATION REQUIRED FOR BUILDING IS ONE OCCUPANCY.

**BUILDING ELEMENT FIRE RATING:** CIRC TABLE 5.10.3, EXTENDED FIRE RATING SHALL BE PROVIDED FOR ALL EXTERIOR WALLS AND ROOFS. BUILDING COMPLEX.

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## UNIT COUNT

755 BRANNAN STREET - UNIT COUNT						
Unit Type	1 BR	2 BR	3 BR	4 BR	5 BR	Total
1 BR	1	0	0	0	0	1
2 BR	0	1	0	0	0	1
3 BR	0	0	1	0	0	1
4 BR	0	0	0	1	0	1
5 BR	0	0	0	0	1	1
<b>Subtotal</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>5</b>
<b>Net of 10% (10% required)</b>						<b>4.5</b>

## BUILDING GROSS AREA

755 BRANNAN STREET - GROSS FLOOR AREA			
Unit Type	1 BR	2 BR	Total
1 BR	1,511	0	1,511
2 BR	0	1,511	1,511
3 BR	0	0	1,511
4 BR	0	0	1,511
5 BR	0	0	1,511
<b>Subtotal</b>	<b>1,511</b>	<b>1,511</b>	<b>3,022</b>
<b>Net of 10% (10% required)</b>			<b>2,719.8</b>

## BMR REQUIREMENTS

755 BRANNAN STREET - AFFORDABLE HOUSING UNITS						
Unit Type	1 BR	2 BR	3 BR	4 BR	5 BR	Total
1 BR	1	0	0	0	0	1
2 BR	0	1	0	0	0	1
3 BR	0	0	1	0	0	1
4 BR	0	0	0	1	0	1
5 BR	0	0	0	0	1	1
<b>Subtotal</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>5</b>

## VICINITY MAP



## PLANNING DEPARTMENT NOTES

**PROJECT LOCATION:** 755 BRANNAN STREET, SAN FRANCISCO, CA, BLOCK 374, LOT 181. 2% SLOPE DOWN FROM BRANNAN STREET HEADING SOUTH ALONG LUCERNE STREET AND BUTTE PLACE. BRANNAN STREET AND BUTTE PLACE ARE NORTH-SOUTH STREETS.

**LOT AREA:** 64' ALONG BRANNAN STREET X 160' 6" ALONG LUCERNE STREET AND BUTTE PLACE = 12,350 SF.

**EXISTING BUILDING:** NON-RESIDENTIAL, PARTIALLY TWO-STORY, 2,680 SF, BUILT IN 1947, CHS C 6L AND 6Z.

**ZONING DISTRICT:** RES-MX RESIDENTIAL ENCLAVE MIXED. LOCATED IN WEST TOWN SOMA.

**LARGE PROJECT AUTHORIZATION (LPA):** CIRC 506, LPA BEFORE THE PLANNING COMMISSION IS REQUIRED AS THE GROSS FLOOR AREA IS OVER 25,000 SF.

**RESIDENTIAL DENSITY:** NO DENSITY LIMIT, 40% 2-BR OR 30% 3-BR UNITS REQUIRED. SEE UNIT COUNT TABLE.

**BAY WINDOWS:** SECTION 1366(G)(C): REQUIRED THAT 1/3 OF GLASS ARE BE REQUIRED OUTLIER TO THE PROPERTY LINE. THIS PROJECT CONTAINS BAY WINDOWS THAT DO NOT COMPLY WITH THIS SECTION. SEEDING DENSITY BONUS WAIVER FOR THIS IS SUE.

**DWELLING UNITS PER AN OPEN AREA:** SEC. 1400(VI): ALL UNITS ARE REQUIRED TO FACE A STREET OR PUBLIC ALLEY AT LEAST 20' WIDE. ALL UNITS FACING BUTTE PL. (16' WIDE) HAVE COMPLING WINDOWS SET BACK MINIMUM OF 16' FROM PL. THEREFORE FACING A PUBLIC ALLEY OF 32' (16' ALLEY WIDTH + 16' SETBACK) = 32'.

**HEIGHT / FLOOR LIMIT:** 45'.

PROPOSED DENSITY BONUS BUILDING: 58' TALL. SUBJECT TO DENSITY BONUS WAIVER.

SEC. 206(A)(I): ALLOWS MEASUREMENT OF HEIGHT FROM CL OF CURB AT ANY STREET FRONTAGE. HEIGHT IS TAKEN FORM CL OF CURB AT BRANNAN STREET.

SEC. 206(A)(I): ALLOWS THE HEIGHT TAKEN FOR ONE HALF DISTANCE OF WIDTH OF BLOCK. WIDTH OF BLOCK = 550' (2-275' = 155'-6"). PROPOSED BUILDING IS ALLOWED TO TAKE HEIGHT FROM BRANNAN STREET FOR THE ENTIRE LOT DEPTH (150'-6").

TABLE 5.10.3: NOT APPLICABLE AS SITE HAS 2% SLOPE < 5%.

SEC. 201.18(1): LUCERNE ST. AND BUTTE PL. ARE TWO STREETS. 10' SETBACK REQUIRED BY BACK FROM BRANNAN ST. AT 1.2% WIDTH OF STREET. 10' SETBACK REQUIRED.

AT LUCERNE ST., 35' WIDE X 1.2% = 45.75' DENSITY BONUS BUILDING IS SEEDING DENSITY BONUS WAIVER TO ALLOW 58' TALL BUILDING.

AT BUTTE PL., 16' WIDE X 1.2% = 20' A 10' SETBACK 20' UP AT BUTTE PL. IS REQUIRED. PROPOSED DENSITY BONUS BUILDING WILL BE 58' WITH 10' SETBACK AT BUTTE PL. BUILDING COMPLEX.

**REAR YARD SETBACK:** 25% REAR YARD REQUIRED (12,350 x .25 = 3,088 SF REQUIRED). DENSITY BONUS BUILDING SHALL PROVIDE 21% REAR YARD AT GRADE (2,665 SF PROVIDED). SUBJECT TO DENSITY BONUS WAIVER.

**FRONT SETBACK:** NOT REQUIRED.

**USABLE OPEN SPACE:** 80 SF PRIVATE AND COMMON USABLE OPEN SPACE REQUIRED. COMMON USABLE OPEN SPACE NOT ALLOWED ON ROOF IN WESTERN SOMA.

PROPOSED DENSITY BONUS BUILDING: 7 UNITS CONTAIN PRIVATE TERRACES MEETING OR EXCEEDING 60 SF. COMMON OUTDOOR TERRACE AT GROUND FLOOR PROVIDES 24 SF WHICH SATISFIES 2 UNITS COMMON USABLE OPEN SPACE (18 SF X 2 = 36 SF = 24 SF PROVIDED). 48 SF X 2 = 96 SF X 2 = 192 SF PER UNIT = 2,640 SF COMMON AREA REQUIRED. 2,640 SF PROPOSED ON ROOF. WEST TOWN SOMA DOES NOT ALLOW ROOF TERRACES TO MEET THIS REQUIREMENT. SUBJECT TO DENSITY BONUS WAIVER.

**FLOOR AREA RATIO (FAR):** NOT APPLICABLE TO RESIDENTIAL UNITS.

**AUTO PARKING:** UP TO .5 SPACE PER RESIDENTIAL UNIT PERMITTED. PROPOSED DENSITY BONUS BUILDING: 57 UNITS X .75 = UP TO 43 PARKING SPACES PERMITTED AND 6 SPACES PROVIDED.

**BICYCLE PARKING:** ONE CLASS 1 SPACE PER RESIDENTIAL UNIT REQUIRED. PROPOSED DENSITY BONUS BUILDING: 57 UNITS = 57 BICYCLE SPACES REQUIRED AND 56 SPACES PROVIDED.

ONE CLASS 2 SPACE PER 20 UNITS REQUIRED: 57 / 20 = 3 CLASSES 2 SPACES PROVIDED.

**FREIGHT LOADINGS:** NOT REQUIRED. ONE SPACE REQUIRED FOR PROJECTS OVER 10,000 SF. PROPOSED DENSITY BONUS BUILDING GSF = 47,111 GSF < 100,000 GSF.

**TOWN REQUIREMENT:** ONE ADDITIONAL CLASS 1 BICYCLE SPACE, BICYCLE REPAIR STATION AND DELIVERY SUPPORT AMENITY ARE PROPOSED TO ATTAIN 15 POINTS > 14 POINTS REQUIRED. BUILDING COMPLEX.

## DRAWING INDEX: DENSITY BONUS PROJECT

REV.	DATE	DESCRIPTION
1	07/26/19	INITIAL DESIGN
2	08/01/19	REVISIONS
3	08/01/19	REVISIONS
4	08/01/19	REVISIONS
5	08/01/19	REVISIONS
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99	08/01/19	REVISIONS
100	08/01/19	REVISIONS

## SCOPE OF WORK

DEMOLITION OF EXISTING ONE-STORY COMMERCIAL BUILDING ON ONE LOT.

**PROPOSED NEW DENSITY BONUS BUILDING:** DENSITY BONUS ALLOWED TO BE 5% ADDITIONAL GROSS SQUARE FEET (GSF) OVER BASE BUILDING GSF. 34,433 GSF BASE BUILDING X 1.05 = 45,786 GSF ALLOWED.

PROPOSED DENSITY BONUS BUILDING SHALL CONTAIN 45,786 GSF. 34,433 X 1.05 = 45,786 GSF ALLOWED = 45,786 GSF PROPOSED.

## DESIGN OR CONCEPT NARRATIVE

DESIGN WILL PLANNED RESIDENTIAL UNIT PLANS TO PROVIDE AFFORDABLE LIVING EXPERIENCE FOR THE END USERS. DESIGN EXTERIOR ELEVATIONS TO REFLECT A CLASSIC SAN FRANCISCO AESTHETIC WHILE PROVIDING AN ATTRACTIVE PROJECT.

STERNBERG  
BEN JAMIN  
ARCHITECTS

**DENSITY BONUS PROJECT**  
755 BRANNAN STREET  
BLOCK 374 LOT 181  
SAN FRANCISCO, CA

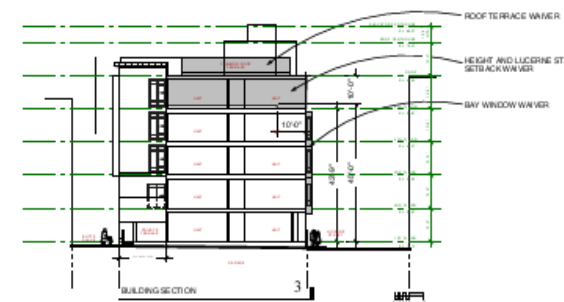
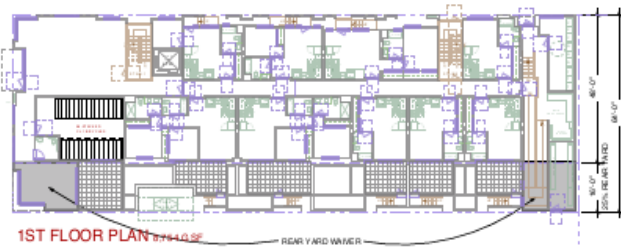
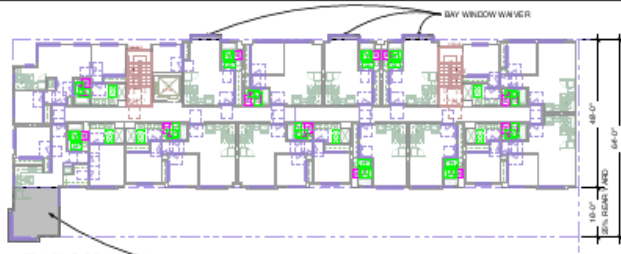
**COVER SHEET**

PPA 03/01/17  
LPA 03/01/18  
RCR1 08/01/18  
RCR2 12/01/18  
PG&E REV 06/01/19  
REV 07/01/19  
REV 08/01/19

Rev. Issued Date

Date: 01/01/17  
Scale: 1/8" = 1'-0"  
Site at:

**A0.00**



STEVEN J. C.  
SJC  
No. 51088  
State of California

DENSITY BONUS PROJECT  
755 BRANNAN STREET  
BLOCK 3784 LOT 181  
SAN FRANCISCO, CA

DENSITY BONUS WAIVER  
DIAGRAMS

REA 08/2017  
LDA 02/2018  
RCORP 1 08/19/18  
RCORP 2 12/27/18  
PG&E REV 26/11/19  
REV 01/05/19

Rev. Issue Date  
Date: 01/2017  
Rev: 05  
Rev:

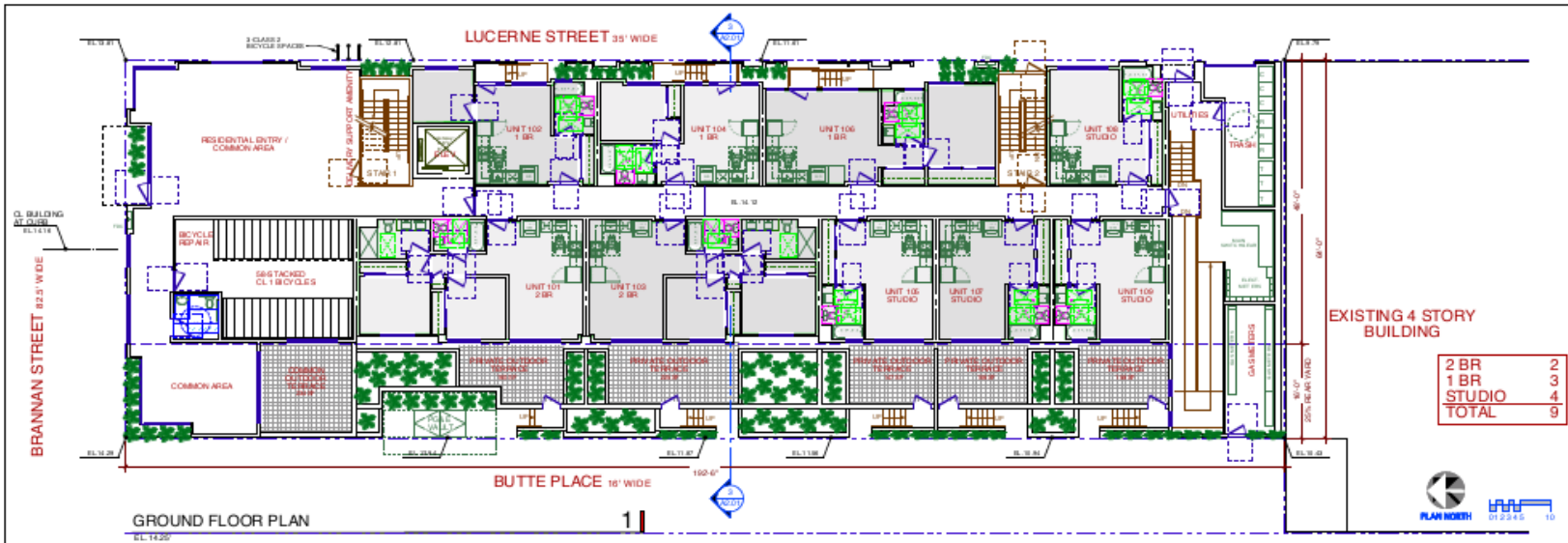
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CASE NO. 2017-0000000000









**DENSITY BONUS PROJECT**  
755 BRANNAN STREET  
BLOCK 3784 LOT 181  
SAN FRANCISCO, CA

**PROPOSED GROUND FLOOR PLAN**

RPA 09/02/17  
 LPA 09/19/18  
 NORS 1 09/19/18  
 NORS 2 12/07/18  
 PG&E REV 06/10/19  
 REV 07/06/19  
 REV 08/01/19

Date: 01/20/17  
 Scale: 1/8" = 1'-0"  
 Plot Size: 15'

**A1.01**



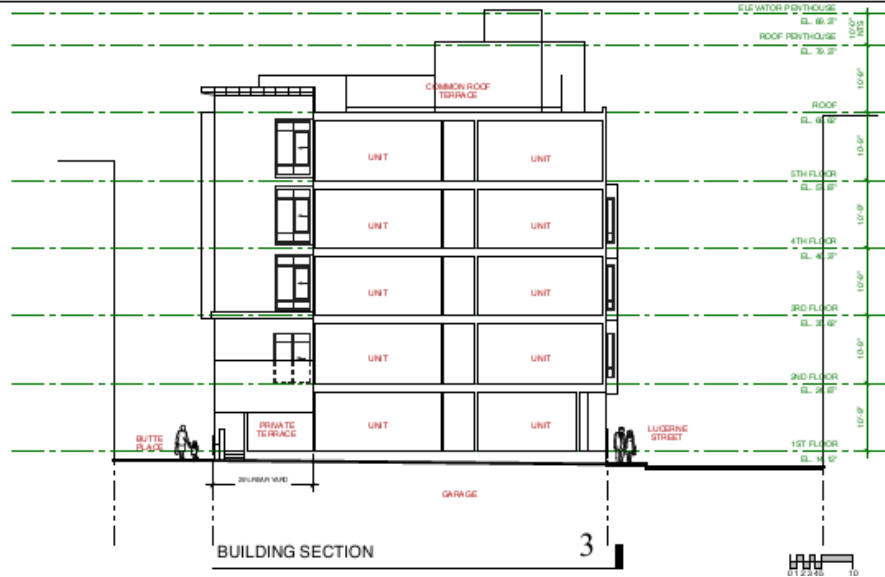












**STERLING STANFORD ARCHITECTS**  
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 Fax: 415.774.8801  
 Email: info@sterlingstano.com

**DENSITY BONUS PROJECT**  
 755 BRANNAN STREET  
 BLOCK 3784 LOT 181  
 SAN FRANCISCO, CA

**EAST AND WEST (STREET) ELEVATIONS**

PP A	03/02/17
PP B	03/02/17
PP C	03/02/17
PP D	03/02/17
PP E	03/02/17
PP F	03/02/17
PP G	03/02/17
PP H	03/02/17
PP I	03/02/17
PP J	03/02/17
PP K	03/02/17
PP L	03/02/17
PP M	03/02/17
PP N	03/02/17
PP O	03/02/17
PP P	03/02/17
PP Q	03/02/17
PP R	03/02/17
PP S	03/02/17
PP T	03/02/17
PP U	03/02/17
PP V	03/02/17
PP W	03/02/17
PP X	03/02/17
PP Y	03/02/17
PP Z	03/02/17

**A2.02**



**DENSITY BONUS PROJECT**  
755 BRANNAN STREET  
BLOCK 3784 LOT 181  
SAN FRANCISCO, CA

WEST (BUTTE PLACE)  
ELEVATION

PPA	03/02/17
LPA	02/12/18
NOPR 1	06/19/18
NOPR 2	12/27/18
PG&E REV	06/10/19
REV.	07/26/19
REV.	08/20/19

Date / Month / Year
Diary

Date:	01/01/17
Read at:	1:00 pm 1-00
Drawn at:	124
Site at:	

## A2.03





**A3.01**







755 BRANNAN STREET  
San Francisco, CA

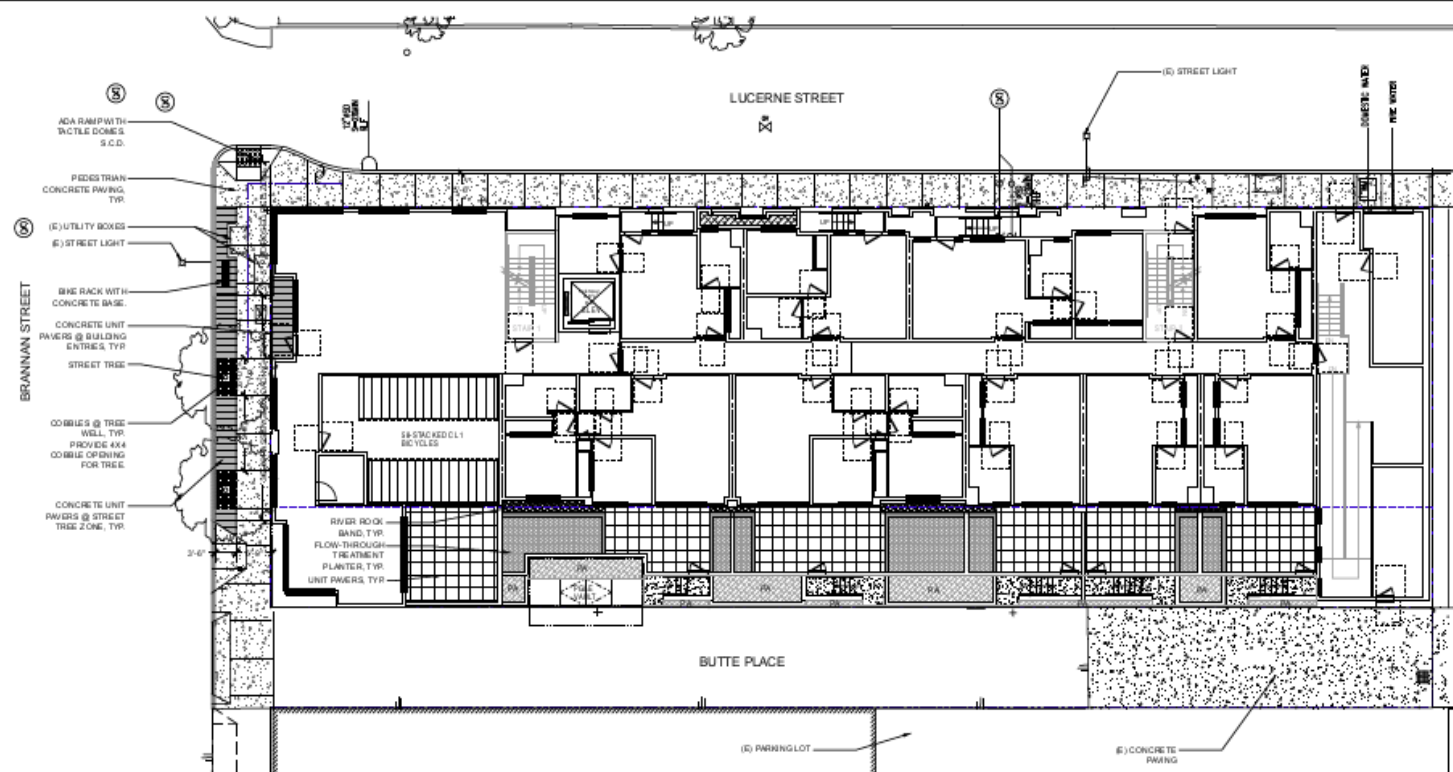
REV	DATE	DESCRIPTION
1	1/18/19	ISSUE FOR CONSTRUCTION

PROJECT: 1806  
DRAWN BY: GL  
CHECKED BY: JM  
SCALE: 1/8" = 1'-0"

DRAWING TITLE  
LANDSCAPE  
SITE PLAN

UNIVERSITY MICROFILMS

L1.0



SCHEDULE OF MATERIALS AND FURNISHINGS - STREET LEVEL

SYMBOL	TYPE	MANUFACTURER	MODEL	MATERIAL	COLOR	FINISH	NOTES
<b>PAVING</b>							
	CONCRETE UNIT PAVERS @ STREET TREE ZONE	STEPS TONE	LARGE SCALE NARROW MODULAR CALARCH PAVES	HARDROCK CONCRETE, TYPE II CEMENT	TBD	TBD	
	COBBLES @ STREET TREE ZONE	LYNGSD	650.364.1730	COBBLE: 4" X 4" X 4" RAIN YELLOW GRANITE SPLIT CUBES & COBBLES GRAVEL INFILL: 1/2" DESERT GOLD	GOLD/YELLOW		
<b>SITE FURNISHING</b>							
	BK RACK	BK PARKING.COM	WELLS CIRCULAR RACK SQUARE TUBE, SURFACE FLANGE (WORLD-90-SF-G)	HOT-DIPRED GALVANIZED	NATURAL	GALVANIZED	SURFACE MOUNTED
<b>PLANTING</b>							
	PLANTING AREA						

SCHEDULE OF MATERIALS AND FURNISHINGS - STREET LEVEL

SYMBOL	TYPE	MANUFACTURER	MODEL	MATERIAL	COLOR	FINISH	NOTES
<b>PAVING</b>							
	PATIO PAVING	TBD	24X24 PAVING				
	RIVER ROCK BAND	LYNGSD GARDEN	650.364.1730	1-3" BLACK LARAZ PEBBLES	BLACK	UNPOLISHED	
<b>PLANTING</b>							
	FLOW-THROUGH TREATMENT PLANTER			CONCRETE	NATURAL		



SCALE: 1/8" = 1'-0"