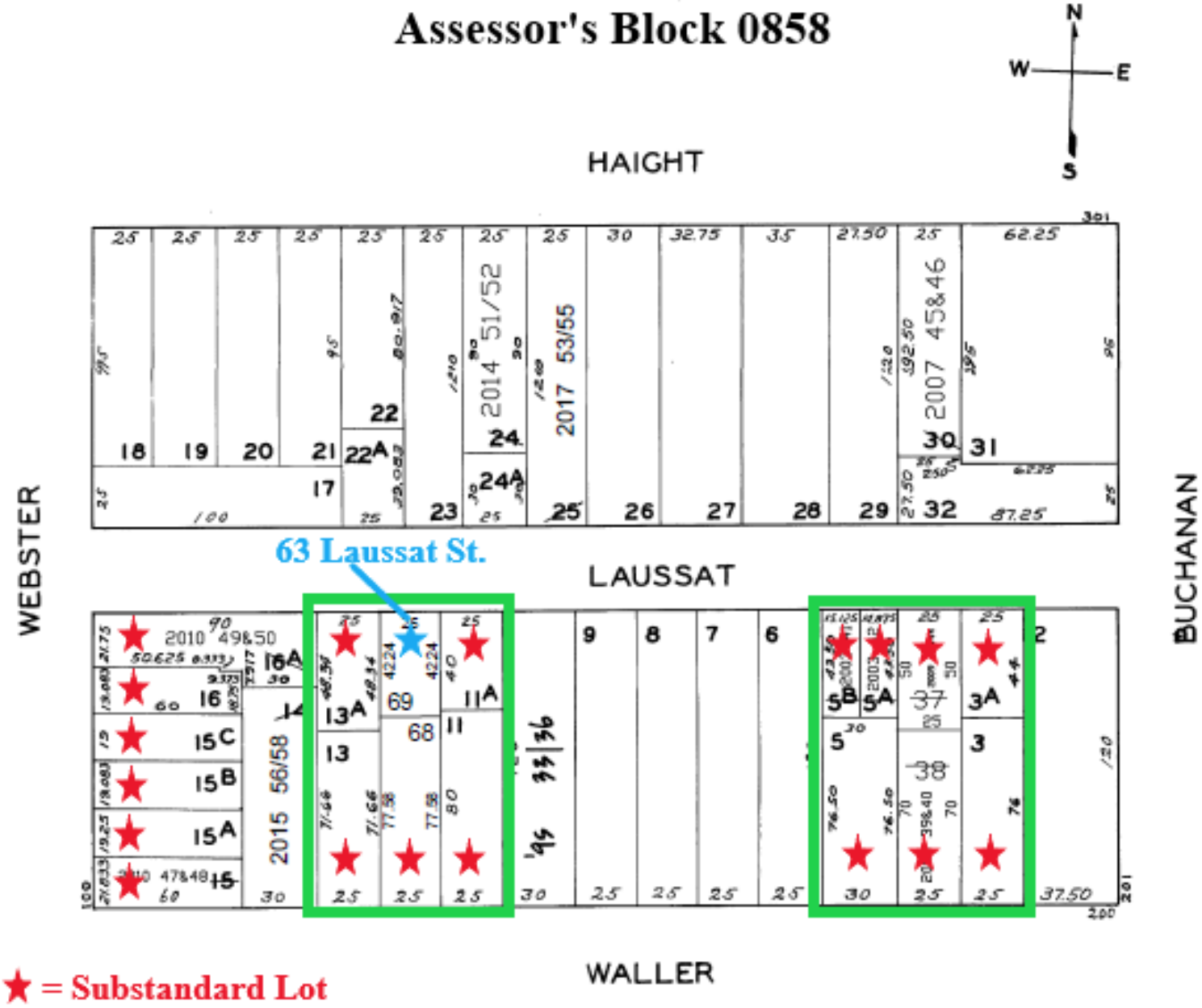
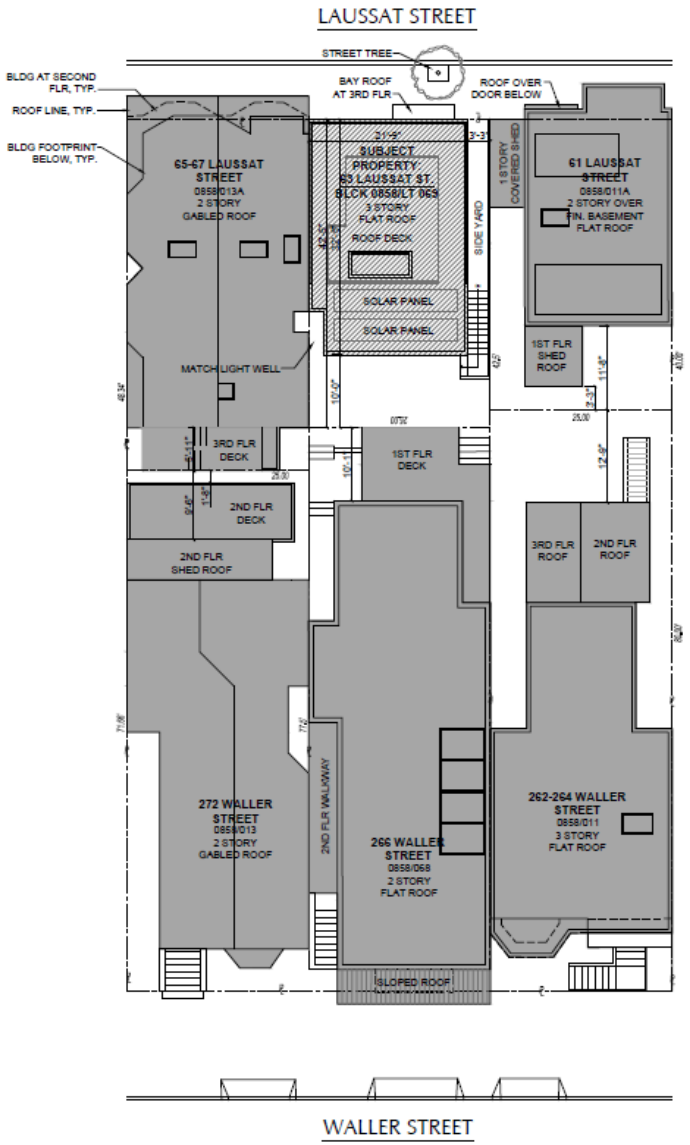
Planning Commission Hearing
63 Laussat Street
July 25, 2019

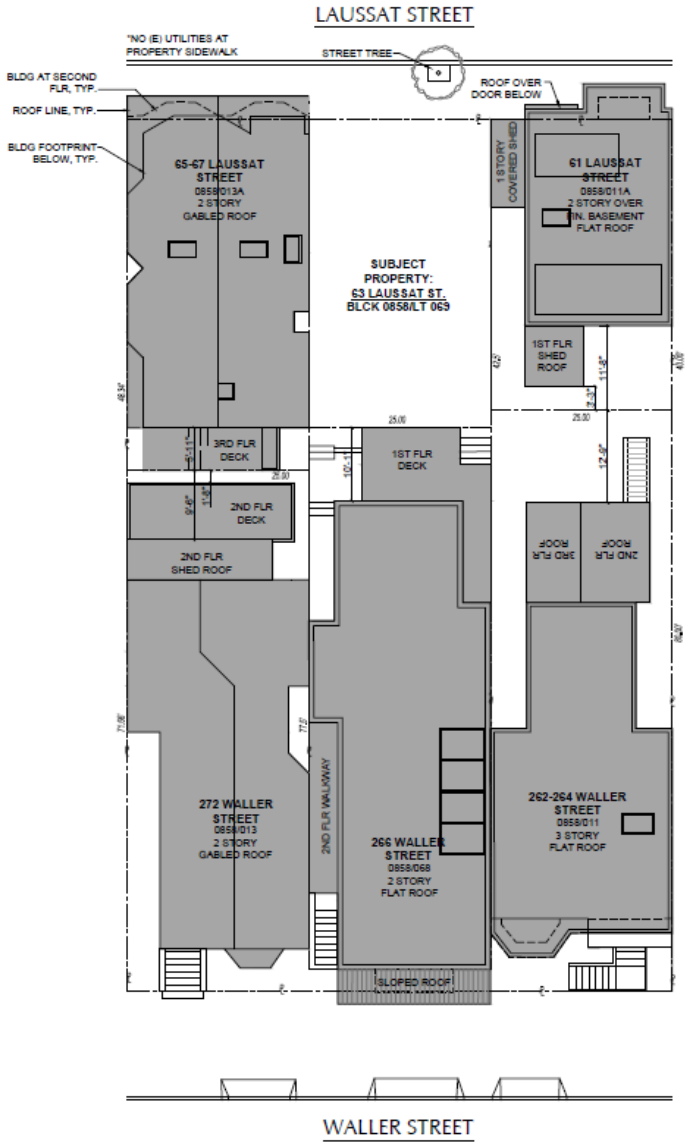
Project Sponsor: Marin Tchakarov
Project Architect: Leslie Arnold
Counsel: Justin A. Zucker

Assessor's Block 0858





2 PROPOSED SITE PLAN
1/8"=1'-0"



1 EXISTING SITE PLAN
1/8"=1'-0"

0' 4' 8' 16' 32'

NORTH

REVISIONS
SITE PERMIT 5/5/2018

LESLIE ARNOLD • ARCHITECT
63 Vista Street San Francisco California 94117
tel 415 713 2900 fax 415 331 5196

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS AS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF LESLIE ARNOLD ARCHITECTURE AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT NONE OF THESE IDEAS, DESIGNS, ARRANGEMENTS OF PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF LESLIE ARNOLD ARCHITECTURE

LICENSED ARCHITECT
C23245
STATE OF CALIFORNIA

New Construction:
63 Laussat street
San Francisco, CA 94102

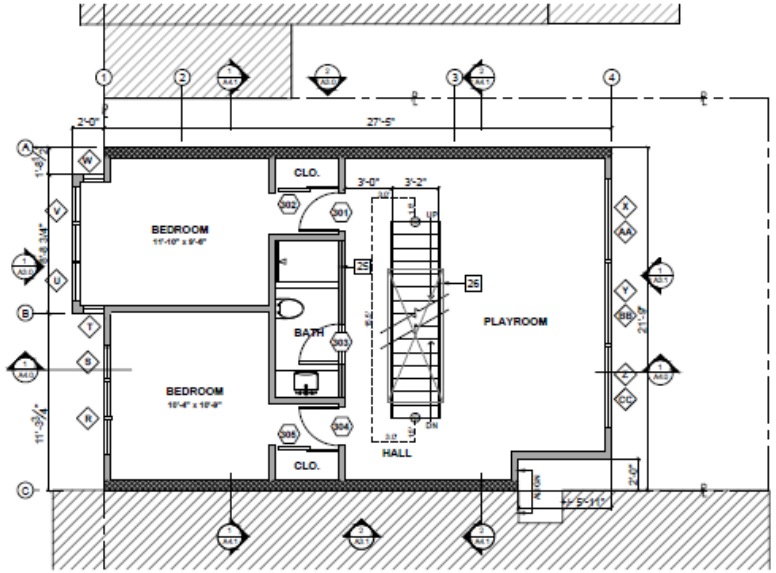
EXISTING & PROPOSED
SITE PLAN

Date: 5/30/2018
Scale: AS NOTED
Drawn: TI/LA
Job: 63 LAUSSAT
Sheet:
A1.0
of Sheets

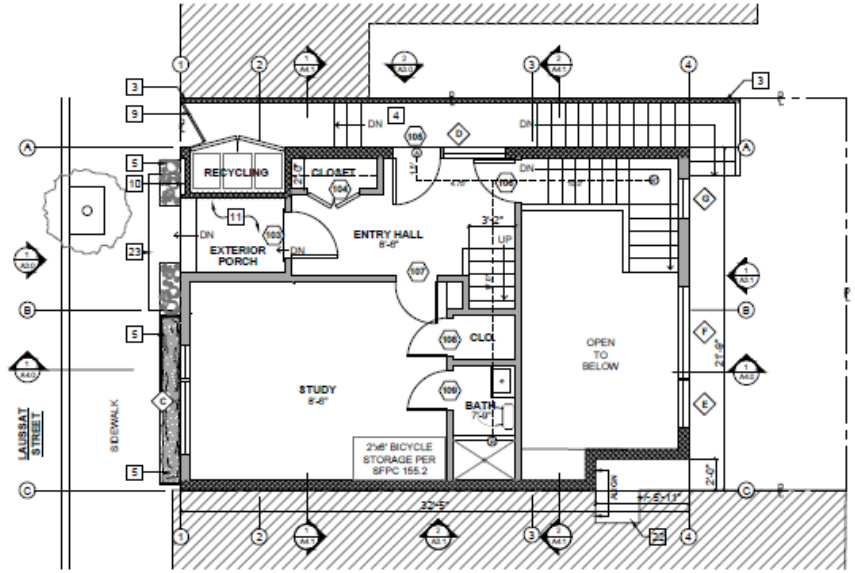
KEY NOTES - (E) FLOOR PLANS:

1. FIRE-RATED CLASS 'B' ROOF ASSEMBLY
2. 1 HOUR FIRE-RATED ROOF/DECK ASSEMBLY
3. 1 HOUR FIRE-RATED PROPERTY LINE FENCE
4. 3'-0" WIDE INGRESS/EGRESS EASEMENT
5. PLANTER BOX AND GROUND LEVEL PLANTING STRIP PER SF PUBLIC WORKS LANDSCAPE REQUIREMENTS
6. PLANTER BOXES
7. SOLAR PANELS; EXACT SIZE, NUMBER & LOCATION TBD.
8. SKYLIGHT
9. METAL & WOOD GATE
10. METAL & WOOD GREEN WALL
11. CEMENT TILE FLOOR
12. 3" HORIZONTAL WOOD SIDING W/ 3/8" REVEAL
13. HORIZONTAL WOOD RAILING SUPPORTED ON METAL FRAME
14. ALUMINUM WINDOW
15. ALUMINUM DOOR
16. METAL FLASHING, PAINTED
17. WOOD CAP ON 42" HIGH GUARD RAIL
18. 6"x12" CONCRETE TILES
19. EXTERIOR CEMENT PLASTER
20. PAINTED HARDIE PANEL SIDING W/ CONCEALED FASTERNERS
21. ROOF CURB, , FIRE-RATED, TYP.
22. ADJACENT LIGHTWELL AT 65-67 LAUSSAT
23. BAY ABOVE
24. OPEN ABOVE
25. CLERESTORY WINDOWS ABOVE
26. GLASS ROOF ACCESS HATCH
27. BAY WINDOW PER SFPC SECTION 136
28. 1" WOOD TRIM AROUND DOORS, WINDOWS, AND HORIZ. WOOD SIDING
29. CRAWL SPACE ACCESS DOOR

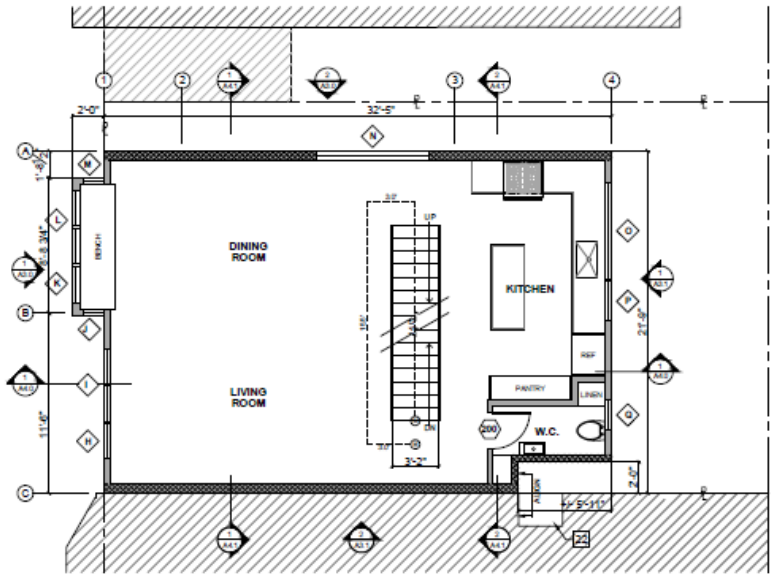
TOTAL SQUARE FEET: 2,014



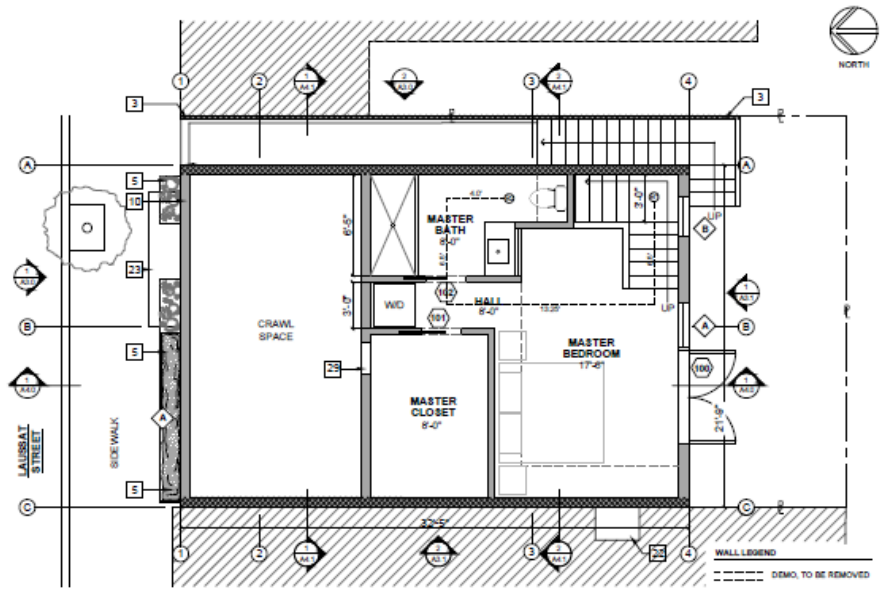
4 FLOOR PLAN: 3RD FLOOR 584SF
1/4"=1'-0"



2 FLOOR PLAN: 1ST FLOOR 421SF
1/4"=1'-0"



3 FLOOR PLAN: 2ND FLOOR 433SF
1/4"=1'-0"



1 FLOOR PLAN: LOWER FLOOR 584SF
1/4"=1'-0"

0' 2' 4' 8' 16'

WALL LEGEND
- DEMO. TO BE REMOVED
- EXISTING, TO REMAIN
- NEW WALL
- NEW WALL, FIRE-RATED
- PATH OF EXIT TRAVEL

LONGEST PATH OF EXIT TRAVEL DISTANCE = 23.25' + 35.5' + 24.5' + 36' = 119.25'
124.0' < 125.0 FEET IN A SPRINKLERED BUILDING

REVISIONS
SITE PERMIT 6/5/2018

LESLIE ARNOLD • ARCHITECT
63 Verna Street San Francisco California 94127
tel 415 715 2960 fax 415 331 3106

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS AS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF LESLIE ARNOLD ARCHITECTURE AND WERE CREATED, PLANNED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT. NONE OF THESE IDEAS, DESIGNS, ARRANGEMENTS OF PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF LESLIE ARNOLD ARCHITECTURE.

LICENSED ARCHITECT
C23245
STATE OF CALIFORNIA

New Construction:
63 LAUSSAT STREET
SAN FRANCISCO, CA 94102

PROPOSED FLOOR PLANS

Date: 7/ 9/ 2019
Scale: AS NOTED
Drawn: TN/LA
Job: 63 LAUSSAT
Sheet:
A2.0
of Sheets

1 **FRONT ELEVATION WITH ADJACENT PROPERTIES**

1/4"=1'-0"

0' 2' 4' 8' 16'

Revised Plans

SITE PERMIT SET FOR:

63 LAUSSAT STREET
SAN FRANCISCO, CA 94102

OWNER:

MARIN TCHAKAROV
266 WALLER STREET
SAN FRANCISCO, CA 94102

LAND SURVEYOR:

FREDERICK T. SEHER & ASSOCIATES
841 LOMBARD STREET
SAN FRANCISCO, CA 94133
(415) 921-7590
RICK@SFLANDSURVEYOR.COM

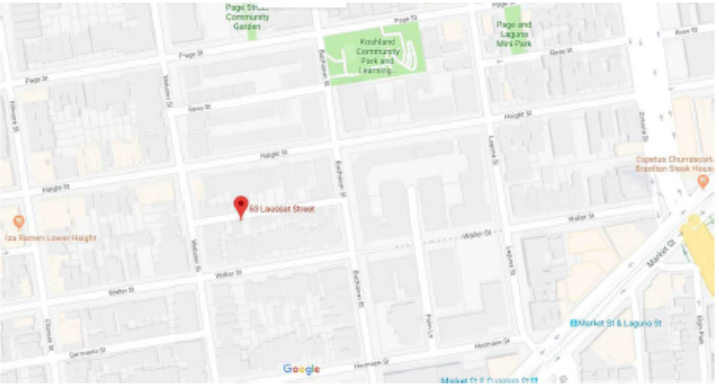
STRUCTURAL ENGINEER:

TBD

CONTRACTOR:

TBD

1 PROJECT DIRECTORY



2 VICINITY MAP

A0.0 COVER SHEET
A0.1 GENERAL NOTES
A0.2 DECLARATION OF RESTRICTIONS
A0.3 DECLARATION OF RESTRICTIONS
A0.4 VARIANCE DETERMINATION (TBD)
LS ARCHITECTURAL SITE SURVEY
A1.0 EXISTING & PROPOSED SITE PLAN
A1.1 EXISTING SITE PHOTOS
A1.2 EXISTING SITE PHOTOS
A1.3 MID-BLOCK VIEW FROM ABOVE W/ ROOF PLAN
A1.4 3D RENDERINGS
A2.0 PROPOSED FLOOR PLANS
A2.1 PROPOSED ROOF PLAN
A3.0 EXTERIOR ELEVATIONS
A3.1 EXTERIOR ELEVATIONS
A3.2 EXTERIOR ELVATIONS W/ ADJACENT PROPERTIES
A3.3 EXTERIOR ELEVATIONS W/ ADJACENT PROPERTIES
A4.0 BUILDING SECTIONS
A4.1 BUILDING SECTIONS

3 CONTRACT DOCUMENTS

2016 CAL. BUILDING CODE
2016 CAL. RESIDENTIAL CODE
2016 CAL. PLUMBING CODE
2016 CAL. ELECTRICAL CODE
2016 CAL. MECHANICAL CODE
2016 CAL. FIRE CODE
2016 CAL. ENERGY CODE
2016 CAL. GREEN BLDG. CODE
CITY OF SAN FRANCISCO MUNICIPAL CODE, LATEST EDITION
CITY OF SAN FRANCISCO GREEN BUILDING CODE

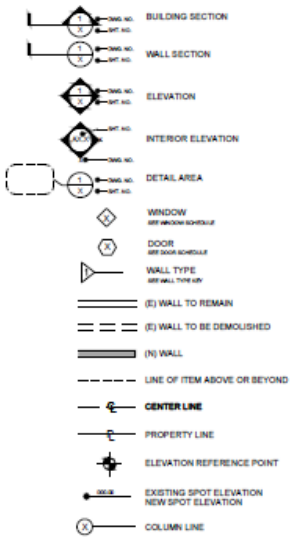
4 APPLICABLE CODES

THIS APPLICATION IS BEING SUBMITTED TO THE PLANNING AND BUILDING DEPARTMENTS OF THE CITY OF SAN FRANCISCO FOR PERMIT ISSUANCE.

PROJECT DESCRIPTION:
NEW CONSTRUCTION OF A FOUR-STORY, SINGLE FAMILY RESIDENCE ON A 25.00' X 42.42' EMPTY PARCEL. THIS PARCEL CONTAINS AN INGRESS & EGESS EASEMENT AREA; 3.0' ACCESSIBLE SIDE YARD TO 266 WALLER STREET. A VARIANCE FOR THE PARCEL IS BEING REQUESTED TO ALLOW FOR A 10'-0" REAR YARD, KEEPING IN CONSISTENCY WITH THE REST OF THE MID-BLOCK OPEN SPACE.

BLOCK/LOT:	0858/069
LOT SIZE:	1,062 SF
EXISTING SQUARE FOOTAGE:	0000 SF
PROPOSED SQUARE FOOTAGE:	2,022 SF
FIRST FLOOR:	421 SF
SECOND FLOOR:	433 SF
THIRD FLOOR:	584 SF
LOWER FLOOR:	584 SF
ZONING:	RTO
OCCUPANCY:	R-3
TYPE OF CONSTRUCTION:	V-B
HEIGHT LIMIT:	40-X

5 DESCRIPTION OF WORK



6 SYMBOLS

REVISIONS
SITE PERMIT 6/5/2019

LESLIE ARNOLD • ARCHITECT
65 Verna Street San Francisco California 94127
tel 415 715 2960 fax 415 331 5196

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LICENSED ARCHITECT LESLIE ARNOLD C23246 STATE OF CALIFORNIA

New Construction:
63 LAUSSAT STREET
SAN FRANCISCO, CA 94102

COVER SHEET

Date: 7/11/2019
Scale: AS NOTED
Drawn: TN/LA
Job: 63 Laussat St.
Sheet:
A0.0
of Sheets

GENERAL NOTES:

1. THE STANDARD A.I.A. CONDITIONS ARE HEREBY MADE A PART OF THESE DRAWINGS.
2.THE WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
- ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES & REGULATIONS.
- ARCHITECTURAL & STRUCTURAL DRAWINGS & NOTES.
- ALL APPLICABLE MUNICIPAL & ZONING CODES.
- CODES TAKE PRECEDENCE OVER DRAWINGS & SPECIFICATION.

3. IN THE EVENT THE CONTRACTOR ENCOUNTERS ON THE SITE MATERIAL BELIEVED TO BE ASBESTOS, POLYCHLORINATE BIPHERYL (PCB) OR ANY OTHER HAZARDOUS MATERIAL WHICH HAS NOT BEEN RENDERED HARMLESS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER.
4. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS TO BE THE RESPONSIBILITY OF THE CONTRACTOR. ARCHITECT TO BE IMMEDIATELY NOTIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK, SHOULD THE WORKING DRAWINGS DIFFER FROM SITE CONDITIONS.
5.THE CONTRACTOR AND HIS/HER SUBCONTRACTORS SHALL STUDY AND COMPARE THE CONTRACT DOCUMENTS AND SHALL AT ONCE REPORT TO THE ARCHITECT IN WRITING ALL ERRORS, INCONSISTENCIES OR OMISSIONS AND VERIFY ALL DIMENSIONS ON SITE **PRIOR TO COMMENCING THE WORK.** IF THE CONTRACTOR PROCEEDS WITH ANY OF THE WORK SO AFFECTED WITHOUT WRITTEN INSTRUCTION OF THE ARCHITECT, THE CONTRACTOR SHALL MAKE GOOD ON HIS/HER OWN COST ANY RESULTING ERROR, DAMAGE, OR DEFECTS. THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK WITHOUT CONTRACT DOCUMENTS, OR WHERE REQUIRED, APPROVED SHOP DRAWINGS FOR SUCH PORTIONS OF THE WORK.
6. NO DEVIATIONS FROM THE STRUCTURAL OR ARCHITECTURAL DESIGN WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT OR ENGINEER. APPROVAL FROM CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM PLANS OR SPECIFICATIONS.
7. THE PLANS INDICATE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT DO NOT INTEND TO BE ALL-INCLUSIVE. ALL NEW WORK NECESSARY TO ALLOW FOR A FINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THE DRAWINGS IS INCLUDED REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS OR MENTIONED IN THE NOTES.
8. CONTRACTOR SHALL COORDINATE ALL WORK WITH EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO: IRRIGATION PIPES, ELECTRICAL CONDUIT, WATER LINES, DRAINAGE LINES, GAS LINES, WASTE LINES, ETC.
9. ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED (U.O.N.). **DO NOT SCALE DRAWINGS.** IF REQUIRED DIMENSIONS ARE MISSING FROM THE DRAWINGS, CONTACT THE ARCHITECT PRIOR TO COMMENCING WITH WORK.
10. BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER AND IT IS THE RESPONSIBILITY OF ANYONE SUPPLYING MATERIAL OR LABOR OR BOTH TO CONFORM WITH THE CODE AND THE DRAWINGS.
11. CONTRACTOR SHALL CHECK WITH ALL EQUIPMENT AND PRODUCT MANUFACTURERS TO VERIFY DIMENSIONS AND DETAILS PRIOR TO THE COMMENCEMENT OF WORK.
12. SUBMITTALS: SUBMIT SHOP DRAWINGS OF ALL FABRICATED ITEMS FOR REVIEW BEFORE FABRICATION AND INSTALLATION. SUBMIT MANUFACTURER'S PRODUCT DATA FOR ALL STANDARD REMANUFACTURED PRODUCTS.
13. WHERE SPECIFIED ITEMS ARE MENTIONED, THE CONTRACTOR MAY SUBMIT ALTERNATE MATERIALS OR PRODUCTS FOR APPROVAL BY THE ARCHITECT.
14. VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, ETC, BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
15. SEALANT, CAULKING AND FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
16. CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS, OR OTHER SUPPORT FOR ALL ITEMS REQUIRING SAME.
17. "TYPICAL" OR "TYP." MEANS FOR ALL SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED (U.O.N.).

CONSTRUCTION NOTES:

1. BUILDING TO BE PROVIDED WITH AN AUTOMATIC SPRINKLER SYSTEM PER CBC SECTION 903.1.1.
2. ROOF DRAINAGE SHALL BE CONVEYED DIRECTLY TO BUILDING DRAIN OR SEWER PER SFBC.
3. ROOF DECK SHALL MEET ALL REQUIREMENTS PER SFBC.
4. TEMPERED GLAZING:
- ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED.
- ALL GLAZING LESS THAN 60" FROM FLOOR AND WITHIN 24" RADIUS OF ANY DOOR EDGE, AT STAIR LANDINGS, OR WITHIN 5'-0" OF THE TOP OR BOTTOM OF STAIRS SHALL BE TEMPERED.
5.EGRESS:
- EVERY SLEEPING ROOM AND ANY BASEMENT MUST HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY RESCUE, WHICH MUST HAVE 20" CLEAR WIDTH AND 24" MIN. CLEAR HEIGHT , 5.7 SF MIN. NET CLEAR OPENING (5.0 MIN. FOR FLOOR AT GRADE), BOTTOM OF OPENING NO MORE THAN 44" FROM FINISHED FLOOR.
6. TOILETS:
- MAINTAIN MINIMUM DIMENSION OF 15" FROM CENTERLINE TO WALL ON EITHER SIDE, AND A MINIMUM OF 24" CLEAR IN FRONT OF TOILET.
7. VENTILATION:
- ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS, AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED.
- ROOMS CONTAINING AN WATER CLOSET SHALL HAVE AN EXHAUST FAN WITH A MINIMUM OF 50 CFM.
8. HANDRAILS AND GUARDS:
- HANDRAILS SHALL BE 34" TO 38" ABOVE TREAD NOSING AND GUARDS SHALL BE 42" HIGH MIN.
- OPEN SPACE SHALL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH.
- HANDRAIL ENDS RETURNED TO WALL OR ROUNDED TERMINATIONS OR BENDS. STARTING OR VOLUTE NEWEL MAY BE USED AT FIRST TREAD.
- HANDRAILS & GUARDRAILS SHALL BE MOUNTED SO THAT THE COMPLETED RAIL AND SUPPORTING STRUCTURE ARE CAPABLE OF WITHSTANDING A LOAD OF AT LEAST 200 POUNDS APPLIED AT ANY DIRECTION AT ANY POINT OF THE RAIL.
9. STAIRS:
- MAXIMUM RISER HEIGHT SHALL BE 7 3/4" AND THE MINIMUM TREAD DEPTH SHALL BE 10".
- THE TOLERANCE BETWEEN THE LARGEST AND THE SMALLEST TREAD DEPTH OR RISER HEIGHT SHALL NOT EXCEED 3/8".
- STAIRWAYS SHALL HAVE MINIMUM HEADROOM CLEARANCE OF 80" MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSING.

REVISIONS

SITE PERMIT 5/5/2016

LESLIE ARNOLD ◆ ARCHITECT
63 Varna Street San Francisco California 94127
tel 415 715 3960 fax 415 333 3196

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LICENSED ARCHITECT
LESLIE ARNOLD
C23246
STATE OF CALIFORNIA

New Construction:
63 LAUSSAT STREET
SAN FRANCISCO, CA 94102

GENERAL NOTES

Date: 5/5/2016
Scale: AS NOTED
Drawn: TK/LA
Job: 63 LAUSSAT
Sheet:
A0.1
of Sheets

RECORDING REQUESTED BY AND
WHEN RECORDED MAIL TO:

Reuben, Junius & Rose, LLP
One Bush Street, Suite 600
San Francisco, California 94104
Attn.: Kevin H. Rose (10169.01)

266 Waller Street (Block 0858, Lot 012)

Space Above This Line for Recorder's Use

DECLARATION OF RESTRICTIONS AND RESERVATION OF EASEMENTS

March 21, 2016

DECLARATION OF RESTRICTIONS AND RESERVATION OF EASEMENTS

THIS DECLARATION of Restrictions and Reservation of Easements ("Declaration") is made March 17, 2016 by MARIN TCHAKAROV, an unmarried man ("Declarant").

RECITALS

A. Declarant is the owner of certain real property located on Waller Street between Webster Street and Buchanan Street in the City of San Francisco, County of San Francisco, State of California, and more fully described in Exhibit "A" to this Declaration (hereinafter referred to as the "Property").

B. The Property consists of one (1) parcel. Declarant desires to effect a lot split to reconfigure the boundary lines of the one (1) parcel on the Property (the "Lot Split") to create two (2) parcels.

C. As used herein, the term "Parcel A" shall refer to that portion of the Property that fronts on Waller Street, as identified as "Parcel A" on Exhibit "B" attached hereto, and the term "Parcel B" shall refer to that portion of the Property that fronts on Laussat Street, as identified as "Parcel B" on Exhibit "B" attached hereto. The terms "Parcel A" and "Parcel B" may collectively be referred to herein as a "Parcel". As used herein, the term "Owner" shall mean the owner in fee of any Parcel during the period that it remains a fee owner of such Parcel.

D. In connection with the Lot Split, and in order to satisfy the requirements of the San Francisco Building Code (the "Code") in effect as of the date hereof and obtain the City and County of San Francisco (the "City") approval of the Lot Split, Declarant desires to impose certain restrictions for the benefit of each and every parcel in the Property and to reserve a certain easement as described herein.

E. The City is intended to be a third party beneficiary of this Declaration, such that the written consent of the Director of the City's Department of Building Inspection (the "Director") shall be required for the modification, revocation, or termination of the restrictions imposed herein.

NOW, THEREFORE, Declarant hereby declares that all the Property is to be held, conveyed, hypothecated, encumbered, leased, rented, used, occupied and improved subject to the following limitations, restrictions, reservations, rights, easements, conditions and covenants, all of which are imposed as equitable servitudes upon the Property. All of the limitations, restrictions, reservations, rights, easements, conditions and covenants in this Declaration shall run with and burden the Property, and shall be binding on and for the benefit of all of the Property, any portion of it and any interest in it, and all persons having or acquiring any rights, title or interest in the Property, any portion of it, and any interest in it, and their successors, heirs and assigns; and further Declarant hereby declares that the reference to and description of "easements" in this Declaration shall not be affected by a merger of estates, but shall constitute a special restriction as to the affected Property that runs with the land. If a Declarant transfers title to either Parcel to a third party, such that the Parcels are no longer under common ownership, the

access rights specified in this Agreement shall be deemed to constitute a valid and binding easement wherein Parcel A is the dominant tenement and Parcel B is the servient tenement.

1. Ingress/Egress Easement. Declarant expressly reserves for the benefit of Parcel A the following nonexclusive easement:

Over Parcel B on that portion of Parcel B identified on Exhibit "B" attached hereto as the "Ingress/Egress Easement" for purposes of pedestrian ingress and egress, including emergency egress, across Parcel B to Laussat Street.

2. Maintenance and Repair. The cost of maintenance and repair of the areas subject to the easement described herein shall be the responsibility of the Owner of Parcel B, unless otherwise agreed upon in writing by the Owners. The Owner of Parcel B shall at all times maintain the areas subject to the easement described herein in a first-class, safe, clean condition, free and clear of debris, rubbish and trash, and in good operating order and repair, and, except for non-structural architectural features made a part of or otherwise affixed to the exterior of an improvement constructed on Parcel B, including, without limitation, windowsills, vents, lighting features, gables or antennas, unobstructed to the sky in the configuration that exists on the effective date of this Declaration.

3. Subsequent Building Permits. As part of the submission of any building permit applications to the Department of Building Inspection on or after the effective date of this Declaration, each Owner shall submit a copy of this Declaration.

4. Duration. The restrictions contained in and the easement reserved in this Declaration shall be perpetual, unless modified, revoked or terminated pursuant to section 5 below.

5. Modification or Revocation. This Declaration has been recorded in order to satisfy the requirements of the Code in effect as of the date hereof and to obtain the approval by the City of the Lot Split. This Declaration may not be modified, revoked or terminated without the written consent of the Owners of the Parcels, and any such modification, revocation or termination shall not be effective unless and until the Director or his or her designee consents thereto in writing after receiving written notice thereof from Declarant, and such modification, revocation or termination, executed by the Owner(s) and the City, is recorded in the Official Records of the City.

6. Easement Appurtenant. The Ingress/Egress Easement shall be appurtenant to, and shall pass with title to, the Parcel benefited thereby. Each and all of the foregoing covenants, conditions and restrictions (i) shall run with the land; (ii) shall be binding upon, and shall inure to the benefit of, Declarant, each Owner and any person having or acquiring any interest in any portion of the Property, and all of their respective successive owners and assigns; and (iii) shall be binding upon, and shall inure to the benefit of, the Property and each Parcel thereof, and every portion thereof and interest therein.

7. Third Party Beneficiary. The City is intended to be a third party beneficiary of this Declaration, with the right to consent to any modification or revocation hereof and the right and authority, at its sole option, to enforce the provisions hereof (including, but not limited to, remedies for violation for a building permit), provided, however, that the City shall have no

liability whatsoever hereunder with respect to the condition of the Property.

8. No Public Dedication. Nothing contained herein shall be deemed to be a gift or dedication to the general public or for any public purposes whatsoever, it being the intention that this document be strictly limited to and for the purposes expressed.

9. Indemnity. Declarant, and each successor Owner of a Parcel with respect to matters arising during or prior to the period that it remains an Owner of a Parcel, on behalf of itself and its successors and assigns ("Indemnitors"), shall indemnify, defend and hold harmless ("indemnify") the City including, but not limited to, all of its boards, commissions, departments, agencies and other subdivisions, including, without limitation, its Department of Building Inspection, and all of the heirs, legal representatives, successors and assigns (individually and collectively, the "Indemnified Parties"), and each of them, from and against any and all liabilities, losses, costs, claims, judgments, settlements, damages, liens, fines, penalties and expenses, including, without limitation, direct and vicarious liability of every kind (collectively, "Claims"), incurred in connection with or arising in whole or in part from: (a) any accident, injury to or death of a person, or loss of or damage to property, howsoever or by whomsoever caused, occurring in or about the Ingress/Egress Easement from the use contemplated hereunder; (b) any default by such Indemnitors in the observation or performance of any of the terms, covenants or conditions of this Declaration to be observed or performed on such Indemnitors' part; (c) the use or occupancy or manner of use or occupancy of the Ingress/Egress Easement by such Indemnitors or any person or entity claiming through or under such Indemnitors; (d) the condition of the Ingress/Egress Easement; (e) any construction or other work undertaken by such Indemnitors permitted or contemplated by this Declaration; (f) any acts, omissions or negligence of such Indemnitors in, on or about the Ingress/Egress Easement by or on behalf of such Indemnitors; (g) any injuries or damages to real or personal property, goodwill, and persons in, upon or in any way allegedly connected with the use contemplated hereunder from any cause or Claims arising at any time; and (h) any release or discharge, or threatened release or discharge, of any hazardous material caused or allowed by Indemnitors in, under, on or about the Ingress/Egress Easement; all regardless of the active or passive negligence of, and regardless of whether liability without fault is imposed or sought to be imposed on, the Indemnified Parties, except to the extent that such indemnity is void or otherwise unenforceable under applicable law in effect on or validly retroactive to the date of this Declaration and further except only such Claims as are caused exclusively by the willful misconduct or gross negligence of the Indemnified Parties. The foregoing indemnity shall include, without limitation, reasonable fees of attorneys, consultants and experts and related costs and the City's costs of investigating any Claim. Declarant on behalf of the Indemnitors specifically acknowledges and agrees that the Indemnitors have an immediate and independent obligation to defend the City from any claim which actually or potentially falls within this indemnity even if such allegation is or may be groundless, fraudulent or false, which obligation arises at the time such Claim is tendered to such Indemnitors by the City and continues at all times thereafter. As used herein, "hazardous material" means any substance, waste or material which, because of its quantity, concentration or physical or chemical characteristics is deemed by any federal, state, or local governmental authority to pose a present or potential hazard to human health or safety or to the environment.

10. Authority. The person executing this Declaration on behalf of Declarant does hereby covenant and warrant that Declarant is a duly formed and existing California limited liability

company, that Declarant has full right and authority to enter into this Declaration, and that the person signing on behalf of Declarant is authorized to do so.

DECLARANT:

Marin Tchakarov,
an unmarried man

By: _____

APPROVED:

For Director of the Department of Building Inspection

By: _____

APPROVED AS TO FORM:

Dennis J. Herrera, City Attorney

By: _____
John D. Malamut
Deputy City Attorney

CALIFORNIA ALL-PURPOSE ACKNOWLEDGEMENT CIVIL CODE §1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }
County of San Francisco }
On March 21, 2016 before me, Gillian Allen, Notary Public,
Here Insert Name and Title of the Officer

personally appeared Marin Vassilev Tchakarov
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity on behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

GILLIAN ALLEN
Commission # 2002404
Notary Public - California
San Francisco County
My Comm. Expires Jan 6, 2018

WITNESS my hand and official seal.

Signature _____
Signature of Notary Public

REVISIONS

SITE PERMIT 6/5/2018

LESLIE ARNOLD ◆ ARCHITECT

63 Vista Street San Francisco California 94127
tel 415 713 2660 fax 415 333 5186

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS AS INDICATED OR REPRESENT ED BY THE DRAWING AND OTHERWISE PRESENTED, ARE THE PROPERTY OF LESLIE ARNOLD ARCHITECTURE, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THESE IDEAS, DESIGNS, ARRANGEMENTS OF PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF LESLIE ARNOLD ARCHITECTURE.

LICENSED ARCHITECT
LESLIE ARNOLD
C23246
STATE OF CALIFORNIA

New Construction:
63 LAUSSAT STREET
SAN FRANCISCO, CA 94102

DECLARATION OF RESTRICTIONS

Date: 5/30/2018
Scale: AS NOTED
Drawn: TR/LA
Job: 63 LAUSSAT
Sheet:
A0.2
of Sheets

EXHIBIT "A"
LEGAL DESCRIPTION OF THE PROPERTY

The land referred to is situated in the County of San Francisco, City of San Francisco, State of California, described as follows:

Beginning at a point on the Northerly line of Waller Street, distant thereon 115 feet Easterly from the Easterly line of Webster Street; running thence Easterly along said line of Waller Street 25 feet; thence at a right angle Northerly 120 feet to the Southerly line of Laussat Street; thence at a right angle Westerly along said line of Laussat Street 25 feet; thence at a right angle Southerly 120 feet to the point of beginning.

Being part of Western Addition Block No. 290.

Assessor's Lot 012; Block 0858

###

EXHIBIT "B"
INGRESS AND EGRESS EASEMENT AREA

(See attached)

March 17, 2016

EXHIBIT "B"
266 WALLER STREET
EASEMENT LEGAL DESCRIPTION

All that certain real property situate in the City and County of San Francisco, State of California, described as follows:

Beginning at a point on the southerly line of Laussat Street (35 feet wide), distant thereon 140.00 feet easterly from the easterly line of Webster Street (68.75 feet wide); running thence westerly along said line of Laussat Street 3.00 feet; thence at a right angle southerly 42.42 feet; thence at a right angle easterly 3.00 feet; thence at a right angle northerly 42.42 feet to the point of beginning.

Being a part of Western Addition Block No. 290

Also being a portion of Lot 012 in Assessor's Block 0858

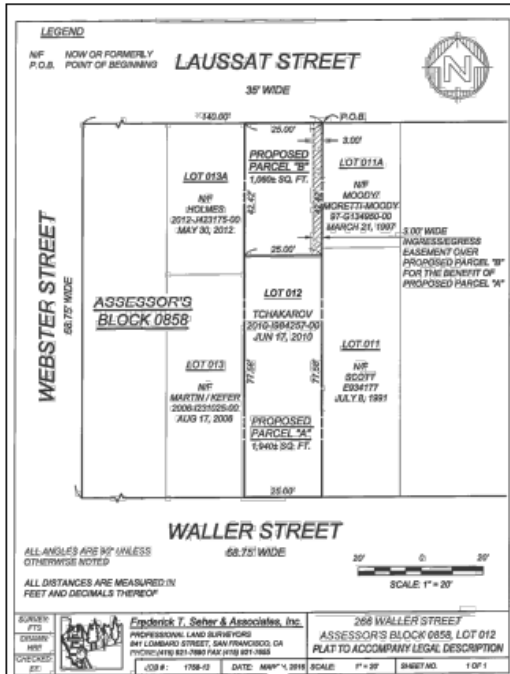
Containing 127 square feet, more or less.

This real property description has been prepared by me, or under my supervision, in conformance with the Professional Land Surveyor's Act.

Signature
Frederick T. Seher
Professional Land Surveyor, LS # 6216

PROFESSIONAL LAND SURVEYOR FREDERICK T. SEHER No. 6216 STATE OF CALIFORNIA

P:\Proj-1311755-13\EASEMENT\266 Waller_Easement legal description.doc



REVISIONS	BY
DATE PERMIT 6/6/2016	

LESLIE ARNOLD ◆ ARCHITECT
63 Varna Street San Francisco California 94127
tel 415 713 2960 fax 415 331 5106

LICENSED ARCHITECT LESLIE ARNOLD C23246 STATE OF CALIFORNIA

New Construction:
63 LAUSSAT STREET
SAN FRANCISCO, CA 94102

DECLARATION OF RESTRICTIONS

Date: 5/30/2016
Scale: AS NOTED
Drawn: TN/LA
Job: 63 LAUSSAT
Sheet:
A0.3
of Sheets

NOTE: TO ANYONE HAVING ANY TYPE OF INTEREST IN THIS MAP PLEASE BE ADVISED AS FOLLOWS:

1. THAT ALL TITLE INFORMATION HEREON INCLUDING EASEMENTS WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR CLIENT'S OR HIS AGENT'S REQUIREMENTS AND TITLE INFORMATION SUPPLIED TO FREDERICK T. SEHER & ASSOCIATES, INC., FURTHERMORE, WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITY ON THIS JOB.

2. NO PRELIMINARY TITLE REPORT WAS REVIEWED IN CONJUNCTION WITH THIS MAPPING. IT IS RECOMMENDED THAT A TITLE REPORT BE RECEIVED FROM THE OWNER TO VERIFY THE EXISTENCE OF ANY ADDITIONAL EASEMENTS OF RECORD OR LOT LINE ADJUSTMENTS THAT MAY HAVE ALTERED THE INFORMATION SHOWN HEREON PRIOR TO ANY DESIGN AND/OR CONSTRUCTION.

3. THAT THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OF SERVICE FOR MARIN TCHAKAROV AND THAT IT REMAINS THE PROPERTY OF FREDERICK T. SEHER & ASSOCIATES, INC. WHETHER THE PROJECT (IF ANY PROPOSED) ON THIS SITE IS CONSTRUCTED OR NOT.

4. THAT ANY INFORMATION ON THIS MAP AND ANY DOCUMENT(S) PREPARED BY FREDERICK T. SEHER & ASSOCIATES, INC. IN RELATION HEREOF SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR BUILDING PERMIT AND LAND SUBDIVISION. FURTHERMORE, THE USE OF THIS MAP FOR ANY OTHER PURPOSES WHATSOEVER INCLUDING ENGINEERING DESIGNS OF OFFSITE OR ONSITE IMPROVEMENTS IS BEYOND THIS MAP'S PURPOSES, INTENT & CONTRACT. LIABILITY SHALL REST UPON THE PARTY USING OUR INFORMATION BEYOND THE ESTABLISHED LIMITATION ABOVE, IN WHICH CASE FREDERICK T. SEHER & ASSOCIATES, INC. DISAVOWS ANY AND ALL RESPONSIBILITY.

5. THAT ANY IMPROVEMENT CHANGES WITHIN THIS SITE OR THE ADJACENT SITE THEREOF AS WELL AS TITLE TRANSFERS OF THE PROPERTY IN QUESTION (EXCEPT FOR ALTA MAPS) AND/OR THE LAPSE OF 3 OR MORE YEARS FROM THE DATE OF THE MAP (WHICHEVER COMES FIRST) SHALL VOID ALL INFORMATION HEREON UNLESS A RE-SURVEY IS ORDERED TO RECTIFY, UPDATE OR RE-CERTIFY THIS MAP.

6. THAT THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING UNLESS STATED IN ITEM NO. 3 ABOVE.

7. THAT THE USE OF THIS MAP BY OTHER CONSULTANTS OR CONTRACTORS ON BEHALF OF OUR CLIENT SHALL PROMPT THE IMMEDIATE FULFILLMENTS OF ALL CLIENT'S OBLIGATIONS TO FREDERICK T. SEHER & ASSOCIATES, INC. UNLESS OTHERWISE AGREED TO.

8. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.

9. THIS MAP WILL BE PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. A SIGNED PRINT DELIVERED TO THE CLIENT OR CLIENT REPRESENTATIVE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.

BOUNDARY NOTES:

PROPERTY AND RIGHT-OF-WAY LINES SHOWN HEREON ARE PREDICATED ON AN ANALYSIS OF EXISTING IMPROVEMENTS, RECORD DATA, FIELD TIES AND ASSESSOR'S PARCEL MAPS. IT IS NOT THE INTENT OF THIS MAP TO PROVIDE A FORMAL BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY SHOWN HEREON. SAID RESOLUTION WOULD REQUIRE THE SETTING OF PROPERTY CORNERS AND THE FILING OF A RECORD OF SURVEY UNDER CALIFORNIA STATE LAW. BOUNDARY INFORMATION SHOWN HEREON IS FOR PLANNING PURPOSES ONLY.

ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED

ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.

DATE OF FIELD SURVEY:

TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY FREDERICK T. SEHER & ASSOCIATES INC. ON OCTOBER 16, 2013.

SURVEY REFERENCE:

THE SURVEY HEREON IS BASED ON THE LEGAL DESCRIPTION DESCRIBED IN THE FOLLOWING PARCEL DEED:

① APN 0858-066: "PARCEL MAP NO. 6776, A TWO LOT SUBDIVISION", RECORDED ON JUNE 22, 2016, IN BOOK 129 OF CONDOMINIUM MAPS, AT PAGES 184 THROUGH 186.

UTILITY NOTE:

UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THEREFORE, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

PROJECT BENCHMARK - DESCRIPTION:

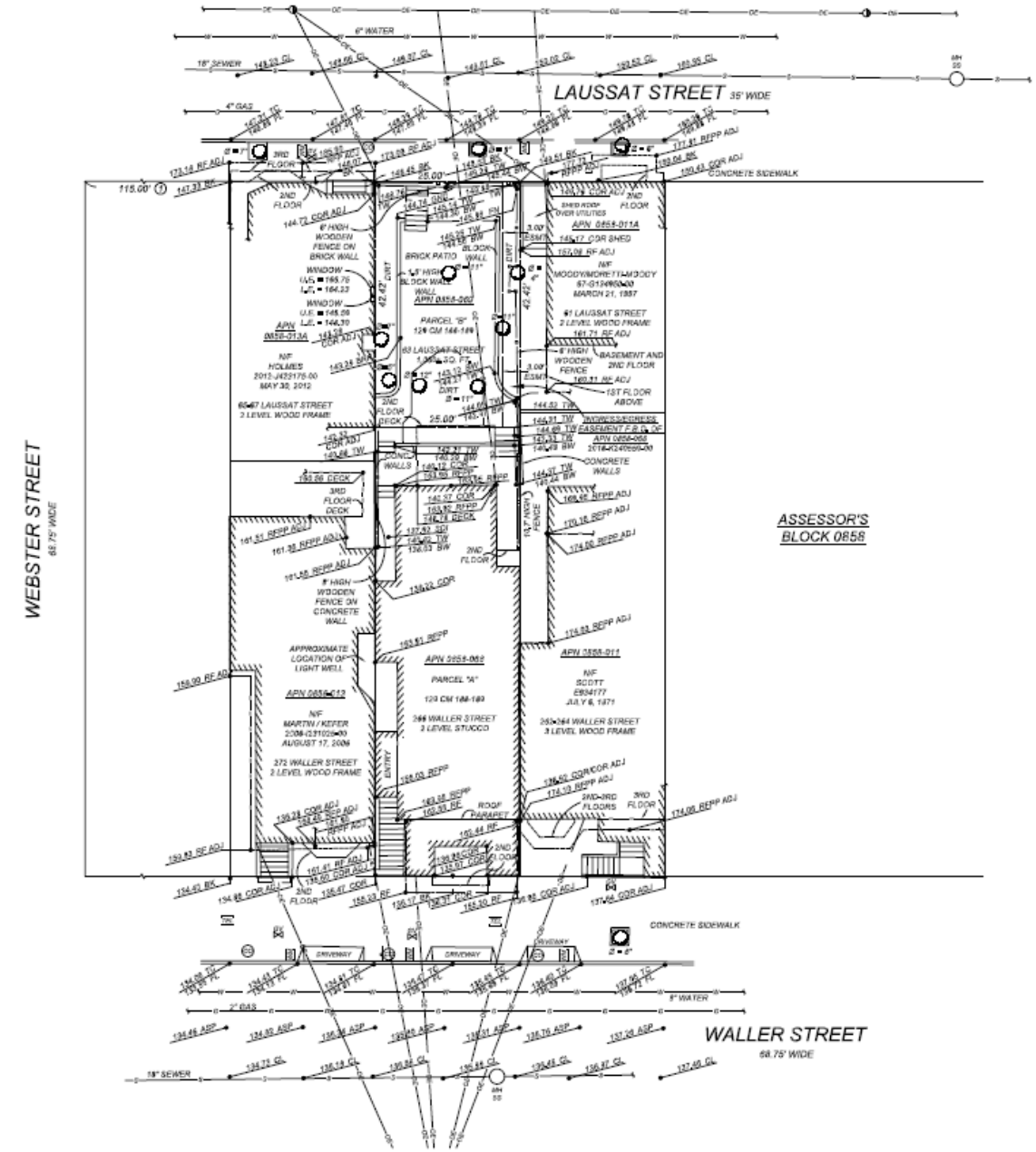
ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A GROUP OF CITY BENCHMARKS, LOCATED AT THE INTERSECTION OF WALLER AND WEBSTER STREETS. ELEVATIONS ARE BASED ON CITY AND COUNTY OF SAN FRANCISCO DATUM. ALE, CORNER 18" N, + CUT S END LOWER CONC STEP. ELEVATION = 133.461'

GENERAL NOTE:

THE FOLIAGE LINES OF ALL TREES PLOTTED HEREON ARE SHOWN IN A GRAPHICAL FORM ONLY, AND ARE NOT INTENDED TO REPRESENT ACTUAL DRIPLINES THEREOF.

10' 5' 0 5' 10' 15' 20'

SCALE: 1" = 10'



LEGEND

ADJ	ADJACENT
BK	BACK OF WALK
BW	BOTTOM OF WALL
CL	CENTER LINE
CM	CONDOMINIUM MAPS
CNC	CONCRETE
COR	CORNER OF BUILDING
DW	DRIVEWAY
EASMT	EASEMENT
F.B.O.	FOR THE BENEFIT OF
FL	FLOW LINE
GND	GROUND
LE	LOWER ELEVATION
MH	MANHOLE
OE	OVERHEAD ELECTRIC LINE
RF	ROOF
RFL	ROOF LINE
RFP	ROOF PEAK
RFPP	ROOF PARAPET
TC	TOP OF CURB
TW	TOP OF WALL
UE	UPPER ELEVATION
WDW	WINDOW

— x —	WOODEN FENCE
— G —	GAS LINE
— S —	SANITARY SEWER LINE
— OE —	OVERHEAD ELECTRIC LINE
— W —	WATER LINE

Ø	DIAMETER
GV	GAS VALVE
	POWER POLE
	SANITARY SEWER CLEAN OUT/VENT
	SIGN
ELEV DESC	SPOT ELEVATION
	TREE
TV	TELEPHONE
WM	WATER METER

SURVEYOR'S STATEMENT:

THIS MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.

PROFESSIONAL LAND SURVEYOR FREDERICK T. SEHER No. 6216 STATE OF CALIFORNIA

Frederick T. Seher

FREDERICK T. SEHER, PLS
LICENSE NO. 6216

APRIL 27, 2016
DATE:

DATE:	APRIL, 2016
SCALE:	1" = 10'
DRAWN BY:	JC
DRAWING NAME:	1758-13
SURVEYED BY:	FTS
CHECKED BY:	EF
CHECKED BY:	

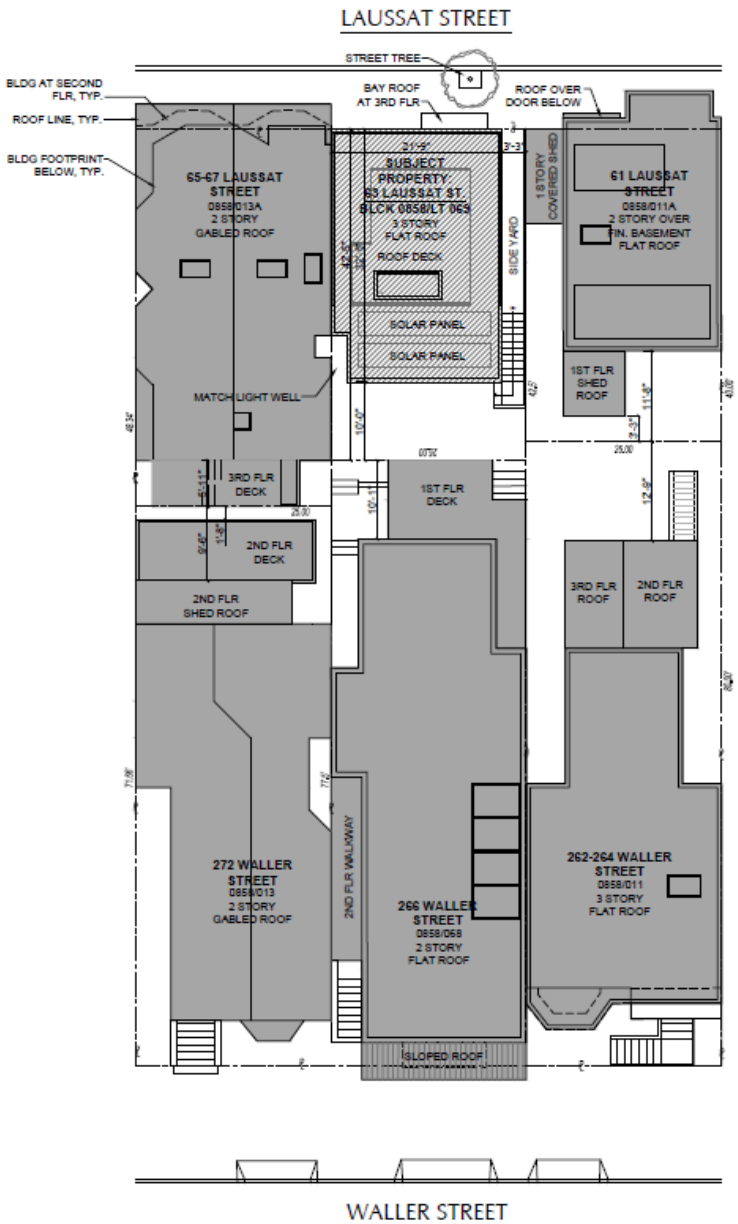
NO.	BY	DATE	REVISIONS

FREDERICK T. SEHER & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
SURVEYING & MAPPING
841 LOMBARD STREET, SAN FRANCISCO, CA 94133
(415) 921-7690 FAX (415) 921-7655

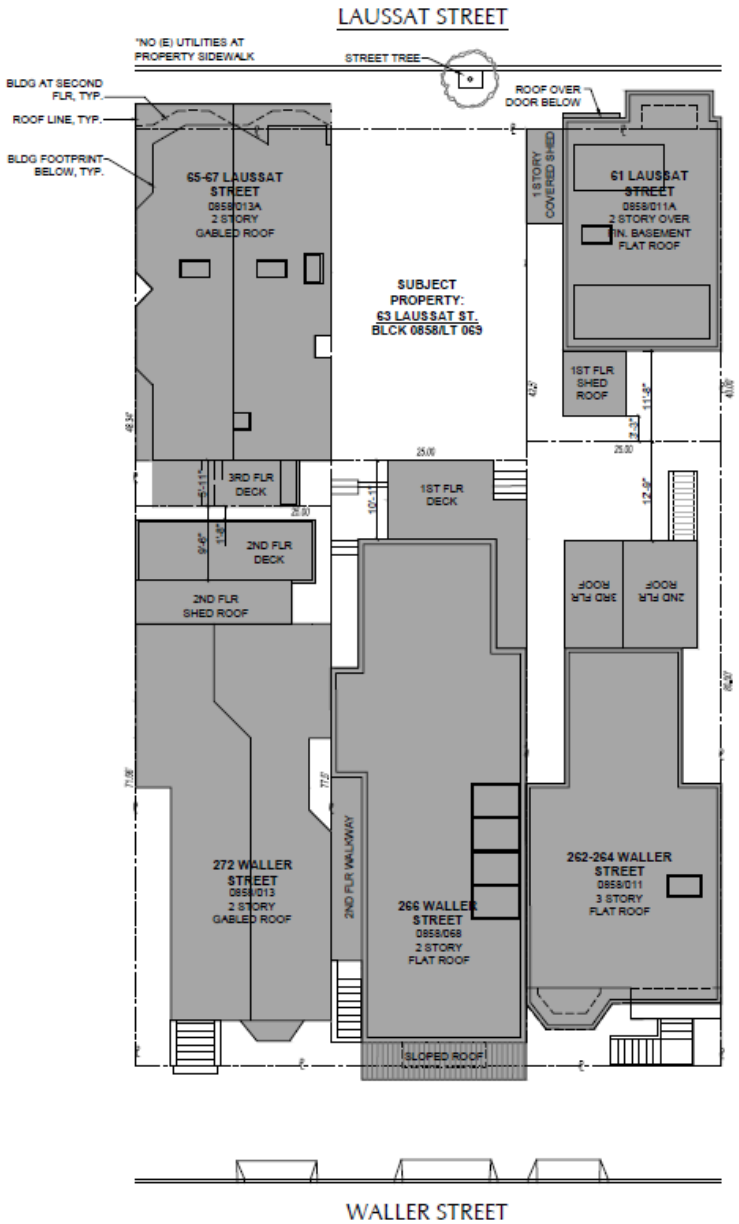
ARCHITECTURAL SITE SURVEY
ASSESSOR'S PARCEL NUMBER 0858-069
63 LAUSSAT STREET, SAN FRANCISCO, CA

SHEET 1 OF 1 SHEETS

JOB NO. 1758-13



2 **PROPOSED SITE PLAN**
1/8"=1'-0"



1 **EXISTING SITE PLAN**
1/8"=1'-0"

0' 4' 8' 16' 32'

NORTH

REVISIONS
SITE PERMIT 5/30/2018

LESLIE ARNOLD ◆ ARCHITECT
63 Vista Street San Francisco California 94127
tel 415 715 2960 fax 415 331 3196

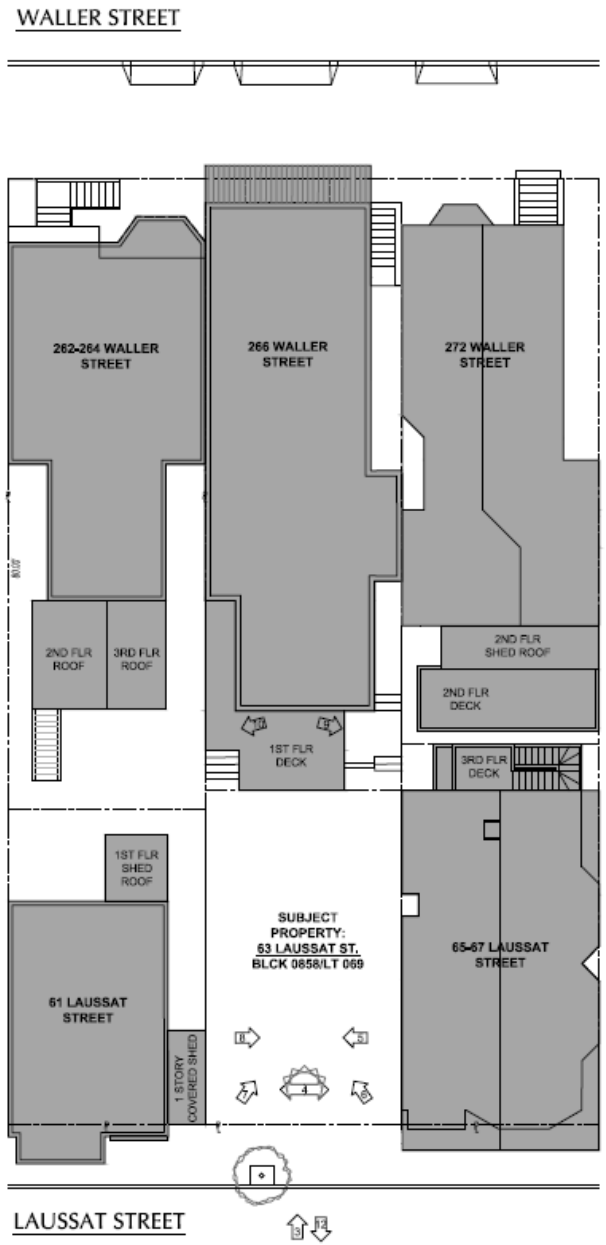
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS AS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF LESLIE ARNOLD ARCHITECTURE AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT NAME OF THESE IDEAS, DESIGNS, ARRANGEMENTS OF PLANS SHALL NOT BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF LESLIE ARNOLD ARCHITECTURE

LICENSED ARCHITECT
C23245
STATE OF CALIFORNIA

New Construction:
63 Laussat street
San Francisco, CA 94102

EXISTING & PROPOSED SITE PLAN

Date: 5/30/2018
Scale: AS NOTED
Drawn: TV/LA
Job: 63 LAUSSAT
Sheet:
A1.0
of Sheets



1 PHOTO KEY

3 SUBJECT PROPERTY & SAME SIDE OF LAUSSAT STREET

2 OVERHEAD VIEW

REVISIONS

SITE PERMIT 6/5/2018

LESLIE ARNOLD • ARCHITECT
63 Varna Street San Francisco California 94127
tel 415 713 2960 fax 415 331 3196

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LICENSED ARCHITECT
LESLIE ARNOLD
C23245
STATE OF CALIFORNIA

New Construction:
63 LAUSSAT STREET
SAN FRANCISCO, CA 94102

EXISTING SITE PHOTOS

Date: 5/30/2018
Scale: AS NOTED
Drawn: TN/LA
Job: 63 LAUSSAT
Sheet:
A1.1
of Sheets

REAR BUILDING LINE OF 65/67 LAUSSAT STREET
REAR & DECK AT 272 WALLER STREET
61 LAUSSAT STREET
266 WALLER STREET
65/67 LAUSSAT STREET

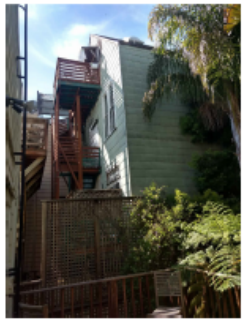
4 ASSEMBLED PANORAMA OF ADJACENT & REAR PROPERTIES

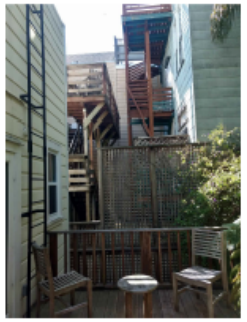
5 WIDE ANGLE: SIDE VIEW OF 61 LAUSSAT

6 WIDE ANGLE: 61 LAUSSAT & 266 WALLER

7 WIDE ANGLE: 266 WALLER & 65/67 LAUSSAT

8 WIDE ANGLE: SIDE VIEW OF 65/67 LAUSSAT





9 65/67 LAUSSAT FROM REAR OF PROPERTY

11 61 LAUSSAT FROM REAR OF PROPERTY

120 WEBSTER STREET

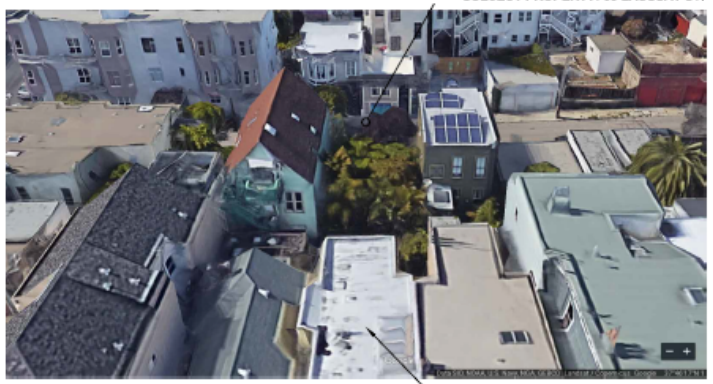
64/66 LAUSSAT STREET

60 LAUSSAT STREET

359/361 HAIGHT STREET

12 BUILDINGS ON FACING SIDE OF LAUSSAT STREET

SUBJECT PROPERTY: 63 LAUSSAT ST.



266 WALLER STREET

13 REAR VIEW FROM 266 WALLER STREET

REVISIONS

SITE PERMIT 5/5/2016

LESLIE ARNOLD • ARCHITECT
63 Varna Street San Francisco California 94127
cell 415 713 2960 fax 415 333 5196

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS AS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF LESLIE ARNOLD ARCHITECT AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THOSE IDEAS, DESIGNS, ARRANGEMENTS OF PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF LESLIE ARNOLD ARCHITECTURE.

LICENSED ARCHITECT
LESLIE ARNOLD
C23245
STATE OF CALIFORNIA

New Construction:
63 LAUSSAT STREET
SAN FRANCISCO, CA 94102

EXISTING SITE PHOTOS

Date: 5/30/2016
Scale: AS NOTED
Drawn: TN/LA
Job: 63 LAUSSAT
Sheet:
A1.2
of Sheets

1 MID-BLOCK VIEW FROM ABOVE W/ PROPOSED ROOF PLAN

REVISIONS

SITE PERMIT 6/5/2018

LESLIE ARNOLD • ARCHITECT
63 Vesta Street San Francisco California 94127
tel 415 715 2060 fax 415 331 5196

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF LESLIE ARNOLD ARCHITECTURE AND WERE CREATED, PROVIDED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THIS SPECIFIC PROJECT. NONE OF THESE IDEAS, DESIGNS, ARRANGEMENTS OF PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF LESLIE ARNOLD ARCHITECTURE.

LICENSED ARCHITECT
C23246
STATE OF CALIFORNIA

New Construction:
63 LAUSSAT STREET
SAN FRANCISCO, CA 94102

MID-BLOCK VIEW FROM ABOVE W/ PROPOSED ROOF PLAN

Date: 5/30/2018
Scale: AS NOTED
Drawn: TN/LA
Job: 63 LAUSSAT
Sheet:
A1.3
of Sheets

SUBJECT PROPERTY: 63 LAUSSAT ST.

2 VIEW FROM LAUSSAT STREET: FACADE

SUBJECT PROPERTY: 63 LAUSSAT ST.

1 MID-BLOCK VIEW FROM ABOVE

SUBJECT PROPERTY: 63 LAUSSAT ST.

3 VIEW FROM LAUSSAT FACING WEST

4 VIEW FROM LAUSSAT FACING EAST

REVISIONS

SITE PERMIT 8/5/2018

LESLIE ARNOLD • ARCHITECT
63 Verna Street San Francisco California 94127
tel 415 713 2960 fax 415 331 5196

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS AS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF LESLIE ARNOLD ARCHITECTURE AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THIS SPECIFIC PROJECT. NONE OF THESE IDEAS, DESIGNS, ARRANGEMENTS OF PLANS OR OTHER DOCUMENTS SHALL BE USED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF LESLIE ARNOLD ARCHITECTURE.

LICENSED ARCHITECT LESLIE ARNOLD C23245 STATE OF CALIFORNIA

New Construction:
63 LAUSSAT STREET
SAN FRANCISCO, CA 94102

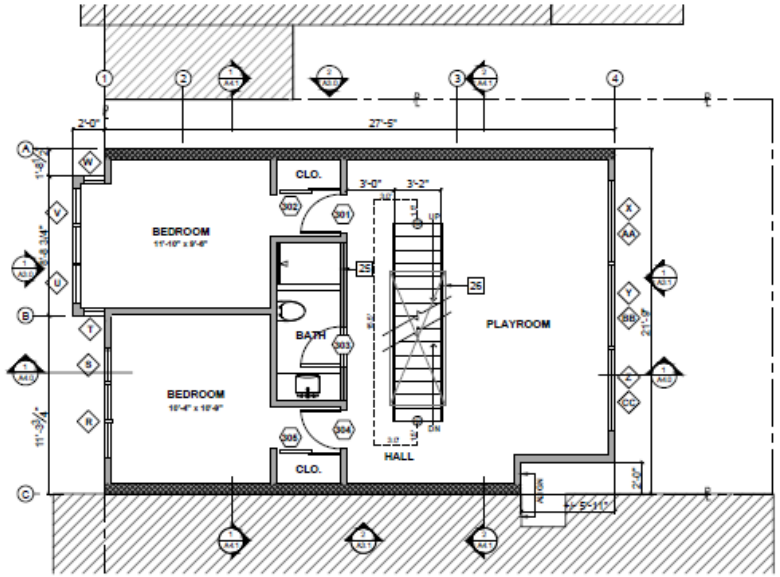
3D RENDERINGS

Date: 7/9/2019
Scale: AS NOTED
Drawn: TN/LA
Job: 63 LAUSSAT
Sheet:
A1.4
of Sheets

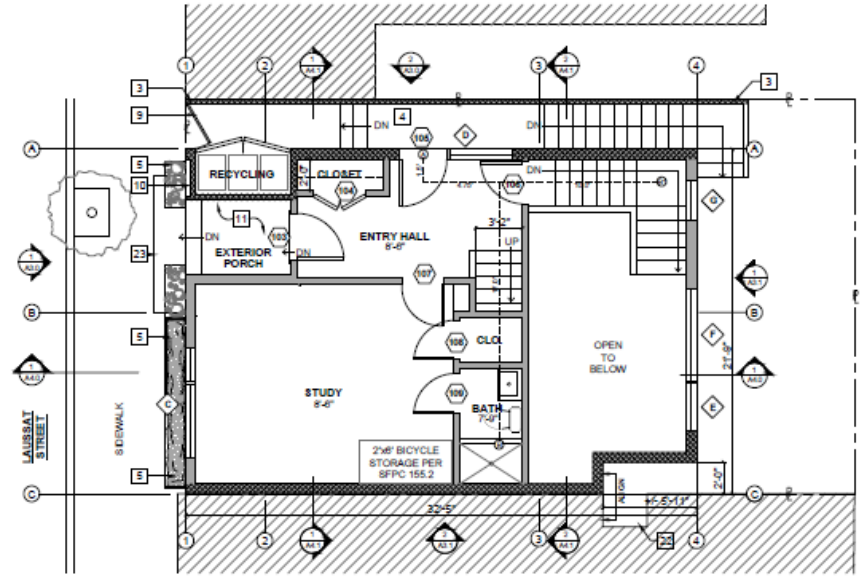
KEY NOTES - (E) FLOOR PLANS:

1. FIRE-RATED CLASS 'B' ROOF ASSEMBLY
2. 1 HOUR FIRE-RATED ROOF/DECK ASSEMBLY
3. 1 HOUR FIRE-RATED PROPERTY LINE FENCE
4. 3'-0" WIDE INGRESS/EGRESS EASEMENT
5. PLANTER BOX AND GROUND LEVEL PLANTING STRIP PER SF PUBLIC WORKS LANDSCAPE REQUIREMENTS
6. PLANTER BOXES
7. SOLAR PANELS; EXACT SIZE, NUMBER & LOCATION TBD.
8. SKYLIGHT
9. METAL & WOOD GATE
10. METAL & WOOD GREEN WALL
11. CEMENT TILE FLOOR
12. 3" HORIZONTAL WOOD SIDING W/ 3/8" REVEAL
13. HORIZONTAL WOOD RAILING SUPPORTED ON METAL FRAME
14. ALUMINUM WINDOW
15. ALUMINUM DOOR
16. METAL FLASHING, PAINTED
17. WOOD CAP ON 42" HIGH GUARD RAIL
18. 8"x12" CONCRETE TILES
19. EXTERIOR CEMENT PLASTER
20. PAINTED HARDIE PANEL SIDING W/ CONCEALED FASTENERS
21. ROOF CURB, , FIRE-RATED, TYP.
22. ADJACENT LIGHTWELL AT 65-67 LAUSSAT
23. BAY ABOVE
24. OPEN ABOVE
25. CLERESTORY WINDOWS ABOVE
26. GLASS ROOF ACCESS HATCH
27. BAY WINDOW PER SFPC SECTION 136
28. 1" WOOD TRIM AROUND DOORS, WINDOWS, AND HORIZ. WOOD SIDING
29. CRAWL SPACE ACCESS DOOR

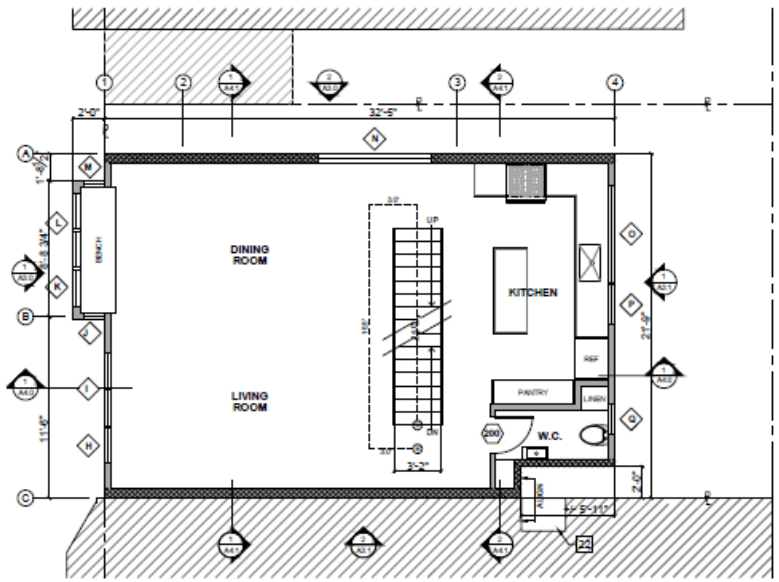
TOTAL SQUARE FEET: 2,014



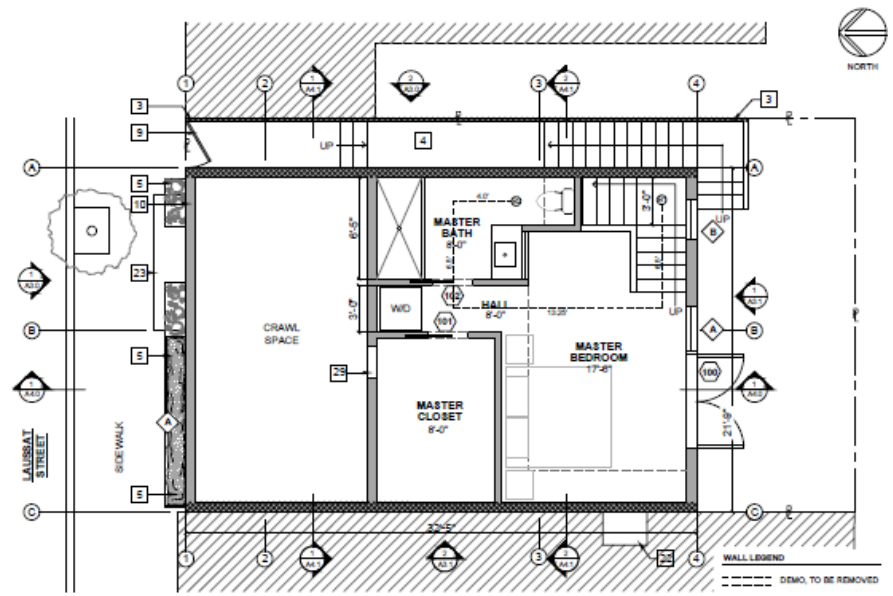
4 FLOOR PLAN: 3RD FLOOR 584SF
1/4"=1'-0"



2 FLOOR PLAN: 1ST FLOOR 421SF
1/4"=1'-0"



3 FLOOR PLAN: 2ND FLOOR 433SF
1/4"=1'-0"



1 FLOOR PLAN: LOWER FLOOR 584SF
1/4"=1'-0"

0' 2' 4' 8' 16'

WALL LEGEND

- DEMO, TO BE REMOVED
- EXISTING, TO REMAIN
- NEW WALL
- NEW WALL, FIRE-RATED
- PATH OF EXIT TRAVEL

LONGEST PATH OF EXIT TRAVEL DISTANCE = 23.25' + 35.5' + 24.5' + 36' = 119.25'
124.0' < 125.0 FEET IN A SPRINKLERED BUILDING

REVISIONS
SITE PERMIT 8/5/2018

LESLIE ARNOLD ARCHITECT
63 Verne Street San Francisco California 94127
tel 415 713 2900 fax 415 331 5196

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LICENSED ARCHITECT LESLIE ARNOLD C23246 STATE OF CALIFORNIA

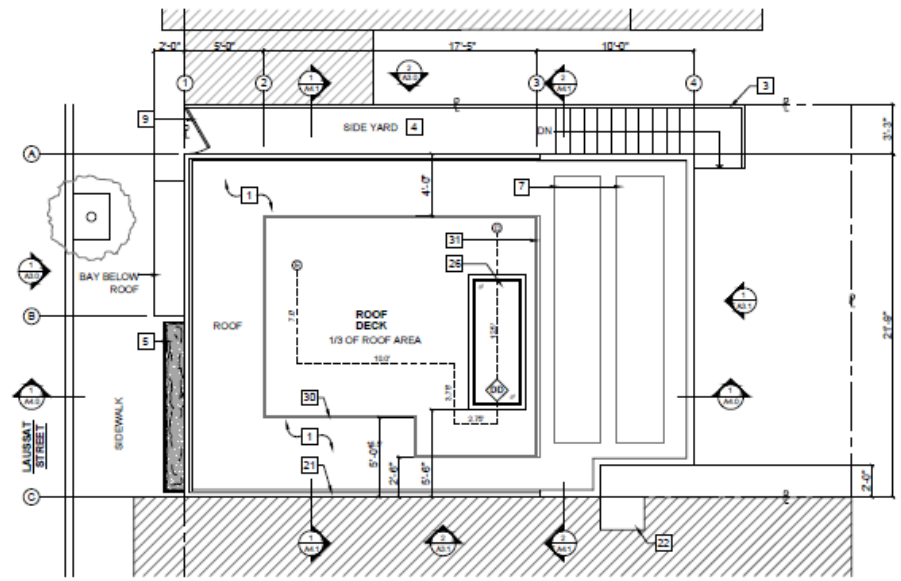
New Construction:
63 LAUSSAT STREET
SAN FRANCISCO, CA 94102

PROPOSED FLOOR PLANS

Date: 7/9/2019
Scale: AS NOTED
Drawn: TN/LA
Job: 63 LAUSSAT
Sheet:
A2.0
of Sheets

KEY NOTES - (E) FLOOR PLANS:

1. FIRE-RATED CLASS 'B' ROOF ASSEMBLY
2. 1 HOUR FIRE-RATED ROOF/DECK ASSEMBLY
3. 1 HOUR FIRE-RATED PROPERTY LINE FENCE
4. 3'-0" WIDE INGRESS/EGRESS EASEMENT
5. PLANTER BOX AND GROUND LEVEL PLANTING STRIP PER SF PUBLIC WORKS LANDSCAPE REQUIREMENTS
6. PLANTER BOXES
7. SOLAR PANELS; EXACT SIZE, NUMBER & LOCATION TBD.
8. SKYLIGHT
9. METAL & WOOD GATE
10. METAL & WOOD GREEN WALL
11. CEMENT TILE FLOOR
12. 3" HORIZONTAL WOOD SIDING W/ 3/8" REVEAL
13. HORIZONTAL WOOD RAILING SUPPORTED ON METAL FRAME
14. ALUMINUM WINDOW
15. ALUMINUM DOOR
16. METAL FLASHING, PAINTED
17. WOOD CAP ON 42" HIGH GUARD RAIL
18. 8"x12" CONCRETE TILES
19. EXTERIOR CEMENT PLASTER
20. PAINTED HARDIE PANEL SIDING W/ CONCEALED FASTENERS
21. ROOF CURB, FIRE-RATED, TYP.
22. ADJACENT LIGHTWELL AT 65-67 LAUSSAT
23. BAY ABOVE
24. OPEN ABOVE
25. CLERESTORY WINDOWS ABOVE
26. GLASS ROOF ACCESS HATCH
27. BAY WINDOW PER SFPC SECTION 136
28. 1" WOOD TRIM AROUND DOORS, WINDOWS, AND HORIZ. WOOD SIDING
29. CRAWL SPACE ACCESS DOOR
30. 42" HIGH GLASS RAILING SYSTEM
31. 30" PARAPET WALL WITH 12" GLASS RAIL ABOVE



1 FLOOR PLAN: ROOF DECK
1/8"=1'-0"

0' 2' 4' 8' 16'

REVISIONS

SITE PERMIT 5/5/2018

LESLIE ARNOLD • ARCHITECT
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LICENSED ARCHITECT
LESLIE ARNOLD
C23245
STATE OF CALIFORNIA

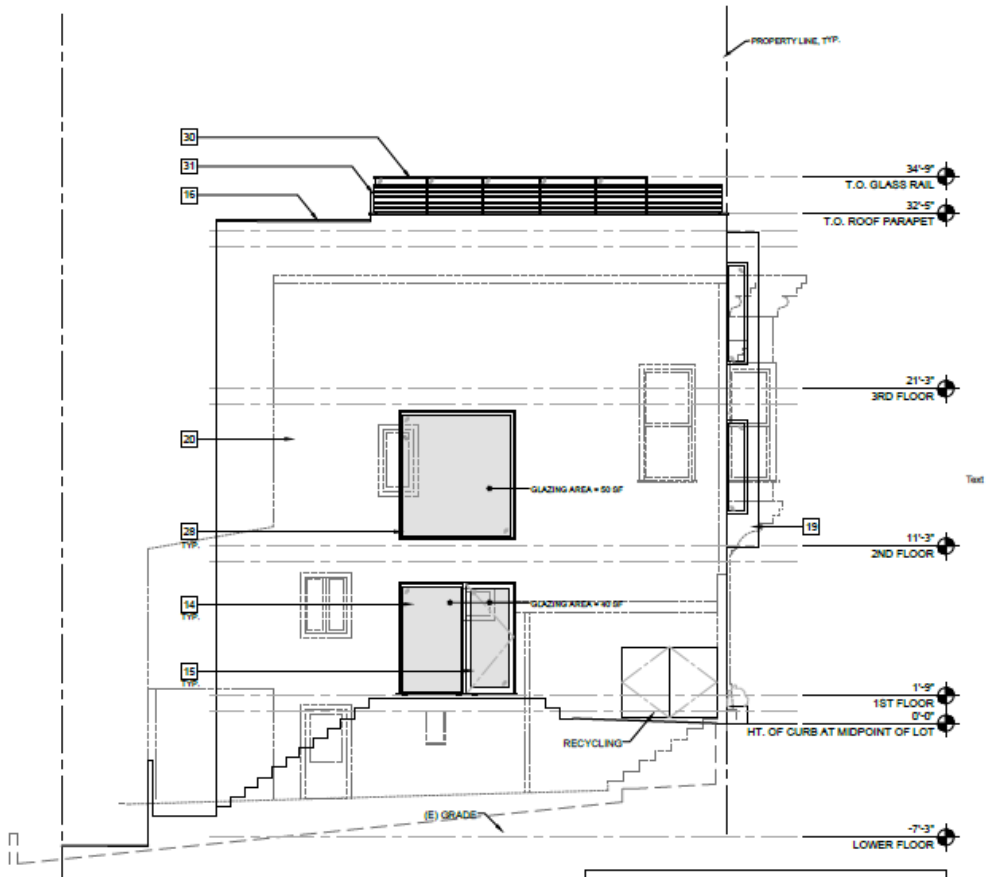
New Construction:
63 LAUSSAT STREET
SAN FRANCISCO, CA 94102

PROPOSED ROOF PLAN

Date: 5/30/2018
Scale: AS NOTED
Drawn: TN/LA
Job: 63 LAUSSAT
Sheet:
A2.1
of Sheets

KEY NOTES - (E) FLOOR PLANS:

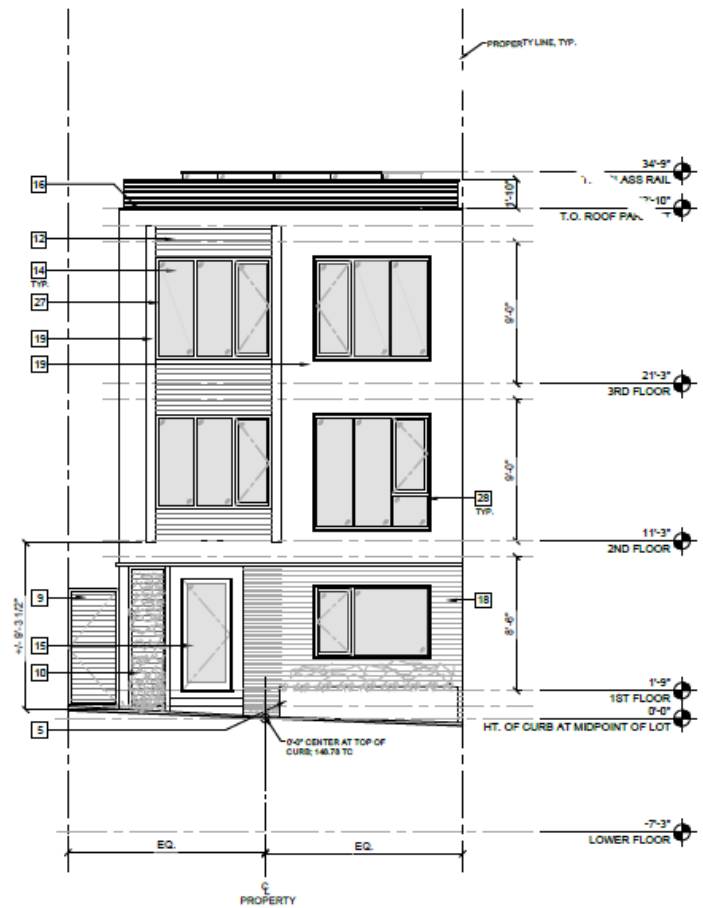
1	FIRE-RATED CLASS 'B' ROOF ASSEMBLY	11	CEMENT TILE FLOOR	20	PAINTED HARDIE PANEL SIDING W/ CONCEALED FASTERNERS
2	1 HOUR FIRE-RATED ROOF/DECK ASSEMBLY	12	3" HORIZONTAL WOOD SIDING W/ 3/8" REVEAL	21	ROOF CURB, TYP.
3	1 HOUR FIRE-RATED PROPERTY LINE FENCE	13	HORIZONTAL WOOD RAILING SUPPORTED ON METAL FRAME	22	ADJACENT LIGHTWELL AT 65-67 LAUSSAT
4	3'-0" WIDE INGRESS/EGRESS EASEMENT	14	ALUMINUM WINDOW	23	BAY ABOVE
5	PLANTER BOX AND GROUND LEVEL PLANTING STRIP PER SF PUBLIC WORKS LANDSCAPE REQUIREMENTS	15	ALUMINUM DOOR	24	OPEN ABOVE
6	PLANTER BOXES	16	METAL FLASHING, PAINTED	25	CLERESTORY WINDOWS ABOVE
7	SOLAR PANELS; EXACT SIZE, NUMBER & LOCATION TBD.	17	WOOD CAP ON 42" HIGH GUARD RAIL	26	DUTCH STAIRS
8	SKYLIGHT	18	1X4 PAINTED V-GROOVE CEDAR SIDING	27	BAY WINDOW PER SFPC SECTION 136
9	METAL & WOOD GATE	19	EXTERIOR CEMENT PLASTER	28	1" WOOD TRIM AROUND DOORS, WINDOWS, AND HORIZ. WOOD SIDING
10	METAL & WOOD GREEN WALL				



WINDOW OPENING CALCULATION:
3'-3" FROM PROPERTY LINE

FIRST FLOOR FACADE AREA = 301 SF / GLAZED AREA = 40 SF < 15%
SECOND FLOOR FACADE AREA = 340 SF / GLAZED AREA = 50 SF < 15%

2 EXTERIOR ELEVATION: EAST
1/4"=1'-0"



1 EXTERIOR ELEVATION: NORTH
1/4"=1'-0"

0' 2' 4' 8' 16'

REVISIONS

SITE PERMIT 6/5/2018

LESLIE ARNOLD ◆ ARCHITECT
63 Verna Street San Francisco California 94127
tel 415 713 2060 fax 415 331 5196

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LICENSED ARCHITECT
C23246
STATE OF CALIFORNIA

New Construction:
63 LAUSSAT STREET
SAN FRANCISCO, CA 94102

EXTERIOR ELEVATIONS

Date: 7 /9 /2019
Scale: AS NOTED
Drawn: TN/LA
Job: 63 LAUSSAT
Sheet:
A3.0
of Sheets

KEY NOTES - (E) FLOOR PLANS:

1	FIRE-RATED CLASS 'B' ROOF ASSEMBLY	11	CEMENT TILE FLOOR	20	PAINTED HARDIE PANEL SIDING W/ CONCEALED FASTENERS
2	1 HOUR FIRE-RATED ROOF/DECK ASSEMBLY	12	3" HORIZONTAL WOOD SIDING W/ 3/8" REVEAL	21	ROOF CURB, TYP.
3	1 HOUR FIRE-RATED PROPERTY LINE FENCE	13	HORIZONTAL WOOD RAILING SUPPORTED ON METAL FRAME	22	ADJACENT LIGHTWELL AT 65-67 LAUSSAT
4	3'-0" WIDE INGRESS/EGRESS EASEMENT	14	ALUMINUM WINDOW	23	BAY ABOVE
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6	PLANTER BOXES	16	METAL FLASHING, PAINTED	25	CLERESTORY WINDOWS ABOVE
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8	SKYLIGHT	18	6"x12" CONCRETE TILES	27	BAY WINDOW PER SFPC SECTION 136
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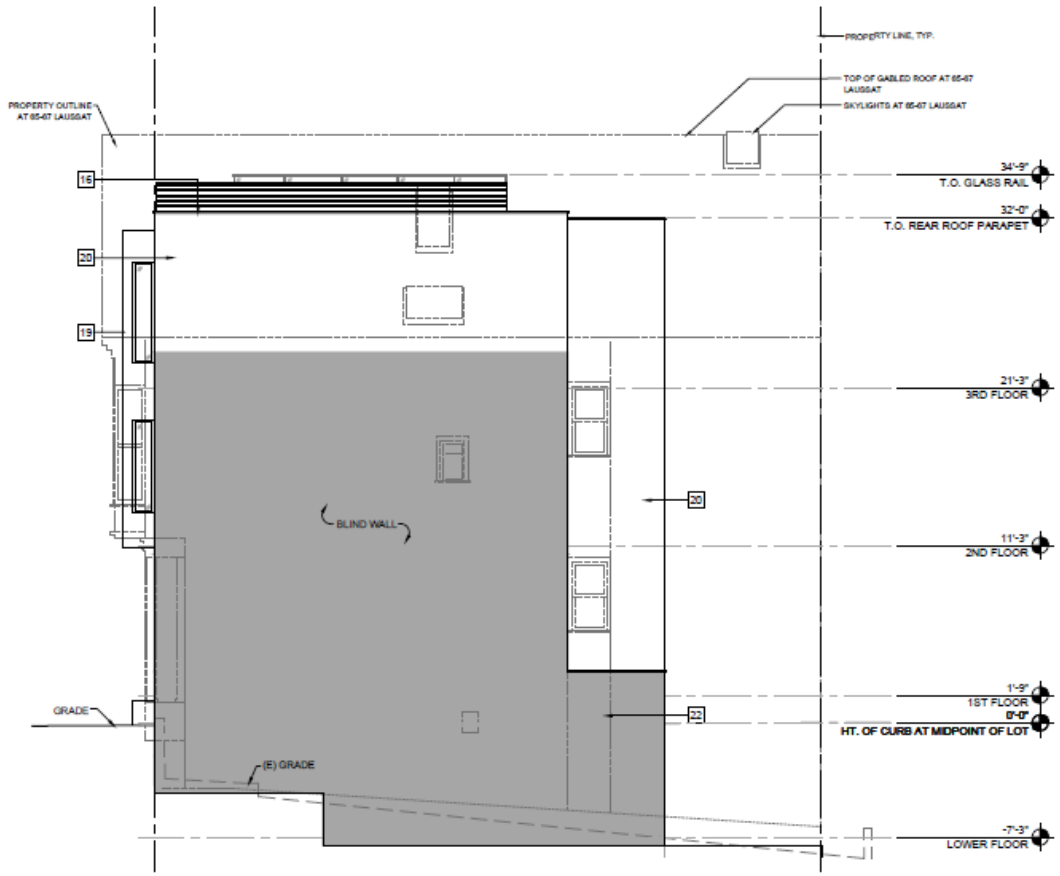
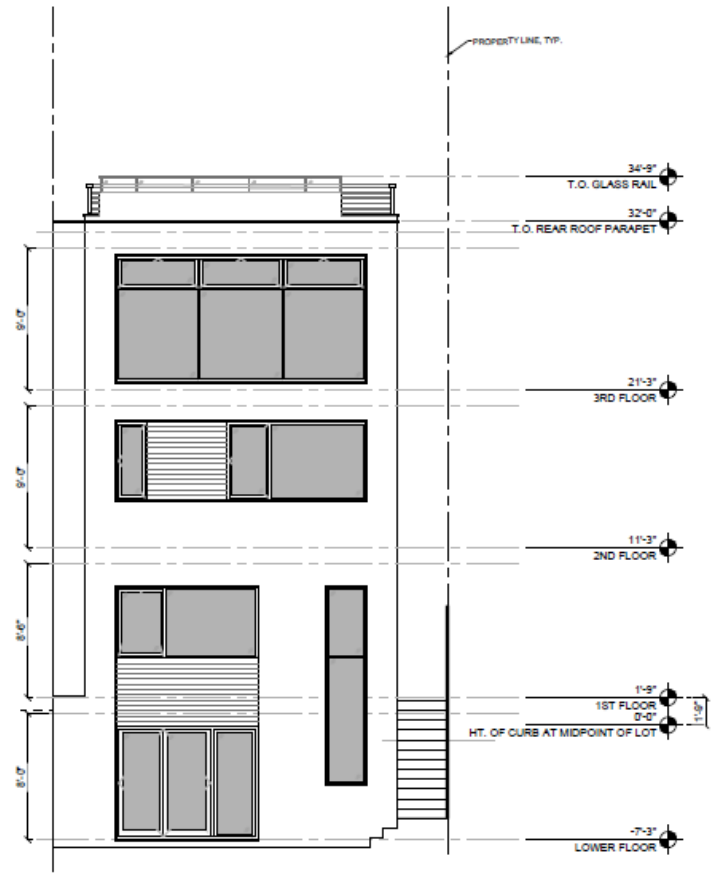
10	METAL & WOOD GREEN WALL				



2 EXTERIOR ELEVATION: WEST
1/8"=1'-0"



1 EXTERIOR ELEVATION: SOUTH
1/8"=1'-0"
0' 2' 4' 8' 16'

REVISIONS
SITE PERMIT 5/3/2018

LESLIE ARNOLD ◆ ARCHITECT
63 Verna Street San Francisco California 94127
tel 415 713 2900 fax 415 531 5106

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LICENSED ARCHITECT LESLIE ARNOLD C23246 STATE OF CALIFORNIA

New Construction:
63 LAUSSAT STREET
SAN FRANCISCO, CA 94102

EXTERIOR ELEVATIONS

Date: 5/30/2018
Scale: AS NOTED
Drawn: TN/LA
Job: 63 LAUSSAT
Sheet:
A3.1
of Sheets

1 **FRONT ELEVATION WITH ADJACENT PROPERTIES**

1/8"=1'-0"

0' 2' 4' 8' 16'

REVISIONS

SITE PERM 1 8/5/2018

LESLIE ARNOLD • ARCHITECT

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tel 415 713 2900 fax 415 331 5196

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LICENSED ARCHITECT LESLIE ARNOLD C23246 STATE OF CALIFORNIA

New Construction:
63 LAUSSAT STREET
SAN FRANCISCO, CA 94102

EXTERIOR ELEVATIONS
W/ ADJACENT PROPERTIES

Date: 7/9/2019

Scale: AS NOTED

Drawn: TN/LA

Job: 63 LAUSSAT

Sheet:

A3.2

of Sheets

1 **REAR ELEVATION WITH ADJACENT PROPERTIES**
1/8"=1'-0"

REVISIONS	BY
SITE PERMIT	8/31/2018

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tel 415 715 2960 fax 415 331 3196

LICENSED ARCHITECT LESLIE ARNOLD C23246 STATE OF CALIFORNIA

New Construction:
63 LAUSSAT STREET
SAN FRANCISCO, CA 94102

EXTERIOR ELEVATIONS
W/ ADJACENT PROPERTIES

Date: 5/30/2018
Scale: AS NOTED
Drawn: TN/LA
Job: 63 LAUSSAT
Sheet:
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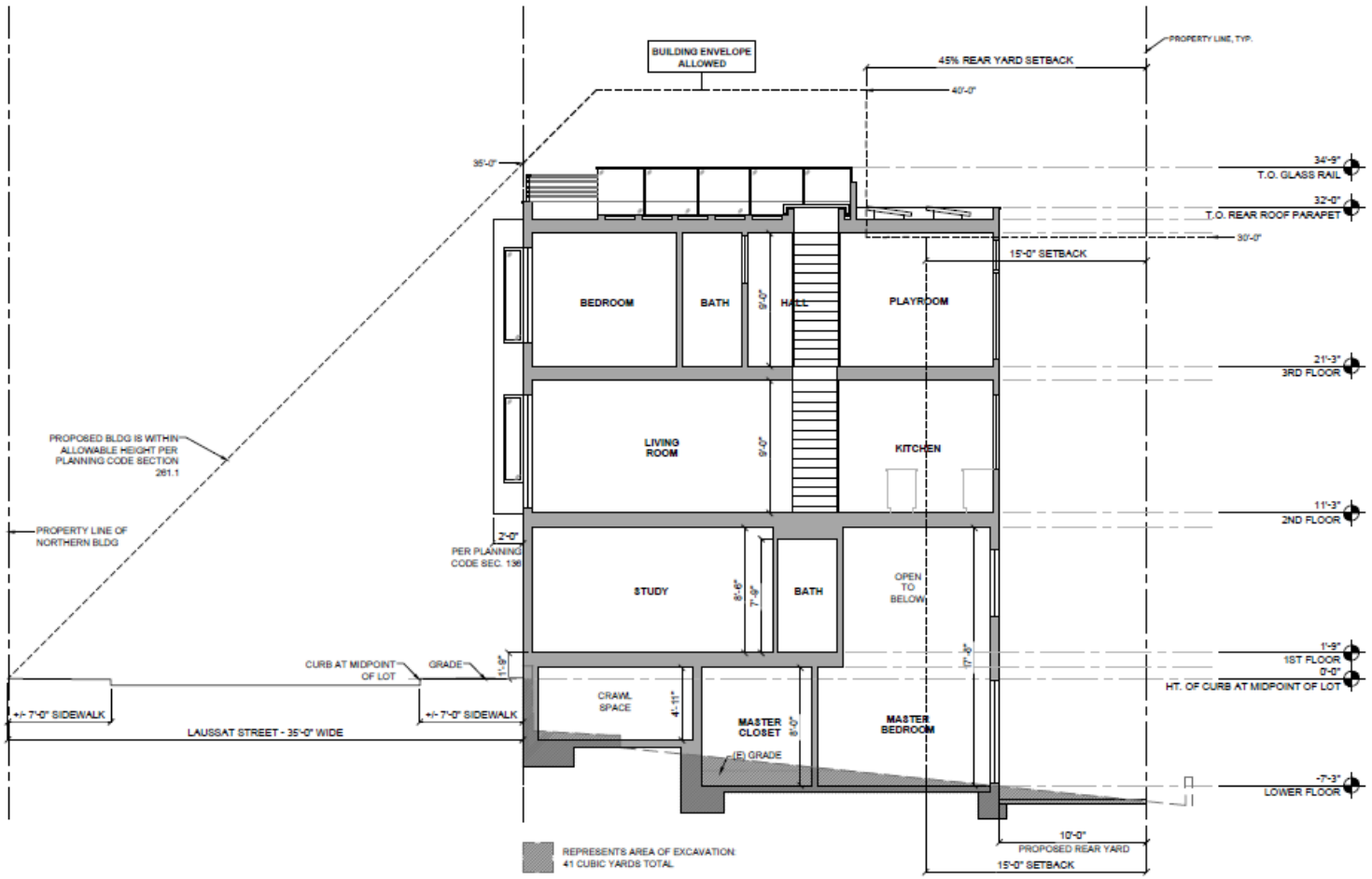
of Sheets



1 CROSS SECTION FACING EAST
1/4"=1'-0"

REVISIONS
SITE PERMIT 5/5/2018

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63 Verna Street San Francisco California 94127
tel 415 713 2960 fax 415 331 5196

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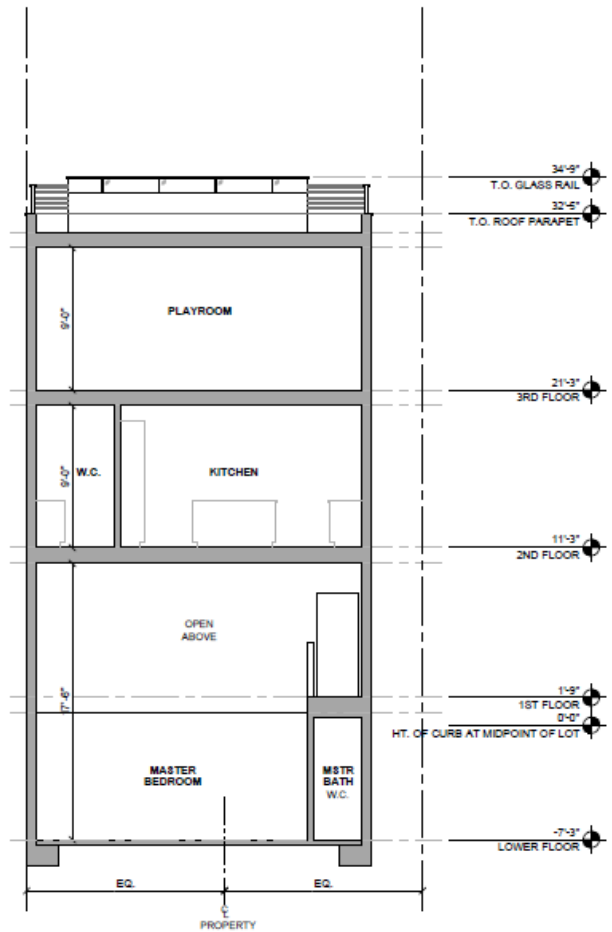
LICENSED ARCHITECT
LESLIE ARNOLD
C23245
STATE OF CALIFORNIA

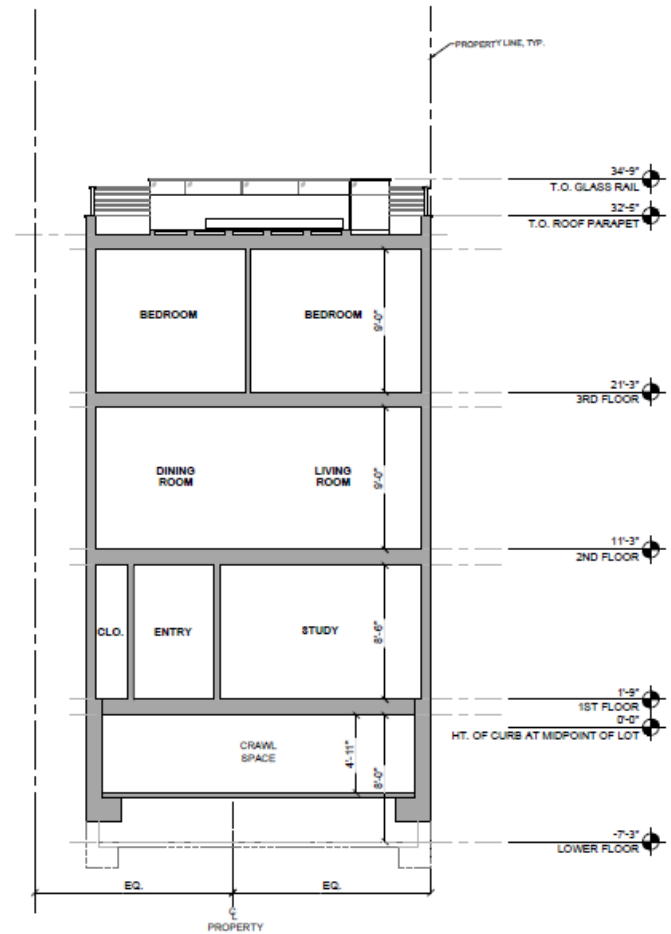
New Construction:
63 LAUSSAT STREET
SAN FRANCISCO, CA 94102

PROPOSED CROSS SECTION

Date: 5/30/2018
Scale: AS NOTED
Drawn: TN/LA
Job: 63 LAUSSAT
Sheet:
A4.0
of Sheets



2 CROSS SECTION FACING NORTH
1/8"=1'-0"



1 CROSS SECTION FACING SOUTH
1/8"=1'-0"

0' 2' 4' 8' 16'

REVISIONS

SITE PERMIT 8/5/2016

LESLIE ARNOLD ◆ ARCHITECT
63 Verne Street San Francisco California 94127
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LICENSED ARCHITECT LESLIE ARNOLD C23246 STATE OF CALIFORNIA

New Construction:
63 LAUSSAT STREET
SAN FRANCISCO, CA 94102

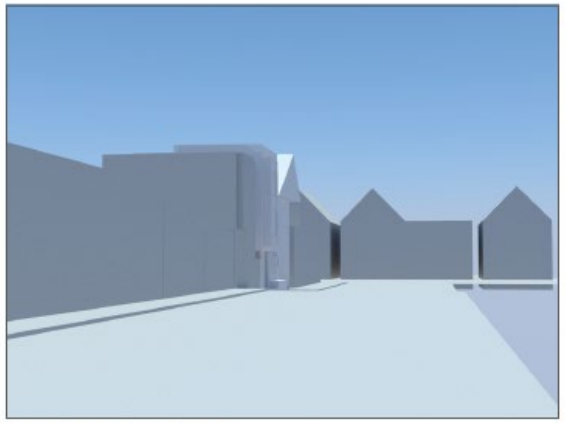
PROPOSED
CROSS SECTION

Date: 5/30/2018
Scale: AS NOTED
Drawn: TM/LA
Job: 63 LAUSSAT
Sheet:
A4.1
of Sheets

63 LAUSSAT STREET GRAY SCALE MODELS

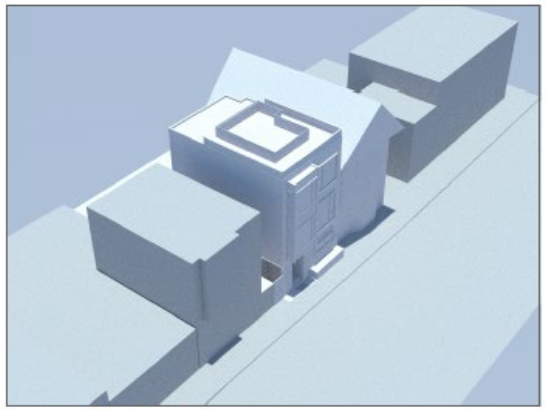
FRONT STREET VIEW

STREET VIEW LOOKING EAST

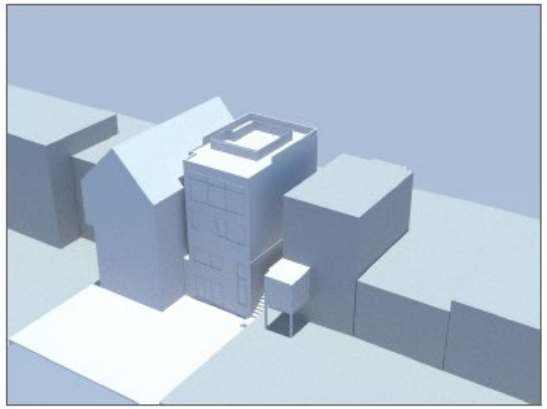


STREET VIEW LOOKING WEST

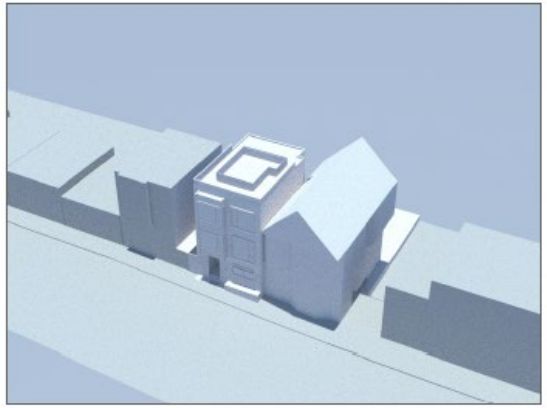
63 LAUSSAT STREET GRAY SCALE MODELS



AERIAL VIEW OF FRONT FACADE



AERIAL VIEW OF REAR FACADE



AERIAL VIEW OF FRONT FACADE