

EXECUTIVE SUMMARY COMMISSION REVIEW CASE

HEARING DATE: DECEMBER 9, 2021

Record No.: 2021-010715CRV Project Address: 1201 SUTTER STREET

Zoning: Polk Street Neighborhood Commercial District

65-A Height and Bulk District

Block/Lot: 0691/001 Project Sponsor: Peter Ziblatt

> Pelosi Ziblatt Law Group 244 Kearny Street, Ninth Floor San Francisco, CA 94108

Property Owner: 1201 Sutter, LLC

964 Natoma Street

San Francisco, CA 94103

Staff Contact: Nicholas Foster, AICP, LEED GA - (628) 652-7330

nicholas.foster@sfgov.org

Recommendation: Adoption of Findings related to a change in the elected inclusionary Affordable Housing **Program Alternative**

Background

The previously approved Project involved the demolition of an existing two-story plus mezzanine commercial building and the construction of a 6-story, mixed-use building with 54 dwelling units above approximately 7,500 square feet of ground-floor and basement-level commercial retail space (4 total retail spaces). The Project includes 23 off-street accessory parking spaces, 1 car share space, and 55 Class 1 bicycle parking spaces and 6 Class 2 bicycle parking spaces. The Project was issued a Rear Yard Modification Decision on December 11, 2017. The Department approved the Site Permit (No. 201511203273) on January 5, 2018. On August 29, 2018, the Department of Building Inspection (DBI) issued the building permit. The new building is constructed and is now awaiting issuance of the Certificate of Final Completion and Occupancy

Current Project Description

The current proposal would modify the Project's means of compliance with the Inclusionary Affordable Housing Program from the on-site affordable housing alternative to payment of the affordable housing fee. The proposal would also convert eight (8) studio units into one-bedroom units. As approved, the Project included eight (8) onsite affordable dwelling units, representing a 14.5% on-site inclusionary housing rate. The proposed change would result in a fee at a rate of 30%.

Required Commission Action

In order for the Project to proceed, the Planning Commission must adopt findings related to the requested change in elected Inclusionary Affordable Housing Program Alternative, from the on-site affordable housing alternative to payment of the affordable housing fee, pursuant to Planning Code Section 415.5(g)(2). Pursuant to Planning Code Section 415.5(g)(3), the Planning Commission shall be limited to considering issues related to Section 415 in considering the request for modification.

Issues and Other Considerations

• Public Comment & Outreach. To date, the Department has not received any correspondence related to the proposed modification to the Project's means of compliance with the Inclusionary Affordable Housing Program.

Environmental Review

The Project was issued a Class 32 Categorical Exemption on October 5, 2017. The Approval Action for the Project for the purposes of CEQA occurred on January 5, 2018 by the Department's approval of the Site Permit (No. 201511203273). Amending an approved project's means of compliance with the Inclusionary Affordable Housing Program is not considered a "Project" under the California Environmental Quality Act ("CEQA").

Basis for Recommendation

The Department finds that the proposed change to the Project's means of compliance with the Inclusionary Affordable Housing Program, from the on-site affordable housing alternative to payment of the affordable housing fee, does not affect the Project's consistency with the Objectives and Policies of the General Plan. Pursuant to Planning Code Section 415, both the on-site affordable housing alternative and the payment of the affordable housing fee are considered equally Code-compliant. The Department currently estimates the affordable housing fee for this Project to be \$3,529,539, at an applicable rate of 30 percent for an ownership project. The sponsor would also be required to pay interest on the fee.

Attachments:

Draft Resolution - Commission Review Case

Exhibit A - Conditions of Approval

Exhibit B - Inclusionary Affordable Housing Affidavit

Exhibit C – Rear Yard Medication Decision (for reference only)

Exhibit D – Approved Plans & Renderings (for reference only)





PLANNING COMMISSION DRAFT RESOLUTION

HEARING DATE: DECEMBER 9, 2021

Record No.: 2021-010715CRV Project Address: 1201 SUTTER STREET

Zoning: Polk Street Neighborhood Commercial District

65-A Height and Bulk District

Block/Lot: 0691 / 001 Project Sponsor: Peter Ziblatt

> Pelosi Ziblatt Law Group 244 Kearny Street, Ninth Floor San Francisco, CA 94108

Property Owner: 1201 Sutter, LLC

964 Natoma Street

San Francisco, CA 94103

Staff Contact: Nicholas Foster, AICP, LEED GA – (628) 652-7330

nicholas.foster@sfgov.org

RESOLUTION ADOPTING FINDINGS RELATED TO THE REQUESTED CHANGE IN THE ELECTED INCLUSIONARY AFFORDABLE HOUSING PROGRAM ALTERNATIVE FOR A PREVIOUSLY APPROVED PROJECT, FROM THE ONSITE AFFORDABLE HOUSING ALTERNATIVE TO PAYMENT OF THE AFFORDABLE HOUSING FEE, PURSUANT TO PLANNING CODE SECTION 415.5(g)(2).

WHEREAS, on September 30, 2021, Peter Ziblatt (hereinafter "Project Sponsor") filed a Project Application (hereinafter "Application") with the Planning Department (hereinafter "Department") to change an approved Project's (hereinafter "Project") means of compliance with the Inclusionary Affordable Housing Program, pursuant to Planning Code Section 415.5(g)(2), from the on-site affordable housing alternative to payment of the affordable housing fee at 1201 Sutter Street, Block 0691 and Lot 001 at the Project Site (hereinafter "Site"). The application packet was deemed accepted on October 19, 2021 and assigned Case Number 2021-010715CRV.

WHEREAS, the Project was issued a Class 32 Categorical Exemption on October 5, 2017. The Approval Action for the Project for the purposes of CEQA occurred on January 5, 2018 with the Department's approval of the Site Permit (No. 201511203273). Amending an approved project's means of compliance with the Inclusionary Affordable Housing Program is not considered a "Project" under the California Environmental Quality Act ("CEQA").

WHEREAS, on December 9, 2021, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2021-010715CRV.

WHEREAS, the Planning Department Commission Secretary is the custodian of records; the File for Record No. 2021-010715CRV is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

WHEREAS, the Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby finds that the requested change in the elected inclusionary affordable housing program alternative, as requested in Application No. 2021-010715CRV, meets the requirements under Planning Code Section 415.5(g)(2), subject to the conditions contained in "EXHIBIT A" of this resolution, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

- 1. The above recitals are accurate and constitute findings of this Commission.
- 2. Project Description. The current proposal would modify the Project's means of compliance with the Inclusionary Affordable Housing Program from the on-site affordable housing alternative to payment of the affordable housing fee. The proposal would also covert eight (8) studio units into one-bedroom units. As approved, the Project included eight (8) on-site affordable dwelling units, representing a 14.5% on-site inclusionary housing rate. The proposed change would result in a fee at a rate of 30%. The previously approved Project involved the demolition of an existing two-story plus mezzanine commercial building and the construction of a 6-story, mixed-use building with 54 dwelling units above approximately 7,500 square feet of ground-floor and basement-level commercial retail space (4 total retail spaces). The Project includes 23 off-street accessory parking spaces, 1 car share space, and 55 Class 1 bicycle parking spaces and 6 Class 2 bicycle parking spaces. The Project was issued a Rear Yard Modification Decision on December 11, 2017. The Department approved the Site Permit (No. 201511203273) on January 5, 2018. On August 29, 2018, the Department of Building Inspection (DBI) issued the building permit. The new building is constructed and is now awaiting issuance of the Certificate of Final Completion and Occupancy.
- 3. Site Description and Present Use. The Project Site ("Site") is located on Lot 001 of Assessor's Block 0691, fronting the south side of Sutter Street, between Polk Street and Van Ness Avenue. The Site is a corner lot, with frontage along Sutter Street to the north, Polk Street to the east, and Hemlock Street to the south. The Site was occupied by an existing two-story plus mezzanine commercial building that measured 32 feet tall. The existing building was constructed in 1906 and contained office uses above ground-floor retail sales and service uses. The Site previously did not contain any off-street parking. The existing building was located within the identified-eligible Polk Gulch Historic District ("District"). Buildings within this District



are noted for their representation of the evolution of architectural styles and typologies in an area along Polk Street that was rebuilt following the 1906 Earthquake. Although the existing building included two, intact architecturally-outstanding storefronts and original transom windows, the building as a whole lacked integrity, and no longer retained association with the identified-eligible District, and was considered a non-contributor to the District. The existing building at 1201 Sutter was deemed not eligible for listing on the California Register as an individual resource or as a contributor to a District and thus was not considered a historical resource under CEQA. The Department determined that the Project's architectural design was compatible with the District. The newly-constructed building is developed as a 6-story mixed-use building with 54 dwelling units above approximately 7,500 square feet of ground-floor and basement-level commercial retail space (4 total retail spaces). The Project includes 23 off-street accessory parking spaces, 1 car share space, and 55 Class 1 bicycle parking spaces and 6 Class 2 bicycle parking spaces.

- **4. Surrounding Properties and Neighborhood.** The Site is located within the southern area of the Polk Gulch neighborhood and the northwestern area of the Downtown/Civic Center neighborhood. The buildings in the immediate vicinity range in height, from one-story plus mezzanine along Sutter Street, two-to-three stories along Polk Street, and two-to-four stories along Hemlock Street. Along the western end of the subject block are a cluster of 10-story-plus buildings, all fronting Van Ness Avenue. Land uses in the surrounding area include a diverse mixture of residential and commercial uses, with a strong presence of ground-floor retail sales and service uses that includes grocery stores, specialty retailers, bars and restaurants.
- **5. Public Outreach and Comments.** To date, the Department has not received any correspondence related to the proposed modification to the Project's means of compliance with the Inclusionary Affordable Housing Program.
- **6. Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. Inclusionary Affordable Housing Program (Section 415). Planning Code Section 415 sets forth the requirements and procedures for the Inclusionary Affordable Housing Program. Under Planning Code Section 415.3, the current percentage requirements apply to projects that consist of ten or more units. Pursuant to Planning Code Section 415.5, the Project must pay the Affordable Housing Fee ("Fee"). This Fee is made payable to the Department of Building Inspection ("DBI") for use by the Mayor's Office of Housing and Community Development for the purpose of increasing affordable housing citywide. The applicable percentage is dependent on the number of units in the project, the zoning of the property, if the project is a rental or ownership project, and the date that the project submitted a complete Project Application.

The Project Sponsor is seeking to modify their elected Inclusionary Affordable Housing Alternative by paying the Affordable Housing Fee instead of providing affordable units on-site. The Project Sponsor has submitted an 'Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415,' to satisfy the requirements of the Inclusionary Affordable Housing Program through payment of the Fee, in an amount to be established by the Mayor's Office of Housing and Community Development. A complete Project Application was submitted on August 31, 2015; therefore, pursuant to



Planning Code Section 415.3 the Inclusionary Affordable Housing Program requirement for the Affordable Housing Fee is at a rate equivalent to an off-site requirement of 30%. This project is an ownership project.

7. General Plan Compliance. The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

GENERAL PLAN: HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.1

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

Policy 1.8

Promote mixed use development, and include housing, particularly permanently affordable housing, in new commercial, institutional or other single use development Projects.

Policy 1.10

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

Although the Project no longer proposes to provide eight (8) affordable dwelling units on-site, the Project is still consistent with the Objectives and Policies of the City's General Plan through financial contribution to the City's Affordable Housing Fund at a rate of 30 percent, or a total estimated fee payment of \$3,529,539, which does not include the required interest payment. These funds can be used by the City to help create permanently affordable housing.

- **8.** Planning Code Section 101 Findings. Planning Code Section 101.1(b) establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:
 - A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.
 - The approved Project includes replacement gross floor area devoted to neighborhood-serving retail sales and service uses on the ground floor, preserving opportunities for employment for nearby residents.
 - B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.



The Project would not impact existing housing and neighborhood character. No existing housing is proposed for removal by the construction of the Project. Neighborhood character will be preserved by the Project's thoughtful, contextual response to the surrounding neighborhood and to the existing structure it will be built upon.

C. That the City's supply of affordable housing be preserved and enhanced.

The Project would not displace any housing given the Site contains only non-residential uses. The Project would add 54 dwelling units. The Project, as modified, would contribute to the City's Affordable Housing Fund through payment of the affordable housing fee at a rate of 30 percent.

D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

Generally, the Project is well-served by transit and would promote rather than impede the use of MUNI transit service. Future residents and employees of the Project could access both the existing MUNI rail and bus services as well as the BART system through Civic Center Station, two-thirds of a mile away (approximately a 20-minute walk). The Project also provides a sufficient amount off-street accessory parking (with a parking rate of 0.43 spaces/unit) for future residents so that neighborhood parking will not be overburdened by the addition of new residents and building users.

E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project will not displace any service or industry establishment. Service sector employment and/or ownership will be enhanced through the Project's provision of four, newly-constructed, ground-floor commercial retail tenant spaces totaling approximately 7,500 square feet.

F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project has been designed and constructed to conform to the structural and seismic safety requirements of the Building Code. The Project will not impact the property's ability to withstand an earthquake.

G. That landmarks and historic buildings be preserved.

The Site does not contain any landmark buildings. The existing building on the Site was deemed not eligible for listing on the California Register as an individual resource or as a contributor within the Polk Gulch Historic District ("District") and thus was not considered a historical resource under CEQA. The Project's overall form and continuity, scale and proportion, fenestration, and materials is compatible with the character-defining features of the District. Therefore, the Project will not cause a significant impact to a California Register-eligible historic district or context as proposed.

H. That our parks and open space and their access to sunlight and vistas be protected from



development.

The Project will have no negative impact on existing parks and open spaces. The Project does not have an impact on open spaces.

NOW THEREFORE BE IT RESOLVED that the Commission hereby finds that the requested change in the elected inclusionary affordable housing program alternative, as requested in Application No. 2021-010715CRV, meets the requirements under Planning Code Section 415.5(g)(2), as described in this Resolution.

I hereby certify that the foregoing Resolution was adopted by the Commission at its meeting on December 9, 2021.

Commission Secretary

AYES:

NAYS:

Jonas P. Ionin

ABSENT: RECUSE:

ADOPTED: December 9, 2021



EXHIBIT A

Authorization

This authorization is for an change to the Project's means of compliance with the Inclusionary Affordable Housing Program from the on-site affordable housing alternative to payment of the affordable housing fee, pursuant to Planning Code Sections 415.5(g)(2), for the Project located at 1201 Sutter Street, Lot 0691/001, within the Polk Street Neighborhood Commercial District Zoning District and 65-A Height and Bulk District; in general conformance with approved plans, dated August 13, 2015, and stamped "EXHIBIT B" included in the docket for Record No. 2014-001674PRJ and subject to conditions of approval reviewed and approved by the Commission on December 9, 2021 under Resolution No XXXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

Recordation of Conditions of Approval

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **December 9, 2021** under Resolution No XXXXXX.

Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' of this Planning Commission Resolution No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Planning Commission Resolution and any subsequent amendments or modifications.

Severability

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a Planning Commission Resolution.



CONDITIONS OF APPROVAL, COMPLIANCE, MONITORING, AND REPORTING

Provisions

- 1. Inclusionary Affordable Housing Program. The following Inclusionary Affordable Housing Requirements are those in effect at the time of Planning Commission action. In the event that the requirements change, the Project shall comply with the requirements in place at the time of issuance of first construction document.
 - **A. Requirement.** Pursuant to Planning Code Section 415.5, the Project Sponsor must pay an Affordable Housing Fee at a rate equivalent to the applicable percentage of the number of units in an off-site project needed to satisfy the Inclusionary Affordable Housing Program Requirement for the principal project. The applicable percentage for this project is thirty percent (30%) because it is a ownership project. The Project Sponsor shall pay the applicable Affordable Housing Fee at the prior to the issuance of the first construction document.

For information about compliance, contact the Case Planner, Planning Department at (628) 652-7330, www.sfplanning.org or the Mayor's Office of Housing and Community Development at (415) 701-5500, www.sfmohcd.org.

B. Other Conditions. The Project is subject to the requirements of the Inclusionary Affordable Housing Program under Section 415 et seq. of the Planning Code and the terms of the City and County of San Francisco Inclusionary Affordable Housing Program Monitoring and Procedures Manual ("Procedures Manual"). The Procedures Manual, as amended from time to time, is incorporated herein by reference, as published and adopted by the Planning Commission, and as required by Planning Code Section 415. Terms used in these conditions of approval and not otherwise defined shall have the meanings set forth in the Procedures Manual. A copy of the Procedures Manual can be obtained at the Mayor's Office of Housing and Community Development ("MOHCD") at 1 South Van Ness Avenue or on the Planning Department or Mayor's Office of Housing and Community Development's websites, including on the internet at: http://sf-planning.org/Modules/ShowDocument.aspx?documentid=4451.

As provided in the Inclusionary Affordable Housing Program, the applicable Procedures Manual is the manual in effect at the time the subject units are made available for sale or rent.

For information about compliance, contact the Case Planner, Planning Department at (628) 652-7600, www.sfplanning.org or the Mayor's Office of Housing and Community Development at (415) 701-5500, www.sfmohcd.org.

- i. The Project Sponsor must pay the Fee in full sum to the Development Fee Collection Unit at the DBI for use by MOHCD prior to the issuance of the first construction document.
- ii. Prior to the issuance of the first construction permit by the DBI for the Project, the Project Sponsor



- shall record a Notice of Special Restriction on the property that records a copy of this approval. The Project Sponsor shall promptly provide a copy of the recorded Notice of Special Restriction to the Department and to MOHCD or its successor.
- iii. If project applicant fails to comply with the Inclusionary Affordable Housing Program requirement, the Director of DBI shall deny any and all site or building permits or certificates of occupancy for the development project until the Planning Department notifies the Director of compliance. A Project Sponsor's failure to comply with the requirements of Planning Code Sections 415 et seq. shall constitute cause for the City to record a lien against the development project and to pursue any and all other remedies at law, including interest and penalties, if applicable.



EXHIBIT B: INCLUSIONARY AFFORDABLE HOUSING AFFIDAVIT

AFFIDAVIT

COMPLIANCE WITH THE INCLUSIONARY AFFORDABLE HOUSING PROGRAM PLANNING CODE SECTION 415, 417 & 419





SAN FRANCISCO PLANNING DEPARTMENT

1650 MISSION STREET, SUITE 400 SAN FRANCISCO, CA 94103-2479 MAIN: (415) 558-6378 SFPLANNING.ORG

11-2-21	This project requires the following approval:					
I,, do hereby declare as follows:	 Planning Commission approval (e.g. Conditional Use Authorization, Large Project Authorization) 					
	☐ Zoning Administrator approval (e.g. Variance)					
The subject property is located at (address and block/lot):	This project is principally permitted.					
1145 Polk/1201 Sutter	The Current Planner assigned to my project within the Planning Department is:					
0691/001	NICHOLAS FOSTER					
Block / Lot	Planner Name					
The subject property is located within the following Zoning District:	A complete Environmental Evaluation Application or Project Application was accepted on:					
NCD						
Zoning District 65 '	The project containstotal dwelling units and/or group housing rooms.					
Height and Bulk District						
Is the subject property located in the SOMA NCT, North of Market Residential SUD, or Mission Area	This project is exempt from the <i>Inclusionary Affordable Housing Program</i> because: ☐ This project is 100% affordable. ☐ This project is 100% student housing.					
Plan? □ Yes ፲፮ No	Is this project in an UMU Zoning District within the Eastern Neighborhoods Plan Area?					
The proposed project at the above address is subject to the <i>Inclusionary Affordable Housing Program</i> , Planning Code Section 415 and 419 et	☐ Yes					
seq. The Planning Case Number and/or Building Permit Number is:	Is this project a HOME-SF Project? ☐ Yes ☐ If yes, please indicate HOME-SF Tier)					
Planning Case Number 2015-1120-3273	Is this project an Analyzed or Individually Requested State Density Bonus Project? ☐ Yes ☑ No					

Building Permit Number

Please indicate the tenure of the project. ▼ Ownership. If affordable housing units are provided on-site or off-site, all affordable units will be sold as ownership units and will remain as ownership units for the life of the project. The applicable fee rate is the ownership fee rate. ☐ **Rental.** If affordable housing units are provided on-site or off-site, all affordable units will be rental units and will remain rental untis for the life of the project. The applicable fee fate is the rental fee rate. This project will comply with the Inclusionary Affordable Housing Program by: ☑ Payment of the Affordable Housing Fee prior to the first construction document issuance (Planning Code Section 415.5) ☐ On-site Affordable Housing Alternative (Planning Code Sections 415.6) ☐ Off-site Affordable Housing Alternative (Planning Code Sections 415.7) ☐ Combination of payment of the Affordable Housing Fee and the construction of on-site or off-site units (Planning Code Section 415.5 - required for Individually Requested State Density Bonus Projects) ☐ Eastern Neighborhoods Alternate Affordable Housing Fee (Planning Code Section 417) ☐ Land Dedication (Planning Code Section 419)

The applicable inclusionary rate is:

30%

On-site, off-site or fee rate as a percentage

If the method of compliance is the payment of the Affordable Housing Fee pursuant to Planning Code Section 415.5, please indicate the total residential gross floor area in the project.

35,716

Residential Gross Floor Area

The Project Sponsor acknowledges that any change which results in the reduction of the number of on-site affordable units following the project approval shall require public notice for a hearing and approval by the Planning Commission.

- The Project Sponsor acknowledges that failure to sell or rent the affordable units or to eliminate the on-site or off-site affordable units at any time will require the Project Sponsor to:
 - Inform the Planning Department and the Mayor's Office of Housing and Community Development and, if applicable, fill out a new affidavit;
 - (2) Record a new Notice of Special Restrictions; and
 - (3) Pay the Affordable Housing Fee plus applicable interest (using the fee schedule in place at the time that the units are converted from ownership to rental units) and any applicable penalties by law.
- The Project Sponsor acknowledges that in the event that one or more rental units in the principal project become ownership units, the Project Sponsor shall notifiy the Planning Department of the conversion, and shall either reimburse the City the proportional amount of the Inclusionary Affordable Housing Fee equivalent to the thencurrent requirement for ownership units, or provide additional on-site or off-site affordable units equivalent to the then-current requirements for ownership units.
- For projects with over 25 units and with EEA's accepted between January 1, 2013 and January 12 2016, in the event that the Project Sponsor does not procure a building or site permit for construction of the principal project before December 7, 2018, rental projects will be subject to the on-site rate in effect for the Zoning District in 2017, generally 18% or 20%.
- For projects with EEA's/PRJ's accepted on or after January 12 2016, in the event that the Project Sponsor does not procure a building or site permit for construction of the principal project within 30 months of the Project's approval, the Project shall comply with the Inclusionary Affordable Housing Requirements applicable thereafter at the time the Sponsor is issued a site or building permit.
- If a Project Sponsor elects to completely or partially satisfy their Inclusionary Housing requirement by paying the Affordable Housing Fee, the Sponsor must pay the fee in full sum to the Development Fee Collection Unit at the Department of Building Inspection for use by the Mayor's Office of Housing prior to the issuance of the first construction document.

UNIT MIX TABLES

N/A

N/A

Number of All Units in	1 PRINCIPAL PROJECT:							
TOTAL UNITS: 54	SRO / Group Housing:	Studios: 43		One-Bedroom Units:	Two-Bedroom Units:		Three (or more) Bedroom Units:	
Housing Alternative is submitted an Environi State Density Bonus F the Combination Affor 415.3. If the Project in Unit Replacement Sec	mental Evaluation Appl Projects that have subrardable Housing Alterna Includes the demolition	F Projects pursulication prior to inited an Enviro titve to record the conversion, or	uant to Januai nment ne requ remov	Planning Code Section 12, 2016 must select of 12, 2016 must select all Evaluation Application and of any qualifying af	on 206.4 ct the Or ion on o ty bonus fordable	. State Density n-Site Affordals r after to Janu s pursuant to F e units, please	The On-Site Affordable y Bonus Projects that have ble Housing Alternative. ary 12, 2016 must select Planning Code Section complete the Affordable of the unit total.	
				70.0, 170.0, 170.0, 0.	200. 1/1	,,,	or the arm total.	
TOTAL UNITS:	Units to be Located Of	Studios:		One-Bedroom Units:	Two Poo	droom Units:	Three (or more) Redreem Unite	
TOTAL UNITS:	SRO / Group Housing:	Studios:		One-Bedroom Onits:	IWO-Dec	aroom onits:	Three (or more) Bedroom Units:	
LOW-INCOME	Number of Affordable Uni	ts	% of T	otal Units	ı	AMI Level		
MODERATE-INCOME	Number of Affordable Uni	its	% of T	otal Units		AMI Level		
MIDDLE-INCOME	Number of Affordable Uni	ts	% of T	otal Units		AMI Level		
Number of Affordable	ole Housing Alternati	FF-SITE:	ode Se			% of the u		
TOTAL UNITS:	SRO / Group Housing: Studios: One-Bedroom L		One-Bedroom Units:	Two-Bed	droom Units:	Three (or more) Bedroom Units:		
Area of Dwellings in Princi	pal Project (in sq. feet):	Off-Site Project Address:						
Area of Dwellings in Off-Si	te Project (in sq. feet):							
Off-Site Block/Lot(s):		Motion No. for Off-Site Project (if applicable):				of Market-Rate U	nits in the Off-site Project:	
AMI LEVELS:	Number of Affordable Uni	ts	% of T	otal Units		AMI Level		

% of Total Units

% of Total Units

Number of Affordable Units

Number of Affordable Units

AMI Level

AMI Level

UNIT MIX TABLES: CONTINUED

N/A		payment of a fee, on-s						ring distribution: te units for rent and/or for sale.						
	1. On-Site	% of affordable	•	,		ajoi on-site	Delow Harket Ia	te units for ferit ariufor for sale.						
			•			reauiren	nent field and	complete the Density						
	If the project is a State Density Bonus Project, please enter "100%" for the on-site requirement field and complete the Density Bonus section below.													
	Number of Affordable	Units to be Located ON	I-SITE:											
	TOTAL UNITS:	SRO / Group Housing:	Studios:		One-Bedroom Units:	Two-Bed	room Units:	Three (or more) Bedroom Units:						
N/A	2. Off-Site % of affordable housing requirement.													
,	Number of Affordable	Units to be Located OF	F-SITE:											
	TOTAL UNITS:	SRO / Group Housing:	Studios:		One-Bedroom Units:	Two-Bed	room Units:	Three (or more) Bedroom Units:						
	Area of Dwellings in Princip	al Project (in sq. feet):	Off-Site Project Ad	dress:										
	Area of Dwellings in Off-Site	e Project (in sq. feet):												
						T								
	Off-Site Block/Lot(s):		Motion No. for Off-Site Project (if applicable):				Number of Market-Rate Units in the Off-site Project:							
3 T / 7	Income Levels for On-Site or Off-Site Units in Combination Projects:													
N/A	AMI LEVELS:	Number of Affordable Unit	ī		otal Units	AMI Level								
	AMI ELVELO.		70 01 10	otal Office										
	AMI LEVELS:	Number of Affordable Unit		0/ of T	otol I loito		AMI Level							
	AWII LEVELS.	Number of Allordable of the	ts % of Total Units				, 2000							
	L	 	0/ of T-4-111-2-											
	AMI LEVELS:	Number of Affordable Unit	S	% of To	otal Units	AMI Level								
	3. Fee 3.0) . 0 % of affordable	nousing require	ment.										
	Is this Project a State				and the numb	or of ho	nue unite and	the honus amount of						
	If yes, please indicate the bonus percentage, up to 35%, and the number of bonus units and the bonus amount of residentail gross floor area (if applicable)													
	I acknowledge tha	at Planning Code Sect	ion 415.4 requir	es tha	at the Inclusionary Fee	be char	ged on the b	onus units or the bonus						
	residential floo	r area.												
	Affordable Unit Replac	ement: Existing Numbe	er of Affordable U	Jnits to	o be Demolished, Conv	erted, or	Removed for	the Project						
	TOTAL UNITS:	SRO / Group Housing:	Studios:		One-Bedroom Units:	Two-Bed	room Units:	Three (or more) Bedroom Units:						
N/A														
	This project will replace	e the affordable units	to be demolishe	ed, cor	nverted, or removed u	ising the	following me	thod:						
	☐ On-site Affordable Housing Alternative													
	□ Payment of the Affordable Housing Fee prior to the first construction document issuance													
	☐ Off-site Afford	☐ Off-site Affordable Housing Alternative (Section 415.7)												
	□ Combination	of payment of the Affo	ordable Housing	Fee a	and the construction o	of on-site	or off-site un	its (Section 415.5)						

1201 SUTTER, LLC	
Company Name MICHELLE HUGHES	
Name (Print) of Contact Person	
964 NATOMA STREET	SAN FRANCISCO, CA 94103
Address	City, State, Zip
415-531-8516	MICHELLE@DOLMENPROPERTYGROUP.COM
Phone Fax	Email
of the State of California that the foregoing is tr	ect property. I declare under penalty of perjury under the laws rue and correct. I hereby declare that the information herein is t I intend to satisfy the requirements of Planning Code Section
Signature:	Name (Print), Title:
orginatore.	PETER F. ZIBLATT
SAN FRANCISCO CA	11/2/21
Contact Information and Declaration of Sponsor of OFF	-SITE PROJECT (If Different)
Company Name	
Name (Print) of Contact Person	City, State, Zip
Name (Print) of Contact Person Address	City, State, Zip
Name (Print) of Contact Person Address Phone Fax I hereby declare that the information herein is accu	Email urate to the best of my knowledge and that I intend to satisfy
Company Name Name (Print) of Contact Person Address Phone / Fax I hereby declare that the information herein is accuthe requirements of Planning Code Section 415 as Sign Here	Email urate to the best of my knowledge and that I intend to satisfy

San Francisco, CA 94103

September 29th 2021

RE: 1201 Sutter Street/1145 Polk Street, San Francisco, CA 94109

To whom it may concern at SF Planning Department-

Mr. Peter Ziblatt of Pelosi- Ziblatt Law Group is hereby authorized to submit applications to the planning department with regards to the property at 1201 Sutter Street (APN 0691/001) on behalf of the property owner.

Regards,

1201 Sutter IN

Seamus Naughten- Manager

EXHIBIT C: REAR YARD MODIFICATION DECISION (FOR REFERENCE ONLY)

Rear Yard Modification Decision

Date:

December 11, 2017

Case No.:

2014-001674VAR

Project Address:

1145 POLK STREET

Zoning:

Polk Street Neighborhood Commercial Zoning District

Lower Polk Street Alcohol Restricted Use District

65-A Height and Bulk District

Block/Lots:

0691/001

Applicant:

David Sternberg

Sternberg Benjamin Architects

1331 Harrison Street

San Francisco, CA 94103

Owner:

1145 Polk, LLC

c/o Pacific Realty Exchange

1452 Broadway

San Francisco, CA 94109

Staff Contact:

Nicholas Foster - (415) 575-9167

nicholas.foster@sfgov.org

DESCRIPTION - REAR YARD MODIFICATION SOUGHT:

The proposed project ("Project") includes the demolition of an existing two-story-plus-mezzanine commercial building and the construction of a 6-story mixed-use building with 54 dwelling units above approximately 7,500 square feet of ground-floor and basement-level commercial retail space (4 total retail spaces). The Project includes 23 off-street parking vehicular parking spaces, 1 car share space, and 55 Class 1 bicycle parking spaces and 6 Class 2 bicycle parking spaces.

Section 134 of the Planning Code requires a minimum rear yard of approximately 17 feet (or approximately 2,062 square feet in area) for the subject property. The project proposes to construct a mixed-use residential building on the subject property, with full lot coverage at the ground floor. In lieu of a rear yard, the project would provide an open area beginning at the lowest floor containing residential uses (approximately 966 square feet in area), three private balconies counting as private useable open space, and a roof deck for common useable open space (approximately 5,465 square feet in area), thereby exceeding the total amount of required open area for the subject lot. Because the proposed structure would encroach into the required rear yard, the project is seeking a modification of the rear yard requirements.

PROCEDURAL BACKGROUND:

1. The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 32 Categorical Exemption.

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

Fax:

415.558.6409

Planning Information: 415.558.6377

- The Zoning Administrator held a public hearing on Case No. 2014-001674VAR on December 6, 2017.
- 3. Neighborhood notification pursuant to Planning Code Section 312 was performed for Building Permit Application No. 201511203273 between October 23, 2017 and November 22, 2017. No requests for Discretionary Review were filed during the notification period.

DECISION:

GRANTED, in general conformity with the plans on file with this application, shown as EXHIBIT A, to allow the construction of a new 6-story building with 54 dwelling units above ground-floor and basement-level commercial retail spaces totaling approximately 7,500 square feet, subject to the following conditions:

- 1. Any future physical expansion, even in the buildable area, shall be reviewed by the Zoning Administrator to determine if the expansion is compatible with existing neighborhood character and scale. If the Zoning Administrator determines that there would be a significant or extraordinary impact, the Zoning Administrator shall require either notice to adjacent and/or affected property owners or a new application be sought and justified.
- 2. The proposed project must meet these conditions and all applicable City Codes. In case of conflict, the more restrictive controls apply.
- 3. Minor modifications as determined by the Zoning Administrator may be permitted.
- 4. The owner of the subject property shall record on the land records of the City and County of San Francisco the conditions attached to this decision as a Notice of Special Restrictions in a form approved by the Zoning Administrator.
- 5. This Decision and the recorded Notice of Special Restrictions shall be reproduced on the Index Sheet of the construction plans submitted with the Site or Building Permit Application for the Project. This Index Sheet of the construction plans shall reference the Case Number.

REAR YARD MODIFICATION CRITERIA:

Planning Code Section 134(e)(1). General. The rear yard requirement in NC Districts may be modified or waived by the Zoning Administrator pursuant to the procedures which are applicable to variances, as set forth in Sections 306.1 through 306.5 and 308.2, if all of the following criteria are met for NC Districts:

CRITERION 1.

Residential uses are included in the new or expanding development and a comparable amount of usable open space is provided elsewhere on the lot or within the development where it is more accessible to the residents of the development.

Requirement Met.

A. The Project would create fifty-four (54) new dwelling units on a lot that is developed with a commercial building containing no existing dwelling units. The Project would provide useable open space in the following amounts and locations: an inner courtyard located at the lowest floor containing residential uses, measuring approximately 966 square feet in area; three (3) private balconies located on Floor 2 containing a total of 692 square feet of private useable open space; and a roof deck functioning as common useable open space (approximately 5,465 square feet in area). The total amount of useable open space required for the 54 dwelling units is 4,260 square feet and the total area of the required rear yard for the subject lot is 2,061 square feet. The Project provides 6,157 square feet of useable open space (combination of private and common) that meets the area and dimensional requirements of the Code. The Project also provides a 966 square foot inner courtyard (open area) on Floor 2 that, while not meeting the requirements of the Code to count as common useable open space, nevertheless adds to the total amount of open space available to future building tenants. The Project provides a total of 7,123 square feet of open space where a rear yard of 2,061 square feet is required; therefore, the Project provides more than a comparable amount of open space on the subject lot. Further, the location of open space is configured on the lot in a matter that maximizes accessibility for building residents.

CRITERION 2.

The proposed new or expanding structure will not significantly impede the access of light and air to and views from adjacent properties.

Requirement Met.

A. The subject property is a corner lot with three street frontages: Polk, Sutter, and Hemlock Streets. The only adjacent building is to the west (Block/Lot: 0691/012A), developed as a two-story building with full lot coverage, on a through lot fronting on both Sutter and Hemlock Streets. The proposed new building on the subject lot will be designed in a "U" configuration to reinforce the existing urban design of the site, replete with a pattern of prominent streetwalls along Polk and Sutter Streets (with a horizontal setback along the Hemlock Street frontage), while allowing a small inner courtyard fronting the lot located immediately to the west (Lot 012A). The proposed inner courtyard provides a much-needed physical buffer from the neighboring lot, while also providing additional open space for future tenants of the subject property. The proposed building would not impede the access to light and air for adjacent properties as the proposed building faces the blind wall of this neighboring building to the west, while the three streets themselves provide sufficient buffering between buildings located along Sutter, Polk, or Hemlock Streets.

CRITERION 3.

The proposed new or expanding structure will not adversely affect the interior block open space formed by the rear yards of adjacent properties.

Requirement Met.

A. The purpose of the rear yard requirement is to provide a sense of openness between structures and promote a pattern of mid-block open space. There is currently no pattern of mid-block open space for lots located between Sutter and Hemlock Streets. Given that the majority of lots within the subject block are full-lot coverage, the proposed Project would create more open space than the adjacent lots in the form of an inner courtyard fronting Lot 012A, located immediately to the west of the subject lot. The placement of the inner court in this location will enhance and strengthen a pattern of mid-block open space that is currently not well-defined on the subject block.

Further, this development is consistent with the generally stated intent and purpose of the Planning Code to promote orderly and beneficial development. Planning Code Section 101.1 establishes eight priority-planning policies and requires review of applications for consistency with said policies. The project meets all relevant policies, including conserving neighborhood character, and maintaining housing stock.

- 1. Existing neighborhood retail uses will not be adversely affected by the proposed project.
- 2. The proposed project will be in keeping with the existing housing and neighborhood character. The proposal will add 54 dwelling units above approximately 7,500 square feet of ground-floor and basement-level commercial retail space
- 3. The proposed project is subject to the City's affordable housing requirements.
- The proposed project does not adversely affect neighborhood parking or public transit.
- 5. The project will have no effect on the City's industrial and service sectors.
- 6. The proposed project will have no effect on the City's preparedness to protect against injury and loss of life in an earthquake.
- 7. The project will have no effect on the City's landmarks or historic buildings.
- 8. The project would not affect any existing or planned public parks or open spaces.

The effective date of this decision shall be either the date of this decision letter if not appealed or the date of the Notice of Decision and Order if appealed to the Board of Appeals.

Once any portion of the granted decision is utilized, all specifications and conditions of the authorization became immediately operative.

The authorization and rights vested by virtue of this decision letter shall be deemed void and cancelled if (1) a Building Permit has not been issued within three years from the effective date of this decision; or (2) a Tentative Map has not been approved within three years from the effective date of this decision for Subdivision cases; or (3) neither a Building Permit or Tentative Map is involved but another required City action has not been approved within three years from the effective date of this decision. However,

this authorization may be extended by the Zoning Administrator when the issuance of a necessary Building Permit or approval of a Tentative Map or other City action is delayed by a City agency or by appeal of the issuance of such a permit or map or other City action.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

APPEAL: Any aggrieved person may appeal this decision to the Board of Appeals within ten (10) days after the date of the issuance of this Decision. For further information, please contact the Board of Appeals in person at 1650 Mission Street, 3rd Floor (Room 304) or call 575-6880.

Very truly yours,

Scott F. Sanchez
Zoning Administrator

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OCCUPANCY. PERMITS FROM APPROPRIATE DEPARTMENTS MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

EXHIBIT D: APPROVED PLANS (FOR REFERENCE ONLY)

• A0.1B • A0.2 • A0.3 • A0.40 • A0.41 • A0.42 MATERIAL SAMPLES VARIANCE DECISION AND NSF ACCESSIBILITY COMPLIANCE DETAILS 11A ACCESSIBILITY COMPLIANCE DETAILS 11A

ACCESSIBILITY COMPLIANCE DETAILS 11B ACCESSIBILITY COMPLIANCE DETAILS 11B ALLOWARI E AREA CALCULATIONS

• A0.50 • A0.51 OPEN SPACE DIAGRAMS • A0.60 • A0.61 • A0.62 EGRESS DIAGRAMS EGRESS DIAGRAMS EGRESS DIAGRAMS • A0.63 EGRESS DIAGRAMS

• C.1 SITE SURVEY

• A1.0 PROPOSED & EXISTING SITE / ROOF PLAN

• AX-102 EXISTING SECOND LEVEL FLOOR PLAN • AX-103 • AX-201 EXISTING BASEMENT LEVEL FLOOR PLAN EXISTING EXTERIOR ELEVATIONS AX-201. EXISTING EXTERIOR ELEVATIONS

• A2.0 • A2.01 • A2.02 PROPOSED BASEMENT FLOOR PLAN PROPOSED FIRST FLOOR PLAN PROPOSED SECOND FLOOR PLAN PROPOSED THRID FLOOR PLAN A2.03
A2.04
A2.05
A2.06
A2.07 PROPOSED FIFTH FLOOR PLAN PROPOSED SIXTH FLOOR PLAN PROPOSED ROOF PLAN

• A3.1 • A3.2 • A3.3 • A3.4 PROPOSED NORTH (SUTTER STREET) ELEVATION PROPOSED WEST PROPERTY LINE ELEVATION
PROPOSED SOUTH (HEMLOCK STREET) ELEVATION

NOTE: ALL BUILDINGS ARE FULLY SPRINKLERED PER NFPA 13 NOTE: SPRINKLERS ARE USED FOR 20' INCREASE IN HEIGHT AND INCREASE OF ONE STORY. SPRINKLERS ARE NOT USED FOR AREA INCREASE

PLANNING & BUILDING CODE SUMMARY

PROJECT DESCRIPTION
A PRIVATELY FUNDED RESIDENTIAL BUILDING WITH SUBTERFANEAN PARKING GARAGE AND GROUND FLOOR RETAIL. THE PROJECT IS ONE BUILDING CONSISTING OF THE ELEMENTS DESCRIBED BELOW.

A 5-STORY RESIDENTIAL BUILDING OF TYPE IIIA WOOD FRAMED RESIDENTIAL AND RELATED AMENITY SPACES OVER 1 LEVEL OF TYPE IA CONCRETE RETAIL SPACES AND 1 LEVEL TYPE IA SUBTERRANEAN

NUME I PARKING GARAGE...
RESIDENTIAL DWELLING UNITS, SEE STATISTICS FOR MORE INFORMATION.
L RESIDENTIAL UNITS ARE ADAPTABLE (ACCESSIBLE PER CHAPTER 11A). UNITS ABOVE THE GROUND
TOPIC APER ACCESSIBLE VIA ET FUATOR.

FLOOR ARE ACCESSIBLE VIA ELEVATOR.

* ALL PUBLIC AREAS AND CORRIDORS ARE ACCESSIBLE PER CHAPTER 11A.

*ALL PORTIONS OF THE PROJECT ARE FULLY SPRINKLERED PER 903.3.1.1 // INPA 13. ALL REFERENCES TO

AUTOMATIC SPRINKLERS SYSTEM MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM* MEAN 'PER 903.3.1.1 // INPA 13.*

**AUTOMATIC SPRINKLERS SYSTEM

PROJECT LOCATION: 1145 POLK STREET, SAN FRANCISCO, CA.

68.75' ALONG SUITER AND HEALOCK STREETS AND 120' ALONG POLK STREET.
BLOCK AND LOT NUMBER 0891001
LOT AREA 2,29' SQ FT

ZONING DISTRICT: SECT. 723: NCD: POLK STREET NEIGHBORHOOD COMMERCIAL

LARGE LOT DEVELOPMENTS: SECT. 121.1: POLK STREET NCD SUBJECT TO CONDITIONAL USE IF LOT SIZE IS 10,000 SF OR MORE. LOT SIZE IS 8,250 SF. CONDITIONAL USE NOT REQUIRED.

NON-RESIDENTIAL USE: SECT. 121.2: CONDITIONAL USE IS REQUIRED IF A NON-RESIDENTIAL SPACE IS 2,500 SF OR MORE. ALL NON-RESIDENTIAL SPACES ARE LESS THAN 2,500 SF. CONDITIIONAL USE IS NOT REQUIRED.

FLOOR AREA RATIO FOR NON-RESIDENTIAL USE: SECT. 124: 2.5 TO 1: NON-RESIDENTIAL SPACES ALLOWED TO BE 8,250 SF X 2.5 = 20,625 SF ALLOWED. 5,311 SF PROPOSED < 20,625 SF ALLOWED. BUILDING COMPLIES.

REAR YARD SETBACK: SECT. 134: 25% REQUIRED AT ALL RESIDENTIAL LEVELS: LESS THAN 25% ALLOWED SUBJECT TO REAR YARD MODIFICATION BY ZONING ADMINISTRATOR. PROPOSED REAR "YARD IS LESS THAN 25% LOT AREA." PROPOSED BUILDING COMPLES. SEE VARIANCE DECISION AND NSR.

USABLE OPEN SPACE: SECT. 135: 60 SF PRIVATE AND 80 SF COMMON PER UNIT REQUIRED: UNITS 308, 309 AND 310 HAVE PRIVATE TERRACES OVER 60 SF. 51 UNITS SHALL HAVE COMMON TERRACE ON THE ROOF. 5' X 80 SF = 4,080 SF REQUIRED. 5,436 SF ROOF TERRACE PROVIDED > 4,800 SF. BUILDING COMPLIES.

REQUIRED: 4,080 GSF (80 SF PER UNIT X 51 UNITS)
PROPOSED: 5,436 GSF (AT ROOF DECK) + 692 GSF (AT 3 PRIVATE UNIT BALCONIES)

STREET FRONTAGE REQUIREMENTS:

PARKING AND LOADING ENTRANCES:
NO MORNET HAN ONE-HIRD OF THE WIDTH OR 20 FEET, WHICHEVER IS LESS, OF ANY GIVEN STREET FRONTAGE OF A NEW OR ALTERED STRUCTURE PARALLEL TO AND FACING A STREET SHALL BE DEVOTED TO PARKING AND LOADING INGRESS OR EGGRESS

PROVIDED: 13' - 4" OF 67' -7" STREET FRONTAGE (ONE-FIFTH)

ACTIVE USES REQUIRED (SEC. 145.1013): WITH THE EXCEPTION OF SPACE ALLOWED FOR PARKING AND LOADING ACCESS, BUILDING EGRESS, AND ACCESS TO MECHANICAL SYSTEMS, SPACE FOR ACTIVE USES AS DEFINED IN SUBSECTION (B)(2) AND PERMITTED BY THE SPECIFIC DISTINCT IN WHICH IT IS LOCATED SHALL BE PROVIDED WITHIN THE FIRST 25 FEET OF BULLDONE DEPTH ON THE GROWN FLOOR

PROVIDED: ACTIVE USE SPACES ARE ALL LOCATED WITHIN 4' OF BUILDING DEPTH ON GROUND FLOOR

GROUND FLOOR CELING HEIGHT (SEC. 145.16/4XC);
GROUND FLOOR NON-RESIDENTIAL USES IN RC DISTRICTS SHALL HAVE A MINIMUM FLOOR-TO-FLOOR HEIGHT
OF 14 FEET

PROVIDED: 17' - 3"

AUTOMOBILE PARKING: SECT. 151: RESIDENTIAL: 0 SPACE PER UNIT REQUIRED: UP TO .5 PARKING SPACES ALLOWED. UP TO 27 (54 X .5) SPACES ALLOWED. 2 SPACES PROVIDED IN BASEMENT.

BICYCLE PARKING: SECT. 155.2
RESIDENTIAL: ONE CLASS 1 BICYCLE SPACE PER UNIT = 54 CLASS 1 SPACES REQUIRED. 54 CLASS 1 SPACES PROVIDED. ONE CLASS 2 PER 20 UNITS REQUIRED. 54 / 20 = 2.7 REQUIRED. THREE CLASS 2 SPACES PROVIDED. RETAIL: ONE CLASS 1 BICYCLE SPACE PER 7,500 SF. TOTAL RETAIL = 7,515 SF. ONE CLASS 1 SPACE PROVIDED. ONE CLASS 2 SPACE PER 2,500 SF. 7,515 / 2,500 = THREE BICYCLE SPACES REQUIRED. THREE

CAR SHARE SPACES: SECT. 166: ONE SPACE REQUIRED FOR 50 TO 200 UNITS. ONE SPACE PROVIDED

CAR PARKING		ALLOWED	PROVID
PUZZLE WITH PIT	RESIDENTIAL	27	
REQUIRED RESIDENTIAL	ADA VAN		
TOTAL		27	

PARKING REQUIRED		PARKING PROVIDED	
CLASS I SPACES	55	CLASS I SPACES	55
CLASS II SPACES	6	CLASS II SPACES	6
TOTAL	61	TOTAL	61

RESIDENTIAL DENSITY: SECT. 207(b)(8): ONE UNIT PER 400 SF OF LOT AREA. REDUCED TO ONE UNIT PER 200 SF WITH NEAREST RC-4 RESIDENTIAL DISTRICT. REDUCED TO 34 X 200 = 150 WITH STUDIO UNITS BELOW 500 SF. THREE UNITS OVER 005 2: 200 SF X 3 = 600 SF 8, 250 SF - 600 SF = 7,600 SF / 150 = 51 UNITS. 3 UNITS + 51 UNITS = 51 UTICAL UNITS ALLOWED AND PROPOSED.

HEIGHT LIMIT: SECT. 260: 65-A. 65-0° BUILDING TAKEN FROM MIDPOINT ALONG POLK STREET. SECT. 260(A)(3): LATERAL SLOPE HEIGHT MEASUREMENT NOT APPLICABLE FOR BUILDINGS SUBJECT TO BUILK LIMITS. SECT. 270: BUILK LIMITS. A PAXMIMUM OF 110′ LENDTH AND 125° DIAGONAL FOR ALL PORTIONS OF BUILDING OVER 40°.

HEIGHT LIMIT FOR NARROW STREETS; SECT. 261.1: HEIGHT LIMIT SETBACK 10' AT 1.25 X ALLEY WIDTH. HICKORY STREET = 35.16' WIDE X 1.25 = 43.95'. PROPOSED BUILDING SETS BACK 10' AT THIRD FLOOR AND ABOVE. BUILDING

OCCUPANCY GROUPS: RESIDENTIAL

CONSTRUCTION TYPE:

THE BUILDING SHALL COMPLY WITH THE 2013 CFC SECTION 510 FOR ERRC COVERAGE

ALLOWABLE GROSS FLOOR AREA / HEIGHTS / CONSTRUCTION TYPES BASE ALLOWABLE AREA PER FLOOR PER CBC2013 TABLE 503 FOR TYPE I-A:

BASE ALLOWABLE HEIGHT & STORIES PER CBC2013 TABLE 503 FOR TYPE I-A:

R-2 UNLIMITED S.F. A-3 UNLIMITED S.F.

BASE ALLOWABLE HEIGHT & STORIES PER CBC2013 TABLE 504.3 AND 504.4 FOR TYPE III-A: R-2 SPRINKLERED, WITHOUT AREA INCREASE 65 FEET / 4 STORIES

FIRE-RESISTANCE RATING REQUIREMENTS:

3 HOUR HORIZONTAL SEPARATION BETWEEN TYPE I-A & TYPE II-A REQUIREMENTS PER SECTION 510.2 HORIZONTAL BUILDING SEPARATION ALLOWANCE

FOR TYPE I-A CONSTRUCTION: FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS PER TABLE 601: STRUCTURAL FRAME

SHR REDUCE TO 11/2-HR FOR ROOF SUPPORT

SHR REDUCE TO 11/2-HR FOR ROOF SUPPORT

SHR REDUCE TO 11/2-HR FOR ROOF SUPPORT

HE REDUCE TO 11/2-HR FOR ROOF SUPPORT

HE REDUCE TO 11/2-HR FOR ROOF SUPPORT

1/2-HR FOR ROOF SUPPORT

1/2-H

TYPE III-A CONSTRUCTION: FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS PER TABLE 601

STRUCTURAL FRAME
EXTERIOR BEARING WALLS
INTERIOR BEARING WALLS
EXTERIOR NONBEARING WALLS & PARTITIONS
INTERIOR NONBEARING WALLS & PARTITIONS

FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE FOR TYPE I-A, III-A AND V-A CONSTRUCTION AND OCCUPANCY PER TABLE 602:

FIRE SEP. DIST. ACCUPANCIES: GROUP A. M. R.2 & S-2
X < 5 1 HR.
5 ≤ X < 10 1 HR.
10 \$ X < 30 1 HR.
X ≥ 30 0 HR.

CFC CHAPTER 5 - EMERGENCY RESPONDERS RADIO COVERAGE

SECTION 510.1: ALL BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS THE BUILDING. UPON COMPLETION OF THE BUILDING CONSTRUCTION, A RADIO COVERAGE TEST SHALL BE CONDUCTED PER THE APPLICABLE CODES AND STANDARDS AND IF THE TEST FAILS, AN EMERGENCY RESPRADIO COVERAGE SYSTEM SHALL BE INSTALLED.

GENERAL INFORMATION

ELEVATORS TO BE CAPABLE OF PHASE I AND PHASE II EMERGENCY OPERATION PER ASME A17.1, SECTION 2.27 "EMERGENCY OPERATION AND SIGNALING DEVICES"

ELEVATOR INTERFACE TO COMPLY WITH SFDBI AB 2.01 SECTION III. (HABITALBE SPACE

PROJECT SUMMARY 3



SITE LOCATION MAP 9



SITE VICINITY MAP



BUILDING AXON 7

UNIT AND AREA SUMMARY 5

	OCCUPANCY	USE	CONSTRUCTION	SPRINKLER	FIRE SPRINKLER INCREASE	FRONTAGE INCREASE	BASE ALLOWABLE AREA/ STORY	MAX ALLOWABLE AREA/STORY	PROPOSED A	REA / STORY	MAX ALLOWABLE AREA/BUILDING	PROPOSED AREA/ BUILDING	BASE ALLOWABLE STORIES	ALLOWABLE STORY INCREASE	PROPOSED	BASE ALLOWABLE HEIGHT	ALLOWABLE HEIGHT INCREASE	PROPOSED
	CHAPTER 3	TABLE 1004.1.2	11	TABLE 503	SEC. 506.3	SEC. 506.2	TABLE 503	SEC. 506.1		SQFT	SEC. 506.4.1	SQFT	TABLE 503	SEC. 504.2		TABLE 503	SEC. 504.2	
ODIUM	S/A-3 A-2/R-2	STORAGE RETAIL	TYPE I-A	NFPA-13 NFPA-13	- 0		UL		BASEMENT FLOOR 1	8,000 7,595	UL	15,595	UL	1	2	UL		
HR SEPARAT	TON																	
BUILDING 1	R-2 R-2	RESIDENTIAL RESIDENTIAL	TYPE III-A TYPE III-A	NFPA-13 NFPA-13	N/A N/A	NOT USED NOT USED	24000 SF 24000 SF	24000 SF 24000 SF	FLOOR 2 FLOOR 3	4,025 4.086	48,000	18,001	4	1	5	65'	20'	65'
	R-2	RESIDENTIAL	TYPE III-A	NFPA-13	N/A	NOT USED	24000 SF 24000 SF	24000 SF	FLOOR 4	3,277								
	R-2 R-2	RESIDENTIAL RESIDENTIAL	TYPE III-A	NFPA-13 NFPA-13	N/A N/A	NOT USED	24000 SF 24000 SF	24000 SF 24000 SF	FLOOR 5 FLOOR 6	3,307								
-HR SEPARAT	TON										•							
UILDING 2	R-2	RESIDENTIAL	TYPE III-A	NFPA-13	N/A	NOT USED	24000 SF	24000 SF	FLOOR 2	3,093	48,000	15,647	4	1	5	65'	20'	65'
	R-2 R-2	RESIDENTIAL RESIDENTIAL	TYPE III-A	NFPA-13 NFPA-13	N/A N/A	NOT USED	24000 SF 24000 SF	24000 SF 24000 SF	FLOOR 3 FLOOR 4	3,152		1						
	R-2	RESIDENTIAL	TYPE III-A	NFPA-13	N/A	NOT USED	24000 SF	24000 SF	FLOOR 5	3,134								ĺ
	R-2	RESIDENTIAL	TYPE III-A	NFPA-13	N/A	NOT USED	24000 SF	24000 SF	FLOOR 6	3.134	1							

ALLOWABLE BUILDING AREA CALCULATION 2

THE FOLLOWING ITEMS SHALL BE SUBMITTED AS DEFERRED SUBMITTALS:

. EMERGENCY RESPONDER SYSTEM
STEEL SUMSMADES
SINDIVE CONTROL PANEL TO BE SUBMITTED FOR BLDG AND FIRE REVIEW PRIOR TO FABRICATION
SIGNACE, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
A. EMERGENCY VEHICLE ACCESS (EVA) LANE SIGNAGE
B. ADDRESS ISIGNAGE
C. BULDING DIRECTORY MAP
D. TACTILE DESTIFICATION AND EXIT SIGNAGE

 \cdots

NOTE: DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT ANDIOR ENGINE FOR REVIEW AND COORDINATION; FOLLOWING THE COMPLETION OF PROJECT ARCHITECTENGINEER 700, WHICH SHALL NOLUDE A LETTER STATION THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLANS AND CALCULATIONS FOR THE OFFERED ITEMS ARE FOUND TO BE ACCEPTABLE (E.G., WITH REGARD TO GEOMETRY, LOAD COMPLICATION FOR THE OFFERED ITEMS ARE FOUND TO BE ACCEPTABLE (E.G., WITH REGARD TO GEOMETRY, LOAD COMPLICATION FOR THE OFFERED TEMS ARE FOUND TO BE ACCEPTABLE.

FIRE PROTECTION SYSTEM TO COMPLY WITH FULL NEPA 13 SECTION

www.www.www.www.

DEFERRED SUBMITTALS 6

2013 SAN FRANCISCO BUILDING CODE & BULLETINS (SFBC) 2013 SAN FRANCISCO FIRE CODE & BULLETINS (SFFC)

APPLICABLE CODES 4

EET TITLE EET BIZE: 30 x 48

PROJECT TEAM 1

A0.00

CA 94103

INBULTANT

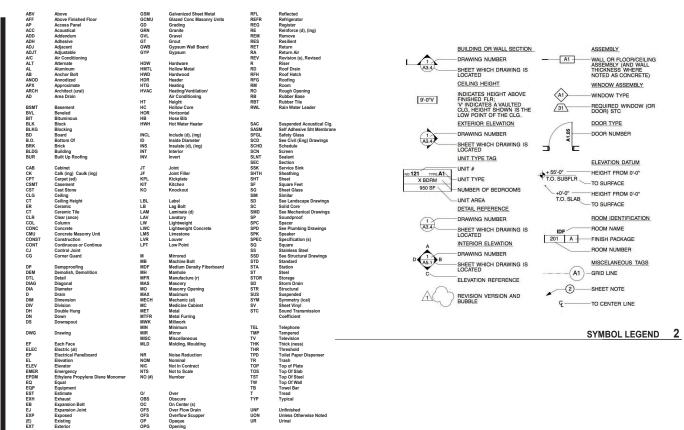
П Ŋ 4

REV. ISSUE DATE

SITE PERMIT 03.30.18 PLAN CHECK

PROJECT. INFORMATION

As indicated PROJ NO. 1804 DRAWN BY XX



Vaulted
Varies
Vapor Barrier
Veneer
Vertical
Vertical Grain
Vinyl
Vinyl Acoustical Tile
Vinyl Base
Vinyl Composite Tile

With
Wainscot
Wail To Wall
Wail Hung
Water Closet
Waterproofing, Water
Water Proof Membran
Water Repellant
Weather Resistant Ba
Waterstop
Welded Wire Fabric
Window
Wired Glass
Wire Mesh
Without

ABBREVIATIONS 1

Over
Obscure
On Center (s)
Over Flow Drain
Overflow Scupp
Opaque
Opening
Opposite
Outside Diamet
Overall
Overhead

Paper Towel Recepte Particle Board Particle Board Particle Board Particle Board Perforate (d) Perforate (d) Perforate (d) Perforate (d) Polymyri Chloride Polymyri Chloride Pounds Per Square Pounds Per Square Precast Concrete Prelabricate (d) Prefinished Pressure Treated Property Line Pressure Treated

G GA GV GC GL GLB

Fiberglass Clace
Face Of Concer
Face Of Finish
Face Of Mason
Face Of Studs
Finish Floor
Finish (ed)
Finished Floor
Fire Alarm
Fireproof
Fire-resistant
Fire-restardant
Filoor
Floor (ing)
Flashing
Floor Drain
Fluorescent
Flush Joint
Footting
Foundation
Frame (ing)
Furred (ing)
Furred (ing)
Furred (ing)
Furred (ing)

INS	RUCTIONS:	azi adar -	20 Aug (19 Aug		NEW CONS	TRUCTION			ALTER	RATIONS + AD	DITIONS		PROJECT INFO
2. Pro	vide the Project Information in th	se box at the right.	sjet. For addition and alteration projects, jets useps. CHECK THE ONE COLUMN THAT BEST DESCRIBES YOUR PROJECT										150000000000000000000000000000000000000
A ALEX or conserving flood Economics to see register with the wide permit applications, but using upon those to conserve the seek of the s				LOW-RISE RESIDENTIAL	HIGH-RISE RESIDENTIAL	LARGE NON- RESIDENTIAL	OTHER NON- RESIDENTIAL	RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS	OTHER RESIDENTIAL ALTERATIONS + ADDITIONS	S + ADDITIONS ALTERATIONS + ADDITIONS			PROJECT NAME 1145 POLK STREET BLOCKLOT
	TITLE	SOURCE OF REQUIREMENT	DESCRIPTION OF REQUIREMENT	1-3 Floors	4+ Floors	A.B.E.LM 25,000 sq ft. or greater	A.B.E.I.M lass than 25,000 sq.ft.	25,000 sq.ft. or greater	adds any amount of conditioned area	25,000 sq.tl. or greater	A,BJM 25,000 sq.ft. or greater	AREFHLLMSU more than 1,000 aq ft or \$200,000	0691/001
MOLE	Required LEED or GPR Contilication Level	SF080 4 103.1.1, 4103.2.1.4,183.3.1, 5183.1.1, 5193.3.1 5.5193.4.1	Project is required to activities sustainability certification listed at right.	LEED SILVER (50+ or GPR (75+) CERTIFIED	LEED SILVER (50+) or GPR (75+) CERTIFIED	LEED GOLD (80+) CERTIFIED	Mr	LEED GOLD (80+) or GPR (75+) CERTIFIED	atr	LEED GOLD (60+) CERTIFIED	LEED GOLD (80+) CERTIFIED	168	ADDRESS 1145 POLK STREET CA 94109
3	LEED/GPR Point Adjustment for Resention/Demolition of Historic Features/Building	SFGBC 4 104, 4.165, 5.104 8, 5.105	Enter any applicable point adjustments in box at right.				10.7		0.00			rin	PRIMARY DOCUPANCY
WATERIALS	LOW-EMITTING MATERIALS	CALGreen 4.564.2 1.5 8.5.504.4.1-6, SPGBC 4.103.3.2, 5.103.1.9, 5.103.3.2.6.5.103.4.2	This products that careful with the companion from transcriberts of \$5.072.1.6, \$5.004.1.1.0.1.0.0.0.0.0.0.0.0.0.0.0.0.0.0	45042.1-5	49942.1-5	FEED EOFS	5204.4.1-6	LEED EQUZOR GPR KZ, K1 & LZ	4,504.2,1-5	FEED EO/S	LEED EQ:2	5.504.4,1-6	DROSS BUILDING ARE 50,112 SF
NO.	INDOOR WATER USE REDUCTION	CAL Breen 4.303.1 8.5.333.3 8FGBC 5.105.1.2, SF Housing Code sec.12A10, SF Bullsing Code (n.13		(6)	٠	LEED WEe2 (2 pts)				100	n(r)		DESIGN PROFESSION or PERMIT APPLICANT (sign & dots)
	NON-POTABLE WATER REUSE		New buildings 2 40,000 sq.fi. must calculate a water budget. New buildings 2250,000 sq.fi. must treat and use a validate minwater, graywater, and foundation drainage and use in total and unnel flushing and impation. See seweralwater.org for dutatio.	pel:		•	- 100	149	989	- 07	(0)	ny	BDE ARCHITECTUI
	WATER EFFICIENT IRRIGATION	Administrative Code ch.)	New construction projects with aggregated landscape area #500 sq.ft., or existing projects with modified landscape area #1,000 sq.ft. shall use low water use plants or dismates appropriate plants, resterct and moses and consety with Mode Water Efficient Landscape Ostmace restrictions by casculated ETAF (55 for residential, 45 for provinced plants or landscape or land	/•									JONATHAN ENNIS 03-14-2018
	WATER METERING	CALGreen 5:303.1	Provide submeters for spaces projected to consume >1,050galiday (or >100galiday in buildings >60,000 sq.ft.).	atr	- ñi			AF.	- 42				1 4.
ī	ENERGY EFFICIENCY	CA Energy Code	Comply with all provisions of the CA Title 24 Part 8 Energy Standards.										Jonathun
	BETTER ROOFS	SFGBC 4.201.1 6 5.201.12	New non-residential buildings > 2,000 sq.ft, and still occupied floors, and new residential buildings of any size and still occupied floors, must designate 15% of nod. Solar Reads, per Title 24 rules, Install photovolations or solar but water systems in this area. With Planning Department approval, projects subject to SFPUC Stermwater Requirements may probabilize from prior for scalar energy systems.		\$10 foors		•	nir	nt	ar	AV:	nr 6	í
S	RENEWABLE ENERGY COMMISSIONING (Cs)	SFG8C 5.201.1.3 CALGreen 5.410.2 - 5.410.4.5.1	Non realization buildings with 211 floor mout acquire at least 1% of energy from on-side contensable sources, purchase given energy credits, or activities 5 points under LEED code(Content bridge) enformment (Sudd). For projects 250,000 cs_1, house OPR, BOD, and commissioning plan in design & construction. Commission to compty, Alterations & additions with new HINC coastered may be and addited a content of additional evidence of the content of the content of the content of additional evidence of the content of the content of additional evidence of the content of the content of additional evidence of the content of	nt-	nir nir	LEED EACT		ret etc	nir nir	nir •	***	n/r	
	BICYCLE PARKING	CALGreen 5.106.4, Planning Code 156.1-2		SF Planning Code sec 155.1-2	SF Planning Code sec 155.1-2			Y applicable SF Planning Code sec 155.1-2	Fapplicable SF Planning Code sec 155.1-2			if >10 stalls added	
	DESIGNATED PARKING	CALGreen 5.106.5.2		700	,ritr			707	.061		•	if >10 stalls added	
	WIRING FOR EV CHARGERS	SFG9C 4.106.4 8.5.106.5.3	Terms (equipmen, January, 2011) or after. Construct all news of some growing season to presenge vertices and fundamental management of minimize [VAS]. White development of presendents additional to provide MAPA 2016 of the Vertice and Section of separate and explaints of minimize [VAS]. Section 10, 10, 10, 10, 10, 10, 10, 10, 10, 10,	,	•		-9	applicable for permit application January 2018 or other	nh	applicable for permit application January 2018 or after	atr	nir	
S	RECYCLING BY OCCUPANTS	SF Building Code AB-058	Provide adequate space and equal access for storage, collection and loading of compostable, recycleble and landfill materials.		•		. •	•	•				
DIVERS	CONSTRUCTION & DEMOLITION (C&D) WASTE MANAGEMENT	SFGBC 4.103.2.3 & 5.133.1.3.1. Environment Code ch.1 SF Building Code ch.13	For 100% of mixed C&D debris use registered transporters and registered processing facilities with a minimum of 85% diversion rate. Divert a minimum of 75% of total 8.000 debris in noted.		75% diversion	75% diversion				•	75% diversion		
	HWIC INSTALLER QUALS	CALGreen 4.702.1	Installers must be trained and certified in best practices.			nl	101	•	•	157	ne	yalit	
	HVAC DESIGN REFRIGERANT MANAGEMENT	CALGreen 4.507.2 CALGreen 5.508.1	HVAC shall be designed to ACCA Manual J. D. and S.		é.	-oli	.07	· ·	- 07	ol*	W.	N/r	
=	LIGHT POLLUTION REDUCTION	CA Energy Code. CALOnen 5.106.8	Comply with CA Energy Code for Lighting Zones 1-4. Comply with 5.109.8 for Backlight Uplight/Glare.	- at	107		- : ·	ret-	nd:				1
100	REDUCTION BIRD-SAFE BUILDINGS	Planning Code	Class facules and bird hazants facing under near Utbirn Bird Rofuses may need to treat their place for reacits.									- :	
NEIG	TOBACCO BMOKE CONTROL	CALGreen 5:504.7, Health Code art 199	For non-residential projects, prohibit smoking within 25 feet of building entires, air intakes, and operatio whitows. For residential projects, prohibit smoking within 10 feet of building entires, air intakes, and operatio whitows and enclosed common areas.						· V				
HON	STORWWATER CONTROL PLAN	Public Works Code art.4.2 tec;147	Polycicls debutting 8,5000 (a.f. in commissed or separate gewire face), a resistance at Engagement and a separate sewer area, a resistance at Engagement and a sewer area, a resistance at Engagement and a Stormwater Control Plan making 8/PPUC Stormwater Management Requirements. See www.stwater.org for cidalos.					if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	
PREVEN	CONSTRUCTION SITE RUNOFF CONTROLS	Public Works Code or 1.42 sec. 148	Provide a construction site Stammaster Pollution Provention Plan and Implement SPPUC Bass Management Practices. See www.sfwiter.org for details.	if disturbing 25,000 sq.ft.		if disturbing 85,000 sq.fl.	if disturbing 25,000 sq.ft.	if project extends outside envelope	if project extends outside envelope	if project soturyts outside envelope	if project extends outside envelope	if project extends outside envelope	
	ACOUSTICAL CONTROL	CAL Green 5.507.4.1-3 SF Building Code Sec.1207	Non-residential projects must comply with sound transmission limits (\$TC-50 extensor near freeways/singerts; \$TC-45 extensor \$150b Leq at any time; \$TC-40 intensor white transmission between fewards). When residential projects interver resources shall not account of \$450b.					AF	nk				
È	AIR FETRATION (CONSTRUCTION)	CALGreen 6:501.5-2 8.3:504.1-3							- 4				1
QUA	AIR FILTRATION	CALGreen 5 504 5.3. SF Health Code art 38	Non-residential projects must provide MERV-8 filters on HVAC for regularly occupied, actively ventilated spaces.	il epplicable	If applicable			if applicable	W.				1
	CONSTRUCTION IAQ MANAGEMENT PLAN	SFGBC 5.103.1.8	Residential new construction and major alteration & addition projects in Air Poliutant Exposure Zones per SF Health Code art.38 must provide MERV-13 filters on HVNC. During construction, meet SMACNA IAD quidelines; provide MERV-8 filters on all HVAC.	100	or	LEED EQu3	107	nit.	100	08	04	100	
-	GRADING & PAVING	CALGreen 4.106.3	Since how surface drainage (grading, swares, drains, retention areas) will keep surface water from entening the building.			hit.	- M	If applicable	Yappicable	100	- 100	.00	1
	RODENT PROOFING	CALGreen 4.406.1	Seal around plpe, pable, conduit, and other openings in extens water with rement morter or DBT-approved similar method.			187	107	· ·		107	60	AP .	1
	FIREPLACES & WOODSTOVES	C4LGreen 4.503.1	Install only cineci-vent or sealed-combustion, EPA Phase II-compilant appliances.	•	•	AT	80"			ar	100	wit.	
	CAPILLARY PREAK	CH Green 4 505.2	State on greate foundation requiring years retainder also requires a capallary break such as: 4 inches of base 1/2-inch aggregate under retainder, state design specified by	Jo.		NÝ.							
2	SLAB ON GRADE MOISTURE CONTENT	CALGreen 4,505.2 CALGreen 4,505.3	Increased professional. Well and floor wood framing must have <19% moisture content before enclosure.			nir	107	•		785	DV	nt nt	

- 1. CONFLICTS FOUND IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT
- 2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.
- ALL DIMENSIONS, WHEN SHOWN IN THE ARCHITECTURAL PLANS, ARE TO FACE OF STUD, MASONRY, OR CONCRETE; OR CENTERLINE OF COMMON WALL UNLESS OTHERWISE NOTED.
- 4. ALL CHANGES IN FLOOR MATERIAL OCCUR AT THE CENTERLINE OF DOOR OR FRAMED OPENING UNLESS OTHERWISE INDICATED ON THE DRAWMOS.
- GLASS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIAL (LAMINATED, UNLESS OTHERWISE NOTED) WHERE
 REQUIRED AND SHALL MEET LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR.
- PRIOR TO BIDDING, THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VISIT THE SITE AND BECOME ACQUAINTED WITH ALL CONDITIONS RELATING TO THE CONSTRUCTION AND COMPLETION OF THE PROJECT AND THE EMPLOYMENT OF LABOR THEREON. BIDDERS AND THEIR SUB-CONTRACTORS SHALL REPORT AND YESCREPANCIES TO THE ARCHITECT.
- HAZARDOUS MATERIALS: IN THE EVENT THAT HAZARDOUS MATERIALS ARE ENCOUNTERED IN THE PREMISES DURING THE EXECUTION OF THE WORK, NOTFY THE OWNER IMMEDIATELY AND DO NOT PROCEED UNTIL DIRECTED. FOLLOW ALL CAL OSHA
- NOTES ARE AN AID TO THE CONTRACTOR IN UNDERSTANDING THE WORK AND SHOULD NOT BE CONSTRUED AS BEING COMMETE IN EVERY DETAIL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME THOROUGHLY FAMILIAB WITH THE WORK, AND REPORT ALL DISCREPANCES BETWEEN THE DRAWINGS AND THE ACTUAL CONDITIONS TO THE ARCHITECT.
- 10. THE DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE, AND TYPICAL DETAILS OF CONSTRUCTION. THE DRAWINGS DO NOT ILLUSTRATE EVERY CONDITION. WORK NOT PARTICULARLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS TH
- 11. DO NOT SUBSTITUTE, REVISE, OR CHANGE THE WORK WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT
- 12. INSTALL ALL WORK PLUMB, LEVEL, SQUARE, TRUE, AND IN PROPER ALIGNMENT.
- 13. COORDINATE ALL WORK AS REQUIRED BY THE CONTRACT DOCUMENTS WITH THE OWNER, INCLUDING TEMPORARY STORAGE LOADING, KEYING SYSTEMS, ETC., AND PROVIDE NECESSARY BARRICADES, SIGNS, BARRIERS, AND PROTECTION.
- 14. CONTRACTOR SHALL PAY SPECIFIC ATTENTION TO THE DIMENSIONS OR IMPLIED PLAN AND SECTIONAL SPATIAL RELATIONSHIPS, AND VERIFY ALL AXES AND IMPLIED SYMMETRIES BEFORE BEGINNING WORK.
- 15. PROVIDE AND COORDINATE LOCATION AND TYPE OF BLOCKING / BACKING IN PARTITIONS BEHIND ALL WALL MOUNTED ITEMS REVIEW ALL BLOCKING W/ ARCHITECT IN FIELD PRIOR TO COVERING W/ OTHER MATERIAL.
- 16. DETAILED AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS
- 17. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT, UNLESS NOTED AS +
- 18. VERTICAL DIMENSIONS ARE FROM THE TOP OF SUBFLOOR, UNLESS OTHERWISE NOTED
- 19. DIMENSIONS MARKED AS "V.I.F." SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR
- ANY WASTE AND REFUSE CAUSED BY THE CONTRACTOR SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF IN
 ACCORDANCE WITH ALL LOCAL REGULATIONS. REFER TO Specifications FOR ADDITIONAL TEMPORARY CONTROL INFORMATION.
- 22. SIMILAR: COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. DIFFERENCES CAN BE INFERRED FROM OTHER INFORMATION INDICATED. VERIFY DIMENSIONS AND ORIENTATIONS W/ ARCH IN FIELD PRIOR TO CONSTRUCTION.
- 23. AS REQUIRED: AS REQUIRED BY REGULATORY REQUIREMENTS, BY REFERENCED STANDARDS, BY EXISTING CONDITIONS, BY GENERALLY ACCEPTED CONSTRUCTION PRACTICES, OR BY THE CONTRACT DOCUMENTS.
- 24. TYPICAL: IDENTICAL FOR ALL SUCH CONDITIONS, UNLESS OTHERWISE NOTED.
- 25. CONTRACTOR: THE GENERAL CONTRACTOR OR ANY SUBCONTRACTORS HIRED INDIVIDUALLY OR INDEPENDENTLY BY THE OWNER.
- 26. ALL REFERENCES TO 'EXISTING' ARE REFERRING TO EXISTING CONDITIONS.
- 27. FIRE PROTECTION (INCLUDING SPRINKLERS) ARE DESIGNBUILD FOR THE ENTIRE PROJECT AND SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, RIES PRINKLERS SHALL CONFORM TO NEPA 13 (INCLUSIVE OF ATTIC SPACES). FIRE SPRINKLER SYSTEM DESIGNS SHALL BE DE PLAYOR BY OTHERS AND SUBMITTED FIRST OT THE ARCH AND THEN TO THE FIRE DEPT. FOR APPROVALS FROM ALL AUTHORITES HAVING JURGIDICTION ON THE PROJECT, INCLUDING DESIGN AND INSTALLATION, ANY INFORMATION INCLUDED IN THE PLAYS IS FOR REFERENCE OUT. YARD IN THE RESPONSIBILITY OF THE DESIGNBUILD OF THE DESIGNBUILD CONTRACTOR TO BE WELL VERSEED IN THE REQUIREMENTS OF THE AUTHORITIES HAVING JURGIDICTION AND THE CHIEF OF THE PLAYS IS FOR REFERENCE OUT. AND IT IS THE RESPONSIBILITY OF THE DESIGNBUILD CONTRACTOR TO BE WELL VERSEED IN THE REQUIREMENTS OF THE AUTHORITIES HAVING JURGISCITON AND THE CITY WHICH THE SYSTEM WILL BE INSTALLED. IT IS THE SOLE RESPONSIBILITY OF THE DESIGNBUILD THE CITY WHICH THE SYSTEM WILL BE INSTALLED. IT IS THE SOLE RESPONSIBILITY OF THE DESIGNBUILD SHEET OF THE OFFICE AND THE CONTRACTOR OF THE DESIGNBUILD.
- 28. WHEELCHAIR ACCESS, WHEELCHAIR RAMPS AND CURBS SHALL BE CONSTRUCTED PER LOCAL JURISDICTION Specification
- 29. EACH SUBCONTRACTOR MUST BE A SPECIALIST IN THEIR FIELD. EACH SUBCONTRACTOR SHALL, PRIOR TO THE SUBMISSION OI HIS BID OR PERFORMANCE OF WORK, NOTFY THE GENERAL CONTRACTOR OF ANY WORK CALLED OUT IN THE DRAWINGS OR Specifications IN HIS TRADE THAT CANNOT B
- 31. PROVIDE ACCESS PANELS AS REQUIRED. COORDINATE LOCATIONS, SIZES, AND AND DETAILS FOR ACCESS PANELS AND SUBMIT FOR ARCHITECT'S APPROVAL.
- 32. PROVIDE SIGNAGE PER THE Specifications AND PER LOCAL GOVERNING AUTHORITIES, INCLUDING THE FIRE DEPARTMENT. PROVIDE ROOM DENTIFICATION SIGNS PER THE Specifications ON ALL NON-JUNIT DOORS. ALL SIGNAGE, INCLUDING OTHER CODE REQUIRED SIGNAGE, SHALL BE SUBM.
- 33. THE GENERAL CONTRACTOR SHALL REFER TO THE SOILS REPORT PROVIDED IN THE PROJECT MANUAL AND FOLLOW THE RECOMMENDED MEASURES CONTAINED THEREIN. THE GENERAL CONTRACTOR SHALL CONTACT THE SOILS ENGINEER AND REQUEST AN ON SITE REVIEW AND APPROVAL OF THE EXCAVAT
- 34. ALL METAL EXPOSED TO WEATHER TO BE HOT-DIPPED GALVANIZED, PAINTED.
- FIRE ALARM DRAWINGS, METAL STAIRS, VEHICLE GATES, ELEVATOR, AND SPRINKLER SYSTEM SHALL BE DESIGN/BUILD BY GENERAL CONTRACTOR.
- 36. PATH OF TRAVEL TO AND WITHIN EXITS SHALL BE IDENTIFIED BY SIGNAGE PER 1011.1, S.E.D.
- 37. ALL FIRE SPRINKLER RISERS REQUIRED TO BE IN CORRIDORS TO BE LOCATED IN FURRED OUT GWB NICHE AND ACCESSED VIA A FIRE RISER CABINET MANUFACTURED FOR THAT PURPOSE.
- 38. ALL ELEVATOR EQUIPMENT ROOMS AND MECHANICAL ROOMS LOCATED ON LEVELS BELOW RESIDENTIAL FLOORS SHALL INCLUDE ACOUSTICALLY ISOLATED SUSPENDED CEILING PER ACOUSTICAL REPORT AND APPROVED BY ACOUSTICAL
- 39. GENERAL CONTRACTOR SHALL HIRE A QUALIFIED COMPANY TO PROVIDE AN ANALYSIS OF THE PROJECT AND GENERAL CONTRACTOR SHALL HIRE A QUALIFIED COMPANY TO PROVIDE AN ANALYSIS OF THE PROJECT AND DETERMINE THE TYPE AND LOCATIONS OF THE SYSTEM SKEEDED TO PROVIDE EMERG
- PER CBC 3002.4.58, MEDICAL EMERGENCY ELEVATORS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL (STAR OF LIFE) OF
 EMERGENCY MEDICAL SERVICES. SYMBOL SHALL BE MIN. 3" IN SIZE. ELEVATORS SHALL INCLUDE SHUNT TRIP FUNCTION.
- 41. GENERAL CONTRACTOR TO PROVIDE ALL REQUIRED SURVEYS.
- 42. GENERAL CONTRACTOR TO PROVIDE TRAFFIC CONTROL & OFF-SITE PARKING DURING CONSTRUCTION
- 43. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL BONDS, CASH DEPOSITS, ETC. THAT THE CITY OR JURSIDICTION WILL REQUIRE TO FACILITATE CONSTRUCTION OF THE PROJECT.
- 44. GENERAL CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE WATER, SEWER, POWER AND TELEPHONE CONNECTIONS FOR THE CONSTRUCTION TRAILER
- 45. UNLESS QUALIFIED, NO PRODUCT SUBSTITUTIONS OR "OR EQUAL" PRODUCTS, EQUIPMENT OR MATERIALS SHALL BE ALLOWED 46. THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL OTHER PERMITS REQUIRED BY LAW FOR THE EXECUTION OF THIS WORK UNLESS NOTED OTHERWISE. THE BASIC BUILDING PERMIT WILL BE OBTAINED AND PAID FOR BY THE OWNER. ALL TRADE PERMITS, IF REQUIRED BY JURISDICTION A
- GENERAL CONTRACTOR SHALL RESEARCH AND VERIFY ALL TRASH, DEBRIS & RECYCLING REQUIREMENTS (INCLUDING TRASH SERVICE DURING CONSTRUCTION) FOR THE CITY IN WHICH THIS WORK WILL BE PERFORMED AND SHALL INCLUDE SUCH COSTS IN THIS PROPOSAL.
- 48. LEGENDS ON THE PLANS AND SCHEDULE IN THE Specifications SHALL BE COMPLIMENTARY. IF ITS INCLUDED IN THE PLANS, BUT NOT IN THE Specifications, CONTRACTOR OWNS IT. IF ITS INDICATED IN THE Specifications AND NOT ON THE LEGEND, CONTRACTOR OWNS IT. ALL LABOR A
- 49. OFF SITE PARKING FOR SITE WORKERS IS GENERAL CONTRACTOR'S RESPONSIBILITY.
- 50. GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE SURVEYING AND LAYOUT. OWNER TO PROVIDE ONE (1) BENCHMARK FOR GENERAL CONTRACTOR USE.
- 51. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE, FURNISH AND INSTALL ALL FRAMING, BACKING AND DEADWOOD REQUIREMENTS FOR EQUIPMENT AND MATERIALS INSTALLED IN THE BUILDING.
- 52. JOINT SEALERS SHALL BE REQUIRED AT THE INTERSECTION OF ALL DISSIMILAR MATERIALS IN INTERIOR AND EXTERIOR COMPUTAGES.

- 53. ARCHITECTURAL, MECHANICAL, AND ELECTRICAL PENETRATIONS OF THE BUILDING ENVELOPE INCLUDING EXTERIOR WINDOW GRILLES, HVAC DUCTWORK, AND CONDUIT AS REQUIRED THROUGH THE EXTERIOR WALLS, ROOF DECKS, VERTICAL ROOF AN MANASAD WALLS SHALL REQUIRE MECHANICAL TALENHO IN ADDITION TO APPROPRIATE EXTERIOR SEALANTS TO PROVIDE ENSURE WATERTIGHT CONDITIONS AT THESE LOCATIONS.
- ALL EXTERIOR METALS SHALL BE HOT DIPPED GALVANIZED. GENERAL CONTRACTOR SHALL ASSUME THE MOST STRINGENT FINISH IF NOT INDICATED IN DOCUMENTS.
- GENERAL CONTRACTOR SHALL PROVIDE ALL REQUIRED PUBLIC SPACE SIGNAGE; PUBLIC RESTROOM SIGNS, STARS, PARKING .OT HC SIGN, FIRELIFE SAFETY & EGRESS SIGNS, ETC. OWNER WILL PROVIDE AND INSTALL THE FOLLOWING: ROOM ID SIGNS, IMERCENCY CERESS PLAN GRAPHICS AND E
- RESIDENTIAL APPLIANCES GENERALLY, THIS EQUIPMENT IS DELIVERED FACTORY DIRECT, MOUNTING & CONNECTIONS NOT INCLUDED, GENERAL CONTRACTOR SHALL MOUNT AND MAKE UP ALL REQUIRED CONNECTIONS TO MAKE THE EQUIPMENT FUNCTION PROPERLY.
- 57. GENERAL CONTRACTOR SHALL PROVIDE LOUVERS FOR THE ATTIC VENTING AIR EXCHANGES THAT MEET OR EXCEED THE REQUIRED VOLUME OF AIR PER THE CALCULATIONS. CONTRACTOR SHALL PROVIDE THE PROPER QUANTITY OF LOUVERS SC THAT THE REQUIRED VOLUME OF AIR IS EXCHANGED. ARE
- 8. GENERAL CONTRACTOR TO COORDINATE & INSTALL FIRE/LIFE SAFETY & EGRESS SIGNS
-). SPLASHBLOCKS TO BE PLACED UNDER RAINWATER LEADERS, TYP., INCLUDING AT COURTYARD PLANTERS
- 50. GENERAL CONTRACTOR TO PROVIDE TEMPORARY FENCING AND OVERHEAD SAFETY PROTECTION AS REQUIRED FOR MODEL ACCESS WHEN THE ACCESS ROUTES CANNOT OTHERWISE BE SEPARATED FROM ADJACENT CONSTRUCTION AND GRADING ACTIVITIES.
- 61. GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL PURCHASES FOR THE ENTIRE PROJECT, U.O.N.
- 62. GENERAL CONTRACTOR TO OBTAIN CONTACT INFORMATION FOR THE FOLLOWING UTILITIES: WATER, SEWER, GAS, PHONE, POWER, CATV.
- 63. PROVIDE A CERTIFICATE OF COMPLETION FOR THE INSTALLATION OF THE AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 15, SECTION 24.1, FIGURE 24.1 PRIOR TO FINAL INSPECTION OF THE OVERHEAD FIRE SPRINKLER SYSTEM AND FINAL APPROVAL FOR OCCUPANCY.
- 64. PROVIDE A CERTIFICATE OF COMPLETION FOR THE INSTALLATION OF THE UNDERGROUND PIPING SUPPLYING THE FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH HYPA 24; SECTION 10:10; FIGURE 10:10.1 PRIOR TO FINAL INSPECTION OF THE UNDERGROUND PIPING ASSOCIATED WITH THE FIRE SPRINKLER SYSTEM AND FORM
- 65. PROVIDE A CERTIFICATE OF COMPLETION FOR THE INSTALLATION OF THE FIRE ALARM SYSTEM IN ACCORDANCE WITH NFPA 72; SECTION 10.18; FIGURE 10.18.2.11 PRIOR TO FINAL INSPECTION AND TESTING OF THE FIRE ALARM SYSTEM AND FINAL APPROVAL FOR OCCUPANCY.
- 68. THE GENERAL CONTRACTOR AND ELEVATOR SUBCONTRACTOR SHALL BID THE ELEVATOR WITH THE ENTIRE FINISH PACKAGE AS SPECIFICISHOWN ON THE INTERIOR DESIGN DRAWINGSSpecifications, INCLUDING ANY TILE FLOORING AND WALL PANELS, TANING ALL MATERIAL WISHINTON ACCOUNT
- 67. SEE SHEETS A10.0'S FOR DESCRIPTIONS OF WALL OR FLOOR/CEILING ASSEMBLY DETAILS.
- 68. VIBRATION ISOLATION OF HYDRAULIC ELEVATOR PUMPS SHALL BE 1-INCH STATIC DEFLECTION SPRINGS EQUAL TO MASON INDUSTRIES TYPE SLR.
- 70. ELEVATOR ROLLER GUIDE ASSEMBLIES SHALL BE RESILIENT AND FOUAL TO ELSCO MODEL C
- 71. HYDRAULIC ELEVATORS SHALL INCLUDE A MUFFLER EQUAL TO MCLEAN THE SUPPRESSOR
- 72. ALIGNMENT OF ELEVATOR RAILS SHALL BE 1/16" AND SMOOTH
- 73. A TWO-WAY COMMUNICATION SYSTEM SHALL BE PROVIDED AT EACH ELEVATOR LANDING ON EVERY FLOOR ABOVE AND BELOW THE LEVEL OF EXIT DISCHARGE PER CBC1007.8.1, SED.
- 74. DUCT PENETRATIONS OF SHAFT WALLS SHALL BE PROTECTED WITH COMBINATION SMOKE AND FIRE DAMPERS PER CBC 716.3. SEE MECHANICAL DRAWINGS.
- 75. REFER TO ELECTRICAL FOR DETAILS PERTAINING TO DOOR SIGNALING DEVICE REQUIRED AT THE ENTRY DOOR OF EACH UNIT PER CBC 1132A.10.
- IN EACH UNIT, THE FIRE ALARM SYSTEM SHALL BE CAPABLE OF SUPPORTING VISIBLE NOTIFICATION APPLIANCES (STROBES) IN ACCORDANCE WITH NPPA 72 PER CBC 907.9.1.4. REFER TO ELECTRICAL.

- GENERAL CONTRACTOR TO INCLUDE ALL MATERIALS & LABOR TO PROVIDE CONDUIT FROM ELEVATOR CONTROL ROOM TO ELEVATOR SHAFT OR AS OTHERWISE REQUIRED PER ELEVATOR MANUFACTURER FOR FULL AND PROPER FUNCTION. CORDINATE WITH MANUFACTURER THE SIZE AND QUANTITY OF CON

AN FRANCISCO

A 94103

. (415) 677-0966

LIENT

INBULTANT

œ

ij

₽

SITE PERMIT 03.30.18 PLAN CHECK

REV. ISSUE DATE



GENERAL INFORMATION & GREEN BLDO

12" = 1'-0 PROJ NO. 1804 DRAWN BY X HEET BIZEI 30 x 43

BHEET TITLE

A0.01











P. (415) 677-0966

POLK ST. LOOKING WEST



POLK ST. LOOKING NORTHWEST



POLK ST. LOOKING NORTH

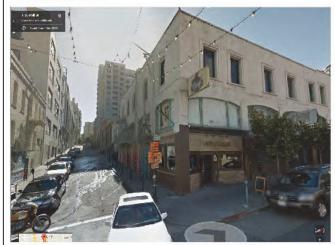


POLK ST. LOOKING NORTHEAST



POLK ST. LOOKING SOUTHWEST

POLK ST. LOOKING EAST



POLK ST. LOOKING SOUTHEAST

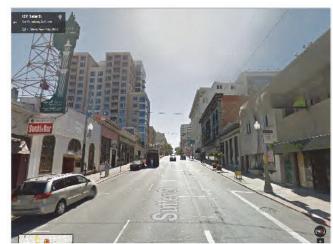


SUTTER ST. LOOKING SOUTH



SUTTER ST. LOOKING SOUTHWEST

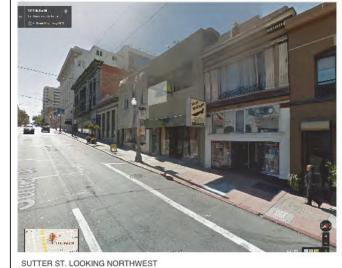
POLK ST. LOOKING SOUTH



SUTTER ST. LOOKING WEST

SUTTER ST. LOOKING EAST

POLK ST. LOOKING WEST DOWN HICKORY ALLEY











 REV. ISSUE
 DATE

 1
 SITE PERMIT PLAN CHECK
 03.30.18

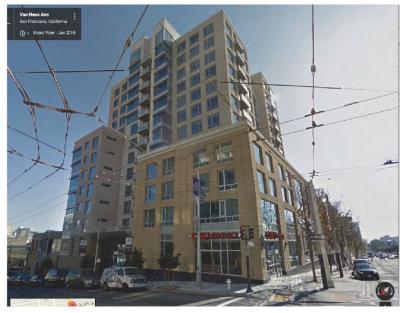
BOALE
PROJ NO. 1804 DRAWNAWYOUT
SHEET BIZE: 30 x 43

SUTTER ST. LOOKING NORTH SUTTER ST. LOOKING NORTHEAST

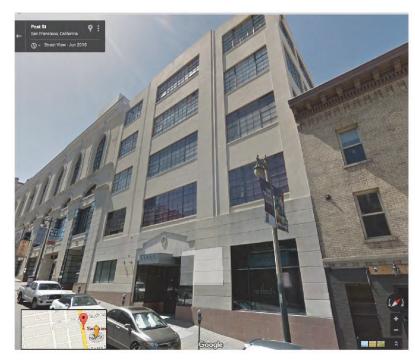
A0.1A



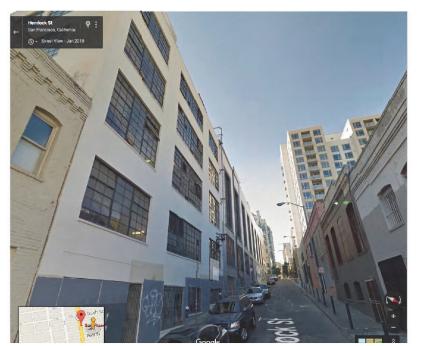














 REV. ISSUE
 DATE

 1
 SITE PERMIT PLAN CHECK
 03.30.18



PROJ NO. 1804 DRAWNANTOR

A0.1B

PHOTOS OF CONTEXT



METAL STOREFRONT





CEMENT PLASTER



STONE BASE AT GROUND FLOOR



950 HOWARD STREE

P. (415) 677-0966

CONSULTANT

о, п.А

POLK STREET

REV. ISSUE DAT



MATERIAL SAMPLES

BHEET TITLE

PROJ NO. 1804 DRAWN WHOT BHEET SIZE: 3D x 43

VARIANCE

DECISION AND NSR

PROJ NO. 1804 DRAWNAMHOT SHEET BIZE: 20 x 43

A0.3

P. (415) 677-0966

CLIENT

CASE NO. 2014-001674V

Ш

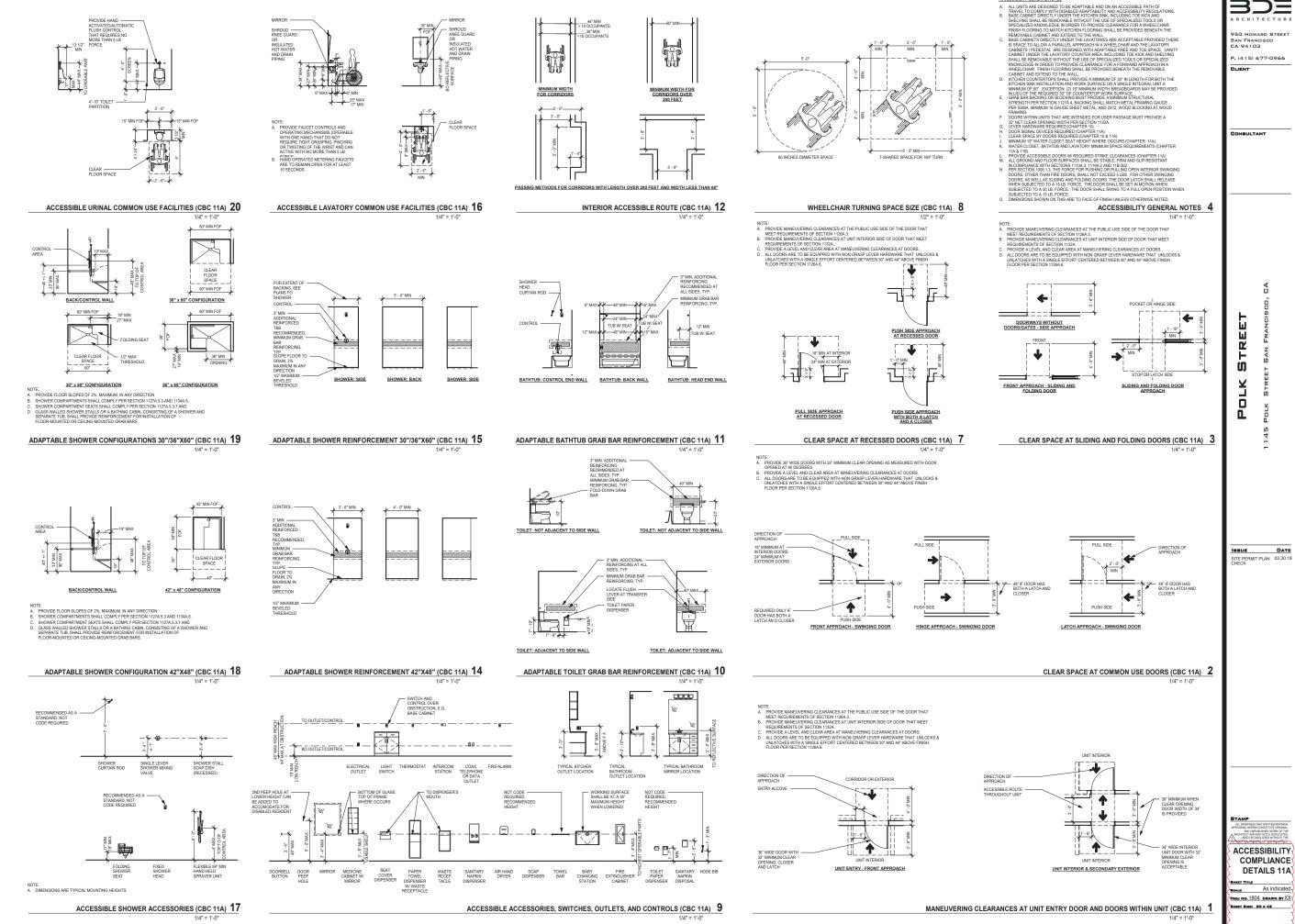
IJ

K

ō

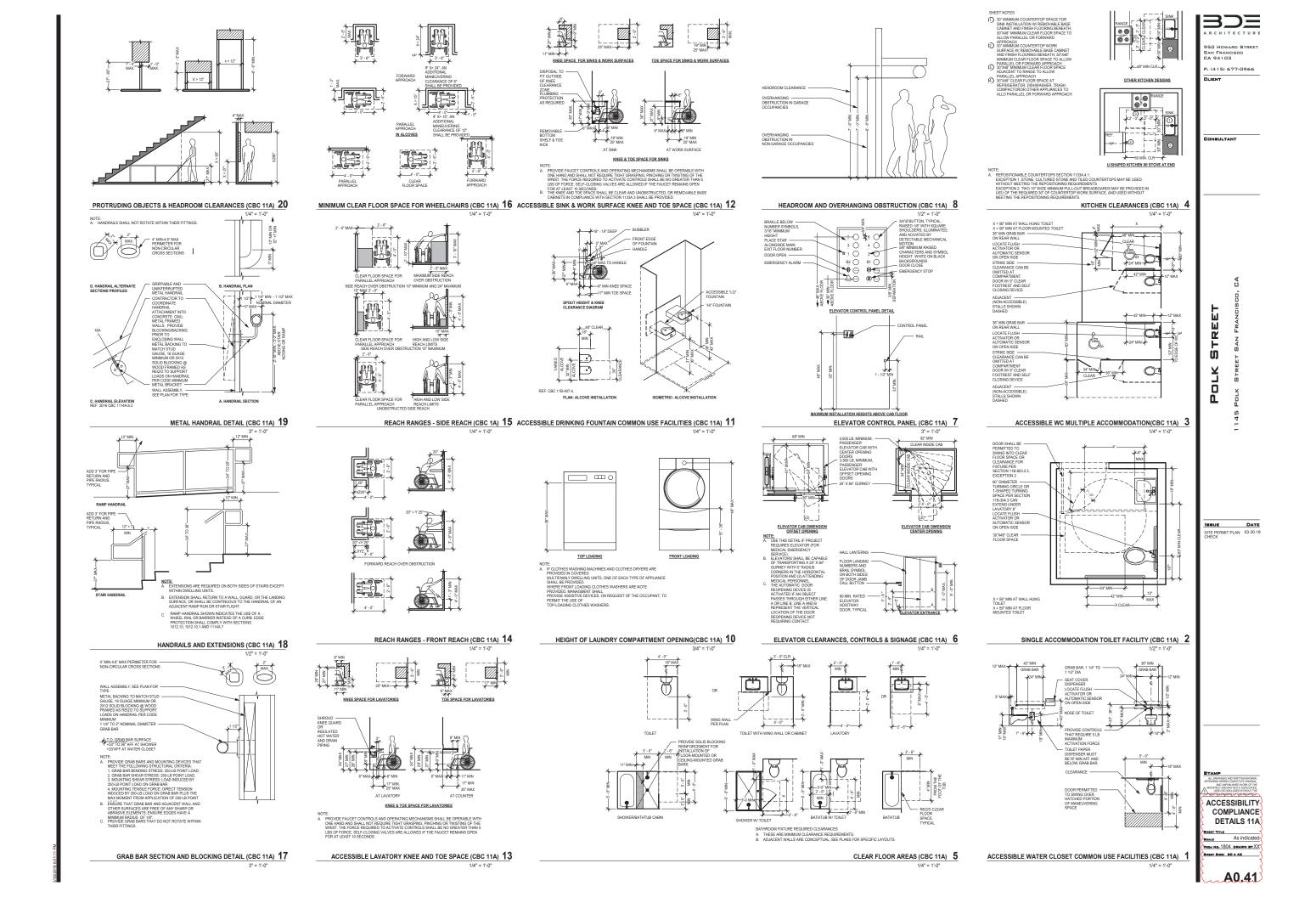
П

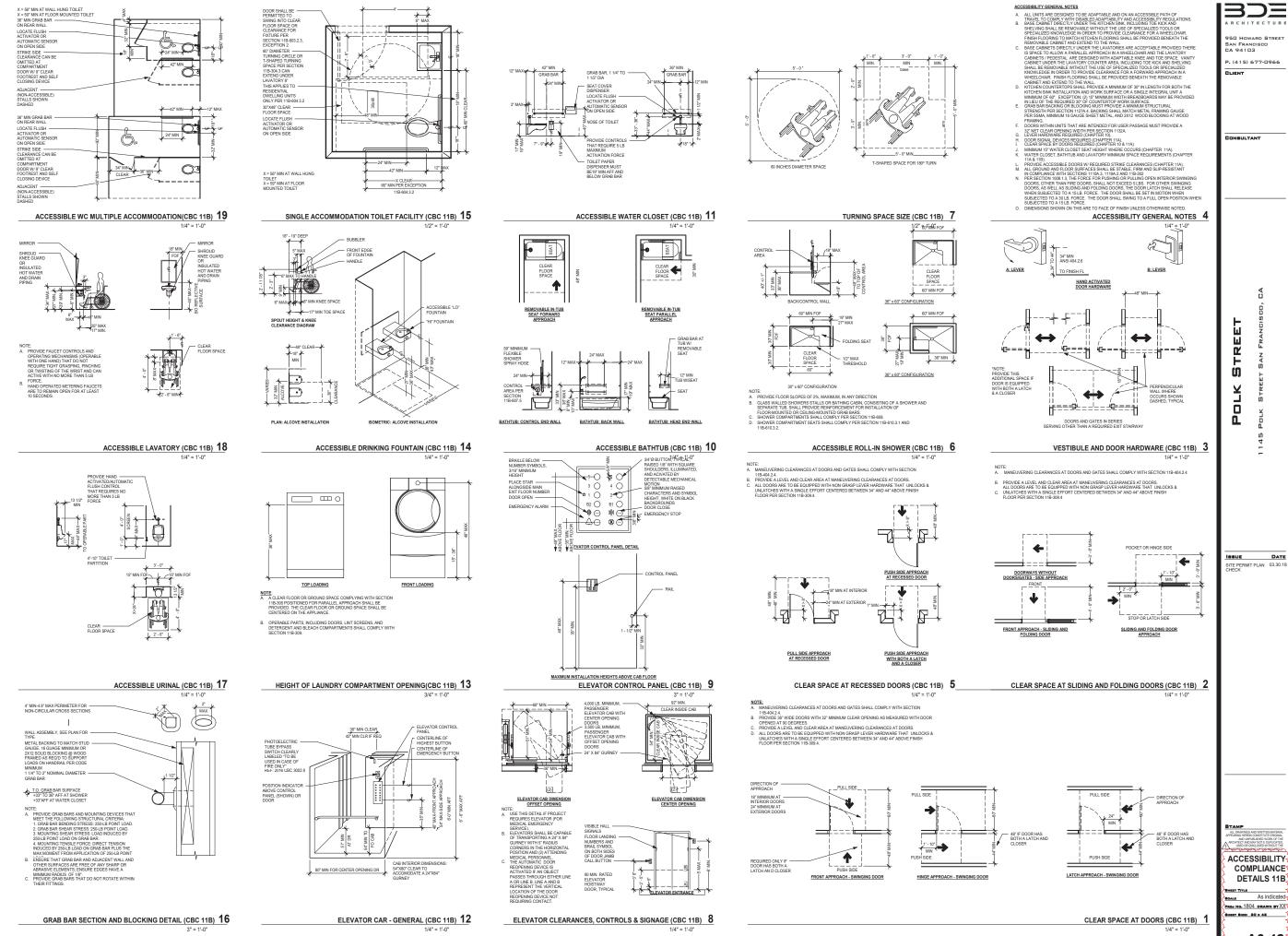
REV. ISSUE DATE SITE PERMIT 03.30.18 PLAN CHECK



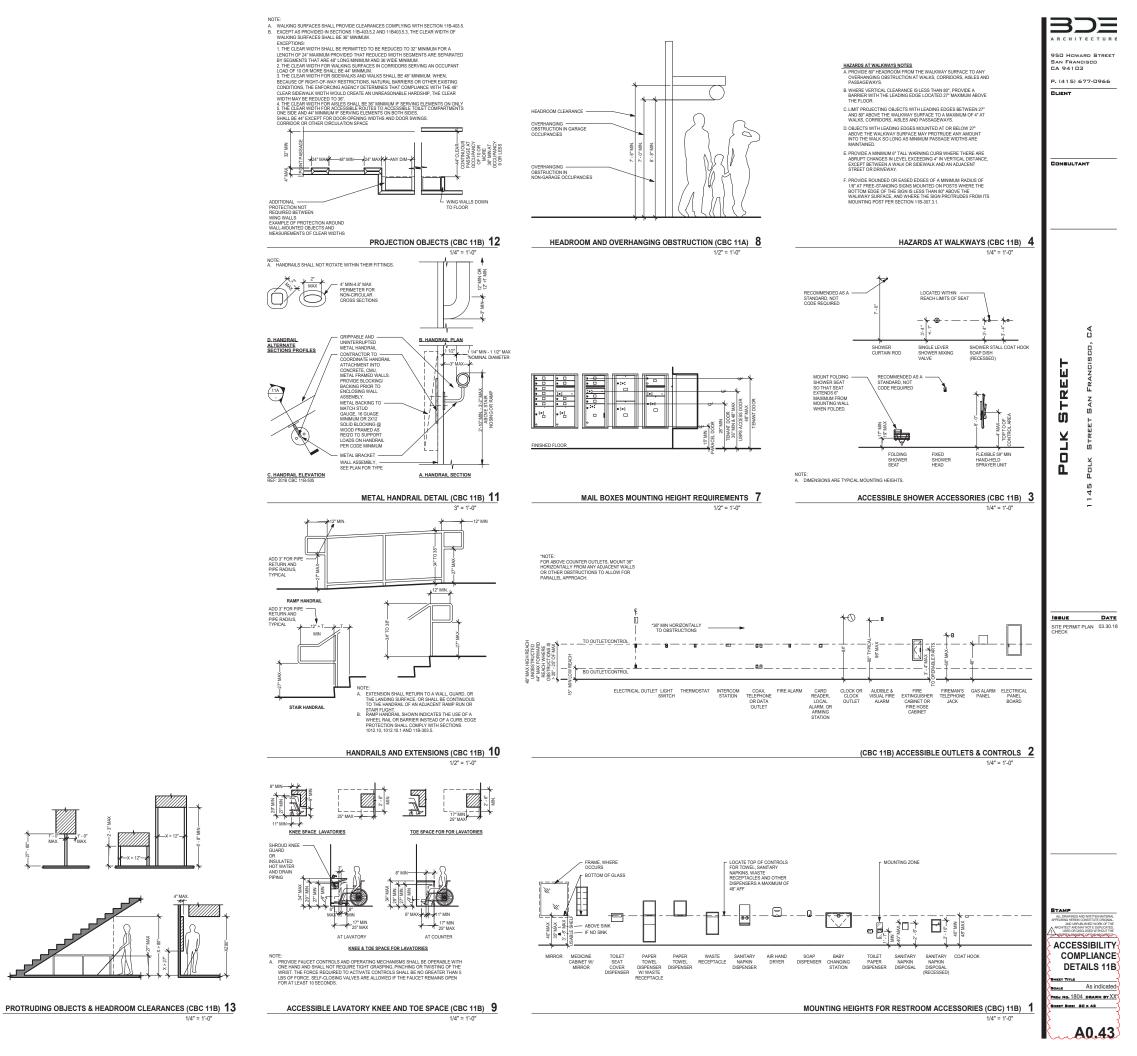
A0.40

ACCESSIBILITY GENERAL NOTES





A0.42



V30/2018 6:01:17 |

FIRE WALL (ALLOWABLE AREA AND EGRESS)

FLOOR 4 5

GENERAL NOTES

ALLOWABLE AREA NOTES: (ALL CALCULATIONS PER CALIFORNIA BUILDING CODE)

SECTION 906.1 AREA MODIFICATIONS. THE AREAS LIMITED BY TABLE 503 SHALL BE PERMITTED TO BE INCREASED DUE TO FRONTAGE (f) AND AUTOMATIC SPRINKLER SYSTEM PROTECTION (b) N

As a '(A + [Ax. H] + [Ax. T] + [Ax. T] B, WHERE

As = ALCHANGEL AREA

A = TABLULAR AREA FROM TABLE 503

b = SPRINKLER FACTOR

3. Is - SPRINKLER FACTOR
SECTION 502 - FRONTAGE NORBASE. WHERE A BUILDING HAS
MORE THAN 26 PERCENT OF ITS PERMITERS ON A PUBLIC WAY OR
OFER SPACE HAWNOS A MINIMUM WITOH 02 DEFET. THE FRONTAGE
INCREASE SHALL BE DETERMINED BY THE FOLLOWING:
If - FRONTAGE FACTOR
IF - FRONTAGE STATE
IF - FRONTAGE BUILDING
IF - FRONTAGE FACTOR
IF - FRONTAGE FACTOR
IF - FRONTAGE FACTOR
IF - FRONTAGE FACTOR
IF - FRONTAGE FOR FACTOR
IF - FRONTAGE FOR FACTOR
IF - FRONTAGE
IF - FRONTAGE FOR FACTOR
IF - FRONTAGE
IF - FRON

SECTION 506.3 AUTOMATIC SPRINKLER SYSTEM. WHERE A BULLIONS IS EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM THE AREA LIMITATION TABLE 503 IS PERMITTED TO BE INCREASED BY AN ADDITIONAL 200 PERCENT (to = 2) FOR BUILDING WITH MORE THAN ONE STORY ABOVE GRADE PLANE.

SECTION 506.4 AREA DETERMINATION. FOR GROUP A. E.H. I. L. AND R OCCUPANCIES, THE MAXIMUM AREA OF A BUILDING WITH MORE THAN ONE STORY ABOVE GROUP PLANE SHALL BE DETERMINED BY MULTIPLYING THE ALLOWABLE AREA OF THE FRST FLOOR STORY (A.) BY THE NUMBER OF STORES ABOVE GRADE AS LISTED BELOW. IN THE STORY OF T

SECTION 504.2 HEIGHT INCREASES, AUTOMATIC SPRINKLER SYSTEM NORFASE. FOR GROUP R.2 BILLIONS OF TYPE VA CONSTRUCTION EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM, THE VALUE SPECIFIED IN TABLE 503 FOR MAXIMUM HEIGHT IS INCREASED BY ORE BUT SHALL NOT EXCED 09 FOR FOR THE MAXIMUM NUMBER OF STORIES IS INCREASED BY ONE, BUT SHALL NOT EXCED 09 FOR FOR FOR FOR STORIES THESE INCREASES ANE PERMITTED IN ADDITION TO THE AREA INCREASE IN ACCORDANCE WITH SECTION 503.

ESCHON 508.3. WITH SECTION 508.1

SECTION 510.2 HORIZONTAL BUILDING SEPARATION ALLOWANCE. A BUILDING SHOULD SEPARATION SEPARATION ALLOWANCE. A BUILDING SHOULD SEPARATION SEPARAT

LESS THAM 1 HOUR.

5. THE BUILDING OR BUILDINGS ABOVE THE HORIZONTAL ASSEMELY SHALL BE PERMITTED TO HAVE MULTIPLE GROUP A OCCUPANCY USES, EACH WITH AN OCCUPANT LOAD OF LESS ADO, OR GROUP, B. M. R. OR IS OCCUPANCES.

M. M. THE RATED WALL

M. H. R. R. R. R. R. WALL

M. H. R. R. R. R. M. R. WALL

M. H. R. R. R. R. R. R. WALL

M. H. R. R. R. R. R. R. WALL

M. H.

SECTION 706.5 HORIZONTAL CONTINUITY. FIRE WALLS SHALL BE CONTINUOUS FROM EXTERIOR WALL TO EXTERIOR WALL AND SHALL EXTEND AT LEAST 18" BEYOND THE EXTERIOR SURFACE OF EXTERIOR WALLS.

2. BUILDINGS OR SPACES ON BOTH SIDES OF THE INTERSECTING FIRE WALL AND COTKNING BEYOND THE EXTERNOR OF THE FIRE WALL AND COTKNING BEYOND THE EXTERNOR OF THE FIRE EXTERNOR WALLS AND THE FIRE WALL SHALL BE SUCH THAT THE EXTERNOR WALLS AND THE FIRE WALL SHALL BE SUCH THAT THE EXTERNOR WALLS AND PERHAP PROFICE COTK ON MET THE REQUIREMENTS SET FORTH IN SECTIONS 705.5 AND 758.5 SUCH PROTECTION SO FOR CONTROL OF THE PROTECTION SO THE TH

SECTION 706.5.2 HORIZONTAL PROJECTING ELEMENTS. FIRE WALLS SHALL EATEND TO THE OUTER EDGE OF HORIZONTAL PROJECTING ELEMENTS SUCH AS BALCONIES, ROOF OVERHANGS, CANOPIES, MARQUEES AND SMILAR PROJECTIONS THAT ARE WITHIN 4 FEET OF THE FIRE WALLS.

FROM THE FOUNDATION TO A TERMINATION POINT AT LEAST 30"
ABOVE BOTH AJUCKEN TOORS.
EXCEPTIONS:
1. STEPPED BUILDING IN ACCORDANCE WITH SECTION 706.6.1. FIRE
WALL SHALL TERMINATE AT A POINT NOT LESS THAN 30" ABOVE THE
WALL SHALL TERMINATE AT A POINT NOT LESS THAN SO ABOVE THE
WORK FROOF LEVEL THE EXTERIOR WALL ABOVE THE LOWER
ROOK SHALL INOT HAVE LESS THAN A 1-HAR FIRE-RESISTANCE-NATED
CONSTRUCTION FROM BOOTH SIDES WITH OCHNINASS PROFECTED BY
FROM STANDARD AND STANDARD STANDARD FOR POINT
LESS THAN 34 HR FOR A MINIMUM HEIGHT OF 15 FEET.

3. WALLS SHALL BE PERMITTED TO TERMINATE AT THE UNDERSIDE OF NONCOMBUSTIBLE ROOF SHEATHINS, DECK OR SLABS WHERE BOTH BULDINGS ARE PROVIDED WITH NOT LESS THAN A CLASS B ROOF COVERING. OPENINGS IN THE ROOF SHALL NOT BE LOCATED WITHIN A FEET OF THE FIRE WALL.

GENERAL NOTES (CONT.)

SECTION 706.8 OPENINGS. EACH OPENING THROUGH A FIRE WALL SHALL BE PROTECTED IN ACCORDANCE WIT SECTION 716.5 AND SHALL NOT EXCEED 156 SQ FT. THE

EXCEPTIONS:

2. OPENINGS SHALL NOT BE LIMITED TO 156 SQ FT WHERE BOTH BUILDINGS ARE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1.

ACUCRUMACE WITH SECTION WILLS 1.1.

A PLA LETINATE MATERIALS AND METHODS OF CONSTRUCTION REQUEST HAS BEEN TO ALLOW TWO STONES BEDOWN THE HORIZONTAL ASSEMBLY 1.5 ECTION 15.12.

ADDRESS THE LIMITATIONS MINOSED BY SECTION 15.12.

ADDRESS THE LIMITATIONS MINOSED BY SECTION 15.12.

THE 4-HOUR HORIZONTAL ASSEMBLY TO BE 1-STORY ABOVE GRADE PLANE. SEE SHEET A0.08 FOR MORE INFORMATION.

ALL OPENINGS IN THE 3-HOLD FIRE WALL ASSEMBLIES

SHALL BE 3-HOUR RATED EXCEPT WHERE FIRE SEPARATION DISTANCE ALLOWS A LESSER RATING PER M. TABLE 602.

UNLESS OTHERWISE NOTED ALLOWABLE EXTERIOR WALL OPENINGS HAVE NO LIMIT.

WALL TYPE NOTES

A. U.O.N., TYPICAL EXTERIOR WALLS TO BE TYPE B1 (REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS):

- C. TYPICAL CMU BASEMENT WALLS TO BE TYPE A10, U.O.N.
- TYPICAL INTERIOR 1-HR CORRIDOR WALLS AT BATHROOM PLUMBING TO BE TYPE C2, U.O.N.
- G. TYPICAL INTERIOR UNIT WALLS TO BE TYPE E2.1
- TYPICAL 2-HR INTERIOR SHAFT WALL TO BE S1, U.O.N.

TABLE 705.8. MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE WITH UNPROTECTED OPENINGS IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDINCE WITH SECTION

ΗE	903.3.1.1.	LER STOTEM IN ACC	JONDINGE WITH SECTIO
		SEPARATION DISTANCE	ALLOWABLE AREA
	NP-NP-NP	0 FT < 3 FT	NOT PERMITTED
	15% - 15% - 15%	3 FT < 5 FT	15%
-	25% - 25% - 25%	5 FT < 10 FT	25%
	45% 45% 45%	10 FT < 15 FT	45%
	75% — 75% — 75%	15 FT < 20 FT	75%
	NL - NL - NL	> 20 FT	NO LIMIT

303

SAN FRANCISCO CA 94103

. (415) 677-0966 LIENT

ONBULTANT

П

N

4

REV. ISSUE DATE SITE PERMIT 03.30.18 PLAN CHECK

B. TYPICAL CONC. BASEMENT WALLS TO BE TYPE A1, U.O.N.

D. TYPICAL INT. 1-HR CORRIDOR WALLS TO BE TYPE C1, U.O.N

TYPICAL 1-HR UNIT SEPARATION WALLS TO BE TYPE D2 U.O.N. (S.S.D. FOR STUD AND SHEAR CONFIGURATION.)

H. TYPICAL INTERIOR UNIT PLUMBING WALLS TO BE TYPE E3.1

EXCEPTION.

S. FREE WALLS SHALL BE PERMITTED TO TERMINATE AT THE INTERIOR SURFACE OF NONCOMBUSTIBLE EXTERIOR SHEATHING WHERE THE BUILDING ON BEACH BIG OF THE FIRE WALL IS PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.1.1 OR 903.31.7.

SECTION 706.5.1 EXTERIOR WALLS. WHERE THE FIRE WALL INTERSECTS EXTERIOR WALLS, THE FIRE-RESISTANCE RATING AND OPENING PROTECTION OF THE EXTERIOR WALLS SHALL COMPLY WITH:

SECTION 706.6 VERTICAL CONTINUITY. FIRE WALLS SHALL EXTEND FROM THE FOUNDATION TO A TERMINATION POINT AT LEAST 30°

LESS THAN 34 HE FOR A MINIMUM HEIGHT OF 15 FEET.

2 7 HOUR RIFE, RESISTANCE AFTED WALLS SHALL BE FERMITTED TO TERMINATE AT THE LINDERSIDE OF THE ROOF SHEATHING, DECK OR SLAP, PROVIDED:

2.1. THE LOWER ROOF ASSEMBLY WITHIN 4 FEET OF THE AND THE PROVIDED HE SHALL AND AND THE SHALL AND THE STANCE RATING OR THE ROTE OF THE AND THE RESISTANCE RATING OF THE RATED ROOF ASSEMBLY HAS A FIRE-RESISTANCE RATING OF NOT LESS THAN 1 HOUR.

2.2 OPENINGS IN THE ROOF SHALL NOT BE LOCATED WITHIN 4 FEET OF THE RIEW WALL.

4.1. THE WALL.

5.1. RICH BUILD LEB PROVIDED WITH NOT LESS THAN 2 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 2 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 2 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 2 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 2 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 2 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 2 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 2 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 2 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 3 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 3 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 3 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 3 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 3 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 3 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 3 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 3 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 3 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 3 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 3 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 3 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 3 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 3 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 3 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 3 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 3 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 3 LINDERS SHALL BE PROVIDED WITH NOT LESS THAN 3 LINDERS SHALL BE SHALL

4. IN BUILDINGS OF TYPE III, IV AND V CONSTRUCTION, WALLS SHALL BE PERMITTED TO TERMINATE AT THE UNDERSIDE OF COMBUSTIBLE ROOF SHEATHING OR DECKS, PROVIDED: 4.1 THERE ARE NO OPENINGS IN THE ROOF WITHIN 4 FEET

A 1. THERE ARE NO OPENINGS IN THE ROOF WITHIN 4 FEET OF THE FIRE WAY. A 2. THE ROOF IS COVERED WITH A MINIMUM CLASS BE ROOF COVERNO, AND CLASS OF SHEATHING OR DECKS IS CONSTRUCTED OF FIRE-RETARDENT TREATED WOOD FOR A DISTANCE OF 4 FEET ON SHEATHING THE WOOD FOR A DISTANCE OF 4 FEET ON THE WALL OF THE FORO IS PROTECTED WITH 56'S TYPE X GYPSUM BOARD DIRECTLY BENEATH THE UNDERSIDE OF THE ROOF SHEATHING OR DECK, SUPPORTED BY A MINIMUM OF 2'LEDGERS ATTACHED TO THE SIDES OF THE FRAMING WEIGHTS AND STANCE OF A FEET ON BOTH STEDS OF THE FIRE OF SHEATHING OR DECK, SUPPORTED BY A MINIMUM DISTANCE OF A FEET ON BOTH STEDS OF THE FIRE



ALLOWABLE AREA

CALCULATIONS BOALE As indicated PROJ NO. 1804 DRAWN BY SP SHEET BIXE: 30 x 43

A0.50

BASEMENT 1

seasons are parties selected in the tay of the forward of observed.

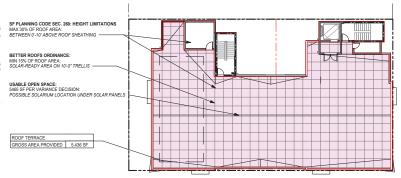
(A) Medical insighteen and approximation increases to the contract or maintained of the felding or involved held including distances, verifices, plotting over radio, cooling review, was made, proofs in driving for the observed of side or ward edge good verification and expension, together with randi contents for my read thereon. This interspects shall be limited to the tag 171 for of (B) However, the and conclusion productors, for verse, skylights and decree various. This consequence shall be instead or do say 10 feet of such instead where the length instead is feet to a feet to the conclusion of the same areas than 10 feet. However, the review productors, the recognises shall be instead to the try 20 feet and limited to the foregone of the decree such and the conclusion of the conclu

suant to the Planning Code and Green Building Code, there are requirements to runsiant to the random goode and refer founding Code, there are requirements to new building construction to facilitate the development of renewable energy facilit and Living Roofs. These standards require that 15% of the roof space on most new construction is solar. These requirements can also be met by providing 30% of the construction is some. These requirements can use of me to y provining so so the roof space as a Living Roof (i.e. green or vegetated roof), or installing a combination of both solar and Living Roof. The Living Roof option will allow a project sponsor to replace the required solar with Living Roof at a ratio of 2 square feet of living roof for every 1 square foot of solar.

(4) Use of Solarisms. In C-3 Darsico, the zero of a soully or personly exclused solarism shall be confined as private sould copes space if (5) such area in eyes to the outdoorn through openages or clear planting on see less than 50 persons of its personser and (2) not less than 10 persons of its eventual area and 22 persons of its personser are eyes or can be opened to the air.

CASE NO. 2014-001674VAR 1145 Polk Street

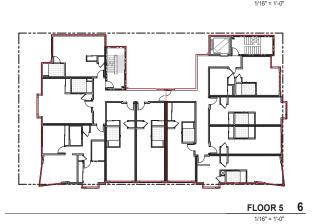
PROVIDED USABLE OPEN SPACE:	
3 BALCONIES (PRIVATE):	692 SF
ROOF DECK (COMMON):	5,436 SF
TOTAL:	6,128 SF
REQUIRED USABLE OPEN SPACE:	
54 UNITS:	4,260 SF
PROVIDED OPEN AREA:	
COURT:	950 SF
OPEN SPACE PROVIDED:	
3 BALCONIES (PRIVATE):	692 SF
ROOF DECK (COMMON):	5,436 SF
COURT:	950 SF
TOTAL:	7,078 SF

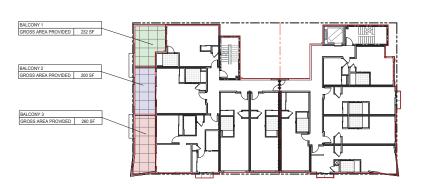




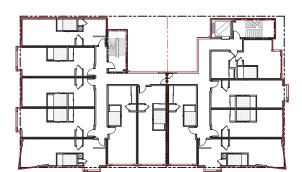
ROOF 8

FLOOR 6 7

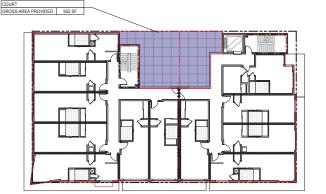




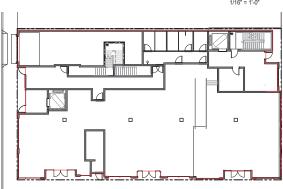
FLOOR 4 5



FLOOR 3 4



FLOOR 2 3



FLOOR 1 2

-₹-0

BASEMENT 1

GENERAL NOTES

ALLOWABLE AREA NOTES: (ALL CALCULATIONS PER CALIFORNIA BUILDING CODE)

3. Is - SPRINKLER FACTOR
SECTION 502 - FRONTAGE INCREASE. WHERE A BUILDING HAS
MORE THAN 20 PERCENT OF ITS PERMITERS ON A PUBLIC WAY OR
OFER SPACE HAWNOS A MINIMUM WOTHO 420 PERET. THE FRONTAGE
INCREASE SHALL BE DETERMINED BY THE FOLLOWING:
If - FRONTAGE FACTOR
IF - FRONTAGE OF THE BUILDING
IF - FRONTAGE FACTOR
IF - FRONTAGE
IF - FRONTA

SECTION 506.3 AUTOMATIC SPRINKLER SYSTEM. WHERE A BULLIONS IS EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM THE AREA LIMITATION TABLE 503 IS PERMITTED TO BE INCREASED BY AN ADDITIONAL 200 PERCENT (to = 2) FOR BUILDING WITH MORE THAN ONE STORY ABOVE GRADE PLANE.

SECTION 506.4 AREA DETERMINATION. FOR GROUP A. E. H. I. L. AND R OCCUPANCIES, THE MAXIMUM AREA OF A BUILDING WITH MORE THAN ONE STORY ABOVE GROUP PLANE SHALL BE DETERMINED BY MULTIPLYING THE ALLOWABLE AREA OF THE FRST FLOOR STORY (A.) BY THE NUMBER OF STORES ABOVE GRADE AS LISTED BELOW. IN THE STORY OF THE STORY OF

SECTION 504.2 HEIGHT INCREASES. AUTOMATIC SPRINKLER SYSTEM INCREASE. FOR GROUP R.2 BUILDINGS OF TYPE VA CONSTRUCTION COUJPEOF THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM, THE VALUE SPECIFIED IN TABLE 503 FOR MAXIMUM HOIST IS INCREASED BY ONE BUT SHALL NOT EXCED DIE FOR FOUR TOTHOUT STREAM FOR THE TOTHOUT STREAM FOR THE STRE

■ WITH SECTION 908.3

SECTION 910.2 HORIZONTAL BUILDING SEPARATION ALLOWANCE. A BUILDING SHEEP CONSIDERED AS SEPARATE AND DISTINCT ON SHEEP CONSIDERED AND SHEEP CONSIDERATION ASSESSMELY HAVE A FIRE PROTECTION SHEEP CONSIDERED AND SHEEP CONSIDERATION ASSESSMELY AND SHEEP CONSIDERATION SHEEP CONSIDERATION ASSESSMELY AND SHEEP CONSIDERATION SHEEP CONSIDERATION OF SHEEP CONSIDERATION SHEEP CON

LESS THAN I HOUR.

5 THE BUILDING OR BUILDINGS ABOVE THE HORIZONTAL ASSEMBLY
SHALL BE PERMITTED TO HAVE MULTIPLE GROUP A OCCUPANCY
SHALL BE PERMITTED TO HAVE MULTIPLE GROUP A OCCUPANCY
M. R OR S OCCUPANCIES.

6 THE BUILDING BELOW THE HORIZONTAL ASSEMBLY SHALL BE
PROTECTED THOUGHOUT BY AN APPROVED AUTOMAT
SHALL BE RENDERED TO BE ANY OF THE FOLLOWING
SHALL BE PERMITTED TO BE ANY OF THE FOLLOWING
COCUPANCIES.

COCUPANCIES

A GROUP B.

6 THE GROUP A COCUPANCIES
COCUPANCIES

PROPERTY LINE

BUILDING AREA

BUILDING AREA

BUILDING AREA

BUILDING AREA

TABLE 78.8. MAXIMUM AREA OF EXTERIOR
THOUGHOUT SHALL BE PERMITTED AND OF THE
BUILDING (MOLLOWING BITTY LOSBIES, MECHANICAL ROOMS,
TORHOGO AREA, AND SIMMAL BUILDING AREA

TORHOGO AND THE SEPARATION DISTANCE WITH
OPENNICS IN BUILDINGS COUPPED THROUGH
STORAGE AREA, AND SIMMAL BUILDING AREA

THE MARIANIMA AREA OF EXTERIOR
THOUGHT SHOW THE SHOULDING BUILDINGS COUPPED THROUGH
STORAGE AREA, AND SIMMAL BUILDING AREA

THE BARRIER 100

PROPERTY LINE

THE BARRIER 100

1 THE BUILDING AND THE PROPERTY LINE

THE BUILDING AREA

THE BARRIER 100

1 THE BUILDING AREA

1 THE BUILDING AREA

THE BARRIER 100

1 THE BUILDING AREA

THE BUILDING AREA

1 THE BUILDING AREA

1 THE BUILDING SCUIPPED THROUGH

1 THE BUILDING AREA

1 THE BUILDING SCUIPPED THROUGH

1 THE BUILDING AREA

1 THE BUILDING SCUIPPED THROUGH

1 THE BUILDING AREA

1 THE BUILDING AREA

1 THE BUILDING AREA

1 THE BUILDING SCUIPPED THROUGH

1 THE BUILDING AREA

1 THE BUILDING AREA

1 THE BUILDING SCUIPPED THROUGH

SECTION 706.5 HORIZONTAL CONTINUITY. FIRE WALLS SHALL BE CONTINUOUS FROM EXTERIOR WALL TO EXTERIOR WALL AND SHALL EXTEND AT LEAST 18" BEYOND THE EXTERIOR SURFACE OF EXTERIOR WALLS.

EXCEPTION.

S. FREE WALLS SHALL BE PERMITTED TO TERMINATE AT THE INTERIOR SURFACE OF NONCOMBUSTIBLE EXTERIOR SHEATHING WHERE THE BUILDING ON BEACH BIG OF THE FIRE WALL IS PROTECTED BY AN AUTOMATIC SPRINKER SYSTEM MISTALLED IN ACCORDANCE WITH SECTION 903.1.1 OR 903.31.7.

SECTION 766.5.1 EXTERIOR WALLS. WHERE THE FIRE WALL INTERSECTS EXTERIOR WALLS, THE FIRE-RESISTANCE RATING AND OPENING PROTECTION OF THE EXTERIOR WALLS SHALL COMPLY WITH:

2. BUILDINGS OR SPACES ON BOTH SIDES OF THE INTERSECTING FIRE WALL AND COTENING BEYOND THE EXTERNOR THE FIRE WALL AND COTENING BEYOND THE EXTERNOR THE FIRE WELL AND COTENING BEYOND THE EXTERNOR THE FIRE WALL SHALD BE SUCH THAT THE EXTERNOR WALLS AND THE FIRE WALL SHALD BE SUCH THAT THE EXTERNOR WALLS AND DEPAND PROFICE COTON MEET THE REQUIREMENTS SET FORTH IN SECTIONS 705.5 AND 705.8 SUCH PROTECTION SO FOR COMPONING THE SECTION STATE OF THE PROTECTION SO THE CONTROL FOR THE SECTION STATE OF THE PROTECTION SO THE CONTROL FOR THE SECTION STATE OF THE

SECTION 706.5.2 HORIZONTAL PROJECTING ELEMENTS. FIRE WALLS SHALL EATEND TO THE OUTER EDGE OF HORIZONTAL PROJECTING ELEMENTS SUCH AS BALCONIES, ROOF OVERHANGS, CANOPIES, MARQUEES AND SMILAR PROJECTIONS THAT ARE WITHIN 4 FEET OF THE FIRE WALLS.

SECTION 706.6 VERTICAL CONTINUITY. FIRE WALLS SHALL EXTEND FROM THE FOUNDATION TO A TERMINATION POINT AT LEAST 30°

FROM THE FOUNDATION TO A TERMINATION POINT AT LEAST 30"
ABOVE BOTH JAUACENT ROOPS.
EXCEPTIONIS.
1. STEPPED BUILDING IN ACCORDANCE WITH SECTION 706.6.1. FIRE
WALL SHALL TERMINATE AT A POINT NOT LESS THAN 30" ABOVE THE
WALL SHALL TERMINATE AT A POINT NOT LESS THAN SO ABOVE THE
WALL SHALL THE EXTERTOR WALL ABOVE THE LOWER
ROOF SHALL NOT HAVE LESS THAN A 1-HAR FIRE RESISTANCE-NATE
ROOF SHALL NOT HAVE LOST THAN 1-HAR FIRE RESISTANCE FOR THE CONSTRUCTION FROM BOTH FIGURE WITH CO-BINANCE PROFECTED BY
FIRE THAN 30 HE FOR A MINIMUM HEIGHT OF 15 FEET.

LESS THAN 34 HE FOR A MINIMUM HEIGHT OF 15 FEET.

2 7 HOUR RIFE, RESISTANCE AFTED WALLS SHALL BE FERMITTED TO TERMINATE AT THE LUNGERSIDE OF THE ROOF SHEATHING, DECK OR SLAP, PRODUDED:

2.1. THE LOWER ROOF ASSEMBLY WITHIN 4 FEET OF THE ADMINISTRATION OF THE PROPERTY OF THE ADMINISTRATION OF THE PROPERTY OF THE PROPER

3. WALLS SHALL BE PERMITTED TO TERMINATE AT THE UNDERSIDE OF NONCOMBUSTIBLE ROOF SHEATHINS, DECK OR SLABS WHERE BOTH BULDINGS ARE PROVIDED WITH NOT LESS THAN A CLASS B ROOF COVERING. OPENINGS IN THE ROOF SHALL NOT BE LOCATED WITHIN A FEET OF THE FIRE WALL.

4. IN BUILDINGS OF TYPE III, IV AND V CONSTRUCTION, WALLS SHALL BE PERMITTED TO TERMINATE AT THE UNDERSIDE OF COMBUSTIBLE ROOF SHEATHING OR DECKS, PROVIDED: 4.1 THERE ARE NO OPENINGS IN THE ROOF WITHIN 4 FEET

A 1. THERE ARE NO OPENINGS IN THE ROOF WITHIN 4 FEET OF THE FIRE WAY. A 2. THE ROOF IS COVERED WITH A MINIMUM CLASS BE ROOF COVERNO, AND 4. 2. THE ROOF IS MOST ON OR DECKS IS CONSTRUCTED OF FIRE-RETAILED. THE RAY OF SHEATHING OR DECKS IS CONSTRUCTED OF FIRE-RETAILED. THE WALL OF THE ROOF IS PROTECTED WITH 50° TYPE X GYPSUM BOARD DIRECTLY SELECATH THE UNDERSIDE OF THE ROOF SHEATHING OR DECKS, USPORTED BY A MINIMUM OF 2° LEDGERS ATTACHED TO THE SIDES OF THE FRAMING WEIGHT SHEATH THE CONSTRUCTED.

GENERAL NOTES (CONT.)

SECTION 706.8 OPENINGS, EACH OPENING THROUGH A FIRE WALL SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 716.5 AND SHALL NOT EXCEED 195 SO FT. THE AGGREGATE WIDTH OF DEPININGS AT ANY FLOOR LEVEL SHALL NOT EXCEED 25% OF THE LENGTH OF THE WALL.

EXCEPTIONS:

2. OPENINGS SHALL NOT BE LIMITED TO 156 SQ FT WHERE BOTH BUILDINGS ARE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1.

ACCHANACE WITH DECLINA WIGS.1.1.

A AN ALTENATE MATERIALS AND METHODS OF CONSTRUCTION REQUEST HAS BEEN TO ALLOW TWO STORES BEED WITH E HORIZONAL ASSEMBLY. 2015. THE WASHINGTON ASSEMBLY TO BE 1-500ES BELOW THE 4-500M FOR PROZECULA SEASOM YTO BE 1-500ES BELOW THE 4-500M FOR MORDE WASHINGTON ABOVE GRADE PLANE. SEE SHEET ALO BE FOR MORE INFORMATION.

ALL OPENINGS IN THE 3-HOLD FIRE WALL ASSEMBLIES

SHALL BE 3-HOUR RATED EXCEPT WHERE FIRE SEPARATION DISTANCE ALLOWS A LESSER RATING PER M. TABLE 602.

B. TYPICAL CONC. BASEMENT WALLS TO BE TYPE A1, U.O.N.

C. TYPICAL CMU BASEMENT WALLS TO BE TYPE A10, U.O.N.

H. TYPICAL INTERIOR UNIT PLUMBING WALLS TO BE TYPE E3.1

J. TYPICAL 2-HR INTERIOR SHAFT WALL TO BE S1, U.O.N.

SAN FRANCISCO CA 94103

. (415) 677-0966 LIENT

П

N

4

ONBULTANT

UNLESS OTHERWISE NOTED ALLOWABLE EXTERIOR WALL OPENINGS HAVE NO LIMIT.

WALL TYPE NOTES

A. U.O.N., TYPICAL EXTERIOR WALLS TO BE TYPE B1 (REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS):

D. TYPICAL INT. 1-HR CORRIDOR WALLS TO BE TYPE C1, U.O.N

E. TYPICAL INTERIOR 1-HR CORRIDOR WALLS AT BATHROOM PLUMBING TO BE TYPE C2, U.O.N.

. TYPICAL 1-HR UNIT SEPARATION WALLS TO BE TYPE D2 U.O.N. (S.S.D. FOR STUD AND SHEAR CONFIGURATION.)

G. TYPICAL INTERIOR UNIT WALLS TO BE TYPE E2.1

TABLE 705.8. MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE WITH UNPROTECTED OPENINGS IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDINCE WITH SECTIC

903.3.1.1.	LEN STSTEM IN ACC	ONDINGE WITH SEC
	SEPARATION DISTANCE	ALLOWABLE AREA
NP-NP-NP	0 FT < 3 FT	NOT PERMITTE
15% — 15% — 15%	3 FT < 5 FT	15%
25% — 25% — 25%	5 FT < 10 FT	25%
45% — 45% — 45%	10 FT < 15 FT	45%
75% — 75% — 75%	15 FT < 20 FT	75%
NL - NL - NL	> 20 FT	NO LIMIT

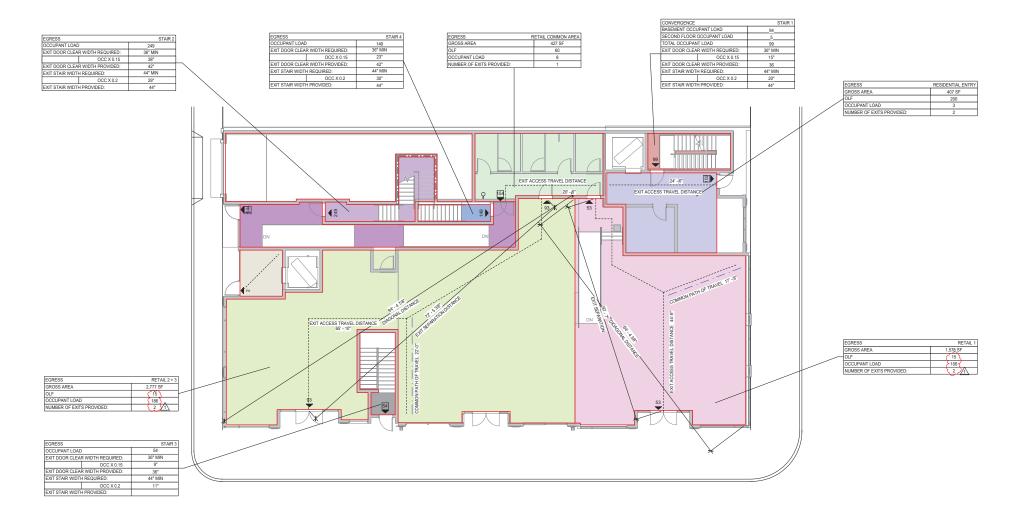


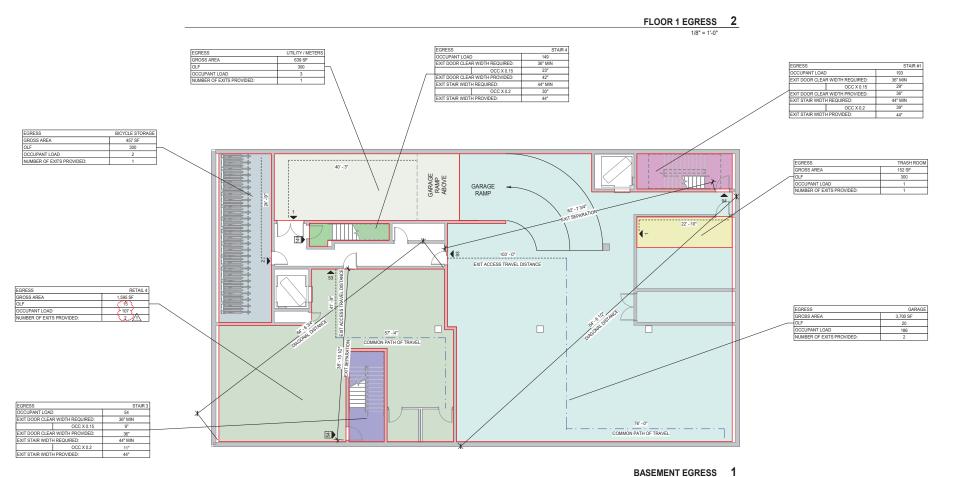
REV. ISSUE DATE SITE PERMIT 03.30.18 PLAN CHECK

OPEN SPACE DIAGRAMS

As indicated PROJ NO. 1804 DRAWN BY SP SHEET BIXE: 30 x 43

HEET TITLE





SEPARATION DISTANCE BETWEEN AT LEAST TWO EXITS
SHALL BE 1/3 DIAGONAL DIMENSION OF BUILDING. SEE
DIAGRAMS FOR EXIT SEPARATION DISTANCE DIMENSION

SAN FRANCISCO CA 94103 B. COMMON PATH OF EGRESS TRAVEL (CBC TABLE 1014.3) SPRINKLERED S-2 = 100' SPRINKLERED B = 100' SPRINKLERED R-2 = 125'

C. EXIT ACCESS TRAVEL DISTANCE (CBC TABLE 1016.2)
SPRINKLERED S-2 = 400'
SPRINKLERED B = 300'
SPRINKLERED R-2 250'

D. EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE SIGNAGE POSTED IN A CONSPICUOUS PLACE WITH THE ALLOWABLE OCCUPANT LOAD NEAT THE MAIN EXTOR OR EXT ACCESS DOORWAS APPROVED BY THE FIRE AND BUILDING INSPECTORS FROM TO FINAL BUILDING OCCUPANCY CERTIFICATION PER CBC 1004.3.

CLASS ISTANDPIPE HOSE CONNECTION SHALL BE PROVIDED ON EACH SIDE OF THE WALL ADJACENT TO THE EATT OPENING OF A HORIZONTAL EXIT EXCEPT WHERE FLOOR AREAS ADJACENT TO A HORIZONTAL EXIT ARE REACHABLE FROM EXIT STANWAY HOSE COMMETCIONS BY A WOZZLE ATTACHED TO 100 FEET OF HOSE AS AS MECAURED ALONG THE PATH OF TRAVEL, A HOSE OF A WOZZLE ATTACHED TO 100 FEET OF HOSE AS AS MECAURED ALONG THE PATH OF TRAVEL, A HOSE OF A WOZZLE ATTACHED TO 100 FEET OF HOSE AS AS MECAURED ALONG THE PATH OF TRAVEL, A HOSE OF A WOZZLE ATTACHED TO THE PATH OF T

H. PER CBC 1005.3 L8 1005.3 2 EXCEPTIONS, MINIMUM REQUIRED EGRESS WIDTHS PROVIDED ARE BASED ON THE BUILDING BEING EQUIPPED WITH AN AUTOMATIC FIRE SPIRINKER, SYSTEM (CGS 003.3 1.1 OR 103.3 3.1 2) AND AN EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM IN ACCORDANCE WITH DGS 007.5 2.2

SHEET NOTES

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

2 HOUR VERTICAL EXIT ENCLOSURE (CBC SECTION 1022.2) 90 MIN. DOOR (CBC TABLE 716.5)

2 HOUR ELEVATOR SHAFT (CBC SECTION 713.5) 90 MIN. ELEVATOR DOOR (CBC TABLE 716.5)

4 2 HOUR TRASH CHUTE ENCLOSURE (CBC SECTION 707.3.1) 90 MIN. DOOR (CBC TABLE 716.5)

6 1 HOUR CORRIDOR (CBC SECTION 1018) WITH 20 MIN. UNIT DOORS (CBC SECTION 716.5.3)

7 5' WIDE EXIT PATH OF TRAVEL

WORST CASE ACCESS TRAVEL DISTANCE, INCLUDING WORST CASE COMMON PATH OF EGRESS

9 — EXIT OCCUPANT LOAD

EXIT

SS

CUMMULATIVE OCCUPANT LOAD

438

H.E. HORIZONTAL EXIT

EXIT DISCHARGE

CONCRETE WALL/COLUMN, S.S.D.

1-HOUR FIRE BARRIER (45 MIN OPENING PROTECTION, EXCEPT FOR 20 MIN @ CORRIDOR)

3-HOUR FIRE WALL

60'-0" EXTENT OF TRAVEL DISTANCE

COMMON PATH OF EGRESS TRAVEL

—S——— SMOKE BARRIER

EXIT DISCHARGE

2- HR RATED WALL

1303

P. (415) 677-0966

CLIENT

ONBULTANT

L

1

Ŋ

4

G. A TYPICAL DOOR OPENING IS 3'-0", U.O.N., WITH A NET CLEAR OPENING OF 33 1/2", WHICH HAS AN OCCUPANT LOAD CAPACITY OF 167 OCCUPANTS.

3 2 HOUR MECHANICAL SHAFT (CBC SECTION 713.5)

(5) EXIT DISCHARGE (CBC SECTION 1027.1)

8 SMOKE BARRIER

10 3 HOUR BARRIER WALL

LEGEND

PARTIAL HEIGHT WALL
FULL HEIGHT WALL

2-HOUR FIRE BARRIER [90 MIN OPENING PROTECTION]

60'-0" EXTENT OF TRAVEL DISTANCE
EXIT ACCESS PATH OF TRAVEL

EXIT SEPARATION DISTANCE ______ PROPERTY LINE

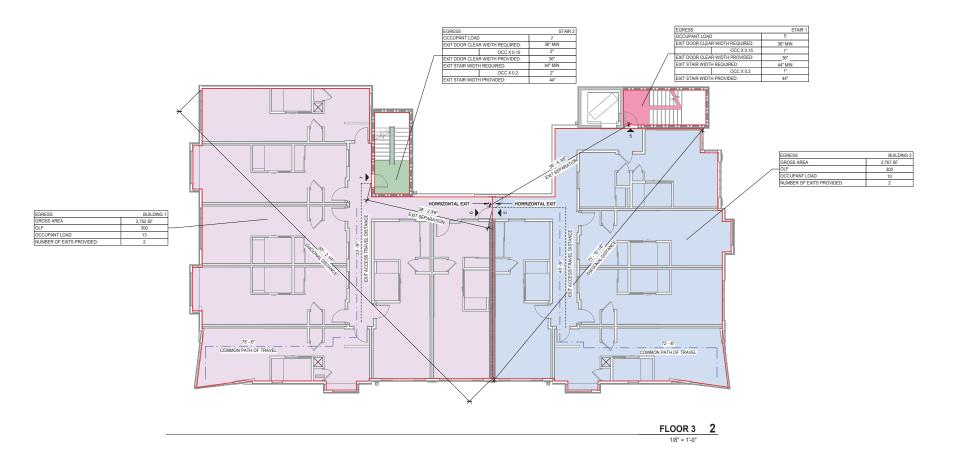
1- HR RATED WALL

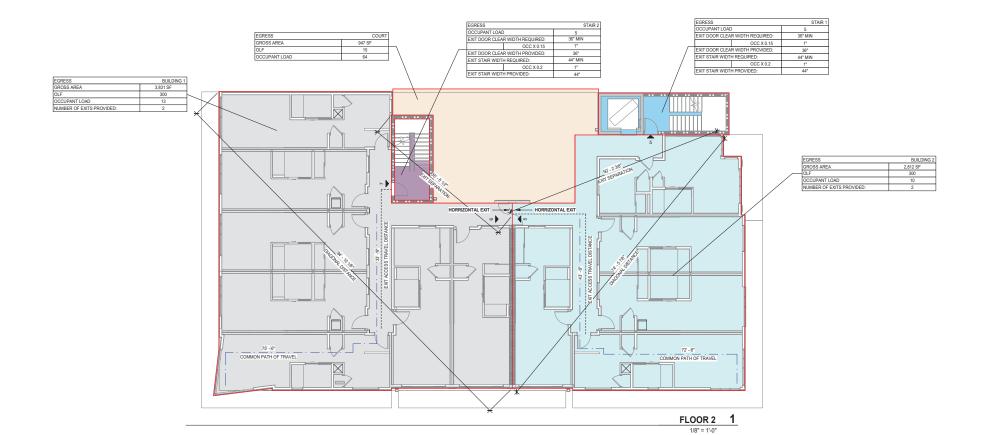


REV. ISSUE DATE SITE PERMIT 03.30.18 PLAN CHECK

> **FGRESS** DIAGRAMS

BOALE As indicated
PROJ NO. 1804 DRAWN BY SP BHEET BIXE: 30 x 43





SEPARATION DISTANCE BETWEEN AT LEAST TWO EXITS
SHALL BE 1/3 DIAGONAL DIMENSION OF BUILDING. SEE
DIAGRAMS FOR EXIT SEPARATION DISTANCE DIMENSION

B. COMMON PATH OF EGRESS TRAVEL (CBC TABLE 1014.3) SPRINKLERED S-2 = 100' SPRINKLERED B = 100' SPRINKLERED R-2 = 125' P. (415) 677-0966

C. EXIT ACCESS TRAVEL DISTANCE (CBC TABLE 1016.2)
SPRINKLERED S-2 = 400'
SPRINKLERED B = 300'
SPRINKLERED R-2 = 250'

D. EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE SIGNINGE POSTED IN A CONSPICUOUS PLACE WITH THE ALLOWABLE OCCUPANT LOAD WART THE MAIN EATO FOR EXT ACCESS DOORWAY. FINAL POSTED SIGNLOCATION(S) AND TYPE SHALL BOTTO TO FINAL BUILDING OCCUPANCY CERTIFICATION PER CBC 1004.3.

CLASS ISTANDPIPE HOSE CONNECTION SHALL BE PROVIDED ON EACH SIDE OF THE WALL ADJACENT TO THE EXIT OPENING OF A HORIZONTAL EXIT EXCEPT WHERE FLOOR AREAS ADJACENT TO A HORIZONTAL EXIT ARE REACHABLE FROM EXIT STRINKAY HOSE CONNECTIONS BY A NOZZIE ATTACHED TO 100 FEET OF HOSE AS AS MECAURED ALONG THE PITH OF TRAVEL A HOSE OF A HOSE AND A HOSE OF A HOSE AS A HOSE OF A HOSE AND A HOSE AND A HOSE OF A HOSE AND A

H. PER CASE USOS 3.4 8 (50.5.2 SECEPTIONS, MINIMUM REQUIRED EGRESS WIDTHS PROVIDED ARE BASED ON THE BUILDING BEING COUPPED WITH AN ATTOMATIC FIRST STRINGLER SYSTEM (COL 90.5.1.1 OR 80.5.3.1.2) AND AN EINERGENCY VIOLENCE AND COMMUNICATION SYSTEM IN ACCORDANCE WITH GOS 907.5.2.2.

SHEET NOTES

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

2 HOUR VERTICAL EXIT ENCLOSURE (CBC SECTION 1022.2) 90 MIN. DOOR (CBC TABLE 716.5)

3 2 HOUR MECHANICAL SHAFT (CBC SECTION 713.5)

4 2 HOUR TRASH CHUTE ENCLOSURE (CBC SECTION 707.3.1) 90 MIN. DOOR (CBC TABLE 716.5)

6 1 HOUR CORRIDOR (CBC SECTION 1018) WITH 20 MIN. UNIT DOORS (CBC SECTION 716.5.3)

10 3 HOUR BARRIER WALL

LEGEND

PARTIAL HEIGHT WALL

FULL HEIGHT WALL

CONCRETE WALL/COLUMN, S.S.D.

60'-0" EXTENT OF TRAVEL DISTANCE
EXIT ACCESS PATH OF TRAVEL

PROPERTY LINE

EXIT DISCHARGE

→ 4 2- HR RATED WALL

1- HR RATED WALL

İBDE

950 HOWARD STREET SAN FRANCISCO CA 94103

CLIENT

ONBULTANT

L

1

Ŋ

4

G. A TYPICAL DOOR OPENING IS 3'-0", U.O.N., WITH A NET CLEAR OPENING OF 33 1/2", WHICH HAS AN OCCUPANT LOAD CAPACITY OF 167 OCCUPANTS.

2 HOUR ELEVATOR SHAFT (CBC SECTION 713.5) 90 MIN. ELEVATOR DOOR (CBC TABLE 716.5)

(5) EXIT DISCHARGE (CBC SECTION 1027.1)

7 5' WIDE EXIT PATH OF TRAVEL 8 SMOKE BARRIER

WORST CASE ACCESS TRAVEL DISTANCE, INCLUDING WORST CASE COMMON PATH OF EGRESS

9 — EXIT OCCUPANT LOAD

EXIT

SS

CUMMULATIVE OCCUPANT LOAD

438

H.E. HORIZONTAL EXIT

EXIT DISCHARGE

1-HOUR FIRE BARRIER [45 MIN OPENING PROTECTION, EXCEPT FOR 20 MIN @ CORRIDOR]

2-HOUR FIRE BARRIER [90 MIN OPENING PROTECTION] 3-HOUR FIRE WALL

60'-0" EXTENT OF TRAVEL DISTANCE

COMMON PATH OF EGRESS TRAVEL ----- EXIT SEPARATION DISTANCE

-S--S-SMOKE BARRIER



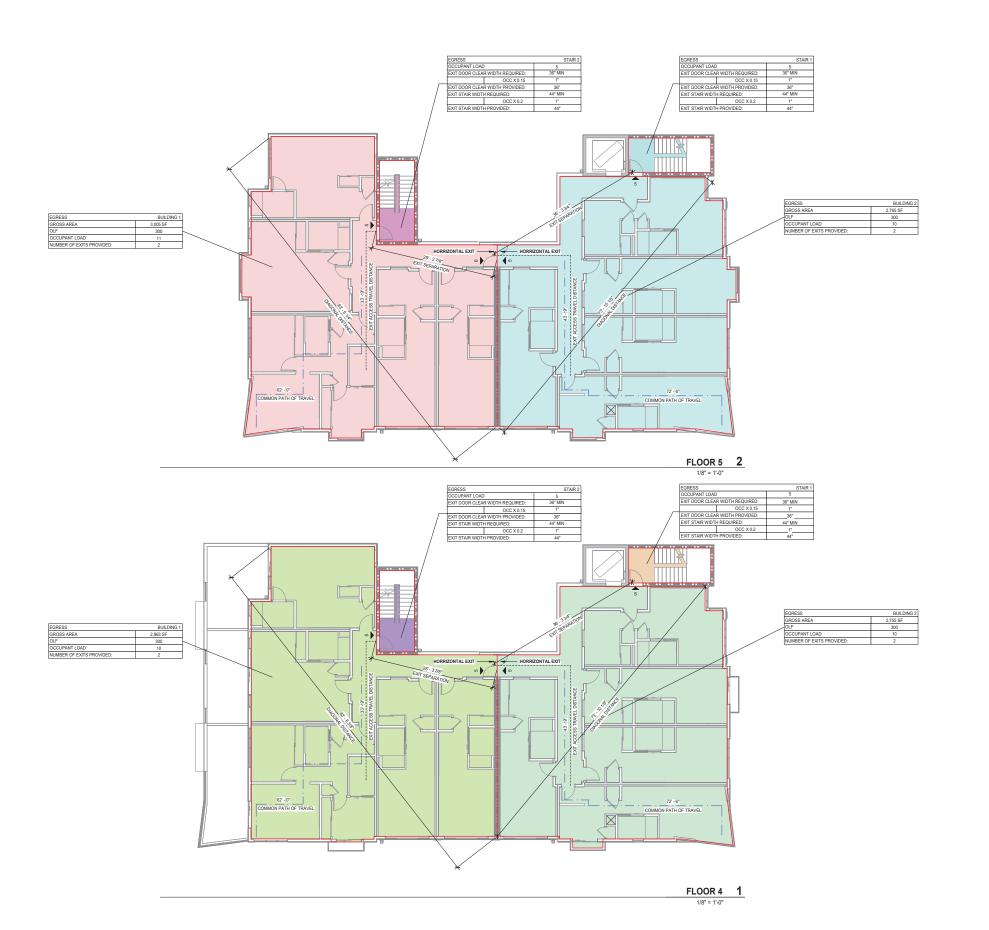
REV. ISSUE DATE SITE PERMIT 03.30.18 PLAN CHECK

> **FGRESS** DIAGRAMS

BOALE As indicated
PROJ NO. 1804 DRAWN BY SP

A0.61

BHEET BIXE: 30 x 43



SEPARATION DISTANCE BETWEEN AT LEAST TWO EXITS
SHALL BE 1/3 DIAGONAL DIMENSION OF BUILDING. SEE
DIAGRAMS FOR EXIT SEPARATION DISTANCE DIMENSION

SAN FRANCISCO CA 94103 B. COMMON PATH OF EGRESS TRAVEL (CBC TABLE 1014.3) SPRINKLERED S-2 = 100' SPRINKLERED B = 100' SPRINKLERED R-2 = 125' P. (415) 677-0966

C. EXIT ACCESS TRAVEL DISTANCE (CBC TABLE 1016.2)
SPRINKLERED S-2 = 400'
SPRINKLERED B = 300'
SPRINKLERED R-2 = 250'

D. EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE SIGNINGE POSTED IN A CONSPICUOUS PLACE WITH THE ALLOWABLE OCCUPANT LOAD WART THE MAIN EATO FOR EXT ACCESS DOORWAY. FINAL POSTED SIGNLOCATION(S) AND TYPE SHALL BOTTO TO FINAL BUILDING OCCUPANCY CERTIFICATION PER CBC 1004.3.

CLASS ISTANDPIPE HOSE CONNECTION SHALL BE PROVIDED ON EACH SIDE OF THE WALL ADJACENT TO THE EATY OPENING OF A HORIZONTAL EXIT EXCEPT WHERE FLOOR AREAS ADJACENT TO A HORIZONTAL EXIT ARE REACHABLE FROM EXIT STRINKINY HOSE CONNECTIONS BY A NOZZIE ATTACHED TO 100 FEET OF HOSE AS AS MECIWIED ALONG THE PITH OF TRAVEL A HOSE OF CONTRACT OF THE AND AS A HOSE OF THE ADDRESS OF THE ADDRES

G. A TYPICAL DOOR OPENING IS 3'-0", U.O.N., WITH A NET CLEAR OPENING OF 33 1/2", WHICH HAS AN OCCUPANT LOAD CAPACITY OF 167 OCCUPANTS.

H. PER CBC 1003.1 & 1005.3.2 EXCEPTIONS, MINIMUM REQUIRED EGRESS WIDTHS PROVIDED ARE BASED ON THE BUILDING BEING FOUPPED WITH AN AUTOMATIC FIRE SPRENKLER SYSTEM (CBC 903.3.1 CP 803.3.1). AND AN EMERGENCY VOICE/ALARIA COMMUNICATION SYSTEM IN ACCORDANCE WITH CBC 907.5.2.2.

SHEET NOTES

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

2 HOUR VERTICAL EXIT ENCLOSURE (CBC SECTION 1022.2) 90 MIN. DOOR (CBC TABLE 716.5)

2 HOUR ELEVATOR SHAFT (CBC SECTION 713.5) 90 MIN. ELEVATOR DOOR (CBC TABLE 716.5)

4 2 HOUR TRASH CHUTE ENCLOSURE (CBC SECTION 707.3.1) 90 MIN. DOOR (CBC TABLE 716.5)

(5) EXIT DISCHARGE (CBC SECTION 1027.1)

6 1 HOUR CORRIDOR (CBC SECTION 1018) WITH 20 MIN. UNIT DOORS (CBC SECTION 716.5.3)

8 SMOKE BARRIER

10 3 HOUR BARRIER WALL

LEGEND

9 — EXIT OCCUPANT LOAD

EXIT DISCHARGE

CONCRETE WALL/COLUMN, S.S.D.

1-HOUR FIRE BARRIER (45 MIN OPENING PROTECTION, EXCEPT FOR 20 MIN @ CORRIDOR)

3-HOUR FIRE WALL

—S——— SMOKE BARRIER

EXIT DISCHARGE

2- HR RATED WALL

1- HR RATED WALL

ONBULTANT

İBDE

CLIENT

L

1

Ŋ

4

3 2 HOUR MECHANICAL SHAFT (CBC SECTION 713.5)

7 5' WIDE EXIT PATH OF TRAVEL

WORST CASE ACCESS TRAVEL DISTANCE, INCLUDING WORST CASE COMMON PATH OF EGRESS

EXIT

SS CUMMULATIVE OCCUPANT LOAD

438 H.E. HORIZONTAL EXIT

PARTIAL HEIGHT WALL
FULL HEIGHT WALL

2-HOUR FIRE BARRIER [90 MIN OPENING PROTECTION]

60'-0" EXTENT OF TRAVEL DISTANCE
EXIT ACCESS PATH OF TRAVEL 60'-0" EXTENT OF TRAVEL DISTANCE

COMMON PATH OF EGRESS TRAVEL

EXIT SEPARATION DISTANCE

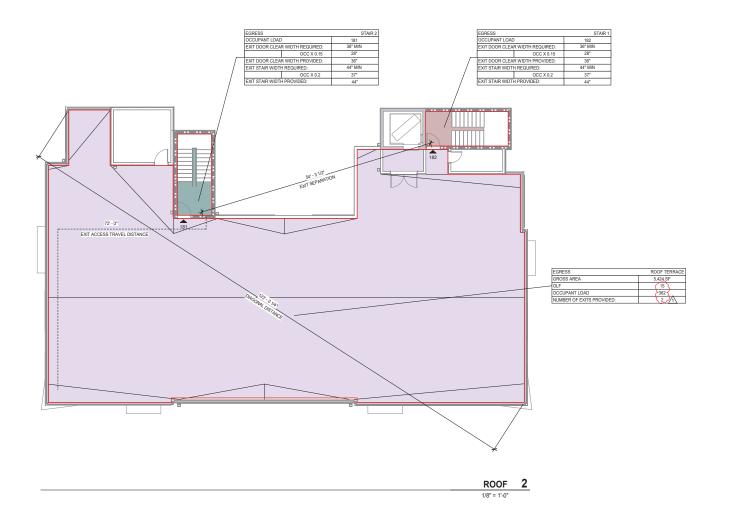
REV. ISSUE DATE SITE PERMIT 03.30.18 PLAN CHECK

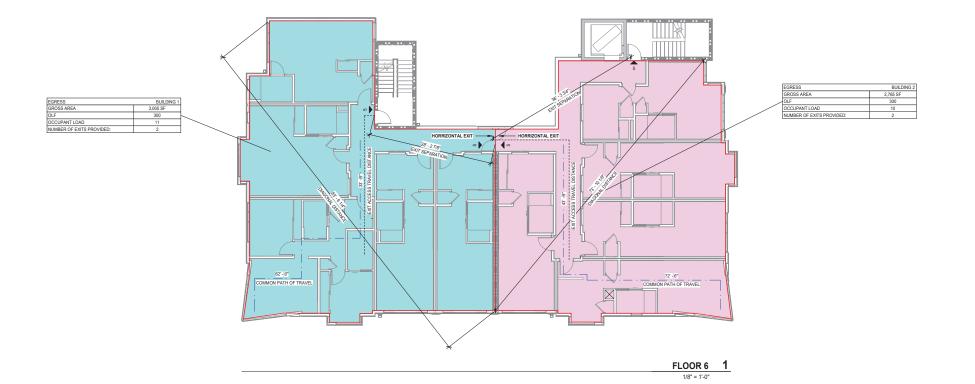


FGRESS

DIAGRAMS

BOALE As indicated
PROJ NO. 1804 DRAWN BY XX SHEET SIZE: 30 x 43





SEPARATION DISTANCE BETWEEN AT LEAST TWO EXITS
SHALL BE 1/3 DIAGONAL DIMENSION OF BUILDING. SEE
DIAGRAMS FOR EXIT SEPARATION DISTANCE DIMENSION

SAN FRANCISCO CA 94103 B. COMMON PATH OF EGRESS TRAVEL (CBC TABLE 1014.3) SPRINKLERED S-2 = 100' SPRINKLERED B = 100' SPRINKLERED R-2 = 125' P. (415) 677-0966

İBDE

ONBULTANT

L

1

Ŋ

4

C. EXIT ACCESS TRAVEL DISTANCE (CBC TABLE 1016.2) SPRINKLERED S-2 = 400' SPRINKLERED B = 300' SPRINKLERED R-2 = 250' CLIENT

D. EVERY PROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE SIGNAME POSTED IN A CONSPICUOUS PLACE WITH THE ALLOWABLE OCCUPANT LOAD NEAT THE MAIN EXTO FOR EXT ACCESS DOORWAY. FINAL POSTED SIGN LOCATION(S) AND TYPE SHALL BE TO THAN THE SHALL STAND OF THE SHALL STAND OF THE SHALL STAND OF THE SHALL SHALL POSTED SIGN LOCATION(S) AND TYPE SHALL BE TO THAN THE SHALL SHALL POSTED SIGN LOCATION(S) AND TYPE SHALL BE TO THAN THE SHALL SHALL PROOF THE SHALL SHALL PROOF THE SHALL SHALL PROOF THE SHALL SHALL PROOF THE SHALL SHALL PROOF THE SHAL

1004.3.

C. LASS ISTANDPIPE HOSE CONNECTION SHALL BE PROVIDED ON EACH SIDE OF THE WALL ADJACENT TO THE PAY OPENING OF A HORIZONTAL EXT EXCEPT WHERE FLOOR AREAS ADJACENT TO A HORIZONTAL EXIT ARE REACHABLE FROM EXIT STRINKINY HOSE CONNECTIONS BY A NOZZIE ATTACHED TO 100 FEET OF HOSE AS AS AS MEASURED ALONG THE PATH OF TRAVEL A HOSE OCIVILITY AND ALONG THE PATH OF TRAVEL A HOSE CONTINUED ALONG THE PATH OF TRAVEL A HOSE CONTINUED ALONG THE PATH OF THE PATH OF THE HORIZONTAL EXIT.

G. ATYPICAL DOOR OPENING IS 3-0", U.O.N., WITH A NET CLEAR OPENING OF 33 12", WHICH HAS AN OCCUPANT LOAD CAPACITY OF 187 OCCUPANTS.

H. PER C80: 1005.3.1.8. 1005.3.2 EXCEPTIONS, MINIMUM. REQUIRED GENESS WIDTHS REPOVIDED ARE BASED ON THE BILLIDING BEING EQUIPPED WITH AN AUTOMATIC FIRST SYSTEM (CSG 0.33.1.1 OR 1003.3.1.2) AND AN EINERGENCY OLOGAL ANNI COMMUNICATION SYSTEM IN ACCORDANCE WITH CSG 097.3.2.2.

SHEET NOTES

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

2 HOUR VERTICAL EXIT ENCLOSURE (CBC SECTION 1022.2) 90 MIN. DOOR (CBC TABLE 716.5)

2 HOUR ELEVATOR SHAFT (CBC SECTION 713.5) 90 MIN. ELEVATOR DOOR (CBC TABLE 716.5) 3 2 HOUR MECHANICAL SHAFT (CBC SECTION 713.5)

4 2 HOUR TRASH CHUTE ENCLOSURE (CBC SECTION 707.3.1) 90 MIN. DOOR (CBC TABLE 716.5)

(5) EXIT DISCHARGE (CBC SECTION 1027.1)

6 1 HOUR CORRIDOR (CBC SECTION 1018) WITH 20 MIN. UNIT DOORS (CBC SECTION 716.5.3)

7 5' WIDE EXIT PATH OF TRAVEL 8 SMOKE BARRIER

WORST CASE ACCESS TRAVEL DISTANCE, INCLUDING WORST CASE COMMON PATH OF EGRESS

10 3 HOUR BARRIER WALL

LEGEND

9 — EXIT OCCUPANT LOAD

EXIT

SS CUMMULATIVE OCCUPANT LOAD

438 H.E. HORIZONTAL EXIT

EXIT DISCHARGE PARTIAL HEIGHT WALL
FULL HEIGHT WALL

CONCRETE WALL/COLUMN, S.S.D. 1-HOUR FIRE BARRIER (45 MIN OPENING PROTECTION, EXCEPT FOR 20 MIN @ CORRIDOR)

2-HOUR FIRE BARRIER [90 MIN OPENING PROTECTION]

3-HOUR FIRE WALL

60'-0" EXTENT OF TRAVEL DISTANCE
EXIT ACCESS PATH OF TRAVEL 60'-0" EXTENT OF TRAVEL DISTANCE

COMMON PATH OF EGRESS TRAVEL

----- EXIT SEPARATION DISTANCE PROPERTY LINE

—S———— SMOKE BARRIER EXIT DISCHARGE

2- HR RATED WALL

1- HR RATED WALL
 REV. ISBUE
 DATE

 1
 SITE PERMIT PLAN CHECK
 03.30.18

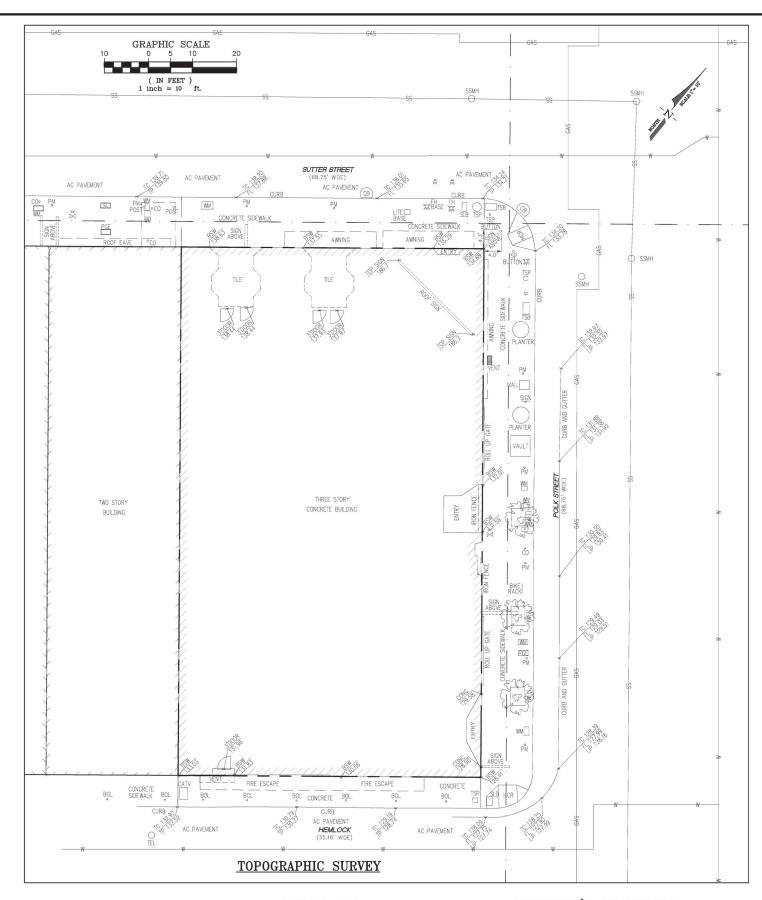


EGRESS

DIAGRAMS

BOALE As indicated
PROJ NO. 1804 DRAWN BY SP

SHEET SIZE: 30 x 43



RECORD REFERENCES

R1) RECORD OF SURVEY #8861, BOOK GG OF SURVEY MAPS, PAGE 53, OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO R2) MONUMENT MAP NO. 16 AND 17 ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR OF SAN FRANCISCO

FOUND CITY BENCHMARK AT THE SOUTHWEST CORNER OF SUTTER AND POLK STREETS, LETTER 'O' IN OPEN TOP HPFS HYDRANT. ELEVATION = 137.843 FEET, VERTICAL DATUM: CITY AND COUNTY OF SAN

BASIS OF SURVEY

FOUND MONUMENTS ON POLK STREET BETWEEN POST AND SUTTER STREET PER MONUMENT MAPS NO. 16 AND 17

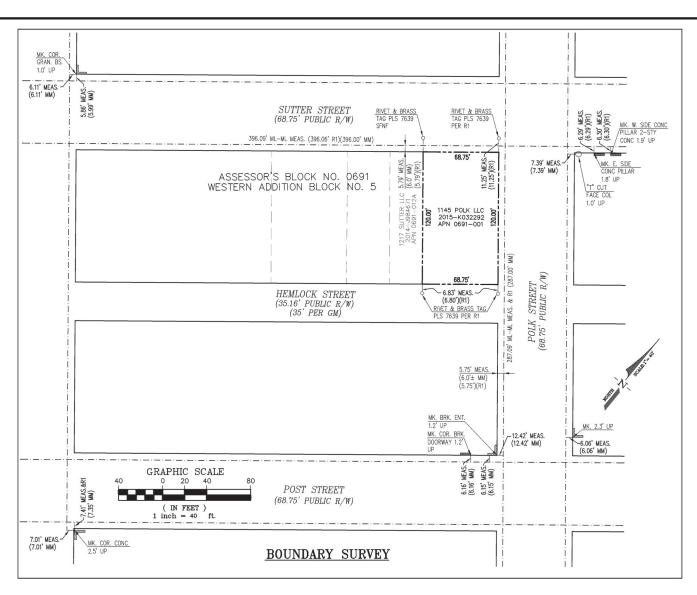
SURVEYOR'S STATEMENT

THIS SURVEY WAS DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE LAND SURVEYORS ACT IN APRIL 2018.

JACQUELINE LUK, P.L.S. 8934 FOR LUK & ASSOCIATES, INC.

DATE __APRIL_10, 2018







NOTES

- 1. EASEMENTS AND/OR RIGHTS OF WAY ARE SHOWN HEREON PER THE PTR. OTHER EASEMENTS AND/OR RIGHTS OF WAY OF RECORD, IF ANY, ARE NOT SHOWN HEREON.
- 2. DATE OF FIELD SURVEY: MARCH 16 AND 21, 2018 AS TO THE BOUNDARY AND TOPOGRAPHIC SURVEY OF THE SUBJECT
- 3. THE UTILITIES SHOWN HEREON ARE BY SURFACE OBSERVATION AND RECORD INFORMATION ONLY AND NO WARRANTY IS GIVEN HEREIN AS TO THEIR EXACT LOCATION. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO VERIFY THE EXACT LOCATION OF THE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY.
- . UTILITY JURISDICTIONS / PROVIDERS ARE AS FOLLOWS: STORM DRAINS: CITY AND COUNTY OF SAN FRANCISCO SANITARY SEWER: CITY AND COUNTY OF SAN FRANCISCO CITY AND COUNTY OF SAN FRANCISCO PACIFIC GAS & ELECTRIC CO. NATURAL GAS: PACIFIC GAS & ELECTRIC CO.

	<u>LEGENI</u>	<u>)</u>	
<u>SYMBOLS</u>	DESCRIPTION	SYMBOLS	DESCRIPTION
	BOUNDARY - SUBJECT PROPERTY	HCR	HANDICAP RAMP
	RIGHT-OF-WAY LINE	O TEL	TELEPHONE MANHOLE
	ADJOINERS PROPERTY LINE	O PM	PARKING METER
	MONUMENT LINE	O BOL	BOLLARD SIGN
	TIE LINE	AC	ASPHALT CONCRETE
☆SL	STREET LIGHT	CONC	CONCRETE
□ CB	CATCH BASIN	GRD	GROUND
O CO	CLEAN OUT	HCR	HANDICAP RAMP
O SSMH	SANITARY SEWER MAN HOLE	TP	TOP OF PAVEMENT
₩V	WATER VALVE	CL	CENTERLINE
□ WM	WATER METER	TFC	TOP OF CURB ELEVATION
□ PGE	PACIFIC GAS & ELECTRIC BOX	X 99.93	FLOW LINE ELEVATION
₩ FH	FIRE HYDRANT	X 99.47	FLOW LINE ELEVATION
□ TWELL	TREE WELL	TP	TOP OF PAVEMENT ELEVATION
□ EB/ELEC	ELECTRICAL BOX	× 100.10	TO OF THE MENT ELECTRISM
□ CATV	CABLE TELEVISION	BSW	BACK OF SIDEWALK ELEVATION
☐ GM	GAS METER	× 132.01	
□ SLB □ TSB	STREET LIGHT BOX TRAFFIC SIGNAL BOX		
L 10D	IKALLIC SIGNAL BOX		

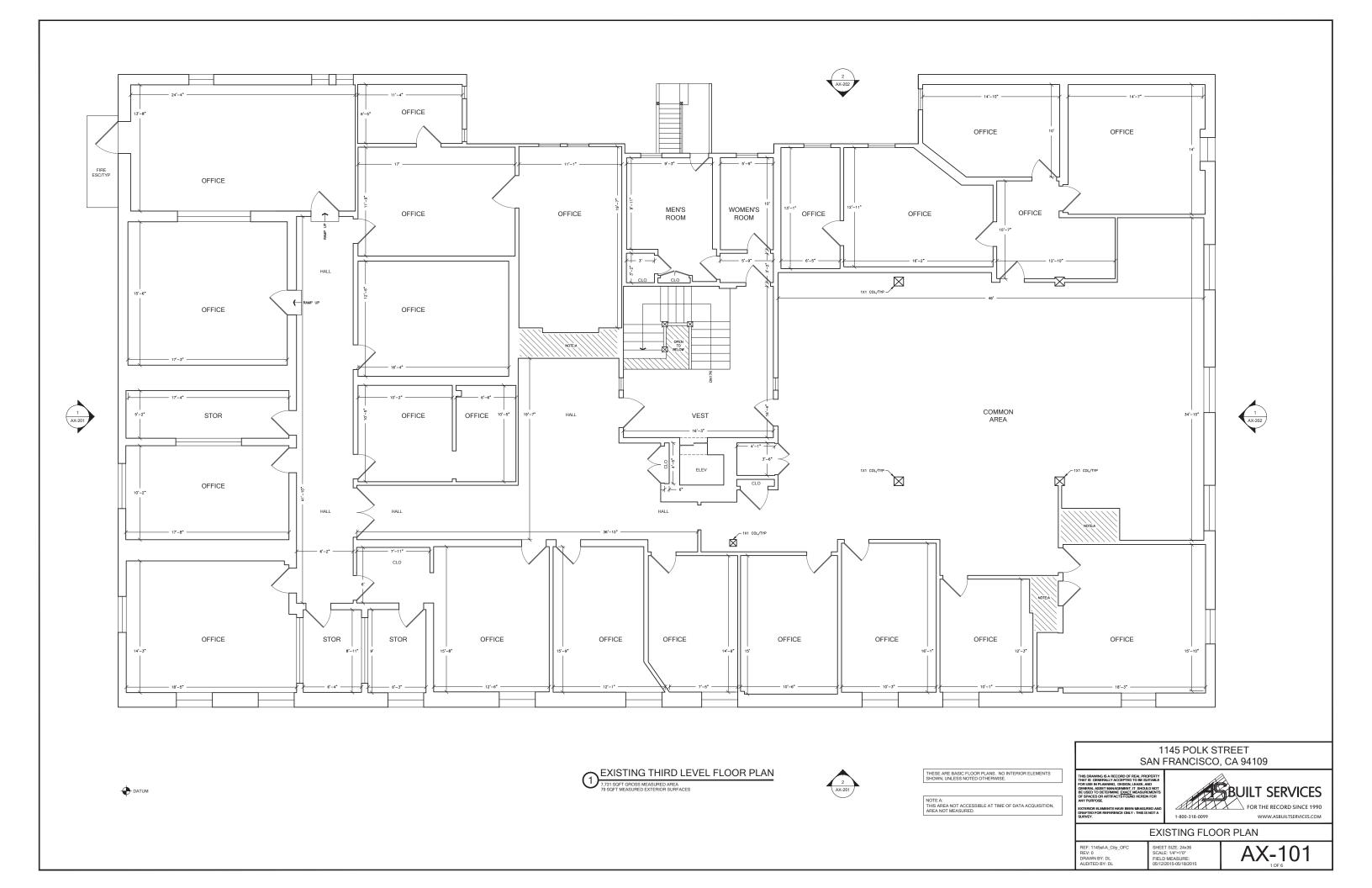
TRAFFIC SIGNAL POST

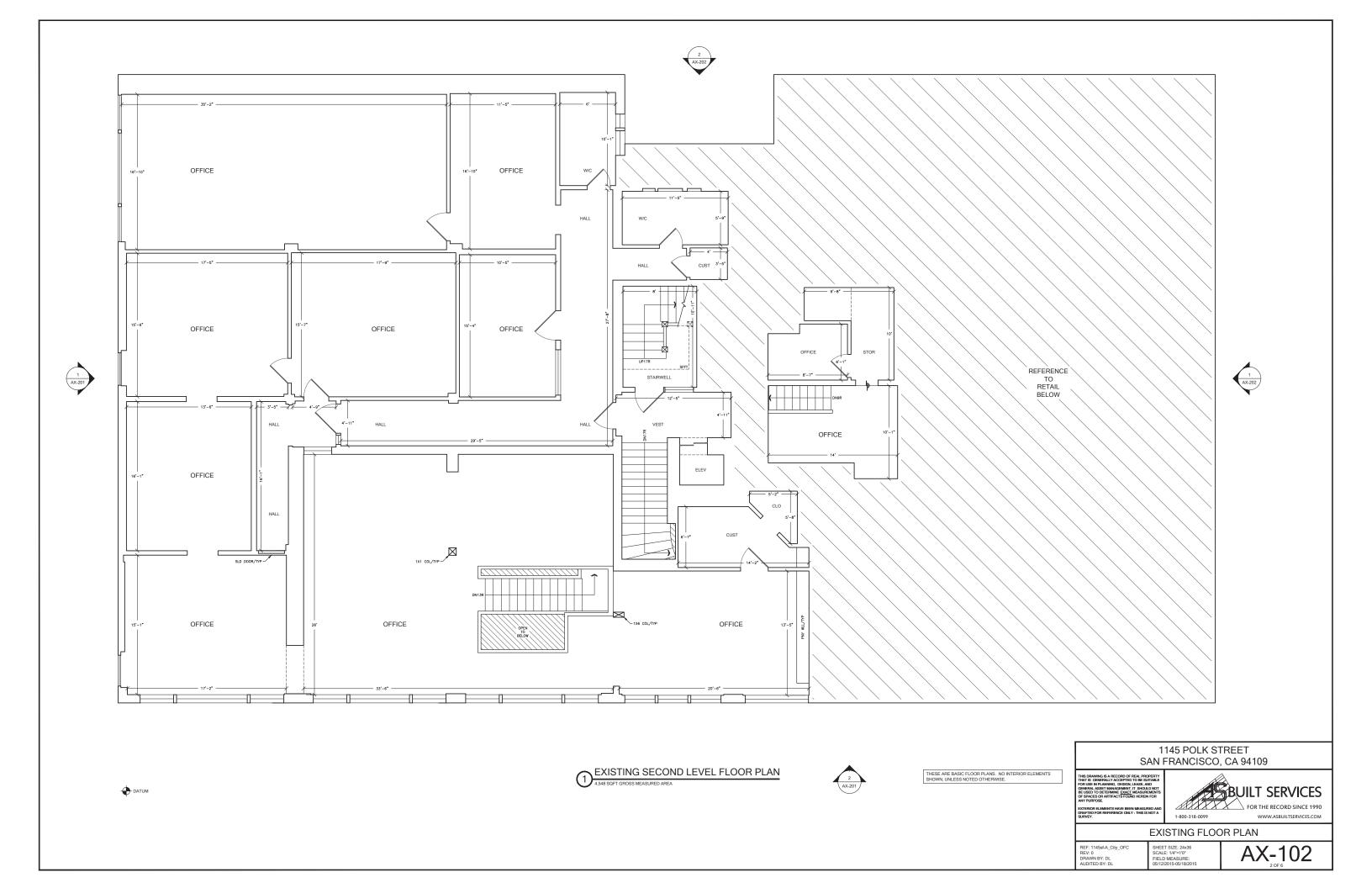
TOPOGRAPHIC AND **BOUNDARY SURVEY**

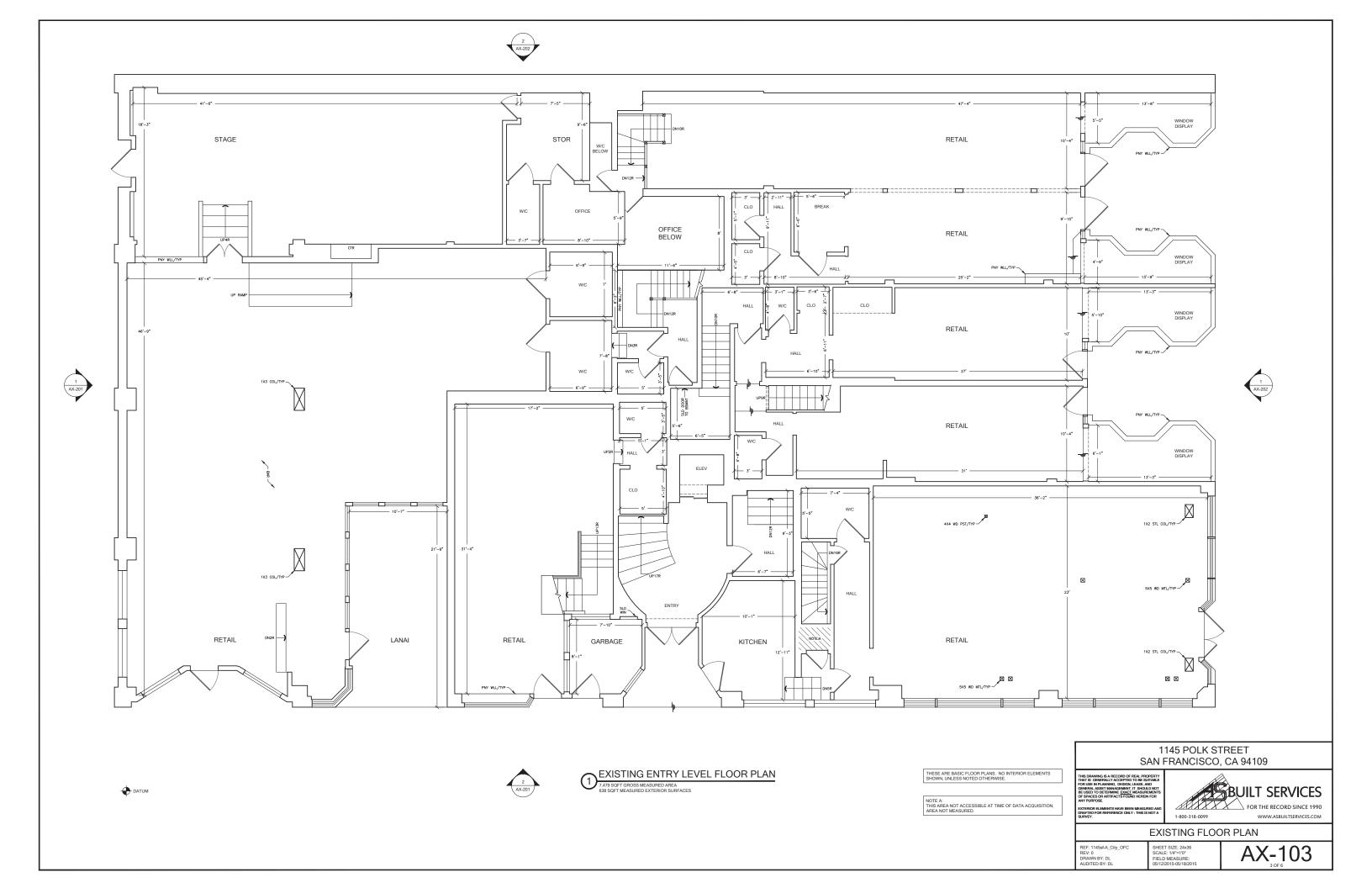
1145 POLK STREET CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA APRIL 2018

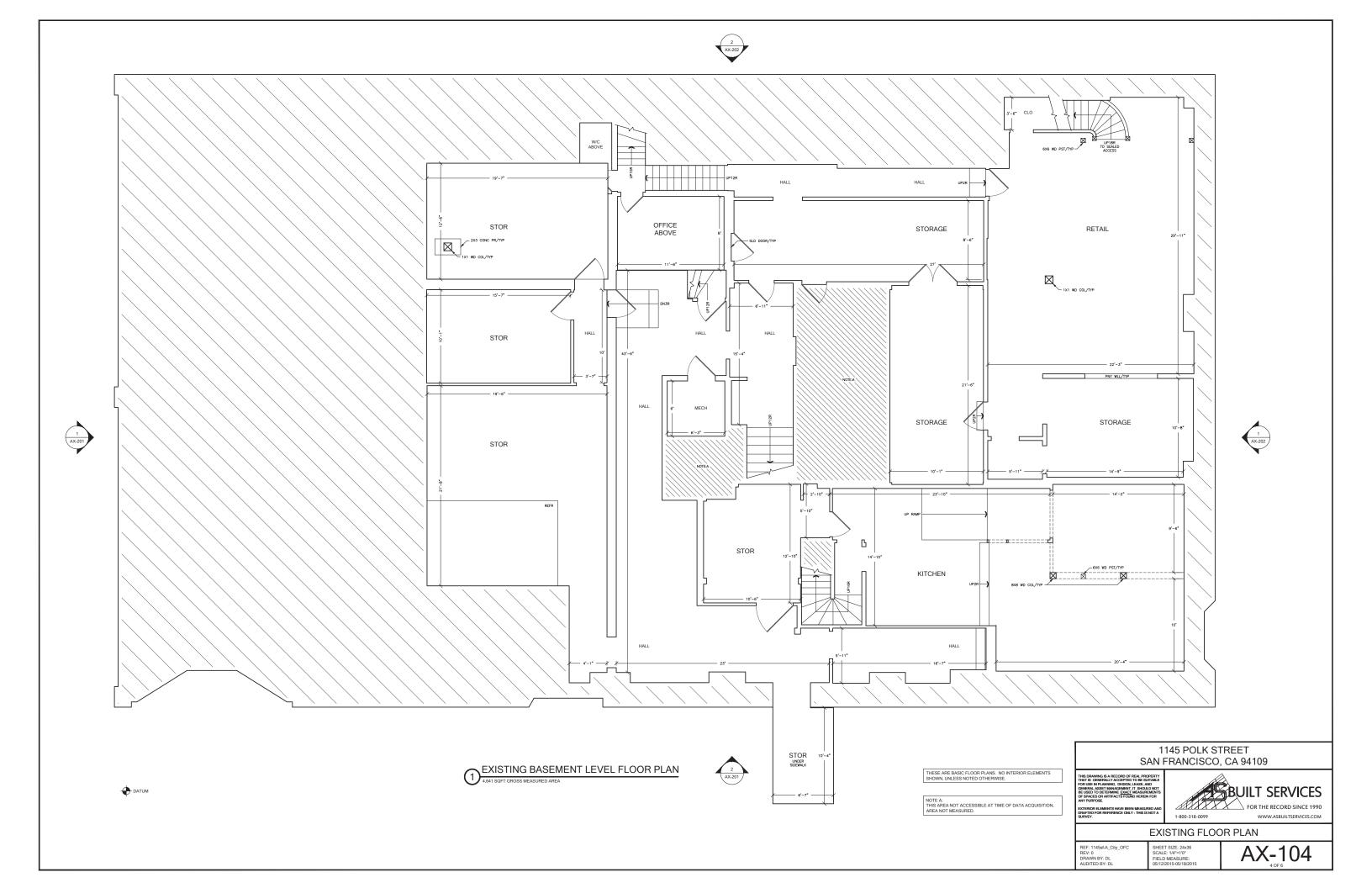
LUK AND ASSOCIATES

CIVIL ENGINEER - LAND PLANNERS - LAND SURVEYORS
738 ALFRED NOBEL DRIVE
HERCULES, CALIFORNIA 94547
(510) 724-3388

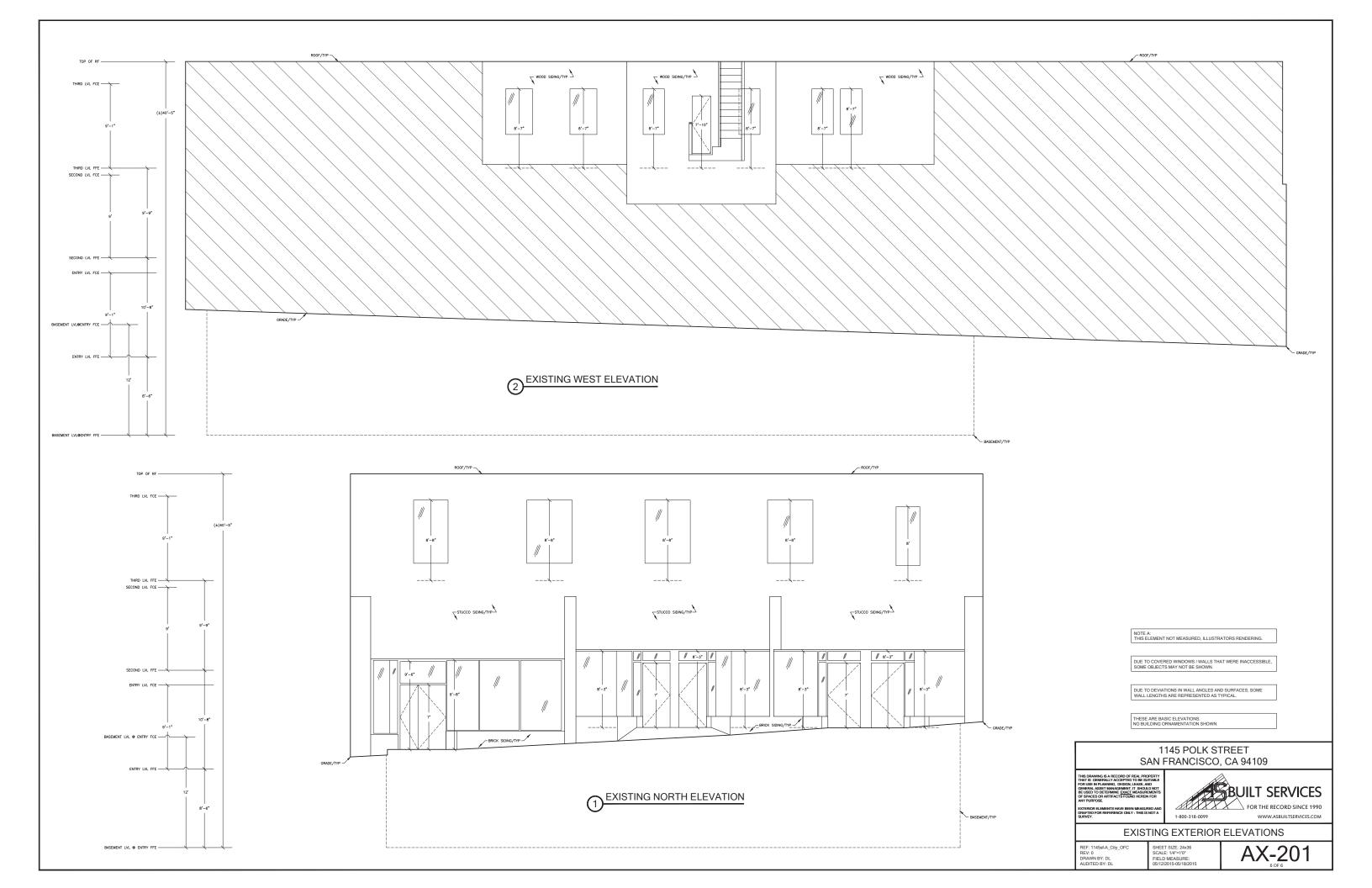


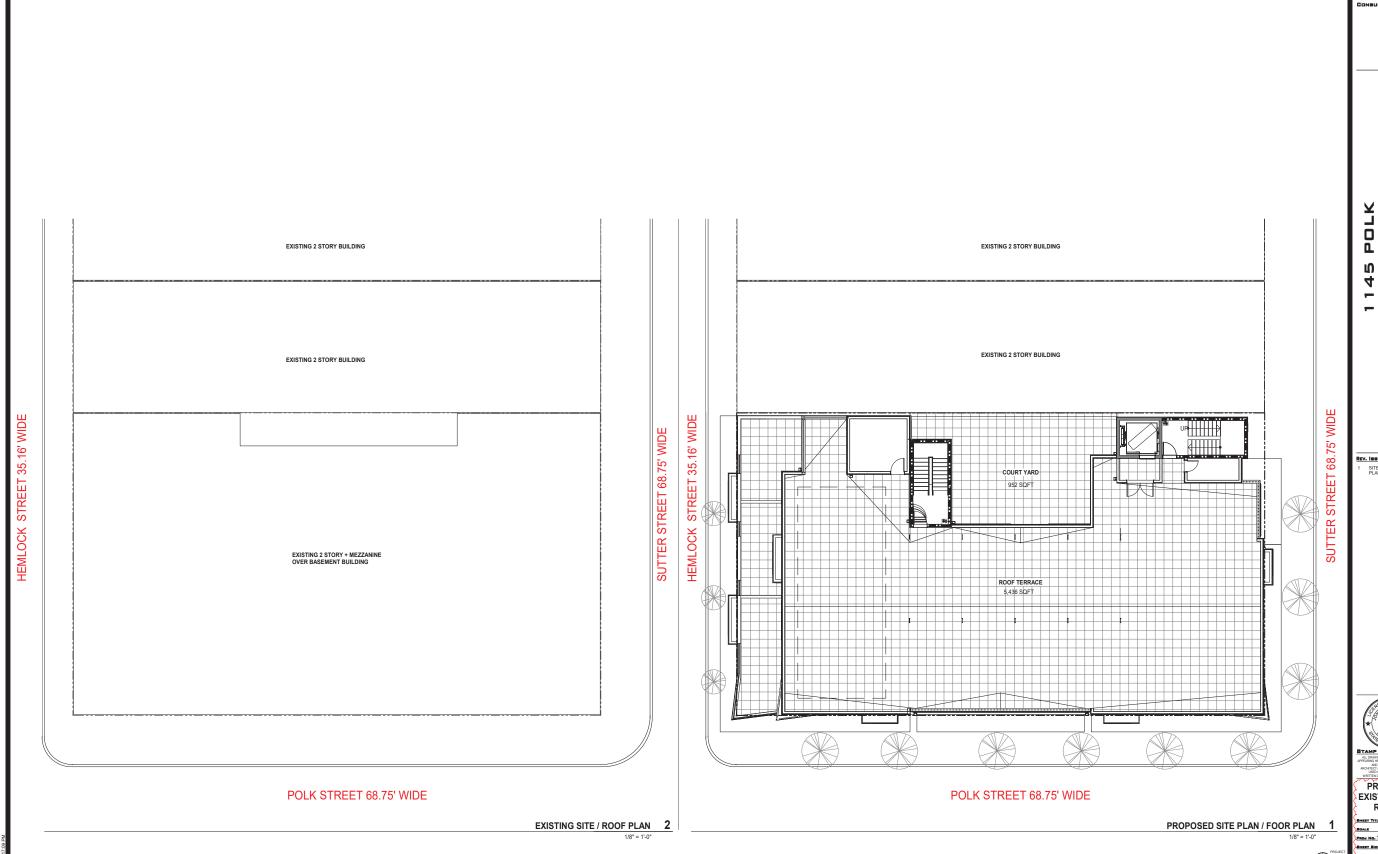












950 HOWARD STREET SAN FRANCISCO CA 94103

CLIENT

CONSULTANT

POLK Ŋ

 REV. ISSUE
 DATE

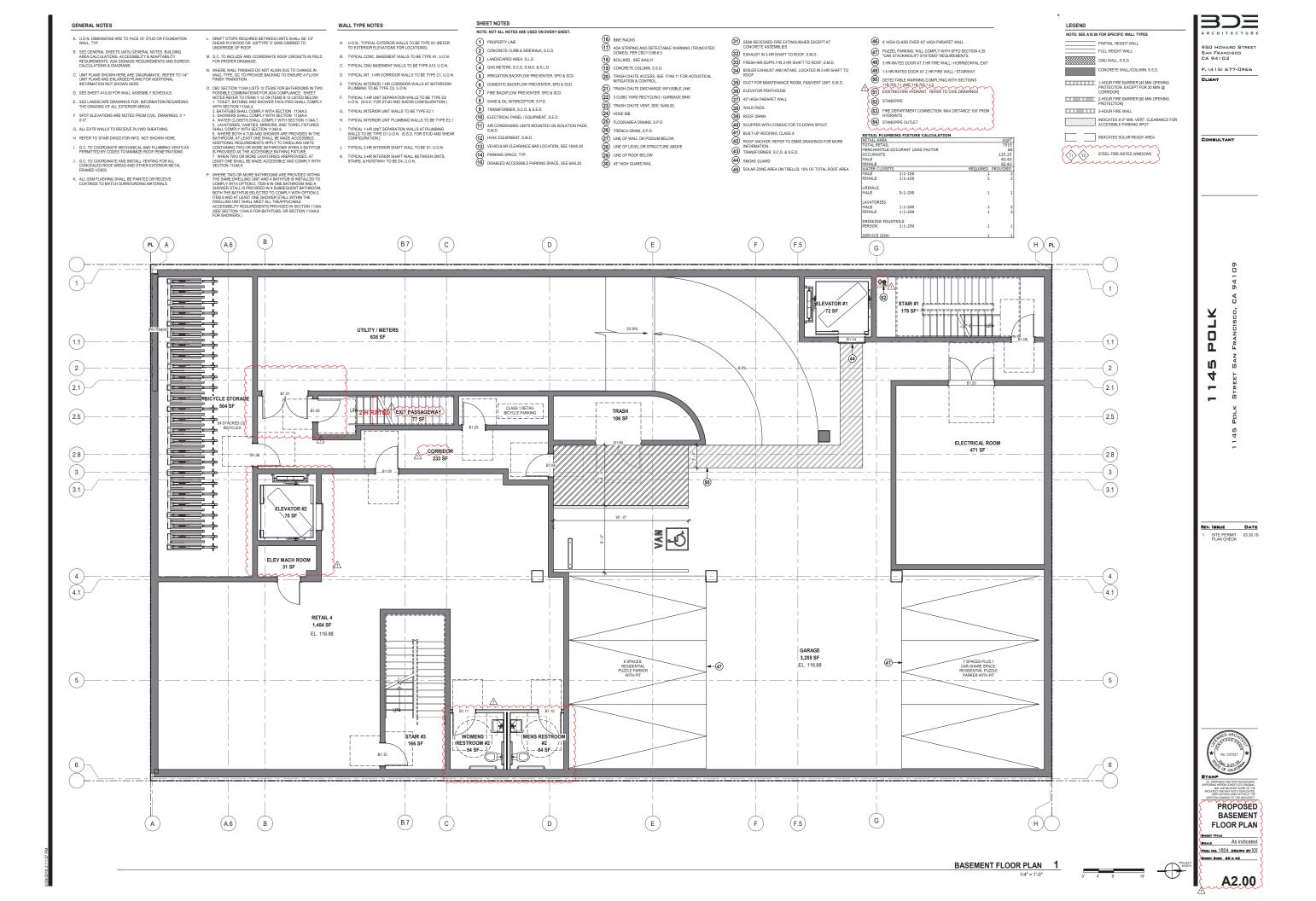
 1
 SITE PERMIT PLAN CHECK
 03.30.18

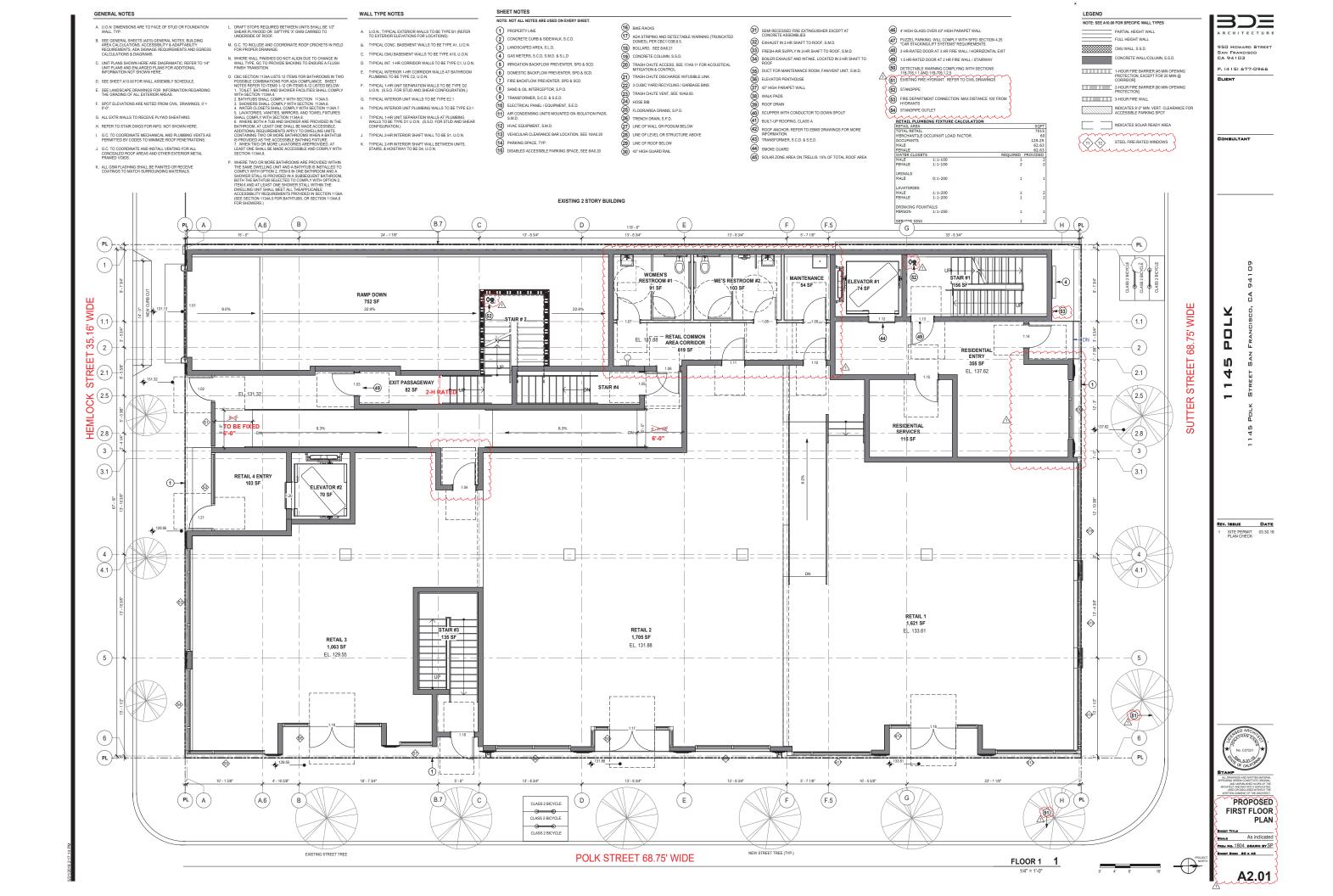
PROPOSED & EXISTING SITE / ROOF PLAN

BOALE 1/8" = 1'-0"

PROJ. NO. 1804 DRAWN BY XX

A1.00





WALL TYPE NOTES U.O.N., TYPICAL EXTERIOR WALLS TO BE TYPE B1 (REFER TO EXTERIOR FI EVATIONS FOR LOCATIONS): B. TYPICAL CONC. BASEMENT WALLS TO BE TYPE A1. U.O.N. C. TYPICAL CMU BASEMENT WALLS TO BE TYPE A10, U.O.N. n TYPICAL INT. 1-HR CORRIDOR WALLS TO BE TYPE C1. U.O.N.

G. TYPICAL INTERIOR UNIT WALLS TO BE TYPE E2.1

H. TYPICAL INTERIOR UNIT PLUMBING WALLS TO BE TYPE E3.1

TYPICAL 2-HR INTERIOR SHAFT WALL BETWEEN UNITS, STAIRS, & HOISTWAY TO BE D4, U.O.N.

TYPICAL 1-HR UNIT SEPARATION WALLS AT PLUMBING WALLS TO BE TYPE D1 U.O.N. (S.S.D. FOR STUD AND SHEAR CONFIGURATION.)

CONCRETE CURB & SIDEWALK, S.C.D. LANDSCAPED AREA, S.L.D. GAS METERS, S.C.D, S.M.D. & S.L.D TYPICAL INTERIOR 1-HR CORRIDOR WALLS AT BATHROOM PLUMBING TO BE TYPE C2, U.O.N. F. TYPICAL 1-HR UNIT SEPARATION WALLS TO BE TYPE D2 U.O.N. (S.S.D. FOR STUD AND SHEAR CONFIGURATION.)

SHEET NOTES

1 PROPERTY LINE

(5) IRRIGATION BACKFLOW PREVENTER, SPD & SCD. DOMESTIC BACKFLOW PREVENTER, SPD & SCD. FIRE BACKFLOW PREVENTER, SPD & SCD SAND & OIL INTERCEPTOR, S.P.D. TRANSFORMER, S.C.D. & S.E.D. ELECTRICAL PANEL / EQUIPMENT, S.E.D.

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

(25) FLOOR/AREA DRAINS, S.P.D. AIR CONDENSING UNITS MOUNTED ON ISOLATION PADS S M D HVAC EQUIPMENT, S.M.D. 13) VEHICULAR CLEARANCE BAR LOCATION, SEE 16/A0.20 PARKING SPACE, TYP. DISABLED ACCESSIBLE PARKING SPACE, SEE 6/A0.20

ADA STRIPING AND DETECTABLE W DOMES), PER CBC1133B.8.5. 18 BOLLARD, SEE 8/A8.21 (9) CONCRETE COLUMN S.S.D. TRASH CHUTE ACCESS, SEE 17/A9.11 FOR ACOUSTICAL MITIGATION & CONTROL. (21) TRASH CHUTE DISCHARGE W/FUSIBLE LINK 22) 3 CUBIC YARD RECYCLING / GARBAGE BINS TRASH CHUTE VENT, SEE 10/A8.00. (24) HOSE BIB

16 BIKE RACKS

TRENCH DRAIN, S.P.D. LINE OF WALL OR PODIUM BELOW 28) LINE OF LEVEL OR STRUCTURE ABOVE LINE OF ROOF BELOW (30) 43" HIGH GUARD RAIL

(44) SMOKE GUARD

5 SOLAR ZONE AREA ON TRELLIS: 15% OF TOTAL ROOF AREA

31) SEMI RECESSED FIRE EXTINGUISHER EXCEPT AT CONCRETE ASSEMBLIES 4' HIGH GLASS OVER 43" HIGH PARAPET WALL PUZZEL PARKING: WILL COMPLY WITH SFFD SECTION 4.25 "CAR STACKING/LIFT SYSTEMS" REQUIREMENTS. 32 EXHAUST IN 2-HR SHAFT TO ROOF, S.M.D. (33) ERESHLAIR SLIPPLY IN 2-HR SHAFT TO ROOF S.M.D. 3 HR-RATED DOOR AT 3 HR FIRE WALL / HORRIZONTAL EXIT 34) BOILER EXHAUST AND INTAKE, LOCATED IN 2-HR SHAFT TO ROOF 49) 1.5 HR-RATED DOOR AT 2 HR FIRE WALL / STAIRWAY DETECTABLE WARNING COMPLYING WITH SECTIONS
 119-705,1.1 AND 119-705,1.2.5
 EXISTING FIRE HYDRANT. REFER TO CIVIL DRAWINGS (35) DUCT FOR MAINTENANCE ROOM, FANIVENT UNIT, S.M.D. 36) ELEVATOR PENTHOUSE 37 43" HIGH PARAPET WALL (52) STANDPIPE WALK PADS (39) ROOF DRAIN 54 STANDPIPE OUTLET (40) SCUPPER WITH CONDUCTOR TO DOWN SPOUT 80 BUILT-UP ROOFING, CLASS A TRANSFORMER, S.C.D. & S.E.D.

LEGEND NOTE: SEE A10.00 FOR SPECIFIC WALL TYPES PARTIAL HEIGHT WALL CMU WALL, S.S.D. CONCRETE WALL/COLUMN, S.S.D. 1-HOUR FIRE BARRIER [45 MIN OPENING PROTECTION, EXCEPT FOR 20 MIN @ CORRIDOR] 2-HOUR FIRE BARRIER (90 MIN OPENIN PROTECTION) 3-HOUR FIRE WALL INDICATES 8'-2" MIN. VERT. CLEARANCE FOR ACCESSIBLE PARKING SPOT INDICATES SOLAR READY AREA

303 SAN FRANCISCO CA 94103 P. (415) 677-0966 LIENT

ONBULTANT

L

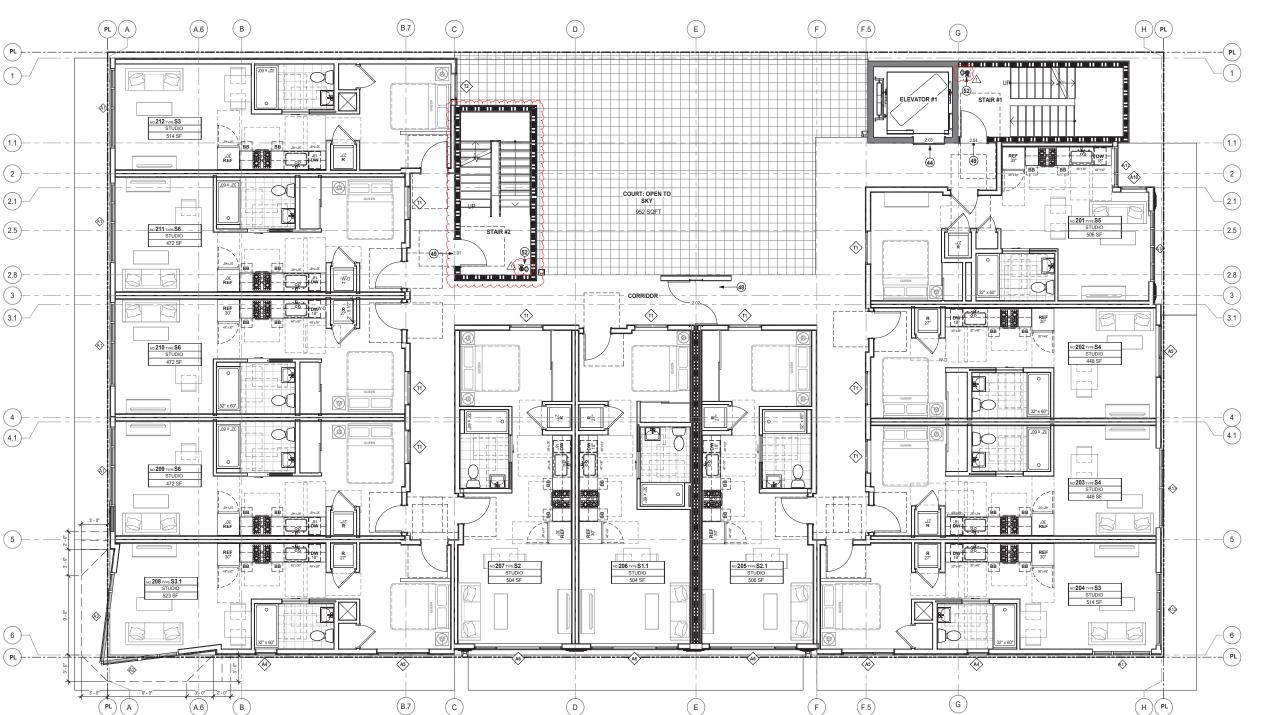
ì

Ŋ

4

REV. ISSUE DATE SITE PERMIT 03.30.18 PLAN CHECK

T1 T2 STEEL FIRE-RATED WINDOWS



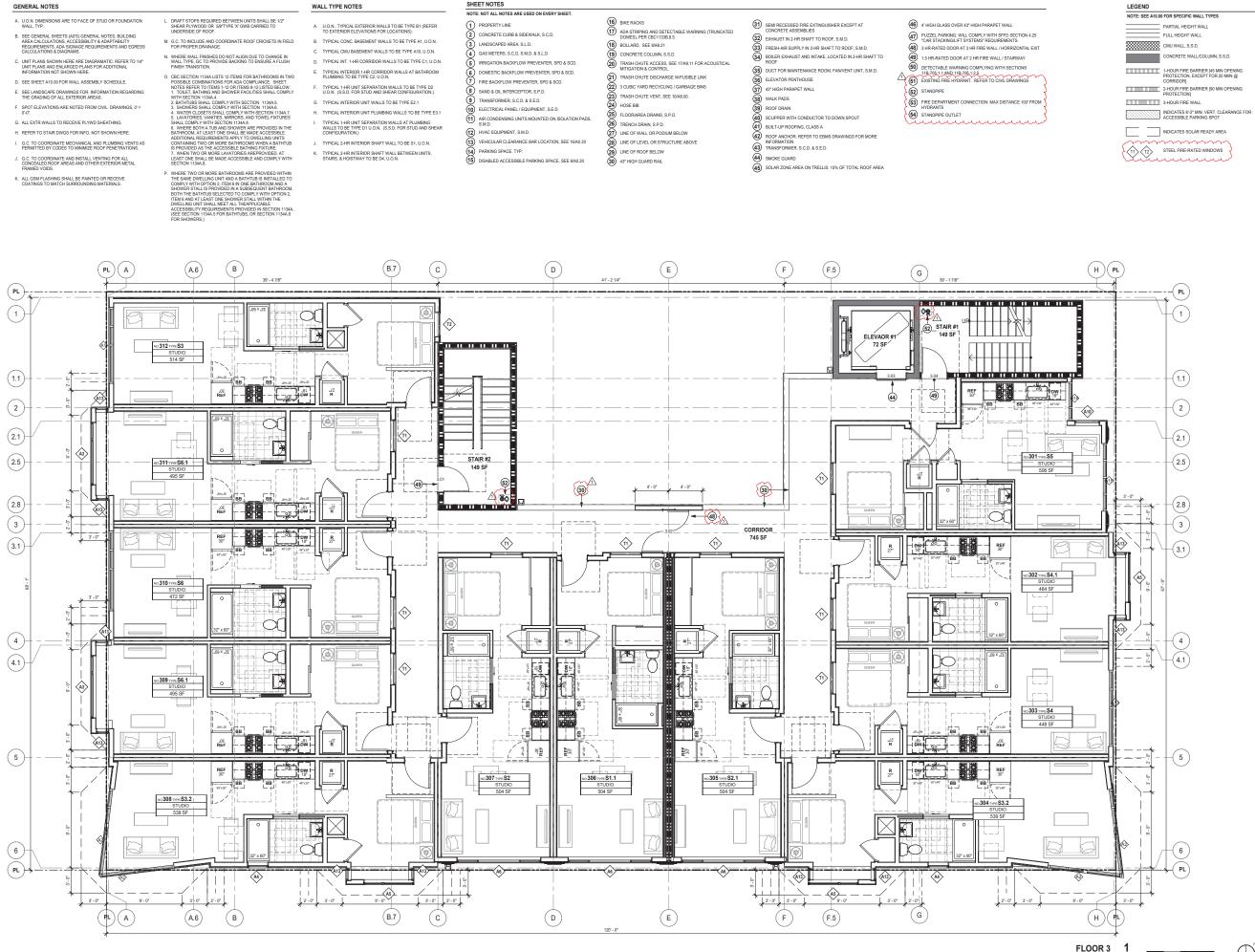
PROPOSED SECOND FLOOR PLAN





A2.02

FLOOR 2 1 1/4" = 1'-0"



SHEET NOTES

303 SAN FRANCISCO CA 94103 P. (415) 677-0966 LIENT

ONBULTANT

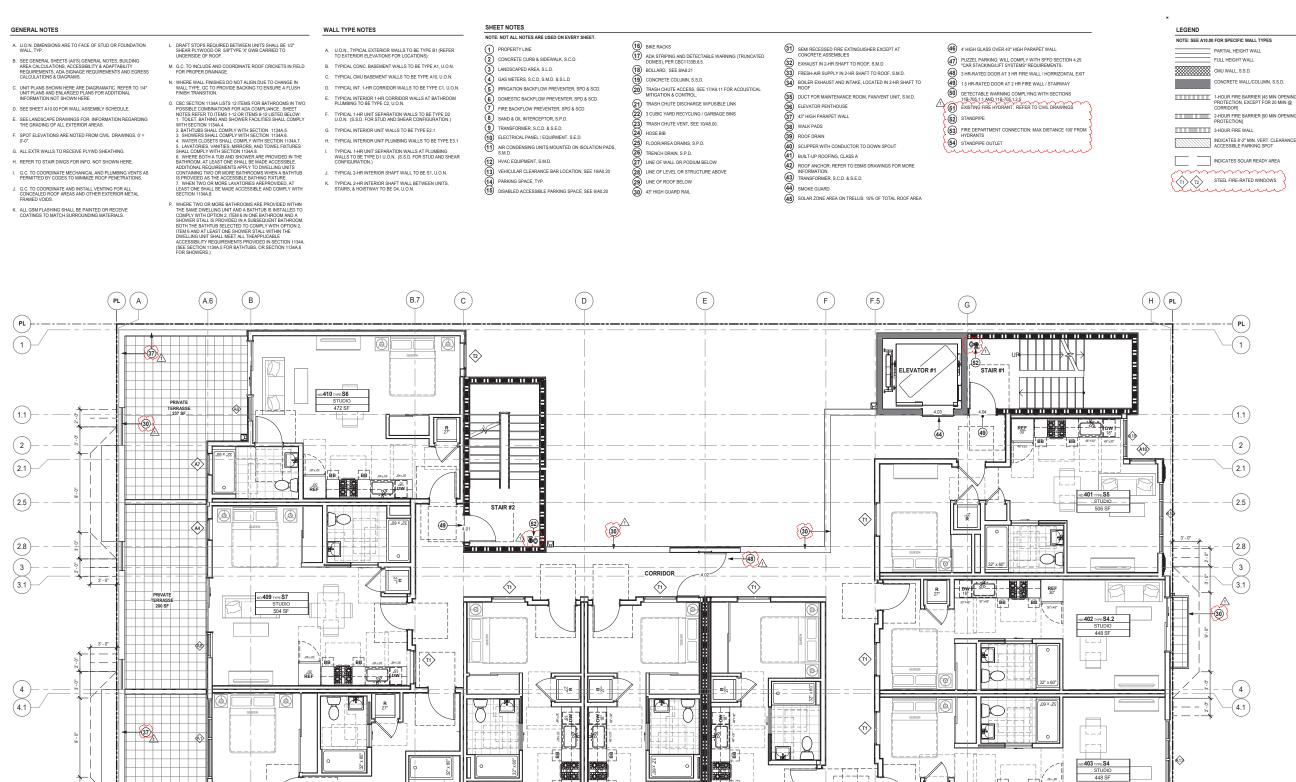
L Ī Ŋ 4

REV. ISSUE DATE SITE PERMIT 03.30.18 PLAN CHECK

PROPOSED THRID FLOOR PLAN

BOALE As indicated
PROJ NO. 1804 DRAWN BY SP HEET BIXE: 30 x 48

A2.03



30°

(D)

NO:407 TYPE:S1

0

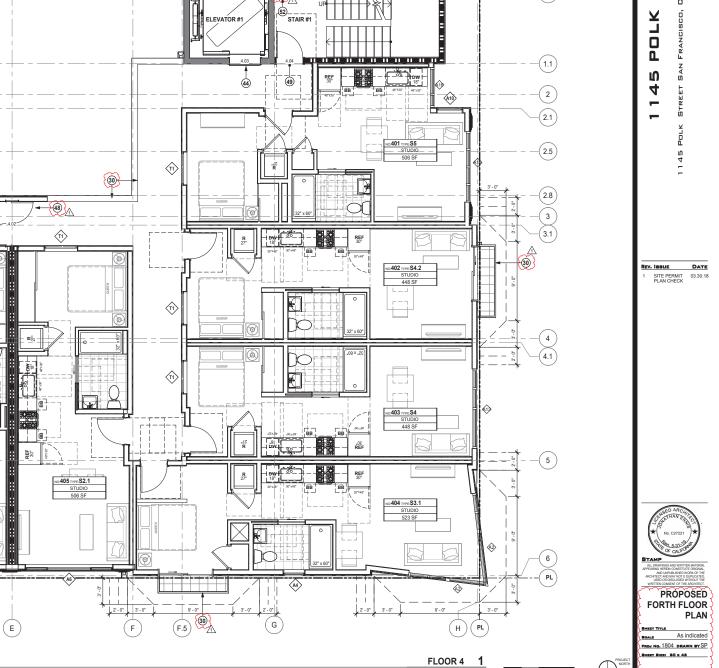
(c)

(B.7)

R_E

30"E

NO:406 TYPE \$1.1





A2.04

303

SAN FRANCISCO CA 94103

ONBULTANT

LIENT

P. (415) 677-0966

PARTIAL HEIGHT WALL

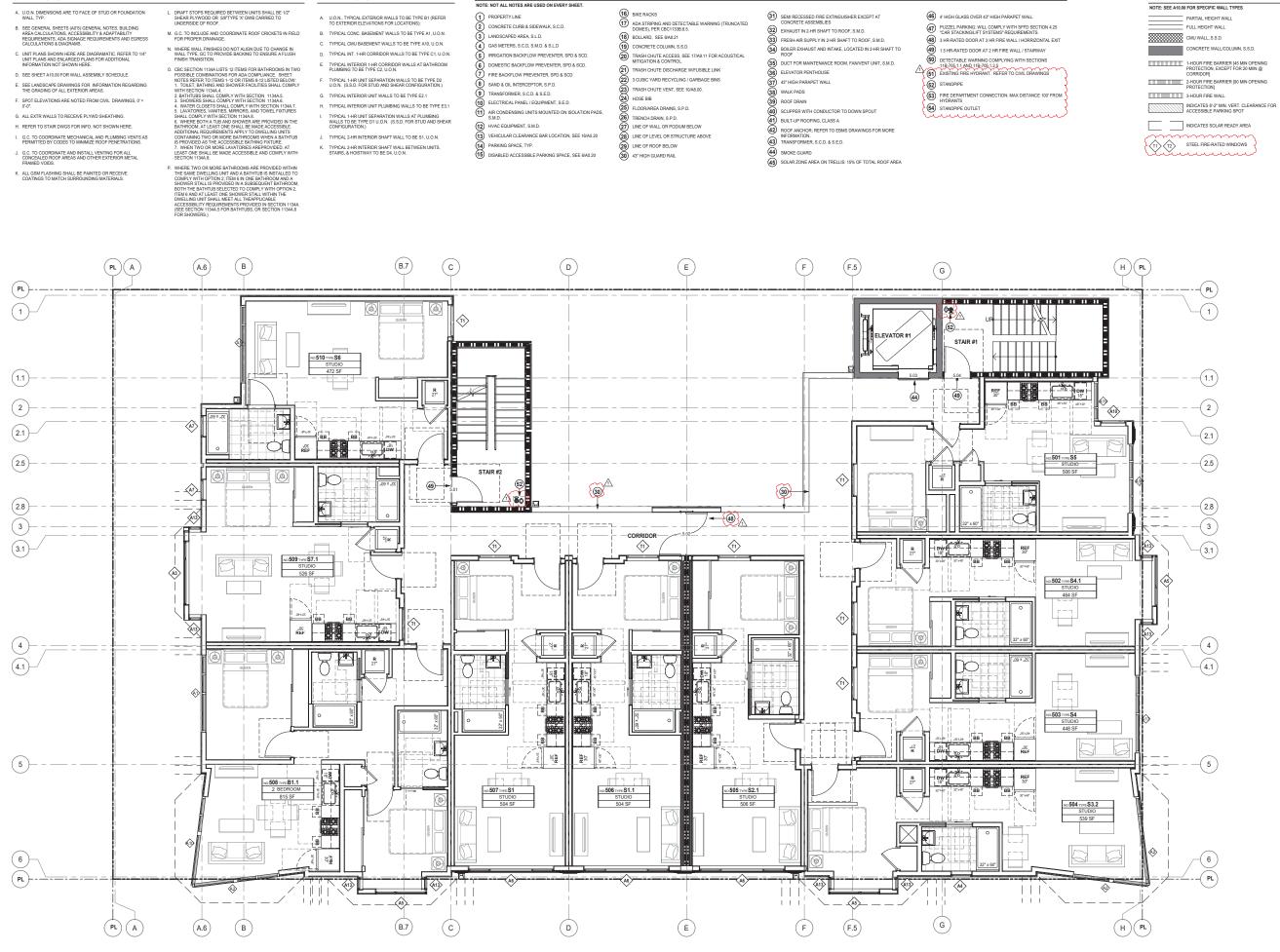
(5)

(PL)

(PL)(A)

(A.6)

(B)



SHEET NOTES

WALL TYPE NOTES

GENERAL NOTES

A R C H I T E C T U R E

950 HOWARD STREET
SAN FRANCISCO
CA 94103
P. (415) 677-0966

CLIENT

CONSULTANT

LEGEND

5 POLK

4

 REV. ISSUE
 DATE

 1
 SITE PERMIT PLAN CHECK
 03.30.18

No. C27221

TAMP

AL DENINGS AND WRITTS MATERIA.

AND LAPARLISED WORK OF THE MORPHON CHEEK ORDITION CHORNIC.

AND LAPARLISED WORK OF THE WRITTS COMES WITHOUT THE WRITTS COMES OF THE AROUTED PROPOSED.

FIFTH FLOOR.

PRIM PLOOR
PLAN

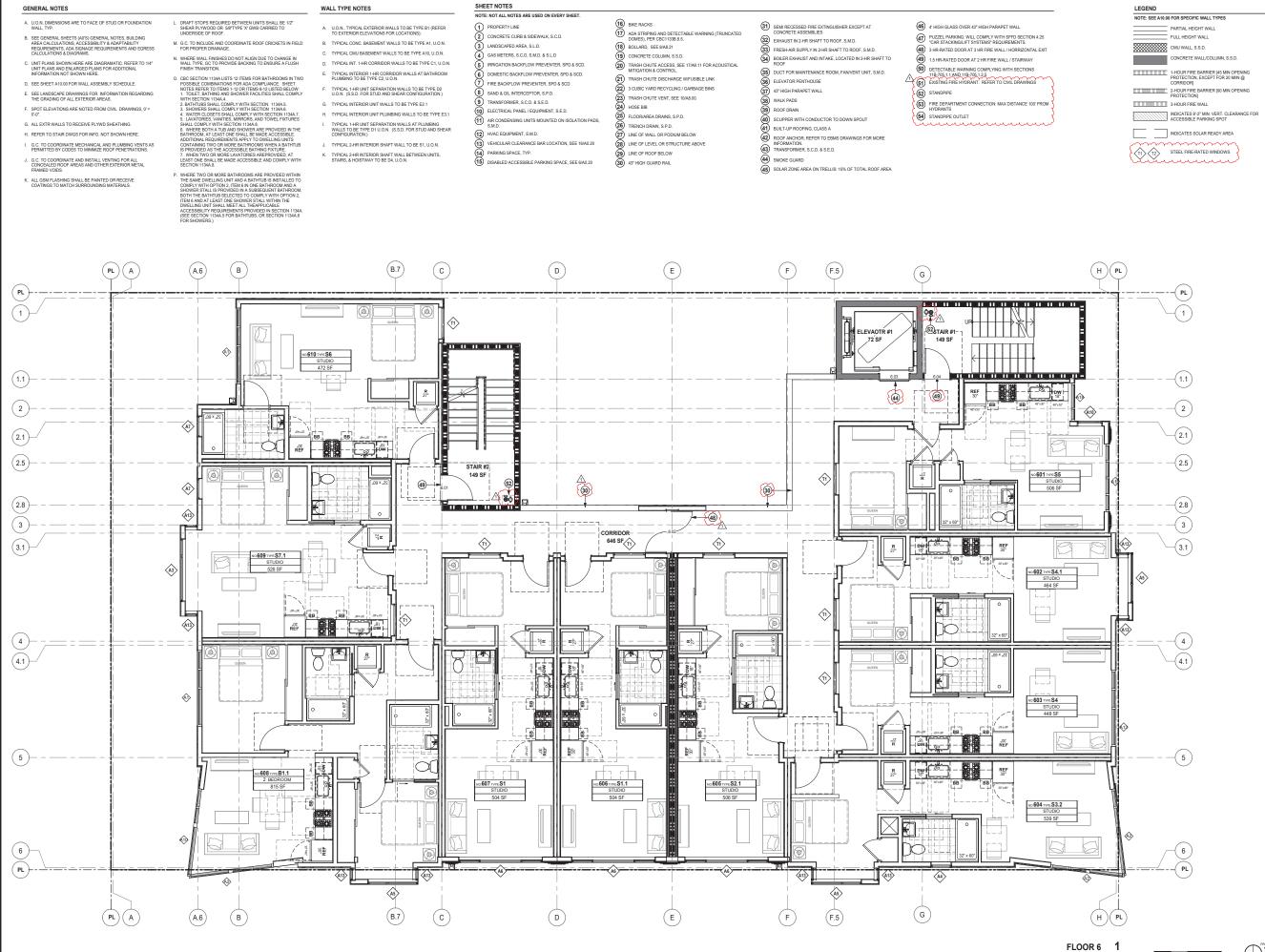
BHEET TITLE

BOALE
AS INDICATED

PRIM NO. 1804 DRAWN BY SP

MEET BIXES 30 x 48

A2.05



DWALL TYPES

ARCHITECTURE

ARCHITECTURE

950 HOWARD STREET

SAN FRANCISCO

CA 94103

P. (415) 677-0966

GLIENT

BARRIER [45 MIN OPENING

10 WALL

27 MIN VERT. CLEARANCE FOR

PRARKING SPOT

DLAR READY AREA

CONBULTANT

1145 POLK

 REV. ISBUE
 DATE

 1
 SITE PERMIT PLAN CHECK
 03.30.18

No. C27221

TAMP

AL DAWNIOS AND WRITTEN MATERIA
PERMIN HERRIC CONSTITUTE ONGONA
PERMIN HERRIC CONSTITUTE ONGONA
PROPRIETA AND MAY NOT E CURLICATED,
USED ON BISCLESSE WITHOUT THE
WRITTEN COMESTO OF THE ARCHITECT

PROPOSED

SIXTH FLOOR
PLAN

BMEET TITLE

BOALE

As indicated

BOALE As indicated
PROJ NO. 1804 DRAWN BY SP
BHEET BIXES 30 x 48

A2.06

