



EXECUTIVE SUMMARY COMMISSION REVIEW CASE

HEARING DATE: DECEMBER 9, 2021

Record No.: 2021-010715CRV
Project Address: 1201 SUTTER STREET
Zoning: Polk Street Neighborhood Commercial District
65-A Height and Bulk District
Block/Lot: 0691 / 001
Project Sponsor: Peter Ziblatt
Pelosi Ziblatt Law Group
244 Kearny Street, Ninth Floor
San Francisco, CA 94108
Property Owner: 1201 Sutter, LLC
964 Natoma Street
San Francisco, CA 94103
Staff Contact: Nicholas Foster, AICP, LEED GA – (628) 652-7330
nicholas.foster@sfgov.org

Recommendation: Adoption of Findings related to a change in the elected inclusionary Affordable Housing Program Alternative

Background

The previously approved Project involved the demolition of an existing two-story plus mezzanine commercial building and the construction of a 6-story, mixed-use building with 54 dwelling units above approximately 7,500 square feet of ground-floor and basement-level commercial retail space (4 total retail spaces). The Project includes 23 off-street accessory parking spaces, 1 car share space, and 55 Class 1 bicycle parking spaces and 6 Class 2 bicycle parking spaces. The Project was issued a Rear Yard Modification Decision on December 11, 2017. The Department approved the Site Permit (No. 201511203273) on January 5, 2018. On August 29, 2018, the Department of Building Inspection (DBI) issued the building permit. The new building is constructed and is now awaiting issuance of the Certificate of Final Completion and Occupancy

Current Project Description

The current proposal would modify the Project's means of compliance with the Inclusionary Affordable Housing Program from the on-site affordable housing alternative to payment of the affordable housing fee. The proposal would also convert eight (8) studio units into one-bedroom units. As approved, the Project included eight (8) on-site affordable dwelling units, representing a 14.5% on-site inclusionary housing rate. The proposed change would result in a fee at a rate of 30%.

Required Commission Action

In order for the Project to proceed, the Planning Commission must adopt findings related to the requested change in elected Inclusionary Affordable Housing Program Alternative, from the on-site affordable housing alternative to payment of the affordable housing fee, pursuant to Planning Code Section 415.5(g)(2). Pursuant to Planning Code Section 415.5(g)(3), the Planning Commission shall be limited to considering issues related to Section 415 in considering the request for modification.

Issues and Other Considerations

- **Public Comment & Outreach.** To date, the Department has not received any correspondence related to the proposed modification to the Project's means of compliance with the Inclusionary Affordable Housing Program.

Environmental Review

The Project was issued a Class 32 Categorical Exemption on October 5, 2017. The Approval Action for the Project for the purposes of CEQA occurred on January 5, 2018 by the Department's approval of the Site Permit (No. 201511203273). Amending an approved project's means of compliance with the Inclusionary Affordable Housing Program is not considered a "Project" under the California Environmental Quality Act ("CEQA").

Basis for Recommendation

The Department finds that the proposed change to the Project's means of compliance with the Inclusionary Affordable Housing Program, from the on-site affordable housing alternative to payment of the affordable housing fee, does not affect the Project's consistency with the Objectives and Policies of the General Plan. Pursuant to Planning Code Section 415, both the on-site affordable housing alternative and the payment of the affordable housing fee are considered equally Code-compliant. The Department currently estimates the affordable housing fee for this Project to be \$3,529,539, at an applicable rate of 30 percent for an ownership project. The sponsor would also be required to pay interest on the fee.

Attachments:

- Draft Resolution – Commission Review Case
- Exhibit A – Conditions of Approval
- Exhibit B – Inclusionary Affordable Housing Affidavit
- Exhibit C – Rear Yard Medication Decision (*for reference only*)
- Exhibit D – Approved Plans & Renderings (*for reference only*)



PLANNING COMMISSION DRAFT RESOLUTION

HEARING DATE: DECEMBER 9, 2021

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RESOLUTION ADOPTING FINDINGS RELATED TO THE REQUESTED CHANGE IN THE ELECTED INCLUSIONARY AFFORDABLE HOUSING PROGRAM ALTERNATIVE FOR A PREVIOUSLY APPROVED PROJECT, FROM THE ON-SITE AFFORDABLE HOUSING ALTERNATIVE TO PAYMENT OF THE AFFORDABLE HOUSING FEE, PURSUANT TO PLANNING CODE SECTION 415.5(g)(2).

WHEREAS, on September 30, 2021, Peter Ziblatt (hereinafter “Project Sponsor”) filed a Project Application (hereinafter “Application”) with the Planning Department (hereinafter “Department”) to change an approved Project’s (hereinafter “Project”) means of compliance with the Inclusionary Affordable Housing Program, pursuant to Planning Code Section 415.5(g)(2), from the on-site affordable housing alternative to payment of the affordable housing fee at 1201 Sutter Street, Block 0691 and Lot 001 at the Project Site (hereinafter “Site”). The application packet was deemed accepted on October 19, 2021 and assigned Case Number 2021-010715CRV.

WHEREAS, the Project was issued a Class 32 Categorical Exemption on October 5, 2017. The Approval Action for the Project for the purposes of CEQA occurred on January 5, 2018 with the Department’s approval of the Site Permit (No. 201511203273). Amending an approved project’s means of compliance with the Inclusionary Affordable Housing Program is not considered a “Project” under the California Environmental Quality Act (“CEQA”).

WHEREAS, on December 9, 2021, the San Francisco Planning Commission (hereinafter “Commission”) conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2021-010715CRV.

WHEREAS, the Planning Department Commission Secretary is the custodian of records; the File for Record No. 2021-010715CRV is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

WHEREAS, the Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby finds that the requested change in the elected inclusionary affordable housing program alternative, as requested in Application No. 2021-010715CRV, meets the requirements under Planning Code Section 415.5(g)(2), subject to the conditions contained in “EXHIBIT A” of this resolution, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Project Description.** The current proposal would modify the Project’s means of compliance with the Inclusionary Affordable Housing Program from the on-site affordable housing alternative to payment of the affordable housing fee. The proposal would also covert eight (8) studio units into one-bedroom units. As approved, the Project included eight (8) on-site affordable dwelling units, representing a 14.5% on-site inclusionary housing rate. The proposed change would result in a fee at a rate of 30%. The previously approved Project involved the demolition of an existing two-story plus mezzanine commercial building and the construction of a 6-story, mixed-use building with 54 dwelling units above approximately 7,500 square feet of ground-floor and basement-level commercial retail space (4 total retail spaces). The Project includes 23 off-street accessory parking spaces, 1 car share space, and 55 Class 1 bicycle parking spaces and 6 Class 2 bicycle parking spaces. The Project was issued a Rear Yard Modification Decision on December 11, 2017. The Department approved the Site Permit (No. 201511203273) on January 5, 2018. On August 29, 2018, the Department of Building Inspection (DBI) issued the building permit. The new building is constructed and is now awaiting issuance of the Certificate of Final Completion and Occupancy.
3. **Site Description and Present Use.** The Project Site (“Site”) is located on Lot 001 of Assessor’s Block 0691, fronting the south side of Sutter Street, between Polk Street and Van Ness Avenue. The Site is a corner lot, with frontage along Sutter Street to the north, Polk Street to the east, and Hemlock Street to the south. The Site was occupied by an existing two-story plus mezzanine commercial building that measured 32 feet tall. The existing building was constructed in 1906 and contained office uses above ground-floor retail sales and service uses. The Site previously did not contain any off-street parking. The existing building was located within the identified-eligible Polk Gulch Historic District (“District”). Buildings within this District

are noted for their representation of the evolution of architectural styles and typologies in an area along Polk Street that was rebuilt following the 1906 Earthquake. Although the existing building included two, intact architecturally-outstanding storefronts and original transom windows, the building as a whole lacked integrity, and no longer retained association with the identified-eligible District, and was considered a non-contributor to the District. The existing building at 1201 Sutter was deemed not eligible for listing on the California Register as an individual resource or as a contributor to a District and thus was not considered a historical resource under CEQA. The Department determined that the Project's architectural design was compatible with the District. The newly-constructed building is developed as a 6-story mixed-use building with 54 dwelling units above approximately 7,500 square feet of ground-floor and basement-level commercial retail space (4 total retail spaces). The Project includes 23 off-street accessory parking spaces, 1 car share space, and 55 Class 1 bicycle parking spaces and 6 Class 2 bicycle parking spaces.

4. **Surrounding Properties and Neighborhood.** The Site is located within the southern area of the Polk Gulch neighborhood and the northwestern area of the Downtown/Civic Center neighborhood. The buildings in the immediate vicinity range in height, from one-story plus mezzanine along Sutter Street, two-to-three stories along Polk Street, and two-to-four stories along Hemlock Street. Along the western end of the subject block are a cluster of 10-story-plus buildings, all fronting Van Ness Avenue. Land uses in the surrounding area include a diverse mixture of residential and commercial uses, with a strong presence of ground-floor retail sales and service uses that includes grocery stores, specialty retailers, bars and restaurants.
5. **Public Outreach and Comments.** To date, the Department has not received any correspondence related to the proposed modification to the Project's means of compliance with the Inclusionary Affordable Housing Program.
6. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Inclusionary Affordable Housing Program (Section 415).** Planning Code Section 415 sets forth the requirements and procedures for the Inclusionary Affordable Housing Program. Under Planning Code Section 415.3, the current percentage requirements apply to projects that consist of ten or more units. Pursuant to Planning Code Section 415.5, the Project must pay the Affordable Housing Fee ("Fee"). This Fee is made payable to the Department of Building Inspection ("DBI") for use by the Mayor's Office of Housing and Community Development for the purpose of increasing affordable housing citywide. The applicable percentage is dependent on the number of units in the project, the zoning of the property, if the project is a rental or ownership project, and the date that the project submitted a complete Project Application.

The Project Sponsor is seeking to modify their elected Inclusionary Affordable Housing Alternative by paying the Affordable Housing Fee instead of providing affordable units on-site. The Project Sponsor has submitted an 'Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415,' to satisfy the requirements of the Inclusionary Affordable Housing Program through payment of the Fee, in an amount to be established by the Mayor's Office of Housing and Community Development. A complete Project Application was submitted on August 31, 2015; therefore, pursuant to

Planning Code Section 415.3 the Inclusionary Affordable Housing Program requirement for the Affordable Housing Fee is at a rate equivalent to an off-site requirement of 30%. This project is an ownership project.

7. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

GENERAL PLAN: HOUSING ELEMENT
Objectives and Policies

OBJECTIVE 1

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.1

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

Policy 1.8

Promote mixed use development, and include housing, particularly permanently affordable housing, in new commercial, institutional or other single use development Projects.

Policy 1.10

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

Although the Project no longer proposes to provide eight (8) affordable dwelling units on-site, the Project is still consistent with the Objectives and Policies of the City's General Plan through financial contribution to the City's Affordable Housing Fund at a rate of 30 percent, or a total estimated fee payment of \$3,529,539, which does not include the required interest payment. These funds can be used by the City to help create permanently affordable housing.

8. **Planning Code Section 101 Findings.** Planning Code Section 101.1(b) establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The approved Project includes replacement gross floor area devoted to neighborhood-serving retail sales and service uses on the ground floor, preserving opportunities for employment for nearby residents.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The Project would not impact existing housing and neighborhood character. No existing housing is proposed for removal by the construction of the Project. Neighborhood character will be preserved by the Project's thoughtful, contextual response to the surrounding neighborhood and to the existing structure it will be built upon.

- C. That the City's supply of affordable housing be preserved and enhanced.

The Project would not displace any housing given the Site contains only non-residential uses. The Project would add 54 dwelling units. The Project, as modified, would contribute to the City's Affordable Housing Fund through payment of the affordable housing fee at a rate of 30 percent.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

Generally, the Project is well-served by transit and would promote rather than impede the use of MUNI transit service. Future residents and employees of the Project could access both the existing MUNI rail and bus services as well as the BART system through Civic Center Station, two-thirds of a mile away (approximately a 20-minute walk). The Project also provides a sufficient amount off-street accessory parking (with a parking rate of 0.43 spaces/unit) for future residents so that neighborhood parking will not be overburdened by the addition of new residents and building users.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project will not displace any service or industry establishment. Service sector employment and/or ownership will be enhanced through the Project's provision of four, newly-constructed, ground-floor commercial retail tenant spaces totaling approximately 7,500 square feet.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project has been designed and constructed to conform to the structural and seismic safety requirements of the Building Code. The Project will not impact the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

The Site does not contain any landmark buildings. The existing building on the Site was deemed not eligible for listing on the California Register as an individual resource or as a contributor within the Polk Gulch Historic District ("District") and thus was not considered a historical resource under CEQA. The Project's overall form and continuity, scale and proportion, fenestration, and materials is compatible with the character-defining features of the District. Therefore, the Project will not cause a significant impact to a California Register-eligible historic district or context as proposed.

- H. That our parks and open space and their access to sunlight and vistas be protected from

development.

The Project will have no negative impact on existing parks and open spaces. The Project does not have an impact on open spaces.

NOW THEREFORE BE IT RESOLVED that the Commission hereby finds that the requested change in the elected inclusionary affordable housing program alternative, as requested in Application No. 2021-010715CRV, meets the requirements under Planning Code Section 415.5(g)(2), as described in this Resolution.

I hereby certify that the foregoing Resolution was adopted by the Commission at its meeting on December 9, 2021.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

RECUSE:

ADOPTED: December 9, 2021

EXHIBIT A

Authorization

This authorization is for an change to the Project's means of compliance with the Inclusionary Affordable Housing Program from the on-site affordable housing alternative to payment of the affordable housing fee, pursuant to Planning Code Sections 415.5(g)(2), for the Project located at 1201 Sutter Street, Lot 0691/001, within the Polk Street Neighborhood Commercial District Zoning District and 65-A Height and Bulk District; in general conformance with approved plans, dated August 13, 2015, and stamped "EXHIBIT B" included in the docket for Record No. 2014-001674PRJ and subject to conditions of approval reviewed and approved by the Commission on **December 9, 2021** under Resolution No XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

Recordation of Conditions of Approval

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **December 9, 2021** under Resolution No XXXXXX.

Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' of this Planning Commission Resolution No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Planning Commission Resolution and any subsequent amendments or modifications.

Severability

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a Planning Commission Resolution.

CONDITIONS OF APPROVAL, COMPLIANCE, MONITORING, AND REPORTING

Provisions

1. Inclusionary Affordable Housing Program. The following Inclusionary Affordable Housing Requirements are those in effect at the time of Planning Commission action. In the event that the requirements change, the Project shall comply with the requirements in place at the time of issuance of first construction document.

A. Requirement. Pursuant to Planning Code Section 415.5, the Project Sponsor must pay an Affordable Housing Fee at a rate equivalent to the applicable percentage of the number of units in an off-site project needed to satisfy the Inclusionary Affordable Housing Program Requirement for the principal project. The applicable percentage for this project is thirty percent (30%) because it is a ownership project. The Project Sponsor shall pay the applicable Affordable Housing Fee at the prior to the issuance of the first construction document.

For information about compliance, contact the Case Planner, Planning Department at (628) 652-7330, www.sfplanning.org or the Mayor's Office of Housing and Community Development at (415) 701-5500, www.sfmohcd.org.

B. Other Conditions. The Project is subject to the requirements of the Inclusionary Affordable Housing Program under Section 415 et seq. of the Planning Code and the terms of the City and County of San Francisco Inclusionary Affordable Housing Program Monitoring and Procedures Manual ("Procedures Manual"). The Procedures Manual, as amended from time to time, is incorporated herein by reference, as published and adopted by the Planning Commission, and as required by Planning Code Section 415. Terms used in these conditions of approval and not otherwise defined shall have the meanings set forth in the Procedures Manual. A copy of the Procedures Manual can be obtained at the Mayor's Office of Housing and Community Development ("MOHCD") at 1 South Van Ness Avenue or on the Planning Department or Mayor's Office of Housing and Community Development's websites, including on the internet at: <http://sf-planning.org/Modules/ShowDocument.aspx?documentid=4451>.

As provided in the Inclusionary Affordable Housing Program, the applicable Procedures Manual is the manual in effect at the time the subject units are made available for sale or rent.

For information about compliance, contact the Case Planner, Planning Department at (628) 652-7600, www.sfplanning.org or the Mayor's Office of Housing and Community Development at (415) 701-5500, www.sfmohcd.org.

- i. The Project Sponsor must pay the Fee in full sum to the Development Fee Collection Unit at the DBI for use by MOHCD prior to the issuance of the first construction document.
- ii. Prior to the issuance of the first construction permit by the DBI for the Project, the Project Sponsor

shall record a Notice of Special Restriction on the property that records a copy of this approval. The Project Sponsor shall promptly provide a copy of the recorded Notice of Special Restriction to the Department and to MOHCD or its successor.

- iii. If project applicant fails to comply with the Inclusionary Affordable Housing Program requirement, the Director of DBI shall deny any and all site or building permits or certificates of occupancy for the development project until the Planning Department notifies the Director of compliance. A Project Sponsor's failure to comply with the requirements of Planning Code Sections 415 et seq. shall constitute cause for the City to record a lien against the development project and to pursue any and all other remedies at law, including interest and penalties, if applicable.

EXHIBIT B:
INCLUSIONARY AFFORDABLE
HOUSING AFFIDAVIT

AFFIDAVIT

COMPLIANCE WITH THE INCLUSIONARY AFFORDABLE HOUSING PROGRAM

PLANNING CODE SECTION 415, 417 & 419



San Francisco Planning

SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103-2479
MAIN: (415) 558-6378 SFPLANNING.ORG

11-2-21

Date

I, PETER ZIBLATT,
do hereby declare as follows:

A The subject property is located at (address and block/lot):

1145 Polk/1201 Sutter

Address

0691/001

Block / Lot

The subject property is located within the following Zoning District:

NCD

Zoning District

65'

Height and Bulk District

Special Use District, if applicable

Is the subject property located in the SOMA NCT, North of Market Residential SUD, or Mission Area Plan?

Yes No

B The proposed project at the above address is subject to the *Inclusionary Affordable Housing Program*, Planning Code Section 415 and 419 et seq.

The Planning Case Number and/or Building Permit Number is:

Planning Case Number

2015-1120-3273

Building Permit Number

This project requires the following approval:

- Planning Commission approval (e.g. Conditional Use Authorization, Large Project Authorization)
- Zoning Administrator approval (e.g. Variance)
- This project is principally permitted.

The Current Planner assigned to my project within the Planning Department is:

NICHOLAS FOSTER

Planner Name

A complete Environmental Evaluation Application or Project Application was accepted on:

Date

The project contains 54 total dwelling units and/or group housing rooms.

This project is exempt from the *Inclusionary Affordable Housing Program* because:

- This project is 100% affordable.
- This project is 100% student housing.

Is this project in an UMU Zoning District within the Eastern Neighborhoods Plan Area?

Yes No

(If yes, please indicate Affordable Housing Tier)

Is this project a HOME-SF Project?

Yes No

(If yes, please indicate HOME-SF Tier)

Is this project an Analyzed or Individually Requested State Density Bonus Project?

Yes No

C Please indicate the tenure of the project.

Ownership. If affordable housing units are provided on-site or off-site, all affordable units will be sold as ownership units and will remain as ownership units for the life of the project. The applicable fee rate is the ownership fee rate.

Rental. If affordable housing units are provided on-site or off-site, all affordable units will be rental units and will remain rental units for the life of the project. The applicable fee rate is the rental fee rate.

D This project will comply with the Inclusionary Affordable Housing Program by:

Payment of the Affordable Housing Fee prior to the first construction document issuance (Planning Code Section 415.5)

On-site Affordable Housing Alternative (Planning Code Sections 415.6)

Off-site Affordable Housing Alternative (Planning Code Sections 415.7)

Combination of payment of the Affordable Housing Fee and the construction of on-site or off-site units (Planning Code Section 415.5 - required for Individually Requested State Density Bonus Projects)

Eastern Neighborhoods Alternate Affordable Housing Fee (Planning Code Section 417)

Land Dedication (Planning Code Section 419)

The applicable inclusionary rate is:

30%

On-site, off-site or fee rate as a percentage

If the method of compliance is the payment of the Affordable Housing Fee pursuant to Planning Code Section 415.5, please indicate the total residential gross floor area in the project.

35,716

Residential Gross Floor Area

E The Project Sponsor acknowledges that any change which results in the reduction of the number of on-site affordable units following the project approval shall require public notice for a hearing and approval by the Planning Commission.

F The Project Sponsor acknowledges that failure to sell or rent the affordable units or to eliminate the on-site or off-site affordable units at any time will require the Project Sponsor to:

- (1) Inform the Planning Department and the Mayor's Office of Housing and Community Development and, if applicable, fill out a new affidavit;
- (2) Record a new Notice of Special Restrictions; and
- (3) Pay the Affordable Housing Fee plus applicable interest (using the fee schedule in place at the time that the units are converted from ownership to rental units) and any applicable penalties by law.

G The Project Sponsor acknowledges that in the event that one or more rental units in the principal project become ownership units, the Project Sponsor shall notify the Planning Department of the conversion, and shall either reimburse the City the proportional amount of the Inclusionary Affordable Housing Fee equivalent to the then-current requirement for ownership units, or provide additional on-site or off-site affordable units equivalent to the then-current requirements for ownership units.

I For projects with over 25 units and with EEA's accepted between January 1, 2013 and January 12 2016, in the event that the Project Sponsor does not procure a building or site permit for construction of the principal project before December 7, 2018, rental projects will be subject to the on-site rate in effect for the Zoning District in 2017, generally 18% or 20%.

J For projects with EEA's/PRJ's accepted on or after January 12 2016, in the event that the Project Sponsor does not procure a building or site permit for construction of the principal project within 30 months of the Project's approval, the Project shall comply with the Inclusionary Affordable Housing Requirements applicable thereafter at the time the Sponsor is issued a site or building permit.

K If a Project Sponsor elects to completely or partially satisfy their Inclusionary Housing requirement by paying the Affordable Housing Fee, the Sponsor must pay the fee in full sum to the Development Fee Collection Unit at the Department of Building Inspection for use by the Mayor's Office of Housing prior to the issuance of the first construction document.

UNIT MIX TABLES

Number of All Units in PRINCIPAL PROJECT:

| | | | | | |
|---------------------------|----------------------|----------------|-------------------------|-------------------------|--------------------------------|
| TOTAL UNITS: 54 | SRO / Group Housing: | Studios: 43 | One-Bedroom Units: 8 | Two-Bedroom Units: 3 | Three (or more) Bedroom Units: |
|---------------------------|----------------------|----------------|-------------------------|-------------------------|--------------------------------|

If you selected the On-site, Off-Site, or Combination Alternative, please fill out the applicable section below. The On-Site Affordable Housing Alternative is required for HOME-SF Projects pursuant to Planning Code Section 206.4. State Density Bonus Projects that have submitted an Environmental Evaluation Application prior to January 12, 2016 must select the On-Site Affordable Housing Alternative. State Density Bonus Projects that have submitted an Environmental Evaluation Application on or after to January 12, 2016 must select the Combination Affordable Housing Alternative to record the required fee on the density bonus pursuant to Planning Code Section 415.3. If the Project includes the demolition, conversion, or removal of any qualifying affordable units, please complete the Affordable Unit Replacement Section.

N/A **On-site Affordable Housing Alternative** (Planning Code Section 415.6, 419.3, or 206.4): % of the unit total.

Number of Affordable Units to be Located ON-SITE:

| | | | | | |
|---------------------|----------------------|----------|--------------------|--------------------|--------------------------------|
| TOTAL UNITS: | SRO / Group Housing: | Studios: | One-Bedroom Units: | Two-Bedroom Units: | Three (or more) Bedroom Units: |
|---------------------|----------------------|----------|--------------------|--------------------|--------------------------------|

| LOW-INCOME | Number of Affordable Units | % of Total Units | AMI Level |
|-----------------|----------------------------|------------------|-----------|
| | | | |
| MODERATE-INCOME | Number of Affordable Units | % of Total Units | AMI Level |
| | | | |
| MIDDLE-INCOME | Number of Affordable Units | % of Total Units | AMI Level |
| | | | |

N/A **Off-site Affordable Housing Alternative** (Planning Code Section 415.7 or 419.3): % of the unit total.

Number of Affordable Units to be Located OFF-SITE:

| | | | | | |
|---------------------|----------------------|----------|--------------------|--------------------|--------------------------------|
| TOTAL UNITS: | SRO / Group Housing: | Studios: | One-Bedroom Units: | Two-Bedroom Units: | Three (or more) Bedroom Units: |
|---------------------|----------------------|----------|--------------------|--------------------|--------------------------------|

| | | |
|---|--|--|
| Area of Dwellings in Principal Project (in sq. feet): | Off-Site Project Address: | |
| Area of Dwellings in Off-Site Project (in sq. feet): | | |
| Off-Site Block/Lot(s): | Motion No. for Off-Site Project (if applicable): | Number of Market-Rate Units in the Off-site Project: |

| AMI LEVELS: | Number of Affordable Units | % of Total Units | AMI Level |
|-------------|----------------------------|------------------|-----------|
| | | | |
| | | | |
| | | | |

UNIT MIX TABLES: CONTINUED

N/A **Combination** of payment of a **fee, on-site affordable units, or off-site affordable units** with the following distribution:
Indicate what percent of each option will be implemented (from 0% to 99%) and the number of on-site and/or off-site below market rate units for rent and/or for sale.

1. On-Site % of affordable housing requirement.

If the project is a State Density Bonus Project, please enter "100%" for the on-site requirement field and complete the Density Bonus section below.

| Number of Affordable Units to be Located ON-SITE: | | | | | |
|---|----------------------|----------|--------------------|--------------------|--------------------------------|
| TOTAL UNITS: | SRO / Group Housing: | Studios: | One-Bedroom Units: | Two-Bedroom Units: | Three (or more) Bedroom Units: |
| | | | | | |

2. Off-Site % of affordable housing requirement.

| Number of Affordable Units to be Located OFF-SITE: | | | | | |
|---|----------------------|--|--------------------|--|--------------------------------|
| TOTAL UNITS: | SRO / Group Housing: | Studios: | One-Bedroom Units: | Two-Bedroom Units: | Three (or more) Bedroom Units: |
| | | | | | |
| Area of Dwellings in Principal Project (in sq. feet): | | Off-Site Project Address: | | | |
| Area of Dwellings in Off-Site Project (in sq. feet): | | | | | |
| Off-Site Block/Lot(s): | | Motion No. for Off-Site Project (if applicable): | | Number of Market-Rate Units in the Off-site Project: | |
| | | | | | |

Income Levels for On-Site or Off-Site Units in Combination Projects:

| AMI LEVELS: | Number of Affordable Units | % of Total Units | AMI Level |
|-------------|----------------------------|------------------|-----------|
| | | | |
| | | | |
| | | | |

3. Fee % of affordable housing requirement.

Is this Project a State Density Bonus Project? Yes No
 If yes, please indicate the bonus percentage, up to 35% _____, and the number of bonus units and the bonus amount of residential gross floor area (if applicable) _____

I acknowledge that Planning Code Section 415.4 requires that the Inclusionary Fee be charged on the bonus units or the bonus residential floor area.

| Affordable Unit Replacement: Existing Number of Affordable Units to be Demolished, Converted, or Removed for the Project | | | | | |
|--|----------------------|----------|--------------------|--------------------|--------------------------------|
| TOTAL UNITS: | SRO / Group Housing: | Studios: | One-Bedroom Units: | Two-Bedroom Units: | Three (or more) Bedroom Units: |
| | | | | | |

This project will replace the affordable units to be demolished, converted, or removed using the following method:

- On-site Affordable Housing Alternative
- Payment of the Affordable Housing Fee prior to the first construction document issuance
- Off-site Affordable Housing Alternative (Section 415.7)
- Combination of payment of the Affordable Housing Fee and the construction of on-site or off-site units (Section 415.5)

Contact Information and Declaration of Sponsor of PRINCIPAL PROJECT

1201 SUTTER, LLC

Company Name

MICHELLE HUGHES

Name (Print) of Contact Person

964 NATOMA STREET

SAN FRANCISCO, CA 94103

Address

415-531-8516

City, State, Zip

MICHELLE@DOLMENPROPERTYGROUP.COM

Phone / Fax

Email

I am a duly authorized agent or owner of the subject property. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct. I hereby declare that the information herein is accurate to the best of my knowledge and that I intend to satisfy the requirements of Planning Code Section 415 as indicated above.

Sign Here

Signature:



Name (Print), Title:

PETER F. ZIBLATT

Executed on this day in:

Location:

SAN FRANCISCO CA

Date:

11/2/21

Contact Information and Declaration of Sponsor of OFF-SITE PROJECT (If Different)

Company Name

Name (Print) of Contact Person

Address

City, State, Zip

Phone / Fax

Email

I hereby declare that the information herein is accurate to the best of my knowledge and that I intend to satisfy the requirements of Planning Code Section 415 as indicated above.

Sign Here

Signature:

Name (Print), Title:

1201 Sutter LLC
San Francisco, CA 94103

September 29th 2021

RE: 1201 Sutter Street/1145 Polk Street, San Francisco, CA 94109

To whom it may concern at SF Planning Department-

Mr. Peter Ziblatt of Pelosi- Ziblatt Law Group is hereby authorized to submit applications to the planning department with regards to the property at 1201 Sutter Street (APN 0691/001) on behalf of the property owner.

Regards,

A handwritten signature in blue ink, appearing to be 'Seamus Naughten', written over the printed name below.

1201 Sutter LLC

Seamus Naughten- Manager

EXHIBIT C:
REAR YARD MODIFICATION DECISION
(FOR REFERENCE ONLY)



SAN FRANCISCO PLANNING DEPARTMENT

Rear Yard Modification Decision

Date: December 11, 2017
Case No.: 2014-001674VAR
Project Address: 1145 POLK STREET
Zoning: Polk Street Neighborhood Commercial Zoning District
Lower Polk Street Alcohol Restricted Use District
65-A Height and Bulk District
Block/Lots: 0691/001
Applicant: David Sternberg
Sternberg Benjamin Architects
1331 Harrison Street
San Francisco, CA 94103
Owner: 1145 Polk, LLC
c/o Pacific Realty Exchange
1452 Broadway
San Francisco, CA 94109
Staff Contact: Nicholas Foster – (415) 575-9167
nicholas.foster@sfgov.org

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

DESCRIPTION – REAR YARD MODIFICATION SOUGHT:

The proposed project ("Project") includes the demolition of an existing two-story-plus-mezzanine commercial building and the construction of a 6-story mixed-use building with 54 dwelling units above approximately 7,500 square feet of ground-floor and basement-level commercial retail space (4 total retail spaces). The Project includes 23 off-street parking vehicular parking spaces, 1 car share space, and 55 Class 1 bicycle parking spaces and 6 Class 2 bicycle parking spaces.

Section 134 of the Planning Code requires a minimum rear yard of approximately 17 feet (or approximately 2,062 square feet in area) for the subject property. The project proposes to construct a mixed-use residential building on the subject property, with full lot coverage at the ground floor. In lieu of a rear yard, the project would provide an open area beginning at the lowest floor containing residential uses (approximately 966 square feet in area), three private balconies counting as private useable open space, and a roof deck for common useable open space (approximately 5,465 square feet in area), thereby exceeding the total amount of required open area for the subject lot. Because the proposed structure would encroach into the required rear yard, the project is seeking a modification of the rear yard requirements.

PROCEDURAL BACKGROUND:

1. The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 32 Categorical Exemption.

2. The Zoning Administrator held a public hearing on Case No. 2014-001674VAR on December 6, 2017.
3. Neighborhood notification pursuant to Planning Code Section 312 was performed for Building Permit Application No. 201511203273 between October 23, 2017 and November 22, 2017. No requests for Discretionary Review were filed during the notification period.

DECISION:

GRANTED, in general conformity with the plans on file with this application, shown as EXHIBIT A, to allow the construction of a new 6-story building with 54 dwelling units above ground-floor and basement-level commercial retail spaces totaling approximately 7,500 square feet, subject to the following conditions:

1. Any future physical expansion, even in the buildable area, shall be reviewed by the Zoning Administrator to determine if the expansion is compatible with existing neighborhood character and scale. If the Zoning Administrator determines that there would be a significant or extraordinary impact, the Zoning Administrator shall require either notice to adjacent and/or affected property owners or a new application be sought and justified.
2. The proposed project must meet these conditions and all applicable City Codes. In case of conflict, the more restrictive controls apply.
3. Minor modifications as determined by the Zoning Administrator may be permitted.
4. The owner of the subject property shall record on the land records of the City and County of San Francisco the conditions attached to this decision as a Notice of Special Restrictions in a form approved by the Zoning Administrator.
5. This Decision and the recorded Notice of Special Restrictions shall be reproduced on the Index Sheet of the construction plans submitted with the Site or Building Permit Application for the Project. This Index Sheet of the construction plans shall reference the Case Number.

REAR YARD MODIFICATION CRITERIA:

Planning Code Section 134(e)(1). General. The rear yard requirement in NC Districts may be modified or waived by the Zoning Administrator pursuant to the procedures which are applicable to variances, as set forth in Sections 306.1 through 306.5 and 308.2, if all of the following criteria are met for NC Districts:

CRITERION 1.

Residential uses are included in the new or expanding development and a comparable amount of usable open space is provided elsewhere on the lot or within the development where it is more accessible to the residents of the development.

Requirement Met.

- A. The Project would create fifty-four (54) new dwelling units on a lot that is developed with a commercial building containing no existing dwelling units. The Project would provide useable open space in the following amounts and locations: an inner courtyard located at the lowest floor containing residential uses, measuring approximately 966 square feet in area; three (3) private balconies located on Floor 2 containing a total of 692 square feet of private useable open space; and a roof deck functioning as common useable open space (approximately 5,465 square feet in area). The total amount of useable open space required for the 54 dwelling units is 4,260 square feet and the total area of the required rear yard for the subject lot is 2,061 square feet. The Project provides 6,157 square feet of useable open space (combination of private and common) that meets the area and dimensional requirements of the Code. The Project also provides a 966 square foot inner courtyard (open area) on Floor 2 that, while not meeting the requirements of the Code to count as common useable open space, nevertheless adds to the total amount of open space available to future building tenants. The Project provides a total of 7,123 square feet of open space where a rear yard of 2,061 square feet is required; therefore, the Project provides more than a comparable amount of open space on the subject lot. Further, the location of open space is configured on the lot in a matter that maximizes accessibility for building residents.

CRITERION 2.

The proposed new or expanding structure will not significantly impede the access of light and air to and views from adjacent properties.

Requirement Met.

- A. The subject property is a corner lot with three street frontages: Polk, Sutter, and Hemlock Streets. The only adjacent building is to the west (Block/Lot: 0691/012A), developed as a two-story building with full lot coverage, on a through lot fronting on both Sutter and Hemlock Streets. The proposed new building on the subject lot will be designed in a "U" configuration to reinforce the existing urban design of the site, replete with a pattern of prominent streetwalls along Polk and Sutter Streets (with a horizontal setback along the Hemlock Street frontage), while allowing a small inner courtyard fronting the lot located immediately to the west (Lot 012A). The proposed inner courtyard provides a much-needed physical buffer from the neighboring lot, while also providing additional open space for future tenants of the subject property. The proposed building would not impede the access to light and air for adjacent properties as the proposed building faces the blind wall of this neighboring building to the west, while the three streets themselves provide sufficient buffering between buildings located along Sutter, Polk, or Hemlock Streets.

CRITERION 3.

The proposed new or expanding structure will not adversely affect the interior block open space formed by the rear yards of adjacent properties.

Requirement Met.

- A. The purpose of the rear yard requirement is to provide a sense of openness between structures and promote a pattern of mid-block open space. There is currently no pattern of mid-block open space for lots located between Sutter and Hemlock Streets. Given that the majority of lots within the subject block are full-lot coverage, the proposed Project would create more open space than the adjacent lots in the form of an inner courtyard fronting Lot 012A, located immediately to the west of the subject lot. The placement of the inner court in this location will enhance and strengthen a pattern of mid-block open space that is currently not well-defined on the subject block.

Further, this development is consistent with the generally stated intent and purpose of the Planning Code to promote orderly and beneficial development. Planning Code Section 101.1 establishes eight priority-planning policies and requires review of applications for consistency with said policies. The project meets all relevant policies, including conserving neighborhood character, and maintaining housing stock.

1. Existing neighborhood retail uses will not be adversely affected by the proposed project.
2. The proposed project will be in keeping with the existing housing and neighborhood character. The proposal will add 54 dwelling units above approximately 7,500 square feet of ground-floor and basement-level commercial retail space
3. The proposed project is subject to the City's affordable housing requirements.
4. The proposed project does not adversely affect neighborhood parking or public transit.
5. The project will have no effect on the City's industrial and service sectors.
6. The proposed project will have no effect on the City's preparedness to protect against injury and loss of life in an earthquake.
7. The project will have no effect on the City's landmarks or historic buildings.
8. The project would not affect any existing or planned public parks or open spaces.

The effective date of this decision shall be either the date of this decision letter if not appealed or the date of the Notice of Decision and Order if appealed to the Board of Appeals.

Once any portion of the granted decision is utilized, all specifications and conditions of the authorization became immediately operative.

The authorization and rights vested by virtue of this decision letter shall be deemed void and cancelled if (1) a Building Permit has not been issued within three years from the effective date of this decision; or (2) a Tentative Map has not been approved within three years from the effective date of this decision for Subdivision cases; or (3) neither a Building Permit or Tentative Map is involved but another required City action has not been approved within three years from the effective date of this decision. However,

this authorization may be extended by the Zoning Administrator when the issuance of a necessary Building Permit or approval of a Tentative Map or other City action is delayed by a City agency or by appeal of the issuance of such a permit or map or other City action.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives NOTICE that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

APPEAL: Any aggrieved person may appeal this decision to the Board of Appeals within ten (10) days after the date of the issuance of this Decision. For further information, please contact the Board of Appeals in person at 1650 Mission Street, 3rd Floor (Room 304) or call 575-6880.

Very truly yours,



Scott F. Sanchez
Zoning Administrator

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OCCUPANCY. PERMITS FROM APPROPRIATE DEPARTMENTS MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

EXHIBIT D:
APPROVED PLANS
(FOR REFERENCE ONLY)

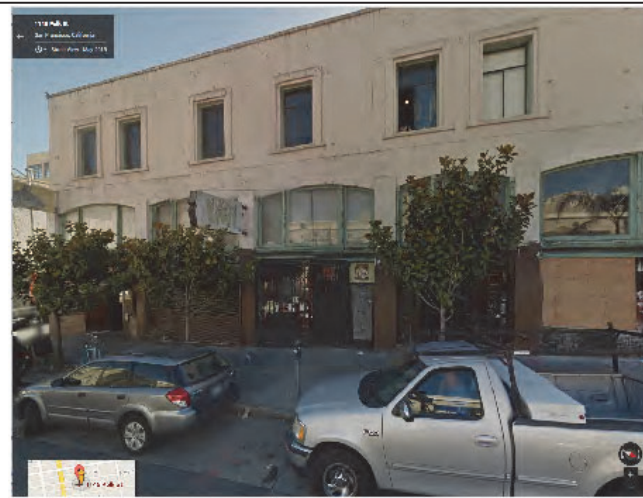
| REV. | ISSUE | DATE |
|------|---------------------------|----------|
| 1 | SITE PERMIT PLAN CHECK | 03.30.18 |



STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNREPRODUCED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED
OR USED IN ANY MANNER WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT

PHOTOS

SHEET TITLE
SCALE
PROJ. NO. 1804_DRAINAGE
SHEET NO. 30 x 48



POLK ST. LOOKING WEST



POLK ST. LOOKING NORTHWEST



POLK ST. LOOKING NORTH



POLK ST. LOOKING NORTHEAST



POLK ST. LOOKING EAST



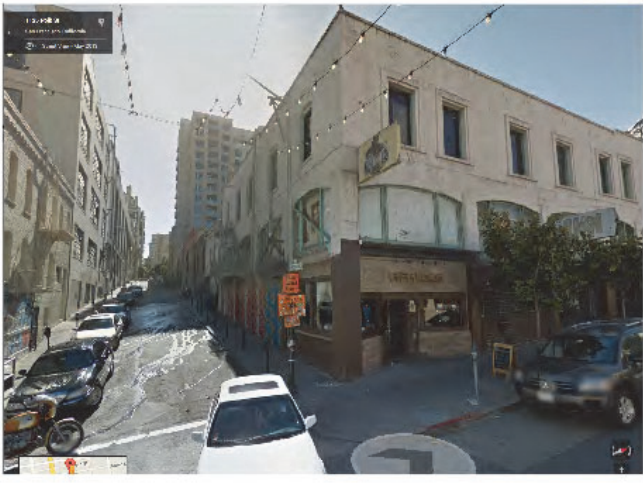
POLK ST. LOOKING SOUTHEAST



POLK ST. LOOKING SOUTH



POLK ST. LOOKING SOUTHWEST



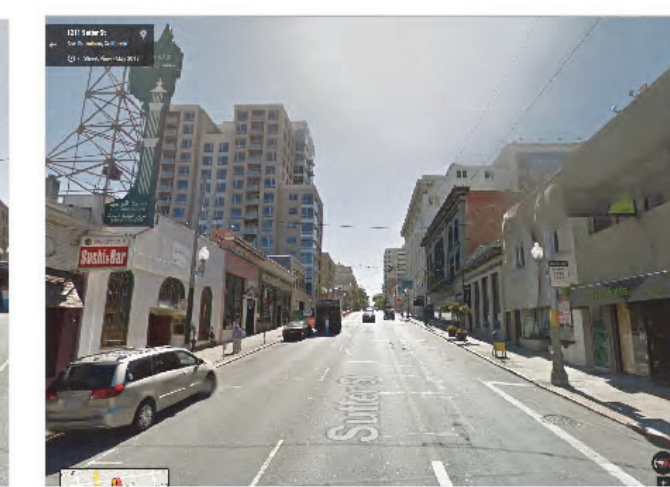
POLK ST. LOOKING WEST DOWN HICKORY ALLEY



SUTTER ST. LOOKING SOUTH



SUTTER ST. LOOKING SOUTHWEST



SUTTER ST. LOOKING WEST



SUTTER ST. LOOKING NORTHWEST



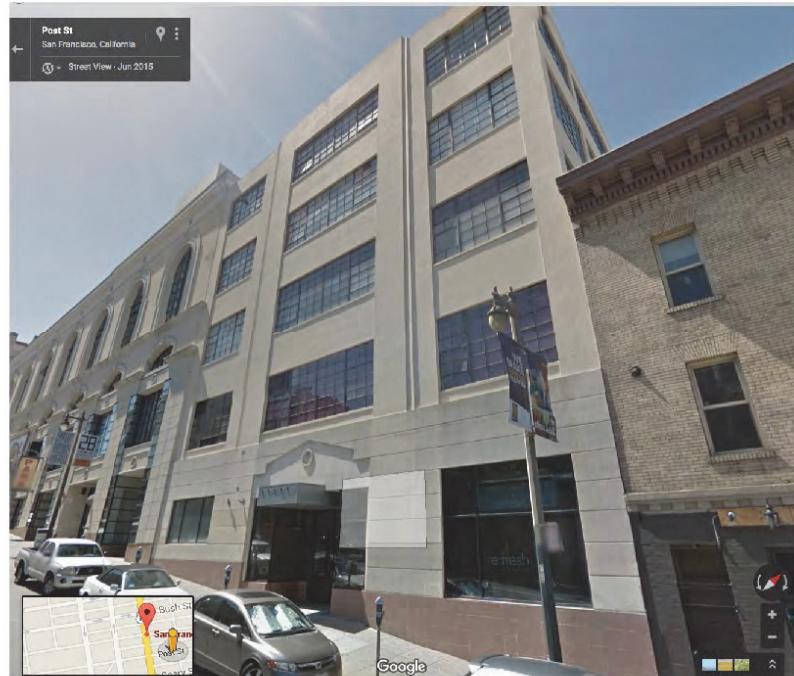
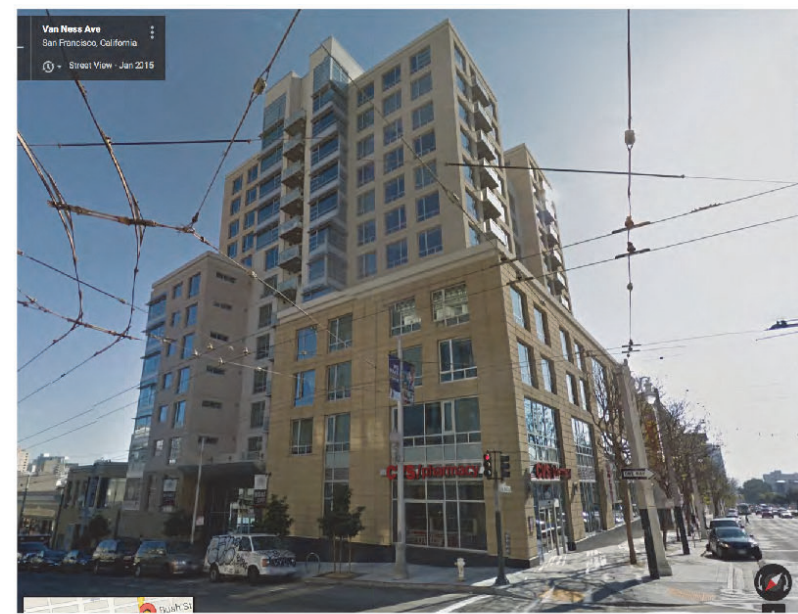
SUTTER ST. LOOKING NORTH



SUTTER ST. LOOKING NORTHEAST



SUTTER ST. LOOKING EAST



| REV. | ISSUE | DATE |
|------|---------------------------|----------|
| 1 | SITE PERMIT PLAN CHECK | 03.30.18 |



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**PHOTOS OF
CONTEXT**

SHEET TITLE
SCALE
PROJ. NO. 1804 DRAWING NO. 1
SHEET NO. 30 X 48

CLIENT

CONSULTANT

POLK STREET
1145 POLK STREET SAN FRANCISCO, CA

REV. ISSUE DATE

1 SITE PERMIT 03.30.18
PLAN CHECK



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APPEARING HEREIN CONSTITUTE ORIGINAL
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**MATERIAL
SAMPLES**

SHEET TITLE

SCALE

PROJ. No. 1804 DRAWN BY JH

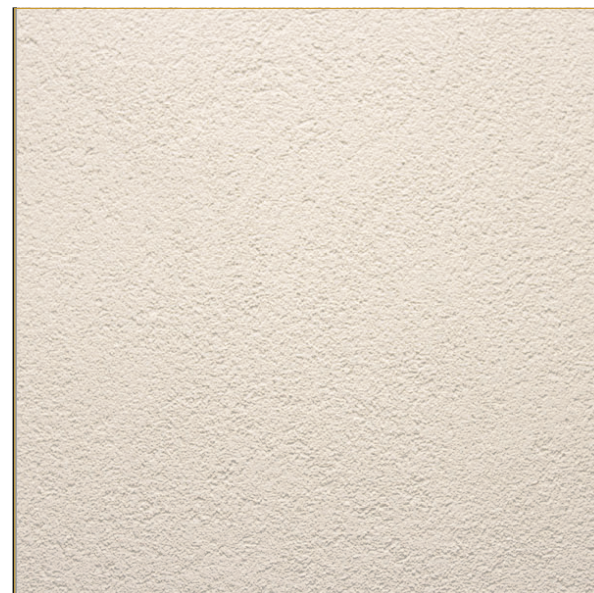
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METAL STOREFRONT



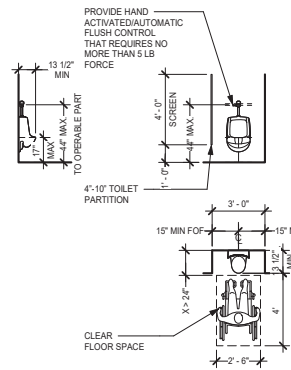
METAL BAY WINDOW SIDING



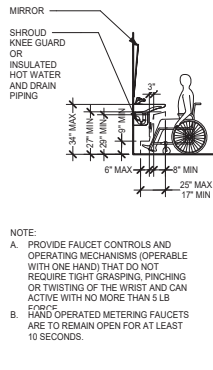
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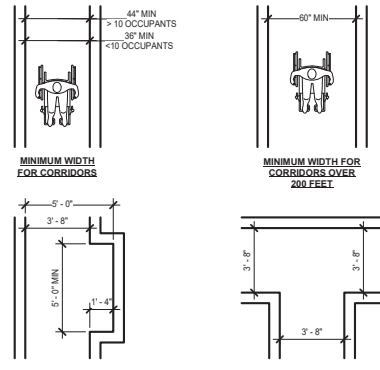
STONE BASE AT GROUND FLOOR



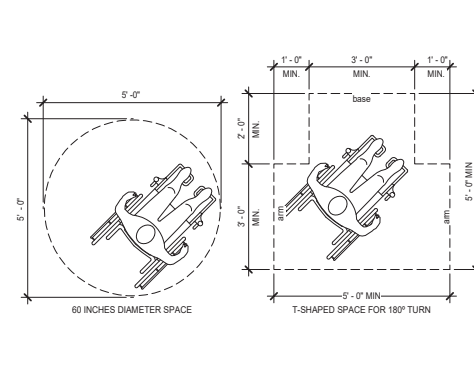
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ACCESSIBLE LAVATORY COMMON USE FACILITIES (CBC 11A) 16
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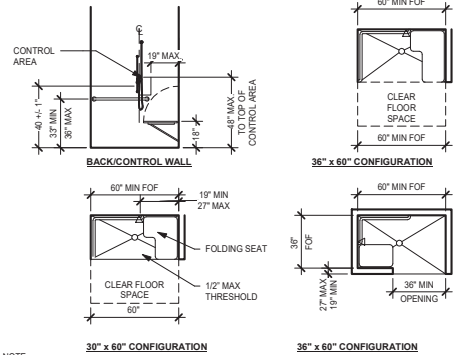


INTERIOR ACCESSIBLE ROUTE (CBC 11A) 12
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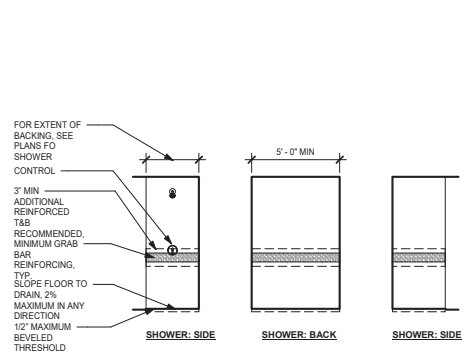


WHEELCHAIR TURNING SPACE SIZE (CBC 11A) 8
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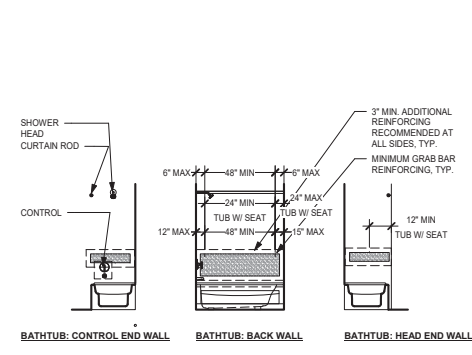
- ACCESSIBILITY GENERAL NOTES 4**
1/4" = 1'-0"
- ALL UNITS ARE DESIGNED TO BE ADAPTABLE AND ON AN ACCESSIBLE PATH OF TRAVEL TO COMPLY WITH DISABLED ADAPTABILITY AND ACCESSIBILITY REGULATIONS.
 - BASE CABINET DIRECTLY UNDER THE KITCHEN SINK, INCLUDING TOE KICK AND SHELVING SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR SPECIALIZED KNOWLEDGE IN ORDER TO PROVIDE CLEARANCE FOR A WHEELCHAIR. FINISH FLOORING TO MATCH KITCHEN FLOORING SHALL BE PROVIDED BENEATH THE REMOVABLE CABINET AND EXTEND TO THE WALL.
 - BASE CABINETS DIRECTLY UNDER THE LAVATORIES ARE ACCEPTABLE PROVIDED THERE IS SPACE TO ALLOW A PARALLEL APPROACH TO A WHEELCHAIR AND THE LAVATORY CABINETS / PEDESTAL ARE DESIGNED WITH ADAPTABLE KNEE AND TOE SPACE. VANITY CABINET UNDER THE LAVATORY COUNTER AREA, INCLUDING TOE KICK AND SHELVING SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR SPECIALIZED KNOWLEDGE IN ORDER TO PROVIDE CLEARANCE FOR A FORWARD APPROACH IN A WHEELCHAIR. FINISH FLOORING SHALL BE PROVIDED BENEATH THE REMOVABLE CABINET AND EXTEND TO THE WALL.
 - KITCHEN COUNTERTOPS SHALL PROVIDE A MINIMUM OF 30" IN LENGTH FOR BOTH THE KITCHEN SINK INSTALLATION AND WORK SURFACE OR A SINGLE INTEGRAL UNIT A MINIMUM OF 60". EXCEPTION: (2) 15" MINIMUM WIDTH BREADBOARDS MAY BE PROVIDED IN LIEU OF THE REQUIRED 30" OF COUNTERTOP WORK SURFACE.
 - GRAB BAR BACKING OR BLOCKING MUST PROVIDE A MINIMUM STRUCTURAL STRENGTH PER SECTION 1127A.4. BACKING SHALL MATCH METAL FRAMING GAUGE PER SSMA. MINIMUM 16 GAUGE SHEET METAL, AND 2X12 WOOD BLOCKING AT WOOD FRAMING.
 - DOORS WITHIN UNITS THAT ARE INTENDED FOR USER PASSAGE MUST PROVIDE A 32" NET CLEAR OPENING WIDTH PER SECTION 1132A.
 - LEVER HARDWARE REQUIRED (CHAPTER 10).
 - DOOR SIGNAL DEVICES REQUIRED (CHAPTER 11A).
 - CLEAR SPACE BY DOORS REQUIRED (CHAPTER 10 & 11A).
 - MINIMUM 15" WATER CLOSET SEAT HEIGHT WHERE OCCURS (CHAPTER 11A).
 - WATER CLOSET, BATH TUB AND LAVATORY MINIMUM SPACE REQUIREMENTS (CHAPTER 11A & 11B).
 - PROVIDE ACCESSIBLE DOORS W/ REQUIRED STRIKE CLEARANCES (CHAPTER 11A).
 - ALL GROUND AND FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP-RESISTANT IN COMPLIANCE WITH SECTIONS 1110A.3, 1110A.2 AND 11B-302.
 - PER SECTION 1008.1.3, THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWINGING DOORS, OTHER THAN FOLDING DOORS, SHALL NOT EXCEED 5 LBS. FOR OTHER SWINGING DOORS, AS WELL AS SLIDING AND FOLDING DOORS, THE DOOR LATCH SHALL RELEASE WHEN SUBJECTED TO A 15 LB. FORCE. THE DOOR SHALL BE SET IN MOTION WHEN SUBJECTED TO A 30 LB. FORCE. THE DOOR SHALL SWING TO A FULL OPEN POSITION WHEN SUBJECTED TO A 15 LB. FORCE.
 - DIMENSIONS SHOWN ON THIS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.



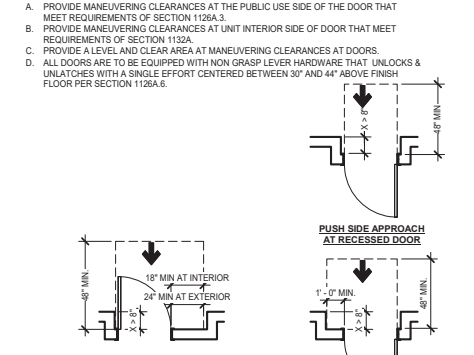
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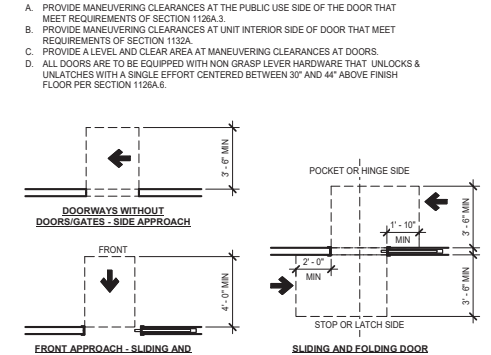
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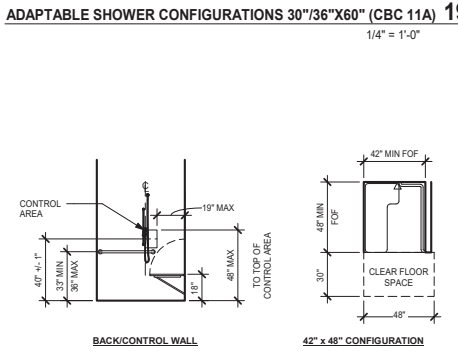
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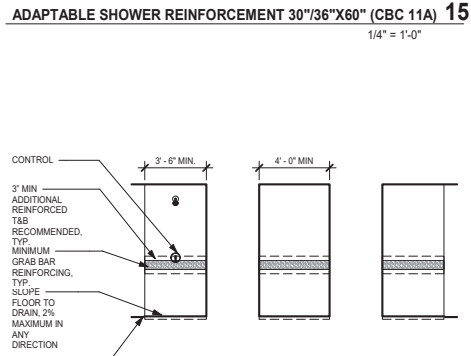
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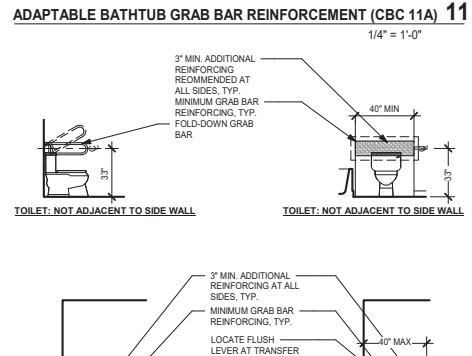
CLEAR SPACE AT SLIDING AND FOLDING DOORS (CBC 11A) 3
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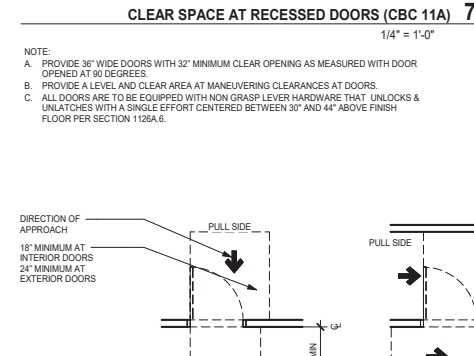
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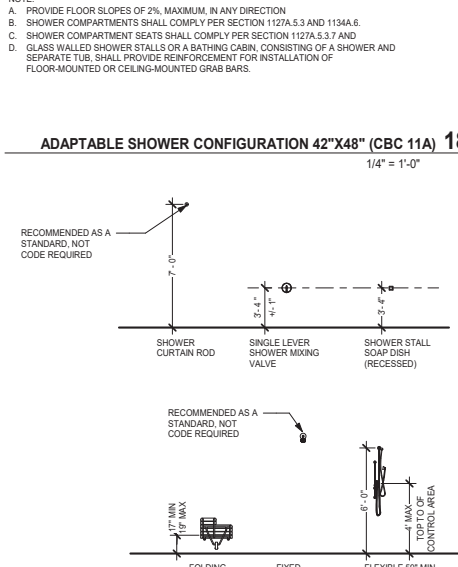
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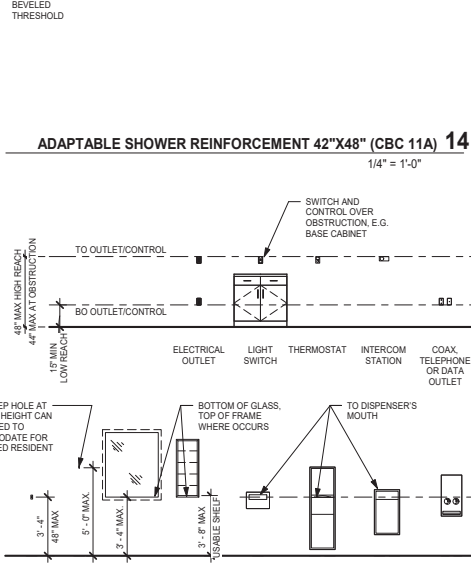
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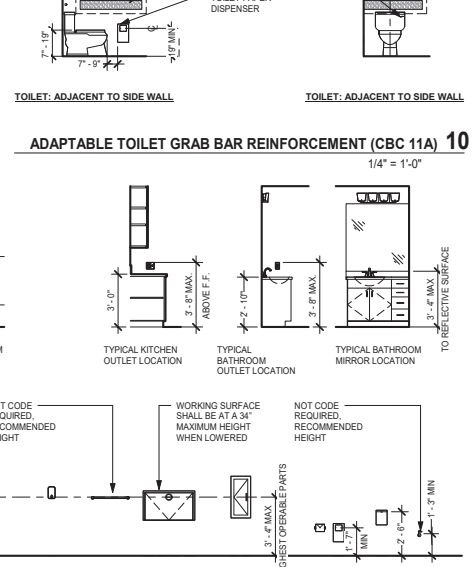
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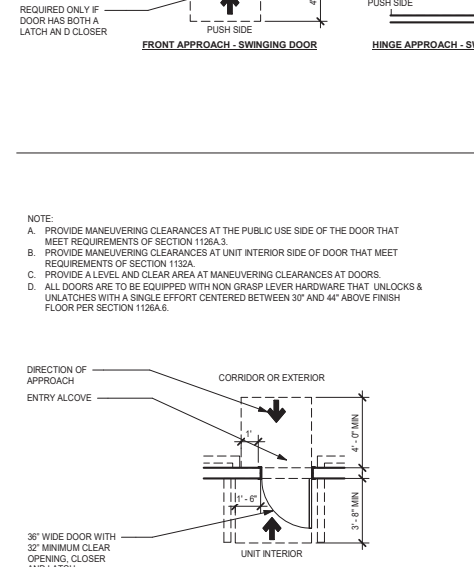
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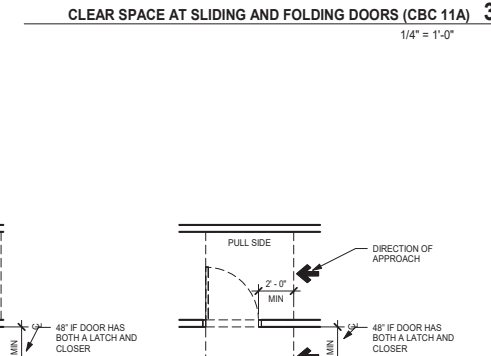
ACCESSIBLE ACCESSORIES, SWITCHES, OUTLETS, AND CONTROLS (CBC 11A) 9
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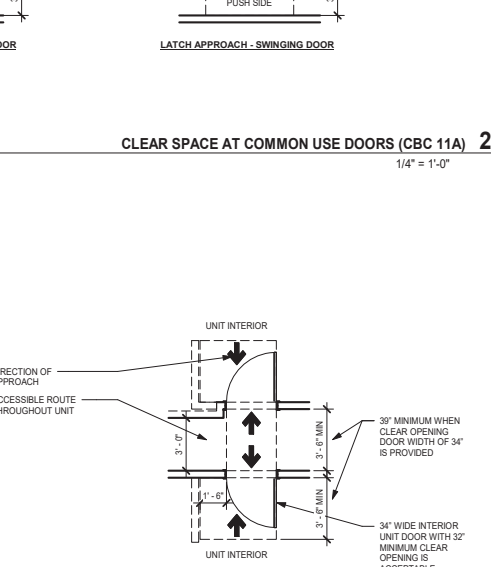
MANEUVERING CLEARANCES AT UNIT ENTRY DOOR AND DOORS WITHIN UNIT (CBC 11A) 1
1/4" = 1'-0"



MANEUVERING CLEARANCES AT UNIT ENTRY DOOR AND DOORS WITHIN UNIT (CBC 11A) 1
1/4" = 1'-0"



MANEUVERING CLEARANCES AT UNIT ENTRY DOOR AND DOORS WITHIN UNIT (CBC 11A) 1
1/4" = 1'-0"



MANEUVERING CLEARANCES AT UNIT ENTRY DOOR AND DOORS WITHIN UNIT (CBC 11A) 1
1/4" = 1'-0"

BDE ARCHITECTURE
950 HOWARD STREET
SAN FRANCISCO
CA 94103
P. (415) 677-0966
CLIENT

POLK STREET
1145 POLK STREET SAN FRANCISCO, CA

ISSUE DATE
SITE PERMIT PLAN 03.30.18
CHECK

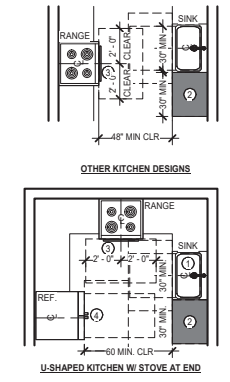
STAMP
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ACCESSIBILITY COMPLIANCE DETAILS 11A

Sheet Title As indicated
Sheet No. 1804 DRAWN BY XX
Sheet Desc. SD X-48

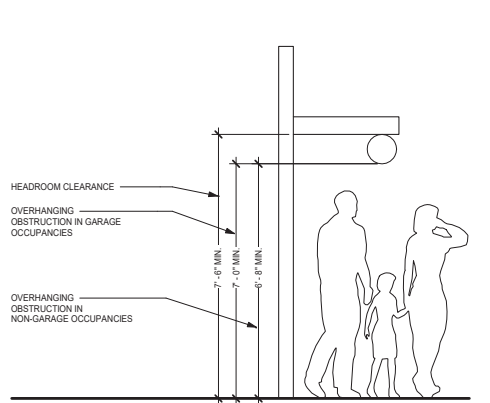
A0.40

SHEET NOTES
 1. 30" MINIMUM COUNTERTOP SPACE FOR SINK INSTALLATION W/ REMOVABLE BASE CABINET AND FINISH FLOORING BENEATH. 30" X 48" MINIMUM CLEAR FLOOR SPACE TO ALLOW PARALLEL OR FORWARD APPROACH.
 2. 30" MINIMUM COUNTERTOP WORK SURFACE W/ REMOVABLE BASE CABINET AND FINISH FLOORING BENEATH. 30" X 48" MINIMUM CLEAR FLOOR SPACE TO ALLOW PARALLEL OR FORWARD APPROACH.
 3. 30" X 48" MINIMUM CLEAR FLOOR SPACE ADJACENT TO RANGE TO ALLOW PARALLEL APPROACH.
 4. 30" X 48" CLEAR FLOOR SPACE AT REFRIGERATOR, DISHWASHER, TRASH COMPACTOR OR OTHER APPLIANCES TO ALLOW PARALLEL OR FORWARD APPROACH.

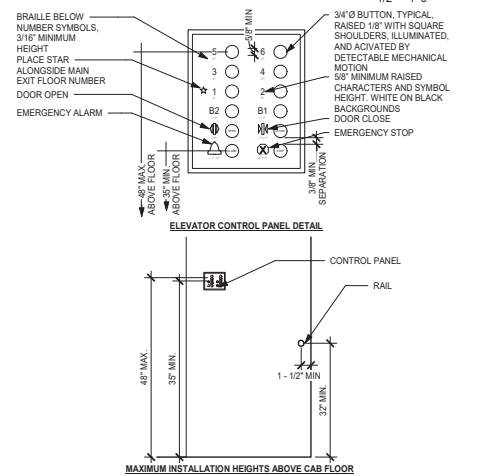


NOTE:
 A. REPOSITIONABLE COUNTERTOPS SECTION 1133A.4.1. EXCEPTION 1: STONE, CULTURED STONE AND TILED COUNTERTOPS MAY BE USED WITHOUT MEETING THE REPOSITIONING REQUIREMENTS.
 EXCEPTION 2: TWO 15" WIDE MINIMUM PULL-OUT BREADBOARDS MAY BE PROVIDED IN LIEU OF THE REQUIRED 30" OF COUNTERTOP WORK SURFACE, AND USED WITHOUT MEETING THE REPOSITIONING REQUIREMENTS.

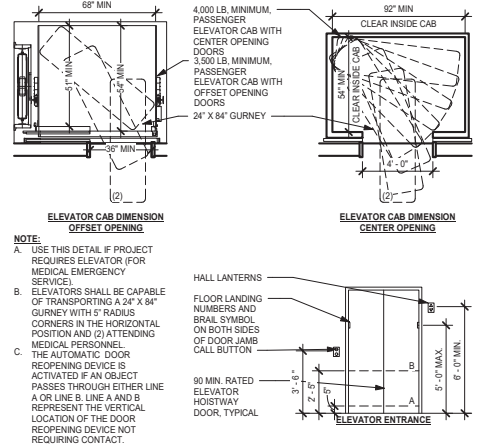
KITCHEN CLEARANCES (CBC 11A) 4



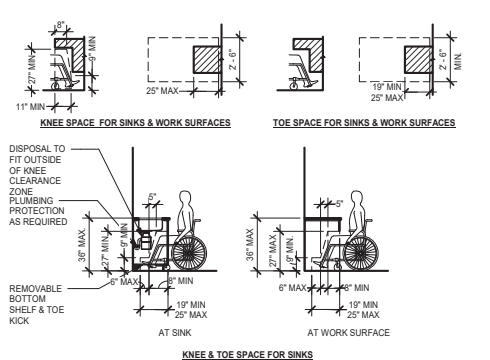
HEADROOM AND OVERHANGING OBSTRUCTION (CBC 11A) 8



ELEVATOR CONTROL PANEL (CBC 11A) 7

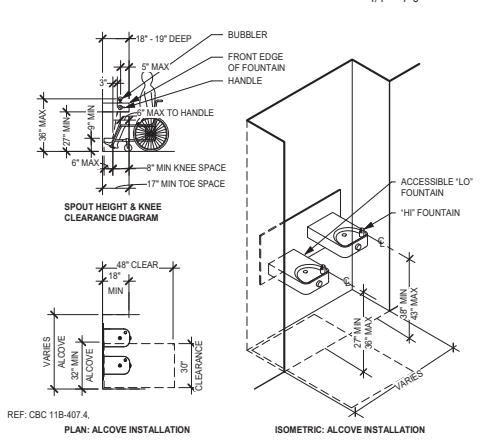


ELEVATOR CLEARANCES, CONTROLS & SIGNAGE (CBC 11A) 6

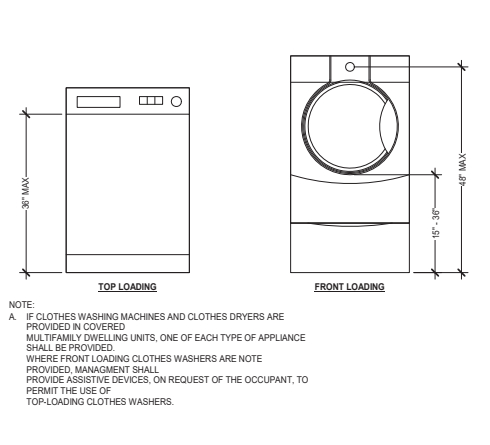


NOTE:
 A. PROVIDE FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS OF FORCE. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.
 B. THE KNEE AND TOE SPACE SHALL BE CLEAR AND UNOBSTRUCTED, OR REMOVABLE BASE CABINETS IN COMPLIANCE WITH SECTION 1133A.3 SHALL BE PROVIDED.

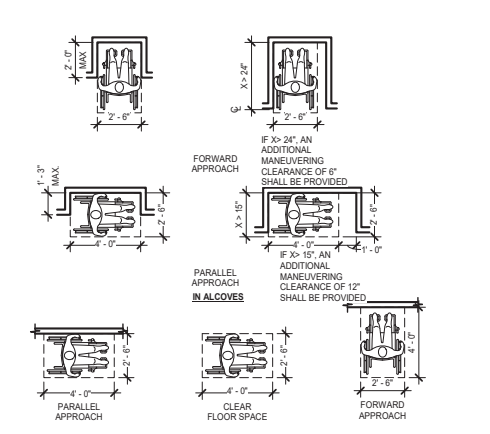
ACCESSIBLE SINK & WORK SURFACE KNEE AND TOE SPACE (CBC 11A) 12



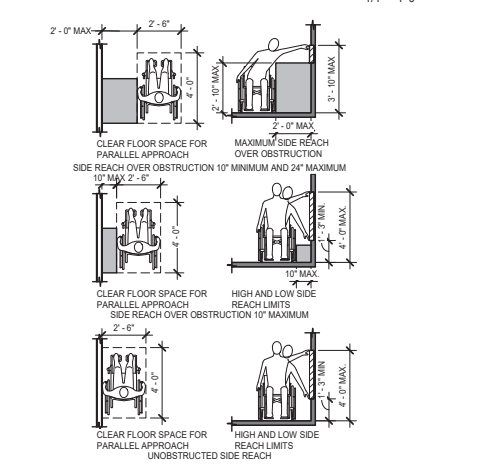
ACCESSIBLE DRINKING FOUNTAIN COMMON USE FACILITIES (CBC 11A) 11



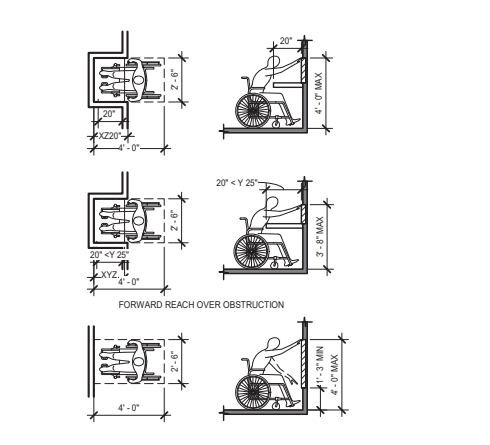
HEIGHT OF LAUNDRY COMPARTMENT OPENING (CBC 11A) 10



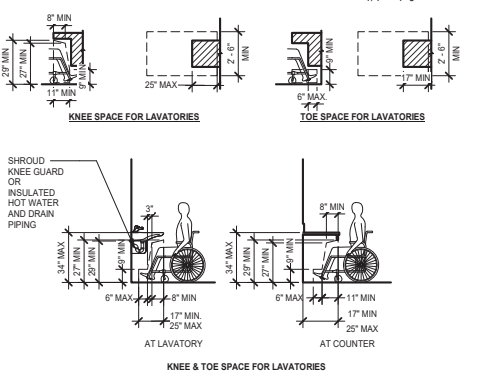
MINIMUM CLEAR FLOOR SPACE FOR WHEELCHAIRS (CBC 11A) 16



REACH RANGES - SIDE REACH (CBC 1A) 15

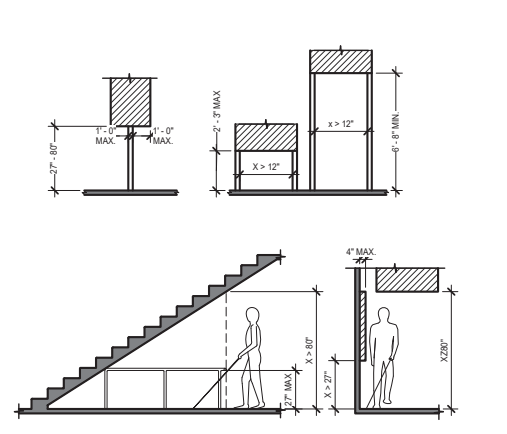


REACH RANGES - FRONT REACH (CBC 11A) 14

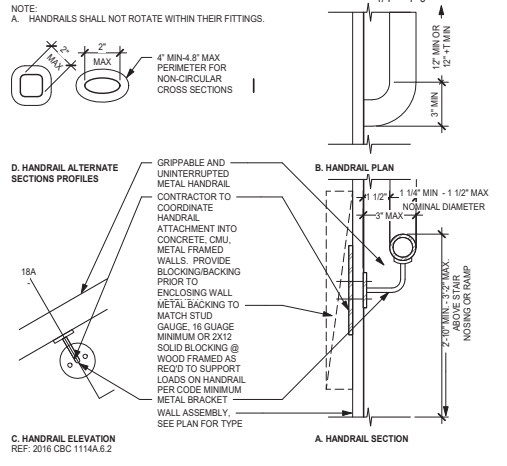


NOTE:
 A. PROVIDE FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS OF FORCE. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.

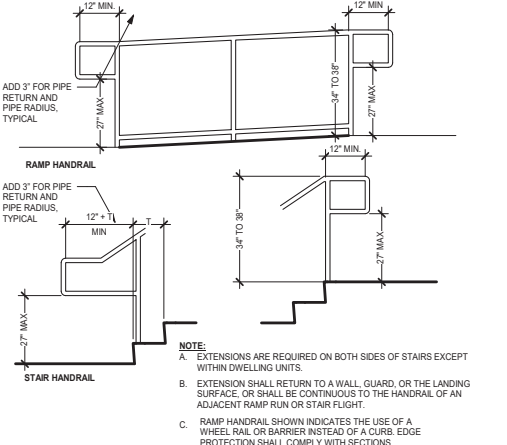
ACCESSIBLE LAVATORY KNEE AND TOE SPACE (CBC 11A) 13



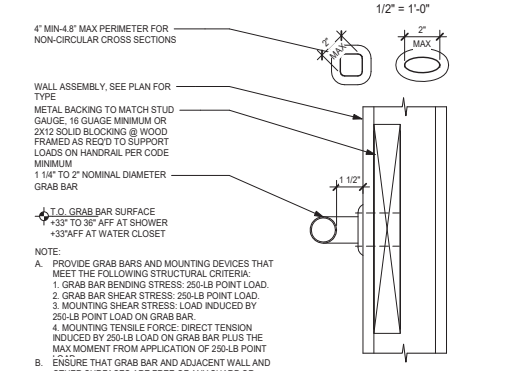
PROTRUDING OBJECTS & HEADROOM CLEARANCES (CBC 11A) 20



METAL HANDRAIL DETAIL (CBC 11A) 19

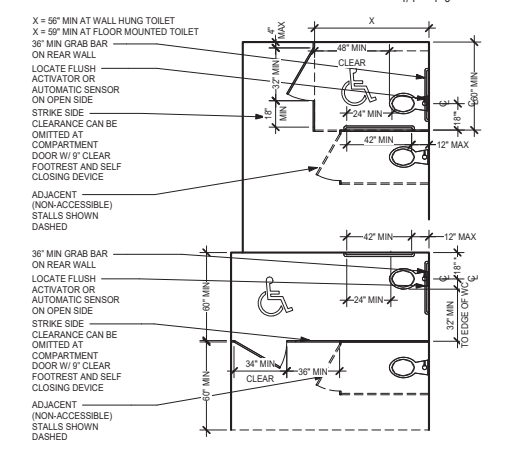


HANDRAILS AND EXTENSIONS (CBC 11A) 18

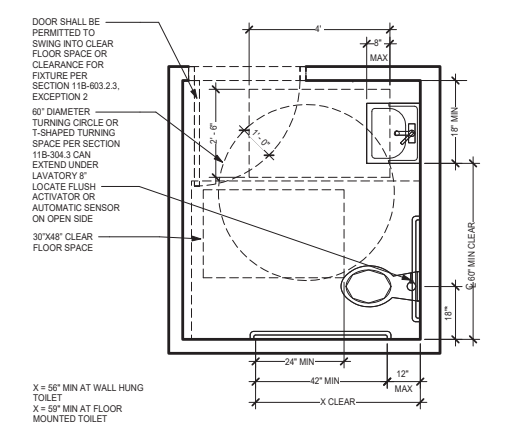


NOTE:
 A. PROVIDE GRAB BARS AND MOUNTING DEVICES THAT MEET THE FOLLOWING STRUCTURAL CRITERIA:
 1. GRAB BAR BENDING STRESS: 250-LB POINT LOAD.
 2. GRAB BAR SHEAR STRESS: 250-LB POINT LOAD.
 3. MOUNTING SHEAR STRESS: LOAD INDUCED BY 250-LB POINT LOAD ON GRAB BAR.
 4. MOUNTING TENSION FORCE: DIRECT TENSION INDUCED BY 250-LB LOAD ON GRAB BAR PLUS THE MAXIMUM MOMENT FROM APPLICATION OF 250-LB POINT LOADS ON HANDRAIL PER CODE MINIMUM.
 B. ENSURE THAT GRAB BAR AND ADJACENT WALL AND OTHER SURFACES ARE FREE OF ANY SHARP OR ABRASIVE ELEMENTS. ENSURE EDGES HAVE A MINIMUM RADIUS OF 1/8".
 C. PROVIDE GRAB BARS THAT DO NOT ROTATE WITHIN THEIR FITTINGS.

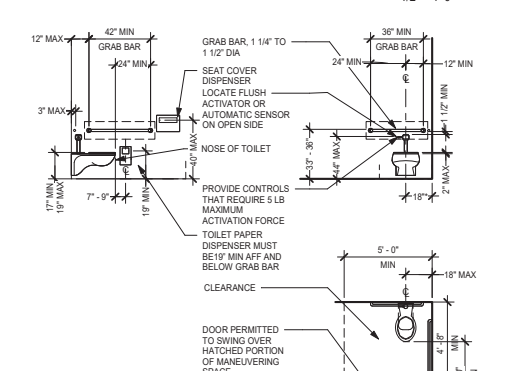
GRAB BAR SECTION AND BLOCKING DETAIL (CBC 11A) 17



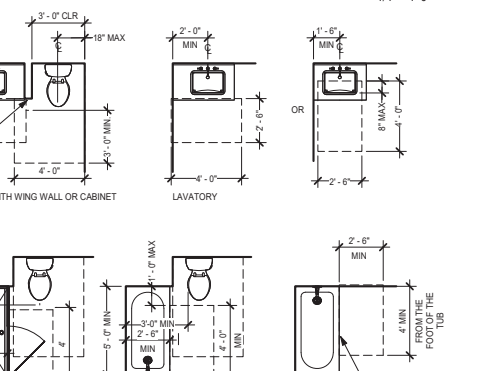
ACCESSIBLE WC MULTIPLE ACCOMMODATION (CBC 11A) 3



SINGLE ACCOMMODATION TOILET FACILITY (CBC 11A) 2



ACCESSIBLE WATER CLOSET COMMON USE FACILITIES (CBC 11A) 1



BATHROOM FIXTURE REQUIRED CLEARANCES
 A. THESE ARE MINIMUM CLEARANCE REQUIREMENTS.
 B. ADJACENT WALLS ARE CONCEPTUAL. SEE PLANS FOR SPECIFIC LAYOUTS.

CLEAR FLOOR AREAS (CBC 11A) 5

GRAB BAR SECTION AND BLOCKING DETAIL (CBC 11A) 17

ACCESSIBLE LAVATORY KNEE AND TOE SPACE (CBC 11A) 13

HEIGHT OF LAUNDRY COMPARTMENT OPENING (CBC 11A) 10

ELEVATOR CLEARANCES, CONTROLS & SIGNAGE (CBC 11A) 6

ACCESSIBLE WC MULTIPLE ACCOMMODATION (CBC 11A) 3

HANDRAILS AND EXTENSIONS (CBC 11A) 18

REACH RANGES - FRONT REACH (CBC 11A) 14

ACCESSIBLE DRINKING FOUNTAIN COMMON USE FACILITIES (CBC 11A) 11

ELEVATOR CONTROL PANEL (CBC 11A) 7

SINGLE ACCOMMODATION TOILET FACILITY (CBC 11A) 2

METAL HANDRAIL DETAIL (CBC 11A) 19

REACH RANGES - SIDE REACH (CBC 1A) 15

MINIMUM CLEAR FLOOR SPACE FOR WHEELCHAIRS (CBC 11A) 16

HEADROOM AND OVERHANGING OBSTRUCTION (CBC 11A) 8

KITCHEN CLEARANCES (CBC 11A) 4

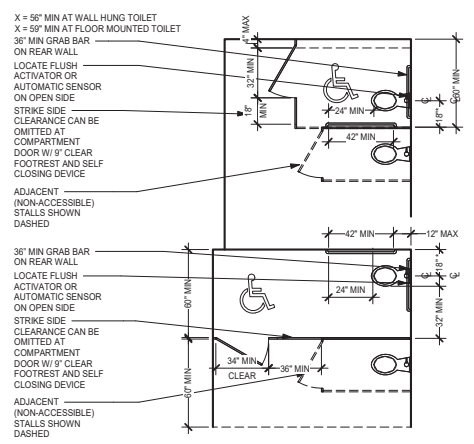
PROTRUDING OBJECTS & HEADROOM CLEARANCES (CBC 11A) 20

MINIMUM CLEAR FLOOR SPACE FOR WHEELCHAIRS (CBC 11A) 16

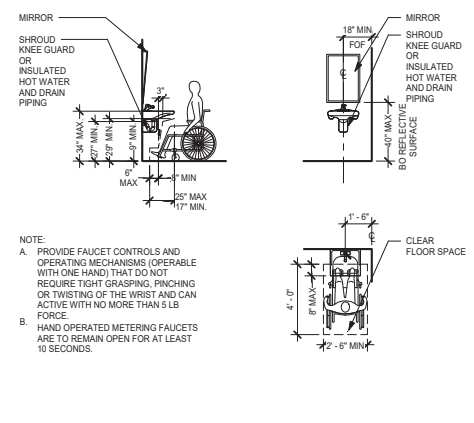
ACCESSIBLE SINK & WORK SURFACE KNEE AND TOE SPACE (CBC 11A) 12

HEADROOM AND OVERHANGING OBSTRUCTION (CBC 11A) 8

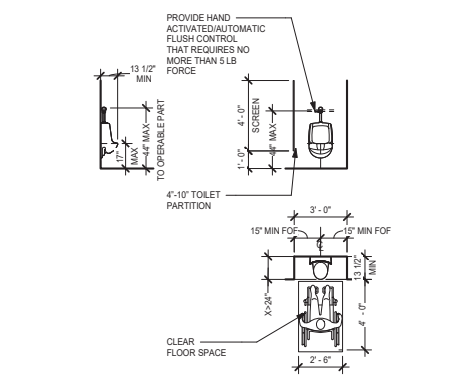
KITCHEN CLEARANCES (CBC 11A) 4



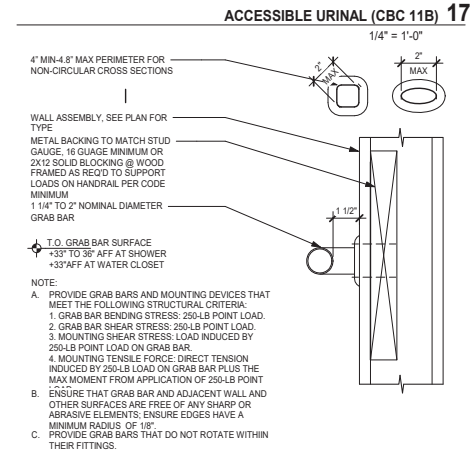
ACCESSIBLE URINAL (CBC 11B) 17
1/4" = 1'-0"



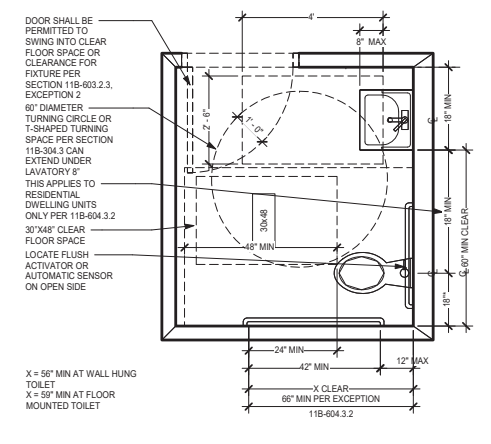
ACCESSIBLE LAVATORY (CBC 11B) 18
1/4" = 1'-0"



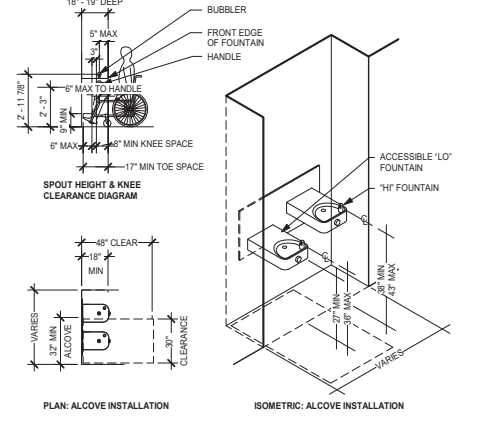
ACCESSIBLE WC MULTIPLE ACCOMMODATION (CBC 11B) 19
1/4" = 1'-0"



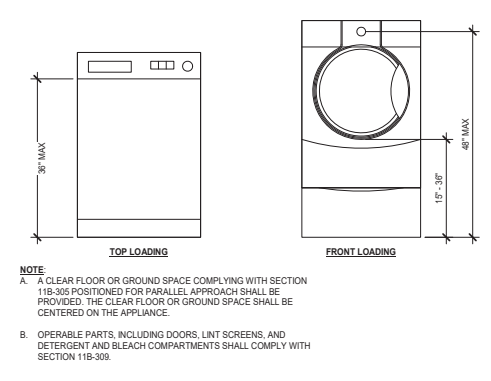
GRAB BAR SECTION AND BLOCKING DETAIL (CBC 11B) 20
3" = 1'-0"



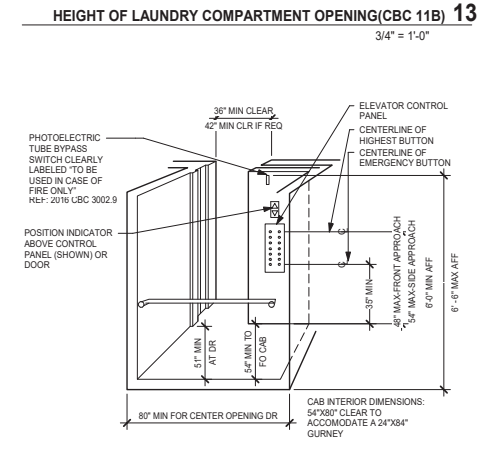
SINGLE ACCOMMODATION TOILET FACILITY (CBC 11B) 21
1/4" = 1'-0"



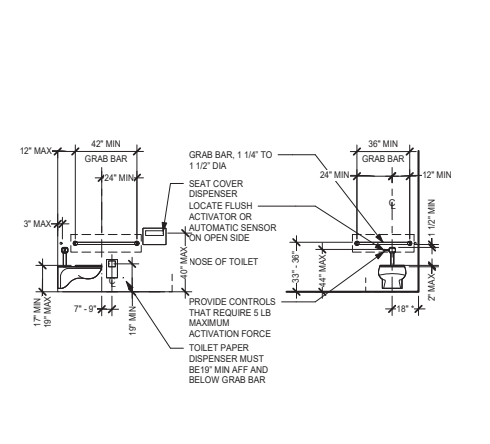
ACCESSIBLE DRINKING FOUNTAIN (CBC 11B) 22
1/4" = 1'-0"



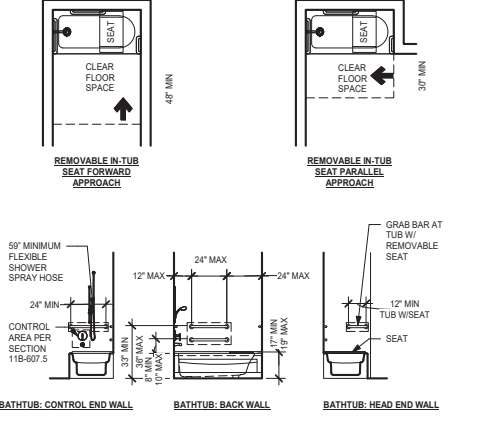
HEIGHT OF LAUNDRY COMPARTMENT OPENING (CBC 11B) 23
3/4" = 1'-0"



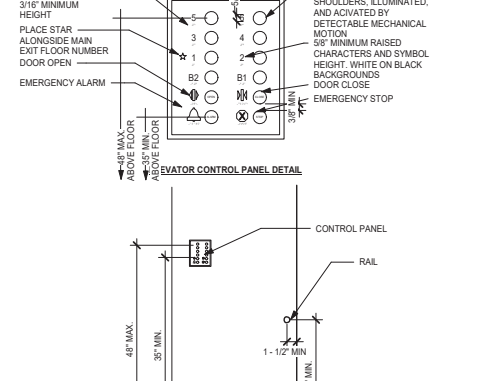
ELEVATOR CAR - GENERAL (CBC 11B) 24
1/4" = 1'-0"



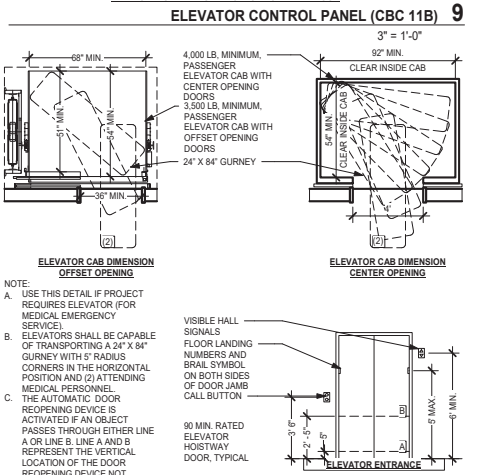
ACCESSIBLE WATER CLOSET (CBC 11B) 25
1/4" = 1'-0"



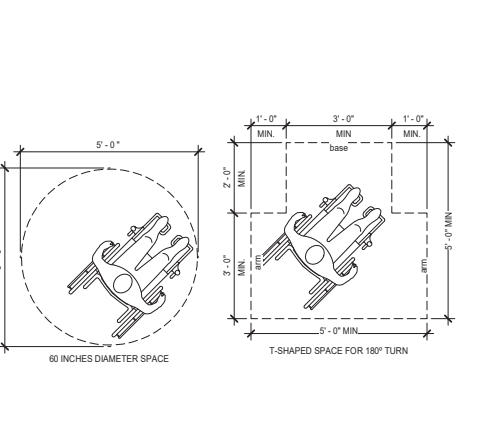
ACCESSIBLE BATHING (CBC 11B) 26
1/4" = 1'-0"



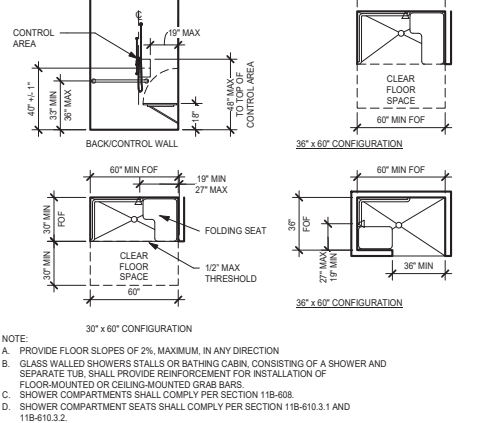
ELEVATOR CONTROL PANEL (CBC 11B) 27
3" = 1'-0"



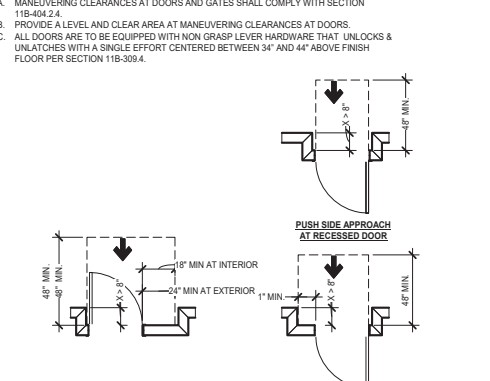
ELEVATOR CLEARANCES, CONTROLS & SIGNAGE (CBC 11B) 28
1/4" = 1'-0"



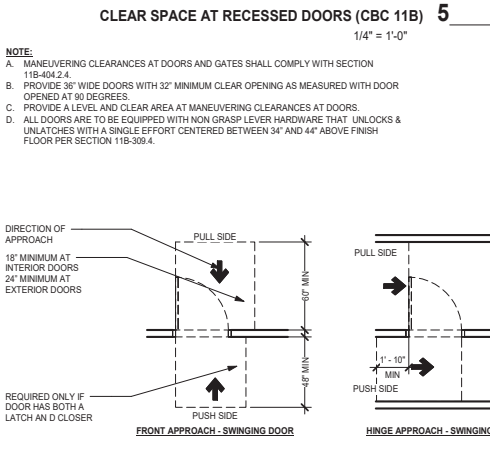
TURNING SPACE SIZE (CBC 11B) 29
1/4" = 1'-0"



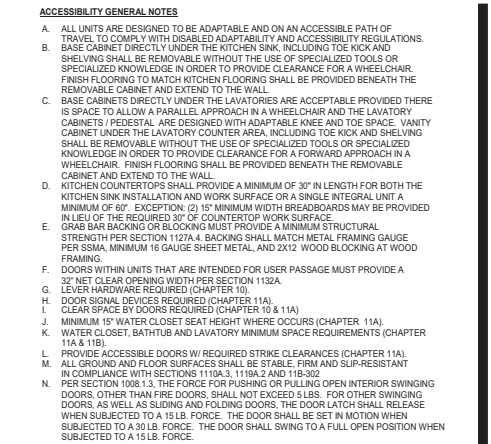
ACCESSIBLE ROLL-IN SHOWER (CBC 11B) 30
1/4" = 1'-0"



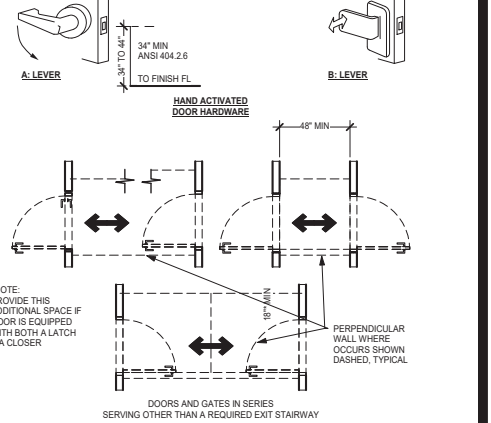
CLEAR SPACE AT RECESSED DOORS (CBC 11B) 31
1/4" = 1'-0"



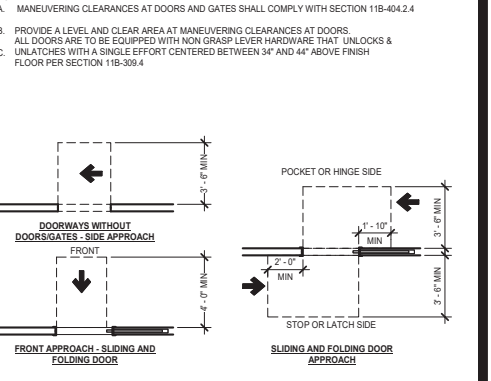
CLEAR SPACE AT SLIDING AND FOLDING DOORS (CBC 11B) 32
1/4" = 1'-0"



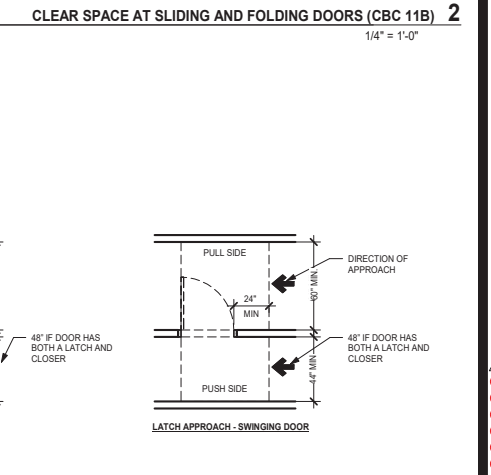
ACCESSIBILITY GENERAL NOTES (CBC 11B) 33
1/4" = 1'-0"



VESTIBULE AND DOOR HARDWARE (CBC 11B) 34
1/4" = 1'-0"

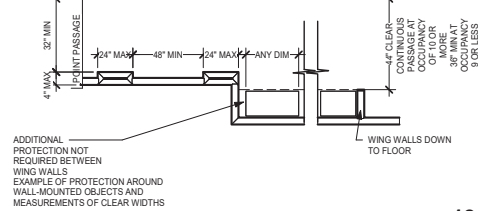


CLEAR SPACE AT SLIDING AND FOLDING DOORS (CBC 11B) 35
1/4" = 1'-0"

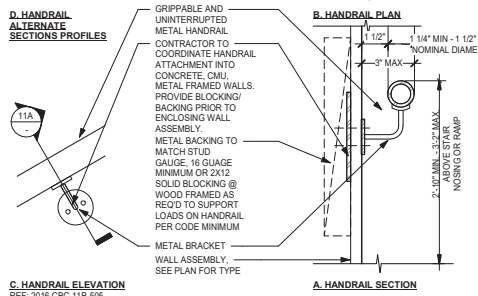
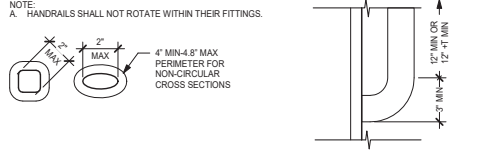


CLEAR SPACE AT DOORS (CBC 11B) 36
1/4" = 1'-0"

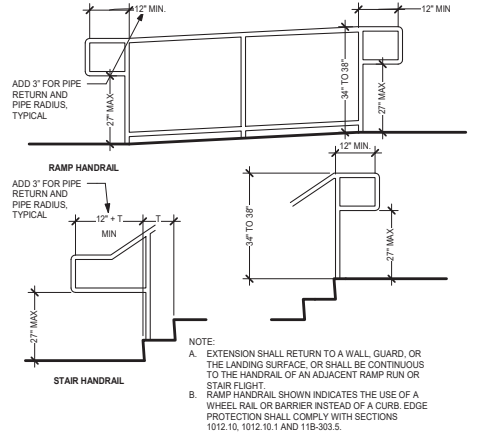
NOTE:
 A. WALKING SURFACES SHALL PROVIDE CLEARANCES COMPLYING WITH SECTION 11B-403.5.
 B. EXCEPT AS PROVIDED IN SECTIONS 11B-403.5.2 AND 11B-403.5.3, THE CLEAR WIDTH OF WALKING SURFACES SHALL BE 36" MINIMUM.
 EXCEPTIONS:
 1. THE CLEAR WIDTH SHALL BE PERMITTED TO BE REDUCED TO 32" MINIMUM FOR A LENGTH OF 24" MAXIMUM PROVIDED THAT REDUCED WIDTH SEGMENTS ARE SEPARATED BY SEGMENTS THAT ARE 48" LONG MINIMUM AND 36" WIDE MINIMUM.
 2. THE CLEAR WIDTH FOR WALKING SURFACES IN CORRIDORS SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE 44" MINIMUM.
 3. THE CLEAR WIDTH FOR SIDEWALKS AND WALKS SHALL BE 48" MINIMUM WHEN, BECAUSE OF RIGHT-OF-WAY RESTRICTIONS, NATURAL BARRIERS OR OTHER EXISTING CONDITIONS, THE ENFORCING AGENCY DETERMINES THAT COMPLIANCE WITH THE 48" CLEAR SIDEWALK WIDTH WOULD CREATE AN UNREASONABLE HARDSHIP, THE CLEAR WIDTH MAY BE REDUCED TO 36".
 4. THE CLEAR WIDTH FOR AISLES SHALL BE 36" MINIMUM IF SERVING ELEMENTS ON ONLY ONE SIDE AND 44" MINIMUM IF SERVING ELEMENTS ON BOTH SIDES.
 5. THE CLEAR WIDTH FOR ACCESSIBLE ROUTES TO ACCESSIBLE TOILET COMPARTMENTS SHALL BE 44" EXCEPT FOR DOOR-OPENING WIDTHS AND DOOR SWINGS, CORRIDOR OR OTHER CIRCULATION SPACE.



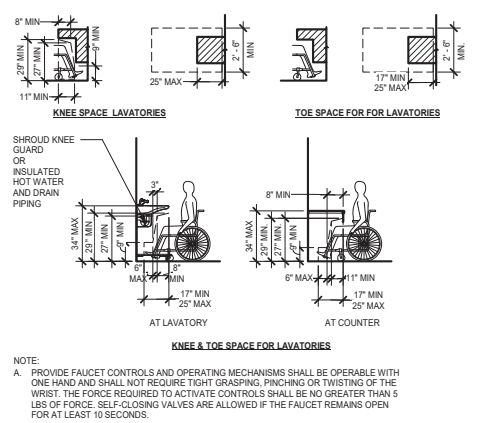
PROJECTION OBJECTS (CBC 11B) 12
 1/4" = 1'-0"



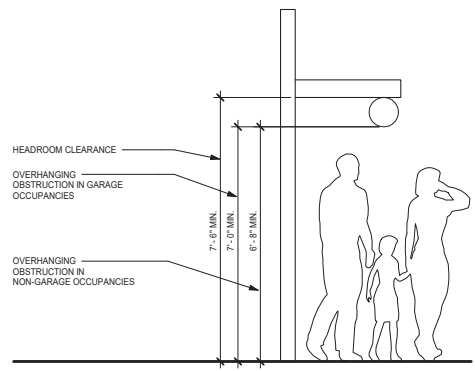
METAL HANDRAIL DETAIL (CBC 11B) 11
 3" = 1'-0"



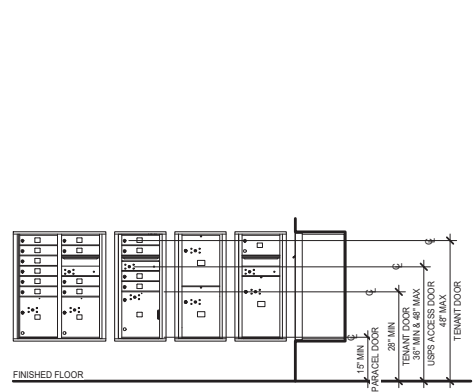
HANDRAILS AND EXTENSIONS (CBC 11B) 10
 1/2" = 1'-0"



ACCESSIBLE LAVATORY KNEE AND TOE SPACE (CBC 11B) 9
 1/4" = 1'-0"

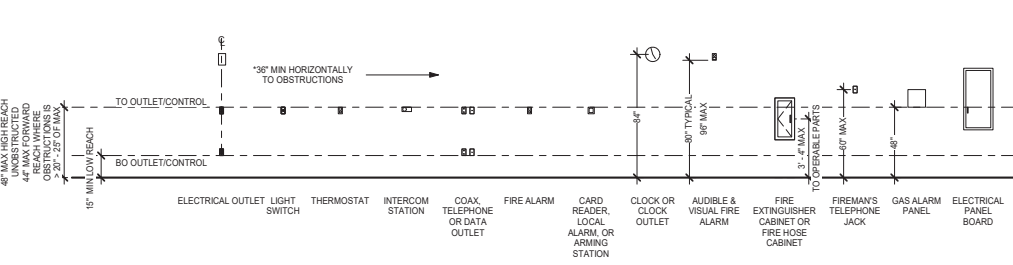


HEADROOM AND OVERHANGING OBSTRUCTION (CBC 11A) 8
 1/2" = 1'-0"

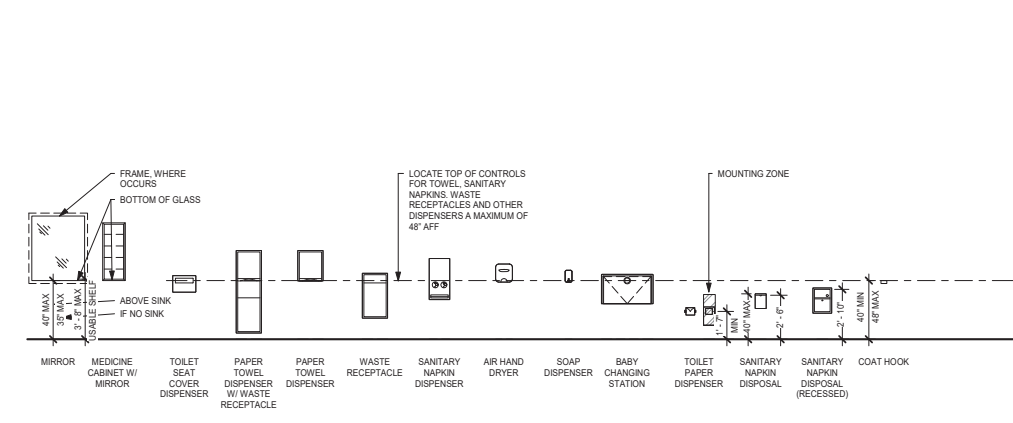


MAIL BOXES MOUNTING HEIGHT REQUIREMENTS 7
 1/2" = 1'-0"

NOTE:
 FOR ABOVE COUNTER OUTLETS, MOUNT 38" HORIZONTALLY FROM ANY ADJACENT WALLS OR OTHER OBSTRUCTIONS TO ALLOW FOR PARALLEL APPROACH.



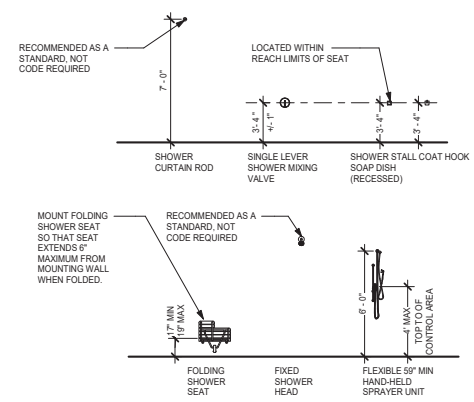
(CBC 11B) ACCESSIBLE OUTLETS & CONTROLS 2
 1/4" = 1'-0"



MOUNTING HEIGHTS FOR RESTROOM ACCESSORIES (CBC 11B) 1
 1/4" = 1'-0"

HAZARDS AT WALKWAYS NOTES
 A. PROVIDE 80" HEADROOM FROM THE WALKWAY SURFACE TO ANY OVERHANGING OBSTRUCTION AT WALKS, CORRIDORS, AISLES AND PASSAGEWAYS.
 B. WHERE VERTICAL CLEARANCE IS LESS THAN 80" PROVIDE A BARRIER WITH THE LEADING EDGE LOCATED 27" MAXIMUM ABOVE THE FLOOR.
 C. LIMIT PROJECTING OBJECTS WITH LEADING EDGES BETWEEN 27" AND 80" ABOVE THE WALKWAY SURFACE TO A MAXIMUM OF 4" AT WALKS, CORRIDORS, AISLES AND PASSAGEWAYS.
 D. OBJECTS WITH LEADING EDGES MOUNTED AT OR BELOW 27" ABOVE THE WALKWAY SURFACE MAY PROTRUDE ANY AMOUNT INTO THE WALK SO LONG AS MINIMUM PASSAGE WIDTHS ARE MAINTAINED.
 E. PROVIDE A MINIMUM 6" TALL WARNING CURB WHERE THERE ARE ABRUPT CHANGES IN LEVEL EXCEEDING 4" IN VERTICAL DISTANCE, EXCEPT BETWEEN A WALK OR SIDEWALK AND AN ADJACENT STREET OR DRIVEWAY.
 F. PROVIDE ROUNDED OR EASED EDGES OF A MINIMUM RADIUS OF 1/8" AT FREE-STANDING SIGNS MOUNTED ON POSTS WHERE THE BOTTOM EDGE OF THE SIGN IS LESS THAN 80" ABOVE THE WALKWAY SURFACE, AND WHERE THE SIGN PROTRUDES FROM ITS MOUNTING POST PER SECTION 11B-307.3.1.

HAZARDS AT WALKWAYS (CBC 11B) 4
 1/4" = 1'-0"



ACCESSIBLE SHOWER ACCESSORIES (CBC 11B) 3
 1/4" = 1'-0"

PROTRUDING OBJECTS & HEADROOM CLEARANCES (CBC 11B) 13
 1/4" = 1'-0"

GENERAL NOTES

ALLOWABLE AREA NOTES: (ALL CALCULATIONS PER CALIFORNIA BUILDING CODE)

SECTION 501.1 AREA MODIFICATIONS: THE AREAS LISTED BY TABLE 503 SHALL BE PERMITTED TO BE INCREASED DUE TO FRONTAGE (F) AND AUTOMATIC SPRINKLER SYSTEM PROTECTION (S) IN ACCORDANCE WITH THE FOLLOWING:

$A_s = (A) + (A) \times (F) + (A) \times (S)$, WHERE:

A = ALLOWABLE AREA

A1 = TABULAR AREA FROM TABLE 503

I = SPRINKLER FACTOR

SECTION 501.2 FRONTAGE INCREASE: WHERE A BUILDING HAS MORE THAN 25 PERCENT OF ITS PERIMETER ON A PUBLIC WAY OR OPEN SPACE HAVING A MINIMUM WIDTH OF 20 FEET, THE FRONTAGE INCREASE SHALL BE DETERMINED BY THE FOLLOWING:

$I = FIP - 0.25(W/30)$, WHERE:

F = BUILDING PERIMETER THAT FRONTS ON A PUBLIC WAY OR OPEN SPACE HAVING 20' OPEN MINIMUM WIDTH

P = PERIMETER OF ENTIRE BUILDING

W = WIDTH OF PUBLIC WAY OR OPEN SPACE, WHERE THE VALUE OF W EXCEEDS 30 FEET A VALUE OF 30 FEET SHALL BE USED IN CALCULATING THE WEIGHTED AVERAGE, REGARDLESS OF THE ACTUAL WIDTH OF THE OPEN SPACE. NOTE: W IS MEASURED TO THE CENTER OF THE PUBLIC WAY

SECTION 501.3 AUTOMATIC SPRINKLER SYSTEM: WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM, THE AREA LIMITATION TABLE 503 IS PERMITTED TO BE INCREASED BY AN ADDITIONAL 200 PERCENT ($I = 2$) FOR BUILDINGS WITH MORE THAN ONE STORY ABOVE GRADE PLANE.

SECTION 501.4 AREA DETERMINATION: FOR GROUP A, E, H, I, L AND R OCCUPANCIES, THE MAXIMUM AREA OF A BUILDING WITH MORE THAN ONE STORY ABOVE GRADE PLANE SHALL BE DETERMINED BY MULTIPLYING THE ALLOWABLE AREA OF THE FIRST FLOOR STORY (A1) BY THE NUMBER OF STORIES ABOVE GRADE AS LISTED BELOW:

1. FOR BUILDINGS WITH TWO OR MORE STORIES ABOVE GRADE PLANE, MULTIPLY BY 2.

SECTION 501.2 HEIGHT INCREASES: AUTOMATIC SPRINKLER SYSTEM INCREASE. FOR GROUP R-2 BUILDINGS OF TYPE VA CONSTRUCTION EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM, THE VALUE SPECIFIED IN TABLE 503 FOR MAXIMUM HEIGHT IS INCREASED BY 20 FEET AND THE MAXIMUM NUMBER OF STORIES IS INCREASED BY ONE, BUT SHALL NOT EXCEED 16 FEET OR 18 STORIES. THESE INCREASES ARE PERMITTED IN ADDITION TO THE AREA INCREASE IN ACCORDANCE WITH SECTION 506.3.

SECTION 501.7 HORIZONTAL BUILDING SEPARATION ALLOWANCE: A BUILDING SHALL BE CONSIDERED AS SEPARATE AND DISTINCT BUILDINGS FOR THE PURPOSE OF DETERMINING AREA LIMITATIONS, CONTINUITY OF FIRE WALLS, LIMITATIONS OF NUMBER OF STORIES AND TYPE OF CONSTRUCTION WHERE ALL OF THE FOLLOWING CONDITIONS ARE MET:

1. THE BUILDINGS ARE SEPARATED WITH HORIZONTAL ASSEMBLY HAVING A FIRE-RESISTANCE RATING OF NOT LESS THAN 3 HOURS.
2. THE BUILDING BELOW THE HORIZONTAL ASSEMBLY IS NOT GREATER THAN ONE STORY ABOVE GRADE PLANE.
3. THE BUILDING BELOW THE HORIZONTAL ASSEMBLY IS OF TYPE IA CONSTRUCTION.
4. SHAFT, STAIRWAY, RAMP AND ESCALATOR ENCLOSURES THROUGH THE HORIZONTAL ASSEMBLY SHALL HAVE NOT LESS THAN A 2-HOUR FIRE-RESISTANCE RATING WITH OPENING PROTECTIVES IN ACCORDANCE WITH SECTION 716.5, EXCEPT:
- A. THE BUILDING ABOVE THE HORIZONTAL ASSEMBLY IS NOT REQUIRED TO BE OF TYPE I CONSTRUCTION.
- B. THE ENCLOSURE CONNECTS FEWER THAN FOUR STORIES, AND
- C. THE ENCLOSURE OPENING PROTECTIVES ABOVE THE HORIZONTAL ASSEMBLY HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 1 HOUR.
5. THE BUILDING OR BUILDINGS ABOVE THE HORIZONTAL ASSEMBLY SHALL BE PERMITTED TO HAVE MULTIPLE OCCUPANCY USES, EACH WITH AN OCCUPANT LOAD OF LESS THAN 300, OR GROUP B, M, R OR S OCCUPANCIES.
6. THE BUILDING BELOW THE HORIZONTAL ASSEMBLY SHALL BE PROTECTED THROUGHOUT BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 AND SHALL BE PERMITTED TO BE ANY OF THE FOLLOWING OCCUPANCIES:
 - 6.1 GROUP S-2 PARKING GARAGE USED FOR THE PARKING AND STORAGE OF PRIVATE MOTOR VEHICLES.
 - 6.2 MULTIPLE GROUP A, EACH WITH AN OCCUPANT LOAD OF LESS THAN 300.
 - 6.3 GROUP B.
 - 6.4 GROUP R.
 - 6.5 GROUP R-1, AND
 - 6.6 USES INCIDENTAL TO THE OPERATION OF THE BUILDING (INCLUDING ENTRY LOBBIES, MECHANICAL ROOMS, STORAGE AREAS, AND SIMILAR USES).
7. THE MAXIMUM BUILDING HEIGHT IN FEET SHALL NOT EXCEED THE LIMITS SET FORTH IN SECTION 705.5 FOR THE BUILDING HAVING THE SMALLER ALLOWABLE HEIGHTS AS MEASURED FROM THE GRADE PLANE.

SECTION 706.5 HORIZONTAL CONTINUITY: FIRE WALLS SHALL BE CONTINUOUS FROM EXTERIOR WALL TO EXTERIOR WALL AND SHALL EXTEND AT LEAST 18" BEYOND THE EXTERIOR SURFACE OF EXTERIOR WALLS.

EXCEPTION:

3. FIRE WALLS SHALL BE PERMITTED TO TERMINATE AT THE INTERIOR SURFACE OF NONCOMBUSTIBLE EXTERIOR SHEATHING WHERE THE BUILDING ON EACH SIDE OF THE FIRE WALL IS PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2.

SECTION 706.5.1 EXTERIOR WALLS: WHERE THE FIRE WALL INTERSECTS EXTERIOR WALLS, THE FIRE-RESISTANCE RATING AND OPENING PROTECTION OF THE EXTERIOR WALLS SHALL COMPLY WITH:

2. BUILDINGS OR SPACES ON BOTH SIDES OF THE INTERSECTING FIRE WALL SHALL ASSUME TO HAVE AN IMAGINARY LOT LINE AT THE FIRE WALL AND EXTENDING BEYOND THE EXTERIOR OF THE FIRE WALL. THE LOCATION OF THE ASSUMED LINE IN RELATION TO THE EXTERIOR WALLS AND THE FIRE WALL SHALL BE SUCH THAT THE EXTERIOR WALL AND OPENING PROTECTION MEET THE REQUIREMENTS SET FORTH IN SECTIONS 705.5 AND 705.8. SUCH PROTECTION IS NOT REQUIRED FOR EXTERIOR WALLS TERMINATING AT FIRE WALLS THE FROM AN ANGLE EQUAL TO OR GREATER THAN 180 DEGREES.

SECTION 706.5.2 HORIZONTAL PROJECTING ELEMENTS: FIRE WALLS SHALL EXTEND TO THE OUTER EDGE OF HORIZONTAL PROJECTING ELEMENTS SUCH AS BALCONIES, ROOF OVERHANGS, CANOPIES, MARQUEES AND SIMILAR PROJECTIONS THAT ARE WITHIN 4 FEET OF THE FIRE WALL.

SECTION 706.6 VERTICAL CONTINUITY: FIRE WALLS SHALL EXTEND FROM THE FOUNDATION TO A TERMINATION POINT AT LEAST 30" ABOVE BOTH ADJACENT ROOFS.

EXCEPTIONS:

1. STEPPED BUILDING IN ACCORDANCE WITH SECTION 706.6.1. FIRE WALL SHALL TERMINATE AT A POINT NOT LESS THAN 30" ABOVE THE LOWER ROOF LEVEL. THE EXTERIOR WALL ABOVE THE LOWER ROOF SHALL NOT HAVE LESS THAN A 1-HR FIRE-RESISTANCE-RATED CONSTRUCTION FROM BOTH SIDES WITH OPENINGS PROTECTED BY FIRE ASSEMBLIES HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 1-HR FOR A MINIMUM HEIGHT OF 15 FEET.
2. 2 HOUR FIRE-RESISTANCE-RATED WALLS SHALL BE PERMITTED TO TERMINATE AT THE UNDERSIDE OF THE ROOF SHEATHING, DECK OR SLAB, PROVIDED:
 - 2.1. THE LOWER ROOF ASSEMBLY WITHIN 4 FEET OF THE WALL HAS NOT LESS THAN A 1-HOUR FIRE RESISTANCE RATING AND THE ENTIRE LENGTH AND SPAN OF SUPPORTING ELEMENTS FOR THE LOWER ROOF ASSEMBLY HAS A FIRE-RESISTANCE RATING OF NOT LESS THAN 1 HOUR.
 - 2.2. OPENINGS IN THE ROOF SHALL NOT BE LOCATED WITHIN 4 FEET OF THE FIRE WALL.
 - 2.3. EACH BUILDING SHALL BE PROVIDED WITH NOT LESS THAN A CLASS B ROOF COVERING.
3. WALLS SHALL BE PERMITTED TO TERMINATE AT THE UNDERSIDE OF NONCOMBUSTIBLE ROOF SHEATHING, DECK OR SLABS WHERE BOTH BUILDINGS ARE PROVIDED WITH NOT LESS THAN A CLASS B ROOF COVERING. OPENINGS IN THE ROOF SHALL NOT BE LOCATED WITHIN 4 FEET OF THE FIRE WALL.
 - 4.1. THERE ARE NO OPENINGS IN THE ROOF WITHIN 4 FEET OF THE FIRE WALL.
 - 4.2. THE ROOF IS COVERED WITH A MINIMUM CLASS B ROOF COVERING, AND
 - 4.3. THE ROOF SHEATHING OR DECKS IS CONSTRUCTED OF FIRE-RETARDANT-TREATED WOOD FOR A DISTANCE OF 4 FEET ON BOTH SIDES OF THE WALL, OR THE ROOF IS PROTECTED WITH 5/8" TYPE 'X' GYPSUM BOARD DIRECTLY BENEATH THE UNDERSIDE OF THE ROOF SHEATHING OR DECK, SUPPORTED BY A MINIMUM OF 2" LEADERS ATTACHED TO THE SIDES OF THE FRAMING MEMBERS FOR A MINIMUM DISTANCE OF 4 FEET ON BOTH SIDES OF THE FIRE WALL.

GENERAL NOTES (CONT.)

J. SECTION 706.8 OPENINGS: EACH OPENING THROUGH A FIRE WALL SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 716.5 AND SHALL NOT EXCEED 156 SQ FT. THE AGGREGATE WIDTH OF OPENINGS AT ANY FLOOR LEVEL SHALL NOT EXCEED 25% OF THE LENGTH OF THE WALL.

EXCEPTIONS:

2. OPENINGS SHALL NOT BE LIMITED TO 156 SQ FT WHERE BOTH BUILDINGS ARE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1.

K. AN ALTERNATE MATERIALS AND METHODS OF CONSTRUCTION REQUEST HAS BEEN TO ALLOW TWO STORIES BELOW THE HORIZONTAL ASSEMBLY TO ADDRESS THE LIMITATIONS IMPOSED BY SECTION 510.2 ITEM 2, WHICH LIMITS THE NUMBER OF STORIES BELOW THE 3-HOUR HORIZONTAL ASSEMBLY TO BE 1 STORY ABOVE GRADE PLANE. SEE SHEET A0.08 FOR MORE INFORMATION.

L. ALL OPENINGS IN THE 3-HOUR FIRE WALL ASSEMBLIES SHALL BE 3-HOUR RATED EXCEPT WHERE FIRE SEPARATION DISTANCE ACHIEVES A LOWER RATING PER TABLE 602.

UNLESS OTHERWISE NOTED ALLOWABLE EXTERIOR WALL OPENINGS HAVE NO LIMIT.

WALL TYPE NOTES

- U.O.N. TYPICAL EXTERIOR WALLS TO BE TYPE B1 (REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS).
- TYPICAL CONC. BASEMENT WALLS TO BE TYPE A1, U.O.N.
- TYPICAL CMU BASEMENT WALLS TO BE TYPE A10, U.O.N.
- TYPICAL INT. 1-HR CORRIDOR WALLS TO BE TYPE C1, U.O.N.
- TYPICAL INTERIOR 1-HR CORRIDOR WALLS AT BATHROOM PLUMBING TO BE TYPE C2, U.O.N.
- TYPICAL 1-HR UNIT SEPARATION WALLS TO BE TYPE D2 U.O.N. (S.S.D. FOR STUD AND SHEAR CONFIGURATION).
- TYPICAL INTERIOR UNIT WALLS TO BE TYPE E2.
- TYPICAL INTERIOR UNIT PLUMBING WALLS TO BE TYPE E3.
- TYPICAL 1-HR UNIT SEPARATION WALLS AT PLUMBING WALLS TO BE TYPE D1 U.O.N. (S.S.D. FOR STUD AND SHEAR CONFIGURATION).
- TYPICAL 2-HR INTERIOR SHAFT WALL TO BE S1, U.O.N.
- TYPICAL 2-HR INTERIOR SHAFT WALL BETWEEN UNITS, STAIRS, & HOISTWAY TO BE D4, U.O.N.

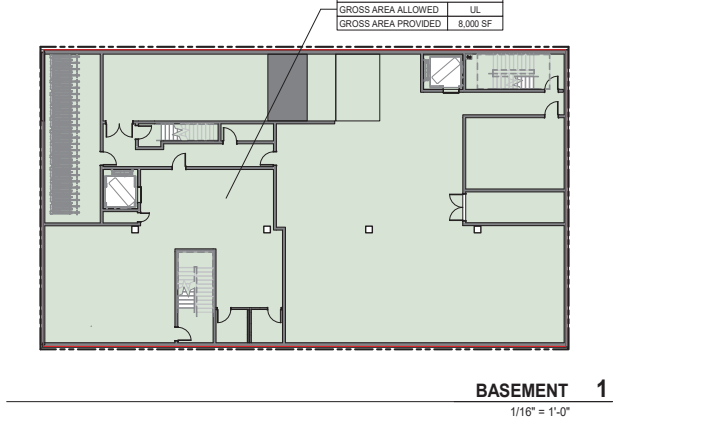
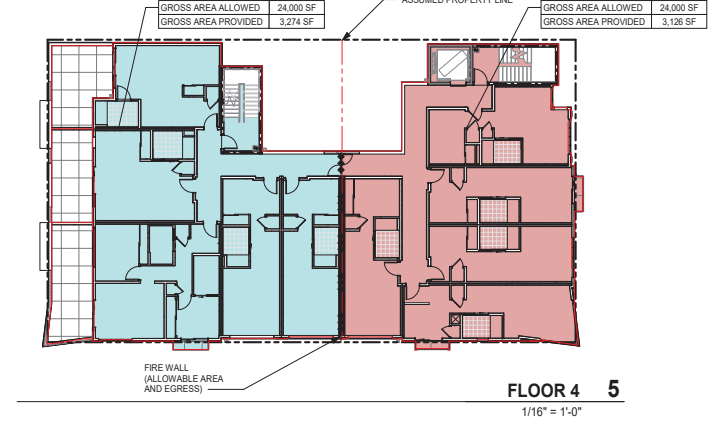
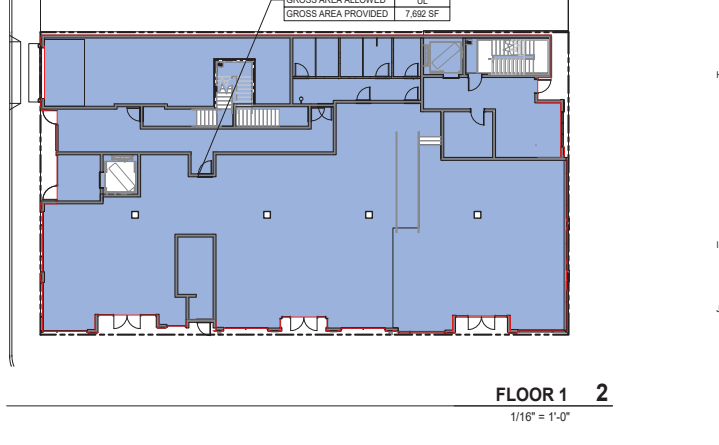
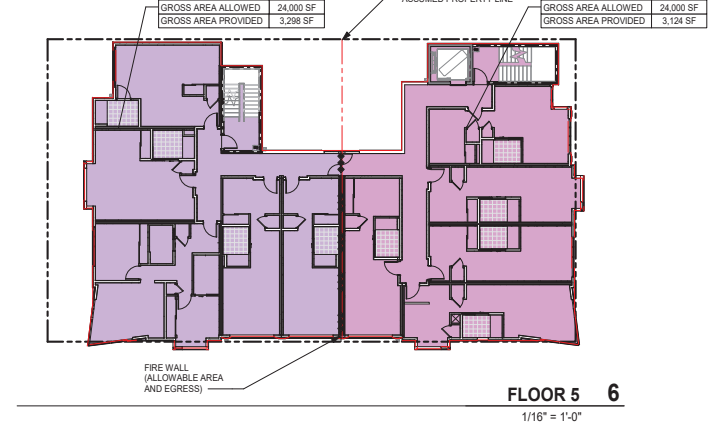
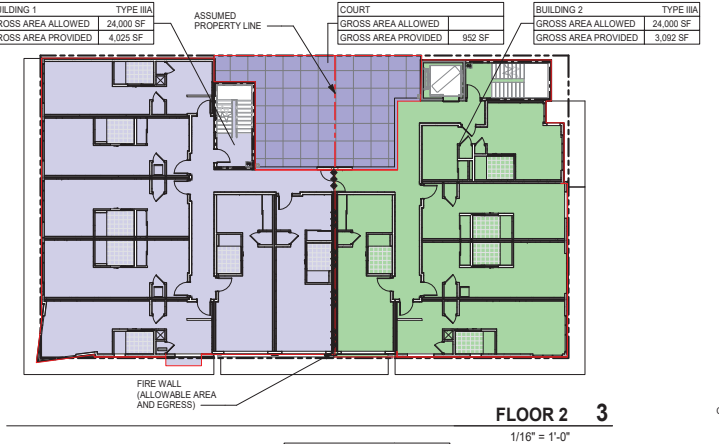
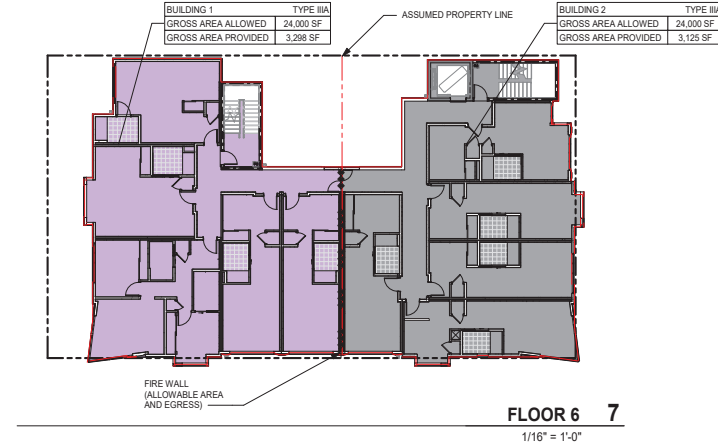
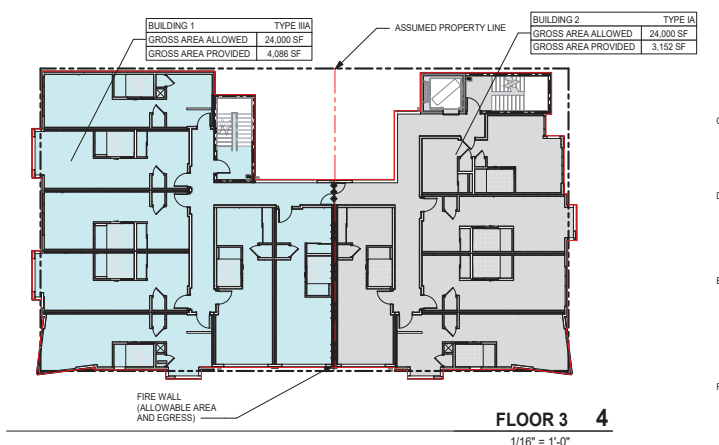
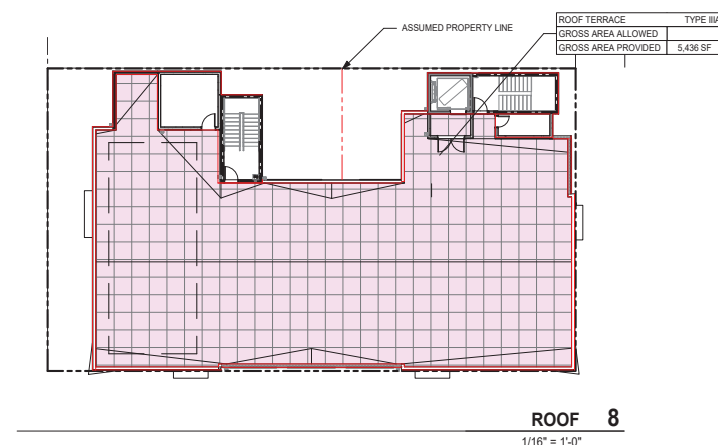
LEGEND

NOTE: SEE A10.00 FOR SPECIFIC WALL TYPES

- PARTIAL HEIGHT WALL
- FULL HEIGHT WALL
- CONCRETE WALL/COLUMN, S.S.D.
- 1-HOUR FIRE BARRIER (45 MIN OPENING PROTECTION, EXCEPT FOR 20 MIN @ CORRIDOR)
- 2-HOUR FIRE BARRIER (90 MIN OPENING PROTECTION)
- 3-HOUR FIRE BARRIER
- 3-HR RATED WALL
- 2-HR RATED WALL
- 1-HR RATED WALL
- PROPERTY LINE
- BUILDING AREA

TABLE 706.8. MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE WITH UNPROTECTED OPENINGS IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.

| SEPARATION DISTANCE | ALLOWABLE AREA |
|---------------------|----------------|
| 0 FT < 3 FT | NOT PERMITTED |
| 3 FT < 5 FT | 15% |
| 5 FT < 10 FT | 25% |
| 10 FT < 15 FT | 45% |
| 15 FT < 20 FT | 75% |
| > 20 FT | NO LIMIT |



SECTION 706.5.1 EXTERIOR WALLS: WHERE THE FIRE WALL INTERSECTS EXTERIOR WALLS, THE FIRE-RESISTANCE RATING AND OPENING PROTECTION OF THE EXTERIOR WALLS SHALL COMPLY WITH:

2. BUILDINGS OR SPACES ON BOTH SIDES OF THE INTERSECTING FIRE WALL SHALL ASSUME TO HAVE AN IMAGINARY LOT LINE AT THE FIRE WALL AND EXTENDING BEYOND THE EXTERIOR OF THE FIRE WALL. THE LOCATION OF THE ASSUMED LINE IN RELATION TO THE EXTERIOR WALLS AND THE FIRE WALL SHALL BE SUCH THAT THE EXTERIOR WALL AND OPENING PROTECTION MEET THE REQUIREMENTS SET FORTH IN SECTIONS 705.5 AND 705.8. SUCH PROTECTION IS NOT REQUIRED FOR EXTERIOR WALLS TERMINATING AT FIRE WALLS THE FROM AN ANGLE EQUAL TO OR GREATER THAN 180 DEGREES.

SECTION 706.5.2 HORIZONTAL PROJECTING ELEMENTS: FIRE WALLS SHALL EXTEND TO THE OUTER EDGE OF HORIZONTAL PROJECTING ELEMENTS SUCH AS BALCONIES, ROOF OVERHANGS, CANOPIES, MARQUEES AND SIMILAR PROJECTIONS THAT ARE WITHIN 4 FEET OF THE FIRE WALL.

SECTION 706.6 VERTICAL CONTINUITY: FIRE WALLS SHALL EXTEND FROM THE FOUNDATION TO A TERMINATION POINT AT LEAST 30" ABOVE BOTH ADJACENT ROOFS.

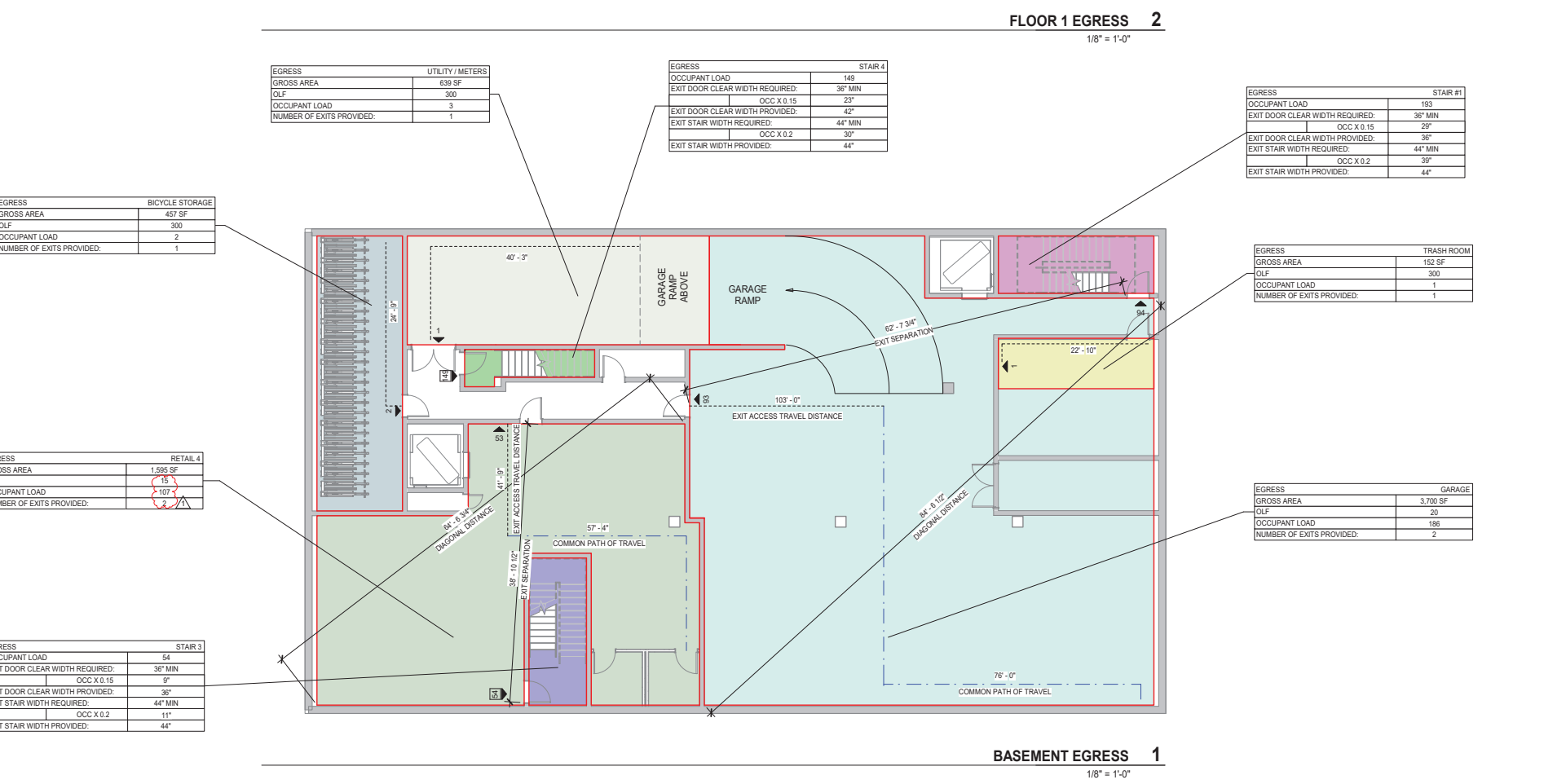
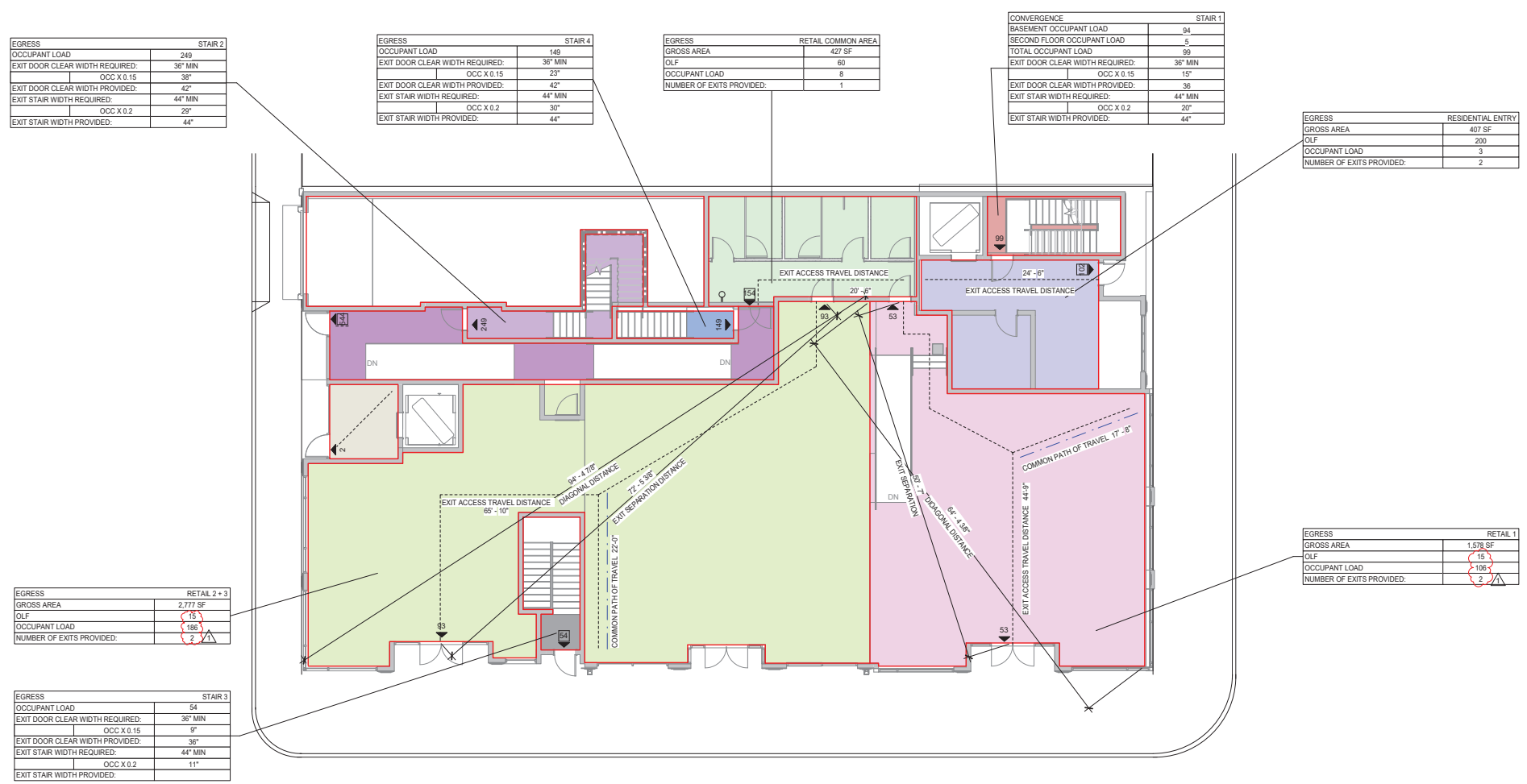
EXCEPTIONS:

1. STEPPED BUILDING IN ACCORDANCE WITH SECTION 706.6.1. FIRE WALL SHALL TERMINATE AT A POINT NOT LESS THAN 30" ABOVE THE LOWER ROOF LEVEL. THE EXTERIOR WALL ABOVE THE LOWER ROOF SHALL NOT HAVE LESS THAN A 1-HR FIRE-RESISTANCE-RATED CONSTRUCTION FROM BOTH SIDES WITH OPENINGS PROTECTED BY FIRE ASSEMBLIES HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 1-HR FOR A MINIMUM HEIGHT OF 15 FEET.
2. 2 HOUR FIRE-RESISTANCE-RATED WALLS SHALL BE PERMITTED TO TERMINATE AT THE UNDERSIDE OF THE ROOF SHEATHING, DECK OR SLAB, PROVIDED:
 - 2.1. THE LOWER ROOF ASSEMBLY WITHIN 4 FEET OF THE WALL HAS NOT LESS THAN A 1-HOUR FIRE RESISTANCE RATING AND THE ENTIRE LENGTH AND SPAN OF SUPPORTING ELEMENTS FOR THE LOWER ROOF ASSEMBLY HAS A FIRE-RESISTANCE RATING OF NOT LESS THAN 1 HOUR.
 - 2.2. OPENINGS IN THE ROOF SHALL NOT BE LOCATED WITHIN 4 FEET OF THE FIRE WALL.
 - 2.3. EACH BUILDING SHALL BE PROVIDED WITH NOT LESS THAN A CLASS B ROOF COVERING.
3. WALLS SHALL BE PERMITTED TO TERMINATE AT THE UNDERSIDE OF NONCOMBUSTIBLE ROOF SHEATHING, DECK OR SLABS WHERE BOTH BUILDINGS ARE PROVIDED WITH NOT LESS THAN A CLASS B ROOF COVERING. OPENINGS IN THE ROOF SHALL NOT BE LOCATED WITHIN 4 FEET OF THE FIRE WALL.
 - 4.1. THERE ARE NO OPENINGS IN THE ROOF WITHIN 4 FEET OF THE FIRE WALL.
 - 4.2. THE ROOF IS COVERED WITH A MINIMUM CLASS B ROOF COVERING, AND
 - 4.3. THE ROOF SHEATHING OR DECKS IS CONSTRUCTED OF FIRE-RETARDANT-TREATED WOOD FOR A DISTANCE OF 4 FEET ON BOTH SIDES OF THE WALL, OR THE ROOF IS PROTECTED WITH 5/8" TYPE 'X' GYPSUM BOARD DIRECTLY BENEATH THE UNDERSIDE OF THE ROOF SHEATHING OR DECK, SUPPORTED BY A MINIMUM OF 2" LEADERS ATTACHED TO THE SIDES OF THE FRAMING MEMBERS FOR A MINIMUM DISTANCE OF 4 FEET ON BOTH SIDES OF THE FIRE WALL.

- GENERAL NOTES**
- SEPARATION DISTANCE BETWEEN AT LEAST TWO EXITS SHALL BE 1/3 DIAGONAL DIMENSION OF BUILDING. SEE DIAGRAMS FOR EXIT SEPARATION DISTANCE DIMENSIONS.
 - COMMON PATH OF EGRESS TRAVEL (CBC TABLE 1014.3) SPRINKLERED S-2 = 400' SPRINKLERED B = 100' SPRINKLERED R-2 = 125'
 - EXIT ACCESS TRAVEL DISTANCE (CBC TABLE 1016.2) SPRINKLERED S-2 = 400' SPRINKLERED B = 300' SPRINKLERED R-2 = 250'
 - EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE SIGNAGE POSTED IN A CONSPICUOUS PLACE WITH THE ALLOWABLE OCCUPANT LOAD NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY. FINAL POSTED SIGN LOCATIONS AND TYPE SHALL BE APPROVED BY THE FIRE AND BUILDING INSPECTORS PRIOR TO FINAL BUILDING OCCUPANCY CERTIFICATION PER CBC 1004.3.
 - CLASS I STANDPIPE HOSE CONNECTION SHALL BE PROVIDED ON EACH SIDE OF THE WALL ADJACENT TO THE EXIT OPENING OF A HORIZONTAL EXIT EXCEPT WHERE FLOOR AREAS ADJACENT TO A HORIZONTAL EXIT ARE REACHABLE FROM EXIT STAIRWAY HOSE CONNECTIONS BY A NOZZLE ATTACHED TO 100 FEET OF HOSE AS MEASURED ALONG THE PATH OF TRAVEL. A HOSE CONNECTION SHALL NOT BE REQUIRED AT THE HORIZONTAL EXIT.
 - DOOR OPENING WIDTHS NOTED IN TABLES ARE BASED ON THE NET CLEAR DOOR OPENING WIDTH FROM FACE OF DOOR TO DOOR STOP.
 - A TYPICAL DOOR OPENING IS 5'-0" U.O.N. WITH A NET CLEAR OPENING OF 53 1/2" WHICH HAS AN OCCUPANT LOAD CAPACITY OF 167 OCCUPANTS.
 - PER CBC 1005.3.1 & 1005.3.2 EXCEPTIONS, MINIMUM REQUIRED EGRESS WIDTHS PROVIDED ARE BASED ON THE BUILDING BEING EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM (CBC 903.3.1.1 OR 903.3.1.2) AND AN EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM IN ACCORDANCE WITH CBC 907.5.2.2.

- SHEET NOTES**
- NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.
- 2 HOUR VERTICAL EXIT ENCLOSURE (CBC SECTION 1022.2) 80 MIN. DOOR (CBC TABLE 716.5)
 - 2 HOUR ELEVATOR SHAFT (CBC SECTION 713.5) 90 MIN. ELEVATOR DOOR (CBC TABLE 716.5)
 - 2 HOUR MECHANICAL SHAFT (CBC SECTION 713.5)
 - 2 HOUR TRASH CHUTE ENCLOSURE (CBC SECTION 707.3.1) 80 MIN. DOOR (CBC TABLE 716.5)
 - EXIT DISCHARGE (CBC SECTION 1027.1)
 - 1 HOUR CORRIDOR (CBC SECTION 1018) WITH 20 MIN. UNIT DOORS (CBC SECTION 716.5.3)
 - 5' WIDE EXIT PATH OF TRAVEL
 - SMOKE BARRIER
 - WORST CASE ACCESS TRAVEL DISTANCE, INCLUDING WORST CASE COMMON PATH OF EGRESS
 - 3 HOUR BARRIER WALL

- LEGEND**
- EXIT
 - 9 OCCUPANT LOAD
 - EXIT
 - 15 CUMULATIVE OCCUPANT LOAD
 - 106 H.E. HORIZONTAL EXIT
 - EXIT DISCHARGE
 - PARTIAL HEIGHT WALL
 - FULL HEIGHT WALL
 - CONCRETE WALL/COLUMN, S.S.D.
 - 1-HOUR FIRE BARRIER [45 MIN OPENING PROTECTION, EXCEPT FOR 20 MIN @ CORRIDOR]
 - 2-HOUR FIRE BARRIER [90 MIN OPENING PROTECTION]
 - 3-HOUR FIRE WALL
 - 60'-0" EXTENT OF TRAVEL DISTANCE EXIT ACCESS PATH OF TRAVEL
 - 60'-0" EXTENT OF TRAVEL DISTANCE COMMON PATH OF EGRESS TRAVEL
 - EXIT SEPARATION DISTANCE
 - PROPERTY LINE
 - SMOKE BARRIER
 - EXIT DISCHARGE
 - 2-HR RATED WALL
 - 1-HR RATED WALL





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**EGRESS
DIAGRAMS**

Sheet Title As indicated
Plan No. 1804 DRAWN BY SP
Sheet Size 30 X 42

GENERAL NOTES

- A. SEPARATION DISTANCE BETWEEN AT LEAST TWO EXITS SHALL BE 1/3 DIAGONAL DIMENSION OF BUILDING. SEE DIAGRAMS FOR EXIT SEPARATION DISTANCE DIMENSIONS.
- B. COMMON PATH OF EGRESS TRAVEL (CBC TABLE 1014.3)
SPRINKLERED S-2 = 400'
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- C. EXIT ACCESS TRAVEL DISTANCE (CBC TABLE 1016.2)
SPRINKLERED S-2 = 400'
SPRINKLERED B = 300'
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- D. EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE SIGNAGE POSTED IN A CONSPICUOUS PLACE WITH THE ALLOWABLE OCCUPANT LOAD NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY. FINAL POSTED SIGN LOCATIONS AND TYPE SHALL BE APPROVED BY THE FIRE AND BUILDING INSPECTORS PRIOR TO FINAL BUILDING OCCUPANCY CERTIFICATION PER CBC 1004.3.
- E. CLASS I STANDPIPE HOSE CONNECTION SHALL BE PROVIDED ON EACH SIDE OF THE WALL ADJACENT TO THE EXIT OPENING OF A HORIZONTAL EXIT EXCEPT WHERE FLOOR AREAS ADJACENT TO A HORIZONTAL EXIT ARE REACHABLE FROM EXIT STAIRWAY HOSE CONNECTIONS BY A NOZZLE ATTACHED TO 100 FEET OF HOSE AS MEASURED ALONG THE PATH OF TRAVEL. A HOSE CONNECTION SHALL NOT BE REQUIRED AT THE HORIZONTAL EXIT.
- F. DOOR OPENING WIDTHS NOTED IN TABLES ARE BASED ON THE NET CLEAR DOOR OPENING WIDTH FROM FACE OF DOOR TO DOOR STOP.
- G. A TYPICAL DOOR OPENING IS 3'-0" U.O.N. WITH A NET CLEAR OPENING OF 33 1/2" WHICH HAS AN OCCUPANT LOAD CAPACITY OF 167 OCCUPANTS.
- H. PER CBC 1005.3.1 & 1005.3.2 EXCEPTIONS, MINIMUM REQUIRED EGRESS WIDTHS PROVIDED ARE BASED ON THE BUILDING BEING EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM (CBC 903.3.1.1 OR 903.3.1.2) AND AN EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM IN ACCORDANCE WITH CBC 907.5.2.2.

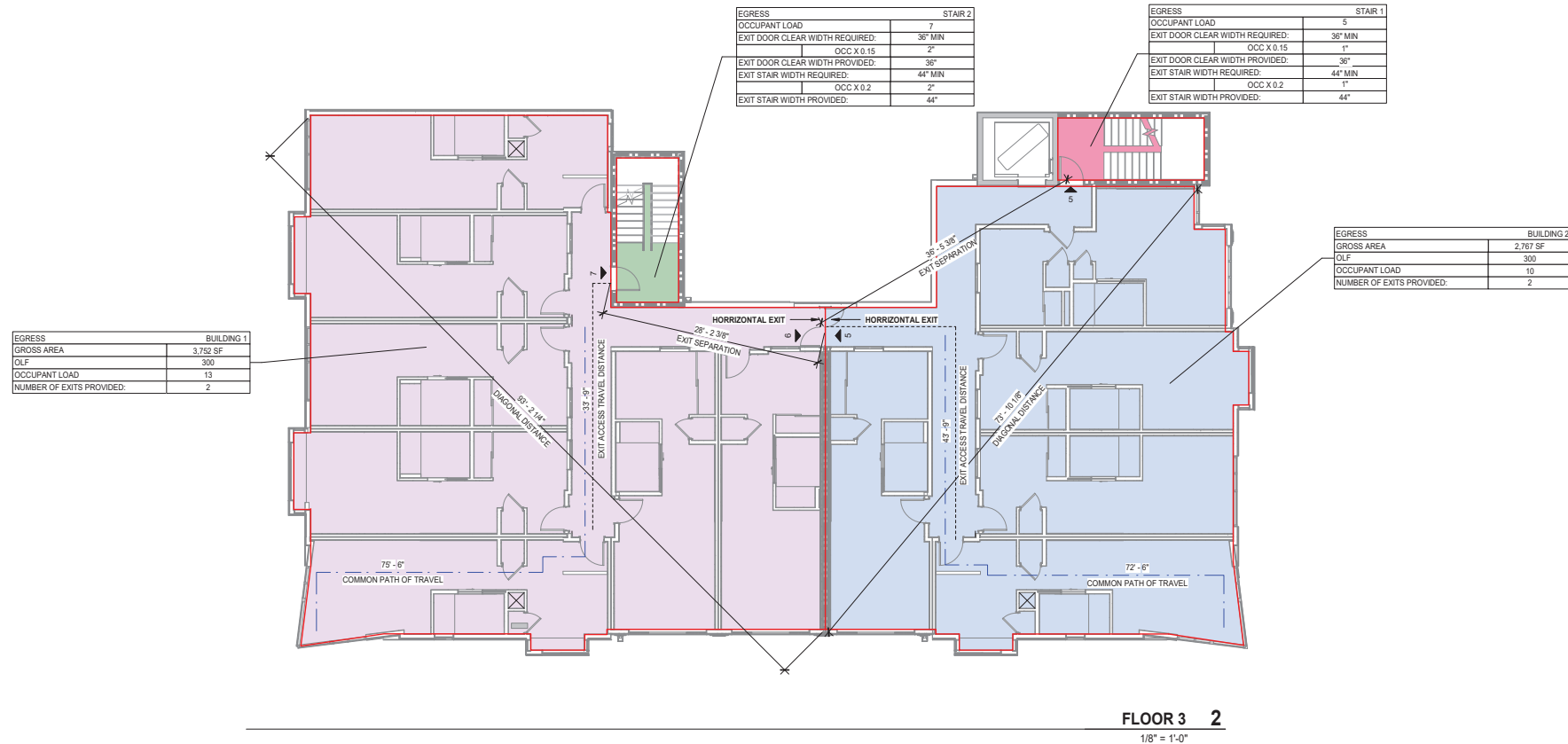
SHEET NOTES

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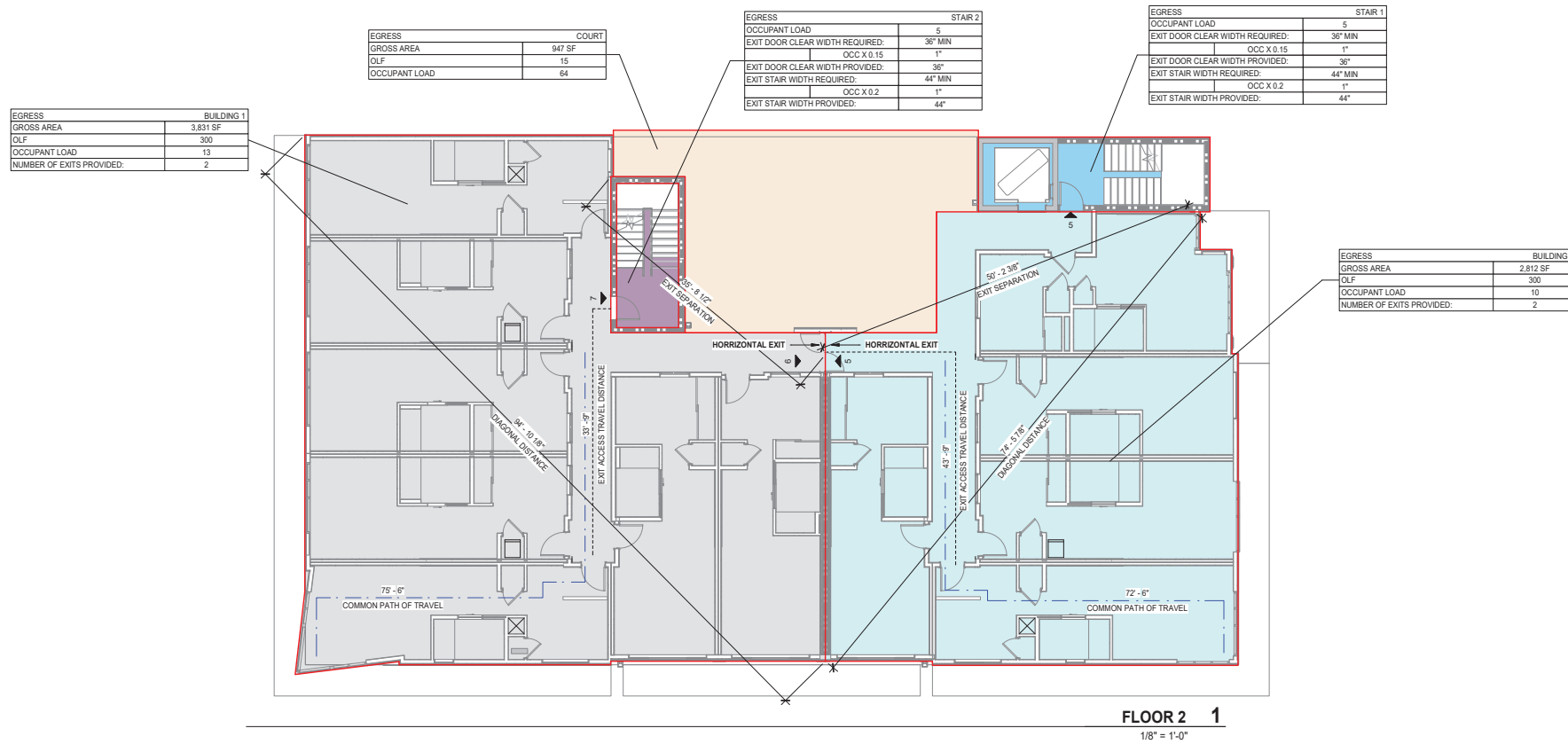
- ① 2 HOUR VERTICAL EXIT ENCLOSURE (CBC SECTION 1022.2) 60 MIN. DOOR (CBC TABLE 716.5)
- ② 2 HOUR ELEVATOR SHAFT (CBC SECTION 713.5) 90 MIN. ELEVATOR DOOR (CBC TABLE 716.5)
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- ⑦ 5' WIDE EXIT PATH OF TRAVEL
- ⑧ SMOKE BARRIER
- ⑨ WORST CASE ACCESS TRAVEL DISTANCE, INCLUDING WORST CASE COMMON PATH OF EGRESS
- ⑩ 3 HOUR BARRIER WALL

LEGEND

- 9 EXIT OCCUPANT LOAD
- EXIT CUMULATIVE OCCUPANT LOAD
- H.E. HORIZONTAL EXIT
- EXIT DISCHARGE
- PARTIAL HEIGHT WALL
- FULL HEIGHT WALL
- CONCRETE WALL/COLUMN, S.S.D.
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- 2-HOUR FIRE BARRIER [90 MIN OPENING PROTECTION]
- 3-HOUR FIRE WALL
- 60'-0" EXTENT OF TRAVEL DISTANCE EXIT ACCESS PATH OF TRAVEL
- 60'-0" EXTENT OF TRAVEL DISTANCE COMMON PATH OF EGRESS TRAVEL
- EXIT SEPARATION DISTANCE
- PROPERTY LINE
- SMOKE BARRIER
- EXIT DISCHARGE
- 2-HR RATED WALL
- 1-HR RATED WALL



FLOOR 2
1/8" = 1'-0"



FLOOR 1
1/8" = 1'-0"





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OR TRANSMITTED IN ANY FORM OR BY ANY
MEANS, ELECTRONIC OR MECHANICAL,
INCLUDING PHOTOCOPYING, RECORDING,
OR BY ANY INFORMATION STORAGE AND
RETRIEVAL SYSTEM, WITHOUT THE
WRITTEN PERMISSION OF THE ARCHITECT.

**EGRESS
DIAGRAMS**

SHEET TITLE

Scale As indicated

Plan No. 1804 DRAWN BY XX

SHEET NO. 20 X 48

A0.62

GENERAL NOTES

- A. SEPARATION DISTANCE BETWEEN AT LEAST TWO EXITS SHALL BE 1/3 DIAGONAL DIMENSION OF BUILDING. SEE DIAGRAMS FOR EXIT SEPARATION DISTANCE DIMENSIONS.
- B. COMMON PATH OF EGRESS TRAVEL (CBC TABLE 1014.3)
SPRINKLERED S-2 = 100'
SPRINKLERED B = 100'
SPRINKLERED R-2 = 125'
- C. EXIT ACCESS TRAVEL DISTANCE (CBC TABLE 1016.2)
SPRINKLERED S-2 = 400'
SPRINKLERED B = 300'
SPRINKLERED R-2 = 250'
- D. EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE SIGNAGE POSTED IN A CONSPICUOUS PLACE WITH THE ALLOWABLE OCCUPANT LOAD NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY. FINAL POSTED SIGN LOCATIONS AND TYPE SHALL BE APPROVED BY THE FIRE AND BUILDING INSPECTORS PRIOR TO FINAL BUILDING OCCUPANCY CERTIFICATION PER CBC 1004.3.
- E. CLASS I STANDPIPE HOSE CONNECTION SHALL BE PROVIDED ON EACH SIDE OF THE WALL ADJACENT TO THE EXIT OPENING OF A HORIZONTAL EXIT EXCEPT WHERE FLOOR AREAS ADJACENT TO A HORIZONTAL EXIT ARE REACHABLE FROM EXIT STAIRWAY HOSE CONNECTIONS BY A NOZZLE ATTACHED TO 100 FEET OF HOSE AS MEASURED ALONG THE PATH OF TRAVEL. A HOSE CONNECTION SHALL NOT BE REQUIRED AT THE HORIZONTAL EXIT.
- F. DOOR OPENING WIDTHS NOTED IN TABLES ARE BASED ON THE NET CLEAR DOOR OPENING WIDTH FROM FACE OF DOOR TO DOOR STOP.
- G. A TYPICAL DOOR OPENING IS 5'-0" U.O.N. WITH A NET CLEAR OPENING OF 53 1/2" WHICH HAS AN OCCUPANT LOAD CAPACITY OF 167 OCCUPANTS.
- H. PER CBC 1005.3.1 & 1005.3.2 EXCEPTIONS, MINIMUM REQUIRED EGRESS WIDTHS PROVIDED ARE BASED ON THE BUILDING BEING EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM (CBC 903.3.1.1 OR 903.3.1.2) AND AN EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM IN ACCORDANCE WITH CBC 907.5.2.2.

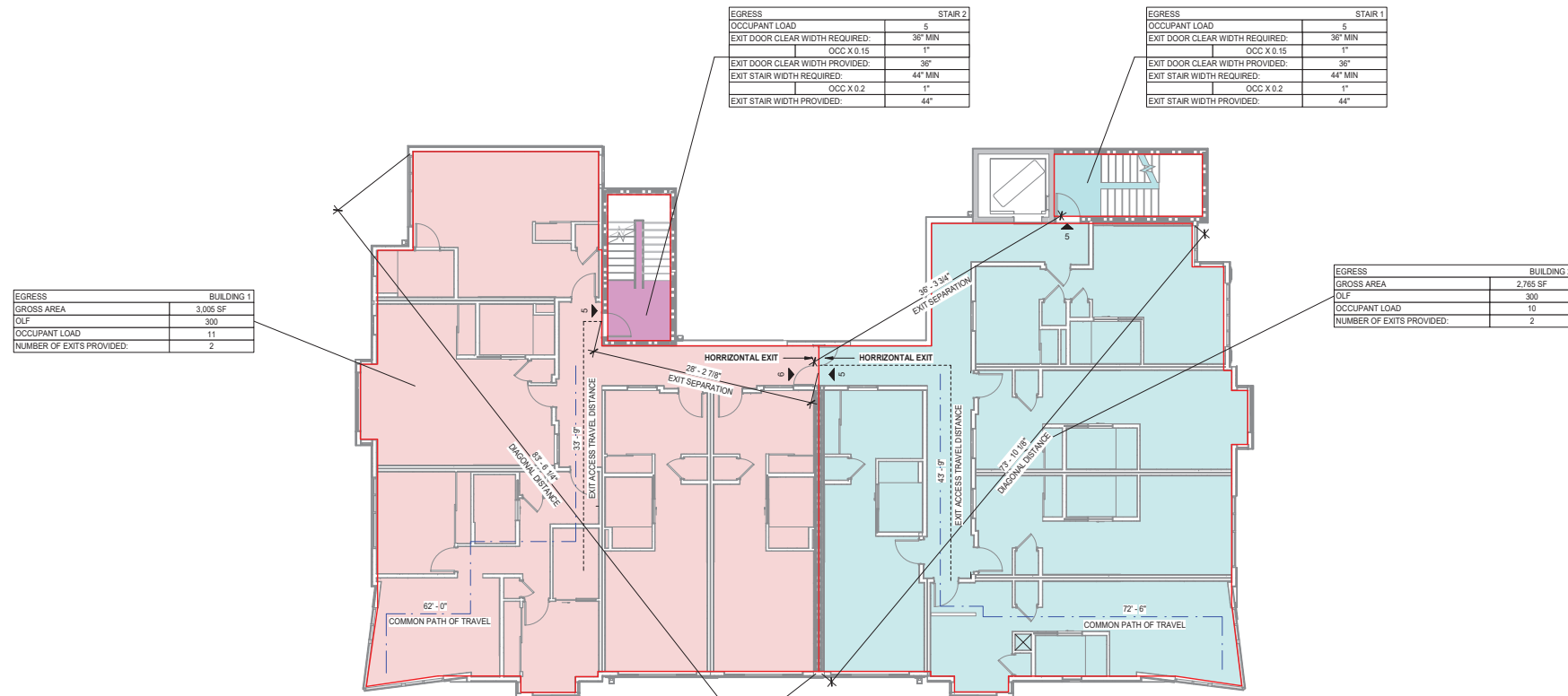
SHEET NOTES

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

- 1 2 HOUR VERTICAL EXIT ENCLOSURE (CBC SECTION 1022.2) 80 MIN. DOOR (CBC TABLE 716.5)
- 2 2 HOUR ELEVATOR SHAFT (CBC SECTION 713.5) 90 MIN. ELEVATOR DOOR (CBC TABLE 716.5)
- 3 2 HOUR MECHANICAL SHAFT (CBC SECTION 713.5)
- 4 2 HOUR TRASH CHUTE ENCLOSURE (CBC SECTION 707.3.1) 80 MIN. DOOR (CBC TABLE 716.5)
- 5 EXIT DISCHARGE (CBC SECTION 1027.1)
- 6 1 HOUR CORRIDOR (CBC SECTION 1018) WITH 20 MIN. UNIT DOORS (CBC SECTION 716.5.3)
- 7 5' WIDE EXIT PATH OF TRAVEL
- 8 SMOKE BARRIER
- 9 WORST CASE ACCESS TRAVEL DISTANCE, INCLUDING WORST CASE COMMON PATH OF EGRESS
- 10 3 HOUR BARRIER WALL

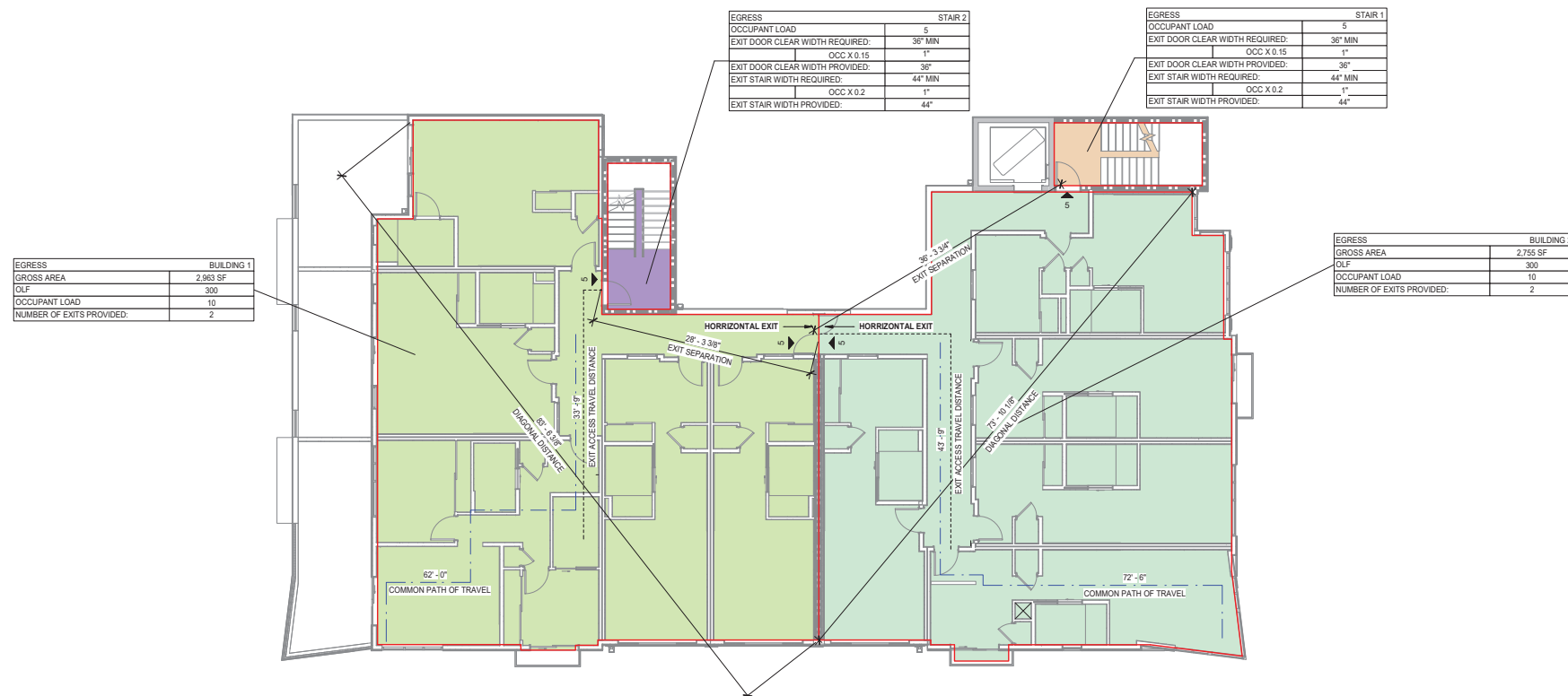
LEGEND

- EXIT OCCUPANT LOAD
- EXIT CUMULATIVE OCCUPANT LOAD
- H.E. HORIZONTAL EXIT
- EXIT DISCHARGE
- PARTIAL HEIGHT WALL
- FULL HEIGHT WALL
- CONCRETE WALL/COLUMN, S.S.D.
- 1-HOUR FIRE BARRIER [45 MIN OPENING PROTECTION, EXCEPT FOR 20 MIN @ CORRIDOR]
- 2-HOUR FIRE BARRIER [90 MIN OPENING PROTECTION]
- 3-HOUR FIRE WALL
- 60'-0" EXTENT OF TRAVEL DISTANCE EXIT ACCESS PATH OF TRAVEL
- 60'-0" EXTENT OF TRAVEL DISTANCE COMMON PATH OF EGRESS TRAVEL
- EXIT SEPARATION DISTANCE
- PROPERTY LINE
- SMOKE BARRIER
- EXIT DISCHARGE
- 2-HR RATED WALL
- 1-HR RATED WALL



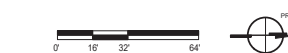
FLOOR 5 2

1/8" = 1'-0"



FLOOR 4 1

1/8" = 1'-0"





STAMP
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

EGRESS DIAGRAMS

Sheet Title As indicated
Plan No. 1804 DRAWN BY SP
Sheet Size 30 x 48

GENERAL NOTES

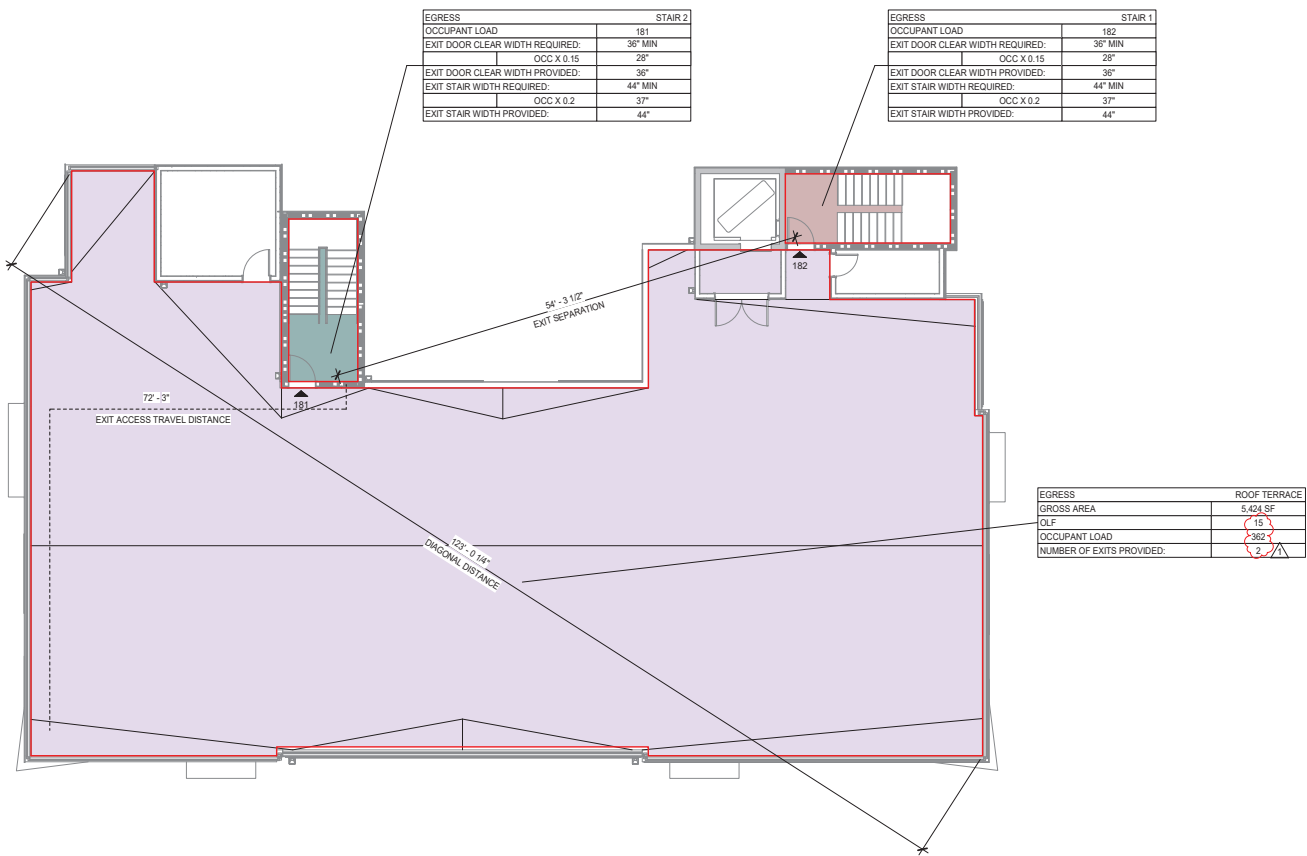
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SHEET NOTES

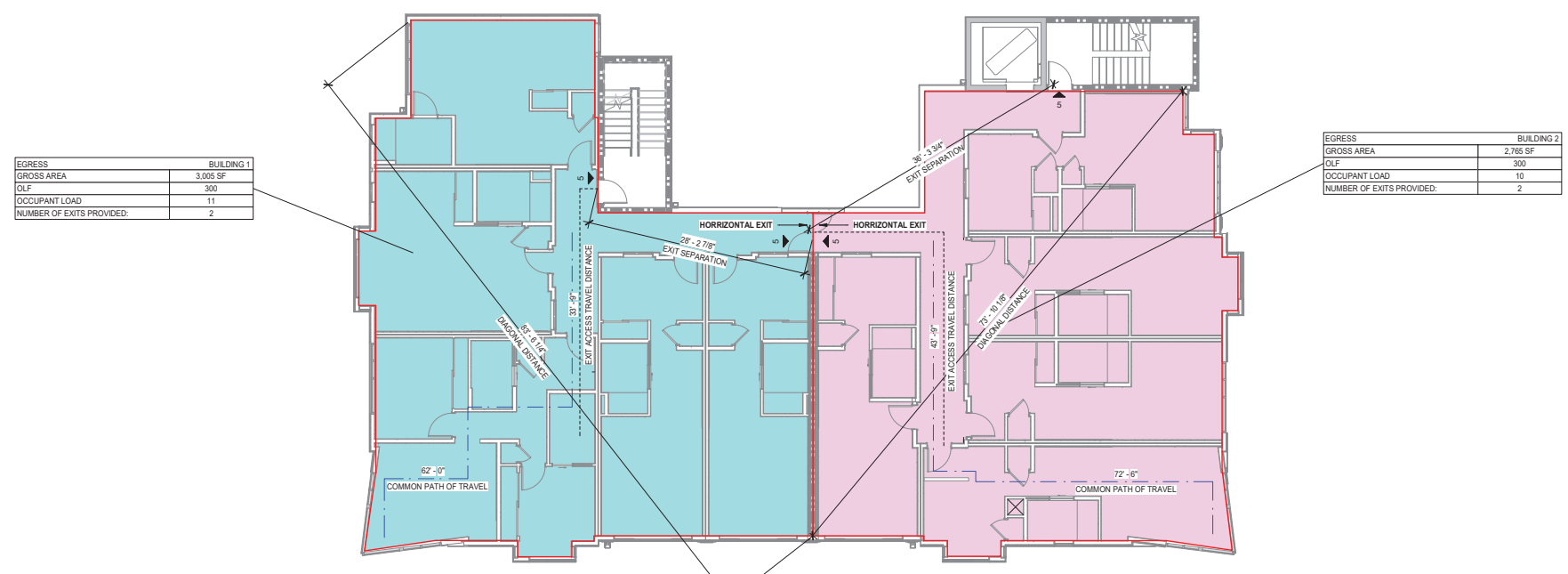
- NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.
- 1 2 HOUR VERTICAL EXIT ENCLOSURE (CBC SECTION 1022.2) 60 MIN. DOOR (CBC TABLE 716.5)
 - 2 2 HOUR ELEVATOR SHAFT (CBC SECTION 713.5) 90 MIN. ELEVATOR DOOR (CBC TABLE 716.5)
 - 3 2 HOUR MECHANICAL SHAFT (CBC SECTION 713.5)
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 - 8 SMOKE BARRIER
 - 9 WORST CASE ACCESS TRAVEL DISTANCE, INCLUDING WORST CASE COMMON PATH OF EGRESS
 - 10 3 HOUR BARRIER WALL

LEGEND

- ▲ EXIT OCCUPANT LOAD
- ▲ EXIT CUMULATIVE OCCUPANT LOAD
- ▲ H.E. HORIZONTAL EXIT
- ← EXIT DISCHARGE
- ▬ PARTIAL HEIGHT WALL
- ▬ FULL HEIGHT WALL
- ▬ CONCRETE WALL/COLUMN, S.S.D.
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- ▬ 2-HOUR FIRE BARRIER [90 MIN OPENING PROTECTION]
- ▬ 3-HOUR FIRE WALL
- 60'-0" EXTENT OF TRAVEL DISTANCE EXIT ACCESS PATH OF TRAVEL
- 60'-0" EXTENT OF TRAVEL DISTANCE COMMON PATH OF EGRESS TRAVEL
- EXIT SEPARATION DISTANCE
- PROPERTY LINE
- SMOKE BARRIER
- EXIT DISCHARGE
- ◆ 2-HR RATED WALL
- ◆ 1-HR RATED WALL

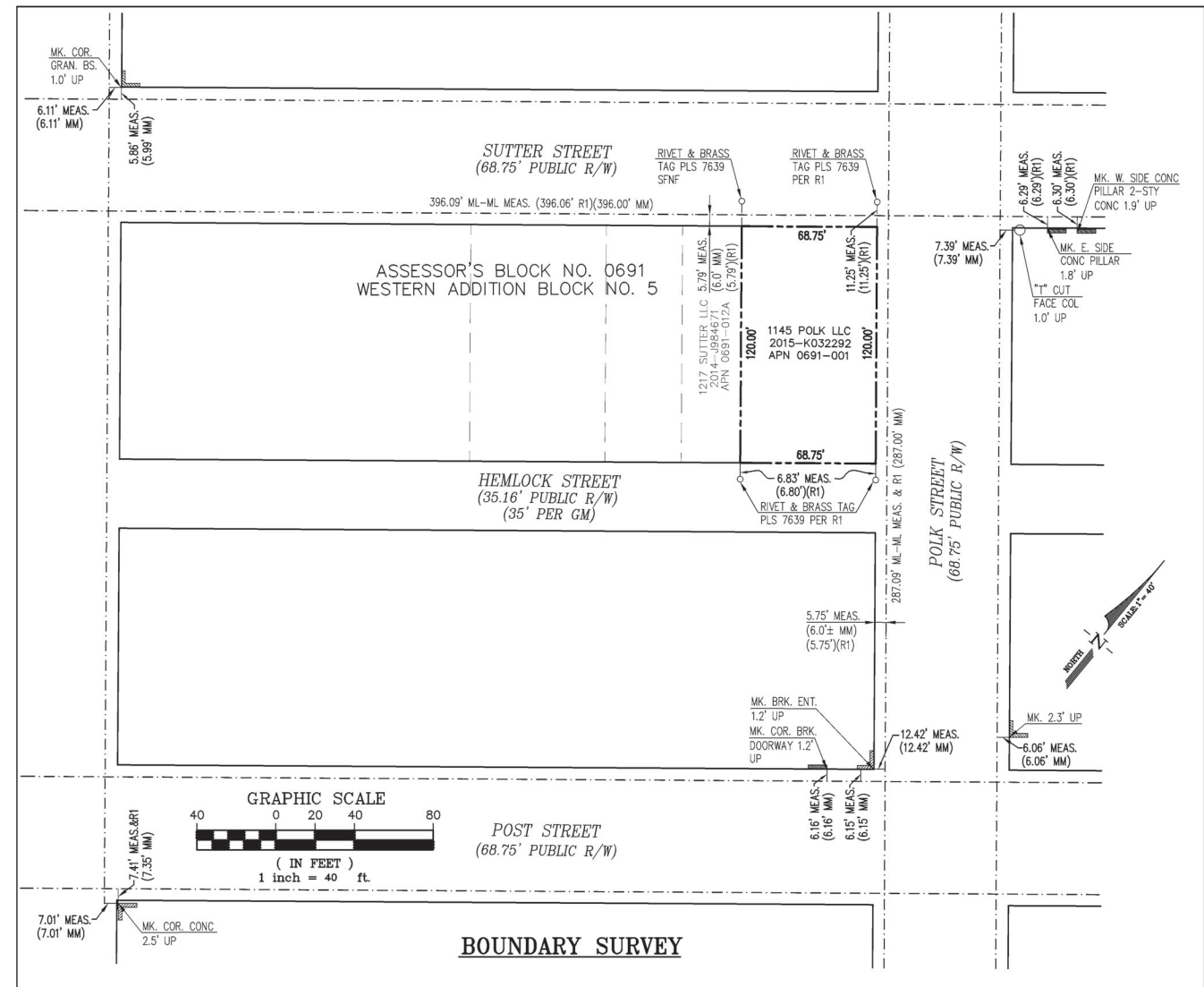
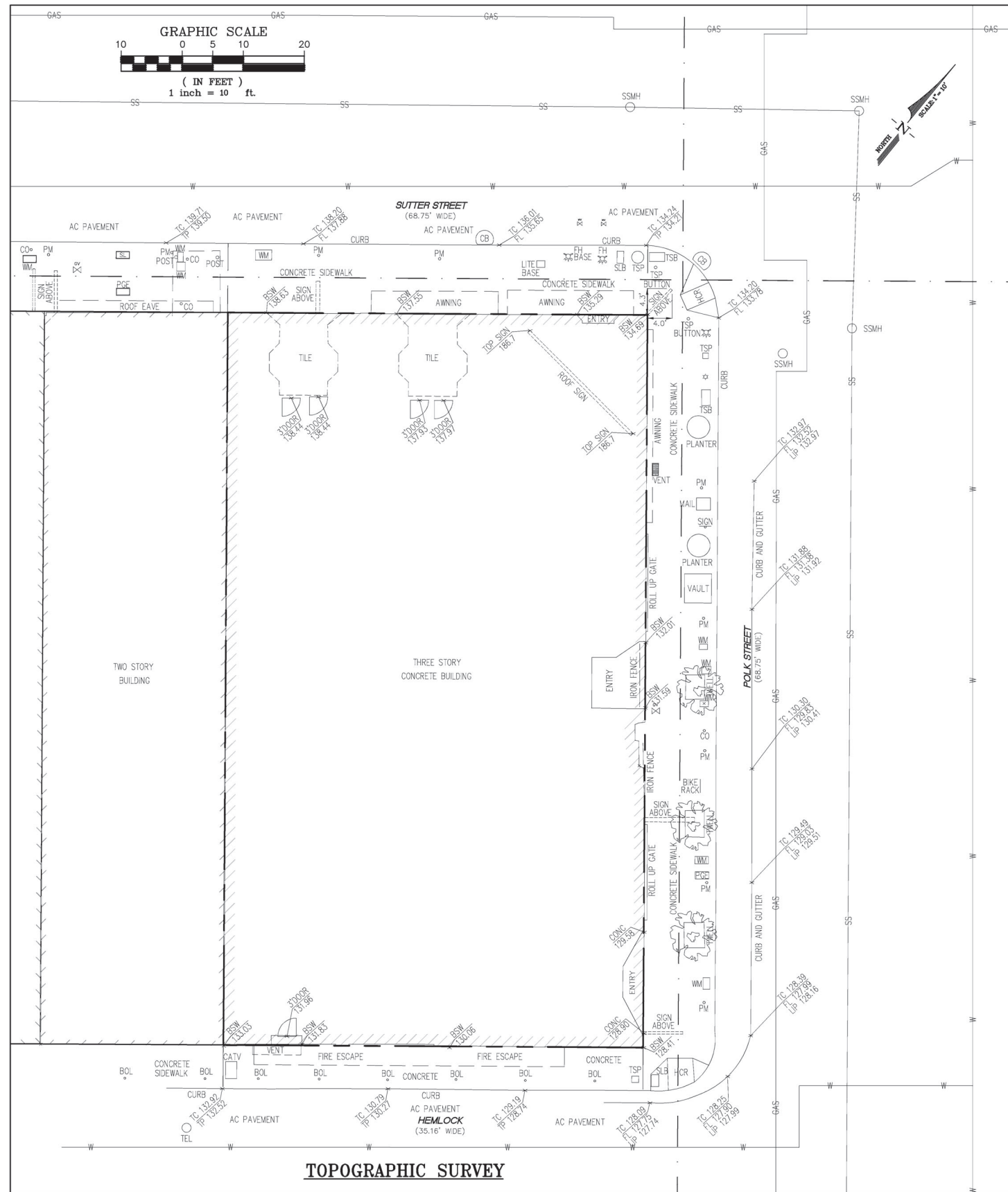


ROOF 2
1/8" = 1'-0"



FLOOR 6 1
1/8" = 1'-0"





LEGEND

| SYMBOLS | DESCRIPTION | SYMBOLS | DESCRIPTION |
|---------|-----------------------------|---------|----------------------------|
| --- | BOUNDARY - SUBJECT PROPERTY | HCR | HANDICAP RAMP |
| --- | RIGHT-OF-WAY LINE | TEL | TELEPHONE MANHOLE |
| --- | ADJOINERS PROPERTY LINE | PM | PARKING METER |
| --- | MONUMENT LINE | BOL | BOLLARD |
| --- | TIE LINE | AC | ASPHALT CONCRETE |
| ☆/SL | STREET LIGHT | CONC | CONCRETE |
| CB | CATCH BASIN | GRD | GROUND |
| CO | CLEAN OUT | HCR | HANDICAP RAMP |
| SSMH | SANITARY SEWER MAN HOLE | TP | TOP OF PAVEMENT |
| WV | WATER VALVE | CL | CENTERLINE |
| WM | WATER METER | TFC | TOP OF CURB ELEVATION |
| PGE | PACIFIC GAS & ELECTRIC BOX | FL | FLOW LINE ELEVATION |
| FH | FIRE HYDRANT | TP | TOP OF PAVEMENT ELEVATION |
| TWELL | TREE WELL | X-BSW | BACK OF SIDEWALK ELEVATION |
| EB/ELEC | ELECTRICAL BOX | | |
| CATV | CABLE TELEVISION | | |
| GM | GAS METER | | |
| SLB | STREET LIGHT BOX | | |
| TSB | TRAFFIC SIGNAL BOX | | |
| TSP | TRAFFIC SIGNAL POST | | |

- NOTES**
- EASEMENTS AND/OR RIGHTS OF WAY ARE SHOWN HEREON PER THE PTR. OTHER EASEMENTS AND/OR RIGHTS OF WAY OF RECORD, IF ANY, ARE NOT SHOWN HEREON.
 - DATE OF FIELD SURVEY: MARCH 16 AND 21, 2018 AS TO THE BOUNDARY AND TOPOGRAPHIC SURVEY OF THE SUBJECT PROPERTY.
 - THE UTILITIES SHOWN HEREON ARE BY SURFACE OBSERVATION AND RECORD INFORMATION ONLY AND NO WARRANTY IS GIVEN HEREIN AS TO THEIR EXACT LOCATION. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO VERIFY THE EXACT LOCATION OF THE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY.
 - UTILITY JURISDICTIONS / PROVIDERS ARE AS FOLLOWS:
STORM DRAINS: CITY AND COUNTY OF SAN FRANCISCO
SANITARY SEWER: CITY AND COUNTY OF SAN FRANCISCO
WATER: CITY AND COUNTY OF SAN FRANCISCO
ELECTRICITY: PACIFIC GAS & ELECTRIC CO.
NATURAL GAS: PACIFIC GAS & ELECTRIC CO.

RECORD REFERENCES
R1) RECORD OF SURVEY #8861, BOOK GG OF SURVEY MAPS, PAGE 53, OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO
R2) MONUMENT MAP NO. 16 AND 17 ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR OF SAN FRANCISCO

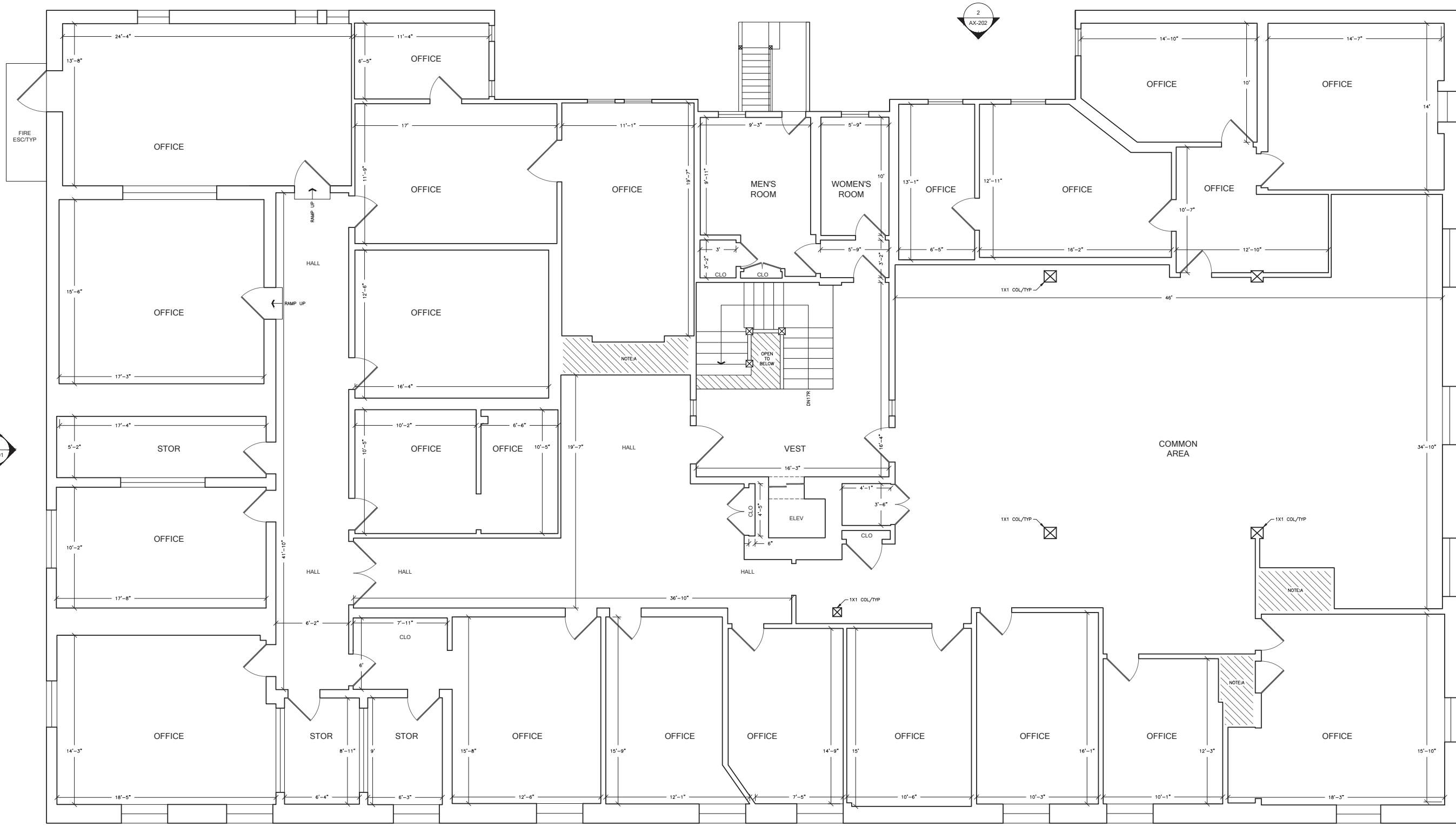
BENCHMARK
FOUND CITY BENCHMARK AT THE SOUTHWEST CORNER OF SUTTER AND POLK STREETS, LETTER 'O' IN OPEN TOP HPFS HYDRANT. ELEVATION = 137.843 FEET, VERTICAL DATUM: CITY AND COUNTY OF SAN FRANCISCO.

BASIS OF SURVEY
FOUND MONUMENTS ON POLK STREET BETWEEN POST AND SUTTER STREET PER MONUMENT MAPS NO. 16 AND 17

SURVEYOR'S STATEMENT
THIS SURVEY WAS DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE LAND SURVEYORS ACT IN APRIL 2018.
Jacqueline Lur
JACQUELINE LUR, P.L.S. 8934
FOR LUK & ASSOCIATES, INC. DATE APRIL 10, 2018



TOPOGRAPHIC AND BOUNDARY SURVEY
OF
1145 POLK STREET
CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA
APRIL 2018
PREPARED BY
LUK AND ASSOCIATES
CIVIL ENGINEER - LAND PLANNERS - LAND SURVEYORS
738 ALFRED NOBEL DRIVE
HERCULES, CALIFORNIA 94547
(510) 724-3388

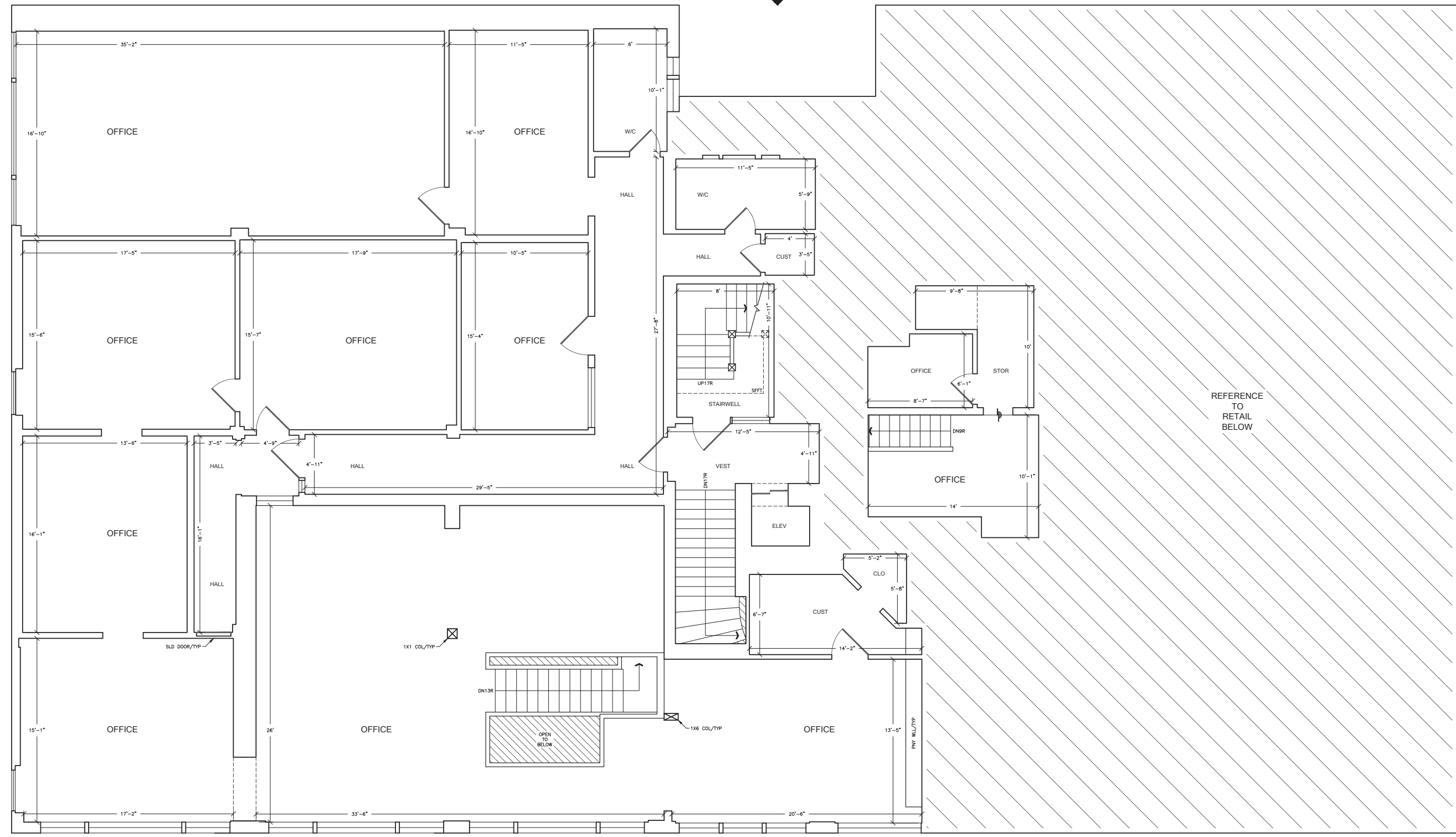


1 EXISTING THIRD LEVEL FLOOR PLAN
 7,731 SQFT GROSS MEASURED AREA
 79 SQFT MEASURED EXTERIOR SURFACES

THESE ARE BASIC FLOOR PLANS. NO INTERIOR ELEMENTS SHOWN, UNLESS NOTED OTHERWISE.

NOTE A:
 THIS AREA NOT ACCESSIBLE AT TIME OF DATA ACQUISITION. AREA NOT MEASURED.

| | |
|--|---|
| 1145 POLK STREET SAN FRANCISCO, CA 94109 | |
| THIS DRAWING IS A RECORD OF REAL PROPERTY THAT IS GENERALLY ACCEPTED TO BE SUITABLE FOR USE IN PLANNING, DESIGN, LEASE, AND GENERAL ASSET MANAGEMENT. IT SHOULD NOT BE USED TO DETERMINE EXACT MEASUREMENTS OF SPACES OR ARTIFACTS FOUND HEREIN FOR ANY PURPOSE. | AS BUILT SERVICES FOR THE RECORD SINCE 1990 1-800-318-0099 WWW.ASBUILTSERVICES.COM |
| EXISTING FLOOR PLAN | |
| REF: 1145sf-A_City_OFC REV: 0 DRAWN BY: DL AUDITED BY: DL | SHEET SIZE: 24x36 SCALE: 1/4"=1'-0" FIELD MEASURE: 05/12/2015-05/18/2015 |
| AX-101 1 OF 6 | |



REFERENCE TO RETAIL BELOW

1 EXISTING SECOND LEVEL FLOOR PLAN
4,548 SQFT GROSS MEASURED AREA

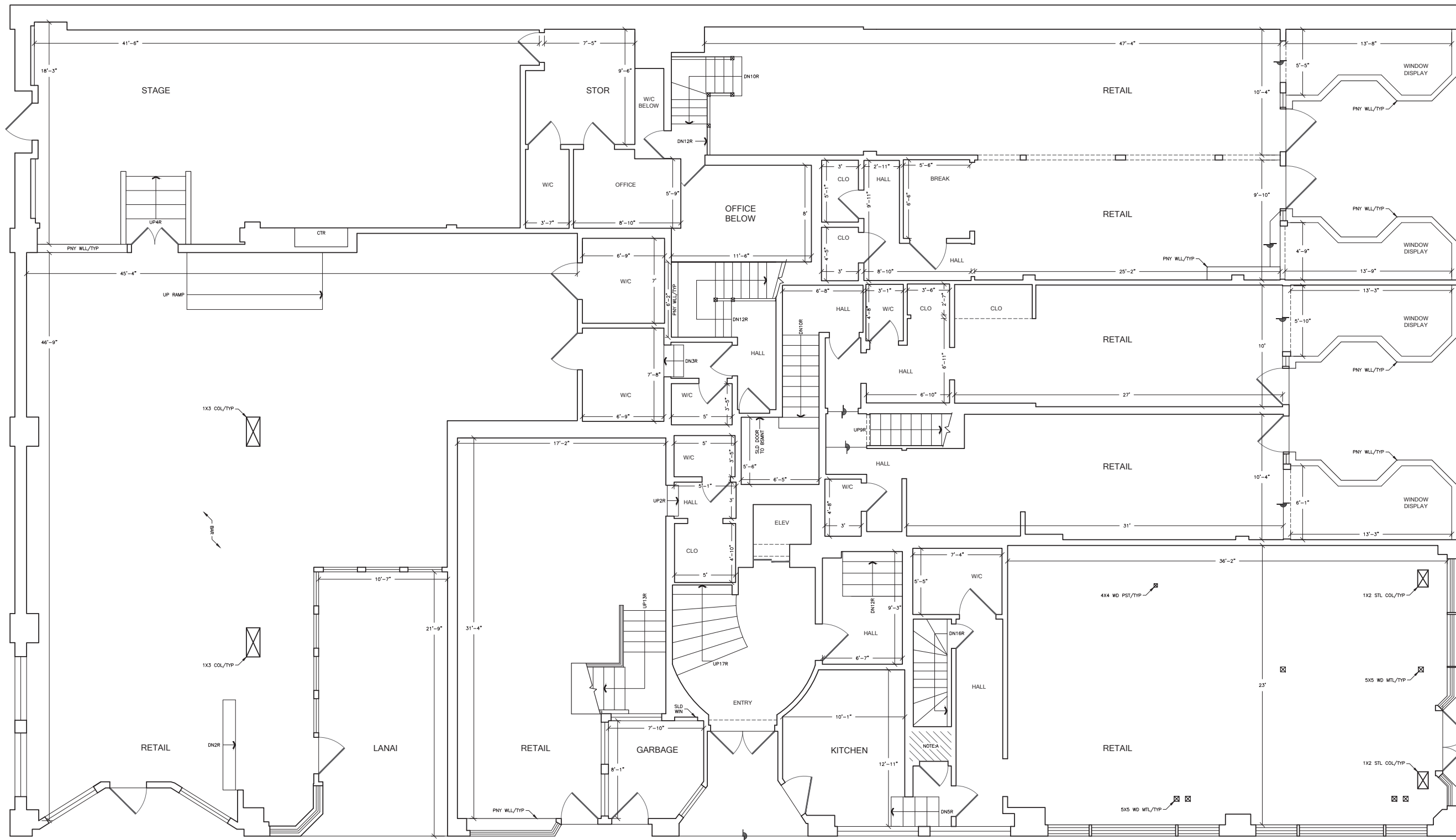


THESE ARE BASIC FLOOR PLANS. NO INTERIOR ELEMENTS SHOWN, UNLESS NOTED OTHERWISE.

DATUM

| | |
|--|---|
| 1145 POLK STREET SAN FRANCISCO, CA 94109 | |
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| EXTERIOR ELEMENTS HAVE BEEN MEASURED AND DRAFTED FOR REFERENCE ONLY - THIS IS NOT A SURVEY. | 1-800-318-0099 WWW.ASBUILTSERVICES.COM |
| EXISTING FLOOR PLAN | |
| REF: 1145sf-A_City_OFC REV: 0 DRAWN BY: DL AUDITED BY: DL | SHEET SIZE: 24x36 SCALE: 1/4"=1'-0" FIELD MEASURE: 05/12/2015-05/18/2015 |
| AX-102 | |
| 2 OF 6 | |

2
AX-202



1
AX-201

1
AX-202

1 EXISTING ENTRY LEVEL FLOOR PLAN

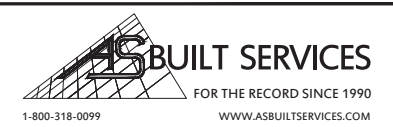
7,479 SQFT GROSS MEASURED AREA
638 SQFT MEASURED EXTERIOR SURFACES

THESE ARE BASIC FLOOR PLANS. NO INTERIOR ELEMENTS SHOWN, UNLESS NOTED OTHERWISE.

NOTE A:
THIS AREA NOT ACCESSIBLE AT TIME OF DATA ACQUISITION. AREA NOT MEASURED.

1145 POLK STREET
SAN FRANCISCO, CA 94109

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EXISTING FLOOR PLAN

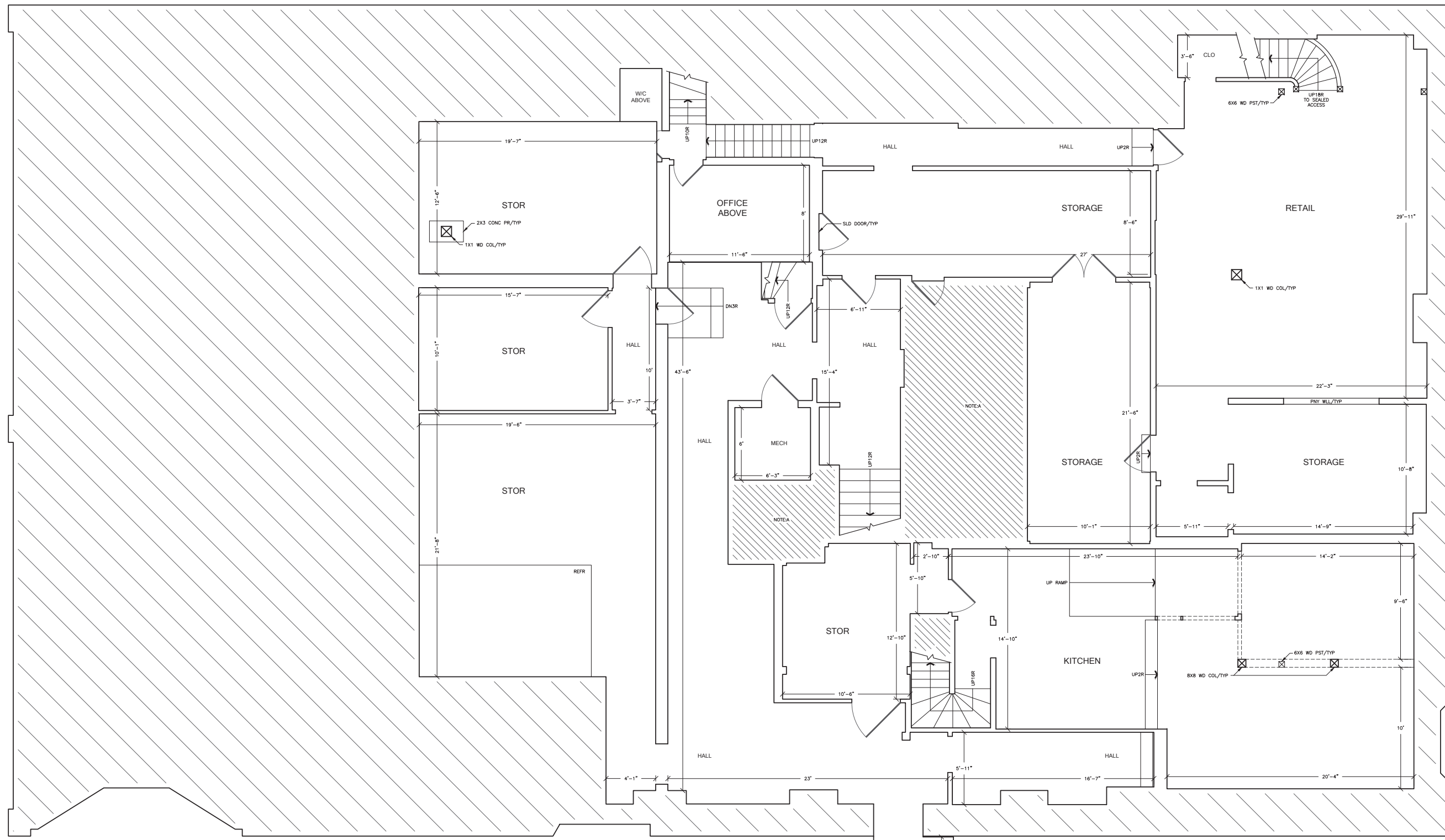
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REV: 0
DRAWN BY: DL
AUDITED BY: DL

SHEET SIZE: 24x36
SCALE: 1/4"=1'-0"
FIELD MEASURE:
05/12/2015-05/18/2015

AX-103
3 OF 6

DATUM

2
AX-201



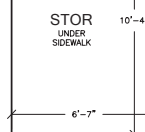
1
AX-201

1
AX-202

1 EXISTING BASEMENT LEVEL FLOOR PLAN

4,641 SQFT GROSS MEASURED AREA

2
AX-201



THESE ARE BASIC FLOOR PLANS. NO INTERIOR ELEMENTS SHOWN, UNLESS NOTED OTHERWISE.

NOTE A:
THIS AREA NOT ACCESSIBLE AT TIME OF DATA ACQUISITION, AREA NOT MEASURED.

DATUM

1145 POLK STREET
SAN FRANCISCO, CA 94109

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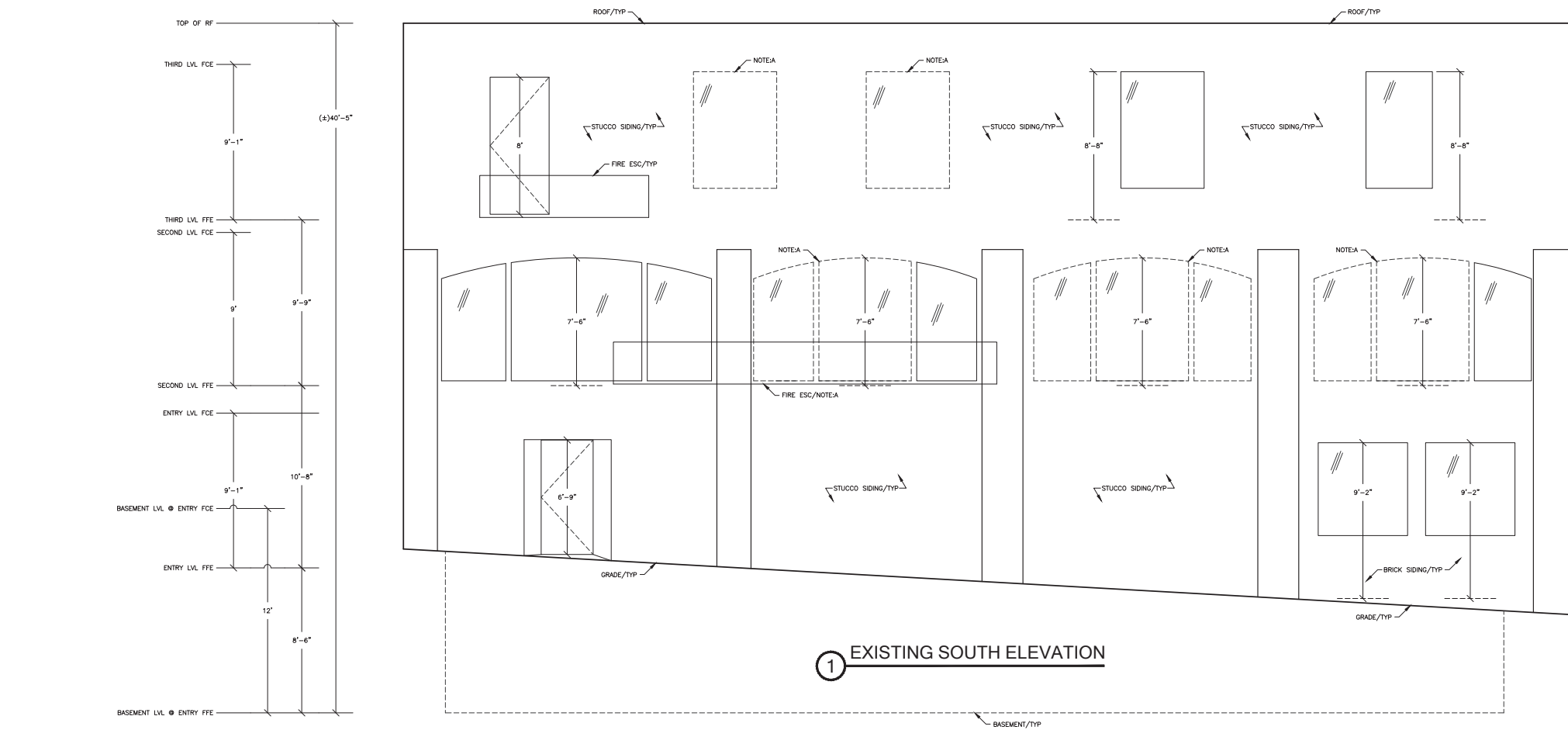
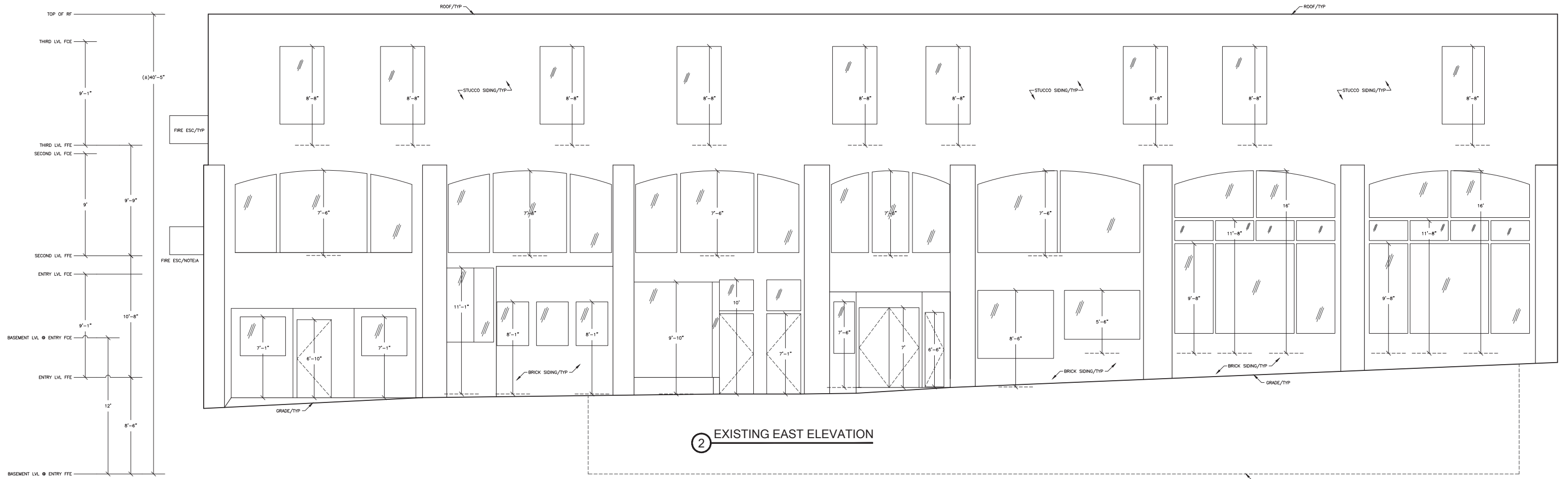
AS BUILT SERVICES
FOR THE RECORD SINCE 1990
1-800-318-0099 WWW.ASBUILTSERVICES.COM

EXISTING FLOOR PLAN

REF: 1145sf-A_City_OFC
REV: 0
DRAWN BY: DL
AUDITED BY: DL

SHEET SIZE: 24x36
SCALE: 1/4"=1'-0"
FIELD MEASURE:
05/12/2015-05/18/2015

AX-104
4 OF 6



- NOTE A:
THIS ELEMENT NOT MEASURED, ILLUSTRATORS RENDERING.
- DUE TO COVERED WINDOWS / WALLS THAT WERE INACCESSIBLE,
SOME OBJECTS MAY NOT BE SHOWN.
- DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME
WALL LENGTHS ARE REPRESENTED AS TYPICAL.
- THESE ARE BASIC ELEVATIONS.
NO BUILDING ORNAMENTATION SHOWN.

1145 POLK STREET
SAN FRANCISCO, CA 94109

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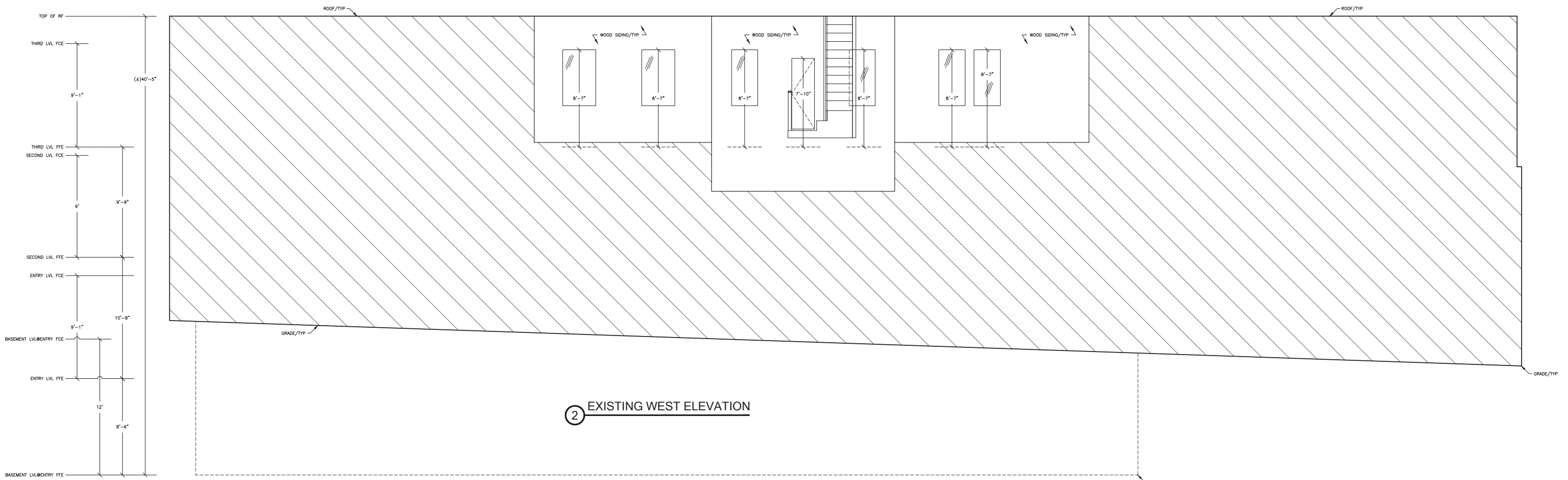
ASBUILT SERVICES
FOR THE RECORD SINCE 1990
1-800-318-0099 WWW.ASBUILTSERVICES.COM

EXISTING EXTERIOR ELEVATIONS

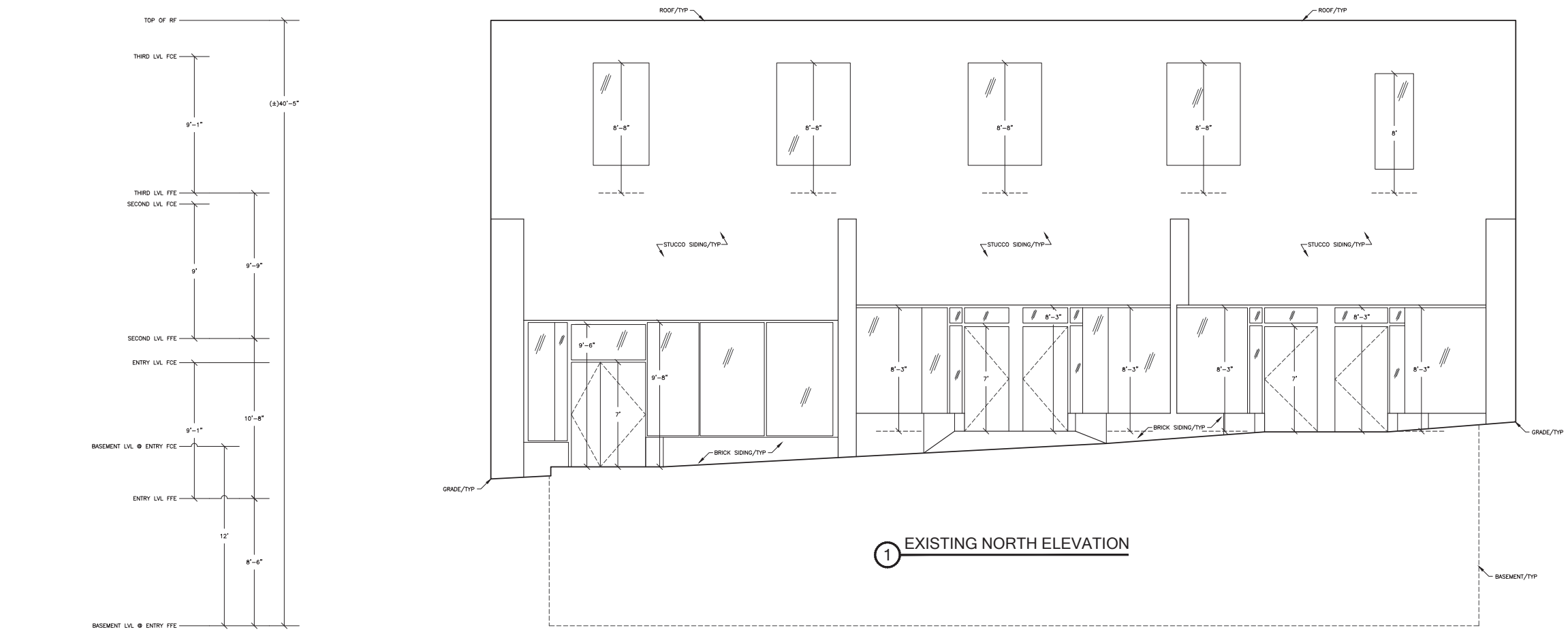
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REV: 0 SCALE: 1/4"=1'-0"
DRAWN BY: DL FIELD MEASURE: 05/12/2015-05/18/2015
AUDITED BY: DL

AX-201

5 OF 6



2 EXISTING WEST ELEVATION



1 EXISTING NORTH ELEVATION

NOTE A:
THIS ELEMENT NOT MEASURED, ILLUSTRATORS RENDERING.

DUE TO COVERED WINDOWS / WALLS THAT WERE INACCESSIBLE,
SOME OBJECTS MAY NOT BE SHOWN.

DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME
WALL LENGTHS ARE REPRESENTED AS TYPICAL.

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SAN FRANCISCO, CA 94109

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ASBUILT SERVICES
FOR THE RECORD SINCE 1990
1-800-318-0099 WWW.ASBUILTSERVICES.COM

EXISTING EXTERIOR ELEVATIONS

REF: 1145sf-A_City_OFC
REV: 0
DRAWN BY: DL
AUDITED BY: DL

SHEET SIZE: 24x36
SCALE: 1/4"=1'-0"
FIELD MEASURE: 05/12/2015-05/18/2015

AX-201
6 OF 6

| REV. | ISSUE | DATE |
|------|---------------------------|----------|
| 1 | SITE PERMIT PLAN CHECK | 03.30.18 |



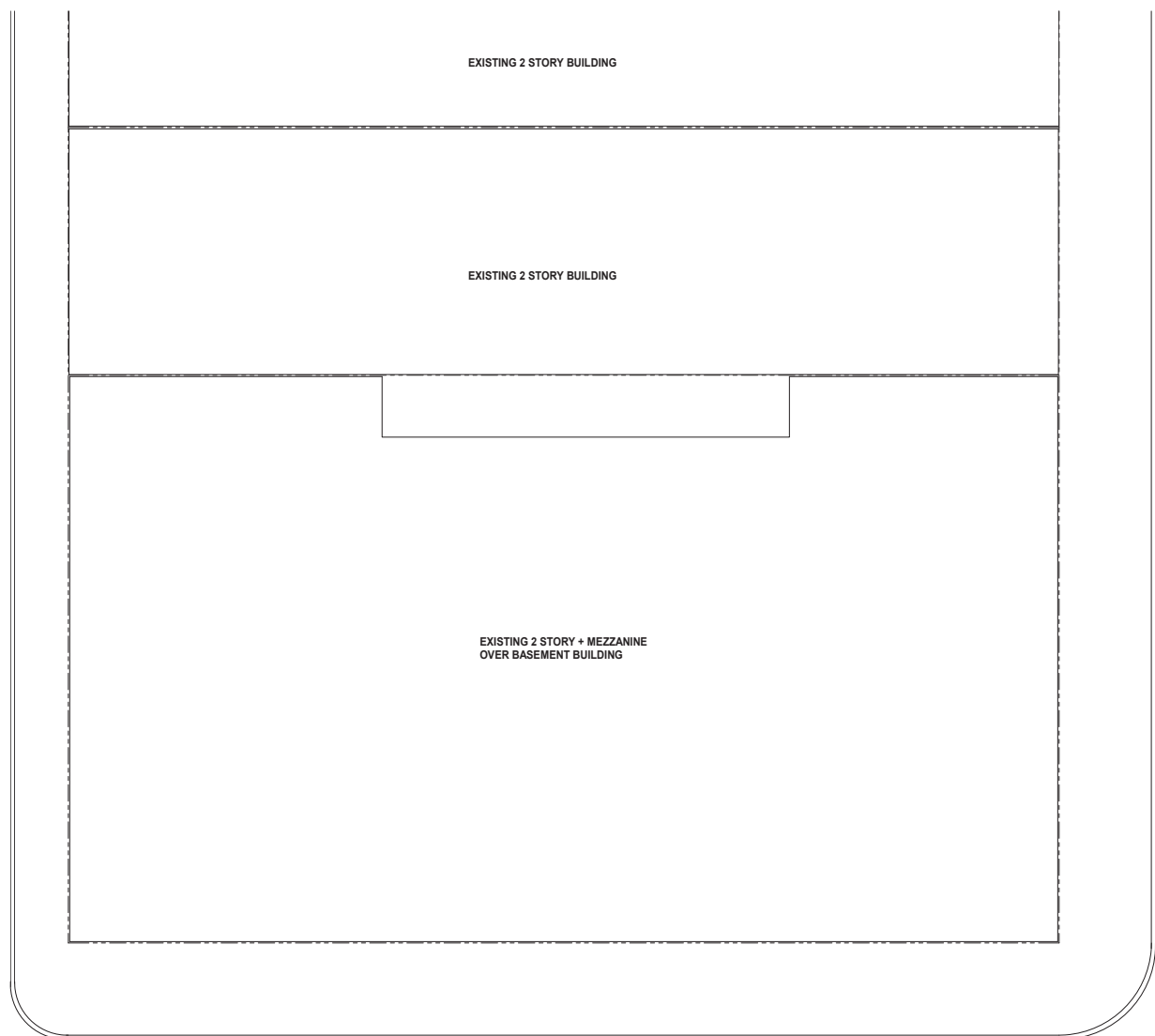
STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
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RETRIEVAL SYSTEM, WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT

**PROPOSED &
EXISTING SITE /
ROOF PLAN**

Sheet Title
Scale 1/8" = 1'-0"
Print No. 1804 DRAWN BY XX
Sheet Desc. SD X 48

A1.00

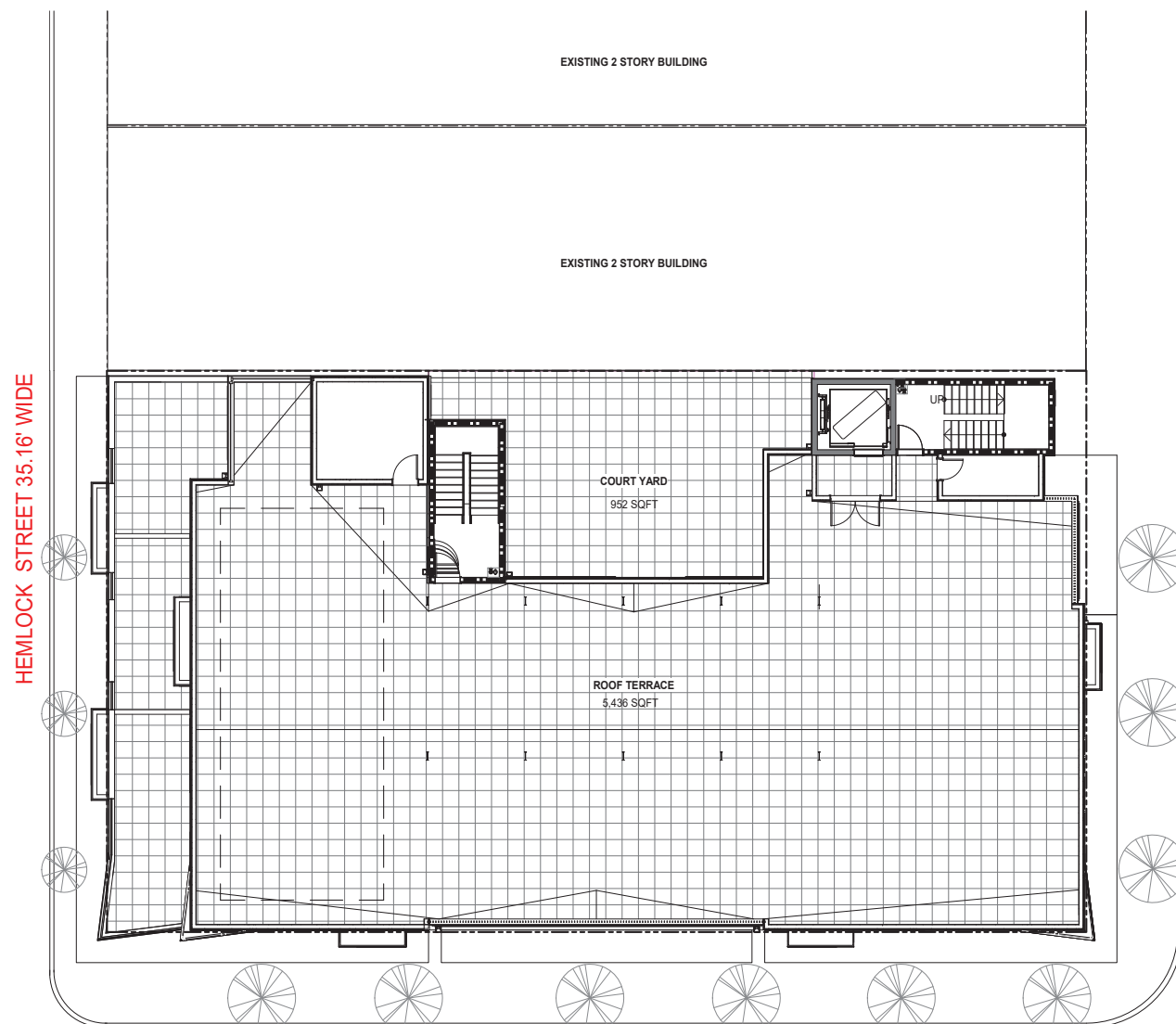
HEMLOCK STREET 35.16' WIDE



POLK STREET 68.75' WIDE

EXISTING SITE / ROOF PLAN 2
1/8" = 1'-0"

SUTTER STREET 68.75' WIDE



POLK STREET 68.75' WIDE

PROPOSED SITE PLAN / FOOR PLAN 1
1/8" = 1'-0"

SUTTER STREET 68.75' WIDE

GENERAL NOTES

- A. U.O.N. DIMENSIONS ARE TO FACE OF STUD OR FOUNDATION WALL, TYP.
- B. SEE GENERAL SHEETS (A7'S) GENERAL NOTES, BUILDING AREA CALCULATIONS, ACCESSIBILITY & ADAPTABILITY REQUIREMENTS, ADA SIGNAGE REQUIREMENTS AND EGRESS CALCULATIONS & DIAGRAMS.
- C. UNIT PLANS SHOWN HERE ARE DIAGRAMATIC. REFER TO 1/4" UNIT PLANS AND ENLARGED PLANS FOR ADDITIONAL INFORMATION NOT SHOWN HERE.
- D. SEE SHEET A10.00 FOR WALL ASSEMBLY SCHEDULE.
- E. SEE LANDSCAPE DRAWINGS FOR INFORMATION REGARDING THE GRADING OF ALL EXTERIOR AREAS.
- F. SPOT ELEVATIONS ARE NOTED FROM CIVIL DRAWINGS, 0' = 0" = 0".
- G. ALL EXTR WALLS TO RECEIVE PLYWOOD SHEATHING.
- H. REFER TO STAIR DWGS FOR INFO. NOT SHOWN HERE.
- I. G.C. TO COORDINATE MECHANICAL AND PLUMBING VENTS AS PERMITTED BY CODES TO MINIMIZE ROOF PENETRATIONS.
- J. G.C. TO COORDINATE AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER EXTERIOR METAL FRAMED VOIDS.
- K. ALL GSM FLASHING SHALL BE PAINTED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS.
- L. DRAFT STOPS REQUIRED BETWEEN UNITS SHALL BE 1/2" SHEAR PLYWOOD OR 3/8" TYPE 'X' GWB CARRIED TO UNDERSIDE OF ROOF.
- M. G.C. TO INCLUDE AND COORDINATE ROOF CRICKETS IN FIELD FOR PROPER DRAINAGE.
- N. WHERE WALL FINISHES DO NOT ALIGN DUE TO CHANGE IN WALL TYPE, GC TO PROVIDE BACKING TO ENSURE A FLUSH FINISH TRANSITION.
- O. CBC SECTION 1134A LISTS 12 ITEMS FOR BATHROOMS IN TWO POSSIBLE COMBINATIONS FOR ADA COMPLIANCE. SHEET NOTES REFER TO ITEMS 1-12 OR ITEMS 8-12 LISTED BELOW:
 - 1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.
 - 2. BATHUBS SHALL COMPLY WITH SECTION 1134A.5.
 - 3. SHOWERS SHALL COMPLY WITH SECTION 1134A.6.
 - 4. WATER CLOSETS SHALL COMPLY WITH SECTION 1134A.7.
 - 5. LAVATORIES, VANITIES, MIRRORS, AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.
 - 6. WHERE BOTH A TUB AND SHOWER ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.
 - 7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED, AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
 - 8. WHERE TWO OR MORE BATHROOMS ARE PROVIDED WITHIN THE SAME DWELLING UNIT AND A BATHUB IS INSTALLED TO COMPLY WITH OPTION 2, ITEM 6 IN ONE BATHROOM AND A SHOWER STALL IS PROVIDED IN A SUBSEQUENT BATHROOM, BOTH THE BATHUB SELECTED TO COMPLY WITH OPTION 2, ITEM 6 AND AT LEAST ONE SHOWER STALL WITHIN THE DWELLING UNIT SHALL MEET ALL THE APPLICABLE ACCESSIBILITY REQUIREMENTS PROVIDED IN SECTION 1134A (SEE SECTION 1134A.5 FOR BATHUBS, OR SECTION 1134A.6 FOR SHOWERS.)

WALL TYPE NOTES

- A. U.O.N. TYPICAL EXTERIOR WALLS TO BE TYPE B1 (REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS).
- B. TYPICAL CONC. BASEMENT WALLS TO BE TYPE A1, U.O.N.
- C. TYPICAL CMU BASEMENT WALLS TO BE TYPE A10, U.O.N.
- D. TYPICAL INT. 1-HR CORRIDOR WALLS TO BE TYPE C1, U.O.N.
- E. TYPICAL INTERIOR 1-HR CORRIDOR WALLS AT BATHROOM PLUMBING TO BE TYPE C2, U.O.N.
- F. TYPICAL 1-HR UNIT SEPARATION WALLS TO BE TYPE D2 U.O.N. (S.S.D. FOR STUD AND SHEAR CONFIGURATION.)
- G. TYPICAL INTERIOR UNIT WALLS TO BE TYPE E2, U.O.N.
- H. TYPICAL INTERIOR UNIT PLUMBING WALLS TO BE TYPE E3, U.O.N.
- I. TYPICAL 1-HR UNIT SEPARATION WALLS AT PLUMBING WALLS TO BE TYPE D1 U.O.N. (S.S.D. FOR STUD AND SHEAR CONFIGURATION.)
- J. TYPICAL 2-HR INTERIOR SHAFT WALL TO BE S1, U.O.N.
- K. TYPICAL 2-HR INTERIOR SHAFT WALL BETWEEN UNITS, STAIRS, & HOISTWAY TO BE D4, U.O.N.

SHEET NOTES

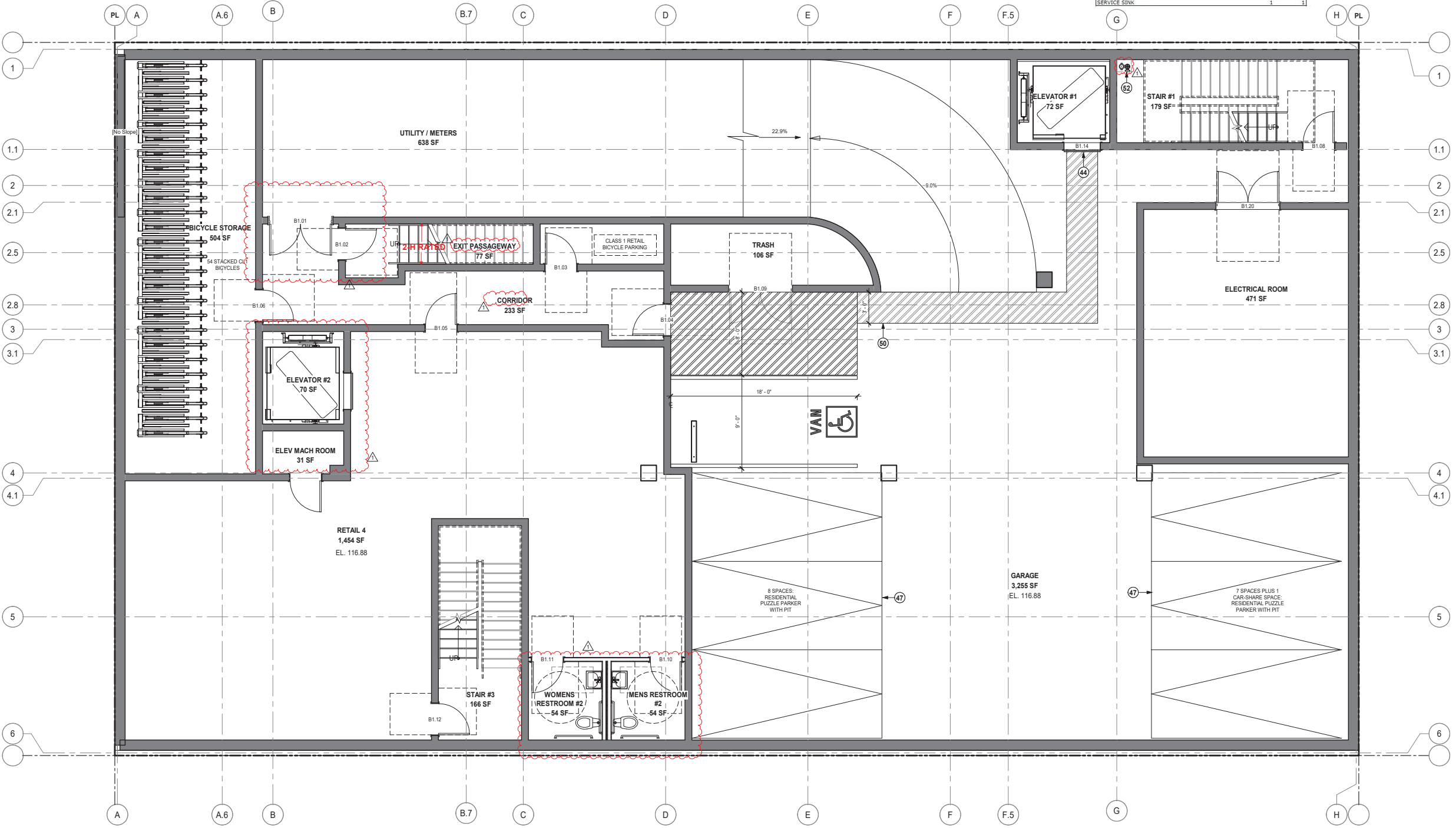
- NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.
- 1 PROPERTY LINE
 - 2 CONCRETE CURB & SIDEWALK, S.C.D.
 - 3 LANDSCAPED AREA, S.L.D.
 - 4 GAS METERS, S.C.D. & S.L.D.
 - 5 IRRIGATION BACKFLOW PREVENTER, SPD & SCD.
 - 6 DOMESTIC BACKFLOW PREVENTER, SPD & SCD.
 - 7 FIRE BACKFLOW PREVENTER, SPD & SCD.
 - 8 SAND & OIL INTERCEPTOR, S.P.D.
 - 9 TRANSFORMER, S.C.D. & S.E.D.
 - 10 ELECTRICAL PANEL / EQUIPMENT, S.E.D.
 - 11 AIR CONDENSING UNITS MOUNTED ON ISOLATION PADS, S.M.D.
 - 12 HVAC EQUIPMENT, S.M.D.
 - 13 VEHICULAR CLEARANCE BAR LOCATION, SEE 16A.02
 - 14 PARKING SPACE, TYP.
 - 15 DISABLED ACCESSIBLE PARKING SPACE, SEE 6A.02.20
 - 16 BIKE RACKS
 - 17 ADA STRIPING AND DETECTABLE WARNING (TRUNCATED DOMES), PER CBC 11338.8.5.
 - 18 BOLLARD, SEE 8A.02.1
 - 19 CONCRETE COLUMN, S.S.D.
 - 20 TRASH CHUTE ACCESS, SEE 17A.01.11 FOR ACOUSTICAL MITIGATION & CONTROL.
 - 21 TRASH CHUTE DISCHARGE W/USABLE LINK
 - 22 3 CUBIC YARD RECYCLING / GARBAGE BINS
 - 23 TRASH CHUTE VENT, SEE 10A.00.
 - 24 HOSE BIB
 - 25 FLOORAREA DRAINS, S.P.D.
 - 26 TRENCH DRAIN, S.P.D.
 - 27 LINE OF WALL OR PODIUM BELOW
 - 28 LINE OF LEVEL OR STRUCTURE ABOVE
 - 29 LINE OF ROOF BELOW
 - 30 43" HIGH GUARD RAIL
 - 31 SEMI RECESSED FIRE EXTINGUISHER EXCEPT AT CONCRETE ASSEMBLIES
 - 32 EXHAUST IN 2-HR SHAFT TO ROOF, S.M.D.
 - 33 FRESH-AIR SUPPLY IN 2-HR SHAFT TO ROOF, S.M.D.
 - 34 BOILER EXHAUST AND INTAKE, LOCATED IN 2-HR SHAFT TO ROOF
 - 35 DUCT FOR MAINTENANCE ROOM, FAN/VENT UNIT, S.M.D.
 - 36 ELEVATOR PENTHOUSE
 - 37 43" HIGH PARAPET WALL
 - 38 WALK PADS
 - 39 ROOF DRAIN
 - 40 SCUPPER WITH CONDUCTOR TO DOWN SPOUT
 - 41 BUILT-UP ROOFING, CLASS A
 - 42 ROOF ANCHOR, REFER TO EBMS DRAWINGS FOR MORE INFORMATION.
 - 43 TRANSFORMER, S.C.D. & S.E.D.
 - 44 SMOKE GUARD
 - 45 SOLAR ZONE AREA ON TRELLIS, 15% OF TOTAL ROOF AREA

RETAIL PLUMBING FIXTURE CALCULATION

| FIXTURE | U.O.N. | REQUIRED | PROVIDED |
|---------------------------|---------|----------|----------|
| WATER CLOSETS | | | |
| MALE | 1:1-100 | 1 | 2 |
| FEMALE | 1:1-100 | 2 | 2 |
| URINALS | | | |
| MALE | 0:1-200 | 1 | 1 |
| LAVATORIES | | | |
| MALE | 1:1-200 | 1 | 2 |
| FEMALE | 1:1-200 | 1 | 2 |
| DRINKING FOUNTAINS | | | |
| PERSON | 1:1-250 | 1 | 1 |
| SERVICE SINK | | | |
| | | 1 | 1 |

LEGEND

- NOTE: SEE A10.00 FOR SPECIFIC WALL TYPES
- PARTIAL HEIGHT WALL
 - FULL HEIGHT WALL
 - CMU WALL, S.S.D.
 - CONCRETE WALL/COLUMN, S.S.D.
 - 1-HOUR FIRE BARRIER (45 MIN OPENING PROTECTION, EXCEPT FOR 20 MIN @ CORRIDOR)
 - 2-HOUR FIRE BARRIER (90 MIN OPENING PROTECTION)
 - 3-HOUR FIRE WALL
 - INDICATES 8'-2" MIN. VERT. CLEARANCE FOR ACCESSIBLE PARKING SPOT
 - INDICATES SOLAR READY AREA
 - STEEL FIRE-RATED WINDOWS



| REV. | ISSUE | DATE |
|------|------------------------|----------|
| 1 | SITE PERMIT PLAN CHECK | 03.30.18 |



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ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

PROPOSED BASEMENT FLOOR PLAN

Scale: As indicated
Drawn by: XX
Sheet: 20 of 48



GENERAL NOTES

- A. U.O.N. DIMENSIONS ARE TO FACE OF STUD OR FOUNDATION WALL, TYP.
- B. SEE GENERAL SHEETS (A-D) GENERAL NOTES, BUILDING AREA CALCULATIONS, ACCESSIBILITY & ADAPTABILITY REQUIREMENTS, ADA SIGNAGE REQUIREMENTS AND EGRESS CALCULATIONS & DIAGRAMS.
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- M. G.C. TO INCLUDE AND COORDINATE ROOF CRICKETS IN FIELD FOR PROPER DRAINAGE.
- N. WHERE WALL FINISHES DO NOT ALIGN DUE TO CHANGE IN WALL TYPE, G.C. TO PROVIDE BACKING TO ENSURE A FLUSH FINISH TRANSITION.
- O. CBC SECTION 1134A LISTS 12 ITEMS FOR BATHROOMS IN TWO POSSIBLE COMBINATIONS FOR ADA COMPLIANCE. SHEET NOTES REFER TO ITEMS 1-12 OR ITEMS 8-12 LISTED BELOW.
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WALL TYPE NOTES

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- D. TYPICAL INT. 1-HR CORRIDOR WALLS TO BE TYPE C1, U.O.N.
- E. TYPICAL INTERIOR 1-HR CORRIDOR WALLS AT BATHROOM PLUMBING TO BE TYPE C2, U.O.N.
- F. TYPICAL 1-HR UNIT SEPARATION WALLS TO BE TYPE D2, U.O.N. (S.S.D. FOR STUD AND SHEAR CONFIGURATION).
- G. TYPICAL INTERIOR UNIT WALLS TO BE TYPE E2.1
- H. TYPICAL INTERIOR UNIT PLUMBING WALLS TO BE TYPE E3.1
- I. TYPICAL 1-HR UNIT SEPARATION WALLS AT PLUMBING WALLS TO BE TYPE D1, U.O.N. (S.S.D. FOR STUD AND SHEAR CONFIGURATION).
- J. TYPICAL 2-HR INTERIOR SHAFT WALL TO BE S1, U.O.N.
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SHEET NOTES

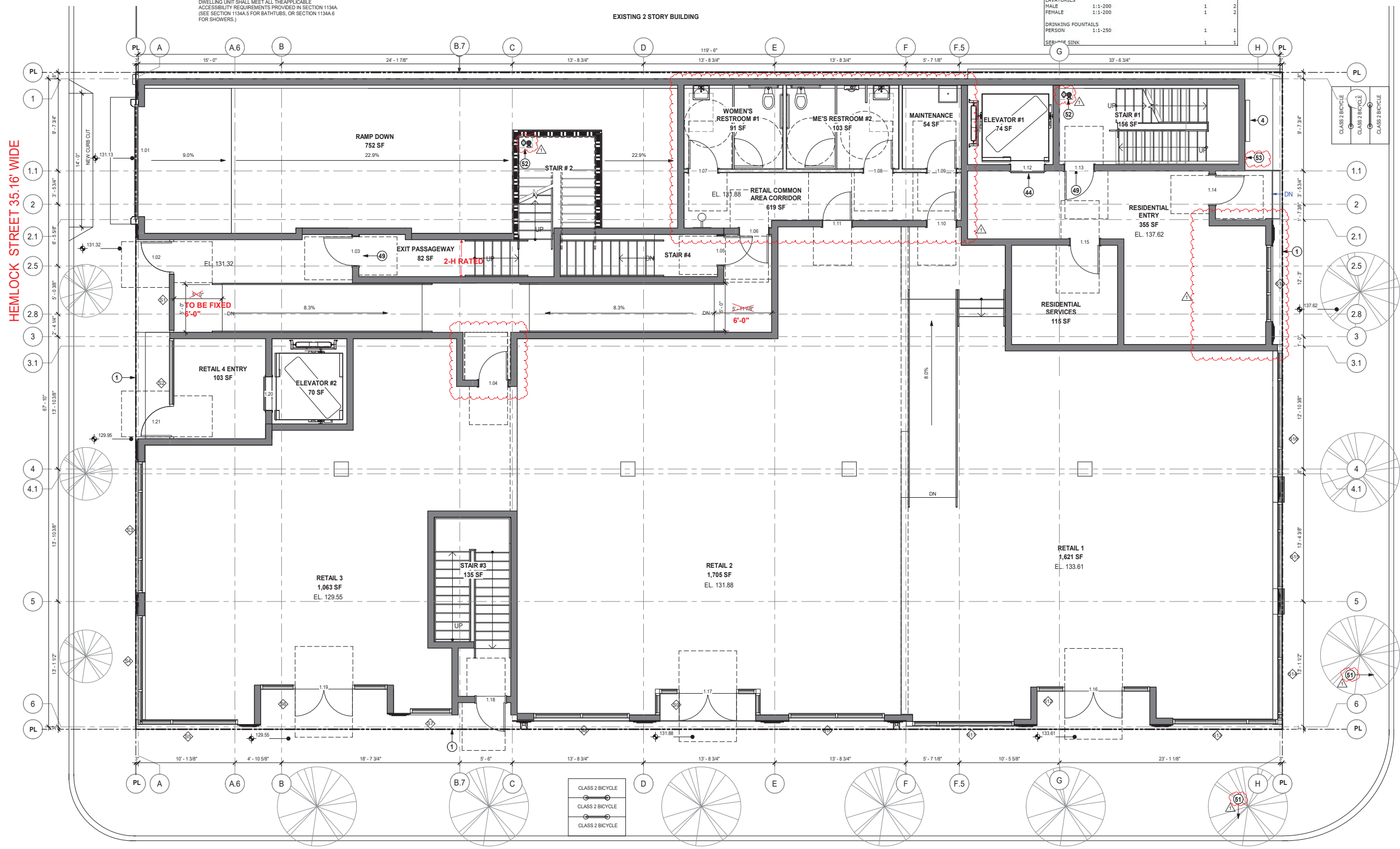
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 - 12 HVAC EQUIPMENT, S.M.D.
 - 13 VEHICULAR CLEARANCE BAR LOCATION, SEE 16/A0.20
 - 14 PARKING SPACE, TYP.
 - 15 DISABLED ACCESSIBLE PARKING SPACE, SEE 0/A0.20
 - 16 BIKE RACKS
 - 17 ADA STRIPING AND DETECTABLE WARNING (TRUNCATED DOMES), PER CBC 11338.8.5.
 - 18 BOLLARD, SEE 0/A0.21
 - 19 CONCRETE COLUMN, S.S.D.
 - 20 TRASH CHUTE ACCESS, SEE 17/A0.11 FOR ACOUSTICAL MITIGATION & CONTROL.
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 - 44 SMOKE GUARD
 - 45 SOLAR ZONE AREA ON TRELLIS, 15% OF TOTAL ROOF AREA

LEGEND

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 - 3-HOUR FIRE WALL
 - INDICATES 6'-0" MIN. VERT. CLEARANCE FOR ACCESSIBLE PARKING SPOT
 - INDICATES SOLAR READY AREA
 - STEEL FIRE-RATED WINDOWS

RETAIL PLUMBING FIXTURE CALCULATION

| RETAIL AREA | SQFT | REQUIRED | PROVIDED |
|----------------------------------|--------|----------|----------|
| TOTAL RETAIL | 7515 | 1 | 2 |
| MERCHANDISE OCCUPANT LOAD FACTOR | 60 | | |
| OCCUPANTS | 125.25 | | |
| MALE | 62.63 | | |
| FEMALE | 62.63 | | |
| WATER CLOSETS | | | |
| MALE 1:1-100 | 1 | 2 | |
| FEMALE 1:1-100 | 2 | 2 | |
| URINALS | | | |
| MALE 0:1-200 | 1 | 1 | |
| LAVATORIES | | | |
| MALE 1:1-200 | 1 | 2 | |
| FEMALE 1:1-200 | 1 | 2 | |
| DRINKING FOUNTAINS | | | |
| PERSON 1:1-250 | 1 | 1 | |
| SEWER SINK | 1 | 1 | |



HEMLOCK STREET 35.16' WIDE

SUTTER STREET 68.75' WIDE

EXISTING 2 STORY BUILDING

POLK STREET 68.75' WIDE

FLOOR 1 1
1/4" = 1'-0"

BDE ARCHITECTURE
 950 HOWARD STREET
 SAN FRANCISCO
 CA 94103
 P. (415) 677-0966
CLIENT

CONSULTANT
1145 POLK
 1145 POLK STREET SAN FRANCISCO, CA 94109

| REV. | ISSUE | DATE |
|------|-------------|----------|
| 1 | SITE PERMIT | 03.30.18 |
| | PLAN CHECK | |



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PROPOSED FIRST FLOOR PLAN

Sheet Title: As indicated
 Plan No. 1804 DRAWN BY SP
 Sheet Size: 30 x 42

A2.01

GENERAL NOTES

- A. U.O.N. DIMENSIONS ARE TO FACE OF STUD OR FOUNDATION WALL, TYP.
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WALL TYPE NOTES

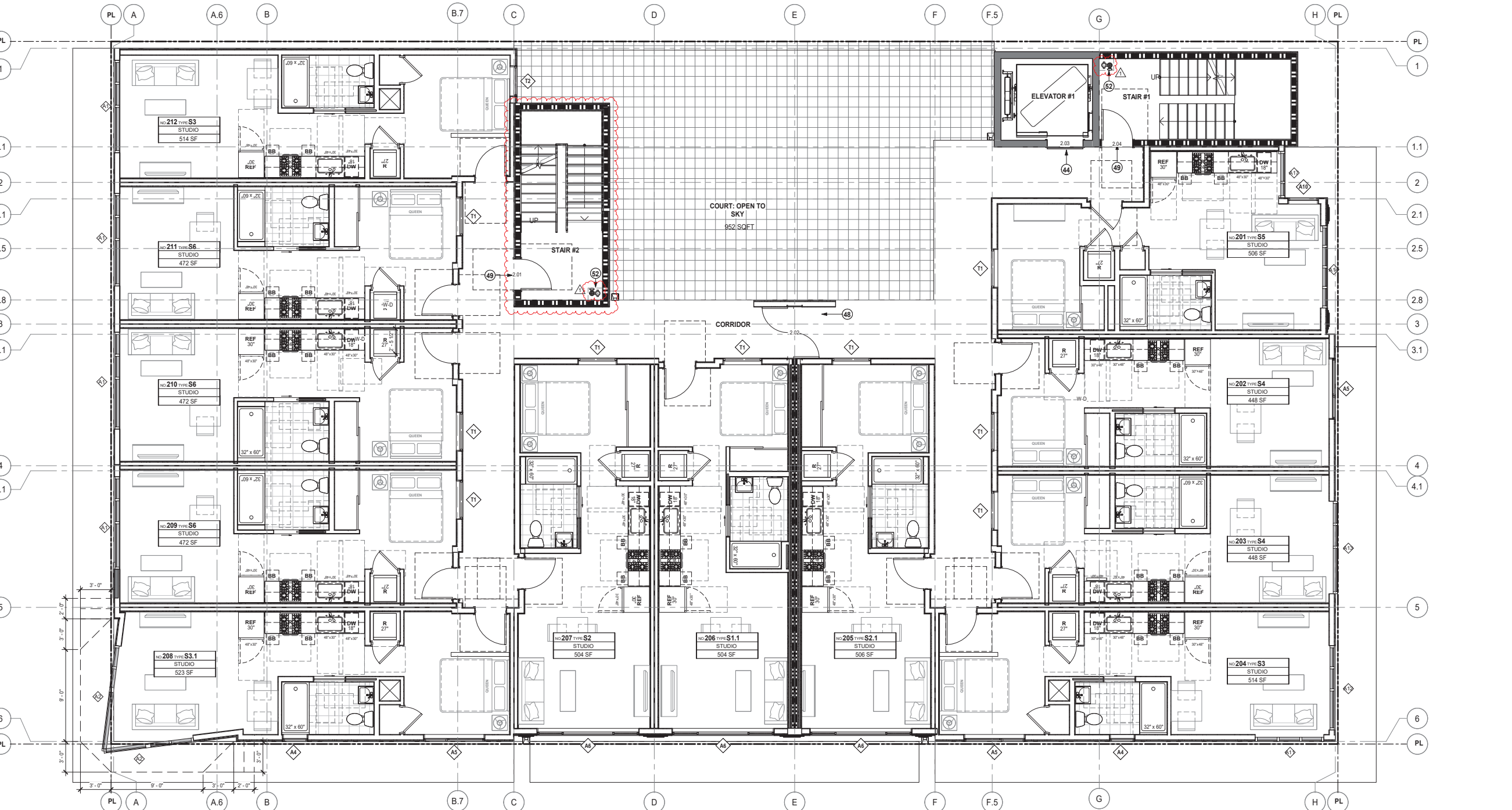
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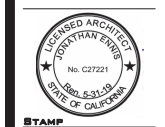
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 - 26 TRENCH DRAIN, S.P.D.
 - 27 LINE OF WALL OR PODIUM BELOW
 - 28 LINE OF LEVEL OR STRUCTURE ABOVE
 - 29 LINE OF ROOF BELOW
 - 30 43" HIGH GUARD RAIL
 - 31 SEMI RECESSED FIRE EXTINGUISHER EXCEPT AT CONCRETE ASSEMBLIES
 - 32 EXHAUST IN 2-HR SHAFT TO ROOF, S.M.D.
 - 33 FRESH-AIR SUPPLY IN 2-HR SHAFT TO ROOF, S.M.D.
 - 34 BOILER EXHAUST AND INTAKE, LOCATED IN 2-HR SHAFT TO ROOF
 - 35 DUCT FOR MAINTENANCE ROOM, FAN/VENT UNIT, S.M.D.
 - 36 ELEVATOR PENTHOUSE
 - 37 43" HIGH PARAPET WALL
 - 38 WALK PADS
 - 39 ROOF DRAIN
 - 40 SCUPPER WITH CONDUCTOR TO DOWN SPOUT
 - 41 BUILT-UP ROOFING, CLASS A
 - 42 ROOF ANCHOR, REFER TO EBMS DRAWINGS FOR MORE INFORMATION.
 - 43 TRANSFORMER, S.C.D. & S.E.D.
 - 44 SMOKE GUARD
 - 45 SOLAR ZONE AREA ON TRELLIS, 15% OF TOTAL ROOF AREA

LEGEND

- NOTE: SEE A10.00 FOR SPECIFIC WALL TYPES
- PARTIAL HEIGHT WALL
 - FULL HEIGHT WALL
 - CMU WALL, S.S.D.
 - CONCRETE WALL/COLUMN, S.S.D.
 - 1-HOUR FIRE BARRIER (45 MIN OPENING PROTECTION, EXCEPT FOR 20 MIN @ CORRIDOR)
 - 2-HOUR FIRE BARRIER (90 MIN OPENING PROTECTION)
 - 3-HOUR FIRE WALL
 - INDICATES 8'-2" MIN. VERT. CLEARANCE FOR ACCESSIBLE PARKING SPOT
 - INDICATES SOLAR READY AREA
 - STEEL FIRE-RATED WINDOWS



| REV. | ISSUE | DATE |
|------|---------------------------|----------|
| 1 | SITE PERMIT PLAN CHECK | 03.30.18 |



PROPOSED SECOND FLOOR PLAN

Sheet Title: As indicated
 Project No. 1804 DRAWN BY SP
 Sheet Size: 30" x 42"

GENERAL NOTES

- A. U.O.N. DIMENSIONS ARE TO FACE OF STUD OR FOUNDATION WALL, TYP.
- B. SEE GENERAL SHEETS (A07) GENERAL NOTES, BUILDING AREA CALCULATIONS, ACCESSIBILITY & ADAPTABILITY REQUIREMENTS, ADA SIGNAGE REQUIREMENTS AND EGRESS CALCULATIONS & DIAGRAMS.
- C. UNIT PLANS SHOWN HERE ARE DIAGRAMATIC. REFER TO 1/4" UNIT PLANS AND ENLARGED PLANS FOR ADDITIONAL INFORMATION NOT SHOWN HERE.
- D. SEE SHEET A10.00 FOR WALL ASSEMBLY SCHEDULE.
- E. SEE LANDSCAPE DRAWINGS FOR INFORMATION REGARDING THE GRADING OF ALL EXTERIOR AREAS.
- F. SPOT ELEVATIONS ARE NOTED FROM CIVIL DRAWINGS, 0' = 0" = 0".
- G. ALL EXTR WALLS TO RECEIVE PLYWOOD SHEATHING.
- H. REFER TO STAIR DWGS FOR INFO. NOT SHOWN HERE.
- I. G.C. TO COORDINATE MECHANICAL AND PLUMBING VENTS AS PERMITTED BY CODES TO MINIMIZE ROOF PENETRATIONS.
- J. G.C. TO COORDINATE AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER EXTERIOR METAL FRAMED VOIDS.
- K. ALL GCM FLASHING SHALL BE PAINTED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS.
- L. DRAFT STOPS REQUIRED BETWEEN UNITS SHALL BE 1/2" SHEAR PLYWOOD OR 3/4" TYPE 'X' GWS CARIED TO UNDERSIDE OF ROOF.
- M. G.C. TO INCLUDE AND COORDINATE ROOF CRICKETS IN FIELD FOR PROPER DRAINAGE.
- N. WHERE WALL FINISHES DO NOT ALIGN DUE TO CHANGE IN WALL TYPE, GC TO PROVIDE BACKING TO ENSURE A FLUSH FINISH TRANSITION.
- O. CBC SECTION 1134A LISTS 12 ITEMS FOR BATHROOMS IN TWO POSSIBLE COMBINATIONS FOR ADA COMPLIANCE. SHEET NOTES REFER TO ITEMS 1-12 OR ITEMS 8-12 LISTED BELOW:
 1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.
 2. BATHUBS SHALL COMPLY WITH SECTION 1134A.5.
 3. SHOWERS SHALL COMPLY WITH SECTION 1134A.6.
 4. WATER CLOSETS SHALL COMPLY WITH SECTION 1134A.7.
 5. LAVATORIES, VANITIES, MIRRORS, AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.
 6. WHERE BOTH A TUB AND SHOWER ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE. ADDITIONAL REQUIREMENTS APPLY TO DWELLING UNITS CONTAINING TWO OR MORE BATHROOMS WHEN A BATHUB IS PROVIDED AS THE ACCESSIBLE BATHING FIXTURE.
 7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED, AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
 8. WHERE TWO OR MORE BATHROOMS ARE PROVIDED WITHIN THE SAME DWELLING UNIT AND A BATHUB IS INSTALLED TO COMPLY WITH OPTION 2, ITEM 6 IN ONE BATHROOM AND A SHOWER STALL IS PROVIDED IN A SUBSEQUENT BATHROOM, BOTH THE BATHUB SELECTED TO COMPLY WITH OPTION 2, ITEM 6 AND AT LEAST ONE SHOWER STALL WITHIN THE DWELLING UNIT SHALL MEET ALL THE APPLICABLE ACCESSIBILITY REQUIREMENTS PROVIDED IN SECTION 1134A (SEE SECTION 1134A.5 FOR BATHUBS, OR SECTION 1134A.6 FOR SHOWERS.)

WALL TYPE NOTES

- A. U.O.N. TYPICAL EXTERIOR WALLS TO BE TYPE B1 (REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS).
- B. TYPICAL CONC. BASEMENT WALLS TO BE TYPE A1, U.O.N.
- C. TYPICAL CMU BASEMENT WALLS TO BE TYPE A10, U.O.N.
- D. TYPICAL INT. 1-HR CORRIDOR WALLS TO BE TYPE C1, U.O.N.
- E. TYPICAL INTERIOR 1-HR CORRIDOR WALLS AT BATHROOM PLUMBING TO BE TYPE C2, U.O.N.
- F. TYPICAL 1-HR UNIT SEPARATION WALLS TO BE TYPE D2, U.O.N. (S.S.D. FOR STUD AND SHEAR CONFIGURATION).
- G. TYPICAL INTERIOR UNIT WALLS TO BE TYPE E2, U.O.N.
- H. TYPICAL 1-HR UNIT SEPARATION WALLS AT PLUMBING WALLS TO BE TYPE D1, U.O.N. (S.S.D. FOR STUD AND SHEAR CONFIGURATION).
- J. TYPICAL 2-HR INTERIOR SHAFT WALL TO BE S1, U.O.N.
- K. TYPICAL 2-HR INTERIOR SHAFT WALL BETWEEN UNITS, STAIRS, & HOISTWAY TO BE D4, U.O.N.

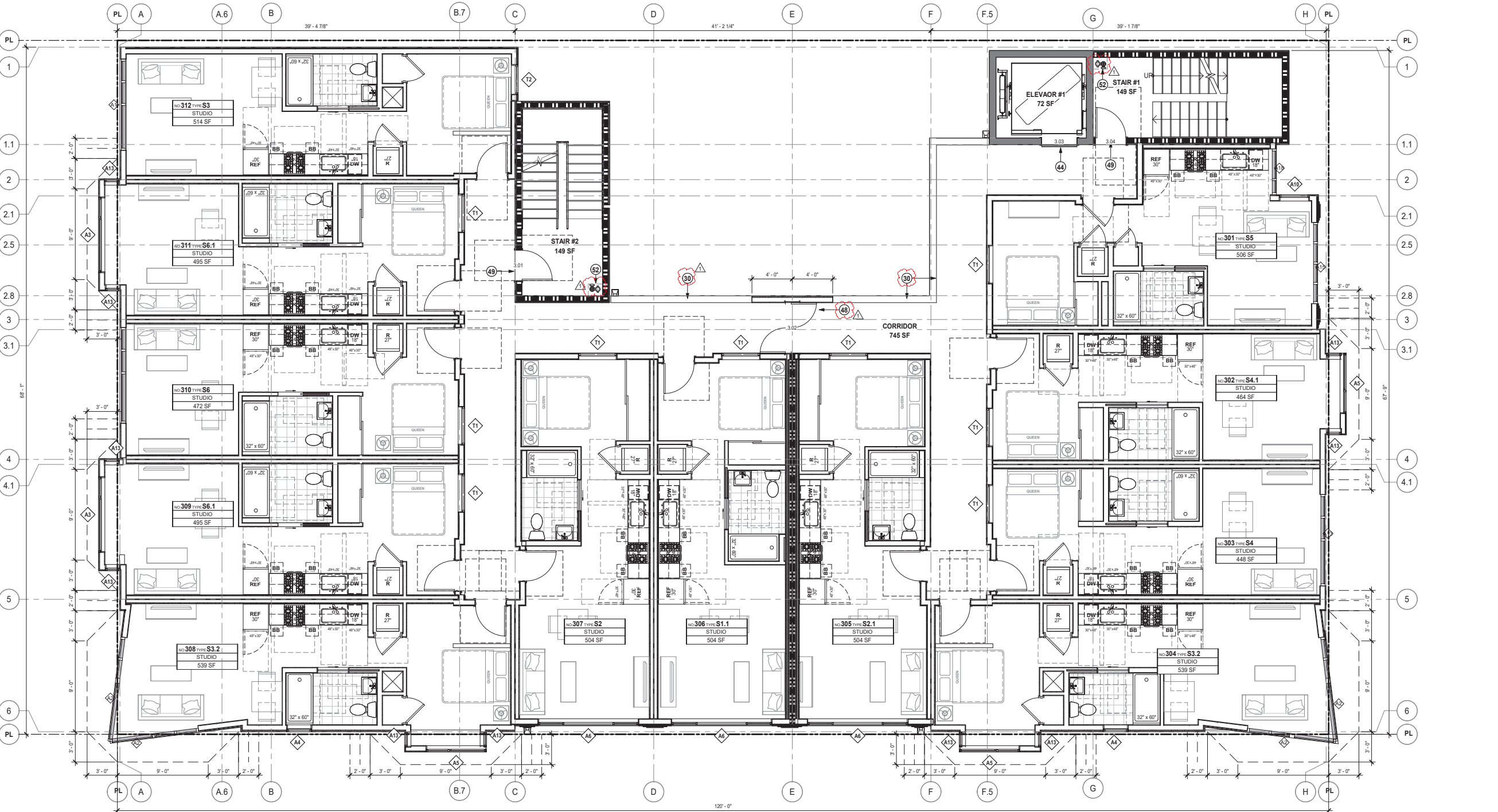
SHEET NOTES

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

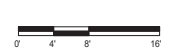
- 1 PROPERTY LINE
- 2 CONCRETE CURB & SIDEWALK, S.C.D.
- 3 LANDSCAPED AREA, S.L.D.
- 4 GAS METERS, S.C.D. & S.L.D.
- 5 IRRIGATION BACKFLOW PREVENTER, SPD & SCD.
- 6 DOMESTIC BACKFLOW PREVENTER, SPD & SCD.
- 7 FIRE BACKFLOW PREVENTER, SPD & SCD.
- 8 SAND & OIL INTERCEPTOR, S.P.D.
- 9 TRANSFORMER, S.C.D. & S.E.D.
- 10 ELECTRICAL PANEL / EQUIPMENT, S.E.D.
- 11 AIR CONDENSING UNITS MOUNTED ON ISOLATION PADS, S.M.D.
- 12 HYVAC EQUIPMENT, S.M.D.
- 13 VEHICULAR CLEARANCE BAR LOCATION, SEE 6/A0.20
- 14 PARKING SPACE, TYP.
- 15 DISABLED ACCESSIBLE PARKING SPACE, SEE 6/A0.20
- 16 BIKE RACKS
- 17 ADA STRIPING AND DETECTABLE WARNING (TRUNCATED DOMES), PER CBC11338.8.5.
- 18 BOLLARD, SEE 8/A8.21
- 19 CONCRETE COLUMN, S.S.D.
- 20 TRASH CHUTE ACCESS, SEE 17/A9.11 FOR ACOUSTICAL MITIGATION & CONTROL.
- 21 TRASH CHUTE DISCHARGE W/ FUSIBLE LINK
- 22 3 CUBIC YARD RECYCLING / GARBAGE BINS
- 23 TRASH CHUTE VENT, SEE 10/A8.00.
- 24 HOSE BIB
- 25 FLOOR/AREA DRAINS, S.P.D.
- 26 TRENCH DRAIN, S.P.D.
- 27 LINE OF WALL OR PODIUM BELOW
- 28 LINE OF LEVEL OR STRUCTURE ABOVE
- 29 LINE OF ROOF BELOW
- 30 43" HIGH GUARD RAIL
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- 33 FRESH-AIR SUPPLY IN 2-HR SHAFT TO ROOF, S.M.D.
- 34 BOILER EXHAUST AND INTAKE, LOCATED IN 2-HR SHAFT TO ROOF
- 35 DUCT FOR MAINTENANCE ROOM, FAN/VENT UNIT, S.M.D.
- 36 ELEVATOR PENTHOUSE
- 37 43" HIGH PARAPET WALL
- 38 WALK PADS
- 39 ROOF DRAIN
- 40 SCUPPER WITH CONDUCTOR TO DOWN SPOUT
- 41 BUILT-UP ROOFING, CLASS A
- 42 ROOF ANCHOR, REFER TO EBMS DRAWINGS FOR MORE INFORMATION.
- 43 TRANSFORMER, S.C.D. & S.E.D.
- 44 SMOKE GUARD
- 45 SOLAR ZONE AREA ON TRELLIS: 15% OF TOTAL ROOF AREA
- 46 4" HIGH GLASS OVER 43" HIGH PARAPET WALL
- 47 PRUZZEL PARKING: WALL COMPL'Y WITH SFPD SECTION 4.25 "CAR STACKING/LIFT SYSTEMS" REQUIREMENTS.
- 48 3 HR-RATED DOOR AT 3 HR FIRE WALL / HORIZONTAL EXIT
- 49 1.5 HR-RATED DOOR AT 2 HR FIRE WALL / STAIRWAY
- 50 DETECTABLE WARNING COMPLYING WITH SECTIONS 11B-705.1 AND 11B-705.1.2.5
- 51 EXISTING FIRE HYDRANT. REFER TO CIVIL DRAWINGS
- 52 STANDPIPE
- 53 FIRE DEPARTMENT CONNECTION: MAX DISTANCE 100' FROM HYDRANTS
- 54 STANDPIPE OUTLET

LEGEND

- NOTE: SEE A10.00 FOR SPECIFIC WALL TYPES
- PARTIAL HEIGHT WALL
 - FULL HEIGHT WALL
 - CMU WALL, S.S.D.
 - CONCRETE WALL/COLUMN, S.S.D.
 - 1-HOUR FIRE BARRIER (45 MIN OPENING PROTECTION, EXCEPT FOR 20 MIN @ CORRIDOR)
 - 2-HOUR FIRE BARRIER (90 MIN OPENING PROTECTION)
 - 3-HOUR FIRE WALL
 - INDICATES 8'-2" MIN. VERT. CLEARANCE FOR ACCESSIBLE PARKING SPOT
 - INDICATES SOLAR READY AREA
 - STEEL FIRE-RATED WINDOWS



FLOOR 3 1
1/4" = 1'-0"



| REV. | ISSUE | DATE |
|------|---------------------------|----------|
| 1 | SITE PERMIT PLAN CHECK | 03.30.18 |



STAMP
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

**PROPOSED
THIRD FLOOR
PLAN**

Scale: As indicated
Plan No. 1804 DRAWN BY SP
Sheet Title: 30 x 48

A2.03

GENERAL NOTES

- A. U.O.N. DIMENSIONS ARE TO FACE OF STUD OR FOUNDATION WALL, TYP.
- B. SEE GENERAL SHEETS (A07) GENERAL NOTES, BUILDING AREA CALCULATIONS, ACCESSIBILITY & ADAPTABILITY REQUIREMENTS, ADA SIGNAGE REQUIREMENTS AND EGRESS CALCULATIONS & DIAGRAMS.
- C. UNIT PLANS SHOWN HERE ARE DIAGRAMATIC. REFER TO U47 UNIT PLANS AND ENLARGED PLANS FOR ADDITIONAL INFORMATION NOT SHOWN HERE.
- D. SEE SHEET A10.00 FOR WALL ASSEMBLY SCHEDULE.
- E. SEE LANDSCAPE DRAWINGS FOR INFORMATION REGARDING THE GRADING OF ALL EXTERIOR AREAS.
- F. SPOT ELEVATIONS ARE NOTED FROM CIVIL DRAWINGS, 0' = 0" = 0".
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- H. REFER TO STAIR DWGS FOR INFO. NOT SHOWN HERE.
- I. G.C. TO COORDINATE MECHANICAL AND PLUMBING VENTS AS PERMITTED BY CODES TO MINIMIZE ROOF PENETRATIONS.
- J. G.C. TO COORDINATE AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER EXTERIOR METAL FRAMED VOIDS.
- K. ALL GSM FLASHING SHALL BE PAINTED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS.
- L. DRAFT STOPS REQUIRED BETWEEN UNITS SHALL BE 1/2" SHEAR PLYWOOD OR 3/8" TYPE 'X' GWB CARRIED TO UNDERSIDE OF ROOF.
- M. G.C. TO INCLUDE AND COORDINATE ROOF CRICKETS IN FIELD FOR PROPER DRAINAGE.
- N. WHERE WALL FINISHES DO NOT ALIGN DUE TO CHANGE IN WALL TYPE, GC TO PROVIDE BACKING TO ENSURE A FLUSH FINISH TRANSITION.
- O. CBC SECTION 1134A LISTS 12 ITEMS FOR BATHROOMS IN TWO POSSIBLE COMBINATIONS FOR ADA COMPLIANCE. SHEET NOTES REFER TO ITEMS 1-12 OR ITEMS 8-12 LISTED BELOW:
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 2. BATHUBS SHALL COMPLY WITH SECTION 1134A.5.
 3. SHOWERS SHALL COMPLY WITH SECTION 1134A.6.
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 5. LAVATORIES, VANITIES, MIRRORS, AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.
 6. WHERE BOTH A TUB AND SHOWER ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.
 7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED, AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
 8. WHERE TWO OR MORE BATHROOMS ARE PROVIDED WITHIN THE SAME DWELLING UNIT AND A BATHUB IS INSTALLED TO COMPLY WITH OPTION 2, ITEM 6 IN ONE BATHROOM AND A SHOWER STALL IS PROVIDED IN A SUBSEQUENT BATHROOM, BOTH THE BATHUB SELECTED TO COMPLY WITH OPTION 2, ITEM 6 AND AT LEAST ONE SHOWER STALL WITHIN THE DWELLING UNIT SHALL MEET ALL THE APPLICABLE ACCESSIBILITY REQUIREMENTS PROVIDED IN SECTION 1134A (SEE SECTION 1134A.5 FOR BATHUBS, OR SECTION 1134A.6 FOR SHOWERS.)

WALL TYPE NOTES

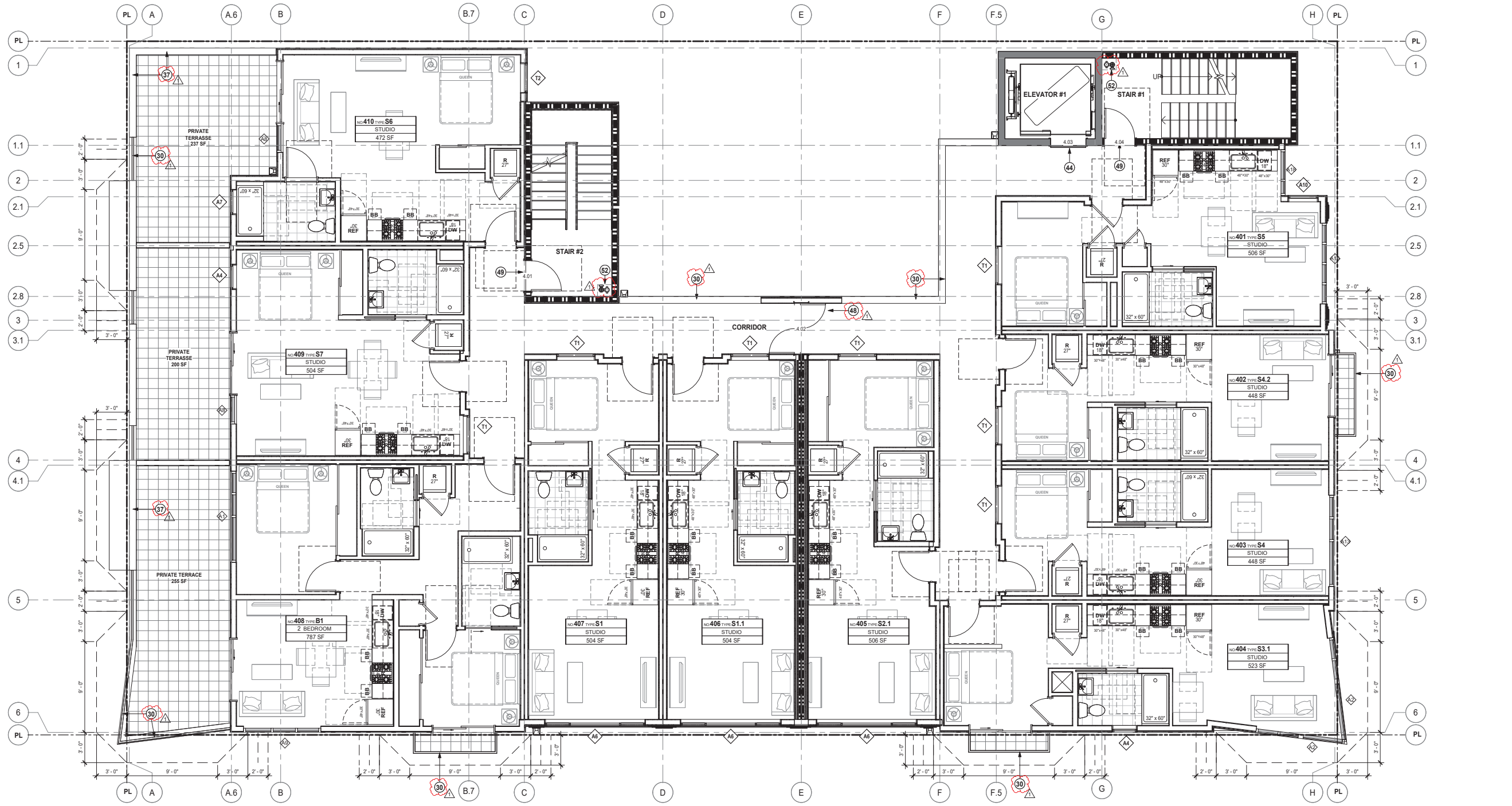
- A. U.O.N. TYPICAL EXTERIOR WALLS TO BE TYPE B1 (REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS).
- B. TYPICAL CONC. BASEMENT WALLS TO BE TYPE A1, U.O.N.
- C. TYPICAL CMU BASEMENT WALLS TO BE TYPE A10, U.O.N.
- D. TYPICAL INT. 1-HR CORRIDOR WALLS TO BE TYPE C1, U.O.N.
- E. TYPICAL INTERIOR 1-HR CORRIDOR WALLS AT BATHROOM PLUMBING TO BE TYPE C2, U.O.N.
- F. TYPICAL 1-HR UNIT SEPARATION WALLS TO BE TYPE D2, U.O.N. (S.S.D. FOR STUD AND SHEAR CONFIGURATION.)
- G. TYPICAL INTERIOR UNIT WALLS TO BE TYPE E2, U.O.N.
- H. TYPICAL INTERIOR UNIT PLUMBING WALLS TO BE TYPE E3, U.O.N.
- I. TYPICAL 1-HR UNIT SEPARATION WALLS AT PLUMBING WALLS TO BE TYPE D1, U.O.N. (S.S.D. FOR STUD AND SHEAR CONFIGURATION.)
- J. TYPICAL 2-HR INTERIOR SHAFT WALL TO BE S1, U.O.N.
- K. TYPICAL 2-HR INTERIOR SHAFT WALL BETWEEN UNITS, STAIRS, & HOISTWAY TO BE D4, U.O.N.

SHEET NOTES

- NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.
- 1 PROPERTY LINE
 - 2 CONCRETE CURB & SIDEWALK, S.C.D.
 - 3 LANDSCAPED AREA, S.L.D.
 - 4 GAS METERS, S.C.D. S.M.D. & S.L.D.
 - 5 IRRIGATION BACKFLOW PREVENTER, SPD & SCD.
 - 6 DOMESTIC BACKFLOW PREVENTER, SPD & SCD.
 - 7 FIRE BACKFLOW PREVENTER, SPD & SCD.
 - 8 SAND & OIL INTERCEPTOR, S.P.D.
 - 9 TRANSFORMER, S.C.D. & S.E.D.
 - 10 ELECTRICAL PANEL / EQUIPMENT, S.E.D.
 - 11 AIR CONDENSING UNITS MOUNTED ON ISOLATION PADS, S.M.D.
 - 12 HVAC EQUIPMENT, S.M.D.
 - 13 VEHICULAR CLEARANCE BAR LOCATION, SEE 16A0.20
 - 14 PARKING SPACE, TYP.
 - 15 DISABLED ACCESSIBLE PARKING SPACE, SEE 6A0.20
 - 16 BIKE RACKS
 - 17 ADA STRIPING AND DETECTABLE WARNING (TRUNCATED DOMES), PER CBC11338.8.5.
 - 18 BOLLARD, SEE 8A8.21
 - 19 CONCRETE COLUMN, S.S.D.
 - 20 TRASH CHUTE ACCESS, SEE 17A0.11 FOR ACOUSTICAL MITIGATION & CONTROL.
 - 21 TRASH CHUTE DISCHARGE W/FUSIBLE LINK
 - 22 3 CUBIC YARD RECYCLING / GARBAGE BINS
 - 23 TRASH CHUTE VENT, SEE 10A0.00.
 - 24 HOSE BIB
 - 25 FLOOR/AREA DRAINS, S.P.D.
 - 26 TRENCH DRAIN, S.P.D.
 - 27 LINE OF WALL OR PODIUM BELOW
 - 28 LINE OF LEVEL OR STRUCTURE ABOVE
 - 29 LINE OF ROOF BELOW
 - 30 43" HIGH GUARD RAIL
 - 31 SEMI RECESSED FIRE EXTINGUISHER EXCEPT AT CONCRETE ASSEMBLIES
 - 32 EXHAUST IN 2-HR SHAFT TO ROOF, S.M.D.
 - 33 FRESH-AIR SUPPLY IN 2-HR SHAFT TO ROOF, S.M.D.
 - 34 BOILER EXHAUST AND INTAKE, LOCATED IN 2-HR SHAFT TO ROOF
 - 35 DUCT FOR MAINTENANCE ROOM, FAN/VENT UNIT, S.M.D.
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 - 42 ROOF ANCHOR, REFER TO EBMS DRAWINGS FOR MORE INFORMATION.
 - 43 TRANSFORMER, S.C.D. & S.E.D.
 - 44 SMOKE GUARD
 - 45 SOLAR ZONE AREA ON TRELLIS: 15% OF TOTAL ROOF AREA
 - 46 4" HIGH GLASS OVER 43" HIGH PARAPET WALL
 - 47 PRIZEL PARKING: WALL COMPLY WITH SFD SECTION 4.25 "CAR STACKING/LIFT SYSTEMS" REQUIREMENTS.
 - 48 3-HR RATED DOOR AT 3-HR FIRE WALL / HORIZONTAL EXIT
 - 49 1.5-HR RATED DOOR AT 2-HR FIRE WALL / STAIRWAY
 - 50 DETECTABLE WARNING COMPLYING WITH SECTIONS 11B-705.1 AND 11B-705.1.2.4
 - 51 EXISTING FIRE HYDRANT. REFER TO CIVIL DRAWINGS
 - 52 STANDPIPE
 - 53 FIRE DEPARTMENT CONNECTION: MAX DISTANCE 100' FROM HYDRANTS
 - 54 STANDPIPE OUTLET

LEGEND

- NOTE: SEE A10.00 FOR SPECIFIC WALL TYPES
- PARTIAL HEIGHT WALL
 - FULL HEIGHT WALL
 - CMU WALL, S.S.D.
 - CONCRETE WALL/COLUMN, S.S.D.
 - 1-HOUR FIRE BARRIER (45 MIN OPENING PROTECTION, EXCEPT FOR 20 MIN @ CORRIDOR)
 - 2-HOUR FIRE BARRIER (90 MIN OPENING PROTECTION)
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 - INDICATES 8'-2" MIN. VERT. CLEARANCE FOR ACCESSIBLE PARKING SPOT
 - INDICATES SOLAR READY AREA
 - STEEL FIRE-RATED WINDOWS



| REV. | ISSUE | DATE |
|------|---------------------------|----------|
| 1 | SITE PERMIT PLAN CHECK | 03.30.18 |



PROPOSED FORTH FLOOR PLAN

Sheet Title: As indicated
 Project No. 1804 DRAWN BY SP
 Sheet Size: 30 x 42

GENERAL NOTES

- A. U.O.N. DIMENSIONS ARE TO FACE OF STUD OR FOUNDATION WALL, TYP.
- B. SEE GENERAL SHEETS (A7'S) GENERAL NOTES, BUILDING AREA CALCULATIONS, ACCESSIBILITY & ADAPTABILITY REQUIREMENTS, ADA SIGNAGE REQUIREMENTS AND EGRESS CALCULATIONS & DIAGRAMS.
- C. UNIT PLANS SHOWN HERE ARE DIAGRAMATIC. REFER TO 1/4" UNIT PLANS AND ENLARGED PLANS FOR ADDITIONAL INFORMATION NOT SHOWN HERE.
- D. SEE SHEET A10.00 FOR WALL ASSEMBLY SCHEDULE.
- E. SEE LANDSCAPE DRAWINGS FOR INFORMATION REGARDING THE GRADING OF ALL EXTERIOR AREAS.
- F. SPOT ELEVATIONS ARE NOTED FROM CIVIL DRAWINGS, 0' = 0" = 0".
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WALL TYPE NOTES

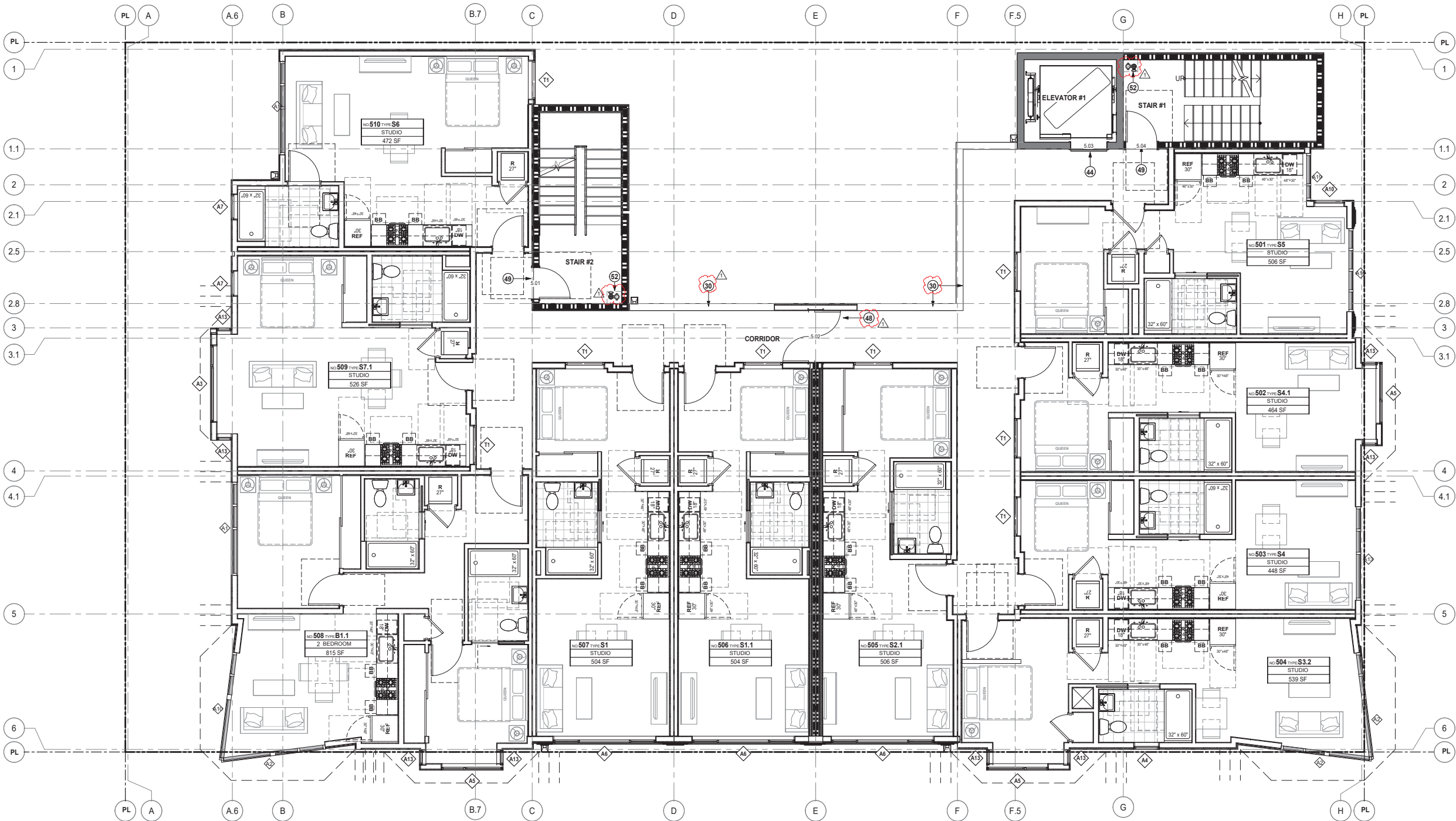
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- B. TYPICAL CONC. BASEMENT WALLS TO BE TYPE A1, U.O.N.
- C. TYPICAL CMU BASEMENT WALLS TO BE TYPE A10, U.O.N.
- D. TYPICAL INT. 1-HR CORRIDOR WALLS TO BE TYPE C1, U.O.N.
- E. TYPICAL INTERIOR 1-HR CORRIDOR WALLS AT BATHROOM PLUMBING TO BE TYPE C2, U.O.N.
- F. TYPICAL 1-HR UNIT SEPARATION WALLS TO BE TYPE D2, U.O.N. (S.S.D. FOR STUD AND SHEAR CONFIGURATION).
- G. TYPICAL INTERIOR UNIT WALLS TO BE TYPE E2, U.O.N.
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SHEET NOTES

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 - 4 GAS METERS, S.C.D., S.M.D. & S.L.D.
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 - 9 TRANSFORMER, S.C.D. & S.E.D.
 - 10 ELECTRICAL PANEL / EQUIPMENT, S.E.D.
 - 11 AIR CONDENSING UNITS MOUNTED ON ISOLATION PADS, S.M.D.
 - 12 HYVAC EQUIPMENT, S.M.D.
 - 13 VEHICULAR CLEARANCE BAR LOCATION, SEE 16A0.20
 - 14 PARKING SPACE, TYP.
 - 15 DISABLED ACCESSIBLE PARKING SPACE, SEE 6A0.20
 - 16 BIKE RACKS
 - 17 ADA STRIPING AND DETECTABLE WARNING (TRUNCATED DOMES), PER CBC11338.8.5.
 - 18 BOLLARD, SEE 8A8.21
 - 19 CONCRETE COLUMN, S.S.D.
 - 20 TRASH CHUTE ACCESS, SEE 17A9.11 FOR ACOUSTICAL MITIGATION & CONTROL.
 - 21 TRASH CHUTE DISCHARGE W/FUSIBLE LINK
 - 22 3 CUBIC YARD RECYCLING / GARBAGE BINS
 - 23 TRASH CHUTE VENT, SEE 10A8.00.
 - 24 HOSE BIB
 - 25 FLOORAREA DRAINS, S.P.D.
 - 26 TRENCH DRAIN, S.P.D.
 - 27 LINE OF WALL OR PODIUM BELOW
 - 28 LINE OF LEVEL OR STRUCTURE ABOVE
 - 29 LINE OF ROOF BELOW
 - 30 43" HIGH GUARD RAIL
 - 31 SEMI RECESSED FIRE EXTINGUISHER EXCEPT AT CONCRETE ASSEMBLIES
 - 32 EXHAUST IN 2-HR SHAFT TO ROOF, S.M.D.
 - 33 FRESH-AIR SUPPLY IN 2-HR SHAFT TO ROOF, S.M.D.
 - 34 BOILER EXHAUST AND INTAKE, LOCATED IN 2-HR SHAFT TO ROOF
 - 35 DUCT FOR MAINTENANCE ROOM, FAN/VENT UNIT, S.M.D.
 - 36 ELEVATOR PENTHOUSE
 - 37 43" HIGH PARAPET WALL
 - 38 WALK PADS
 - 39 ROOF DRAIN
 - 40 SCUPPER WITH CONDUCTOR TO DOWN SPOUT
 - 41 BUILT-UP ROOFING, CLASS A
 - 42 ROOF ANCHOR, REFER TO EBMS DRAWINGS FOR MORE INFORMATION.
 - 43 TRANSFORMER, S.C.D. & S.E.D.
 - 44 SMOKE GUARD
 - 45 SOLAR ZONE AREA ON TRELLIS: 15% OF TOTAL ROOF AREA

LEGEND

- NOTE: SEE A10.00 FOR SPECIFIC WALL TYPES
- PARTIAL HEIGHT WALL
 - FULL HEIGHT WALL
 - CMU WALL, S.S.D.
 - CONCRETE WALL/COLUMN, S.S.D.
 - 1-HOUR FIRE BARRIER (45 MIN OPENING PROTECTION, EXCEPT FOR 20 MIN @ CORRIDOR)
 - 2-HOUR FIRE BARRIER (90 MIN OPENING PROTECTION)
 - 3-HOUR FIRE WALL
 - INDICATES 8'-2" MIN. VERT. CLEARANCE FOR ACCESSIBLE PARKING SPOT
 - INDICATES SOLAR READY AREA
 - STEEL FIRE-RATED WINDOWS



| REV. | ISSUE | DATE |
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PROPOSED FIFTH FLOOR PLAN

Sheet Title: As indicated
 Project No. 1804 DRAWN BY SP
 Sheet Size: 30" x 42"



GENERAL NOTES

- A. U.O.N. DIMENSIONS ARE TO FACE OF STUD OR FOUNDATION WALL, TYP.
- B. SEE GENERAL SHEETS (A7'S) GENERAL NOTES, BUILDING AREA CALCULATIONS, ACCESSIBILITY & ADAPTABILITY REQUIREMENTS, ADA SIGNAGE REQUIREMENTS AND EGRESS CALCULATIONS & DIAGRAMS.
- C. UNIT PLANS SHOWN HERE ARE DIAGRAMATIC. REFER TO 1/4" UNIT PLANS AND ENLARGED PLANS FOR ADDITIONAL INFORMATION NOT SHOWN HERE.
- D. SEE SHEET A10.00 FOR WALL ASSEMBLY SCHEDULE.
- E. SEE LANDSCAPE DRAWINGS FOR INFORMATION REGARDING THE GRADING OF ALL EXTERIOR AREAS.
- F. SPOT ELEVATIONS ARE NOTED FROM CIVIL DRAWINGS, 0' = 0" = 0".
- G. ALL EXTR WALLS TO RECEIVE PLYWOOD SHEATHING.
- H. REFER TO STAIR DWGS FOR INFO. NOT SHOWN HERE.
- I. G.C. TO COORDINATE MECHANICAL AND PLUMBING VENTS AS PERMITTED BY CODES TO MINIMIZE ROOF PENETRATIONS.
- J. G.C. TO COORDINATE AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER EXTERIOR METAL FRAMED VOIDS.
- K. ALL GSM FLASHING SHALL BE PAINTED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS.
- L. DRAFT STOPS REQUIRED BETWEEN UNITS SHALL BE 1/2" SHEAR PLYWOOD OR 1/8" TYPE 'X' GWB CARRIED TO UNDERSIDE OF ROOF.
- M. G.C. TO INCLUDE AND COORDINATE ROOF CRICKETS IN FELD FOR PROPER DRAINAGE.
- N. WHERE WALL FINISHES DO NOT ALIGN DUE TO CHANGE IN WALL TYPE, GC TO PROVIDE BACKING TO ENSURE A FLUSH FINISH TRANSITION.
- O. CBC SECTION 1134A LISTS 12 ITEMS FOR BATHROOMS IN TWO POSSIBLE COMBINATIONS FOR ADA COMPLIANCE. SHEET NOTES REFER TO ITEMS 1-12 OR ITEMS 8-12 LISTED BELOW:
 1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.
 2. BATHUBS SHALL COMPLY WITH SECTION 1134A.5.
 3. SHOWERS SHALL COMPLY WITH SECTION 1134A.6.
 4. WATER CLOSETS SHALL COMPLY WITH SECTION 1134A.7.
 5. LAVATORIES, VANITIES, MIRRORS, AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.
 6. WHERE BOTH A TUB AND SHOWER ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE. ADDITIONAL REQUIREMENTS APPLY TO DWELLING UNITS CONTAINING TWO OR MORE BATHROOMS WHEN A BATHUB IS PROVIDED AS THE ACCESSIBLE BATHING FIXTURE.
 7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED, AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
 8. WHERE TWO OR MORE BATHROOMS ARE PROVIDED WITHIN THE SAME DWELLING UNIT AND A BATHUB IS INSTALLED TO COMPLY WITH OPTION 2, ITEM 6 IN ONE BATHROOM AND A SHOWER STALL IS PROVIDED IN A SUBSEQUENT BATHROOM, BOTH THE BATHUB SELECTED TO COMPLY WITH OPTION 2, ITEM 6 AND AT LEAST ONE SHOWER STALL WITHIN THE DWELLING UNIT SHALL MEET ALL THE APPLICABLE ACCESSIBILITY REQUIREMENTS PROVIDED IN SECTION 1134A (SEE SECTION 1134A.5 FOR BATHUBS, OR SECTION 1134A.6 FOR SHOWERS.)

WALL TYPE NOTES

- A. U.O.N. TYPICAL EXTERIOR WALLS TO BE TYPE B1 (REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS).
- B. TYPICAL CONC. BASEMENT WALLS TO BE TYPE A1, U.O.N.
- C. TYPICAL CMU BASEMENT WALLS TO BE TYPE A10, U.O.N.
- D. TYPICAL INT. 1-HR CORRIDOR WALLS TO BE TYPE C1, U.O.N.
- E. TYPICAL INTERIOR 1-HR CORRIDOR WALLS AT BATHROOM PLUMBING TO BE TYPE C2, U.O.N.
- F. TYPICAL 1-HR UNIT SEPARATION WALLS TO BE TYPE D2, U.O.N. (S.S.D. FOR STUD AND SHEAR CONFIGURATION).
- G. TYPICAL INTERIOR UNIT WALLS TO BE TYPE E2, U.O.N.
- H. TYPICAL INTERIOR UNIT PLUMBING WALLS TO BE TYPE E3, U.O.N.
- I. TYPICAL 1-HR UNIT SEPARATION WALLS AT PLUMBING WALLS TO BE TYPE D1, U.O.N. (S.S.D. FOR STUD AND SHEAR CONFIGURATION).
- J. TYPICAL 2-HR INTERIOR SHAFT WALL TO BE S1, U.O.N.
- K. TYPICAL 2-HR INTERIOR SHAFT WALL BETWEEN UNITS, STAIRS, & HOISTWAY TO BE D4, U.O.N.

SHEET NOTES

- NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.
- 1 PROPERTY LINE
 - 2 CONCRETE CURB & SIDEWALK, S.C.D.
 - 3 LANDSCAPED AREA, S.L.D.
 - 4 GAS METERS, S.C.D., S.M.D. & S.L.D.
 - 5 IRRIGATION BACKFLOW PREVENTER, SPD & SCD.
 - 6 DOMESTIC BACKFLOW PREVENTER, SPD & SCD.
 - 7 FIRE BACKFLOW PREVENTER, SPD & SCD.
 - 8 SAND & OIL INTERCEPTOR, S.P.D.
 - 9 TRANSFORMER, S.C.D. & S.E.D.
 - 10 ELECTRICAL PANEL / EQUIPMENT, S.E.D.
 - 11 AIR CONDENSING UNITS MOUNTED ON ISOLATION PADS, S.M.D.
 - 12 HVAC EQUIPMENT, S.M.D.
 - 13 VEHICULAR CLEARANCE BAR LOCATION, SEE 16/A0.20
 - 14 PARKING SPACE, TYP.
 - 15 DISABLED ACCESSIBLE PARKING SPACE, SEE 6/A0.20
 - 16 BIKE RACKS
 - 17 ADA STRIPING AND DETECTABLE WARNING (TRUNCATED DOMES), PER CBC11338 8.5.
 - 18 BOLLARD, SEE 8/A0.21
 - 19 CONCRETE COLUMN, S.S.D.
 - 20 TRASH CHUTE ACCESS, SEE 17/A0.11 FOR ACOUSTICAL MITIGATION & CONTROL.
 - 21 TRASH CHUTE DISCHARGE W/ FUSIBLE LINK
 - 22 3 CUBIC YARD RECYCLING / GARBAGE BINS
 - 23 TRASH CHUTE VENT, SEE 10/A0.00
 - 24 HOSE BIB
 - 25 FLOOR/AREA DRAINS, S.P.D.
 - 26 TRENCH DRAIN, S.P.D.
 - 27 LINE OF WALL OR PODIUM BELOW
 - 28 LINE OF LEVEL OR STRUCTURE ABOVE
 - 29 LINE OF ROOF BELOW
 - 30 43" HIGH GUARD RAIL
 - 31 SEMI RECESSED FIRE EXTINGUISHER EXCEPT AT CONCRETE ASSEMBLIES
 - 32 EXHAUST IN 2-HR SHAFT TO ROOF, S.M.D.
 - 33 FRESH-AIR SUPPLY IN 2-HR SHAFT TO ROOF, S.M.D.
 - 34 BOILER EXHAUST AND INTAKE, LOCATED IN 2-HR SHAFT TO ROOF
 - 35 DUCT FOR MAINTENANCE ROOM, FAN/VENT UNIT, S.M.D.
 - 36 ELEVATOR PENTHOUSE
 - 37 43" HIGH PARAPET WALL
 - 38 WALK PADS
 - 39 ROOF DRAIN
 - 40 SCUPPER WITH CONDUCTOR TO DOWN SPOUT
 - 41 BUILT-UP ROOFING, CLASS A
 - 42 ROOF ANCHOR, REFER TO EBMS DRAWINGS FOR MORE INFORMATION.
 - 43 TRANSFORMER, S.C.D. & S.E.D.
 - 44 SMOKE GUARD
 - 45 SOLAR ZONE AREA ON TRELLIS, 15% OF TOTAL ROOF AREA

LEGEND

- NOTE: SEE A10.00 FOR SPECIFIC WALL TYPES
- PARTIAL HEIGHT WALL
 - FULL HEIGHT WALL
 - CMU WALL, S.S.D.
 - CONCRETE WALL/COLUMN, S.S.D.
 - 1-HOUR FIRE BARRIER (45 MIN OPENING PROTECTION, EXCEPT FOR 20 MIN @ CORRIDOR)
 - 2-HOUR FIRE BARRIER (90 MIN OPENING PROTECTION)
 - 3-HOUR FIRE WALL
 - INDICATES 8'-2" MIN. VERT. CLEARANCE FOR ACCESSIBLE PARKING SPOT
 - INDICATES SOLAR READY AREA
 - STEEL FIRE-RATED WINDOWS

| REV. | ISSUE | DATE |
|------|---------------------------|----------|
| 1 | SITE PERMIT PLAN CHECK | 03.30.18 |

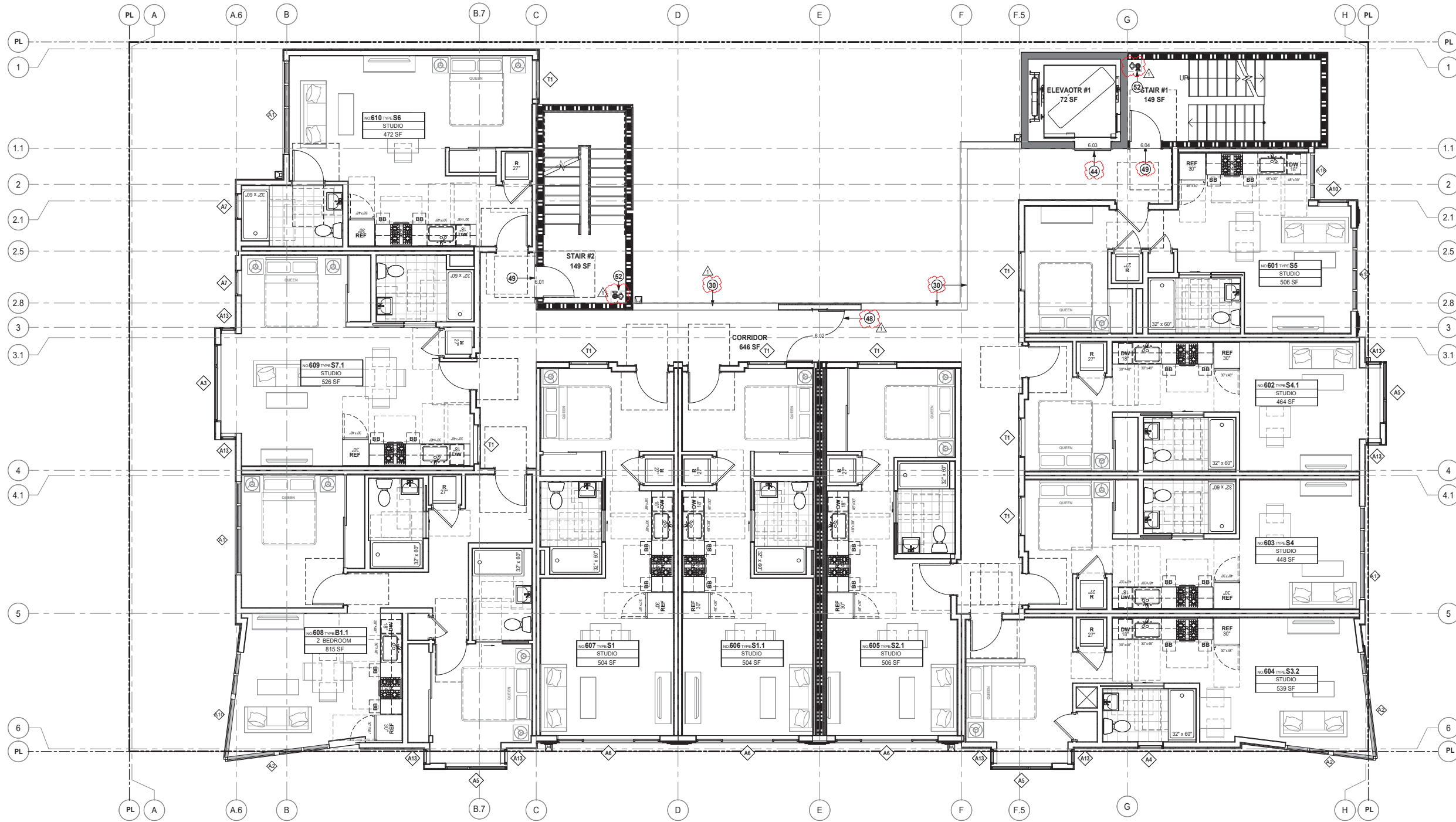


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PROPOSED SIXTH FLOOR PLAN

Sheet Title: As indicated
 Project No.: 1804 DRAWN BY: SP
 Sheet Size: 30" x 42"

A2.06



FLOOR 6 1
1/4" = 1'-0"



GENERAL NOTES

- A. U.O.N. DIMENSIONS ARE TO FACE OF STUD OR FOUNDATION WALL, TYP.
- B. SEE GENERAL SHEETS (A7'S) GENERAL NOTES, BUILDING AREA CALCULATIONS, ACCESSIBILITY & ADAPTABILITY REQUIREMENTS, ADA SIGNAGE REQUIREMENTS AND EGRESS CALCULATIONS & DIAGRAMS.
- C. UNIT PLANS SHOWN HERE ARE DIAGRAMATIC. REFER TO U4' UNIT PLANS AND ENLARGED PLANS FOR ADDITIONAL INFORMATION NOT SHOWN HERE.
- D. SEE SHEET A10.00 FOR WALL ASSEMBLY SCHEDULE.
- E. SEE LANDSCAPE DRAWINGS FOR INFORMATION REGARDING THE GRADING OF ALL EXTERIOR AREAS.
- F. SPOT ELEVATIONS ARE NOTED FROM CIVIL DRAWINGS, 0' = 0" = 0".
- G. ALL EXTR WALLS TO RECEIVE PLYWD SHEATHING.
- H. REFER TO STAIR DWGS FOR INFO. NOT SHOWN HERE.
- I. G.C. TO COORDINATE MECHANICAL AND PLUMBING VENTS AS PERMITTED BY CODES TO MINIMIZE ROOF PENETRATIONS.
- J. G.C. TO COORDINATE AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER EXTERIOR METAL FRAMED VOIDS.
- K. ALL GSM FLASHING SHALL BE PAINTED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS.
- L. DRAFT STOPS REQUIRED BETWEEN UNITS SHALL BE 1/2" SHEAR PLYWOOD OR 3/4" TYPE 'X' GWB CARRIED TO UNDERSIDE OF ROOF.
- M. G.C. TO INCLUDE AND COORDINATE ROOF CRICKETS IN FIELD FOR PROPER DRAINAGE.
- N. WHERE WALL FINISHES DO NOT ALIGN DUE TO CHANGE IN WALL TYPE, GC TO PROVIDE BACKING TO ENSURE A FLUSH FINISH TRANSITION.
- O. CBC SECTION 1134A LISTS 12 ITEMS FOR BATHROOMS IN TWO POSSIBLE COMBINATIONS FOR ADA COMPLIANCE. SHEET NOTES REFER TO ITEMS 1-12 OR ITEMS 8-12 LISTED BELOW:
 1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.
 2. BATHUBS SHALL COMPLY WITH SECTION 1134A.5.
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 5. LAVATORIES, VANITIES, MIRRORS, AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.
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 8. WHERE TWO OR MORE BATHROOMS ARE PROVIDED WITHIN THE SAME DWELLING UNIT AND A BATHUB IS INSTALLED TO COMPLY WITH OPTION 2, ITEM 6 IN ONE BATHROOM AND A SHOWER STALL IS PROVIDED IN A SUBSEQUENT BATHROOM, BOTH THE BATHUB SELECTED TO COMPLY WITH OPTION 2, ITEM 6 AND AT LEAST ONE SHOWER STALL WITHIN THE DWELLING UNIT SHALL MEET ALL THE APPLICABLE ACCESSIBILITY REQUIREMENTS PROVIDED IN SECTION 1134A (SEE SECTION 1134A.5 FOR BATHUBS, OR SECTION 1134A.6 FOR SHOWERS.)

WALL TYPE NOTES

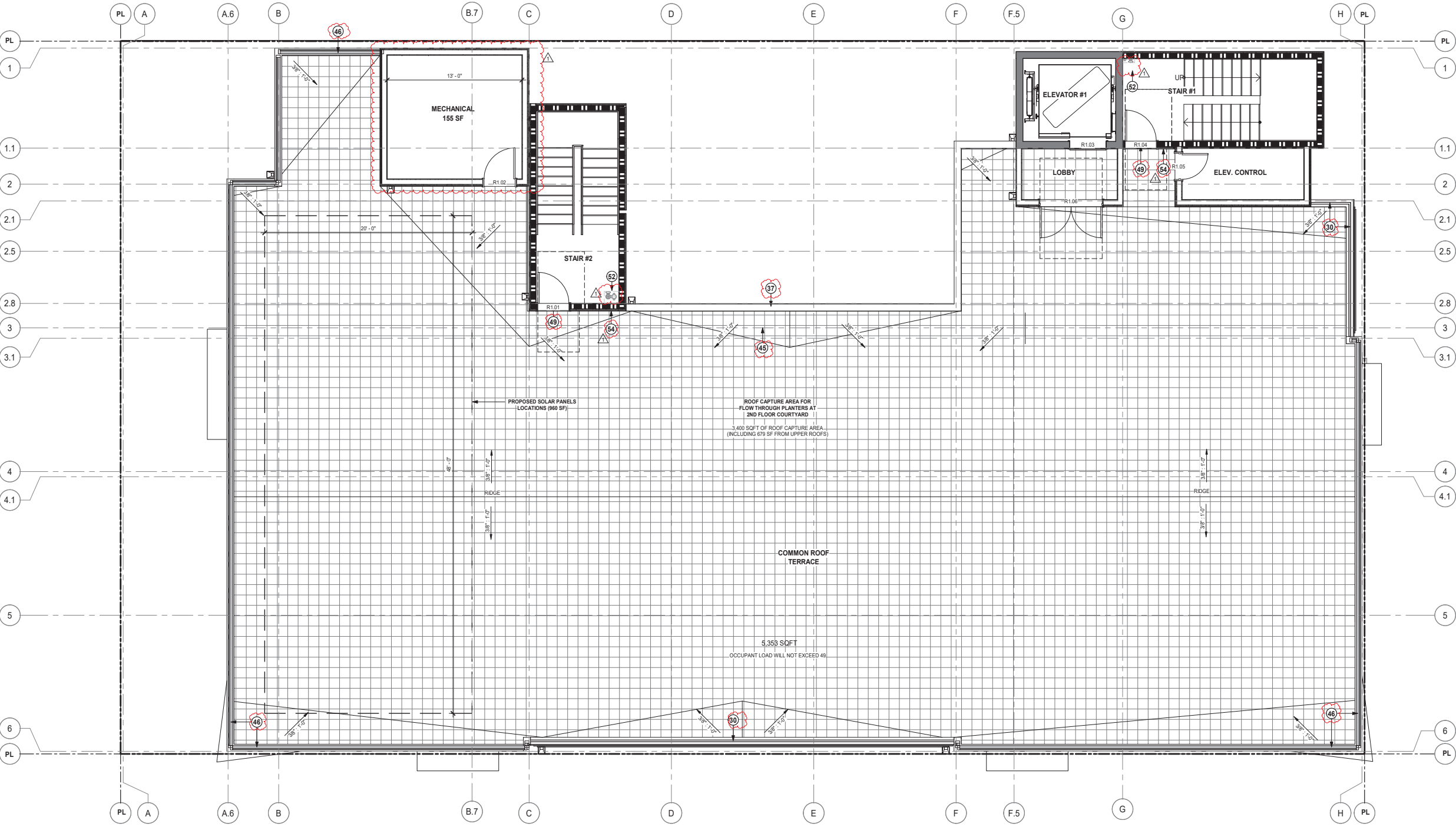
- A. U.O.N. TYPICAL EXTERIOR WALLS TO BE TYPE B1 (REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS).
- B. TYPICAL CONC. BASEMENT WALLS TO BE TYPE A1, U.O.N.
- C. TYPICAL CMU BASEMENT WALLS TO BE TYPE A10, U.O.N.
- D. TYPICAL INT. 1-HR CORRIDOR WALLS TO BE TYPE C1, U.O.N.
- E. TYPICAL INTERIOR 1-HR CORRIDOR WALLS AT BATHROOM PLUMBING TO BE TYPE C2, U.O.N.
- F. TYPICAL 1-HR UNIT SEPARATION WALLS TO BE TYPE D2, U.O.N. (S.S.D. FOR STUD AND SHEAR CONFIGURATION)
- G. TYPICAL INTERIOR UNIT WALLS TO BE TYPE E2.1
- H. TYPICAL INTERIOR UNIT PLUMBING WALLS TO BE TYPE E3.1
- I. TYPICAL 1-HR UNIT SEPARATION WALLS AT PLUMBING WALLS TO BE TYPE D1, U.O.N. (S.S.D. FOR STUD AND SHEAR CONFIGURATION)
- J. TYPICAL 2-HR INTERIOR SHAFT WALL TO BE S1, U.O.N.
- K. TYPICAL 2-HR INTERIOR SHAFT WALL BETWEEN UNITS, STAIRS, & HOISTWAY TO BE D4, U.O.N.

SHEET NOTES

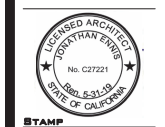
- NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.
- 1 PROPERTY LINE
 - 2 CONCRETE CURB & SIDEWALK, S.C.D.
 - 3 LANDSCAPED AREA, S.L.D.
 - 4 GAS METERS, S.C.D. S.M.D. & S.L.D.
 - 5 IRRIGATION BACKFLOW PREVENTER, SPD & SCD.
 - 6 DOMESTIC BACKFLOW PREVENTER, SPD & SCD.
 - 7 FIRE BACKFLOW PREVENTER, SPD & SCD.
 - 8 SAND & OIL INTERCEPTOR, S.P.D.
 - 9 TRANSFORMER, S.C.D. & S.E.D.
 - 10 ELECTRICAL PANEL / EQUIPMENT, S.E.D.
 - 11 AIR CONDENSING UNITS MOUNTED ON ISOLATION PADS, S.M.D.
 - 12 HVAC EQUIPMENT, S.M.D.
 - 13 VEHICULAR CLEARANCE BAR LOCATION, SEE 16/A0.20
 - 14 PARKING SPACE, TYP.
 - 15 DISABLED ACCESSIBLE PARKING SPACE, SEE 6/A0.20
 - 16 BIKE RACKS
 - 17 ADA STRIPING AND DETECTABLE WARNING (TRUNCATED DOMES), PER CBC 11338.8.5.
 - 18 BOLLARD, SEE 8/A0.21
 - 19 CONCRETE COLUMN, S.S.D.
 - 20 TRASH CHUTE ACCESS, SEE 17/A0.11 FOR ACOUSTICAL MITIGATION & CONTROL.
 - 21 TRASH CHUTE DISCHARGE W/ FUSIBLE LINK
 - 22 3 CUBIC YARD RECYCLING / GARBAGE BINS
 - 23 TRASH CHUTE VENT, SEE 10/A0.00.
 - 24 HOSE BIB
 - 25 FLOOR/AREA DRAINS, S.P.D.
 - 26 TRENCH DRAIN, S.P.D.
 - 27 LINE OF WALL OR PODIUM BELOW
 - 28 LINE OF LEVEL OR STRUCTURE ABOVE
 - 29 LINE OF ROOF BELOW
 - 30 43" HIGH GUARD RAIL
 - 31 SEMI RECESSED FIRE EXTINGUISHER EXCEPT AT CONCRETE ASSEMBLIES
 - 32 EXHAUST IN 2-HR SHAFT TO ROOF, S.M.D.
 - 33 FRESH AIR SUPPLY IN 2-HR SHAFT TO ROOF, S.M.D.
 - 34 BOILER EXHAUST AND INTAKE, LOCATED IN 2-HR SHAFT TO ROOF
 - 35 DUCT FOR MAINTENANCE ROOM, FAN/VENT UNIT, S.M.D.
 - 36 ELEVATOR PENTHOUSE
 - 37 43" HIGH PARAPET WALL
 - 38 WALK PADS
 - 39 ROOF DRAIN
 - 40 SCUPPER WITH CONDUCTOR TO DOWN SPOUT
 - 41 BUILT-UP ROOFING, CLASS A
 - 42 ROOF ANCHOR, REFER TO EIMS DRAWINGS FOR MORE INFORMATION.
 - 43 TRANSFORMER, S.C.D. & S.E.D.
 - 44 SMOKE GUARD
 - 45 SOLAR ZONE AREA ON TRELLIS, 15% OF TOTAL ROOF AREA
 - 46 4" HIGH GLASS OVER 43" HIGH PARAPET WALL
 - 47 PUZZLE PARKING, WILL COMPLY WITH SFPD SECTION 4.25 "CAR STACKING/LIFT SYSTEMS" REQUIREMENTS.
 - 48 3 HR-RATED DOOR AT 3 HR FIRE WALL / HORIZONTAL EXIT
 - 49 1.5 HR-RATED DOOR AT 2 HR FIRE WALL / STAIRWAY
 - 50 DETECTABLE WARNING COMPLYING WITH SECTIONS 11B-TS.1 AND 11B-TS.1.2.3
 - 51 EXISTING FIRE HYDRANT, REFER TO CIVIL DRAWINGS
 - 52 STANDPIPE
 - 53 FIRE DEPARTMENT CONNECTION: MAX DISTANCE 100' FROM HYDRANTS
 - 54 STANDPIPE OUTLET

LEGEND

- NOTE: SEE A10.00 FOR SPECIFIC WALL TYPES
- PARTIAL HEIGHT WALL
 - FULL HEIGHT WALL
 - CMU WALL, S.S.D.
 - CONCRETE WALL/COLUMN, S.S.D.
 - 1-HOUR FIRE BARRIER (45 MIN OPENING PROTECTION, EXCEPT FOR 20 MIN @ CORRIDOR)
 - 2-HOUR FIRE BARRIER (90 MIN OPENING PROTECTION)
 - 3-HOUR FIRE WALL
 - INDICATES 8'-2" MIN. VERT. CLEARANCE FOR ACCESSIBLE PARKING SPOT
 - INDICATES SOLAR READY AREA
 - STEEL FIRE-RATED WINDOWS



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PROPOSED ROOF PLAN

Sheet Title: As indicated
 Proj. No. 1804 DRAWN BY SP
 Sheet Desc. 20 x 48

6/21/2018 9:17:26 AM

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**PROPOSED
EAST (POLK
STREET)
ELEVATION**
As indicated
Plan No. 1804 DRAWN BY SP
Sheet Size: 30 x 42



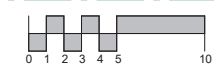
EAST (POLK STREET) ELEVATION

BUILDING HEIGHT FOR
PLANNING DEPARTMENT
MEASURED FROM POLK
STREET (5.2% SLOPE)

T.C. EL. 131.02

CL

1





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PROPOSED NORTH (SUTTER STREET) ELEVATION

SHEET TITLE

SCALE

PROJ. NO. 1804 DRAWN BY SP

SHEET SIZE: 30 x 48



NORTH (SUTTER STREET) ELEVATION



STAMP
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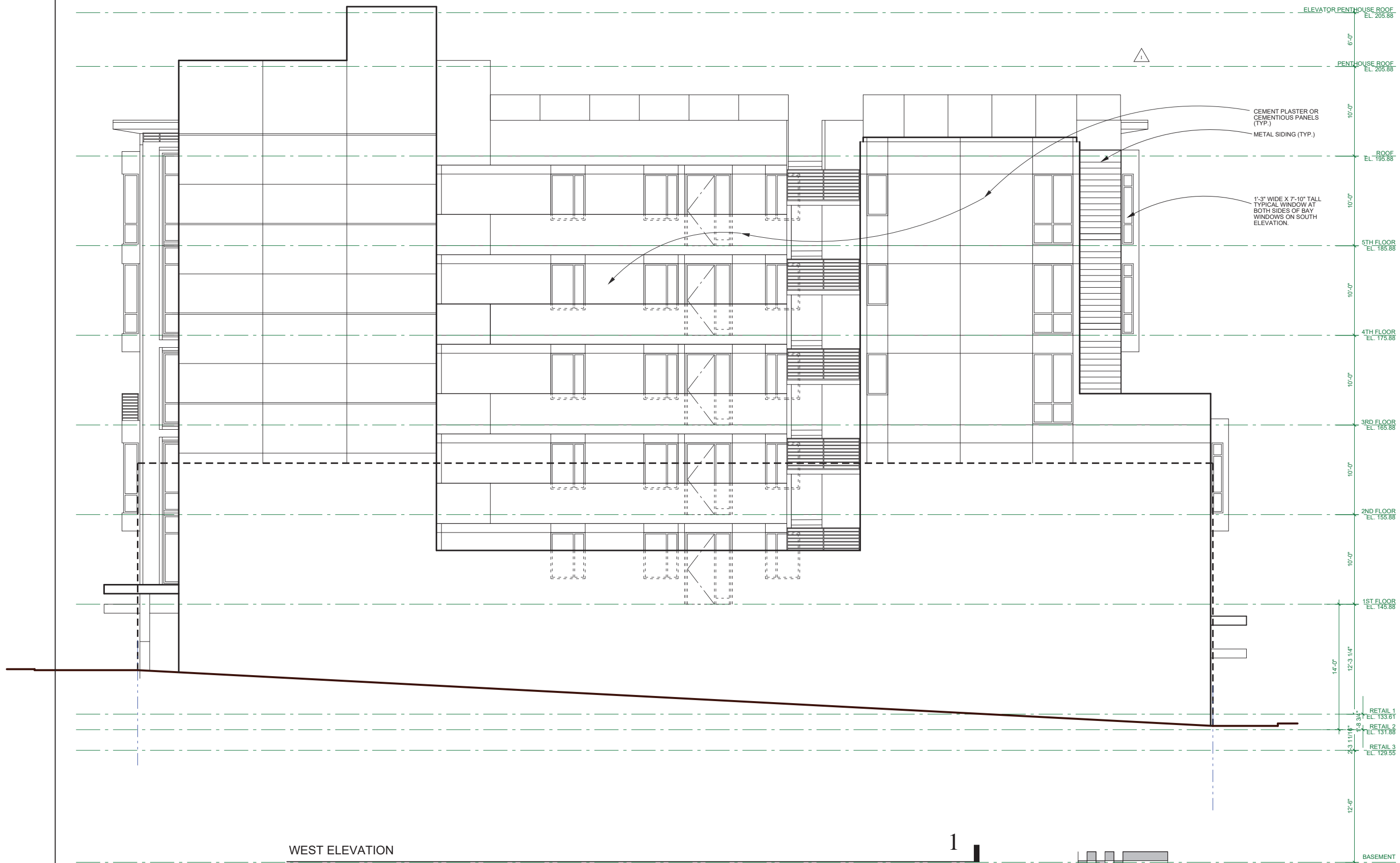
PROPOSED WEST PROPERTY LINE

SHEET TITLE

ELEVATION

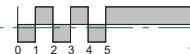
PROJ. NO. 1804 DRAWN BY XX

SHEET SIZE: 30 x 48



WEST ELEVATION

1



| REV. | ISSUE | DATE |
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WRITTEN CONSENT OF THE ARCHITECT

**PROPOSED
SOUTH
(HEMLOCK
STREET)**

SCALE ELEVATION
PROJ. NO. 1804 DRAWN BY SP
SHEET SIZE: 30 x 42



SOUTH (HEMLOCK STREET) ELEVATION

1





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AND UNREPRODUCED WORK OF THE
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WRITTEN CONSENT OF THE ARCHITECT

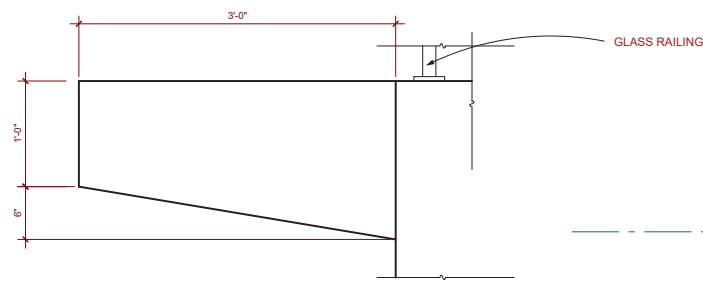
**PROPOSED
BUILDING
SECTION**

SHEET TITLE As indicated

SCALE As indicated

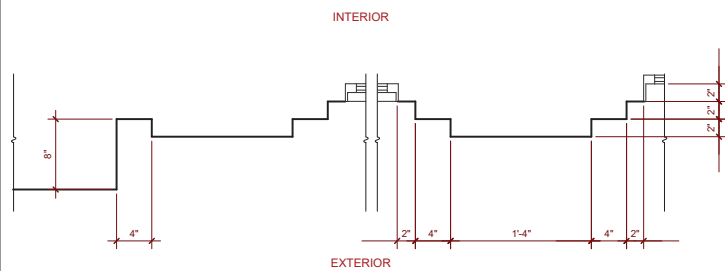
PROJ. NO. 1804 DRAWN BY SP

SHEET SIZE: 30 X 42



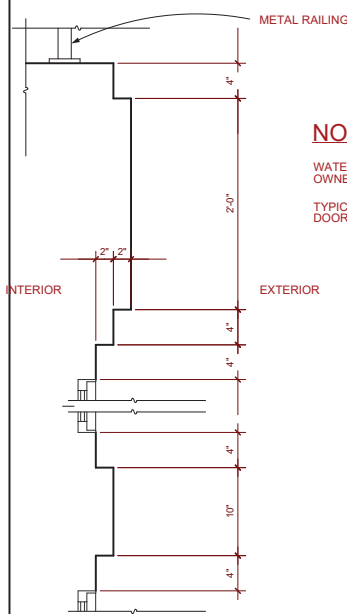
ROOF OVERHANG PROFILE DETAIL 3

SCALE: 1-1/2" = 1'-0"



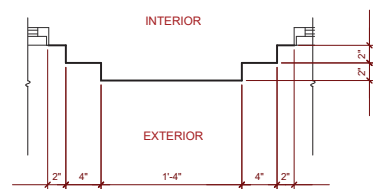
WINDOW JAMB PROFILE DETAIL 4

SCALE: 1-1/2" = 1'-0"



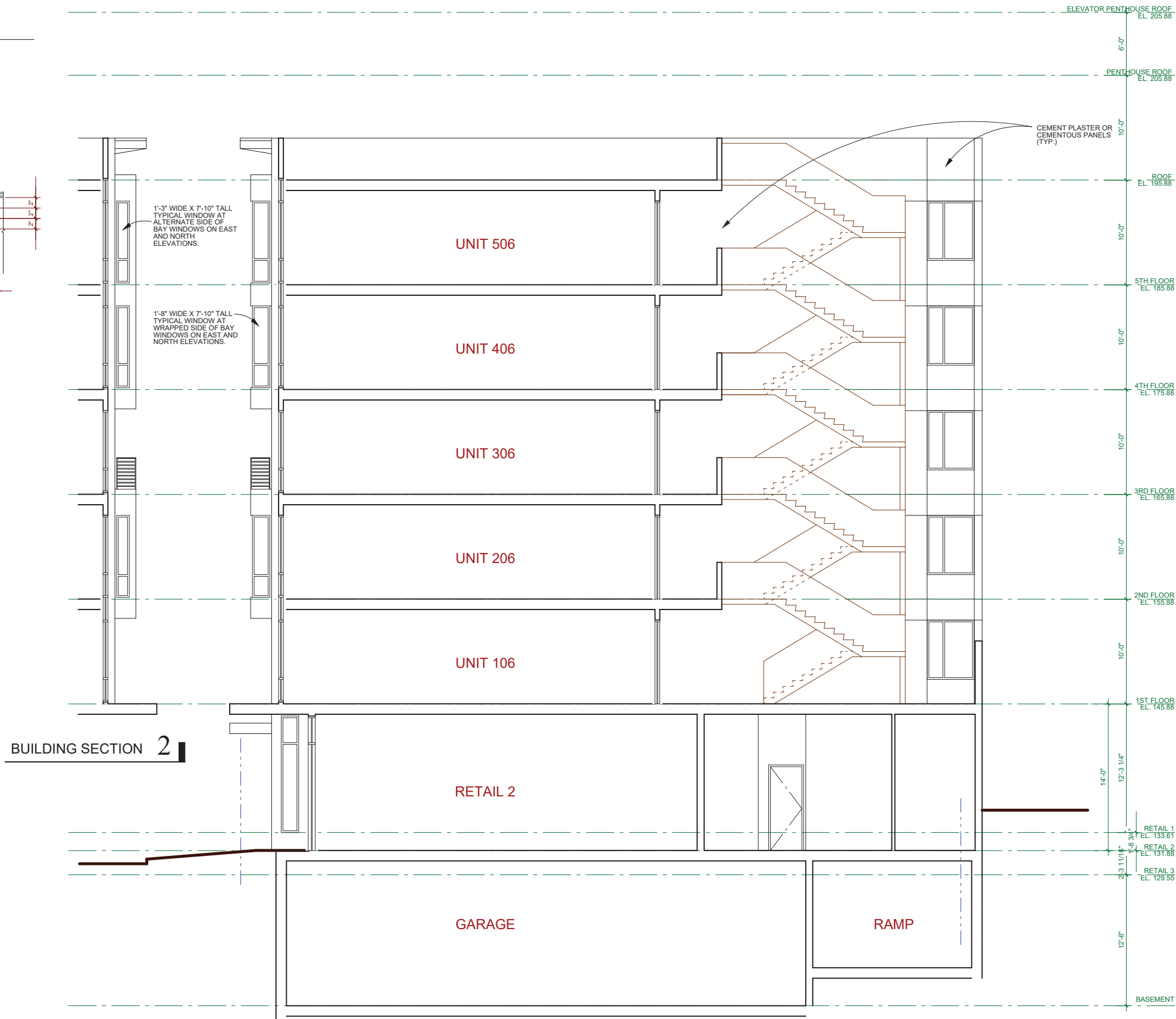
WINDOW SILL / HEAD PROFILE DETAIL 5

SCALE: 1-1/2" = 1'-0"



WINDOW COLUMN PROFILE DETAIL 6

SCALE: 1-1/2" = 1'-0"



BUILDING SECTION 2

BUILDING SECTION

