

EXECUTIVE SUMMARY CONDITIONAL USE AUTHORIZATION

HEARING DATE: MARCH 25, 2021

CONSENT CALENDAR

2020-011265CUA
1550 Wallace Avenue
PDR-1-B (Production, Distribution & Repair – Light Industrial Buffer) Zoning District
40-X Height and Bulk District
4829/027
Henry Karnilowicz
Occidental Express
1019 Howard Street
San Francisco, CA 94103
Ali Jamalian
570 Bryant Street
San Francisco, CA 94107
Michael Christensen – (628) 652-7567
Michael.Christensen@sfgov.org

Recommendation: Approval with Conditions

Project Description

The Project includes the establishment of a 8,500 square foot Industrial Agriculture facility within an existing one-story Industrial building.

Required Commission Action

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization, pursuant to Planning Code Sections 210.3 and 303, to allow an Industrial Agriculture use within the PDR-1-B (Production, Distribution & Repair – Light Industrial Buffer) Zoning District.

Issues and Other Considerations

- **Public Comment & Outreach:** No comments have been received regarding the Proposed project.
- **Renewable Energy Mandate.** As part of the licensing requirements of the City's Office of Cannabis, the business is required to reduce the environmental impact of its operation by selecting one of the following options:
 - By participating in the San Francisco Public Utilities Commission (SFPUC) CleanPowerSF Service, or procurement from electricity suppliers that provide at least equivalent renewable energy, as determined by the Power Content Label reported to the California Energy Commission for the most recent available year;
 - o By procuring energy from the SFPUC's Hetch Hetchy hydroelectric power supply; or
 - o By including on-site renewable energy generation as part of the project.
- Energy and Water Usage. In addition to the renewable energy mandate, the Project Sponsor has incorporated the following features into their operational plan to be submitted to the City's Office of Cannabis:
 - The cultivation facility will be running on highly efficient LED fixtures connected to a cultivation control system designed to run at maximum efficiency and therefore lowest electrical usage possible.
 - We will install and commission recirculating irrigation, recovery, and filtration systems designed to irrigate on demand therefore eliminating over-usage of H2O digitally.
 - The HVAC systems will recover up to 85% of the atmospheric H2O with our dehumidification and recovery system.
 - We will deploy Variable Drive Fans and Variable Flow AC in addition to our ERV systems as per title 24 requirements.
- Cannabis Use Buffers. Planning Code Section 202.2 requires a 600-foot buffer between storefront (Cannabis Retail and Medical Cannabis Dispensary) uses and other storefront uses, and also requires such buffer from schools, public or private. No buffer is required for non-storefront uses. The proposal does not include any storefront use and thus is not subject to such buffer requirement. If the site were authorized to pursue a Cannabis Retail storefront license by the City's Office of Cannabis, it would be subject to the buffer and permit requirements for that use at that time.
- Workforce. Per the sponsor, the proposed business will employ "7 skilled cultivators, 5 cultivation assistants, 2 cleaning and maintenance workers, 1 facility manager, and 2 security guards."
- Site Security. The site has an existing contact for security services and physical security features such as barriers and cameras. If the requested Conditional Use Authorization is approved, the final licensing with the City's Office of Cannabis will include submittal of a Security Plan, which will be reviewed by SFPD.

Environmental Review

The Project is exempt from the California Environmental Quality Act ("CEQA") under Class 1 and Class 3 categorical exemptions.



Basis for Recommendation

The Department finds that the Project is, on balance, consistent with the purpose of the PDR-1-B Zoning District and the Objectives and Policies of the General Plan. The Project allows for the cultivation of cannabis in an existing space and supports other related economic activity in the City. The Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

Attachments:

Draft Motion – Conditional Use Authorization with Conditions of Approval (Exhibit A) Exhibit B – Environmental Determination Exhibit C – Land Use Data Exhibit D – Maps and Context Photos Exhibit E – Project Plans







PLANNING COMMISSION DRAFT MOTION

HEARING DATE: MARCH 25, 2021

Record No.:	2020-011265CUA
Project Address:	1550 Wallace Avenue
Zoning:	PDR-1-B (Production, Distribution & Repair – Light Industrial Buffer) Zoning District
	40-X Height and Bulk District
Block/Lot:	4829/027
Project Sponsor:	Henry Karnilowicz
	Occidental Express
	1019 Howard Street
	San Francisco, CA 94103
Property Owner:	Ali Jamalian
	570 Bryant Street
	San Francisco, CA 94107
Staff Contact:	Michael Christensen – (628) 652-7567
	Michael.Christensen@sfgov.org

ADOPTING FINDINGS RELATING TO A CONDITIONAL PROJECT AUTHORIZATION, PURSUANT TO PLANNING CODE SECTIONS 210.3 AND 303, TO ALLOW THE ESTABLISHMENT OF A 8,500 SQ FT INDUSTRIAL AGRICULTURE USE, LOCATED AT 1550 WALLACE AVENUE, LOT 027 IN ASSESSOR'S BLOCK 4829, WITHIN THE PDR-1-B (PRODUCTION, DISTRIBUTION & REPAIR - CORE) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PREAMBLE

On December 7, 2020, Henry Karnilowicz (hereinafter "Project Sponsor") filed Application No. 2020-011265CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization to establish a 8,500 square foot Industrial Agriculture use within an existing building (hereinafter "Project") at 1550 Wallace Avenue, Block 4829 Lot 027 (hereinafter "Project Site").

The Project is categorically exempt from CEQA under Class 1 and Class 3 exemptions.

On March 25, 2021, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2020-011265CUA.

The Planning Department Commission Secretary is the Custodian of Records; the File for Record No. 2020-011265CUA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2020-011265CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

- 1. The above recitals are accurate and constitute findings of this Commission.
- 2. **Project Description.** The Project includes the establishment of a 8,500 square foot Industrial Agriculture facility within an existing one-story Industrial building.
- **3. Site Description and Present Use.** The site was previously used by a cannabis cultivator under a medical cannabis collective. Between 2018 and 2020, the parcel was merged with an adjacent parcel, then resubdivided by the property owner. During this period, the property was vacated.
- **4. Surrounding Properties and Neighborhood.** The Project Site is located within the PDR-1-B Zoning District in the Bayview Hunter's Point Area Plan. The immediate context is Industrial in nature, with one to two story Industrial buildings. Properties within one block of the site are all Industrial in nature, with Residential buildings further to the south and the SF Bay further to the east.
- 5. Public Outreach and Comments. No comments have been received regarding the Proposed project.
- **6. Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. Use. Planning Code Section 210.3 requires a Conditional Use Authorization for an Industrial Agriculture use in the PDR-1-B Zoning District.

The Project requests a Conditional Use Authorization, as required by the Section.

- **B.** Location and Operation Conditions. Per Planning Code Section 202.2, Agricultural Use is subject to the corresponding conditions:
 - a. Agricultural Uses, General. Any plot of land that exceeds 1,000 square feet and is newly



established shall comply with the applicable water use requirements of Administrative Code Chapter 63. Pursuant to Section 63.6.2(b) of the Administrative Code, no permit for any site where the modified land area exceeds 1,000 square feet shall be issued until the General Manager of the Public Utilities Commission has approved the applicable landscape project documentation.

- b. Industrial Agriculture. Cannabis must only be grown within an enclosed structure.
- 7. Conditional Use Findings. Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:
 - A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The size of the proposed use is in keeping with other industrial units on the block face. The proposed uses are supportive of a new small business to the City, thus providing economic opportunity and employment for residents. The size of the proposed business is in keeping with the size of previous businesses. Overall, the addition of new industrial and commercial uses is necessary and desirable with the overall character of the surrounding neighborhood.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:
 - (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The height and bulk of the existing building will remain the same and will not alter the existing appearance or character of the project vicinity. The proposed work will not affect the building envelope.

(2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Planning Code does not require parking or loading for any uses. The site is well served by transit and will not generate any volume of traffic not already expected by the existing Industrial uses at the site.

(3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The facility will be reviewed by the City's Office of Cannabis for control of any potential odors from the site. Maintaining control of such odors is a requirement of the operator licensing from the Office of Cannabis.



(4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The existing building configuration and streetscape are not altered by the Project.

C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Zoning District.

The Project is consistent with the stated purposed of PDR-1-B Districts in that the intended uses are light and contemporary industrial activity with low potential for noxious emissions, providing economic and employment opportunities to the City and neighborhood.

8. General Plan Compliance. The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

COMMERCE AND INDUSTRY ELEMENT

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.2

Assure that all commercial and industrial uses meet minimum, reasonable performance standards

Policy 1.3

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1

Seek to retain existing commercial and industrial activity and to attract new such activity to the city.

OBJECTIVE 3:

PROVIDE EXPANDED EMPLOYMENT OPPORTUNITIES FOR CITY RESIDENTS, PARTICULARLY THE UNEMPLOYED AND ECONOMICALLY DISADVANTAGED.



Policy 3.1

Promote the attraction, retention and expansion of commercial and industrial firms which provide employment improvement opportunities for unskilled and semi-skilled workers.

Policy 3.4 Assist newly emerging economic activities.

The Project is a small-scale industrial project, activating 8,500 square feet of industrial space to provide employment and economic opportunity through a variety of cannabis related land uses. The Cannabis industry is a new, burgeoning industry that is creating a cluster of economic activity in San Francisco. While cultivation may yield a similar job density as distribution and warehousing, it is complementary to other cannabis uses that provide significant job opportunities to unskilled and semi-skilled workers, such as manufacturing. Additionally, the City's equity requirements provide for employment of local residents, increasing the economic vitality of the Bayview District.

- **9. Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:
 - A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The project site does not possess any neighborhood-serving retail uses. Such uses are not permitted in the District.

B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The project site does not possess any housing, and the Project proposes no changes to the massing or exterior of the existing structure.

C. That the City's supply of affordable housing be preserved and enhanced,

The Project site does not contain any existing affordable housing; thus, the City's supply of affordable housing be preserved.

D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project Site is served by nearby public transportation options. As such, it is well served by transit and the project will not overburden streets or neighborhood parking.

E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project does not include commercial office development. The project proposes to establish a



new industrial business owned and managed by a local resident, providing for economic activity to the neighborhood.

F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and will be constructed to conform to the structural and seismic safety requirements of the Building Code. This proposal will not impact the property's ability to withstand an earthquake.

G. That landmarks and historic buildings be preserved.

The Project Site does not contain any City Landmarks or historic buildings.

H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project makes no change to the existing massing or design of the building.

- **10.** The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
- **11.** The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.



DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2020-011265CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated December 1, 2020, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on March 25, 2021.

Jonas P. Ionin Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: March 25, 2021



EXHIBIT A

Authorization

This authorization is for a conditional use to allow a 8,500 sq ft Industrial Agriculture use located at 1550 Wallace Avenue, Lot 18 in Assessor's Block 4829 pursuant to Planning Code Sections **210.3 and 303** within the **PDR-1-B** Zoning District and a **40-X** Height and Bulk District; in general conformance with plans, dated **December 1, 2020**, and stamped "EXHIBIT B" included in the docket for Record No. **2020-011265CUA** and subject to conditions of approval reviewed and approved by the Commission on **March 25, 2021** under Motion No. **XXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

Recordation of Conditions Of Approval

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on March 25, 2021 under Motion No. XXXXX.

Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXX shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

Severability

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.



CONDITIONS OF APPROVAL, COMPLIANCE, MONITORING, AND REPORTING

Performance

1. Validity. The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <u>www.sfplanning.org</u>

2. Expiration and Renewal. Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <u>www.sfplanning.org</u>

3. Diligent Pursuit. Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <u>www.sfplanning.org</u>

4. Extension. All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <u>www.sfplanning.org</u>

5. Conformity with Current Law. No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <u>www.sfplanning.org</u>



6. Additional Project Authorization. The Project Sponsor shall obtain operator licenses from the City's Office of Cannabis and the State of California Bureau of Cannabis Control prior to commencing operation of any commercial cannabis activity.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <u>www.sfplanning.org</u>

Monitoring - After Entitlement

7. Enforcement. Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <u>www.sfplanning.org</u>

8. Revocation due to Violation of Conditions. Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <u>www.sfplanning.org</u>

Operation

9. Community Liaison. Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, <u>www.sf-planning.org</u>

10. Agricultural Use, General. Per Planning Code Section 202.2, any plot of land that exceeds 1,000 square feet and is newly established shall comply with the applicable water use requirements of Administrative Code <u>Chapter 63</u>. Pursuant to Section <u>63.6.2(b)</u> of the Administrative Code, no permit for any site where the modified land area exceeds 1,000 square feet shall be issued until the General Manager of the Public Utilities Commission has approved the applicable landscape project documentation.



For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, <u>www.sf-planning.org</u>

11. Industrial Agriculture. Per Planning Code Section 202.2, cannabis must only be grown within an enclosed structure.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, <u>www.sf-planning.org</u>







CEQA Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address	Block/Lot(s)
1550 WALLACE AVE	4829026
Case No.	Permit No.
2020-011265PRJ	
Addition/ Demolition (requires HRE for Alteration Category B Building)	New Construction

Project description for Planning Department approval.

Establishment of 8,500 square foot Industrial Agriculture use within existing Industrial building.

STEP 1: EXEMPTION TYPE

-	
The p	project has been determined to be exempt under the California Environmental Quality Act (CEQA).
	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
	 Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. FOR ENVIRONMENTAL PLANNING USE ONLY
	Other
	Common Sense Exemption (CEQA Guidelines section 15061(b)(3)). It can be seen with certainty that there is no possibility of a significant effect on the environment. FOR ENVIRONMENTAL PLANNING USE ONLY

STEP 2: ENVIRONMENTAL SCREENING ASSESSMENT TO BE COMPLETED BY PROJECT PLANNER

	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g. use of diesel construction equipment, backup diesel generators, heavy industry, diesel trucks, etc.)? (<i>refer to The Environmental Information tab on the San Francisco Property Information Map</i>)
	 Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? Note that a categorical exemption shall not be issued for a project located on the Cortese List if box is checked, note below whether the applicant has enrolled in or received a waiver from the San Francisco Department of Public Health (DPH) Maher program, or if Environmental Planning staff has determined that hazardous material effects would be less than significant. (refer to The Environmental Information tab on the San Francisco Property Information Map)
	Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? If yes, archeology review is required.
	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (<i>refer to The Environmental Information tab on the San Francisco</i> <i>Property Information Map</i>) If box is checked, Environmental Planning must issue the exemption.
	Average Slope of Parcel = or > 25%, or site is in Edgehill Slope Protection Area or Northwest Mt. Sutro Slope Protection Area: Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, or (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area? (<i>refer to The Environmental Planning tab on the San Francisco Property Information Map</i>) If box is checked, a geotechnical report is likely required and Environmental Planning must issue the exemption.
	Seismic Hazard: Landslide or Liquefaction Hazard Zone: Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area, or (4) grading performed at a site in the landslide hazard zone? (refer to The Environmental tab on the San Francisco Property Information Map) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.
Com	ments and Planner Signature (optional):

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE

TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map)		
	Category A: Known Historical Resource. GO TO STEP 5.	
	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.	
	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.	

STEP 4: PROPOSED WORK CHECKLIST

TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.		
	1. Change of use and new construction. Tenant improvements not included.	
	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.	
	Window replacement that meets the Department's Window Replacement Standards. Does not include storefront window alterations.	
	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.	
	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.	
	 Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way. 	
	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning</i> Administrator Bulletin No. 3: Dormer Windows.	
	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.	
Note: Project Planner must check box below before proceeding.		
	Project is not listed. GO TO STEP 5.	
	Project does not conform to the scopes of work. GO TO STEP 5.	
	Project involves four or more work descriptions. GO TO STEP 5.	
	Project involves less than four work descriptions. GO TO STEP 6.	

STEP 5: ADVANCED HISTORICAL REVIEW

TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project.		
	1. Reclassification of property status. (Attach HRER Part I)	
	Reclassify to Category A Reclassify to Category C a. Per HRER (No further historic review)	
	b. Other <i>(specify)</i> :	
	2. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.	
	3. Interior alterations to publicly accessible spaces that do not remove, alter, or obscure character defining features.	
	4. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.	
	5. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.	

	6. Raising the building in a manner that does not remove, alter, or obscure character-defining features.	
	7. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.	
	8. Work consistent with the Secretary of the Interior Standards for the Treatment of Historic Properties (Analysis required):	
	9. Work compatible with a historic district (Analysis required):	
	10. Work that would not materially impair a historic resource (Attach HRER Part II).	
	Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
	Project can proceed with exemption review . The project has been reviewed by the Preservation Planner and can proceed with exemption review. GO TO STEP 6.	
Comments (<i>optional</i>): Preservation Planner Signature:		

STEP 6: EXEMPTION DETERMINATION TO BE COMPLETED BY PROJECT PLANNER

	No further environmental review is required. The project is exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.		
	Project Approval Action:	Signature:	
	Planning Commission Hearing	Michael Christensen	
		03/24/2021	
	Once signed or stamped and dated, this document constitutes a n exemption pursuant to CEQA Guidelines and Chapter 31of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination to the Board of Supervisors can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.		

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

MODIFIED PROJECT DESCRIPTION

Modified Project Description:

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:		
	Result in expansion of the building envelope, as defined in the Planning Code;	
	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;	
	Result in demolition as defined under Planning Code Section 317 or 19005(f)?	
	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?	
If at least one of the above boxes is checked, further environmental review is required.		

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

Plan	ner Name:	Date:
website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed to the Environmental Review Officer within 10 days of posting of this determination.		
approval and no additional environmental review is required. This determination shall be posted on the Planning Department		
If this box is checked, the proposed modifications are exempt under CEQA, in accordance with prior project		
	The proposed modification wou	uld not result in any of the above changes.

	San Francisco	
Ы	anning	



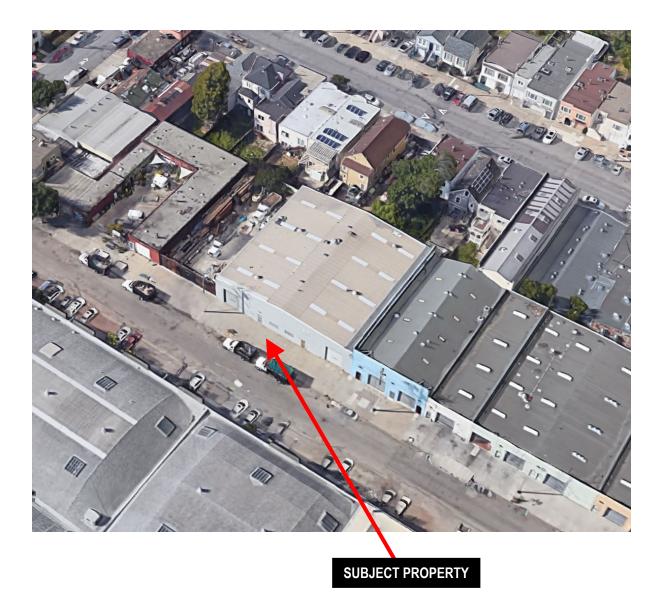
49 South Van Ness Avenue, Suite 1400 San Francisco, CA 94103 628.652.7600 www.sfplanning.org

LAND USE INFORMATION

PROJECT ADDRESS: 1550 WALLACE AVE RECORD NO.: 2020-011265PRJ

	EXISTING	PROPOSED	NET NEW
	GROSS SQUARE FC	DOTAGE (GSF)	
Parking GSF	0	0	0
Residential GSF	0	0	0
Retail/Commercial GSF	0	0	0
Office GSF	0	0	0
Industrial/PDR GSF Production, Distribution, & Repair	8,500	8,500	0
Medical GSF	0	0	0
Visitor GSF	0	0	0
CIE GSF	0	0	0
Usable Open Space	0	0	0
Public Open Space	0	0	0
Other ()	0	0	0
TOTAL GSF	8,500	8,500	0

Aerial Photo – View 1





Conditional Use Authorization 1550 Wallace Avenue 2020-011265CUA

Site Photo

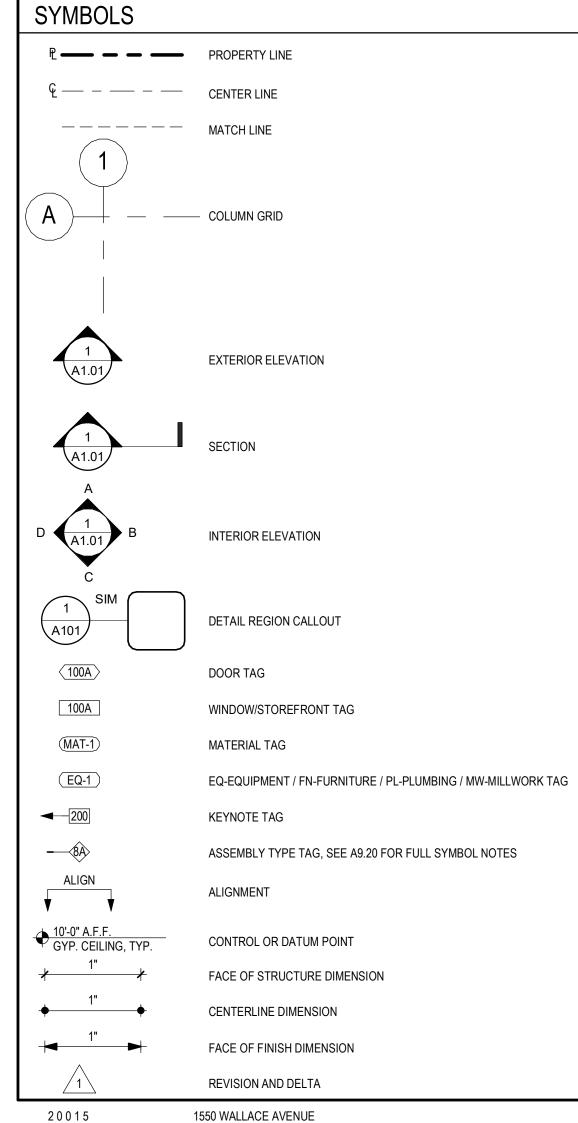


Conditional Use Authorization 1550 Wallace Avenue 2020-011265CUA

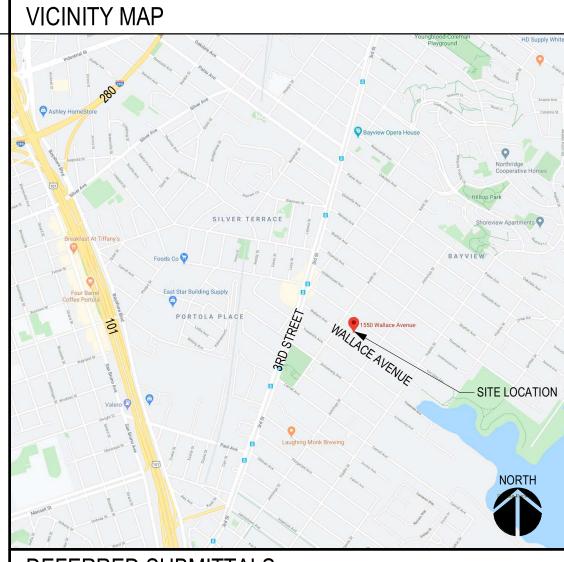
WALLACE CANNABIS CULTIVATION



-



SAN FRANCISCO, CA 94124



DEFERRED SUBMITTALS

THE FOLLOWING DEFERRED SUBMITTALS SHALL BE FIRST SUBMITTED TO THE ARCHITECT FOR REVIEW AND CONSIDERATION. FOLLOWING THE COMPLESION OF THE ARCHITECT REVIEW AND COORDINATION THE CONTRACTOR SHALL SUBMIT TO THE CITY FOR REVIEW AND APPROVAL. NO WORK MAY PROCEED ON THESE COMPONENTS UNTIL APPROVED CITY STAMPED DRAWINGS ARE PROVDED TO THE CONTRACTOR AND INSPECTOR.

MECHANICAL . ELECTRICAL 3. PLUMBING

PROJECT DESCRIPTION

TENANT IMPROVEMENT AND CHANGE OF USE FROM COMMERCIAL STORAGE TO CANNABIS CULTIVATION FACILITY WITHIN EXISTING WAREHOUSE BUILDING.

EXTERIOR: NEW EXIT DOOR IN EXISTING OVERHEAD SECTIONAL DOOR

(2) NEW CLASS 2 BIKE PARKING INTERIOR:

- NEW PREFAB PARTITIONS FOR CULTIVATION AND DRYING ROOMS
- NEW RATED EGRESS CORRIDOR NEW ADA ACCESSIBLE ENTRY RAMP
- NEW ADA ACCESSIBLE RESTROOM

NEW BREAKROOM

PROJECT INFORMATION

LOCATION ADDRESS: BLOCK/LOT:	1550 WALLACE AVENU 4829/026	JE, SAN FRANCISCO, CA 941	24
BUILDING DESCRIPTION			
	REQUIRED	<u>EXISTING</u>	PROPOSED
ZONING:	PDR-1-B	PDR-1-B	NO CHANGE
USE:	TABLE 210.3	COMMERCIAL STORAGE	INDUSTRIAL AGRICULTURE
HEIGHT/BULK DISTRICT:	40-X	25-1"	NO CHANGE
SETBACKS:			
FRONT:	NONE REQUIRED	0'-0"	0'-0"
SIDES:	NONE REQUIRED	0'-0"	0'-0"
REAR:	NONE REQUIRED	0'-0"	0'-0"
OFF STREET PARKING:	TABLE 151 - 0 REQ'D	0	NO CHANGE
BIKE PARKING:	1 CLASS 1 SPACES	0	1
	2 CLASS 2 SPACES	0	2
OCCUPANCY GROUP:	-	S-1 STORAGE	F-1 FACTORY
CONSTRUCTION TYPE:	-	II-B	NO CHANGE
NUMBER OF STORIES:	-	1	NO CHANGE
LOT SIZE:	-	10000 SF	NO CHANGE
BUILDING AREA:	-	9726 SF	NO CHANGE
FAR:	3.0 MAX		NO CHANGE
FIRE SUPPRESSION:	-	NON-SPRINKLERED	NO CHANGE
REFERENCED CODES			
ALL CONSTRUCTION TO C	OMPLY WITH LOCAL CO	DES AND ORDINANCES CUP	RENTLY IN USE WITH LOCAL
JURISDICTION AND THE FO	OLLOWING CODE EDITION	ONS:	
A. SAN FRANCISCO PLA	NNING CODE		
B. 2019 CALIFORNIA BUIL	LDING CODE (CBC)		

- C. 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
- D. 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- E. 2019 CALIFORNIA MECHANICAL CODE (CMC)
- F. 2019 CALIFORNIA PLUMBING CODE (CPC)
- G. 2019 CALIFORNIA ENERGY CODE H. 2019 CALIFORNIA FIRE CODE (CFC)
- 2019 CALIFORNIA EXISTING BUILDING CODE
- . 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN)

PROJECT DIRECTORY

LANDLORD: 1550 WALLACE LLC 2655 VAN NESS AVE #3 SAN FRANCISCO, CA 94109 CONTACT: KEN BLOCH

TENANT: TRIPLE H PRODUCTION CORP. 1550 WALLACE AVENUE SAN FRANCISCO, CA 94124 CONTACT: BRENDAN HALLINAN EMAIL: BRENDAN@HALLINAN-LAW.COM

PHONE: 415.786.0139 ARCHITECT: MAVRIK STUDIO 5 WHITING WAY

SAN FRANCISCO, CA 94130 CONTACT: MICHAEL BATRYN EMAIL: MICHAEL@MAVRIKSTUDIO.COM PHONE: 408.480.5532

TITLE 24 CARSTAIRS ENERGY 2238 BAYVIEW HEIGHTS DRIVE, SUITE E LOS OSOS, CA 93402 CONTACT: TIMOTHY CARSTAIRS EMAIL: TITLE24@YAHOO.COM

PHONE: 805-904-9048

CONTRACTOR: BEVILACQUA & SONS, INC 451 VICTORIA AVE. SUITE - 5 SOUTH SAN FRANCISCO, CA 94080 CONTACT: PAUL BEVILACQUA PHONE: 650.616.4900 EXT. 2003 EMAIL: PAUL@BEVCONSTRUCTION.COM

		COPYRIGHT © 2020 MAVE 1402 STURGEON STREET, STE B SAN FRANCISCO, CA 94130 415.534.8184 WWW.MAVRIKSTUDIO.COM	RIK STUDIO
		WALLACE CANNABIS CULTIVATION 1550 WALLACE AVENUE SAN FRANCISCO, CA 94124	
SHEET INDEX	RECORD DF	NO. REVISION 1 PERMIT SUBMITTAL - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - -	DATE 08-20-2020
G0.01 GENERAL CONDITIONS AND ABBREVIATIONS • G1.00 CAL GREEN AND CITY STANDARDS • G2.00 ACCESSIBILITY DIAGRAMS - MANEUVERING CLEARANCES AND DOORS • G2.01 ACCESSIBILITY DIAGRAMS - SIGNS, RESTROOMS, AND SITE • G3.00 CODE ANALYSIS AND EGRESS PLAN • 2 - DEMOLITION • D2.00 DEMOLITION FLOOR PLAN • 3 - ARCHITECTURAL • A1.00 ARCHITECTURAL SITE PLAN • A2.00 PROPOSED FLOOR PLAN • A3.00 UTILITY AND REFLECTED CEILING PLAN •			
		DRAWINGS NOT FOR CONSTRUCTION UNTIL STAMPED J DEPARTMENT ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HE AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE AF	REIN CONSTITUTE ORIGINAL NOT BE DUPLICATED, USED,
			ER SHEET)_00 20015

GENERAL CONDITIONS

CONTRACT

- THE CONTRACT DOCUMENTS INCLUDE THE WORKING DRAWINGS, PROJECT MANUAL, ADDENDA, MODIFICATIONS, AND THE CONDITIONS OF THE CONSTRUCTION CONTRACT.
- AIA DOCUMENT A201, "GENERAL CONDITIONS FOR THE PERFORMANCE OF A CONTRACT", ARE HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE
- REQUIREMENTS FOR THE COMPLETION OF WORK. THE WORK INCLUDED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS,
- TRANSPORTATION, TOOLS AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT, LEAVING ALL WORK READY FOR USE.
- THE CONTRACT DOCUMENTS ARE THE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THE CONTRACT DOCUMENTS ARE NOT TO BE USED BY THE OWNER OR THE TENANT FOR OTHER PROJECTS OR EXTENSIONS TO THE PROJECT NOR ARE THEY TO BE MODIFIED IN ANY MANNER WHATSOEVER EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT SHOWN ON THE DRAWINGS CONTRACTOR SHALL PROVIDE MANUFACTURER'S SPECIFICATIONS. INSTALLATION INSTRUCTIONS.
- SHOP DRAWINGS AND SAMPLES FOR REVIEW AND APPROVAL OF ALL MATERIALS AND METHODS TO BE USED PRIOR TO ORDERING OR PROCEEDING WITH THE WORK. RESOLUTION OF ALL QUESTIONS OR VARIANCES SHALL BE AS DIRECTED BY THE ARCHITECT BY
- WRITTEN NOTICE, CHANGE ORDER, ETC. PHONE CONVERSATIONS ARE NOT ACCEPTABLE. CONTRACTOR SHALL COMPLY IN FULL WITH ANY ADDITIONAL NOTATIONS AND REQUIREMENTS STATED IN THE PERMIT DRAWINGS AND SHALL INCLUDE SUCH CONDITIONS OF APPROVAL AS A PART OF THIS WORK.
- SUBSTITUTIONS, REVISIONS, OR CHANGES MAY BE ACCEPTED ONLY IF SUBMITTED TO THE ARCHITECT IN A TIMELY MANOR AND SUBSEQUENTLY APPROVED IN WRITING BY THE ARCHITECT. ALL SUBSTITUTIONS MUST BE IN THE JUDGEMENT OF THE ARCHITECT OF AT LEAST EQUAL QUALITY, DESIGN, AND PERFORMANCE AS COMPARED TO THE ORIGINALLY SPECIFIED PRODUCT. THE CONTRACTOR SHALL BE LIABLE FOR REPLACEMENT, REPAIR, OR DELAYS CAUSED BY UNAUTHORIZED SUBSTITUTIONS, ALL REQUESTS FOR SUBSTITUTIONS SHALL INCLUDE THE NAME OF THE PRODUCT, DESCRIPTION OF THE ITEM, REASON FOR THE SUBSTITUTION, AND COMPLETE DRAWINGS AND SPECIFICATIONS AS REQUIRED FOR THE ARCHITECT TO EVALUATE THE SUBSTITUTION. THE ARCHITECT RESERVES THE RIGHT TO REJECT ANY SUBSTITUTIONS, REVISIONS, OR CHANGE
- WITHIN FIVE (5) DAYS FROM CONTRACT DATE, PREPARE & SUBMIT AN ESTIMATED PROGRESS SCHEDULE FOR THE WORK, WITH SUB-SCHEDULES OF RELATED ACTIVITIES WHICH MAY AFFECT THE PROGRESS
- CONTRACTOR IS RESPONSIBLE FOR SCANNING THE APPROVED PERMIT DRAWINGS AND JOB CARD AND SENDING A COPY TO THE ARCHITECT.
- CONTRACTOR TO MAINTAIN ALL PROPER WORKMAN'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT THE DURATION OF PROJECT. CONTRACTOR SHALL PROVIDE A BLANKET ONE-YEAR GUARANTEE FOR THE TOTAL JOB WITH A
- SEPARATE GUARANTEE FOR SPECIFIC TRADES / EQUIPMENT ITEMS WITH NAMES OF LOCAL REPRESENTATIVES TO BE CONTACTED FOR SERVICE. PROVIDE OPERATING AND MAINTENANCE BROCHURES AS REQUIRED.
- ANY CHANGE, MODIFICATION OR INTERPRETATION OF THE SCOPE OR REQUIREMENTS OUTLINED WITHIN THESE DOCUMENTS, UNDERTAKEN WITHOUT CONSULTATION WITH THE ARCHITECT (OR ANY UNFORESEEN CONDITIONS RESULTING THEREFROM) SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR RESPECTIVELY. AS STIPULATED WITHIN THE OWNER/ARCHITECT AGREEMENT, MAVRIK STUDIO SHALL BE HELD HARMLESS FROM ANY CLAIMS RESULTING FROM SUCH ACTIVITY

DEFINITIONS

- "ARCHITECT" MEANS MAVRIK STUDIO. NOT USED.
- "LANDLORD" OR "BASE BUILDING OWNER" MEANS 1550 WALLACE LLC.
- "TENANT" OR "OWNER" MEANS TRIPLE H PRODUCTION CORP.
- "FURNISH" MEANS SUPPLY ONLY, FOR OTHERS TO PUT IN PLACE. "INSTALL" MEANS SUPPLIED BY OTHERS. TO BE INSTALLED BY CONTRACTOR.
- "PROVIDE" MEANS FURNISH AND INSTALL, COMPLETE AND IN PLACE.
- "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR CONDITIONS NOTED. CONTRACTOR TO VERIFY DIMENSIONS AND ORIENTATION.
- "TYP." OR TYPICAL MEANS IDENTICAL FOR CONDITIONS NOTED. 10. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLACE.

GENERAL CONDITIONS

- CONTRACTOR SHALL COMPLY WITH ALL BASE BUILDING REQUIREMENTS AND DESIGN CRITERIA. THE CONTRACTOR AND HIS/HER SUB-CONTRACTORS SHALL STUDY AND COMPARE THE CONTRACT DOCUMENTS AND SHALL AT ONCE REPORT TO THE ARCHITECT IN WRITING ALL ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED AND VERIFY ALL DIMENSIONS AND ELEVATIONS ON SITE PRIOR TO COMMENCING THE WORK. IF THE CONTRACTOR PROCEEDS WITH ANY OF THE WORK SO AFFECTED WITHOUT WRITTEN INSTRUCTIONS OF THE ARCHITECT, THE CONTRACTOR SHALL MAKE GOOD AT HIS OWN COST ANY RESULTING ERROR, DAMAGE, OR DEFECTS. THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK WITHOUT CONTRACT DOCUMENTS OR, WHERE REQUIRED. REVIEWED SHOP DRAWINGS, PRODUCT DATA OR SAMPLES FOR SUCH PORTION OF THE WORK.
- CONTRACTOR SHALL TAKE MEASURES TO MINIMIZE DISTURBANCES AND PROTECT ADJACENT PROPERTIES. STRUCTURES AND THEIR OCCUPANTS. PROPERTY, PUBLIC THOROUGHFARES. ETC. USE VISQUEEN, PLYWOOD, AND TEMPORARY BARRICADES AS NEEDED TO MINIMIZE NOISE, DUST, ETC. CONTRACTOR SHALL TAKE PRECAUTIONS AND BE RESPONSIBLE FOR THE SAFETY OF ALL BUILDING OCCUPANTS FROM CONSTRUCTION PROCEDURES.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND INSPECTION FEES REQUIRED TO COMPLETE THE PROJECT. ANY ERRORS, OMISSIONS, AND CONFLICTS FOUND IN THESE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
- THESE PLANS INDICATE THE GENERAL EXTENT OF DEMOLITION AND NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL INCLUSIVE. ALL DEMOLITION AND ALL NEW WORK NECESSARY TO ALLOW FOR A FINISHED JOB IN ACCORDANCE WITH THE INTENTION 2. THE FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEV OF THESE DOCUMENTS SHALL BE INCLUDED REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS OR IN THE NOTES. DO NOT DEMOLISH ANY ITEMS THAT APPEAR STRUCTURAL, UNLESS SPECIFICALLY INDICATED TO BE DEMOLISHED IN THE CONSTRUCTION DOCUMENT, WITHOUT PRIOR REVIEW AND WRITTEN APPROVAL BY THE ARCHITECT.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. CURRENT UPDATED DRAWINGS WILL BE REVIEWED MONTHLY WITH THE PAY APPLICATION.
- NO PART OF THE STRUCTURE SHALL BE OVERLOADED BEYOND ITS SAFE CARRYING CAPACITY BY THE PLACING OF MATERIALS, EQUIPMENT, TOOLS, MACHINERY OR ANY OTHER ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED
- INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES. CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AT THE JOB AS NECESSARY AND
- REQUIRED BY CODE. UPON SUBSTANTIAL COMPLETION OF THIS WORK, CONTRACTOR SHALL NOTIFY THE ARCHITECT WHO WILL PREPARE A "PUNCH LIST" OF THE CORRECTIONS REQUIRED. FINAL ACCEPTANCE OF THE "PUNCH LIST" BY THE ARCHITECT SHALL BE CAUSE FOR FINAL PAYMENT UNDER TERMS OF THE OWNER-CONTRACTOR AGREEMENT, U.O.N.
- IN THE EVENT THAT "PUNCH LIST" ITEMS ARE NOT COMPLETED BY THE CONTRACTOR IN A TIMELY MANOR, THE OWNER RESERVES THE RIGHT TO SUBCONTRACT SUCH WORK DIRECTLY AND DEDUCT THE COST OF SUCH WORK FROM ANY FINAL PAYMENTS DUE TO THE CONTRACTOR.

GENERAL CONSTRUCTION

- PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL SURVEY ALL AREAS WHERE WORK IS SCHEDULED TO DETERMINE IF THERE ARE ANY EXISTING DEFECTS OR DAMAGE IN THE BUILDING. CONTRACTOR SHALL PROTECT THE BUILDING AND GROUNDS FROM ANY NEW DAMAGE OCCURRING DURING CONSTRUCTION AND THE CONTRACTOR SHALL BEAR FULL FINANCIAL RESPONSIBILITY FOR ALL CORRECTIVE WORK.
- EACH TRADE SHALL EXAMINE THE PREMISES TO INSURE THAT CONDITIONS ARE APPROPRIATE FOR HIS WORK TO COMMENCE, PRIOR TO COMMENCING HIS WORK, AREAS NOT APPROPRIATE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. COMMENCING WORK IMPLIES ACCEPTANCE OF EXISTING CONDITIONS.
- ALL WASTE AND REFUSE CAUSED BY THIS WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE CONTRACTOR. THE PREMISES SHALL BE LEFT COMPLETELY CLEAR AND CLEAN TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT. THIS SHALL INCLUDE THE CLEANINGS OF FABRICS, GLASS, STONE, MILLWORK, AND FLOOR COVERINGS.
- AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN THE ENTIRE WORK PREMISES, SITE, EXTERIOR AND INTERIOR OF BUILDING, REMOVE ALL WASTE MATERIALS AND RUBBISH FROM THE PROJECT AS WELL AS TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIALS, REMOVE PUTTY AND PAINT FROM ALL GLASS, MIRRORS AND SKYLIGHTS AND WASH AND POLISH, REMOVE ALL LABELS, TAGS, GREASE, DIRT, STAINS, ETC., CLEAN ALL FIXTURES AND EQUIPMENT TO THE EXTENT OF RESTORING THEM TO THE ORIGINAL FINISH. VACUUM CLEAN THE ENTIRE INTERIOR OF THE BUILDING. AT THE VERY LEAST, THIS MUST OCCUR BEFORE TURNING THE BUILDING OVER TO THE OWNER.
- DETAILS ARE INTENDED TO SHOW THE METHOD AND MANNER OF ACCOMPLISHING THE WORK. IF MINOR MODIFICATIONS ARE REQUIRED TO SUIT JOB CONDITIONS OR DIMENSIONS, THEY SHALL BE INCLUDED AS PART OF THE WORK AT NO ADDITIONAL COST.
- ALL GYP. BD. IN THE KITCHEN, TOILETS, ADJACENT TO COOKING AND BAR AREAS, AND ANY OTHER AREAS WHERE WATER MAY BE PRESENT SHALL BE WATER-RESISTANT TYPE.
- CONTRACTOR SHALL PROVIDE LATERAL BRACING FOR PARTITIONS, SUSPENDED CEILINGS, DUCTWORK, PIPING, AND ALL OTHER ITEMS REQUIRED BY CODE, CONTRACTOR SHALL PROVIDE SAFETY WIRE FOR LIGHTING DIFFUSERS AND ANY OTHER ITEMS REQUIRED BY CODE.

- 8. ALL ATTICS, RAFTER SPACES, SOFFITS, ETC. SHALL BE FULLY VENTILATED. 9. MECHANICAL, PLUMBING, ELECTRICAL, AND OTHER PENETRATIONS OF FLOORS, WALLS, CEILINGS SHALL BE SEALED AIRTIGHT WITH ACOUSTICAL SEALANT AS REQUIRED.
- 10. ALL GLASS AND GLAZING USED IN THIS PROJECT SHALL CONFORM TO REQUIREMENTS (CHAPTER 24, 1997 UBC AND ALL FEDERAL REQUIREMENTS. 11. VERIFY INSERTS AND EMBEDDED ITEMS WITH ALL APPLICABLE DWGS. AND SPECIFICATION TO POURING CONCRETE.

DIMENSIONS

- 1. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN. VERIFY DIMENSIONS WITH FIELD CON DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS OR BE INDIVIDUAL DRAWINGS, CONTACT THE ARCHITECT FOR RESOLUTION BEFORE PROCEED 2. HORIZONTAL DIMENSIONS INDICATED ARE TO/FROM FACE OF FRAMING OR SHEATHING,
- VERTICAL DIMENSIONS ARE FROM TOP OF FLOOR SLAB, EXCEPT WHERE NOTED TO BE I ABOVE FINISHED FLOOR, (A.F.F.).
- 4. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF ARCHITECT UNLESS NOTED IN THE EVENT OF CONFLICT BETWEEN DATA SHOWN ON DRAWINGS AND DATA SHOWN I SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN. DIMENSIONS NOTED ON DRAWI TAKE PRECEDENCE OVER SCALED DIMENSIONS. DETAIL DRAWINGS TAKE PRECEDENCI DRAWINGS OF SMALLER SCALE. SHOULD THE CONTRACTOR AT ANY TIME DISCOVER AN A DRAWING OR SPECIFICATIONS, OR A DISCREPANCY OR VARIATION BETWEEN DIMENSI DRAWINGS AND MEASUREMENTS AT SITE, OR LACK OF DIMENSIONS OR OTHER INFORM HE/SHE SHALL REPORT AT ONCE TO THE ARCHITECT FOR CLARIFICATION AND SHALL NO PROCEED WITH THE WORK AFFECTED UNTIL CLARIFICATION HAS BEEN MADE.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE DIMENSIONS AND ELEVATIONS SITE. THE CONTRACTOR AND SUB-CONTRACTORS SHALL COORDINATE THE LAYOUT AND LOCATION OF ALL PARTITIONING, DOORS, ELECTRICAL/TELEPHONE OUTLETS, LIGHT SW AND THERMOSTATS WITH THE ARCHITECT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.
- 7. DIMENSIONS NOTED "CLR" OR "CLEAR" ARE MINIMUM REQUIRED DIMENSIONS AND CLEAR MUST BE ACCURATELY MAINTAINED.
- INSTALLATION 1. ALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION INDUSTRY AND BUILDING STANDARDS, AND CODE REQUIREMENTS. SEALANT, WEATHER AND FLASHING LOCATIONS IN DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. IF THES CONTRARY TO THE CONTRACT DOCUMENTS. CONTRACTOR SHALL NOTIFY THE ARCHITE
- WRITING IMMEDIATELY, TO RESOLVE DISCREPANCIES PRIOR TO PROCEEDING. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE INSTALLATION AS REQUIRE ACCESSORY ITEMS INCLUDING SINK, DISHWASHER, REFRIGERATOR, LAUNDRY EQUIPME
- 3. ALL APPLIANCES, FIXTURES, APPLIANCES, AND EQUIPMENT ASSOCIATED WITH PLUMBING ELECTRICAL, AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZ APPROVED AGENCY.
- 4. CONTRACTOR SHALL CHECK WITH ALL EQUIPMENT AND PRODUCT MANUFACTURERS TO DIMENSIONS AND DETAILS PRIOR TO THE COMMENCEMENT OF WORK.
- 5. THE CONTRACTOR SHALL COORDINATE AND PROVIDE ALL REQUIRED BLOCKING/BACKING FRAMING FOR WALL AND CEILING MOUNTED LIGHT FIXTURES, TRIM, WALL HUNG ACCESS CASEWORK, RAILINGS, AND ALL OTHER NECCISARY ITEMS. ALL CONCEALED WOOD TO B TREATED.
- WINDOW SIZES ON DRAWINGS ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER ACTUAL ROUGH OPENING SIZES.
- PROVIDE CONTINUOUS APPROVED SEALANTS AND CAULKING AROUND ALL KITCHEN EQU FIXTURES, WALLS, AND SHELVING AS REQUIRED.
- 8. THE CONTRACTOR SHALL PROVIDE COMPLETE PRODUCT DATA AND RELATED INFORMAT APPROPRIATE FOR THE OWNER'S MAINTENANCE AND OPERATION OF PRODUCTS FURNIS UNDER THE CONTRACT.

COORDINATION

- 1. GENERAL CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF AN MECHANICAL, TELEPHONE, ELECTRICAL, PLUMBING AND SPRINKLER EQUIPMENT (INCLU PIPING, DUCTWORK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALL MAINTENANCE ARE PROVIDED. THE TYPE, FINISH, INSTALLATION CONDITION, AND DIMEN LOCATION OF ANY EXPOSED, VISIBLE COMPONENT OR DEVICE NOT SHOWN IN THE DRAW SHALL BE REVIEWED WITH AND APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION. ALLOWANCE OF ANY KIND WILL BE MADE FOR THE CONTRACTOR'S NEGLIGENCE TO NOT UNFORESEEN MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURE.
- 2. IN CASE OF CONFLICT BETWEEN ARCHITECT'S AND CONSULTANTS' DRAWINGS IN LOCAT
- MATERIALS/EQUIPMENT, THE ARCHITECT SHOULD BE CONTACTED PRIOR TO PROCEEDII GENERAL CONTRACTOR & SUB-CONTRACTORS SHALL COORDINATE THE LAYOUT AND EX LOCATIONS OF ALL PARTITIONS, DOORS, ELECTRICAL/TELEPHONE OUTLETS AND LIGHT
- WITH ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION. LOCATIONS FOR ALL THERMOSTATS AND HVAC ZONE SENSOR DEVICES SHALL BE SUBM THE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION. UNLESS OTHERWISE APPROVE ARCHITECT ALL SUCH DEVICES SHALL BE OBSCURED FROM THE PUBLIC VIEW.
- CONTRACTOR SHALL PROVIDE ALL LIFE SAFETY SYSTEMS REQUIRED BY CODE INCLUDIN NOT LIMITED TO, SOUND SYSTEMS, STROBES LIGHTS, AND EMERGENCY LIGHTING. CONT SHALL REVIEW ALL COMPONENTS OF SUCH SYSTEMS WITH THE ARCHITECT PRIOR TO P ENGINEERING, OR INSTALLATION.
- 6. PROVIDE TO FIRE MARSHALL, BUILDING DEPARTMENT, AND ARCHITECT TWO SETS OF FI PLANS FOR APPROVAL AND INSTALLATION PERMIT PRIOR TO INSTALLATION OF EQUIPME INCLUDE PLACEMENT OF SMOKE AND HEAT DETECTORS AND STROBES AS REQUIRED B'

QUALITY

- 1. ONLY NEW ITEMS OF RECENT MANUFACTURER, OF STANDARD QUALITY, FREE FROM DE WILL BE PERMITTED ON THE WORK. REJECTED ITEMS SHALL BE REMOVED IMMEDIATELY WORK AND REPLACED WITH ITEMS OF THE QUALITY SPECIFIED. FAILURE TO REMOVE RE MATERIALS AND EQUIPMENT SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPON FOR QUALITY AND CHARACTER OF ITEMS USED NOR FROM ANY OTHER OBLIGATION IMP HIM BY THE CONTRACT.
- SMOOTH, CLEAN, UNIFORM APPEARANCE WITHOUT WAVES, DISTORTIONS, HOLES, MARK CRACKS, STAINS, OR DISCOLORATION. JOINTING SHALL BE TIGHT FITTING, NEAT AND WE SCRIBED. THE FINISH WORK SHALL NOT HAVE EXPOSED UNSIGHTLY ANCHORS OR FASTE SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROV EXPANSION CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUC WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.
- ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE AND THE CONTRACT RESPONSIBLE FOR IMPROVING THEM ACCORDING TO THESE CONDITIONS. THE DRAWIN ONLY SPECIAL CONDITIONS TO ASSIST THE CONTRACTOR: THEY DO NOT ILLUSTRATE EV CONDITION AND DETAIL.
- 4. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY. OR DEFICIENT IN ANY REQUIREME DRAWINGS AND SPECIFICATIONS WILL BE ACCEPTABLE IN CONSEQUENCE OF OWNER'S ARCHITECT'S FAILURE TO DISCOVER OR TO POINT OUT DEFECTS OR DEFICIENCIES DUR CONSTRUCTION, NOR WILL PRESENCE OF INSPECTORS ON WORK SITE RELIEVE CONTRA FROM RESPONSIBILITY FOR SECURING QUALITY AND PROGRESS OF WORK AS REQUIRED CONTRACT. DEFECTIVE WORK REVEALED WITHIN TIME REQUIRED BY GUARANTEES SHAI REPLACED BY WORK CONFORMING WITH THE INTENT OF CONTRACT. NO PAYMENT WHE PARTIAL OR FINAL SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR MATERIALS.
- MATERIALS AND WORKMANSHIP SPECIFIED BY REFERENCE TO NUMBER, SYMBOL TITLE SPECIFICATION SUCH AS COMMERCIAL STANDARDS, FEDERAL SPECIFICATIONS, TRADE ASSOCIATION STANDARD, OR OTHER SIMILAR STANDARD, SHALL COMPLY WITH REQUIRE LATEST EDITION OR REVISION THEREOF AND WITH ANY AMENDMENT OR SUPPLEMENT T EFFECT ON DATE OF ORIGIN ON THIS PROJECT'S CONTRACT DOCUMENTS. SUCH STAND/ EXCEPT AS MODIFIED HEREIN, SHALL HAVE FULL FORCE AND EFFECT AS THOUGH PRINT CONTRACT DOCUMENTS.
- 6. CONTRACTOR SHALL WAIVE "COMMON PRACTICE" AND "COMMON USAGE" AS CONSTRUC CRITERIA WHEREVER DETAILS AND CONTRACT DOCUMENTS OR GOVERNING CODES, OR ETC., REQUIRE GREATER QUANTITY OR BETTER QUALITY THAN COMMON PRACTICE OR (USAGE WOULD REQUIRE.
- 7. IF AT ANY TIME BEFORE COMMENCEMENT OF WORK, OR DURING PROCESS THEREOF, CONTRACTOR'S METHODS, EQUIPMENT OR APPLIANCES ARE INEFFICIENT OR INAPPROF SECURING QUALITY OF WORK, OR RATE OF PROGRESS INTENDED BY CONTRACT DOCU OWNER MAY ORDER CONTRACTOR TO IMPROVE THEIR QUALITY OR INCREASE THEIR EF THIS WILL NOT RELIEVE CONTRACTOR OR HIS SURETIES FROM THEIR OBLIGATIONS TO S QUALITY OF WORK AND RATE OF PROGRESS SPECIFIED IN CONTRACT.
- 8. ALL CUTTING AND PATCHING OF EXISTING WALLS, FLOORS, CEILING, ROOF, FIRE SHAFT INSTALL NEW WORK SHALL BE REPAIRED AS REQUIRED TO MEET ALL BUILDING CODE REGULATIONS AND AESTHETIC STANDARDS OF THE BUILDING OWNER.

SCHEDULE

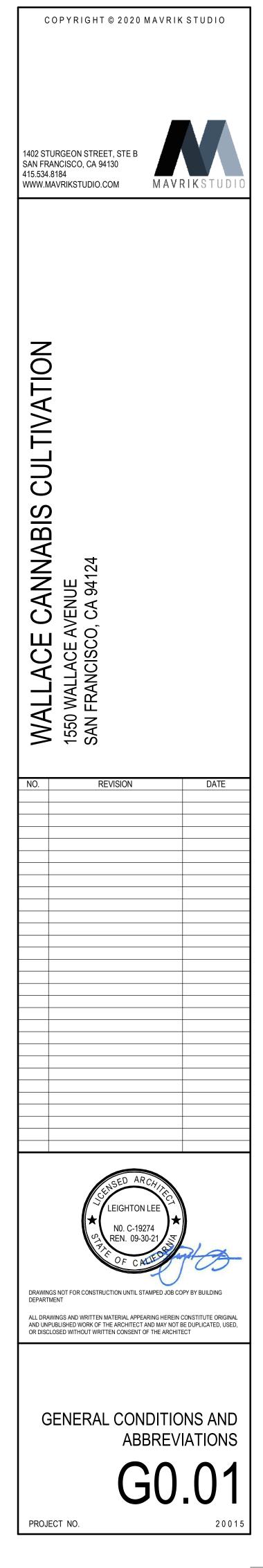
- 1. CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIALS IN AMPLE TIME 1 DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE, CONTRACTOR SH NOTIFY ARCHITECT IMMEDIATELY TO ALLOW ARCHITECT A REASONABLE AMOUNT OF TH SELECT A REASONABLE SUBSTITUTE.
- THIS WORK IS AN OCCUPIED AND OPERATIONAL MULTI-USE BUILDING. HOURS OF WORK COORDINATED WITH AND MUST BE APPROVED BY THE BUILDING OWNER. EXTRA CARE S TAKEN TO CONTROL DUST AND NOISE AND MAINTAIN SAFE CONDITIONS FOR ALL PERSO THE BUILDING INCLUDING THOSE WORKING ON THE JOB SITE. THE CONTRACTOR SHALL RESPONSIBLE FOR CONSTRUCTING AND MAINTAINING ALL BARRICADES NECESSARY TO DUST AND NOISE AND TO MAINTAIN A SAFE ENVIRONMENT.

++-

		ABBR	EVIATIONS		
LS, AND	SAFETY 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL	& ¬	And Angle	F.O. F.O.C.	Face Of Face of Concrete
TS OF	SAFETY PRECAUTION PROGRAMS IN CONNECTION WITH WORK, AND FOR MAINTAINING APPROPRIATE INSURANCE TO PROTECT THE CONTRACTOR, THE OWNER AND THE ARCHITECT.	@ Ç	At Centerline	F.O.F. F.O.S.	Face of Finish Face of Stud
ATIONS PRIOR	2. THE CONTRACTOR SHALL FURNISH AND MAINTAIN IN SAFE OPERATING CONDITION ALL TOOLS, LADDERS, HOISTS, SCAFFOLDS, STAIRS, RAMPS, ETC. AT THE WORKPLACE. THE CONTRACTOR	ь ^г Ø	Degrees Diameter	F.O.W. F.P.	Face of Wall Fireproof(ing)
	SHALL MAINTAIN A SAFE WORKING CONDITION. PROVIDE BARRICADES AT ALL FLOOR OPENINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING CERTAIN THAT ALL SUBCONTRACTORS	~ # «	Number OR Pound Parallel	F.R. F.S.	Fire Retardant, Fire Rated Fire Sprinkler, Full Size
ONDITIONS, IF	WORKING AT THE JOB SITE FOLLOW THSE SAME REQUIREMENTS. 3. ALL APARATUS, TOOLS, AND EQUIPMENT USE ON THIS JOB SITE SHALL COMPLY WITH ALL	» ±	Perpendicular Plus or Minus	FSD F.T.	Fire Seperation Distance
BETWEEN EDING.	APPLICABLE LAWS, RULS, AND REGULATIONS AS ESTABLISHED BY FEDERAL, STATE, AND LOCAL AUTHORITIES.	£	Property Line	FT. FTG.	Foot OR Feet Footing
NG, U.O.N. BE FROM	 POST ALL APPLICABLE RULES AS REQUIRED. ADVISE THE OWNER'S CONSTRUCTION ENGINEER/REPRESENTATIVE IMMEDIATELY OF ANY INJURY OF ANY NATURE AND CONFIRM IN 	A.B. ABV.	Anchor Bolt Above	FUR. FUT.	Furring Future
TED ±.	WRITING.	ADV. A/C. A.C.T.	Above Air Conditioning Acoustic Ceiling Tile	F.V.C.	Fire Valve Cabinet
N IN THE	CODES 1. ALL WORK SHALL COMPLY WITH THE APPLICABLE CODES, AMENDMENTS, RULES, REGULATIONS,	ACOUS. ADD.	Acoustical Addendum	GA. GALV.	Gauge Galvanized
ICE OVER	ORDINANCES, LAWS, ORDERS, APPROVALS, ETC., THAT ARE REQUIRED BY ANY PUBLIC AUTHORITY	ADH.	Adhesive	G.B.	Galvanized Grab Bar General Contractor
NSIONS ON	HAVING JURISDICTION OVER THIS PROJECT. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL COMPLY.	ADA ADDL.	Americans with Disabilities Act Additional	G.C. G.D.	Garbage Disposal
RMATION, . NOT	2. BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS AND IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO CONFORM WITH THE	ADJ. ADJT.	Adjacent Adjustable	GEN. GFCI	General Ground Fault Circuit Interruption
NS AT THE	CODE, AND TO BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.	A.F.F. AGGR.	Above Finished Floor Aggregate	GL. G.L.B.	Glass, Glazing Glu-Lam Beam
AND EXACT SWITCHES	 ABBREVIATIONS USED IN REFERRING TO STANDARDS THAT APPLY TO THE WORK INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, THE FOLLOWING: 	AL. ALT.	Aluminum Alternate	G.N. GND.	General Note Ground
	A. AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM)B. AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)	A.P. APPROX.	Access Panel Approximate	G.R. GR.	Guard Rail Grade
EARANCES	C. AMERICAN WELDING SOCIETY (AWS) D. AMERICAN CONCRETE INSTITUTE (ACI)	ANCH. ANOD.	Anchor Anodized	GSM GT	Galvanized Sheet Metal Grout
	 E. AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) F. ARCHITECTURAL ALUMINUM MANUFACTURER'S ASSOCIATION (AAMA) 	ARCH. ASPH.	Architectural Asphalt	GYP.	Gypsum Board
ons, Erstripping,	G. ALUMINUM ASSOCIATION, INC. (AA) H. CONCRETE REINFORCING STEEL INSTITUTE (CRSI)	AUTO AXON.	Automatic Axonometric	H.B. H.C.	Hose Bib Hollow Core
IESE ARE IITECT, IN	I. NATIONAL ASSOCIATION OF ARCHITECTURAL METAL MANUFACTURERS (NAAMM) J. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)	BD.	Board OR Bollard	HD. HDBD.	Head OR Handryer Hardboard
RED FOR	 K. NATIONAL WOODWORK MANUFACTURER'S ASSOCIATION (NWMA) L. WOODWORK INSTITUTE OF CALIFORNIA (WIC) 	BEL. B/W	Below Between	HDR HDW.	Header Hardware
PMENT, ETC. BING.	 CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE REGULATIONS RELATED TO TITLE 24 AND ENERGY CONSERVATION. CONTRACTOR SHALL PREPARE AND SUBMIT ALL REQUIRED 	BFP BLDG.	Backflow Preventer Building	HDWD. HT.	Hardwood Height
GNIZED AND	CALCULATIONS AND FORMS.	BLKG. BM.	Block(ing) Beam	H.M. HNDRL.	Hollow Metal Handrail
TO VERIFY		B.M.	Brick Module	HOR.	Horizontal
KING AND	1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS FOR ALL SHOP DRAWINGS, FOR FABRICATED ITEMS, CATALOG CUTS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED	B.O. BOT.	Bottom Of Bottom	H.PT. H.R.	High Point Handrail
ESSORIES, O BE FIRE	FOR TO THE ARCHITECT FOR APPROVAL TWO (2) WEEKS PRIOR RELEASE FOR FABRICATION / PURCHASING.	B.P. BRKT.	Building Paper Bracket	HR. H.V.A.C.	Hour Heating, Ventilation, Air Condi
ER FOR	 MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION SYSTEMS, SHOP DRAWINGS AND LAYOUTS SHALL BE SUBMITTED AS SOON AS POSSIBLE AFTER AWARD OF CONTRACT TO THE 	BRG. BRK.	Bearing Brick	H.W.	Hot Water
EQUIPMENT,	ARCHITECT ALLOWING TEN (10) WORKING DAYS FOR REVIEW. NO CONSTRUCTION SHALL PROCEED UNTIL THE APPROVAL OF THESE DRAWINGS. ALL THE ABOVE TRADES NEED TO BE REVIEWED BY	B.U.R. BSMT.	Built-up Roofing Basement	I.D. IN.	Inside Diameter / Dimension Inch
MATION	THE ARCHITECT AT THE SAME TIME. 3. THE CONTRACTOR SHALL SUBMIT WITH REASONABLE PROMPTNESS AND IN SUCH SEQUENCE AS	CAB.	Cabinet	INCAN. INCL.	Incandescent Include(d)(ing)
RNISHED	TO CAUSE NO DELAY IN THE WORK; PRODUCT DATA, SHOP DRAWINGS AND SAMPLES FOR THE PROJECT.	CAT. CEM.	Category Cement	INFO. INSUL	Information Insulation, Insulated
	4. BY SUBMITTING SHOP DRAWINGS, PRODUCT DATA AND SAMPLES, THE CONTRACTOR REPRESENTS	CER.	Ceramic	INT.	Interior
ANY AND ALL	THAT HE HAS DETERMINED AND VERIFIED MATERIALS, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION CRITERIA RELATED THERETO AND THAT HE HAS CHECKED AND COORDINATED THE	C.G. CHAN.	Corner Guard Channel	INTER. INV.	Intermediate Invert
LUDING ALLATION AND	INFORMATION WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND CONTRACT DOCUMENTS.	C.I.P. C.J.	Cast in Place Control Joint	J-BOX	Junction Box
MENSIONED RAWINGS	 THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S REVIEW OF THE SHOP 	CLG. CLKG.	Ceiling Caulking	JST. JT.	Joist Joint
ON. NO NOTE	DRAWINGS, PRODUCT DATA OR SAMPLES, UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT IN WRITING OF SUCH DEVIATION AT THE TIME OF SUBMISSION AND THE	CLR. C.M.U.	Clear Concrete Masonry Unit	KO.	Knockout
	ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION. 6. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR DIMENSIONS OR QUANTITIES ON REVIEWED	CNTR. C.O.	Counter Cased Opening	K.P.	Kick Plate
EDING. D EXACT	SUBMITTALS.	CO. COL.	Cleanout Column	L. LAM.	Length Laminate
HT SWITCHES	ENERGY	COMP. COND.	Compress(ed)(ion)(ible) OR Composition	LAV. LEV.	Lavatory
IBMITTED TO	 ALL OPENABLE WINDOWS AND SLIDING DOORS SHALL LIMIT AIR LEAKAGE AND BE CERTIFIED AND LABELED TO COMPLY WITH ANSI STANDARD AIS4.2-1972. 	CONC.	Condition OR Condenser Concrete	LG.	Level Long
OVED BY THE	 FIXED WINDOWS SHALL BE SEALED TO LIMIT AIR INFILTRATION. ALL EXTERIOR DOORS AND WINDOWS ARE TO BE WEATHERSTRIPPED. 	CONST CONT.	Construction Continuous	L.F. L.PT.	Linear Foor Low Point
IDING, BUT ONTRACTOR	 SITE BUILT DOORS MOUNTED ON THE INSIDE OR THE OUTSIDE OF EXTERIOR WALLS SHALL HAVE A MIN. 1" LAP AT JAMPS. 	CONTR. CPT	Contractor Carpet	LTG. LTWT.	Lighting Lightweight
o planning,	 OPEN EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES BETWEEN WALLS, FOUNDATIONS, ROOFS, PANELS, AND AT PENETRATION OF UTILITIES THRU THE ENVALOPE, SHALL BE SEALED, 	C.R. CSFH	Cold Rolled Countersunk Flat Head	LVL LVR	Laminated Veneer Lumber OF Louver
FIRE ALARM PMENT.	CAULKED, OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE. 6. PROVIDE A "CERTIFICATE OF COMPLIANCE" SIGNED BY THE OWNER, G.C., ARCHITECT, OR	C.T. CTR.	Ceramic Tile Center	М	Meter OR Men
) by Ada.	ENGINEER TO THE BLDG. DEPARTMENT STATING THAT THE WORK HAS BEEN PERFORMED AND MATERIALS INSTALLED ACCORDING TO THE PLANS AND SPECIFICATIONS AFFECTING NON-	CTSK C.W.	Countersunk Cold Water	MM MAINT.	Millimeter Maintenance
DEFECTS,	RESIDENTIAL ENERGY. 7. INSULATION SHALL BE INSTALLED TO MEET FLAME SPREAD AND SMOKE DENSITY REQUIREMENTS	CW.	Curtain wall	MAT. MAS.	Material Masonry
ELY FROM THE REJECTED	OF 5311 AND TITLE 24.	DA DB	Double Acting Design Build	MAX. MDF	Maximum Medium Density Fiber Board
PONSIBILITY		DBL. DEPT.	Double	MECH. MED. CAB.	Mechanical Medicine Cabinet
IMPOSED ON		DET./DTL.	Department Detail	MEMB.	Membrane
LEVEL, WITH ARKS,		DEPR D.F.	Depress(ed)(ion) Drinking Fountain OR Douglas Fir	M.E.P. MFR.	Mechanical, Electrical, Plumbi Manufacturer
WELL		D.G. DIA.	Decomposed Granite Diameter	M.H. MID.	Manhole Middle
ROVISION FOR BUCKLING AND		DIAG. DIM.	Diagonal Dimension	MIN. MIRR.	Minimum Mirror
RLY AND		DN. D.O.	Down Door Opening	MISC. MLDG	Miscellaneous Moulding
CTOR IS VINGS SHOW		DR. DRN.	Door Drain	MR MOD.	Moisture Resistant Module
E EVERY SUCH		DS. D.W.	Downspout Dishwasher	MPOE MTD.	Minimum Point of Entry Mounted
EMENTS OF R'S OR		DWG. DWR.	Drawing Drawer	MTL. MUL.	Metal Mullion
URING				MWRK	Millwork
TRACTOR IRED BY		E (E)	East Existing	N	North
SHALL BE /HETHER		EA. E.I.F.S.	Each Exterior Insulation Finish System	(N) N/A	New Not Applicable
OR IMPROPER		E.J. ELEC.	Expansion Joint Electrical	N.I.C. NO.	Not In Contract Number
'LE OF A DE		ELEV. EMER.	Elevator OR Elevation Emergency	NOM. N.T.S.	Nominal Not To Scale
JIREMENTS IN		ENCL. ENGR.	Enclosure Engineer	0/	Over
NDARD, RINTED IN		EOS E.P.	Edge of Slab Electrical Panelboard	0.A. 0.C.	Overall On Center
RUCTION		EPDM EQ.	Ethylene Polypropylene (elastic plastic flashing) Equal	0.0. 0.D. 0.F.C.I	Outside Diameter Owner Furnished Contractor I
ORDINANCES,		EQ. EQUIP. ERA	Equipment Exterior Roof Assembly	OFD.	Overflow Drain
OR COMMON		ESA	Exterior Soffit Assembly	OFL. O.F.O.I	Overflow Leader Owner Furnished Owner Insta
., ROPRIATE FOR		EWA EXH	Exterior Wall Assembly Exhaust	OPER. OPNG.	Operable Opening
CUMENTS, EFFICIENCY.		EXP EXPO.	Expansion Exposed	OPP. OPP. HD.	Opposite Opposite Hand
TO SECURE		EXT.	Exterior	OSB OVHD.	Oriented Stand Board Overhead
AFTS, ETC., TO		F. F.A.	Fabric Fire Alarm OR Floor Assembly	OWSJ	Open Web Steel Joist
		F.A.U. FAB	Forced Air Unit Fabricate(d)	PAV. PBD	Paving Particle Board
E TO AVOID		FACP	Fire Alarm Control Panel	P.C.	Precast Concrete
SHALL		F.D. FND.	Floor Drain OR Fire Damper Foundation	PERF. PERP.	Perforated Perpendicular
		F.E. F.E.C.	Fire Extinguisher Fire Extinguisher Cabinet	P.G. PLT.	Paint Grade Plate
RK SHALL BE E SHALL BE		F.F. F.G.	Finish Floor Finish Grade	P.LAM. PLAS.	Plastic Laminate Plaster
RSONS USING ALL BE		F.H. F.H.C.	Flat Head OR Full Height Fire Hose Cabinet	PLYWD. PLBG.	Plywood Plumbing
TO CONTROL		F.H.W.S. FIN.	Flat Head Wood Screw Finish(ed)	POL. PNL.	Polished Panel
		FIXT. FL./FLR.	Fixture Floor	PNT. PR.	Paint Pair
		FLASH.	Flashing	PRECST.	Precast
		FLOUR.	Flourescent	PREFAB.	Prefabricated

ncrete	PSF PSI
sh d	PT. PTD.
ll g) ant, Fire Rated	P.T.D. P.T.R. PTN.
er, Full Size tion Distance	PVC
l et	QTY
	R. R.A. RAD.
Cabinet	R.B. RCP
	R.D. REC.
ntractor	REF. REFG.
sposal It Circuit Interruption	REINF. REM. REQ.
ing am	RES. RESIL.
te	RETG. REV.
Sheet Metal	RFL. RGTR.
ard	RH R.H.M. RM.
	RND. R.O.
e andryer	R.P. RSF
	RT RWL.
	S S.A.F.
al	S.C. S.C.D.
	SCHED. S.D.
ntilation, Air Conditioning	SECT. S.E.D. SF
	S.F.P.D. S.F.
eter / Dimension	S.H. SHLF.
nt ng)	SHTG. SHWR. SIM.
nsulated	SIM. S.J.C. SK.
9	SL. S.L.D.
x	S.M. S.M.D.
	S.N.D. S.N.R. SNT.
	S.O.G. S.O.V.
	S.P.D. SPEC.
	SPKR. SQ. S.S.
	S.S.D. ST.
	STC STD.
/eneer Lumber OR Level	STL. STOR. STRUC.
len	SUSP. S.W.
e	S.Y. SYM.
	SYS. (T)
nsity Fiber Board	T. T-24
abinet	T. & G. T.B.
Electrical, Plumbing er	T.B.D. T.C. T.D.
	TEL. TEMP.
us	T.F. THK.
esistant	THRU. T.O. T.O.C.
pint of Entry	T.O.CONC. T.O.F.
	T.O.J. T.O.P.
	T.O.PL. T.O.S.
ble	T.O.STL. T.O.W. T.P.D.
ract	T.P.H. T.S.
e	T.V. TYP. T7
	TZ U.C.
meter	U.L. UNF.
ished Contractor Installed ain	U.O.N. UR.
ader ished Owner Installed	UTIL VAR.
	VB. VCT
and and Board	VNR. V.T.R.
Steel Joist	VER. VERT. V.I.F.
ırd	V.I.F. VOL.
ncrete	W W/
ar	WC W/D WD.
inate	WD. W/H WM
	W/O WO
	WP. W.PT. W.R.
	W.R. WSCT. WT.
d	WWF

Pounds per Square Foot Pounds per Square Inch Point OR Pressure Treated	
Painted Paper Towel Dispenser Paper Towel Receptacle	
Partition Polyvinyl Chloride	
Quantity Riser	
Return Air Radius, Radii Resilient Base, Rubber Base Reflected Ceiling Plan	
Roof Drain Recessed Reference	
Refridgerator Reinforced Remaining	
Required Resistant Resilient	
Retaining Revise(d)(vision) Reflect(ed)(ive)(or)	
Register Right Hand Radiant Heat Manifold	
Room Round Rough Opening	
Radius Point Resilient Sheet Flooring Resilient Tile	
Rain Water Leader South Self-Adhered Flashing	
Solid Core OR Sealed Concrete Seat Cover Dispenser OR See Civil Drawi Schedule(d)	ngs
Soap Dispenser Section See Electrical Drawings	
Square Feet See Fire Protection Drawings Square Foot (Feet)	
Sprinkler Head OR Single Hung Shelf Sheathing	
Shower Similar Seismic Joint Cover	
Sink Sliding See Landscape Drawings Standing Madule OB Shoot Matel	
Stanchion Module OR Sheet Metal See Mechanical Drawings Sanitary Napkin Dispenser Sanitary Napkin Receptacle	
Sealant Slab On Grade Shut-Off Valave	
See Plumbing Drawings Specification Speaker	
Square Stainless Steel See Structural Drawings	
Street OR Stair Sound Transmission Coefficient Standard	
Steel Storage Structure	
Suspend(ed) Sheer Wall Square Yard(s)	
Symmetrical System	
Tempered Tread Title 24 Tongue and Groove	
Towel Bar To Be Determined Terra Cotta	
Top of Deck(ing) Telephone Tempered OR Temporary	
Transparent Finish Thick Through	
Top Of Top of Curb Top of Concrete	
Top of Footing Top of Joist Top of Parapet	
Top of Plate Top of Slab Top of Steel	
Top of Wall Toilet Paper Dispenser Toilet Paper Holder	
Tube Steel Television Typical Terrazzo	
Under Counter Underwriters Laboratory	
Unfinished Unless Otherwise Noted Urinal Utility	
Varies Vapor Barrier	
Vinyl Composition Tile Veneer Vent Through Roof	
Verify Vertical Verify in Field Volume	
West OR Width OR Women With	
Water Closet Washer/Dryer Wood	
Water Heater Wire Mesh Without	
Where Occurs Waterproof Work Point	
Water Resistant Wainscot Weight Welded Wire Fabric	
Welded Wire Fabric	



GS4: San Francisco Green Building Submittal Form for Non-Residential Interior-Only Alteration NON-RESIDENTIAL REFERENCES INTERIOR-ONLY ALTERATION fulfillment in the References column. For items that are not applicable, indicate "N/A". 2. Provide project information in the Verification box at the right. A,B,E,F,H,L,I,M,S,U greater than \$200,000 4. This form is for permit applications submitted January 2020 through December 2022. MARK WHICH SCOPES ARE Х INCLUDED IN THIS SUBMITTAL ARCHITECTURE MECHANICAL PLUMBING DRAWING OR SPECIFICATION # (If not applicable, indicate "N/A".) , sealants, paints, coatings, carpet systems SEE FLOOR PLAN SHEET NOTE 48 ON A2.00 • ducts. werheads (2.0gpm); lavatories (1.2gpm ring faucets (0.2gpc); food waste disposers SEE FLOOR PLAN ON A2.00/1 FOR MAXIMUM ALLOWABLE FLUSH/FLOW REQUIREMENTS • ding Code ch.13A. lings >50,000 sq.ft). N/A - SPACE WILL CONSUME <1000 GAL/DAY MECHANICAL UNDER DEFFERED SUBMITTAL • • MECHANICAL UNDER DEFFERED SUBMITTAL ble, recyclable and landfill materials.. • SEE FLOOR FOR LOCATION ON FLOOR PLAN A2.00/1 Transporter to a Registered facility and SEE FLOOR PLAN SHEET NOTE 49 ON A2.00 • • MECHANICAL UNDER DEFFERED SUBMITTAL • SEE FLOOR PLAN SHEET NOTE 47 ON A2.00 paces. MECHANICAL UNDER DEFFERED SUBMITTAL •

INSTRUCTIONS:

1. Select one (1) column to the right. For each applicable requirement in the column, indicate evidence of

3. Submittal must be a minimum of 24" x 36".

L				INCLUDI
		TITLE	SOURCE OF REQUIREMENT	DESCRIPTION OF REQUIREMENT
	MATERIAL EMISSIONS	LOW-EMITTING MATERIALS	CALGreen 5.504.4.1-6	Use products that comply with the emission limit requirements of 5.504.4.1-6 for adhesives, s including cushions and adhesives, resilient flooring (80% of area), and composite wood produ
	WATER	INDOOR WATER USE REDUCTION	CALGreen 5.303.3, SF Building Code ch.13A	Meet flush/flow requirements for: toilets (1.28gpf); urinals (0.125gpf wall, 0.5gpf floor); showe private, 0.5gpm public/common); kitchen faucets (1.8gpm); wash fountains (1.8gpm); meterin (1gpm/8gpm). Large non-residential interiors projects must upgrade all non-compliant fixtures per SF Buildir
			CALGreen 5.303.1	Provide submeters for spaces projected to consume >1,000gal/day (or >100gal/day in buildin
	ENERGY	ENERGY EFFICIENCY	CA Energy Code	Comply with all provisions of the CA Energy Code.
	EN	COMMISSIONING	CALGreen 5.410.4	All new HVAC equipment must be tested and adjusted.
	URCE VERY	RECYCLING BY OCCUPANTS	SF Building Code 106A.3.3, CalGreen 5.410.1, AB-088	Provide adequate space and equal access for storage, collection, and loading of compostable
	RESOURCE RECOVERY	CONSTRUCTION & DEMOLITION (C&D) DISCARDS MANAGEMENT	SFGBC 4.103.2.3 & 5.103.1.3.1, CalGreen 5.405.1.1 Environment Code ch.14, SF Building Code ch.13B	Construction Discards Management - 100% of mixed debris must be taken by a Registered T processed for recycling. Demonstrate 65% recovery. See www.dbi.org for details.
	НИАС	REFRIGERANT MANAGEMENT	CALGreen 5.508.1	Use no halons or CFCs in HVAC.
	INDOOR ENVIRONMENTAL QUALITY	AIR FILTRATION (CONSTRUCTION)	CALGreen 5.504.1-3	Seal permanent HVAC ducts/equipment stored onsite before installation.
	IND(ENVIRON QUA	AIR FILTRATION (OPERATIONS)	CALGreen 5.504.5.3	Projects must provide MERV-13 filters on HVAC for regularly occupied, actively ventilated spa
4				

	tor Efficiency		Water E
	ter Efficiency		Non-C
Each fixture must not exceed CA	LGreen 5.303 maximum flow rates.	1	All fixtures that are not cor
FIXTURE TYPE	MAXIMUM FIXTURE FLOW RATE		Commercial Water Consei
Showerheads ²	1.8 gpm @ 80 psi		located within the project a fittings meeting the maxim
Lavatory Faucets: non-residential	0.5 gpm @ 60 psi		above. For more information Conservation Program Bro
Kitchen Faucets	1.8 gpm @ 60 psi default		NON-COMPLIANT PLUM
Wash Fountains	1.8 gpm / 20 [rim space (inches)		1. Any toilet manufacture
	@ 60 psi]		2. Any urinal manufacture
Metering Faucets	.20 gallons per cycle		 Any showerhead manu than 2.5 gpm
Metering Faucets: wash fountains	.20 gallons per cycle / 20 [rim space	NOTES:	4. Any interior faucet that
	(inches) @ 60 psi]	1. For dual flush toilets, effective flush volume is	
Tank-type water closets	1.28 gallons / flush ¹	defined as the composite, average flush volume of two reduced flushes and one full flush. The	Exceptions to this requirer replacement of fixture(s) w
	and EPA WaterSense Certified	referenced standard is ASME A112.19.14 and	of the building, as determi
Flushometer valve water closets	1.28 gallons / flush ¹	USEPA WaterSense Tank-Type High Efficiency Toilet Specification – 1.28 gal (4.8L)	Inspection pursuant to Sar
Urinals	Wall mount: 0.125 gallons / flush	2. The combined flow rate of all showerheads in one shower stall shall not exceed the maximum flow rate	
	Floor mount: 0.5 gallons / flush	for one showerhead, or the shower shall be designed to allow only one showerhead to be in operation at a time (CALGreen 5.303.2.1)	

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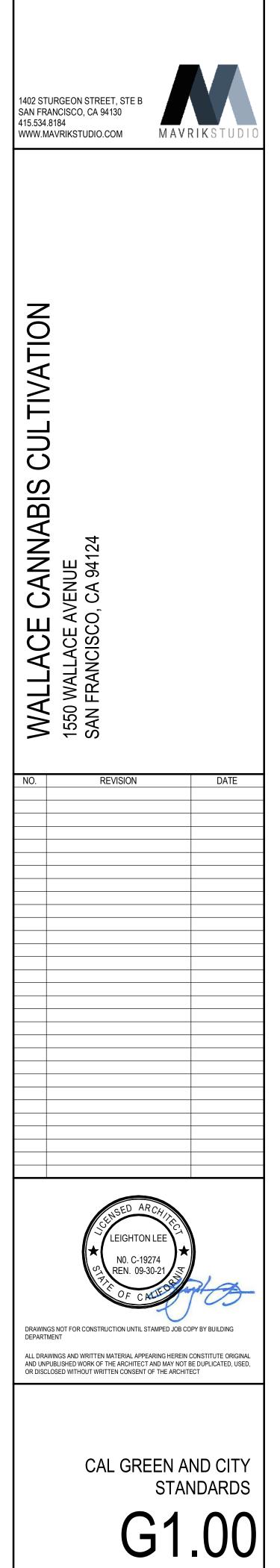
Efficiency of Existing Compliant Fixtures ompliant with the San Francisco servation Ordinance that serve or are t area must be replaced with fixtures or imum flow rates and standards referenced ation, see the Commercial Water Brochure, available at SFDBI.org.

JMBING FIXTURES INCLUDE: red to use more than 1.6 gallons/flush red to use more than 1 gallon/flush nufactured to have a flow capacity of more

at emits more than 2.2 gpm

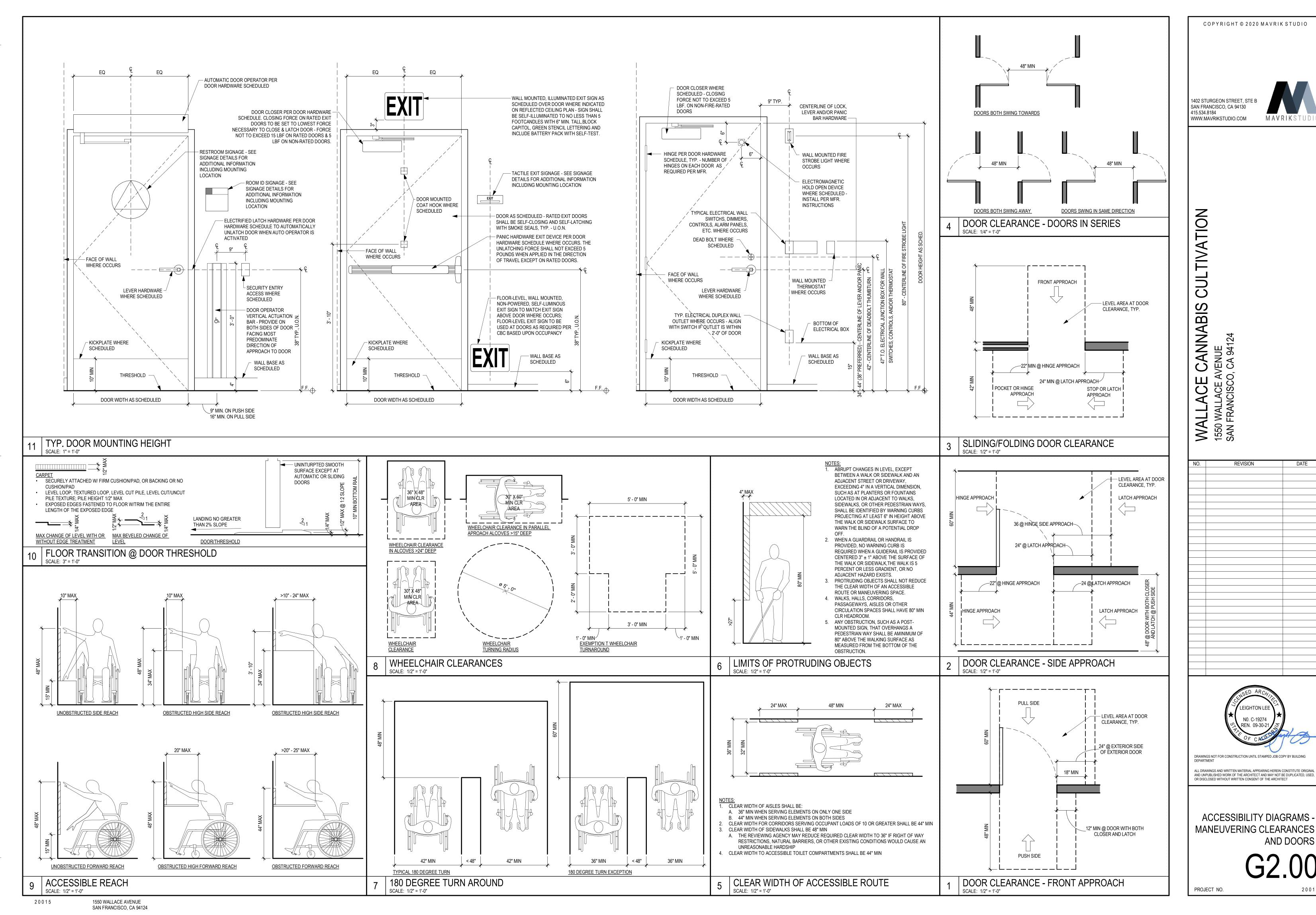
ement are limited to situations where would detract from the historic integrity mined by the Department of Building an Francisco Building Code Chapter 13A.

 VERIFICATION
REPACKAGING AND SHIPPING FACIL PROJECT NAME
4829/026
BLOCK/LOT 1550 WALLACE AVENUE
SAN FRANCISCO, CA 94124 ADDRESS
F-1 FACTORY
PRIMARY OCCUPANCY
4880 SF
GROSS BUILDING AREA
Green Building Complian Professional of Record for Architectural Measure
I have been retained by the pu sponsor to verify that appr construction documents
construction fulfill the requirer of San Francisco Green Bu
Code. It is my professional op that the requirements of the Francisco Green Building Code boot of the Doce
be met. I will notify the Depar of Building Inspection if the p will, for any reason, not substa
comply with these requirement if I am no longer the Green Bu Compliance Professional of R for the project.
LEIGHTON LEE NAME
MAVRIK STUDIO
FIRM
C-19274 ARCHITECTURAL OR ENGINEERING LICENSE
LICENSED PROFESSION (sign & date)
AFFIX STAMP BELOW:
LEIGHTON LEE NO. C-19274 PERSON OF CALIFORM Green Building Complia
Professional of Record Mechanical and/or Plum Measures I have been retained by the
sponsor to verify that app construction documents construction fulfill the require of San Francisco Green B
Code. It is my professional o that the requirements of the Francisco Green Building Cod
of Building Inspection if the peak will, for any reason, not substa
comply with these requirement if I am no longer the Green Bu Compliance Professional of F for the project.
NAME
FIRM
ARCHITECTURAL OR
ENGINEERING LICENSE
(sign & date) AFFIX STAMP BELOW:



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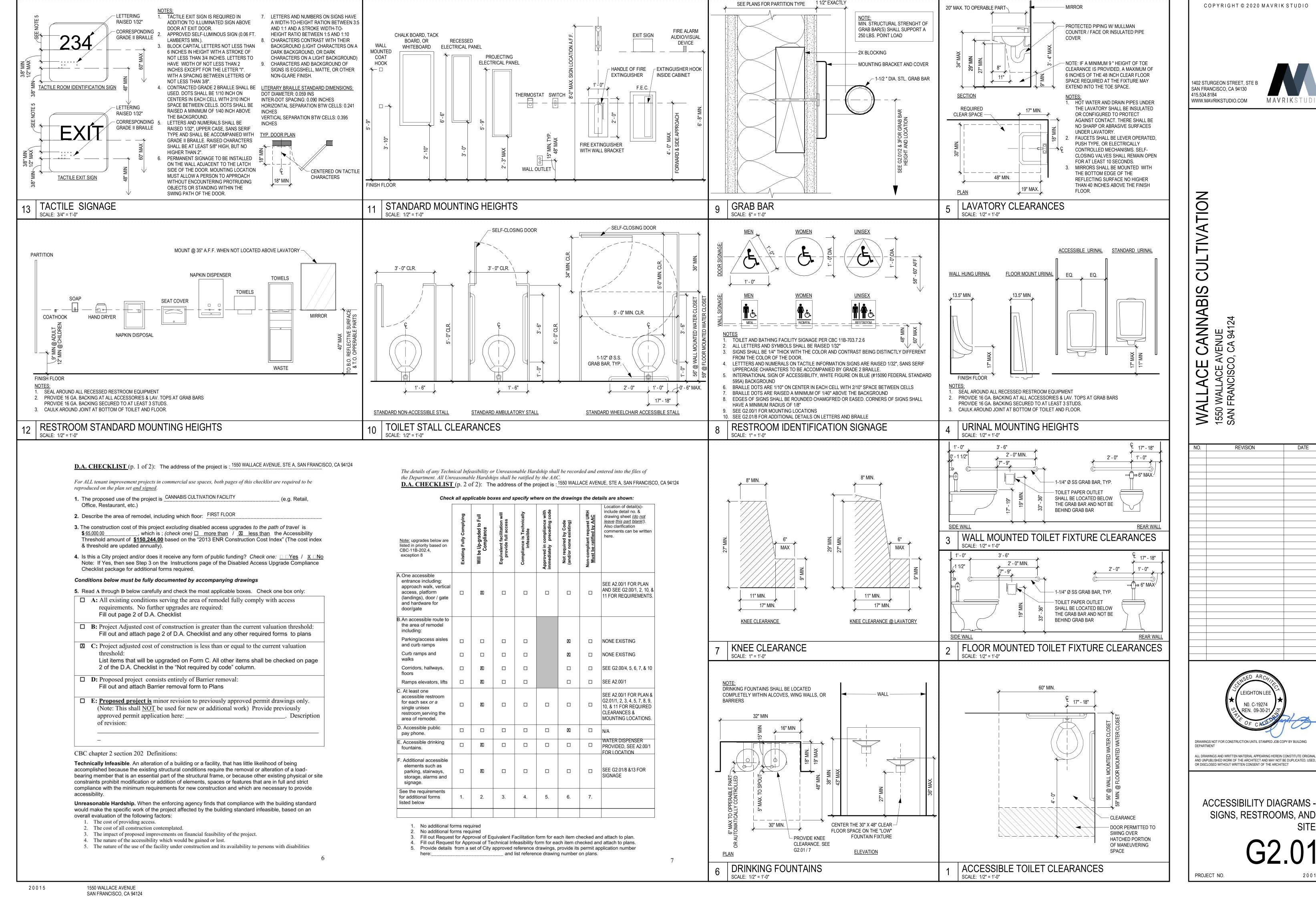
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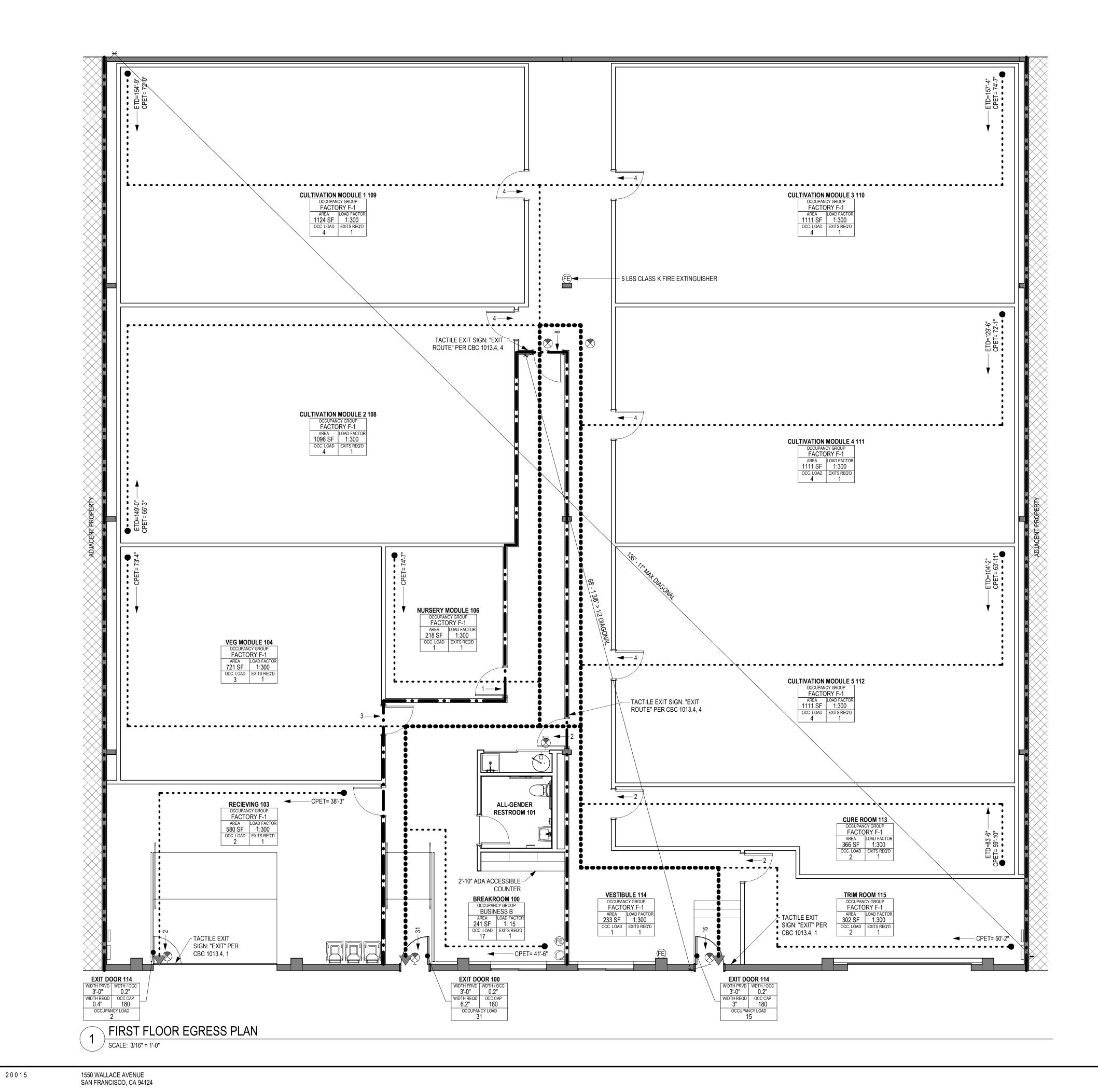
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CLASSIFICATION

OCCUPANCY CLASSIFICATION (SFBC 302.1) CONSTRUCTION TYPE <u>EXISTING</u> BUSINESS B STORAGE S-1 II-B <u>PROPOSED</u> BUSINESS B FACTORY F-1 II-B

FIRE SEPERATION (SFBC TABLE 508.4): RATED SEPERATION REQUIRED BETWEEN B AND F-1 OCCUPANCY: NOT REQUIRED

EGRESS SIZING (SFBC 1005): STAIRWAYS: 0.3" PER OCCUPANT

OTHER COMPONANTS: 0.2" PER OCCUPANT

- NOTES: 1. TACTILE EXIT SIGN TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE EXIT DOORS MOUNTED 60" A.F.F. TO THE CENTERLINE OF THE SIGN, SEE G2.01/13.
- ALL EXITS TO BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT.
- 8. MAIN EXIT DOORS SHALL HAVE A READILY VISIBLE, DURABLE SIGN ON OR ADJACENT TO THE DOOR STATING "THIS DOOR MUST REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED."

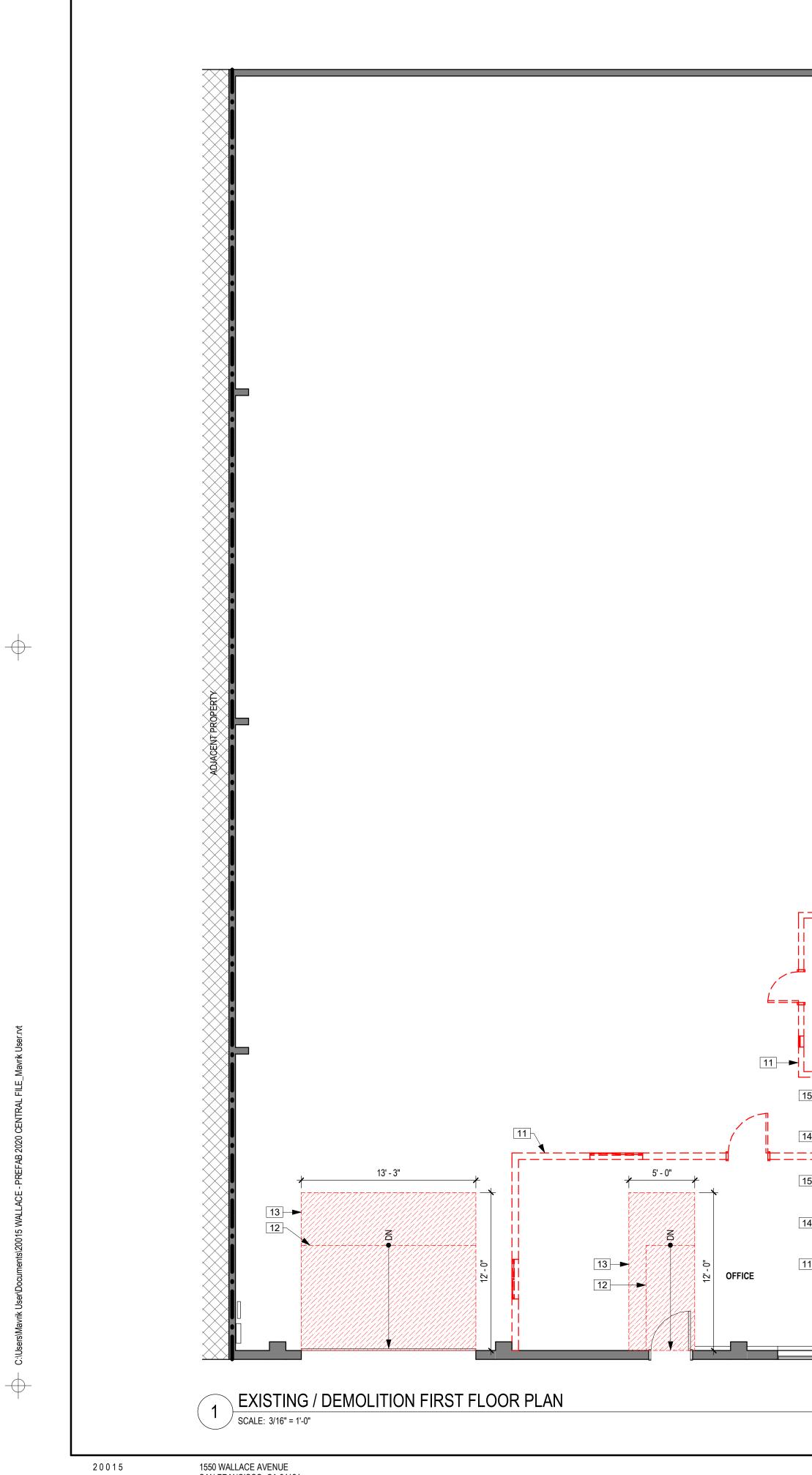
OCCUPANCY LOAD CALCULATION OCCUPANCY OCCUPANCY ROOM NAME GROUP AREA LOAD FACTOR OCCUPANT LOAD LEVEL FIRST FLOOR BUSINESS B 241 SF 15 BREAKROOM USINESS B CULTIVATION MODULE 3 FIRST FLOOR FACTORY F-1 1111 SF 300 ULTIVATION MODULE 4 FIRST FLOOR FACTORY F-1 1111 SF 300 CULTIVATION MODULE 5 FIRST FLOOR FACTORY F-1 1111 SF 300 FIRST FLOOR FACTORY F-1 366 SF 300 CURE ROOM CULTIVATION MODULE 1 FIRST FLOOR FACTORY F-1 1124 SF 300 CULTIVATION MODULE 2 FIRST FLOOR FACTORY F-1 1096 SF 300 RECIEVING FIRST FLOOR FACTORY F-1 580 SF 300 VESTIBULE FIRST FLOOR FACTORY F-1 233 SF 300 FIRST FLOOR FACTORY F-1 302 SF 300 TRIM ROOM FIRST FLOOR FACTORY F-1 721 SF 300 VEG MODULE NURSERY MODULE FIRST FLOOR FACTORY F-1 218 SF 300 FACTORY F-1 TOTAL OCCUPANT LOAD NONSPRINKLERED INTERIOR FINISHES (SFBC 803.13) OCCUPANCY GROUP STAIRWAYS CORRIDORS ROOMS USINESS B ACTORY F-1 EXIT ACCESS CORRIDOR COMMOM PATH OF TRAVEL EXIT TRAVEL DISTANCE OCCUPANCY FIRE-RESISTANCE RATING (SFBC TABLE 1006.1.2) GROUP (SFBC TABLE 1017.2) (SFBC TABLE 1020.1) USINESS B 75' - 0" 200' - 0" FACTORY F-1 75' - 0" 200' - 0" PLUMBING FIXTURES (SFBC 2902.1) OCCUPANT LOAD OCCUPANT GROUP BUSINESS B LOAD FACTOR AREA 404 SF 1:200 7971 SF 1:2000 FACTORY F-1 WATER CLOSETS LAVATORIES DRINKING FOUNTAINS OCCUPANT GROUP M F M F **BUSINESS B** 0.02 0.13 0.02 0.01 0.01 FACTORY F-1 0.04 0.04 0.04 0.04 0.02 TOTAL REQUIRED 1 SHARED PER 1 SHARED PER NOT REQUIRED PER SFBIC 422.2 EXP. 3 SFBIC 422.2 EXP. 3 SFBIC 415.2 TOTAL PROVIDED 1 SHARED 1 SHARED 0 LEGEND **DINING AREA 100** ROOM OCCUPANT LOAD TAG OCCUPANCY GROU OCCUPANCY GROUP BUSINESS B AREA LOAD FACTOR 100 SF 1:100 OCC. LOAD EXITS REQ'D ROOM AREA / LOAD FACTOR (CBC 1004.1.2) OCCUPANT LOAD / EXITS REQUIRED 1 1 EXIT DOOR 100 EXIT DOOR OCCUPANT LOAD TAG WIDTH PRVD WDTH / O 3'-0" 0.15 WIDTH REQD OCC CAPACIT DOOR WIDTH PROVIDED / WIDTH REQUIRED PER OCCUPANT 0.15" 240 OCCUPANCY LOAD DOOR WIDTH REQUIRED / ACTUAL OCCUPANT CAPACITY ACTUAL OCCUPANT LOAD 1 CPET=20'-0" COMMON PATH OF EGRESS TRAVEL ETD=20'-0" **EXIT TRAVEL DISTANCE** OCCUPANT LOAD AND TRAVEL DIRECTION 1----EXIT DISCHARGE (FE)FIRE EXTINGUISHER 1 HOUR RATED WALL 2 HOUR RATED WALL 3 HOUR RATED WALL -**— • • • • —** 4 HOUR RATED WALL NOTES 1. SEE PLANS AND RCP FOR ADDITIONAL INFORMATION 2. ALL EGRESS DOORS SHALL BE 36" MIN. WIDE CLEAR 3. SEE SHEET G2.01 FOR TYPICAL MOUNTING HEIGHTS

402 STURGEON STREET, STE B SAN FRANCISCO, CA 94130 415.534.8184 MAVRIKST WWW.MAVRIKSTUDIO.COM TION TIVA. CUL CANNABIS AVENUE 0, CA 94124 WALLACE <u>ວ</u> ວ 1550 WALLAC SAN FRANCI REVISION DATE EIGHTON LI N0. C-19274 REN. 09-30-2 DRAWINGS NOT FOR CONSTRUCTION UNTIL STAMPED JOB COPY BY BUILDING DEPARTMENT ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT R CODE ANALYSIS AND EGRESS PLAN

PROJECT NO.

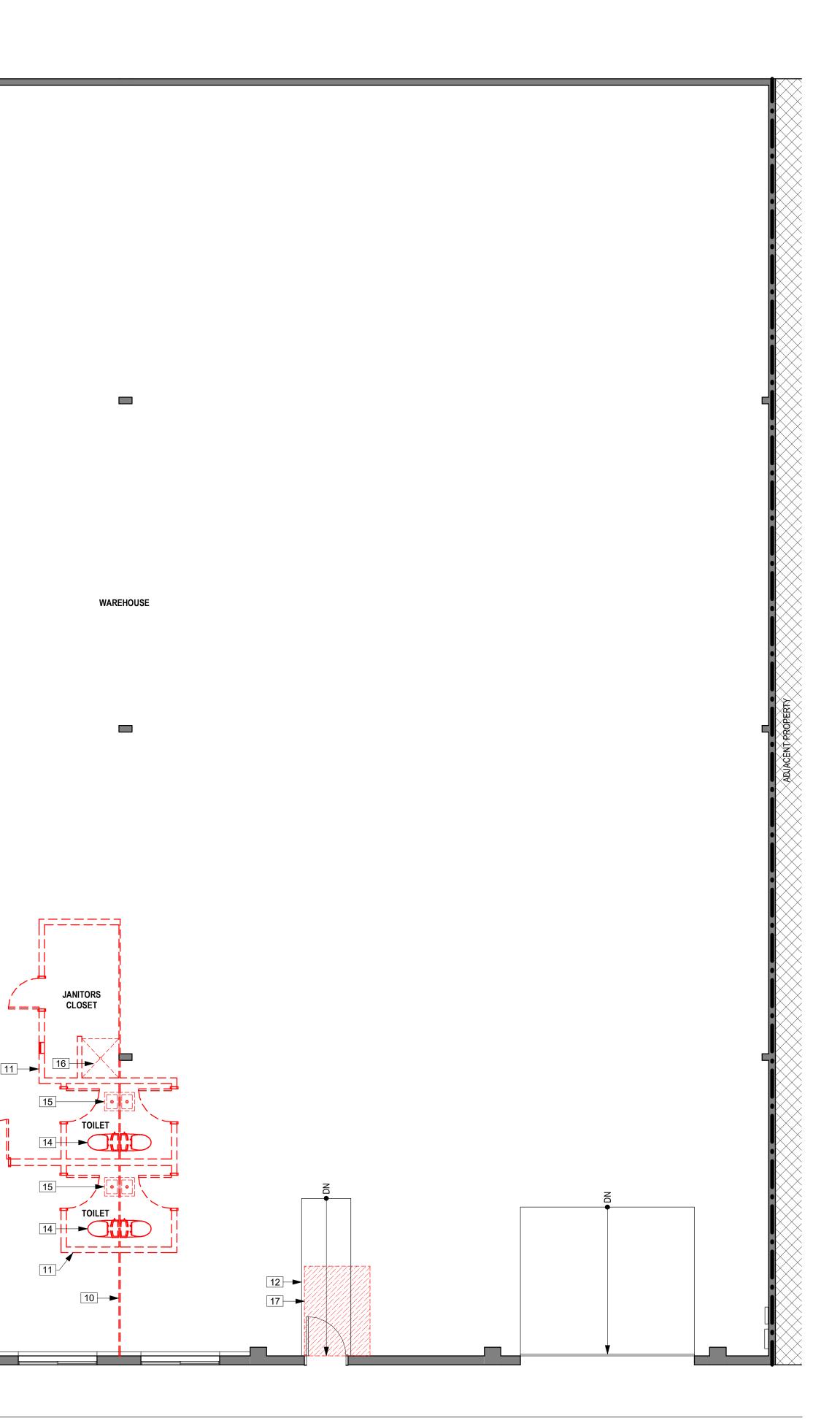
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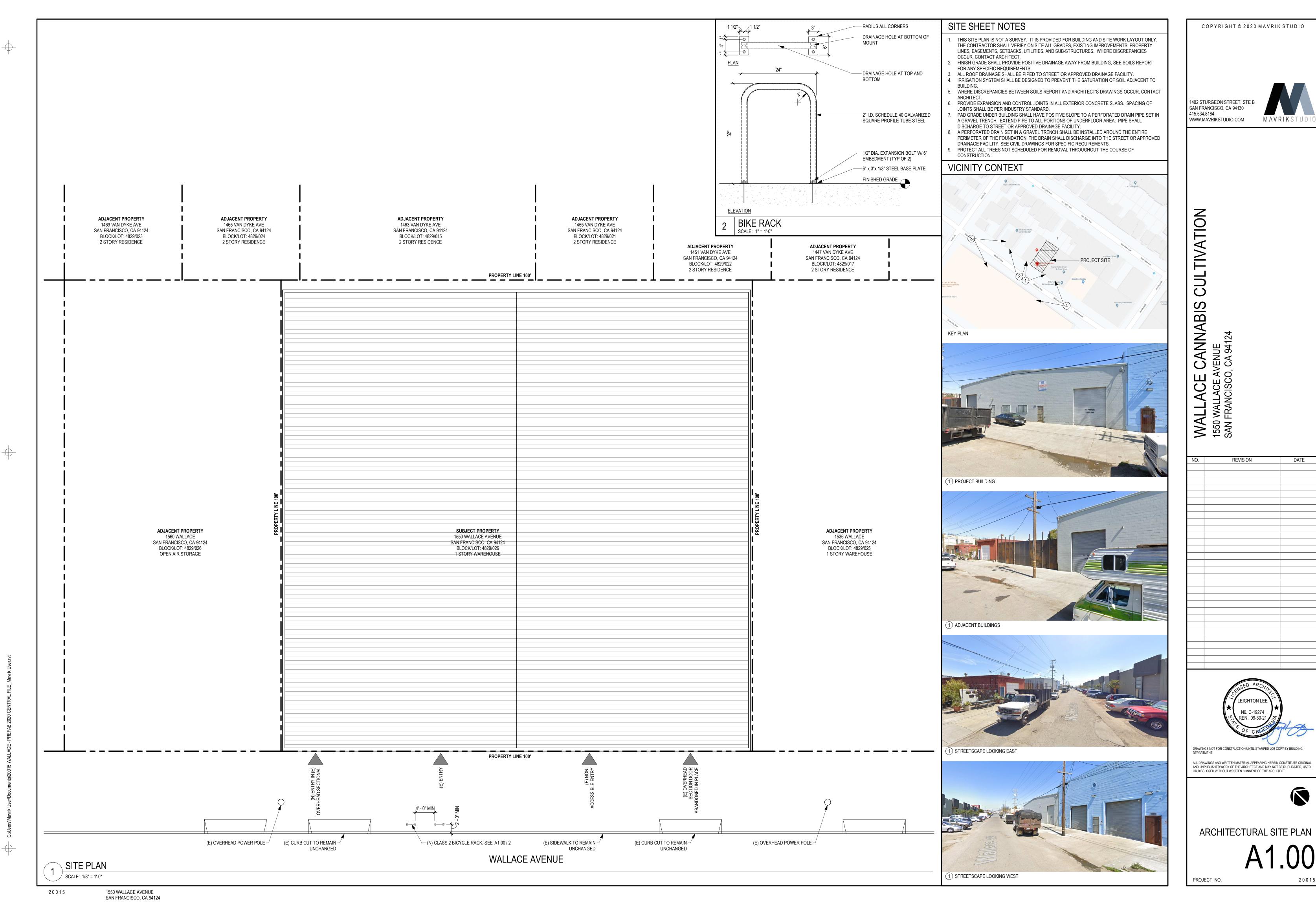


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1550 WALLACE AVENUE SAN FRANCISCO, CA 94124



D	EMOLITION PLAN SHEET NOTES		COPYRIGHT © 2020	MAVRIK STUDIO
1. 2. 3. 4. 5. 6. 7.	THE DEMOLITION PLAN SA GRAPHIC REPRESENTATION OF THE EXISTING FIELD CONDITIONS BASED ON THE INFORMATION PROVIDED TO THE ARCHITECT. IT IS NOT INTENDED TO BE A RECORD DRAWING OF THE EXISTING BUILDING. DEMOLITION DRAWINGS ARE DEVELOPED TO SHOW BOUNDARIES AND SCOPE TO THE NON-STRUCTURAL DEMOLITION OF SELECTED ITEMS. THE CONTRACTOR SHALL PERFORM A DETAILED WALK-THROUGH WITH THE CLIESTS REPRESENTATIVE TO CONFIRM THE SCOPE OF WORK. VERIFY THE EXISTING CONDITIONS, AND ALL COMPLICTS WITH THE SCHEDULED SCOPE OF WORK. VERIFY THE EXISTING CONDITIONS, AND ALL COMPLICTS WITH THE SCHEDULED SCOPE OF WORKS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF AND REPLACEMENT OF EXISTING UTILITIES AS REQUIRED TO COMPLETE THE NEW SCOPE OF WORK AS SHOWN IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL COMPLY WITH ALL THE PERTINENT CITY AND COUNTY REQUIREMENTS FOR DEMOLITION, INCLUDING, BUT NOT LIMITED TO, REMOVAL OF DEBRIS, BUILDING PROTECTION, LOCATION AND TYPE OF CONTAINERS AND THE DISCARDING OF MATERIALS. THE DEMOLITION PLAN DOES NOT ACKNOWLEDGE TOXIC MATERIALS AND DOES NOT AUTHORIZE THE DEMOLITION PLAN DOES NOT ACKNOWLEDGE TOXIC MATERIALS. AND DOES NOT AUTHORIZE THE DEMOLITION PLAN DOES NOT AND THE DEMOLITION OF THE WORK SCOPE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. ALL DEMOLITION AND REMOVAL OF TOXIC MATERIALS SHALL BE CONTAINED AND COPIES GIVEN TO THE OWNER'S REPRESENTATIVE FOR RECORD. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT REQUIREMENTS BY THE CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (CAL-OSHA) FOR DEMOLITION AND THE PROTECTION OF PUBLIC AREAS AND THE SURROUNDING AREAS. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT REQUIREMENTS BY THE CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (CAL-OSHA) FOR DEMOLITION AND THE PROTECTION OF SHALL COMPLY WITH ALL PERTINENT REQUIREMENTS BY THE CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (CAL-OSHA) FOR DEMOLITION AND THE PROTECTION OF SHALL COMPLY WITH ALL PERTINENT REQUIREMENTS BY THE CALIFORNIA OCCUPATIONAL SAFETY A	SAN 415.5 WWV	COPYRIGHT © 2020 STURGEON STREET, STE B FRANCISCO, CA 94130 i34.8184 V.MAVRIKSTUDIO.COM	MAVRIK STUDIO
9.	REMAIN OPERATIONAL DURING CONSTRUCTION. IN THE PRESENCE OF ASBESTOS, THE CONTRACTOR IS TO ABATE. ALL FLOORING FINISHES TO BE REMOVED U.O.N. ON PLANS. INCLUDING BUT NOT LIMITED TO		۲ >	
11.	PADDING, HOOK STRIPS, AND EDGES. ADHESIVES SHALL BE REMOVED AS REQUIRED FOR NEW FLOOR FINISHES. ALL WALL BASE TO BE REMOVED, U.O.N. ON PLANS. BASE SHALL BE REMOVED IN A MANNER TO MINIMIZE DAMAGE TO EXISTING WALL FINISH. DAMAGED WALL FINISH SHALL BE REPAIRED AS PART	=		
12.	OF THE BASE BID. WALLS AND CEILINGS SCHEDULED TO BE DEMOLISHED SHALL INCLUDE ALL ELECTRICAL AND UTILITIES MOUNTED ON AND CONTAINED WITHIN WALLS AND CEILING. ELECTRICAL AND UTILITIES SHALL BE REMOVED TO THE NEAREST POINT OF DISCONNECT. ELECTRICAL AND UTILITIES THAT			
	ARE CONNECTED TO AREAS TO REMAIN SHALL BE RE-ROUTED AND CONNECTED TO MAINTAIN SERVICE TO AREAS SCHEDULED TO REMAIN. ALL WALL MOUNTED WIREMOLD TO BE REMOVED. PATCH AND REPAIR AS NEEDED. PREPARE ALL EXISTING TO REMAIN WALLS FOR SKIM COAT TREATMENT TO SMOOTH OUT AND		CANNADIO /ENUE CA 94124	
DEI	COVER UP THE EXISTING SKIP TROWEL. ALL NEW WALLS TO RECEIVE MINIMUM LEVEL 4 FINISH.		94124	
NO.	COMMENT DEMOLISH (E) NON-RATED COREGATED SHEET METAL DEMISING WALL, SEE PROPOSED PLANS FOR		AVENUE 20, CA 941	
11 12	(N) DEMISING WALL LOCATION DEMOLISH (E) WALL AND SOFFIT ABOVE EXTENTS OF (E) RAMP TO GRADE	L	U [√] Ó	
13 14	SAWCUT AND DEMOLISH (E) SLAB FOR (N) RAMP, SEE PROPOSED PLAN DEMOLISH (E) WATER CLOSET		VVALLACE 1550 WALLACE SAN FRANCISC	
15 16	DEMOLISH (E) LAVATORY DEMOLISH (E) UTILITY SINK	-	-L/ Alli	
				DATE
			SENSED AR SENSED AR LEIGHTON NO. C-192 REN. 09-3 FOF CA	274 0-21 ₹
		DEP ALL AND	WINGS NOT FOR CONSTRUCTION UNTIL ST ARTMENT DRAWINGS AND WRITTEN MATERIAL APPE UNPUBLISHED WORK OF THE ARCHITECT DISCLOSED WITHOUT WRITTEN CONSENT (ARING HEREIN CONSTITUTE ORIGINAL AND MAY NOT BE DUPLICATED, USED,
FL	OOR PLAN LEGEND	DEP ALL AND	ARTMENT DRAWINGS AND WRITTEN MATERIAL APPE UNPUBLISHED WORK OF THE ARCHITECT DISCLOSED WITHOUT WRITTEN CONSENT (ARING HEREIN CONSTITUTE ORIGINAL AND MAY NOT BE DUPLICATED, USED, OF THE ARCHITECT
FL	OOR PLAN LEGEND EXISTING WALL	DEP ALL AND	ARTMENT DRAWINGS AND WRITTEN MATERIAL APPE, UNPUBLISHED WORK OF THE ARCHITECT DISCLOSED WITHOUT WRITTEN CONSENT OF DEMOLITION	ARING HEREIN CONSTITUTE ORIGINAL AND MAY NOT BE DUPLICATED, USED, OF THE ARCHITECT
	EXISTING WALL	DEP ALL AND	ARTMENT DRAWINGS AND WRITTEN MATERIAL APPE, UNPUBLISHED WORK OF THE ARCHITECT DISCLOSED WITHOUT WRITTEN CONSENT OF DEMOLITION	ARING HEREIN CONSTITUTE ORIGINAL AND MAY NOT BE DUPLICATED, USED, OF THE ARCHITECT
	EXISTING WALL	DEP ALL AND OR I	ARTMENT DRAWINGS AND WRITTEN MATERIAL APPE, UNPUBLISHED WORK OF THE ARCHITECT DISCLOSED WITHOUT WRITTEN CONSENT OF DEMOLITION	ARING HEREIN CONSTITUTE ORIGINAL AND MAY NOT BE DUPLICATED, USED, OF THE ARCHITECT

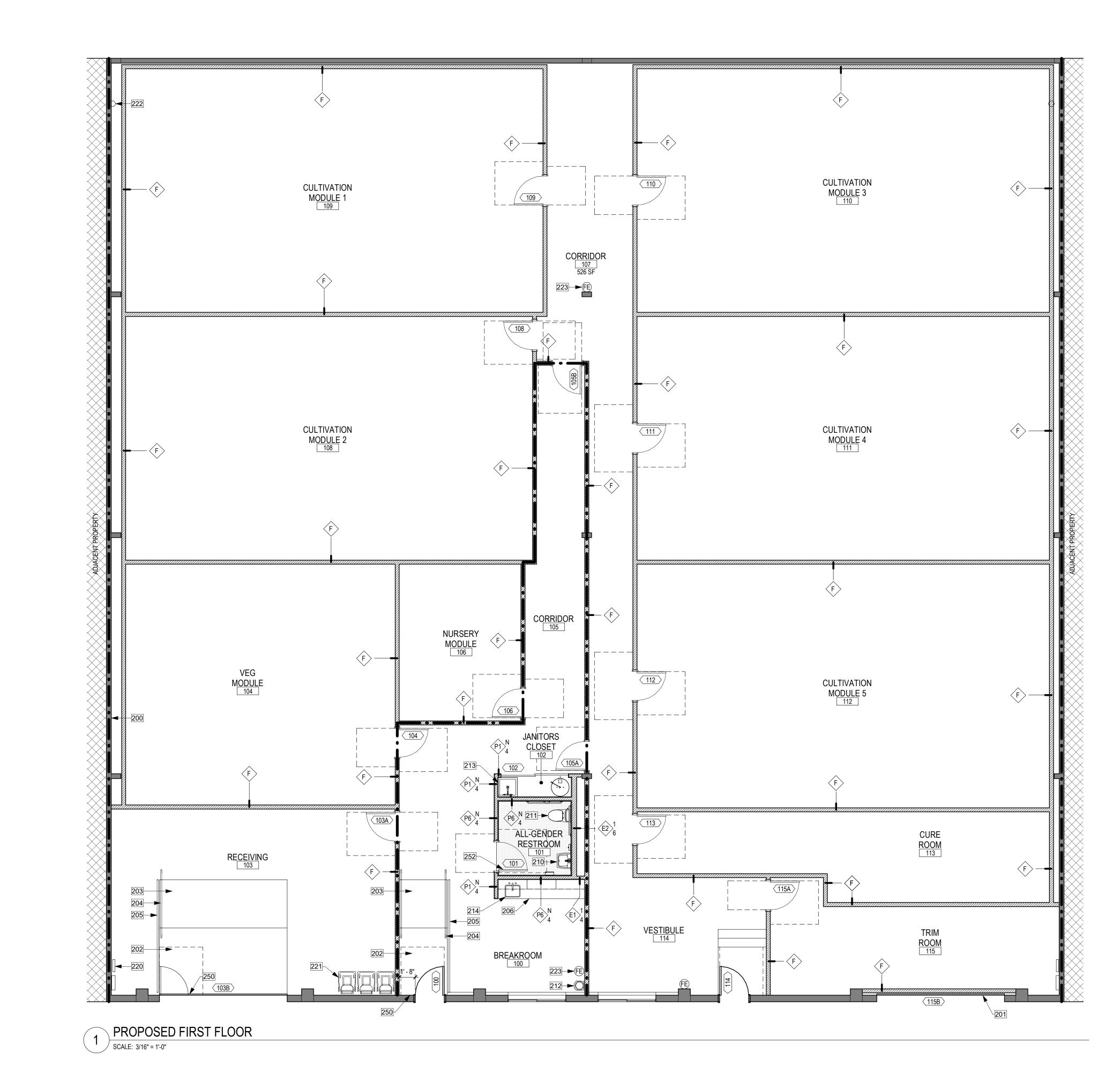


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20015

1550 WALLACE AVENUE SAN FRANCISCO, CA 94124



FLOOR PLAN KEYNOTES

NO.	COMMENT
200	(E) 1 HOUR FIRE RATED WALL ON PROPERTY LINE TO REMAIN UNCHANGED
201	SECURE (E) DOOR CLOSED AND ADANDON IN PLACE
202	LEVEL LANDINGS W/ 1:48 MAX CROSS SLOPE
203	RAMP W/ 1:12 MAX SLOPE AND 1:48 MAX CROSS SLOPE
204	(N) HANDRAIL @ 34" AFF
205	(N) 1 1/2" PIPE GUARDRAIL @ 42" AFF
210	(N) SINK W/ 0.5 GPM @ 60 PSI, SEE AG2.01/5
211	(N) TOILET @ 1.28 GPF, SEE G2.01/1, 2 & 3

FLOOR PLAN KEYNOTES

NO.

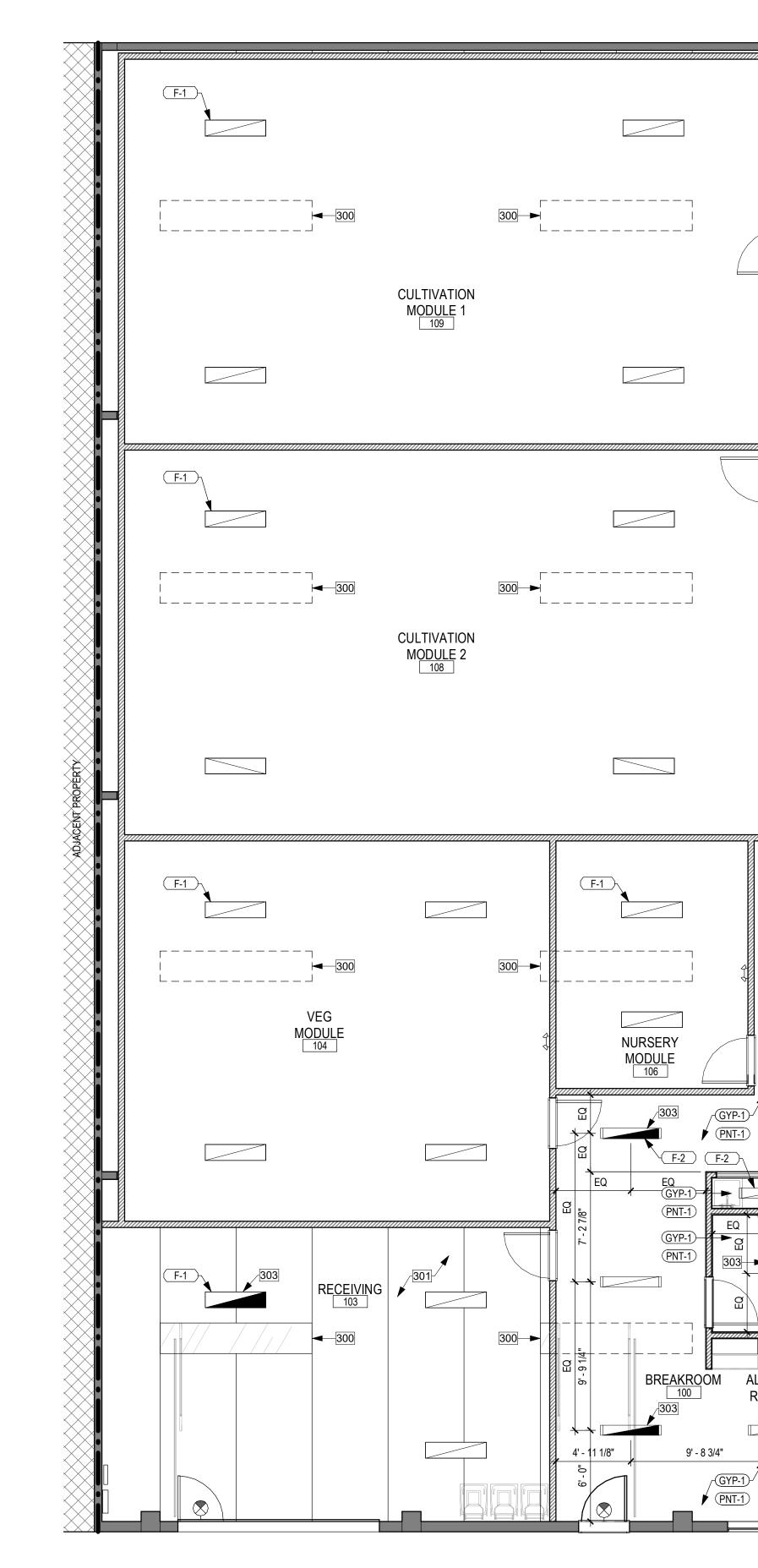
212 (N) WATER DISPENSER 213 (N) UTILITY SINK

COMMENT

- (IV) OTLETT ON INC.
 (E) ELECTRICAL PANEL TO REMAIN UNCHANGED
 (E) COMPOST, RECYCLE, AND LANDFILL BINS
 (E) SEWER CLEAN OUT TO REMAIN UNCHANGED
 (N) 5 LBS CLASS ABC FIRE EXTINGUISHER, SEE G2.01/11 FOR MOUNTING DETAILS 223
- TACTILE EXIT SIGN: "EXIT" PER SFBC 1013.4, 1, SEE G2.01/13(N) RESTROOM SIGNAGE, SEE G2.01/8 & 13 FOR DETAILS 250

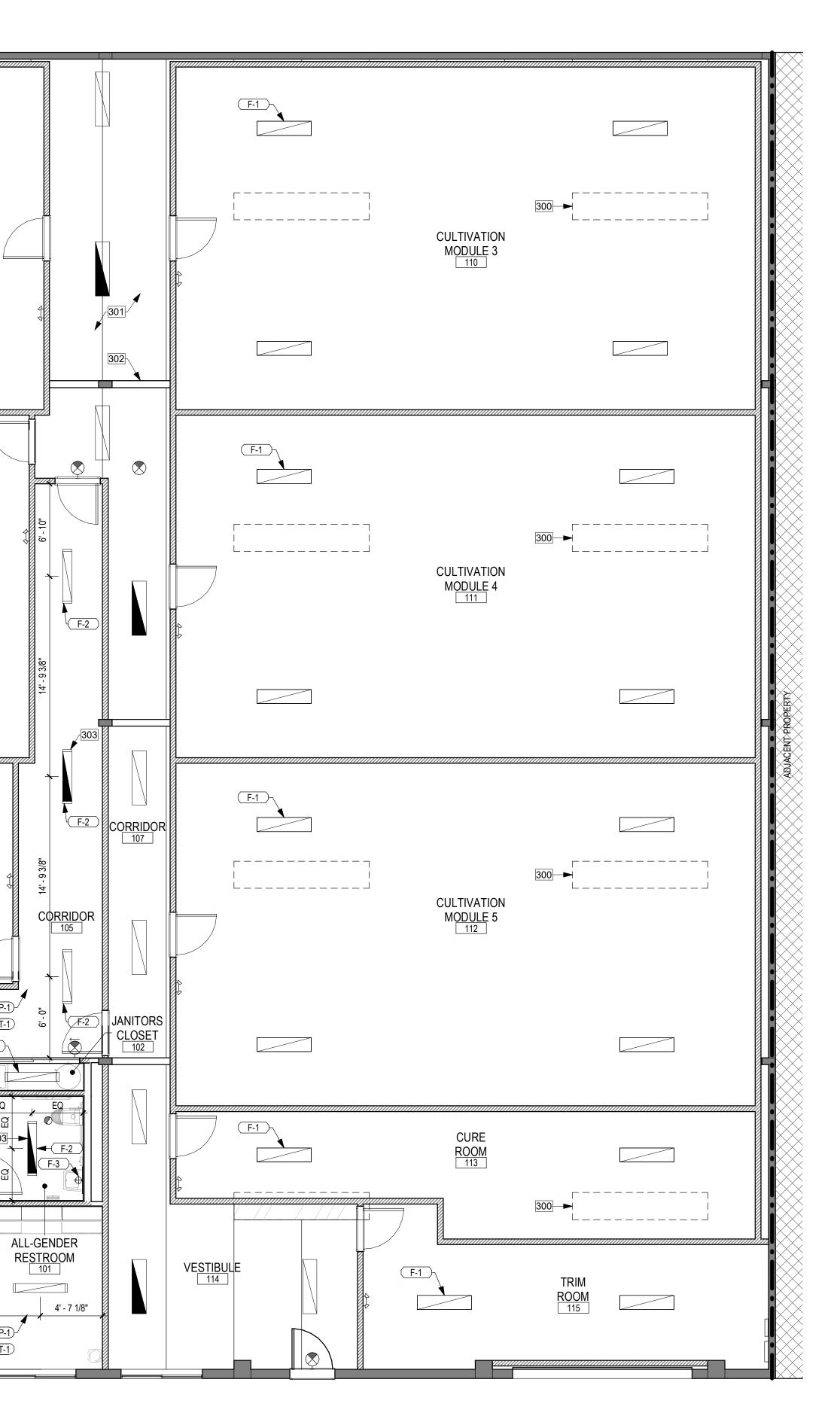
FLOOR PLAN SHEET N	IOTES	COPYRIGHT © 2020 MAVRIK STUDIO
STRUCTURING ALL WALLS AND OTHER WITH APPLICABLE TYPICAL DETAILS C	DNSIBLE FOR ADEQUATELY FRAMING, BRACING, AND R GYPSUM BOARD CONSTRUCTION IN ACCORDANCE ONTAINED IN THESE DRAWINGS. WHETHER OR NOT LANS, ALL PARTITIONS SHALL BE BRACED IN	
ACCORDANCE WITH SEISMIC CODE RI 2. COORDINATE AND INSTALL BACKING / MARKERBOARDS, EQUIPMENT, FURNI	AS REQUIRED FOR ALL NEW MILLWORK,	
3. ALL PARTITIONS ARE DIMENSIONED F	ROM FACE OF FINISH TO FACE OF FINISH, U.O.N. ACE OF EXISTING CONSTRUCTION OR NEW PARTITIONS	
	IISHED FACE. R" OR TO HOLD SHALL BE MAINTAINED AND "HESE DIMENSIONS SHALL BE REVIEWED WITH	1402 STURGEON STREET, STE B
ARCHITECT BEFORE BEGINNING CON		SAN FRANCISCO, CA 94130 415.534.8184
	TEND OF WORK IN THE FIELD. ICATED WHERE REQUIRED BY NEW CONSTRUCTION. S IN FIELD. SEE G2.00 FOR TYPICAL MOUNTING HEIGHTS.	WWW.MAVRIKSTUDIO.COM MAVRIKSTUDIO
8. PREPARE ALL GYP. BD. WALL SURFAC	ES TO RECEIVE PARTITIONS, AND WALL FINISHES. APPLICABLE CODES. SEE G2.01 FOR TYPES, LOCATIONS,	
AND TYPICAL MOUNTING HEIGHTS OF 10. SEE G0.00 FOR ABBREVIATIONS AND S 11. ELOOR TOLERANCE: EINISHED ELOOR		
FEET. GENERAL CONTRACTOR TO IM FROM ABOVE STATED TOLERANCE TO	IEDIATELY VERIFY SLOPE AND REPORT ANY DEVIATIONS MAVRIK STUDIO.	
	MENT OF DOOR HEADS AND OTHER CRITICAL INTAINED AT A CONSTANT LEVEL AND SHALL NOT	
13. NEW WALLS TO ALIGN WITH CENTER (14. AT LEAST ONE FIRE EXTINGUISHER W	DF (E) WINDOW MULLIONS U.O.N. ITH A MINIMUM RATING OF 2-A-10B:C SHALL BE	
	TRAVEL DISTANCE FOR EACH 3,0000 SQUARE FEET OR LOCATIONS INDICATED ON THE DRAWINGS SHALL BE	Z
15. REFER TO SHEET G2.01 FOR TYPICAL SWITCHES, THERMOSTATS, OUTLETS	MOUNTING HEIGHTS OF LIGHT STROBES, LIGHT FIRE EXTINGISHER CABINETS, ETC.	ATION
	/E LIGHT SWITCHES, TYP. SEE G2.00. NGED WITHIN A SINGLE COVER-PLATE TO MAXIMUM SWITCHES CANNOT BE GANGED WITHIN A SINGLE	A
COVER-PLATE, SWITCHES ARE TO BE 18. GC TO PROVIDE ALL APPLIANCES AND	ADJACENT TO EACH OTHER OR AS CLOSE AS POSSIBLE. 9 FIXTURES, U.O.N.	
SOFFITS, RAISED FLOOR GRIDS, HOU MAJOR ELEMENTS, OR AS DIRECTED BEFORE PROCEEDING WITH CONSTR	T" LOCATION OF ALL WALLS, DOORS, MULLIONS, SEKEEPING AND UTILITY EQUIPMENT PADS, AND OTHER BY ARCHITECT AT THE BEGINNING OF THE PROJECT JCTION. IF DISCREPANCIES EXIST BETWEEN FIELD	
	TIFY ARCHITECT. ERTICALLY THRU THE CEILING WHERE INDICATED ON RE ABOVE WHERE NO CEILING OCCURS. U.O.N.	Ū
21. HINGE SIDE OF DOORS TO BE LOCATE PERPENDICULAR PARTITIONS, U.O.N.	D PER DETAILS FROM THE FACE OF ADJACENT	
23. THE GENERAL CONTRACTOR SHALL C BACKING AND REINFORCING IN PARTI	ENSIONS AND INFORMATION WHEN DESIGNATED. OORDINATE AND PROVIDE APPROPRIATE STRUCTURAL TIONS BEHIND ALL WALL-MOUNTED, WALL ANCHORED LED WOOD USED FOR SUCH SUPPORT SHALL BE FIRE	ADNABI NUE A 94124
	N DATA SHOWN ON DRAWINGS AND DATA SHOWN ON THE ALL TAKE PRECEDENCE. DETAIL DRAWINGS TAKE	9412 ⁰
PRECEDENCE OVER DRAWING OF SM DISCOVER AN ERROR IN A DRAWING (ALLER SCALE. SHOULD THE CONTRACTOR AT ANY TIME OR SPECIFICATION OR A DISCREPANCY OR VARIATION	AVENUE O, CA 94
DIMENSIONS OR OTHER INFORMATION	S AND MEASUREMENTS AT THE SITE OR LACK OF N, THE GENERAL CONTRACTOR SHALL NOT PROCEED	
WITH THE WORK AFFECTED UNTIL CL 25. REFER TO DOOR SCHEDULE ON SHEE RELATED TO DOORS.	T A9.00 FOR MORE INFORMATION ON SCOPE OF WORK	
26. PROVIDE BACKING AS REQUIRED PER 27. THE CONSTRUCTION PLANS INDICATE	THE TYPE AND LOCATION OF NEW INTERIOR	LLACE WALLACE FRANCISC
CONDITION.	NETWORK, ETC. THE BUILDING SHELL AN EXISTING Y THE OWNER'S VENDORS BUT THE INSTALLATION OF	
	ATED BY THE GENERAL CONTRACTOR WITH EACH OF HIS	WAL 1550 W/ SAN FR.
THE GENERAL CONTRACTOR SHALL P POINTS DESIGNATED BY THE VENDOR	ROVIDE ELECTRICAL RACEWAY AND POWER TO ALL I'S FOR EACH OF THE OWNER'S FURNISHED SYSTEMS.	NO. REVISION DATE
BRACED IN ACCORDANCE WITH SEISM 30. COORDINATE LOCATION AND PROVID PARTITIONS FOR ALL CABINETS, COU	E BLOCKING, BACKINGS AND/OR REINFORCEMENT IN NTERTOPS AND ANY WALL-MOUNTED ITEMS. REFER TO	
SUPPORT 31. THE CONTRACTOR IS RESPONSIBLE F THE SITE. THE CONTRACTOR AND SU	S FOR LOCATION OF ITEMS WHICH MAY REQUIRE OR VERIFYING THE DIMENSIONS AND ELEVATIONS AT B-CONTRACTORS SHALL COORDINATE THE LAYOUT AND S, DOORS, ELECTRICAL/TELEPHONE OUTLETS,	
LIGHTSWITCHES AND THERMOSTATS PROCEEDING.	WITH THE ARCHITECT IN THE FIELD PRIOR TO	
UNEXPOSED TO VIEW, PARTICULARLY	DICATED OR OTHERWISE REQUIRED, INSTALL BRACING AT SUSPENDED OR DRYWALL CEILING AREAS. IF IN THE DESIGN, DO NOT BRACE INTO THE AREA WHERE	
NO CEILING IS TO BE INSTALLED, OR I BULKHEAD/SOFFIT WHERE BOTH SIDE	NTO THE "MORE OPEN"AND VISIBLE SIDE OF S SHALL BE WITHOUT A CEILING.	
	TION DETAILS REFER TO SHEET A9.20. ING MULLIONS OR COLUMNS INSTALL THE NEW EXISTING MULLION OR COLUMN AND ALIGN THE	
CENTERLINE OF THE NEW PARTITION 35. WHERE A GYPSUM BOARD PARTITION	WITH THE MULLION OR COLUMN U.O.N. MEETS FLUSH WITH THE FACE OF AN EXISTING	
PARTITION.	ETAL CORNER BEAD BEFORE INSTALLING THE NEW	
WHERE INDICATED. TAPE AND SAND PATCH AND REPAIR SURFACES TO MA	THE JOINTS TO SMOOTH WITHOUT ANY VISIBLE JOINTS. TCH ADJACENT OR ADJOINING SURFACES.	
ADJACENT SURFACES.	NS THROUGHOUT ENTIRE PROJECT AREA TO MATCH RED TO ALTER EXISTING WORK FOR INSTALLATION OF	
NEW WORK. PATCH DAMAGED AREAS 39. AT OPENINGS IN GYPSUM BOARD WA	TO MATCH ADJACENT SURFACES. LLS FOR DUCT WORK, RETURN AIR, WRAP HEAD, JAMBS	
AND SILL OF OPENING WITH GYPSUM 40. VERTICAL DIMENSIONS ARE FROM TO TO BE ABOVE FINISH FLOOR.	BOARD. U.O.N. P OF FLOOR SLAB, EXCEPT WHERE OTHERWISE NOTED	
 DIMENSION ARE NOT ADJUSTABLE WI +/- OR VIF. 		
ANY MECHANICAL, HVAC, TELEPHONE	ERIFY THAT NO CONFLICT EXIST IN THE LOCATION OF , ELECTRICAL, PLUMBING AND SPRINKLER EQUIPMENT CONDUIT, CABLES, ETC.) AND THAT ALL REQUIRED	
CLEARANCES FOR INSTALLATION ANE ELEMENTS TO BE EXPOSED TO VIEW	MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED. SHALL BE REVIEWED WITH THE ARCHITECT AND GENERAL CONTRACTOR AND PERTINENT SUB-	SENSED ARCHINES
CONTRACTORS PRIOR TO CONSTRUC 43. SEE SHEET G1.00 FOR SAN FRANCISC	TION OR FABRICATION PROCEEDING.	★ LEIGHTON LEE N0. C-19274
DISTRIBUTION TO BE COORDINATED		の REN. 09-30-21 ま アンド
	VARE WHERE INDICATED. IANICAL EQUIPMENT DURING CONSTRUCTION, LIMIT USE	OF CALL
AND EQUIPMENT INSTALLATION. IF PE	RUCTION TO CONDITIONING NECESSARY FOR MATERIAL RMANENT HVAC IS USED DURING CONSTRUCTION, S, AND REPLACE ALL FILTERS IMMEDIATELY PRIOR TO	DRAWINGS NOT FOR CONSTRUCTION UNTIL STAMPED JOB COPY BY BUILDING DEPARTMENT
OCCUPANCY, OR, IF THE BUILDING IS OF CONSTRUCTION. (CALGREEN 5.504	OCCUPIED DURING ALTERATION, AT THE CONCLUSION .1.3 AND 5.504.3)	ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT
	COMPLY WITH VOE LIMITS IN SCAQMD RULE 1168 VOE GULATIONS TITLE 17 FOR AEROSOL ADHESIVES.	_
49. 100% OF MIXED C&D DEBRIS USE REG TRANSPORTERS AND REGISTERED PF	ISTERED TRANSPORTERS AND REGISTERED ROCESSING FACILITIES WITH A MINIMUM OF 65% RODE CH. 14, SF BUILDING CODE CH. 13B)	
FLOOR PLAN LEGEND		
EXISTING WALL	1.5" LEVEL CHANGE	PROPOSED FLOOR PLAN
	SEE A9.20 FOR WALL TYPE DETAILS	
WEW WALL	P METAL STUD WALL E METAL STUD FURRING WALL	A2.00
NEW LOW WALL	F PREFAB WALL SYSTEM PER MNFR SHOP DWGS	PROJECT NO. 20015
		///////////////////////////////

20015



1550 WALLACE AVENUE SAN FRANCISCO, CA 94124

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REFLECTED CEILING PLAN SHEET NOTES	COPYRIGHT © 2020 MAVRIK STUDIO
1. MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR	
 PROPER INSTALLATION AND PLACEMENT. 2. REFER TO THE REFLECTED CEILING PLAN SHEETS FOR THE FOLLOWING: A. GENERAL TYPE AND SPECIFIC LOCATION OF LIGHT FIXTURES. 	
 B. CEILING TYPES AND HEIGHT. 3. REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR THE FOLLOWING: A. CIRCUITING AND WIRING OF LIGHT FIXTURES AND SWITCHES. 	
B. LIFE/SAFETY EQUIPMENT AND/OR FIXTURES.C. LOCATION OF EMERGENCY LIGHTING.	
 D. LOCATION OF EXIT SIGNS. E. LIGHT FIXTURE TYPES AND SPECIFICATIONS. F. SWITCH LOCATIONS AND TYPE. 	1402 STURGEON STREET, STE B SAN FRANCISCO, CA 94130
 REFER TO MECHANICAL ENGINEERING DRAWINGS FOR THE FOLLOWING: A. DUCTS, CFM, SIZE OF GRILLES AND REGISTERS. 	415.534.8184 WWW.MAVRIKSTUDIO.COM MAVRIKSTUDIO
 B. THERMOSTAT LOCATIONS. C. EXHAUST FANS, AIR SUPPLY, ROOF TOP MECHANICAL EQUIPMENT, OTHER MECHANICAL EQUIPMENT. 	
 REFER TO THE FIRE PROTECTION (DESIGN-BUILD) DRAWINGS FOR THE FOLLOWING: A. LAYOUT, LOCATION AND SIZE OF SPRINKLER LINES AND HEADS. B. PRESSURE REQUIREMENTS. 	
C. SPRINKLER HEAD SPECIFICATIONS.6. RCP ELEVATIONS ARE MEASURED FROM FINISH FLOOR, U.O.N.	
 CONTRACTOR TO COORDINATE THE WORK OF ALL TRADES INVOLVED TO ENSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING ETC. NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHT INDICATED. CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO PROCEEDING. 	
 COORDINATE LOCATION OF ANY AND ALL MECHANICAL, ELECTRICAL, TELEPHONE, LIGHTING, PLUMBING & SPRINKLER EQUIPMENT, INCLUDING ALL PIPING, DUCTWORK AND CONDUITS. LIGHT SWITCH COVER PLATES, AS WELL AS, OTHER DEVICES SHALL BE WHITE U.O.N. 	
 SWITCHES TO CONTROL LIGHTS IN ROOMS WHERE LOCATED U.O.N. WHERE MORE THAN ONE SWITCH IS REQUIRED, GANG SWITCHES WITH ONE COVERPLATE. 	Z
 ALL DIMENSIONS TO CL OF FIXTURE, U.O.N. SPRINKLER HEADS, LIGHT FIXTURES AND OTHER CEILING ELEMENTS SHALL BE LOCATED IN CENTER OF INDIVIDUAL TILE, 1/2 TILE OR CEILING TILE GRID (WHEN ITEM IS LARGER THAN A SINGLE TILE) 	NOIL
 U.O.N. CEILING FIXTURE AND ELEMENT LOCATIONS THAT CONFLICT WITH CEILING GRID LOCATIONS SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION. 14. CENTER ALL FIXTURES IN SPACE OR ABOVE DOORS AND WINDOWS AS APPLICABLE, U.O.N. 	AT
15. PROVIDE CEILING ACCESS PANELS AT GYPSUM BOARD CEILINGS AS INDICATED AND/OR REQUIRED FOR EQUIPMENT MAINTENANCE OR CODE COMPLIANCE. ACCESS LOCATIONS OTHER THAN SHOWN	
ON THE DRAWINGS SHALL BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION. 16. PROVIDE BLOCKING AND/OR BACKING AND REINFORCEMENT ABOVE CEILING FOR SUPPORT OF LIGHT FIXTURES, PROJECTION SCREENS AND ANY OTHER CEILING MOUNTED ITEM.	
17. WHERE START OF CEILING TILE GRID IS NOT OTHERWISE INDICATED, GRID SHALL BE LOCATED SO THAT A FULL TILE IS CENTERED IN BOTH DIRECTIONS WITHIN THE ROOM OR SPACE.	CUI
 ALL CEILING GRIDS AND SUSPENSION SYSTEMS SHALL INCLUDE ANY AND ALL SEISMIC BRACING, COMPRESSION STRUTS AND SAFETY REINFORCEMENT CONSISTENT WITH LOCAL, STATE AND FEDERAL STANDARDS. 	
 ALL SPRINKLER HEADS TO BE RECESSED MOUNTED AT ALL GYPSUM BOARD CEILINGS AND SOFFITS U.O.N. USE CONCEALED TYPE HEADS. ANY AND ALL FIRE PROTECTION SYSTEMS INCLUDING SPRINKLERS AND SMOKE DETECTORS SHALL 	B
BE PROVIDED TO MEET REQUIRED COVERAGE, INCLUDING CONDITIONS WHICH SUGGEST OR DEFINE MULTIPLE PLENUM LEVELS. THIS WOULD INCLUDE CEILINGS OR SUB-CEILING AREAS OR OTHER CAVITIES.	ANNABIS NUE A 94124
21. 22. CONTRACTOR SHALL PROVIDE FOR ALL CEILING GRID REVISIONS CAUSED BY RELOCATING	AVENUE O, CA 941
FIXTURES OWING TO LIGHT FIXTURE CONFLICTS. 23. FINISHED CEILING SHALL BE LEVEL WITHIN 1/8 INCH IN 12 FEET. 24. REFER TO SHEET A9.21 FOR STANDARD CEILING DETAILS.	, CP
 25. REFER TO SHEET G2.01 FOR DEVICE PLATE MOUNTING STANDARDS. 26. REFER TO A9.21 FOR SEISMIC BRACING DETAIL. 27. REFER TO MEP DRAWINGS FOR MORE INFORMATION REGARDING WORK TO BE DONE AT CEILINGS. 	
 PROVIDE LINEAR SUPPLY DIFFUSERS AT OFFICES & CONFERENCE ROOMS, TYP. PATCH AND REPAIR CEILING AS REQUIRED DUE TO DEMOLITION. 	
 (E) LIFE SAFETY DEVICES TO BE RELOCATED WHERE REQUIRED BY NEW CONSTRUCTION. CONTRACTOR TO VERIFY CONDITIONS IN FIELD. SEE G2.00 FOR TYPICAL MOUNTING HEIGHTS. CONTRATOR SHALL CONFIRM THAT ALL EXIT SIGNS ARE FUNCTIONING AND INSTALLED PER THE DIRECTION OF THE FIRE MARSHAL. LIGHTED EXIT SIGNS SHALL BE INSTALLED PER THE DIRECTION 	WALLAC 1550 WALLAC SAN FRANCIS
OF THE FIRE MARSHAL. 32. CONTRACTOR SHALL CONFIRM THAT LIGHTING ALONG PATHS OF EGRESS ARE ON BATTERY BACK UP OR EMERGENCY POWER AND THAT A MINIMUM OF 1 fc IS MAINTAINED ALONG THE PATH OF EGRESS. CONTRACTOR SHALL INSTALL ADDITIONAL LIGHTING OR CIRCUITING AS REQUIRED PER THE DIRECTION OF THE FIRE MARSHAL	VA 1550 SAN I
THE DIRECTION OF THE FIRE MARSHAL. 33. CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL CEILING ELEMENTS AGAINST ACTUAL FIELD CONDITIONS AND NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO PROCEEDING.	NO. REVISION DATE
 ALL LIGHT FIXTURES SHALL BE UL LABELED. ELECTRICAL TRADES SHALL PROVIDE COMPLETE SUBMITTALS (SHOP DRAWINGS) ON ALL LIGHT FIXTURES, LAMPS, CONTROLS, AND ACCESSORIES, ETC. REFER TO SPECIFICATION FOR SUBMITTAL 	
FORMAT AND PROCESS. 36. THE OPERATING VOLTAGE OF ALL FIXTURES SHALL BE COORDINATED IN THE FIELD BY THE	
ELECTRICAL CONTRACTOR. FIXTURE VOLTAGE SHALL MATCH THE OPPERATING VOLTAGE OF THE LOCAL PANEL SERVING THE NEW FIXTURES.	
REFLECTED CEILING PLAN LEGEND	
HVAC SUPPLY, S.M.D.	
HVAC RETURN, S.M.D.	
RESTROOM EXHAUST FAN	
WALL MOUNTED EXIT SIGN, EDGE LIT LED, GREEN LETTERING	
PENDANT MOUNTED EXIT SIGN, EDGE LIT LED, GREEN LETTERING	
F-1 PENDANT MOUNTED LINEAR LED LIGHT FIXTURE	
 	
← Show F-4 BUG EYE EMERGENCY LIGHTING	
REFLECTED CEILING PLAN KEYNOTES	
300 (E) 2'-0" X 10'-0" SKYLIGHT TO REMAIN UNCHANGED 301 (E) EXPOSED CEILING TO REMAIN UNCHANGED	NSED ARCHIN
302 (E) BUTLER STEEL FRAME TO REMAIN UNCHANGED 303 PROVIDE 90 MINUTE BATTERY BACKUP	LEIGHTON LEE
	★ N0. C-19274 ペン REN. 09-30-21 ズ
	PIC OF CALLON AND
	DRAWINGS NOT FOR CONSTRUCTION UNTIL STAMPED JOB COPY BY BUILDING
	DEPARTMENT ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL
	AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT
	UTILITY AND REFLECTED
	CEILING PLAN
	A3.00
	PROJECT NO. 20015