



# DISCRETIONARY REVIEW ANALYSIS

**HEARING DATE:** March 25, 2021

**Record No.:** 2020-010532DRP  
**Project Address:** 1801 Mission Street  
**Permit Applications:** 202010307806  
**Zoning:** UMU (Urban Mixed-Use) Zoning District  
68-X Height and Bulk District  
**Block/Lot:** 3548 / 039  
**Project Sponsor:** Stephen Antonaros  
2261 Market Street #324  
San Francisco, CA 94114  
**Staff Contact:** Richard Sucre – (628) 652-7364  
[richard.sucre@sfgov.org](mailto:richard.sucre@sfgov.org)

**Recommendation:** Do Not Take DR and Approve

## Project Description

The Project includes establishment of a limited restaurant use (coffee shop; dba. Creamery Coffee Shop) on the ground floor of a vacant commercial space measuring approximately 1,763 square feet within a newly-constructed seven-story residential building.

## Site Description and Present Use

The project site is a corner lot at the southeast intersection of 14<sup>th</sup> Street and Mission Street, which measures 45-ft by 80-ft (or 3,600 square feet (sq ft)). In September 2020, a newly-constructed seven-story with 17 dwelling units and a ground floor commercial space was completed. There are no historic resources on the project site.

## Surrounding Properties and Neighborhood

The surrounding properties and adjacent neighborhood is mixed in character. The project site is directly across from the Armory, which is a City Landmark. Adjacent to the subject property on Mission Street is a three-story residential apartment building, which was recently renovated. Adjacent to the subject property on 14<sup>th</sup> Street is a four-story apartment building.

## Building Permit Notification

Type	Required Period	Notification Dates	DR File Date	DR Hearing Date	Filing to Hearing Date
311 Notice	30 days	December 15, 2020 – January 14, 2021	January 14, 2021	March 25, 2021	71 days

## Hearing Notification

Type	Required Period	Required Notice Date	Actual Notice Date	Actual Period
Posted Notice	20 days	March 5, 2021	March 5, 2021	20 days
Mailed Notice	20 days	March 5, 2021	March 5, 2021	20 days
Online Notice	20 days	March 5, 2021	March 5, 2021	20 days

## Public Comment

	Support	Opposed	No Position
Adjacent neighbor(s)	0	0	0
Other neighbors on the block or directly across the street	0	0	0
Neighborhood groups	0	0	0

## Environmental Review

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15303 (Class 3 – New Construction. Up to three new single-family residences or six dwelling units in one building.

## DR Requestors

### DR Requestor:

Ben Terrall, on behalf of the Cultural Action Network, a neighborhood organization

## DR Requestor’s Concerns and Proposed Alternatives

### **DR Requestor:**

Is concerned that the Project:

1. Provides competition to existing “mom and pop” restaurants and cafes in the local vicinity.
2. Contributes to gentrification, which leads to high rents combined with economic pressures due to COVID.
3. Is antithetical to the goals of the Mission Area Plan.

### ***Proposed Alternatives:***

1. The Project Sponsor should meet with community-serving organizations and work together to find a use for the space that would meet the needs of the surrounding working class population.

See Attached - *Discretionary Review Application*, dated January 14, 2021.

## Project Sponsor’s Response to DR Application

The Department has not received a response to the DR Application from the Project Sponsor.

## Department Review

Planning Code Section 843 principally permits new limited restaurants (retail use) on the ground floor in the UMU Zoning District. The proposed coffee shop falls within the Planning Code definition of a limited restaurant, which is defined as:

*A Retail Sales and Service Use that serves ready-to-eat foods and/or drinks to customers for consumption on or off the premises, that may or may not have seating. It may include wholesaling, manufacturing, or processing of foods, goods, or commodities on the premises as an Accessory Use as set forth in Sections [204.3](#) or [703\(d\)](#), [803.2\(d\)](#), [803.3\(b\)\(1\)\(C\)](#) and [825\(c\)\(1\)\(C\)](#) depending on the zoning district in which it is located. It includes, but is not limited to, foods provided by sandwich shops, coffee houses, pizzerias, ice cream shops, bakeries, delicatessens, and confectioneries meeting the above characteristics, but is distinct from a Specialty Grocery, Restaurant, and Bar. Within the North Beach SUD, it is also distinct from Specialty Food Manufacturing, as defined in Section [780.3\(b\)](#). It shall not provide on-site beer and/or wine sales for consumption on the premises, but may sell beer and/or wine for consumption off the premises with a California Alcoholic Beverage Control Board License type 20 (off-sale beer and wine), if all areas devoted to the display and sale of alcoholic beverages occupy less than 15% of the Occupied Floor Area of the establishment. Such businesses shall operate with the specified conditions in Section [202.2\(a\)\(1\)](#).*

The current zoning controls do not prohibit new limited restaurant uses on the project site.

**Recommendation:** Do Not Take DR and Approve

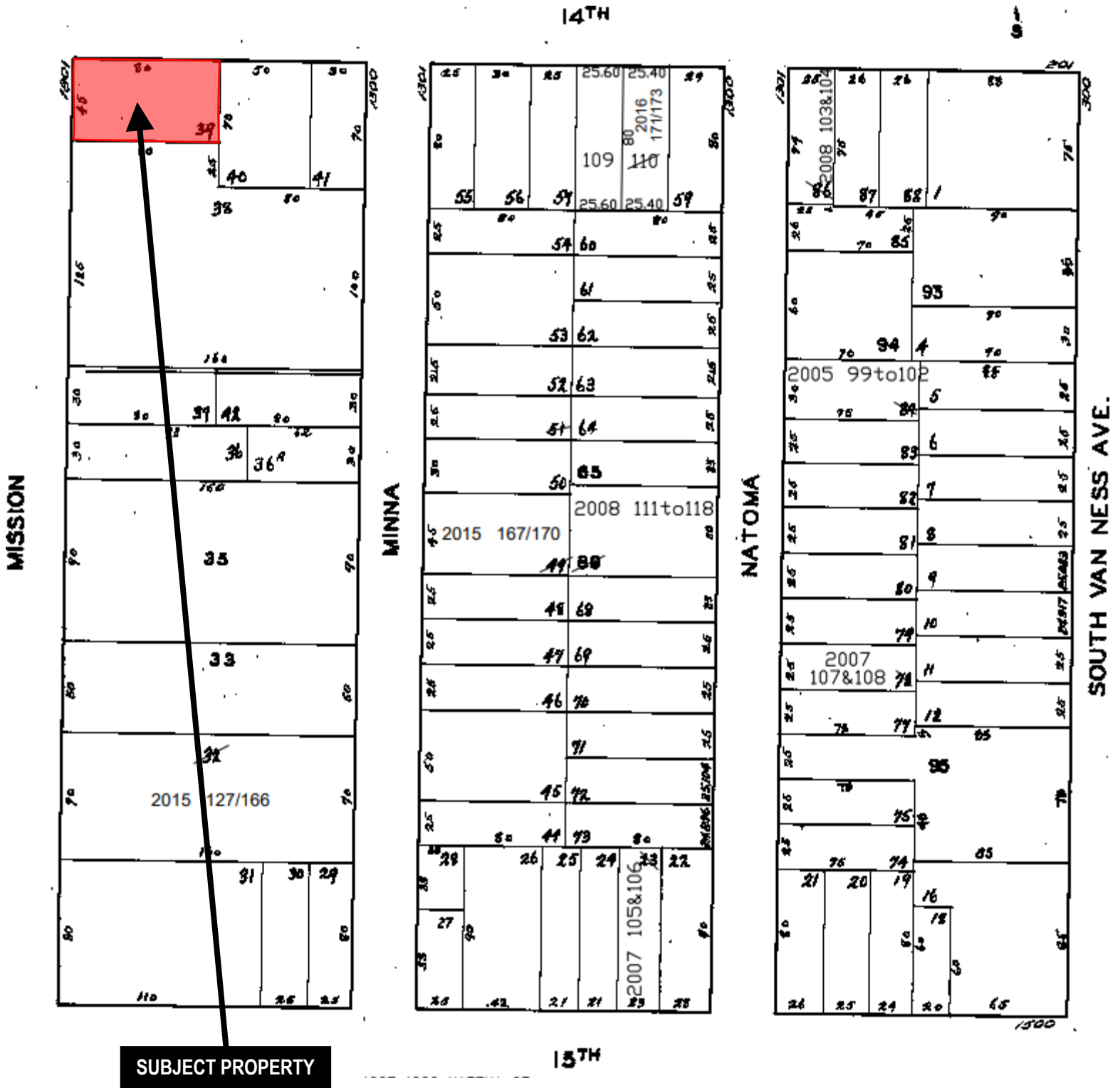
## **Attachments:**

Block Book Map  
Sanborn Map  
Zoning Map  
Aerial Photographs  
Context Photographs  
Section 311 Notice  
CEQA Determination  
DR Applications  
Project Application  
Reduced Plans – 311 Only  
Reduced Plans – New Construction

# Exhibits

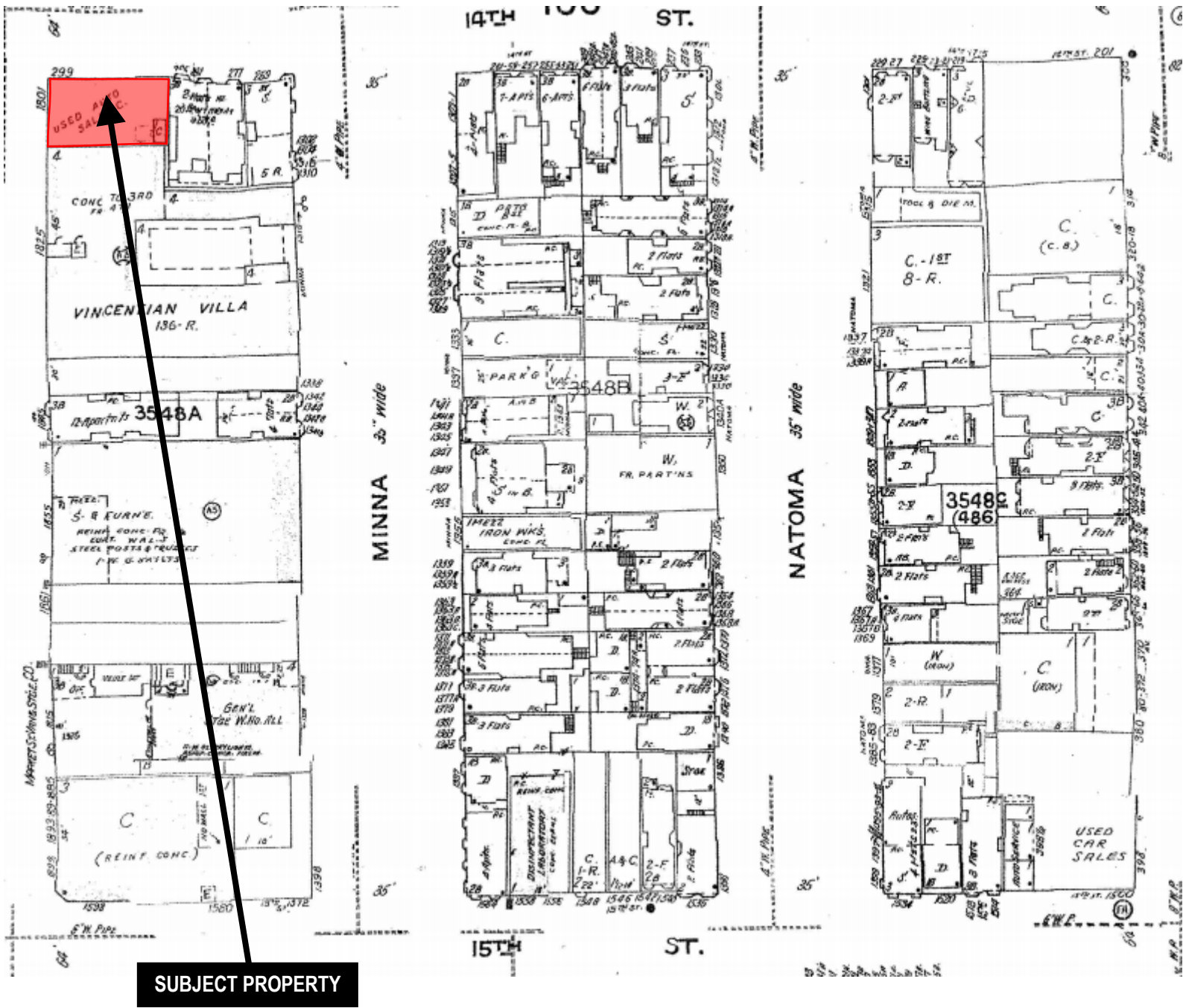
Discretionary Review Hearing  
Case Number 2020-010532DRP  
1801 Mission Street

# Parcel Map



Discretionary Review Hearing  
 Case Number 2020-010532DRP  
 1801 Mission Street

# Sanborn Map\*



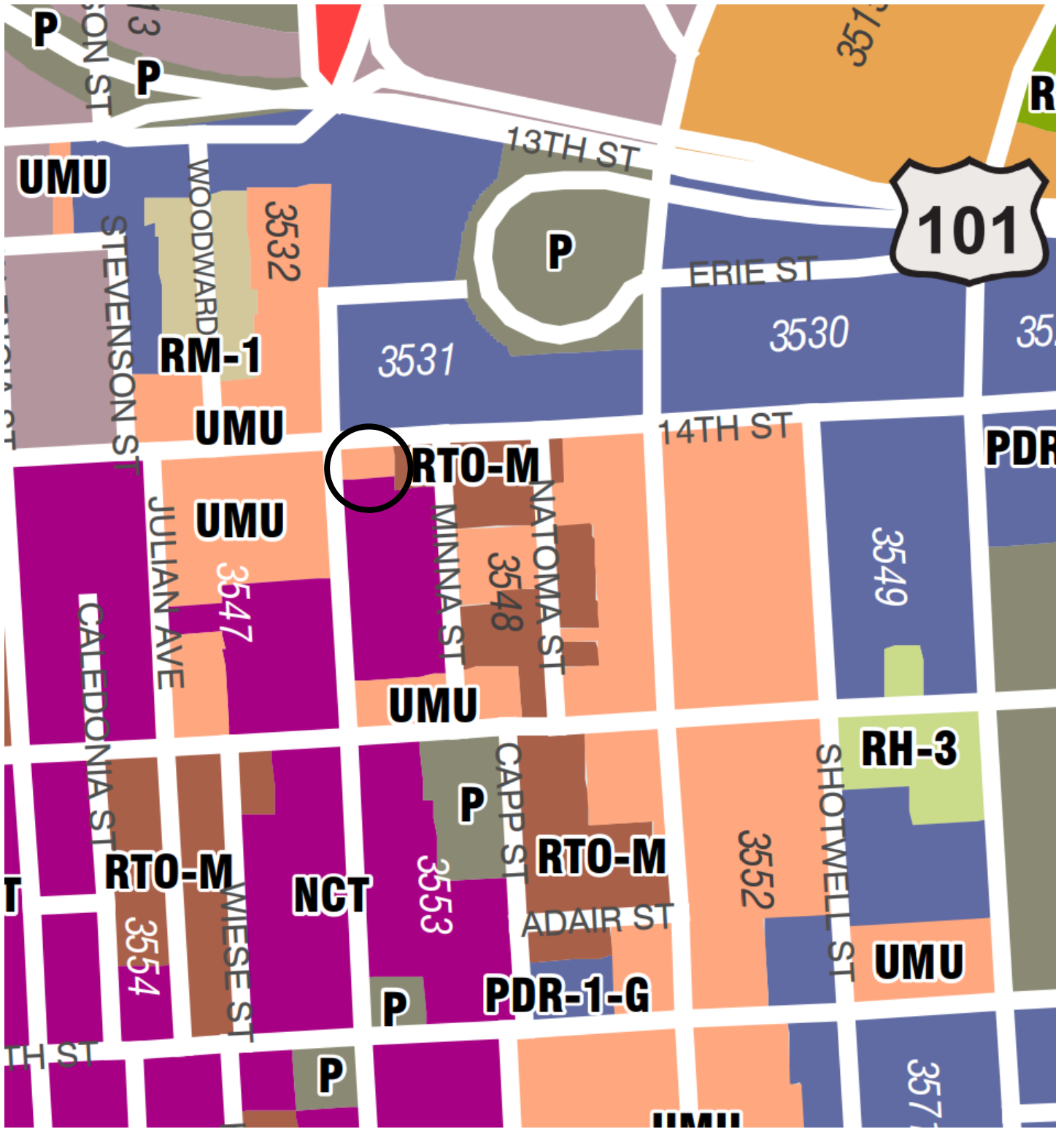
**SUBJECT PROPERTY**

\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing  
 Case Number 2020-010532DRP  
 1801 Mission Street

# Zoning Map



Discretionary Review Hearing  
Case Number 2020-010532DRP  
1801 Mission Street



# Aerial Photo

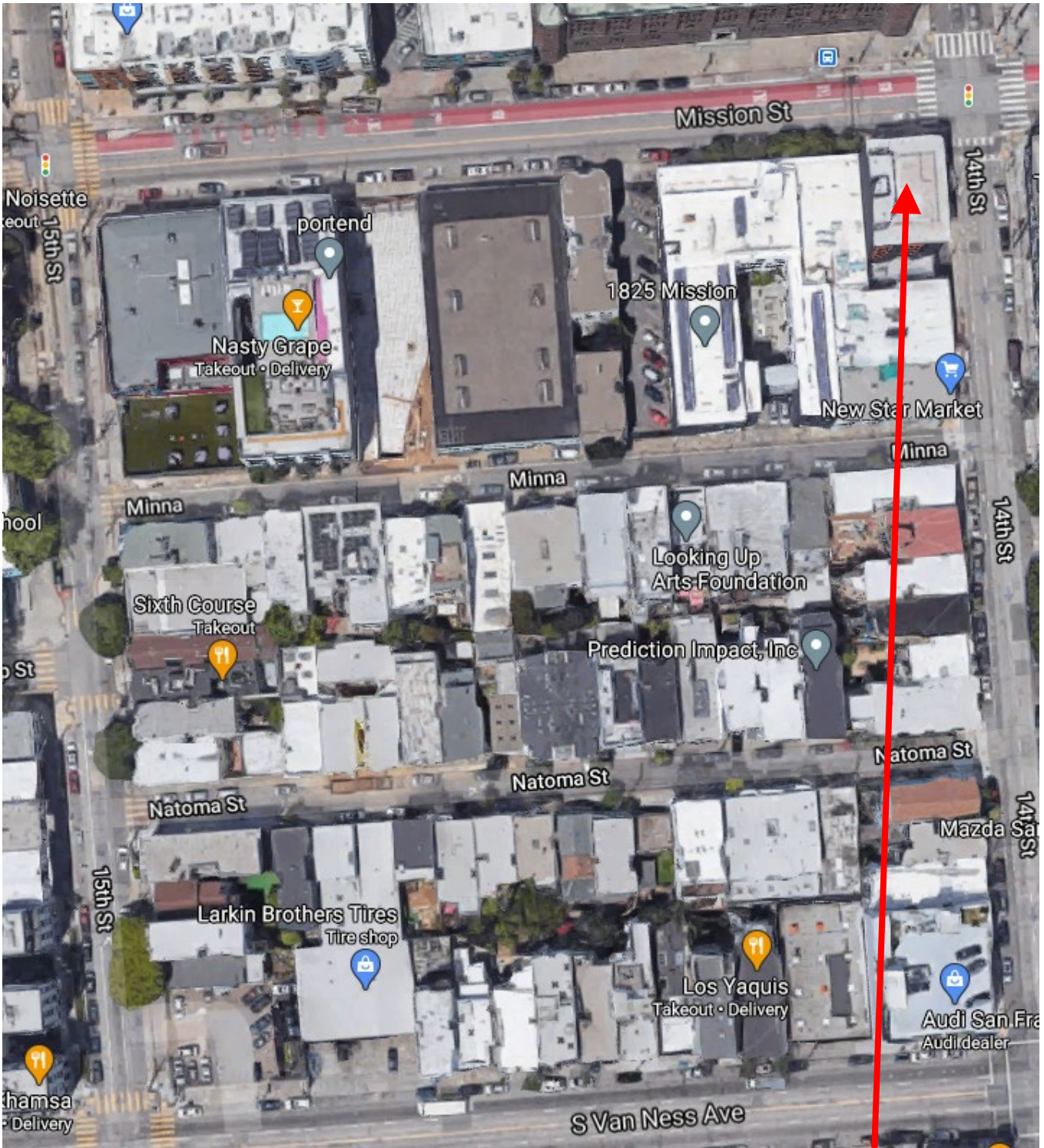


**SUBJECT PROPERTY**



Discretionary Review Hearing  
Case Number 2020-010532DRP  
1801 Mission Street

# Aerial Photo

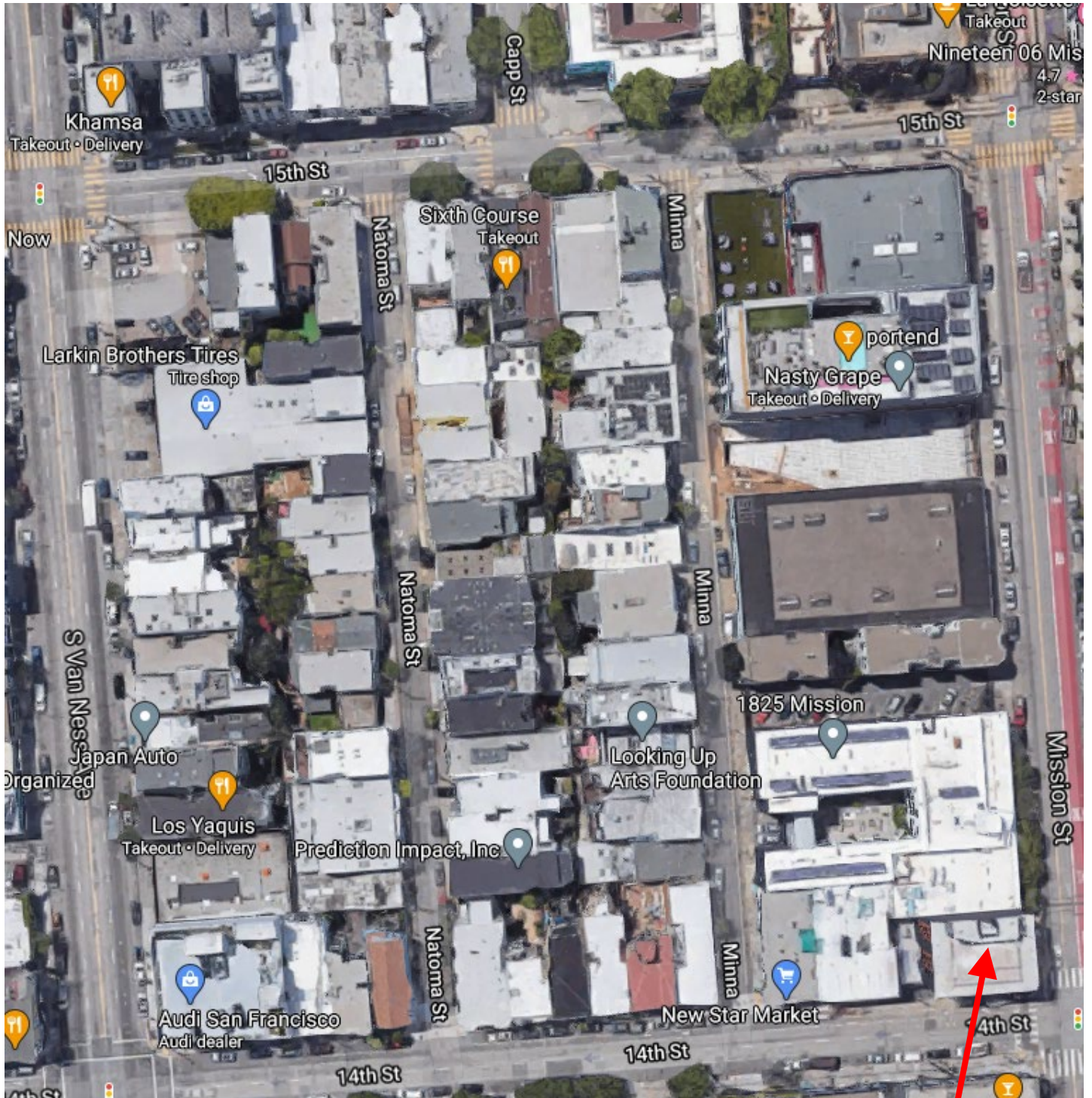


**SUBJECT PROPERTY**



Discretionary Review Hearing  
Case Number 2020-010532DRP  
1801 Mission Street

# Aerial Photo

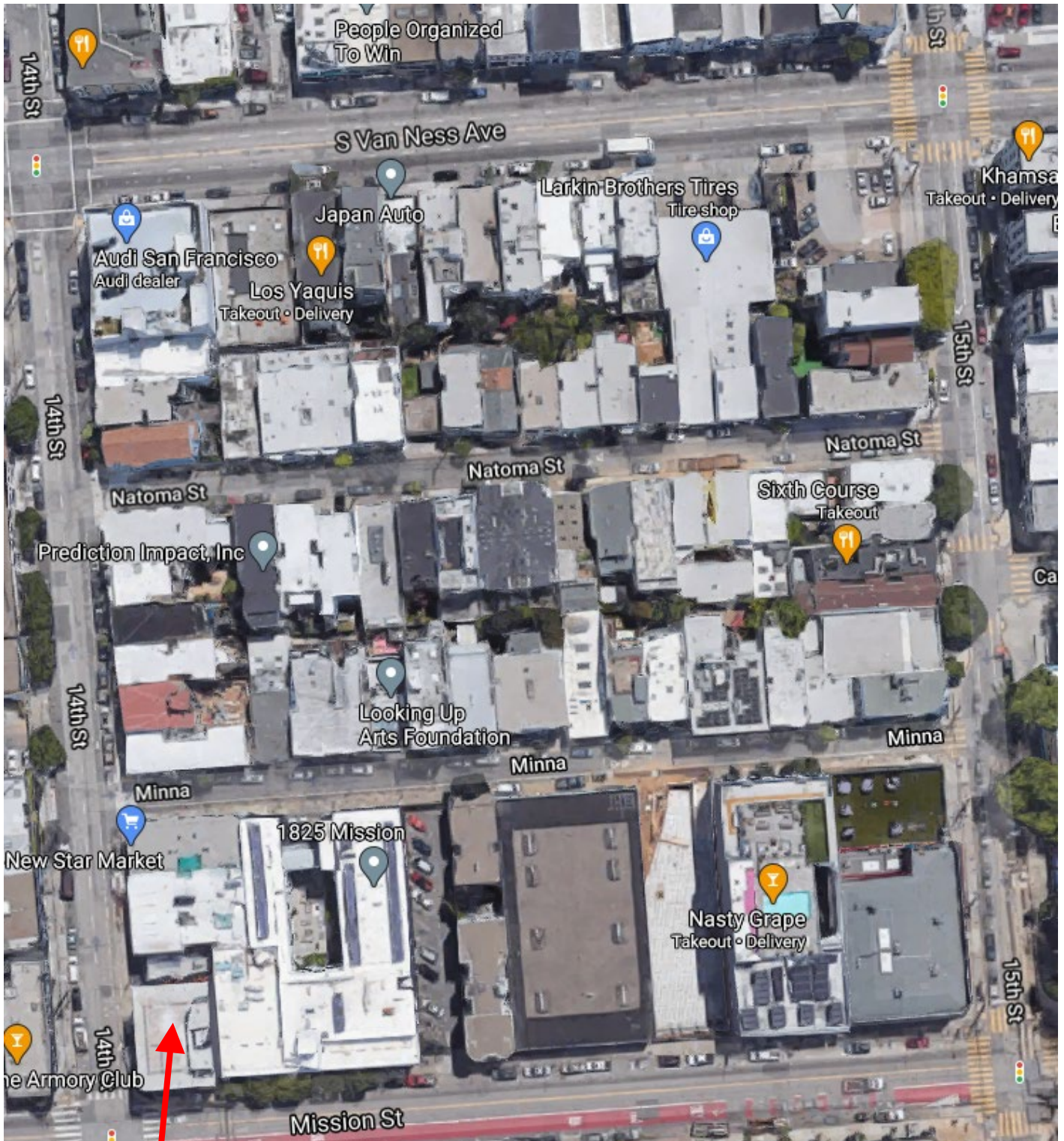


**SUBJECT PROPERTY**



Discretionary Review Hearing  
Case Number 2020-010532DRP  
1801 Mission Street

# Aerial Photo



**SUBJECT PROPERTY**



Discretionary Review Hearing  
Case Number 2020-010532DRP  
1801 Mission Street

# Site Photo



**SUBJECT PROPERTY**

Discretionary Review Hearing  
Case Number 2020-010532DRP  
1801 Mission Street



## NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **October 30, 2020**, Building Permit Application No. 2020.10.30.7806 was filed for work at the Project Address below.

**Notice Date: 12/15/20    Expiration Date: 1/14/21**

### PROJECT INFORMATION

Project Address: **1801 MISSION ST**  
Cross Streets: **14<sup>th</sup> Street**  
Block / Lot No.: 3548 / 039  
Zoning District(s): UMU / 68-X  
Record No.: **2020-010532PRJ**

### APPLICANT INFORMATION

Applicant: Stephen A. Antonaros  
Address: 2261 Market Street #324  
City, State: San Francisco, CA 94114  
Telephone: **415-864-2261**  
Email: [santonaros@sbcglobal.net](mailto:santonaros@sbcglobal.net)

You are receiving this notice as an owner or occupant of property within 150 feet of the proposed project. **You are not required to take any action.** For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request that the Planning Commission review this application at a public hearing for Discretionary Review. Requests for a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown above, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE	PROJECT FEATURES	Existing	Proposed
<input type="checkbox"/> Demolition	Building Use:	Vacant	Limited Restaurant
<input checked="" type="checkbox"/> Change of Use	Front Setback:	None	No Change
<input type="checkbox"/> Rear Addition	Side Setbacks:	None	No Change
<input type="checkbox"/> New Construction	Building Depth:	80 feet	No Change
<input type="checkbox"/> Façade Alteration(s)	Rear Yard:	None	No Change
<input type="checkbox"/> Side Addition	Building Height:	34 feet	No Change
<input type="checkbox"/> Alteration	Number of Stories:	7	No Change
<input type="checkbox"/> Front Addition	Number of Dwelling Units	17	No Change
<input type="checkbox"/> Vertical Addition	Number of Parking Spaces	13	No Change

### PROJECT DESCRIPTION

The project includes establishment of a limited restaurant use (coffee shop) on the ground floor of a vacant commercial space measuring approximately 1,763 square feet within a newly-constructed seven-story residential building.

The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.

To view plans or related documents, visit [sfplanning.org/notices](http://sfplanning.org/notices) and search the Project Address listed above.

**For more information, please contact Planning Department staff:**

Planner: **Richard Sucre**    Telephone: **628-652-7364**    Email: [Richard.Sucre@sfgov.org](mailto:Richard.Sucre@sfgov.org)

## General Information About Procedures During COVID-19 Shelter-In-Place Order

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice. If you have general questions about the Planning Department's review process, contact the Planning counter at the Permit Center via email at [pic@sfgov.org](mailto:pic@sfgov.org).

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Contact the project Applicant to get more information and to discuss the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at [www.communityboards.org](http://www.communityboards.org) for a facilitated. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects that conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review ("DR"). If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a DR Application prior to the Expiration Date shown on the front of this notice.**

To file a DR Application, you must:

1. Create an account or be an existing registered user through our Public Portal (<https://aca-ccsf.accela.com/ccsf/Default.aspx>).
2. Complete the Discretionary Review PDF application (<https://sfplanning.org/resource/dr-application>) and email the completed PDF application to

[CPC.Intake@sfgov.org](mailto:CPC.Intake@sfgov.org). You will receive follow-up instructions via email on how to post payment for the DR Application through our Public Portal.

To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at [www.sfplanning.org](http://www.sfplanning.org). If the project includes multiple building permits, i.e. demolition and new construction, a separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

### Board of Appeals

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. The Board of Appeals is accepting appeals via e-mail. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (628) 652-1150.

### Environmental Review

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map at [www.sfplanning.org](http://www.sfplanning.org). An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Board of Supervisors at [bos.legislation@sfgov.org](mailto:bos.legislation@sfgov.org), or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



## CEQA Categorical Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

<b>Project Address</b>		<b>Block/Lot(s)</b>
1801 MISSION ST		3548039
<b>Case No.</b>		<b>Permit No.</b>
2020-010532PRJ		202010307806
<input checked="" type="checkbox"/> <b>Addition/ Alteration</b>	<input type="checkbox"/> <b>Demolition (requires HRE for Category B Building)</b>	<input type="checkbox"/> <b>New Construction</b>
<p><b>Project description for Planning Department approval.</b>            The project includes establishment of a limited restaurant use (coffee shop) on the ground floor of a vacant commercial space measuring approximately 1,763 square feet within a newly-constructed seven-story residential building.</p>		

### STEP 1: EXEMPTION CLASS

<b>The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).</b>	
<input checked="" type="checkbox"/>	<b>Class 1 - Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	<b>Class 3 - New Construction.</b> Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p><b>Class 32 - In-Fill Development.</b> New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p><b>FOR ENVIRONMENTAL PLANNING USE ONLY</b></p>
<input type="checkbox"/>	<b>Class ____</b>



## STEP 2: CEQA IMPACTS

### TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<p><b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Air Pollution Exposure Zone)</p>
<input type="checkbox"/>	<p><b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?</p> <p><b>Note that a categorical exemption shall not be issued for a project located on the Cortese List if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap &gt; Maher layer).</b></p>
<input type="checkbox"/>	<p><b>Transportation:</b> Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input type="checkbox"/>	<p><b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Archeological Sensitive Area)</p>
<input type="checkbox"/>	<p><b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Topography). If yes, Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p><b>Slope = or &gt; 25%:</b> Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Topography) <b>If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</b></p>
<input type="checkbox"/>	<p><b>Seismic: Landslide Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Seismic Hazard Zones) <b>If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</b></p>
<input type="checkbox"/>	<p><b>Seismic: Liquefaction Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Seismic Hazard Zones) <b>If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.</b></p>
<p><b>Comments and Planner Signature (optional):</b> Richard Sucre</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE**  
**TO BE COMPLETED BY PROJECT PLANNER**

<b>PROPERTY IS ONE OF THE FOLLOWING:</b> (refer to <i>Property Information Map</i> )	
<input type="checkbox"/>	<b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	<b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>
<input checked="" type="checkbox"/>	<b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b>

**STEP 4: PROPOSED WORK CHECKLIST**  
**TO BE COMPLETED BY PROJECT PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. <b>Change of use and new construction.</b> Tenant improvements not included.
<input type="checkbox"/>	2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW**  
**TO BE COMPLETED BY PROJECT PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. <b>Interior alterations to publicly accessible spaces.</b>
<input type="checkbox"/>	3. <b>Window replacement</b> of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. <b>Addition(s)</b> , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .

<input type="checkbox"/>	8. <b>Other work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. <b>Other work</b> that would not materially impair a historic district (specify or add comments):  (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. <b>Reclassification of property status.</b> (Requires approval by Senior Preservation Planner/Preservation <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category A  a. Per HRER or PTR dated  b. Other (specify): </div> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category C  (attach HRER or PTR) </div> </div>
<b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.</b>	
<input type="checkbox"/>	<b>Project can proceed with categorical exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. <b>GO TO STEP 6.</b>
Comments (optional):	
Preservation Planner Signature:	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION  
TO BE COMPLETED BY PROJECT PLANNER**

<input checked="" type="checkbox"/>	<b>No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.</b>	
	<b>Project Approval Action:</b> Building Permit	<b>Signature:</b> Richard Sucre
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	11/18/2020
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	

## STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

### TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

### MODIFIED PROJECT DESCRIPTION

Modified Project Description:

### DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

- |                          |  |
|--------------------------|--|
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code;   |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312;  |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)?   |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |

**If at least one of the above boxes is checked, further environmental review is required.**

### DETERMINATION OF NO SUBSTANTIAL MODIFICATION

- |                          |   |
|--------------------------|---|
| <input type="checkbox"/> | The proposed modification would not result in any of the above changes. |
|--------------------------|---|

If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.

**Planner Name:**

**Date:**



## DISCRETIONARY REVIEW PUBLIC (DRP)

### APPLICATION PACKET

Pursuant to Planning Code Section 311, the Planning Commission may exercise its power of Discretionary Review over a building permit application.

For questions, you can call the Planning counter at 628.652.7300 or email [pic@sfgov.org](mailto:pic@sfgov.org) where planners are able to assist you.

Please read the [Discretionary Review Informational Packet](#) carefully before the application form is completed.

#### WHAT TO SUBMIT:

- Two (2) complete applications signed.
- A Letter of Authorization from the DR requestor giving you permission to communicate with the Planning Department on their behalf, if applicable.
- Photographs or plans that illustrate your concerns.
- Related covenants or deed restrictions (if any).
- A digital copy (CD or USB drive) of the above materials (optional).
- Payment via check, money order or debit/credit for the total fee amount for this application. (See [Fee Schedule](#)).

#### HOW TO SUBMIT:

To file your Discretionary Review Public application, please email the completed application to [cpc.intake@sfgov.org](mailto:cpc.intake@sfgov.org).

**Español:** Si desea ayuda sobre cómo llenar esta solicitud en español, por favor llame al 628.652.7550. Tenga en cuenta que el Departamento de Planificación requerirá al menos un día hábil para responder.

中文：如果您希望獲得使用中文填寫這份申請表的幫助，請致電628.652.7550。請注意，規劃部門需要至少一個工作日來回應。

**Filipino:** Kung gusto mo ng tulong sa pagkumpleto ng application na ito sa Filipino, paki tawagan ang 628.652.7550. Paki tandaan na mangangailangan ang Planning Department ng hindi kukulangin sa isang araw na pantrabaho para makasagot.



## DISCRETIONARY REVIEW PUBLIC (DRP)

### APPLICATION

#### Discretionary Review Requestor's Information

Name: Ben Terrall

Address: 2940 16th Street  
S.F. CA. 94103

Email Address: bterrall@gmail.com

Telephone: 415-670-0139

#### Information on the Owner of the Property Being Developed

Name: 1801 Mission LLC

Company/Organization:

Address: 1875 Mission Street #103  
SF, CA 94103

Email Address: gemma@cullinaneconstru

Telephone: 415-861-9200

#### Property Information and Related Applications

Project Address: 1801 Mission Street

Block/Lot(s): 3548/039

Building Permit Application No(s): 202010307806

#### ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?		<input checked="" type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?		<input checked="" type="checkbox"/>
Did you participate in outside mediation on this case? (including Community Boards)		<input checked="" type="checkbox"/>

Changes Made to the Project as a Result of Mediation.

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes that were made to the proposed project.

## DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

[Please see attached page for answer to this question.]

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

[Please see attached page for answer to this question.]

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

The project sponsor should meet with community-serving organizations and work together to find a use for the space that would meet the needs of the surrounding working-class population.

# DISCRETIONARY REVIEW REQUESTOR'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

a) The undersigned is the DR requestor or their authorized representation.

\_\_\_\_\_  
Signature

CAN member

\_\_\_\_\_  
Relationship to Requestor  
(i.e. Attorney, Architect, etc.)

415-670-0139

\_\_\_\_\_  
Phone

Ben Terrall

\_\_\_\_\_  
Name (Printed)

bterrall@gmail.com

\_\_\_\_\_  
Email

For Department Use Only

Application received by Planning Department:

By: \_\_\_\_\_

Date: \_\_\_\_\_



## **1801 Mission DRP Request**

### **ANSWER TO QUESTION #1:**

The project's developers are asking for a conversion from retail to limited restaurant use. There are already existing mom and pop restaurants and cafes in the local vicinity that are struggling during this pandemic.

The expected tenant at this newly proposed space is The Creamery Coffee Shop and this new, large, upscale competitor is not what is not what these local businesses need in these already painfully difficult times.

The expected impact would be antithetical to the goals of the Mission Area Plan.

MAP Section 1. Land Use.

“To ensure the mission remains a center for immigrants...this means protecting established areas of residential, commercial, and PDR...and where goods and services are oriented to serve the needs of the community.”

Further, the size of the proposed project at 1800 square feet is far larger than can be afforded by neighboring immigrant businesses and only adds to the oversized impact of this new high-end proposal.

### **ANSWER TO QUESTION #2:**

Mission Area Plan Policy 7.3.3: “Protect and support Latino and other culturally significant local businesses, structures, property and institutions in the Mission.”

San Francisco Planning Code Sec. 754. Mission Street Neighborhood Commercial Transit

District: “(2) To preserve the contributions of Legacy Businesses to the history and identity of the District;”

Extreme gentrification leading to high rents combined with economic pressures being faced during the COVID-19 pandemic make new, high-end competition the last thing immigrant-owned and/or run cafes in the close vicinity of this project need.

New Star Market is an immigrant owned and run legacy business less than one hundred feet from the proposed site that has served pour-over coffee, breakfast sandwiches, pastries, and lunches at affordable prices for years. This proposed cafe space is very likely to gravely impact New Star Market's business during already difficult times.

There are additional immigrant owned and/or run cafes within one block of the proposed new cafe. Their business would also be adversely affected by a new high-profile eatery which would draw customers who would otherwise frequent the already-established immigrant businesses.



Jan 14, 2021

To Whom It May Concern:

Cultural Action Network authorizes member Ben Terrall to file the attached with the City of San Francisco on our behalf.

Rick Hall, President Cultural Action Network

A handwritten signature in black ink, appearing to read 'Rick Hall', written in a cursive style.



## PROJECT APPLICATION (PRJ)

A Project Application must be submitted for any Building Permit Application that requires an intake for Planning Department review, including for environmental evaluation or neighborhood notification, or for any project that seeks an entitlement from the Planning Department, such as a Conditional Use Authorization or Variance. For more, see the [Project Application Informational Packet](#).

**Cost for Time and Materials:** Any time and materials exceeding initial fees charged for services provided are subject to billing.

For questions, you can call the Planning counter at 628.652.7300 or email [pic@sfgov.org](mailto:pic@sfgov.org) where planners are able to assist you.

**Español:** Si desea ayuda sobre cómo llenar esta solicitud en español, por favor llame al 628.652.7550. Tenga en cuenta que el Departamento de Planificación requerirá al menos un día hábil para responder.

中文：如果您希望獲得使用中文填寫這份申請表的幫助，請致電628.652.7550。請注意，規劃部門需要至少一個工作日來回應。

**Filipino:** Kung gusto mo ng tulong sa pagkumpleto ng application na ito sa Filipino, paki tawagan ang 628.652.7550. Paki tandaan na mangangailangan ang Planning Department ng hindi kukulangin sa isang araw na pantrabaho para makasagot.

### BUILDING PERMIT APPLICATIONS

#### HOW TO SUBMIT:

For projects that do not require an entitlement action by the Planning Department, but require Planning Department review of a Building Permit Application, please present a complete signed Project Application along with the Building Permit Application for intake at <https://sf.gov/apply-building-permit>.

#### WHAT TO SUBMIT:

- One (1) complete and signed application.
- Two (2) hard copy sets of plans that meet the Department of Building Inspection’s submittal standards. Please see the Planning [Department’s Plan Submittal Guidelines](#) for more information.
- A Letter of Authorization from the owner(s) designating an Authorized Agent to communicate with the Planning Department on their behalf.
- Pre-Application Meeting materials, if required. See the [Pre-Application Meeting Informational Packet](#) for more information.

Note: The applicable fee amount for Building Permit Applications will be assessed and collected at intake by the Department of Building Inspection at the Central Permitting Bureau at 1660 Mission St, Ground Floor.

(See [Fee Schedule and/or Calculator](#)).

### ENTITLEMENTS

#### HOW TO SUBMIT:

For projects that require an entitlement from the Planning Department (e.g., Conditional Use, Variance), submit a Project Application with any required supplemental applications online at [sfplanning.org/resource/prj-application](http://sfplanning.org/resource/prj-application), or to submit in person, submit an [Intake Request Form](#) to [CPC.Intake@sfgov.org](mailto:CPC.Intake@sfgov.org).

#### WHAT TO SUBMIT:

- One (1) complete and signed PRJ application, or complete online submittal, including the following:
  - An electronic copy (online or USB drive) of plans formatted to print at 11” x 17”. Please see the [Department’s Plan Submittal Guidelines](#) for more information about the required contents of plan submittals.
  - A Letter of Authorization from the owner(s) designating an Authorized Agent to communicate with the Planning Department on their behalf.
  - Pre-Application Meeting materials, if required. See the [Pre-Application Meeting Informational Packet](#) for more information.
  - Current or historic photograph(s) of the property.
  - All supplemental entitlement applications (e.g., Conditional Use, Variance) and information for environmental review, as indicated in this Project Application or in the Preliminary Project Assessment (PPA) letter.
  - Payment via check, money order or debit/credit card for the total fee amount for all required supplemental applications. (See [Fee Schedule and/or Calculator](#)).



# PROJECT APPLICATION (PRJ)

## GENERAL INFORMATION

### Property Information

---

Project Address: \_\_\_\_\_

Block/Lot(s): \_\_\_\_\_

### Property Owner's Information

---

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_

Telephone: \_\_\_\_\_

### Applicant Information

---

Same as above

Name: \_\_\_\_\_

Company/Organization: \_\_\_\_\_

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_

Telephone: \_\_\_\_\_

Please Select Billing Contact:                      Owner                      Applicant                      Other (see below for details)

Name: \_\_\_\_\_ Email: \_\_\_\_\_ Phone: \_\_\_\_\_

Please Select Primary Project Contact:                      Owner                      Applicant                      Billing

## RELATED APPLICATIONS

### Related Building Permit Applications (any active building permits associated with the project)

---

N/A

Building Permit Application No(s): \_\_\_\_\_

### Related Preliminary Project Assessments (PPA)

---

N/A

PPA Application No: \_\_\_\_\_

PPA Letter Date: \_\_\_\_\_

## PROJECT INFORMATION

### PROJECT DESCRIPTION:

Please provide a narrative project description that summarizes the project and its purpose. Please list any required approvals (e.g. Variance) or changes to the Planning Code or Zoning Maps if applicable.

### PROJECT DETAILS:

Change of Use      New Construction      Demolition      Facade Alterations      ROW Improvements  
Additions      Legislative/Zoning Changes      Lot Line Adjustment-Subdivision      Other: \_\_\_\_\_

**Residential:**      Senior Housing      100% Affordable      Student Housing      Dwelling Unit Legalization  
                                 Inclusionary Housing Required      State Density Bonus      Accessory Dwelling Unit

Indicate whether the project proposes rental or ownership units:      Rental Units      Ownership Units      Don't Know

Indicate whether a Preliminary Housing Development Application (SB-330) is or has been submitted:      Yes      No

**Non-Residential:**      Formula Retail      Medical Cannabis Dispensary      Tobacco Paraphernalia Establishment  
                                 Financial Service      Massage Establishment      Other: \_\_\_\_\_

**Estimated Construction Cost:** \_\_\_\_\_

# PROJECT AND LAND USE TABLES

All fields relevant to the project **must be completed** in order for this application to be accepted.

	Existing	Proposed
General Land Use	Parking GSF	
	Residential GSF	
	Retail/Commercial GSF	
	Office GSF	
	Industrial-PDR	
	Medical GSF	
	Visitor GSF	
	CIE (Cultural, Institutional, Educational)	
	Useable Open Space GSF	
	Public Open Space GSF	

Project Features	Dwelling Units - Affordable	
	Dwelling Units - Market Rate	
	Dwelling Units - Total	
	Hotel Rooms	
	Number of Building(s)	
	Number of Stories	
	Parking Spaces	
	Loading Spaces	
	Bicycle Spaces	
	Car Share Spaces	
	Roof Area GSF - Total	
	Living Roof GSF	
	Solar Ready Zone GSF	
	Other: _____	


Land Use - Residential	Studio Units	
	One Bedroom Units	
	Two Bedroom Units	
	Three Bedroom (or +) Units	
	Group Housing - Rooms	
	Group Housing - Beds	
	SRO Units	
	Micro Units	
	Accessory Dwelling Units For ADUs, list all ADUs and include unit type (e.g. studio, 1 bedroom, 2 bedroom, etc.) and the square footage area for each unit.	

## ENVIRONMENTAL EVALUATION SCREENING FORM

This form will determine if further environmental review is required.





If you are submitting a Building Permit Application only, please respond to the below questions to the best of your knowledge. You do not need to submit any additional materials at this time, and an environmental planner will contact you with further instructions.


If you are submitting an application for entitlement, please submit the required supplemental applications, technical studies, or other information indicated below along with this Project Application.

Environmental Topic	Information	Applicable to Proposed Project?	Notes/Requirements
<b>1a. General</b>	Estimated construction duration (months):	N/A	
<b>1b. General</b>	Does the project involve replacement or repair of a building foundation? If yes, please provide the foundation design type (e.g., mat foundation, spread footings, drilled piers, etc.)	Yes      No	
<b>1c. General</b>	Does the project involve a change of use of 10,000 square feet or greater?	Yes      No	
<b>2. Transportation</b>	Does the project involve a child care facility or school with 30 or more students, or a location 1,500 square feet or greater?	Yes      No	If yes, submit an Environmental Supplemental- <a href="#">School and Child Care Drop-Off &amp; Pick-Up Management Plan</a> .
<b>3. Shadow</b> 	Would the project result in any construction over 40 feet in height?	Yes      No	If yes, an initial review by a shadow expert, including a recommendation as to whether a shadow analysis is needed, may be required, as determined by Planning staff. (If the project already underwent Preliminary Project Assessment, refer to the shadow discussion in the PPA letter.)  An additional fee for a shadow review may be required.
<b>4a. Historic Preservation</b>	Would the project involve changes to the front façade or an addition visible from the public right-of-way of a structure built 45 or more years ago or located in a historic district?	Yes      No	If yes, submit a complete <a href="#">Historic Resource Determination</a> Supplemental Application. Include all materials required in the application, including a complete record (with copies) of all building permits.
<b>4b. Historic Preservation</b>	Would the project involve demolition of a structure constructed 45 or more years ago, or a structure located within a historic district?	Yes      No	If yes, a historic resource evaluation (HRE) report will be required. The scope of the HRE will be determined in consultation with <a href="mailto:CPC-HRE@sfgov.org">CPC-HRE@sfgov.org</a> .

 Please see the [Property Information Map](#) or speak with Planning counter staff at the Permit Center to determine if this applies.



Environmental Topic	Information	Applicable to Proposed Project?	Notes/Requirements
<b>5. Archeology</b> 	Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeologically sensitive area or eight (8) feet below grade in a non-archeologically sensitive area?	Yes      No	If Yes, provide depth of excavation/disturbance below grade (in feet*):  <i>*Note this includes foundation work</i>
<b>6a. Geology and Soils</b> 	Is the project located within a Landslide Hazard Zone, Liquefaction Zone or on a lot with an average slope of 25% or greater?  -----  Area of excavation/disturbance (in square feet):  _____  Amount of excavation (in cubic yards):  _____	Yes      No	A geotechnical report prepared by a qualified professional must be submitted if one of the following thresholds apply to the project:  The project involves: <ul style="list-style-type: none"> <li>• excavation of 50 or more cubic yards of soil, or</li> <li>• building expansion greater than 500 square feet outside of the existing building footprint.</li> </ul> A geotechnical report may also be required for other circumstances as determined by Environmental Planning staff.
<b>6b. Geology and Soils</b> 	Does the project involve a lot split located on a slope equal to or greater than 20 percent?	Yes      No	A categorical exemption cannot be issued. Please contact <a href="mailto:CPC.EPIntake@sfgov.org">CPC.EPIntake@sfgov.org</a> , once a Project Application has been submitted.
<b>7. Air Quality</b> 	Would the project add new sensitive receptors (residences, schools, child care facilities, hospitals or senior-care facilities) within an Air Pollutant Exposure Zone?	Yes      No	If yes, submit an <a href="#">Article 38 Compliance application</a> with the Department of Public Health.
<b>8a. Hazardous Materials</b>	Is the project site located within the Maher area and would it involve ground disturbance of at least 50 cubic yards or a change of use from an industrial use to a residential or institutional use?	Yes      No	If yes, submit a <a href="#">Maher Application Form</a> to the Department of Public Health and submit documentation of Maher enrollment with this Project Application.  Certain projects may be eligible for a waiver from the Maher program. For more information, refer to the Department of Public Health's <a href="#">Environmental Health Division</a> .  <u>Maher enrollment may also be required for other circumstances as determined by Environmental Planning staff.</u>
<b>8b. Hazardous Materials</b>	Would the project involve work on a site with an existing or former gas station, parking lot, auto repair, dry cleaners, or heavy manufacturing use, or a site with underground storage tanks?	Yes      No	If yes, submit documentation of enrollment in the Maher Program (per above), or a Phase I Environmental Site Assessment prepared by a qualified consultant.

 Please see the [Property Information Map](#) or speak with Planning counter staff at the Permit Center to determine if this applies.

# APPLICANT'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

- a) The undersigned is the owner or authorized agent of the owner of this property.
- b) The information presented is true and correct to the best of my knowledge.
- c) Other information or applications may be required.
- d) I hereby authorize City and County of San Francisco Planning staff to conduct a site visit of this property as part of the City's review of this application, making all portions of the interior and exterior accessible through completion of construction and in response to the monitoring of any condition of approval.
- e) I attest that personally identifiable information (PII) - i.e. social security numbers, driver's license numbers, bank accounts - have not been provided as part of this application. Furthermore, where supplemental information is required by this application, PII has been redacted prior to submittal to the Planning Department. I understand that any information provided to the Planning Department becomes part of the public record and can be made available to the public for review and/or posted to Department websites.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Name (Printed)

\_\_\_\_\_  
Date

\_\_\_\_\_  
Relationship to Project  
(i.e. Owner, Architect, etc.)

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Email

For Department Use Only

Application received by Planning Department:

By: \_\_\_\_\_

Date: \_\_\_\_\_

REVISION	DATE
----------	------

Site Permit May 26, 2016

BMR.Site Oct 27, 2016

Bldg & Fire 1 Jan 25, 2017

ADDENDA #2 May 10, 2018

ADDENDA #3 May 18, 2018

AS-BUILTS May 13, 2019

BMR UNITS Mar 18, 2020

TENANT.IMP Oct 27, 2020



DATE (initial)

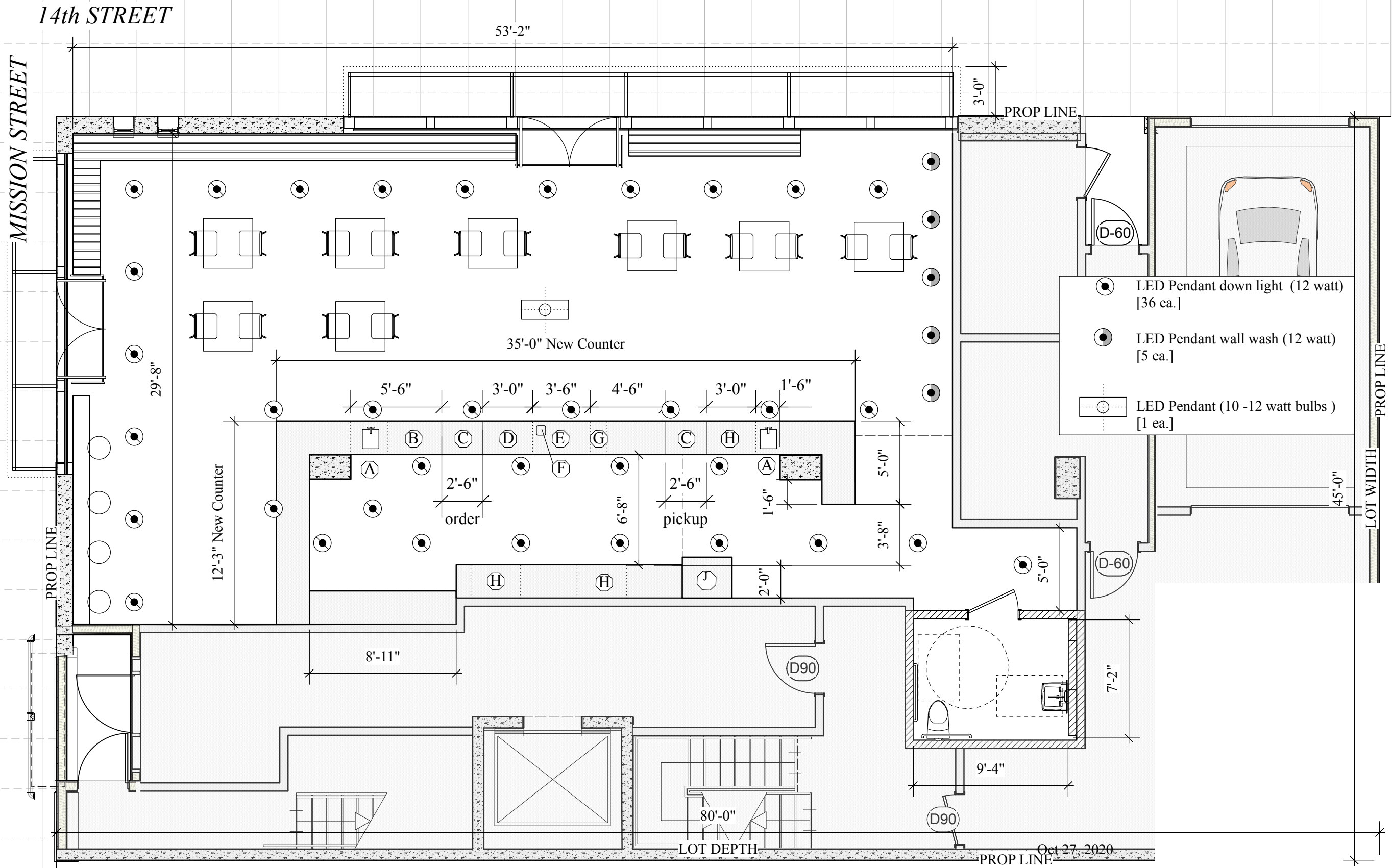
11/0/27/2020

SHEET TITLE

**TENANT  
IMPROVEMENT  
-First  
Floor**

SHEET NO.

**A-100**



14th STREET

MISSION STREET

53'-2"

PROP LINE

- LED Pendant down light (12 watt) [36 ea.]
- LED Pendant wall wash (12 watt) [5 ea.]
- LED Pendant (10 -12 watt bulbs) [1 ea.]

35'-0" New Counter

12'-3" New Counter

29'-8"

5'-6" 3'-0" 3'-6" 4'-6" 3'-0" 1'-6"

2'-6" order

2'-6" pickup

5'-0"

3'-8"

LOT WIDTH

45'-0"

8'-11"

(D90)

(D-60)

7'-2"

9'-4"

(D90)

80'-0"

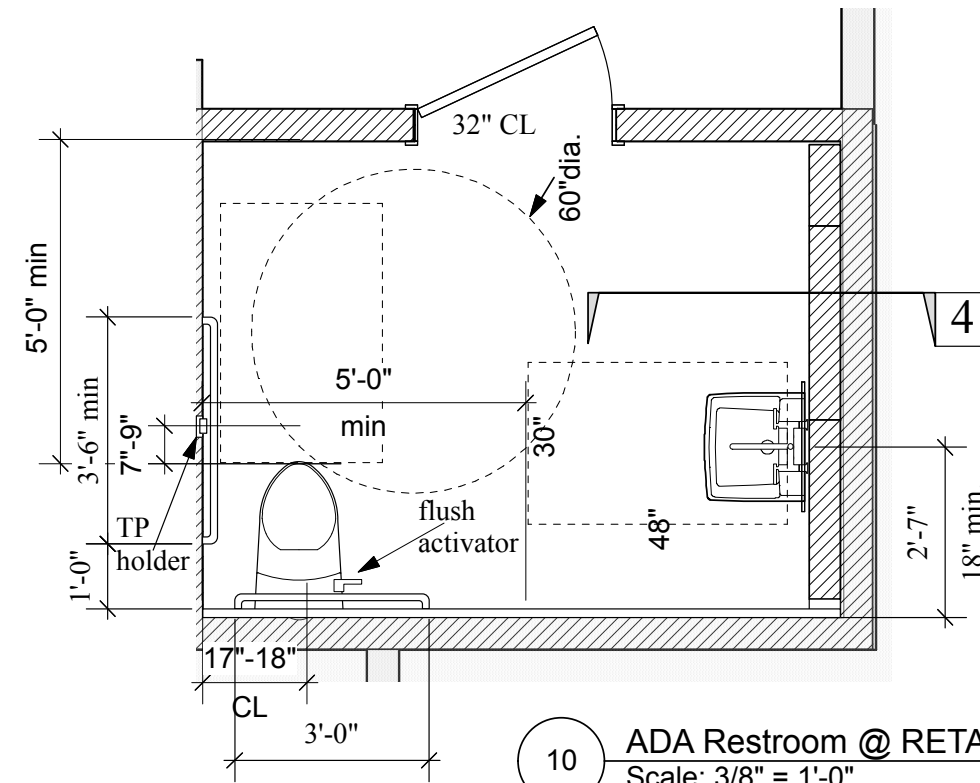
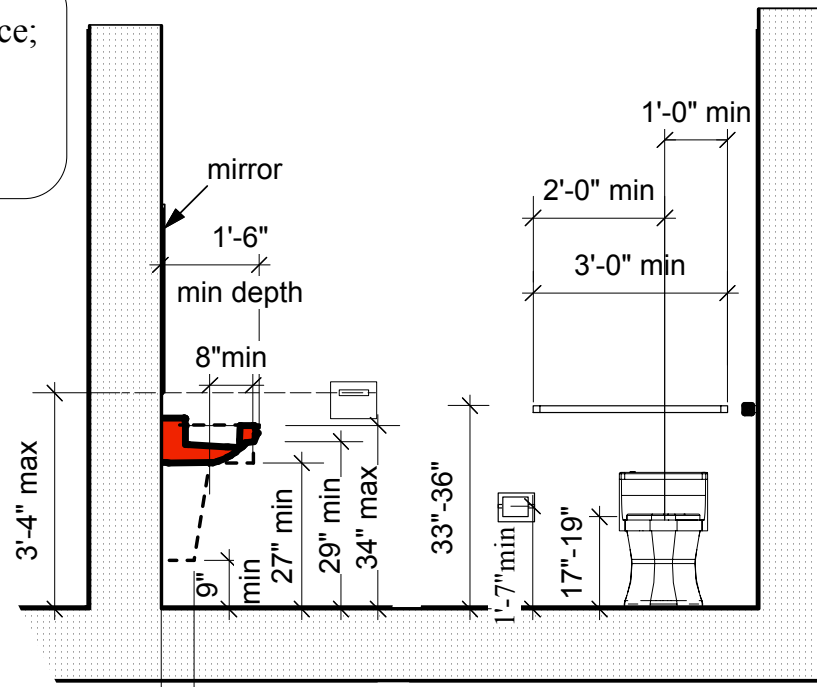
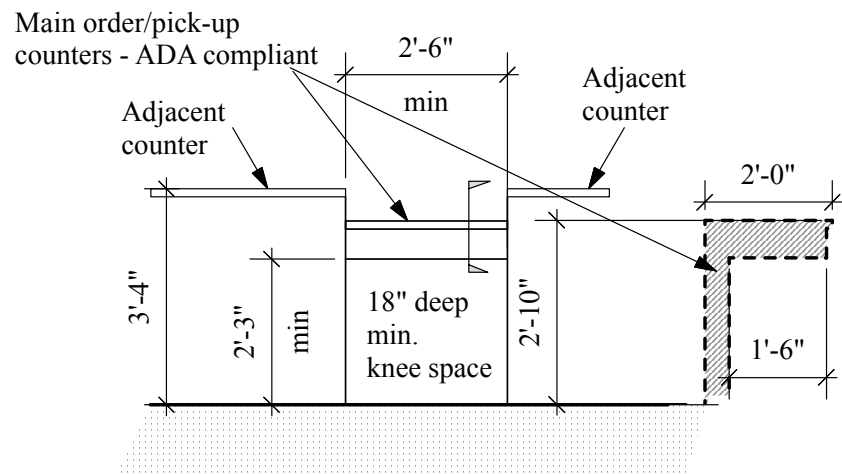
LOT DEPTH

PROP LINE Oct 27, 2020

8 New Ground Floor Plan  
Scale: 3/16" = 1'-0"

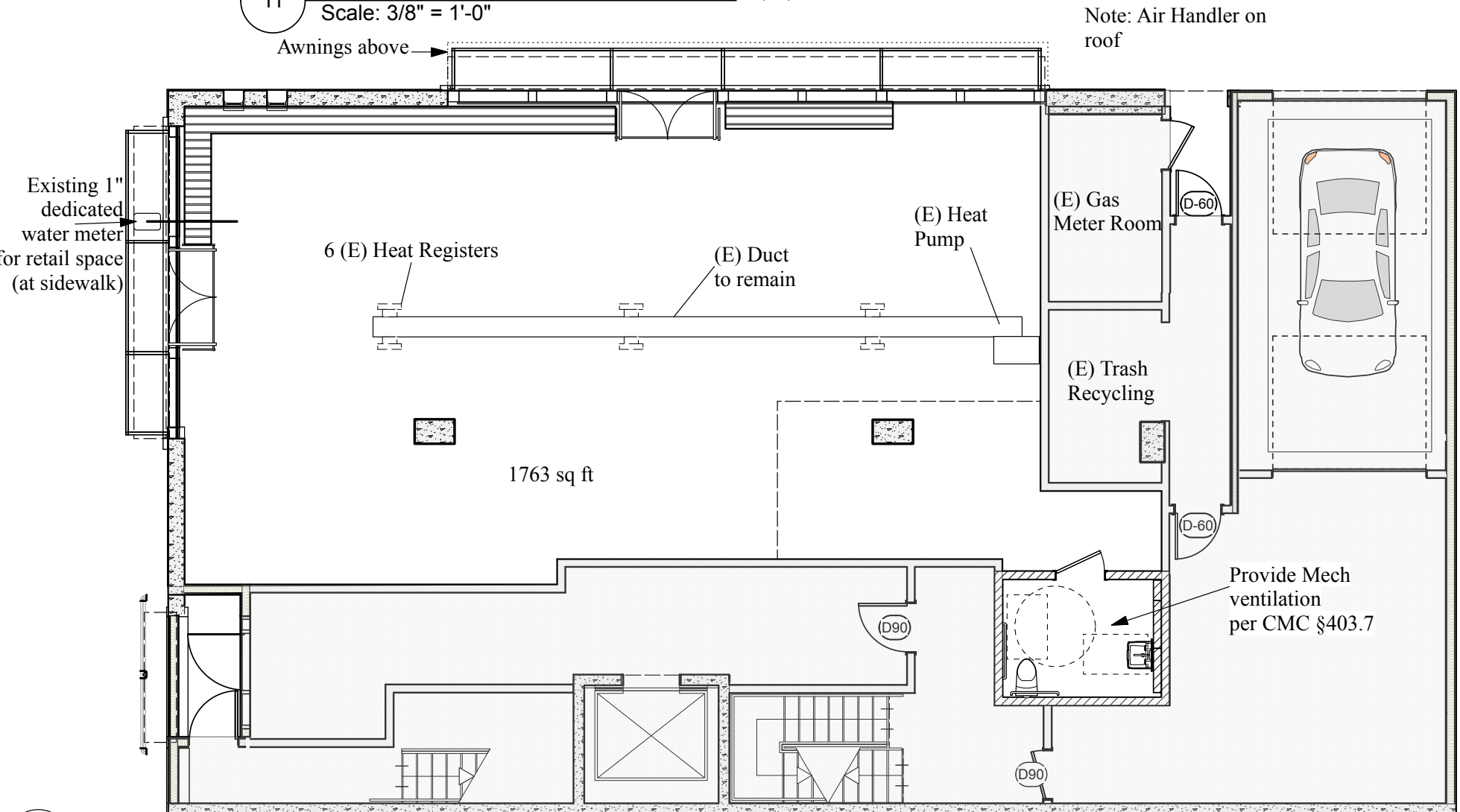
**SCOPE of WORK:**

Tenant Improvement at Ground floor, 1763 sq ft retail space;  
 new coffee shop (first use of new space in new building)  
 Install counters and equipment, lighting and HVAC



11 ADA Restroom & Counter Elevations  
 Scale: 3/8" = 1'-0"

10 ADA Restroom @ RETAIL  
 Scale: 3/8" = 1'-0"



9 Existing Ground Floor Plan  
 Scale: 1/8" = 1'-0"

Item	Description
(A)	12" Hand Sink
(B)	54" Display UC Refrigerator
(C)	ADA Counter @ max. 34" High
(D)	36" UC Ice Maker
(E)	38" Espresso Machine
(F)	Floor Sink
(G)	Coffee Waste/Recycling
(H)	36" UC Dishwasher
(J)	36" Refrigerator - upright

STEPHEN ANTONAROS ARCHITECT

2261 Market Street #324  
 San Francisco, California 94114  
 santonaros@sbcglobal.net (415) 864 2261  
 www.antonaros.com

**CREAMERY COFFEE SHOP**

**3548 Block Lot 039**

301 Mission Street & 287 14th Street

FOR 1801 Mission LLC (415) 861-9200

**APPLICABLE CODES:**

2019 California Building Code,  
2019 Mechanical Code,  
2019 Plumbing Code,  
2019 Electrical Code, and  
2019 San Francisco Building Code  
2019 Editions of NFPA 13 sprinklers,  
NFPA 14 for Standpipes,  
NFPA 72 Fire Alarm,  
NFPA 20 Fire Pumps  
NFPA 24 for sprinkler underground

CONSTRUCTION  
TYPE : Type 3A over Type I  
(Fully Sprinklered)  
Six Stories over Basement  
5 stories Type 3A over 1 story  
w/ Mezzanine Type 1  
+ Basement Type 1  
6 floors of Occupancy

Fire Sprinkler under Separate Permit

OCCUPANCY  
CLASSIFICATION :  
R-2 / A-2 /B/ S-2

**INDEX OF DRAWINGS**

**ARCHITECTURAL / MECHANICAL**

- A100 Building Data + ADA form, Details  
Existing and New Site/Floor Plans  
Coffee Shop Equip. list; Green Bldg Notes
- GS-4 Green Building for Retail

**GREEN BUILDING NOTES**

**1801 Mission Street – Build It Green:**

- A2.1 Divert 65% C & D, Construction and debris waste from a landfill based on weight (Include Alternative Daily Cover).
- A2.2 Divert 65% C & D, Construction and debris waste from a landfill based on weight (Excluding Alternative Daily Cover).
- A5. (Mandatory) Construction Environmental Quality Management Plan Including Flush-Out – Protect construction material from water damage during construction, cover seal ducts,  
Clean duct boots if exposed, install paint and such before installing carpets and finishes,  
Open windows for min 80 hrs prior to occupancy, use outside air during flush out, or run  
Exhaust system min 72 hrs and replace filters after, dust control plan for rehab projects.
- B5.2 Plant Trunks, Bases, or Stems centers at Least 36" from the Foundation.
- C13. Reduced Light Pollution. Use sensors or timers and down shielding over bare bulb on Outdoor lights.
- D1.2 Non-Load Bearing Door and Window Headers Sized for Load.
- D3.1 Engineered Beams and Headers.
- D3.2 Wood I-Joists or Web Trusses for Floors.
- D3.3 Engineered Lumber for Roof Rafters.
- D10.1 All Wood Located at Least 12" above soil for pest and rot control.
- E5.1 Durable and Fire Resistant Roofing Materials or Assembly Class A Fire rating per ASTM E-108 or UL-790 and 10 yr material 3 yr labor warranty.
- G1.1 Insulated Hot Water Pipes.
- H1.2 Sealed Combustion Water Heater. Direct Vent.
- H4. ENERGY STAR Bathroom Fans Per HVI (Home Ventilation) Standards with Air Flow Verified Control by humidistat at 60% for bathrooms with tub and/or shower, min  
50 cfm Intermittent or 25 cfm continuous, min 50 cfm for bathrooms smaller than 50 sf  
Between 50 and 100 sf, min 1 cfm/sf, more than 100 sf is 50 cfm per fixture of toilet, Shower or tub.
- H6.1 Required to meet ASHRAE Standard 62.2-2012 Ventilation Residential Standards Includes whole house mechanical ventilation, bathroom and kitchen ventilations  
For non-certified kitchen fan, min 300 cfm.
- K3. Low-VOC Caulks and Adhesives -30 g/L VOCs or less for subfloor adhesive, general, Carpet adhesive, duct mastic, window and trim caulk, general, bathroom and kitchen  
Caulk, tile mastic and fire and acoustic caulk.
- M1. ENERGY STAR Dishwasher.
- M2. CEE Tier 3 Clothes Washer.
- M3. Size-Efficient ENERGY STAR Refrigerator 20 CF.
- M7. Gearless Elevator. (Non-hydraulic)
- N3.5 Bicycle Storage for Residents.
- N3.6 Bicycle Storage for Non-Residents.
- N5.1 Residence Entries with Views to Callers.
- N5.2 Entrances Visible from Street and/or Other Front Doors. Security Surveillance.
- N5.4 Social Gathering Spaces. 50 sf per unit. Court yards, play area, gardens encourages social.
- N7.1 Universal Design Principles in Units.
- N7.2 Full-Function Independent Rental Unit.
- O2. Pre-Construction Kickoff Meeting with Rater and subcontractors.
- O3. Orientation and Training to Occupants-Conduct Educational Walkthroughs.
- P2.1 Tenant Improvement Requirements for Build-Outs.
- P2.2 Commercial Loading Area Separated for Residential Area.
- P2.3 Separate Mechanical and Plumbing System for Mixed Use Building.

**1801 Mission Street – C-4 Residential Green Form:**

- 100% of mixed debris transported by registered hauler to registered facility for recycling process
- Water Efficient Fixtures - toilets dual flush or 1.28 g per flush, 2 gpm 80 psi showerheads, 1.8 gpm kitchen faucets, 1.5 gpm bathroom faucets
- Low-VOC Paints and Coatings (meet SCAQMD Rule 1113)
- Low VOC Caulks, adhesives and sealants (meet SCABMD Rule 1168)
- Reduce Formaldehyde in interior finish. Meet current CARB Airborne Toxic Control Measure (ATCM) for composite wood Formaldehyde Limits by Mandatory Compliance Dates
- All carpet and 50% resilient floor to be low emitting
- Fireplaces and woodstoves install direct-vent or sealed-combustion appliances, US EPA Phase II
- Dedicated Bicycle Storage
- Duct openings protected and covered during construction
- Smart High Efficiency Irrigation System - patio watering
- Energy Star Bathroom exhaust fans on Timer or Humidistat

**D.A. CHECKLIST** (p. 1 of 2): The address of the project is: 1801 MISSION STREET

For ALL tenant improvement projects in commercial use spaces, both pages of this checklist are required to be reproduced on the plan set and signed.

- The proposed use of the project is COFFEE SHOP (e.g. Retail, Office, Restaurant, etc.)
- Describe the area of remodel, including which floor: GROUND FLOOR - Street Level
- The construction cost of this project *excluding* disabled access upgrades to the path of travel is \$ 80,000, which is; (check one)  more than /  less than the 2020 Valuation Threshold of **\$170,466.00**.
- Is this a City project and/or does it receive any form of public funding? Check one:  Yes /  No Note: If Yes, then see Step 3 on the Instructions page of the Disabled Access Upgrade Compliance Checklist package for additional forms required.

**Conditions below must be fully documented by accompanying drawings**

5. Read **A** through **D** below carefully and check the most applicable boxes. Check one box only:

<input checked="" type="checkbox"/> <b>A:</b> All existing conditions serving the area of remodel fully comply with access requirements. No further upgrades are required: Fill out page 2 of D.A. Checklist
<input type="checkbox"/> <b>B:</b> Project Adjusted cost of construction is greater than the current valuation threshold: Fill out and attach page 2 of D.A. Checklist and any other required forms to plans
<input type="checkbox"/> <b>C:</b> Project adjusted cost of construction is less than or equal to the current valuation threshold: List items that will be upgraded on Form C. All other items shall be checked on page 2 of the D.A. Checklist in the "Not required by code" column.
<input type="checkbox"/> <b>D:</b> Proposed project consists entirely of Barrier removal: Fill out and attach Barrier removal form to Plans
<input type="checkbox"/> <b>E:</b> <u>Proposed project is</u> minor revision to previously approved permit drawings only. (Note: This shall <u>NOT</u> be used for new or additional work) Provide previously approved permit application here: _____ Description of revision: _____

CBC chapter 2 section 202 Definitions:

**Technically Infeasible.** An alteration of a building or a facility, that has little likelihood of being accomplished because the existing structural conditions require the removal or alteration of a load-bearing member that is an essential part of the structural frame, or because other existing physical or site constraints prohibit modification or addition of elements, spaces or features that are in full and strict compliance with the minimum requirements for new construction and which are necessary to provide accessibility.

**Unreasonable Hardship.** When the enforcing agency finds that compliance with the building standard would make the specific work of the project affected by the building standard infeasible, based on an overall evaluation of the following factors:

1. The cost of providing access.
2. The cost of all construction contemplated.
3. The impact of proposed improvements on financial feasibility of the project.
4. The nature of the accessibility which would be gained or lost.
5. The nature of the use of the facility under construction and its availability to persons with disabilities

The details of any Technical Infeasibility or Unreasonable Hardship shall be recorded and entered into the files of the Department. All Unreasonable Hardships shall be ratified by the AAC.

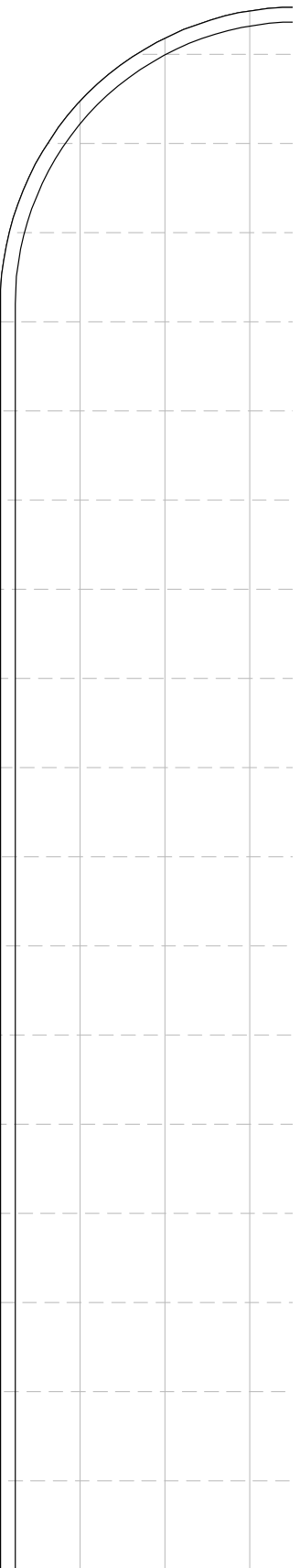
**D.A. CHECKLIST** (p. 2 of 2): The address of the project is : 1801 MISSION STREET

Check all applicable boxes and specify where on the drawings the details are shown:

	Existing Fully Complying	Will be Up-graded to Full Compliance	Equivalent facilitation will provide full access	Compliance is Technically infeasible	Approved in compliance with immediately preceding code	Not required by Code (and/or none existing)	Non-compliant request URH (Must be ratified by AAC)	Location of detail(s)- include detail no. & drawing sheet (do not leave this part blank!). Also clarification comments can be written here.
<b>Note:</b> upgrades below are listed in priority based on CBC-11B-202.4, exception 8								
A. One accessible entrance including: approach walk, vertical access, platform (landings), door / gate and hardware for door/gate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
B. An accessible route to the area of remodel including: Parking/access aisles and curb ramps Curb ramps and walks Corridors, hallways, floors Ramps elevators, lifts	<input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
C. At least one accessible restroom for each sex or a single unisex restroom serving the area of remodel.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
D. Accessible public pay phone.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E. Accessible drinking fountains.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F. Additional accessible elements such as parking, stairways, storage, alarms and signage.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
See the requirements for additional forms listed below	1.	2.	3.	4.	5.	6.	7.	

1. No additional forms required
2. No additional forms required
3. Fill out Request for Approval of Equivalent Facilitation form for each item checked and attach to plan.
4. Fill out Request for Approval of Technical Infeasibility form for each item checked and attach to plans.
5. Provide details from a set of City approved reference drawings, provide its permit application number here: \_\_\_\_\_ and list reference drawing number on plans.
6. No additional forms required
7. Fill out Request for an Unreasonable Hardship form for each item checked and attach to plan. All UHR must be ratified by the Access Appeals Commission (see UHR form for details)

- Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls protected against rodents.
  - Concrete slab on grade fndtns have a vapor retarder must have a capillary break
  - Provide adequate space and access for storage, collection, loading of compost, recycle and landfill material
  - Roofing Warranty 3 yr subcontractor and 20 yr manufacturer warranty
  - Meet ASHRAE 62.2 Ventilation Practices for IAQ
  - Provide O&M Manual to Building Maintenance Staff
  - Design and Install HVAC per ACCA Manual J, D and S or use high efficiency air filter MERV 6+
  - Provide construction site stormwater pollution prevention plan & SFPUC Best Management Practice Storm Water Control Plan per SFPUC > 5000 sf /Water Efficient Irrigation per SF Water Efficient Irrigation Ord. when 1000 sf
  - Construction plans indicate how site grading or drainage system will manage surface water flows
  - Alternative performance method for water efficiency using 20% reduction in baseline water
  - Verify wall and floor framing not exceed 19% moisture content before enclosure and repair as need
  - Trained and certified HVAC installer
- 1801 Mission Street – C-5 Non-Residential Green Form:**
1. Divert by registered hauler to registered recycler 100% construction debris.
  2. Source separate and recycle 10% of construction and demolition debris.
  3. Provide adequate space and access for storage, collection and loading of compost, recyclables and landfill materials.
  4. Comply with 2013 Title 24 Energy Standards.
  5. Provide construction site Stormwater Pollution Prevention Plan (CalGreen 5.106.1).
  6. Implement a Stormwater Control Plan per SFPUC Stormwater Guidelines when > = 5000 sf.
  7. Comply with SF Water Efficient Irrigation Ordinance for Landscape when > = 1000 sf.
  8. Provide bicycle parking > of 5% of parking if any or SF Planning Code Sec. 155.
  9. Meet Cal. Energy Code min for Lighting Zones 1-4, w/Backlight/Uplight/Glare Ratings meeting CalGreen Table 5.106.8. Exemptions of Calif Energy Code Section 147 & Emergency lighting exempt.
  10. Provide water submeters for spaces projected to consume more than 1,000 gal/day.
  11. Provide Indoor Water Efficiency by reducing use of potable water for new fixtures and fittings per CalGreen Table 5.303.2.2 and 5.303.2.3. See table on C-5 Form for Indoor Water Efficiency.
  12. Perform new building equipment and HVAC commissioning to be included in design and Construction of the project to verify building systems and components meet the owner's Project requirements.
  13. Protect HVAC System by limited use or install MERV-8 filters during construction & replace after.
  14. Adhesives, Sealants and Caulks comply with VOC limits in SCAQMD Rule 1168 VOC Limit and CA Code of Regulation Title 17 for Aerosol Adhesives.
  15. Paints and coatings comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints.
  16. Carpet: meet one of the following, Carpet and Rug Institute Green Label Plus Program CA Dept of Public Health VOC (Spec 01350) NSF/ANSI 140 Gold Level Scientific Certified Sustainable Choices or CA Collaborative High Performance Schools EQ 2.2 And Cushion meet Carpet and Rug Institute Green Label. And indoor carpet adhesive+pad <50g/L VO Content.
  17. Composite Wood: Hardwood, particleboard, medium density fiberboard products for interior xand exterior shall comply with CARB Air Toxics Control Measure for Composite Wood. CalGreen Table 5.504.4.5.
  18. Resilient floor system, 80% comply with:
    - 1) FloorScore program certified by (RFCI) Resilient floor Covering Institute.
    - 2) VOC limits and testing of California Department of Public Health 2010 test std.
    - 3) Collaborative for High Performance Schools(CHPS) EQ2.2 or Database.
    - 4) Greenguard Children & Schools Program per California Department of Public Health.
  19. Provide Prohibited Smoking Sign for within 25 feet of building entrance, outdoor air intake, and operable windows.
  20. Provide MERV-8 min filters at mechanical ventilation of regularly occupied spaces.
  21. Provide Acoustical Control at walls and roof-ceilings STC-50, exterior windows STC 30, party walls and floor-ceilings STC 40.
  22. Do not install any equipment using CFCs and Halons.





SAN FRANCISCO FIRE DEPARTMENT  
BUREAU OF FIRE PREVENTION  
PLAN CHECK DIVISION/WATER FLOW  
1600 MISSION STREET, 4TH FLOOR  
SAN FRANCISCO, CA 94103  
FAX # 415-575-6933  
Email: WaterflowSFFD@sfgov.org

**REQUEST FOR WATER FLOW INFORMATION**

DATE: 6/27/2016 REQUEST IS FOR:  FIRE FLOW  SPRINKLER DESIGN  
CONTACT PERSON: Helan Kelley ADDRESS: 1875 Mission Street, SF, CA 94103  
PHONE NO. (415) 861-9200 FAX NO. (415) 861-9207  
EMAIL: helan.kelley@sfgov.net  
OWNER'S NAME: 1801 Mission Street LLC PHONE # (415) 861-9200  
ADDRESS FOR WATER FLOW INFORMATION: PROVIDE SKETCH HERE:  
1801 MISSION STREET

CROSS STREETS (BOTH ARE REQUIRED):  
Corner 14th, Mission

SPECIFY STREET FOR POINT OF CONNECTION: MISSION STREET

OCCUPANCY (CIRCLE ONE): R3 R2 LIVE/WORK COMMERCIAL OTHER R-2/A-2/B/1

HAZARD CLASSIFICATION: LIGHT ORD 1 ORD 2 EXT 1 EXT 2 OTHER

CAR-STACKER:  YES  NO 14 CAR STACKER Fire Flow Test required. Payment by check only, made payable to SFPD for \$240.

NUMBER OF STORIES: 7 HEIGHT OF BLDG.: 65 FT. payable to SFPD for \$240.

- SUBMIT FORM WITH A \$120.00 CHECK MADE PAYABLE TO "S.F.P.D."
- REQUESTS REQUIRING A FIELD FLOW TEST WILL BE NOTIFIED BY FAX OR EMAIL, AND AN ADDITIONAL FEE OF \$240.00 WILL BE NECESSARY.
- WATER FLOW INFORMATION WILL BE RETURNED BY FAX, MAIL, OR EMAIL.
- INCOMPLETE FORMS WILL NOT BE PROCESSED.
- PLEASE ALLOW 7-14 WORKING DAYS FOR PROCESSING.

Flow data provided by: W. MADSEN Date Forwarded: 7-14-16

Flow data: FIELD FLOW TEST  STATIC 53 PSI  
RESIDUAL 42 PSI  
RECORDS ANALYSIS

Gate Page 24 FLOW 653 GPM  
8" MAIN on MISSION

IF YOU HAVE ANY QUESTIONS PLEASE CONTACT INSPECTOR DEEN @ 415-558-6361

**APPLICABLE CODES:**

2013 California Building Code,  
2013 Mechanical Code,  
2013 Plumbing Code,  
2013 Electrical Code, and  
2013 San Francisco Building Code  
2013 Editions of NFPA 13 sprinklers,  
NFPA 14 for Standpipes,  
NFPA 72 Fire Alarm,  
NFPA 20 Fire Pumps  
NFPA 24 for sprinkler underground

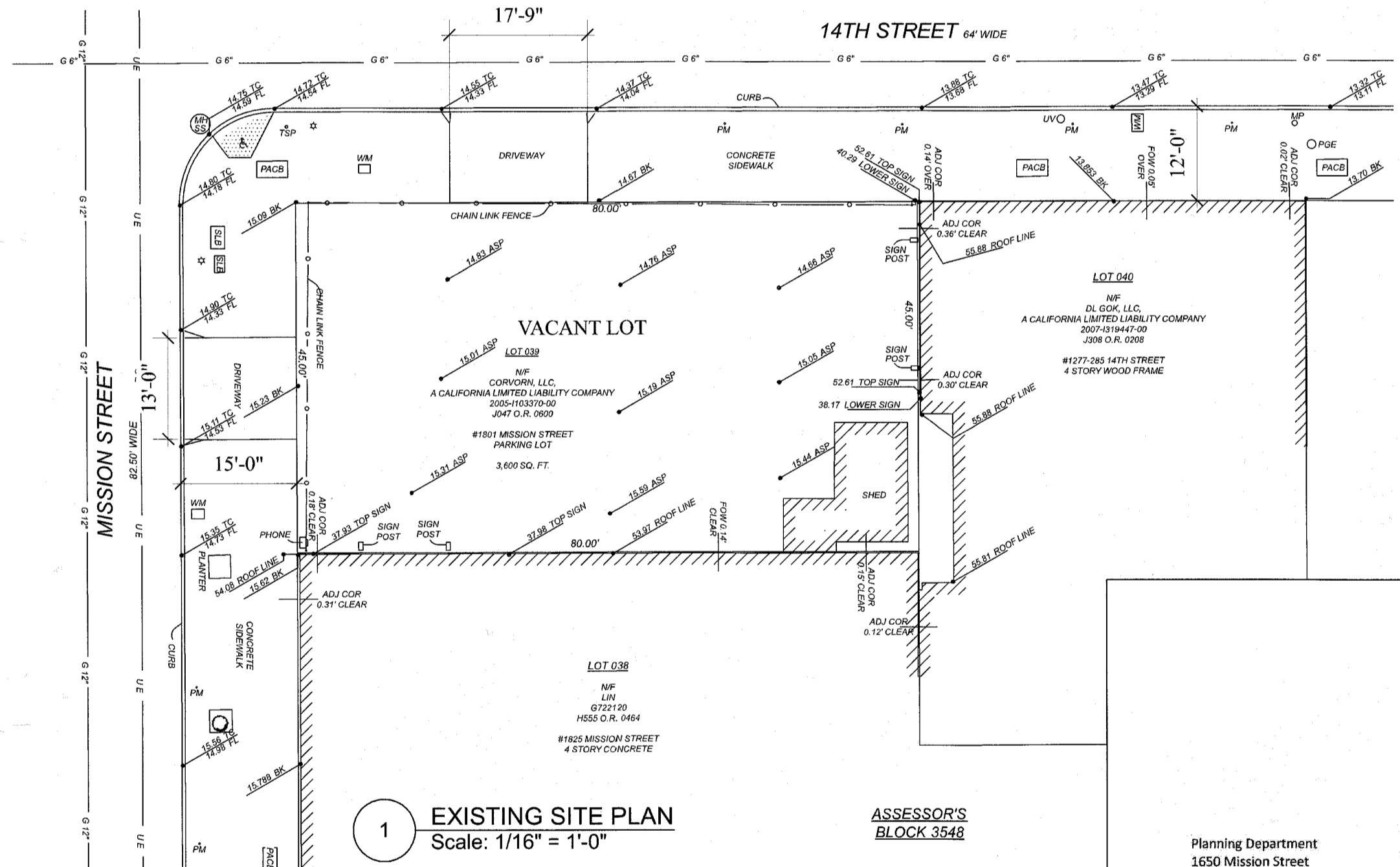
CONSTRUCTION  
TYPE: Type 3A over Type 1  
(Fully Sprinklered)  
Six Stories over Basement  
5 stories Type 3A over 1 story  
w/ Mezzanine Type 1  
+ Basement Type 1  
6 floors of Occupancy  
Fire Sprinkler under Separate Permit  
OCCUPANCY  
CLASSIFICATION:  
R-2 / A-2 / B / S-2

**SCOPE OF WORK:**

1) Construct new 6-story over Basement, Type 3A over Type IA mixed use building consisting of five floors of residential (17 dwelling units) over ground floor + mezzanine & 1 basement level on a vacant lot

**INDEX OF DRAWINGS**

- ARCHITECTURAL  
A100 Building Data + Existing and New Site Plans  
A101 Basement thru 3rd Level Plans  
A102 4th thru 7th Level Plans  
A103 Roof and Elev/Stair Penthouse Plan  
A201 Exterior Elevations  
A301 Building Sections  
A401 ADA Kitchens & Baths  
A402 Wall & Floor Details  
GREEN BUILDING  
GB-1 Green Building Checklist Residential  
NSR documents for BMR/Affordability  
1 SURVEY



1801 Mission Street LLC  
1875 Mission Street #103  
San Francisco, CA 94103  
Tel: 415-861-9200

Planning Department  
1650 Mission Street  
San Francisco, CA 94103  
November 7<sup>th</sup> 2016  
RE: Project :1801 Mission Street, San Francisco  
As project sponsor for the new building at 1801 Mission Street, we accept the conditions regarding acoustic mitigation measures made by the Entertainment Commission in its Motion of November 03, 2016.  
We further agree to adopt and implement the Recommended Noise Attenuation Conditions for Chapter 116 Projects by increasing the STC ratings above the minimum recommendations found in the acoustic testing report by Wilson Ihrig & Associates.  
Any questions, please let me know  
Thank you  
Michael Mamone  
Member

UNIT Breakdown:

2nd Level-	Unit #1 = 675 sq ft 2 bdrm/ 1 ba Unit #2 = 480 sq ft Studio/ 1 ba Unit #3 = 480 sq ft Studio/ 1 ba Unit #4 = 485 sq ft 1 bdrm/ 1 ba
3rd Level-	Unit #5 = 675 sq ft 2 bdrm/ 1 ba Unit #6 = 480 sq ft Studio/ 1 ba Unit #7 = 480 sq ft Studio/ 1 ba Unit #8 = 668 sq ft 2 bdrm/ 1 ba
4th Level-	Unit #9 = 675 sq ft 2 bdrm/ 1 ba Unit #10 = 964 sq ft 2 bdrm/ 2 ba Unit #11 = 668 sq ft 2 bdrm/ 1 ba
5th Level-	Unit #12 = 675 sq ft 2 bdrm/ 1 ba Unit #13 = 964 sq ft 2 bdrm/ 2 ba Unit #14 = 668 sq ft 2 bdrm/ 1 ba
6th Level-	Unit #15 = 675 sq ft 2 bdrm/ 1 ba Unit #16 = 964 sq ft 2 bdrm/ 2 ba Unit #17 = 668 sq ft 2 bdrm/ 1 ba

Planning Code Data

Zone: UMU (Urban Mixed Use) District  
Neighborhood: Mission  
Height & Bulk District: 68-X  
Lot Size: 45 feet x 80 feet  
Lot Area: 3600 square feet  
Existing Use: Vacant Lot

No. of Proposed Parking: 13 Vehicular spaces, mechanically parked  
No. of Bike Parking: 26 Class I spaces on Level 1  
No. of Class II spaces: 8 Class II on Sidewalk racks on Mission & 14th

Residential Open Space:  
Minimum amount required - 17 units x 80 sq ft/unit = 1360 sq ft  
Min. amount req'd if Common - 17 x 106.4 sq ft/unit = 1809 sq ft  
Open Space Provided - Private, Unit 301: 250 sq ft  
- Common, 2nd flr: 400 sq ft  
- Common, Roof: 1200 sq ft  
Total Open Space Provided: 1850 sq ft

BUILDING DATA:

Commercial (gross area) 6,997 sq ft [Net Areas]  
Basement Level - gross 1876 sq ft  
Street Level - gross 3600 sq ft [Retail = 1852 sf]  
Mezzanine Level - gross 926 sq ft [Office = 926 sf]

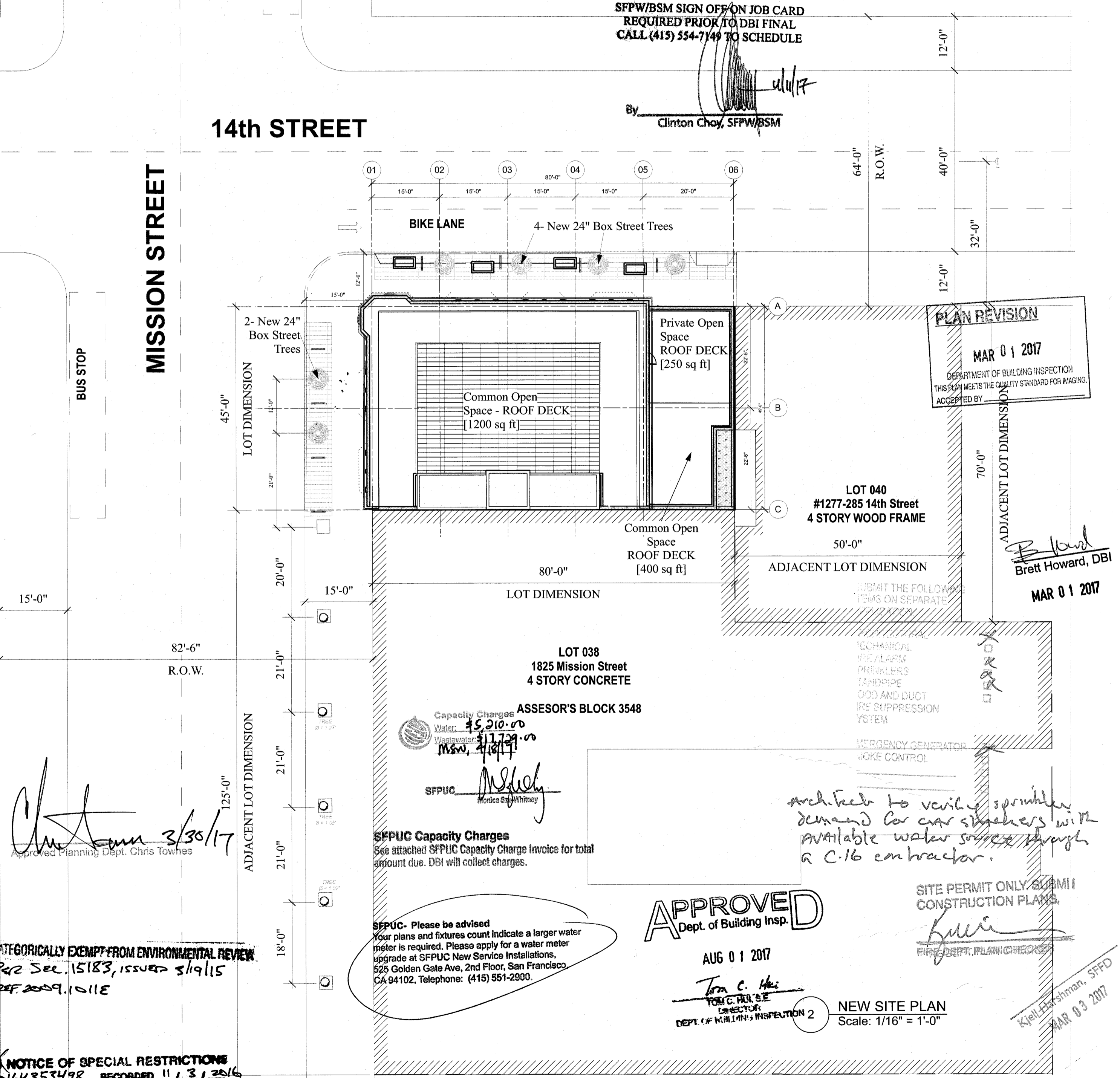
Residential (gross area)  
2nd Level 2780 sq ft  
3rd Level 2877 sq ft  
4th Level 2885 sq ft  
5th Level 2885 sq ft  
6th Level 2885 sq ft  
Subtotal Residential 14,382 sq ft gross [10,700 net]  
Total (gross sq ft) 21,379 sq ft

BUILDING ANALYSIS:

Type IA Building =  
1 Story + Mezzanine  
Unlimited Sq ft  
per CBC 2013  
Table 503

Type IIIA Building =  
5 Story (4 Story per  
Table 503; Per 504.2  
Additional Story allowed)  
24,000sf per CBC 2013  
Table 503  
Additional area allowed  
per 506.2 based on  
frontage:  
h = F/P - 0.25/W/30  
F=125', P=250', W=60'  
[.50-.25]2 = x .5 =  
50% Increase allowed  
36,000 sq ft total  
allowed

NOTE: Based on Acoustic test performed by Wilson Ihrig & Associates and on the site's proximity to Places of Entertainment the proposed windows throughout the exterior shall have minimum STC 36 & OITC 29 ratings



STEPHEN ANTONAROS ARCHITECT  
2261 Market Street #324  
San Francisco, California 94114  
antonaros@sbcglobal.net (415) 864 2261  
www.antonaros.com

NEW 17-UNIT MIXED-USE BUILDING  
3548 Block Lot 039  
1801 Mission Street & 287 14th Street  
FOR 1801 Mission LLC (415) 861-9200

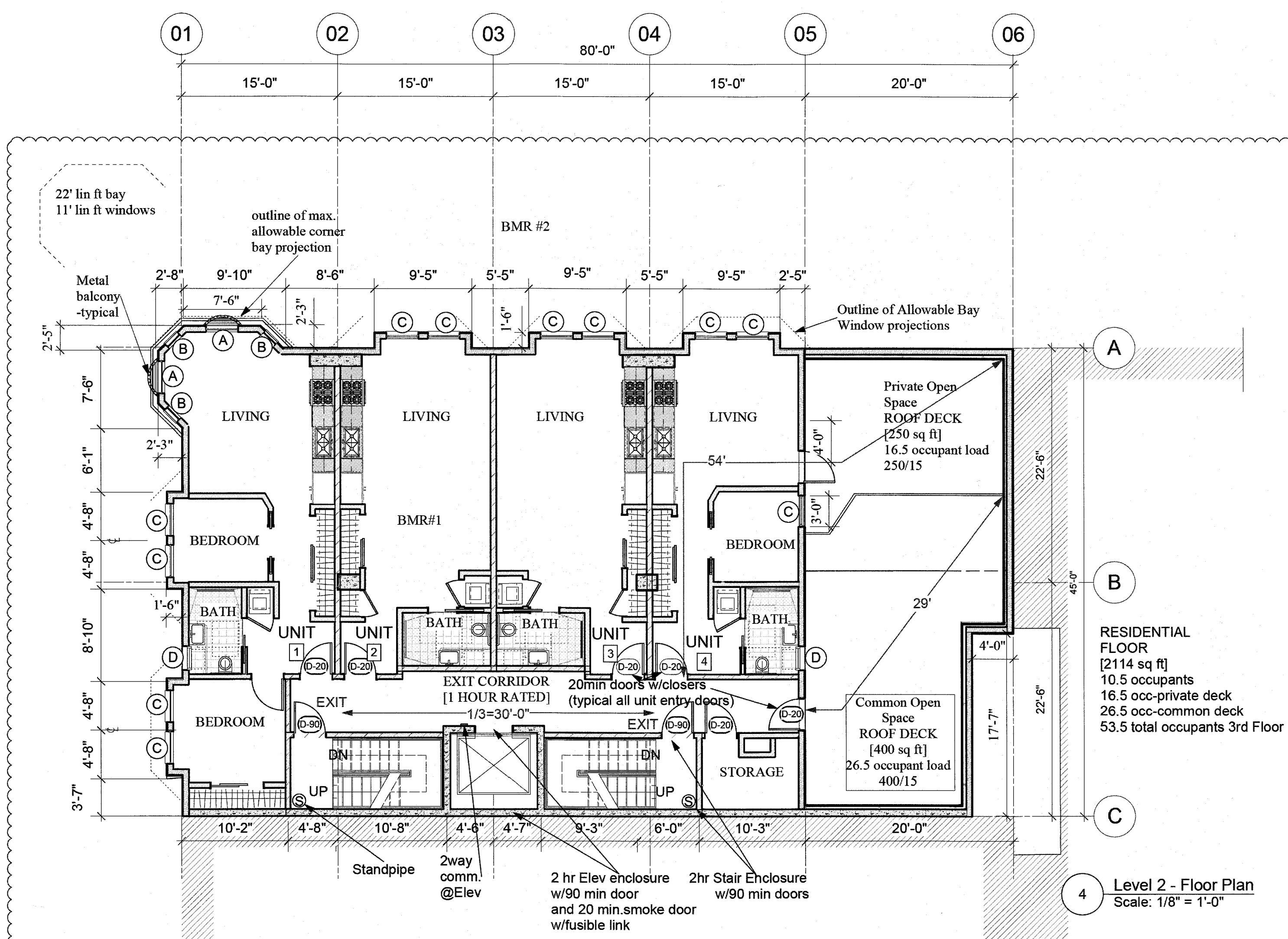
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Site Permit	May 26, 2016
BMR Site	Oct 27, 2016
Bldg & Fire	Jan 25, 2017

DATE: 10/01/2013  
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SHEET NO. A-100

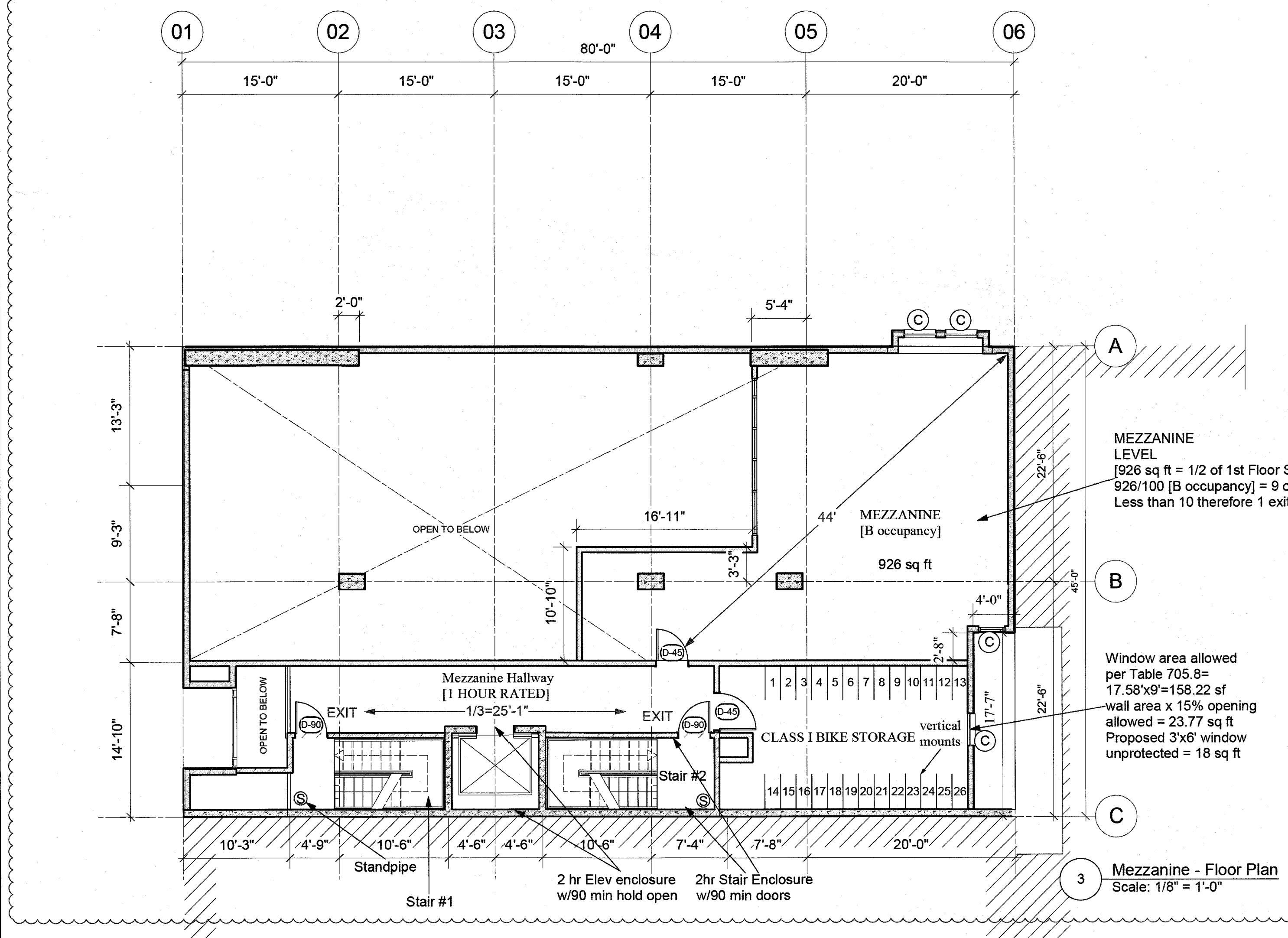
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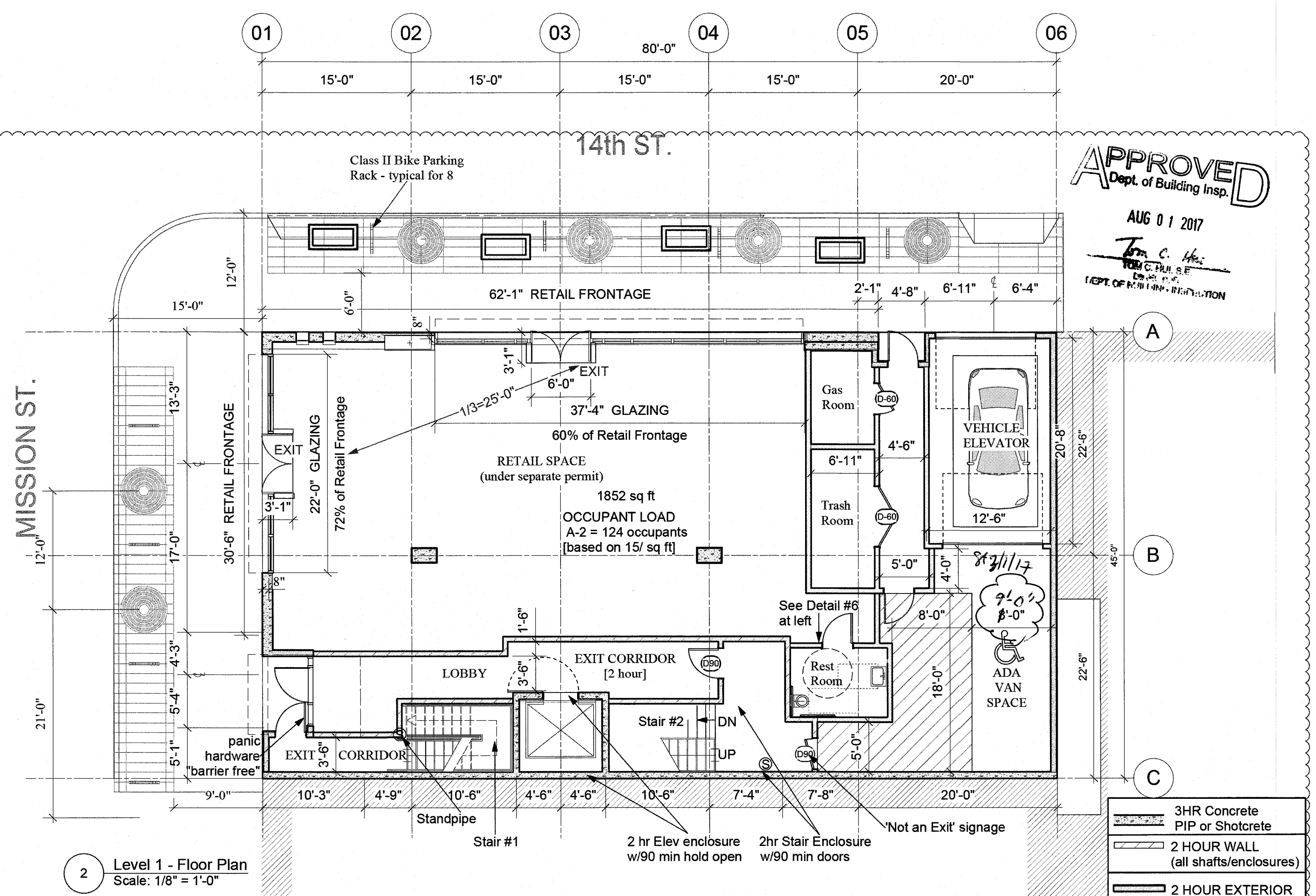
© 2015



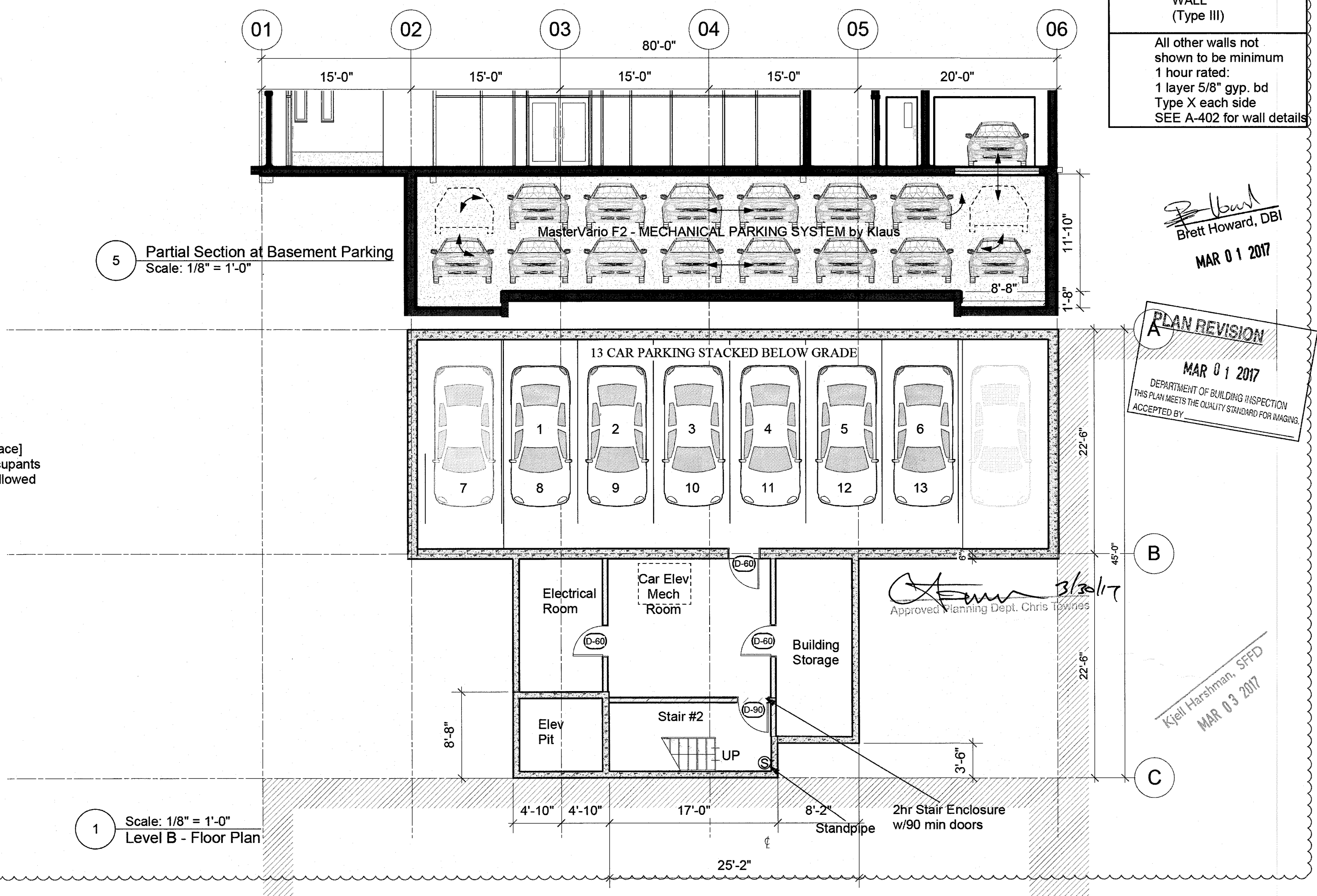
4 Level 2 - Floor Plan  
Scale: 1/8" = 1'-0"



3 Mezzanine - Floor Plan  
Scale: 1/8" = 1'-0"



2 Level 1 - Floor Plan  
Scale: 1/8" = 1'-0"



1 Scale: 1/8" = 1'-0"  
Level B - Floor Plan

5 Partial Section at Basement Parking  
Scale: 1/8" = 1'-0"

**APPROVED**  
Dept. of Building Insp.  
AUG 01 2017  
Tom C. [Signature]  
REGISTERED PROFESSIONAL ARCHITECT  
1801 MISSION STREET, SUITE 100  
SAN FRANCISCO, CA 94103

- 3HR Concrete PIP or Shotcrete
  - 2 HOUR WALL (all shafts/enclosures)
  - 2 HOUR EXTERIOR WALL (Type III)
- All other walls not shown to be minimum 1 hour rated:  
1 layer 5/8" gyp. bd  
Type X each side  
SEE A-402 for wall details

*Bret Howard, DBI*  
MAR 01 2017  
**PLAN REVISION**  
MAR 01 2017  
DEPARTMENT OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY STANDARD FOR MANSUET  
ACCEPTED BY

**STEPHEN ANTONAROS ARCHITECT**  
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San Francisco, California 94114  
santonaros@sbcglobal.net  
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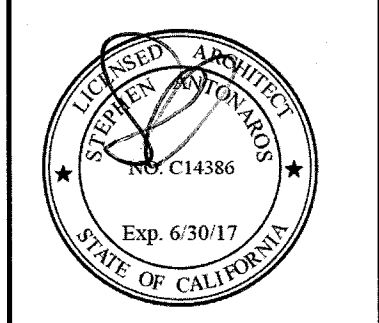
**NEW 17-UNIT MIXED-USE BUILDING**  
3548 Block Lot 039

1801 Mission Street & 287 14th Street

FOR 1801 Mission LLC (415) 861-9200

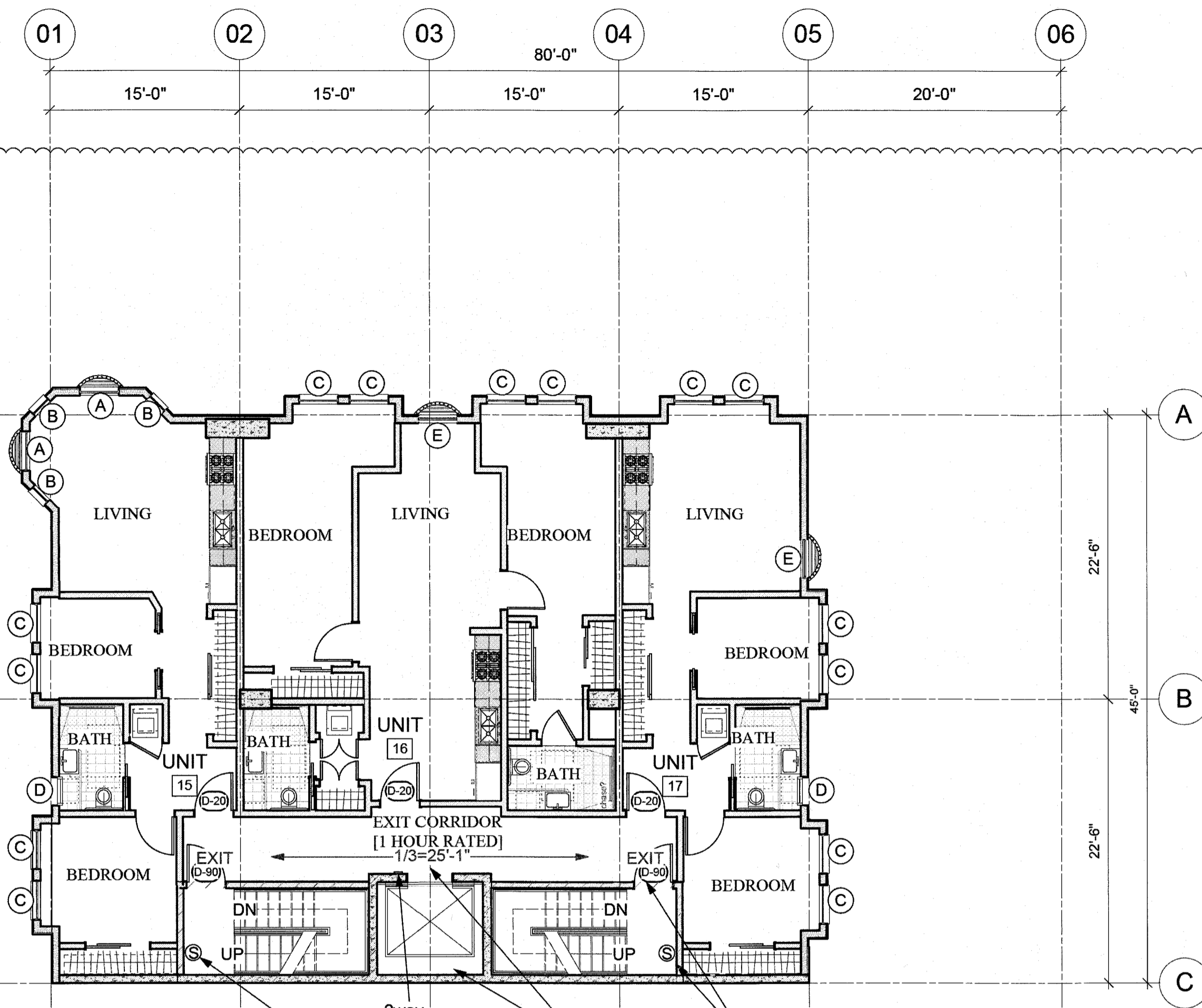
REVISION	DATE
Site Permit	May 26, 2016
BMR Site	Oct 27, 2016
Bldg & Fire	Jan 25, 2017

DATE: 10/01/2013  
SHEET TITLE: FLOOR PLANS LEVELS B THRU 3  
SHEET NO.: A-101

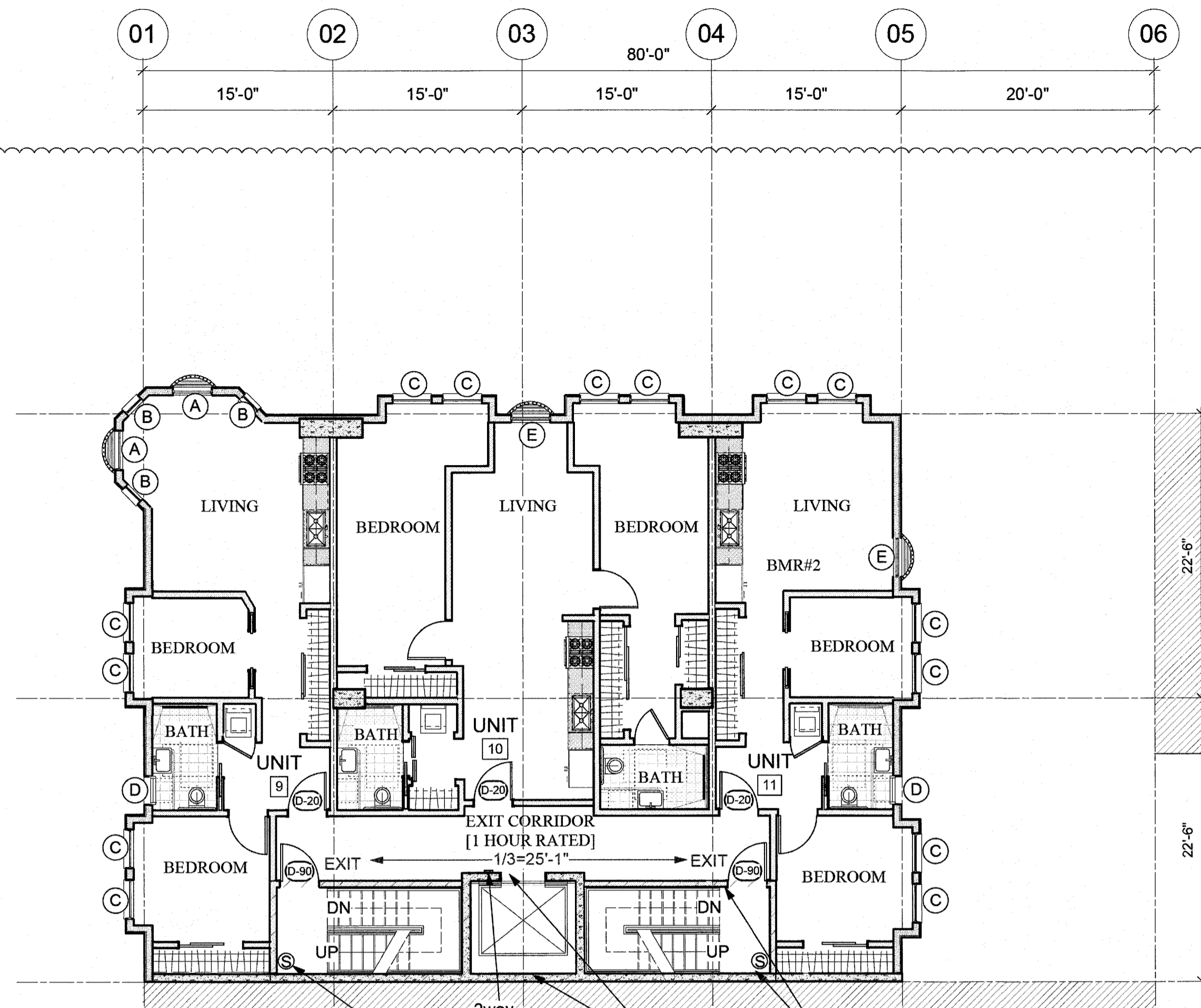


Approved Planning Dept. Chris [Signature] 3/2/17  
Kjetil Harshman, SFFD  
MAR 03 2017

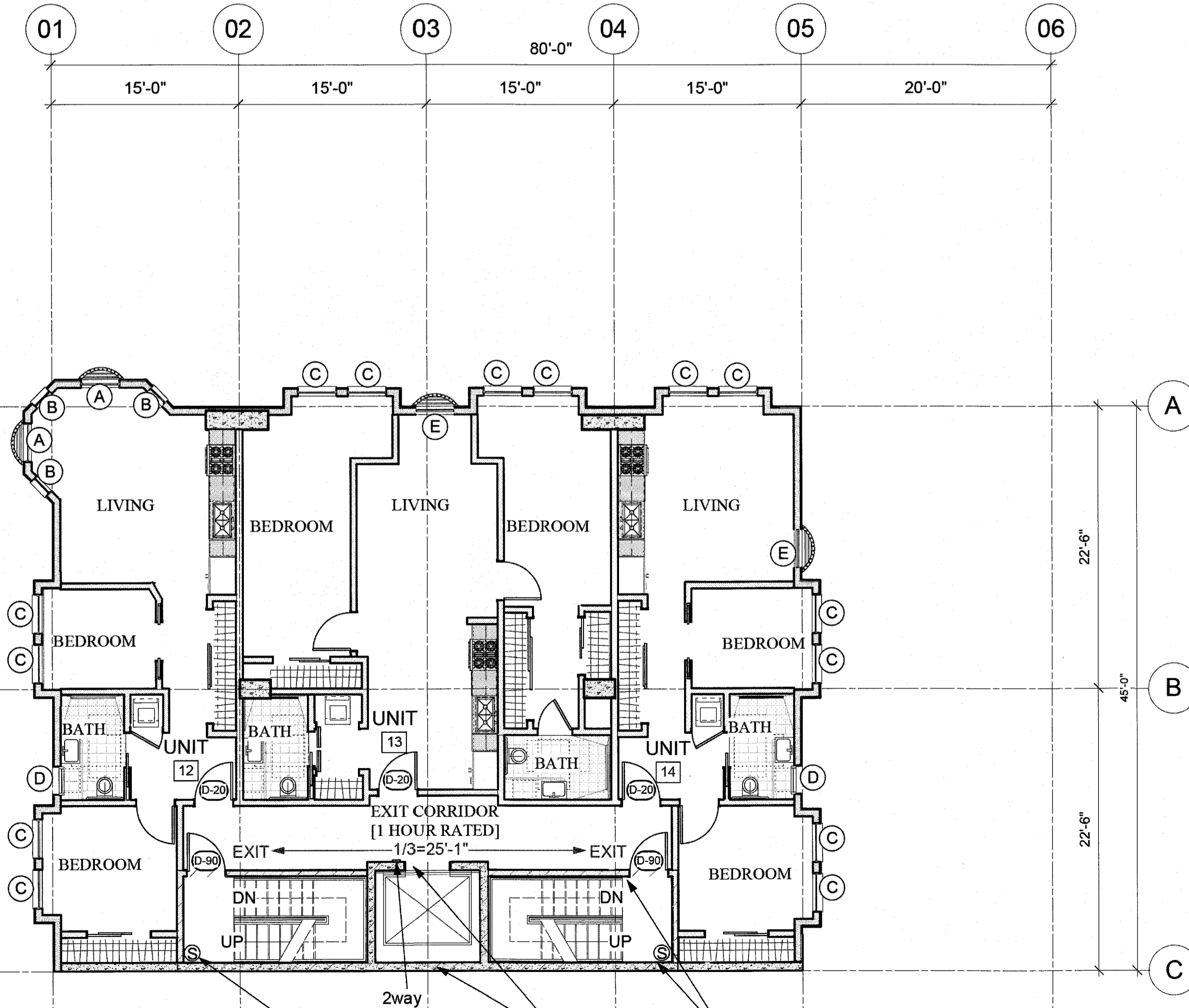




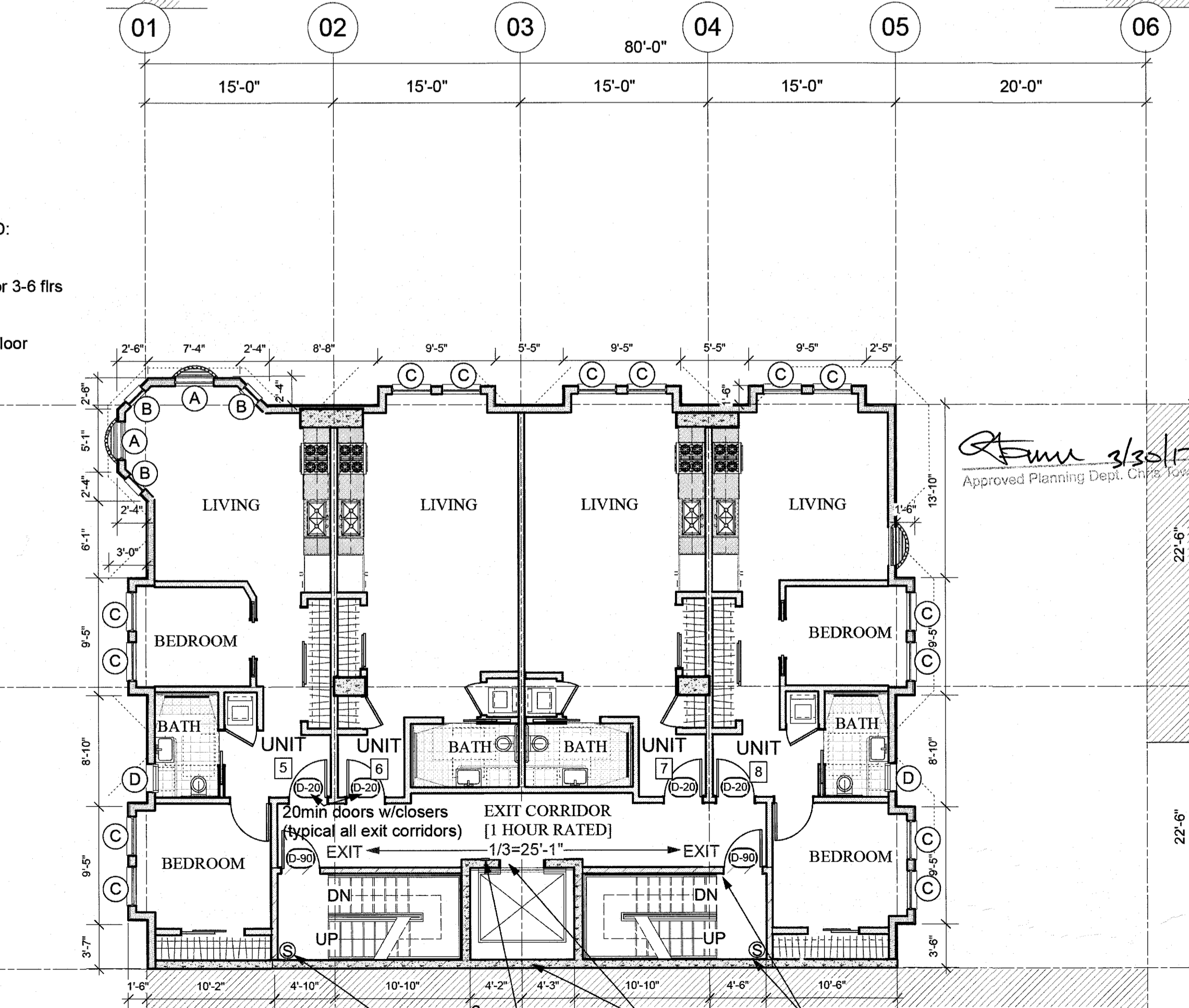
4 Level 6 - Floor Plan  
Scale: 1/8" = 1'-0"



2 Level 4 - Floor Plan  
Scale: 1/8" = 1'-0"



3 Level 5 - Floor Plan  
Scale: 1/8" = 1'-0"



1 Level 3 - Floor Plan  
Scale: 1/8" = 1'-0"

**APPROVED**  
Dept. of Building Insp.  
AUG 01 2017  
Tom C. Hines  
REGISTERED PROFESSIONAL ARCHITECT  
DEPT. OF BUILDING INSPECTION

- 3HR Concrete PIP or Shotcrete
  - 2 HOUR WALL (all shafts/enclosures)
  - 2 HOUR EXTERIOR WALL (Type III)
- All other walls not shown to be minimum 1 hour rated:  
1 layer 5/8" gyp. bd  
Type X each side  
SEE A-402 for wall details

OCCUPANT LOAD:  
RESIDENTIAL  
FLOOR - Typical for 3-6 flrs  
[2215 sq ft]  
11 occupants per floor

Brett Howard, DBI  
MAR 01 2017

PLAN REVISION  
MAR 01 2017  
DEPARTMENT OF BUILDING INSPECTION  
FOR PLAN REVISIONS THE QUALITY STANDARD FOR REVISIONS ACCEPTED BY

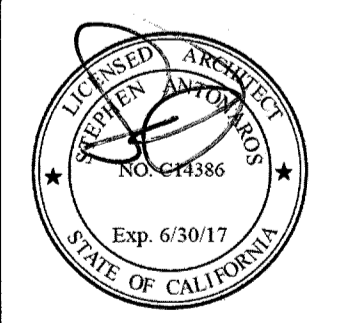
**STEPHEN ANTONAROS ARCHITECT**  
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**NEW 17-UNIT MIXED-USE BUILDING**

3548 Block Lot 039

1801 Mission Street & 287 14th Street  
FOR 1801 Mission LLC  
(415) 861-9200

REVISION	DATE
Site Permit	May 26, 2016
BMR Site	Oct 27, 2016
Bldg & Fire	Jan 25, 2017



DATE  
10/01/2013

SHEET TITLE  
**FLOOR PLANS LEVELS 4 THRU 7**

SHEET NO.  
**A-102**

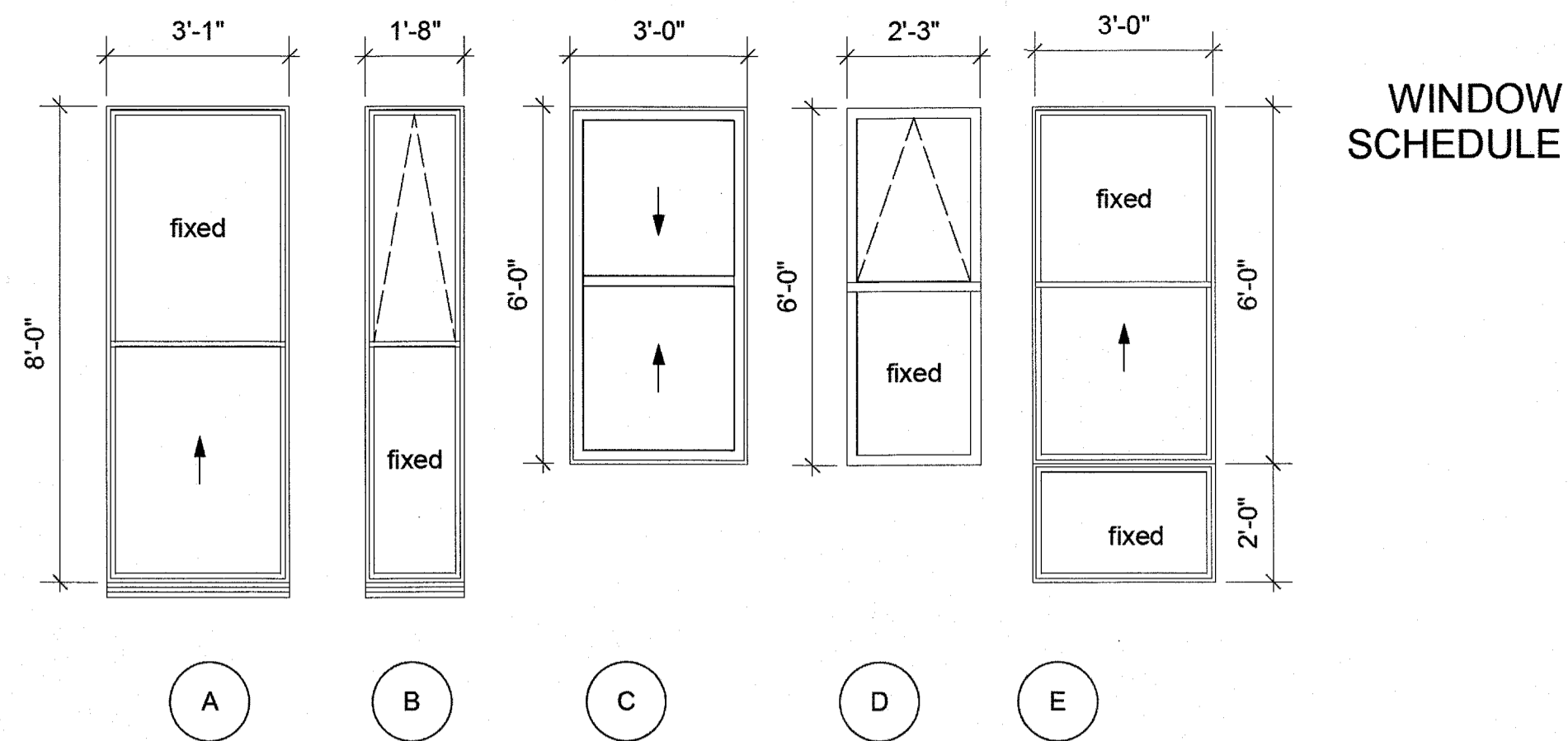
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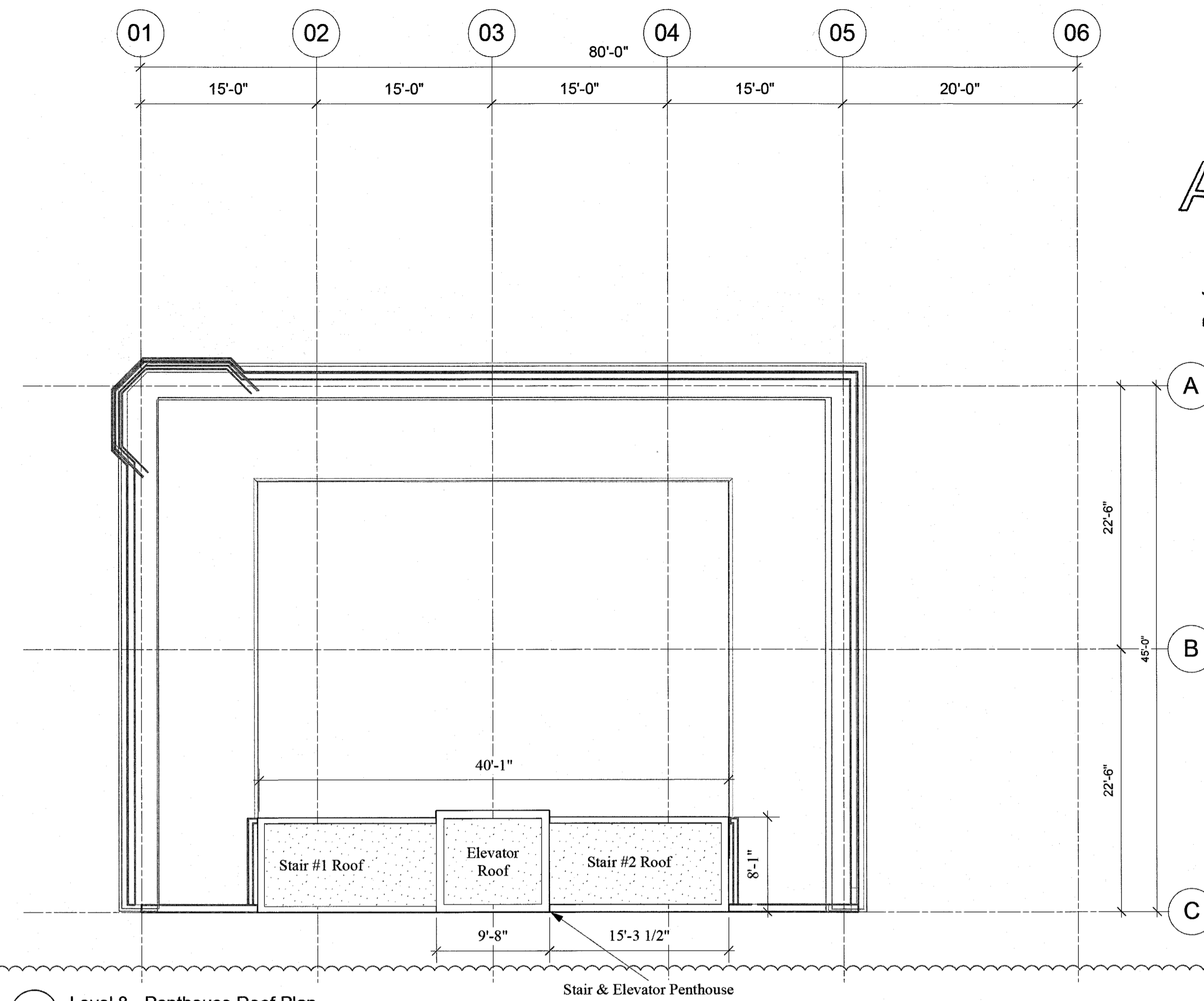
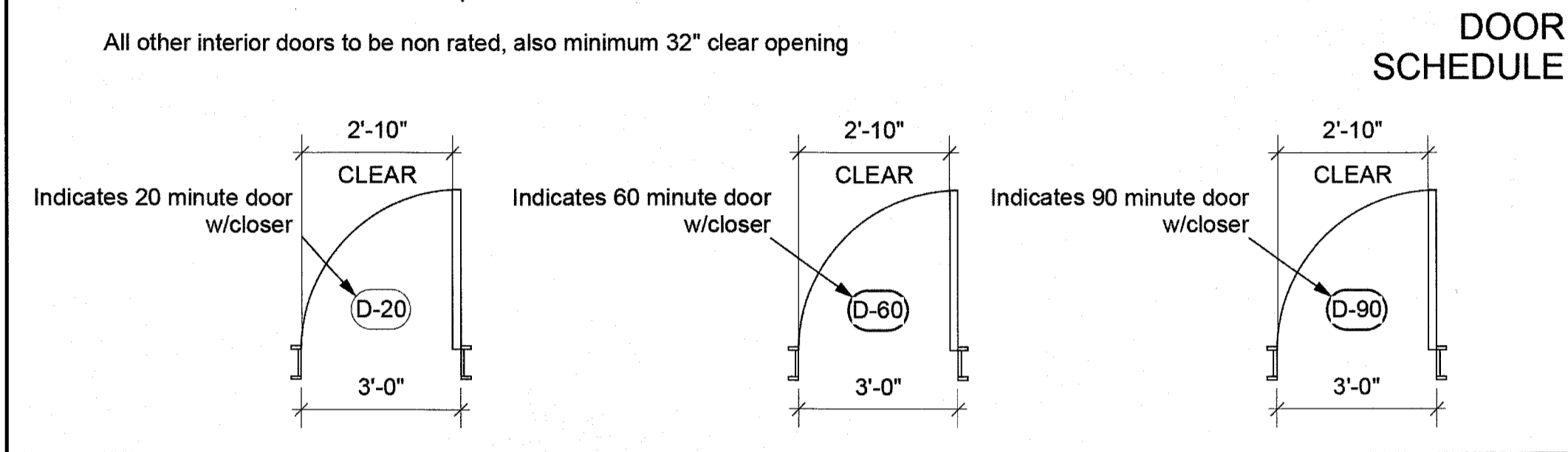


Materials:

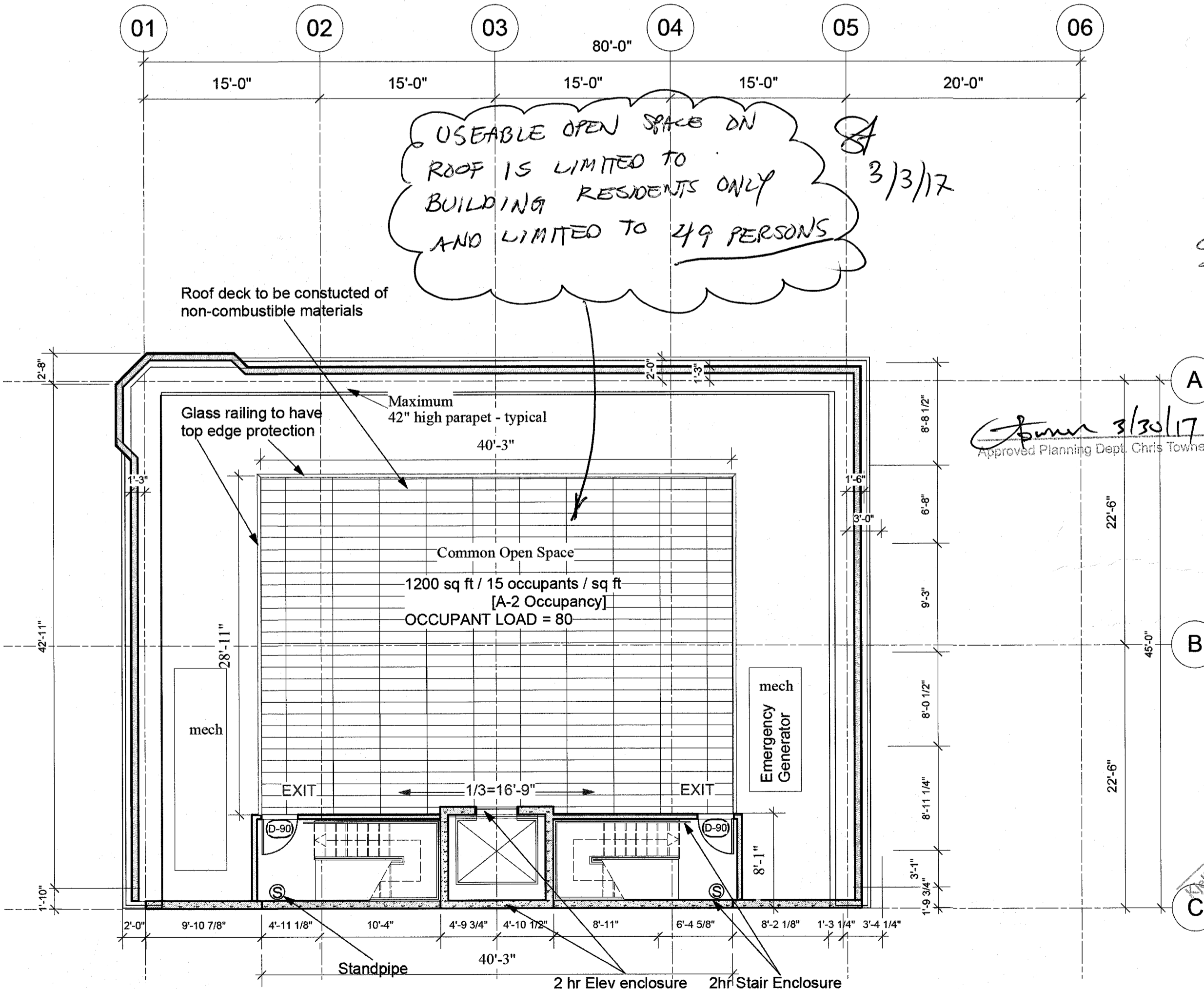
	Portland Cement Trim & Cornice
	Cementitious Panels



All Door Hardware to be ADA compliant  
 All other interior doors to be non rated, also minimum 32" clear opening



2 Level 8 - Penthouse Roof Plan  
 Scale: 1/8" = 1'-0"



1 Level 7 - Floor / Roof Plan  
 Scale: 1/8" = 1'-0"

**APPROVED**  
 Dept. of Building Insp.  
 AUG 01 2017  
 Tom C. Hill, III  
 INSPECTOR  
 DEPT. OF BUILDING INSPECTION

**STEPHEN ANTONAROS ARCHITECT**  
 2261 Market Street #324  
 San Francisco, California 94114  
 santonaros@sbcglobal.net  
 (415) 864 2261  
 www.antonaros.com

**NEW 17-UNIT MIXED-USE BUILDING**

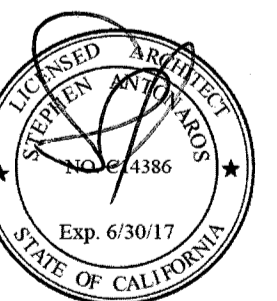
3548 Block  
 Lot 039

1801 Mission Street  
 & 287 14th Street

REVISION	DATE
Site Permit	May 26, 2016
BMR Site	Oct 27, 2016
Bldg & Fire	Jan 25, 2017

FOR  
 1801 Mission LLC  
 (415) 861-9200

*Brett Howard, DBI*  
 MAR 01 2017  
**PLAN REVISION**  
 MAR 01 2017  
 DEPARTMENT OF BUILDING INSPECTION  
 THIS PLAN MEETS THE QUALITY CONTROL REQUIREMENTS FOR BIDDING  
 ACCEPTED BY



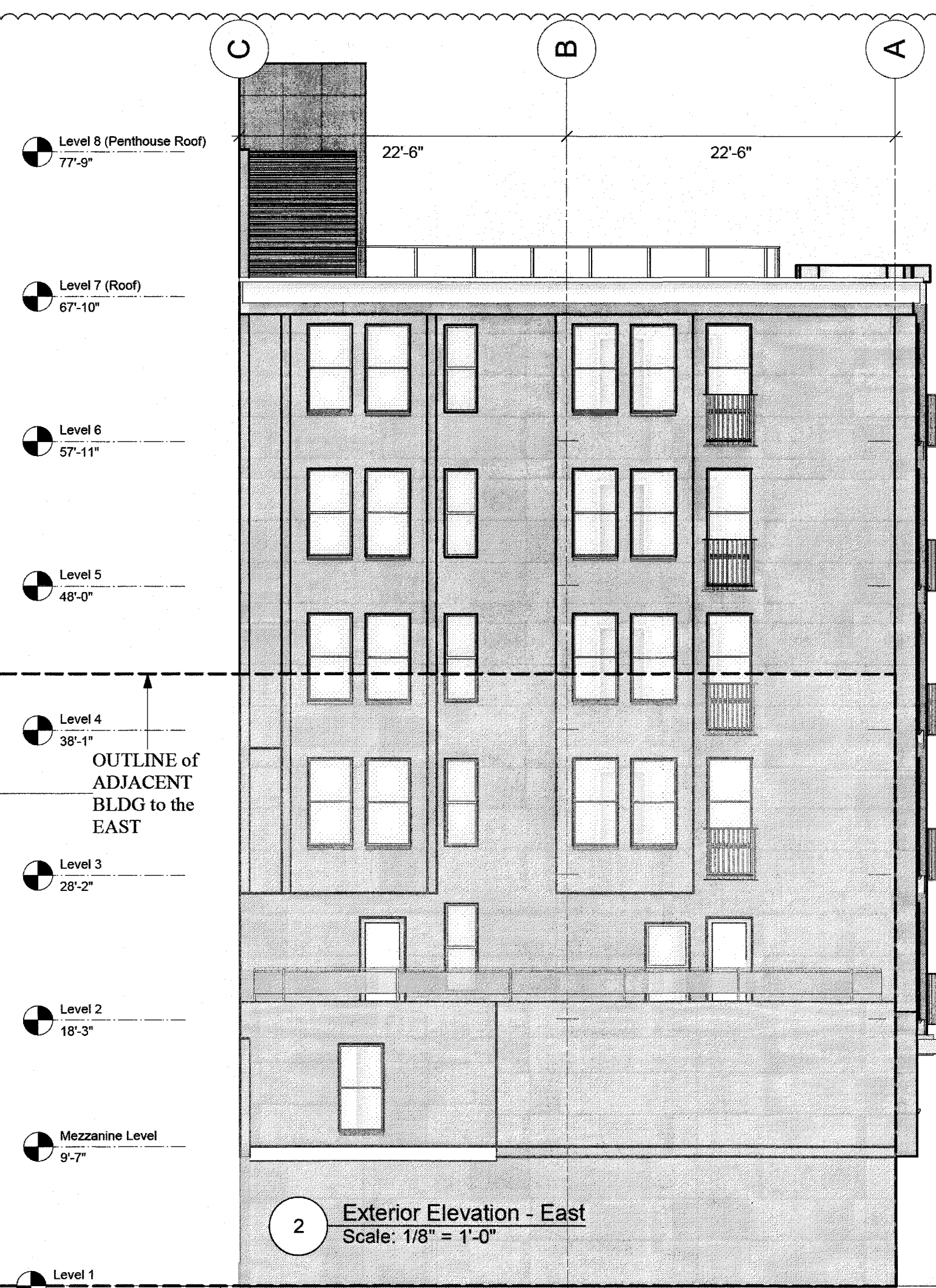
DATE  
 10/01/2013

SHEET TITLE  
**FLOOR PLANS LEVELS 8 - THRU ROOF**

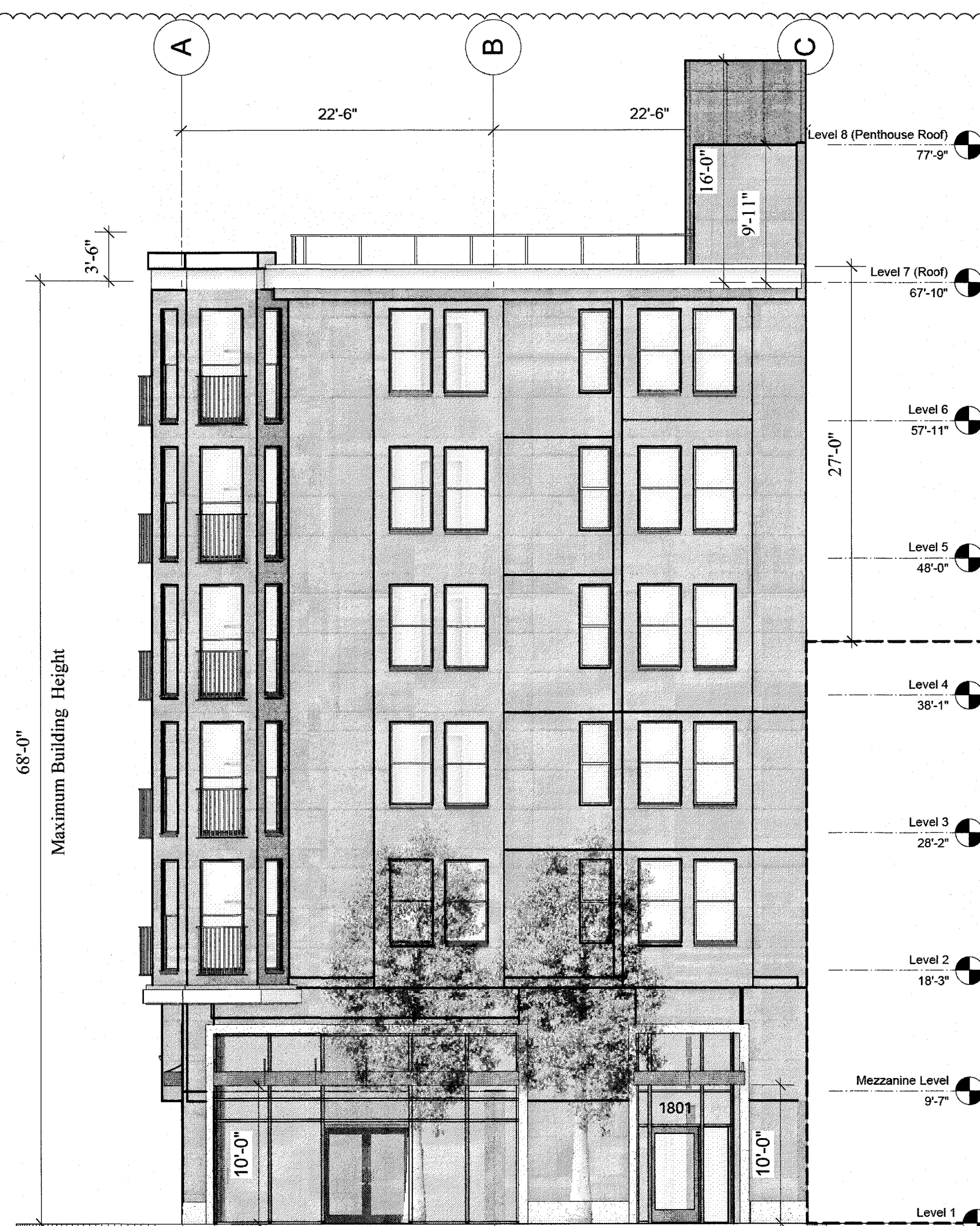
SHEET NO.  
**A-103**

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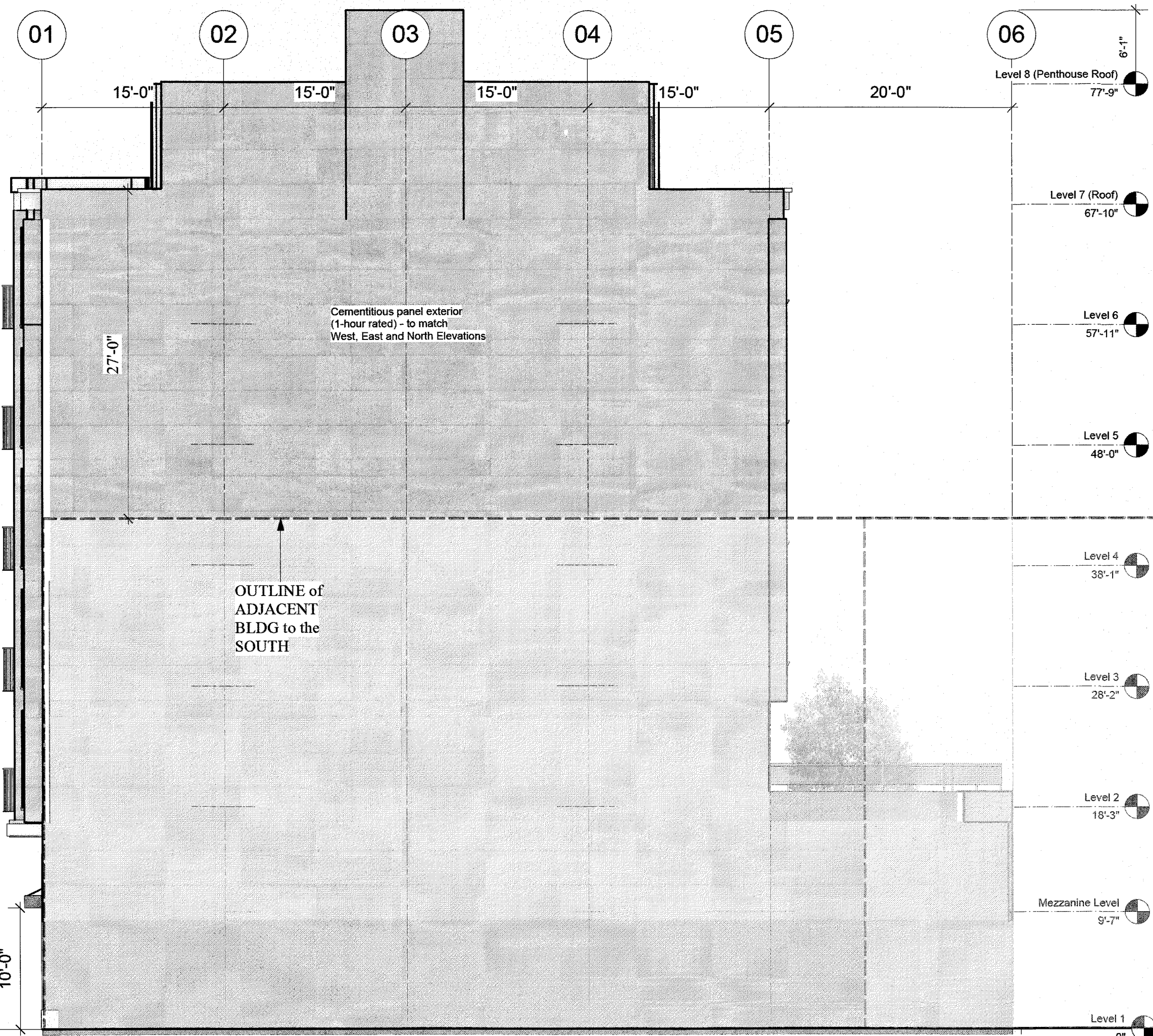


2 Exterior Elevation - East  
Scale: 1/8" = 1'-0"

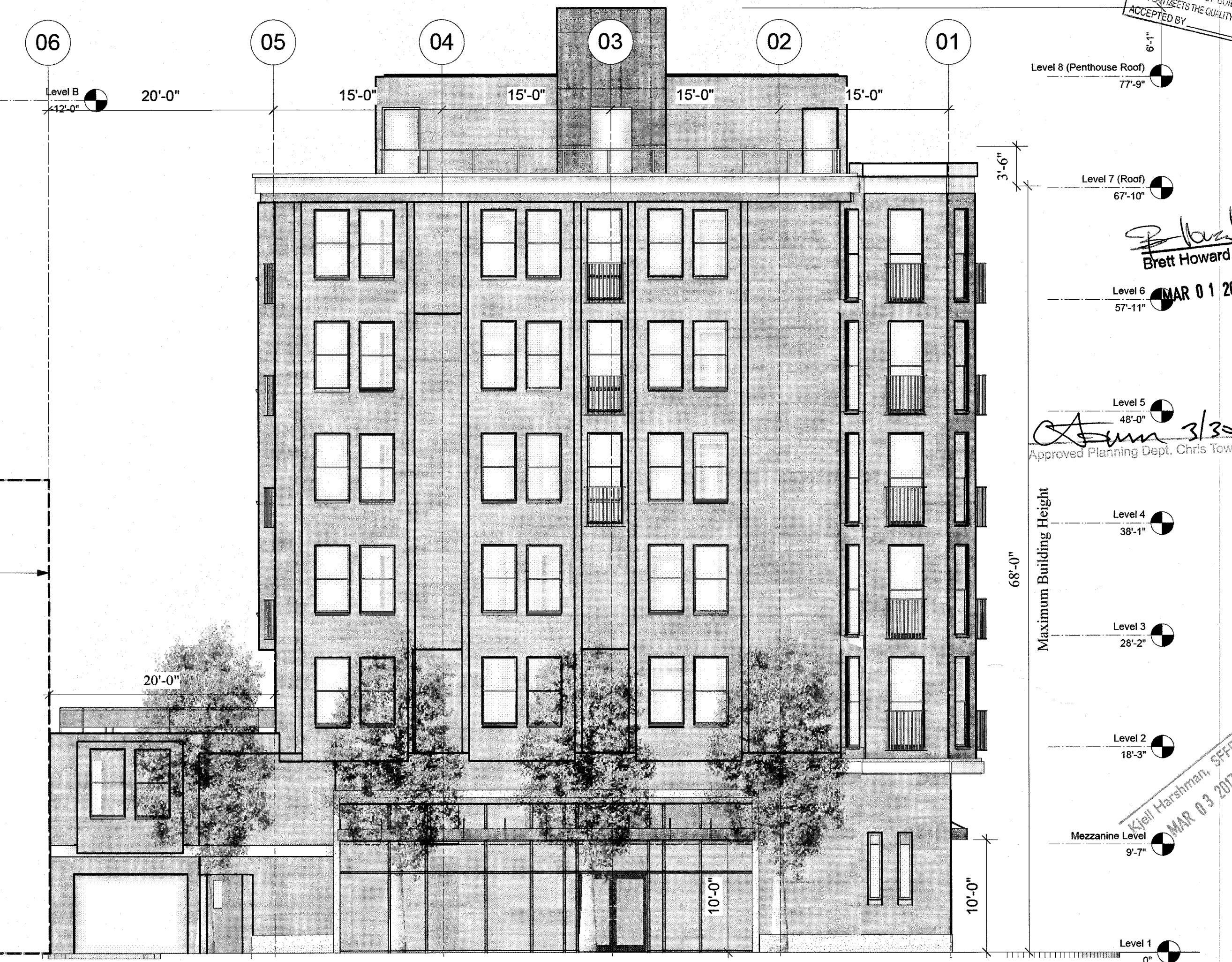


4 Exterior Elevation - West  
Scale: 1/8" = 1'-0"

**APPROVED**  
Dept. of Building Insp.  
AUG 01 2017  
Tom C. Hae  
INSPECTOR  
DEPT. OF BUILDING INSPECTION



3 Exterior Elevation - South  
Scale: 1/8" = 1'-0"



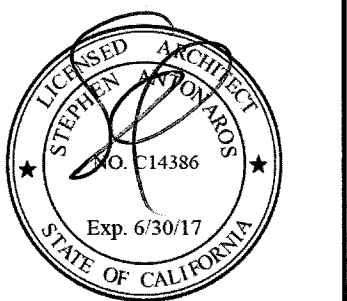
1 Exterior Elevation - North  
Scale: 1/8" = 1'-0"

**PLAN REVISION**  
MAR 01 2017  
DEPARTMENT OF BUILDING INSPECTION  
THIS PLAN SETS THE QUALITY STANDARDS  
ACCEPTED BY:

REVISION	DATE
Site Permit	May 26, 2016
BMR Site	Oct 27, 2016
Bldg & Fire	Jan 25, 2017

Brett Howard, DBI  
MAR 01 2017

Chris Townes  
3/30/17  
Approved Planning Dept. Chris Townes



DATE  
10/01/2013

SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET NO.  
**A-201**

**STEPHEN ANTONAROS ARCHITECT**  
2261 Market Street #324  
San Francisco, California 94114  
santonaros@sbcglobal.net  
(415) 864 2261  
www.antonaros.com

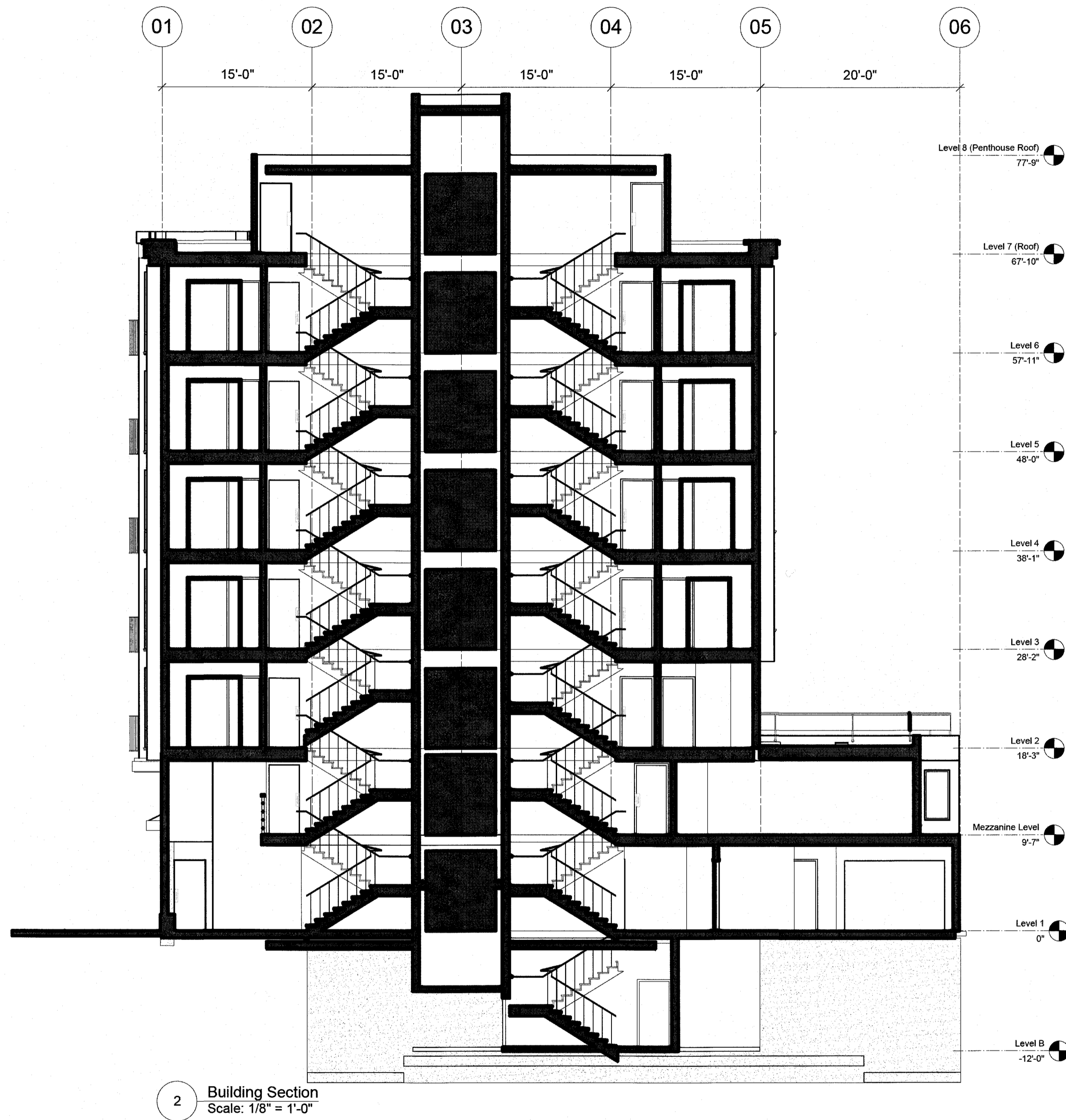
**NEW 17-UNIT MIXED-USE BUILDING**

3548 Block  
Lot 039

1801 Mission Street  
& 287-14th Street  
FOR  
1801 Mission LLC  
(415) 861-9200

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APPROVED  
Dept. of Building Insp.

AUG 01 2017

Tom C. Hise  
Tom C. Hise  
DIRECTOR  
DEPT. OF BUILDING INSPECTION

STEPHEN ANTONAROS ARCHITECT

2261 Market Street #324  
San Francisco, California 94114  
santonaros@sbcglobal.net  
(415) 864-2261  
www.antonaros.com

NEW 17-UNIT  
MIXED-USE  
BUILDING

3548 Block  
Lot 039

1801 Mission Street  
& 287 14th Street

FOR  
1801 Mission LLC  
(415) 861-9200

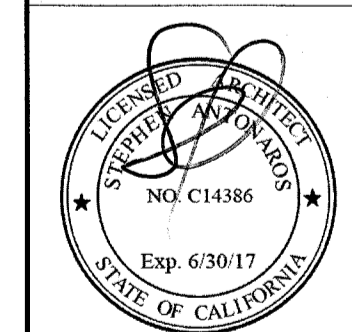
REVISION	DATE
Site Permit	May 26, 2016
BMR Site	Oct 27, 2016
Bldg & Fire	Jan 25, 2017

Brett Howard, DBI  
MAR 01 2017

Chris Townes 3/30/17  
Approved Planning Dept. Chris Townes

PLAN REVISION  
MAR 01 2017  
DEPARTMENT OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY STANDARD FOR MARKING  
ACCEPTED BY

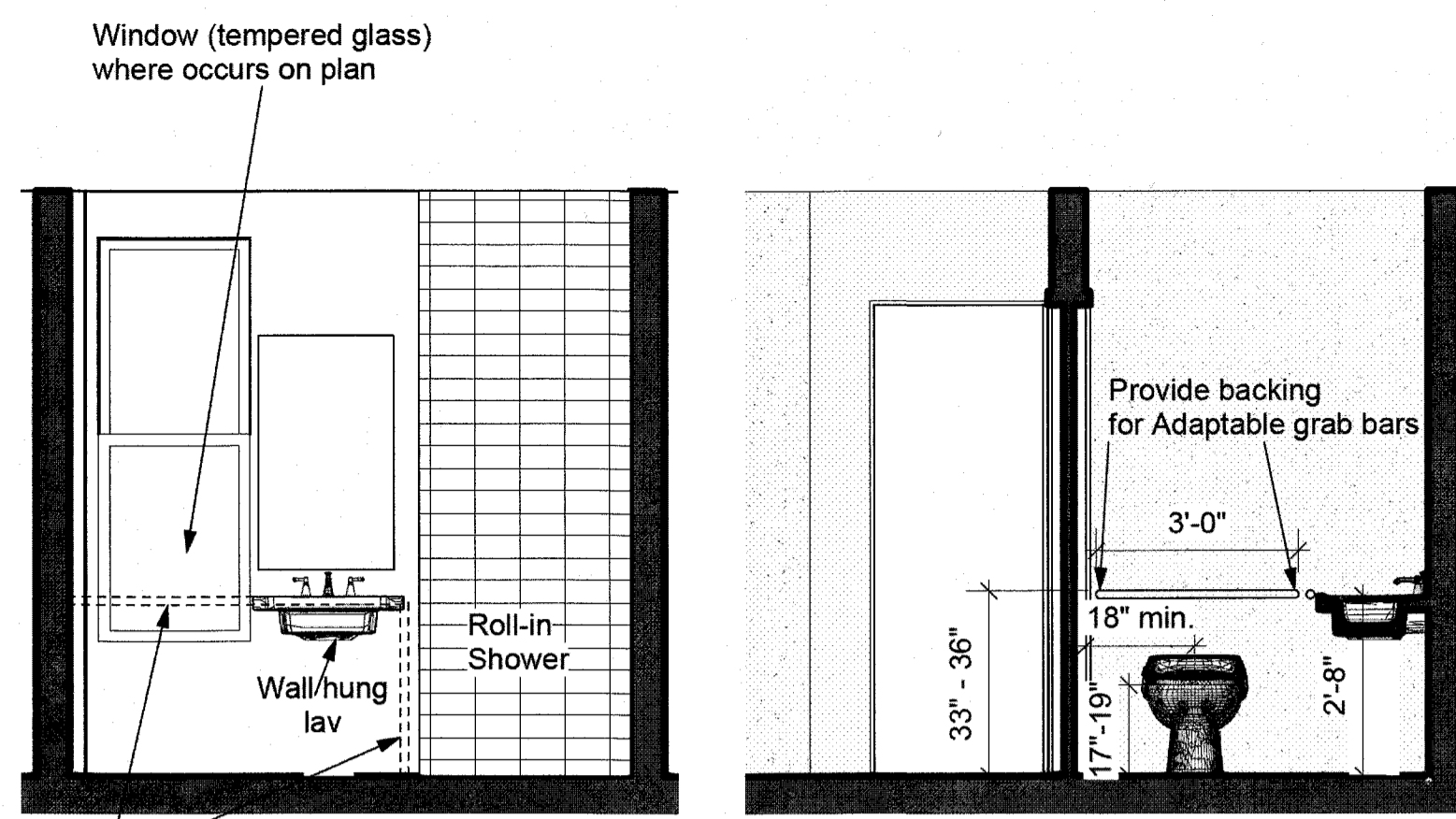
Kjell Harschman, SFFD  
L-11 P 3 2017



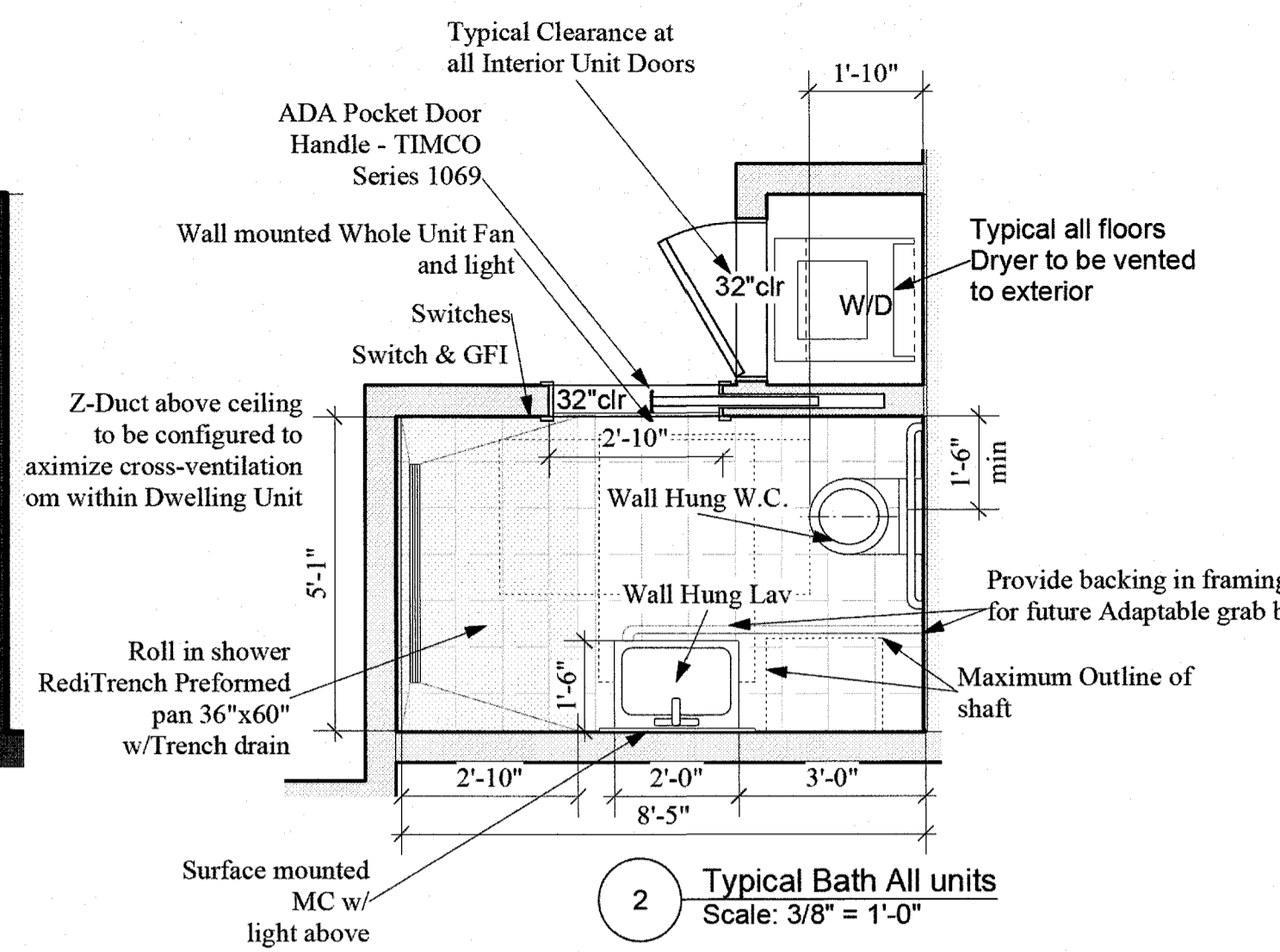
DATE  
10/01/2013

SHEET TITLE  
BUILDING SECTIONS

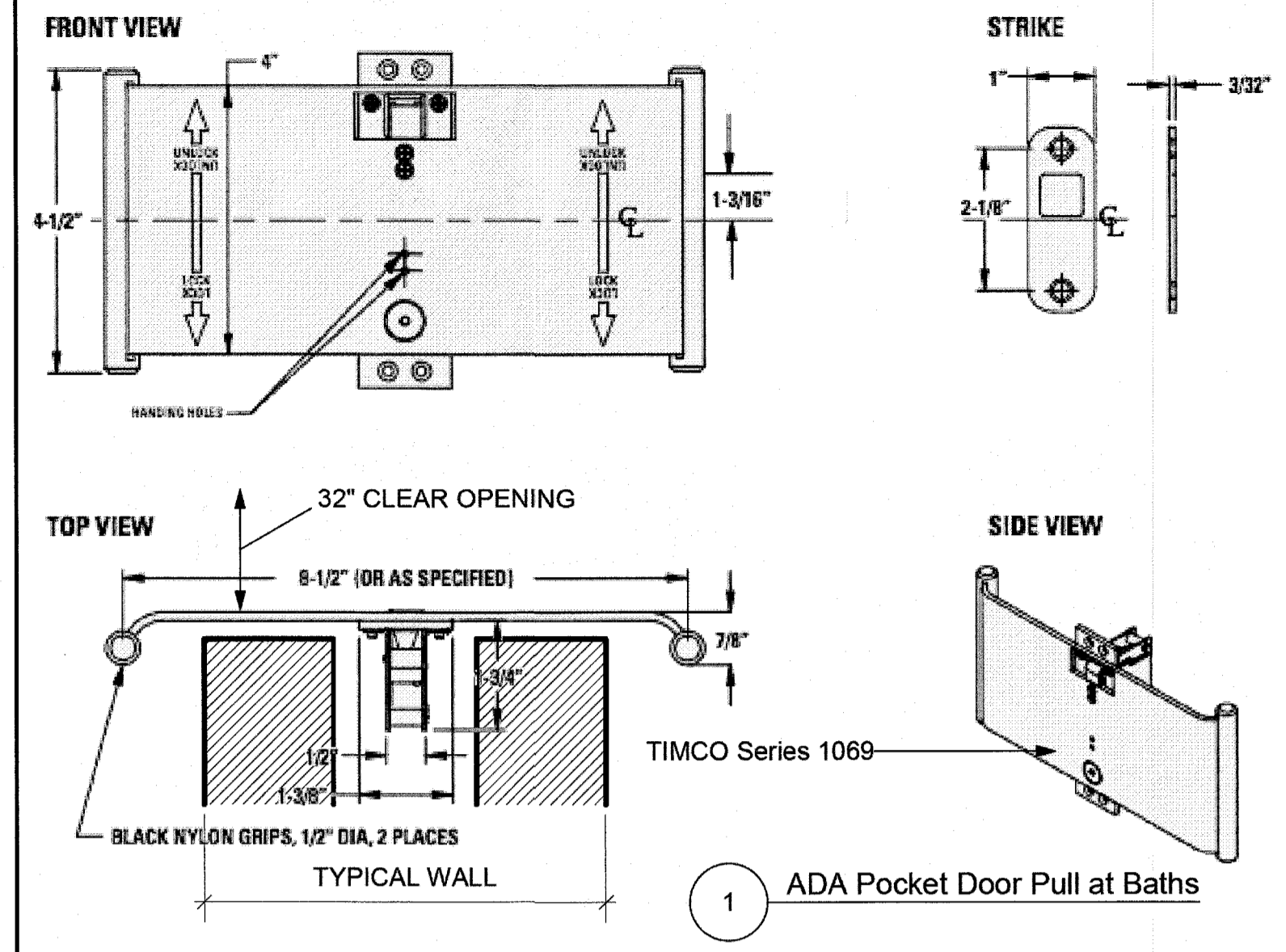
SHEET NO.  
A-301



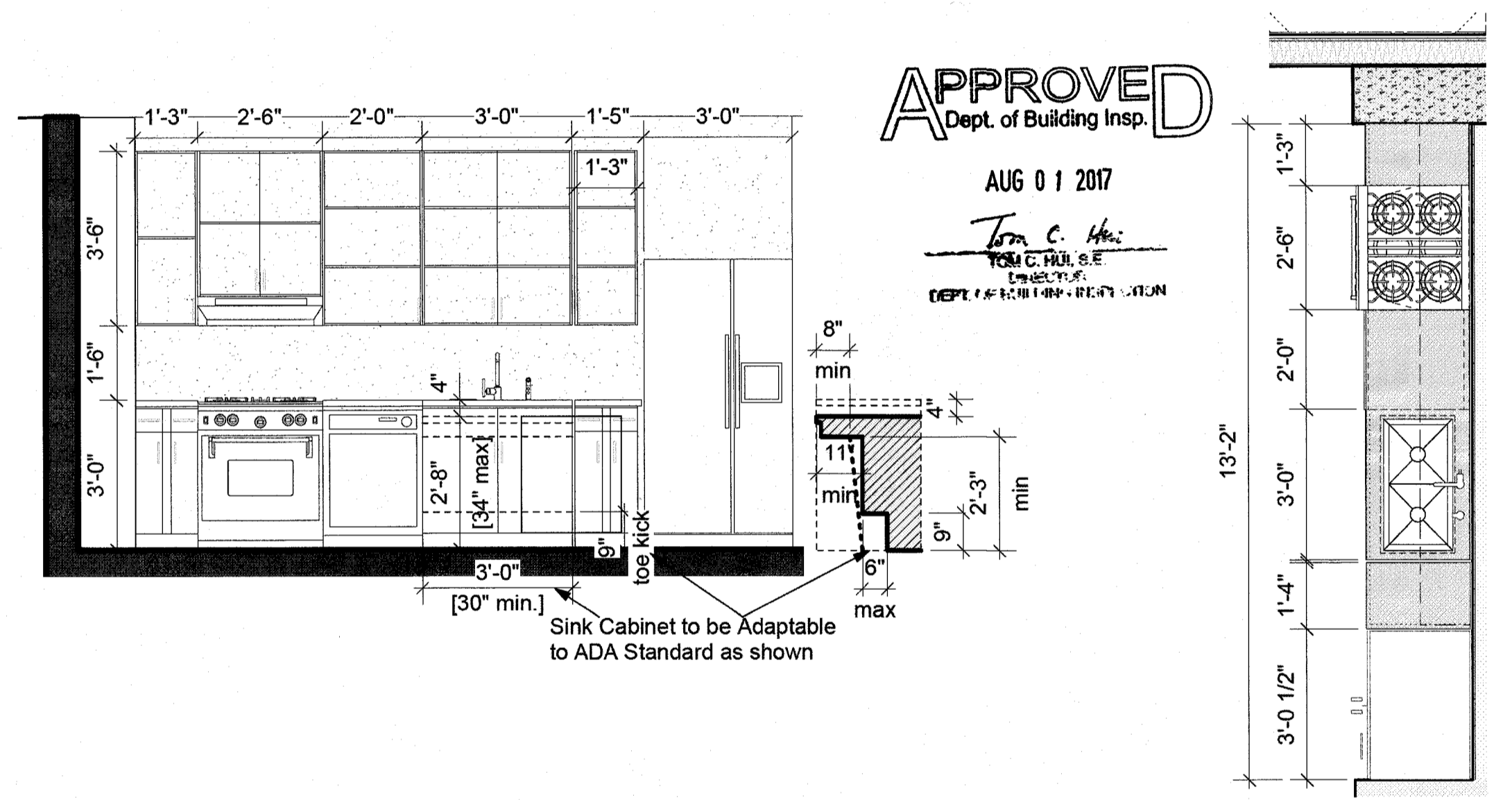
2b BATH - Elevation Scale: 3/8" = 1'-0"  
 2a Typical Bath Elevation Scale: 3/8" = 1'-0"



2 Typical Bath All units Scale: 3/8" = 1'-0"



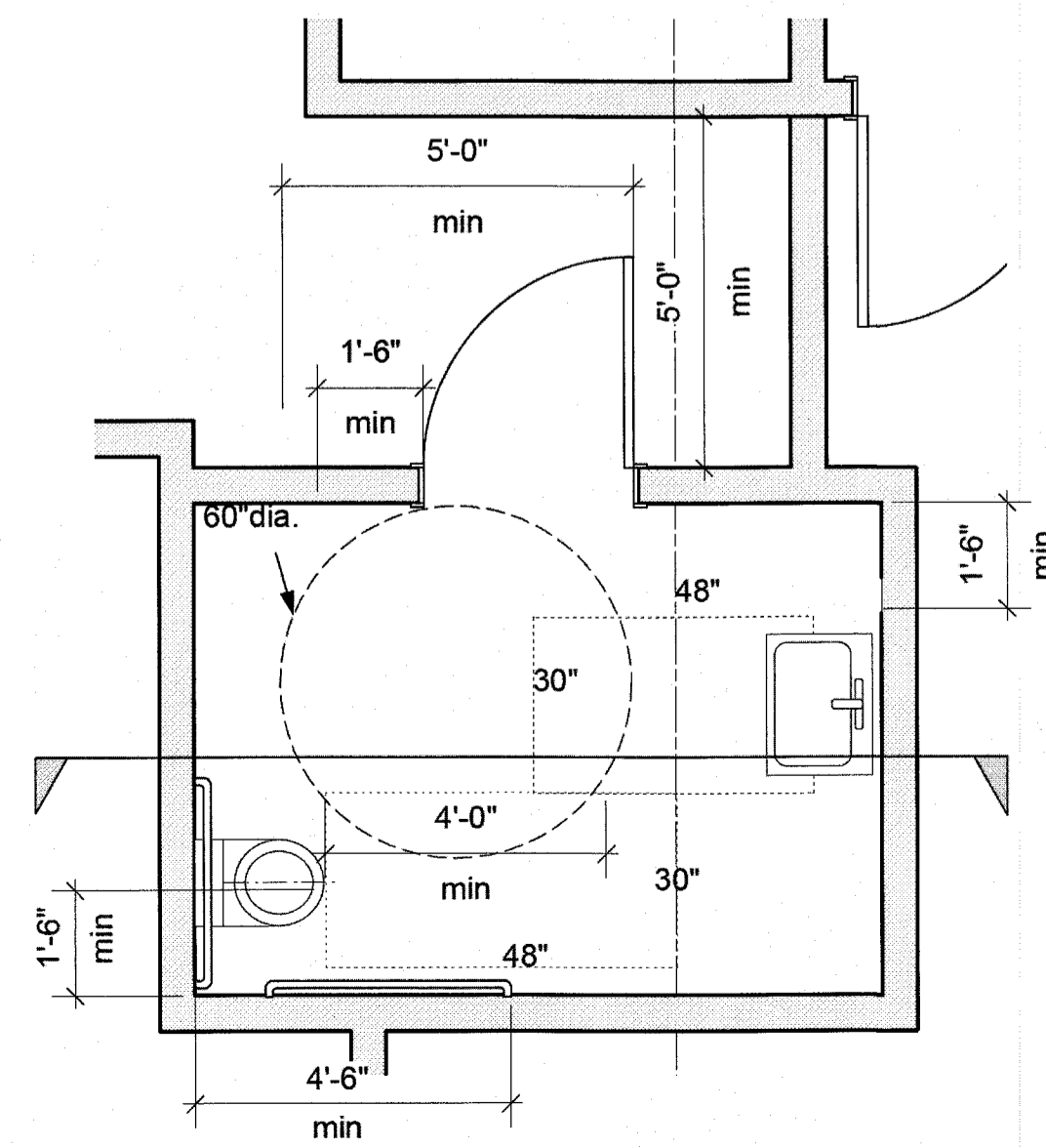
1 ADA Pocket Door Pull at Baths



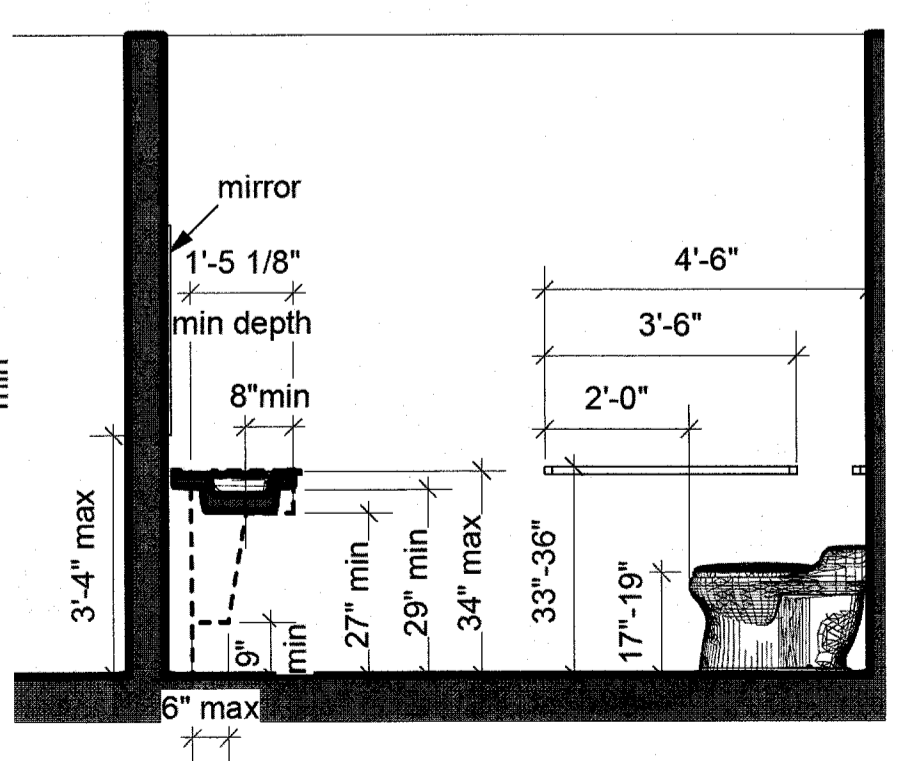
3a Typical Kitchen Elevation Scale: 3/8" = 1'-0"

3 Typical Kitchen Plan - All units Scale: 3/8" = 1'-0"

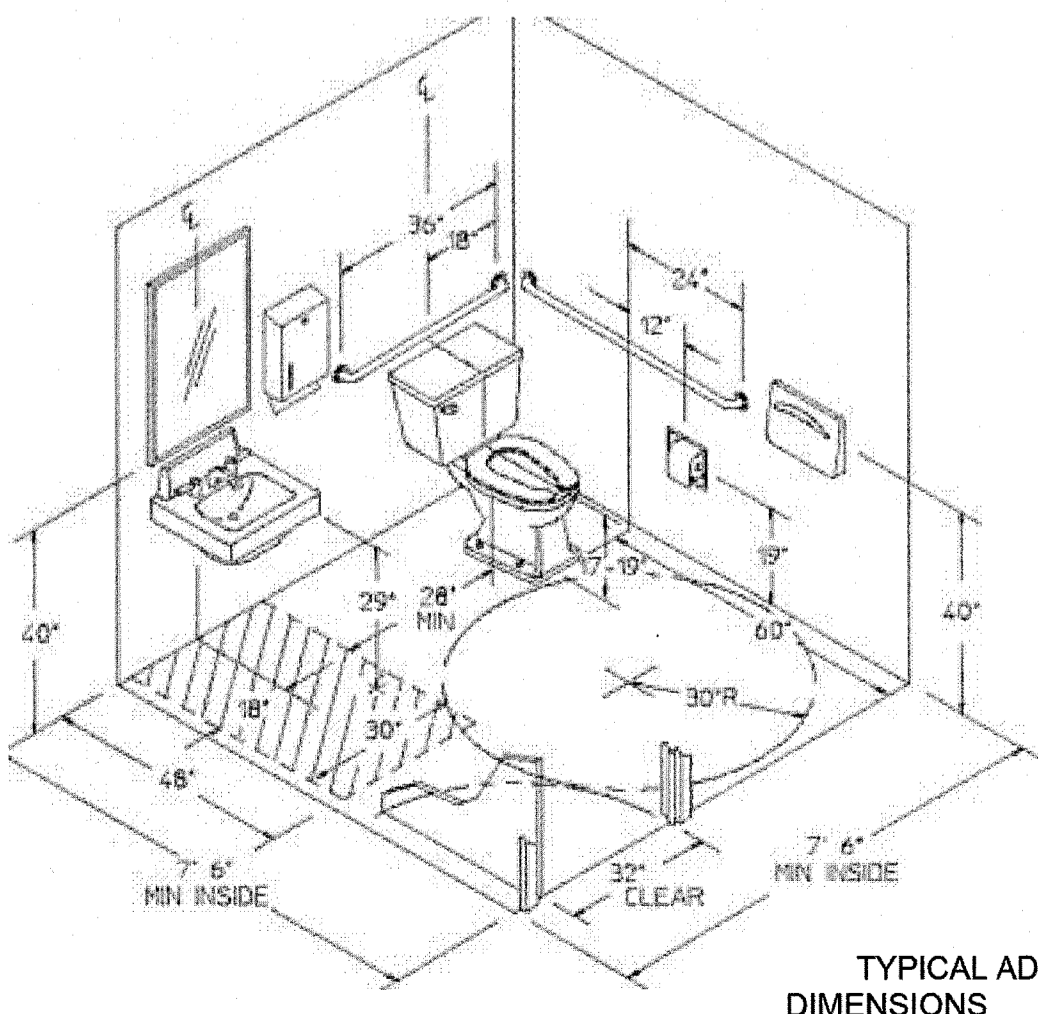
Brett Howard, DBI  
 MAR 01 2017



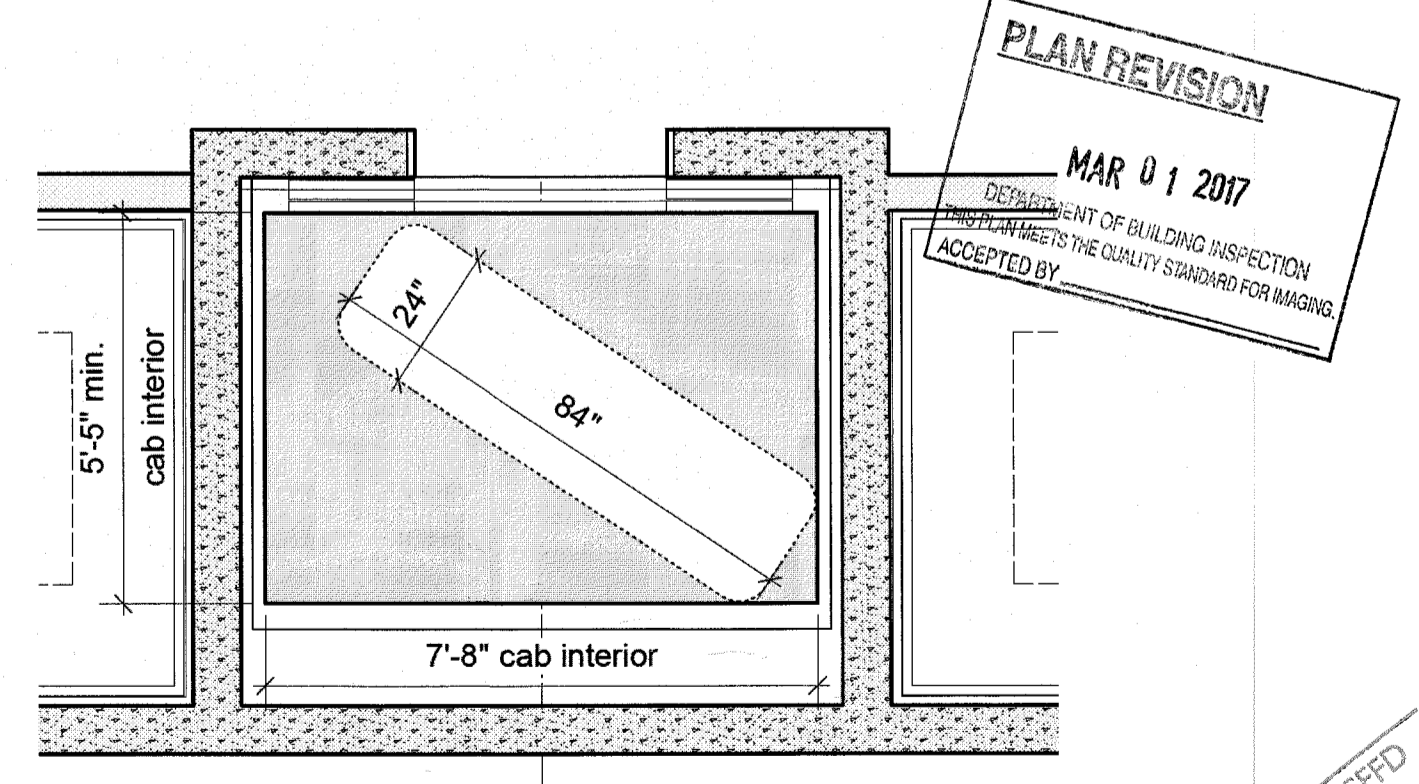
4 ADA Restroom @ RETAIL Scale: 3/8" = 1'-0"



4a ADA Restroom Elevation Scale: 3/8" = 1'-0"



TYPICAL ADA DIMENSIONS



5 ADA ELEVATOR Scale: 3/8" = 1'-0"

Approved Planning Dept. Chris Towler  
 3/30/17

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 2261 Market Street #324  
 San Francisco, California 94114  
 santonaros@sbcglobal.net (415) 864 2261  
 www.antonaros.com

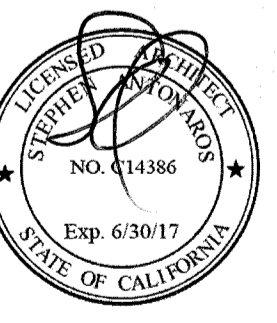
NEW 17-UNIT MIXED-USE BUILDING

3548 Block Lot 039

1801 Mission Street & 287 14th Street

FOR 1801 Mission LLC (415) 861-9200

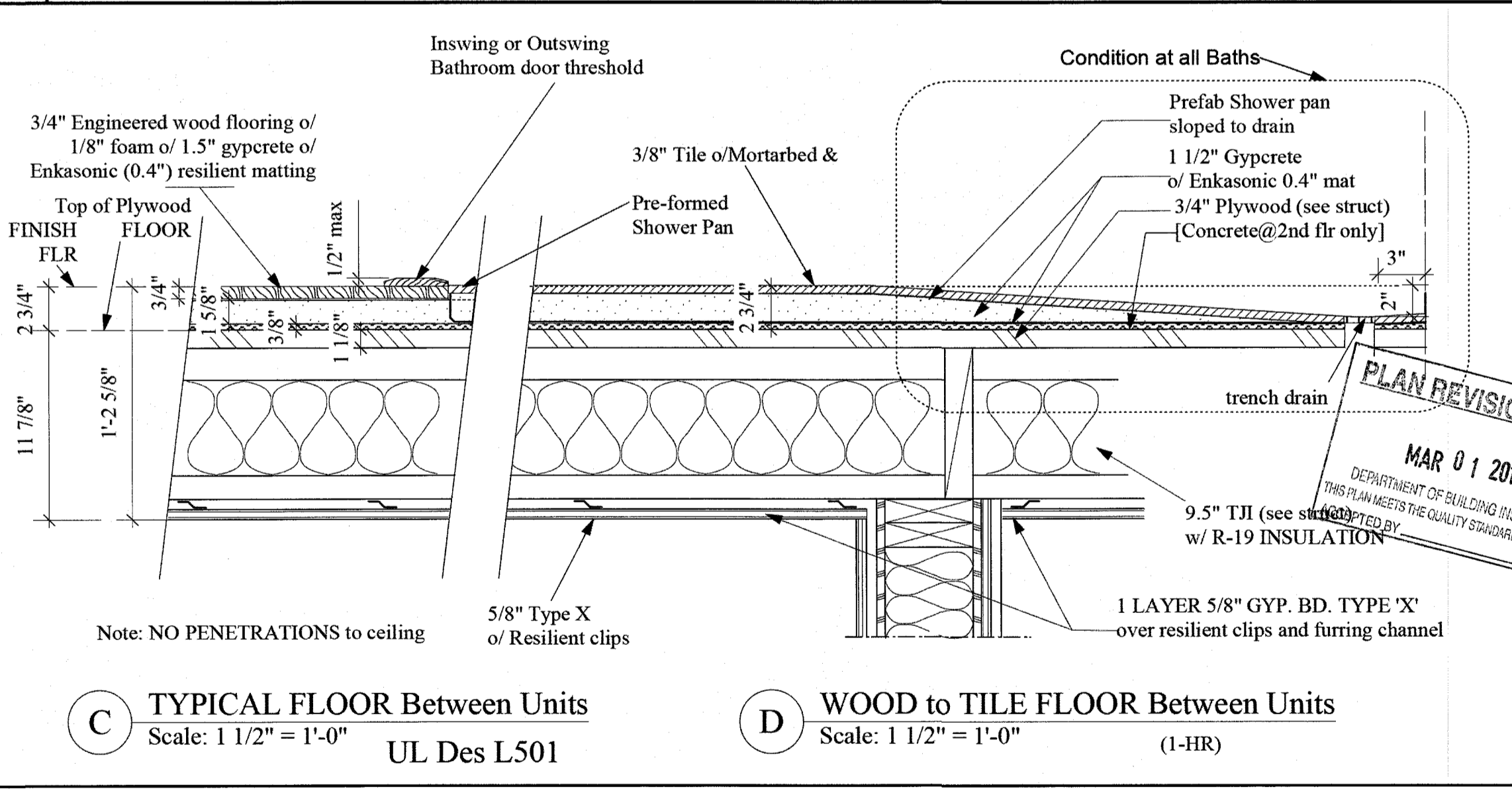
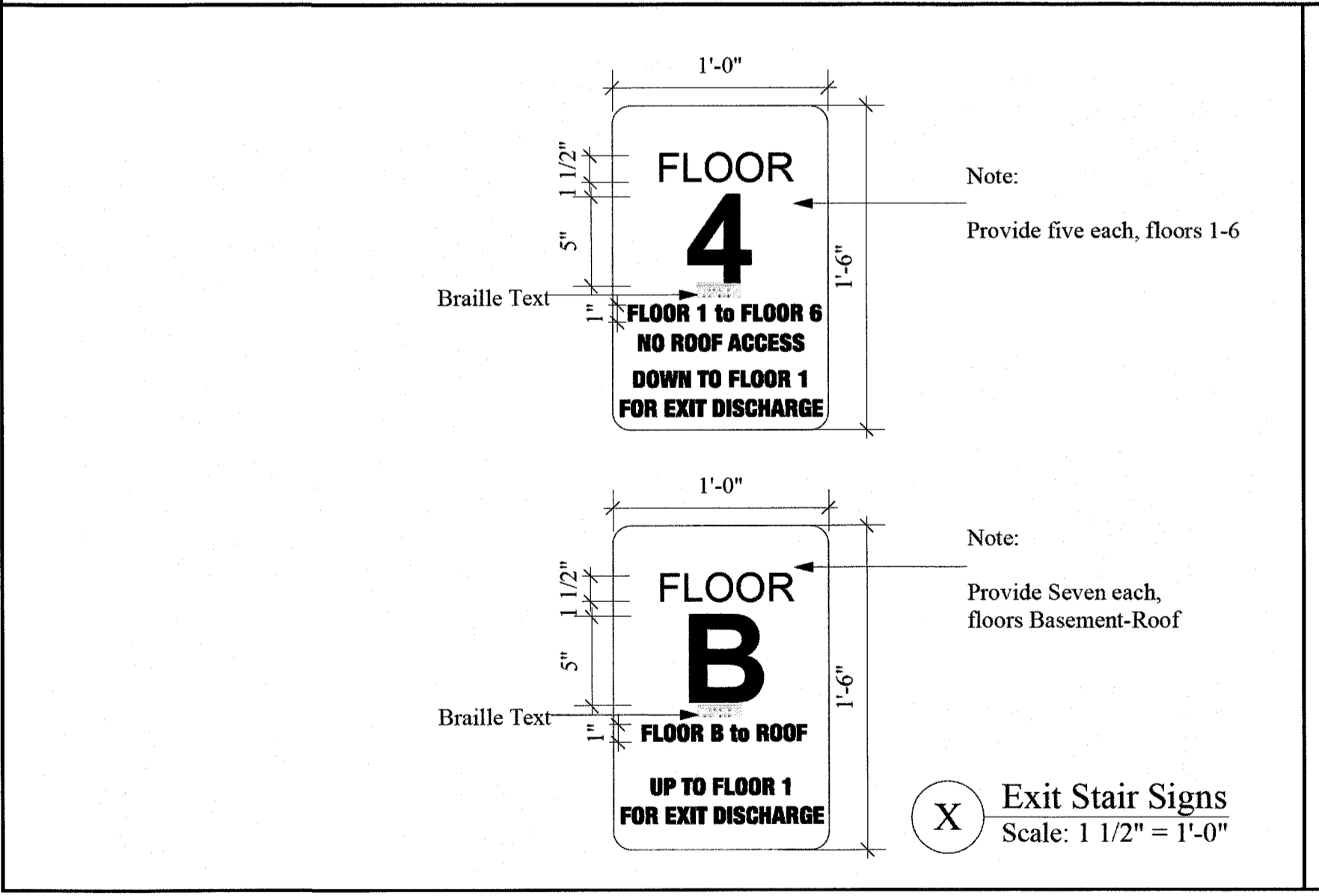
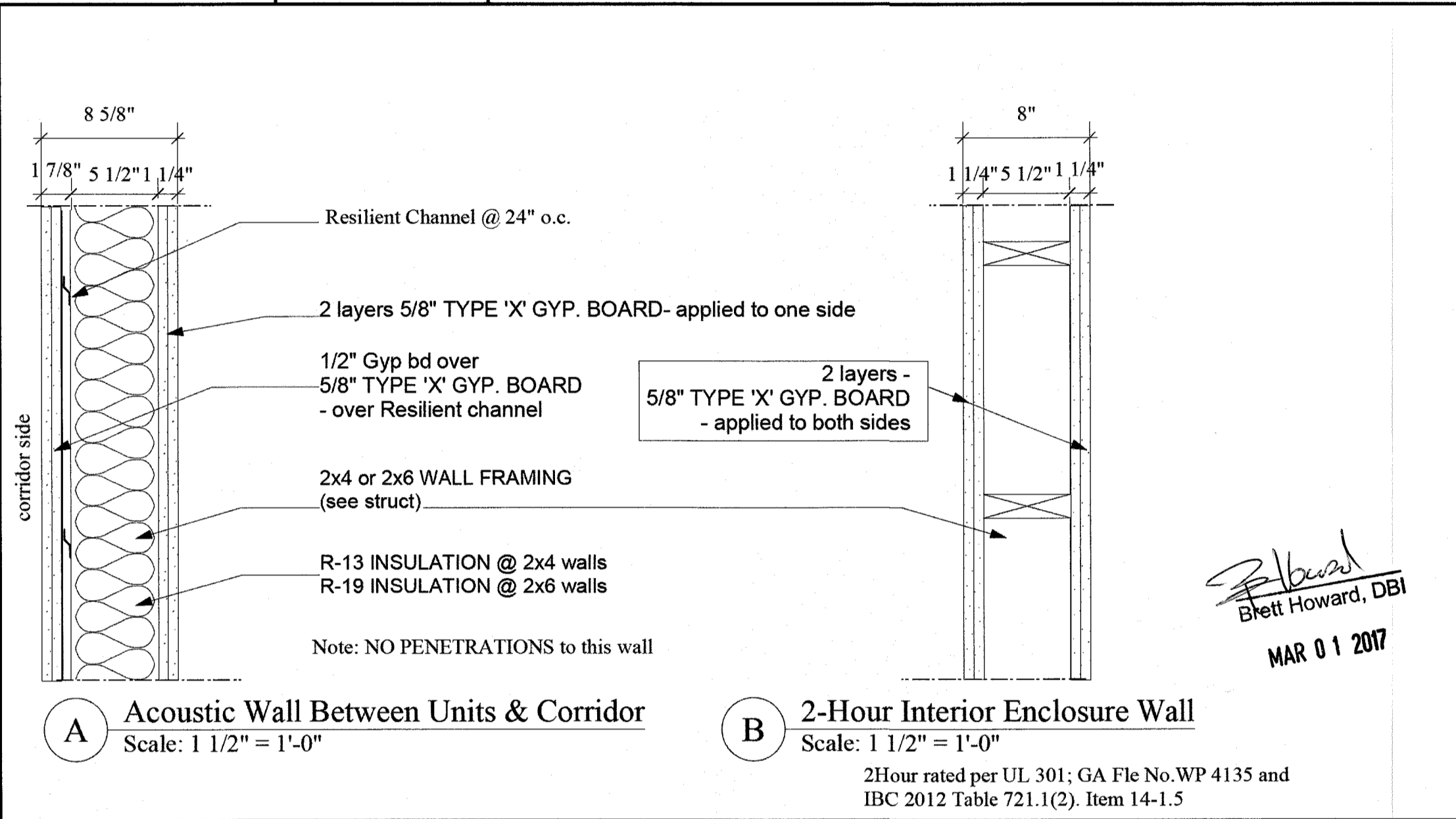
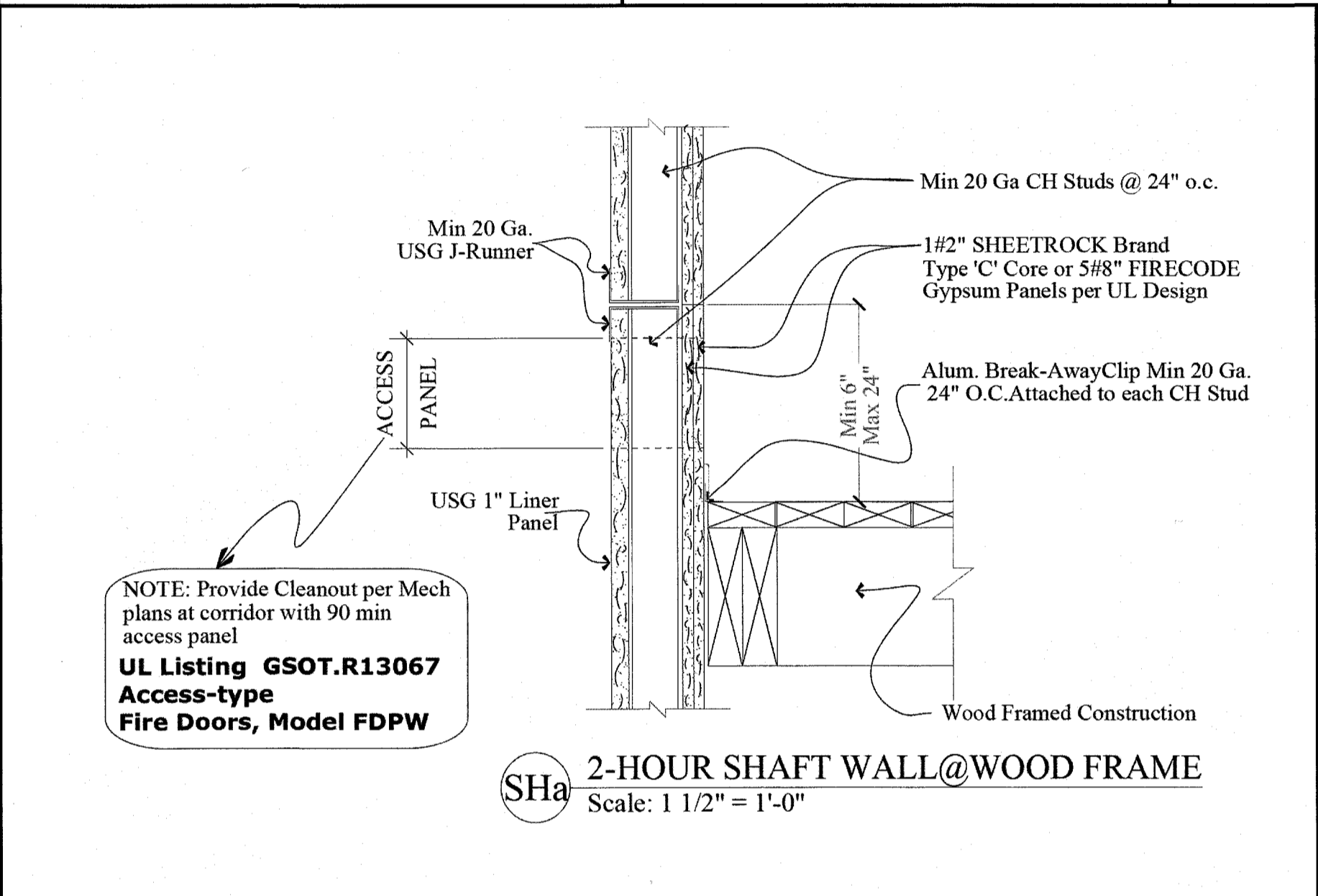
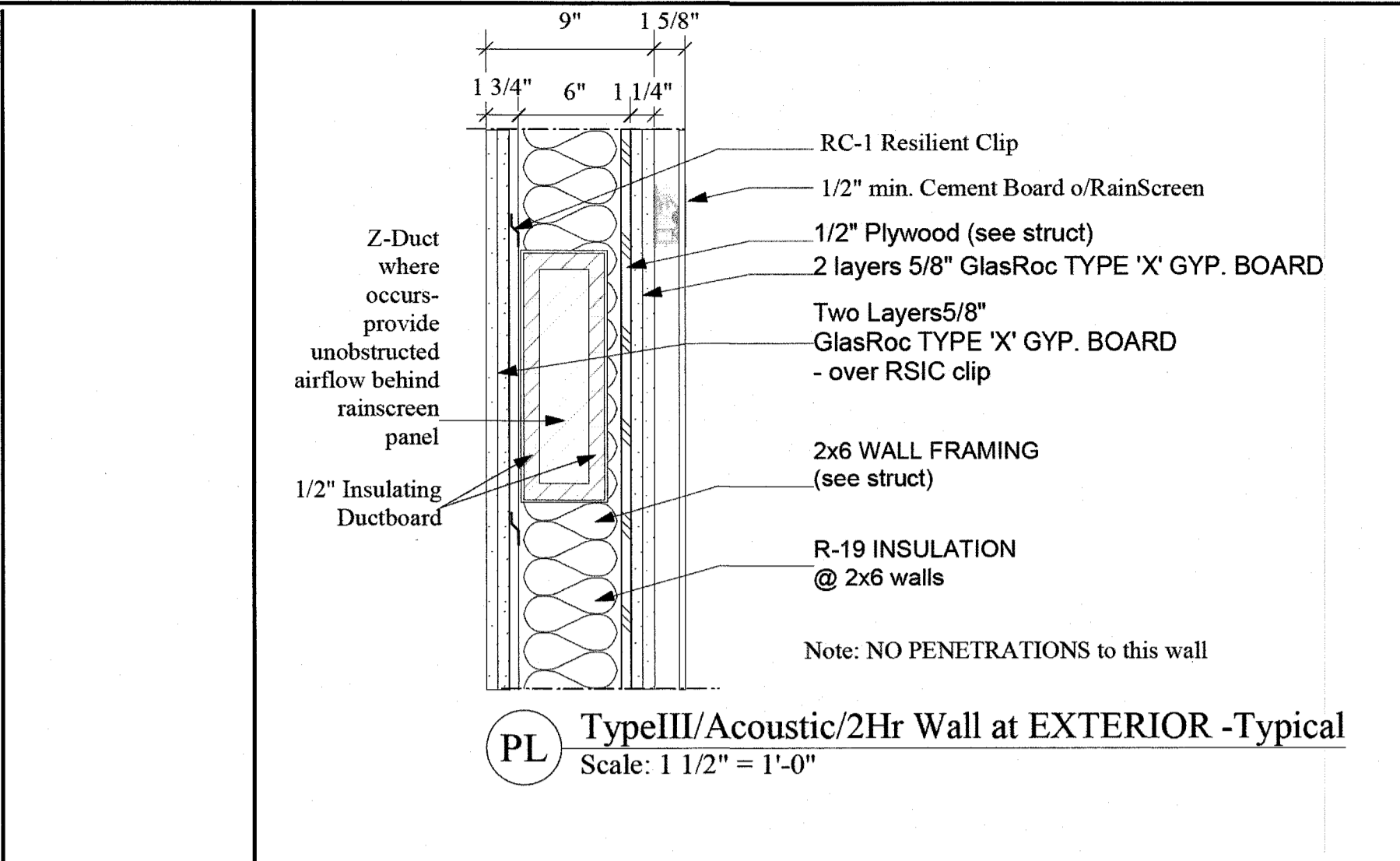
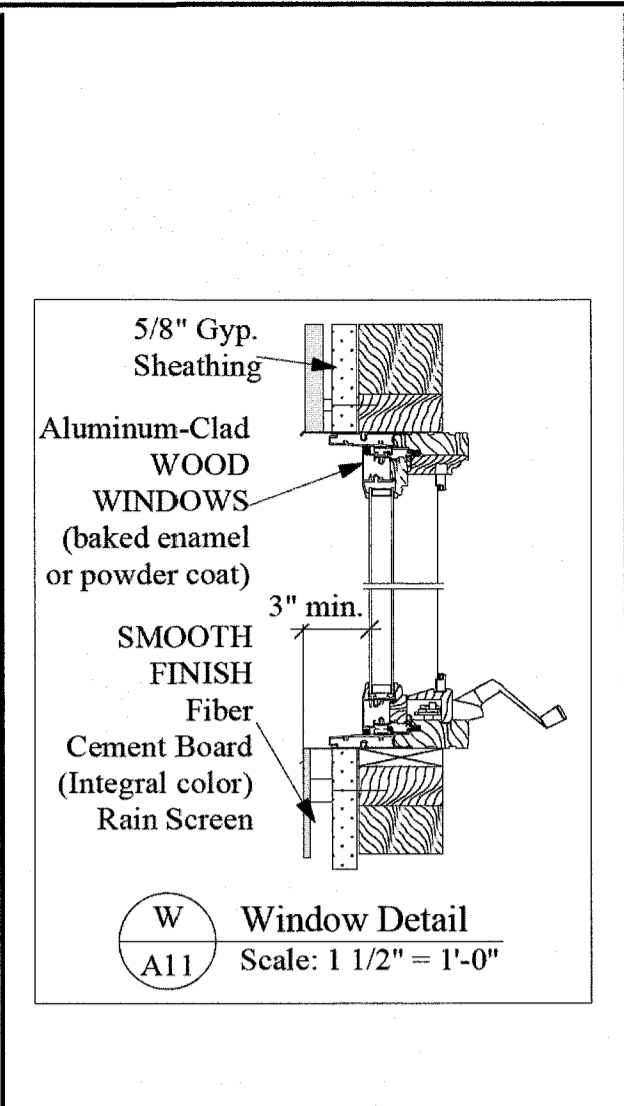
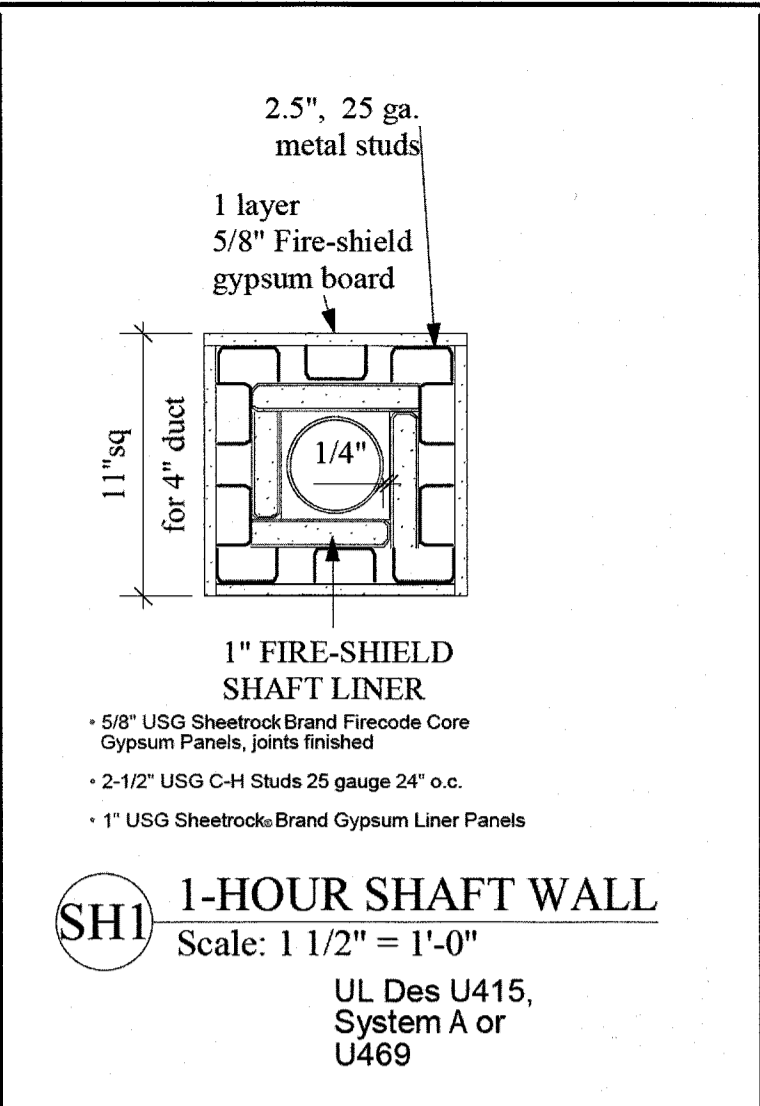
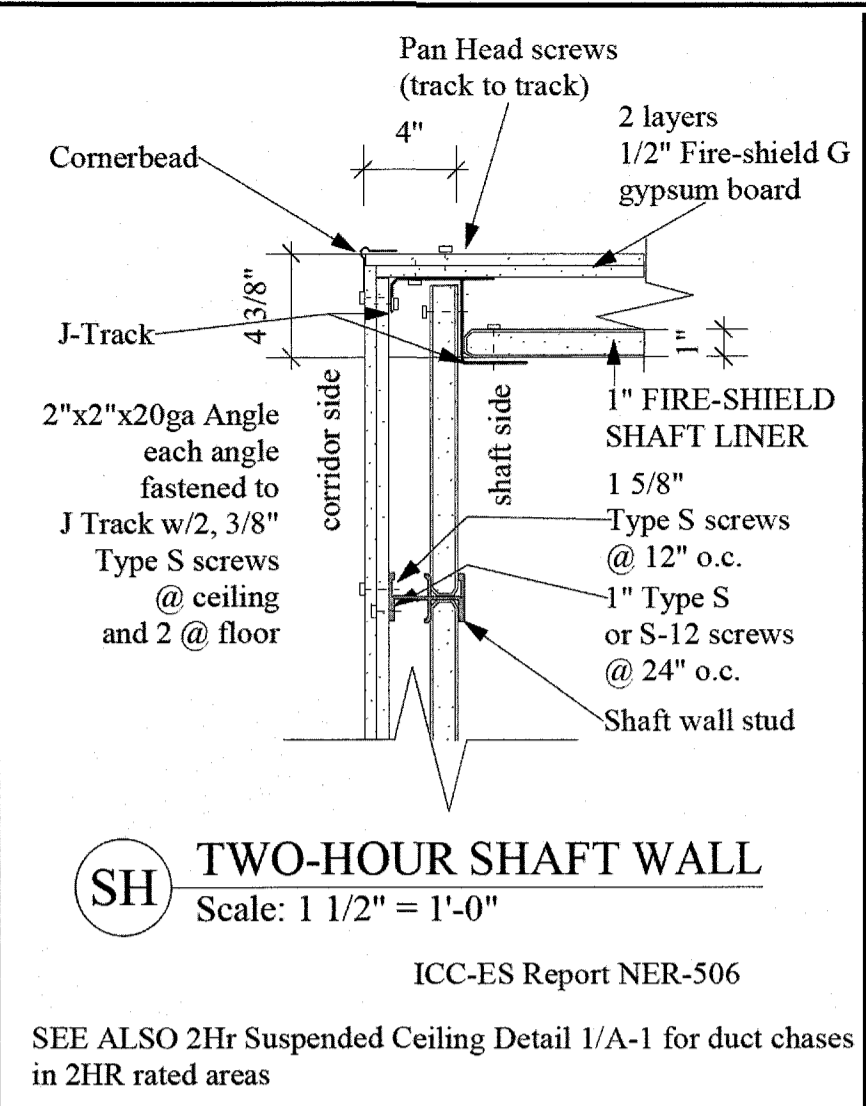
REVISION	DATE
Site Permit	May 26, 2016
BMR Site	Oct 27, 2016
Bldg & Fire	Jan 25, 2017



DATE 10/01/2013

SHEET TITLE ADA KITCHENS & BATHS

SHEET NO. A-401



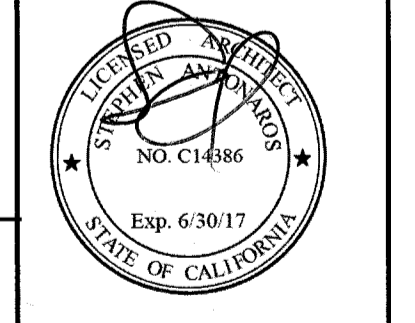
**STEPHEN ANTONAROS ARCHITECT**  
2261 Market Street #324  
San Francisco, California 94114  
santonaros@sbcgofabai.net (415) 864 2261  
www.antonaros.com

**NEW 17-UNIT MIXED-USE BUILDING**  
3548 Block Lot 039

1801 Mission Street & 287 14th Street  
FOR 1801 Mission LLC (415) 861-9200

REVISION	DATE
Site Permit	May 26, 2016
BMR Site	Oct 27, 2016
Bldg & Fire	Jan 25, 2017

PLAN REVISION  
MAR 01 2017  
DEPARTMENT OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY STANDARDS FOR ARCHITECTURAL DRAWING.



DATE  
10/01/2013

SHEET TITLE  
**WALL & FLOOR DETAILS**

SHEET NO.  
**A-402**

Approved Planning Dept. Chris Towles  
3/30/17

**APPROVED**  
Dept. of Building Insp.  
AUG 01 2017

Tom C. Hui  
Tom C. Hui  
DIRECTOR  
DEPT. OF BUILDING INSPECTION

Kyell Harshman, SFPD  
MAR 03 2017

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# Green Building: Site Permit Checklist

## BASIC INFORMATION:

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Project Name 1801 MISSION STREET	Block/Lot 3548 / 039	Address 1801 MISSION STREET
Gross Building Area 21,309 sq ft	Primary Occupancy R-2	Design Professional/Applicant: Sign & Date Stephen Antonaros
# of Dwelling Units Seventeen	Height to highest occupied floor 58 feet	Number of occupied floors SIX



AUG 01 2017  
Tom C. Howard  
DEPT. OF BUILDING INSPECTION

ALL PROJECTS, AS APPLICABLE	
Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	<
Stormwater Control Plan: Projects disturbing ≥ 5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines	<
Water Efficient Irrigation - Projects that include ≥ 1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance	<
Construction Waste Management - Comply with the San Francisco Construction & Demolition Debris Ordinance	<
Recycling by Occupants - Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. See Administrative Bulletin 088 for details.	<

GREENPOINT RATED PROJECTS	
Proposing a GreenPoint Rated Project (Indicate at right by checking the box.)	
Base number of required Greenpoints:	75
Adjustment for retention / demolition of historic features / building:	
Final number of required points (base number +/- adjustment)	
GreenPoint Rated (i.e. meets all prerequisites)	<
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6.	<
Meet all California Green Building Standards Code requirements (CalGreen measures for residential projects have been integrated into the GreenPoint Rated system.)	<

## Notes

- 1) New residential projects of 75' or greater must use the "New Residential High-Rise" column. New residential projects with >3 occupied floors and less than 7 feet to the highest occupied floor may choose to apply the LEED for Homes Mid-Rise rating system; if so, you must use the "new Residential Mid-Rise" column.
- 2) LEED for Homes Mid-Rise projects must meet the "Silver" standard, including all prerequisites. The number of points required to achieve Silver depends on unit size. See LEED for Homes Mid-Rise Rating System to confirm the base number of points required.
- 3) Requirements for additions or alterations apply to applications received on or after July 1, 2012.

**REQUIREMENTS**  
NOVEMBER 09, 2016

**17-UNIT BUILDING**  
Project Name: 3548/039  
Block/Lot: 1801 Mission  
Primary Occupancy: RESIDENTIAL - R-2 Occupancy  
17-Unit Residential Mixed Use Building  
# of Dwelling Units: 68  
Height to highest occupied floor: 58'

Summary of Green Building Requirements:	
Rating Requirement: Number of GreenPoints required (includes prerequisites)	75
Adjustment for retention / demolition of historic features / building:	
Final number of required points (base number +/- adjustment)	75
Construction activity stormwater pollution prevention and site runoff controls	<input type="checkbox"/>
Stormwater Control Plan: Projects disturbing ≥ 5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines	<input type="checkbox"/>
Water Efficient Irrigation - Projects that include ≥ 1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance	<input type="checkbox"/>
Meet all California Green Building Standards Code requirements (CalGreen measures for residential projects have been integrated into the GreenPoint Rated system.)	<input checked="" type="checkbox"/>

Option 2:  
Verification of compliance will be provided by the Green Building Compliance Professional of Record:  
**Stephen Antonaros**  
Name: Stephen Antonaros  
Architect  
Firm: C-14386  
Architectural or Engineering License  
I am a Certified GreenPoint Rater  
I am NOT a Certified GreenPoint Rater  
GreenPoint Rated Projects Completed: \_\_\_\_\_  
If the above licensed professional is not a Certified GreenPoint Rater, additional signature by a Certified GreenPoint Rater is required.  
GreenPoint Rater - Name (Print) & Contact Phone No:  
Sign & Date: November 09, 2016 415-864-2261  
To the best of my knowledge, it is my professional opinion the Green Building requirements of the City of San Francisco will be met for the above referenced project. I have been retained by the project sponsor to review all submitted documents and assure that approved construction documents and construction properly reflect the Green Building requirements of Chapter 10C. I will notify the Department of Building Inspection if I believe to the best of my knowledge that the project will, for any reason, not substantially comply with these green building requirements, or if I am no longer the Green Building Compliance Professional of Record for this project.  
Licensed Professional: Sign & Date: *Stephen Antonaros*  
Affix professional stamp.

**NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE**

RECORDING REQUESTED BY  
And When Recorded Mail To:  
Name: 1801 Mission LLC  
Address: 1875 Mission Street, #103  
City: San Francisco  
State: CA ZIP: 94103

CONFORMED COPY of document recorded  
11/03/2016, 2016035498  
This document has been compared with the original  
SAN FRANCISCO ASSESSOR-RECORDER

I (We), 1801 Mission LLC, the owner(s) of that certain real property situated in the City and County of San Francisco, State of California more particularly described as follows: (or see attached sheet marked "Exhibit A" on which property is more fully described):  
See Exhibit "A" ATTACHED

BEING Assessor's Block 3548, Lot 039, hereby give notice that there are special restrictions on the use of said property under Part II, Chapter II of the San Francisco Municipal Code (Planning Code).

Said Restrictions consist of conditions attached to the approval of Building Permit Application No. 2013.1003.8419 by the Planning Department and are conditions that had to be so attached in order that said application could be approved under the Planning Code.

The plans filed with the present application indicate that the proposed project at 1801 Mission Street includes new construction of a 7-story, 68-foot tall, 17-dwelling unit mixed-use building with 1,420 square feet of retail, 1,048 square feet of office space, 13 off-street parking spaces, 26 Class 1 and 8 Class 2 bicycle parking spaces.

The restrictions and conditions of which notice is hereby given are:

**Affordable Units**

1. **Number of Required Units.** Pursuant to Planning Code Section 415.6, the Project is required to provide 14.4% of the proposed dwelling units as affordable to qualifying households. The Project contains 17 units; therefore, 2 affordable units are required. The Project Sponsor will fulfill this requirement by providing the 2 affordable units on-site. If the number of market-rate units change, the number of required affordable units shall be modified accordingly with written approval from Planning Department staff in consultation with the Mayor's Office of Housing and Community Development ("MOHCD").

Page 1 of 6

**NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE**

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.

2. **Unit Mix.** The Project contains 5 one-bedroom and 12 two-bedroom units; therefore, the required affordable unit mix is 1 one-bedroom and 1 two-bedroom. If the market-rate unit mix changes, the affordable unit mix will be modified accordingly with written approval from Planning Department staff in consultation with MOHCD.
3. **Unit Location.** The affordable units shall be designated on a reduced set of plans recorded as a Notice of Special Restrictions on the property prior to the issuance of the first construction permit. For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.
4. **Phasing.** If any building permit is issued for partial phasing of the Project, the Project Sponsor shall have designated not less than fourteen and four-tenths percent (14.4%) of the each phase's total number of dwelling units as on-site affordable units. For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.
5. **Duration.** Under Planning Code Section 415.6, all units constructed pursuant to Section 415.6, must remain affordable to qualifying households for the life of the project. For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.
6. **Other Conditions.** The Project is subject to the requirements of the Inclusionary Affordable Housing Program under Section 415 et seq. of the Planning Code and City and County of San Francisco Inclusionary Affordable Housing Program Monitoring and Procedures Manual ("Procedures Manual"). The Procedures Manual, as amended from time to time, is incorporated herein by reference, as published and adopted by the Planning Commission, and as required by Planning Code Section 415. Terms used in these conditions of approval and not otherwise defined shall have the meanings set forth in the Procedures Manual. A copy of the Procedures Manual can be obtained at the MOHCD at 1 South Van Ness Avenue or on the Planning Department or MOHCD websites, including on the internet at:

Page 2 of 6

**NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE**

http://planning.sfgov.org/Document.aspx?DocumentID=6451. As provided in the Inclusionary Affordable Housing Program, the applicable Procedures Manual is the manual in effect at the time the subject units are made available for sale. For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.

- a. The affordable unit(s) shall be designated on the building plans prior to the issuance of the first construction permit by the Department of Building Inspection ("DBI"). The affordable unit(s) shall (1) reflect the unit size mix in number of bedrooms of the market rate units, (2) be constructed, completed, ready for occupancy and marketed no later than the market rate units, and (3) be evenly distributed throughout the building; and (4) be of comparable overall quality, construction and exterior appearance as the market rate units in the principal project. The interior features in affordable units should be generally the same as those of the market units in the principal project, but need not be the same make, model or type of such item as long they are of good and new quality and are consistent with then-current standards for new housing. Other specific standards for on-site units are outlined in the Planning Code and Procedures Manual.
- b. If the units in the building are offered for sale, the affordable unit(s) shall be sold to first time home buyer households, as defined in the Procedures Manual. The affordable unit shall be affordable to low-income households, as defined in the Planning Code and Procedures Manual. The initial sales price of such units shall be calculated according to the Procedures Manual. Limitations on (i) reselling; (ii) renting; (iii) recouping capital improvements; (iv) refinancing; and (v) procedures for inheritance apply and are set forth in the Inclusionary Affordable Housing Program and the Procedures Manual.
- c. The Project Sponsor is responsible for following the marketing, reporting, and monitoring requirements and procedures as set forth in the Procedures Manual. MOHCD shall be responsible for overseeing and monitoring the marketing of affordable units. The Project Sponsor must contact MOHCD at least six months prior to the beginning of marketing for any unit in the building.
- d. Required parking spaces shall be made available to initial buyers or renters of affordable units according to the Procedures Manual.
- e. Prior to the issuance of the first construction permit by DBI for the Project, the Project Sponsor shall record a Notice of Special Restriction on the property that contains these conditions of approval and a reduced set of plans that identify the affordable units satisfying the requirements of this approval. The Project Sponsor shall promptly provide a copy of the recorded Notice of Special Restriction to the Department and to MOHCD or its successor.

Page 3 of 6

**NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE**

- i. The Project Sponsor has demonstrated that it is eligible for the On-site Affordable Housing Alternative under Planning Code Section 415.6 in lieu of payment of the Affordable Housing Fee, and has submitted the Affidavit of Compliance with the Inclusionary Affordable Housing Program. Planning Code Section 415 to the Planning Department stating that any affordable units designated as on-site units shall be sold as ownership units and will remain as ownership units for the life of the Project.
- g. If the Project Sponsor fails to comply with the Inclusionary Affordable Housing Program requirement, the Director of DBI shall deny any and all site or building permits or certificates of occupancy for the development project until the Planning Department notifies the Director of compliance. A Project Sponsor's failure to comply with the requirements of Planning Code Section 415 et seq. shall constitute cause for the City to record a lien against the development project and to pursue any and all available remedies at law.
- h. If the Project becomes ineligible at any time for the On-site Affordable Housing Alternative, the Project Sponsor or its successor shall pay the Affordable Housing Fee prior to issuance of the first construction permit. If the Project becomes ineligible after issuance of its first construction permit, the Project Sponsor shall notify the Department and MOHCD and pay interest on the Affordable Housing Fee and penalties, if applicable.

The use of said property contrary to these special restrictions shall constitute a violation of the Planning Code, and no release, modification or elimination of these restrictions shall be valid unless notice thereof is recorded on the Land Records by the Zoning Administrator of the City and County of San Francisco, except that in the event that the zoning standards above are modified so as to be less restrictive and the uses therein restricted are thereby permitted and in conformity with the provisions of the Planning Code, this document would no longer be in effect and would be null and void.

*Michael J. Mamone*  
(Signature) Michael J. Mamone  
(Printed Name)  
Dated: November 02, 2016 at San Francisco, California.  
(Month, Day) (City)

*Helen M. Molloy*  
(Signature) Helen M. Molloy  
(Printed Name)  
Dated: November 02, 2016 at San Francisco, California.  
(Month, Day) (City)

Page 4 of 6

**NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE**

Dated: November 02, 2016 at San Francisco, California.  
(Month, Day) (City)

Each signature must be acknowledged by a notary public before recording; add Notary Public Certification(s) and Official Notarial Seal(s).

UNCLINKED DOCUMENT IN RECORDING PERMITS/DIR, 1801 Mission St (Affordable) doc

LEGAL DESCRIPTION  
EXHIBIT "A"  
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN FRANCISCO, COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:  
BEGINNING at the point of intersection of the Southerly line of 14th Street and the Easterly line of Mission Street, running thence Southerly, along said line of Mission Street, 45 feet; thence at a right angle Easterly 80 feet; thence at a right angle Southerly 45 feet to the Southerly line of 14th Street; thence at a right angle Westerly, along said line of 14th Street, 80 feet to the point of beginning.  
BEING part of Mission Block No. 31  
APN: Lot 039, Block 3548

ACKNOWLEDGMENT  
A notary public or other officer completing this certificate verifies only the identity of the individual(s) who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.  
State of California  
County of San Francisco  
On November 2nd 2016 before me, Helen M. Molloy (insert name and title of the officer)  
personally appeared Michael J. Mamone who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) appear subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.  
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.  
WITNESS my hand and official seal.  
Signature: Helen M. Molloy (Seal)  
HELEN M. MOLLOY  
Commissioner # 201482  
Notary Public - California  
San Francisco County  
My Comm. Expires on 11-13-2018

Page 5 of 6

*Brett Howard, DBI*  
MAR 01 2017  
REVISION  
MAR 01 2017  
THE PLANNING DEPARTMENT OF SAN FRANCISCO HAS REVIEWED THIS DOCUMENT FOR COMPLIANCE WITH THE QUALITY STANDARDS FOR RECORDING.

APPROVED  
DEPT. OF BUILDING INSPECTION  
AUG 01 2017  
Tom C. Howard

10/01/2013  
SHEET TITLE  
SHEET NO.  
GP-1

STEPHEN ANTONAROS ARCHITECT  
2261 Market Street #324  
San Francisco, California 94114  
santonaros@sbglobal.net  
(415) 864 2261  
www.antonaros.com

NEW 17-UNIT MIXED-USE BUILDING  
3548 Block Lot 039  
1801 Mission Street & 287 14th Street  
FOR 1801 Mission LLC (415) 861-9200

REVISION DATE  
Site Permit May 26, 2016  
BMR Site Oct 27, 2016  
Bldg & Fire Jan 25, 2017

**NOTE: TO ANYONE HAVING ANY TYPE OF INTEREST IN THIS MAP PLEASE BE ADVISED AS FOLLOWS:**

1. THAT ALL TITLE INFORMATION HEREON INCLUDING EASEMENTS WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR CLIENT'S OR HIS AGENT'S REQUIREMENTS AND TITLE INFORMATION SUPPLIED TO FREDERICK T. SEHER & ASSOCIATES, INC.; FURTHERMORE, WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITY ON THIS JOB.
2. NO PRELIMINARY TITLE REPORT WAS REVIEWED IN CONJUNCTION WITH THIS MAPPING. IT IS RECOMMENDED THAT A TITLE REPORT BE RECEIVED FROM THE OWNER TO VERIFY THE EXISTENCE OF ANY ADDITIONAL EASEMENTS OF RECORD OR LOT LINE ADJUSTMENTS THAT MAY HAVE ALTERED THE INFORMATION SHOWN HEREON PRIOR TO ANY DESIGN AND/OR CONSTRUCTION.
3. THAT THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OF SERVICE FOR CORVORN, LLC AND THAT IT REMAINS THE PROPERTY OF FREDERICK T. SEHER & ASSOCIATES, INC. WHETHER THE PROJECT (IF ANY PROPOSED) ON THIS SITE IS CONSTRUCTED OR NOT.
4. THAT ANY INFORMATION ON THIS MAP AND ANY DOCUMENT(S) PREPARED BY FREDERICK T. SEHER & ASSOCIATES, INC. IN RELATION HEREOF SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR BUILDING PERMIT AND LAND SUBDIVISION. FURTHERMORE, THE USE OF THIS MAP FOR ANY OTHER PURPOSES WHATSOEVER INCLUDING ENGINEERING DESIGNS OF OFFSITE OR ONSITE IMPROVEMENTS IS BEYOND THIS MAP'S PURPOSES, INTENT & CONTRACT. LIABILITY SHALL REST UPON THE PARTY USING OUR INFORMATION BEYOND THE ESTABLISHED LIMITATION ABOVE, IN WHICH CASE FREDERICK T. SEHER & ASSOCIATES, INC. DISCLAIMS ANY AND ALL RESPONSIBILITY.
5. THAT ANY IMPROVEMENT CHANGES WITHIN THIS SITE OR THE ADJACENT SITE THEREOF AS WELL AS TITLE TRANSFERS OF THE PROPERTY IN QUESTION (EXCEPT FOR ALTA MAPS) AND/OR THE LAPSE OF 9 OR MORE YEARS FROM THE DATE OF THE MAP (WHICHEVER COMES FIRST) SHALL VOID ALL INFORMATION, HEREON UNLESS A RE-SURVEY IS ORDERED TO RECTIFY, UPDATE OR RE-CERTIFY THIS MAP.
6. THAT THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING UNLESS STATED IN ITEM NO. 3 ABOVE.
7. THAT THE USE OF THIS MAP BY OTHER CONSULTANTS OR CONTRACTORS ON BEHALF OF OUR CLIENT SHALL PROMPT THE IMMEDIATE FULFILLMENTS OF ALL CLIENT'S OBLIGATIONS TO FREDERICK T. SEHER & ASSOCIATES, INC. UNLESS OTHERWISE AGREED TO.
8. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.
9. THIS MAP WILL BE PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. A SIGNED PRINT DELIVERED TO THE CLIENT OR CLIENT REPRESENTATIVE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.

**BOUNDARY NOTES:**

PROPERTY AND RIGHT-OF-WAY LINES SHOWN HEREON ARE PREDICATED ON AN ANALYSIS OF EXISTING IMPROVEMENTS, RECORD DATA, FIELD TIES AND ASSESSOR'S PARCEL MAPS. IT IS NOT THE INTENT OF THIS MAP TO PROVIDE A FORMAL BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY SHOWN HEREON. SAID RESOLUTION WOULD REQUIRE THE SETTING OF PROPERTY CORNERS AND THE FILING OF A RECORD OF SURVEY UNDER CALIFORNIA STATE LAW. BOUNDARY INFORMATION SHOWN HEREON IS FOR PLANNING PURPOSES ONLY.

ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED  
ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.

**DATE OF FIELD SURVEY:**

TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY FREDERICK T. SEHER & ASSOCIATES, INC. ON JUNE 16, 2002 AND FIELD REVIEWED ON SEPTEMBER 12, 2013.

**SURVEY REFERENCE:**

THE SURVEY HEREON IS BASED ON THE LEGAL DESCRIPTION DESCRIBED IN THE FOLLOWING GRANT DEED:  
① LOT 039: RECORDED ON DECEMBER 30, 2005, DOCUMENT NUMBER 2005-1103370-00, ON REEL J047 AT IMAGE 0600

**UTILITY NOTE:**

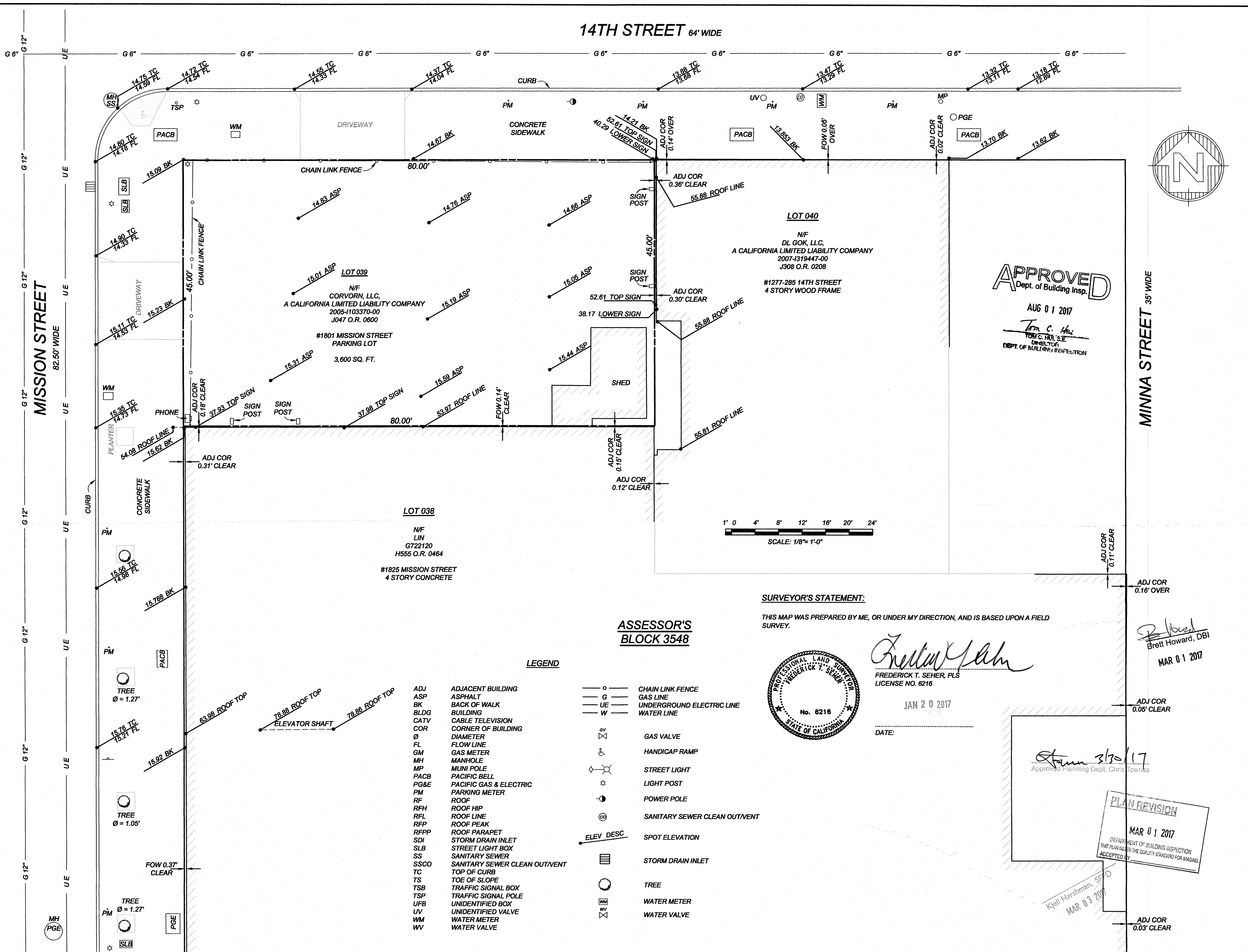
UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THEREFORE, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

**PROJECT BENCHMARK - DESCRIPTION:**

ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A GROUP OF CITY BENCHMARKS, LOCATED AT THE INTERSECTION OF MISSION STREET AND 14TH STREET; ELEVATIONS ARE BASED ON CITY AND COUNTY OF SAN FRANCISCO DATUM. S.W. CORNER, LETTER "O" IN "OPEN" TOP HPFS HYDRANT. ELEVATION = 18.035'

**GENERAL NOTE:**

THE FOLIAGE LINES OF ALL TREES PLOTTED HEREON ARE SHOWN IN A GRAPHICAL FORM ONLY, AND ARE NOT INTENDED TO REPRESENT ACTUAL DRIPLINES THEREOF.



**SURVEYOR'S STATEMENT:**

THIS MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.



*Frederick T. Seher*  
FREDERICK T. SEHER, PLS  
LICENSE NO. 6216  
JAN 20 2017

**ASSESSOR'S BLOCK 3548**

**LEGEND**

- CHAIN LINK FENCE
- GAS LINE
- UNDERGROUND ELECTRIC LINE
- WATER LINE
- GAS VALVE
- HANDICAP RAMP
- STREET LIGHT
- LIGHT POST
- POWER POLE
- SANITARY SEWER CLEAN OUT/VENT
- SPOT ELEVATION
- STORM DRAIN INLET
- TREE
- WATER METER
- WATER VALVE

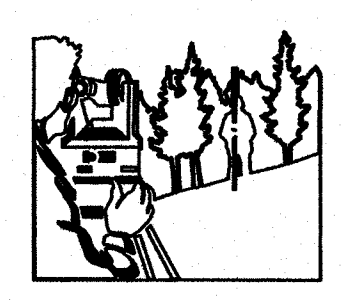
**APPROVED**  
Dept. of Building Insp.  
AUG 01 2017  
*Tom C. Hui*  
DIRECTOR  
DEPT. OF BUILDING INSPECTION

*Stamm 3/20/17*  
Approved Planning Dept. Chris Townes

**PLAN REVISION**  
MAR 01 2017  
DEPARTMENT OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY STANDARD FOR BIDDING  
ACCEPTED BY  
*Kjell Harshman, SFD*  
MAR 03 2017

*Brett Howard, DBI*  
MAR 01 2017

DATE:	SEPT. 2013				
SCALE:	1" = 8'				
DRAWING NAME:	ARCH SURVEY				
DRAWN BY:	OG				
SURVEYED BY:	FTS				
CHECKED BY:					
CHECKED BY:					
NO.:	BY:	DATE:	REVISIONS:		



**FREDERICK T. SEHER & ASSOCIATES, INC.**  
PROFESSIONAL LAND SURVEYORS  
SURVEYING & MAPPING  
841 LOMBARD STREET, SAN FRANCISCO, CA 94133  
(415) 921-7690 FAX (415) 921-7655

**ARCHITECTURAL SITE SURVEY**  
1801 MISSION STREET, SAN FRANCISCO, CA 94103  
ASSESSOR'S BLOCK 3548, LOT 039

SHEET  
**1**  
OF 1 SHEETS  
JOB NO.:  
641-02