

EXECUTIVE SUMMARY CONDITIONAL USE

HEARING DATE: JULY 15, 2021

Record No.: 2020-010109CUA **Project Address:** 35 Belgrave Avenue

Zoning: RH-1(D) (Residential- House, One Family- Detached) Zoning District

40-X Height and Bulk District

Block/Lot: 2688/071 **Project Sponsor:** GBA Inc.

> M. Corbin Jones 201 Noe Street

San Francisco, CA 94114

Property Owner: 35 BELGRAVE LLC.

35 Belgrave Avenue

San Francisco, CA 94117

Staff Contact: Gretel Gunther - (628) 652-7607

gretel.gunther@sfgov.org

Recommendation: Approval with Conditions

Project Description

The Project includes the demolition of an existing 4,207 square foot two-story over basement single-family dwelling and the construction of a new 6,484 square foot three-story over basement single-family dwelling with one accessory dwelling unit, for a total of two dwelling units. One dwelling unit occupies the basement, first, second, and third stories and totals 6,192 square feet. The accessory dwelling unit occupies a portion of the first story and totals 317 square feet. The Project includes a three-car garage, a 494 square foot roof deck for the primary dwelling unit, and an approximately 2,268 square foot shared rear yard, including 141 square feet of subterranean habitable space within the rear yard for the primary dwelling unit.

Required Commission Action

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization, pursuant to Planning Code Sections 303 and 317 to allow the demolition of a residential unit and new construction of a replacement residential building.

Issues and Other Considerations

- Public Comment & Outreach.
 - o **Support/Opposition:** The Department has received 7 letters in support and 3 letters in opposition to the Project.
 - Support for the Project is centered on:
 - Anticipation of the Project Site becoming fully developed and occupied after several years of construction.
 - The proposed building is consistent with other new and modern buildings on the subject block in design and scale.
 - The proposed building is more compatible with the neighborhood context than the existing building.
 - Opposition to the Project is centered on:
 - Concerns about the amount of previous demolition and construction at both the Project Site and other sites on Belgrave Avenue within the past several years.
 - Environmental concerns about the second cycle of demolition and new construction within the past several years at the Project Site.
 - Concerns with potential construction noise, particularly in the early morning and on the weekend.
 - General concern about the number of new homes on Belgrave Avenue that are larger in massing and scale than existing, older homes on the subject block.
 - Design-related concerns about the proposed building's modern style, use of concrete materials, scale, and massing within the context of the subject block.
 - o **Outreach**: Below is a summary of the Project Sponsor's public outreach:
 - June 29, 2020: The Project Sponsors held a meeting with neighbors prior to the Pre-Application Meeting regarding the proposed project.
 - July 17, 2020: The Project Sponsors held a Department-required Pre-Application Meeting.
 - June 25 through July 7, 2021: Project Sponsors engaged specific members of the public after the beginning of the Conditional Use Authorization notice period regarding their concerns with the proposed Project.
- **Design Review Comments.** The project has changed in the following significant ways since the original submittal to the Department:
 - o The garage door width has been reduced to 10 feet.
 - o Additional glazing has been added at the front of the accessory dwelling unit for increased light and street-facing exposure.



- o A matte metal awning has been added over the front entry for the accessory dwelling unit to provide more definition to the entry expression.
- o The entry door for the primary dwelling unit has been revised to be wood.
- o The guardrails at the third level have been revised to be a matte, mesh metal material to increase the ratio of solid to glazing.

Environmental Review

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and Class 3 categorical exemption.

Basis for Recommendation

The Department finds that the Project is, on balance, consistent with the Objectives and Policies of the General Plan. Although the Project results in the demolition of an existing dwelling unit, the Project provides one net additional dwelling unit. The Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

Attachments:

Draft Motion – Conditional Use Authorization with Conditions of Approval

Exhibit B – Plans and Renderings

Exhibit C – Environmental Determination

Exhibit D – Land Use Data

Exhibit E – Maps and Context Photos

Exhibit F - Project Sponsor Brief



3



PLANNING COMMISSION DRAFT MOTION

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ADOPTING FINDINGS RELATING TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 303 AND 317 FOR THE DEMOLITION OF A SINGLE-FAMILY DWELLING AND THE CONSTRUCTION OF A NEW SINGLE-FAMILY DWELLING WITH AN ACCESSORY DWELLING UNIT LOCATED AT 35 BELGRAVE AVENUE, LOT 071 IN ASSESSOR'S BLOCK 2688, WITHIN AN RH-1(D) (RESIDENTIAL-HOUSE, ONE FAMILY-DETACHED) ZONING DISTRICT AND A 40-X HEIGHT & BULK DISTRICT.

PREAMBLE

On November 4, 2020, M. Corbin Jones of GBA Inc., (hereinafter "Project Sponsor") filed Application No. 2020-010109CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization to construct a three-story over basement, approximately 35-foot tall, residential building with two dwelling units (hereinafter "Project") at 35 Belgrave Avenue, Block 2688 Lot 071 (hereinafter "Project Site").

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and Class 3 categorical exemption.

On July 15, 2021, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2020-010109CUA.

The Planning Department Commission Secretary is the Custodian of Records; the File for Record No2020-010109CUA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2020-010109CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:



FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

- 1. The above recitals are accurate and constitute findings of this Commission.
- 2. **Project Description.** The Project includes the demolition of an existing 4,207 square foot two-story over basement single-family dwelling and the construction of a new 6,484 square foot three-story over basement single-family dwelling with one accessory dwelling unit, for a total of two dwelling units. One dwelling unit occupies the basement, first, second, and third stories and totals 6,192 square feet. The accessory dwelling unit occupies a portion of the first story and totals 317 square feet. The Project includes a three-car garage, a 494 square foot roof deck for the primary dwelling unit, and an approximately 2,268 square foot shared rear yard, including 141 square feet of subterranean habitable space within the rear yard for the primary dwelling unit.
- **3. Site Description and Present Use.** The Project Site is located on the south side of Belgrave Avenue between Shrader Street and Twin Peaks Boulevard, Lot 071 in Assessor's Block 2688, and is in an RH-1(D) (Residential- House, One Family- Detached) Zoning District and a 40-X Height & Bulk District. The Project Site is in the Ashbury Heights neighborhood and Supervisorial District 5.
- **4. Surrounding Properties and Neighborhood.** The Project Site is located within an RH-1(D) Zoning District in the Ashbury Heights neighborhood. The immediate, as well as surrounding, context is consistently residential in character and use. The immediate surrounding block is characterized by two-, three-, and four-story detached residential buildings with one or two dwelling units. Tank Hill Park is located down the block to the east. Mount Sutro Open Space Reserve is located down the block to the west.
- 5. Public Outreach and Comments. The Department has received correspondence from 17 members of the public regarding the proposed project, expressing both support and opposition to the Project. To date, the Department has received seven letters in support and three letters in opposition. Support for the Project has focused on the site finally being developed and occupied after several years of stalled construction and that the proposed building is consistent in design and scale with other new buildings on the subject block. The opposition has focused on the amount of previous demolition and construction at both the Project Site and on Belgrave Avenue generally within the past several years, environmental concerns and construction waste, potential construction noise, particularly in the early morning and on the weekend, and concerns about the proposed building's compatibility with older, existing buildings on the subject block.
- **6. Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. Residential Density. Planning Code Section 209.1 permits one dwelling unit per lot within an RH-1(D) Zoning District. Accessory Dwelling Units are allowed to exceed the allowable density of a lot, which is defined by the zoning district, pursuant to Planning Code Section 207(c)(6).



The Project will maximize the permitted density within an RH-1(D) Zoning District with one proposed dwelling unit.

The Project will exceed the permitted density of an RH-1(D) Zoning District with one accessory dwelling unit, per Planning Code Section 207(c)(6), for a total of two units.

B. Side Yard. Planning Code Section 133 requires lots with a width of 50 feet or more to have two side yards each of 5 feet within an RH-1(D) Zoning District.

The Project provides two side yards of 5 feet at the East and West side property lines. The Project is compliant with the side yard requirement.

C. Rear Yard. Planning Code Section 134 requires a minimum rear yard depth of 30 percent of the total lot depth within an RH-1(D) Zoning District.

The Project provides a rear yard equal to 30 percent of the total depth of the lot. The subject lot is 90 feet long with a required rear yard of 27 feet. The Project is compliant with the rear yard requirement.

D. Open Space. Planning Code Section 135 requires either 300 square feet of private open space per dwelling unit, or 400 square feet of common open space per dwelling unit within an RH-1(D) Zoning District.

The Project proposes a shared rear yard that is approximately 42 feet deep by 65 feet wide, totaling 2,268 square feet. Both dwelling units are proposed to have access to the rear yard. Additionally, there is an approximately 494 square foot roof deck proposed for use by the primary dwelling unit only. The Project is compliant with the open space requirement.

E. Dwelling Unit Exposure. Planning Code Section 140 requires that in each dwelling unit in any use district the required windows of at least one room that meets the 120-square-foot minimum superficial floor area requirements of Section 503 of the Housing Code shall face directly onto an open area of either a public street, alley at least 20 feet in width, side yard at least 25 feet in width, rear yard meeting the requirements of the Planning Code, or an open area (whether an inner court or space between separate buildings on the same lot) which is unobstructed for no less than 25 feet in every horizontal dimension.

The primary dwelling unit faces directly onto the rear yard and Belgrave Avenue, which both meet the requirements of the Planning Code. The ADU faces directly onto Belgrave Avenue.

F. Off-Street Parking. Planning Code Section 151 permits 1.5 off-street automobile parking spaces for every dwelling unit provided.

The Project includes three off-street parking spaces. A maximum of 3 off-street parking spaces is permitted for a building with two dwelling units.

G. Bicycle Parking. Planning Code Section 155.2 requires one weather-protected bicycle parking space



per dwelling unit.

The Project includes two weather-protected bicycle parking spaces, providing one bicycle parking space per dwelling unit.

H. Height. Planning Code Section 261 states that no portion of a dwelling in any RH-1(D) Zoning District shall exceed a height of 35 feet, except that the permitted Height of a Building, as defined in Planning Code Section 102, shall be increased to 40 feet, as measured at curb per Planning Code Section 260, where the average ground elevation at the rear line of the lot is higher by 20 or more feet than at the front line thereof.

The Project Site's average ground elevation at the rear line of the lot is higher by more than 20 feet than at the front lot line. The proposed building is 35 feet and 3 ½ inches tall at the front property line.

I. Residential Child Care Fee. Planning Code Section 414A requires that any residential development project that results in additional space in an existing dwelling unit of more than 800 gross feet or proposes a net increase in the number of dwelling units on the property, shall be subject to the imposition of the Residential Child Care Impact Fee requirement.

The Project proposes a net increase of one dwelling unit. Therefore, the Project is subject to the Residential Child Care Impact Fee.

- 7. Loss of Residential Unit through Demolition. Planning Code Section 317(g)(5) establishes additional criteria for the Planning Commission to consider when reviewing applications for the loss of a residential unit as the result of a demolition. The Planning Commission shall consider the following:
 - A. Whether the property is free of a history of serious, continuing Code violations.

The Project Site has no history of serious Code violations.

B. Whether the housing has been maintained in a decent, safe, and sanitary condition.

The Project Site has been maintained in a decent, safe, and sanitary condition.

C. Whether the property is an "historical resource" under CEQA.

The Project Site was formerly evaluated and determined not to be a historical resource under Record No. 2014.1153E. There is no historic resource present at the Project Site.

D. Whether the removal of the resource will have a substantial adverse impact under CEQA.

The Project Site is not a historical resource under CEQA, and the Project qualifies for a categorical exemption under CEQA, as there would not be any substantial adverse impacts.

E. Whether the project converts rental housing to other forms of tenure or occupancy.



The Project Site contains one owner-occupied unit with no existing rental housing. The proposed Project will include one owner-occupied unit and one new accessory dwelling unit and will not convert rental housing to other forms of tenure or occupancy.

F. Whether the project removes rental units subject to the Residential Rent Stabilization and Arbitration Ordinance or affordable housing.

The Project proposes to demolish an existing single-family dwelling, which is generally not subject to the Residential Rent Stabilization and Arbitration Ordinance. Definitive determinations on the applicability of the Residential Rent Stabilization and Arbitration Ordinance are the purview of the Rent Board. The existing dwelling unit is not an affordable housing unit.

G. Whether the project conserves existing housing to preserve cultural and economic neighborhood.

Although the Project proposes the demolition of an existing single-family dwelling unit, there will be a net gain of one dwelling unit for a total of two dwelling units.

H. Whether the project conserves neighborhood character to preserve neighborhood cultural and economic diversity.

The Project will conserve neighborhood character with appropriate scale, design, and materials. It will improve cultural and economic diversity by increasing the number of dwelling units and bedrooms in the building. The Project would maximize the number of dwelling units permitted on the Project Site, increase the total number of bedrooms provided, and further, add one accessory dwelling unit.

I. Whether the project protects the relative affordability of existing housing.

The Project removes an older dwelling unit and replaces it with a newly constructed dwelling unit. Older dwelling units are generally considered to be more affordable than a recently constructed unit. However, the Project will include one additional accessory dwelling unit.

J. Whether the project increases the number of permanently affordable units as governed by Section 415.

The Project is not subject to the provisions of Planning Code Section 415, as the Project proposes less than 10 dwelling units

K. Whether the project locates in-fill housing on appropriate sites in established neighborhoods.

The Project is not considered in-fill housing but proposes one dwelling unit with an accessory dwelling unit, which is appropriate given the zoning and neighborhood density.

L. Whether the project increases the number of family-sized units on-site.



Currently, the Project Site contains a single-family dwelling unit. The Project includes two dwelling units, retaining one existing family-sized dwelling unit and adding one accessory dwelling unit with one bedroom.

M. Whether the project creates new supportive housing.

The Project does not create new supportive housing.

N. Whether the project is of superb architectural and urban design, meeting all relevant design guidelines, to enhance existing neighborhood character.

The overall scale, design, and materials of the Project are consistent with the block-face and complement the neighborhood character with a contemporary and context-sensitive design. The proposed residential development is in character of other existing residential uses in the surrounding neighborhood.

O. Whether the project increases the number of on-site Dwelling Units.

The Project will increase the number of on-site dwelling units from one to two.

P. Whether the project increases the number of on-site bedrooms.

The existing dwelling unit contains three bedrooms. The Project proposes a total of four bedrooms between two dwelling units.

Q. Whether or not the replacement project would maximize density on the subject lot.

The maximum density for the Project Site is one dwelling unit. The Project proposes new construction with two dwelling units, adding one accessory dwelling unit over the permitted density.

R. If replacing a building not subject to the Residential Rent Stabilization and Arbitration Ordinance, whether the new project replaces all of the existing units with new Dwelling Units of a similar size and with the same number of bedrooms.

The existing single-family dwelling is approximately 4,207 square feet and has three bedrooms. The primary dwelling unit will increase to 6,192 square feet. The proposed accessory dwelling unit is 317 square feet. The Project includes two dwelling units with four total bedrooms.

- **8. Conditional Use Findings** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the Project complies with said criteria in that:
 - A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.



The use and size of the Project is compatible with the surrounding neighborhood. The Project would demolish an existing approximately 4,207 square foot single-family dwelling unit. The new building will contain two dwelling units, with a 6,192 square foot dwelling unit and a 317 square foot accessory dwelling unit. The building will be in conformity with the requirements of the Planning Code and consistent with the objectives of the Residential Design Guidelines. Overall, the construction of one additional dwelling unit is necessary, desirable, and compatible with the City at-large.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:
 - (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;
 - The Project includes four-story (three stories over a basement) massing along Belgrave Avenue, with the second floor at grade level at the rear façade due to the steep upslope of the subject lot. The immediate surrounding neighborhood is predominantly three- and four-story buildings at the front façade.
 - (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;
 - The Planning Code does not require off-street parking or loading, and allows a maximum of 1.5 automobile spaces per dwelling unit. The garage will provide three off-street parking spaces, in addition to two Class 1 bicycle spaces.
 - (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor:
 - As the Project is residential in nature, the proposed residential use is not considered to have the potential to produce noxious or offensive emissions.
 - (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;
 - The Project is residential and will be landscaped accordingly.
- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.
 - The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.
- D. That use or feature as proposed will provide development that is in conformity with the stated purpose of the applicable Use District.



The Project is consistent with the stated purpose of the RH-1(D) Zoning District, which is characterized by lots of greater width and area than in other parts of the City, and by single-family houses with side yards. The Project is consistent with the Planning Code requirements for dwelling units in an RH-1(D) Zoning District.

9. General Plan Compliance. The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1:

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.1:

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

The Project provides new housing, with one new one-bedroom accessory dwelling unit.

OBJECTIVE 2

RETAIN EXISTING HOUSING UNITS, AND PROMOTE SAFETY AND MAINTENANCE STANDARDS, WITHOUT JEOPARDIZING AFFORDABILITY.

Policy 2.4

Promote improvements and continued maintenance to existing units to ensure long term habitation and safety.

Policy 2.5

Encourage and support the seismic retrofitting of the existing housing stock.

Though the Project proposes demolition of an existing single-family building, the new building will result in a net increase in dwelling units. The new building will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code and will improve the existing dwelling unit to ensure long term habitation and safety.

OBJECTIVE 3:

PROTECT THE AFFORDABILITY OF HOUSING STOCK, ESPECIALLY RENTAL UNITS.

Policy 3.1:

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.



Policy 3.3:

Maintain balance in affordability of existing housing stock by supporting affordable moderate ownership opportunities

Policy 3.4:

Preserve "naturally affordable" housing types, such as smaller and older ownership units.

While the Project will demolish an existing single-family dwelling, the new construction will result in an increase in the density of the property and contribute one net new dwelling unit. The existing single-family dwelling unit is not rent controlled.

OBJECTIVE 4:

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1:

Develop new housing, and encourage the remodeling of existing housing, for families with children.

The Project proposes to demolish a single-family residence with three bedrooms to construct one new dwelling unit with three bedrooms and one one-bedroom accessory dwelling unit.

OBJECTIVE 11:

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1:

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2:

Ensure implementation of accepted design standards in project approvals.

Policy 11.3:

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.4:

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

Policy 11.5:

Ensure densities in established residential areas promote compatibility with prevailing neighborhood character.

The subject property is within an RH-1(D) Zoning District which allows for one dwelling unit and one accessory dwelling unit. The Project proposes a total of two dwelling units with three off-street parking



spaces. Furthermore, the proposed new construction conforms to the Residential Design Guidelines and is appropriate in terms of material, scale, proportions and massing for the surrounding neighborhood.

URBAN DESIGN ELEMENT

Objectives and Policies

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.2:

Recognize, protect and reinforce the existing street pattern, especially as it is related to topography.

The Project proposes demolition of an existing single-family building to construct a two-unit building with off-street parking. Similar to other existing structures on the block-face, the new building proposes garage access that is subordinate to the existing building façade.

Policy 1.3:

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

The proposed façade and massing are compatible with the existing neighborhood character and development pattern, particularly because the proposed building is of a similar massing and height to the existing structures in the neighborhood. A set-back, first floor entry is appropriate given the set-back and raised entries of adjacent neighbors in the immediate area. The proposed façade and massing of the new building reflects the existing mixed architectural character and incorporates a moderated front façade in keeping with the neighborhood development pattern.

OBIECTIVE 2:

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.6:

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

The massing of the replacement building's main front façade has been designed to be compatible with the prevailing street wall height, particularly the height and proportions of the adjacent buildings. Although interpreted in a contemporary architectural style, the proposed building proportions and exterior materials have been selected to be compatible with the adjacent buildings and the immediate neighborhood character.

10. Planning Code Section 101.1(b) establishes eight priority-planning policies and requires review of



permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.
 - Existing neighborhood-serving retail uses would not be displaced or otherwise adversely affected by the proposal, as the existing building does not contain commercial uses.
- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.
 - While the existing housing is proposed to be demolished, the replacement building would provide two dwelling units in a manner that is compatible with the existing neighborhood character.
- C. That the City's supply of affordable housing be preserved and enhanced,
 - The Project does not currently possess any existing affordable housing. The Project does not propose any units designated as affordable housing. Therefore, the Project will not impact the City's supply of affordable housing.
- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.
 - The Project provides three off-street parking spaces, though none is required, in addition to two bicycle parking spaces. The Project would not have a significant adverse effect on automobile traffic congestion or create parking problems in the neighborhood.
- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.
 - The Project does not include commercial office development. The Project is a residential project in an RH-1(D) Zoning District. Therefore, the Project would not affect industrial, or service sector uses or related employment opportunities. Ownership of industrial or service sector uses would not be affected by the Project.
- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.
 - The Project will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code. As such, this Project will improve the property's ability to withstand an earthquake.
- G. That landmarks and historic buildings be preserved.
 - The Project Site does not contain any City Landmarks or historic buildings.



- H. That our parks and open space and their access to sunlight and vistas be protected from development.
 - The Project will have no negative impact on existing parks and open spaces. The height of the proposed structure is compatible with the established neighborhood development and height limit.
- 11. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
- **12.** The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.



DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2020-010109CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated June 7, 2021, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on June 2, 2019.

	,
AYES:	
NAYS:	
ABSENT:	
RECUSE:	
ADOPTED:	July 15, 2021

Jonas P. Ionin

Commission Secretary



14

EXHIBIT A

Authorization

This authorization is for a conditional use to allow the demolition of an existing single-family dwelling and construction of single-family dwelling with an accessory dwelling unit located at 35 Belgrave Avenue, Lot 071 within Assessor's Block 2688, pursuant to Planning Code Sections 303 and 317 within an RH-1(D) Zoning District and a 40-X Height and Bulk District; in general conformance with plans, dated June 7, 2021, and stamped "EXHIBIT B" included in the docket for Record No. 2020-010109CUA and subject to conditions of approval reviewed and approved by the Commission on July 15, 2021 under Motion No. XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

Recordation of Conditions Of Approval

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on July 15, 2021, under Motion No. XXXXXX.

Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

Severability

The project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.



CONDITIONS OF APPROVAL, COMPLIANCE, MONITORING, AND REPORTING

Performance

1. Validity. The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

2. Expiration and Renewal. Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

3. Diligent Pursuit. Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

4. Extension. All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

5. Conformity with Current Law. No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463,



www.sfplanning.org

Design - Compliance at Plan Stage

6. Final Materials. The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7607, www.sfplanning.org

7. Garbage, Composting and Recycling Storage. Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7607, www.sfplanning.org

8. Landscaping. Pursuant to Planning Code Section 132, the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that 50% of the front setback areas shall be surfaced in permeable materials and further, that 20% of the front setback areas shall be landscaped with approved plant species. The size and specie of plant materials and the nature of the permeable surface shall be as approved by the Department of Public Works.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7607, www.sfplanning.org

Parking and Traffic

9. Bicycle Parking. The Project shall provide no fewer than **two (2)** Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.2.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

10. Parking Maximum. Pursuant to Planning Code Section 151, the Project shall provide no more than **three (3)** off-street parking spaces.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org



11. Managing Traffic During Construction. The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

Provisions

12. Residential Child Care Impact Fee. The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7607, www.sfplanning.org

Monitoring - After Entitlement

13. Enforcement. Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

14. Revocation due to Violation of Conditions. Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

15. Sidewalk Maintenance. The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works,



628.271.2000, www.sfpublicworks.org

16. Community Liaison. Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org





PROJECT DESCRIPTION

PROJECT LOCATION

- CONSTRUCTION OF A NEW, 3-STORY OVER BASEMENT, SINGLE FAMILY RESIDENCE, CONSTRUCTION OF A NEW ADD WITH BATHFOOM A KITCHENETTE AT THE FIRST LEVEL, DEMOLITION OF THE EXISTING 2-STORY OVER GARAGE RESIDENCE, UNDER SEPARATE PERMIT

LOT/BLOCK: (OR APN) ZONING: CONST. TYPE: OCCUPANCY



SETBACKS: FRONT: (WEST) SIDE: (NORTH) SIDE: (SOUTH) REAR: (EAST)

2'-5½' (AVERAGE SETBACK OF ADJ. NEIGHBORS) 5'-0" 5'-0" 27'-0" (30% OF REAR YARD)

BLDG SIZE & COVERAGE NO. OF STORIES BUILDING HEIGHT

BUILDING AREA:
EXISTING DWELLING



CONDITIONED UNIT 1 UNIT 2 (ADU) 353 S.F. 1,996 S.F. 1,985 S.F. (141 S.F. (STUDIO) 1,717 S.F. +293 S.F. +354 S.F. -379 S.F.



PROJECT DIRECTORY

ARCHITECT
JOHN MANISCALCO ARCHITECTURE
442 GROVE STREET
SAN FRANCISCO, CA 94102

JOHN MANISCALCO 415,864,9900 JOHN@M-ARCHITECTURE,COM

35 BELGRAVE AVE. SAN FRANCISCO, CA 94117

SITE PERMIT REV. 2 05.19.2021

PERMIT NUMBERS 202011148929 202011148925



John Maniscalco Architecture

415.864.9900 442 Grove Street San Francisco, CA 94102



Project Address 35 Belgrave Ave. San Francisco, CA 94117

Permit Number **202011148929** 202011148925 2020-010109PRJ

Issuance SITE PERMIT REV. 3

Date **06.07.2021**

Revision History

No. Issuance
01. SITE PERMIT
02. SITE PERMIT REV. 1
03. SITE PERMIT REV. 2

COVER SHEET

EXHIBIT B

A0.0-00

SHEET INDEX

 DRAWING SHEET ISSUED
 DRAWING SHEET NOT ISSUED SHEET NO. SHEET NAME
PROJECT DATA & INFORMATION

	A1.1-00	EXISTING SITE PLAN	0	0		т
4	A1.2-00	PROPOSED SITE PLAN	0	0		t
	A2.0-00	EXISTING BASEMENT DEMOLITION PLAN	0	0		t
	A2.0-01	PROPOSED GARAGE-BASEMENT LEVEL FLOOR PLAN	0	0		t
	A2.1-00	EXISTING FIRST LEVEL DEMOLITION PLAN	0	0		Ť
	A2.1-01	PROPOSED FIRST LEVEL FLOOR PLAN	0	0		Ť
	A2.2-00	EXISTING SECOND LEVEL DEMOLITION PLAN	0	0		Ť
	A2.2-01	PROPOSED SECOND LEVEL FLOOR PLAN	0	0		Ť
	A2.3-00	EXISTING ROOF DEMOLITION PLAN	0	0		Ť
	A2.3-01	PROPOSED THIRD LEVEL FLOOR PLAN	0	0		Ť
	A2.4-01	PROPOSED ROOF LEVEL FLOOR PLAN	0	0		Т
	A3.0-00	EXISTING NORTH (FRONT) ELEVATION - DEMOLITION	0	0		Т
	A3.0-01	PROPOSED NORTH (FRONT) ELEVATION	0	0		Т
	A3.0-10	EXISTING WEST (SIDE) ELEVATION - DEMOLITION	0	0		Τ
	A3.0-11	PROPOSED WEST (SIDE) ELEVATION	0	0		Ι
	A3.0-20	EXISTING SOUTH (REAR) ELEVATION - DEMOLITION	0	0		Ι
	A3.0-21	PROPOSED SOUTH (REAR) ELEVATION	0	0		Ι
	A3.0-30	EXISTING EAST (SIDE) ELEVATION - DEMOLITION	0	0		Ι
	A3.0-31	PROPOSED EAST (SIDE) ELEVATION	0	•		
	A3.1-00	EXISTING LONGITUDINAL BUILDING SECTION - DEMOLITION	0			
	A3.1-01	PROPOSED LONGITUDINAL BUILDING SECTION	0			
	A3.1-10	EXISTING LATERAL BUILDING SECTION - DEMOLITION	0	0		1
	A3.1-11	PROPOSED LATERAL BUILDING SECTION	0	0		4
	A8.2-00	EXTERIOR WINDOW DETAILS	0	0		



John Maniscalco Architecture

415.864.9900 442 Grove Street San Francisco, CA 94102



Project Address

35 Belgrave Ave. San Francisco, CA 94117

Permit Number **202011148929** 202011148925 2020-010109PRJ

Issuance SITE PERMIT REV. 2

Date 09.17.20 04.19.21 05.19.21

Date **05.19.2021**

Revision History

No. Issuance
01. SITE PERMIT
02. SITE PERMIT REV. 1
03. SITE PERMIT REV. 2

PROJECT SHEET INDEX

A0.0-10

DEFERRED SUBMITTALS

DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL DESIGN AND SUBMITAL DOCUMENTS HAVE BEEN REVIEWED AND APPROVED BY THE ARCHITECT AND BUILDING OFFICIALS

- FIRE SPRINKLERS, NFPA 13-R AUTOMATIC FIRE SPRINKLER SYSTEM PER CBC SEC. 903.3.1.2
- SHORING UNDER SEPARATE PERMIT

TONGUE AND GROOVE

EMPERED GLASS

CONSTRUCTION WASTE MANAGEMENT PLAN

GENERAL NOTES

- TOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL
- BUILDING AND FIRE CODES.

 2. IN THE EVENT THE CONTRACTOR ENCOUNTERS ON THE SITE MATERIAL REASONABLY BELIEVED TO BE ASBESTOS, POLYCHICRINATED BIPHENYL, PCBJ OR ANY OTHER HAZARDOUS MATERIAL WHICH HAS NOT BEEN RENDERED HARMLESS OR PREVIOUSLY IDENTIFIED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND THE ARCHITECT IN

- WRITING.

 MANUFACTURER'S DESIGNATIONS ARE NOTES TO INDICATE PATTERN, COLOR AND PERFORMANCE.

 CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD AND, IN THE EVENT OF DISCREPANCY,

 REPORTING SUCH DISCREPANCY TO THE ARCHITECT, BEFORE COMMENCING WORK,

 ANY ERRORS, COMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION SHALL BE BROUGHT TO THE

 ATTENTION OF THE ARCHITECT AND OWNER BEFORE PROCEEDING WITH THE WORK OF THE CONSTRUCTION DISCREPANCIES ARE TO BE

 REPORTED TO ARCHITECT.

 CONTRACTOR SHALL DOS SCALE DRAWINGS. WRITTEN DIMENSION SHALL ALWAYS GOVERN. CONTRACTOR RECURING

 DIMENSIONS NOT NOTED. SHALL CONTRACT THE ARCHITECT FOR SUCH INFORMATION PRIOR TO PROCEEDING WITH THE WORK

 BELL ATED TO THOSE DIMENSIONS.
- LEPTAN DIMENSIONS INDICATED ARE TO COLUMN CENTERLINE, TO FACE OF CONCRETE, TO FINISHED FACE OF GYP. BD., OR TO
- ALL PLAN UNIVERSIONS INTRODUCED AND A SECOND CONTROL OF THE SUPPORTS FOR ALL FIXTURES, EQUIPMENT, CASEWORK, FURNISHINGS AND ALL OTHER ITEMS REQUIRING SAME.

 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL TO SOME AND ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL TO SOME AND ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL TO SOME AND ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL TO SOME AND ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL TO SOME AND ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL TO SOME AND ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL TO SOME AND ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL TO SOME AND ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL TO SOME AND ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL TO SOME AND ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL TO SOME AND ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL TO SOME AND ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL TO SOME AND ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL TO SOME AND ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL TO SOME AND ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL TO SOME AND ALL CUTTING AND PATCHING REQUIRED FOR ALL C
- CTOR SHALL TAKE SUITABLE MEASURES TO PREVENT INTERACTION BETWEEN DISSIMILAR META
- ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE. TYPICAL OR "TYP." MEANS FOR ALL SIMILAR CONDITIONS, U.O. N.
- "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED, VERIFY DIMENSIONS AND ORIENTATION ON
- 15. DETAILS ARE USUALLY KEYED ONLY ONCE (ON PLANS OR ELEVATIONS WHEN THEY FIRST OCCUR) AND ARE TYPICAL FOR SIMILAR
- CONSTRUCTION AREA MUST BE BROOM CLEANED DAILY AND ALL MATERIALS SHALL BE STACKED OR PILED IN AN ORDERLY
- AT COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL MARKS, STAINS, FINGERPRINTS, DUST, DIRT, SPLATTERED PAINT, AND BLEMISHES RESULTING FROM THE VARIOUS OPERATIONS THROUGHOUT THE PROJECT
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGED AREAS THAT OCCUR DURING CONSTRUCTION THAT ARE WITHIN THE SCOPE OF WORK OR OUTSIDE SCOPE OF WORK, THAT ARE CAUSED BY HIM/HER OR SUBCONTRACTORS.
- WHERE ADJOINING DOORS HAVE DISSIMILAR FLOORING, MAKE CHANGE UNDER CENTERLINE OF DOOR, U.O. ALL PIPE, CONDUIT AND DUCT PENETRATIONS THROUGH FLOORS AND FIRE-RATED WALL AND CEILING SHALL BE SEALED WITH
- FIREPROOFING PLASTER OR FIRESTOPPING TO FULL DEPTH OF SLAB OR THICKNESS OF WALL/CEILING, ENTERING INTO AN AGREEMENT WITH THE OWNER INDICATES THAT THE CONTRACTOR(S) HAS VISITED THE SITE, FAMILIARIZED HIMHERSELF WITH THE EXISTING CONDITIONS, AND REVIEWED SAME WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL SUB-CONTRACTORS, INCLUDING THOSE UNDER SEPARATE CONTRACT
- WITH THE OWNER.
 CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, LANDSCAPE, CML,
 MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION, THIS INCLUDES REVIEWING REQUIREMENTS OF INDIMIDUAL
 SYSTEMS BEFORE CORDERING AND INSTALLATION OR NAY WORK, VERFY ALL ARCHITECTURAL DETAILS, AND INSING CONDITIONS
 SYSTEMS DEPORTED CROPERING AND INSTALLATION OR NAY WORK, VERFY ALL ARCHITECTURAL DETAILS, AND INSING CONDITIONS
- TH SAME DISCIPLINES. NTRACTOR SHALL SUBMIT CONFIRMATION WITH DELIVERY DATES ON ORDERS OF MATERIALS AND EQUIPMENT OF ANY LONG.

- CONTRACTOR SHALL SUBMIT CONFRINATION WITH DELIVERY DATES ON ORDERS OF MATERIALS AND EQUIPMENT OF ANY LONG LEAD TIME ORDER TIEMS.

 A 61-57 MINIMUM HEADROOM SHALL BE PROVIDED AT ALL STAIRS.
 CONTRACTOR SHALL PROVIDE RIFE-BLOCKING AT ALL CONCEALED DRAFT OPENINGS VIERTICAL & HORIZONTAL), AS PER CODE RECUIPMENTS, FIRE BLOCKING SHALL EP PROVIDED IN THE FOLLOWING LOCATIONS IN CONCEALED SPACES OF STLD WALLS AND PARTITIONS, INCLUDING FURPED SPACES AT THE CEILING AND FLOOR LEVELS AND HORIZONTALY AT IM1. 16-POOL INTERVALS.
 IN CONCEALED INTERCONNECTIONS SUCH AS SOFFITS, DOPP CEILINGS AND COVE CEILINGS.
 IN OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, AND WIRES AT CEILING AND FLOOR LEVELWITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND FRODUCTS OF COMBUSTION.
 ALL CHANGES IN FLOOR MATERIALS OCCUR AT THE CENTERLINE OF DOOR OR FRAMES OPENING UNLESS OTHERWAS INDICATED ON DRAWINGS.
- ON DRAWINGS.

 VERIEY OLEARANCES FOR FLUES, VENTS, SOFRTS, RIXTURES, FIREPLACES, ETC... BEFORE ANY CONSTRUCTION, ORDERING OR INSTALLATION OF ANY ITEM OF WORK.

 ALL EARTHWORK AND SITE DRAINAGE INCLUDING BASEMENTS AND PREPARATION OF SUBGRADE BENEATH HARDSCAPE,
 PLACEMENT, AND COMPACTION OF ENGINEERED FILL BENEATH HARDSCAPE, BASEMENT RETAINING WALL BACKFLL, AND FINAL
 SUBFACE DRAINAGE INSTALLATION SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.

 PRESSURE TREATED LUMBERS TO DE USED IF IN DIRECT CONTROL WITH ORDORED WALLS IT THERE IS NO PROVIDED AIR GAP,
 ALL EXTERIOR DOORS AND WINDOWS ARE TO BE WEATHER-STRIPPED PER TITLE 24 REQUIREMENTS UNLESS OTHERWISE NOTED

GENERAL ELECTRICAL NOTES

- APER CEC 150.0(K), ALL PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH EFFICACY, INCLUDING SCREW-BASED WHICH MUST CONTAIN JAS COMPLIANT LAMPS PER CEC 150.0(K) B. THE NUMBER OF BLANK ELECTRICAL BOXES MORE THAN 5 FEET ABOVE THE RINSHED FLOOR SHALL NOT BE GREATER THAN THE NUMBER OF BEDPOOMS AND THESE ELECTRICAL BOXES SHALL BE CONTROLLED BY ONE OF THE FOLLOWING: DIMMER, VACANCY SENSOR OR FAN SPEED CONTROLL BOXES SHALL BE CONTROLLED BY ONE OF THE FOLLOWING: DIMMER, VACANCY SENSOR OR FAN SPEED CONTROLL OF THE FOLLOWING: DIMMER SHALL BE CONTROLLED BY ONE OF THE FOLLOWING: DIMMER SHALL BE CONTROLLED BY ONE OF THE FOLLOWING: OF THE FOLLOWING: SINCE WAS ARTICALL THE AVAILABLE LESS THAN 2.0CPM.

 PER OCE 150.0(K)G. SOREW PASED LUMINARIES, IN INSTORTION JAS COMPLIANT LIGHT SOURCES, MUST NOT BE CONTRAINED IN RECSESSED DOWNLIGHT LUMINARIES, INCANDESCENT SOURCES ARE PROHIBITED FROM HAVING A GU-24 BASE (FER TITLE 20 SECTION 1605.3)(A)

 PER OCE 150.0(K)G.) JAY LEAST ONE FIXTURE IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS MUST BE CONTROLLED BY A VACANCY SENSOR.
- -VER CEC 150U(K)(X), AT LEAST UNIX, TATLE LESS UNIX, THE CONTROLLED BY A VACANCY SENSOR, PER CEC 150.0(K)(X), UNDER CASINET LIGHTING, INCLUDING WITHIN KITCHEN CABINETRY, MUST BE SWITCHED SEPARATELY FROM PER CEC 150.0(K)(X), UNDER CASINET LIGHTING, INCLUDING WITHIN KITCHEN CABINETRY, MUST BE SWITCHED SEPARATELY FROM PER CEC 150.0(K)(X), UNDER CASINET LIGHTING, INCLUDING WITHIN KITCHEN CABINETRY, MUST BE SWITCHED SEPARATELY FROM PER CEC 150.0(K)(X).

- OTHER LIGHTING SYSTEMS
 PER CSC 150,0019, ALL OUTDOOR LIGHTING IS TO BE H.E. LIGHTING AND INCLUDE A MANUAL ON/OFF SWITCH AND ONE OF THE FOLLOWING: PHOTOCONTROL AND MOTION SENSOR: PHOTOCONTROL AND MOTION SENSOR: PHOTOCONTROL AND MOTION SENSOR: PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL: ASTRONOMICAL TIME SWITCH CONTROL: AND AUTOMATIC TIME SWITCH CONTROL: ASTRONOMICAL TIME SWITCH CONTROL: AND AUTOMATIC SWITCH CONTROL AND AUTOMATIC TIME SWITCH CONTROL: ASTRONOMICAL TIME SWITCH CONTROL: ASTRONOMICAL TIME SWITCH CONTROL: ASTRONOMICAL TIME SWITCH CONTROL: ASTRONOMICAL TIME SWITCH AND AUTOMATIC AND AUTOMATICAL LIGHT, PROVIDE MIN, ANTIFICAL LIGHT OF FROM FOR AUTOMATIC SWITCH AND AUTOMATICAL TIME SWITCH AUTOMATICAL TIME SWITCH AND AUTOMATICAL TIME SWITCH AUT INSTALLED IN DWELLING LINE KITCHEN, LALINDRY AREAS, FAMILY ROOMS, DINING ROOMS, LIMING ROOMS, PARLORS, LIRRARIES DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL I ROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE
- PER CEC 406.12. ALL 125-VOLT. 15-AMPERE AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT. AS WELL AS IN
- ALL EXTERIOR LIGHTING FIXTURES TO MEET DARK SKY REQUIREMENTS
- PROVIDE AUDIO/VIDEO CABLING: REFER TO PLANS FOR MEDIA HOME RUN LOCATIONS AND DEVICE & SPEAKER LOCATIONS: COORD
- PROVIDE AUDIO/VIDEO CABLING: REFER TO PLANS FOR MEDIA HOME RUN LOCATIONS AND DEVICE & SPEAKER LOCATIONS: COORD VERIFY AUDIO/VIDEO CABLING AND LIGHTING AUTOMATION/INTEGRATION W/ ARCH, OWNER & CONSULTANT (IF APPLICABLE)
- U.O.N., ALL LIGHTING TO BE CENTERED IN ROOM AND/OR CEILING & BETWEEN FIXTURES; COORDINATE ALL LOCATIONS W/ CABINETRY & OTHER TRADES
- GANG ALL SWITCHES TOGETHER WHERE POSSIBLE
- Gavio ALL Syntroies Tober Her Windere Possible.
 TEMPORARIE VIDCATE CONTROLLER S SWITCH DEVESS & LIGHTING LOCATIONS FOR ARCH/JOWNER APPROVAL PRIOR TO WIRING,
 PROVIDE ADEQUATE NOTICE TO ARCH. FOR VEHIFICATION (3 DAYS MIN).
 PROVIDE ALL INCESSARY LECE, CONNECTIONS FOR HEATING & VENTILATION EQUIPMENT, FANS, PUMPS, ETC. COORDINATE W/
- ALL EXTERIOR LIGHTING FIXTURES TO MEET DARK SKY REQUIREMENTS
- ALL AX INFIDIT LIGHTING PLATES TATORIES IN OFFICE LAYARS AT RECONFIDENCE IN PROVIDE LEBOX FOR RECESSED MOTORIZED SHADE WY CONNECTION FER MANUFACTURER'S SPECS. VERIFY IN FIELD.
 THE SMOKE ALARMS SHALL BE INTERCONNECTION IN SUCH A MANIFER THAT THE ACTIVATION OF ONE ALARM MILL ACTIVATE ALL
 OF THE ALARMS IN THE DIMBORDAL UNIT. THE ALARM SHALL BE CLEARLY AUDITED. BUT ALL THE BEDFOOMS OVER BACKGROUND.
- 24. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND WHERE PRIM
- INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY, WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH
- OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. CRC315.5 WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN A DWELLING UNIT OR WITHIN SLEEPING UNIT IN GROUP R OCCUPANCIES, THE ALARMS SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDMIDUAL UNIT, CRC315.7

GENERAL PLUMBING NOTES

- WATER CONSERVING FIXTURES: NEW WATER CLOSETS SHALL USE NO MORE THAN 1.28 GALLONS OF WATER PER FLUSH, KITCHEN FAUCETS MAY NOT EXCEED 1.8 GPM, LOVATORIES ARE LIMITED TO 1.2 GPM, AND SHOWERHEADS MAY NOT EXCEED 2.0 GPM OF FLOW. OPC 407 AND 40.8. CPC CHAPTER 4 PROVIDE MIN. 30 'CLEAR WIDTH 8.24" IN FRONT @ WATER CLOSETS PRESSURE ASSORBING EVEN ERO'D ON WATER LINE CLOSE TO QUICK ACTING VALVES.

GENERAL GREEN BUILDING NOTES

- "PROJECTS WHICH DISTURBLESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION PROJECTS WITHOUT DATA TO THE EDUCATION OF MERCEN OF A COLL SPICE, WANTED STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATER SHALL DO COMPLY WITH COGG, 43011, SEE GENERAL PLUMPING NOTES.
- WALEH DIS: TO CUMPLY WITH CISC.4.303.1, SEE GENERAL PLUMISING NO IES. AUTOMATIC IRRICATION SYSTEM CONTROLLERS SHALL COMPLY WITH THE CGC SECTION 4.304.2 AS FOLLOWS: A -CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE BASED THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN NEEDS AS WEATHER CONDITIONS CHANGE, B - WEATHER BASED CONTROLLERS SHALL HAVE SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLERS, SOIL MOISTURE BASED

- OR WHELESS FAIN SENSOR WHICH CONNECTS OF COMMUNICATES WITH THE CONTROLLERS. SUIL MUST URE BASED CONTROLLERS AND END FECURED TO HAVE RAIN SENSORS.

 A MINIMUM OF 50% OF CONSTRUCTION WASTE IS TO BE RECYCLED, CGC 4.408.1.

 THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN TO THE JURISDICTION AGENCY THAT REGULATES WASTE MANAGEMENT, PER CGC 4.408.2.

 THE BULIDER IS TO PROVIDE AN OPERATION MANUAL (CONTAINING INFORMATION FOR MAINTAINING APPLIANCES, ETC.) FOR THE OWNER A THE TIME OF FIRM. INSPECTION. CGC 4.4101.2.

 DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED. CGC 4.614.1.

- DUHNIS CURB HOUTION, ENIGGS OF BUDGED AT LINEAGE AT LANGE AND TABLES 4,504.1, 4,504.3 AND 4,504.5 FOR COG 4,504.1, 1,4504.3 MINT COMPLY WITH THE LIMITATIONS LISTED IN SECTION 4,504.3 AND TABLES 4,504.1, 4,504.3 AND 4,504.5 FOR ADHESINES, PAINTS AND COATINGS, CAPPET AND COMPOSITION WOOD PRODUCTS, CGC 4,504.2, THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED IN SECTION 4,505.3 THE BUILDING MATERIALS WITH VISIBLE SIGNS OF WAITER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTINEATOR BY ONE OF THE METHODS LISTED IN CGC 4,505.3.

 PRIOR TO FINAL INSPECTION THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEARTHMENT OFFICIAL WRITTEN VERRICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION, GCG 102.3.

MATERIALS

11. USE PRODUCTS THAT COMPLY WITH THE EMISSION LIMIT REQUIREMENTS OF CALGREEN 4,504.2,1-5,5,504.4,1-6 FOR ADHESINES, SEALANTS, PAINTS, COATINGS, CASPET SYSTEMS INCLUDING CUSHIONS AND ADHESINES, RESILIENT FLOORING 10% OF AREA) AND COMPOSITE WOOD PRODUCTS.

- WALEH
 12. CAL GREEN 4.303.1: MEET FLUSH/FLOW REQUIREMENTS FOR: TOILETS (1.28 GPF); SHOWERHEADS (1.8 GPM); LAVATORIES (1.2
- CAL GREEN 4.30.3.1 MEET FLUSPIFLOW RECOMEMENTS FOR: 10LETS (1),23 GPF; SHOWENPEAUS (1.8 GPF); LOVATIONIES (1),25 GPF); KTIOHEN PAUCETS (1.8 GPM), SEE KEVEN DOTES ON PLAN.
 NEW CONSTRUCTION PROJECTS WITH AGGREGATED LANDSCAPE AREA ±500 SQ.FT. SHALL USE LOW WATER USE PLANTS OR CLIMATE APPROPRIATE PLANTS, RESTRICT TUPE AREAS AND COMPLY WITH MODEL WATER EFFICIENT LANDSCAPE ORDINANCE RESTRICTIONS BY CALCULATED ETAF (.55 FOR PESIDENTIAL) OR BY PRESCRIPTIVE COMPLIANCE FOR PROJECTS WITH <2 500 SQ FT OF LANDSCAPE AREA

ENERGY 14. COMPLY WITH ALL PROVISIONS OF THE CA ENERGY CODE

- PER SFGBC 4,201,3 RESIDENTIAL WITH NATURAL GAS TO DEMONSTRATE TOTAL ENERGY DESIGN RATING <14
- NEW RESIDENTIAL BUILDINGS OF ANY SIZE AND ≤10 OCCUPIED FLOORS, MUST DESIGNATE 15% OF ROOF TO SOLAR READY, PER TITLE 24 RULES. INSTALL PHOTOVOLTAICS OR SOLAR HOT WATER SYSTEMS IN THIS AREA, WITH PLANNING DEPARTMENT APPROVAL, PROJECTS SUBJECT TO SFPUC STORMWATER REQUIREMENTS MAY SUBSTITUTE LIVING ROOF FOR SOLAR ENERGY SYSTEMS, SEE ROOF PLAN.
- UND PROVIDE SHORT- AND LONG-TERM BIKE PARKING EQUAL TO 5% OF MOTORIZED VEHICLE PARKING, PER PLANNING CODE
- 18. NEW CONSTRUCTION TO PROVIDE ELECTRICAL CAPACITY AND INFRASTRUCTURE TO FACILITATE FUTURE INSTALLATION AND
- 5. NEW CUNS HUCHON TO PHOVIDE LECH HICAL CAPACITY AND INFRASTRUCTURE TO FACILITATE FUTURE INSTALLATION AND USE OF EV CHARGERS. SUCH THAT THE PROJECT WILL BE CAPABLE OF PROVIDING EV CHARGING SERVICES AT 100% OF OFF-STREET PARKING SPACES PROVIDED FOR PASSENGER VEHICLES. FOR EACH PARKING SPACE, INSTALL A 40-AMP 208 OR 240-VOLIT BRANCH CIRCUIT, INCLUDING RACEWAY, ELECTRICAL PANEL CAPACITY, OVERPROTECTION DEVICES, WHE, AND TERMINATION POINT SUCH AS A RECEPTACLE. THE TERMINATION POINT SHALL BE IN CLOSE PROXIMITY TO THE PROPOSED EV CHARGER LOCATION, RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE, OR CONCELLED A BREAS AND SPACES, RACEWAY FOR EACH CIRCUIT SHALL NOT BE LESS THAN TRADE SIZE I (NOMINAL 1-INCH INSIDE DIAMETER).
- WASTE DIVERSION 20. PROVIDE ADEQUATE SPACE AND EQUAL ACCESS FOR STORAGE, COLLECTION, AND LOADING OF COMPOSTABLE, RECYCLABLE

- GOOD NEIGHBORS 24. GLASS FACADES AND BIRD HAZARDS FACING AND/OR NEAR URBAN BIRD REFUGES MAY NEED TO TREAT THEIR GLASS FOR
- 25. PROHIBIT SMOKING WITHIN 10 FEET OF BUILDING ENTRIES, AIR INTAKES, AND OPERABLE WINDOWS AND ENCLOSED COMMON

- ARI-US.
 INDOOR ENVIRONMENTAL QUALITY
 18. NEW RESDENTIAL PROJECTS' INTERIOR NOISE DUE TO EXTERIOR SOURCES SHALL NOT EXCEED 45dB.
 27. SEAL PERMANENT HVAC DUCTS/EQUIPMENT STORED ONSITE BEFORE INSTALLATION. ADDITIONAL MEASURES
 28. FOR EACH GAS WATER HEATER SERVING AN INDMIDUAL DWELLING UNIT, INSTALL A DEDICATED 125V 20A RECEPTACLE
 29. FOR EACH GAS WATER HEATER SERVING AN INDMIDUAL DWELLING UNIT, INSTALL A DEDICATED 125V 20A RECEPTACLE
- WITH 120/240V 3-CONDUCTOR & 10AWG COPPER BRANCH CIRCUIT ADJACENT TO WATER HEATER, LABEL BOTH ENDS OF THE CONDUCTOR "SPARE", RESERVE ONE CIRCUIT BREAKER IN THE ELECTRICAL PANEL AND LABEL "FUTURE 240V USE", PRE-WIFE GAS DEVERS WITH CONDUCTOR BATED FOR 40-AMP CIRCUIT: PRE-WIRE GAS RANGES WITH CONDUCTOR RATED FOR 50-AMP SURFACE DRAINAGE TO KEEP SURFACE WATER FROM ENTERING BUILDING, SEE PLANS.
- SEAL AROUND PIPE, CABLE, CONDUIT, AND OTHER OPENINGS IN EXTERIOR WALLS WITH CEMENT MORTAR OR DBI-APPROVED
- SIMILAR METHOD FOR RODENT PROOFING. INSTALL ONLY DIRECT-VENT OR SEALED COMBUSTION, EPA PHASE II-COMPLIANT APPLIANCES, SEE KEYED PLAN NOTES
- SLAB ON GRADE FOUNDATION REQUIRING VAPOR RETARDER ALSO REQUIRES A CAPILLARY BREAK, SLAB DESIGN SPECIFIED BY
- PER CALGREEN 4,505,3, WALL AND FLOOR WOOD FRAMING MUST HAVE <19% MOISTURE CONTENT BEFORE ENCLOSURE PER CALGREEN 4,506.1, BATHROOM EXHAUST MUST BE ENERGY STAR COMPLIANT, DUCTED TO BUILDING EXTERIOR AND ITS HUMIDISTAT SHALL BE CAPABLE OF ADJUSTING BETWEEN <50% TO >80%. SEE KEYED NOTES ON PLAN

GENERAL BUILDING CODE NOTES

THE PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

- 2019 SAN FRANCISCO BUILDING CODE 2019 SAN FRANCISCO ELECTRICAL CODE 2019 SAN FRANCISCO ENERGY CODI
- 2019 SAN FRANCISCO MECHANICAL CODE 2019 SAN FRANCISCO PLUMBING CODE 2019 CALIFORNIA FIRE CODE
- IN THE EVENT OF CONFLICTS IN CODE REQUIREMENTS. THE MOST STRINGENT REQUIREMENTS SHALL APPLY, ANY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR RESOLUTION BEFORE COMMENCING WITH THE WORK
- PER SFBC 907.2.10.1.2, PROVIDE SMOKE DETECTORS ON EVERY FLOOR AND IN EVERY SLEEPING ROOM AND HALLWAY OUTSIDE
- PER SERC 406 1.4. PROVIDE GWR ASSEMBLIES RETWEEN PRIVATE GARAGE AND HARITARLE ROOMS (MIN 1/2" GWR RETWEEN THE DWELLING AND ITS ATTIC AREA. GARAGES BENEATH HABITA ROOMS ABOVE BY NOT LESS THAN A 5/8" TYPE "X" GWB OR EQ). HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE
- 4 PROVIDE MIN 1. EMERGENCY ESCAPE & RESCUE WINDOW PER SERC 1026 AT ALL SLEEPING ROOMS.
- 5. PROVIDE NEW 13-R SPRINKLER SYSTEM PER CODE (UNDER SEPARATE PERMIT).
- 6. PER SEBC TABLE 602, PROVIDE ONE HOUR BATED STRUCTURE VERYWHERE WITHIN 5 FEET OF AND PARALLEL TO THE



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Permit Number 202011148929 202011148925 2020-010109PRJ

SITE PERMIT REV. 2

05.19.2021

Revision History

SITE PERMIT 02 SITE PERMIT REV. 1 03. SITE PERMIT REV. 2

09.17.20

04.19.21

05.19.21 2

PROJECT INFORMATION

SHEET

A0.1-00

- 01.00 PROPERTY LINE
- 01.01 CENTERLINE OF PROPERTY
- 01.02 AVERAGE ADJACENT SETBACK, SHOWN DASHED
- 01.03 FRONT SETBACK, SHOWN DASHED
- 01.04 REAR YARD SETBACK, SHOWN DASHED 01.05 SIDE YARD SETBACK, SHOWN DASHED
- 01.06 OUTLINE OF ADJACENT PROPERTY BEYOND, SHOWN DASHED
- 01.07 OUTLINE OF ADJACENT PROPERTY BEHIND, SHOWN DASHED
- 01.08 NEIGHBORING FACE OF BLDG
- 01.09 OUTLINE OF PERMITTED BUILDING ENVELOPE
- AT 40'H FOLLOWING AVG, GRADE, SHOWN DASHED 01.10 OUTLINE OF PERMITTED BUILDING ENVELOPE AT 40'
- 01.11 OUTLINE OF (E) BLDG, TO BE DEMOLISHED, SHOWN
- 01.12 OUTLINE OF (E) BLDG BELOW ROOF, SHOWN

ABOVE MIDPOINT OF CURB, SHOWN DASHED

- 01.13 OUTLINE OF (E) BLDG AT PROPERTY LINE, SHOWN
- 01.14 GROUND FLOOR OUTLINE, SEE A2.00 FOR FLOOR
- 01,15 OUTLINE OF PROPOSED DEVELOPMENT AT
- CORRESPONDING LEVEL, SHOWN DASHE 01.16 PROPOSED LINE OF FLOOR/CEILING BEYOND,
- SHOWN DASHED 01.17 OUTLINE OF (3) 96 GALLON TRASH PER SFPC
- 01.18 OUTLINE OF 144 S.F. PARKING SPACE, SHOWN DASHED 01 19 CLASS 1 - WALL MOUNTED BICYCLE PARKING
- SPACE PER SFPC SEC, 155,2 & ZONING ADMIN. BULLETIN NO.9
- .01.20 (N) BLIND WALL, 1-HR BATED, AT PROPERTY LINE WALLS 01.21 1-HB BATED CONST. AT CELLING & WALLS BEQ.
- SEPARATION
- 01.22 DASHED LINE OF (N) 1-HR BATED CONST., TYP. 01.23-BUILDABLE HEIGHT LIMIT, SHOWN DASHE
- 01.23 (N) 42" GUARDRAIL W/ 36" HANDRAIL
- 01,24 (N) 36"H HANDRAIL 01.25 (N)42*H GUARDRAIL
- 01,26 (N)30"H 1-HR RATED PARAPET WALL
- 01.27 PROVIDE 200 SQ, IN, NET OPENING FOR GARAGE VENTILATION PER SFBC 406.1.3 (UP TO 1.000 SF)
- 01.28 OPEN TO ABOVE
- 01,29 OWNER SUPPLIED
- 01,30 DASHED LINE OF (N) 2-HR RATED CONST.
- 01,31 (E) WALL TO REMAIN
- 01.32 (E) WALL TO BE DEMO D, SHOWN DASHED
- 01,33 OUTLINE OF FIRST LEVEL ABOVE, SHOWN DASHED SEE A2.1-01
- 01.34 ROOF OVERHANG ABOVE, SHOWN DASHED 01,35 42"H 1-HR STUCCO PARAPET WALL W/ PAINTED
- ALUMINUM CAR
- 01.36 BUILDING FACE BEYOND, SHOWN DASHE 01.37 PROPOSED SETBACK THIRD LEVEL, 22'-0" FROM PI
- DASHED, SLOPED FROM PROPERTY SIDE OF
- 01.40 PERMITTED BUILDING BULK PLANE 10'-0' FROM FRONT PL, SHOWN DASHED
- 01.41 10'-0" FROM FRONT PROPERTY LINE, SHOWN
- DASHED 01.42 TRADES ACCESS STAIR ABOVE/BEYOND, SHOWN
- 01,43 SEE PA# FOR SCOPE OF WORK & PROPERTY LINE
- CONDITION @ 62 LAIDLEY ST. SHORING/ STRUCTURAL 01.44 NEIGHBORING WINDOWS BEHIND, SHOWN DASHED.
- NO IMPACT ON WINDOW LIGHT/AIR TYP 01.45 "SNOUT GARAGE" BEYOND FRONT SETBACK PER S.E. PLAN ROAT
- 01.46 ESTIMATED OUTLINE OF NEIGHBORING PROPERTY AT CORRESPONDING LEVEL
- 01.47 AREA OF SAFE DISPERSAL PER SFBC 1029 01.48 (E) BLDG. TO BE DEMOLISHED, WORK UNDER PREVIOUS PERMIT NO. 201604064049 & 201312275170 NOT COMPLETED
 01.49 NEIGHBOR WD RET, WALL
- 01.50 NEIGHBOR CONC. BET. WALL
- 01,51 NEIGHBORING TREE 01.52 NEIGHBORING FENCE
- 01,53 NEIGHBORING DECK
- 01,54 NEIGHBORING STAIR
- 01,55 NEIGHBORING RUBBLE ROCK WALL 01,56 NEIGHBORING GRADE, SEE SURVEY
- 01,57 (E) WOOD SUPERSTRUCTURE TO BE DEMO D PER PA#, SHOWN DASHED
- 01,58 OUTLINE OF FIRST LEVEL ABOVE, SHOWN DASHED, SEE A2.2-01
- 01.59 EFFICIENCY ADU PER SFBC SEC. 1030
- 01.60 30" CLR AT COUNTER & APPLIANCE PER SFBC SEC. 1030
- 01.61 NEIGHBORING WINDOWS IN WINDOW WELL, SHOWN DASHED, NO IMPACT ON WINDOW LIGHT/AIR, TYP, 01.62 DASHED LINE OF PROPOSED WALLS AND FLOORS

02 SITEWORK

- 02.00 (N) CURB CUT 02,02 (E) TREE TO REMAIN
- 02.01 (E) CURB CUT TO BE REMOVED
- 02.03 (E) TREE TO BE REMOVED
- 02.04 (E) SIDEWALK
- 02.05 (E) FENCE TO BE DEMOLISHED, SHOWN DASHED 02.06 (E) PLANTER
- 02.07 (E) PLANTER TO BE DEMOLISHED, SHOWN DASHED 02.08 (E) CONC. LANDSCAPE RETAINING WALL TO BE REPLACED IN KIND
- 02.09 (E) GRADE, SHOWN DASHED 02.10 (E) GRADE AT LOT CENTERLINE, SHOWN DASHED
- 02.11 (E) GRADE AT EAST PROPERTY LINE
- 02.12 (E) GRADE AT WEST PROPERTY LINE 02.13 ASSUMED (E) GRADE AT PROPERTY CENTERLINE. SHOWN DASHED
- 02,14 AVERAGE GRADE AT LOT CENTERLINE, SHOWN
 - 02,15 PROPOSED GRAD
 - 02.16 PROPOSED GRADE AT PROPERTY CENTERLINE
 - 02.17 UNEXCAVATED, TYP
 - 02.18 AREA OF PROPOSED EXCAVATION 02.19 (E) WALLS TO BE DEMOLISHED, SHOWN DASHED
 - SEE DEMO PERMIT # 02.20 (E) OUTLINE OF LEVEL ABOVE, SHOWN DASHED
 - 02,21 LANDSCAPE BY OTHERS, U.O.N.
 - 02.22 (E) CONCRETE DRIVEWAY
 - 02,23 PERMEABLE CONCRETE DRIVEWAY, SEE
 - LANDSCAPE & PERMEABILITY CALCS 02.24 TREE PROTECTION FENCING
 - 02.25 GRASS PAVERS S LD
 - 02.26 OUTDOOR GAS FIRE PIT (PROVIDE GAS TO LOCATION
 - 02.27 TBADES ACCESS BEAR YARD STAIRWAY 02.28 (N) PLANTER
 - 02.29 WOOD PROPERTY LINE FENCE TO FOLLOW GRADE
 - 02.30 PERMEABLE LANDSCAPE SURFACE DECOMP.
 - 02.31 WOOD CLAD PERMANENT SHORING SYSTEM, SEE
 - 02.33 DRAIN ROCK, MIN, PER GEOTECHNICAL REPORT
 - 02.34 (E) GRADE AT REAR PROPERTY LINE, SHOWN DASHED
 - 02,36 (E) NEIGHBORING TREE
 - 02,38 (E) GRADE @ NEIGHBORING PROPERTY LINE
- 02.39 SEE PA#2018-013932PBJ FOR S.O.W. & GRADING
- 02.40 (E) GRADE @ WEST PROPERTY LINE ON 35
- 02.42 AREA OF PROPOSED EXCAVATION, PARTIAL SITE WIDTH, SEE PLAN
- 02.46 (E) SANITARY SEWER CLEAN-OUT TO BE REMAIN
- 02.48 (E) WATER METER TO BE REMAIN

- 02,53 OUTLINE OF SUBGRADE STUDIO SPACE PER SFPLN
- 02,54 (N) PROPERTY LINE RETAINING WALL & 6'-0" FENCE
- 02,56 (N) RETAINING WALL
- 02.57 (N) RETAINING WALL & WOOD PROPERTY LINE FENCE
- 02.58 (N) PLANTER

- . 03.01 CONCRETE SLAB WITH DASHED VAPOR BARRIER OVER COMPACTED GRAVEL SUB-BASE, S.S.D.
- 03.02 BOARD FORMED CONCRETE LANDSCAPE WALL, SLD
- 03.03 1-1/2" GYPCRETE WITH RADIANT TUBING
- 03.04 CONCRETE CRAWL SPACE SLAB O/ WATERPROOFING O/ SLOPED GRADE SSC
- 03,05 CONCRETE RETAINING WALL O/ SHORING ASSEMBLY, SEE STRUCTURAL & SHORING DWG'S
- 03.06 CONCRETE FOUNDATION WALL SSD. 03,07 CONC, FOUNDATION/SLAB, SHOWN DASHED, SSD
- 03.08 CONC. TOPPING SLAB, SLOPED TO DRAIN, O/ CONC. STRUCTURAL SLAB. SSD
- 03.09 (F) PARTIAL HT, CONC. RETAIN WALL, TO REMAIN 03,10 (E) RETAIN/ FOUND, WALL, TO REMAN 03.11 (F) RETAIN/ FOUND, WALL, TO BE DEMO'D.
- 03.12 (E) PARTIAL HT. CONC. RETAIN WALL, TO DEMO'D

04 MASONRY

- 04,00 "DRY-STACKED" STONE SLABS
- 04.01 2" STONE PAVERS OVER PEDESTALS OR P.T SLEEPERS
- 04.02 STONE TREADS & RISERS OVER MORTAR OVER CONCRETE
- 04.03 STONE PAVERS OVER PEDESTALS OVER SLOPED CONCRETE SLAB
- 04,04 STONE QUOIN
- 04,05 STONE PAVERS O/ PEDESTALS O/ ROOF, SLOPED TO DRAIN 1/4" PER FOOT
- 04.06 STONE TREADS & RISERS OVER WOOD FRAMING 04.07 STONE CLADDING WALL

05 METALS

- 05.00 (N) 42"H TEMP, GLASS GUARDRAIL
- 05.01 (N) 36"H STAINLESS STEEL HANDRAIL 05.02 (N) 42" METAL MESH GUARDRAIL
- 05.03 WEATHERED STEEL PANEL SIDING 05,04 METAL FASCIA
- 05.05 STEEL BEAM, S.S.D. 05.06 BRAKE METAL WINDOW SPANDREL
- 05.07 METAL PANE 05.08 BREAK METAL COVER
- STEPS WITH RE-GRADING
- GRANITE OR SIM.
- STRUCTURAL & SHORING DWG'S 02.32 LANDSCAPE REAR YARD STAIR, SHOWN DASHED
- 02,35 REGRADED & COMPACT REAR YARD, SCD
- 02.37 (E) WOOD RETAINING WALLS TO BE DEMOLISHED
- CONDITION
- BELGRAVE, SHOWN DASHED

- 02.45 (E) PG&E UTILITY BOX TO RELOCATED
- 02.49 (E) WATER METER TO BE RELOCATED
- 02,51 (E) STAIR TO BE DEMO'D
- 02.52 (E) GRADE CONTINUES OVER STUDIC
- SEC 136(c)(25) SHOWN DASHED
- 02.55 (N) EXTERIOR STAIRWAY
- 03 CONCRETE 03.00 CAST-IN-PLACE CONCRETE RETAINING WALL, SSD

- - 06.31 WOOD FRAMING @ CONCRETE WALL W/ MIN. 3/8" CLR. 06.32 WOOD FRAMING SHOWN DASHED
- 06.33 WOOD FURRING W/ $\frac{6}{8}$ TYPE 'X' GYP O/ STRUCT. STL, SSD 08.29 PTD. METAL MAN DOOR, EMERGENCY ACCESS PT. 06,34 WOOD STAIR OVERHEARD, SHOWN DASHED

07 THERMAL

- 07,00 ACOUSTICAL BATT INSULATION BETWEEN FLOORS
- (FORMALDEHYDE FREE) 07.01 R-5 RIGID INSULATION AT SLAB ON GRADE
- 09.02 PTD, GYP, BD, SOFFIT (POLY-ISO OR EQ) INCL. SLAB EDGE, SEE T-24 REPORT 09.03 INTEGRAL COLOR STUCCO (SMOOTH TROWELED 07,02 R-13 BATT INSULATION (FORMALDEHYDE FREE) AT 09.04 2X LAYERS %" TYPE 'X' GWB CEILING (1-HR.)

09 FINISHES

FINISH)

WALLBOARD

09.18 TILE BACKSPLAS

T.O. DRAIN

09.19 TILE SHOWER CURE

09.00 PAINTED %" TYPE X' GYPSUM WALLBOARD

09.05 VENEER PLASTER OVER %" TYPE 'X' GYPSUM

09.06 STONE/COMPOSITE STONE BACKSPLASH

09.14 STONE/COMPOSITE STONE SLAB FRAME @ SOA

09.15 STONE/COMPOSITE STONE SLAB SHOWER CURB

09.20 CURBLESS SHOWER, MIN 2" DROP FROM F.F. TO

09.23 3/8 REVEAL AT FLOOR, NO BASE, TEKTRIM #UME

09.24 5/8 REVEAL AT CEILING, TEKTRIM #UMB ALUM, TRIM

09.25 CONTINUE STONE PAST SHOWER ENCLOSURE 1/2*

09,26 INTEGRAL COLOR STUCCO (SMOOTH TROWELED) W/

3/4" APA RATED PLYWOOD SHEATHING, SSD

3/4" APA BATED PLYWOOD SHEATHING, SSD

ALUM, EDGE MOLD W/ SLOPED METAL SURBOUND

09,21 FLUSH RECESSED TILE BASEBOARD

09.22 1/4" REVEAL FRY REGLET "F" OR EQ.

09,27 3/4" HARDWOOD FINISHED FLOOR O/

09.28 3/8" TILE FINISHED FLOOR O/ THINSET O/

09.29 3/4 HARDWOOD FINISHED FLOOR O/

1° R-5 CONT, RIGID INSULATION O/

CONCRETE STRUCTURAL SLAB, SSD

1/2" RC CHANNEL O/ FLOOR FRAMING

1 1/2" GYPCBETE O/

1 1/2" GYPCRETE O/

1 1/2" GYPCRETE O/

09.30 5/8 GYP BD. O/

ALLIM TRIM OR FO

09.16 FLUSH RECESSED STONE SLAB BASEBOARD

09.01 1/2 RC-1 RESILIENT SOUND CHANNEL

- CONCRETE WALLS, SEE T-24 REPORT 07.03 R-19 BATT INSULATION (FORMALDEHYDE FREE), SEE T-24 REPORT
- 07.04 R-21 BATT INSULATION (FORMALDEHYDE FREE) AT
- WALLS, SEE T-24 REPORT
- ATTIC SPACE IN ACCORDANCE WITH ICC-ES REPORT 07.08 CLASS A ROOFING (OVER SLOPED COVER BOARD OR
- CLOSED CELL SPRAY FOAM INSULATION SLOPE MIN. 1/4 PER FT. TO DRAIN) W/ GRAVEL BALLAST AS REQ'D FOR FIRE RATING/ WHEN VISIBLE
- 07.09 WATERSTOP, TYP. @ BELOW GRADE COLD JOINTS 07,10 COLD FLUID APPLIED MEMBRANE, SEE SPEC 07.11 GREEN ROOF ASSEMBLY O/ 1-HR RATED ROOF
- SLOPED TO DRAIN 1/4" PER FOOT 07.12 PRE-FINISHED SHEET METAL ROOF, SLOPE 1/4" PER FOOT MIN
- 07.13 FLAT LOCKED METAL ROOF PANEL, SLOPE 1/4" PER FOOT MIN 07.14 CONTINUOUS UNDER-SLAB WATERPROOFING
- SHOWN DASHED 07.15 WATERPROOF MEMBRANE, SHOWN DASHED 07.16 ROOF RIDGE & HIGH PT, SLOPE MIN 1/4"

07.17 ROOF CRICKE

05.10 PAINTED GALVANIZED SHEET METAL FLASHING 05.12 STEEL STRINGER AND TREAD

05.09 HORIZONTAL METAL SCREEN WITH VERTICAL METAL

05.14 (N) 42" METAL MESH GUARDRAIL W/ 36" STAINLESS

05.15 PIN-MOUNTED HOUSE ADDRESS NUMBERS @ +/-

7'-0" ABOVE GRADE: ARABIC NUMERALS - 4'H x 1/2"

05.16 MTL WALKWAY/ BRIDGE 05.17 (N) 42" METAL RAIL GUARDRAIL 2 05.18 3 0 PAITNED MTL OVERHANG

ATTACHMENT FRAME

05.13 METAL SHELVES

- 06 WOODS & PLASTICS 06.00 WOOD FRAMING
- 06,01 (E) WOOD SIDING TO BE DEMOLISHED, TYP 06.02 (E) VERTICAL STAINED WOOD SLAT SCREEN 06.03 (ELHORIZONTAL STAINED WOOD SLAT SCREEN 06.04 VERTICAL STAINED CLEAR T & G EXTERIOR WOOD SIDING
- 06.05 HORIZONTAL STAINED OLEAR T.& G EXTERIOR WOOD SIDING 06.06 VERTICAL STAINED OF EAR T & G INTERIOR WOOD SIDING
- 06.07 HORIZONTAL STAINED CLEAR T & G INTERIOR WOOD SIDING

WOOD VENEER WALL PANEL, 1/4" SPACING BETWEEN

06.15 2X4 P.T. FURRING WITH INSULATION, SEE T-24 REPORT

PANELS

06,12 WOOD PANEL

06.16 WOOD EAVE/RAKE

06.17 SHEAR PLYWOOD, S.S.D.

06.19 ROOF SHEATHING, S.S.D.

06.18 PLYWOOD SUBFLOOR, S.S.D.

06.20 PRESSURE TREATED FRAMING, S.S.D.

06,22 WOOD TOE KICK, TO MATCH MILLWORK, U.O.N

06,24 EXTERIOR WOOD DECKING, IPE OR SIM., SEE SPEC

06.30 WOOD FLAT FRAMING @ CONCRETE WALL W/ MIN. 3/8

06.23 WOOD COUNTERTOP, SEE SPECIFICATION

06.21 APPLIED WOOD TRIM, 1/4" RABBET

06.25 WOOD HANDRAIL, 36" AFF, U.O.N.

06.27 RECESSED JAMB/SILL/HEAD, U.O.N.

06.29 WOOD STAIR BEHIND, SHOWN DASHE

06,26 PTD, WD, SILL W/ 1/4" RABBET

06.28 RECESSED PTD, WD TRIM

CLR, AIR GAR

06.13 WOOD APPLIED BASEBOARD

LAP JOINTS @ PANEL JOINTS

- 06.08 WOOD STAIR TREAD & RISER, SEE FINISH SPEC 08.09 PTD, WD GARAGE DOOR, SEE SCHEDULE 06.09 WOOD T & G CEILING, SEE FINISH SPEC 08.10 PTD, METAL FLUSH MOUNT OVERHEAD GARAGE 06.10 WOOD EXTERIOR DECKING, SEE FINISH SPEC06.11 DOOR
 - 08,11 ELECTRIC POWERED, OVERHEAD ROLL-UP GARAGE DOOR, SHOWN DASHED IN OPEN POSITION 08.12 PTD. INSULATED ALUMINUM DOOR SYSTEM

08.08 (E) GARAGE DOOR TO BE REMOVED

08 DOORS & WINDOWS

08 02 (ELWINDOWS TO BE DEMOLISHED TYP

08.01 (E) WINDOWS TO REMAIN

08.04 (FLSKYLIGHT TO REMAIN

08.06 (EUNSUL ALUM SKYLIGHT

08.07 CUSTOM WOOD DOOR

08.00 1%" THICK MIN, SOLID CORE DOOR WITH CLOSER

AND SMOKE GASKET (20 MIN RATING)

08.03 PTD, INSULATED ALUMINIUM WINDOW SYSTEM

08.05 (E) SKYLIGHT TO BE REMOVED, SHOWN DASHED

- 08.13 METAL SILL PAN (SS AT DOOR/WIN REAR LEGS) 06.14 PAINTED 3/4* MDO FINISHED PANEL, SEAL CUTS, CREATE 08.14 PAINTED METAL HEAD FLASHING (MATCH DOOR/WIN UNIT) 08.15 EXTERIOR SLIDING SCREEN & TRACK
 - 08.16 TRANSLUCENT TEMPERED GLASS HINGED DOOR, FRAMELESS. 08.17 PIVOT HINGES, CR LAURENCE CARDIFF OR EQ., SEE
 - 08.18 WALL MOUNTED GLASS DOOR HINGE, CRL POLISHED CHROME VIENNA 037, U.O.N., SEE SPEC
 - 08.19 DOOR SHOWN DASHED IN OPEN POSITION 08.20 INTEGRAL DOOR PULL, SEE HARDWARE SCHEDULE 08.21 DOOR HARDWARE, SEE HARDWARE SCHEDULE

08.22 BLIND DOOR PANEL HEAD, TO MATCH DOOR PANEL

08,23 RECESSED POCKET DOOR TRACK, SHOWN DASHED

- 08.24 1HR RATED SOLID CORE DOOR W/ CLOSER & SMOKE GASKET 08.25 CRAWL SPACE ACCESS DOOR, MIN. 16"x24" 08.26 PTD. INSULATED ALUMINUM SKYLIGHT, SLOPED TO
- DRAIN 1/2" PER FOOT, OR PER MANUF, 08.27 PTD. INSULATED ALUMINUM SKYLIGHT ABOVE SHOWN DASHED 08.28 PTD. INSULATED ALUMINUM SKYLIGHT BEYOND

FROM PUBLIC WAY

08.30 BOTTOM LAYER @ INSULATION PANEL 08.31 CUSTOM PTD, METAL ENTRY DOOR 08,32 PTD, METAL OVERHANG 08.33 PTD, INSULATED ALUMINUM OPERABLE SKYLIGHT

10 SPECIALTIES

- 10.00 1/2" FRAMELESS STARFIRE TEMPERED GLASS ENCLOSURE RECESSED IN 1/2" CHANNEL SUPPORT AT WALL AND 3/4" CHANNEL SUPPORT AT FLOOR &
- 10.01 ROBE/COAT HOOK, 5'-6" A.F.F., CENTERED ON
- 10.03 HAND TOWEL BAR, PROVIDE BLOCKING 10.04 TOILET PAPER HOLDER, PROVIDE BLOCKING 10,05 INTEGRAL TOWER BAR/DOOR PULL, CRL MT SERIES
- COMBINED, U.O.N., SEE SPECIFICATION 10.06 MIRROR WITH METAL FRAME
- 10.07 FRAMELESS MIRROR 10.08 ART BY OWNER 10.09 ART NICHE 10.10 1/2" FRAMELESS TEMP, LOW-IRON GLASS PANFI FULL-HEIGHT, RECESSED IN 1/2" CHANNI

CELLING

11 EQUIPMENT 11.00 WALL-MOUNTED GARAGE DOOR OPENER EQUIPMENT, SHOWN DASHED, SEE SPECIFICATION

SUPPORT @ WALL & 3/4" CHANNEL @ FLOOR &

- 11.01 SINGLE-SIDED LINEAR GAS FIREPLACE WITH DIRECT VENT SEALED 11,02 HEATED TOWEL BAR, PROVIDE BLOCKING AND
- 11,03 BUILT-IN WALL OVENS, SEE APPLIANCE SCHEDULE 11.04 UNDERCOUNTER CLOTHES WASHER, SEE APPLIANCE SCHEDULE 11.05 LINDERCOLINTER CLOTHES DRYER, SEE APPLIANCE
- 11.06 DASHED OUTLINE OF WASHER/DRYER SEE APPLIANCE SCHEDULE 11,07 UNDERCOUNTER DISHWASHER WITH CUSTOM

OVERLAY PANEL, SEE APPLIANCE SCHEDULE

SCHEDULE

11.08 INTEGRATED FREEZER/ REFRIGERATOR WITH CUSTOM OVERLAY PANEL. SEE APPLIANCE SCHEDULE 11.09 NOT USED

11,10 FLAT SCREEN TV ON WALL MOUNTED WITH

- BLOCKING 11.11 INTEGRATED COFFEE MAKER, SEE APPLIANCE SCHEDULE 11.12 INTEGRATED WARMING DRAWER, SEE APPLIANCE
- SCHEDULE 11,13 COOKTOP, SEE APPLIANCE SCHEDULE 11.14 RECYCLING/TRASH/COMPOST CENTER PULLOUT

SHALLOW TILT BRACKET, SHOWN DASHED, PROVIDE

12 FURNISHINGS

- 12.00 BUILT-IN MILLWORK/ CLOSET
- 12,01 BUILT-IN UNDERCOUNTER MILLWORK
- 12.02 BUILT-IN UPPER MILLWORK, SHOWN DASHED ABV,
- 12.03 PULL-OUT INTERIOR SHELF/DRAWER, SHOWN DASHED
- 12.04 TOUCH LATCH OPERATION
- 12,05 BUILT-IN FIXED SHELVES
- 12.06 BUILT-IN FIXED SHELF BEYOND, SHOWN DASHED
- 12.07 BUILT-IN FIXED SHELVES ABOVE, SHOWN DASHED
- 12.08 BUILT-IN FILE DRAWERS, SHOWN DASHED
- 12.13 BUILT-IN WOOD DESI
- 12.14 BUILT-IN MILLWORK VANITY
- 12.15 BUILT-IN WOOD FLOATING BENCH 12.16 BUILT-IN FILE DRAWER 12.17 RECESSED TOILET PAPER HOLDER IN MILLWORK
- BEHIND, SHOWN DASHED 12.18 OPEN FLOATING WOOD SHELF WITH LED LIGHT
- PROVIDE BLOCKING AT WALL 12.19 BECESSED INTEGRAL PULL TYP 12.20 RECESSED SINGLE MOTORIZED ROLLER SHADE. SLINSHADE JE APPLICABLE VERIEV CORNER LINIT CONFIGURATION, WITH MANUFACTURER) WITH 3/4*
- PTD MDE ATTACHED TO BIOUSHADE "II" METAL ELAP & 1/4" REVEAL, AS REQ'D 12.21 BECESSED DUAL MOTOBIZED BOLLER SHADE SUNSHADE & BLACKOUT (IF APPLICABLE VERIFY CORNER UNIT CONFIGURATION, WITH
- B.O. SHADE "L" METAL FLAP & 1/4" REVEAL, AS REQ'D 12.22 RECESSED MOTORIZED ROLLER SHADE BEYOND. SHOWN DASHED 12,23 SHELF & HANGING ROD BEYOND, SHOWN DASHED

MANUFACTURER) WITH 3/4" PTD, MDF ATTACHED TO

- 12.24 METAL HANGING ROD, HAFELE STL. OVAL 1.5MM -POLISHED, U.O.N. 12.25 MILLWORK VALANCE AT LED STRIP LIGHTING
- 12.26 FRAMELESS RECESSED FLUSH MEDICINE CABINET W/ ADJUSTABLE SHELVES AND INT. OUTLETS 12.27 MECHANICAL TOUCH-TO-OPEN DRAWER WITH SOFT

CLOSE, SEE SPECIFICATION

12.28 MECHANICAL LIFT-UP DOOR WITH SOFT CLOSE, SEE SPECIFICATION 12,29 WOOD WINE RACK STORAGE SYSTEM, SEE SPEC 12,30 METAL WINE RACK STORAGE SYSTEM, SEE SPEC

12,31 RIVER ROCK GARDEN WITH DRAINAGE AND "L"

14 CONVEYING 14.01 FOUR-STORY HYDRAULIC ELEVATOR 14.02 ELEVATOR PUMP WITH CONTROLLER

15 MECHANICAL/ PLUMBING

15.06 INTEGRATED VENT, HOOD INSERT, 100 CFM MIN

15,07 COMBO DHW/HYDRONIC HEATING BOILER, SEALED

- 15.00 (E) WATER METER 15,02 (E) WATER METER
- 15.01 (E) GAS METER 15.03 (E) GAS METER

15.04 TRENCH DRAIN

COMBUSTION TYPE

15.14 ROOF DRAIN WITH OVERFLOW

TO SEWER PER CODE

15 18 FIRF PROTECTION RISER

SENSOR

65 OR FO.

15.15 PERIMETER DRAIN & WATERPROOFING, SEE

15.16 FOUNDATION DRAIN IN FILTER FABRIC SLEEVE (TIED

WATERPROOFING SPECIFICATION

15.17 FIRE SPRINKLER BACKFLOW PREVENTER

15.19 WASHING MACHINE DRAIN PAN WITH WATER

15,20 LINEAR DRAIN WITH STRAINER, INFINITY DRAIN S-AS

15.21 RECESSED AND FLUSH TOILET FLUSH ACTUATOR

15,23 WALL-MOUNTED CONTROLS, SEE PLUMBING SPEC

15.24 FLOOR-MOUNTED FAUCET, SEE PLUMBING SPEC

15.26 WALL-MOUNTED TOILET, SEE PLUMBING SPEC

15,25 FLOOR-MOUNTED TUB FILLER, SEE PLUMBING SPEC

15.29 STEAM SHOWER STEAM HEAD, SEE PLUMBING SPEC

15,30 DECK-MOUNTED FAUCET & HANDSPRAYER, SEE

15.32 DECK-MOUNTED INSTANT HOT WATER TAP, SEE

15.35 WALL-MOUNTED POT FILLER, SEE PLUMBING

SEE PLUMBING SPECIFICATION

PLUMBING SPECIFICATION

15.22 WALL-MOUNTED FALICET/CONTROLS SEE

15.05 AREA DRAIN

15,13 ROOF DRAIN

- DRAWINGS
- 16.03 GFCI OUTLET 16,04 GFCI RECEPTACLE MOUNTED AT REAR OF CABINET
- DRAWER
- 16.05 POWER, CABLE, & TEL/DATA OUTLET
- 16.09 BEHIND MIRROR LED STRIP LIGHTING, SEE LIGHTING
- 16.10 LIGHT COVE (FINISH TO CONTINUE INTO COVE) SEE LIGHTING DRAWINGS 16.11 OUTLINE OF CONTINUOUS LIGHTING COVE WITH LED STRIP LIGHT, SHOWN DASHED, SEE LIGHTING
- DRAWINGS
- 16.12 ENTRY KEYPAD SYSTEM 16,13 SECURITY KEYPAD, SEE SECURITY DRAWING 16.14 IN-WALL SMURF TUBING TO OUTLET AT 4'-0" AFF
- 16.15 PLUGMOLD AT UNDERSIDE OF COUNTERTOR RECESSED, CONCEAL AT EDGES 16.16 RECESSED FLOOR OUTLETS FLUSH WITH FLOOR

U.O.N., FOR FUTURE TV INSTALLATION

WITH A/V CONSULTANT, PROVIDE VENTILATION

- CARLON OR FO 16.17 A/V EQUIPMENT AND WIRELESS HUB, COORDINATE
- 16.18 POWER FOR HEATED TOWEL BAR 16.19 BECESSED TROUGH AT DESK WITH INTEGRATED OUTLETS 16.20. UNDER CABINET RECESSED LIGHTING, SEE

16.23 PHOTOVOLTAIC PANEL ARRAY

16.24 WALL-MOUNTED ELECTRIC VEHICLE CHARGER

16,27 FLUSH MOUNTED SMOKE & CARBON MONOXIDE

ROOM W/ PULL WIRE FOR PV SYSTEM

15,27 WALL-MOUNTED SHOWER VALVE, SEE PLUMBING LIGHTING DRAWINGS 16.21 DECORATIVE LIGHTING, SEE LIGHTING DRAWINGS. 15,28 STEAM SHOWER CONTROLS, SEE PLUMBING SPEC 16.22 RECESSED POP-UP OUTLETS

16.26 (N) 6 FIRE BELL

- PLUMBING SPEC 16.25 WALL-MOUNTED BATTERY STATIONARY ENERGY 15.31 DECK-MOUNTED SOAP-DISPENSER, SEE PLUMBING STORAGE
- PLUMBING SPEC ALARMS, PROVIDE @ ALL SLEEPING ROOMS, 15.34 DECK-MOUNTED DISPOSAL AIR SWITCH, SEE OUTSIDE OF SLEEPING ROOMS & @ EACH STORY PLUMBING SPEC 16.28 PROVIDE WEATHERHEAD + CONDUIT TO MECH.
- 15.36 IN-WALL A/C UNIT WITH SUPPLY & RETURN SLOS AT
- 15,37 REMOVABLE PANEL AT A/C UNIT WITH 1/4" REVEAL AT VERTICAL EDGES 15,38 MUD-IN FLUSH LINEAR GRILLE, ARCHITECTURAL
- ARCHITECTURAL GRILLE ALUM. J-FRAME OR EC 15.40 IN-WALL RADIANT MANIFOLD WITH ACCESS PANEL 15.41 CONTINUOUSLY OPERABLE EXHAUST FAN FOR

15.39 FLUSH LINEAR TOE KICK SUPPLY DIFFUSER

WHOLE HOUSE VENTILATION.

MANUFACTURER REQ.

- 15.42 MECHANICAL DUCTS WITH DUCT MASTIC ON DUCT JOINTS AND SEAMS 15.43 WINE ROOM MECHANICAL UNIT 15,44 WHOLE HOUSE WATER FILTRATION SYSTEM 15.45 DRYER VENT, COORDINATE LOCATION WITH DRYER
- 15.46 RECESSED COLD AND HOT WATER SHUT-OFF VALVES FOR WASHING MACHINE WITH SHUT OFF SENSOR, PROVIDE ACCESS PANEL 15.47 EXHAUST FAN (MIN. 50 CEM) WITH GRILLE. SEE SPEC 15.48 PROVIDE MECHANICAL VENTILATION PURSUANT TO

SEBC 1203 1 @ SEMC CH 4 - TABLE 4 1

PROVIDE ARTIFICIAL LIGHT PURSUANT TO SFBC

- 15.49 PROPOSED GAS METER
- 15.50 PROPOSED SAND TRAP DRAIN, SLOPE PER FOOT 15.51 FLOOR MOUNTED TOILET, SEE PLUMBING SPECS

SHEDDING, AGGREGATE AREA IS LESS THAN 20

15.52 LOW SLOPE ROOFS, SLOPED FOR WATER

S.F. & DOES NOT SHED OFF PROP.

15,53 (N) RADIANT MANIFOLD + PUMPS 15,54 FIRE DEPARTMENT CONNECTION

15,55 PROPOSED ROOF DRAIN PATH

CONNECTION AND SUB SLAB DRAINAGE
15.57 PLUNGE POOL
15.58 (N) UTILITIES CABINET ON WEST FACE OF PLANTER,
PLANTING TO CONCEAL ABOVE

15.56 PROPOSED ROOF DRAIN OUTLET AT SLAB, SCD FOR CONNECTION AND SUB SLAB DRAINAGE

16 ELECTRICAL

- 16.00 ELECTRICAL PANEL/METER, 400 AMP SERVICE 16.01 400 AMP ELECTRICAL SUBPANEL, EXACT SIZE TO BE DETERMINED BY SUBCONTRACTOR CALCUS.
- PROVIDE MIN 36" CLEAR WORKING SPACE 16.02 LUTRON PANELS, SHOWN DASHED, SEE A.V.
 - John Maniscalco Architecture
 - 415.864.9900



35 Belgrave Ave. San Francisco, CA 94117

SITE PERMIT REV. 2

202011148929

202011148925

2020-010109PRJ

Permit Number

05.19.2021

03. SITE PERMIT REV. 2

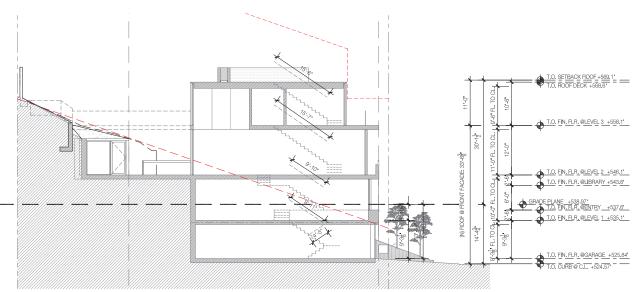
Revision History No. Issuance SITE PERMIT 09.17.20 02. SITE PERMIT REV. 1 04.19.21 /1

05.19.21/2

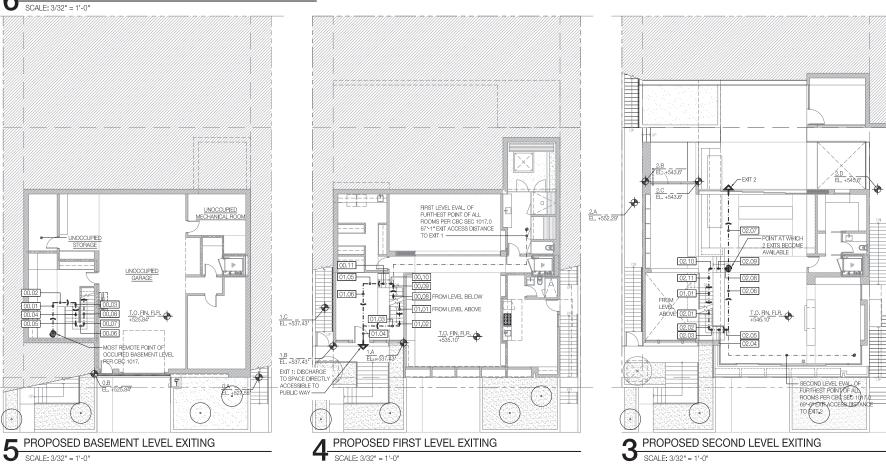
PROJECT BUILDING **KEYNOTES**

A0.2-00

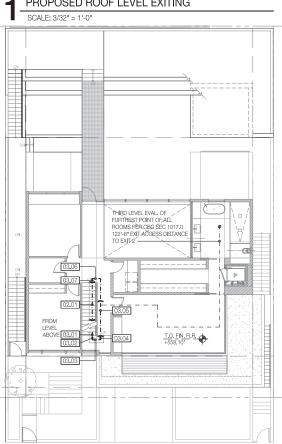
09.07 STONE/COMPOSITE STONE COUNTERTOP 15.08 DOMESTIC HOT WATER STORAGE TANK 07,05 R-21 SPRAY FOAM INSULATION AT WALLS, SEE T-24 09,08 STONE/COMPOSITE STONE WATERFALL EDGE 12.09 ADJUSTABLE MILLWORK SHELVING 15,09 EURO BOTTLE TRAP WASTE AND LOCATE COLD AND 16.06 KEYPAD, SEE LIGHTING DRAWING 442 Grove Street San Francisco, CA 94102 09.09 STONE/COMPOSITE STONE TUB APRON AND DECK 12.10 ADJUSTABLE MILLWORK SHELF BEYOND, SHOWN HOT WATER AS HIGH AS POSSIBLE 16.07 CONCEALED CONTINUOUS LED STRIP LIGHTING AT 07.06 R-38 SPRAY FOAM INSULATION AT UNDERSIDE OF 15.10 WASHING MACHINE PAN AND DRAIN SHELF/MILLWORK, SEE LIGHTING DRAWINGS 09.10 STONE/COMPOSITE STONE CLAD BENCH ROOF, TYP., SEE T-24 REPORT 09.11 STONE/COMPOSITE STONE CLAD FLOATING HEARTH 12.11 OPEN MILLWORK SHOE SHELVING 15.11 HOSE BIB W/ BACKFLOW PREVENTER PER CPC 16.08 CONCEALED CONTINUOUS LED STRIP LIGHTING, SEE 07.07 OPEN CELL SPRAY FOAM INSTALLED IN UNVENTED 09.12 THIN SET STONE/COMPOSITE STONE SLAB 12.12 FLOATING WOOD DESK, PROVIDE SOLID BLOCKING LIGHTING DRAWINGS 15.12 PLANTER DRAIN WITH OVERFLOW



6 LONGITUDINAL SECTION DIAGRAM - GRADE PLANE SCALE: 3/32" = 1'-0"



PROPOSED ROOF LEVEL EXITING



FINISHED GRADE POINTS AT EXTERIOR WALLS AT GRADE FOR AVERAGE GRADE PLAN CALCULATIONS

ELEVATION # 527.55 525.84 537.43 537.43 537.43 552.29 543.60 545.60

TOTAL ELEV. 4850.77' AVG. GRADE PLANE 538.97' (4850.77'/9 TOTAL POINTS)

PROPOSED LEVEL 1 IS 535.10", LESS THAN 6"-0" ABOVE HORIZONTAL GRADE PLANE (538.97") AND IS LESS THAN 12"-0" ABOVE ADJACENT GRADE THEREFORE, LEVEL 0 IS NOT CONSIDERED A STORY ABOVE

SCALE: 3/32" = 1'-0"

CODE COMPLIANCE -GRADE PLANE & EXITING DISTANCE DIAGRAM

John Maniscalco Architecture

415.864.9900 442 Grove Street San Francisco, CA 94102

Project Address

94117

Issuance

05.19.2021

Revision History No. Issuance 01. SITE PERMIT

SITE PERMIT REV. 1

SITE PERMIT REV. 2

Permit Number

35 Belgrave Ave.

202011148929 202011148925

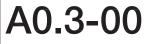
2020-010109PRJ

SITE PERMIT REV. 2

Date 09.17.20

04.19.21

San Francisco, CA



DESIGN OCCUPANT LOADS EXIT TRAVEL DISTANCE CALC (PER CBC \$1017)

RESIDENTIAL OCCUPANT LOAD (PER CBC §1004.1.2 2005.F./OCC)

LEVEL AREA OCCUP. LOAD EXITS REQ'D EXIT PROVIDED
 LEVEL
 AREA
 O

 BASEMENT
 353 S.F.
 2

 LEVEL 1
 2,344 S.F.
 1

 LEVEL 2
 2,344 S.F.
 12

 LEVEL 3
 1,729 S.F.
 9

 ROOF LEVEL
 508 S.F.
 3

PER CBC §1006.2.1 EXC. 1; INDIVIDUAL DWELLING UNITS WITH A MAXIMUM PER DBG § 1009.2.1 EAC. 1; INDIVIDUAL DWIELDING UNIT IS WITH A MAANIMUM OCCUPANT LOAD OF 20 PER LEVEL WHERE THE DWIELLING UNIT IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1, (1) EXIT REQUIRED PER LEVEL

EGRESS

EGRESS FROM SPACES (PER CBC \$1008.2)
IN GROUP P-2 AND P-3 OCCUPANCIES, ONE MEANS OF EGRESS IS PERMITTED
WITHIN AND FROM INDIVIDUAL DWELLING UNITS WITH A MAXIMUM OCCUPANT
LOAD OF 20 WHERE THE DWELLING UNIT IS EQUIPPED THROUGHOUT WITH AN
AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.2 AND THE COMMON PATH OF EGRESS TRAVEL DOES NOT EXCEED 125
FEET (38 100 MM),

ALLOWABLE TRAVEL FOR COMMON PATH OF EGRESS = 125'-0' (TABLE 1006.2.1) ALLOWABLE EXIT TRAVEL DISTANCE = 250'-0' (TABLE 1017.2)

				(1 E11 ODO					
TOTAL MAX CC	DMMON PATH FRO	DM ROOF LI	EVEL		TOTAL EX	IT ACCESS TO EXIT 1			
ROOF 04.0 04.0 04.0	2	LENGTH 7'-8" 25'-0" 1'-0' 33'-8"	HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL	DIAGONAL - - -	LEVEL 4	04.01 04.02 04.03 TOTAL LEVEL 4	LENGTH 7'-8" 25'-0" 1'-0' 33'-8'	HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL	DIAGONAL - - -
LEVEL 3 03.0 03.0 03.0 03.0 03.0 03.0 03.0 TOT.	2 3 4 5 6	15 -6' 1 -0' 2'-0' 1 -0' 13'-10' 2'-0' 1 -0' 36'-4"	HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL	DIAGONAL	LEVEL 3	03.01 03.02 03.03 03.04 03.05 03.06 03.07 TOTAL LEVEL 3	15'-6' 1'-0' 2'-0" 1'-0' 13'-10" 2'-0" 1'-0' 36'-4'	HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL	DIAGONAL
	2 3 4 5 6 AL LEVEL 2	3'-4' 1'-0' 14'-10' 36'-9"	- HORIZONTAL HORIZONTAL	DIAGONAL DIAGONAL - -	LEVEL 2	02.01 02.02 02.03 02.04 02.05 02.06 02.08 02.09	15'-7' 1'-0' 1'-0' 3'-4" 1'-0' 14'-10" 1'-0' 3'-4"	HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL	DIAGONAL DIAGONAL DIAGONAL DIAGONAL
TOTAL TRAVEL MAXIMUM TRA' ROOF LEVEL =	VEL FOR COMMO	106'-9' N PATH OF	EGRESS FROM P	ROPOSED		02.10 02.11 TOTAL LEVEL 2	1'-0' 4'-8" 46'-9"	HORIZONTAL HORIZONTAL	-
					LEVEL 1	01.01 01.02 01.03 01.04 TOTAL LEVEL 1	9'-10" 1'-0' 8'-10" 3'-5" 23'-1	- HORIZONTAL HORIZONTAL HORIZONTAL	DIAGONAL - -

TOTAL TRAVEL DISTANCE 139'-10"

MAXIMUM TRAVEL PATH OF EGRESS FROM PROPOSED ROOF LEVEL TO EXIT 1 = 139'-10'

7'-8' HORIZONTAL 25'-0' HORIZONTAL 1'-0' HORIZONTAL 33'-8' TOTAL LEVEL 4 LEVEL 3 03.01 03.02 03.03 03.04 03.05 03.06 03.07 HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL LEVEL 2 02.01 02.02 02.03 02.04 02.05 02.06 HORIZONTAL HORIZONTAL 02.07 TOTAL LEVEL 2 TOTAL TRAVEL DISTANCE 124'-9"

MAXIMUM TRAVEL PATH OF EGRESS FROM PROPOSED ROOF LEVEL

HORIZONTAL DIAGONAL HORIZONTAL HORIZONTAL HORIZONTAL 01.04 TOTAL LEVEL 1 55'-0"

BASEMENT 00.01

0.002

0.003

0.004

0.005

0.006

0.007

0.008

0.009

0.010

0.11

TOTAL LEVEL 0

0.05 7'-7"
5'-6'
1'-0'
4'-5'
1'-0'
2'-0'
1'-0'
9'-11"
1'-0'
3'-4'
37'-9" HORIZONTAL HORIZONTAL DIAGONAL HORIZONTAL LEVEL 1 01.05 01.06 TOTAL TRAVEL DISTANCE MAXIMUM TRAVEL FOR COMMON PATH OF EGRESS FROM PROPOSED BASEMENT LEVEL = 55° -0 $^{\circ}$

DIAGONAL

HORIZONTAL

SCALE: 3/32" = 1'-0" TOTAL EXIT ACCESS TO EXIT 2

LEVEL COMMON PATH # LENGTH HORIZONTAL DIAGONAL COMMON PATH # LENGTH HORIZONTAL DIAGONAL HORIZONTAL HORIZONTAL HORIZONTA

PROPOSED THIRD LEVEL EXITING SCALE: 3/32" = 1'-0"

GRADE PLANE

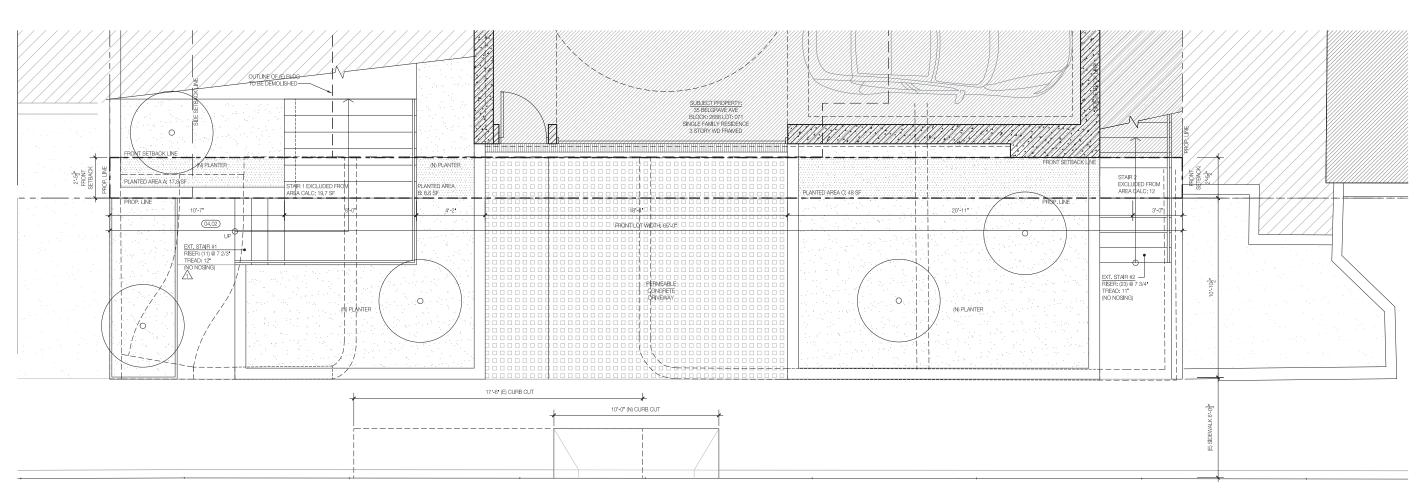
PER OBC §202
BASEMENT, A STORY THAT IS NOT A STORY ABOVE GRADE PLANE (SEE "STOR
ABOVE GRADE PLANE"), THIS DEFINITION OF "BASEMENT" DOES NOT APPLY TO
THE PROVISIONS OF SECTION 1612 FOR FLOOD LOADS.

STORY ABOVE GRADE PLANE,
ANY STORY HAVING ITS FINISHED FLOOR SURFACE ENTIRELY ABOVE GRADE
PLANE, OR IN WHICH THE FINISHED SURFACE OF THE FLOOR NEXT ABOVE IS:
MORE THAN 6 FEET (1829 MM) ABOVE GRADE PLANE: OR
MORE THAN 12 FEET (1838 MM) ABOVE THE FINISHED GROUND LEVEL AT

A REFERENCE PLANE REPRESENTING THE AVERAGE OF FINISHED GROUND LEVEL ADJOINING THE BUILDING AT EXTERIOR WALLS.

GRADE PLANE = BASEMENT





BELGRAVE AVE

FRONT SETBACK LANDSCAPING PLAN

SCALE: 3/8" = 1'-0"

LANDSCAPING AREA CALCULATIONS
PLANNING CODE SEC. 132(G): UNPAVED PLANTING MATERIALS

| FRONT SETBACK TOTAL AREA: 159.8 SF | STAIRS EXCLUDED FROM CALC: 28.7 SF | FRONT SETBACK AREA | FOR LANDSCAPE CALCS: 131.1 SF | REQUIRED LANDSCAPE 20%: 26.2 SF |

PLANTED AREA A: PLANTED AREA B: PLANTED AREA C: TOTAL PLANTED AREA:

48 SF 74.4 SF 56.8% PLANTED AREA STREET TREES

PERMEABLE AREA CALCULATIONS
PLANNING CODE SEC. 132(H): PERMEABLE SURFACES

FRONT SETBACK TOTAL AREA: 159.8 SF STAIRS EXCLUDED FROM CALC: 28.7 SF FRONT SETBACK AREA FOR LANDSCAPE CALCS: 131,1 SF REQUIRED 50% PERMEABILITY: 65.6 SF

PLANTED AREA A:
PLANTED AREA B:
PLANTED AREA C:
TOTAL PERMEABLE AREA: 48 SF 74.4 SF 56.8% PERMEABLE AREA

Architecture 415.864.9900 442 Grove Street San Francisco, CA 94102

John Maniscalco



Project Address 35 Belgrave Ave. San Francisco, CA 94117

Permit Number 202011148929 202011148925 2020-010109PRJ

Issuance SITE PERMIT REV. 2

05.19.2021

Revision History No. Issuance
01. SITE PERMIT
02. SITE PERMIT REV. 1
03. SITE PERMIT REV. 2 Date 09.17.20 04.19.21

LANDSCAPING & PERMEABILITY **CALCULATION SHEET**

A0.3-01

GS1: San Francisco Green Building Site Permit Submittal Form **NEW CONSTRUCTION ALTERATIONS + ADDITIONS PROJECT INFO** Select one (1) column to identify requirements for the project. For addition and alteration projects, applicability of specific requirements may depend upon project scope. CHECK THE ONE COLUMN THAT BEST DESCRIBES YOUR PROJECT 2. Provide the Project Information in the box at the right. 5 BELGRAVE AVENUE To ensure legibility of DBI archives, submittal must be a minimum of 24" x 36". A LEED or GreenPoint Rated Scorecard is not required with site permit application, but using such tools as early as possible is recommended RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS LOW-RISE RESIDENTIAL HIGH-RISE LARGE NON-RESIDENTIAL OTHER NON-RESIDENTIAL NON-RESIDENTIAL FIRST-TIME NON-RESIDENTIAL OTHER NON RESIDENTIAL PROJECT NAME Attachment GS2, GS3, GS4, GS5 or GS6 will be due with the applicable addendum. A separate "FINAL COMPLIANCE VERHICATION" from will be required prior to Cortificate of Completion. For details, see Administrative Bulletin 93. For Municipal projects, additional Environment Code Chapter 7 requirements may apply; see GS6. BLOCK/LOT A,B,E,I,M 25,000 sq.ft. or greater A,B,E,F,H,L,I,M,S, 25,000 sq.ft. or greater 1-3 Floors adds any amount of conditioned area 5 BELGRAVE AVENUE, DESCRIPTION OF REQUIREMENT AN FRANCISCO, CA 941 EED SILVER (50+ EED GOLD (60 CERTIFIED EED GOLD (60+ CERTIFIED Required LEED or GPR Certification Level 103.3.1, 5.103.1.1, 5.103.3.1 Project is required to achieve sustainability certification listed at right. 8.5.103.4.1 ADDRESS PRIMARY OCCUPANCY Use products that comply with the emission limit requirements of 4.504.2.1-5, 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhe resilient flooring (80% of area), and composite wood products. LOW-EMITTING MATERIALS Major alterations to existing residential buildings must use low-emitting coatings, adhesives and sealants, and carpet systems meeting GPR measures K2, K3 and L2 or LEED EQc2. LEED EQc2 4.504.2.1-5 LEED EQc2 / large non-residential interiors and major alterations to existing residential and non-residential buildings: interior paints, coatings, sealants, adhesives when applied on-site, flooring composite wood must meet the requirements of LEED credit Low-Emitting Materials (EQc2). GROSS BUILDING AREA Meet flush/flow requirements for: toilets (1.28gpf); urinals (0.125gpf wall, 0.5gpf floor); showerheads (1.8gpm); lavatories (1.2gpm private, 0.5gpm public/common); kitchen faucets (1.8gpm); wash fountains (1.8gpm); metering faucets (0.2gpc); food waste disposers (1gpm/8gpm). F Housing Code sec.12A1 SF Building Code ch.13A New large non-residential buildings must also achieve minimum 30% indoor potable water use reduction as calculated to meet LEED credit Indoor Water Use Reduction (WEc2) DESIGN PROFESSIONAL New buildings ≥ 40,000 sq.ft. must calculate a water budget. New buildings ≥250,000 sq.ft. must treat and use available rainwater, graywater, and foundation drainage and use in toilet and urinal flushing and irrigation. See www.sfwater.org for details. PERMIT APPLICANT NON-POTABLE WATER REUSE w construction projects with aggregated landscape area ≥500 sq.ft., or existing projects with modified landscape area ≥1,000 sq.ft. shall use low water use plants or climate propriate plants, restrict furf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated GF for for exidential, .45 for n-residential or lessy or by prescriptive compliance for projects with ≤2,500 sq.ft. of landscape area. See www.etceator GF for fedals. CALGreen 5.303.1, Plumbing Provide submeters or utility meters for: Nonresidential spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in buildings ≥ 50,000 sq. ft. AND each code 691.2.1 WATER METERING Application for Permit Jan 2 through Feb 16, 2020: Comply with Title 24 Part 6 (2019) and meet GreenPoint Rated or LEED energy prerequisites. See Attachment H for details. pplication for permit Feb 17, 2020 or after: All-Electric buildings of any occupancy: Comply with all provisions of Title 24 2019. lew low-rise residential with natural gas: Demonstrate Total Energy Design Rating ≤14. lew buildings with natural gas of any occupancies excepting F, L, or H: Reduce energy use at least 10% compared to Title 24 2019. **ENERGY EFFICIENCY** SFGBC 4.201.3, 5.201.1. SFGBC 4.201.1 & 5.201.1.2 T24 110.10; 150.1(c)14 & 150.1(c)8.iv New non-residential buildings >2,000 square feet and ≤ 10 ficors, and new residential buildings of ≥4 and ≤10 ficors, must designate 15% of roof as Solar Ready, applying Tibe 24 rules instail photovoltaics or solar hot water systems in this area. With Planning Department approval, projects subject to SFPUC Stormwater Requirements may substitute living roof for solar energy systems. New single family buildings and residential buildings of 35 floors must install photovoltains. BETTER ROOFS ≤10 floors New commercial buildings ≥ 11 floors must Generate ≥1% of annual energy cost on-site with renewables (LEEDv4 EAc5), OR Reduce energy use an additional ≥10% compared to 7 ≥4 Part 8 2019, OR Purchase Green-E renewable energy for 50% of electricity use (LEEDv4 EAc7). For projects ≥10,000 sq.ft, Include Owners Project Requirements, Basis of Design, and commissioning plan in design & construction. Perform commissioning, Alterations & additions with new HVAC squipment must test and adjust all equipment. RENEWABLE ENERGY SFGBC 5.201.1.3 n/r LEED EAc1 COMMISSIONING (Cx n/r BICYCLE PARKING Provide short- and long-term bike parking equal to 5% of motorized vehicle parking, or meet SF Planning Code sec.155.1-2, whichever is greater stalls added if >10 DESIGNATED PARKING CALGreen 5.106.5.2 Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles. ermit application January 2018 or after: Construct all new off-street parking spaces for passenger vehicles and trucks with dimensions capable of installing EVSE. Install service apacity and panelosards sufficient to provide ≥40A 208 or 240 to EV chargers at 20% of spaces. Install ≥40A 208 or 240 branch circuits to ≥10% of spaces, terminating close to the roposed EV charger location. Installation of fortagers is not required. Projects with zero off-stitute planting expense. See SFGBC 4106 4 or SFGBC 5.105.3 for details. Installation of applicable for ermit application January 2018 or after SEGRC 4.106.4 WIRING FOR EVICHARGERS January 2018 or after SF Building Code 106A.3.3. Colicions 6.4 tol. 1 AR-088. Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. 5.103.1.3.1, CalGreen, Environment Code ch.14, SF Building Code ch.138 00% of mixed debris must be taken by a Registered Transporter to a Registered Facility and be processed for recycling. Divert a minimum of 65% or 75% of total C&D debris as note tright. See www.sidbi.org for details. ≥65% diversion ≥75% diversion ≥75% diversion ≥65% diversion ≥65% diversion ≥65% diversion ≥65% diversion ≥75% diversion ≥65% diversion CALGreen 4.702.1 Installers must be trained and certified in best practices REFRIGERANT MANAGEMENT CALGreen 5.508.1 LIGHT POLLUTION REDUCTION CA Energy Code, CALGreen 5.106.8 n/r n/r BIRD-SAFE BUILDINGS TOBACCO SMOKE CONTROL For residential projects, prohibit smoking within 10 feet of building entries, air intakes, and operable windows and enclosed common areas Plant trees to sufficient to provide shade within 15 years for 20% of landscape and hardscape area. Exclude shade structures covered by photovoltaics or cool roof materials from total SHADE TREES n/r Public Works Code art.4.2 sec.147 rojects disturbing ≥5,000 sq.ft. in combined or separate sewer areas, or replacing ≥2,500 impervious sq.ft. in separate sewer area, must implement a Stormwater Control Plan meel iFPUC Stormwater Management Requirements. See www.sfwater.org for details. if project extends outside envelope if project extends CONSTRUCTION SITE RUNOFF CONTROLS Public Works Code art.4.2 sec.146 if disturbing ≥5,000 sq.ft. if disturbing ≥5,000 sq.ft. if disturbing ≥5,000 sq.ft. if project extends outside envelope Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices. See www.sfwater.org for details Non-residential projects must comply with sound transmission limits (STC-50 exteriors near freeways/airports; STC-45 exteriors if 65db Leq at any time; STC-40 interior walls/floccellings between tenants). CAI Green 5 507 4 1-3

if applicable

if applicable

LEED EQc3

n/r

n/r

n/r

if applicable

n/r

if applicable

if applicable

n/r

n/r

n/r

ACQUISTICAL CONTROL

AIR FILTRATION (OPERATIONS)

CONSTRUCTION IAC MANAGEMENT PLAN

ELECTRIC READY

GRADING & PAVING

RODENT PROOFING

FIREPLACES & WOODSTOVES

CAPILLARY BREAK

MOISTURE CONTENT

BATHROOM EXHAUST

SF Building Code sec.1207

SF Health Code art.38

Title 24 2019 150.0(n)

CAI Green 4 106 3

CALGreen 4.406.1

Seal permanent HVAC ducts/equipment stored onsite before installation.

Install only direct-vent or sealed-combustion, EPA Phase II-compliant appliances.

CALGreen 4:505.3 Wall and floor wood framing must have <19% moisture content before enclosure.

Show how surface drainage (grading, swales, drains, retention areas) will keep surface water from entering the building

Seal around pipe, cable, conduit, and other openings in exterior walls with cement mortar or DBI-approved similar method

CALGreen 4.505.2 Stab on grade foundation with vapor retarder requires capillary break, such as 4 inches 1/2-in aggregate & slab design by licensed professional

CALGreen 4.506.1 Must be ENERGY STAR compilant, ducted to building exterior, and its humidistat shall be capable of adjusting between <50% to >80%. (Humidistat may be separate com

Non-residential projects must provide MERV-13 filters on HVAC for regularly occupied, actively ventilated spaces.
Residential new construction and major atteration & addition projects in Air Pollutant Exposure Zones per SF Health Code art.38 must provide MERV-13 filters on HVAC.

For each gas water heater serving an individual dwelling unit, include a dedicated 125v 20A electrical receptacle with 120/240v 3-conductor 10AWG copper branch circuit adjacent the water heater. Label both ends of the unused conductor "spare". Reserve one circuit breaker in the electrical panel and label "Future 240V Use". Pre-wire gas dryers with conductor rated for 40-amp circuit; pre-wire gas ranges with conductor rated for 50-amp circuit.



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35 Belgrave Ave. San Francisco, CA

94117 Permit Number

SITE PERMIT REV. 1

04.19.2021

Revision History No. Issuance

SITE PERMIT SITE PERMIT REV. 1

09,17,20

GREEN BUILDING CHECKLIST

A0.4-00



TRONT OF ADJACENT BLDG (25 BELGRAVE)
N.T.S



10 AERIAL PHOTOGRAPH



PRONT OF SUBJECT & ADJACENT BLDG'S (25 & 35 BELGRAVE)

N.T.S



FRONT OF SUBJECT & ADJACENT BLDG'S (25 & 35 BELGRAVE)

N.T.S



FRONT OF SUBJECT & ADJACENT BLDG'S (35 & 55 BELGRAVE)



FRONT OF OPPOSITE BLDG'S (34 & 40 BELGRAVE)

N.T.S

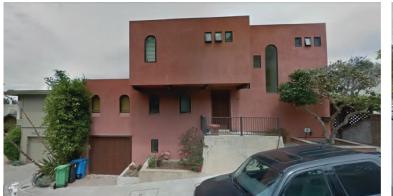


6 FRONT OF OPPOSITE BLDG'S (40 & 50 BELGRAVE)

N.T.S



7 FRONT OF OPPOSITE BLDG'S (1666 SHRADER)



8 FRONT OF OPPOSITE BLDG'S (60 BELGRAVE)

N.T.S



9 FRONT OF OPPOSITE BLDG'S (60 BELGRAVE)

N.T.S



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Project Address

35 Belgrave Ave. San Francisco, CA 94117

Permit Number 2020111148929 2020111148925 2020-010109PRJ

Issuance SITE PERMIT REV. 2

Date **05.19.2021**

Revision History
No. Issuance

No. Issuance
01. SITE PERMIT
02. SITE PERMIT REV. 1
03. SITE PERMIT REV. 2

09.17.20 1 04.19.21 2 2 05.19.21

EXISTING SITE CONTEXT PHOTOS

A0.5-00



PERSPECTIVE - PROPOSED LOOKING SOUTHWEST N.T.S.



PERSPECTIVE - PROPOSED LOOKING SOUTH N.T.S.



PERSPECTIVE - PROPOSED LOOKING SOUTHEAST N.T.S.

MATERIAL LEGEND

WD-1 WOOD WD-2 WOOD CB-1 MILLWORK ST-1 STONE LARGE FORMAT ST-2 STONE MEDIUM FORMAT



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Permit Number **202011148929** 202011148925 2020-010109PRJ

Issuance SITE PERMIT REV. 2

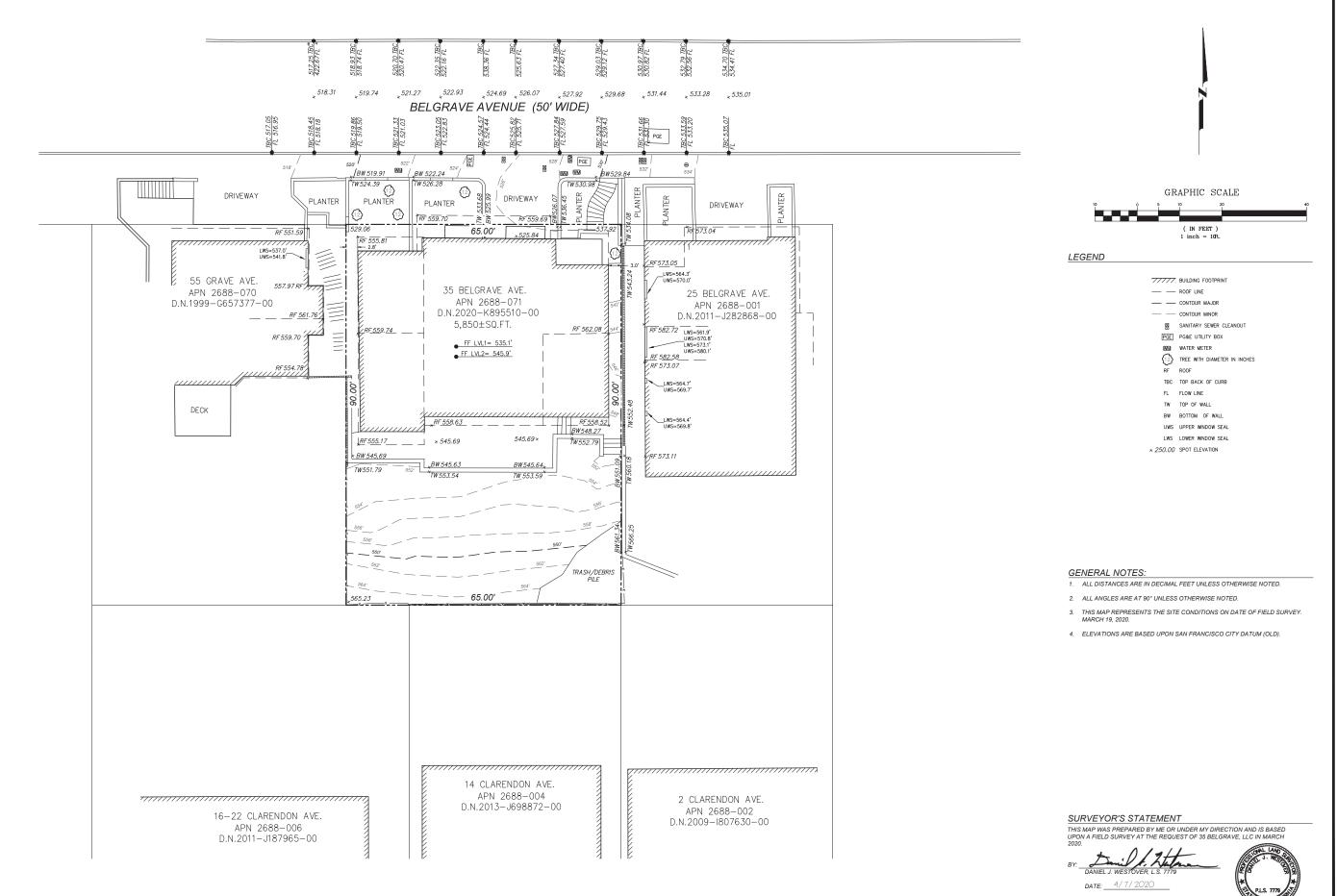
Date **05.19.2021**

Revision History

No. Issuance
01. SITE PERMIT
02. SITE PERMIT REV. 1
03. SITE PERMIT REV. 2

PROPOSED EXTERIOR PERSPECTIVE RENDERINGS

A0.6-00



336 CLAREMONT BLVD. STE 1 SAN FRANCISCO, CA 94127 (415) 242-5400 www.westoversurveying.com

JOB NO.

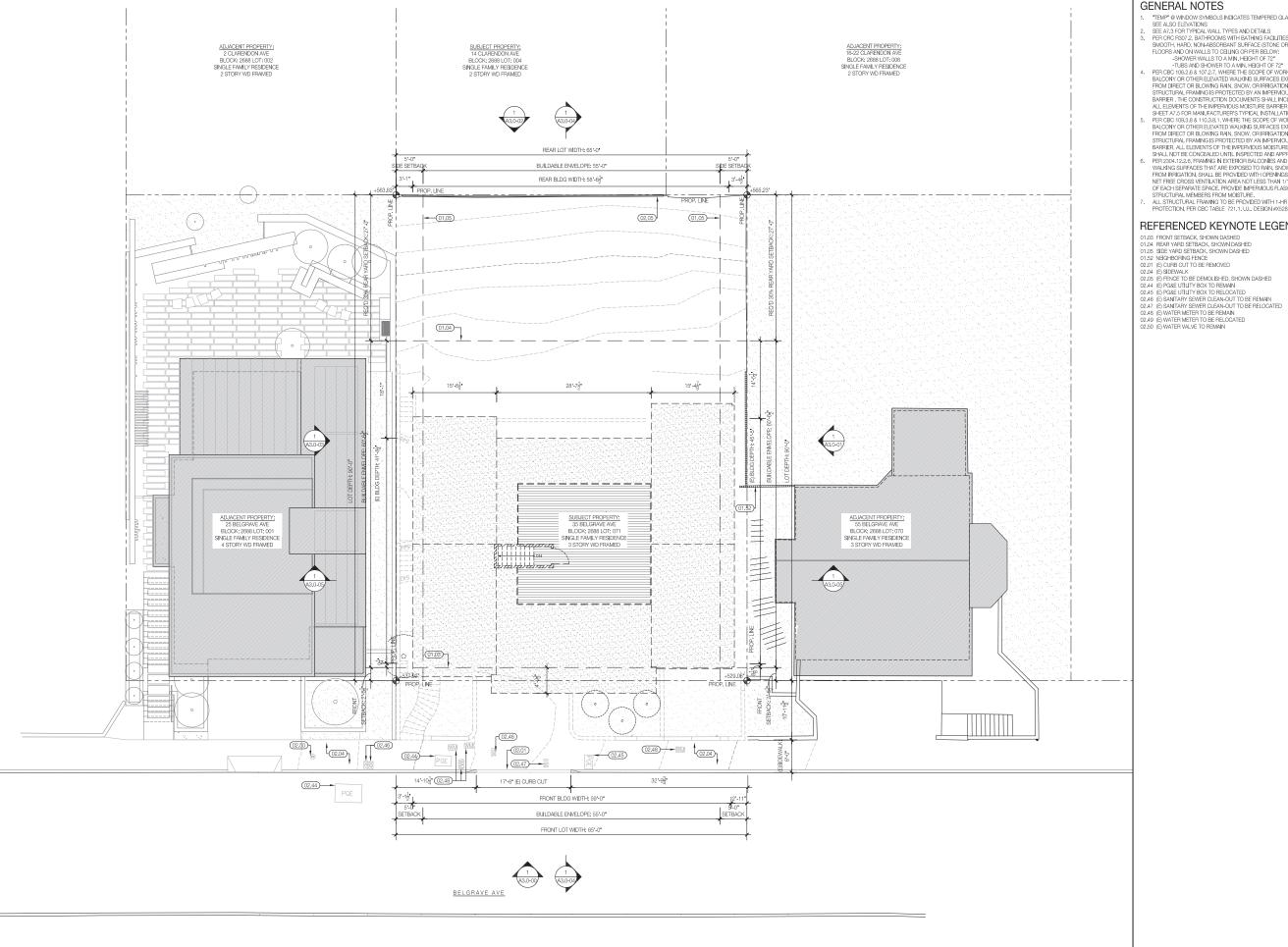
DRAWN BY: CHECKED BY: DATE: 05/19/ SCALE: ||=|0'

SURVEY

SITE







- "TEMP" @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE,

- SEINLETAL TO TES

 "TEMP" @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE,
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 "SEE ALSO FRYEICAL WALL TYPES AND DETAILS

 "PER ORD ROY Z.E, BATHHOOMS WITH BATHHOS FACILITIES SHALL HAVE A
 SMOOTH, HARD, NON-ABSORBANT SURFACE (STONE OR CERAMIC TILE) ON
 FLOORS AND ON WALLS TO CELLING OR PER BELOW:

 "SHOWER WALLS TO A MIN, HEIGHT OF 72"

 "PER CBS AND SHOWER TO A MIN, HEIGHT OF 72"

 "PER CBS AND SHOWER TO A MIN, HEIGHT OF 72"

 "PER CBC 108.2 8 à 107.27, WHERE THE SCOPE OF WORK INVOLVES A
 BALCONY OR OTHER LEVATED WALKING SURFACES EXPOSED TO WATER
 FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE
 STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOSTURE
 BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR
 ALL ELEMENTS OF THE IMPERVIOUS MOSTURE BARRIER SYSTEM. SEE
 SHEET AT.5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS,
 "PER OBC 1093.8 & 110.38.1", WHERE THE SCOPE OF WORK INVOLVES A
 BALCONY OR OTHER LEVATED WALKING SUFFACES EXPOSED TO WATER
 FROM DIRECT OR BLOWING BRIN, SNOW, OR IRRIGATION, AND THE
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 BARRIER, ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM
 SHALL NOT BE CONCEALED UNTIL INSPECTED AND APPROVED.
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 WALKING SUFFACES THAT ARE EXPOSED TO BAN, SNOW, OR DEWNINGE
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 OF EACH SEPARATE SPACE, RPOVIDE IMPERVIOUS FLASHING TO PROTECT
 STRUCTURAL MEMBERS FROM MOISTURE.

 ALL STRUCTURAL FRAMING TO BE PROVIDED WITH 1-HR RATED FIRE
 PROTECTION FOR MEMBERS FROM MOISTURE.

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 OF EACH SEPARATE SPACE, PROVIDE IMPERVIOUS FLASHING TO PROTECT

REFERENCED KEYNOTE LEGEND



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Permit Number

202011148929 202011148925 2020-010109PRJ

Issuance SITE PERMIT REV. 2

05.19.2021

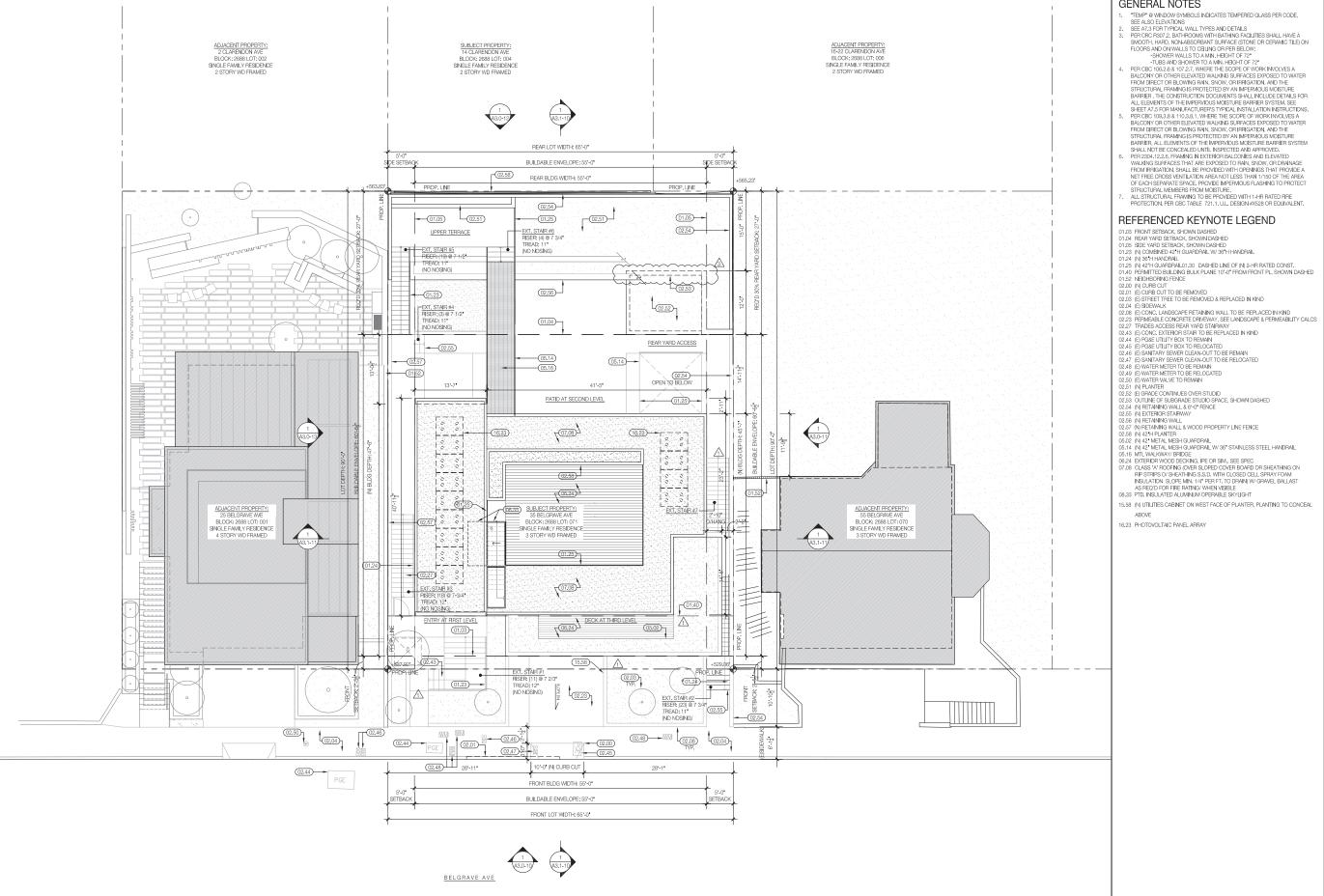
Revision History

No. Issuance 01. SITE PERMIT 02. SITE PERMIT REV. 1 03. SITE PERMIT REV. 2

Date 09.17.20 04.19.21

EXISTING SITE PLAN

A1.1-00



- "TEMP" @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE.

- SEE ALSO ELEVATIONS
 SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS
 PER ORC R307.2, BATHROOMS WITH BATHING FACILITIES SHALL HAVE A
 SMOOTH, HARD, NON-ABSORBANT SUFFACE, ISTONE OR CERAMIC TILE; ON
 FLOORS AND ON WALLS TO CEILING OR PER BELOW;
 -SHOWER WALLS TO A MIN, HEIGHT OF 72"
 -TUBS AND SHOWER TO A MIN, HEIGHT OF 72"
 PER CBC 108.2.6 & 107.2.7, WHERE THE SCOPE OF WORK INVOLVES A
 BALCORN YOR OTHER ELEVATED WALKINS SUFFACES EXPOSED TO WATER
 FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE
 STRUCTURE HERAMING IS POTFOCTED BY AN IMPERVOLK MOSTELIER
- BALLONY OR DIFFERENCE HEAVIETY MAY SHAPE AND THE STRUCTURAL FRANKING IS PROTECTED BY AN IMPERVIOUS MOISTURE STRUCTURAL FRANKING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM. SHEET A7.5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS, PER CRC 109.3.9 & 110.3.8.1, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER LEVENTED WALKING SUPFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRANKING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL NOT BE CONCEALE DUTIL INSPECTED AND APPROVED PER 204.12.2.6, FRANKING IN EXTENSIOR BALCONIES AND ELEVATED WALKING SUPFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE AND FROM STALL BE CONCEALED AND APPROVED OF DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTLATION AREA NOT LESS THAN 17.50 OF THE AREA OF EACH SEPARATE SPACE, PROVIDE IMPERVIOUS FLASHING TO PROTECT STRUCTURAL MEMBERS FROM MOISTURE.

 ALL STRUCTURAL FRANKING TO BE PROVIDED WITH 1-HE RATED FIRE PROTECTION, PER CSC TABLE 721.1, U.L. DESIGN W528 OR EQUIVALENT.

REFERENCED KEYNOTE LEGEND

- 01.03 FRONT SETBACK, SHOWN DASHED 01.04 REAR YARD SETBACK, SHOWN DASHED

- 01.03 HEVAN YARU SETBACK, SHUWN DASHED
 01.05 SIDE YARD SETBACK, SHUWN DASHED
 01.25 (N) COMBINED 42°H GUARDRAIL W. 36°H HANDRAIL
 01.25 (N) 42°H HANDRAIL
 01.25 (N) 42°H HANDRAIL
 01.25 (N) 42°H GUARDRAIL01.30 DASHED LINE OF (N) 2°HR RATED CONST.
 01.40 PERMITTED BULLDING BULK PLANE 10°-0° FROM FRONT PL, SHOWN DASHED
 01.52 NEIGHBORING FENCE

- 02.58 (N 42*H FLANTER
 05.02 (N 42* METAL MESH GLARDRAIL
 05.16 (N 42* METAL MESH GLARDRAIL
 05.16 (N 42* METAL MESH GUARDRAIL
 05.16 (N 42* METAL MESH GUARDRAIL
 05.16 (N 41*METAL MESH GUARDRAIL
 05.17 (N 41*METAL MESH GUARDRAIL
 05.17 (N 41*METAL MESH GUARDRAIL
 05.18 (
- 15,58 (N) UTILITIES CABINET ON WEST FACE OF PLANTER, PLANTING TO CONCEAL
- ABOVE
- 16,23 PHOTOVOLTAIC PANEL ARRAY



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Permit Number

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Issuance SITE PERMIT REV. 3

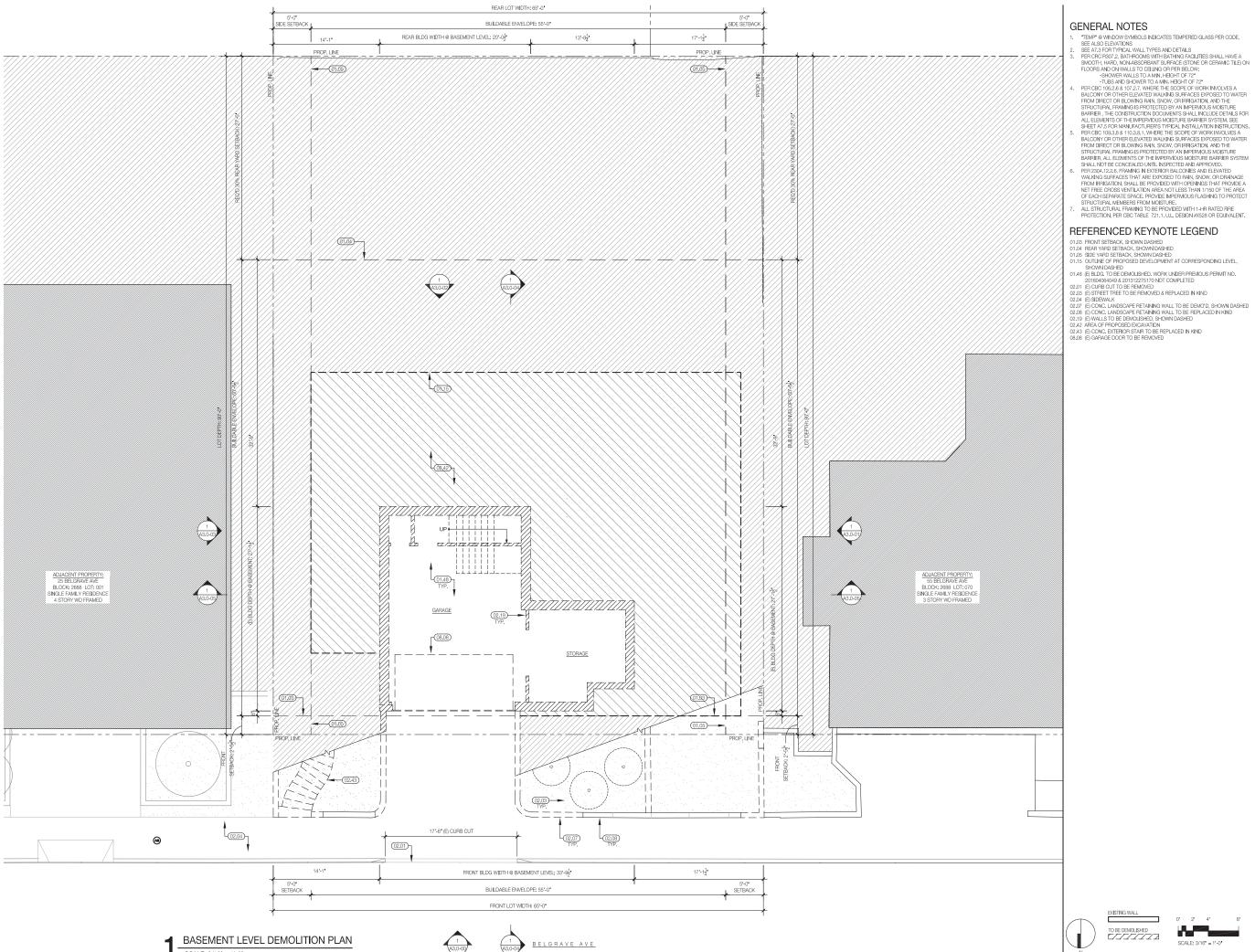
06.07.2021

Revision History

No. Issuance SITE PERMIT 09.17.20 04.19.21 1 05.19.21 2 06.07.21 3 02. SITE PERMIT REV. 1 03. SITE PERMIT REV. 2

PROPOSED SITE PLAN

A1.2-00



- "TEMP" @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE,
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 PER COR DROY-READ THE SEC SET ALL HAVE A
 SMOOTH, HARD, NON-ABSORBANT SUFFACE STONE OF CERAMIC TILEJ ON
 FLOORS AND ON WALLS TO CHINN OR PER ELLOW.
 SHOWER WALLS TO A MIN, HEIGHT OF 72'
 -TUBS AND SHOWER TO A MIN, HEIGHT OF 72'
 PER CBC 1052.6 & 107.27, WHERE THE SCOPE OF WORK INVOLVES A
 BALCONY OR OTHER ELEVATED WALKINS SUFFACES EXPOSED TO WATER
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 ALL ELEMENTS OF THE IMPERFAUDUS MOSTURE BARRIER SYSTEM. SEE
 SHEET AT.5 FOR MANUFACTUREN'S TYPICAL INSTALLATION INSTRUCTIONS,
 PEC CBC 1093.8 & 110.38, 11, WHERE THE SOOP OF WORK INVOLVES A
 BALCONY OR OTHER ELEVATED WALKING SUFFACES EXPOSED TO WATER
 FROM DIRECT OR BLOWING RAIN, SOW, OR PRIGRATION, AND THE
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 BARRIER, ALL ELEMENTS OF THE IMPERFAUD MOSTURE BARRIER SYSTEM
 SHALL NOT BE CONCEALED LIVIL INSPECTED AND APPROVED.
 WALKING SUFFACES THAT ARE EXPOSED TO RAIN, SOW, OR DRAINAGE
 FROM DIRECTOR, SHALL BE INTERIOR BALCOMES AND ELEVATED
 WALKING SUFFACES THAT ARE EXPOSED TO RAIN, SOW, OR DRAINAGE
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REFERENCED KEYNOTE LEGEND

- 01.03 FRONT SETBACK, SHOWN DASHED 01.04 REAR YARD SETBACK, SHOWN DASHED 01.05 SIDE YARD SETBACK, SHOWN DASHED 01.15 OUTLINE OF PROPOSED DEVELOPMENT AT CORRESPONDING LEVEL,

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Project Address

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Permit Number

202011148929 202011148925 2020-010109PRJ

SITE PERMIT REV. 2

05.19.2021

Revision History

No. Issuance 01. SITE PERMIT

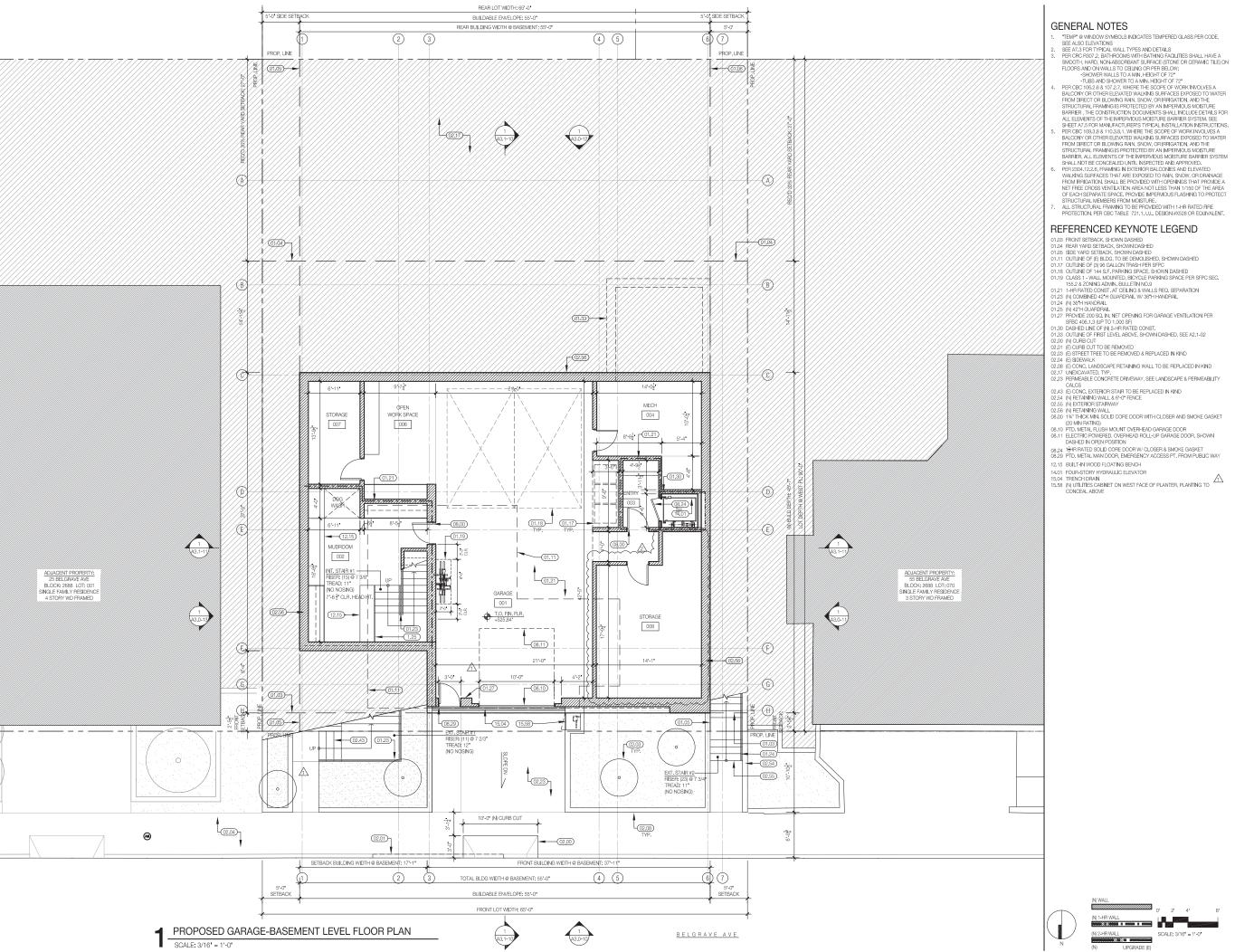
Date 09.17.20 04.19.21 02. SITE PERMIT REV. 1 03. SITE PERMIT REV. 2

EXISTING BASEMENT LEVEL DEMOLITION PLAN

A2.0-00

SCALE: 3/16' = 1'-0"





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Revision History

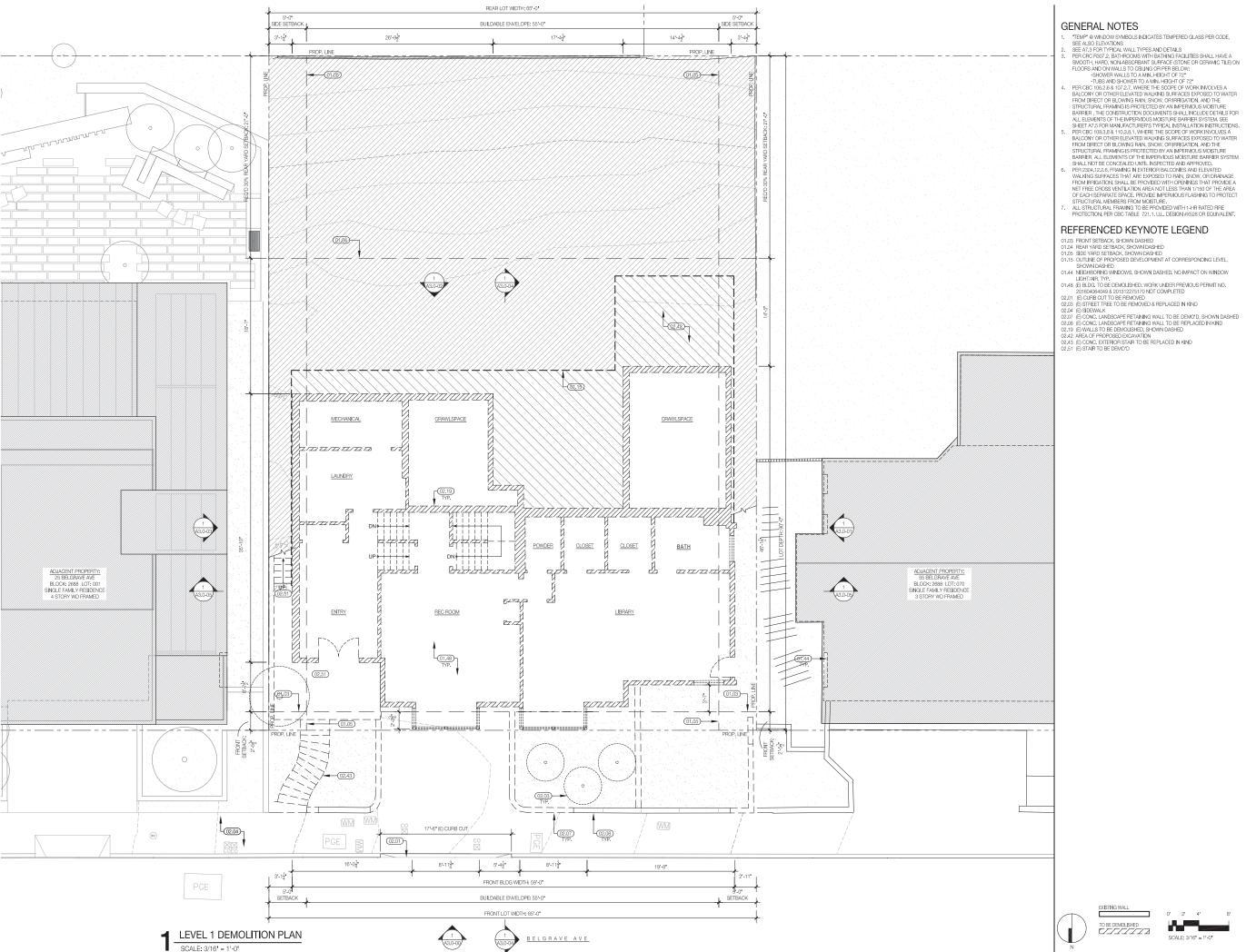
No. Issuance 01. SITE PERMIT 02. SITE PERMIT REV. 1 03. SITE PERMIT REV. 2

Date 09.17.20

04.19.21

PROPOSED **GARAGE-BASEMENT** LEVEL FLOOR PLAN

A2.0-01



- "TEMP" @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE,

REFERENCED KEYNOTE LEGEND



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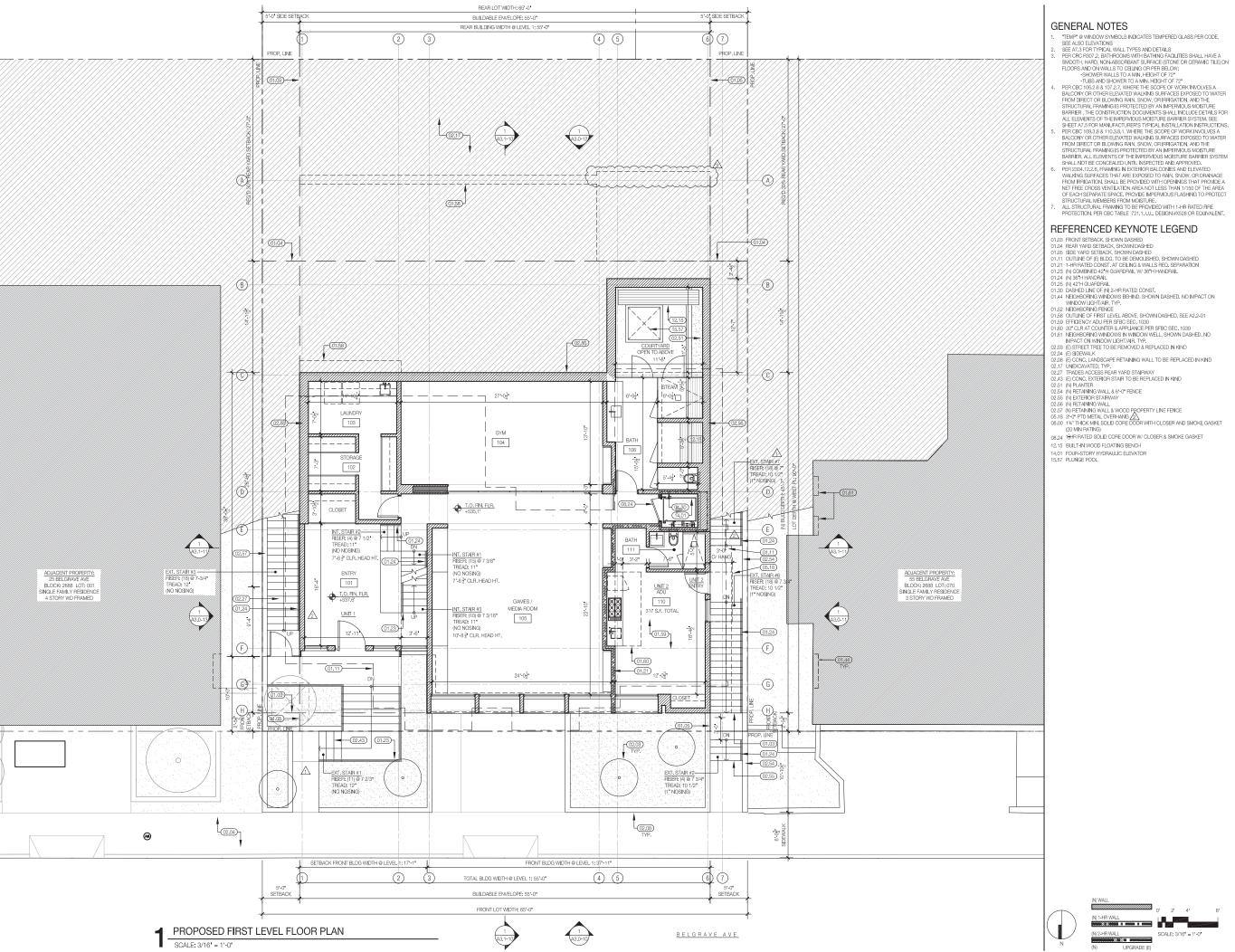
Revision History

No. Issuance 01. SITE PERMIT

Date 09.17.20 04.19.21 02. SITE PERMIT REV. 1 03. SITE PERMIT REV. 2

EXISTING FIRST LEVEL DEMOLITION PLAN

A2.1-00



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Issuance SITE PERMIT REV. 3

06.07.2021

Revision History

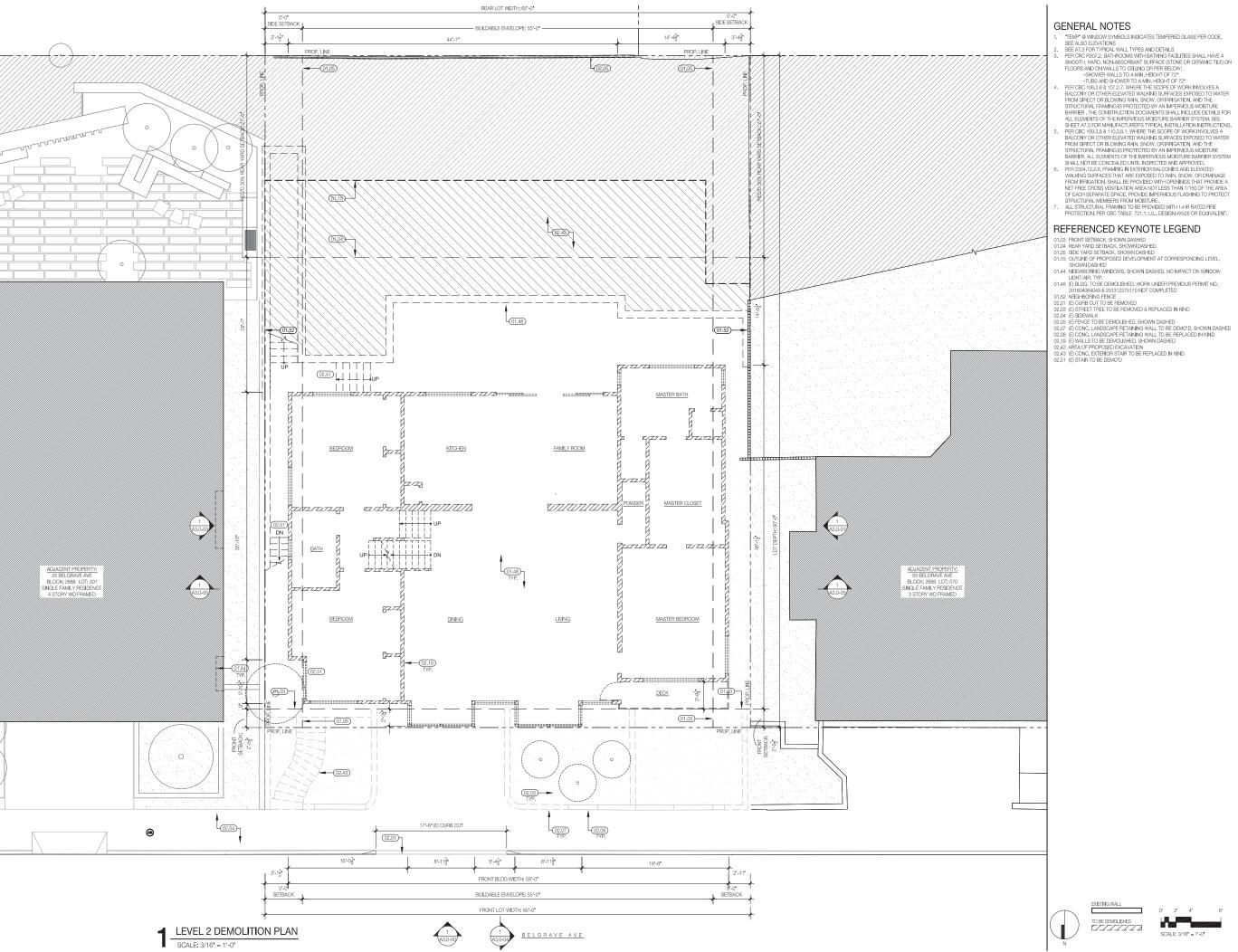
No. Issuance 01. SITE PERMIT 02. SITE PERMIT REV. 1 03. SITE PERMIT REV. 2

Date 09.17.20

04.19.21 1 05.19.21 2 06.07.21 3

PROPOSED FIRST LEVEL FLOOR PLAN

A2.1-01



- SHOWN DASHED
 01.44 NEIGHBORING WINDOWS, SHOWN DASHED. NO IMPACT ON WINDOW

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202011148929 202011148925 2020-010109PRJ

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05.19.2021

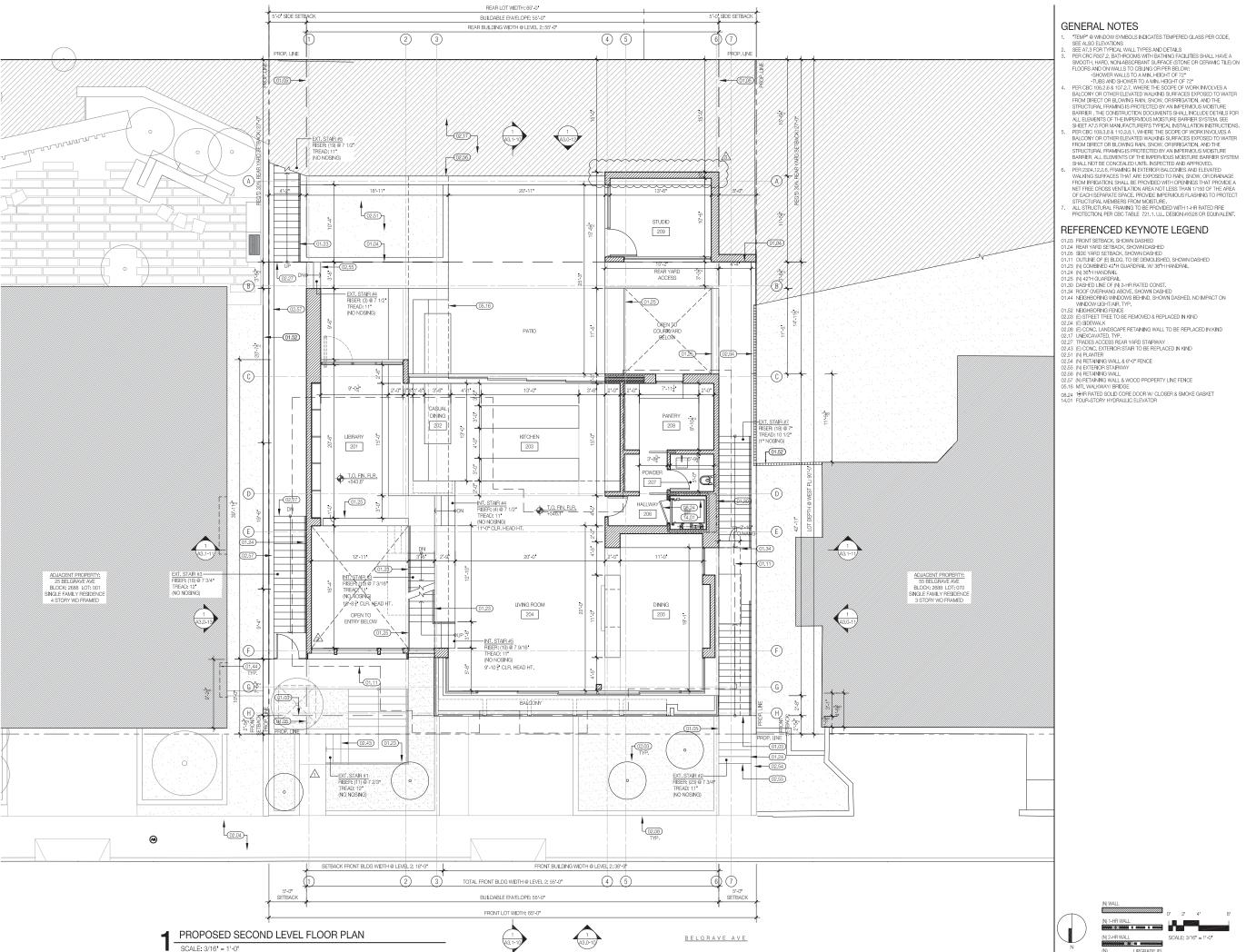
Revision History

No. Issuance 01. SITE PERMIT 02. SITE PERMIT REV. 1 03. SITE PERMIT REV. 2 Date 09.17.20

04.19.21

EXISTING SECOND LEVEL **DEMOLITION PLAN**

A2.2-00



- "TEMP" @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE.

REFERENCED KEYNOTE LEGEND

- 01.03 FRONT SETBACK, SHOWN DASHED 01.04 REAR YARD SETBACK, SHOWN DASHED

UPGRADE (E)



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202011148929 202011148925 2020-010109PRJ

Issuance SITE PERMIT REV. 3

> 09.17.20 04.19.21 1 05.19.21 2 06.07.21 3

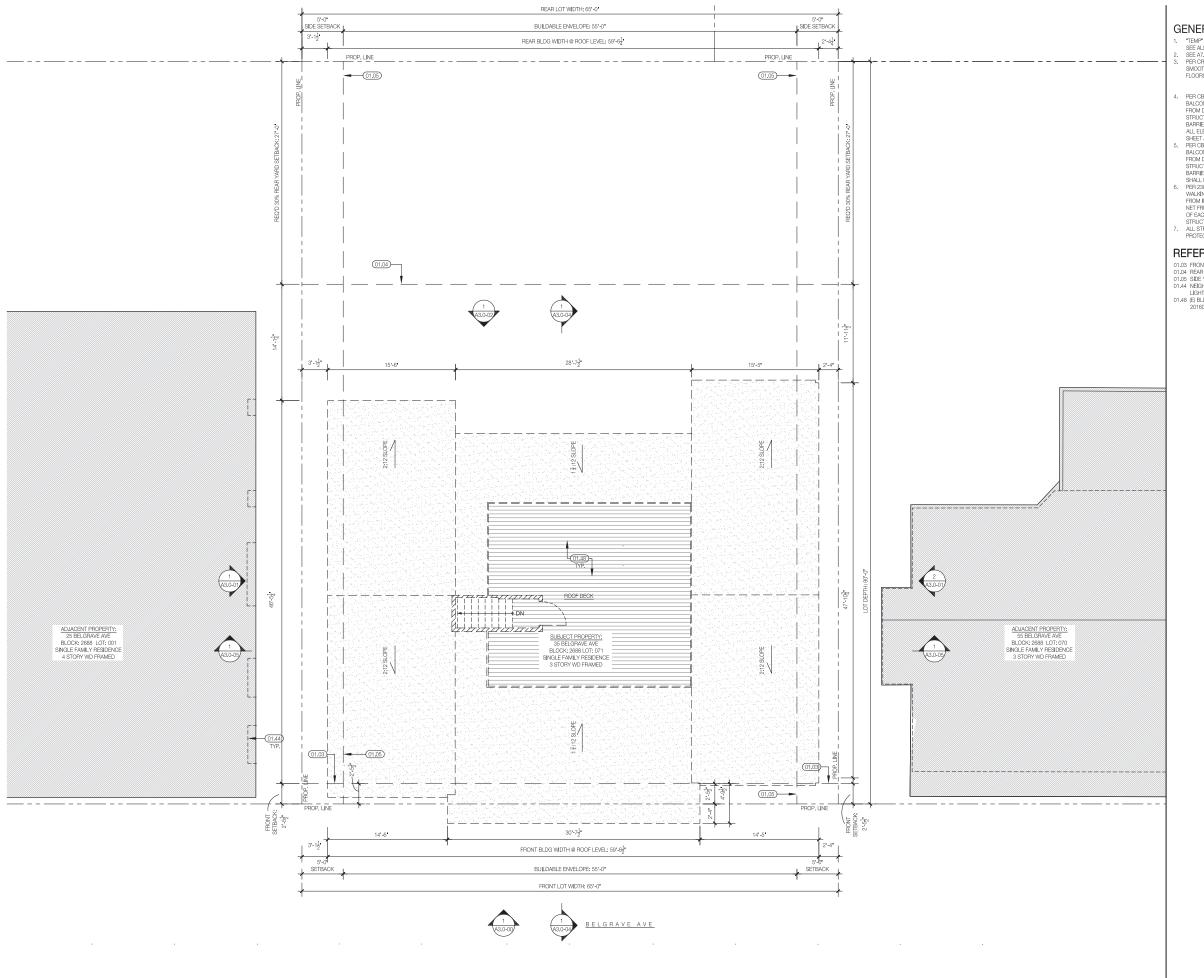
06.07.2021

Revision History

No. Issuance 01. SITE PERMIT 02. SITE PERMIT REV. 1 03. SITE PERMIT REV. 2

PROPOSED SECOND LEVEL FLOOR PLAN

A2.2-01



GENERAL NOTES

- GENERAL NOTES

 "TEMP" & WINDOW SYMBOUS INDICATES TEMPERED GLASS PER CODE, SEE ALSO ELEVATIONS

 SEE ALSO ELEVATIONS

 SEE ALSO ELEVATIONS

 SEE ALSO ELEVATIONS

 PER GOR RADZ. BATH-POOLS WITH EARTH OF ACILITIES SHALL HAVE A SMOOTH, HAPE, NON-ABSOBBANT SUPERACE ISTONE OR CERAMIC TILLE) ON FLOORS AND ON WALLS TO CELLING OR PER BELOW:
 SHOWER WALLS TO A MIN, HEIGHT OF 72'

 -USE AND SHOWER TO A MIN, HEIGHT OF 72'

 -USE AND SHOWER TO A MIN, HEIGHT OF 72'

 -USE AND SHOWER TO A MIN, HEIGHT OF 72'

 -USE AND SHOWER TO A MIN, HEIGHT OF 72'

 -USE AND SHOWER TO A MIN, HEIGHT OF 72'

 -USE AND SHOWER TO A MIN, HEIGHT OF 72'

 -USE AND SHOWER TO A MIN, HEIGHT OF 72'

 -USE AND SHOWER TO A MIN, HEIGHT OF 72'

 -USE AND SHOWER TO A MIN, HEIGHT OF TO THE STRUCTURAL FRAMING IS PROTECUTED BY AN IMPERMICUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERMICUS MOISTURE DETAILS FOR ALL ELEMENTS OF THE IMPERMICUS MOISTURE BARRIER SYSTEM. SEE SHEET A7, SOM MANUFACTURER'S TYPECAL INSTALLATION INSTRUCTIONS.

 PER GOC 10S, 30 & 110.38, 1, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALLMANS UNFERCES BY POSSED TO WATER FROM DIRECT OR BLOWING RAIR, SNOW, OR IRRIBATION, AND THE STRUCTURAL FRAMINGS IN PROTECUTED BY AN IMPERMICUS MOISTURE BARRIER SYSTEM SHALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL ELEMENTS OF THE IMPERVIOUS DAIL PROMISE BARRIERS SYSTEM SHALL ELEMENTS OF THE IMPERVIOUS DAIL PROMISE BARRIERS SYSTEM SHALL ELEMENTS OF THE IMPERVIOUS DAIL PROMISE BARRIERS SYSTEM SHALL ELEMENTS OF THE IMPERVIOUS DAIL PROMISE BARRIERS SYSTEM SHALL ELEMENTS OF THE IMPERVIOUS DAIL PROMISE BARRIERS SYSTEM SHALL ELEMENTS OF THE IMPERVIOUS DAIL PROMISE BARRIERS SYSTEM SHALL BE STALL ELEMENTS OF THE IMPERVIOUS BALSHING TO PROTECT STRUCTURAL PRAINING TO BE PROVIDED WITH 1-HR RATED THE PROTECT THE ARISE BY THE ARRIVES BY THE PROVIDED WITH 1-HR RATED FIRE PROTECTION HER PROVIDED WITH 1-HR RATED FIRE PROTECTION HER PROVIDED WITH

REFERENCED KEYNOTE LEGEND

- 01.03 FRONT SETBACK, SHOWN DASHED
 01.04 REAR YARD SETBACK, SHOWN DASHED
 01.05 SIDE YARD SETBACK, SHOWN DASHED
 01.44 NEGREGORING WINDOWS, SHOWN DASHED, NO IMPACT ON WINDOW LIGHT/AIR, TYP.
 01.48 (E) BLOS. TO BE DEMOLISHED, WORK UNDER PREVIOUS PERMIT NO, 201604064049 & 201312275170 NOT COMPLETED



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SITE PERMIT REV. 2

05.19.2021

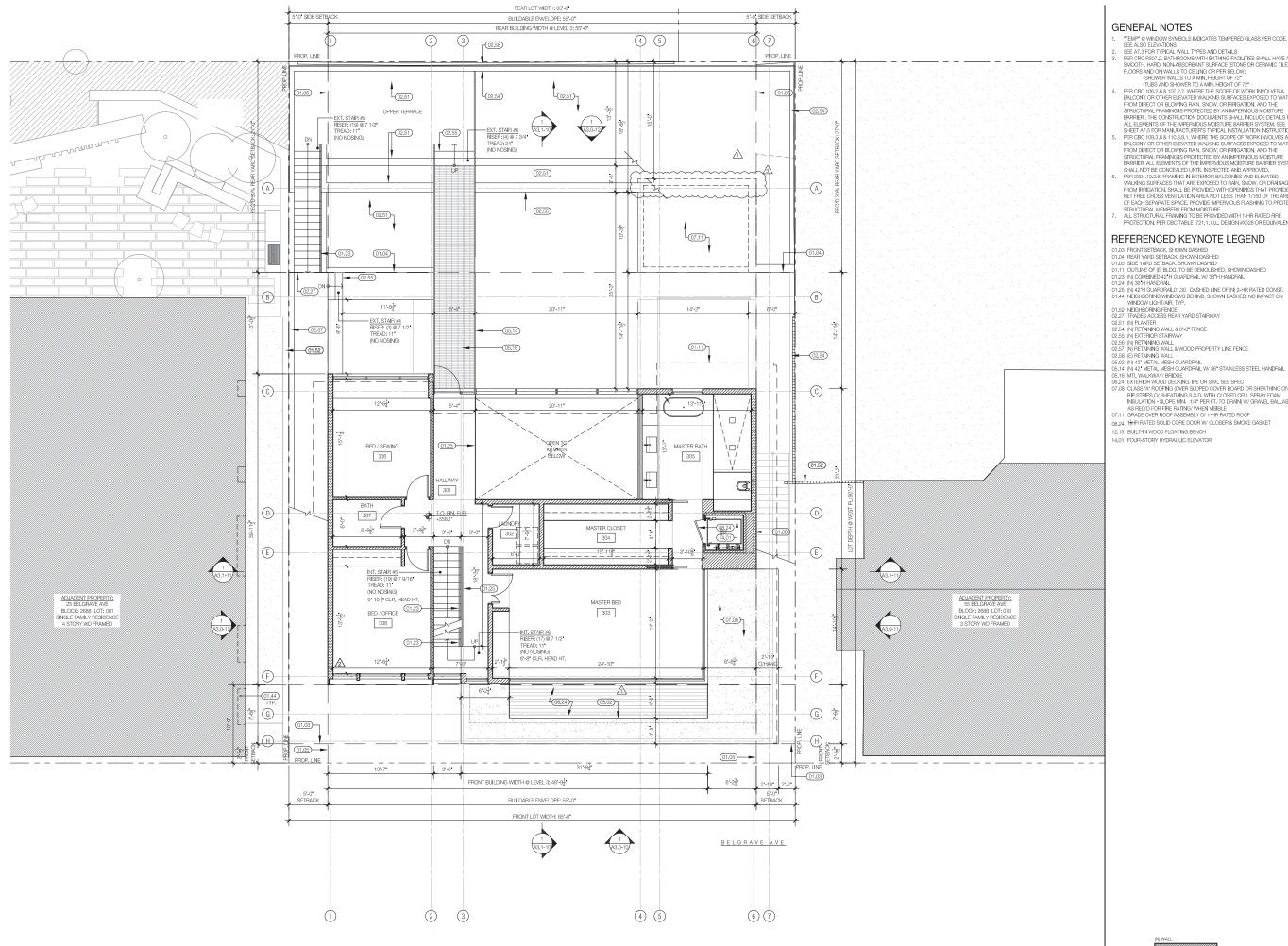
Revision History

No. Issuance 01. SITE PERMIT

Date 09.17.20 04.19.21 02. SITE PERMIT REV. 1 03. SITE PERMIT REV. 2

EXISTING ROOF DEMOLITION PLAN

A2.3-00



GENERAL NOTES

- "TEMP" @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE.
- "TEMP" @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE, SEE ALSO ELEVATIONS
 SEE ALSO ELEVATIONS
 SEE ALSO ELEVATIONS
 SEE AT 3 FOR TYPICAL WALL TYPES AND DETAILS
 PER COR DAY2. BATH-POONS WITH BATHAND FACILITIES SHALL HAVE A SMOOTH, HAPD, NON-ASSORBANT SUPFACE, ISTONE OR CERAMIC TILE) ON FLOORS AND ON WALLS TO COLINIS OR PER BELOW.
 -SHOWER WALLS TO A MIN, HEIGHT OF 72'
 -TURS AND SHOWER TO A MIN, HEIGHT OF 72'
 -TURS AND SHOWER TO A MIN, HEIGHT OF 72'
 -PER CEC 102.6 A 107.27, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER BLEVATED WALKINS SUFFACES DROSED TO WATER RHOM DIRECT OR BLEVANIS BAND, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE SHAPING THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM. SEE SHEET AT, 5 FOR MANUFACTURER'S THYPICAL INSTRUCTIONS, PER ORC 109.3.8 & 110.3.8.1, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER TEMPERO WALKINS SUFFACES BROSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL INCLUDE TO CONCEASE THE STRUCTURAL FRAMINGS IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL INCLUDE TO CONCEASE DAY OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL INCLUDE TO CONCEASE AND BARPOVED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IDRAINASE FROM IRRIGATION, SHALL BE STRUCTURAL FRAMINGS IN PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL INCLUDE CONCEASE AND ELEVATED PER 2004-12.2.6, FRAMINGS IN EXTERIOR BALCONIES AND ELEVATED PER 2004-12.5 FRAMINGS IN PROTECTED BY AND SHAND STRUCTURAL FRAMINGS TO PROTECTED BY AND SHAND SHAND FROM IRRIGATION, SHALL BE PROVIDED WITH 1-HR RATED FIRE PROTECTION, PER BOAND SHAND SHAND FROM IRRIGATION, SHALL BE PROVIDED WITH 1-HR RATED FIRE PROTECTION, PER CORCEASE DOY.

REFERENCED KEYNOTE LEGEND

- 20.54 (M) RETAINING WALL & 6"-0" FENCE
 20.55 (N) ETETIOR STAIFWAY
 20.56 (N) RETAINING WALL
 20.57 (N) RETAINING WALL
 20.57 (N) RETAINING WALL
 40.50 (R) RETAINING WALL
 50.50 (R) RETAINING WALL
 50.50 (N) 42" METAL MESH GUARDRAIL
 60.51 (N) 43" METAL MESH GUARDRAIL
 60.51 (N) 43" METAL MESH GUARDRAIL
 60.51 (M) MILWALKWAY) BRIDGE
 60.624 EXTERIOR WOOD DECKING, IPE OR SIM, SEE SPEC
 60.68 (LASS 'A' ROOFING (OVER SLOPED COVER BOARD OR SHEATHING ON RIP STRIPS O'S HEATHING S.S.D. WITH CLOSED CELL SPRAY FOAM
 61 (NISULATION SLOPE MIN. 1/4" PERF IT. TO DRAIN) W GRAVEL BALLAST
 63 RS GOOD FOR FIRE BATHING WHEN MISSILE
 60.51 (H) RRATED SOLID CORE DOOR W'CLOSER & SMOKE GASKET
 61.51 (NI) RATED SOLID CORE DOOR W'CLOSER & SMOKE GASKET

UPGRADE (E)

- 12.15 BUILT-IN WOOD FLOATING BENCH
- 14.01 FOUR-STORY HYDRAULIC ELEVATOR



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202011148929 202011148925 2020-010109PRJ

Issuance SITE PERMIT REV. 3

06.07.2021

Revision History

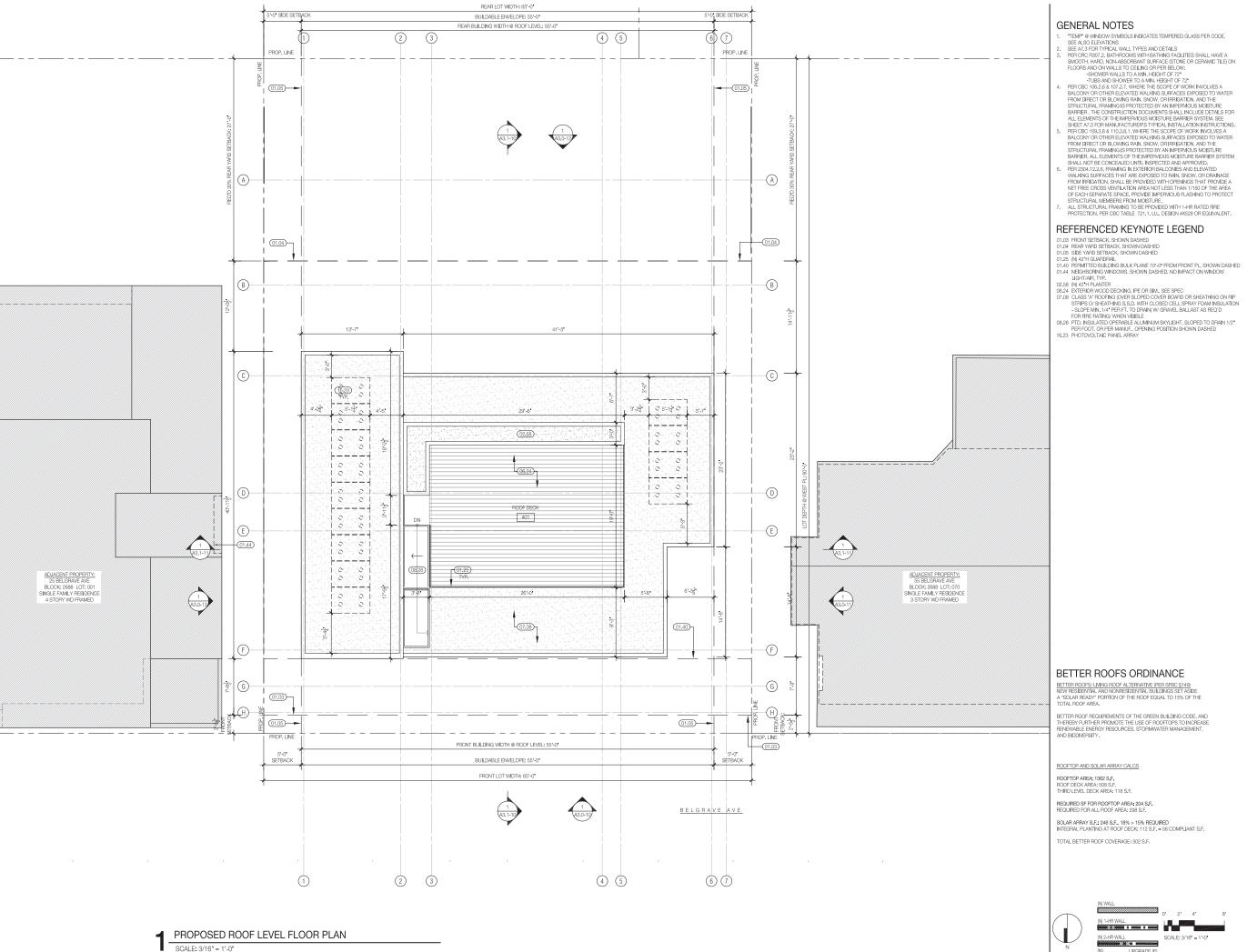
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Date 09.17.20

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PROPOSED THIRD LEVEL FLOOR PLAN

A2.3-01



UPGRADE (E)

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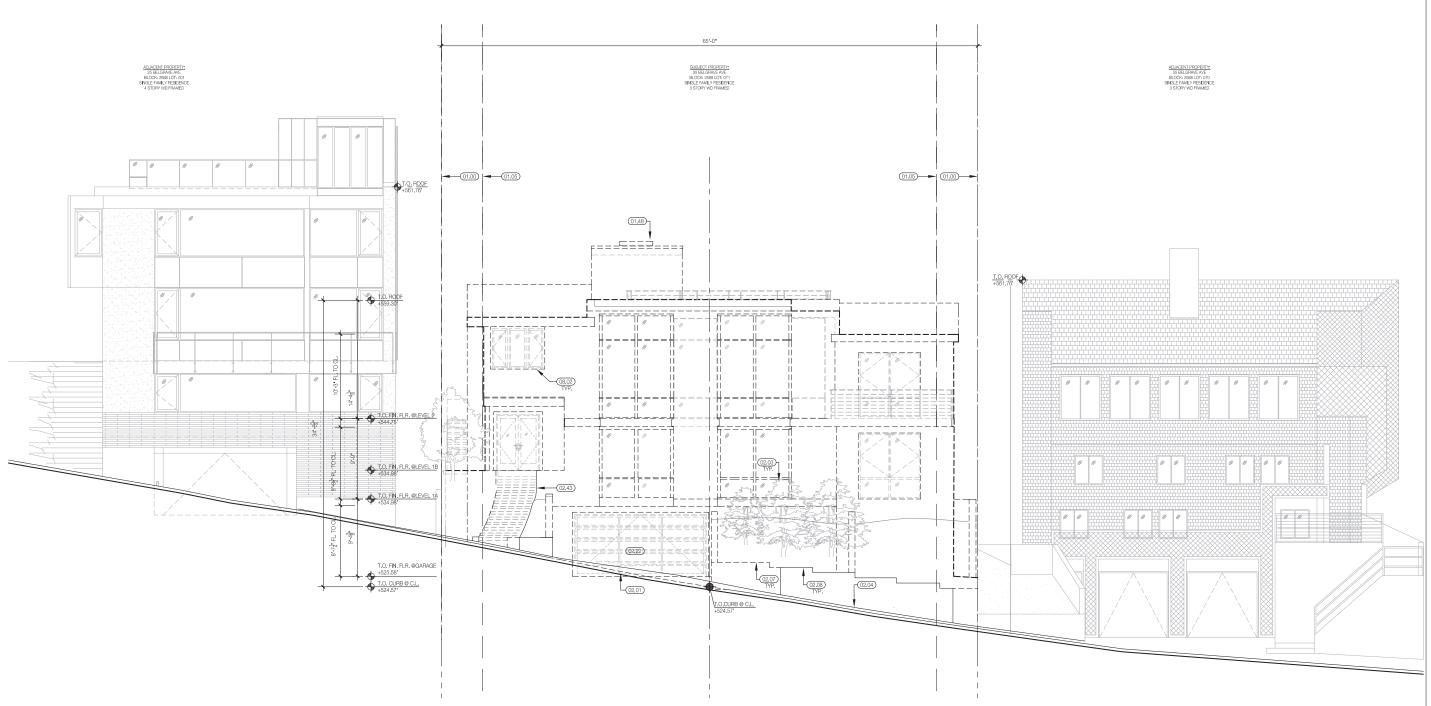
Revision History No. Issuance 01. SITE PERMIT

02. SITE PERMIT REV. 1 03. SITE PERMIT REV. 2 Date 09.17.20

04.19.21

PROPOSED ROOF LEVEL FLOOR PLAN

A2.4-01



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SITE PERMIT REV. 2

05.19.2021

Revision History

No. Issuance 01. SITE PERMIT

Date 09.17.20 02. SITE PERMIT REV. 1 04.19.21 03. SITE PERMIT REV. 2

GENERAL NOTES

1. TEMP @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE.

1. TEMP ® WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE.
SEE ALSO ELEVATIONS
2. SEE AT, 3 FOR TYPICAL WALL TYPES AND DETAILS
3. PER CRC R307.2, BATHROOMS WITH BATHING FALLITIES SHALL HAVE A
SMOOTH, HARD, NON-ABSORBANT SUFFACE STONE OR CERAMIC TILE) ON
FLOORS AND ON WALLS TO CELLING OR PER BELOW:
- HOORS AND ON WALLS TO CELLING OR PER BELOW:
- TUBS AND SHOWER TO A MIN. HEIGHT OF 72'
- TUBS AND SHOWER TO A MIN. HEIGHT OF 72'
- TUBS AND SHOWER TO A MIN. HEIGHT OF 72'
- PER CRC 108.2.8 & 107.27, WHERE THE SOOPE OF WORK INVOLVES A
BALCONY OR OTHER ELEVATED WALKING SUFFACES EXPOSED TO WATER
FROM DIFECT OR BLOWING BAIN, SNOW, OR IRRIGATION, AND THE
STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE
BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCIDE DETAILS FOR
ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM. SEE
SHEET ATS FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS,
5. PER CRC 109.3.8 & 110.3.8.1, WHERE THE SOOPE OF WORK INVOLVES A
BALCONY OR OTHER BLEVATED WALKING SUFFACES EXPOSED TO WATER
FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE
STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE
BARRIER, ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM
SHALL NOT BE CONCEASED INTIIL INSPECTICE AND APPROVED.
6. PER 290.412.26, FRAMING IN EXTERIOR BALCONIES AND ELEVATED
WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE
FROM BRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A
NOT FRECHE CROSS VERTILATION APER AND TLESS THAN 1150 OF THE AREA
OF EACH SEPARATE SPACE, PROVIDE IMPERVIOUS FLASHING TO PROTECT
STRUCTURAL MEMBERS FROM MOISTURE.

REFERENCED KEYNOTE LEGEND

EXISTING NORTH (FRONT) ELEVATION - DEMOLITION

SCALE: 3/16" = 1'-0'

DILO PROPERTY LINE

11.05 SIDE YARD SETBACK, SHOWN DASHED

11.46 (E) BLLOS, TO BE DEMOLISHED

10.46 (E) BLLOS, TO BE DEMOLISHED

10.20.16 (E) UNBE CUT TO BE REMOVED 0.

10.20.36 (E) STREET TREE TO BE REMOVED 8. REPLACED IN KIND

10.20.46 (E) SIDEWALK

10.20.77 (E) COINC, LANDSCAPE RETAINING WALL TO BE DEMO'D, SHOWN DASHED

10.20.86 (E) CONC, LANDSCAPE RETAINING WALL TO BE REPLACED IN KIND

10.20.26 (E) CONC, EATEROR STAIR TO BE REPLACED IN KIND

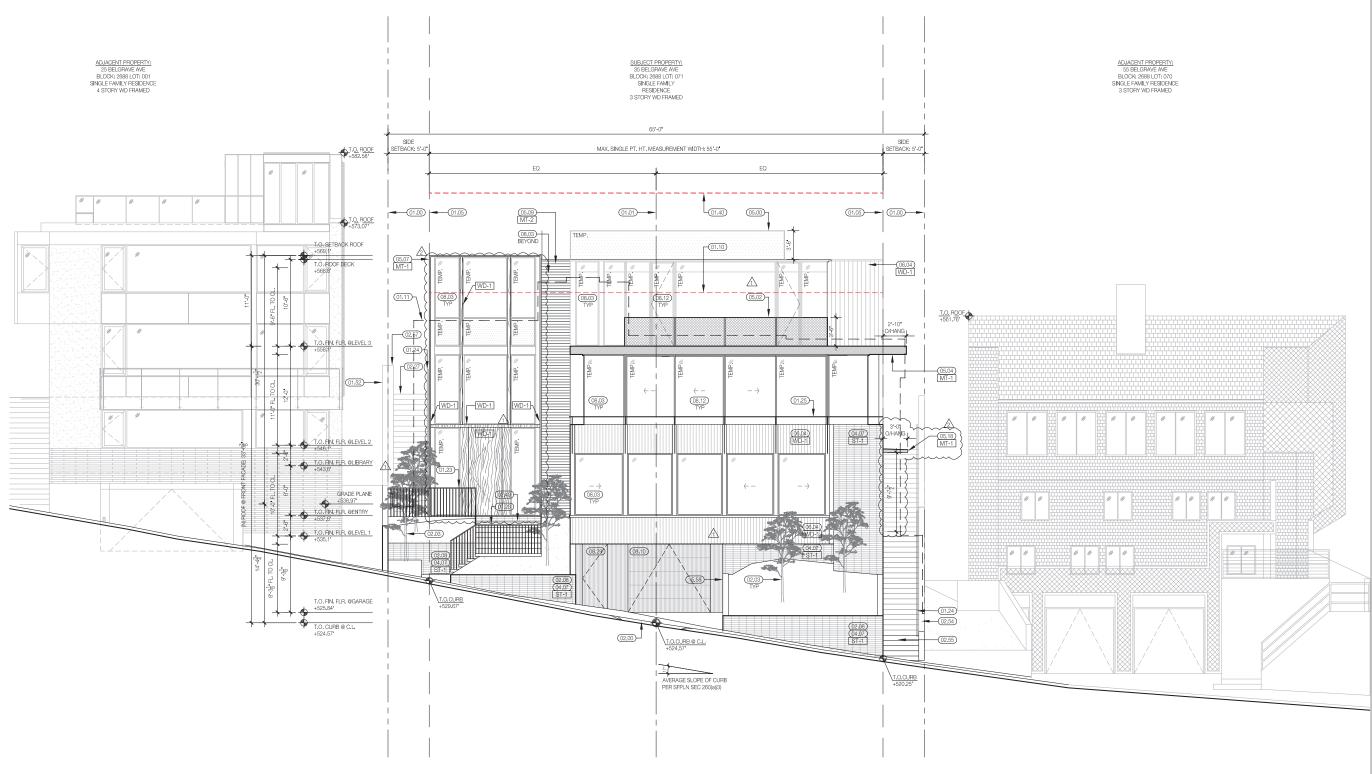
10.20.26 (E) CONC, EXTERIOR STAIR TO BE REPLACED IN KIND

10.20.36 (E) CONC, EXTERIOR STAIR TO BE REPLACED IN KIND

10.20.36 (E) WINDOWS TO BE DEMOLISHED, TYP.

EXISTING NORTH (FRONT) ELEVATION - DEMOLITION

TO BE DEMOCLISHED CO 2' 4' 8' A3.0-00



PROPOSED NORTH (FRONT) ELEVATION

GENERAL NOTES

TEMP @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE.

TIEMT "6 WINDLOW SYMBOUS INDICATES TEMPERED GLASS PER CODE.
SEE ALSO ELEVATIONS.

SEE AT,3 FOR TYPICAL WALL TYPES AND DETAILS.

PER CRC REOT.2, EATHROOMS WITH BATHING FACILITIES SHALL HAVE A SMOOTH, HARD, NOW-ASSORBATT SUPPLACE STONE OR CEPAMIC TILE; ON FLOORS AND ON WALLS TO CEILING OR PER BELOW.

- SMOOTH, HAMD, NON-ABSORBANT SUPFACE ISTONE OR CERAMIC TILL) ON FLOORS AND ON WALLS TO A MIN. HEIGHT OF 72'

 -TUBS AND SHOWER TO A MIN. HEIGHT OF 72'

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 -TUBS AND SHOWER TO A MIN. HEIGHT OF 72'

 -TUBS AND SHOWER TO A MIN. HEIGHT OF 72'

 -TUBS AND SHOWER TO A MIN. HEIGHT OF 72'

 -TUBS AND SHOWER TO A MIN. SHOW, OR I RRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOSTSUBE BARRIER. THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOSTSUBE BARRIER SYSTEM, SEE SHEET AT, 5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS,

 -FOR COST OS AS A 110.38.1, WHERE THE SCOPE OF WORK INVOLVES A BALOOMY OR OTHER LEVATED WALKING SUFFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOSTSUBE BARRIER SYSTEM SEE SHALL NOT BE CONCEASED UNTIL INSPECTED AND APPROVED.

 -FOR 230.112.26, FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SUFFACES TO THAT A TRE EXPOSED TO RAIN, SNOW, OR DRIANGE FROM BRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRIANGE FROM BRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE AND FROM THE APPEAR OF EACH SEPARATE SPACE, PROVIDE MITH OPENINGS THAT PROVIDE AND FRAME FROM THE REPROVIDE OF THE STRUCTURAL MEMBERS FROM MOSTURE.

REFERENCED KEYNOTE LEGEND

01.00 FROTERLINE OF PROPERTY

01.05 SIDE YARD SETBACK, SHOWN DASHED 01.10 OUTLINE OF PERMITTED BUILDING ENVELOPE AT 40' ABOVE MIDPOINT OF CURB,

01.11 OUTLINE OF (E) BLDG, TO BE DEMOLISHED, SHOWN DASHED

01.23 (N) COMBINED 42"H GUARDRAIL W/ 36 H HANDRAIL

01.24 (N) 36 H HANDRAIL

01.25 (N) 42"H GUARDRAIL 01.40 PERMITTED BUILDING BULK PLANE 10"-0" FROM FRONT PL, SHOWN DASHED

01.40 PERMITTED BUILDING BULK PLANE 10-0° FROM FRONT PL, SHOWN I
01.52 NIGHENDRING FENCE
02.00 (N) CURB CUT
02.03 (E) STREET TREE TO BE REMOVED & REPLACED IN KIND
02.03 (E) CONC, LANDSCAPE RETAINING WALL TO BE REPLACED IN KIND
02.07 TRADES ACCESS REAR YARD STAIRWAY
02.07 TRADES ACCESS REAR YARD STAIRWAY
02.04 (E) CONC, EXTERIOR STAIRWAY
02.04 (E) CONC, EXTERIOR STAIRWAY
02.05 M N ETAINING WALL & 6°-0° FENCE
02.05 M N ETAINING WALL & 6°-0° FENCE
02.05 M N ETAINING WALL & 6°-0° FENCE

02.55 (N) EXTERIOR STAIRWAY
02.67 (N) RETAINING WALL & WOOD PROPERTY LINE FENCE
04.07 STONE CLADDING WALL
05.02 (IV) 42" METAL MESH GUARDRAIL

US.UZ (IN) 4.2 m lat. MESH GUARDRAIL
05.04 METAL FASCIA
05.07 METAL PANEL
05.09 HORDONTAL METAL SCREEN WITH VERTICAL METAL ATTACHMENT FRAME
€ 05.09 HORDONTAL METAL SCREEN WITH VERTICAL METAL ATTACHMENT FRAME
(05.18 3.2 ° PTD METAL O'DEPHANG)
06.04 VERRICAL STAINED CLEDR'T & G EXTERIOR WOOD SIDING

08.03 PTD. INSULATED ALUMINIUM WINDOW SYSTEM

BOSS PTO METAL ENTRY DOOR
 BOSS PTO METAL ENTRY DOOR

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WD-1 WOOD 08.10 PTD, METAL FLUSH MOUNT OVERHEAD GARAGE DOOR 08.12 PTD, INSULATED ALUMINUM DOOR SYSTEM

MTL-2 METAL ST-1 STONE MEDIUM FORMAT 08.29 PTD METAL MAN DOOR, EMERGENCY ACCESS PT. FROM

MATERIAL LEGEND

ELEVATION NOTES

BIRD SAFE GLAZING INFORMATION
 ALL GLAZING AT FRONT AND REAR FACADE TO BE UV COATED STRIPPED BIRD-SAFE GLAZING AT WINDOWS AND DOORS



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Issuance SITE PERMIT REV. 2

05.19.2021

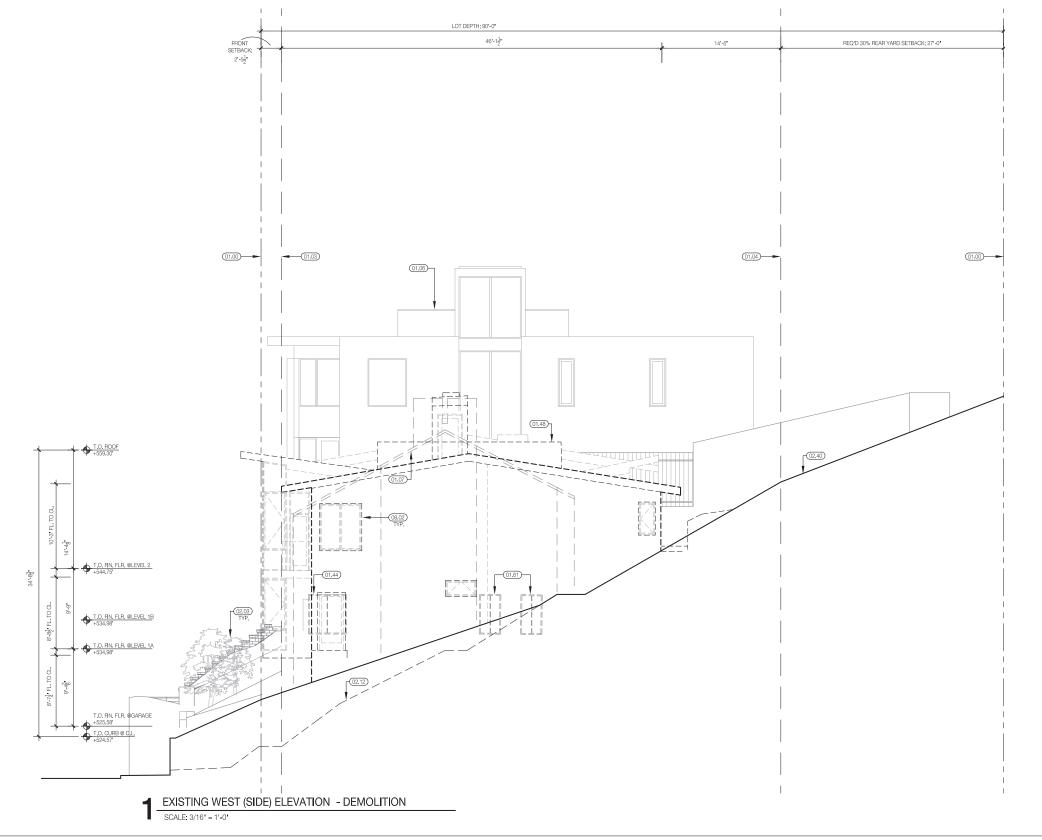
Revision History

No. Issuance 01. SITE PERMIT

Date 09.17.20 04.19.21 02. SITE PERMIT REV. 1 03. SITE PERMIT REV. 2

PROPOSED NORTH (FRONT) ELEVATION





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GENERAL NOTES

GENERAL NOTES

1. TEMP* @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE, SEE ALSO ELEXATIONS

2. SEE A.7.3 FOR TYPICAL WALL TYPES AND DETAILS

3. PER CRE ROS7.2, ENTHOOMS WITH EARTHNO FACILITIES SHALL HAVE A SMOOTH, HARD, NOV-ABSORBANT SURFACE ISTONE OR CERAMIC TILE) ON FLORE AND ON WALLS TO A BINL HEIGHT OF 72'

4. PER CBC 100.2.0 & 107.27, WHERE THE SOOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKINS ON FRIBIATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE FROM DIFFERENCE OF THE PROPERTY OF THE PROPER

REFERENCED KEYNOTE LEGEND

DICE PRENDED ACTINOTE LEGEND

11.09 PROPERTY LINE

11.03 FRONT SETBACK, SHOWN DASHED

11.04 FRARY YARD SETBACK, SHOWN DASHED

11.05 OUTLINE OF ADJACENT PROPERTY BEYOND, SHOWN DASHED

11.07 OUTLINE OF ADJACENT PROPERTY BEHND, SHOWN DASHED

11.07 OUTLINE OF ADJACENT PROPERTY BEHND, SHOWN DASHED, AND ADDALD SHOWN DASHED, AND ADDALD SHOWN DASHED, AND ADDALD SHOWN DASHED, AND MACT ON WINDOW LIGHT/AIR, TYP.

11.01 SHORE OF A LINEST PROPERTY LINE SHOWN DASHED. NO IMPACT ON WINDOW LIGHT/AIR, TYP.

12.02 SIGNED AT WEST PROPERTY LINE ON 35 BELIGHAVE SIDE OF PLACED IN SHOWN DASHED.

10.05 THE PROPERTY LINE ON 35 BELIGHAVE SIDE OF PLACED IN SHOWN DASHED.

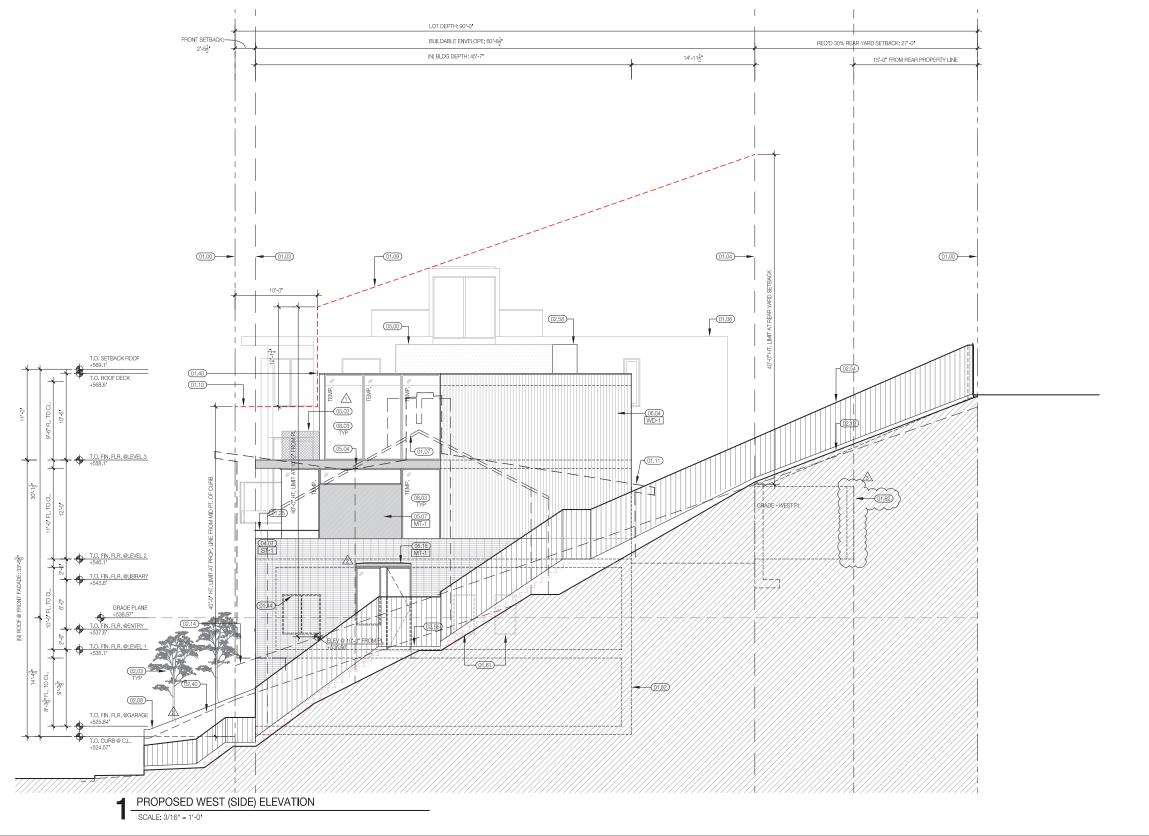
10.05 THE PROPERTY LINE ON 35 BELIGHAVE SIDE OF PLACED IN SHOWN DASHED.

10.05 THE PROPERTY LINE ON 35 BELIGHAVE SIDE OF PLACED IN SHOWN DASHED.

EXISTING WEST (SIDE) **ELEVATION - DEMOLITION**







MATERIAL LEGEND

ST-1 STONE LARGE FORMAT ST-2 STONE MEDIUM FORMAT

WD-1 WOOD WD-2 WOOD CB-1 MILLWORK

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202011148925 2020-010109PRJ

Issuance SITE PERMIT REV. 3

06.07.2021

Revision History

No. Issuance 01. SITE PERMIT 04.19.21 1 05.19.21 2 06.07.21 3 02. SITE PERMIT REV. 1 03. SITE PERMIT REV. 2

GENERAL NOTES

1. 'TEMP' @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE.

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SEE ALSO ELEVATIONS
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SMOOTH, HARD, NON-ABSORBANT SUFFACE STONE OR CERAMIC TILE) ON
FLOORS AND ON WALLS TO CELLING OR PER BELOW:
SHOWER WALLS TO A MIN, HEGHT OF 72'
TUBS AND SHOWER TO A MIN, HEGHT OF 72'
TUBS AND SHOWER TO A MIN, HEGHT OF 72'
APPER CBC 108.2.8 & 107.27, WHERE THE SOOPE OF WORK INVOLVES A
BALCONY OR OTHER ELEVATED WALKING SUFFACES EXPOSED TO WATER
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STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE
BARRIER, ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM
SHALL NOT BE CONCEASED INTIL IN SPECTED AND A PROVOCE.

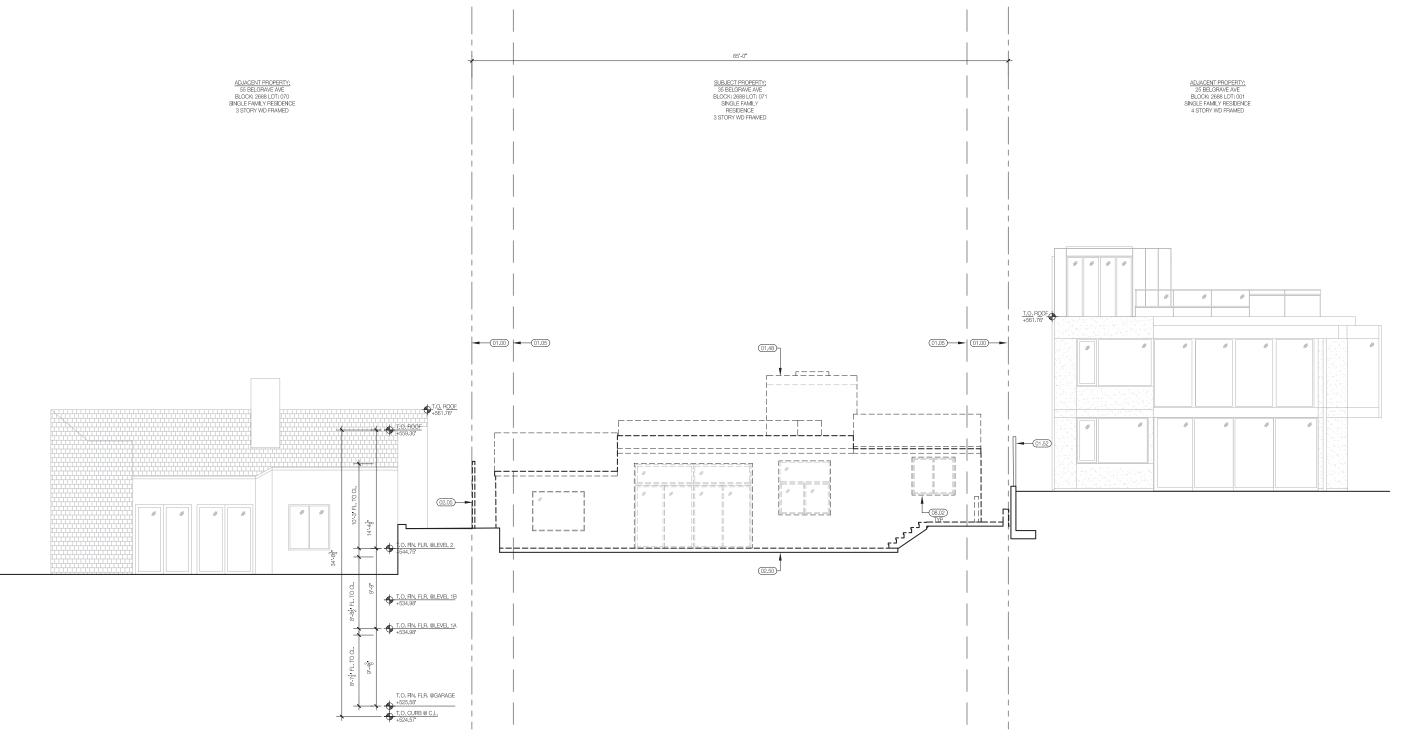
10. PER 2304.12.26, FRAMING IN EXTERIOR BALCONIES AND ELEVATED
WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRIANGE
FROM BRIGATION, SHALL BE PROVIDED WITH O PENINGS THAT PROVIDE
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ANT FREE CROSS VERTILATION APEA NOT LESS THAN 1115 OF THE AREA
OF EACH SEPARATE SPACE, PROVIDE IMPERVIOUS FLASHING TO PROTECT
STRUCTURAL MEMBERS FROM MOISTURE.

REFERENCED KEYNOTE LEGEND

01.00 PRIOPERTY LINE
01.03 FRONT SETBACK, SHOWN DASHED
01.04 FRAR YARD SETBACK, SHOWN DASHED
01.04 FRAR YARD SETBACK, SHOWN DASHED
01.05 OUTINE OF ADJACENT PROPERTY BEYOND, SHOWN DASHED
01.09 OUTINE OF PERMITTED BUILDING SENVELOPE AT 40° ABOVE MIDPOINT OF CURB, SHOWN DASHED
01.10 OUTINE OF PERMITTED BUILDING SENVELOPE AT 40° ABOVE MIDPOINT OF CURB, SHOWN DASHED
01.11 OUTINE OF IEB BLIG, TO BE DEMOUSHED, SHOWN DASHED
01.25 INMAYEL (JARDIDAM)

0.1.10 OUTLINE OF PERMITTED BUILDING ENVELOPE AT 40 ABOVE MIDPOINT OF CURB, SHOWN DASHED
01.110 OUTLINE OF (B) BLIGD, TO BE DEMOLISHED, SHOWN DASHED
01.25 [NA2*H GUARDRAIL.
01.44 NEIGHBORING WINDOWS BEHIND, SHOWN DASHED
01.44 NEIGHBORING WINDOWS BEHIND, SHOWN DASHED, NO IMPACT ON WINDOW LIGHT/AIR, TYP.
01.61 NEIGHBORING WINDOWS IN WINDOW WELLS, HOWN DASHED, NO IMPACT ON WINDOW LIGHT/AIR, TYP.
01.62 DASHED LINE OF PROPOSED WALLS AND FLOORS BEYOND
02.03 (B) STREET THEE*T DE REMOVED A REPLACED IN KIND
02.03 (B) STREET THEE*T DE REMOVED A REPLACED IN KIND
02.12 (B) GRADE AT WEST PROPERTY LINE
02.14 (B) NATURAL AVERAGE GRADE AT CENTERLINE OF BUILDING WIDTH HEIGHT MEASUREMENT POINT, SHOWN DASHED
02.40 (B) GRADE OF WEST FROPERTY LINE ON 35 BELGRAVE SIDE OF PL, SHOWN DASHED
02.56 (N) RETAINING WALL & 6"-0" FENCE
02.56 (N) RETAINING WALL & 6"-0" FENCE
02.56 (N) PLATIER
04.07 STORE CLADDING WALL
05.02 (N) 42" METAL MESH GUARDRAIL
05.02 (N) 42" METAL MESH GUARDRAIL
05.04 METAL PASCIA
05.07 METAL PASCIA
05.07 METAL PASCIA
05.07 METAL PASCIA
05.07 METAL PASCIA
05.00 VERTICAL STAINED CLEAR T & 0 EXTERIOR WOOD SIDING
05.03 YET INSULATED ALLUMINIUM WINDOW SYSTEM

PROPOSED WEST (SIDE) ELEVATION



John Maniscalco

Architecture

415.864.9900 442 Grove Street San Francisco, CA 94102



Project Address

35 Belgrave Ave. San Francisco, CA 94117

Permit Number

202011148929 202011148925 2020-010109PRJ

Issuance

SITE PERMIT REV. 2

05.19.2021

Revision History

No. Issuance 01. SITE PERMIT 02. SITE PERMIT REV. 1 03. SITE PERMIT REV. 2

Date 09.17.20 04.19.21

SCALE: 3/16" = 1'-0'

EXISTING SOUTH (REAR) ELEVATION - DEMOLITION

1. TEMP @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE,

1. TEMP ® WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE.
SEE ALSO ELEVATIONS
2. SEE AT, 3 FOR TYPICAL WALL TYPES AND DETAILS
3. PER CRC R307.2, BATHROOMS WITH BATHING FALLITIES SHALL HAVE A
SMOOTH, HARD, NON-ABSORBANT SUFFACE STONE OR CERAMIC TILE) ON
FLOORS AND ON WALLS TO CELLING OR PER BELOW:
SHOWER WALLS TO A MIN, HEIGHT OF 72'
TUBS AND SHOWER TO A MIN, HEIGHT OF 72'
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APPER CBC 108.2.8 & 107.27, WHERE THE SOOPE OF WORK INVOLVES A
BALCONY OR OTHER ELEVATED WALKING SUFFACES EXPOSED TO WATER
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GENERAL NOTES

REFERENCED KEYNOTE LEGEND

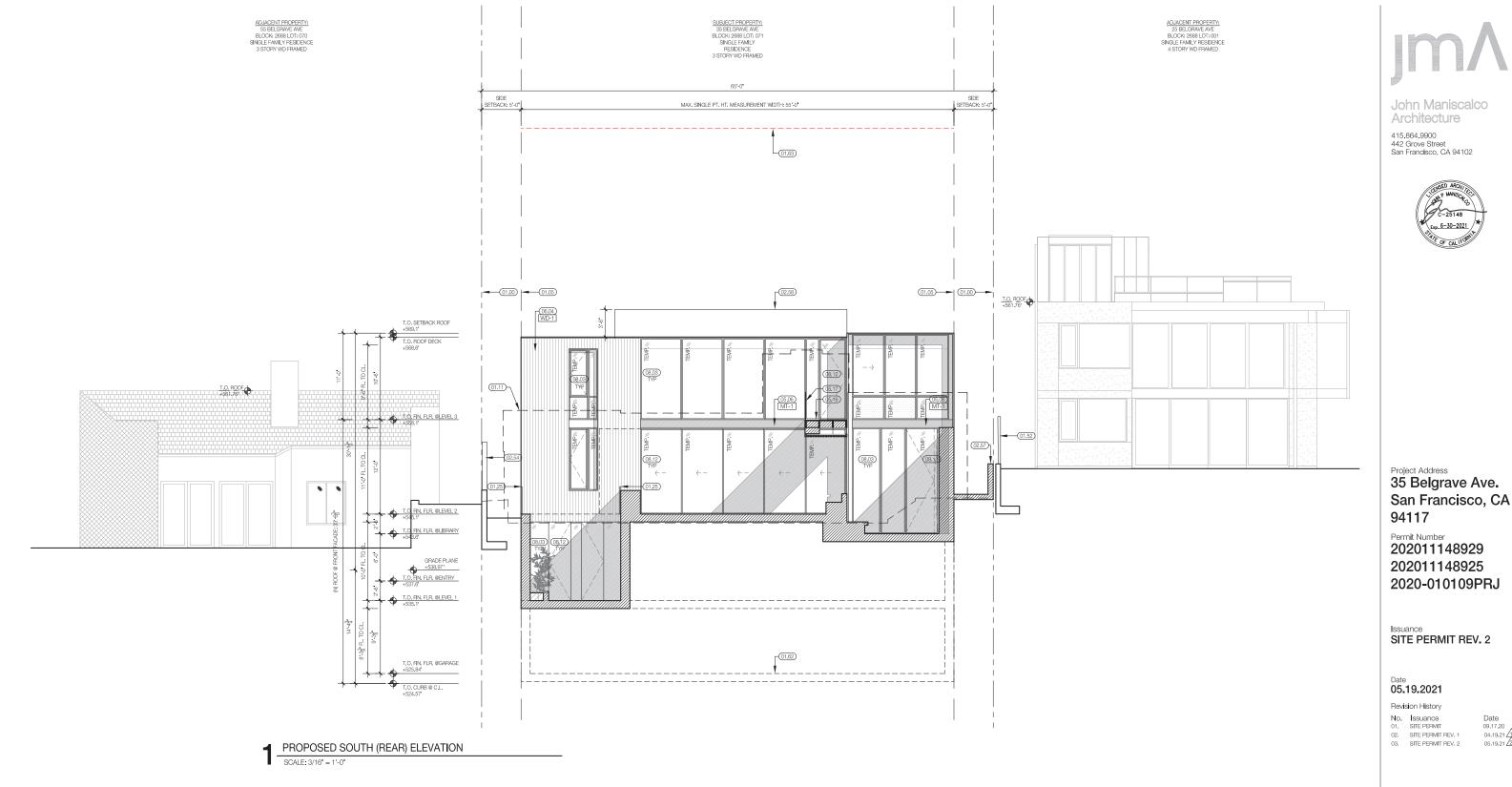
01.00 PROPERTY LINE
01.05 SIDE YARD SETBACK, SHOWN DASHED
01.46 (E) BLDG, TO BE DEMOLISHED
01.49 (E) BLDG, TO BE DEMOLISHED
01.52 NEIGHBORING FENCE
02.05 (E) FENCE TO BE DEMOLISHED, SHOWN DASHED
02.05 (E) GRADE AT BLDG, FACE BEYOND
08.02 (E) WINDOWS TO BE DEMOLISHED, TYP.



EXISTING SOUTH (REAR) **ELEVATION - DEMOLITION**

TO BE CHANGLES HED SCALE SHE" = 14-0"

A3.0-20



ELEVATION NOTES

BIRD SAFE GLAZING INFORMATION
 ALL GLAZING AT FRONT AND REAR FACADE TO BE UV COATED STRIPPED BIRD-SAFE GLAZING AT WINDOWS AND DOORS

PROPOSED SOUTH (REAR) **ELEVATION**

Date 09.17.20 04.19.21

A3.0-21

O1.00 PROPERTY LINE
O1.05 SIDE YARD SETBACK, SHOWN DASHED
O1.11 OUTLINE OF (E) BLDG, TO BE DEMOLISHED, SHOWN DASHED
O1.25 (NIGHBOFING FENCE
O1.25 CANCER HOLAPDIAL
O1.52 NIGHBOFING FENCE
O1.62 DASHED UINE OF PROPOSED WALLS AND FLOORS BEYOND
O1.63 BUILDABLE HEIGHT LIMIT, SHOWN DASHED
O2.54 (N) RETAINING WALL & GO'F ENCE
O2.57 (N) RETAINING WALL & GO'F ENCE
O2.58 (N) PLANTER
O5.06 BRAKE METAL WINDOW SPANDREL
O5.16 MIL WALVAWY/S PROBLE
O5.16 MIL WALVAWY/S PROBLE
O5.17 (N) 42' METAL RAIL GUARDRAIL
OS.04 VERTICAL STANDED GLEART & G EXTERIOR WOOD SIDING
OS.03 PTO. INSULATED ALUMINUM WINDOW SYSTEM
OB.12 PTO. INSULATED ALUMINUM WINDOW SYSTEM 1. TEMP ® WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE.
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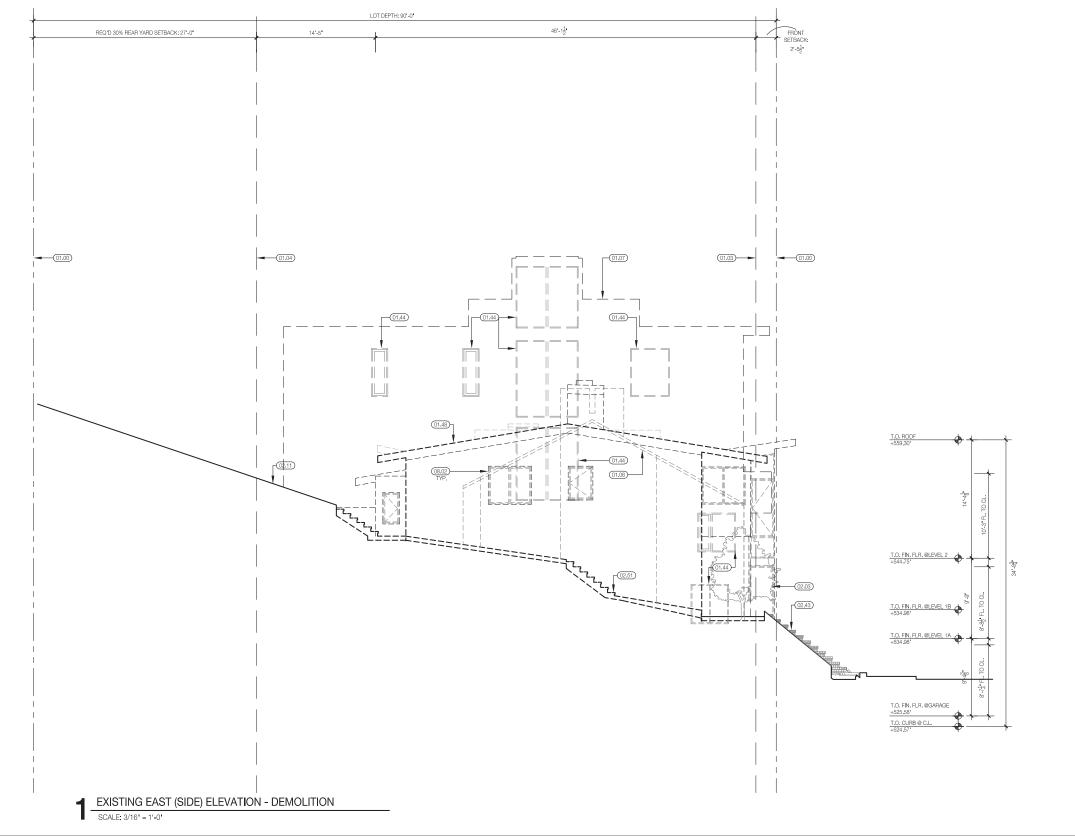
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GENERAL NOTES

REFERENCED KEYNOTE LEGEND

MATERIAL LEGEND

WD-1 WOOD WD-2 WOOD CB-1 MILLWORK ST-1 STONE LARGE FORMAT ST-2 STONE MEDIUM FORMAT



John Maniscalco Architecture

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SITE PERMIT REV. 2

05.19.2021

Revision History No. Issuance 01. SITE PERMIT

02. SITE PERMIT REV. 1 03. SITE PERMIT REV. 2 Date 09.17.20

04.19.21

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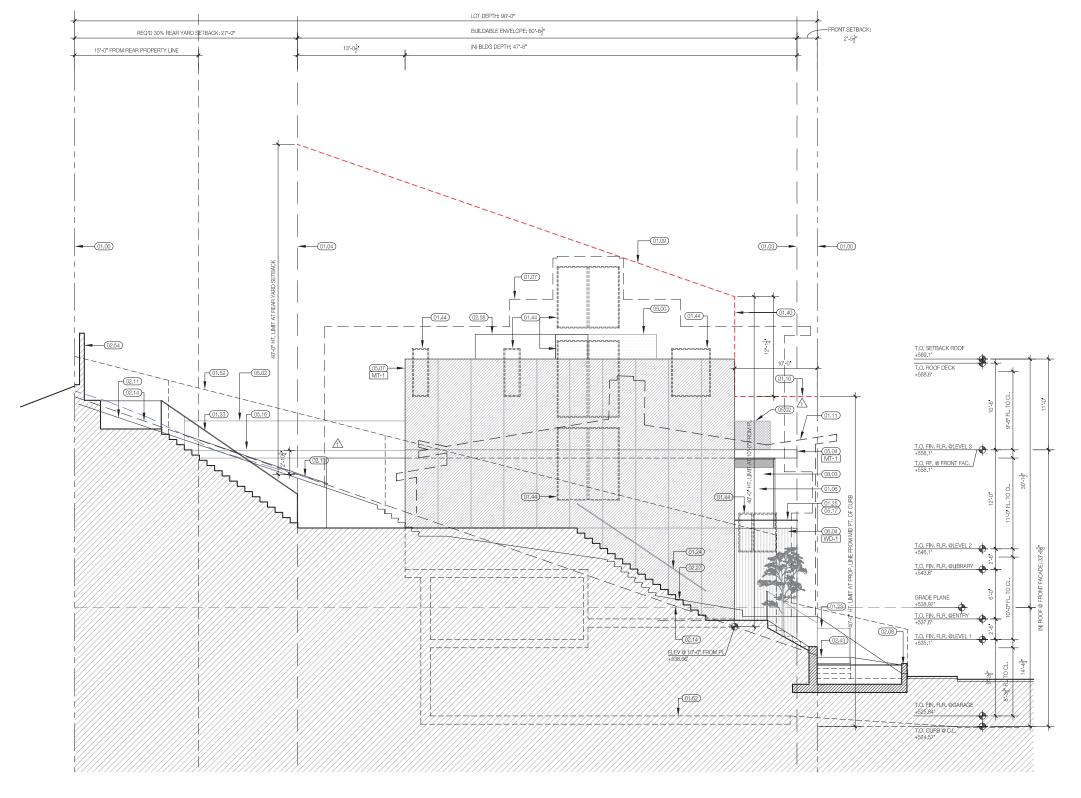
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01:00 OUTLINE OF ADJACENT PROPERTY BEHIND, SHOWN DASHED
01:07 OUTLINE OF ADJACENT PROPERTY BEHIND, SHOWN DASHED, NO IMPACT ON WINDOW LIGHT/AIR, TYP.
01:48 (E) BLIDG, TO BE DEMOLISHED
02:03 (E) STREET TREET OB E REMOVED & REPLACED IN KIND
02:11 (E) GRADE AT EAST PROPERTY LINE
02:40 (E) CONC. EXTERIOR STAIR TO DE REPLACED IN KIND
02:51 (E) STAIR TO BE DEMOUS
03:01 (E) WOOD SDINK TO BE DEMOLISHED, TYP.
08:02 (E) WINDOWS TO BE DEMOUSHED, TYP.

EXISTING EAST (SIDE) **ELEVATIONS - DEMOLITION**

TO BE DEMOLISHED COLUMN SHED SCALE: 3/16"= 1'-0" A3.0-30



MATERIAL LEGEND

WD-1 WOOD WD-2 WOOD CB-1 MILLWORK ST-1 STONE LARGE FORMAT ST-2 STONE MEDIUM FORMAT

PROPOSED EAST (SIDE) ELEVATION

SCALE: 3/16" = 1'-0"

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REFERENCED KEYNOTE LEGEND

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1.0.0 PROPERTY LINE
1.0.3 PROTO SETBACK, SHOWN DASHED
1.0.4 REAR VARD SETBACK, SHOWN DASHED
1.0.5 PROTON SETBACK, SHOWN DASHED
1.0.6 OUTLINE OF PRAINTED PROPERTY BEYOND, SHOWN DASHED
1.0.9 OUTLINE OF PRAINTED BUILDING ENVELOPE AT 40th FOLLOWING AVG, GRADE, SHOWN DASHED
1.1.0 OUTLINE OF PRAINTED BUILDING SENVELOPE AT 40th FOLLOWING AVG, GRADE, SHOWN DASHED
1.1.1 OUTLINE OF PRAINTED BUILDING SENVELOPE AT 40th FOLLOWING AVG, GRADE, SHOWN DASHED
1.1.2 OUTLINE OF PRAINTED BUILDING SENVELOPE AT 40th FOLLOWING AVG, GRADE, SHOWN DASHED
1.1.3 IN COMBINED 42th GUARDRAIL W 36th FANDRAIL
1.1.2 ON SHOWN DASHED
1.1.4 NOW THE ANDRAIL
1.1.2 ON SHOWN DASHED
1.1.4 PROFEDERING WINDOWS BENIND, SHOWN DASHED, NO IMPACT ON WINDOW LIGHT/AIR, TYP,
1.1.2 TO, NEG-BORING PENCE AND RETAINING WALL BERNIND, SHOWN DASHED
1.1.2 ON SHOWN DASHED
1.1.2 ON SHOWN DASHED
1.1.3 ON CONTROL LANDSCAPE RETAINING WALL BERNIND SHOWN DASHED
1.1.4 (E) NATURAL AVERAGE GRADE AT CENTREINING WALL BRIND SHOWN DASHED
1.1.1 (E) GRADE, SHOWN DASHED
1.1.1 (E) GRADE, SHOWN DASHED
1.1.1 (E) GRADE, ALVER AND STAINING WALL BRIND SHOWN DASHED
1.1.1 (E) GRADE, SHOWN DASHED
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1.1.1 (E) CRADE AT EAST FROMEN WALL SAND FLOORS BEYOND
1.1.1 (E) GRADE, ALVER AND STAINING WALL BRIND SHOWN DASHED
1.1.2 (E) MATURAL AVERAGE GRADE AT CENTREINING WALL BRIND SHOWN DASHED
1.1.2 (E) MATURAL AVERAGE GRADE AT CENTREINING WALL SAND FLOORS BEYOND
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1.2.2 (F) NONC. THE STAINING WALL SOWN FLOORS BEYOND
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1.3.3 (F) ONCO. EXTERTOR STAIR TO BE REPLACED IN KIND
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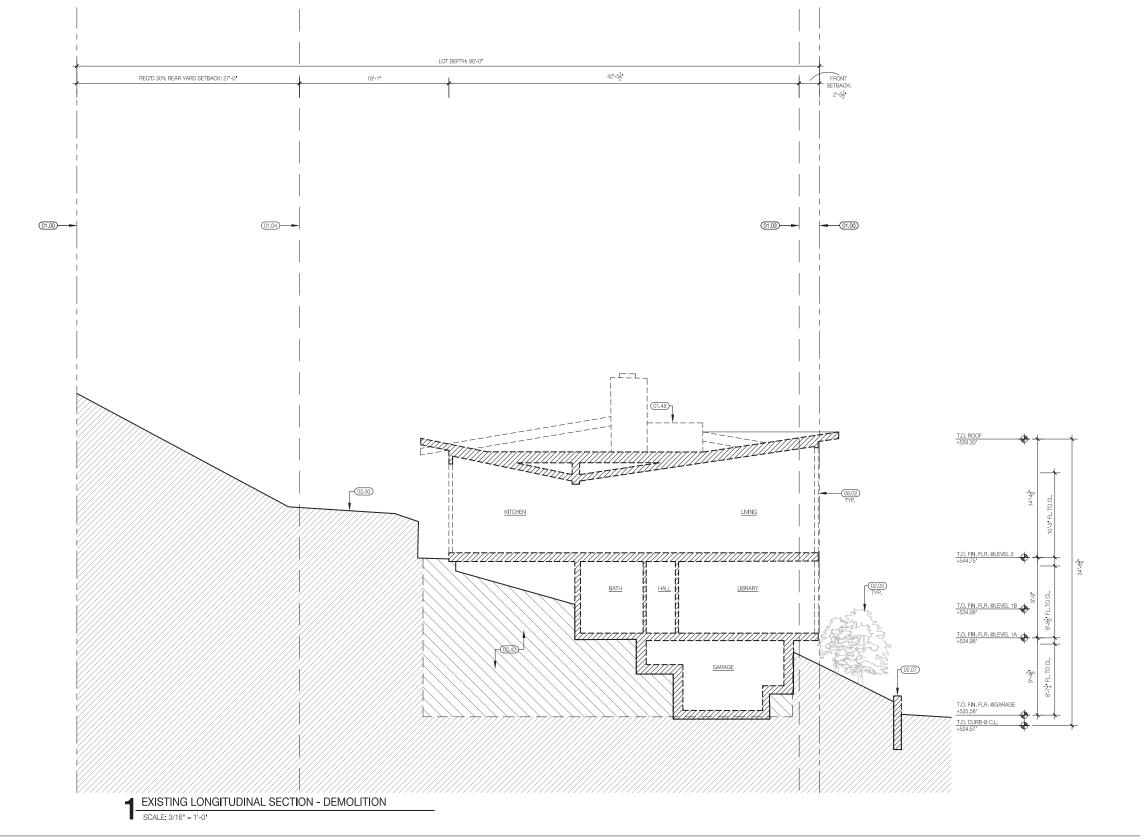
Revision History

No. Issuance 01. SITE PERMIT 02. SITE PERMIT REV. 1

03. SITE PERMIT REV. 2

PROPOSED EAST (SIDE) **ELEVATION**





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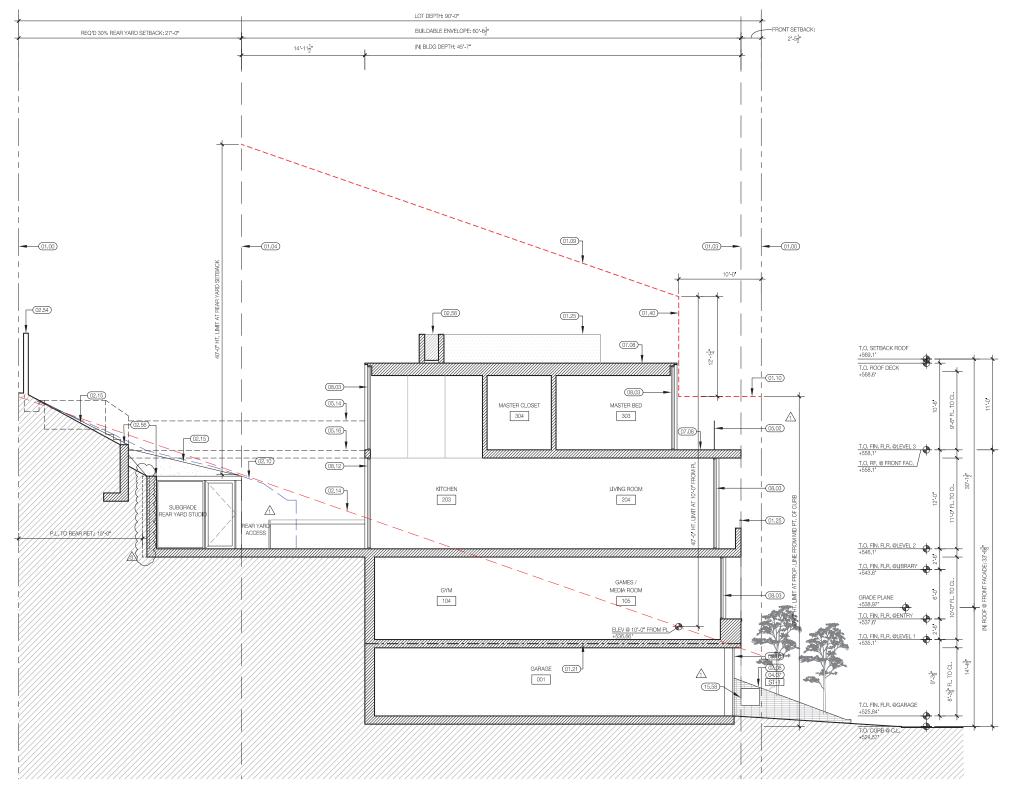
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01.46 [B BLDG, TO BE DEMOLISHED
01.48 [B BLDG, TO BE DEMOLISHED
02.36] [S INTERET TIBEET TO BE REMOVED 8 REPLACED IN KIND
02.07 [S] CONC. LANDSCAPE RETAINING WALL TO BE DEMO'D, SHOWN DASHED
02.47 [S] CONC. LANDSCAPE RETAINING WALL TO BE DEMO'D, SHOWN DASHED
02.42 APEA OF PROPOSED EXCOMATION
02.50 [S] GRODE AT BLDG, FACE BEYOND
06.01 [S] WOOD SIDING TO BE DEMOLISHED, TYP.
08.02 [S] WINDOWS TO BE DEMOLISHED, TYP.

SECTION - DEMOLITION

TO BE CEMOLISHED COLUMN SCALE: 3/16"=1"-0" A3.1-00

EXISTING LONGITUDINAL



PROPOSED LONGITUDINAL BUILDING SECTION

SCALE: 3/16" = 1'-0"

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SHOWER WALLS TO A MIN, HEGHT OF 72'
TUBS AND SHOWER TO A MIN, HEGHT OF 72'
TUBS AND SHOWER TO A MIN, HEGHT OF 72'
APPER CBC 108.2.8 & 107.27, WHERE THE SOOPE OF WORK INVOLVES A
BALCONY OR OTHER ELEVATED WALKING SUFFACES EXPOSED TO WATER
FROM DIFECT OR BLOWING BAIN, SNOW, OR IRRIGATION, AND THE
STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE
BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCIDE DETAILS FOR
ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM. SEE
SHEET AT'S FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS,
PER CBC 109.3.8 & 110.3.8.1, WHERE THE SCOPE OF WORK INVOLVES A
BALCONY OR OTHER BLEVATED WALKING SUFFACES EXPOSED TO WATER
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SHALL NOT BE CONCEASED INTIIL INSPECTICE AND APPROVED.

6. PER 290.412.26, FRAMING IN EXTERIOR BALCONIES AND ELEVATED
WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRIANGE
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FROM BRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE
ANT FREE CROSS VERTILIATION APER AND THE STRUCTURE AND A THE AP

REFERENCED KEYNOTE LEGEND

01:00 PROPERTY LINE
01:03 FRONT SETBACK, SHOWN DASHED
01:03 FRONT SETBACK, SHOWN DASHED
01:04 FEAR YARD SETBACK, SHOWN DASHED
01:09 OUTLINE OF PERMITTED BUILDING ENVELOPE AT 40°H FOLLOWING AVG, GRADE, SHOWN DASHED
01:10 OUTLINE OF PERMITTED BUILDING SHVELOPE AT 40°H FOLLOWING AVG, GRADE, SHOWN DASHED
01:21 1-HR RATED CONST. AT CELLING & WALLS, BEC, SEPARATION
01:23 (M) COMBINED 42°H GUARDRAIL W/ 36°H HANDRAIL
01:23 (M) COMBINED 42°H GUARDRAIL W/ 36°H HANDRAIL

01.24 (N) 36*H HANDRAIL

U1:24 IN 38°H HANDHAIL
01:25 IN 142°H GANEDRAIL
01:40 PERMITTED BULIDING BULK PLANE 10°-0° FROM FRONT PL, SHOWN DASHED
01:40 PERMITTED BULIDING BULK PLANE 10°-0° FROM FRONT PL, SHOWN DASHED
01:44 NIGHENGENION WINDOWN SEEHIND, SHOWN DASHED. NO IMPACT ON WINDOW LIGHT/AIR, TYP.
02:08. [B) CONC. LANDSCAPE RETAINING WALL TO BE REPLACED IN KIND
02:10 [B) GRADE, SHOWN DASHED
02:14 [B) NATURAL AVERAGE GRADE AT CENTERLINE OF BUILDING WIDTH HEIGHT MEASUREMENT POINT, SHOWN DASHED

02.15 PROPOSED GRADE 02.54 (N) PROPERTY LINE RETAINING WALL & 6'-0" FENCE 02.56 (N) RETAINING WALL

02.56 (M) RETAINING WALL
02.58 (M) RETAINING WALL
02.58 (M) RELANTER
04.07 STONE CLADDING WALL
05.14 (M) 42° METAL MESH GUARDRAIL W 38° STAINLESS STEEL HANDRAIL
05.14 (M) 442° METAL MESH GUARDRAIL W 38° STAINLESS STEEL HANDRAIL
05.16 MTL WALKWAY PRIDGE
08.03 PTD. INSULATED ALUMINUM WINDOW SYSTEM
08.10 PTD. METAL FLUSH MOUNT OVERHEAD GARAGE DOOR
08.12 PTD. INSULATED ALUMINUM SOVICHET BEYOND
15.58 (N) UTILITIES CABINET ON WEST FACE OF PLANTER, PLANTING TO CONCEAL ABOVE

MATERIAL LEGEND

WD-1 WOOD WD-2 WOOD CB-1 MILLWORK

ST-1 STONE LARGE FORMAT ST-2 STONE MEDIUM FORMAT



John Maniscalco Architecture 415.864.9900 442 Grove Street San Francisco, CA 94102

35 Belgrave Ave. San Francisco, CA 94117

Permit Number

Project Address

202011148929 202011148925 2020-010109PRJ

SITE PERMIT REV. 3

06.07.2021

Revision History

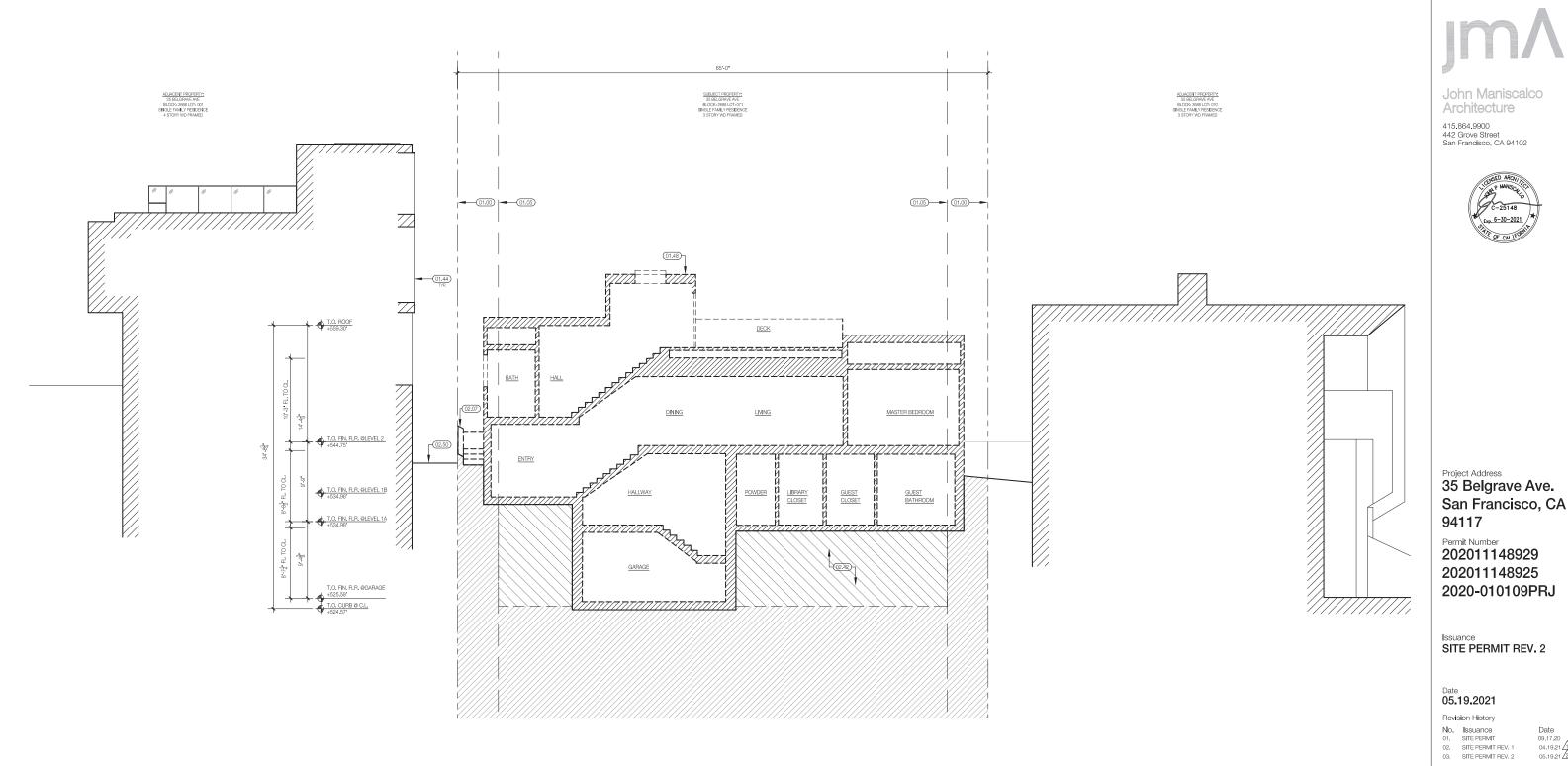
No. Issuance 01. SITE PERMIT 02. SITE PERMIT REV. 1

04.19.21 1 05.19.21 2 06.07.21 3 03. SITE PERMIT REV. 2

PROPOSED LONGITUDINAL

BUILDING SECTION

A3.1-01



■ EXISTING LATERAL SECTION - DEMOLITION SCALE: 3/16" = 1'-0"

GENERAL NOTES

1. TEMP @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE,

1. TEMP ® WINDOW SYMBOLD INDICATES TEMPERED GLASS PER CODE.
SEE ALSO ELEVATIONS
2. SEE AT,3 FOR TYPICAL WALL TYPES AND DETAILS
3. PER CRC R307.2, BATHRIOOMS WITH BATHING FAILITIES SHALL HAVE A
SMOOTH, HARD, NON-ABSORBANT SUFFACE STONE OR CERAMIC TILE) ON
FLOORS AND ON WALLS TO CEILING OR PER BELOW:
- FLOORS AND ON WALLS TO CEILING OR PER BELOW:
- TUBS AND SHOWER TO A MIN, HEIGHT OF 72'
- TUBS AND SHOWER TO A MIN, HEIGHT OF 72'
- PER CRC 106.2.6 & 107.27, WHERE THE SOOPE OF WORK INVOLVES A
BALCONY OR OTHER ELEVATED WALKING SUFFACES EXPOSED TO WATER
FROM DIFECT OR BLOWING RAIN, SHOW, OR IRRIGATION, AND THE
STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE
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ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM. SEE
SHEET AT'S FOR MANUFACTUREN'S TYPICAL INSTALLATION INSTRUCTIONS,
5. PER CRC 109.3.8 & 110.3.8.1, WHERE THE SCOPE OF WORK INVOLVES A
BALCONY OR OTHER BLEVATED WALKING SUFFACES EXPOSED TO WATER
FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE
STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE
BARRIER, ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM
SHALL NOT BE CONCEASED INTIL IN SPECTED AND A PROYOCE.

6. PER 2304.12.2.6, FRAMING IN EXTERIOR BALCONIS AND ELEVATED
WALKING SUFFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRIANGE
FROM BRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A
NET FREE CROSS VERTILATION AREA NOT LESS THAN 1175 OF THE AREA
OF EACH SEPARATE SPACE. PROVIDE IMPERVIOUS FLASHING TO PROTECT
STRUCTURAL MEMBERS FROM MOISTURE.

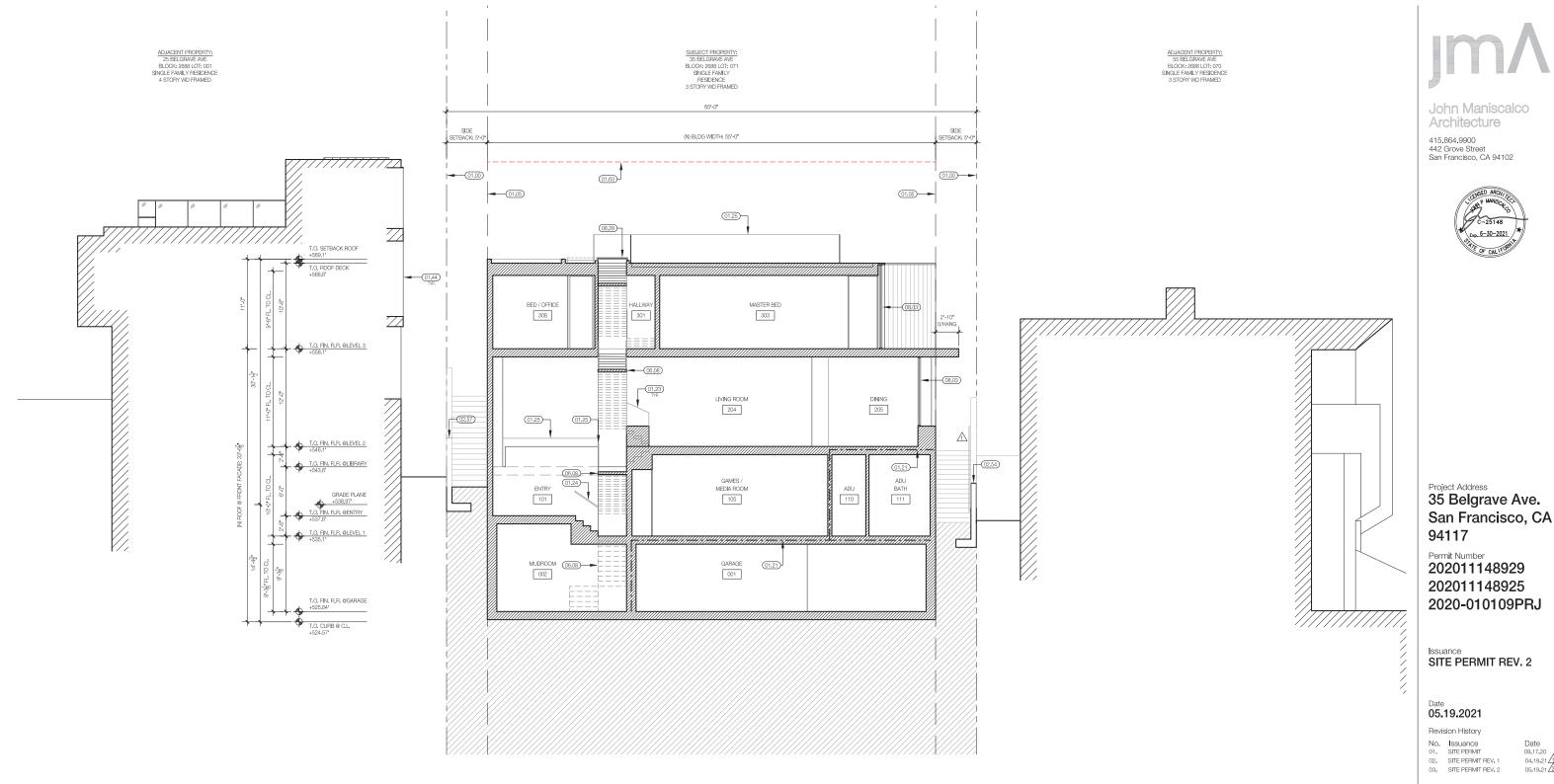
REFERENCED KEYNOTE LEGEND

01.00 PROPERTY LINE
01.05 SIDE YARD SETBACK, SHOWN DASHED
01.05 SIDE YARD SETBACK, SHOWN DASHED
01.44 NEIGHBORING WINDOWS BEHIND, SHOWN DASHED, NO IMPACT ON WINDOW LIGHT/AIR, TYP.
01.48 (E) BLDG, TO BE DEMOULSHED
02.07 (E) CONC, LANDSCAPE RETAINING WALL TO BE DEMO'D, SHOWN DASHED
02.12 AREA OF PROPOSED EXCAVATION
02.50 (E) GRADE AT BLDG. FACE BEYOND

EXISTING LATERAL SECTION - DEMOLITION

TO BE DEMOLISHED SCALE: 3/16" = 1'-0' A3.1-10

Date 09.17.20 04.19.21



■ PROPOSED LATERAL BUILDING SECTION

SCALE: 3/16" = 1'-0"

GENERAL NOTES

1. 'TEMP' @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE,

- 1. TEMP ® WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE.
 SEE ALSO ELEVATIONS
 2. SEE AT,3 FOR TYPICAL WALL TYPES AND DETAILS
 3. PER CRC R307.2, BATHROOMS WITH BATHINS FACILITIES SHALL HAVE A
 SMOOTH, HAPD, NON-ASSOPBANT SUPFACE STONE OR CERAMIC TILE) ON
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 FLOORS AND ON WALLS TO CELLING OR PER BELOW:
 TUBS AND SHOWER TO A MIN, HEIGHT OF 72'
 TUBS AND SHOWER TO A MIN, HEIGHT OF 72'
 PER CRC 105.2.6 & 107.27, WHERE THE SOOPE OF WORK INVOLVES A
 BALCONY OR OTHER ELEVATED WALKING SUPFACES EXPOSED TO WATER
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 SHEET AT'S FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS,
 5. PER CRC 103.3.8 & 110.3.8.1, WHERE THE SCOPE OF WORK INVOLVES A
 BALCONY OR OTHER BLEVATED WALKING SUPFACES EXPOSED TO WATER
 FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE
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REFERENCED KEYNOTE LEGEND

01.00 PROPERTY LINE 01.05 SIDE YARD SETBACK, SHOWN DASHED

01.05 SUE YARD SELBACK, SHUWN LASHUS 10:21 1-HR RATED CONST. AT CELING & WALLS REQ. SEPARATION 01:23 N) GOMBINED 42'H GUARDRAL, W' 38'H HANDRAL 01:24 N) 93'H HANDRAL 01:25 N) 42'H GUARDRAL 01:2

0.1.4. NEIGHBURING WINDLOWS BEHIND, SHOWN DASHED NO 10.8. BUILDABLE HEIGHT LIMT, SHOWN DASHED 02.5.4 (N) RETAINING WALL & 6'-0' FENCE 02.5.7 (N) RETAINING WALL & WOOD PROPERTY LIME FENCE 66.08 WOOD STAR TREAD & RISER, SEE FINISH SPEC 68.03.9 TIO. INSULATED ALUMINUM WINDOW SYSTEM 08.28 PTD. INSULATED ALUMINUM SKYLIGHT BEYOND

MATERIAL LEGEND

WD-1 WOOD WD-2 WOOD CB-1 MILLWORK ST-1 STONE LARGE FORMAT ST-2 STONE MEDIUM FORMAT

PROPOSED LATERAL **BUILDING SECTION**

Date 09.17.20 04.19.21



A3.1-11



49 South Van Ness Avenue, Suite 1400 San Francisco, CA 94103 628.652.7600 www.sfplanning.org

CEQA Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address Block/Lot(s)				
35 Belgrave Ave-HC			2688071	
Case No.			Permit No.	
2020-010109ENV			201312275170	
Addition/		■ Demolition (requires HRE for	New	
	teration	Category B Building)	Construction	
The p	Project description for Planning Department approval. The project proposes the demolition of the existing two-story over basement, single-family residence, and the construction of a new three-story over basement, single-family residence with an accessory dwelling unit at the ground floor. The project would result in approximately 1,465 cubic yards of soil disturbance.			
STEP 1: EXEMPTION TYPE The project has been determined to be exempt under the California Environmental Quality Act (CEQA). Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.				
			·	
	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.			
	Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. FOR ENVIRONMENTAL PLANNING USE ONLY			
	Other			
	Common Sense	Exemption (CEQA Guidelines section 15061(b)	(3)). It can be seen with certainty that	

there is no possibility of a significant effect on the environment. FOR ENVIRONMENTAL PLANNING USE ONLY

STEP 2: ENVIRONMENTAL SCREENING ASSESSMENT TO BE COMPLETED BY PROJECT PLANNER

	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g. use of diesel construction equipment, backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to The Environmental Information tab on the San Francisco Property Information Map)
	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? Note that a categorical exemption shall not be issued for a project located on the Cortese List if box is checked, note below whether the applicant has enrolled in or received a waiver from the San Francisco Department of Public Health (DPH) Maher program, or if Environmental Planning staff has determined that hazardous material effects would be less than significant. (refer to The Environmental Information tab on the San Francisco Property Information Map)
	Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? If yes, archeology review is required.
	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to The Environmental Information tab on the San Francisco Property Information Map) If box is checked, Environmental Planning must issue the exemption.
	Average Slope of Parcel = or > 25%, or site is in Edgehill Slope Protection Area or Northwest Mt. Sutro Slope Protection Area: Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, or (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area? (refer to The Environmental Planning tab on the San Francisco Property Information Map) If box is checked, a geotechnical report is likely required and Environmental Planning must issue the exemption.
	Seismic Hazard: Landslide or Liquefaction Hazard Zone: Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area, or (4) grading performed at a site in the landslide hazard zone? (refer to The Environmental tab on the San Francisco Property Information Map) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.
Com	ments and Planner Signature (optional): Don Lewis
PLE/	ASE SEE ATTACHED

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE TO BE COMPLETED BY PROJECT PLANNER PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map) Category A: Known Historical Resource. GO TO STEP 5. Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4. Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6. STEP 4: PROPOSED WORK CHECKLIST TO BE COMPLETED BY PROJECT PLANNER Check all that apply to the project. 1. Change of use and new construction. Tenant improvements not included. 2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building. 3. Window replacement that meets the Department's Window Replacement Standards. Does not include storefront window alterations. 4. Garage work. A new opening that meets the Guidelines for Adding Garages and Curb Cuts, and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines. 5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way. 6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way. 7. Dormer installation that meets the requirements for exemption from public notification under Zoning Administrator Bulletin No. 3: Dormer Windows. 8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a П single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features. Note: Project Planner must check box below before proceeding. Project is not listed. GO TO STEP 5. Project does not conform to the scopes of work. GO TO STEP 5. Project involves four or more work descriptions. GO TO STEP 5. Project involves less than four work descriptions. GO TO STEP 6. STEP 5: ADVANCED HISTORICAL REVIEW TO BE COMPLETED BY PRESERVATION PLANNER Check all that apply to the project. 1. Reclassification of property status. (Attach HRER Part I) Reclassify to Category A Reclassify to Category C a. Per HRER (No further historic review) b. Other (specify): 2. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4. 3. Interior alterations to publicly accessible spaces that do not remove, alter, or obscure character defining features. 4. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character. 5. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.

	6. Raising the building in a manner that does not remove, alter, or obscure character-defining features.		
	7. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.		
	8. Work consistent with the Secretary of the Interior Standards f (Analysis required):	or the Treatment of Historic Properties	
	9. Work compatible with a historic district (Analysis required):		
	10. Work that would not materially impair a historic resource (A	attach HRER Part II).	
	Note: If ANY box in STEP 5 above is checked, a Prese	rvation Planner MUST sign below.	
	Project can proceed with exemption review. The project has been reviewed by the Preservation Planner and can proceed with exemption review. GO TO STEP 6.		
Comm	Comments (optional):		
Preser	vation Planner Signature:		
STE	P 6: EXEMPTION DETERMINATION		
ТОЕ	BE COMPLETED BY PROJECT PLANNER		
	No further environmental review is required. The project is exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.		
	Project Approval Action:	Signature:	
	Planning Commission Hearing	Don Lewis	
		06/08/2021	
	Once signed or stamped and dated, this document constitutes an exemption pursuant to CEQA Guidelines and Chapter 31of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination to the Board of Supervisors can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.		

Step 2: Environmental Screening Comments

Archeological Resources: The department's staff archeologist conducted preliminary archeological review on February 18, 2021 and determined that no CEQA-significant archeological resources are expected within project-affected soils.

Geology and Soils: A preliminary geotechnical report was prepared by Rollo & Ridley (dated 9/24/2020). The project's structural drawings would be reviewed by the building department, where it would be determined if further geotechnical review and technical reports are required.

Noise: The project would use typical construction equipment that would be regulated by Article 29 of the Police Code (section 2907, Construction Equipment). No impact pile driving or nighttime construction is required. Construction vibration would not be anticipated to affect adjacent buildings. The proposed project would not generate sufficient vehicle trips to noticeably increase ambient noise levels, and the project's fixed noise sources, such as heating, ventilation, and air conditioning systems, would be subject to noise limits in Article 29 of the Police Code (section 2909, Noise Limits).

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

MODIFIED PROJECT DESCRIPTION

Modi	fied Project Description:				
DET	TERMINATION IF PROJECT (CONSTITUTES SUBSTANTIAL MODIFICATION			
Com	pared to the approved project, w	ould the modified project:			
	Result in expansion of the build	ding envelope, as defined in the Planning Code;			
	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;				
	Result in demolition as defined under Planning Code Section 317 or 19005(f)?				
	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?				
If at I	If at least one of the above boxes is checked, further environmental review is required.				
DET	ERMINATION OF NO SUBSTAI	NTIAL MODIFICATION			
	The proposed modification would not result in any of the above changes.				
If this box is checked, the proposed modifications are exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed to the Environmental Review Officer within 10 days of posting of this determination.					
Plani	ner Name:	Date:			

Land Use Information

Project Address: 35 Belgrave Ave Record No.: 2020-010109CUA

	EXISTING	PROPOSED	NET NEW		
	GROSS SQUARE FOOTAGE (GSF)				
Parking GSF	670	891	221		
Residential GSF	4,207	6,484	2,277		
Retail/Commercial GSF	0	0	0		
Office GSF	0	0	0		
Industrial/PDR GSF Production, Distribution, & Repair	0	0	0		
Medical GSF	0	0	0		
Visitor GSF	0	0	0		
CIE GSF	0	0	0		
Usable Open Space	2,280	2,762	482		
Public Open Space	0	0	0		
	EXISTING	NET NEW	TOTALS		
	PROJECT FEATURES (I	Jnits or Amounts)			
Dwelling Units - Affordable	0	0	0		
Dwelling Units - Market Rate	1	1	2		
Dwelling Units - Total	1	1	2		
Hotel Rooms	0	0	0		
Number of Buildings	1	0	1		
Number of Stories	2 over basement	1	3 over basement		
Parking Spaces	1	2	3		
Loading Spaces	0	0	0		
Bicycle Spaces	0	2	2		
Car Share Spaces	0	0	0		

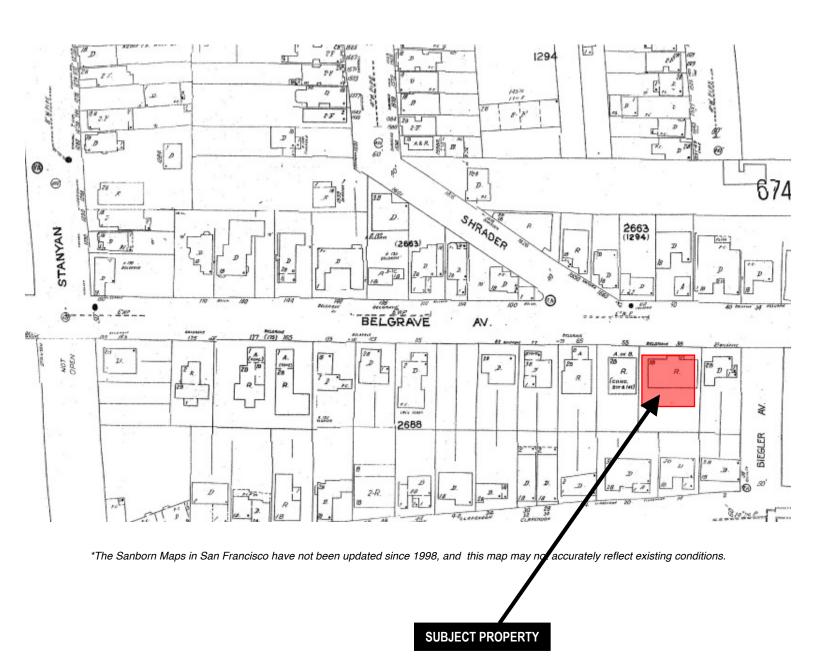
	EXISTING	PROPOSED	NET NEW	
LAND USE - RESIDENTIAL				
Studio Units	0	1	1	
One Bedroom Units	0	0	0	
Two Bedroom Units	0	0	0	
Three Bedroom (or +) Units	1	0	0	
Group Housing - Rooms	0	0	0	
Group Housing - Beds	0	0	0	
SRO Units	0	0	0	
Micro Units	0	0	0	
Accessory Dwelling Units	0	1	1	

Parcel Map





Sanborn Map*





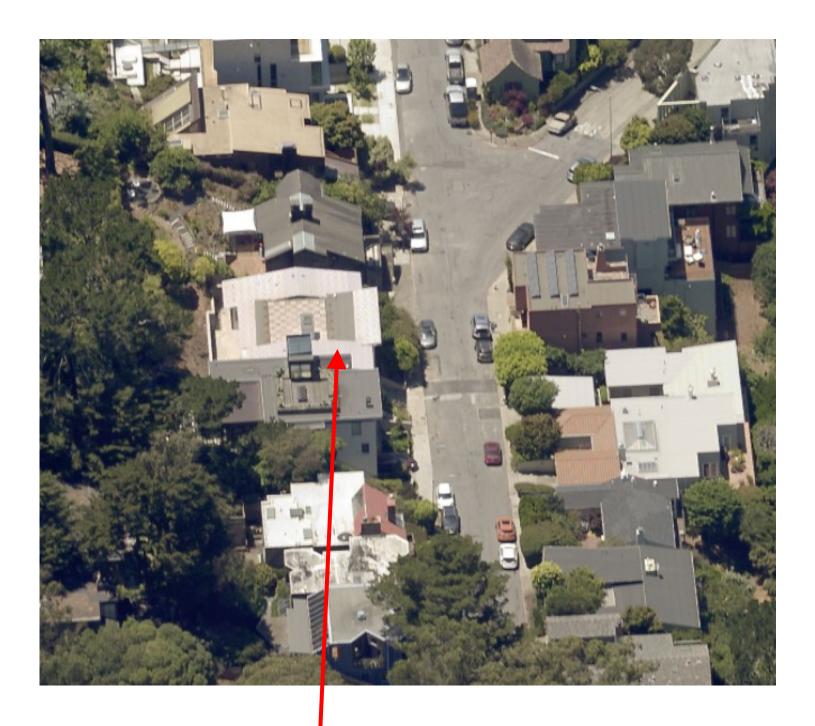
Aerial Photo – View 1



SUBJECT PROPERTY



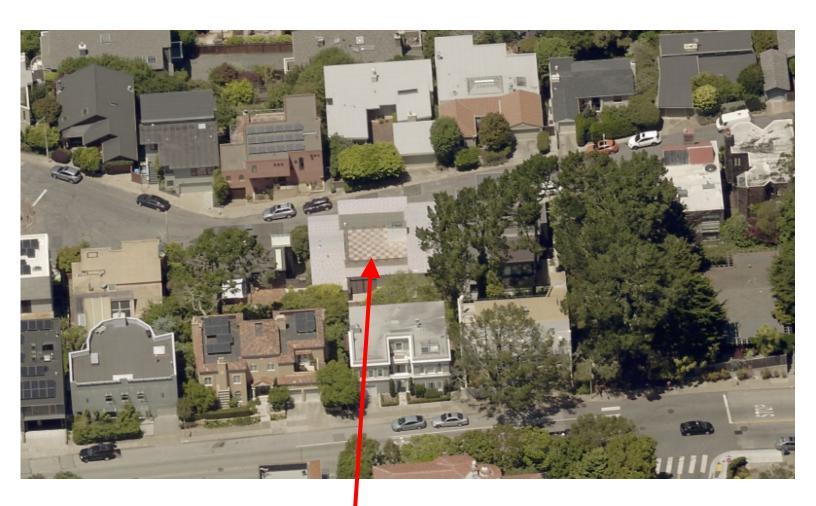
Aerial Photo - View 2



SUBJECT PROPERTY



Aerial Photo – View 3



SUBJECT PROPERTY



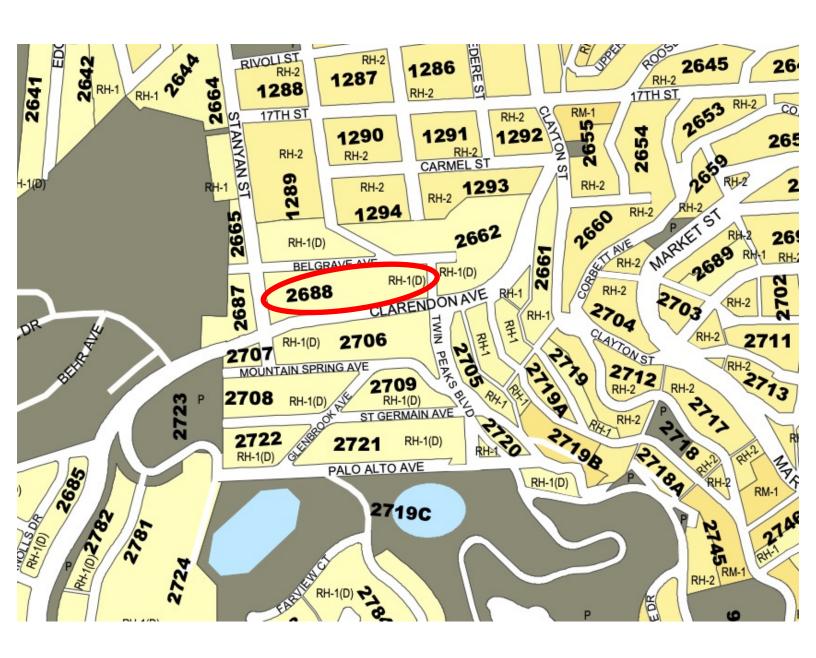
Aerial Photo - View 4



SUBJECT PROPERTY



Zoning Map





Site Photo





Moscone Emblidge & Rubens

220 Montgomery St, Suite 2100, San Francisco, California 94104 Phone: (415) 362-3599 | Fax: (415) 362-2006 | www.mosconelaw.com

July 7, 2021

Via Email

Scott Emblidge Partner emblidge@mosconelaw.com Direct: (415) 362-3591

Joel Koppel, President San Francisco Planning Commission 49 South Van Ness Avenue San Francisco, CA 94103

Re: 35 Belgrave Avenue Conditional Use Approval

July 15, 2021 Planning Commission Hearing

Dear President Koppel and Members of the Commission:

Our office represents the project sponsors for this project at 35 Belgrave Avenue ("the Property"), which involves the removal of a blighted, uninhabited home to be replaced with a new home plus an accessory dwelling unit ("ADU"). **The Project has the support of all immediately adjacent neighbors.** (See **Exhibit A**.) The only potential opposition to the Project may come from some other neighbors who have informed Planning staff that they have "construction fatigue" stemming other projects in the neighborhood. While that fatigue is understandable in this, and many other neighborhoods, the project sponsors and their team will do their best to manage this Project to minimize construction-related inconvenience to all neighbors.

Project Description

The Project would demolish a partially completed, two-story over garage, single-family residence and construct a new three-story over garage, single-family residence with accessory dwelling unit. The Property is located in the RH-1(D) zoning district and 40-X height and bulk district. The Project is fully Code-complaint. No variances are sought; in fact, the Project will eliminate existing non-conforming conditions. The Project will replace the unsound, unfinished construction at the Property with a new single-family residence that is similar in footprint and site coverage with additional square footage provided below grade.

The existing single-family residence was built in 1941 and was renovated in 1955. In 2013, a major renovation was undertaken. When construction stalled after years of starts and stops, the house was purchased by the project sponsors.

As the letter attached as **Exhibit B** makes clear, the partially finished project suffers from a series of critical construction flaws that make finishing the eight-year-old project untenable. The substandard work we observed included:

• The contractor used standard Douglass Fir for the form boards and left them buried in the ground behind the walls. This form work needs to be removed as it will decay

over time

- No waterproof membrane installed behind the concrete retaining walls
- Old and new framing materials were left to stand through two winters without proper protection
- No proper subgrade civil work or drainage was installed
- No sediment trap or clean outs for the non-existent perforated drainage pipe
- No proper subgrade drainage plane was installed at all the concrete retaining walls

All the existing structural concrete work retaining the hillside will need to be removed as will the existing concrete footings and concrete slabs to install the proper civil and subgrade drainage work. The significant amount of demolition required just to begin to address the defective construction, along with differing needs of the project sponsors, led to the proposed demolition and new construction represented in the proposed project.

Conditional Use Findings - Section 303

As you know, pursuant to Planning Code Section 303(c), before approving a conditional use authorization, the Planning Commission must find that the facts presented support the findings stated below. The facts relating to this Project clearly support the necessary findings.

1. That the proposed use or feature, at the size and intensity, contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community. If the proposed use exceeds the non-residential use size limitations for the zoning district, additional findings must be provided per Planning Code Section 303(c)(1)(A-C).

The project is necessary and desirable as it will replace a single-family home that is more than 70 years' old with a new single-family residence that addresses structural and construction deficiencies, accommodates the new owners' needs, and adds an affordable ADU.

As noted, the project sponsors purchased the house midway through construction of a permitted renovation. The partially finished project was found to have numerous as stated above and in Exhibit A. The Project will remedy those issues and create a safe and structurally sound home.

The proposed project is fully compliant with the Planning Code and Residential Design Guidelines, maintaining prescribed setbacks on all sides with a height that is well below the limits in the Planning Code. The Project will not utilize the existing side-yard variance for extension into the Eastern side yard setback and return the property to full compliance.

The proposed project is well integrated into the streetscape. The street-facing facade steps to follow the slope of the street, reducing the apparent width and mediating between the

neighboring structures. (See **Exhibit C**.) Additionally, it provides a setback at the third level, to reduce scale and maintain a 2-story over garage street presence.

The Project maintains a lot coverage and building location on the lot similar the existing structure. Additional square footage has been developed below grade within the same footprint, preserving overall block massing and scale.

The Project will meet or exceed all current Green Building and Title 24 standards given the demolition of the existing residence. Importantly, all recyclable building materials will be safely and responsibly either reused, donated, or recycled through the demolition and deconstruction process. Energy standards for glazing and insulation will be designed such that they will meet or exceed the standards to reduce the need for mechanical cooling and heating. Environmentally safe and responsibly sourced materials will be used throughout The Project.

The Project has been carefully designed to be compatible with the surrounding properties and overall neighborhood character on Belgrave Ave. The Project follows the predominant pattern of large multi-story detached single-family residences on the Southern side of Belgrave Ave, which represent a range of modern architectural styles. (See **Exhibit D**.)

- 2. That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:
- a. The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The project will be a single-family residence that is appropriately sized for the lot size. While the existing non-compliant structure required a variance for the extension into the eastern side yard setback, the proposed project eliminates this non-conformity and is fully compliant with the Planning Code and Residential Design Guidelines.

b. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The project will have no impact on off-street parking and local traffic. The project will contain off-street parking spaces for the residence in keeping with other homes in the neighborhood. The project will preserve on-street parking by locating the new curb cut in the same approximate location as the existing cut. The property is located on a dead-end street and will have no impact on traffic patterns.

c. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The project will not contribute noxious or offensive emissions. The project will comply with all city regulations regarding emissions from materials implemented in the project. The project will comply with all applicable regulations regarding noise, dust and odor during the construction process.

d. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs.

The project will feature locally complementary landscaping and screening along the front, side, and rear yards respecting the natural topography to benefit the surrounding properties. In the front yard, the fence and landscape are to complement the neighboring front yards while providing adequate privacy for the residence and neighboring structures. The project proposes the replacement of street trees along the lot frontage inclusive of planters at street level in the front yard setback.

3. That such use or feature as proposed will comply with the applicable provisions of this Code and will not adversely affect the General Plan.

The project complies with all relevant standards and requirements of the San Francisco Planning and Building Code and is consistent with objectives set forth in the General Plan.

General Plan

HOUSING OBJECTIVE 2 RETAIN EXISTING HOUSING UNITS, AND PROMOTE SAFETY AND MAINTENANCE STANDARDS, WITHOUT JEOPARDIZING AFFORDABILITY.

Policy 2.1 Discourage the demolition of sound existing housing, unless the demolition results in a net increase in affordable housing.

The project complies with this policy in proposing to demolish a single-family house with structural deficiencies with the intent to replace it with a structurally sound and appropriately developed single-family residence and efficiency dwelling unit (ADU) located within the residence.

OBJECTIVE 4 FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1 Develop new housing, and encourage the remodeling of existing housing, for families with children.

The project complies by proposing to replace the existing single-family residence with a more functional three-bedroom single-family home and adds an ADU.

OBJECTIVE 11 SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS

Policy 11.1 Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

The project complies with this policy in the development of a contextually responsive updated design that mediates between adjacent structures and respects the neighborhood's evolving character. At the pedestrian streetscape, the massing is appropriately scaled for a perceived two-story over garage massing which is refined in the articulation and detailing.

The project promotes open space and respects neighboring light and air with the massing location inward from the property lines and uphill stepping of the massing.

Policy 11.3 Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

The project meets this policy in contextually responding to the existing and evolving character of the neighborhood while providing updated sound housing and the inclusion of an ADU in the RH-1(D) zoning district.

OBJECTIVE 12 BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION Policy 12.1 Encourage new housing that relies on transit use and environmentally sustainable patterns of movement.

Policy 12.3 Ensure new housing is sustainably supported by the City's public infrastructure systems.

The project complies with these policies in providing the maximum allowable offstreet parking spaces in the enclosed garage in addition to the two Class I bicycle parking spaces. The project is located near the SFMTA bus line 33 and Muni Metro Rail 'N' line, providing easy access to these public transit networks.

Planning Code Section 101.1

The Project also complies with the eight priority planning policies found in Planning Code section 101.1. For example,

- The project does not remove, replace, or impact any existing neighborhoodservice retail uses, nor does it propose commercial office development.
- The project will replace a single-family home with comparable but updated and sound single-family residence which is consistent with the neighborhood. The project will provide sound housing suitable for a family and enhance the economic

diversity of the neighborhood through the addition of an ADU within the residence. The project is designed to contextually respond to the neighborhood character and be fully compliant with the Planning Code and the Residential Design Guidelines.

- The Project will not remove any affordable or rental housing units. The Project will add an efficiency dwelling unit (ADU) within the single-family residence in RH-1(D) zoning.
- No Muni service is provided on Belgrave Ave. so no the project does not impede on any Muni transit service. Street and neighborhood parking would not be impacted by parking provided in the enclosed garage of shared use for the single-family residence and ADU.
- The project will be designed and constructed to meet or exceed all current San Francisco Building Codes inclusive of structural and seismic specific requirements. The existing single-family residence is in need of structural and foundational improvements and the proposed property would fully address these needs. The new structure would significantly increase the Property's earthquake preparedness through a comprehensive structural design for extensive seismic capacities.
- The existing single-family residence is not a landmark or historic resource.
- The location of the project does not impact any park or open nor their access to sunlight or vistas, this policy is not applicable to The Project.

For all these reasons, we respectfully request that the Planning Commission approve this Project and help remove a long-standing blight in this neighborhood, while adding a new single-family home along with an ADU.

Sincerely,

G. Scott Emblidge

cc: Members of the Planning Commission Gretel Gunther Jonas Ionin

Attachments



35 Belgrave Neighbor Outreach History

Neighbor outreach history

6/29/20 - Prior to Pre-application Meeting

- Introductory letters hand delivered to all adjacent neighbors with contact info and an invitation to discuss the project.
- Several of the neighbors replied, and individual conversations addressed the construction plans, anticipated schedule, and general project parameters
- Contact information was exchanged for the entire team

7/17/20 - Pre-application Meeting conducted

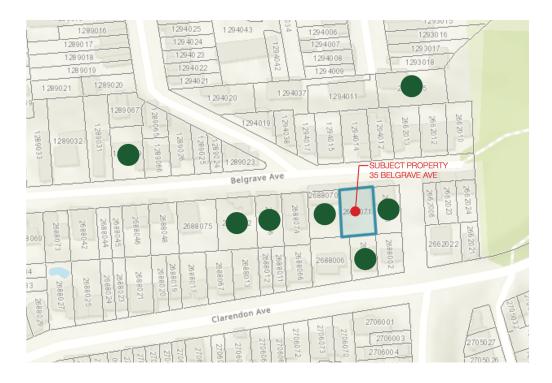
 Dr. Robert and Betty Chong attended (50 Belgrave) - expressed support for the project

6/25/21 - CU Notice Mailed

- Email received from Kenneth Leung (14 Clarendon) 7/6/21
 - Photo montage prepared to describe any impacts on view.
 - o Concerns were addressed and Mr. Leung expressed support for the project.

7/5/21 - Letters of Support

 Seven emails of support from adjacent neighbors, including both adjacent neighbors and neighbor above



SPONSOR BRIEF EXHIBIT B



July 7th 2021

John Maniscalco Architecture 442 Grove Street San Francisco CA, 94102

RE: Substandard Work Performed at 35 Belgrave

To whom it concerns,

I was the builder that performed the work at 25 Belgrave for my clients Ana and Abdur Chowdhury. During the construction of 25 Belgrave, we observed very substandard work being performed by the contractor at 35 Belgrave that required us to notify our clients of the potentials risks.

The substandard work we observed included and was not limited to the following:

- o No proper subgrade civil work or drainage was installed
- We observed no sediment trap or clean outs for the non existent perforated drainage pipe
- o No proper subgrade drainage plane was installed at all the concrete retaining walls
- The contractor used standard Douglass Fir for the form boards and left them buried in the ground behind the walls. This form work needs to be removed as it will decay over time
- o We observed no waterproof membrane installed behind the concrete retaining walls
- o Old and new framing materials were left to stand through two winters without proper protection

In general, the work we observed was very poor and will require significant effort and cost to remedy. All the existing structural concrete work that retains the hillside will need to be removed to remedy the myriad of issues. The existing concrete footings and concrete slabs will also need to be removed to install the proper civil and subgrade drainage work.

Sincerely,

Andrew McHale CEO & Founder





John Maniscalco Architecture

SPONSOR BRIEF EXHIBIT C

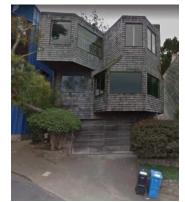
35 Belgrave Ave. San Francisco, CA

Site Permit RDAT Comments 04.16.2021

Proposed Stepped Massing Scale: N.T.S.



Belgrave Ave. - Streetscape View



15 Belgrave Ave.



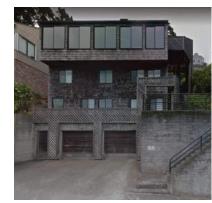
19 Belgrave Ave.



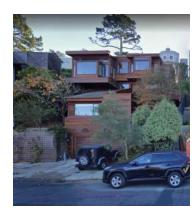
25 Belgrave Ave.



35 Belgrave Ave.



55 Belgrave Ave.



65 Belgrave Ave.



77 Belgrave Ave.



89 Belgrave Ave.



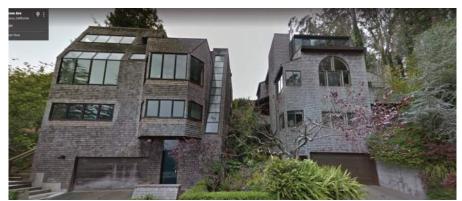
125 Belgrave Ave.

135 Belgrave Ave. 155 Belgrave Ave.





185 Belgrave Ave.



203 Belgrave Ave.

211 Belgrave Ave.

SPONSOR BRIEF EXHIBIT D

Existing Block Context Imagery Scale: N.T.S.