



EXECUTIVE SUMMARY CONDITIONAL USE

HEARING DATE: JULY 15, 2021

Record No.: 2020-010109CUA
Project Address: 35 Belgrave Avenue
Zoning: RH-1(D) (Residential- House, One Family- Detached) Zoning District
40-X Height and Bulk District
Block/Lot: 2688/071
Project Sponsor: GBA Inc.
M. Corbin Jones
201 Noe Street
San Francisco, CA 94114
Property Owner: 35 BELGRAVE LLC.
35 Belgrave Avenue
San Francisco, CA 94117
Staff Contact: Gretel Gunther – (628) 652-7607
gretel.gunther@sfgov.org

Recommendation: Approval with Conditions

Project Description

The Project includes the demolition of an existing 4,207 square foot two-story over basement single-family dwelling and the construction of a new 6,484 square foot three-story over basement single-family dwelling with one accessory dwelling unit, for a total of two dwelling units. One dwelling unit occupies the basement, first, second, and third stories and totals 6,192 square feet. The accessory dwelling unit occupies a portion of the first story and totals 317 square feet. The Project includes a three-car garage, a 494 square foot roof deck for the primary dwelling unit, and an approximately 2,268 square foot shared rear yard, including 141 square feet of subterranean habitable space within the rear yard for the primary dwelling unit.

Required Commission Action

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization, pursuant to Planning Code Sections 303 and 317 to allow the demolition of a residential unit and new construction of a replacement residential building.

Issues and Other Considerations

- **Public Comment & Outreach.**

- **Support/Opposition:** The Department has received 7 letters in support and 3 letters in opposition to the Project.
 - Support for the Project is centered on:
 - Anticipation of the Project Site becoming fully developed and occupied after several years of construction.
 - The proposed building is consistent with other new and modern buildings on the subject block in design and scale.
 - The proposed building is more compatible with the neighborhood context than the existing building.
 - Opposition to the Project is centered on:
 - Concerns about the amount of previous demolition and construction at both the Project Site and other sites on Belgrave Avenue within the past several years.
 - Environmental concerns about the second cycle of demolition and new construction within the past several years at the Project Site.
 - Concerns with potential construction noise, particularly in the early morning and on the weekend.
 - General concern about the number of new homes on Belgrave Avenue that are larger in massing and scale than existing, older homes on the subject block.
 - Design-related concerns about the proposed building's modern style, use of concrete materials, scale, and massing within the context of the subject block.
- **Outreach:** Below is a summary of the Project Sponsor's public outreach:
 - June 29, 2020: The Project Sponsors held a meeting with neighbors prior to the Pre-Application Meeting regarding the proposed project.
 - July 17, 2020: The Project Sponsors held a Department-required Pre-Application Meeting.
 - June 25 through July 7, 2021: Project Sponsors engaged specific members of the public after the beginning of the Conditional Use Authorization notice period regarding their concerns with the proposed Project.

- **Design Review Comments.** The project has changed in the following significant ways since the original submittal to the Department:
 - The garage door width has been reduced to 10 feet.
 - Additional glazing has been added at the front of the accessory dwelling unit for increased light and street-facing exposure.

- A matte metal awning has been added over the front entry for the accessory dwelling unit to provide more definition to the entry expression.
- The entry door for the primary dwelling unit has been revised to be wood.
- The guardrails at the third level have been revised to be a matte, mesh metal material to increase the ratio of solid to glazing.

Environmental Review

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 and Class 3 categorical exemption.

Basis for Recommendation

The Department finds that the Project is, on balance, consistent with the Objectives and Policies of the General Plan. Although the Project results in the demolition of an existing dwelling unit, the Project provides one net additional dwelling unit. The Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

Attachments:

Draft Motion – Conditional Use Authorization with Conditions of Approval

Exhibit B – Plans and Renderings

Exhibit C – Environmental Determination

Exhibit D – Land Use Data

Exhibit E – Maps and Context Photos

Exhibit F - Project Sponsor Brief



PLANNING COMMISSION DRAFT MOTION

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ADOPTING FINDINGS RELATING TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 303 AND 317 FOR THE DEMOLITION OF A SINGLE-FAMILY DWELLING AND THE CONSTRUCTION OF A NEW SINGLE-FAMILY DWELLING WITH AN ACCESSORY DWELLING UNIT LOCATED AT 35 BELGRAVE AVENUE, LOT 071 IN ASSESSOR'S BLOCK 2688, WITHIN AN RH-1(D) (RESIDENTIAL-HOUSE, ONE FAMILY-DETACHED) ZONING DISTRICT AND A 40-X HEIGHT & BULK DISTRICT.

PREAMBLE

On November 4, 2020, M. Corbin Jones of GBA Inc., (hereinafter "Project Sponsor") filed Application No. 2020-010109CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization to construct a three-story over basement, approximately 35-foot tall, residential building with two dwelling units (hereinafter "Project") at 35 Belgrave Avenue, Block 2688 Lot 071 (hereinafter "Project Site").

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and Class 3 categorical exemption.

On July 15, 2021, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2020-010109CUA.

The Planning Department Commission Secretary is the Custodian of Records; the File for Record No2020-010109CUA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2020-010109CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. **The above recitals are accurate and constitute findings of this Commission.**
2. **Project Description.** The Project includes the demolition of an existing 4,207 square foot two-story over basement single-family dwelling and the construction of a new 6,484 square foot three-story over basement single-family dwelling with one accessory dwelling unit, for a total of two dwelling units. One dwelling unit occupies the basement, first, second, and third stories and totals 6,192 square feet. The accessory dwelling unit occupies a portion of the first story and totals 317 square feet. The Project includes a three-car garage, a 494 square foot roof deck for the primary dwelling unit, and an approximately 2,268 square foot shared rear yard, including 141 square feet of subterranean habitable space within the rear yard for the primary dwelling unit.
3. **Site Description and Present Use.** The Project Site is located on the south side of Belgrave Avenue between Shrader Street and Twin Peaks Boulevard, Lot 071 in Assessor's Block 2688, and is in an RH-1(D) (Residential- House, One Family- Detached) Zoning District and a 40-X Height & Bulk District. The Project Site is in the Ashbury Heights neighborhood and Supervisorial District 5.
4. **Surrounding Properties and Neighborhood.** The Project Site is located within an RH-1(D) Zoning District in the Ashbury Heights neighborhood. The immediate, as well as surrounding, context is consistently residential in character and use. The immediate surrounding block is characterized by two-, three-, and four-story detached residential buildings with one or two dwelling units. Tank Hill Park is located down the block to the east. Mount Sutro Open Space Reserve is located down the block to the west.
5. **Public Outreach and Comments.** The Department has received correspondence from 17 members of the public regarding the proposed project, expressing both support and opposition to the Project. To date, the Department has received seven letters in support and three letters in opposition. Support for the Project has focused on the site finally being developed and occupied after several years of stalled construction and that the proposed building is consistent in design and scale with other new buildings on the subject block. The opposition has focused on the amount of previous demolition and construction at both the Project Site and on Belgrave Avenue generally within the past several years, environmental concerns and construction waste, potential construction noise, particularly in the early morning and on the weekend, and concerns about the proposed building's compatibility with older, existing buildings on the subject block.
6. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Residential Density.** Planning Code Section 209.1 permits one dwelling unit per lot within an RH-1(D) Zoning District. Accessory Dwelling Units are allowed to exceed the allowable density of a lot, which is defined by the zoning district, pursuant to Planning Code Section 207(c)(6).

The Project will maximize the permitted density within an RH-1(D) Zoning District with one proposed dwelling unit.

The Project will exceed the permitted density of an RH-1(D) Zoning District with one accessory dwelling unit, per Planning Code Section 207(c)(6), for a total of two units.

- B. Side Yard.** Planning Code Section 133 requires lots with a width of 50 feet or more to have two side yards each of 5 feet within an RH-1(D) Zoning District.

The Project provides two side yards of 5 feet at the East and West side property lines. The Project is compliant with the side yard requirement.

- C. Rear Yard.** Planning Code Section 134 requires a minimum rear yard depth of 30 percent of the total lot depth within an RH-1(D) Zoning District.

The Project provides a rear yard equal to 30 percent of the total depth of the lot. The subject lot is 90 feet long with a required rear yard of 27 feet. The Project is compliant with the rear yard requirement.

- D. Open Space.** Planning Code Section 135 requires either 300 square feet of private open space per dwelling unit, or 400 square feet of common open space per dwelling unit within an RH-1(D) Zoning District.

The Project proposes a shared rear yard that is approximately 42 feet deep by 65 feet wide, totaling 2,268 square feet. Both dwelling units are proposed to have access to the rear yard. Additionally, there is an approximately 494 square foot roof deck proposed for use by the primary dwelling unit only. The Project is compliant with the open space requirement.

- E. Dwelling Unit Exposure.** Planning Code Section 140 requires that in each dwelling unit in any use district the required windows of at least one room that meets the 120-square-foot minimum superficial floor area requirements of Section 503 of the Housing Code shall face directly onto an open area of either a public street, alley at least 20 feet in width, side yard at least 25 feet in width, rear yard meeting the requirements of the Planning Code, or an open area (whether an inner court or space between separate buildings on the same lot) which is unobstructed for no less than 25 feet in every horizontal dimension.

The primary dwelling unit faces directly onto the rear yard and Belgrave Avenue, which both meet the requirements of the Planning Code. The ADU faces directly onto Belgrave Avenue.

- F. Off-Street Parking.** Planning Code Section 151 permits 1.5 off-street automobile parking spaces for every dwelling unit provided.

The Project includes three off-street parking spaces. A maximum of 3 off-street parking spaces is permitted for a building with two dwelling units.

- G. Bicycle Parking.** Planning Code Section 155.2 requires one weather-protected bicycle parking space

per dwelling unit.

The Project includes two weather-protected bicycle parking spaces, providing one bicycle parking space per dwelling unit.

- H. **Height.** Planning Code Section 261 states that no portion of a dwelling in any RH-1(D) Zoning District shall exceed a height of 35 feet, except that the permitted Height of a Building, as defined in Planning Code Section 102, shall be increased to 40 feet, as measured at curb per Planning Code Section 260, where the average ground elevation at the rear line of the lot is higher by 20 or more feet than at the front line thereof.

The Project Site's average ground elevation at the rear line of the lot is higher by more than 20 feet than at the front lot line. The proposed building is 35 feet and 3 ½ inches tall at the front property line.

- I. **Residential Child Care Fee.** Planning Code Section 414A requires that any residential development project that results in additional space in an existing dwelling unit of more than 800 gross feet or proposes a net increase in the number of dwelling units on the property, shall be subject to the imposition of the Residential Child Care Impact Fee requirement.

The Project proposes a net increase of one dwelling unit. Therefore, the Project is subject to the Residential Child Care Impact Fee.

7. **Loss of Residential Unit through Demolition.** Planning Code Section 317(g)(5) establishes additional criteria for the Planning Commission to consider when reviewing applications for the loss of a residential unit as the result of a demolition. The Planning Commission shall consider the following:

- A. **Whether the property is free of a history of serious, continuing Code violations.**

The Project Site has no history of serious Code violations.

- B. **Whether the housing has been maintained in a decent, safe, and sanitary condition.**

The Project Site has been maintained in a decent, safe, and sanitary condition.

- C. **Whether the property is an "historical resource" under CEQA.**

The Project Site was formerly evaluated and determined not to be a historical resource under Record No. 2014.1153E. There is no historic resource present at the Project Site.

- D. **Whether the removal of the resource will have a substantial adverse impact under CEQA.**

The Project Site is not a historical resource under CEQA, and the Project qualifies for a categorical exemption under CEQA, as there would not be any substantial adverse impacts.

- E. **Whether the project converts rental housing to other forms of tenure or occupancy.**

The Project Site contains one owner-occupied unit with no existing rental housing. The proposed Project will include one owner-occupied unit and one new accessory dwelling unit and will not convert rental housing to other forms of tenure or occupancy.

- F. Whether the project removes rental units subject to the Residential Rent Stabilization and Arbitration Ordinance or affordable housing.

The Project proposes to demolish an existing single-family dwelling, which is generally not subject to the Residential Rent Stabilization and Arbitration Ordinance. Definitive determinations on the applicability of the Residential Rent Stabilization and Arbitration Ordinance are the purview of the Rent Board. The existing dwelling unit is not an affordable housing unit.

- G. Whether the project conserves existing housing to preserve cultural and economic neighborhood.

Although the Project proposes the demolition of an existing single-family dwelling unit, there will be a net gain of one dwelling unit for a total of two dwelling units.

- H. Whether the project conserves neighborhood character to preserve neighborhood cultural and economic diversity.

The Project will conserve neighborhood character with appropriate scale, design, and materials. It will improve cultural and economic diversity by increasing the number of dwelling units and bedrooms in the building. The Project would maximize the number of dwelling units permitted on the Project Site, increase the total number of bedrooms provided, and further, add one accessory dwelling unit.

- I. Whether the project protects the relative affordability of existing housing.

The Project removes an older dwelling unit and replaces it with a newly constructed dwelling unit. Older dwelling units are generally considered to be more affordable than a recently constructed unit. However, the Project will include one additional accessory dwelling unit.

- J. Whether the project increases the number of permanently affordable units as governed by Section 415.

The Project is not subject to the provisions of Planning Code Section 415, as the Project proposes less than 10 dwelling units

- K. Whether the project locates in-fill housing on appropriate sites in established neighborhoods.

The Project is not considered in-fill housing but proposes one dwelling unit with an accessory dwelling unit, which is appropriate given the zoning and neighborhood density.

- L. Whether the project increases the number of family-sized units on-site.

Currently, the Project Site contains a single-family dwelling unit. The Project includes two dwelling units, retaining one existing family-sized dwelling unit and adding one accessory dwelling unit with one bedroom.

M. **Whether the project creates new supportive housing.**

The Project does not create new supportive housing.

N. **Whether the project is of superb architectural and urban design, meeting all relevant design guidelines, to enhance existing neighborhood character.**

The overall scale, design, and materials of the Project are consistent with the block-face and complement the neighborhood character with a contemporary and context-sensitive design. The proposed residential development is in character of other existing residential uses in the surrounding neighborhood.

O. **Whether the project increases the number of on-site Dwelling Units.**

The Project will increase the number of on-site dwelling units from one to two.

P. **Whether the project increases the number of on-site bedrooms.**

The existing dwelling unit contains three bedrooms. The Project proposes a total of four bedrooms between two dwelling units.

Q. **Whether or not the replacement project would maximize density on the subject lot.**

The maximum density for the Project Site is one dwelling unit. The Project proposes new construction with two dwelling units, adding one accessory dwelling unit over the permitted density.

R. **If replacing a building not subject to the Residential Rent Stabilization and Arbitration Ordinance, whether the new project replaces all of the existing units with new Dwelling Units of a similar size and with the same number of bedrooms.**

The existing single-family dwelling is approximately 4,207 square feet and has three bedrooms. The primary dwelling unit will increase to 6,192 square feet. The proposed accessory dwelling unit is 317 square feet. The Project includes two dwelling units with four total bedrooms.

8. Conditional Use Findings Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the Project complies with said criteria in that:

A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The use and size of the Project is compatible with the surrounding neighborhood. The Project would demolish an existing approximately 4,207 square foot single-family dwelling unit. The new building will contain two dwelling units, with a 6,192 square foot dwelling unit and a 317 square foot accessory dwelling unit. The building will be in conformity with the requirements of the Planning Code and consistent with the objectives of the Residential Design Guidelines. Overall, the construction of one additional dwelling unit is necessary, desirable, and compatible with the City at-large.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The Project includes four-story (three stories over a basement) massing along Belgrave Avenue, with the second floor at grade level at the rear façade due to the steep upslope of the subject lot. The immediate surrounding neighborhood is predominantly three- and four-story buildings at the front façade.

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Planning Code does not require off-street parking or loading, and allows a maximum of 1.5 automobile spaces per dwelling unit. The garage will provide three off-street parking spaces, in addition to two Class 1 bicycle spaces.

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

As the Project is residential in nature, the proposed residential use is not considered to have the potential to produce noxious or offensive emissions.

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The Project is residential and will be landscaped accordingly.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That use or feature as proposed will provide development that is in conformity with the stated purpose of the applicable Use District.

The Project is consistent with the stated purpose of the RH-1(D) Zoning District, which is characterized by lots of greater width and area than in other parts of the City, and by single-family houses with side yards. The Project is consistent with the Planning Code requirements for dwelling units in an RH-1(D) Zoning District.

9. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1:

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.1:

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

The Project provides new housing, with one new one-bedroom accessory dwelling unit.

OBJECTIVE 2

RETAIN EXISTING HOUSING UNITS, AND PROMOTE SAFETY AND MAINTENANCE STANDARDS, WITHOUT JEOPARDIZING AFFORDABILITY.

Policy 2.4

Promote improvements and continued maintenance to existing units to ensure long term habitation and safety.

Policy 2.5

Encourage and support the seismic retrofitting of the existing housing stock.

Though the Project proposes demolition of an existing single-family building, the new building will result in a net increase in dwelling units. The new building will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code and will improve the existing dwelling unit to ensure long term habitation and safety.

OBJECTIVE 3:

PROTECT THE AFFORDABILITY OF HOUSING STOCK, ESPECIALLY RENTAL UNITS.

Policy 3.1:

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

Policy 3.3:

Maintain balance in affordability of existing housing stock by supporting affordable moderate ownership opportunities

Policy 3.4:

Preserve “naturally affordable” housing types, such as smaller and older ownership units.

While the Project will demolish an existing single-family dwelling, the new construction will result in an increase in the density of the property and contribute one net new dwelling unit. The existing single-family dwelling unit is not rent controlled.

OBJECTIVE 4:

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1:

Develop new housing, and encourage the remodeling of existing housing, for families with children.

The Project proposes to demolish a single-family residence with three bedrooms to construct one new dwelling unit with three bedrooms and one one-bedroom accessory dwelling unit.

OBJECTIVE 11:

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1:

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2:

Ensure implementation of accepted design standards in project approvals.

Policy 11.3:

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.4:

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

Policy 11.5:

Ensure densities in established residential areas promote compatibility with prevailing neighborhood character.

The subject property is within an RH-1(D) Zoning District which allows for one dwelling unit and one accessory dwelling unit. The Project proposes a total of two dwelling units with three off-street parking

spaces. Furthermore, the proposed new construction conforms to the Residential Design Guidelines and is appropriate in terms of material, scale, proportions and massing for the surrounding neighborhood.

URBAN DESIGN ELEMENT

Objectives and Policies

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.2:

Recognize, protect and reinforce the existing street pattern, especially as it is related to topography.

The Project proposes demolition of an existing single-family building to construct a two-unit building with off-street parking. Similar to other existing structures on the block-face, the new building proposes garage access that is subordinate to the existing building façade.

Policy 1.3:

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

The proposed façade and massing are compatible with the existing neighborhood character and development pattern, particularly because the proposed building is of a similar massing and height to the existing structures in the neighborhood. A set-back, first floor entry is appropriate given the set-back and raised entries of adjacent neighbors in the immediate area. The proposed façade and massing of the new building reflects the existing mixed architectural character and incorporates a moderated front façade in keeping with the neighborhood development pattern.

OBJECTIVE 2:

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.6:

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

The massing of the replacement building's main front façade has been designed to be compatible with the prevailing street wall height, particularly the height and proportions of the adjacent buildings. Although interpreted in a contemporary architectural style, the proposed building proportions and exterior materials have been selected to be compatible with the adjacent buildings and the immediate neighborhood character.

10. Planning Code Section 101.1(b) establishes eight priority-planning policies and requires review of

permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

Existing neighborhood-serving retail uses would not be displaced or otherwise adversely affected by the proposal, as the existing building does not contain commercial uses.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

While the existing housing is proposed to be demolished, the replacement building would provide two dwelling units in a manner that is compatible with the existing neighborhood character.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project does not currently possess any existing affordable housing. The Project does not propose any units designated as affordable housing. Therefore, the Project will not impact the City's supply of affordable housing.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project provides three off-street parking spaces, though none is required, in addition to two bicycle parking spaces. The Project would not have a significant adverse effect on automobile traffic congestion or create parking problems in the neighborhood.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project does not include commercial office development. The Project is a residential project in an RH-1(D) Zoning District. Therefore, the Project would not affect industrial, or service sector uses or related employment opportunities. Ownership of industrial or service sector uses would not be affected by the Project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code. As such, this Project will improve the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

The Project Site does not contain any City Landmarks or historic buildings.

H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project will have no negative impact on existing parks and open spaces. The height of the proposed structure is compatible with the established neighborhood development and height limit.

- 11.** The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
- 12.** The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2020-010109CUA** subject to the following conditions attached hereto as “EXHIBIT A” in general conformance with plans on file, dated June 7, 2021, and stamped “EXHIBIT B”, which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission’s adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator’s Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on June 2, 2019.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

RECUSE:

ADOPTED: July 15, 2021

EXHIBIT A

Authorization

This authorization is for a conditional use to allow the demolition of an existing single-family dwelling and construction of single-family dwelling with an accessory dwelling unit located at 35 Belgrave Avenue, Lot 071 within Assessor's Block 2688, pursuant to Planning Code Sections 303 and 317 within an RH-1(D) Zoning District and a 40-X Height and Bulk District; in general conformance with plans, dated **June 7, 2021**, and stamped "EXHIBIT B" included in the docket for Record No. **2020-010109CUA** and subject to conditions of approval reviewed and approved by the Commission on **July 15, 2021** under Motion No. **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

Recordation of Conditions Of Approval

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **July 15, 2021**, under Motion No. **XXXXXX**.

Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

Severability

The project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

CONDITIONS OF APPROVAL, COMPLIANCE, MONITORING, AND REPORTING

Performance

- 1. Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 2. Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 3. Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 4. Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 5. Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463,

www.sfplanning.org

Design – Compliance at Plan Stage

- 6. Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7607, www.sfplanning.org

- 7. Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7607, www.sfplanning.org

- 8. Landscaping.** Pursuant to Planning Code Section 132, the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that 50% of the front setback areas shall be surfaced in permeable materials and further, that 20% of the front setback areas shall be landscaped with approved plant species. The size and specie of plant materials and the nature of the permeable surface shall be as approved by the Department of Public Works.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7607, www.sfplanning.org

Parking and Traffic

- 9. Bicycle Parking.** The Project shall provide no fewer than **two (2)** Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.2.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 10. Parking Maximum.** Pursuant to Planning Code Section 151, the Project shall provide no more than **three (3)** off-street parking spaces.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 11. Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

Provisions

- 12. Residential Child Care Impact Fee.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7607, www.sfplanning.org

Monitoring - After Entitlement

- 13. Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 14. Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 15. Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works,

628.271.2000, www.sfpublishworks.org

- 16. Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org



Project Address
35 Belgrave Ave.
San Francisco, CA
94117

Permit Number
202011148929
202011148925
2020-010109PRJ

Issuance
SITE PERMIT REV. 3

Date
06.07.2021

Revision History		
No.	Issuance	Date
01.	SITE PERMIT	09.17.20
02.	SITE PERMIT REV. 1	04.19.21
03.	SITE PERMIT REV. 2	05.19.21
04.	SITE PERMIT REV. 3	06.07.21

PROJECT DESCRIPTION

1. CONSTRUCTION OF A NEW, 3-STORY OVER BASEMENT, SINGLE FAMILY RESIDENCE.
2. CONSTRUCTION OF A NEW ADU WITH BATHROOM & KITCHENETTE AT THE FIRST LEVEL.
3. DEMOLITION OF THE EXISTING 2-STORY OVER GARAGE RESIDENCE, UNDER SEPARATE PERMIT

PROJECT INFORMATION

ADDRESS: 35 BELGRAVE AVE.
SAN FRANCISCO, CA 94117
LOT/BLOCK: (OR APN) 2688/071
ZONING: RH-1(D)
CONST. TYPE: TYPE V-B
OCCUPANCY: R-3
LOT SIZE: 5,850 SQ FT
EST. DEPTH OF EXCAV: 21'-0"
EST. VOLUME OF EXCAV: 1499 CUBIC YARDS
PIPE SPINNER: YES, 13-H

PROJECT DIRECTORY

OWNER
35 BELGRAVE LLC
35 BELGRAVE AVE.
SAN FRANCISCO, CA 94117

ARCHITECT
JOHN MANISCALCO ARCHITECTURE
442 GROVE STREET
SAN FRANCISCO, CA 94102

JOHN MANISCALCO
415.864.9900
JOHN@JM-ARCHITECTURE.COM

35 BELGRAVE AVE.
SAN FRANCISCO, CA 94117

SITE PERMIT REV. 2
05.19.2021

PERMIT NUMBERS
202011148929
202011148925

PROJECT LOCATION

VICINITY MAP SCALE: N.T.S.



SETBACKS:	
FRONT: (WEST)	2'-6" (AVERAGE SETBACK OF ADJ. NEIGHBORS)
SIDE: (NORTH)	5'-0"
SIDE: (SOUTH)	5'-0"
REAR: (EAST)	27'-0" (30% OF REAR YARD)

BLDG. SIZE & COVERAGE:	EXISTING	PROPOSED
	NO. OF STORES	2 OVER BASEMENT
BUILDING HEIGHT	34'-8 3/4"	35'-3 3/4"

BUILDING AREA:	EXISTING DWELLING:	UNCONDITIONED
	(E) BASEMENT/GARAGE LEVEL:	60 S.F.
(E) FIRST LEVEL:	1,642 S.F.	+110 S.F.
(E) SECOND LEVEL:	2,506 S.F.	
TOTAL (E) AREA:	4,207 S.F.	+780 S.F.

LOCATION MAP SCALE: N.T.S.



PROPOSED DWELLING:	CONDITIONED UNIT 1	UNIT 2 (ADU)	UNCONDITIONED	DELTA
(P) BASEMENT/GARAGE LEVEL:	353 S.F.		+2,012 S.F. (GARAGE)	+293 S.F.
(P) FIRST LEVEL:	1,996 S.F.	312 S.F.		+364 S.F.
(P) SECOND LEVEL:	1,985 S.F.	141 S.F. (STUDIO)		-379 S.F.
(P) THIRD LEVEL:	1,717 S.F.			+1,717 S.F.
TOTAL (P) AREA:	6,192 S.F.		+2,012 S.F. (GARAGE)	+2,072 S.F.

SHEET INDEX

- DRAWING SHEET ISSUED
- DRAWING SHEET NOT ISSUED

DRAWING ISSUANCE
 09.17.20
 04.19.21

SHEET NO.	SHEET NAME	ISSUANCE	PERMIT	REV. 1	REV. 2	REV. 3	REV. 4	REV. 5	REV. 6	REV. 7	REV. 8	REV. 9	REV. 10
PROJECT DATA & INFORMATION													
A0.0-00	COVER SHEET	●	●										
A0.0-10	INDEX SHEET	●	●										
A0.1-00	PROJECT INFORMATION SHEET	●	●										
A0.2-00	PROJECT KEYNOTES	●	○										
A0.3-00	CODE COMPLIANCE: GRADE PLANE & EXISTING	●	●										
A0.3-01	LANDSCAPING PERMEABILITY CALCULATIONS	●	●										
A0.4-00	GREEN BUILDING CHECKLIST	●	●										
A0.5-00	EXISTING SITE CONTEXT PHOTOS	●	●										
A0.5-01	EXISTING SITE CONTEXT PHOTOS - CURRENT CONDITION	●	●										
A0.6-00	PROPOSED EXTERIOR PERSPECTIVE RENDERINGS	●	●										
A1.0-00	TOPOGRAPHIC & BOUNDARY SURVEY (BY WESTOVER)	●	●										

SHEET NO.	SHEET NAME	ISSUANCE	PERMIT	REV. 1	REV. 2	REV. 3	REV. 4	REV. 5	REV. 6	REV. 7	REV. 8	REV. 9	REV. 10
ARCHITECTURAL													
A1.1-00	EXISTING SITE PLAN	●	●										
A1.2-00	PROPOSED SITE PLAN	●	●										
A2.0-00	EXISTING BASEMENT DEMOLITION PLAN	●	●										
A2.0-01	PROPOSED GARAGE-BASEMENT LEVEL FLOOR PLAN	●	●										
A2.1-00	EXISTING FIRST LEVEL DEMOLITION PLAN	●	●										
A2.1-01	PROPOSED FIRST LEVEL FLOOR PLAN	●	●										
A2.2-00	EXISTING SECOND LEVEL DEMOLITION PLAN	●	●										
A2.2-01	PROPOSED SECOND LEVEL FLOOR PLAN	●	●										
A2.3-00	EXISTING ROOF DEMOLITION PLAN	●	●										
A2.3-01	PROPOSED THIRD LEVEL FLOOR PLAN	●	●										
A2.4-01	PROPOSED ROOF LEVEL FLOOR PLAN	●	●										
A3.0-00	EXISTING NORTH (FRONT) ELEVATION - DEMOLITION	●	●										
A3.0-01	PROPOSED NORTH (FRONT) ELEVATION	●	●										
A3.0-10	EXISTING WEST (SIDE) ELEVATION - DEMOLITION	●	●										
A3.0-11	PROPOSED WEST (SIDE) ELEVATION	●	●										
A3.0-20	EXISTING SOUTH (REAR) ELEVATION - DEMOLITION	●	●										
A3.0-21	PROPOSED SOUTH (REAR) ELEVATION	●	●										
A3.0-30	EXISTING EAST (SIDE) ELEVATION - DEMOLITION	●	●										
A3.0-31	PROPOSED EAST (SIDE) ELEVATION	●	●										
A3.1-00	EXISTING LONGITUDINAL BUILDING SECTION - DEMOLITION	●	●										
A3.1-01	PROPOSED LONGITUDINAL BUILDING SECTION	●	●										
A3.1-10	EXISTING LATERAL BUILDING SECTION - DEMOLITION	●	●										
A3.1-11	PROPOSED LATERAL BUILDING SECTION	●	●										
A8.2-00	EXTERIOR WINDOW DETAILS	○	●										



John Maniscalco Architecture

415.864.9900
 442 Grove Street
 San Francisco, CA 94102



Project Address
35 Belgrave Ave.
San Francisco, CA
94117

Permit Number
202011148929
202011148925
2020-010109PRJ

Issuance
SITE PERMIT REV. 2

Date
05.19.2021

No.	Issuance	Date
01.	SITE PERMIT	09.17.20
02.	SITE PERMIT REV. 1	04.19.21
03.	SITE PERMIT REV. 2	05.19.21

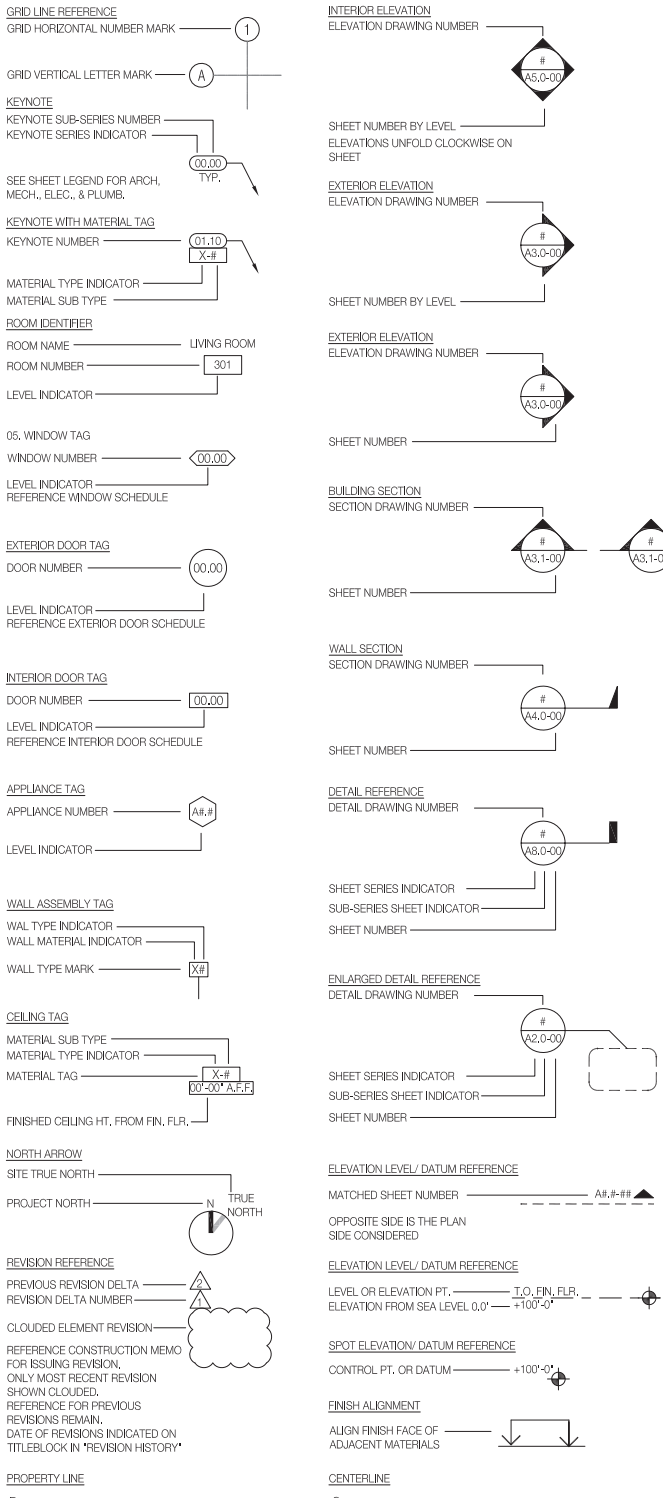
PROJECT SHEET INDEX

A0.0-10

ABBREVIATIONS

Table of abbreviations for architectural symbols, including terms like ANCHOR BOLT, ACCESS, INSIDE DIAMETER, etc., with corresponding symbols and full names.

ARCHITECTURAL SYMBOLS



SPECIAL INSPECTIONS AND OBSERVATIONS



DEFERRED SUBMITTALS

- List of deferred submittal items, including fire sprinklers, photovoltaic system, and shoring under separate permit.

CONSTRUCTION WASTE MANAGEMENT PLAN

GENERAL NOTES

- General notes detailing contractor responsibilities, inspection requirements, and specific instructions for construction, such as 'CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.'

GENERAL ELECTRICAL NOTES

- General electrical notes covering requirements for lighting, wiring, and electrical systems, including 'APER CEC 150.0(K), ALL PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH EFFICACY.'

GENERAL PLUMBING NOTES

- General plumbing notes regarding water conserving fixtures, water closets, and rain sensors, such as 'WATER CONSERVING FIXTURES: NEW WATER CLOSETS SHALL USE NO MORE THAN 1.28 GALLONS OF WATER PER FLUSH.'

GENERAL GREEN BUILDING NOTES

- General green building notes focusing on water conservation, energy efficiency, and material selection, including 'PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.'

MATERIALS

- Materials section detailing requirements for various building materials like carpet, flooring, and wood products, such as 'CARPET: MEET FLESH-FLOW REQUIREMENTS FOR TOILETS (1.28 GPF); SHOWER-HEADS (1.8 GPM).'

ENERGY

- Energy section detailing requirements for energy efficiency, including energy design rating and solar readiness, such as 'COMPLY WITH ALL PROVISIONS OF THE CAL ENERGY CODE.'

PARKING

- Parking section detailing requirements for parking spaces, including short-term and long-term bike parking, such as 'PROVIDE SHORT- AND LONG-TERM BIKE PARKING EQUAL TO 5% OF MOTORIZED VEHICLE PARKING.'

WASTE DIVERSION

- Waste diversion section detailing requirements for waste management and recycling, such as 'PROVIDE ADEQUATE SPACE AND EQUAL ACCESS FOR STORAGE, COLLECTION, AND LOADING OF COMPOSTABLE, RECYCLABLE AND LANDFILL MATERIALS.'

INDOOR ENVIRONMENTAL QUALITY

- Indoor environmental quality section detailing requirements for air quality, noise, and ventilation, such as 'NEW RESIDENTIAL PROJECTS' INTERIOR NOISE DUE TO EXTERIOR SOURCES SHALL NOT EXCEED 45dB.'

ADDITIONAL MEASURES

- Additional measures section detailing specific requirements for gas water heaters, rainwater harvesting, and other building features, such as 'FOR EACH GAS WATER HEATER SERVING AN INDIVIDUAL DWELLING UNIT, INSTALL A DEDICATED 125V 20A RECEPTACLE WITH 120/240V 3-CONDUCTOR & 10AWG COPPER BRANCH CIRCUIT ADJACENT TO WATER HEATER.'

GENERAL BUILDING CODE NOTES

- General building code notes detailing specific code requirements and references, such as 'THE PROJECT SHALL COMPLY WITH THE FOLLOWING CODES: 2019 SAN FRANCISCO BUILDING CODE.'



John Maniscalco Architecture

415.864.9900
442 Grove Street
San Francisco, CA 94102



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2020-010109PRJ

Issuance
SITE PERMIT REV. 2

Date
05.19.2021

Revision History table with columns for No., Issuance, Date, and description of revisions.

PROJECT INFORMATION SHEET

A0.1-00



Project Address
35 Belgrave Ave.
San Francisco, CA
94117

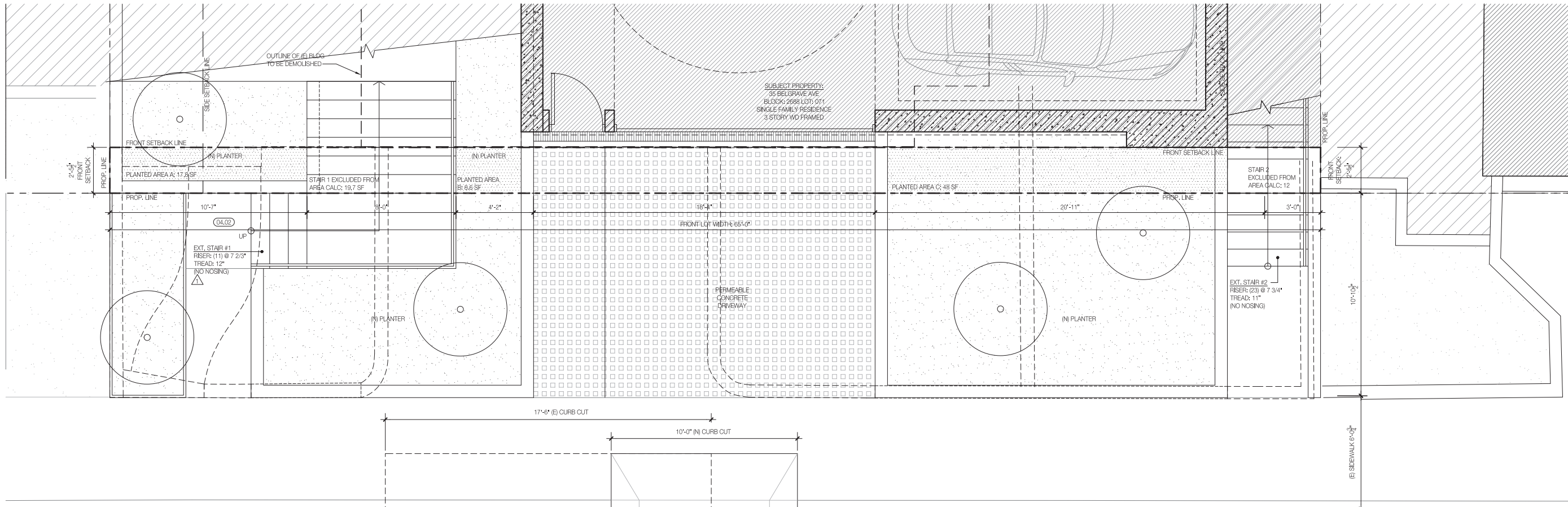
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Date
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Revision History

No.	Issuance	Date
01.	SITE PERMIT	04.17.20
02.	SITE PERMIT REV. 1	04.19.21
03.	SITE PERMIT REV. 2	05.19.21



BELGRAVE AVE

1 FRONT SETBACK LANDSCAPING PLAN
SCALE: 3/8" = 1'-0"

LANDSCAPING AREA CALCULATIONS
PLANNING CODE SEC. 132(G); UNPAVED PLANTING MATERIALS

FRONT SETBACK TOTAL AREA: 159.8 SF
STAIRS EXCLUDED FROM CALC: 28.7 SF
FRONT SETBACK AREA FOR LANDSCAPE CALC: 131.1 SF
REQUIRED LANDSCAPE 20%: 26.2 SF

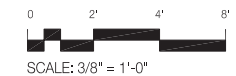
PLANTED AREA A: 17.8 SF
PLANTED AREA B: 8.6 SF
PLANTED AREA C: 48 SF
TOTAL PLANTED AREA: 74.4 SF
56.8% PLANTED AREA

STREET TREES
UNIT 1 3 - WATERGUM
ADU 1 - WATERGUM

PERMEABLE AREA CALCULATIONS
PLANNING CODE SEC. 132(H); PERMEABLE SURFACES

FRONT SETBACK TOTAL AREA: 159.8 SF
STAIRS EXCLUDED FROM CALC: 28.7 SF
FRONT SETBACK AREA FOR LANDSCAPE CALC: 131.1 SF
REQUIRED 50% PERMEABILITY: 65.6 SF

PLANTED AREA A: 17.8 SF
PLANTED AREA B: 8.6 SF
PLANTED AREA C: 48 SF
TOTAL PERMEABLE AREA: 74.4 SF
56.8% PERMEABLE AREA



LANDSCAPING & PERMEABILITY CALCULATION SHEET

A0.3-01



1 FRONT OF ADJACENT BLDG (25 BELGRAVE)
N.T.S



10 AERIAL PHOTOGRAPH
N.T.S



2 FRONT OF SUBJECT & ADJACENT BLDG'S (25 & 35 BELGRAVE)
N.T.S



3 FRONT OF SUBJECT & ADJACENT BLDG'S (25 & 35 BELGRAVE)
N.T.S



4 FRONT OF SUBJECT & ADJACENT BLDG'S (35 & 55 BELGRAVE)
N.T.S



5 FRONT OF OPPOSITE BLDG'S (34 & 40 BELGRAVE)
N.T.S



6 FRONT OF OPPOSITE BLDG'S (40 & 50 BELGRAVE)
N.T.S



7 FRONT OF OPPOSITE BLDG'S (1666 SHRADER)
N.T.S



8 FRONT OF OPPOSITE BLDG'S (60 BELGRAVE)
N.T.S



9 FRONT OF OPPOSITE BLDG'S (60 BELGRAVE)
N.T.S



Project Address
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EXISTING SITE CONTEXT
PHOTOS



3 PERSPECTIVE - PROPOSED LOOKING SOUTHWEST
N.T.S.



2 PERSPECTIVE - PROPOSED LOOKING SOUTH
N.T.S.



1 PERSPECTIVE - PROPOSED LOOKING SOUTHEAST
N.T.S.

MATERIAL LEGEND

- WD-1 WOOD
- WD-2 WOOD
- CB-1 MILLWORK
- ST-1 STONE LARGE FORMAT
- ST-2 STONE MEDIUM FORMAT



**John Maniscalco
Architecture**

415.864.9900
442 Grove Street
San Francisco, CA 94102



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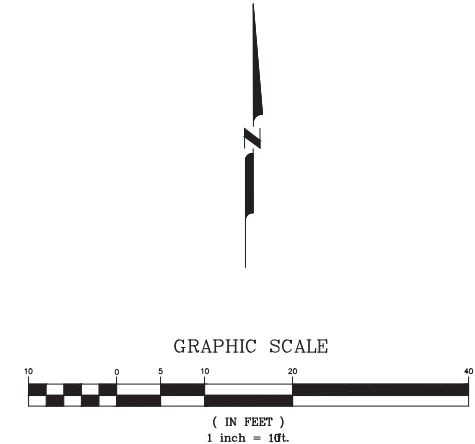
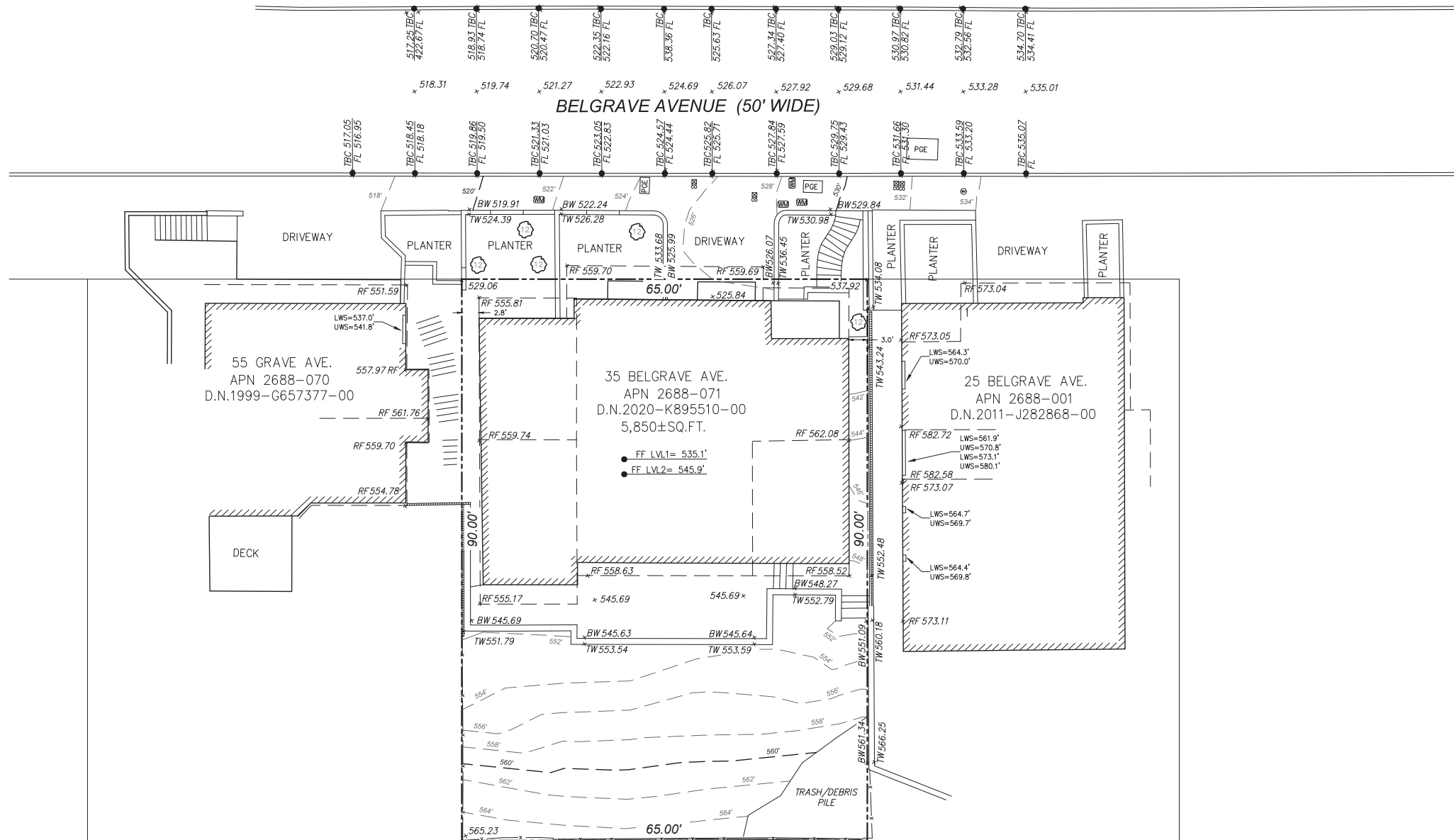
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PROPOSED EXTERIOR
PERSPECTIVE RENDERINGS

A0.6-00



LEGEND

	BUILDING FOOTPRINT
	ROOF LINE
	CONTOUR MAJOR
	CONTOUR MINOR
	SANITARY SEWER CLEANOUT
	PG&E UTILITY BOX
	WATER METER
	TREE WITH DIAMETER IN INCHES
	RF ROOF
	TBC TOP BACK OF CURB
	FL FLOW LINE
	TW TOP OF WALL
	BW BOTTOM OF WALL
	UWS UPPER WINDOW SEAL
	LWS LOWER WINDOW SEAL
	× 250.00 SPOT ELEVATION

- GENERAL NOTES:**
- ALL DISTANCES ARE IN DECIMAL FEET UNLESS OTHERWISE NOTED.
 - ALL ANGLES ARE AT 90° UNLESS OTHERWISE NOTED.
 - THIS MAP REPRESENTS THE SITE CONDITIONS ON DATE OF FIELD SURVEY. MARCH 19, 2020.
 - ELEVATIONS ARE BASED UPON SAN FRANCISCO CITY DATUM (OLD).

16-22 CLARENDON AVE.
APN 2688-006
D.N.2011-J187965-00

14 CLARENDON AVE.
APN 2688-004
D.N.2013-J698872-00

2 CLARENDON AVE.
APN 2688-002
D.N.2009-1807630-00

SURVEYOR'S STATEMENT
THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY AT THE REQUEST OF 35 BELGRAVE, LLC IN MARCH 2020.

BY:
DANIEL J. WESTOVER, L.S. 7779

DATE: 4/7/2020

WS
Westover
Surveying

336 CLAREMONT BLVD. STE 1
SAN FRANCISCO, CA 94127
(415) 242-5400
www.westoversurveying.com

NO.	DATE	COMMENTS
1		
2		
3		
4		

DRAWN BY: CFS
CHECKED BY: DJW
DATE: 05/19/2020
SCALE: 1"=10'

SITE SURVEY

35 BELGRAVE AVENUE
LOT 071 OF ASSESSORS BLOCK 2688
CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA

SHEET

1 OF 1

ADJACENT PROPERTY:
2 CLARENDON AVE
BLOCK: 2688 LOT: 002
SINGLE FAMILY RESIDENCE
2 STORY WD FRAMED

SUBJECT PROPERTY:
14 CLARENDON AVE
BLOCK: 2688 LOT: 004
SINGLE FAMILY RESIDENCE
2 STORY WD FRAMED

ADJACENT PROPERTY:
16-22 CLARENDON AVE
BLOCK: 2688 LOT: 006
SINGLE FAMILY RESIDENCE
2 STORY WD FRAMED

ADJACENT PROPERTY:
25 BELGRAVE AVE
BLOCK: 2688 LOT: 001
SINGLE FAMILY RESIDENCE
4 STORY WD FRAMED

SUBJECT PROPERTY:
35 BELGRAVE AVE
BLOCK: 2688 LOT: 071
SINGLE FAMILY RESIDENCE
3 STORY WD FRAMED

ADJACENT PROPERTY:
55 BELGRAVE AVE
BLOCK: 2688 LOT: 070
SINGLE FAMILY RESIDENCE
3 STORY WD FRAMED

GENERAL NOTES

- "TEMP" @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE. SEE ALSO ELEVATIONS
- SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS
- PER CBC R307.2, BATHROOMS WITH BATHING FACILITIES SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE (STONE OR CERAMIC TILE) ON FLOORS AND ON WALLS TO CEILING OR PER BELOW:
- SHOWER WALLS TO A MIN. HEIGHT OF 72"
- TUBS AND SHOWER TO A MIN. HEIGHT OF 72"
- PER CBC 106.2.6 & 107.2.7, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM. SEE SHEET A7.5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS.
- PER CBC 109.3.8 & 110.3.8.1, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL NOT BE CONCEALED UNTIL INSPECTED AND APPROVED.
- PER 2304-12.2.6, FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE. PROVIDE IMPERVIOUS FLASHING TO PROTECT STRUCTURAL MEMBERS FROM MOISTURE.
- ALL STRUCTURAL FRAMING TO BE PROVIDED WITH 1-HR RATED FIRE PROTECTION, PER CBC TABLE 721.1, U.L. DESIGN #X528 OR EQUIVALENT.

REFERENCED KEYNOTE LEGEND

- 01.03 FRONT SETBACK, SHOWN DASHED
- 01.04 REAR YARD SETBACK, SHOWN DASHED
- 01.05 SIDE YARD SETBACK, SHOWN DASHED
- 01.52 NEIGHBORING FENCE
- 02.01 (E) CURB CUT TO BE REMOVED
- 02.04 (E) SIDEWALK
- 02.05 (E) FENCE TO BE DEMOLISHED, SHOWN DASHED
- 02.44 (E) PG&E UTILITY BOX TO REMAIN
- 02.45 (E) PG&E UTILITY BOX TO BE RELOCATED
- 02.46 (E) SANITARY SEWER CLEAN-OUT TO BE REMAIN
- 02.47 (E) SANITARY SEWER CLEAN-OUT TO BE RELOCATED
- 02.48 (E) WATER METER TO BE REMAIN
- 02.49 (E) WATER METER TO BE RELOCATED
- 02.50 (E) WATER VALVE TO REMAIN



**John Maniscalco
Architecture**

415.864.9900
442 Grove Street
San Francisco, CA 94102



Project Address
**35 Belgrave Ave.
San Francisco, CA
94117**

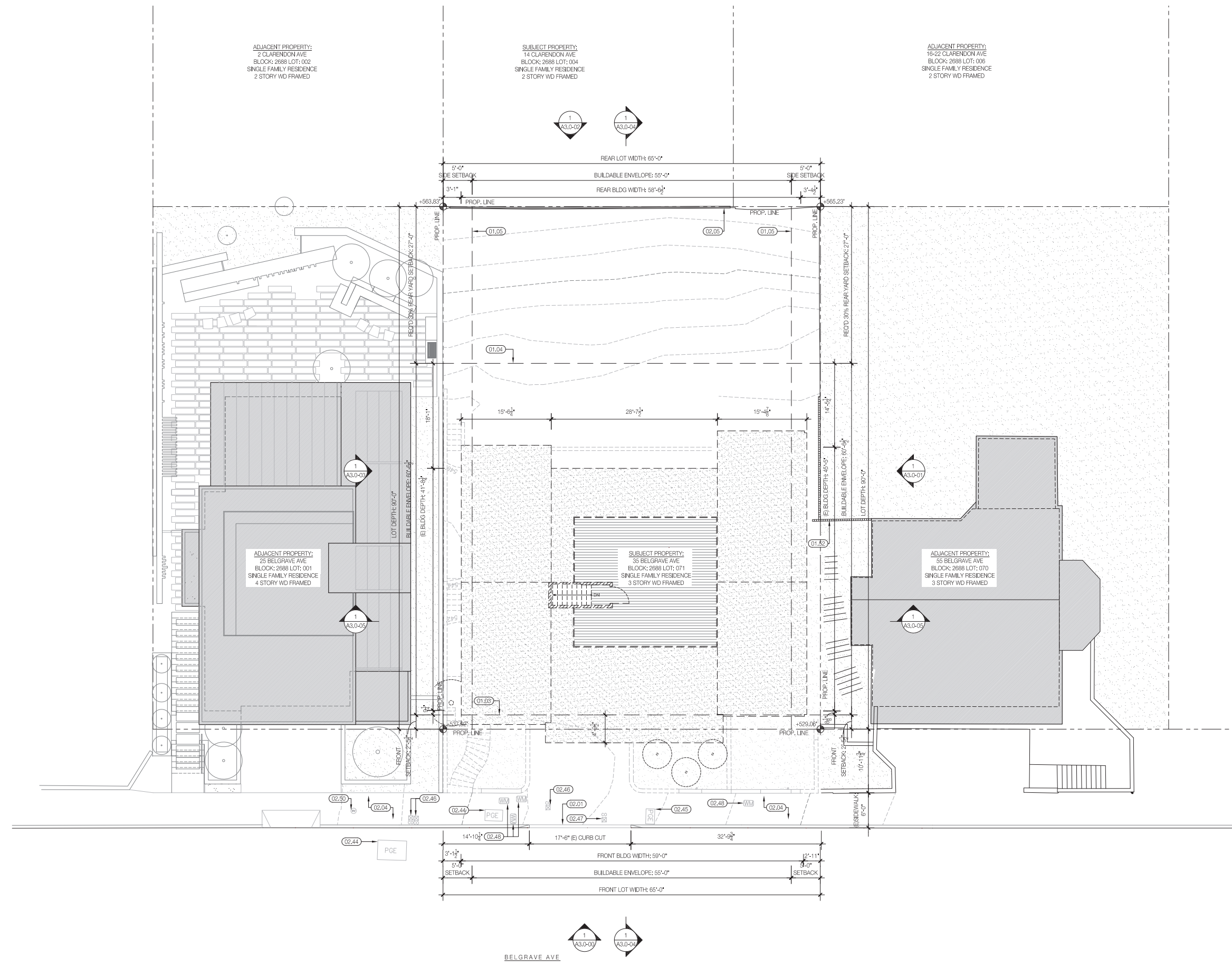
Permit Number
**202011148929
202011148925
2020-010109PRJ**

Issuance
SITE PERMIT REV. 2

Date
05.19.2021

Revision History

No.	Issuance	Date
01.	SITE PERMIT	09.17.20
02.	SITE PERMIT REV. 1	04.19.21
03.	SITE PERMIT REV. 2	05.19.21



EXISTING SITE PLAN

ADJACENT PROPERTY:
2 CLARENDON AVE
BLOCK: 2688 LOT: 002
SINGLE FAMILY RESIDENCE
2 STORY WD FRAMED

SUBJECT PROPERTY:
14 CLARENDON AVE
BLOCK: 2688 LOT: 004
SINGLE FAMILY RESIDENCE
2 STORY WD FRAMED

ADJACENT PROPERTY:
16-22 CLARENDON AVE
BLOCK: 2688 LOT: 006
SINGLE FAMILY RESIDENCE
2 STORY WD FRAMED

ADJACENT PROPERTY:
25 BELGRAVE AVE
BLOCK: 2688 LOT: 001
SINGLE FAMILY RESIDENCE
4 STORY WD FRAMED

ADJACENT PROPERTY:
55 BELGRAVE AVE
BLOCK: 2688 LOT: 070
SINGLE FAMILY RESIDENCE
3 STORY WD FRAMED

SUBJECT PROPERTY:
35 BELGRAVE AVE
BLOCK: 2688 LOT: 071
SINGLE FAMILY RESIDENCE
3 STORY WD FRAMED

GENERAL NOTES

- "TEMP" @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE. SEE ALSO ELEVATIONS
- SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS
- PER CBC R307.2, BATHROOMS WITH BATHING FACILITIES SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE (STONE OR CERAMIC TILE) ON FLOORS AND ON WALLS TO CEILING OR PER BELOW:
- SHOWER WALLS TO A MIN. HEIGHT OF 72"
- TUBS AND SHOWER TO A MIN. HEIGHT OF 72"
- PER CBC 106.2.6 & 107.2.7, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM. SEE SHEET A7.5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS.
- PER CBC 109.3.8 & 110.3.8.1, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL NOT BE CONCEALED UNTIL INSPECTED AND APPROVED.
- PER CBC 1204.12.2.6, FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE. PROVIDE IMPERVIOUS FLASHING TO PROTECT STRUCTURAL MEMBERS FROM MOISTURE.
- ALL STRUCTURAL FRAMING TO BE PROVIDED WITH 1-HR RATED FIRE PROTECTION, PER CBC TABLE 721.1, U.L. DESIGN #X528 OR EQUIVALENT.

REFERENCED KEYNOTE LEGEND

- 01.03 FRONT SETBACK, SHOWN DASHED
- 01.04 REAR YARD SETBACK, SHOWN DASHED
- 01.05 SIDE YARD SETBACK, SHOWN DASHED
- 01.23 (N) COMBINED 42" GUARDRAIL W/ 36" HANDRAIL
- 01.24 (N) 36" HANDRAIL
- 01.25 (N) 42" GUARDRAIL 1.30 DASHED LINE OF (N) 2-HR RATED CONST.
- 01.40 PERMITTED BUILDING BULK PLANE 10'-0" FROM FRONT PL, SHOWN DASHED
- 01.52 NEIGHBORING FENCE
- 02.00 (N) CURB CUT
- 02.01 (E) CURB CUT TO BE REMOVED
- 02.03 (E) STREET TREE TO BE REMOVED & REPLACED IN KIND
- 02.04 (E) SIDEWALK
- 02.08 (E) CONC. LANDSCAPE RETAINING WALL TO BE REPLACED IN KIND
- 02.23 PERMEABLE CONCRETE DRIVEWAY, SEE LANDSCAPE & PERMEABILITY CALCS
- 02.27 TRADES ACCESS REAR YARD STAIRWAY
- 02.43 (E) CONC. EXTERIOR STAIR TO BE REPLACED IN KIND
- 02.44 (E) PG&E UTILITY BOX TO REMAIN
- 02.45 (E) PG&E UTILITY BOX TO RELOCATED
- 02.46 (E) SANITARY SEWER CLEAN-OUT TO BE REMAIN
- 02.47 (E) SANITARY SEWER CLEAN-OUT TO BE RELOCATED
- 02.48 (E) WATER METER TO BE REMAIN
- 02.49 (E) WATER METER TO BE RELOCATED
- 02.50 (E) WATER VALVE TO REMAIN
- 02.51 (N) PLANTER
- 02.52 (E) GRADE CONTINUES OVER STUDIO
- 02.53 OUTLINE OF SUBGRADE STUDIO SPACE, SHOWN DASHED
- 02.54 (N) RETAINING WALL & 6'-0" FENCE
- 02.55 (N) EXTERIOR STAIRWAY
- 02.56 (N) RETAINING WALL
- 02.57 (N) RETAINING WALL & WOOD PROPERTY LINE FENCE
- 02.58 (N) 42" PLANTER
- 05.02 (N) 42" METAL MESH GUARDRAIL
- 05.14 (N) 42" METAL MESH GUARDRAIL W/ 36" STAINLESS STEEL HANDRAIL
- 05.16 (N) MTL WALKWAY BRIDGE
- 06.24 EXTERIOR WOOD DECKING, IPE OR SIM., SEE SPEC
- 07.08 CLASS 'A' ROOFING OVER SLOPED COVER BOARD OR SHEATHING ON RIP STRIPS O/ SHEATHING S.S.D. WITH CLOSED CELL SPRAY FOAM INSULATION. SLOPE MIN. 1/4" PER FT. TO DRAIN W/ GRAVEL BALLAST AS REQ'D FOR FIRE RATING/ WHEN VISIBLE
- 08.33 PTD. INSULATED ALUMINUM OPERABLE SKYLIGHT
- 15.58 (N) UTILITIES CABINET ON WEST FACE OF PLANTER, PLANTING TO CONCEAL ABOVE
- 16.23 PHOTOVOLTAIC PANEL ARRAY



415.864.9900
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San Francisco, CA 94102



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Issuance
SITE PERMIT REV. 3

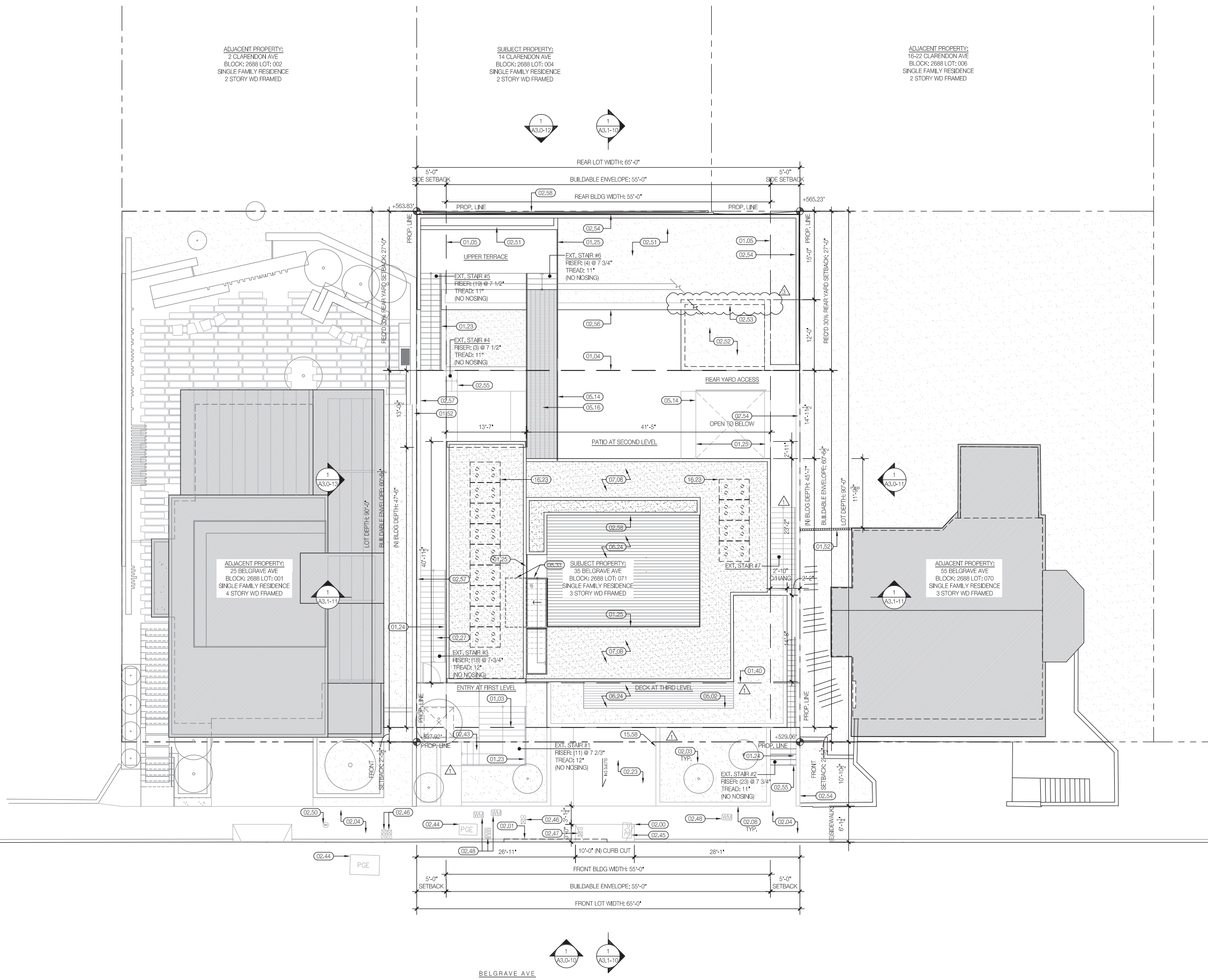
Date
06.07.2021

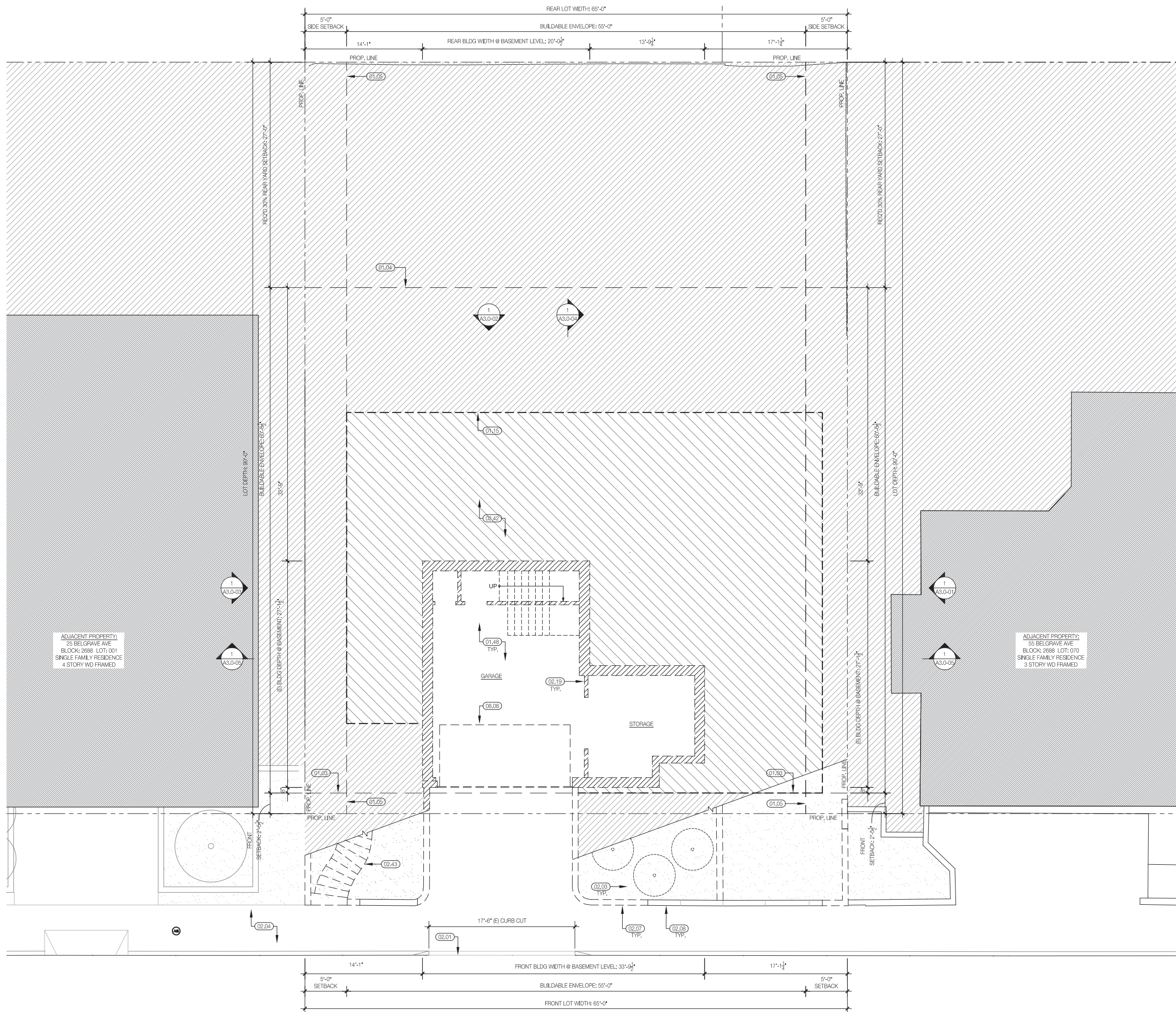
No.	Issuance	Date
01.	SITE PERMIT	09.17.20
02.	SITE PERMIT REV. 1	04.19.21
03.	SITE PERMIT REV. 2	05.19.21
04.	SITE PERMIT REV. 3	06.07.21

PROPOSED SITE PLAN

A1.2-00

1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



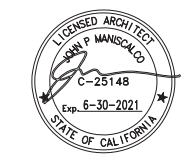


GENERAL NOTES

1. *TEMP* @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE. SEE ALSO ELEVATIONS
2. PER A7.3 FOR TYPICAL WALL TYPES AND DETAILS
3. PER CBC R307.2, BATHROOMS WITH BATHING FACILITIES SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE (STONE OR CERAMIC TILE) ON FLOORS AND ON WALLS TO CEILING OR PER BELOW:
-SHOWER WALLS TO A MIN. HEIGHT OF 72"
-TUBS AND SHOWER TO A MIN. HEIGHT OF 72"
4. PER CBC 106.2.6 & 107.2.7, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM. SEE SHEET A7.5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS.
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7. ALL STRUCTURAL FRAMING TO BE PROVIDED WITH 1-HR RATED FIRE PROTECTION, PER CBC TABLE 721.1.1, U.L. DESIGN #X528 OR EQUIVALENT.

REFERENCED KEYNOTE LEGEND

- 01.03 FRONT SETBACK, SHOWN DASHED
- 01.04 REAR YARD SETBACK, SHOWN DASHED
- 01.05 SIDE YARD SETBACK, SHOWN DASHED
- 01.15 OUTLINE OF PROPOSED DEVELOPMENT AT CORRESPONDING LEVEL, SHOWN DASHED
- 01.48 (E) BLDG. TO BE DEMOLISHED, WORK UNDER PREVIOUS PERMIT NO. 201604064049 & 201312275170 NOT COMPLETED
- 02.01 (E) CURB CUT TO BE REMOVED
- 02.03 (E) STREET TREE TO BE REMOVED & REPLACED IN KIND
- 02.04 (E) SIDEWALK
- 02.07 (E) CONC. LANDSCAPE RETAINING WALL TO BE DEMO'D, SHOWN DASHED
- 02.08 (E) CONC. LANDSCAPE RETAINING WALL TO BE REPLACED IN KIND
- 02.19 (E) WALLS TO BE DEMOLISHED, SHOWN DASHED
- 02.42 AREA OF PROPOSED EXCAVATION
- 02.43 (E) CONC. EXTERIOR STAIR TO BE REPLACED IN KIND
- 08.08 (E) GARAGE DOOR TO BE REMOVED



Project Address
**35 Belgrave Ave.
San Francisco, CA
94117**

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2020-010109PRJ**

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Date
05.19.2021

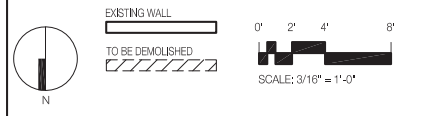
Revision History

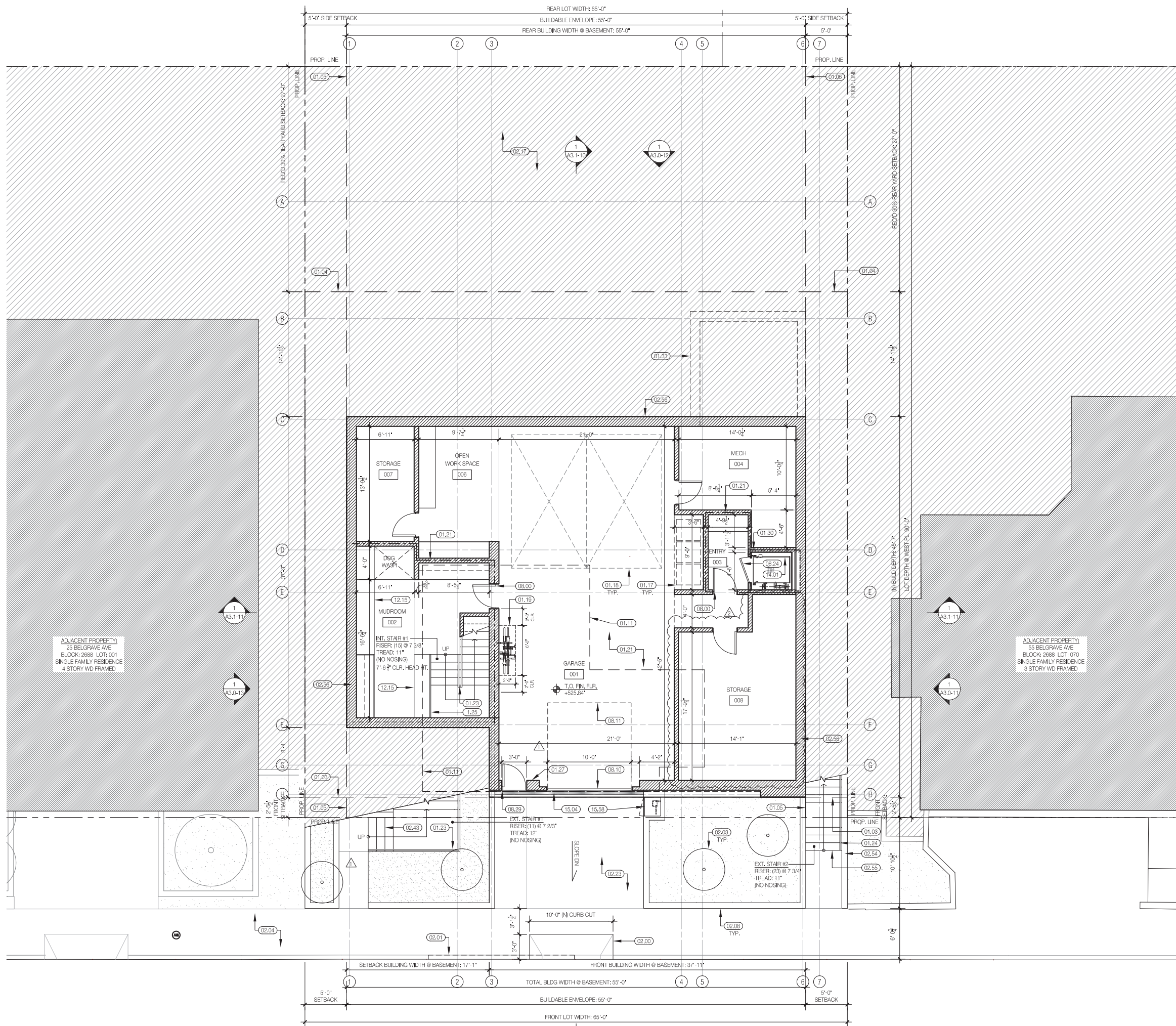
No.	Issuance	Date
01.	SITE PERMIT	09.17.20
02.	SITE PERMIT REV. 1	04.19.21
03.	SITE PERMIT REV. 2	05.19.21

1 BASEMENT LEVEL DEMOLITION PLAN
SCALE: 3/16" = 1'-0"

**EXISTING BASEMENT LEVEL
DEMOLITION PLAN**

A2.0-00





GENERAL NOTES

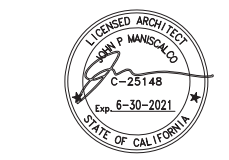
- "TEMP" @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE, SEE ALSO ELEVATIONS
- SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS
- PER CBC R307.2, BATHROOMS WITH BATHING FACILITIES SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE (STONE OR CERAMIC TILE) ON FLOORS AND ON WALLS TO CEILING OR PER BELOW:
 - SHOWER WALLS TO A MIN. HEIGHT OF 72"
 - TUBS AND SHOWER TO A MIN. HEIGHT OF 72"
- PER CBC 106.2.6 & 107.2.7, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM, SEE SHEET A7.5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS.
- PER CBC 109.3.8 & 110.3.8.1, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL NOT BE CONCEALED UNTIL INSPECTED AND APPROVED.
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- ALL STRUCTURAL FRAMING TO BE PROVIDED WITH 1-HR RATED FIRE PROTECTION, PER CBC TABLE 721.1, U.L. DESIGN #X528 OR EQUIVALENT.

REFERENCED KEYNOTE LEGEND

- 01.03 FRONT SETBACK, SHOWN DASHED
- 01.04 REAR YARD SETBACK, SHOWN DASHED
- 01.05 SIDE YARD SETBACK, SHOWN DASHED
- 01.11 OUTLINE OF (E) BLDG. TO BE DEMOLISHED, SHOWN DASHED
- 01.17 OUTLINE OF (S) 98 GALLON TRASH PER SFPC
- 01.18 OUTLINE OF 144 S.F. PARKING SPACE, SHOWN DASHED
- 01.19 CLASS 1 - WALL MOUNTED, BICYCLE PARKING SPACE PER SFPC, 155.2 & ZONING ADMIN, BULLETIN NO.9
- 01.21 1-HR RATED CONST. AT CEILING & WALLS REG. SEPARATION
- 01.23 (N) COMBINED 42" GUARDRAIL W/ 36" HANDRAIL
- 01.24 (N) 36" HANDRAIL
- 01.25 (N) 42" GUARDRAIL
- 01.27 PROVIDE 200 SQ. IN. NET OPENING FOR GARAGE VENTILATION PER SFBC 406.1.3 (UP TO 1,000 SF)
- 01.30 DASHED LINE OF (N) 2-HR RATED CONST.
- 01.33 OUTLINE OF FIRST LEVEL ABOVE, SHOWN DASHED, SEE A2, 1-02
- 02.00 (E) CURB CUT
- 02.01 (E) CURB CUT TO BE REMOVED
- 02.03 (E) STREET TREE TO BE REMOVED & REPLACED IN KIND
- 02.04 (E) SIDEWALK
- 02.06 (E) CONC. LANDSCAPE RETAINING WALL TO BE REPLACED IN KIND
- 02.17 UNDEVELOPED, TYP.
- 02.23 PERMEABLE CONCRETE DRIVEWAY, SEE LANDSCAPE & PERMEABILITY CALCS
- 02.43 (E) CONC. EXTERIOR STAIR TO BE REPLACED IN KIND
- 02.54 (N) RETAINING WALL & 6'-0" FENCE
- 02.55 (N) EXTERIOR STAIRWAY
- 02.56 (N) RETAINING WALL
- 08.00 1 1/2" THICK MIN. SOLID CORE DOOR WITH CLOSER AND SMOKE GASKET (20 MIN RATING)
- 08.10 PTD. METAL FLUSH MOUNT OVERHEAD GARAGE DOOR
- 08.11 ELECTRIC POWERED, OVERHEAD ROLL-UP GARAGE DOOR, SHOWN DASHED IN OPEN POSITION
- 08.24 1 1/2" THICK SOLID CORE DOOR W/ CLOSER & SMOKE GASKET
- 08.29 PTD. METAL MAN DOOR, EMERGENCY ACCESS PT. FROM PUBLIC WAY
- 12.15 BUILT-IN WOOD FLOATING BENCH
- 14.01 FOUR-STORY HYDRAULIC ELEVATOR
- 15.04 TRENCH DRAIN
- 15.58 (N) UTILITIES CABINET ON WEST FACE OF PLANTER, PLANTING TO CONCEAL ABOVE



John Maniscalco
Architecture



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Issuance
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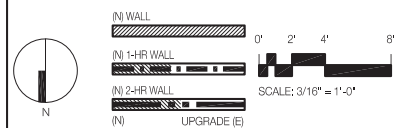
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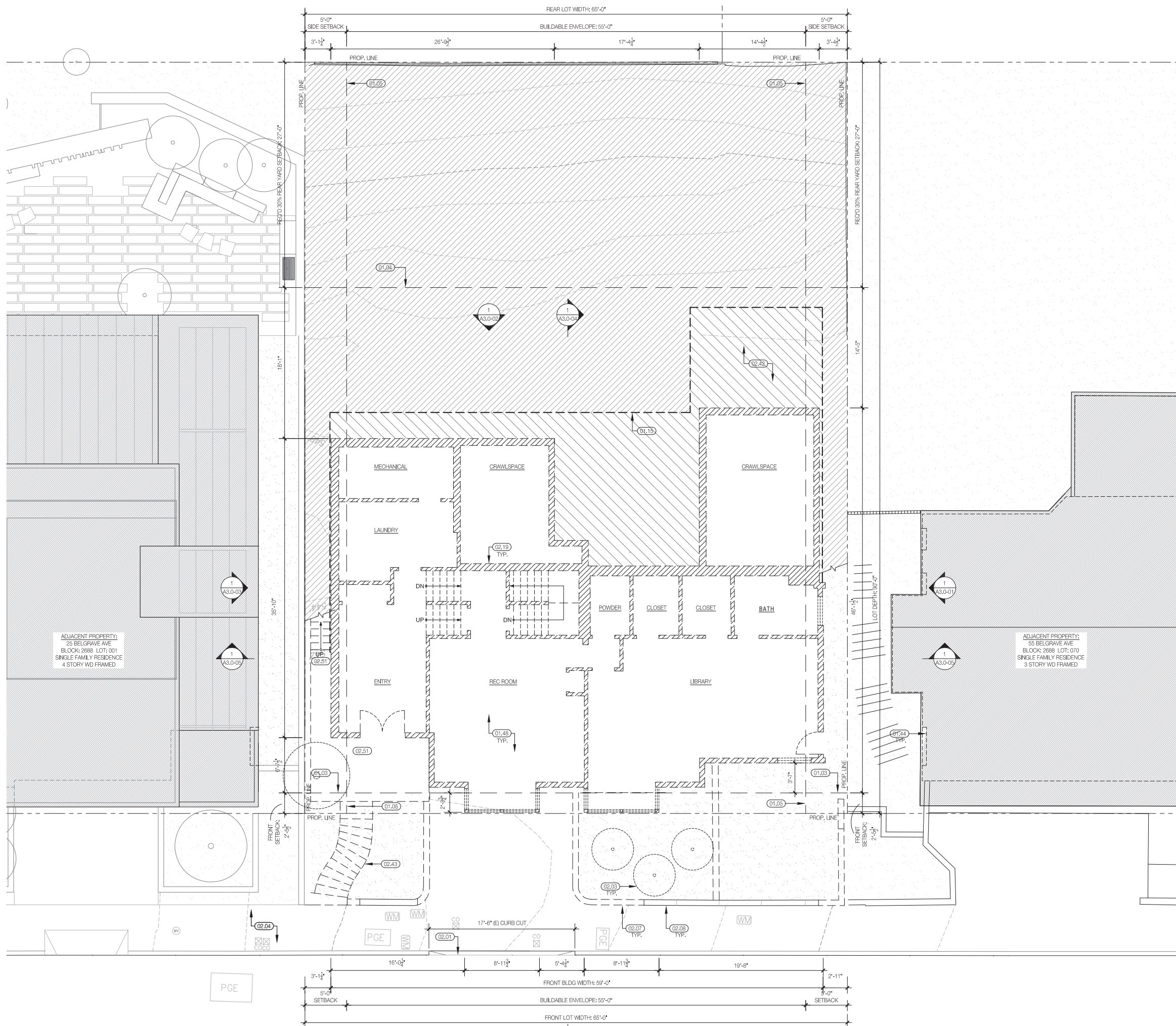
PROPOSED
GARAGE-BASEMENT
LEVEL FLOOR PLAN

A2.0-01

1 PROPOSED GARAGE-BASEMENT LEVEL FLOOR PLAN
SCALE: 3/16" = 1'-0"



BELGRAVE AVE.



GENERAL NOTES

1. "TEMP" @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE. SEE ALSO ELEVATIONS
2. SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS
3. PER CBC R307.2, BATHROOMS WITH BATHING FACILITIES SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE (STONE OR CERAMIC TILE) ON FLOORS AND ON WALLS TO CEILING OR PER BELOW:
-SHOWER WALLS TO A MIN. HEIGHT OF 72"
-TUBS AND SHOWER TO A MIN. HEIGHT OF 72"
4. PER CBC 106.2.6 & 107.2.7, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM. SEE SHEET A7.5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS.
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REFERENCED KEYNOTE LEGEND

- 01.03 FRONT SETBACK, SHOWN DASHED
- 01.04 REAR YARD SETBACK, SHOWN DASHED
- 01.05 SIDE YARD SETBACK, SHOWN DASHED
- 01.15 OUTLINE OF PROPOSED DEVELOPMENT AT CORRESPONDING LEVEL, SHOWN DASHED
- 01.44 NEIGHBORING WINDOWS, SHOWN DASHED, NO IMPACT ON WINDOW LIGHT/AIR, TYP.
- 01.48 (E) BLDG. TO BE DEMOLISHED, WORK UNDER PREVIOUS PERMIT NO. 201604064049 & 201312275170 NOT COMPLETED
- 02.01 (E) CURB CUT TO BE REMOVED
- 02.03 (E) STREET TREE TO BE REMOVED & REPLACED IN KIND
- 02.04 (E) SIDEWALK
- 02.07 (E) CONC. LANDSCAPE RETAINING WALL TO BE DEMO'D, SHOWN DASHED
- 02.08 (E) CONC. LANDSCAPE RETAINING WALL TO BE REPLACED IN KIND
- 02.19 (E) WALLS TO BE DEMOLISHED, SHOWN DASHED
- 02.42 AREA OF PROPOSED EXCAVATION
- 02.43 (E) CONC. EXTERIOR STAIR TO BE REPLACED IN KIND
- 02.51 (E) STAIR TO BE DEMO'D



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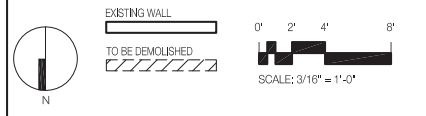
Revision History

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01.	SITE PERMIT	09.17.20
02.	SITE PERMIT REV. 1	04.19.21
03.	SITE PERMIT REV. 2	05.19.21

**EXISTING FIRST LEVEL
DEMOLITION PLAN**

A2.1-00

1 LEVEL 1 DEMOLITION PLAN
SCALE: 3/16" = 1'-0"



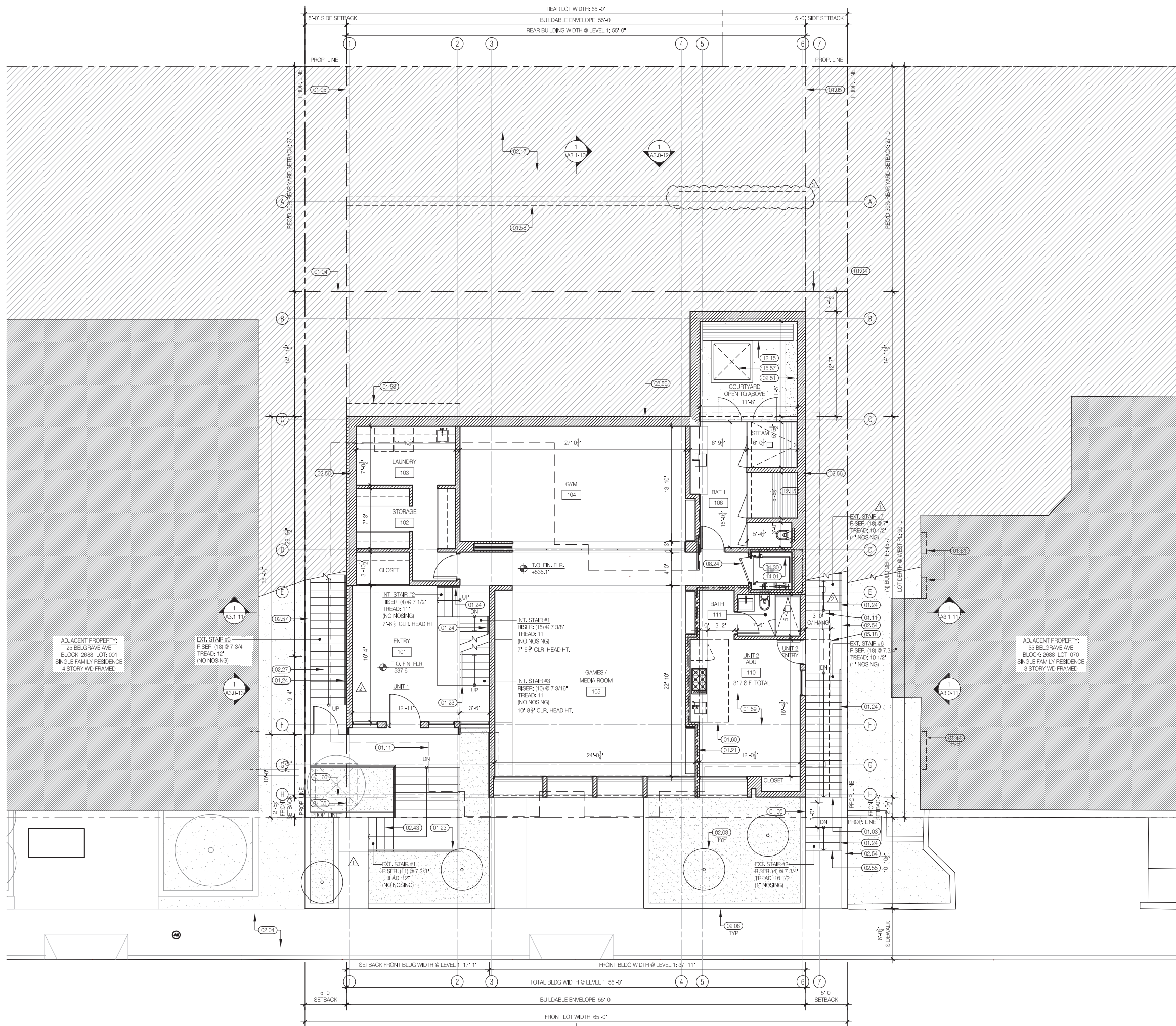


GENERAL NOTES

- "TEMP" @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE. SEE ALSO ELEVATIONS
- SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS
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 - SHOWER WALLS TO A MIN. HEIGHT OF 72"
 - TUBS AND SHOWER TO A MIN. HEIGHT OF 72"
- PER CBC 106.2.6 & 107.2.7, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM, SEE SHEET A7.5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS.
- PER CBC 109.3.8 & 110.3.8.1, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL NOT BE CONCEALED UNTIL INSPECTED AND APPROVED.
- PER 2304.12.2.6, FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE. PROVIDE IMPERVIOUS FLASHING TO PROTECT STRUCTURAL MEMBERS FROM MOISTURE.
- ALL STRUCTURAL FRAMING TO BE PROVIDED WITH 1-HR RATED FIRE PROTECTION, PER CBC TABLE 721.1, U.L. DESIGN #X528 OR EQUIVALENT.

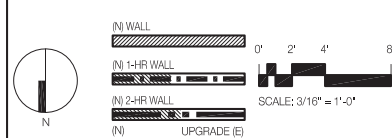
REFERENCED KEYNOTE LEGEND

- 01.03 FRONT SETBACK, SHOWN DASHED
- 01.04 REAR YARD SETBACK, SHOWN DASHED
- 01.05 SIDE YARD SETBACK, SHOWN DASHED
- 01.11 OUTLINE OF (E) BLDG. TO BE DEMOLISHED, SHOWN DASHED
- 01.21 1-HR RATED CONST. AT CEILING & WALLS REQ. SEPARATION
- 01.23 (N) COMBINED 42"H GUARDRAIL W/ 36"H HANDRAIL
- 01.24 (N) 36"H HANDRAIL
- 01.25 (N) 42"H GUARDRAIL
- 01.30 DASHED LINE OF (N) 2-HR RATED CONST.
- 01.44 NEIGHBORING WINDOWS BEHIND, SHOWN DASHED. NO IMPACT ON WINDOW LIGHT/TYP. TYP.
- 01.52 NEIGHBORING FENCE
- 01.58 OUTLINE OF FIRST LEVEL ABOVE, SHOWN DASHED, SEE A2.2-01
- 01.59 EFFICIENCY ADU PER SFBC SEC. 1030
- 01.60 30" CLR AT COUNTER & APPLIANCE PER SFBC SEC. 1030
- 01.61 NEIGHBORING WINDOWS IN WINDOW WELL, SHOWN DASHED. NO IMPACT ON WINDOW LIGHT/TYP. TYP.
- 02.03 (E) STREET TREE TO BE REMOVED & REPLACED IN KIND
- 02.04 (E) SIDEWALK
- 02.08 (E) CONC. LANDSCAPE RETAINING WALL TO BE REPLACED IN KIND
- 02.17 UNEXCAVATED, TYP.
- 02.27 TRACES ACCESS REAR YARD STAIRWAY
- 02.43 (E) CONC. EXTERIOR STAIR TO BE REPLACED IN KIND
- 02.51 (N) PLANTER
- 02.54 (N) RETAINING WALL & 6'-0" FENCE
- 02.55 (N) EXTERIOR STAIRWAY
- 02.56 (N) RETAINING WALL
- 02.57 (N) RETAINING WALL & WOOD PROPERTY LINE FENCE
- 05.18 3'-0" PTD METAL OVERHANG
- 08.00 1 1/4" THICK MIN. SOLID CORE DOOR WITH CLOSER AND SMOKE GASKET (20 MIN RATING)
- 08.24 1 1/2-HR RATED SOLID CORE DOOR W/ CLOSER & SMOKE GASKET
- 12.15 BUILT-IN WOOD FLOATING BENCH
- 14.01 FOUR-STORY HYDRAULIC ELEVATOR
- 15.57 PLUNGE POOL



1 PROPOSED FIRST LEVEL FLOOR PLAN

SCALE: 3/16" = 1'-0"



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94117

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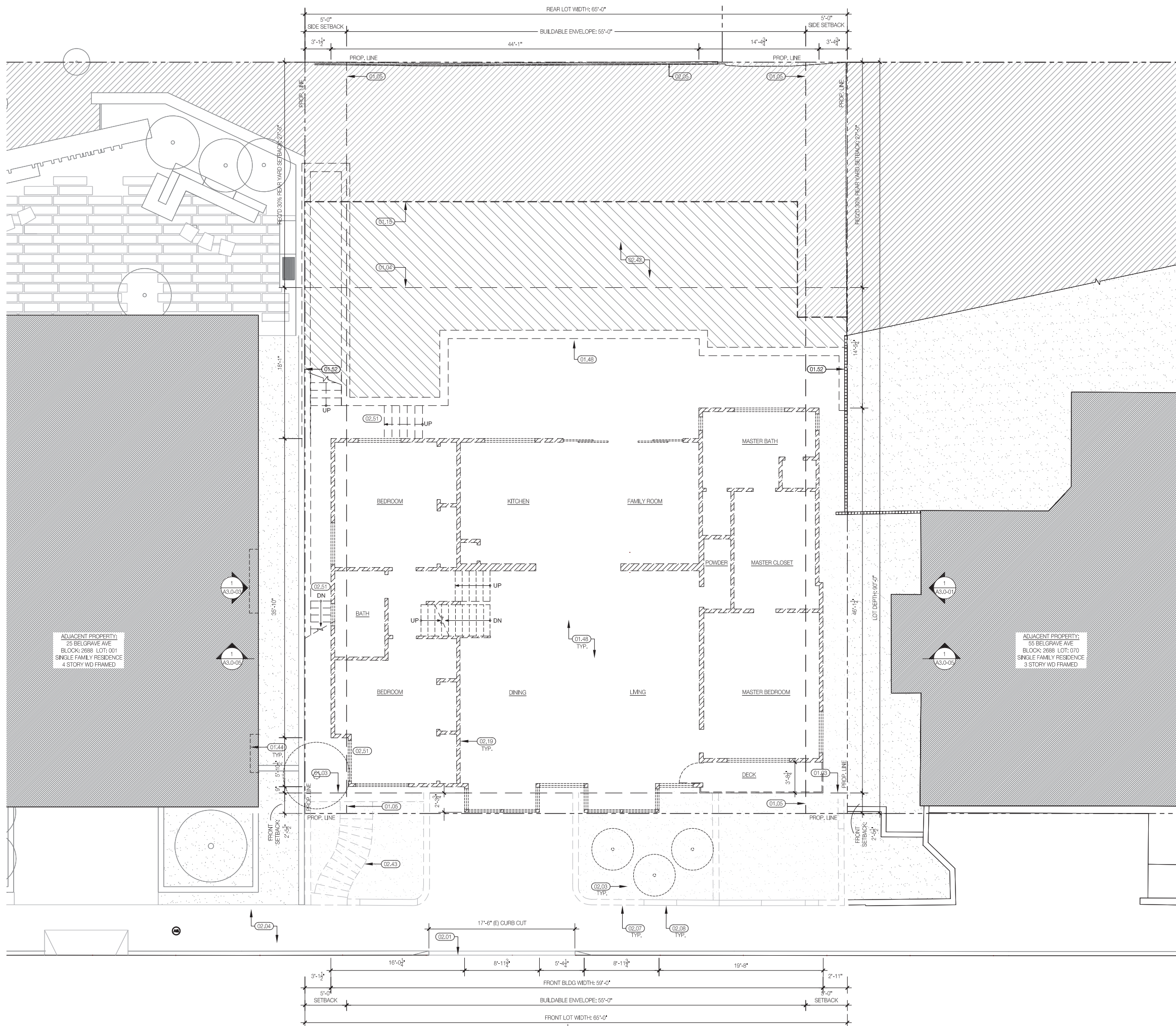
Issuance
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Date
06.07.2021

No.	Issuance	Date
01.	SITE PERMIT	09.17.20
02.	SITE PERMIT REV. 1	04.19.21
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04.	SITE PERMIT REV. 3	06.07.21

PROPOSED FIRST LEVEL FLOOR PLAN

A2.1-01



GENERAL NOTES

1. "TEMP" @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE. SEE ALSO ELEVATIONS.
2. SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS.
3. PER CBC R307.2, BATHROOMS WITH BATHING FACILITIES SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE (STONE OR CERAMIC TILE) ON FLOORS AND ON WALLS TO CEILING OR PER BELOW:
-SHOWER WALLS TO A MIN. HEIGHT OF 72"
-TUBS AND SHOWER TO A MIN. HEIGHT OF 72"
4. PER CBC 106.2.6 & 107.2.7, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM. SEE SHEET A7.5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS.
5. PER CBC 109.3.8 & 110.3.8.1, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL NOT BE CONCEALED UNTIL INSPECTED AND APPROVED.
6. PER 2304.12.2.6, FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE. PROVIDE IMPERVIOUS FLASHING TO PROTECT STRUCTURAL MEMBERS FROM MOISTURE.
7. ALL STRUCTURAL FRAMING TO BE PROVIDED WITH 1-HR RATED FIRE PROTECTION, PER CBC TABLE 721.1, U.L. DESIGN #X528 OR EQUIVALENT.

REFERENCED KEYNOTE LEGEND

- 01.03 FRONT SETBACK, SHOWN DASHED
- 01.04 REAR YARD SETBACK, SHOWN DASHED
- 01.05 SIDE YARD SETBACK, SHOWN DASHED
- 01.15 OUTLINE OF PROPOSED DEVELOPMENT AT CORRESPONDING LEVEL, SHOWN DASHED
- 01.44 NEIGHBORING WINDOWS, SHOWN DASHED, NO IMPACT ON WINDOW LIGHT/AIR, TYP.
- 01.48 (E) BLDG. TO BE DEMOLISHED, WORK UNDER PREVIOUS PERMIT NO. 201604064049 & 201312275170 NOT COMPLETED
- 01.52 NEIGHBORING FENCE
- 02.01 (E) CURB CUT TO BE REMOVED
- 02.03 (E) STREET TREE TO BE REMOVED & REPLACED IN KIND
- 02.04 (E) SIDEWALK
- 02.05 (E) FENCE TO BE DEMOLISHED, SHOWN DASHED
- 02.07 (E) CONC. LANDSCAPE RETAINING WALL TO BE DEMO'D, SHOWN DASHED
- 02.08 (E) CONC. LANDSCAPE RETAINING WALL TO BE REPLACED IN KIND
- 02.19 (E) WALLS TO BE DEMOLISHED, SHOWN DASHED
- 02.42 AREA OF PROPOSED EXCAVATION
- 02.43 (E) CONC. EXTERIOR STAIR TO BE REPLACED IN KIND
- 02.51 (E) STAIR TO BE DEMO'D

jma
John Maniscalco
Architecture
 415.864.9900
 442 Grove Street
 San Francisco, CA 94102



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San Francisco, CA
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Issuance
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Date
05.19.2021

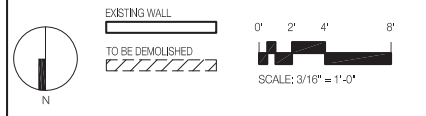
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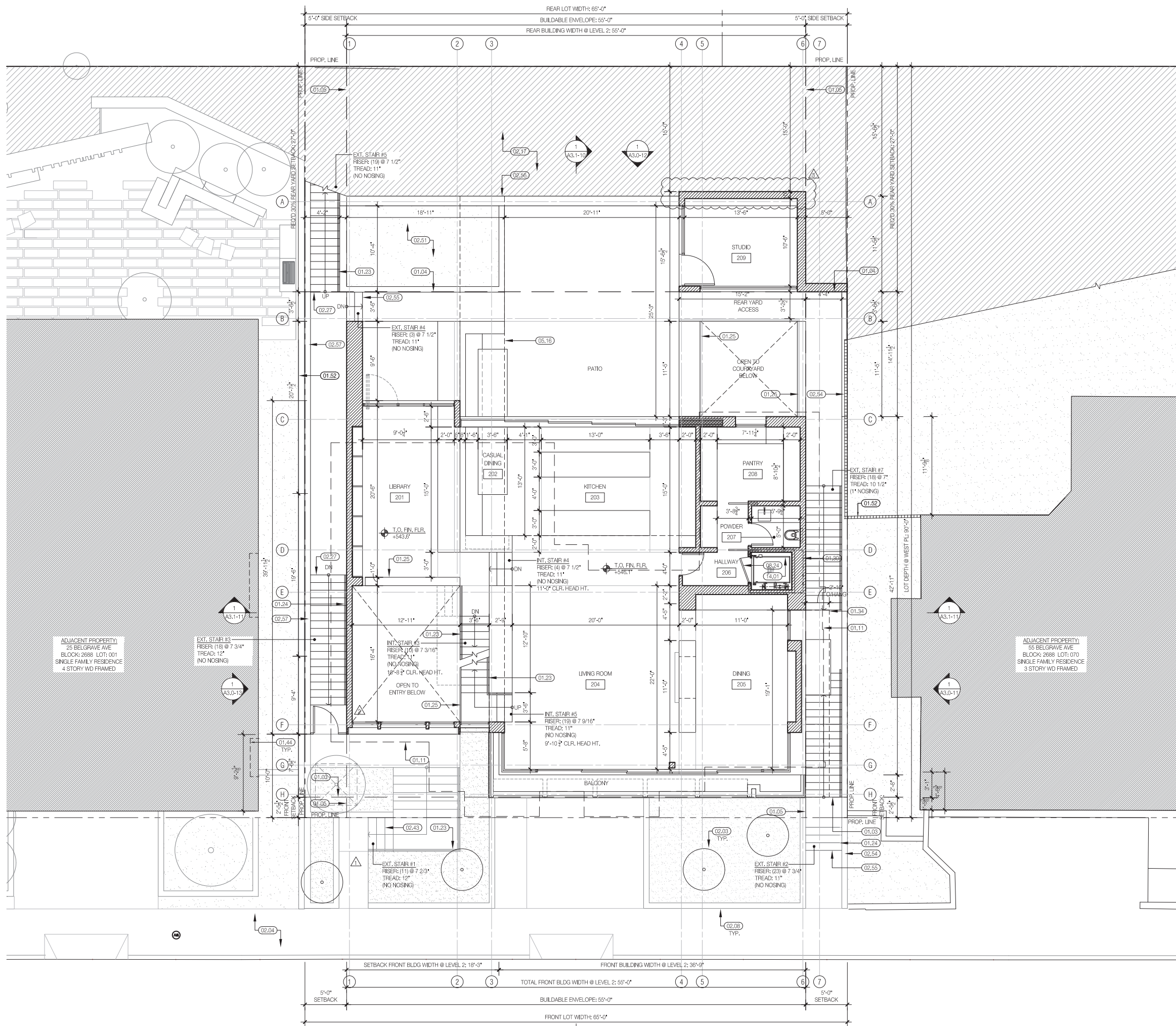
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01.	SITE PERMIT	09.17.20
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03.	SITE PERMIT REV. 2	05.19.21

EXISTING SECOND LEVEL
DEMOLITION PLAN

A2.2-00

1 LEVEL 2 DEMOLITION PLAN
 SCALE: 3/16" = 1'-0"





GENERAL NOTES

- "TEMP" @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE. SEE ALSO ELEVATIONS
- SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS
- PER CBC R307.2, BATHROOMS WITH BATHING FACILITIES SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE (STONE OR CERAMIC TILE) ON FLOORS AND ON WALLS TO CEILING OR PER BELOW:
 - SHOWER WALLS TO A MIN. HEIGHT OF 72"
 - TUBS AND SHOWER TO A MIN. HEIGHT OF 72"
- PER CBC 106.2.6 & 107.2.7, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM. SEE SHEET A7.5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS.
- PER CBC 109.3.8 & 110.3.8.1, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL NOT BE CONCEALED UNTIL INSPECTED AND APPROVED.
- PER 2304.12.2.6, FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/50 OF THE AREA OF EACH SEPARATE SPACE. PROVIDE IMPERVIOUS FLASHING TO PROTECT STRUCTURAL MEMBERS FROM MOISTURE.
- ALL STRUCTURAL FRAMING TO BE PROVIDED WITH 1-HR RATED FIRE PROTECTION, PER CBC TABLE 721.1, U.L. DESIGN #X528 OR EQUIVALENT.

REFERENCED KEYNOTE LEGEND

- 01.03 FRONT SETBACK, SHOWN DASHED
- 01.04 REAR YARD SETBACK, SHOWN DASHED
- 01.05 SIDE YARD SETBACK, SHOWN DASHED
- 01.11 (O) OUTLINE OF (E) BLDG. TO BE DEMOLISHED, SHOWN DASHED
- 01.23 (N) COMBINED 42" H GUARDRAIL W/ 36" H HANDRAIL
- 01.24 (N) 36" H HANDRAIL
- 01.25 (N) 42" H GUARDRAIL
- 01.30 DASHED LINE OF (N) 2-HR RATED CONST.
- 01.34 ROOF OVERHANG ABOVE, SHOWN DASHED
- 01.44 NEIGHBORING WINDOWS BEHIND, SHOWN DASHED. NO IMPACT ON WINDOW LIGHT/FIB. TYP.
- 01.52 NEIGHBORING FENCE
- 02.03 (E) STREET TREE TO BE REMOVED & REPLACED IN KIND
- 02.04 (E) SIDEWALK
- 02.08 (E) CONC. LANDSCAPE RETAINING WALL TO BE REPLACED IN KIND
- 02.17 UNDEVELOPED TYP.
- 02.27 TRADES ACCESS REAR YARD STAIRWAY
- 02.43 (E) CONC. EXTERIOR STAIR TO BE REPLACED IN KIND
- 02.51 (N) PLANTER
- 02.54 (N) RETAINING WALL & 6'-0" FENCE
- 02.55 (N) EXTERIOR STAIRWAY
- 02.56 (N) RETAINING WALL
- 02.57 (N) RETAINING WALL & WOOD PROPERTY LINE FENCE
- 05.16 MTL WALKWAY BRIDGE
- 08.24 1-HR RATED SOLID CORE DOOR W/ CLOSER & SMOKE GASKET
- 14.01 FOUR-STORY HYDRAULIC ELEVATOR



John Maniscalco Architecture

415.864.9900
442 Grove Street
San Francisco, CA 94102



Project Address
35 Belgrave Ave.
San Francisco, CA
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Issuance
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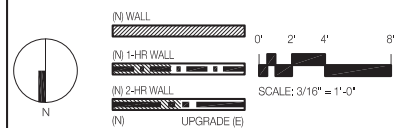
Date
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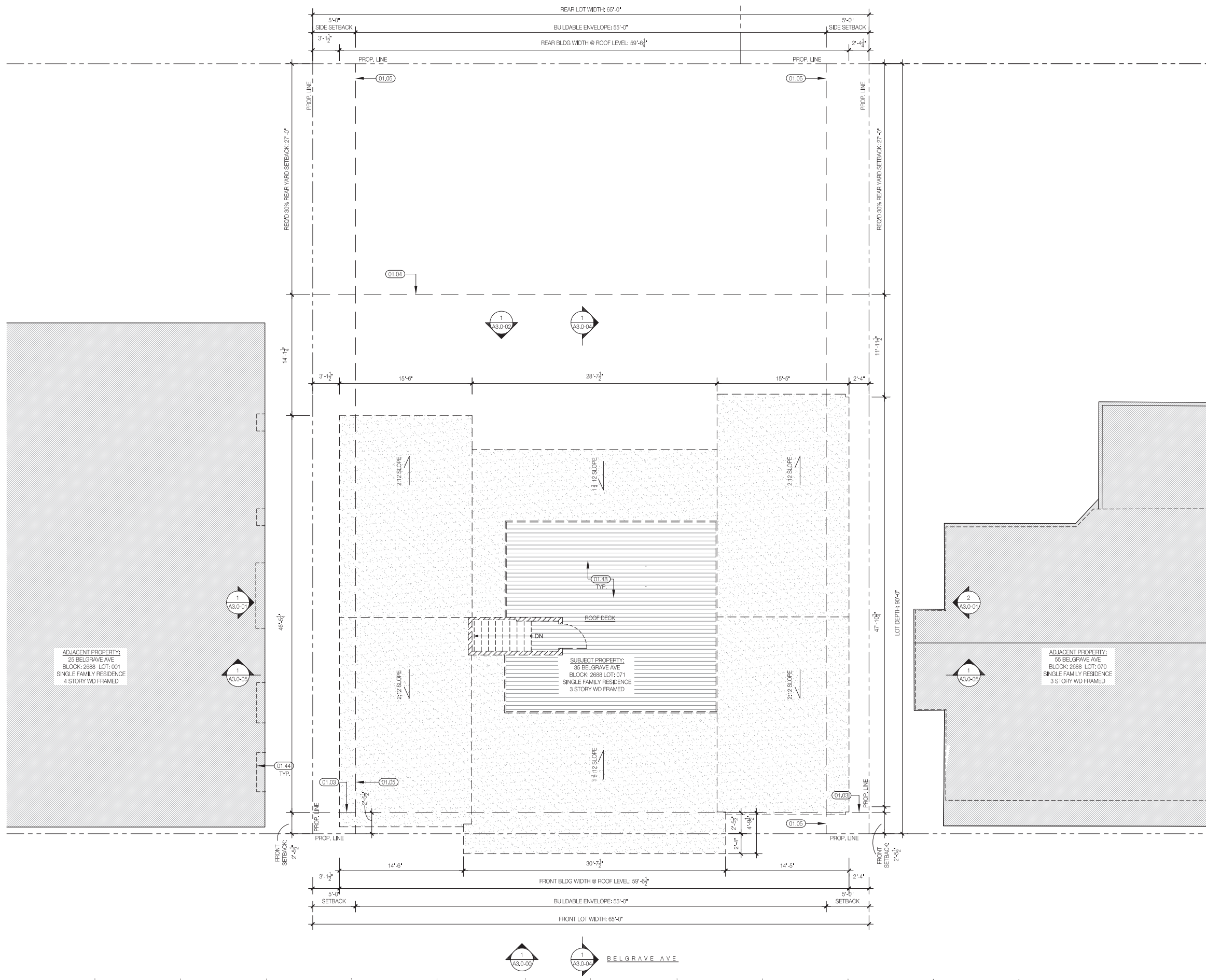
No.	Issuance	Date
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03.	SITE PERMIT REV. 2	05.19.21
04.	SITE PERMIT REV. 3	06.07.21

PROPOSED SECOND LEVEL FLOOR PLAN

A2.2-01

1 PROPOSED SECOND LEVEL FLOOR PLAN
SCALE: 3/16" = 1'-0"





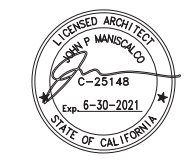
GENERAL NOTES

1. "TEMP" @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE. SEE ALSO ELEVATIONS
2. SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS
3. PER CBC R307.2, BATHROOMS WITH BATHING FACILITIES SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE (STONE OR CERAMIC TILE) ON FLOORS AND ON WALLS TO CEILING OR PER BELOW:
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-TUBS AND SHOWER TO A MIN. HEIGHT OF 72"
4. PER CBC 106.2.6 & 107.2.7, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM. SEE SHEET A7.5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS.
5. PER CBC 109.3.8 & 110.3.8.1, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL NOT BE CONCEALED UNTIL INSPECTED AND APPROVED.
6. PER 2304.12.2.6, FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE. PROVIDE IMPERVIOUS FLASHING TO PROTECT STRUCTURAL MEMBERS FROM MOISTURE.
7. ALL STRUCTURAL FRAMING TO BE PROVIDED WITH 1-HR RATED FIRE PROTECTION, PER CBC TABLE 721.1, U.L. DESIGN #X528 OR EQUIVALENT.

REFERENCED KEYNOTE LEGEND

- 01.03 FRONT SETBACK, SHOWN DASHED
- 01.04 REAR YARD SETBACK, SHOWN DASHED
- 01.05 SIDE YARD SETBACK, SHOWN DASHED
- 01.44 NEIGHBORING WINDOWS, SHOWN DASHED, NO IMPACT ON WINDOW LIGHT/AIR, TYP.
- 01.48 (E) BLDG. TO BE DEMOLISHED, WORK UNDER PREVIOUS PERMIT NO. 201604064049 & 201312275170 NOT COMPLETED

jma
John Maniscalco
Architecture
415.864.9900
442 Grove Street
San Francisco, CA 94102



Project Address
35 Belgrave Ave.
San Francisco, CA
94117

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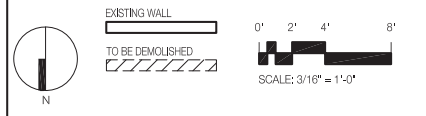
Issuance
SITE PERMIT REV. 2

Date
05.19.2021

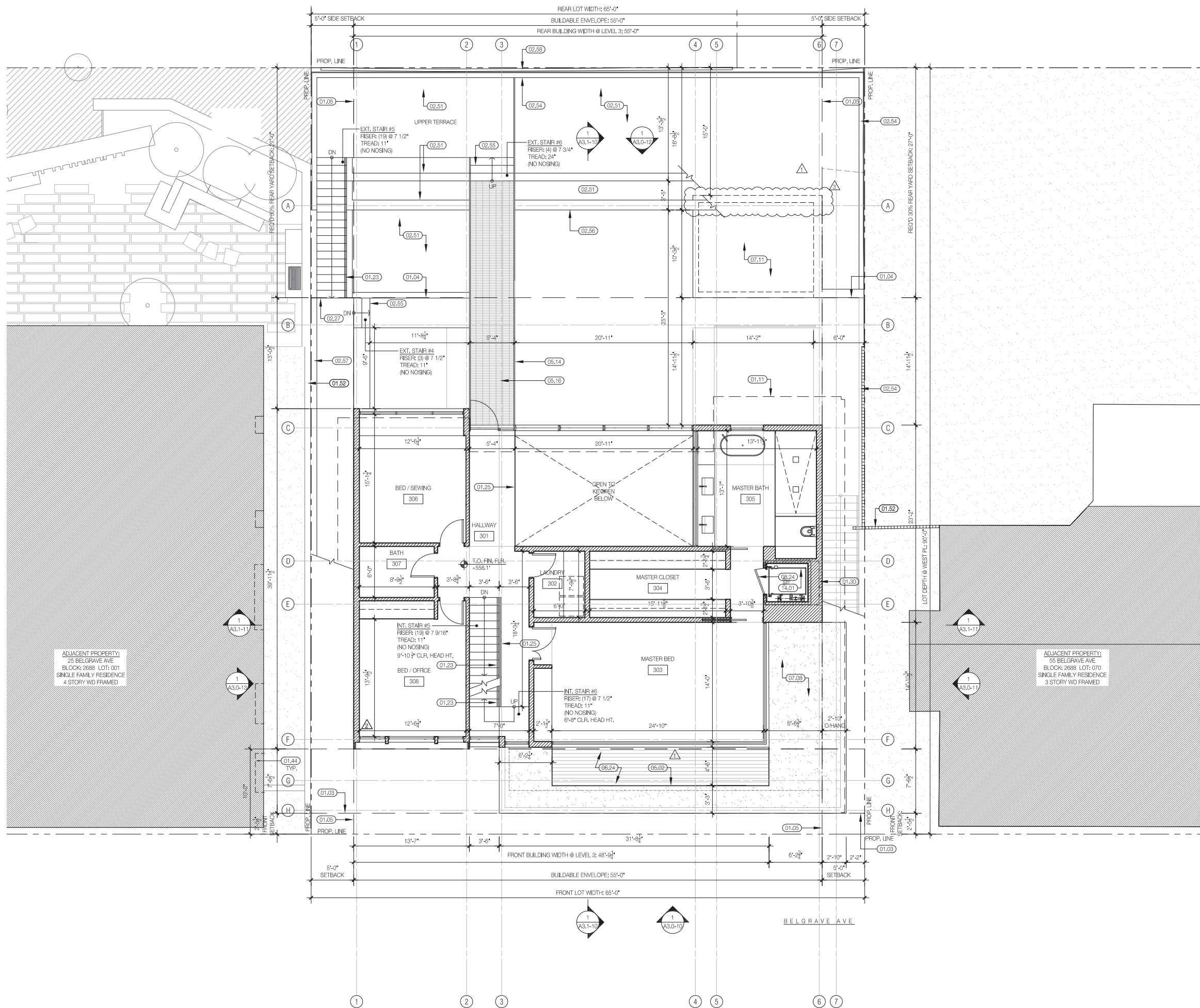
Revision History		Date
01.	SITE PERMIT	09.17.20
02.	SITE PERMIT REV. 1	04.19.21
03.	SITE PERMIT REV. 2	05.19.21

EXISTING ROOF DEMOLITION PLAN

1 ROOF DEMOLITION PLAN
SCALE: 3/16" = 1'-0"



A2.3-00



GENERAL NOTES

- "TEMP" @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE, SEE ALSO ELEVATIONS
- SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS
- PER CBC R307.2, BATHROOMS WITH BATHING FACILITIES SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE (STONE OR CERAMIC TILE) ON FLOORS AND ON WALLS TO CEILING OR PER BELOW:
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 - TUBS AND SHOWER TO A MIN. HEIGHT OF 72"
- PER CBC 106.2.6 & 107.2.7, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM, SEE SHEET A7.5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS.
- PER CBC 109.3.8 & 110.3.8.1, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL NOT BE CONCEALED UNTIL INSPECTED AND APPROVED.
- PER 2304.12.2.6, FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE, PROVIDE IMPERVIOUS FLASHING TO PROTECT STRUCTURAL MEMBERS FROM MOISTURE.
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REFERENCED KEYNOTE LEGEND

- 01.03 FRONT SETBACK, SHOWN DASHED
- 01.04 REAR YARD SETBACK, SHOWN DASHED
- 01.05 SIDE YARD SETBACK, SHOWN DASHED
- 01.11 OUTLINE OF (E) BLDG. TO BE DEMOLISHED, SHOWN DASHED
- 01.23 (N) COMBINED 42" GUARDRAIL W/ 36" HANDRAIL
- 01.24 (N) 36" HANDRAIL
- 01.25 (N) 42" GUARDRAIL 1.30 DASHED LINE OF (N) 2-HR RATED CONST.
- 01.44 NEIGHBORING WINDOWS BEHIND, SHOWN DASHED, NO IMPACT ON WINDOW LIGHT/AIR, TYP.
- 01.52 NEIGHBORING FENCE
- 02.27 TRADES ACCESS REAR YARD STAIRWAY
- 02.51 (N) PLANTER
- 02.54 (N) RETAINING WALL & 6'-0" FENCE
- 02.55 (N) EXTERIOR STAIRWAY
- 02.56 (N) RETAINING WALL
- 02.57 (N) RETAINING WALL & WOOD PROPERTY LINE FENCE
- 02.58 (N) RETAINING WALL
- 05.02 (N) 42" METAL MESH GUARDRAIL
- 05.14 (N) 42" METAL MESH GUARDRAIL W/ 36" STAINLESS STEEL HANDRAIL
- 05.16 MTL WALKWAY/ BRIDGE
- 06.24 EXTERIOR WOOD DECKING, IPE OR SIM., SEE SPEC
- 07.08 CLASS 'A' ROOFING (OVER SLOPED COVER BOARD OR SHEATHING ON RIP STRIPS OF SHEATHING S.S.D. WITH CLOSED CELL SPRAY FOAM INSULATION - SLOPE MIN. 1/4" PER FT. TO DRAIN W/ GRAVEL BALLAST AS REQ'D FOR FIRE RATING/ WHEN VISIBLE
- 07.11 GRADE OVER ROOF ASSEMBLY O/ 1-HR RATED ROOF
- 08.24 1-HR RATED SOLID CORE DOOR W/ CLOSER & SMOKE GASKET
- 12.15 BUILT-IN WOOD FLOATING BENCH
- 14.01 FOUR-STORY HYDRAULIC ELEVATOR

jma

John Maniscalco
Architecture

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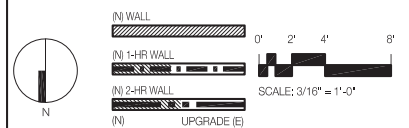
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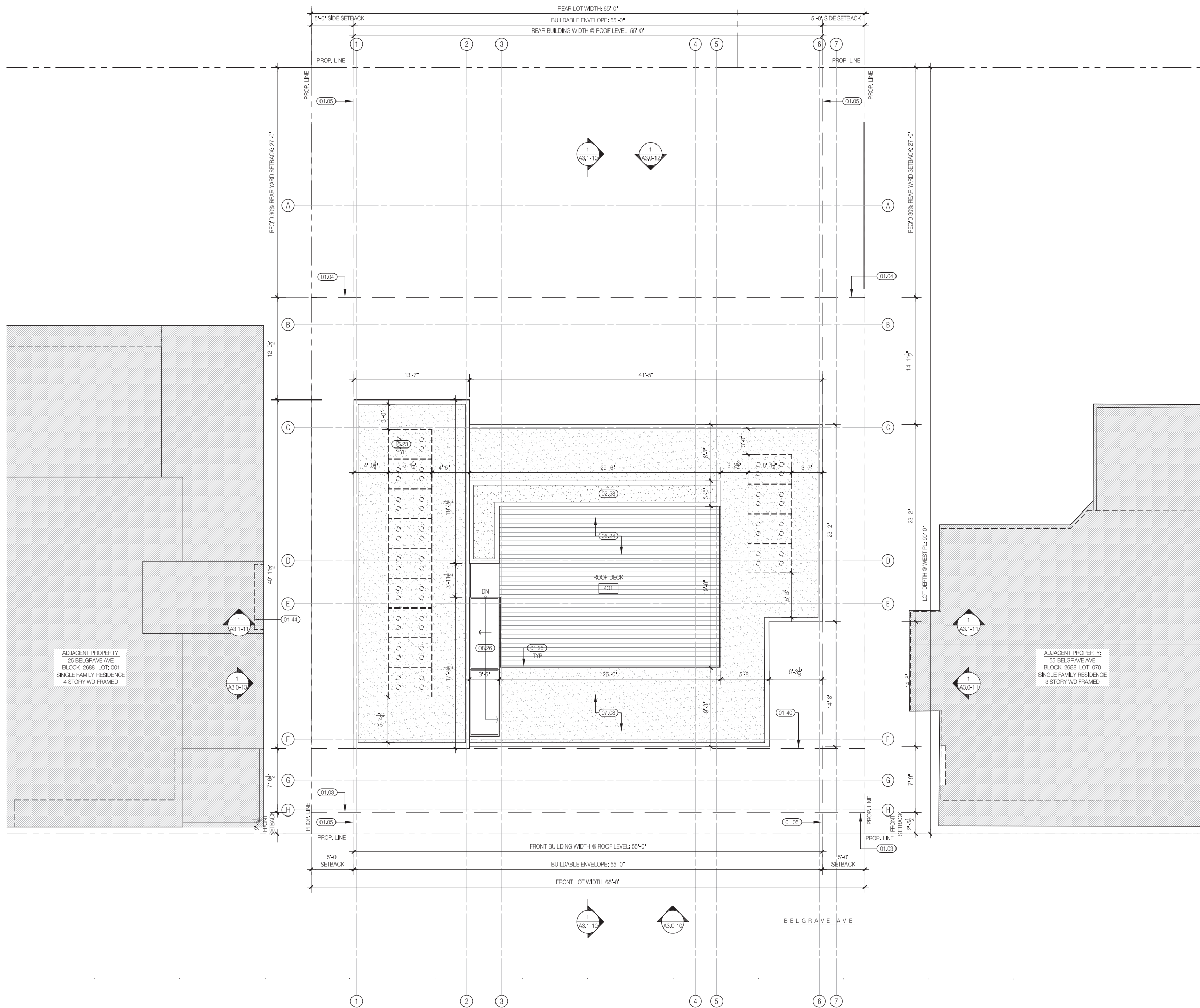
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04.	SITE PERMIT REV. 3	06.07.21

1 PROPOSED THIRD LEVEL FLOOR PLAN
SCALE: 3/16" = 1'-0"



PROPOSED THIRD LEVEL FLOOR PLAN

A2.3-01



GENERAL NOTES

- "TEMP" @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE. SEE ALSO ELEVATIONS
- SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS
- PER CBC R307.2, BATHROOMS WITH BATHING FACILITIES SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE (STONE OR CERAMIC TILE) ON FLOORS AND ON WALLS TO CEILING OR PER BELOW:
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- PER CBC 109.3.8 & 110.3.8.1, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL NOT BE CONCEALED UNTIL INSPECTED AND APPROVED.
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REFERENCED KEYNOTE LEGEND

- 01.03 FRONT SETBACK, SHOWN DASHED
- 01.04 REAR YARD SETBACK, SHOWN DASHED
- 01.05 SIDE YARD SETBACK, SHOWN DASHED
- 01.25 (N) 42" H GUARDRAIL
- 01.44 PERMITTED BUILDING BULK PLANE 10'-0" FROM FRONT PL, SHOWN DASHED
- 01.44 NEIGHBORING WINDOWS, SHOWN DASHED, NO IMPACT ON WINDOW LIGHT/AIR, TYP.
- 02.58 (N) 42" H PLANTER
- 06.24 EXTERIOR WOOD DECKING, IPE OR SIM., SEE SPEC
- 07.08 CLASS 'A' ROOFING (OVER SLOPED COVER BOARD OR SHEATHING ON PIP STRIPS) O' SHEATHING S.S.D. WITH CLOSED CELL SPRAY FOAM INSULATION - SLOPE MIN. 1/4" PER FT. TO DRAIN W/ GRAVEL BALLAST AS REQ'D FOR FIRE RATING/ WHEN VISIBLE
- 08.26 PTD, INSULATED OPERABLE ALUMINUM SKYLIGHT, SLOPED TO DRAIN 1/2" PER FOOT, OR PER MANUF., OPENING POSITION SHOWN DASHED
- 10.23 PHOTOVOLTAIC PANEL ARRAY



John Maniscalco Architecture

415.864.9900
442 Grove Street
San Francisco, CA 94102



Project Address
**35 Belgrave Ave.
San Francisco, CA
94117**

Permit Number
**202011148929
202011148925
2020-010109PRJ**

Issuance
SITE PERMIT REV. 2

Date
05.19.2021

Revision History

No.	Issuance	Date
01.	SITE PERMIT	04.17.20
02.	SITE PERMIT REV. 1	04.19.21
03.	SITE PERMIT REV. 2	05.19.21

BETTER ROOFS ORDINANCE

BETTER ROOFS: LIVING ROOF ALTERNATIVE (PER SFBC §149)
NEW RESIDENTIAL AND NONRESIDENTIAL BUILDINGS SET ASIDE
A "SOLAR READY" PORTION OF THE ROOF EQUAL TO 15% OF THE TOTAL ROOF AREA.

BETTER ROOF REQUIREMENTS OF THE GREEN BUILDING CODE, AND THEREBY FURTHER PROMOTE THE USE OF ROOFTOPS TO INCREASE RENEWABLE ENERGY RESOURCES, STORMWATER MANAGEMENT, AND BIODIVERSITY.

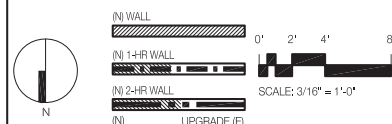
ROOFTOP AND SOLAR ARRAY CALCS

ROOFTOP AREA: 1962 S.F.
ROOF DECK AREA: 506 S.F.
THIRD LEVEL DECK AREA: 118 S.F.

REQUIRED SF FOR ROOFTOP AREA: 204 S.F.
REQUIRED FOR ALL ROOF AREA: 298 S.F.

SOLAR ARRAY S.F.: 246 S.F., 18% > 15% REQUIRED
INTEGRAL PLANTING AT ROOF DECK: 112 S.F. = 56 COMPLIANT S.F.

TOTAL BETTER ROOF COVERAGE: 302 S.F.



1 PROPOSED ROOF LEVEL FLOOR PLAN
SCALE: 3/16" = 1'-0"

**PROPOSED ROOF LEVEL
FLOOR PLAN**

A2.4-01



Project Address
**35 Belgrave Ave.
San Francisco, CA
94117**

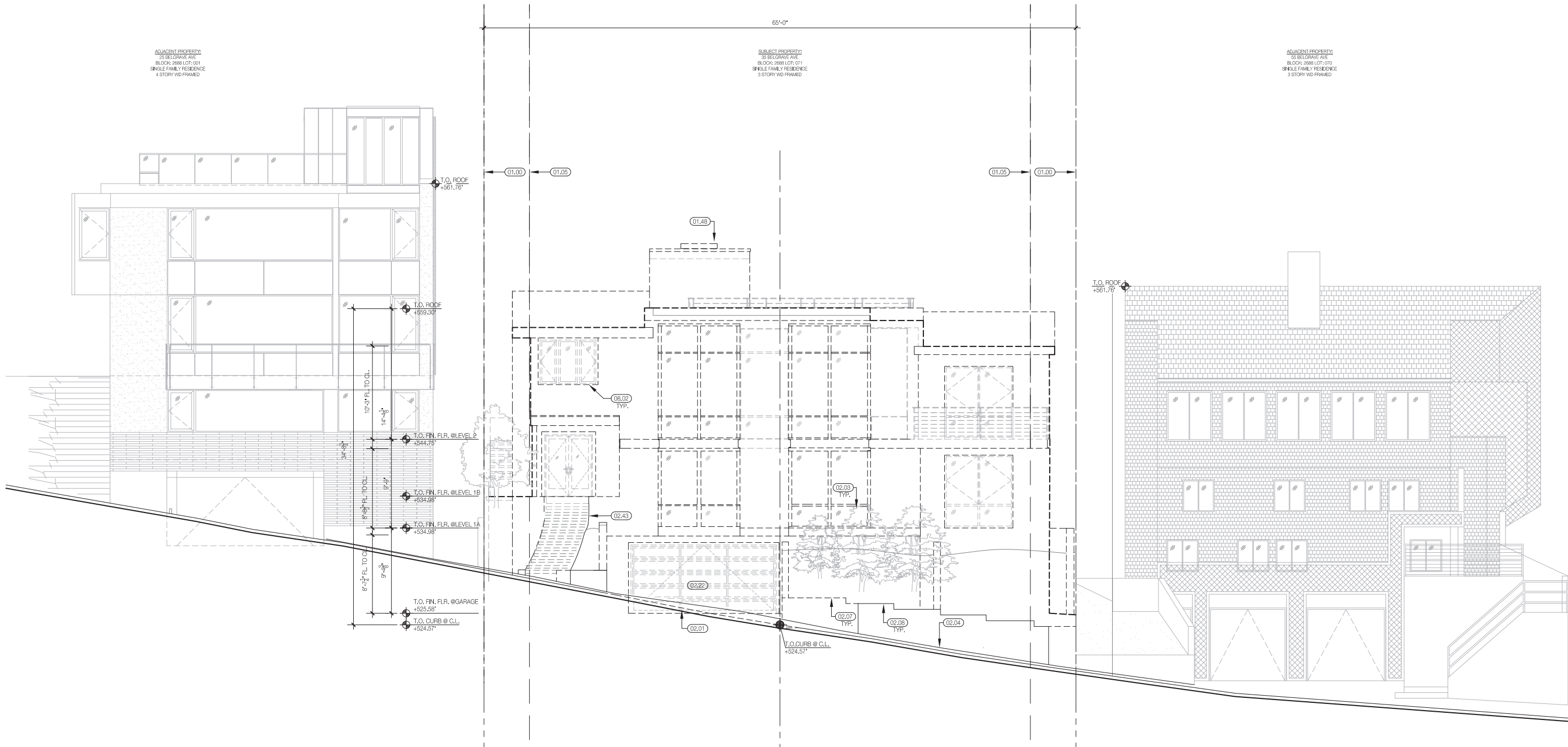
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03.	SITE PERMIT REV. 2	05.19.21



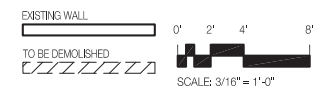
1 EXISTING NORTH (FRONT) ELEVATION - DEMOLITION
SCALE: 3/16" = 1'-0"

GENERAL NOTES

- *TEMP* @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE. SEE ALSO ELEVATIONS.
- SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS.
- PER CBC R307.2, BATHROOMS WITH BATHING FACILITIES SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE (STONE OR CERAMIC TILE) ON FLOORS AND ON WALLS TO CEILING OR PER BELOW:
-SHOWER WALLS TO A MIN. HEIGHT OF 72"
-TUBS AND SHOWER TO A MIN. HEIGHT OF 72"
- PER CBC 108.2.6 & 107.2.7, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM. SEE SHEET A7.5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS.
- PER CBC 109.3.8 & 110.3.8.1, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL NOT BE CONGEALED UNTIL INSPECTED AND APPROVED.
- PER 2304.12.2.6, FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE. PROVIDE IMPERVIOUS FLASHING TO PROTECT STRUCTURAL MEMBERS FROM MOISTURE.

REFERENCED KEYNOTE LEGEND

- 01.00 PROPERTY LINE
- 01.05 SIDE YARD SETBACK, SHOWN DASHED
- 01.48 (E) BLDG. TO BE DEMOLISHED
- 02.01 (E) CURB CUT TO BE REMOVED
- 02.03 (E) STREET TREE TO BE REMOVED & REPLACED IN KIND
- 02.04 (E) SIDEWALK
- 02.07 (E) CONC. LANDSCAPE RETAINING WALL TO BE DEMOD., SHOWN DASHED
- 02.08 (E) CONC. LANDSCAPE RETAINING WALL TO BE REPLACED IN KIND
- 02.22 (E) CONCRETE DRIVEWAY
- 02.43 (E) CONC. EXTERIOR STAIR TO BE REPLACED IN KIND
- 08.02 (E) WINDOWS TO BE DEMOLISHED, TYP.



EXISTING NORTH (FRONT)
ELEVATION - DEMOLITION

A3.0-00



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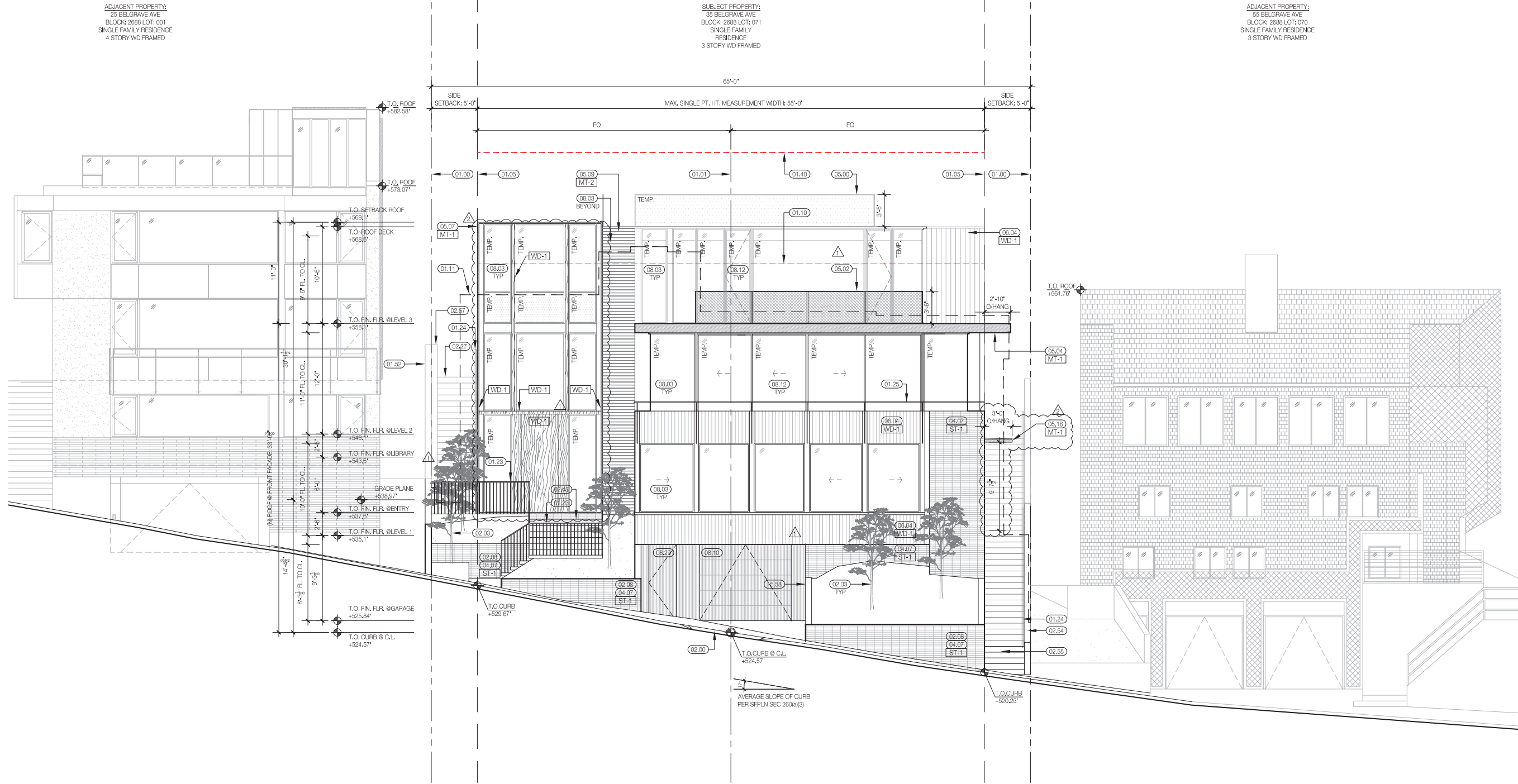
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Revision History

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01.	SITE PERMIT	09.17.20
02.	SITE PERMIT REV. 1	04.19.21
03.	SITE PERMIT REV. 2	05.19.21

**PROPOSED NORTH
(FRONT) ELEVATION**

A3.0-01



1 PROPOSED NORTH (FRONT) ELEVATION
SCALE: 3/16" = 1'-0"

GENERAL NOTES

- *TEMP* @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE. SEE ALSO ELEVATIONS.
- SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS.
- PER CBC R307.2, BATHROOMS WITH BATHING FACILITIES SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE (STONE OR CERAMIC TILE) ON FLOORS AND ON WALLS TO CEILING OR PER BELOW:
-SHOWER WALLS TO A MIN. HEIGHT OF 72"
-TUBS AND SHOWER TO A MIN. HEIGHT OF 72"
- PER CBC 106.2.6 & 107.2.7, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM. SEE SHEET A7.5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS.
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REFERENCED KEYNOTE LEGEND

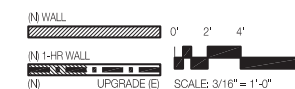
- 01.00 PROPERTY LINE
- 01.01 CENTERLINE OF PROPERTY
- 01.05 SIDE YARD SETBACK, SHOWN DASHED
- 01.10 OUTLINE OF PERMITTED BUILDING ENVELOPE AT 40' ABOVE MIDPOINT OF CURB, SHOWN DASHED
- 01.11 OUTLINE OF (E) BLDG. TO BE DEMOLISHED, SHOWN DASHED
- 01.23 (N) COMBINED 42"H GUARDRAIL W/ 36"H HANDRAIL
- 01.24 (N) 36"H HANDRAIL
- 01.25 (N) 42"H GUARDRAIL
- 01.40 PERMITTED BUILDING BULK PLANE 10'-4" FROM FRONT PL, SHOWN DASHED
- 01.52 NEIGHBORING FENCE
- 02.00 (N) CURB CUT
- 02.03 (E) STREET TREE TO BE REMOVED & REPLACED IN KIND
- 02.08 (E) CONC. LANDSCAPE RETAINING WALL TO BE REPLACED IN KIND
- 02.27 TRADES ACCESS REAR YARD STAIRWAY
- 02.43 (E) CONC. EXTERIOR STAIR TO BE REPLACED IN KIND
- 02.54 (N) RETAINING WALL & 6'-0" FENCE
- 02.55 (N) EXTERIOR STAIRWAY
- 02.57 (N) RETAINING WALL & WOOD PROPERTY LINE FENCE
- 04.07 STONE CLADDING WALL
- 05.02 (N) 42" METAL MESH GUARDRAIL
- 05.04 METAL FASCIA
- 05.07 METAL PANEL
- 05.09 HORIZONTAL METAL SCREEN WITH VERTICAL METAL ATTACHMENT FRAME
- 05.12 3'-4" PTD METAL OVERHANG
- 05.18 3'-4" PTD METAL OVERHANG
- 05.04 VERTICAL STAINED CEMENT & G EXTERIOR WOOD SIDING

MATERIAL LEGEND

- WD-1 WOOD
- MT-1 METAL
- MT-2 METAL
- ST-1 STONE MEDIUM FORMAT

ELEVATION NOTES

- BIRD SAFE GLAZING INFORMATION
1.1. ALL GLAZING AT FRONT AND REAR FACADE TO BE UV COATED STRIPPED BIRD-SAFE GLAZING AT WINDOWS AND DOORS





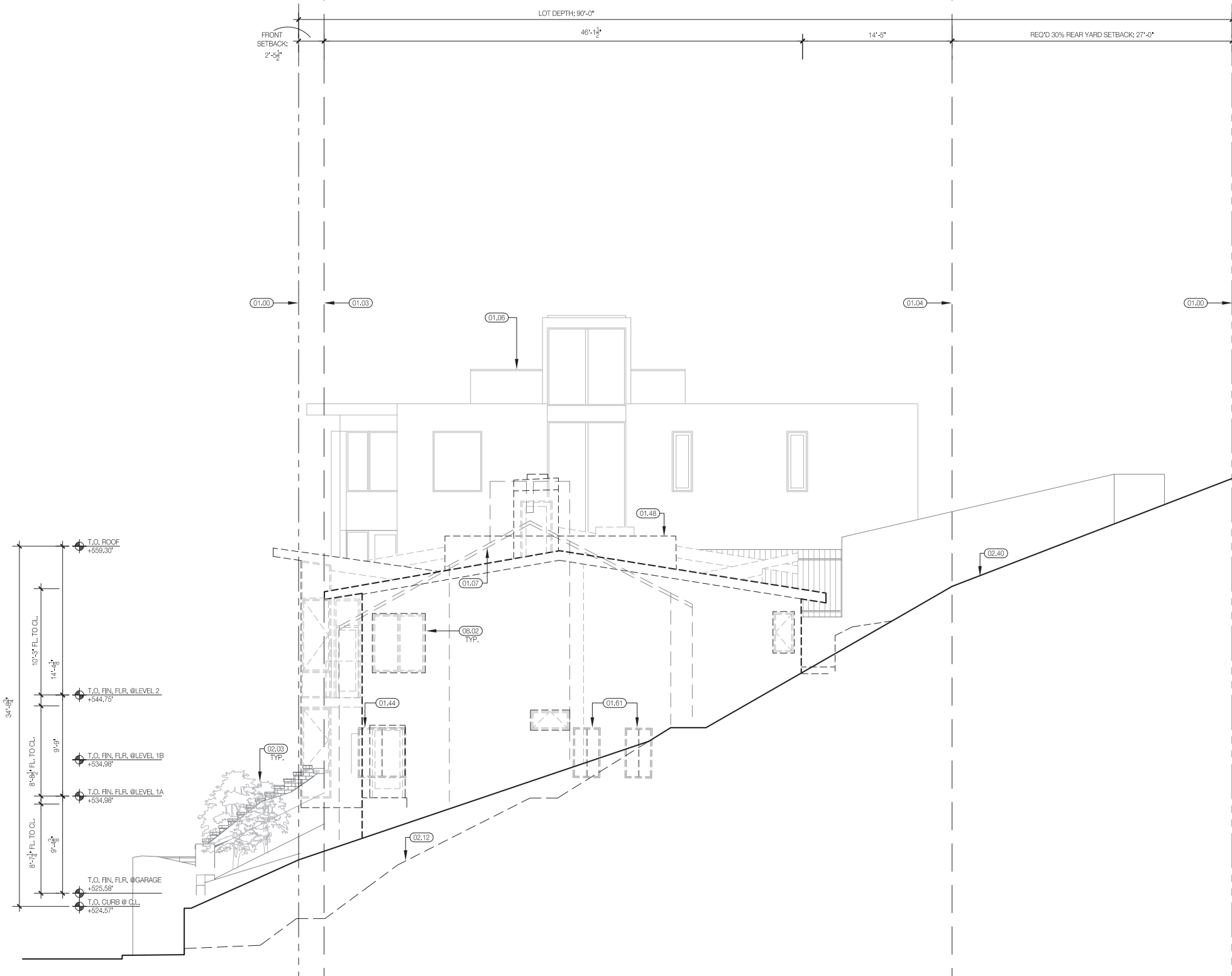
Project Address
**35 Belgrave Ave.
San Francisco, CA
94117**

Permit Number
**202011148929
202011148925
2020-010109PRJ**

Issuance
SITE PERMIT REV. 2

Date
05.19.2021

Revision History		
No.	Issuance	Date
01.	SITE PERMIT	09.17.20
02.	SITE PERMIT REV. 1	04.19.21
03.	SITE PERMIT REV. 2	05.19.21



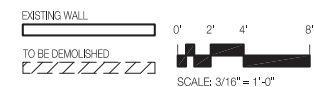
1 EXISTING WEST (SIDE) ELEVATION - DEMOLITION
SCALE: 3/16" = 1'-0"

GENERAL NOTES

- *TEMP* @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE. SEE ALSO ELEVATIONS.
- SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS.
- PER CBC R307.2, BATHROOMS WITH BATHING FACILITIES SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE (STONE OR CERAMIC TILE) ON FLOORS AND ON WALLS TO CEILING OR PER BELOW:
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-TUBS AND SHOWER TO A MIN. HEIGHT OF 72"
- PER CBC 106.2.6 & 107.2.7, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM. SEE SHEET A7.5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS.
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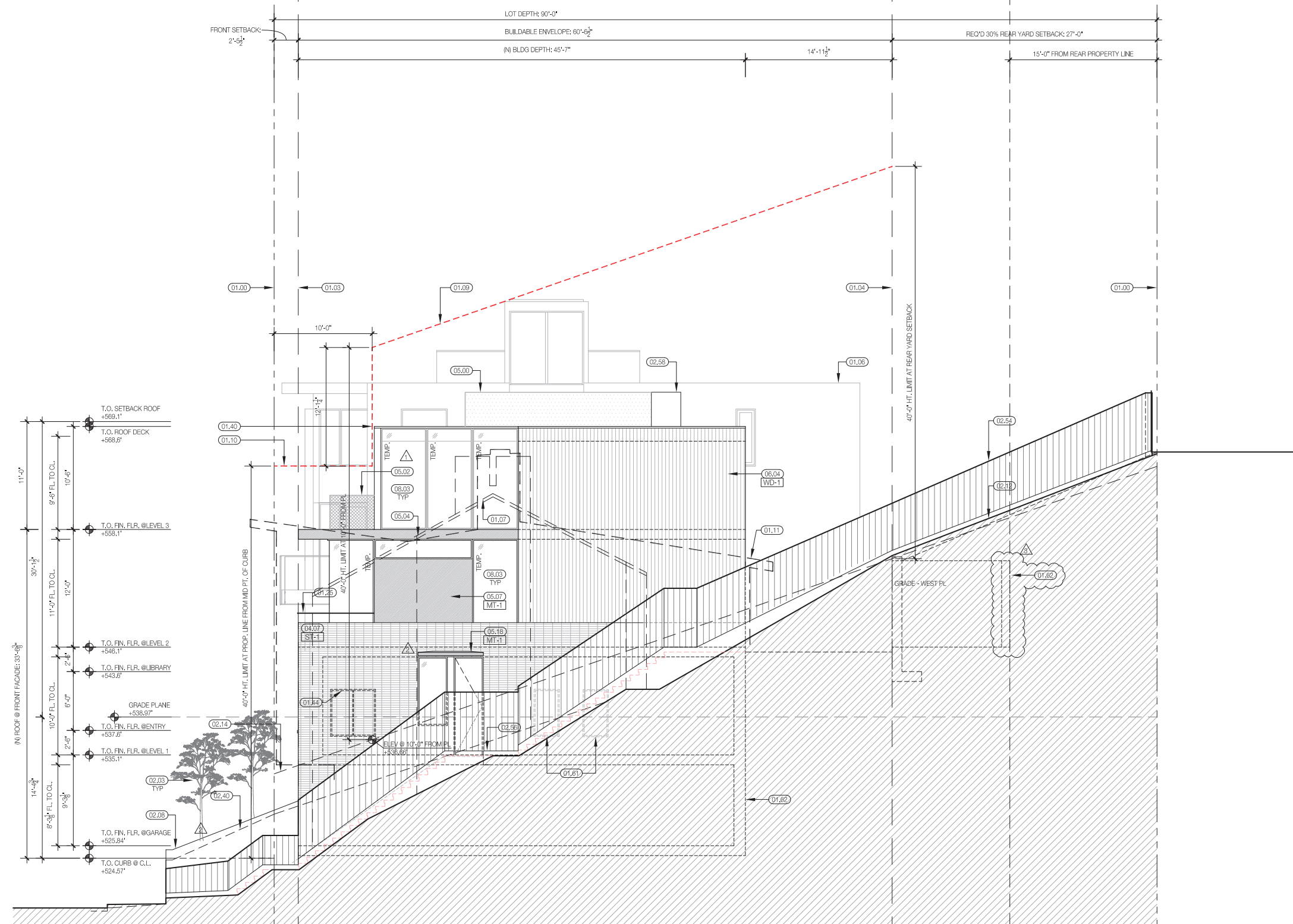
REFERENCED KEYNOTE LEGEND

- 01.00 PROPERTY LINE
- 01.03 FRONT SETBACK, SHOWN DASHED
- 01.04 REAR YARD SETBACK, SHOWN DASHED
- 01.06 OUTLINE OF ADJACENT PROPERTY BEYOND, SHOWN DASHED
- 01.07 OUTLINE OF ADJACENT PROPERTY BEHIND, SHOWN DASHED
- 01.44 NEIGHBORING WINDOWS BEHIND, SHOWN DASHED, NO IMPACT ON WINDOW LIGHT/AIR, TYP.
- 01.48 (E) BLDG. TO BE DEMOLISHED
- 01.61 NEIGHBORING WINDOWS IN WINDOW WELL, SHOWN DASHED, NO IMPACT ON WINDOW LIGHT/AIR, TYP.
- 02.03 (E) STREET TREE TO BE REMOVED & REPLACED IN KIND
- 02.40 (E) GRADE AT WEST PROPERTY LINE ON 35 BELGRAVE SIDE OF PL
- 08.01 (E) WOOD SIDING TO BE DEMOLISHED, TYP.
- 08.02 (E) WINDOWS TO BE DEMOLISHED, TYP.



**EXISTING WEST (SIDE)
ELEVATION - DEMOLITION**

A3.0-10



1 PROPOSED WEST (SIDE) ELEVATION
SCALE: 3/16" = 1'-0"

GENERAL NOTES

- *TEMP* @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE. SEE ALSO ELEVATIONS.
- SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS.
- PER CBC R307.2, BATHROOMS WITH BATHING FACILITIES SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE (STONE OR CERAMIC TILE) ON FLOORS AND ON WALLS TO CEILING OR PER BELOW:
- SHOWER WALLS TO A MIN. HEIGHT OF 72"
- TUBS AND SHOWER TO A MIN. HEIGHT OF 72"
- PER CBC 106.2.6 & 107.2.7, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM. SEE SHEET A7.5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS.
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REFERENCED KEYNOTE LEGEND

- 01.00 PROPERTY LINE
- 01.03 FRONT SETBACK, SHOWN DASHED
- 01.04 REAR YARD SETBACK, SHOWN DASHED
- 01.06 OUTLINE OF ADJACENT PROPERTY BEYOND, SHOWN DASHED
- 01.09 OUTLINE OF PERMITTED BUILDING ENVELOPE AT 40' FOLLOWING AVG. GRADE, SHOWN DASHED
- 01.10 OUTLINE OF PERMITTED BUILDING ENVELOPE AT 40' ABOVE MIDPOINT OF CURB, SHOWN DASHED
- 01.11 OUTLINE OF (E) BLDG. TO BE DEMOLISHED, SHOWN DASHED
- 01.25 IN42" GUARDRAIL
- 01.40 PERMITTED BUILDING BULK PLANE 10'-0" FROM FRONT PL., SHOWN DASHED
- 01.44 NEIGHBORING WINDOWS BEHIND, SHOWN DASHED, NO IMPACT ON WINDOW LIGHT/AIR, TYP.
- 01.61 NEIGHBORING WINDOWS IN WINDOW WELL, SHOWN DASHED, NO IMPACT ON WINDOW LIGHT/AIR, TYP.
- 01.62 DASHED LINE OF PROPOSED WALLS AND FLOORS BEYOND
- 02.03 (E) STREET TREE TO BE REMOVED & REPLACED IN KIND
- 02.08 (E) CONC. LANDSCAPE RETAINING WALL TO BE REPLACED IN KIND
- 02.12 (E) GRADE AT WEST PROPERTY LINE
- 02.14 (E) NATURAL AVERAGE GRADE AT CENTERLINE OF BUILDING WIDTH HEIGHT MEASUREMENT POINT, SHOWN DASHED
- 02.40 (E) GRADE @ WEST PROPERTY LINE ON 35 BELGRAVE SIDE OF PL., SHOWN DASHED
- 02.54 (N) RETAINING WALL & 6'-0" FENCE
- 02.56 (N) RETAINING WALL
- 02.58 (N) PLANTER
- 04.07 STONE CLADDING WALL
- 05.02 (N) 42" METAL MESH GUARDRAIL
- 05.04 METAL FASCIA
- 05.07 METAL PANEL
- 05.18 3'-0" PTD METAL OVERHANG
- 06.04 VERTICAL STAINED CLEAR T & G EXTERIOR WOOD SIDING
- 08.00 1" THICK MIN. SOLID CORE DOOR WITH CLOSER AND SMOKE GASKET (20 MIN RATING)
- 08.03 PTD, INSULATED ALUMINUM WINDOW SYSTEM

MATERIAL LEGEND

- WD-1 WOOD
- WD-2 WOOD
- CS-1 MILLWORK
- ST-1 STONE LARGE FORMAT
- ST-2 STONE MEDIUM FORMAT

Project Address
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94117

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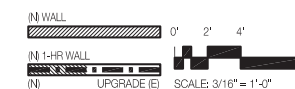
Issuance
SITE PERMIT REV. 3

Date
06.07.2021

Revision History

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01.	SITE PERMIT	09.17.20
02.	SITE PERMIT REV. 1	04.19.21
03.	SITE PERMIT REV. 2	05.19.21
04.	SITE PERMIT REV. 3	06.07.21

PROPOSED WEST (SIDE)
ELEVATION



A3.0-11



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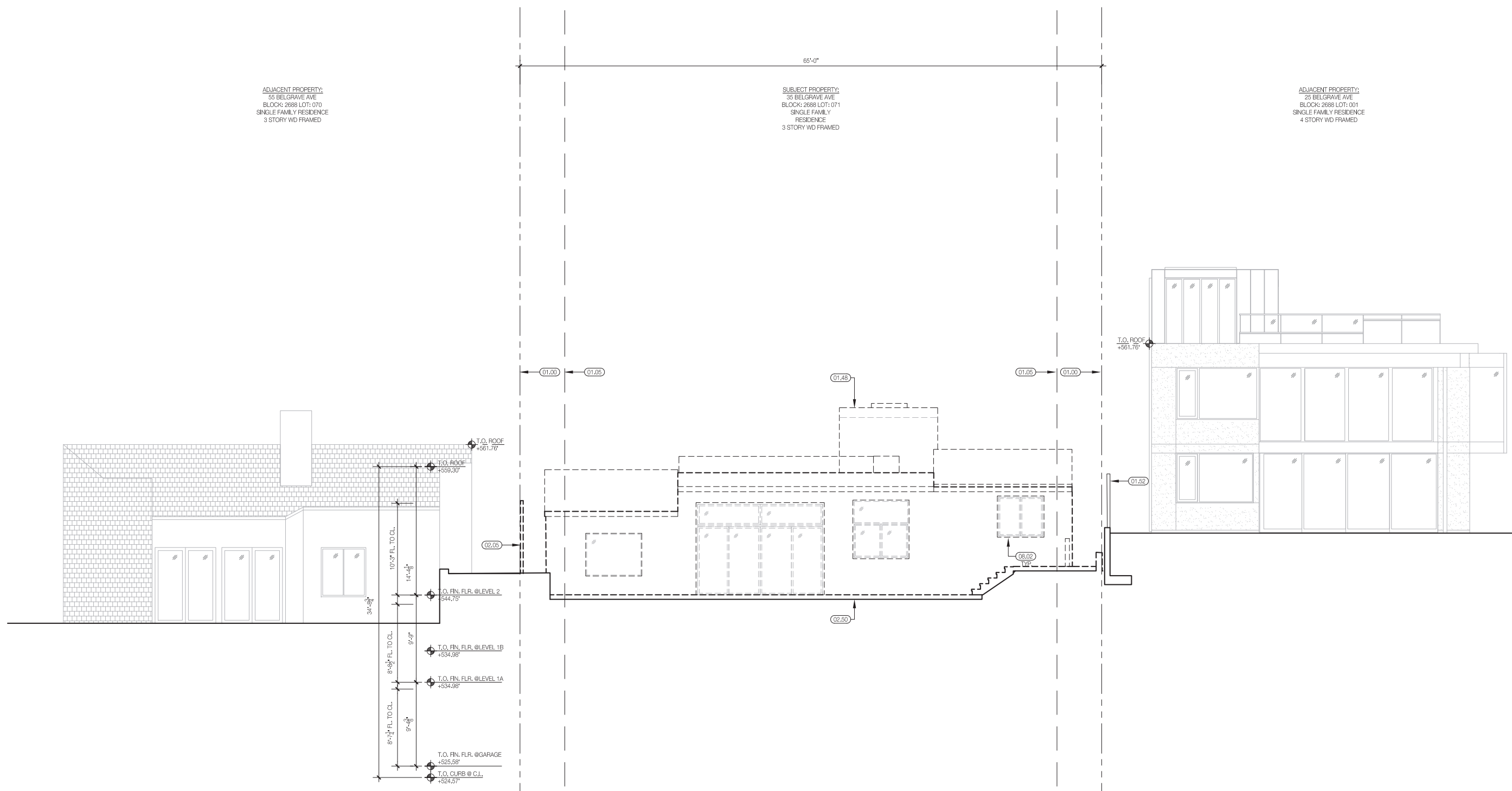
Revision History

No.	Issuance	Date
01.	SITE PERMIT	09.17.20
02.	SITE PERMIT REV. 1	04.19.21
03.	SITE PERMIT REV. 2	05.19.21

ADJACENT PROPERTY:
55 BELGRAVE AVE
BLOCK: 2688 LOT: 070
SINGLE FAMILY RESIDENCE
3 STORY WD FRAMED

SUBJECT PROPERTY:
35 BELGRAVE AVE
BLOCK: 2688 LOT: 071
SINGLE FAMILY
RESIDENCE
3 STORY WD FRAMED

ADJACENT PROPERTY:
25 BELGRAVE AVE
BLOCK: 2688 LOT: 001
SINGLE FAMILY RESIDENCE
4 STORY WD FRAMED



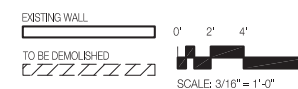
1 EXISTING SOUTH (REAR) ELEVATION - DEMOLITION
SCALE: 3/16" = 1'-0"

GENERAL NOTES

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- SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS
- PER CBC R307.2, BATHROOMS WITH BATHING FACILITIES SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE (STONE OR CERAMIC TILE) ON FLOORS AND ON WALLS TO CEILING OR PER BELOW:
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-TUBS AND SHOWER TO A MIN. HEIGHT OF 72"
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- PER CBC 109.3.8 & 110.3.8.1, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL NOT BE CONGEALED UNTIL INSPECTED AND APPROVED.
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REFERENCED KEYNOTE LEGEND

- 01.00 PROPERTY LINE
- 01.05 SIDE YARD SETBACK, SHOWN DASHED
- 01.48 (E) BLDG. TO BE DEMOLISHED
- 01.52 NEIGHBORING FENCE
- 02.05 (E) FENCE TO BE DEMOLISHED, SHOWN DASHED
- 02.50 (E) GRADE AT BLDG. FACE BEYOND
- 08.02 (E) WINDOWS TO BE DEMOLISHED, TYP.



**EXISTING SOUTH (REAR)
ELEVATION - DEMOLITION**

A3.0-20

ADJACENT PROPERTY:
55 BELGRAVE AVE
BLOCK: 2688 LOT: 07D
SINGLE FAMILY RESIDENCE
3 STORY WD FRAMED

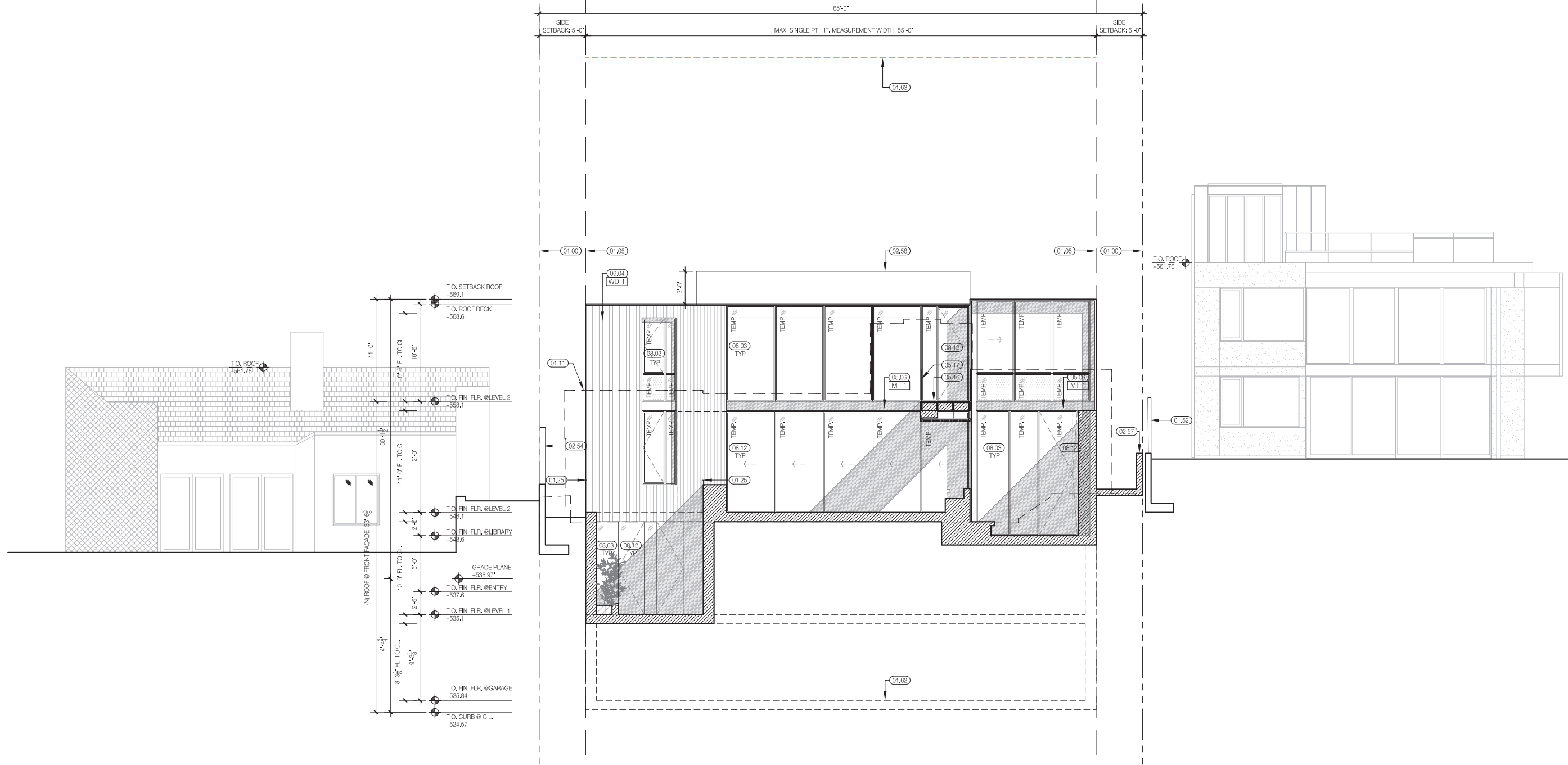
SUBJECT PROPERTY:
35 BELGRAVE AVE
BLOCK: 2688 LOT: 07I
SINGLE FAMILY
RESIDENCE
3 STORY WD FRAMED

ADJACENT PROPERTY:
25 BELGRAVE AVE
BLOCK: 2688 LOT: 001
SINGLE FAMILY RESIDENCE
4 STORY WD FRAMED



John Maniscalco
Architecture

415.864.9900
442 Grove Street
San Francisco, CA 94102



1 PROPOSED SOUTH (REAR) ELEVATION
SCALE: 3/16" = 1'-0"

GENERAL NOTES

- *TEMP* @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE. SEE ALSO ELEVATIONS.
- SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS.
- PER CBC R307.2, BATHROOMS WITH BATHING FACILITIES SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE (STONE OR CERAMIC TILE) ON FLOORS AND ON WALLS TO CEILING OR PER BELOW:
-SHOWER WALLS TO A MIN. HEIGHT OF 72"
-TUBS AND SHOWER TO A MIN. HEIGHT OF 72"
- PER CBC 106.2.6 & 107.2.7, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM. SEE SHEET A7.5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS.
- PER CBC 109.3.8 & 110.3.8.1, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL NOT BE CONCEALED UNTIL INSPECTED AND APPROVED.
- PER 2304.12.2.6, FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE. PROVIDE IMPERVIOUS FLASHING TO PROTECT STRUCTURAL MEMBERS FROM MOISTURE.

REFERENCED KEYNOTE LEGEND

- 01.00 PROPERTY LINE
- 01.05 SIDE YARD SETBACK, SHOWN DASHED
- 01.11 OUTLINE OF (E) BLDG. TO BE DEMOLISHED, SHOWN DASHED
- 01.25 IN42" H GUARDRAIL
- 01.52 NEIGHBORING FENCE
- 01.62 DASHED LINE OF PROPOSED WALLS AND FLOORS BEYOND
- 01.63 BUILDABLE HEIGHT LIMIT, SHOWN DASHED
- 02.54 (N) RETAINING WALL & 8'-0" FENCE
- 02.57 (N) RETAINING WALL & WOOD PROPERTY LINE FENCE
- 02.58 (N) PLANTER
- 05.06 BRAKE METAL WINDOW SPANDREL
- 05.16 MTL WALKWAY BRIDGE
- 05.17 (N) 42" METAL RAIL GUARDRAIL
- 06.04 VERTICAL STAINED CLEAR T & G EXTERIOR WOOD SIDING
- 08.03 PTD. INSULATED ALUMINUM WINDOW SYSTEM
- 08.12 PTD. INSULATED ALUMINUM DOOR SYSTEM

MATERIAL LEGEND

- WD-1 WOOD
- WD-2 WOOD
- CS-1 MILLWORK
- ST-1 STONE LARGE FORMAT
- ST-2 STONE MEDIUM FORMAT

ELEVATION NOTES

- BIRD SAFE GLAZING INFORMATION
 - ALL GLAZING AT FRONT AND REAR FACADE TO BE UV COATED STRIPPED BIRD-SAFE GLAZING AT WINDOWS AND DOORS

Project Address
35 Belgrave Ave.
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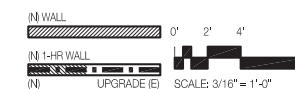
Issuance
SITE PERMIT REV. 2

Date
05.19.2021

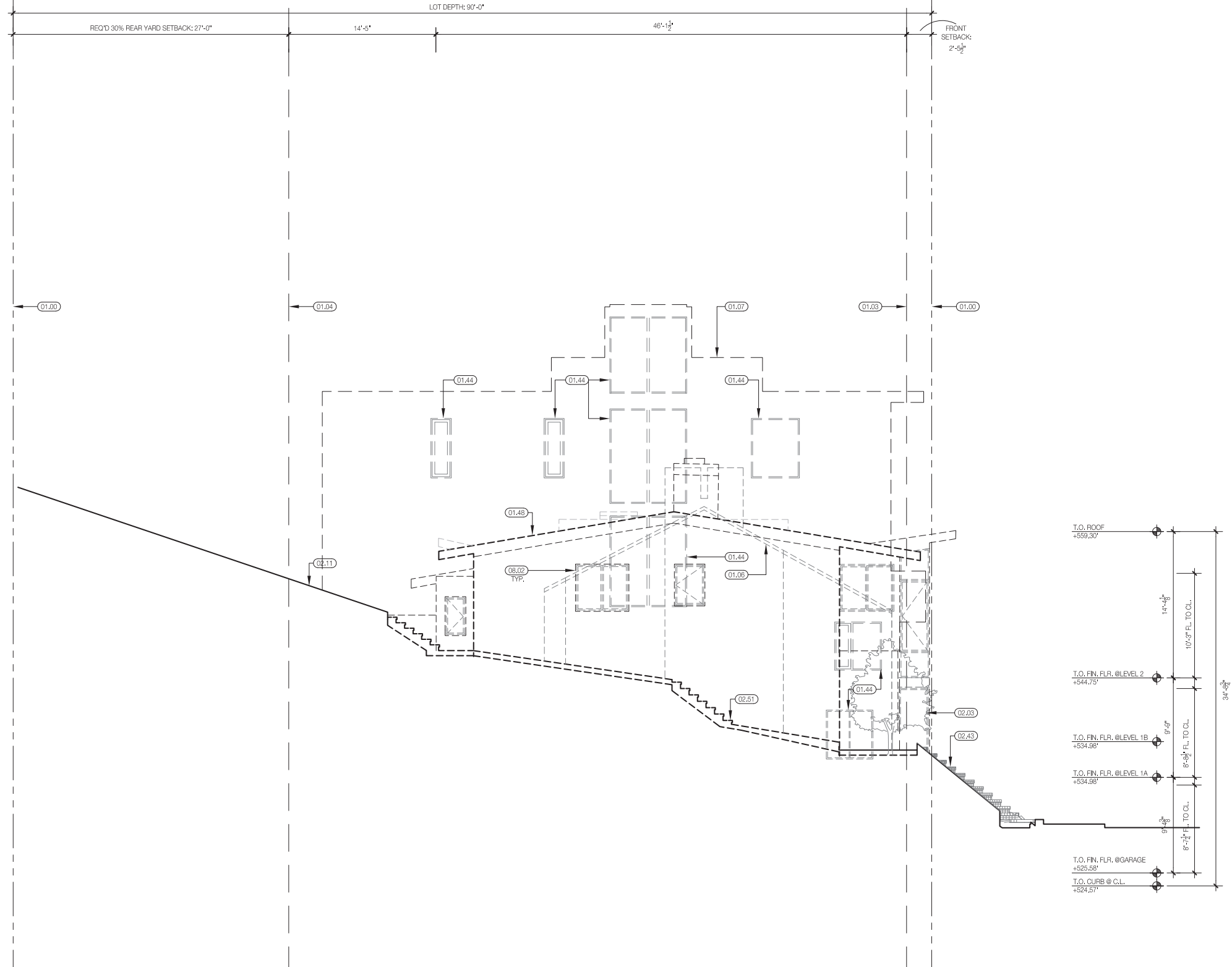
Revision History

No.	Issuance	Date
01.	SITE PERMIT	09.17.20
02.	SITE PERMIT REV. 1	04.19.21
03.	SITE PERMIT REV. 2	05.19.21

PROPOSED SOUTH (REAR) ELEVATION



A3.0-21



1 EXISTING EAST (SIDE) ELEVATION - DEMOLITION
SCALE: 3/16" = 1'-0"

GENERAL NOTES

- *TEMP* @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE. SEE ALSO ELEVATIONS.
- SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS.
- PER CBC R307.2, BATHROOMS WITH BATHING FACILITIES SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE (STONE OR CERAMIC TILE) ON FLOORS AND ON WALLS TO CEILING OR PER BELOW:
-SHOWER WALLS TO A MIN. HEIGHT OF 72"
-TUBS AND SHOWER TO A MIN. HEIGHT OF 72"
- PER CBC 106.2.6 & 107.2.7, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM. SEE SHEET A7.5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS.
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REFERENCED KEYNOTE LEGEND

- 01.00 PROPERTY LINE
- 01.03 FRONT SETBACK, SHOWN DASHED
- 01.04 REAR YARD SETBACK, SHOWN DASHED
- 01.06 OUTLINE OF ADJACENT PROPERTY BEYOND, SHOWN DASHED
- 01.07 OUTLINE OF ADJACENT PROPERTY BEHIND, SHOWN DASHED
- 01.44 NEIGHBORING WINDOWS BEHIND, SHOWN DASHED, NO IMPACT ON WINDOW LIGHT/AIR, TYP.
- 01.48 (E) BLDG. TO BE DEMOLISHED
- 02.03 (E) STREET TREE TO BE REMOVED & REPLACED IN KIND
- 02.11 (E) GRADE AT EAST PROPERTY LINE
- 02.43 (E) CONC. EXTERIOR STAIR TO BE REPLACED IN KIND
- 02.51 (E) STAIR TO BE DEMO'D
- 06.01 (E) WOOD SIDING TO BE DEMOLISHED, TYP.
- 08.02 (E) WINDOWS TO BE DEMOLISHED, TYP.

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01.	SITE PERMIT	09.17.20
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03.	SITE PERMIT REV. 2	05.19.21

**EXISTING EAST (SIDE)
ELEVATIONS - DEMOLITION**



A3.0-30



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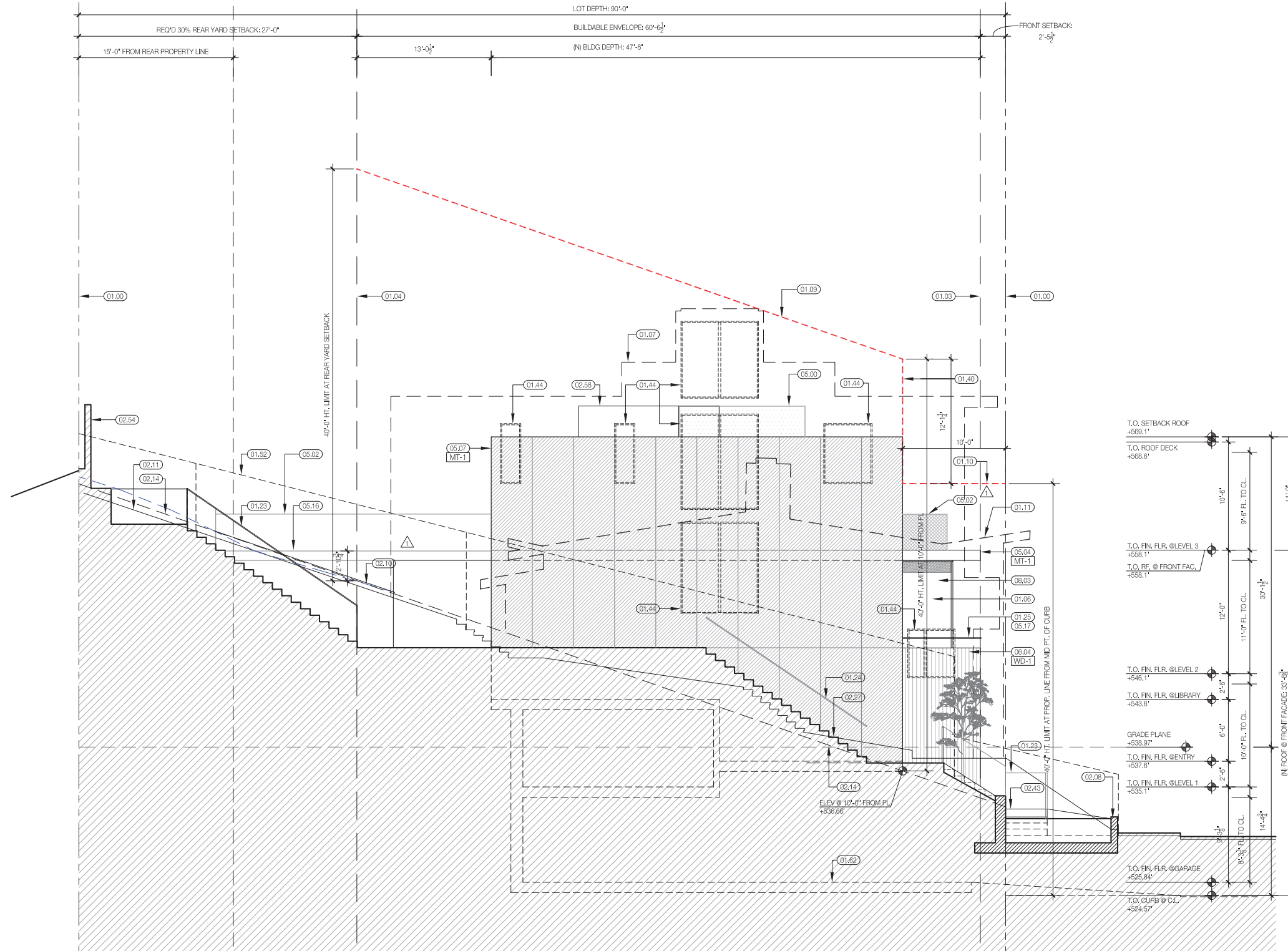
Date
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Revision History

No.	Issuance	Date
01.	SITE PERMIT	09.17.20
02.	SITE PERMIT REV. 1	04.18.21
03.	SITE PERMIT REV. 2	05.19.21

**PROPOSED EAST (SIDE)
ELEVATION**

A3.0-31



T.O. SETBACK ROOF	+569.1'
T.O. ROOF DECK	+568.6'
T.O. FIN. FLR. @ LEVEL 3	+558.1'
T.O. FF. @ FRONT FAC.	+558.1'
T.O. FIN. FLR. @ LEVEL 2	+546.1'
T.O. FIN. FLR. @ LIBRARY	+543.6'
GRADE PLANE	+538.97'
T.O. FIN. FLR. @ ENTRY	+537.6'
T.O. FIN. FLR. @ LEVEL 1	+535.1'
T.O. FIN. FLR. @ GARAGE	+525.24'
T.O. CURB @ C.L.	+524.57'

1 PROPOSED EAST (SIDE) ELEVATION
SCALE: 3/16" = 1'-0"

GENERAL NOTES

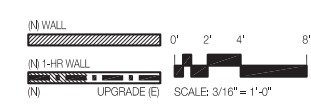
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- SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS
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-TUBS AND SHOWER TO A MIN. HEIGHT OF 72"
- PER CBC 106.2.6 & 107.2.7, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM. SEE SHEET A7.5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS.
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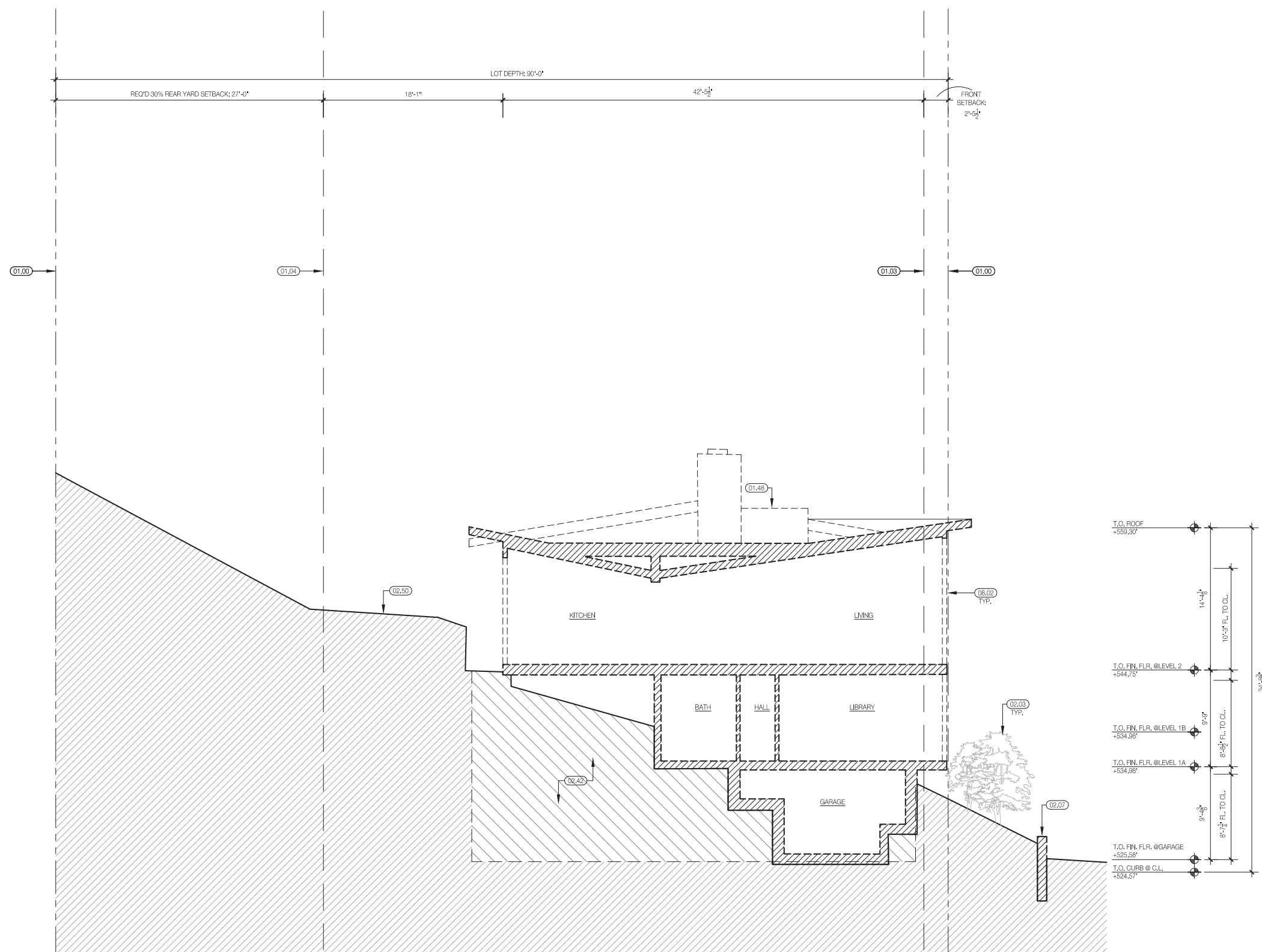
REFERENCED KEYNOTE LEGEND

- 01.00 PROPERTY LINE
- 01.03 FRONT SETBACK, SHOWN DASHED
- 01.04 REAR YARD SETBACK, SHOWN DASHED
- 01.06 OUTLINE OF ADJACENT PROPERTY BEYOND, SHOWN DASHED
- 01.09 OUTLINE OF PERMITTED BUILDING ENVELOPE AT 40' FOLLOWING AVG. GRADE, SHOWN DASHED
- 01.10 OUTLINE OF PERMITTED BUILDING ENVELOPE AT 40' ABOVE MIDPOINT OF CURB, SHOWN DASHED
- 01.11 OUTLINE OF (E) BLDG. TO BE DEMOLISHED, SHOWN DASHED
- 01.23 (N) COMBINED 42" GUARDRAIL W/ 36" H HANDRAIL
- 01.24 (N) 36" H HANDRAIL
- 01.25 (N) 42" H GUARDRAIL
- 01.40 PERMITTED BUILDING BULK PLANE 10'-0" FROM FRONT PL, SHOWN DASHED
- 01.44 NEIGHBORING WINDOWS BEHIND, SHOWN DASHED, NO IMPACT ON WINDOW LIGHT/AIR, TYP.
- 01.52 T.O. NEIGHBORING FENCE AND RETAINING WALL BEHIND, SHOWN DASHED
- 01.62 DASHED LINE OF PROPOSED WALLS AND FLOORS BEYOND
- 02.08 (E) CONC. LANDSCAPE RETAINING WALL TO BE REPLACED IN KIND
- 02.10 (E) GRADE, SHOWN DASHED
- 02.11 (E) GRADE AT EAST PROPERTY LINE
- 02.14 (E) NATURAL AVERAGE GRADE AT CENTERLINE OF BUILDING WIDTH HEIGHT MEASUREMENT POINT, SHOWN DASHED
- 02.27 TRADES ACCESS REAR YARD STAIRWAY
- 02.43 (E) CONC. EXTERIOR STAIR TO BE REPLACED IN KIND
- 02.54 (N) RETAINING WALL & 6'-0" FENCE
- 02.58 (N) PLANTER
- 05.02 (N) 42" METAL MESH GUARDRAIL
- 05.04 METAL FASCIA
- 05.07 METAL PANEL
- 05.16 MTL. WALKWAY/ BRIDGE
- 08.04 VERTICAL STAINED CLEAR T & G EXTERIOR WOOD SIDING
- 08.03 PTD. INSULATED ALUMINUM WINDOW SYSTEM

MATERIAL LEGEND

- WD-1 WOOD
- WD-2 WOOD
- CS-1 MILLWORK
- ST-1 STONE LARGE FORMAT
- ST-2 STONE MEDIUM FORMAT





1 EXISTING LONGITUDINAL SECTION - DEMOLITION
SCALE: 3/16" = 1'-0"

GENERAL NOTES

- *TEMP* @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE. SEE ALSO ELEVATIONS
- SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS
- PER CBC R307.2, BATHROOMS WITH BATHING FACILITIES SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE (STONE OR CERAMIC TILE) ON FLOORS AND ON WALLS TO CEILING OR PER BELOW:
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REFERENCED KEYNOTE LEGEND

- 01.00 PROPERTY LINE
- 01.03 FRONT SETBACK, SHOWN DASHED
- 01.04 REAR YARD SETBACK, SHOWN DASHED
- 01.48 (E) BLDG. TO BE DEMOLISHED
- 02.03 (E) STREET TREE TO BE REMOVED & REPLACED IN KIND
- 02.07 (E) CONC. LANDSCAPE RETAINING WALL TO BE DEMO'D, SHOWN DASHED
- 02.42 AREA OF PROPOSED EXCAVATION
- 02.50 (E) GRADE AT BLDG. FACE BEYOND
- 08.01 (E) WOOD SIDING TO BE DEMOLISHED, TYP.
- 08.02 (E) WINDOWS TO BE DEMOLISHED, TYP.

Project Address
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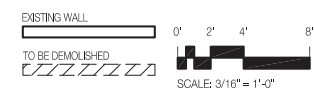
Issuance
SITE PERMIT REV. 2

Date
05.19.2021

Revision History

No.	Issuance	Date
01.	SITE PERMIT	09.17.20
02.	SITE PERMIT REV. 1	04.19.21
03.	SITE PERMIT REV. 2	05.19.21

**EXISTING LONGITUDINAL
SECTION - DEMOLITION**



A3.1-00



Project Address
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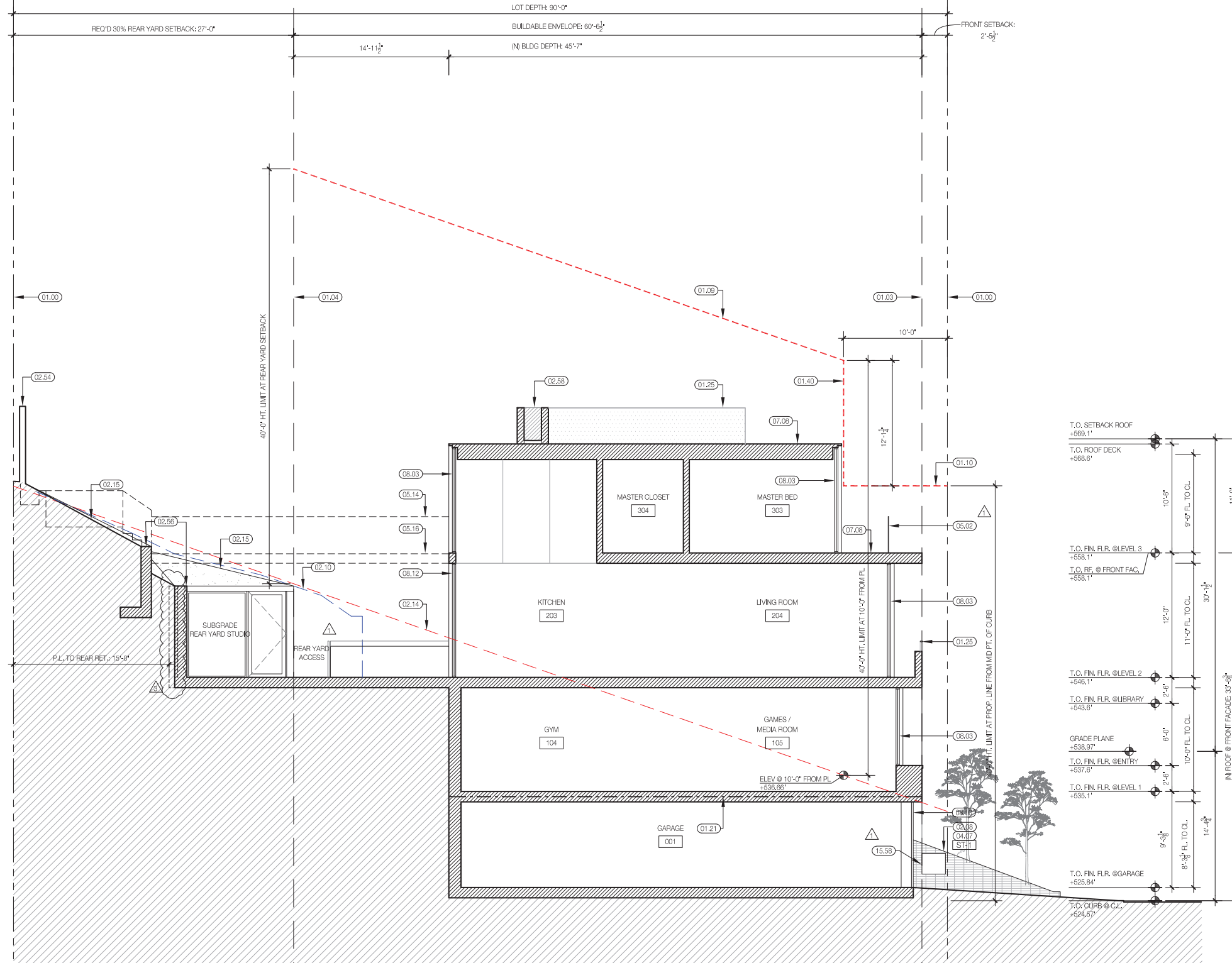
Date
06.07.2021

Revision History

No.	Issuance	Date
01.	SITE PERMIT	09.17.20
02.	SITE PERMIT REV. 1	04.19.21
03.	SITE PERMIT REV. 2	05.19.21
04.	SITE PERMIT REV. 3	06.07.21

**PROPOSED LONGITUDINAL
BUILDING SECTION**

A3.1-01



1 PROPOSED LONGITUDINAL BUILDING SECTION
SCALE: 3/16" = 1'-0"

GENERAL NOTES

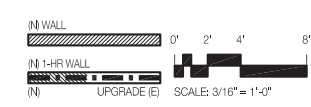
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- SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS
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-SHOWER WALLS TO A MIN. HEIGHT OF 72"
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- PER CBC 106.2.6 & 107.2.7, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM. SEE SHEET A7.5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS.
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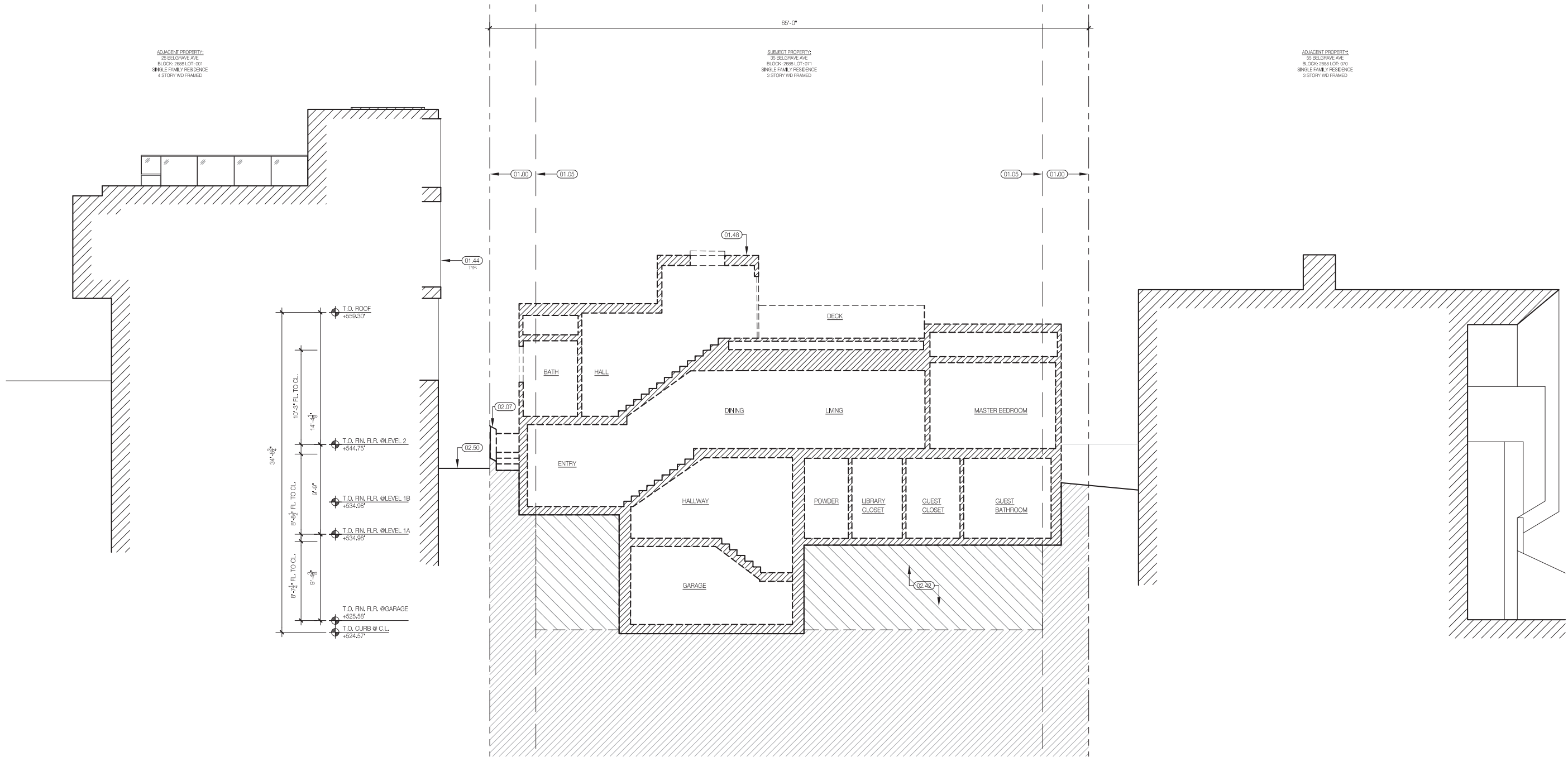
REFERENCED KEYNOTE LEGEND

- 01.00 PROPERTY LINE
- 01.03 FRONT SETBACK, SHOWN DASHED
- 01.04 REAR YARD SETBACK, SHOWN DASHED
- 01.09 OUTLINE OF PERMITTED BUILDING ENVELOPE AT 40'H FOLLOWING AVG. GRADE, SHOWN DASHED
- 01.10 OUTLINE OF PERMITTED BUILDING ENVELOPE AT 40' ABOVE MIDPOINT OF CURB, SHOWN DASHED
- 01.21 1-HR RATED CONST. AT CEILING & WALLS REQ. SEPARATION
- 01.23 (N) COMBINED 42"H GUARDRAIL W/ 36"H HANDRAIL
- 01.24 (E) 36"H HANDRAIL
- 01.25 (N) 42"H GUARDRAIL
- 01.40 PERMITTED BUILDING BULK PLANE 10'-0" FROM FRONT P.L. SHOWN DASHED
- 01.44 NEIGHBORING WINDOWS BEHIND, SHOWN DASHED, NO IMPACT ON WINDOW LIGHT/AIR, TYP.
- 02.08 (E) CONC. LANDSCAPE RETAINING WALL TO BE REPLACED IN KIND
- 02.10 (E) GRADE, SHOWN DASHED
- 02.14 (E) NATURAL AVERAGE GRADE AT CENTERLINE OF BUILDING WIDTH HEIGHT MEASUREMENT POINT, SHOWN DASHED
- 02.15 PROPOSED GRADE
- 02.54 (N) PROPERTY LINE RETAINING WALL & 6'-0" FENCE
- 02.56 (N) RETAINING WALL
- 02.58 (N) PLANTER
- 04.07 STONE CLADDING WALL
- 05.02 (N) 42" METAL MESH GUARDRAIL
- 05.14 (N) 42" METAL MESH GUARDRAIL W/ 36" STAINLESS STEEL HANDRAIL
- 05.16 MTL. WALKWAY/ BRIDGE
- 08.03 PTD. INSULATED ALUMINUM WINDOW SYSTEM
- 08.10 PTD. METAL FLUSH MOUNT OVERHEAD GARAGE DOOR
- 08.12 PTD. INSULATED ALUMINUM DOOR SYSTEM
- 08.28 PTD. INSULATED ALUMINUM SKYLIGHT BEYOND
- 15.58 (N) UTILITIES CABINET ON WEST FACE OF PLANTER, PLANTING TO CONCEAL ABOVE

MATERIAL LEGEND

- WD-1 WOOD
- WD-2 WOOD
- CS-1 MILLWORK
- ST-1 STONE LARGE FORMAT
- ST-2 STONE MEDIUM FORMAT





1 EXISTING LATERAL SECTION - DEMOLITION
SCALE: 3/16" = 1'-0"

GENERAL NOTES

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- 01.05 SIDE YARD SETBACK, SHOWN DASHED
- 01.44 NEIGHBORING WINDOWS BEHIND, SHOWN DASHED, NO IMPACT ON WINDOW LIGHT/AIR, TYP.
- 01.48 (E) BLDG. TO BE DEMOLISHED
- 02.07 (E) CONC. LANDSCAPE RETAINING WALL TO BE DEMOD, SHOWN DASHED
- 02.42 AREA OF PROPOSED EXCAVATION
- 02.50 (E) GRADE AT BLDG. FACE BEYOND

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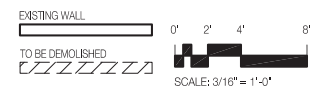
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03.	SITE PERMIT REV. 2	05.19.21

**EXISTING LATERAL
SECTION - DEMOLITION**



A3.1-10



Project Address
35 Belgrave Ave.
San Francisco, CA
94117

Permit Number
202011148929
202011148925
2020-010109PRJ

Issuance
SITE PERMIT REV. 2

Date
05.19.2021

Revision History

No.	Issuance	Date
01.	SITE PERMIT	09.17.20
02.	SITE PERMIT REV. 1	04.19.21
03.	SITE PERMIT REV. 2	05.19.21

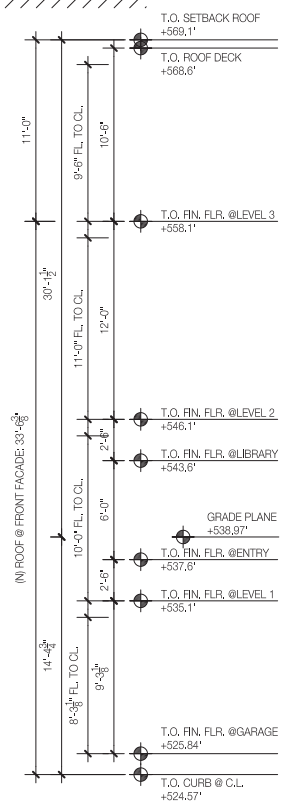
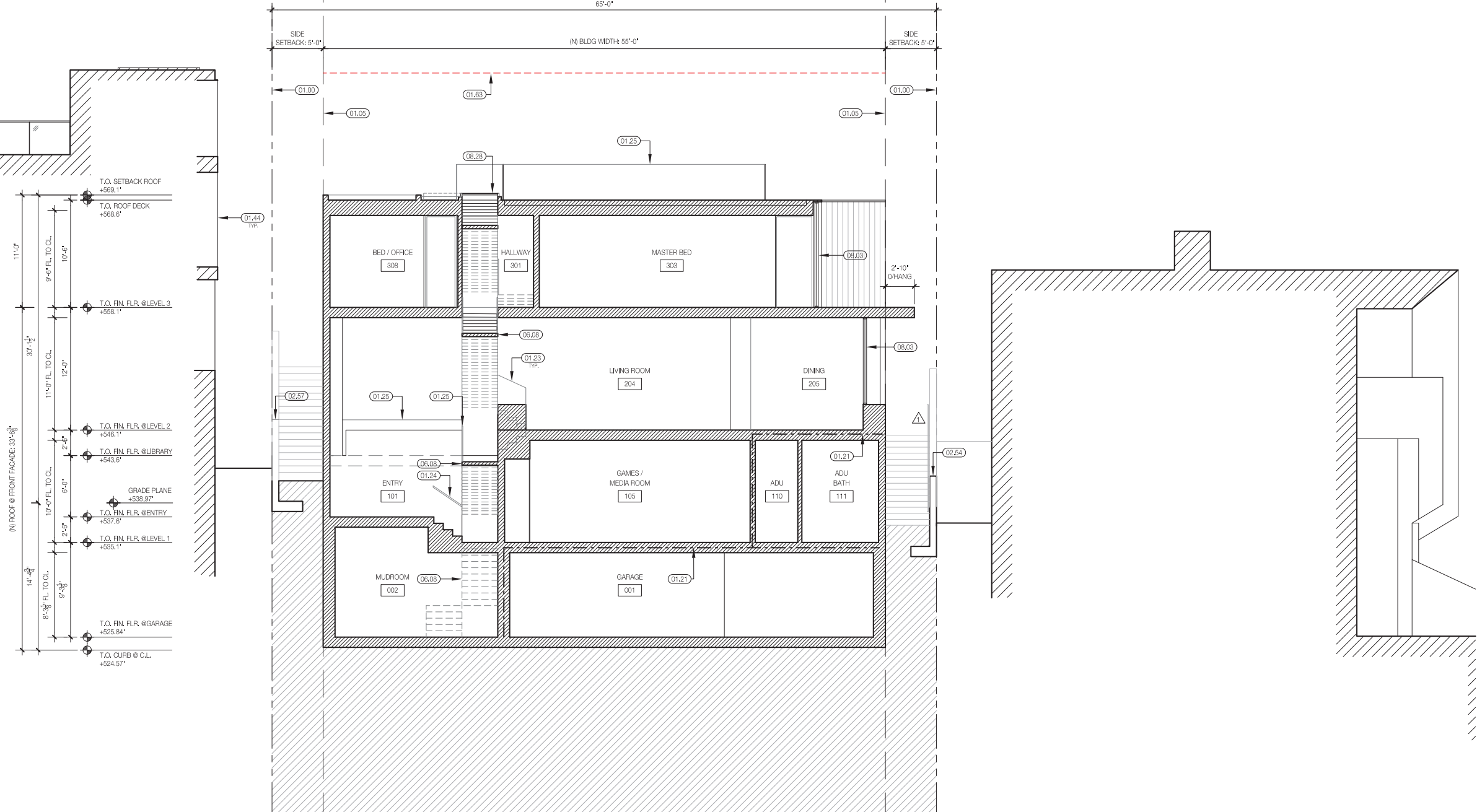
**PROPOSED LATERAL
BUILDING SECTION**

A3.1-11

ADJACENT PROPERTY:
25 BELGRAVE AVE
BLOCK: 2688 LOT: 001
SINGLE FAMILY RESIDENCE
4 STORY WD FRAMED

SUBJECT PROPERTY:
35 BELGRAVE AVE
BLOCK: 2688 LOT: 071
SINGLE FAMILY
RESIDENCE
3 STORY WD FRAMED

ADJACENT PROPERTY:
55 BELGRAVE AVE
BLOCK: 2688 LOT: 070
SINGLE FAMILY RESIDENCE
3 STORY WD FRAMED



1 PROPOSED LATERAL BUILDING SECTION
SCALE: 3/16" = 1'-0"

GENERAL NOTES

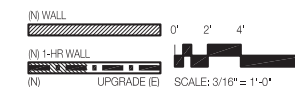
- *TEMP* @ WINDOW SYMBOLS INDICATES TEMPERED GLASS PER CODE. SEE ALSO ELEVATIONS
- SEE A7.3 FOR TYPICAL WALL TYPES AND DETAILS
- PER CBC 307.2, BATHROOMS WITH BATHING FACILITIES SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE (STONE OR CERAMIC TILE) ON FLOORS AND ON WALLS TO CEILING OR PER BELOW:
-SHOWER WALLS TO A MIN. HEIGHT OF 72"
-TUBS AND SHOWER TO A MIN. HEIGHT OF 72"
- PER CBC 106.2.6 & 107.2.7, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM. SEE SHEET A7.5 FOR MANUFACTURER'S TYPICAL INSTALLATION INSTRUCTIONS.
- PER CBC 109.3.8 & 110.3.8.1, WHERE THE SCOPE OF WORK INVOLVES A BALCONY OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL NOT BE CONGEALED UNTIL INSPECTED AND APPROVED.
- PER 2304.12.2.6, FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE. PROVIDE IMPERVIOUS FLASHING TO PROTECT STRUCTURAL MEMBERS FROM MOISTURE.

REFERENCED KEYNOTE LEGEND

- 01.00 PROPERTY LINE
- 01.05 SIDE YARD SETBACK, SHOWN DASHED
- 01.21 1+R RATED CONST. AT CEILING & WALLS REQ. SEPARATION
- 01.23 (N) COMBINED 42"H GUARDRAIL, W/ 36"H HANDRAIL
- 01.24 (N) 36"H HANDRAIL
- 01.25 (N) 42"H GUARDRAIL
- 01.44 NEIGHBORING WINDOWS BEHIND, SHOWN DASHED, NO IMPACT ON WINDOW LIGHT/AIR, TYP.
- 01.63 BUILDABLE HEIGHT LIMIT, SHOWN DASHED
- 02.54 (N) RETAINING WALL & 8'-0" FENCE
- 02.57 (N) RETAINING WALL & WOOD PROPERTY LINE FENCE
- 06.08 WOOD STAIR TREAD & RISER, SEE FINISH SPEC
- 08.03 PTD. INSULATED ALUMINUM WINDOW SYSTEM
- 08.28 PTD. INSULATED ALUMINUM SKYLIGHT BEYOND

MATERIAL LEGEND

- WD-1 WOOD
- WD-2 WOOD
- CS-1 MILLWORK
- ST-1 STONE LARGE FORMAT
- ST-2 STONE MEDIUM FORMAT





CEQA Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
35 Belgrave Ave-HC		2688071
Case No.		Permit No.
2020-010109ENV		201312275170
<input type="checkbox"/> Addition/ Alteration	<input checked="" type="checkbox"/> Demolition (requires HRE for Category B Building)	<input checked="" type="checkbox"/> New Construction
<p>Project description for Planning Department approval. The project proposes the demolition of the existing two-story over basement, single-family residence, and the construction of a new three-story over basement, single-family residence with an accessory dwelling unit at the ground floor. The project would result in approximately 1,465 cubic yards of soil disturbance.</p>		

STEP 1: EXEMPTION TYPE

The project has been determined to be exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Other _____
<input type="checkbox"/>	Common Sense Exemption (CEQA Guidelines section 15061(b)(3)). It can be seen with certainty that there is no possibility of a significant effect on the environment. FOR ENVIRONMENTAL PLANNING USE ONLY

STEP 2: ENVIRONMENTAL SCREENING ASSESSMENT

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g. use of diesel construction equipment, backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to <i>The Environmental Information tab on the San Francisco Property Information Map</i>)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?</p> <p>Note that a categorical exemption shall not be issued for a project located on the Cortese List if box is checked, note below whether the applicant has enrolled in or received a waiver from the San Francisco Department of Public Health (DPH) Maher program, or if Environmental Planning staff has determined that hazardous material effects would be less than significant. (refer to <i>The Environmental Information tab on the San Francisco Property Information Map</i>)</p>
<input type="checkbox"/>	<p>Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input checked="" type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? If yes, archeology review is required.</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to <i>The Environmental Information tab on the San Francisco Property Information Map</i>) If box is checked, Environmental Planning must issue the exemption.</p>
<input checked="" type="checkbox"/>	<p>Average Slope of Parcel = or > 25%, or site is in Edgehill Slope Protection Area or Northwest Mt. Sutro Slope Protection Area: Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, or (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area? (refer to <i>The Environmental Planning tab on the San Francisco Property Information Map</i>) If box is checked, a geotechnical report is likely required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic Hazard: <input type="checkbox"/> Landslide or <input type="checkbox"/> Liquefaction Hazard Zone:</p> <p>Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area, or (4) grading performed at a site in the landslide hazard zone? (refer to <i>The Environmental tab on the San Francisco Property Information Map</i>) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<p>Comments and Planner Signature (optional): Don Lewis</p> <p>PLEASE SEE ATTACHED</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input checked="" type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Reclassification of property status. (Attach HRER Part I) <input type="checkbox"/> Reclassify to Category A a. Per HRER b. Other (specify): <input type="checkbox"/> Reclassify to Category C (No further historic review)
<input type="checkbox"/>	2. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	3. Interior alterations to publicly accessible spaces that do not remove, alter, or obscure character defining features.
<input type="checkbox"/>	4. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	5. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.

<input type="checkbox"/>	6. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	7. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	8. Work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties (Analysis required)</i> :
<input type="checkbox"/>	9. Work compatible with a historic district (Analysis required):
<input type="checkbox"/>	10. Work that would not materially impair a historic resource (Attach HRER Part II).
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input type="checkbox"/>	Project can proceed with exemption review. The project has been reviewed by the Preservation Planner and can proceed with exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature:	

**STEP 6: EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input checked="" type="checkbox"/>	No further environmental review is required. The project is exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Planning Commission Hearing	Signature: Don Lewis 06/08/2021
<p>Once signed or stamped and dated, this document constitutes a n exemption pursuant to CEQA Guidelines and Chapter 31of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination to the Board of Supervisors can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.</p>		

Step 2: Environmental Screening Comments

Archeological Resources: The department's staff archeologist conducted preliminary archeological review on February 18, 2021 and determined that no CEQA-significant archeological resources are expected within project-affected soils.

Geology and Soils: A preliminary geotechnical report was prepared by Rollo & Ridley (dated 9/24/2020). The project's structural drawings would be reviewed by the building department, where it would be determined if further geotechnical review and technical reports are required.

Noise: The project would use typical construction equipment that would be regulated by Article 29 of the Police Code (section 2907, Construction Equipment). No impact pile driving or nighttime construction is required. Construction vibration would not be anticipated to affect adjacent buildings. The proposed project would not generate sufficient vehicle trips to noticeably increase ambient noise levels, and the project's fixed noise sources, such as heating, ventilation, and air conditioning systems, would be subject to noise limits in Article 29 of the Police Code (section 2909, Noise Limits).

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

MODIFIED PROJECT DESCRIPTION

Modified Project Description:

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed to the Environmental Review Officer within 10 days of posting of this determination.	
Planner Name:	Date:

Land Use Information

Project Address: 35 Belgrave Ave
Record No.: 2020-010109CUA

	EXISTING	PROPOSED	NET NEW
GROSS SQUARE FOOTAGE (GSF)			
Parking GSF	670	891	221
Residential GSF	4,207	6,484	2,277
Retail/Commercial GSF	0	0	0
Office GSF	0	0	0
Industrial/PDR GSF <i>Production, Distribution, & Repair</i>	0	0	0
Medical GSF	0	0	0
Visitor GSF	0	0	0
CIE GSF	0	0	0
Usable Open Space	2,280	2,762	482
Public Open Space	0	0	0
	EXISTING	NET NEW	TOTALS
PROJECT FEATURES (Units or Amounts)			
Dwelling Units - Affordable	0	0	0
Dwelling Units - Market Rate	1	1	2
Dwelling Units - Total	1	1	2
Hotel Rooms	0	0	0
Number of Buildings	1	0	1
Number of Stories	2 over basement	1	3 over basement
Parking Spaces	1	2	3
Loading Spaces	0	0	0
Bicycle Spaces	0	2	2
Car Share Spaces	0	0	0

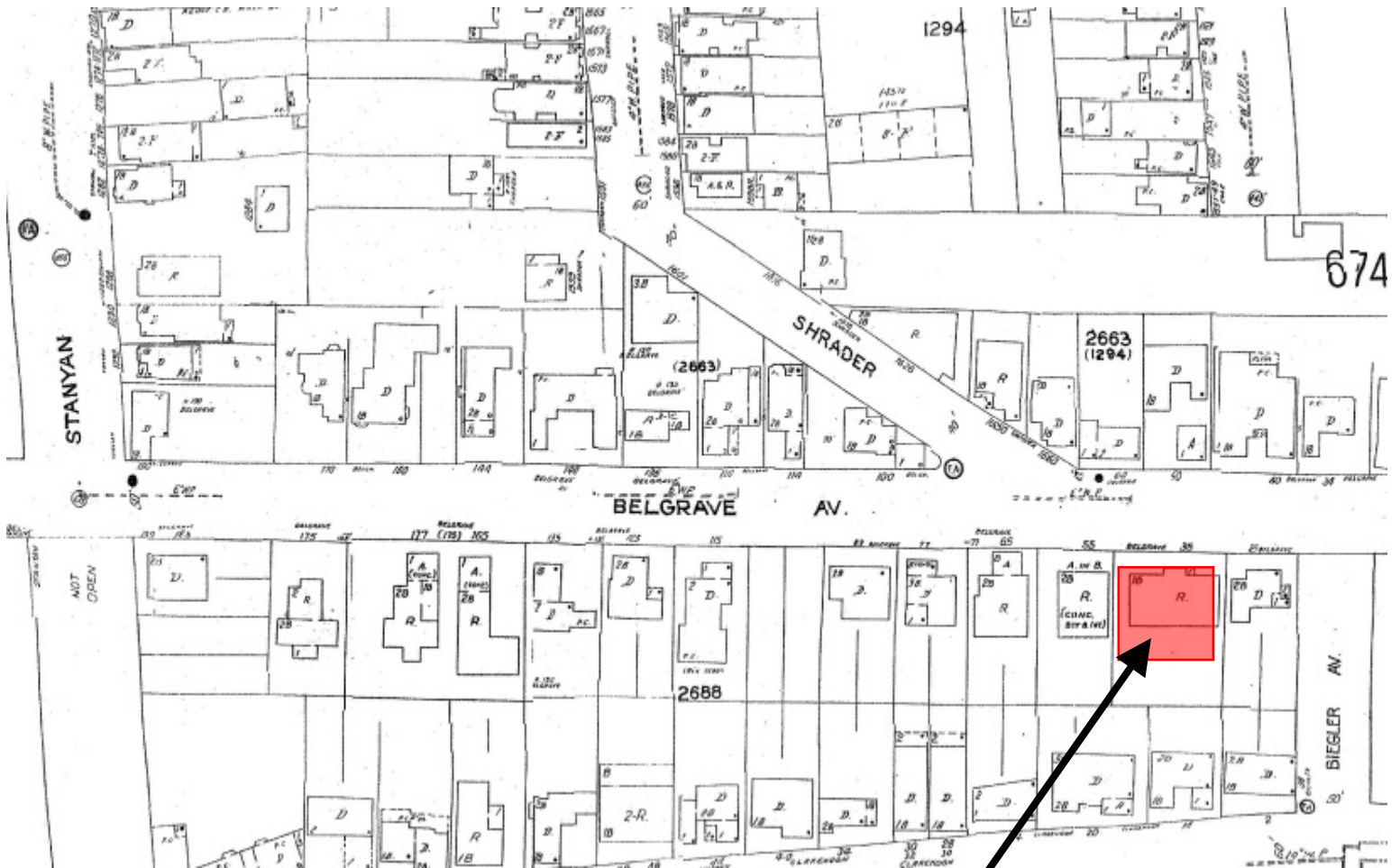
	EXISTING	PROPOSED	NET NEW
LAND USE - RESIDENTIAL			
Studio Units	0	1	1
One Bedroom Units	0	0	0
Two Bedroom Units	0	0	0
Three Bedroom (or +) Units	1	0	0
Group Housing - Rooms	0	0	0
Group Housing - Beds	0	0	0
SRO Units	0	0	0
Micro Units	0	0	0
Accessory Dwelling Units	0	1	1

Parcel Map



Planning Commission Hearing
Case Number 2020-010109CUA
Demolition of a Residential Building
35 Belgrave Avenue

Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

SUBJECT PROPERTY



Planning Commission Hearing
Case Number 2020-010109CUA
Demolition of a Residential Building
35 Belgrave Avenue

Aerial Photo – View 1



SUBJECT PROPERTY



Planning Commission Hearing
Case Number 2020-010109CUA
Demolition of a Residential Building
35 Belgrave Avenue

Aerial Photo – View 2



SUBJECT PROPERTY



Planning Commission Hearing
Case Number 2020-010109CUA
Demolition of a Residential Building
35 Belgrave Avenue

Aerial Photo – View 3



SUBJECT PROPERTY



Planning Commission Hearing
Case Number 2020-010109CUA
Demolition of a Residential Building
35 Belgrave Avenue

Aerial Photo – View 4



SUBJECT PROPERTY



Planning Commission Hearing
Case Number 2020-010109CUA
Demolition of a Residential Building
35 Belgrave Avenue

Zoning Map



Planning Commission Hearing
Case Number 2020-010109CUA
Demolition of a Residential Building
35 Belgrave Avenue

Site Photo



Moscone Emblidge & Rubens

220 Montgomery St, Suite 2100, San Francisco, California 94104
Phone: (415) 362-3599 | Fax: (415) 362-2006 | www.mosconelaw.com

July 7, 2021

Via Email

Scott Emblidge
Partner
emblidge@mosconelaw.com
Direct: (415) 362-3591

Joel Koppel, President
San Francisco Planning Commission
49 South Van Ness Avenue
San Francisco, CA 94103

Re: **35 Belgrave Avenue Conditional Use Approval**
July 15, 2021 Planning Commission Hearing

Dear President Koppel and Members of the Commission:

Our office represents the project sponsors for this project at 35 Belgrave Avenue (“the Property”), which involves the removal of a blighted, uninhabited home to be replaced with a new home plus an accessory dwelling unit (“ADU”). **The Project has the support of all immediately adjacent neighbors.** (See **Exhibit A**.) The only potential opposition to the Project may come from some other neighbors who have informed Planning staff that they have “construction fatigue” stemming other projects in the neighborhood. While that fatigue is understandable in this, and many other neighborhoods, the project sponsors and their team will do their best to manage this Project to minimize construction-related inconvenience to all neighbors.

Project Description

The Project would demolish a partially completed, two-story over garage, single-family residence and construct a new three-story over garage, single-family residence with accessory dwelling unit. The Property is located in the RH-1(D) zoning district and 40-X height and bulk district. The Project is fully Code-complaint. No variances are sought; in fact, the Project will eliminate existing non-conforming conditions. The Project will replace the unsound, unfinished construction at the Property with a new single-family residence that is similar in footprint and site coverage with additional square footage provided below grade.

The existing single-family residence was built in 1941 and was renovated in 1955. In 2013, a major renovation was undertaken. When construction stalled after years of starts and stops, the house was purchased by the project sponsors.

As the letter attached as **Exhibit B** makes clear, the partially finished project suffers from a series of critical construction flaws that make finishing the eight-year-old project untenable. The substandard work we observed included:

- The contractor used standard Douglass Fir for the form boards and left them buried in the ground behind the walls. This form work needs to be removed as it will decay

over time

- No waterproof membrane installed behind the concrete retaining walls
- Old and new framing materials were left to stand through two winters without proper protection
- No proper subgrade civil work or drainage was installed
- No sediment trap or clean outs for the non-existent perforated drainage pipe
- No proper subgrade drainage plane was installed at all the concrete retaining walls

All the existing structural concrete work retaining the hillside will need to be removed as will the existing concrete footings and concrete slabs to install the proper civil and subgrade drainage work. The significant amount of demolition required just to begin to address the defective construction, along with differing needs of the project sponsors, led to the proposed demolition and new construction represented in the proposed project.

Conditional Use Findings - Section 303

As you know, pursuant to Planning Code Section 303(c), before approving a conditional use authorization, the Planning Commission must find that the facts presented support the findings stated below. The facts relating to this Project clearly support the necessary findings.

1. That the proposed use or feature, at the size and intensity, contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community. If the proposed use exceeds the non-residential use size limitations for the zoning district, additional findings must be provided per Planning Code Section 303(c)(1)(A-C).

The project is necessary and desirable as it will replace a single-family home that is more than 70 years' old with a new single-family residence that addresses structural and construction deficiencies, accommodates the new owners' needs, and adds an affordable ADU.

As noted, the project sponsors purchased the house midway through construction of a permitted renovation. The partially finished project was found to have numerous as stated above and in Exhibit A. The Project will remedy those issues and create a safe and structurally sound home.

The proposed project is fully compliant with the Planning Code and Residential Design Guidelines, maintaining prescribed setbacks on all sides with a height that is well below the limits in the Planning Code. The Project will not utilize the existing side-yard variance for extension into the Eastern side yard setback and return the property to full compliance.

The proposed project is well integrated into the streetscape. The street-facing facade steps to follow the slope of the street, reducing the apparent width and mediating between the

neighboring structures. (See **Exhibit C.**) Additionally, it provides a setback at the third level, to reduce scale and maintain a 2-story over garage street presence.

The Project maintains a lot coverage and building location on the lot similar the existing structure. Additional square footage has been developed below grade within the same footprint, preserving overall block massing and scale.

The Project will meet or exceed all current Green Building and Title 24 standards given the demolition of the existing residence. Importantly, all recyclable building materials will be safely and responsibly either reused, donated, or recycled through the demolition and deconstruction process. Energy standards for glazing and insulation will be designed such that they will meet or exceed the standards to reduce the need for mechanical cooling and heating. Environmentally safe and responsibly sourced materials will be used throughout The Project.

The Project has been carefully designed to be compatible with the surrounding properties and overall neighborhood character on Belgrave Ave. The Project follows the predominant pattern of large multi-story detached single-family residences on the Southern side of Belgrave Ave, which represent a range of modern architectural styles. (See **Exhibit D.**)

2. That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:

a. The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The project will be a single-family residence that is appropriately sized for the lot size. While the existing non-compliant structure required a variance for the extension into the eastern side yard setback, the proposed project eliminates this non-conformity and is fully compliant with the Planning Code and Residential Design Guidelines.

b. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The project will have no impact on off-street parking and local traffic. The project will contain off-street parking spaces for the residence in keeping with other homes in the neighborhood. The project will preserve on-street parking by locating the new curb cut in the same approximate location as the existing cut. The property is located on a dead-end street and will have no impact on traffic patterns.

c. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The project will not contribute noxious or offensive emissions. The project will comply with all city regulations regarding emissions from materials implemented in the project. The project will comply with all applicable regulations regarding noise, dust and odor during the construction process.

d. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs.

The project will feature locally complementary landscaping and screening along the front, side, and rear yards respecting the natural topography to benefit the surrounding properties. In the front yard, the fence and landscape are to complement the neighboring front yards while providing adequate privacy for the residence and neighboring structures. The project proposes the replacement of street trees along the lot frontage inclusive of planters at street level in the front yard setback.

3. That such use or feature as proposed will comply with the applicable provisions of this Code and will not adversely affect the General Plan.

The project complies with all relevant standards and requirements of the San Francisco Planning and Building Code and is consistent with objectives set forth in the General Plan.

General Plan

HOUSING OBJECTIVE 2 RETAIN EXISTING HOUSING UNITS, AND PROMOTE SAFETY AND MAINTENANCE STANDARDS, WITHOUT JEOPARDIZING AFFORDABILITY.

Policy 2.1 Discourage the demolition of sound existing housing, unless the demolition results in a net increase in affordable housing.

The project complies with this policy in proposing to demolish a single-family house with structural deficiencies with the intent to replace it with a structurally sound and appropriately developed single-family residence and efficiency dwelling unit (ADU) located within the residence.

OBJECTIVE 4 FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1 Develop new housing, and encourage the remodeling of existing housing, for families with children.

The project complies by proposing to replace the existing single-family residence with a more functional three-bedroom single-family home and adds an ADU.

OBJECTIVE 11 SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS

Policy 11.1 Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

The project complies with this policy in the development of a contextually responsive updated design that mediates between adjacent structures and respects the neighborhood's evolving character. At the pedestrian streetscape, the massing is appropriately scaled for a perceived two-story over garage massing which is refined in the articulation and detailing.

The project promotes open space and respects neighboring light and air with the massing location inward from the property lines and uphill stepping of the massing.

Policy 11.3 Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

The project meets this policy in contextually responding to the existing and evolving character of the neighborhood while providing updated sound housing and the inclusion of an ADU in the RH-1(D) zoning district.

OBJECTIVE 12 BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION

Policy 12.1 Encourage new housing that relies on transit use and environmentally sustainable patterns of movement.

Policy 12.3 Ensure new housing is sustainably supported by the City's public infrastructure systems.

The project complies with these policies in providing the maximum allowable off-street parking spaces in the enclosed garage in addition to the two Class I bicycle parking spaces. The project is located near the SFMTA bus line 33 and Muni Metro Rail 'N' line, providing easy access to these public transit networks.

Planning Code Section 101.1

The Project also complies with the eight priority planning policies found in Planning Code section 101.1. For example,

- The project does not remove, replace, or impact any existing neighborhood-service retail uses, nor does it propose commercial office development.
- The project will replace a single-family home with comparable but updated and sound single-family residence which is consistent with the neighborhood. The project will provide sound housing suitable for a family and enhance the economic

diversity of the neighborhood through the addition of an ADU within the residence. The project is designed to contextually respond to the neighborhood character and be fully compliant with the Planning Code and the Residential Design Guidelines.

- The Project will not remove any affordable or rental housing units. The Project will add an efficiency dwelling unit (ADU) within the single-family residence in RH-1(D) zoning.
- No Muni service is provided on Belgrave Ave. so no the project does not impede on any Muni transit service. Street and neighborhood parking would not be impacted by parking provided in the enclosed garage of shared use for the single-family residence and ADU.
- The project will be designed and constructed to meet or exceed all current San Francisco Building Codes inclusive of structural and seismic specific requirements. The existing single-family residence is in need of structural and foundational improvements and the proposed property would fully address these needs. The new structure would significantly increase the Property's earthquake preparedness through a comprehensive structural design for extensive seismic capacities.
- The existing single-family residence is not a landmark or historic resource.
- The location of the project does not impact any park or open nor their access to sunlight or vistas, this policy is not applicable to The Project.

For all these reasons, we respectfully request that the Planning Commission approve this Project and help remove a long-standing blight in this neighborhood, while adding a new single-family home along with an ADU.

Sincerely,

G. Scott Emblidge

cc: Members of the Planning Commission
Gretel Gunther
Jonas Ionin

Attachments

35 Belgrave Neighbor Outreach History

Neighbor outreach history

6/29/20 - Prior to Pre-application Meeting

- Introductory letters hand delivered to all adjacent neighbors with contact info and an invitation to discuss the project.
- Several of the neighbors replied, and individual conversations addressed the construction plans, anticipated schedule, and general project parameters
- Contact information was exchanged for the entire team

7/17/20 - Pre-application Meeting conducted

- Dr. Robert and Betty Chong attended (50 Belgrave) - expressed support for the project

6/25/21 - CU Notice Mailed

- Email received from Kenneth Leung (14 Clarendon) - 7/6/21
 - Photo montage prepared to describe any impacts on view.
 - Concerns were addressed and Mr. Leung expressed support for the project.

7/5/21 - Letters of Support

- Seven emails of support from adjacent neighbors, including both adjacent neighbors and neighbor above



July 7th 2021

John Maniscalco Architecture
442 Grove Street
San Francisco
CA, 94102

RE: Substandard Work Performed at 35 Belgrave

To whom it concerns,

I was the builder that performed the work at 25 Belgrave for my clients Ana and Abdur Chowdhury. During the construction of 25 Belgrave, we observed very substandard work being performed by the contractor at 35 Belgrave that required us to notify our clients of the potentials risks.

The substandard work we observed included and was not limited to the following:

- No proper subgrade civil work or drainage was installed
- We observed no sediment trap or clean outs for the non existent perforated drainage pipe
- No proper subgrade drainage plane was installed at all the concrete retaining walls
- The contractor used standard Douglass Fir for the form boards and left them buried in the ground behind the walls. This form work needs to be removed as it will decay over time
- We observed no waterproof membrane installed behind the concrete retaining walls
- Old and new framing materials were left to stand through two winters without proper protection

In general, the work we observed was very poor and will require significant effort and cost to remedy. All the existing structural concrete work that retains the hillside will need to be removed to remedy the myriad of issues. The existing concrete footings and concrete slabs will also need to be removed to install the proper civil and subgrade drainage work.

Sincerely,

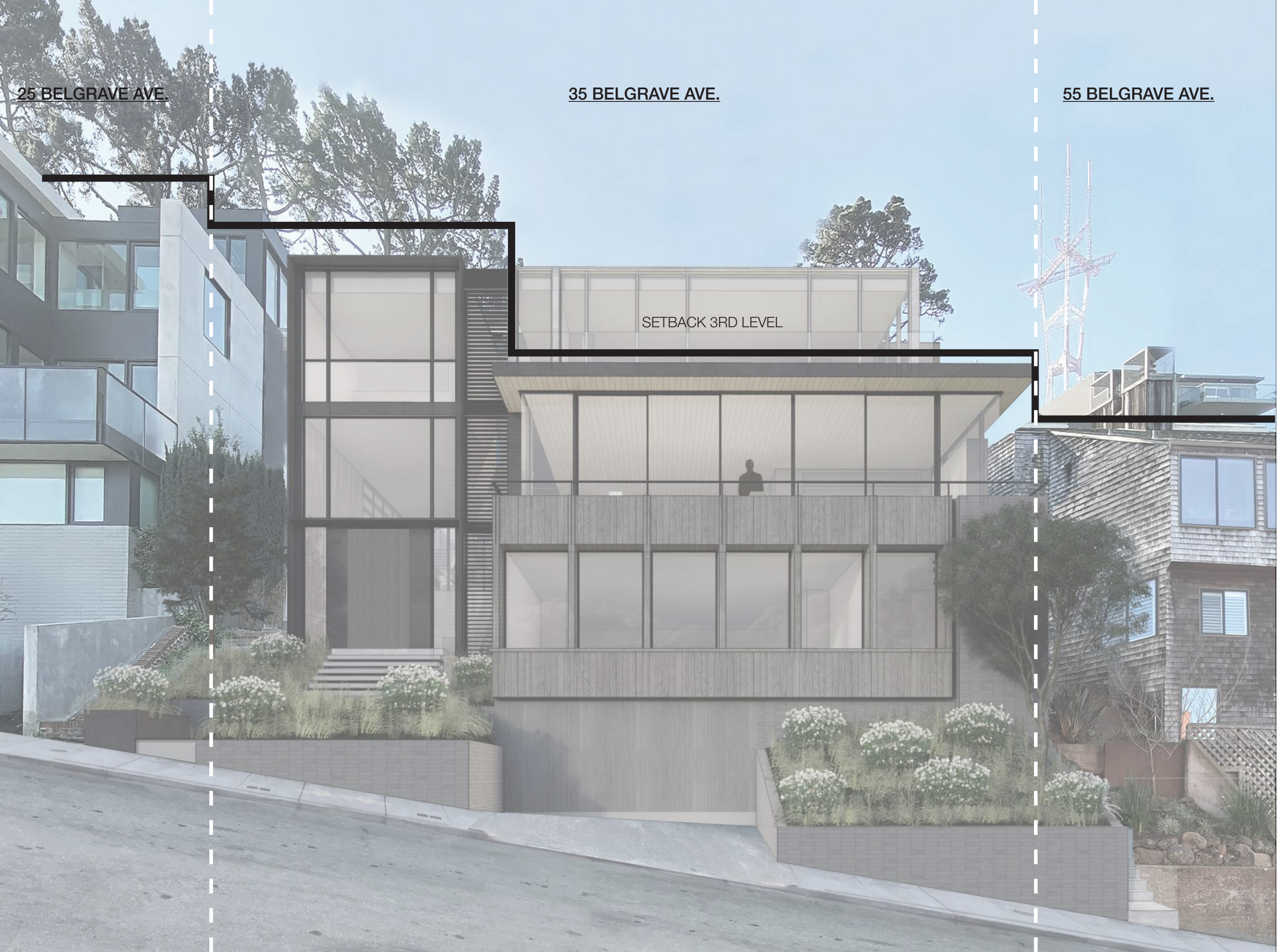
Andrew McHale
CEO & Founder

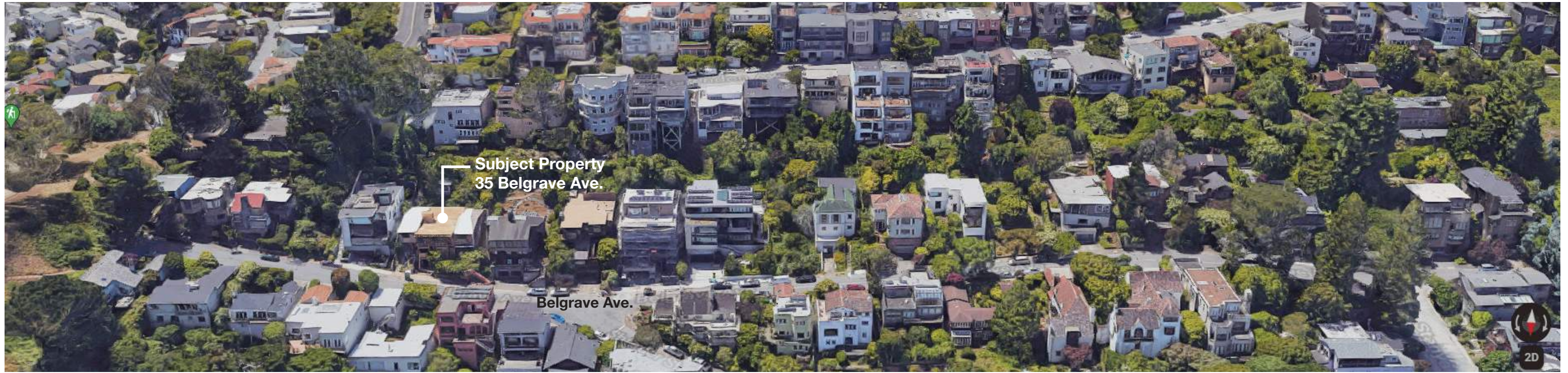
25 BELGRAVE AVE.

35 BELGRAVE AVE.

55 BELGRAVE AVE.

SETBACK 3RD LEVEL





Belgrave Ave. - Streetscape View



15 Belgrave Ave.



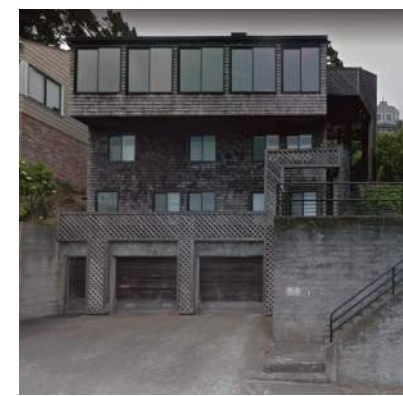
19 Belgrave Ave.



25 Belgrave Ave.



35 Belgrave Ave.



55 Belgrave Ave.



65 Belgrave Ave.



77 Belgrave Ave.



89 Belgrave Ave.



125 Belgrave Ave.



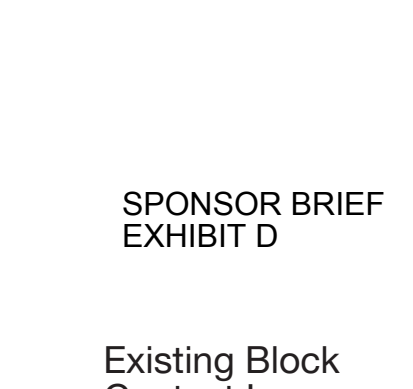
135 Belgrave Ave.



185 Belgrave Ave.



203 Belgrave Ave.



211 Belgrave Ave.

SPONSOR BRIEF
EXHIBIT D

Existing Block
Context Imagery
Scale: N.T.S.