



# EXECUTIVE SUMMARY CONDITIONAL USE AUTHORIZATION

**HEARING DATE: JULY 22, 2021**

**Record No.:** 2020-009312CUA  
**Project Address:** 1112 Shotwell Street  
**Zoning:** RH-3 (Residential-House, Three Family) Zoning District  
40-X Height and Bulk District  
Calle 24 Special Use District  
**Block/Lot:** 6526/002  
**Project Sponsor:** Yuqing Zou, Kerman Morris Architects, LLP  
139 Noe Street  
San Francisco, CA 94114  
**Property Owner:** 1112 Shotwell, LLC  
530 Divisadero St, #350  
San Francisco, CA 94117  
**Staff Contact:** Claire Feeney – (628) 652-7313  
[Claire.Feeney@sfgov.org](mailto:Claire.Feeney@sfgov.org)

**Recommendation:** Approval with Conditions

## Project Description

The Project includes construction of a new three-story, 31-foot tall, 3,266-square-foot residential building that contains three dwelling units on a lot developed with an existing four-unit residential building. In total, the project would result in seven dwelling units on the project site (measuring approximately 6,899 square feet in size). The new units will be between 800 and 1,000 square feet and each will have two-bedrooms. There will be no new off-street parking spaces.

## Required Commission Action

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization, pursuant to Planning Code Sections 209.1 and 303, to allow dwelling unit density at a ratio of one unit per 1,000 square feet of lot area in the RH-3 Zoning District.

## Issues and Other Considerations

- **Public Comment & Outreach.**
  - **Support/Opposition:** To date, the Department has received one letter of support and no letters in opposition to the Project.
    - The letter of support mentioned that the building is a good use of empty space and that the City needs more multifamily housing.
  - **Outreach:** The Sponsor hosted a Pre-Application meeting on September 22, 2020 where four people attended. Questions were asked about construction noise, if the units will be for sale or rented out, and about the permitting process.
- **Calle 24 Latino Cultural District.** The Project is located in Calle 24 Latino Cultural District, which is focused on preserving, enhancing and advocating for Latino cultural continuity in the Mission neighborhood and across San Francisco. This Cultural District does not have any land use controls that would impact the project.

## Environmental Review

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 3 categorical exemption.

## Basis for Recommendation

The Department finds that the Project is, on balance, consistent with the Mission Area Plan and the Objectives and Policies of the General Plan. Three new housing units will be built without the loss or impairment of any existing residential units, in an area that is extremely well served by public transit. The Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

## Attachments:

Draft Motion – Conditional Use Authorization with Conditions of Approval (Exhibit A)  
Exhibit B – Plans and Renderings  
Exhibit C – Environmental Determination  
Exhibit D – Land Use Data  
Exhibit E – Maps and Context Photos



# PLANNING COMMISSION DRAFT MOTION

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ADOPTING FINDINGS RELATING TO A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 209.1 AND 303, TO ALLOW RESIDENTIAL DWELLING UNIT DENSITY AT A RATIO OF ONE UNIT PER 1,000 SQUARE FEET OF LOT AREA FOR THE PROJECT INVOLVING CONSTRUCTION OF THREE NEW DWELLING UNITS ON A LOT CURRENTLY CONTAINING FOUR DWELLING UNIT, AT 1112 SHOTWELL STREET, LOT 002 OF ASSESSOR'S BLOCK 6526, WITHIN THE RH-3 (RESIDENTIAL-HOUSE, THREE FAMILY) ZONING DISTRICT, CALLE 24 SPECIAL USE DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

## PREAMBLE

On October 19, 2020, Toby Morris of Kerman Morris Architects, LLP (hereinafter "Project Sponsor") filed Application No. 2020-009312CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization to establish more than three total dwelling units on a single parcel within the RH-3 Zoning District (hereinafter "Project") at 1112 Shotwell Street, Assessor's Block 6526 and Lot 002 (hereinafter "Project Site").

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 3 categorical exemption.

On July 22, 2021, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2020-009312CUA.

The Planning Department Commission Secretary is the Custodian of Records; the File for Record No. 2020-009312CUA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED,** that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2020-009312CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:



## FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

- 1. The above recitals are accurate and constitute findings of this Commission.**
- 2. Project Description.** The Project includes construction of a new three-story, 31-foot tall, 3,266-square-foot residential building that contains three dwelling units on a lot developed with an existing four-unit residential building. In total, the project would result in seven dwelling units on the project site (measuring approximately 6,899 square feet in size). The new units will be between 800 and 1,000 square feet and each will have two-bedrooms. There will be no new off-street parking spaces.
- 3. Site Description and Present Use.** The Project is located on a 6,900 square foot through-lot that is 60-feet wide and 115 feet deep. This is almost three-times the size of a standard residential property in San Francisco. The Project Site contains three existing buildings: two one-story garages that face Virgil Street at the rear of the property and a three-story residential building, which visually appears as two Victorian buildings, fronting Shotwell Street.
- 4. Surrounding Properties and Neighborhood.** The Project Site and all nearby properties to the east are located in the RH-2 or RH-3 Zoning Districts, while properties near Mission Street are zoned for higher density residential and mixed-use buildings. Buildings in the area are predominantly two- to three-stories tall and are either single-family or multi-family residences, some of which have small ground floor commercial businesses. Some buildings are taller closer to the 24<sup>th</sup> Street BART Station. There is a public park and athletic facilities about four blocks east of the Project Site.

The Project is located in Calle 24 Latino Cultural District, which is focused on preserving, enhancing and advocating for Latino cultural continuity in the Mission neighborhood and across San Francisco.

The project site and the existing buildings are contributors to the Central Mission Shotwell Street Historic District, which is eligible for listing in the California Register of Historical Resources.

- 5. Public Outreach and Comments.** To date, the Department has received one letter of support and no letters in opposition to the Project. The letter of support mentioned that the building is a good use of empty space and that the City needs more multifamily housing. The Sponsor hosted a Pre-Application meeting on September 22, 2020 which was attended by four people. Questions were asked about construction noise, if the units will be for sale or rented out, and about the permitting process.
- 6. Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
  - A. Use.** Planning Code Section 209.1 permits three family homes in the RH-3 Zoning District

*The Project would construct three dwelling units on an over-sized lot that already contains four. In order to add the new units, a Conditional Use Authorization must be obtained to allow the dwelling unit density at a ratio of 1,000 square feet per lot area.*

- B. **Residential Density, Dwelling Units.** Pursuant to Planning Code Section 207, parcels in the RH-3 Zoning District are permitted to have up to three units. With a Conditional Use Authorization, properties may have up to one unit per 1,000 square feet of lot area.

*The Project will add three dwelling units to a parcel that already has four, for a total seven residential units. The Project site is 6,900 square feet, which allows for 7 units, rounded up from 6.9. Therefore, the Project is compliant with density regulations, and with a Conditional Use Authorization it can have more than three total units.*

- C. **Front Setback.** Planning Code Section 132 states that the minimum front setback depth shall be based on the average of adjacent properties or a Legislated Setback.

*The adjacent properties have front setbacks of 2-feet 2-inches and 6-feet. The Project is proposing a 5-foot 9-inch front setback. Therefore, the Project meets the front setback requirements of the Planning Code.*

- D. **Landscaping and Permeability.** Planning Code Section 132(g) requires that for projects involving the construction of a new building, the addition of a new dwelling unit, garage, or additional parking; at least 20% of the required front setback area be and remain unpaved and devoted to plant material, including the use of climate appropriate plant material. Section 132(h) requires that the front setback area be at least 50% permeable so as to increase stormwater infiltration. The permeable surface may be inclusive of the area counted towards the landscaping requirement; provided, however, that turf pavers or similar planted hardscapes shall be counted only toward the permeable surface requirement and not the landscape requirement.

*The Project has a 498 square foot front setback and is proposing to have 338 square feet of permeable landscaping. Therefore, approximately 68% of the front setback will be composed of permeable materials or landscaping; thus, the Project is compliant with this requirement.*

- E. **Rear Yard.** Planning Code Section 134 requires a rear yard equal to 45 percent of the total depth, at grade and above, for properties containing dwelling units in RH-3 Zoning Districts. Where applicable Planning Code Section 134(c) allows for the reduction in the rear yard requirement to the average between the depths of the rear building walls of the two adjacent buildings, so long as a minimum rear yard of 25% of the total property or 15 feet is maintained, whichever is greater. In cases where a rear yard requirement is thus reduced, the last 10 feet of building depth permitted on the subject lot shall be limited to a height of 30 feet.

*The subject property is a through lot with a 52-foot required rear yard. The adjacent properties have rear yards that are 42-feet and 30-feet. The Project is proposing a 48-foot rear yard, which is the equivalent of the average of the two neighboring properties. Thus, the Project provides a code-compliant rear yard.*

- F. **Useable Open Space.** In the RH-3 Zoning District, Planning Code Section 135 requires 125 square feet of useable open space for each dwelling unit if all private, or a total of 332 square feet of common usable open space for two dwelling units.

*The Project contains three dwelling units. All three units have access to the 698 square foot rear yard, and the first-floor unit also has a 102 square foot private outdoor space while the third-floor unit has a 218 square foot private roof deck.*

- G. **Dwelling Unit Exposure.** Planning Code Section 140 requires that at least one room of all dwelling units face onto a public street or public alley at least 30 feet in width, a side yard at least 25 feet in width, a rear yard meeting the requirements of the Code or other open area that meets minimum requirements for area and horizontal dimensions.

*All six bedrooms have direct exposure either onto the public street or the Code-compliant back yard.*

- H. **Off-Street Parking.** Planning Code Section 151 does not require a minimum number of off-street parking spaces and permits a maximum of 1.5 parking space for each dwelling unit.

*The Project is not proposing any off-street parking.*

- I. **Bicycle Parking.** Planning Code Section 155.2 requires at least one Class 1 bicycle parking space for each dwelling unit.

*The Project proposes four Class 1 bicycle parking spaces in the rear yard.*

- J. **Residential Child-Care Impact Fee.** Planning Code Section 411 is applicable to any residential development that results in at least one new residential unit.

*The Project includes approximately 2,610 gross square feet of new residential use. This use is subject to the Residential Child-Care Impact Fee, as outlined in Planning Code Section 411A, and must be paid prior to the issuance of the building permit application.*

- K. **Eastern Neighborhood Infrastructure Impact Fees.** Planning Code Section 423 is applicable to any development project within the Eastern Neighborhoods Area Plan that results in the addition of gross square feet of new residential space over 800 sf.

*The Project includes approximately 2,610 gross square feet of new residential development. This use is subject to the Eastern Neighborhood Infrastructure Impact Fees, as outlined in Planning Code Section 423, and must be paid prior to the issuance of the building permit application.*

7. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*The use and size of the proposed building is compatible with the immediate neighborhood. The Project increases the number of dwelling units on-site and the units are sized appropriately for the*

*neighborhood. The Project is compliant with the adopted Residential Design Guidelines and is compatible with the adjacent historic buildings. Therefore, the Project is considered to be necessary and desirable given the quality and design of the new residences and the overall increase in the number of residential units.*

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The proposed building is compliant with the controls of the RH-3 Zoning District and the Residential Design Guidelines. The proposed building massing is consistent with the other buildings on the Project Site and is typical for lots in the RH-3 Zoning District. Buildings in the area are predominantly two- to three-stories tall and are either single-family or multi-family residences; some of them also have ground floor commercial businesses.*

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*The Planning Code does not require automobile parking for residential uses. The Project will provide four Class 1 bicycle parking spaces.*

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*As the Project is residential in nature, the proposed residential use is not expected to produce noxious or offensive emissions.*

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*The Project provides sufficient open space has been provided for all three units, including the rear yard and a roof deck. The front setback has been appropriately landscaped.*

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.*

- D. That use or feature as proposed will provide development that is in conformity with the stated purpose of the applicable Use District.

*The Project is consistent with the stated purposed of RH-3 Zoning District in that it proposes a three-unit*

*residential building with common and private open spaces provided in both the rear yard and roof deck.*

- 8. General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

**HOUSING ELEMENT**

**Objectives and Policies**

**OBJECTIVE 1**

**IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.**

**Policy 1.1**

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

**Policy 1.10**

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

**OBJECTIVE 4**

**FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.**

**Policy 4.1**

Develop new housing, and encourage the remodeling of existing housing, for families with children.

**Policy 4.4**

Encourage sufficient and suitable rental housing opportunities, emphasizing permanently affordable rental units wherever possible.

**OBJECTIVE 11**

**SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.**

**Policy 11.1**

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

**Policy 11.2**

Ensure implementation of accepted design standards in project approvals.

**Policy 11.3**

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.4

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

Policy 11.6

Foster a sense of community through architectural design, using features that promote community interaction.

Policy 11.8

Consider a neighborhood's character when integrating new uses, and minimize disruption caused by expansion of institutions into residential areas.

**OBJECTIVE 12**

**BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION.**

Policy 12.2

Consider the proximity of quality of life elements such as open space, child care, and neighborhood services, when developing new housing units.

**URBAN DESIGN ELEMENT**

Objectives and Policies

**OBJECTIVE 1**

**EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.**

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

**MISSION AREA PLAN**

Objectives and Policies

**OBJECTIVE 1.2**

**IN AREAS OF THE MISSION WHERE HOUSING AND MIXED USE IS ENCOURAGED, MAXIMIZE DEVELOPMENT POTENTIAL IN KEEPING WITH NEIGHBORHOOD CHARACTER**

Policy 1.2.1

Ensure that in-fill housing development is compatible with its surroundings.

Policy 1.2.3

In general, where residential development is permitted, control residential density through building height and bulk guidelines and bedroom mix requirements.

**OBJECTIVE 2.5**

**PROMOTE HEALTH THROUGH RESIDENTIAL DEVELOPMENT DESIGN AND LOCATION**

**Policy 2.5.3**

Require new development to meet minimum levels of “green” construction.

**Policy 2.5.4**

Provide design guidance for the construction of healthy neighborhoods and buildings.

**OBJECTIVE 3.1**

**PROMOTE AN URBAN FORM THAT REINFORCES THE MISSION’S DISTINCTIVE PLACE IN THE CITY’S LARGER FORM AND STRENGTHENS ITS PHYSICAL FABRIC AND CHARACTER**

**Policy 3.1.3**

Relate the prevailing heights of buildings to street and alley width throughout the Plan Area.

**Policy 3.1.4**

Heights should also reflect the importance of key streets in the city’s overall urban pattern, such as Mission and Valencia streets, while respecting the lower scale development that typifies much of the established residential areas throughout the Plan Area.

**Policy 3.1.8**

New development should respect existing patterns of rear yard open space. Where an existing pattern of rear yard open space does not exist, new development on mixed-use-zoned parcels should have greater flexibility as to where open space can be located.

**Policy 3.1.9**

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

**OBJECTIVE 3.2**

**PROMOTE AN URBAN FORM AND ARCHITECTURAL CHARACTER THAT SUPPORTS WALKING AND SUSTAINS A DIVERSE, ACTIVE AND SAFE PUBLIC REALM**

**Policy 3.2.1**

Require high quality design of street-facing building exteriors.

**Policy 3.2.4**

Strengthen the relationship between a building and its fronting sidewalk.

**OBJECTIVE 5.2**

**ENSURE THAT NEW DEVELOPMENT INCLUDES HIGH QUALITY PRIVATE OPEN SPACE**

**Policy 5.2.1**

Require new residential and mixed-use residential development to provide on-site, private open space designed to meet the needs of residents.

Policy 5.2.3

Encourage private open space to be provided as common spaces for residents and workers of the building wherever possible.

Policy 5.2.5

New development should respect existing patterns of rear yard open space. Where an existing pattern of rear yard open space does not exist, new development on mixed-use-zoned parcels has flexibility as to where open space can be located.

**OBJECTIVE 8.2**

**PROTECT, PRESERVE, AND REUSE HISTORIC RESOURCES WITHIN THE MISSION PLAN AREA**

Policy 8.2.1

Protect individually significant historic and cultural resources and historic districts in the Mission plan area from demolition or adverse alteration.

**OBJECTIVE 8.3**

**ENSURE THAT HISTORIC PRESERVATION CONCERNS CONTINUE TO BE AN INTEGRAL PART OF THE ONGOING PLANNING PROCESSES FOR THE MISSION PLAN AREA AS THEY EVOLVE OVER TIME**

Policy 8.3.2

Ensure a more efficient and transparent evaluation of project proposals which involve historic resources and minimize impacts to historic resources per CEQA guidelines.

Policy 8.3.3

Prevent destruction of historic and cultural resources resulting from owner neglect or inappropriate actions.

*The Project is a well-designed infill residential development, adding housing capacity within the Mission Area Plan. The Project Site is an over-sized lot that currently has a 20-foot side yard. The Project will create three new housing without displacing any existing structures or dwelling units. All three residences will be two-bedroom units that are comfortably sized for multiple people or a small family to live in. The proposed new construction conforms to the Residential Design Guidelines and is compatible with the adjacent historic buildings. The Project is appropriate in terms of materials, scale, proportions, and massing for the surrounding neighborhood, albeit contemporary in style.*

**9. Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*The project site does not possess any neighborhood-serving retail uses.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.



*The Project does not remove existing housing units, and it has been designed to complement the character and design of the surrounding historic district.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*The Project Site does not currently possess any existing affordable housing.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*The Project Site is served by nearby public transportation options, including the 24<sup>th</sup> Street BART Station which is about four blocks away, less than a 10-minute walk.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The Project does not include commercial office development.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The Project will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code. As such, this Project will improve the property's ability to withstand an earthquake.*

- G. That landmarks and historic buildings be preserved.

*The Project Site is part of an eligible historic district. The proposed new building has been reviewed for appropriateness and is compatible with the adjacent historic resources. This Project will not alter the existing historic buildings on the project site.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*The Project does not impact any public parks, open spaces, or scenic vistas.*

- 10.** The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
- 11.** The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety, and welfare of the City.

## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2020-009312CUA** subject to the following conditions attached hereto as “EXHIBIT A” in general conformance with plans on file, dated May 21, 2021, and stamped “EXHIBIT B”, which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

**Protest of Fee or Exaction:** You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission’s adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator’s Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on July 22, 2021.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

RECUSE:

ADOPTED: July 22, 2021

## EXHIBIT A

### Authorization

This authorization is for a conditional use to allow residential density at a ratio of one unit per 1,000 square feet of lot area, located at 1112 Shotwell Street, Assessor's Block 6526, and Lot 002, pursuant to Planning Code Sections 209.1 and 303 within the RH-3 (Residential-House, Three Family) Zoning District, Calle 24 Special Use District and a 40-X Height and Bulk District; in general conformance with plans, dated May 21, 2021, and stamped "EXHIBIT B" included in the docket for Record No. 2020-009312CUA and subject to conditions of approval reviewed and approved by the Commission on July 22, 2021 under Motion No. XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### Recordation of Conditions of Approval

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on July 22, 2021 under Motion No. XXXXXX.

### Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

### Severability

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

### Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

## CONDITIONS OF APPROVAL, COMPLIANCE, MONITORING, AND REPORTING

### Performance

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463,*

[www.sfplanning.org](http://www.sfplanning.org)

## Design – Compliance at Plan Stage

- 6. Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7313, [www.sfplanning.org](http://www.sfplanning.org)*

- 7. Landscaping.** Pursuant to Planning Code Section 132, the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that 50% of the front setback areas shall be surfaced in permeable materials and further, that 20% of the front setback areas shall be landscaped with approved plant species. The size and specie of plant materials and the nature of the permeable surface shall be as approved by the Department of Public Works.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7313, [www.sfplanning.org](http://www.sfplanning.org)*

- 8. Landscaping, Permeability.** Pursuant to Planning Code Section 156, the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that 20% of the parking lot shall be surfaced with permeable materials and further indicating that parking lot landscaping, at a ratio of one tree, of a size comparable to that required for a street tree and of an approved species, for every 5 parking stalls, shall be provided. Permeable surfaces shall be graded with less than a 5% slope. The size and specie of plant materials and the nature of the permeable surface shall be as approved by the Department of Public Works.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7313, [www.sfplanning.org](http://www.sfplanning.org)*

## Parking and Traffic

- 9. Bicycle Parking.** The Project shall provide no fewer than 3 Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.2.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

- 10. Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463,*

[www.sfplanning.org](http://www.sfplanning.org)

## Provisions

- 11. Transportation Sustainability Fee.** The Project is subject to the Transportation Sustainability Fee (TSF), as applicable, pursuant to Planning Code Section 411A.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7313, [www.sfplanning.org](http://www.sfplanning.org)*

- 12. Residential Child Care Impact Fee.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7313, [www.sfplanning.org](http://www.sfplanning.org)*

- 13. Eastern Neighborhoods Infrastructure Impact Fee.** The Project is subject to the Eastern Neighborhoods Infrastructure Impact Fee, as applicable, pursuant to Planning Code Section 423.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7313, [www.sfplanning.org](http://www.sfplanning.org)*

## Monitoring - After Entitlement

- 14. Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

- 15. Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

## Operation

- 16. Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 628.271.2000, [www.sfpublicworks.org](http://www.sfpublicworks.org)*

- 17. Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

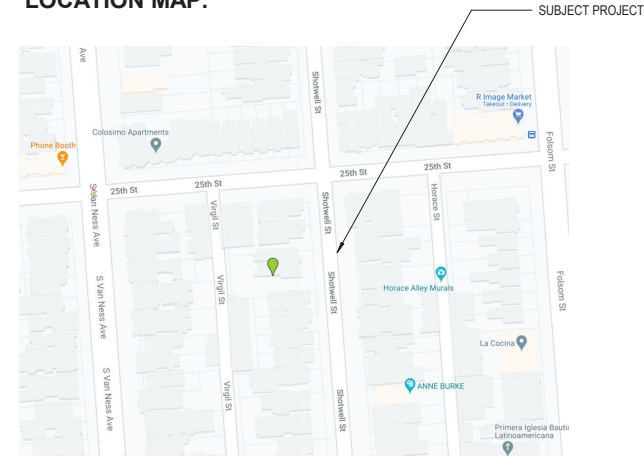


1112 SHOTWELL ST

**NEW CONSTRUCTION OF 3-UNIT BUILDING ADJACENT TO THE EXISTING  
RESIDENTIAL STRUCTURE ON THE SAME LOT**



**LOCATION MAP:**



### DESCRIPTION OF WORK

THE PROJECT PROPOSES THE CONSTRUCTION OF A NEW 3-STORY / 3-UNIT RESIDENTIAL BUILDING NEXT TO THE EXISTING 3-STORY/4-UNIT RESIDENTIAL STRUCTURE IN THE SIDE YARD. ON THIRD FLOOR, THERE WILL BE A ROOF ACCESS STAIR TO A PRIVATE ROOF DECK. CONDITIONAL USE APPROVAL IS REQUIRED FOR 7 TOTAL UNITS ON THIS RH-3/4X-0 LOT. THE EXTANT 4-UNIT SUBJECT PROPERTY IS LOCATED IN THE SHOTWELL STREET VICTORIANA HISTORIC DISTRICT, DEEMED INDIVIDUALLY ELIGIBLE FOR THE NATIONAL REGISTER AND HAS A "HISTORIC RESOURCE PRESENT" RATING. THE NEW 3-STORY BUILDING IS DESIGNED TO BE COMPATIBLE WITH THE DISTRICT AND RESOURCE. 7 UNITS ARE ALLOWED ON THE SUBJECT RH-3 PROPERTY WITH CONDITIONAL USE APPROVAL. ALL WORK TO COMPLY WITH CURRENT LOCAL AND STATE CODES INCLUDING BUT NOT LIMITED TO: THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA FIRE CODE, THE CALIFORNIA MECHANICAL CODE, THE CALIFORNIA ELECTRICAL CODE, THE CALIFORNIA FIRE CODE, THE CURRENT EDITIONS OF THE SAN FRANCISCO BUILDING AND PLANNING CODES, TITLE 24 ENERGY STANDARDS, GYPSUM FIRE RESISTANCE DESIGN MANUAL (20TH EDITION), ETC., FULLY SPRINKLERED UNDER A SEPARATE PERMIT

## APPROVALS

## SHEET INDEX

01 GENERAL	
G0.01	COVER SHEET
G0.03	GENERAL NOTES, PLANNING DEPARTMENT NOTES & SCHEDULES
G0.04	BUILDING DEPARTMENT NOTES & SCHEDULES
G0.05	SITE PHOTOS
G0.06	SITE SURVEY
G0.08	FIRE AND LIFE SAFETY PLANS
G0.11	GREENPOINT RATED CHECKLIST

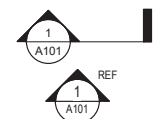
## 04 ARCHITECTURAL EXISTING

AE1.01	EXISTING SITE PLAN
AE5.01	EXISTING EXTERIOR ELEVATIONS
AE5.02	EXISTING EXTERIOR ELEVATIONS

## 06 ARCHITECTURE

A1.01	SITE PLANS
A2.01	FLOOR PLANS
A2.02	FLOOR PLANS
A5.01	EXTERIOR ELEVATIONS
A5.02	EXTERIOR ELEVATIONS
A7.01	BUILDING SECTIONS
A10.21	DOOR & WINDOW SCHEDULE
17	

## GENERAL LEGEND

BUILDING / WALL SECTION

EXTERIOR ELEVATION

COLUMN LINE

ELEVATION MARKER

CENTER LINE

PROPERTY LINE

WALL TYPE PARTITIONKEYNOTE

SHEET NOTE

DOOR TAG**BUILDING DATA:**

**OWNER:** 1112 SHOTWELL LLC

**PROJECT ADDRESS:** 1112 SHOTWELL ST  
SAN FRANCISCO, CA 94110

**PARCEL:** 6526/002

**SFDBI BPA #:**

**ZONING DISTRICT:** RH-340-X

**OCCUPANCY GROUP:** R-2

**CONSTRUCTION TYPE:** V-A

**ARCHITECT:** KERMAN MORRIS ARCHITECT  
139 NOE STREET  
SAN FRANCISCO, CA 94114  
T: (415) 749-0302

# SITE PERMIT

04/15/2021

**FULLY SPRINKLERED UNDER A SEPERATE PERMIT**

**km**  
kerman  
morris  
architects LLP  
139 Nise Street  
San Francisco, CA  
94114  
415 749 0302

## Revisions


1112  
SHOTWELL ST

1112 SHOTWELL ST  
SAN FRANCISCO, CA 94110  
BLOCK 6526 / LOT 002

NEW CONSTRUCTION OF  
3-UNIT BUILDING ADJACENT  
TO THE EXISTING  
RESIDENTIAL STRUCTURE  
ON THE SAME LOT

1112 SHOTWELL LLC

## NOTICE

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The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kerman Morris Architects prior to the commencement of any work.

These drawings are an industry standards builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative/typical details.

All attachments, connections, fastenings, etc., are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

## COVER SHEET

DATE	04/15/2021
SCALE	1/8" = 1'-0"
DRAWN BY	YZ
CHECKED BY	TM
JOB NO.	###

G0.01

DOB PERMIT  
APPLICATION  
NUMBER:



GENERAL NOTES

A. GENERAL NOTES:

1. THE CONTRACTOR SHALL PROVIDE COMPLETE PROJECT SYSTEMS AND COMPONENTS AND COMPLY WITH ALL REQUIREMENTS INDICATED ON THE PROJECT DOCUMENTS.
2. WORK WITHIN THE AREA BOUNDARIES INDICATED IN THE PROJECT DOCUMENTS AND COMPLY WITH ALL APPLICABLE BUILDING CODE, REGULATION, & ORDINANCE REQUIREMENTS. OCCUPANTS ADJACENT TO THE PROJECT AREA BOUNDARIES SHALL CONTINUE UNINTERRUPTED OCCUPANCY DURING CONSTRUCTION OF THE PROJECT.
3. VERIFY FIELD CONDITIONS AND COORDINATION WITH THE PROJECT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK.
4. COORDINATE THE WORK WITH ALL REQUIREMENTS INDICATED IN THE PROJECT DOCUMENTS.
5. PERFORM THE WORK AT THE PROJECT SITE DURING NORMAL BUSINESS HOURS, UNLESS OTHERWISE NOTED.
6. COORDINATE THE WORK WITH EQUIPMENT, FURNISHINGS AND SYSTEMS PROVIDED BY THE OWNER.

B. DEFINITIONS:

1. "TYPICAL" OR "TYP" INDICATES IDENTICAL COMPLETE SYSTEM SHALL BE PROVIDED FOR EACH OCCURRENCE OF THE CONDITION NOTED.
2. "SIMILAR" INDICATES COMPLETE SYSTEM AND COMPONENTS SHALL BE PROVIDED COMPARABLE TO THE CHARACTERISTICS FOR THE CONDITION NOTED.
3. "AS REQUIRED" INDICATES COMPONENTS REQUIRED TO COMPLETE THE NOTED, SYSTEM AS INDICATED IN THE PROJECT DOCUMENTS. SHALL BE PROVIDED
4. "ALIGN" INDICATES ACCURATELY PROVIDE FINISH FACES OF MATERIALS IN STRAIGHT, TRUE AND PLUMB RELATION TO ADJACENT MATERIALS.

C. DIMENSIONS:

1. DIMENSIONS ARE INDICATED TO THE CENTERLINE OF THE STRUCTURAL GRID, FACE OF CONCRETE WALL, NOMINAL FACE OF CMU WALL, FACE OF PARTITION AS SCHEDULED, UNLESS OTHERWISE NOTED.
2. ALIGNMENT OF PARTITIONS AND FINISHES AS SCHEDULED SHALL BE STRAIGHT, TRUE & PLUMB. THE PRIORITY FOR PROJECT DIMENSIONS SHALL BE IN THE FOLLOWING ORDER:
- A. STRUCTURAL DRAWINGS  
B. LARGE SCALE DETAILS  
C. SMALL SCALE DETAILS  
D. ENLARGED VIEWS  
E. FLOOR PLANS AND ELEVATIONS
3. MINIMUM DIMENSIONS FOR ACCESSIBILITY CLEARANCES AND BUILDING CODE REQUIREMENTS SHALL BE MAINTAINED.
4. FLOOR ELEVATIONS ARE INDICATED TO THE FACE OF THE STRUCTURAL SLAB, UNLESS OTHERWISE NOTED.
5. VERTICAL DIMENSIONS ARE INDICATED FROM THE FLOOR ELEVATION TO FACE OF FINISHED MATERIAL, UNLESS NOTED ABOVE FINISH FLOOR "AFF".
6. CEILING HEIGHTS ARE INDICATED FROM THE FLOOR ELEVATION TO THE FACE OF SUSPENDED ACOUSTIC PANEL, CEILING GRID OR FACE OF FINISH MATERIAL FOR OTHER CEILING TYPES, UON.
7. DIMENSIONS SHOWN ON THE DRAWINGS SHALL INDICATE THE REQUIRED SIZE, CLEARANCE AND DIMENSIONAL RELATIONSHIP BETWEEN PROJECT SYSTEMS AND COMPONENTS. DIMENSIONS SHALL NOT BE DETERMINED BY SCALING THE DRAWINGS.

D. DRAWING SET ORGANIZATION:

1. EACH DRAWING SET SHEET IS IDENTIFIED BY THE SHEET NUMBER IN THE LOWER RIGHT HAND CORNER OF THE DRAWING TITLE BLOCK. THE SHEET TITLE PROVIDES A GENERAL DESCRIPTION OF THE CONTENTS OF THE SHEET.
- SHEET NUMBER EXAMPLE: A201  
"A" INDICATES THE DISCIPLINE THAT CREATED THE DRAWING  
"2" INDICATES THE DRAWING CATEGORY CONTAINED ON THE SHEET  
"01" INDICATES THE SHEET NUMBER
2. SHEET NUMBERS MAY INCLUDE SUPPLEMENTAL CHARACTERS TO PROVIDE ADDITIONAL INFORMATION, SUCH AS DRAWING CONTENT, PROJECT SECTOR OR PHASE. REFER TO THE DRAWING INDEX FOR A COMPLETE LIST OF SHEETS INCLUDED IN THE DOCUMENT SET.
- EXAMPLE: EL201A  
"EL" INDICATES THE DISCIPLINE THAT CREATED THE DRAWING AND THE DRAWING CONTENT = ELECTRICAL LIGHTING  
"A" INDICATES SECTOR "A" OF PLAN SHEET "201". REFER TO THE PROJECT KEY PLAN OR COMPOSITE PLAN INDICATING THE RELATIONSHIP OF THE SECTORS.
3. DRAWING SET INDEX INDICATES THE COMPLETE LIST OF SHEETS CONTAINED IN THE DRAWING SET, INDEXED BY DISCIPLINE, SHEET NUMBER AND SHEET TITLE, IN SEQUENTIAL ORDER. NOTE THAT ALL SEQUENTIAL SHEET NUMBERS MAY BE NOT USED IN THE DRAWING SET.
4. DISCIPLINE IDENTIFICATION, IN ORDER BOUND IN THE DRAWING SET, REFER TO THE DRAWING SET INDEX FOR DISCIPLINE CONTAINED IN THIS DRAWING SET:
- |   |                     |   |                    |
|---|---------------------|---|--------------------|
| G | GENERAL INFORMATION | Q | EQUIPMENT          |
| C | CIVIL               | F | FIRE PROTECTION    |
| L | LANDSCAPE           | P | PLUMBING           |
| S | STRUCTURAL          | M | MECHANICAL         |
| A | ARCHITECTURAL       | E | ELECTRICAL         |
| I | INTERIORS           | T | TELECOMMUNICATIONS |
5. DRAWING CATEGORY IDENTIFICATION. REFER TO THE DRAWING SET INDEX FOR DISCIPLINES, CATEGORIES AND SHEET NUMBERS CONTAINED IN THIS DRAWING SET:

PROJECT SUMMARY											
Comments	UNIT DISTRIBUTION				BUILDING INTERIOR AREA (NET)					EXTERIOR OPEN SPACE (NET)	
	1BR	2BR	3BR	TOTAL	RESIDENTIAL				TOTAL	PRIVATE	COMMON
					DWELLING UNIT	COMMON	CIRCULATION	SUBTOTAL			

LEVEL 1	0	1	0	1	828 SF	0 SF	165 SF	992 SF	992 SF	102 SF	698 SF
LEVEL 2	0	1	0	1	809 SF	0 SF	81 SF	890 SF	890 SF	0 SF	0 SF
LEVEL 3	0	1	0	1	974 SF	0 SF	0 SF	974 SF	974 SF	218 SF	0 SF
	0	3	0	3	2610 SF	0 SF	245 SF	2856 SF	2856 SF	319 SF	698 SF

GROSS BUILDING AREA BREAKDOWN	
BY FLOOR (ENCLOSED AREA)	
LEVEL	PROPOSED

(N) FIRST FLOOR	1137 SF
(N) SECOND FLOOR	1067 SF
(N) THIRD FLOOR	1061 SF
	3266 SF

PLANNING CODE ANALYSIS					
ADDRESS : 1112 SHOTWELL, SAN FRANCISCO, 94110			ORIGINAL FILING :		
BLOCK / LOT : 6526 / 002; LOT AREA: 6,899 SF			HISTORIC STANDING : EXISTING BUILDING ON SITE: "A-HISTORIC RESOURCE PRESENT" - ALSO CONTRIBUTOR TO THE SHOTWELL STREET VICTORIANA HISTORIC DISTRICT		
Topic	Code Section	Required / Allowed	Existing	Proposed	
ZONE/MAP	MAP ZN01	RH-3 (1DWELLING UNIT PER 1000 SF LOT AREA WITH CU APPROVAL = 7 UNITS MAX)	RESIDENTIAL	RESIDENTIAL	
PERMITTED USE	SFPC 209	PERMITTED RESIDENTIAL	RESIDENTIAL	RESIDENTIAL	
DENSITY	SFPC 209.2	RH-3 (1DWELLING UNIT PER 1000 SF LOT AREA WITH CU APPROVAL = 7 UNITS MAX)	4 UNITS ON SITE	3 NEW UNITS = TOTAL 7 ON LOT (CU APPROVAL IS REQUIRED)	
F.A.R	SFPC 124	N/A	RESIDENTIAL ( F.A.R DOES NOT APPLY)	RESIDENTIAL ( F.A.R DOES NOT APPLY)	
BULK LIMIT / HEIGHT	SFPC 260	40-X	38'-3" (EXISTING STRUCTURE)	34'-1" (NEW STRUCTURE)	
FRONT YARD SETBACK	SFPC 132	AVERAGE OF ADJACENT PROPERTIES AND NOT TO EXCEED 15'. AT LEAST 50% OF FRONT SETBACK SHALL BE PERMEABLE SO AS TO INCREASE STORMWATER INFILTRATION AND 20% OF FRONT SETBACK SHALL BE UNPAVED AND DEVOTED TO PLANT MATERIAL.	11'-3"	9'-7"	
REAR YARD SETBACK	SFPC 134	45% OF THE LOT DEPTH, BUT IN NO CASE LESS THAN 15' OR 25% OF THE LOT DEPTH	47'-7"	51'-9" (45% REAR YARDS) (SEC136 OBSTRUCTIONS ALLOWED)	
OPEN SPACE	SFPC TABLE 135(a)	100 sqft OF PRIVATE OR 133 sqft OF COMMON OPEN SPACE PER DWELLING UNIT IS REQUIRED.	1877 sqft (E) REAR YARD & SIDE YARD FOR (4) UNITS	(2) UNITS HAVE PRIVATE OPEN SPACE, (1) UNIT SHARES 699 SQFT COMMON OPEN SPACE WITH OTHER (4) UNITS	
STREET TREES	SFPC 138.1	REQUIRED	(3) TREES ON THE SIDEWALK	MAINTAIN EXISTING	
PARKING	SFPC 151	NONE REQUIRED	NONE EXISTING	PROVIDE BIKE PARKING (3 CLASS (1) BICYCLE SPACES IN LOCKERS PROVIDED)	
RESIDENTIAL DESIGN GUIDELINES	SFPC 311	APPLY			

&	AND	CONC	CONCRETE	FIN	FINISH	PSI	POUNDS PER SQUARE INCH	STD	STANDARD
@	AT	CONST	CONSTRUCTION	FLR	FLOOR / FLOORING	PTDF	PRESSURE TREATED DOUGLAS FIR	STRL	STEEL
°	DEGREES	CONT	CONTINUOUS	FLUOR	FLUORESCENT	LAV	LAVATORY	STRL	STRUCTURAL
Ø	DIAMETER OR ROUND	CPC	CALIFORNIA PLUMBING CODE	FO	FACE OF	LBS	POUND / POUNDS	SUSP	SUSPENDED
(E)	EXISTING	CPT	CARPET	FOC	FACE OF CONCRETE / CURB	LF	LINEAR FEET	SYM	SYMETRICAL
(N)	NEW	CTR	CENTER	FOF	FACE OF FINISH	LVL	LEVEL	SYST	SYSTEM
'	FOOT / FEET			FOS	FACE OF STUD	LWC	LIGHT WEIGHT CONCRETE		
"	INCH / INCHES	d	PENNY	FT	FOOT OR FEET			R	RADIUS (IN DIMENSION) / RISER
%	PERCENT	DBL	DOUBLE	FTG	FOOTING	MAX	MAXIMUM	RAD	RADIUS
±	PLUS / MINUS	DEPT	DEPARTMENT	FTS	FABRIC COVERED TACK SURFACE	MECH	MECHANICAL	RCP	REFLECTED CEILING PLAN
#	POUND OR NUMBER	DF	DOUGLAS FIR	FURG	FURRING	MFR	MANUFACTURER	RD	ROOF DRAIN
		DH	DOUBLE HUNG			MH	MAN-HOLE	REF	REFERENCE
AB	ANCHOR BOLT	DJA	DIAMETER	GA	GAUGE	MIN	MINIMUM	REFR	REFRIGERATOR
ADDL	ADDITIONAL	DIM	DIMENSION			MISC	MISCELLANEOUS	REG	REGISTER
ADJ	ADJACENT	DN	DOWN	GALV	GALVANIZED	MTD	MOUNTED	REINF	REINFORCED
AFF	ABOVE FINISH FLOOR	DP	DRAIN PIPE	GC	GENERAL CONTRACTOR	MTG	MOUNTING	REQ	REQUIRED
ALT	ALTERNATE	DR	DOOR	GEN	GENERAL	MTL	METAL	RM	ROOM
ALUM	ALUMINUM	DS	DOWNSPOUT	GFIC	GROUND FAULT INTERRUPT CIRCUIT			RO	ROUGH OPENING
APPROX	APPROXIMATE	DTL	DETAIL	GND	GROUND	N	NORTH	RWD	REDWOOD
ARCH	ARCHITECTURAL	DWG	DRAWING	GWB	GYP SUM WALL BOARD	N/A	NOT APPLICABLE	RWL	RAIN WATER LEADER
				GYP	GYP SUM	NIC	NOT IN CONTRACT		
						NO	NUMBER	S	SOUTH
B.O.	BOTTOM OF	E	EAST			NRC	NOISE REDUCTION COEFFICIENT	SCD	SEE CIVIL DRAWINGS
BD	BOARD	EA	EACH	HB	HOSE BIB			SCHED	SCHEDULE / SCHEDULING
BLDG	BUILDING	EERO	EMERGENCY ESCAPE AND RESCUE OPENING(S)	HD	HEAVY DUTY	NTS	NOT TO SCALE	SD	STORM DRAIN
				HM	HOLLOW METAL			SECT	SECTION
CAB	CABINET	EL	ELEVATION	HORZ	HORIZONTAL	OC	ON CENTER	SED	SEE ELECTRICAL DRAWINGS
CBC	CALIFORNIA BUILDING CODE	ELEC	ELECTRICAL	HR	HOUR	OCFI	OWNER FURNISHED, CONTRACTOR INSTALLED	SF	SQUARE FEET
CEC	CALIFORNIA ENERGY CODE	ELEV	ELEVATOR / ELEVATION	HSS	HOLLOW STEEL SECTION	OFOI	OWNER FURNISHED, OWNER INSTALLED	SFD	SEE FIRE PROTECTION DRAWINGS
CEM	CEMENT	EQ	EQUAL	HT	HEIGHT	OH	OPPOSITE HAND	SHT	SHEET
CER	CERAMIC	EQUIP	EQUIPMENT	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	OPNG	OPENING	SIM	SIMILAR
CF	CUBIC FEET	EXT	EXTERIOR	HW	HOT WATER HEATER			SLD	SEE LANDSCAPE DRAWINGS
CFC	CALIFORNIA FIRE CODE	FA	FIRE ALARM					SMD	SEE MECHANICAL DRAWINGS
CFCI	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED	FC	FOOT-CANDLE	IN	INCH OR INCHES	PL	PROPERTY LINE	SOG	SLAB ON GRADE
CFOI	CONTRACTOR FURNISHED, OWNER INSTALLED	FD	FLOOR DRAIN	INS	INSULATE / INSULATION / INSULATING	PLAM	PLASTIC LAMINATE	SPD	SEE PLUMBING DRAWINGS
		FDC	FIRE DEPARTMENT CONNECTION			PLUMB	PLUMBING	SPEC	SPECIFICATIONS
CJ	CONTROL JOINT	FDN	FOUNDATION	INT	INTERIOR	PLYPLY	PLYWOOD	SQ	SQUARE
CL	CENTER LINE					WD		SSI/SST	STAINLESS STEEL
CLG	CEILING	FE	FIRE EXTINGUISHER	J BOX	JUNCTION BOX	POC	POINT OF CONNECTION	SSD	SEE STRUCTURAL DRAWINGS
CLR	CLEAR	FEC	FIRE EXTINGUISHER W/ CABINET	JT	JOINT	PSF	POUNDS PER SQUARE FOOT	STC	SOUND TRANSMISSION CLASS
CMU	CONCRETE MASONRY UNIT								
COL	COLUMN	FF	FINISH FLOOR					x	BY

COMMON OPEN SPACE SUMMARY

AREA REQUIRED (5 UNITS x 133 SF)	LEVEL	AREA PROVIDED
		TOTAL
665 SF	LEVEL 1	698 SF

OPEN SPACE COMPLIANCE:

- (2) NEW UNITS HAVE COMPLYING PRIVATE OPEN SPACE (GROUND FLOOR UNIT HAS PRIVATE PATIO ON GRADE; THRID FLOOR UNIT HAS PRIVATE ROOF DECK)
- (1) NEW UNIT & (4) EXISTING UNITS HAVE ACCESS TO COMPLYING COMMON OPEN SPACE (133 SF EA) (SEE PROPOSED SITE PLAN SHEET A1.01)



139 Hove Street  
San Francisco, CA  
94114  
415.749.0302

Revisions



1112 SHOTWELL ST

1112 SHOTWELL ST  
SAN FRANCISCO, CA 94110  
BLOCK 6526 / LOT 002

NEW CONSTRUCTION OF  
3-UNIT BUILDING ADJACENT  
TO THE EXISTING  
RESIDENTIAL STRUCTURE  
ON THE SAME LOT

1112 SHOTWELL LLC

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GENERAL NOTES, PLANNING DEPARTMENT NOTES & SCHEDULES

DATE 04/15/2021

SCALE 1" = 1'-0"

DRAWN BY YZ

CHECKED BY TM

JOB NO. ###

G0.03

OCCUPANCY SCHEDULE BY FLOOR	
Level	OCCUPANT LOAD (OL) - SCHEDULE ON G0.06.1
(N) FIRST FLOOR	5
(N) ROOF	2
(N) SECOND FLOOR	5
(N) THIRD FLOOR	5

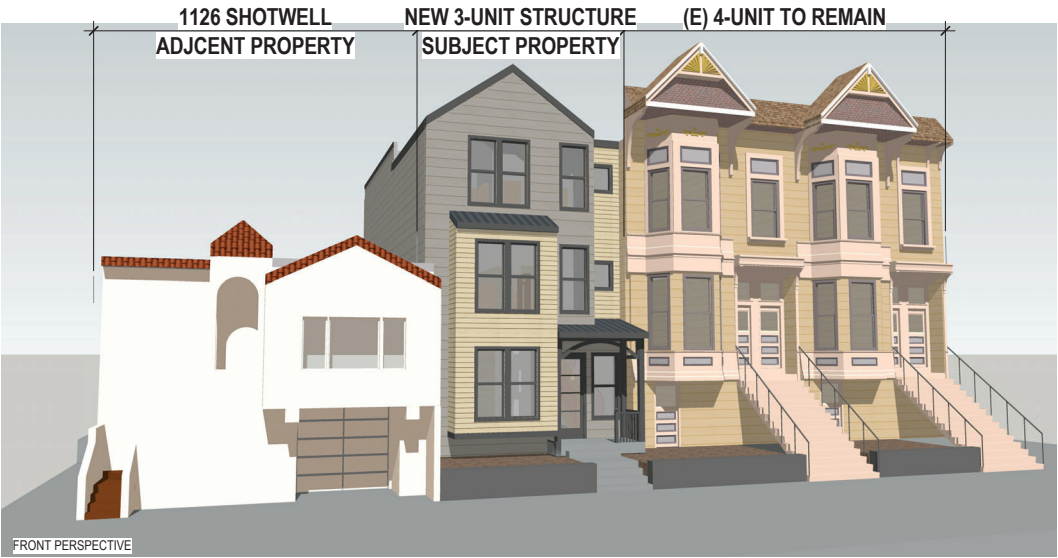
BUILDING DEPARTMENT CODE ANALYSIS*						
* SEE G0.06.1 AND G0.06.2 FOR ADDITIONAL INFORMATION						
#	Description	Code Ref. (CBC, U.O.N.)	Allowable	Min/Max	Proposed	Comments
1 - GENERAL PROJECT INFORMATION						
1.1	TYPE OF CONSTRUCTION	602.1			TYPE V-A	
1.2	OCCUPANCY CLASSIFICATION	310.4			R-2 (3 NEW UNITS)	
1.3	HIGH-RISE BUILDING CLASSIFICATION	403.1	N/A		N/A	
3 - HEIGHT AND AREA LIMITATIONS						
3.1	BUILDING HEIGHT	Table 504.3	Unlimited (UL)	Max.	34'-1"	
3.2	BUILDING STORIES ABOVE GRADE	Table 504.4	3 STORIES	Max.	3 STORIES O/ BASEMENT	
3.3	LARGEST STORY AREA	Table 506.2	UL	Max.	1,137 SF	Largest Story = 1st Floor
3.4	TOTAL BUILDING AREA				3,254 SF	
6 - FIRE RESISTANCE RATING REQUIREMENTS						
6.1	PRIMARY STRUCTURAL FRAME	Table 601	1 HR	Min.	1 HR	
6.2	BEARING WALLS - EXTERIOR	Table 601	1 HR	Min.	1 HR	
6.3	BEARING WALLS - INTERIOR	Table 601	1 HR	Min.	1 HR	
6.4	NON-BEARING WALLS - EXTERIOR	Table 601	Varies - see below			
6.41	WHERE FIRE SEPARATION DISTANCE (FSD) < 30'	Table 602	1 HR	Min.	1 HR	
6.42	WHERE FSD >= 30'	Table 602	Not Required		N/A	
6.5	NON-BEARING WALLS - INTERIOR	Table 601	Not Required			
6.51	NON-BEARING WALLS - TENANT SEPARATION	708	1 HR	Min.	1 HR	
6.6	FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	Table 601 and 510.4	1 HR	Min.	1 HR	
6.7	ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	Table 601	1 HR	Min.	1 HR	
6.81	SHAFT ENCLOSURES CONNECTING LESS THAN 4 STORIES	713.4	1 HR WHEN PENETRATING 2 HR FLOOR	Min.	1 HR	
6.82	SHAFT ENCLOSURES CONNECTING 4 STORIES OR MORE	713.4	1 HR	Min.	1 HR	
6.9	HORIZONTAL EXIT (USED AT CORRIDORS)	1026.2 & 711.2.4	1 HR	Min.	1 HR	
7 - FIRE AND SMOKE PROTECTION FEATURES						
7.1	MAXIMUM AREA OF EXTERIOR WALL OPENINGS AND PROTECTION REQUIRED					
7.11	WHERE FIRE SEPARATION DISTANCE (FSD) < 3'	SF DBI AB-009	45 MINUTES	Min.	45 MINUTES	
7.12	WHERE 3' <= FSD <5'	Table 705.8	15% OPENING PERMITTED UNPROTECTED, SPRINKLERED	Max.	N/A	
7.13	WHERE 5' <= FSD <10'	Table 705.8	25% OPENING PERMITTED UNPROTECTED, SPRINKLERED	Max.	N/A	
7.14	WHERE 10' <= FSD <15'	Table 705.8	45% OPENING PERMITTED UNPROTECTED, SPRINKLERED	Max.	N/A	
7.15	WHERE 15' <= FSD <20'	Table 705.8	75% OPENING PERMITTED UNPROTECTED, SPRINKLERED	Max.	N/A	
7.16	WHERE FSD >= 20'	Table 705.8	No Limit			
9 - FIRE PROTECTION SYSTEMS						
9.1	AUTOMATIC, FULLY SPRINKLERED SYSTEM	903 and NFPA 13	Required per CBC 903 and NFPA 14		YES, provided per CBC 903 and NFPA 14	
9.2	STANDPIPE SYSTEMS	905 AND NFPA 14	Required per CBC 905 and NFPA 14 for buildings > 3 stories		NO	
9.3	FIRE PUMPS	901.8, 913 and NFPA 20	Fire Flow Calcs demonstrate a Fire Pump is required on this project		NO	
9.4	FIRE ALARM AND DETECTION SYSTEM	907 and NFPA 72	Required per CBC 907 and NFPA 72		YES, provided per CBC 907 and NFPA 72	
9.5	EMERGENCY VOICE / ALARM COMMUNICATION SYSTEM	907 and NFPA 72	Required per CBC 907 and NFPA 72		YES, provided per CBC 907 and NFPA 72	Smoke Alarms (per CBC 907.2.11) to be hard-wired to Building Primary Power. Audible alarm notification to comply with 907.5.21.1 including min. 75 DBA sound pressure in R-occupancies.
9.6	EMERGENCY RESPONDER RADIO COMMUNICATION SYSTEM	403.4.5, 916, AND CFC 510	Per CFC 510 as required by Fire Code Official		YES, provided per 403.4.5, 916, AND CFC 510	
10 - MEANS OF EGRESS & OCCUPANT LOAD						
10.1.1	STAIRWAY WIDTH	1005.3.1 & 10.11.2	40"	Min.	MIN.	
10.1.2	OTHER EGRESS COMPONENT WIDTHS	1005.3.2 & 10.11.2	40"	Min.	MIN.	
10.2.1	NUMBER OF EXITS - COMMON AREAS	1006.2	2	Min.	2	
10.2.2	NUMBER OF EXITS - WITHIN DWELLING UNITS	1006.2.1	1	Min.	1	Per Exception 1, (1) exit permitted within and from unit
10.3	DISTANCE BETWEEN EXIT ACCESS STAIRWAYS	1007.1.1	1/3 Building Diagonal	Min.	> 1/3 Building Diagonal	Per Exception 2, the separation distance shall not be greater than 1/3 the diagonal in buildings fully equipped with fire sprinklers
10.4	EMERGENCY ESCAPE AND RESCUE	1030.1	Not Required in Sleeping Rooms per Exception 1		Not Provided in Sleeping Rooms	

<div><div><div><div><div></div><div>k</div><div>m</div></div><div>kerman morris architects llp</div></div><div>139 Nise Street San Francisco, CA 94114 415.749.0302</div></div></div>		
Revisions		
<div><div><div>LICENSED ARCHITECT EMERSON DAVIS MORRIS C-24585 EXP. 3-31-25 STATE OF CALIFORNIA</div></div></div>		
<div><div>1112 SHOTWELL ST</div><div>1112 SHOTWELL ST SAN FRANCISCO, CA 94110  BLOCK 6526 / LOT 002</div><div>NEW CONSTRUCTION OF 3-UNIT BUILDING ADJACENT TO THE EXISTING RESIDENTIAL STRUCTURE ON THE SAME LOT</div><div>1112 SHOTWELL LLC</div></div>		
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BUILDING DEPARTMENT NOTES & SCHEDULES		
DATE	04/15/2021	
SCALE		
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CHECKED BY	TM	
JOB NO.	###	
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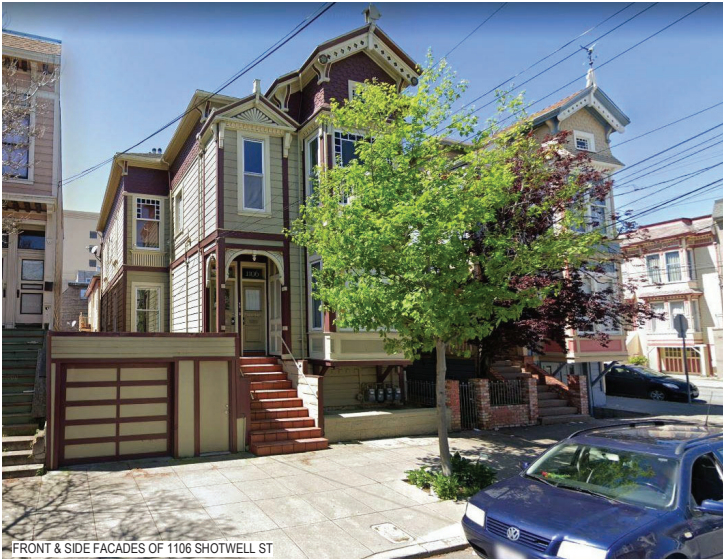


04/15/2021 11:12 Shotwell 0005 112 Shotwell St, 202007 004

SCHEMATIC DESIGN



SITE PHOTOS



km  
kerman  
morris  
architects llp

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415.749.0302

Revisions	

1112  
SHOTWELL ST

1112 SHOTWELL ST  
SAN FRANCISCO, CA 94110  
BLOCK 6526 / LOT 002

NEW CONSTRUCTION OF  
3-UNIT BUILDING ADJACENT  
TO THE EXISTING  
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SITE PHOTOS

DATE	04/15/2021
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NOTE: TO ANYONE HAVING ANY INTEREST IN THIS MAP PLEASE BE ADVISED AS FOLLOWS:

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2. THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OF SERVICE FOR FERGUS O'SULLIVAN AND IT REMAINS THE PROPERTY OF FREDERICK T. SEHER & ASSOCIATES, INC.
3. THIS MAP SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR: ARCHITECTURAL DESIGN AND BUILDING PERMIT. THE USE OF THIS MAP FOR ANY OTHER PURPOSE IS BEYOND THIS MAP'S INTENDED USE & OUR CONTRACT. IN THE EVENT OF SUCH USE BEYOND THE LIMITATION ABOVE, LIABILITY SHALL REST SOLELY UPON THE PARTY USING THIS MAP, AND FREDERICK T. SEHER & ASSOCIATES, INC. DISCLAIMS ANY AND ALL RESPONSIBILITY.
4. ANY IMPROVEMENT CHANGES ON THE SUBJECT OR ADJACENT SITES, OR TITLE TRANSFERS OF THE SUBJECT PROPERTY, OR THE ELAPSE OF 3 OR MORE YEARS FROM THE DATE OF THE SURVEY, SHALL VOID THIS MAP AND THE INFORMATION SHOWN HEREON, UNLESS A RE-SURVEY IS ORDERED TO UPDATE OR RE-CERTIFY THIS MAP.
5. THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING.
6. THE USE OF THIS MAP BY OTHERS ON BEHALF OF THE CLIENT SHALL PROMPT THE IMMEDIATE FULFILLMENT OF ALL THE CLIENT'S OBLIGATIONS TO FREDERICK T. SEHER & ASSOCIATES, INC. UNLESS OTHERWISE AGREED TO.
7. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.
8. THIS MAP MAY BE PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. A SIGNED PRINT DELIVERED TO THE CLIENT OR CLIENT REPRESENTATIVE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE ELECTRONIC FILE IS ALTERED OR IS IN DISCREPANCY, THE PRINT MUST BE REFERRED TO FOR THE CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.

#### BOUNDARY NOTES:

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ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED

ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.

#### UTILITY NOTE:

UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THEREFORE, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

#### GENERAL NOTE:

THE FOLIAGE LINES OF ALL TREES PLOTTED HEREON ARE SHOWN IN A GRAPHICAL FORM ONLY, AND ARE NOT INTENDED TO REPRESENT ACTUAL DRIPLINES THEREOF.

#### DATE OF FIELD SURVEY:

TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY FREDERICK T. SEHER & ASSOCIATES INC. ON SEPTEMBER 2, 2020.

#### SURVEY REFERENCE:

THE SURVEY HEREON IS BASED ON THE LEGAL DESCRIPTION DESCRIBED IN THE FOLLOWING GRANT DEED:

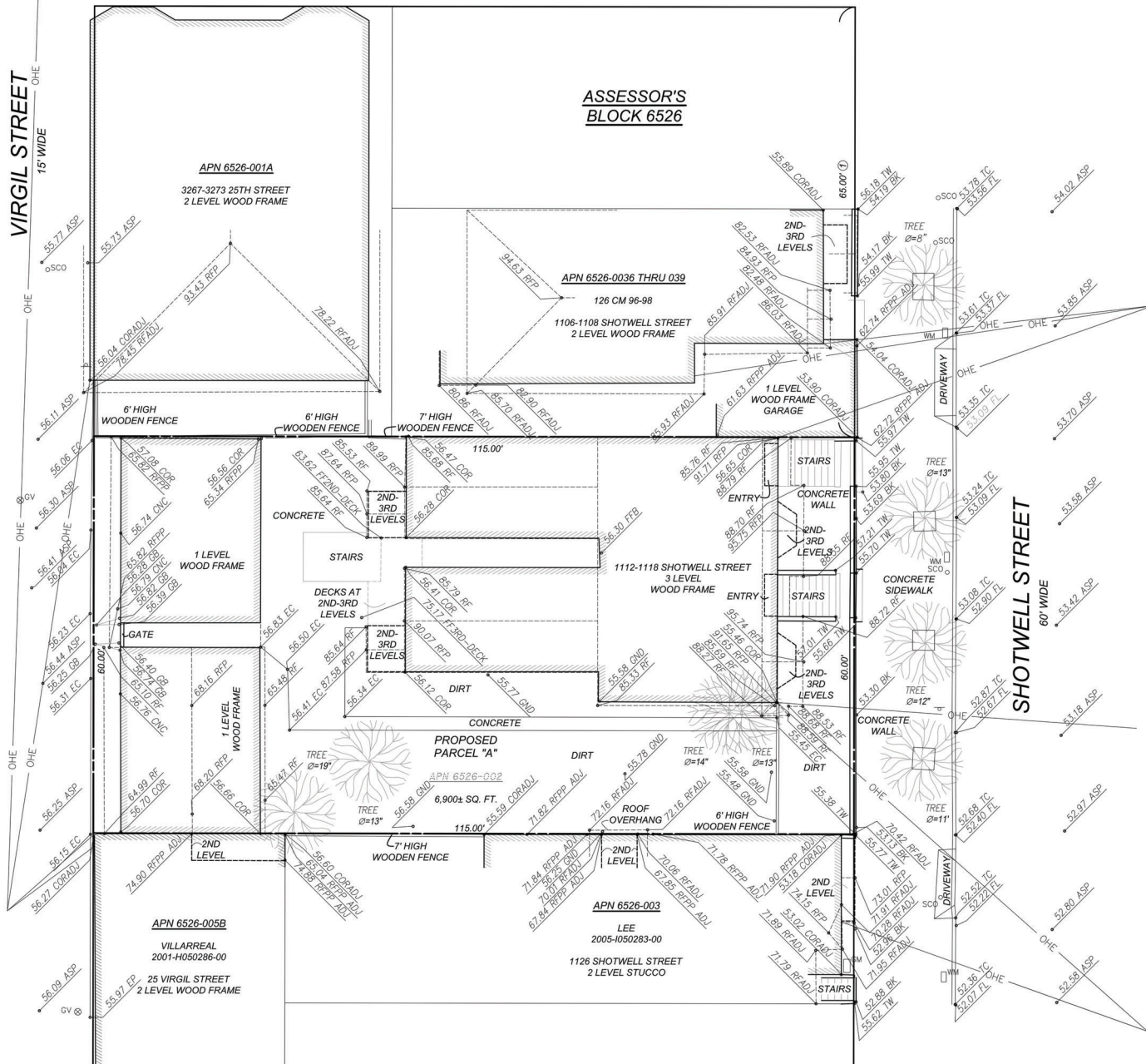
① APN 6526-002: RECORDED JUNE 23, 2020, DOCUMENT NUMBER 2020-K943580-00

#### PROJECT BENCHMARK - DESCRIPTION:

ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A CITY BENCHMARK, LOCATED AT THE INTERSECTION OF 25TH AND FOLSOM STREETS. ELEVATIONS ARE BASED ON OLD CITY AND COUNTY OF SAN FRANCISCO DATUM. S.W. CORNER 25° S, +CUT N SIDE LOWER CONC STEP. ELEVATION = 50.758'

25TH STREET  
64' WIDE

ASSESSOR'S  
BLOCK 6526



10' 0 10' 20'  
SCALE: 1" = 10'

#### LEGEND

ADJ	ADJACENT BUILDING
ASP	ASPHALT
BK	BACK OF WALK
BW	BOTTOM OF WALL
BLDG	BUILDING
CNC	CONCRETE
COR	CORNER
EP	EDGE OF PAVEMENT
FF	FINISHED FLOOR
FL	FLOW LINE
GB	GRADE BREAK
GM	GAS METER
GND	GROUND
GV	GAS VALVE
SCO	SANITARY SEWER CLEAN OUT/VENT
TC	TOP OF CURB
TW	TOP OF WALL
WM	WATER METER
WV	WATER VALVE
OHE	OVERHEAD ELECTRIC LINE
Ø	DIAMETER
SIGN	SIGN
ELEV DESC	SPOT ELEVATION
TREE	TREE

#### OWNERS:

1112 SHOTWELL LLC  
530 DIVISADERO STREET, #350  
SAN FRANCISCO, CA 94117

#### SURVEYOR'S STATEMENT:

THIS MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.



*Frederick T. Seher*  
FREDERICK T. SEHER, PLS  
LICENSE NO. 6216

12-11-20

DATE:

DATE:	DECEMBER 2020	△			
SCALE:	1"=10'	△			
DRAWN BY:	AZR	△			
DRAWING NAME:	2297-20	△			
SURVEYED BY:	FTS	△			
CHECKED BY:	EF	△			
CHECKED BY:	JC	△			
		NO.	BY	DATE	REVISIONS



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PROFESSIONAL LAND SURVEYORS  
SURVEYING & MAPPING  
841 LOMBARD STREET, SAN FRANCISCO, CA 94133  
(415) 921-7690 FAX (415) 921-7655

ARCHITECTURAL SITE SURVEY  
ASSESSOR'S PARCEL NUMBER 6526-002  
1112-1118 SHOTWELL STREET, SAN FRANCISCO, CA

SHEET  
1  
OF 1 SHEETS  
JOB NO. 2297-20

#### Revisions



1112  
SHOTWELL ST

1112 SHOTWELL ST  
SAN FRANCISCO, CA 94110  
BLOCK 6526 / LOT 002

NEW CONSTRUCTION OF  
3-UNIT BUILDING ADJACENT  
TO THE EXISTING  
RESIDENTIAL STRUCTURE  
ON THE SAME LOT

1112 SHOTWELL LLC

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SITE SURVEY

DATE 04/15/2021

SCALE

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G0.06

Revisions



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FIRE AND LIFE  
SAFETY  
PLANS

DATE 04/15/2021

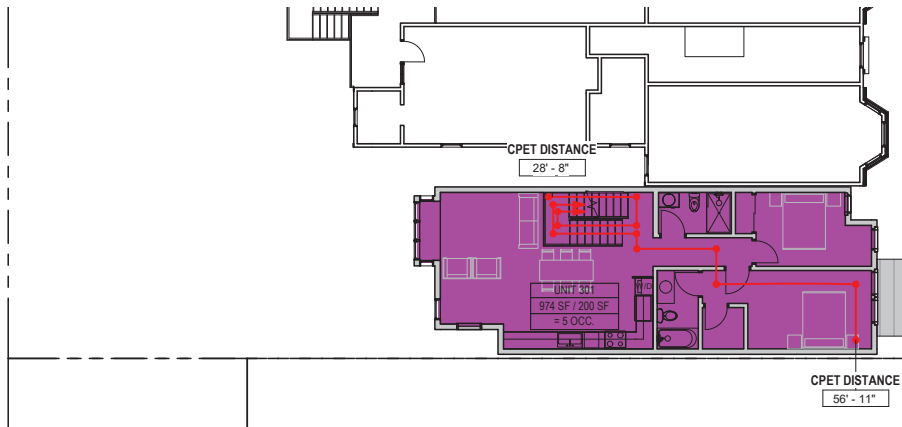
SCALE As indicated

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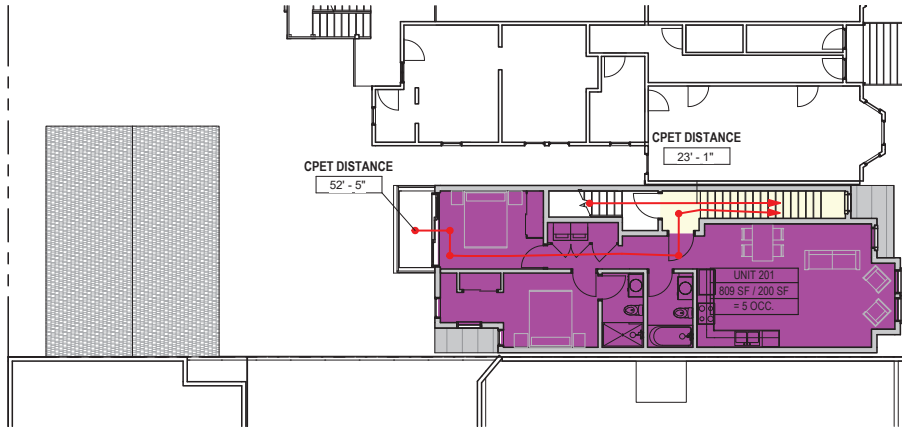
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JOB NO. ###

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3 LIFE SAFETY - (N) THIRD FLOOR  
3/32" = 1'-0"



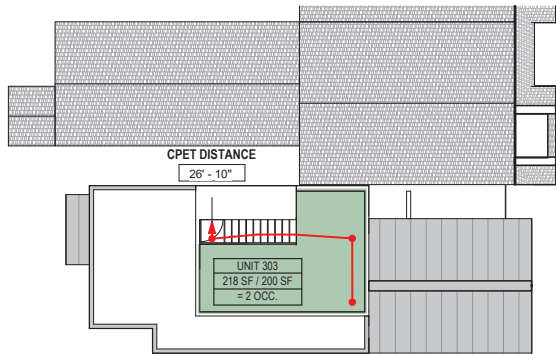
2 LIFE SAFETY - (N) SECOND FLOOR  
3/32" = 1'-0"

GENERAL NOTES

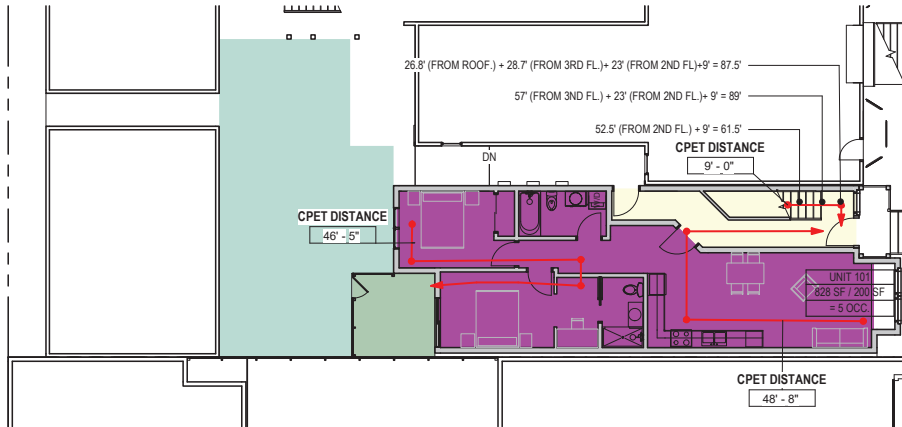
1. ALL DIMENSIONS TO FINISH FACE OF WALL U.O.N.
2. V.I.F. ALL (E) DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ALERT ARCHITECT TO ANY DISCREPANCIES
3. ALL CLEAR DIMENSIONS SHALL BE EXACT WITHIN 1/8" TOLERANCE ALONG FULL HEIGHT AND FULL WIDTH OF WALLS

PARTITION LEGEND

- (E) PARTITION TO REMAIN
- (E) NON-STRUCTURAL PARTITION TO BE REMOVED
- (N) 1-HR RATED PARTITION & FLOOR (SEE SHEET A7.01)



4 LIFE SAFETY - (N) ROOF  
3/32" = 1'-0"



1 LIFE SAFETY - (N) FIRST FLOOR  
3/32" = 1'-0"

R-2 TYPE VA:  
218 SF / 200 = 2 OCC  
1 EXIT MIN.; 2 EXIT PROVIDED  
5 OCC X 0.2" = 1"

TRAVEL DISTANCE NOTES: BUILDING

- EXIT ACCESS TRAVEL DISTANCE FROM MOST REMOTE POINT OF ANY OCCUPANCY IN BUILDING = 218' < 125' PROJECT COMPLIES

OCCUPANCY WIDTH NOTES: BUILDING

- STAIR 1 WIDTH REQUIREMENT: SET BY GREATEST OCCUPANCY
- STAIR 2 WIDTH REQUIREMENT: SET BY GREATEST OCCUPANCY
- ONLY THE GREATEST OCCUPANT LOAD IS SHOWN FOR EGRESS PURPOSES

EXIT NOTES: BUILDING, THIS FLOOR

- SINGLE EXIT PERMITTED ON EACH SIDE OF BUILDING BASED ON OCCUPANCY (R-2), MAX. TRAVEL DISTANCE (125') PER CBC 1006.3.3 AND FORMAL COMMITTEE IBC INTERPRETATION 21-14 - SEE TABLE THIS SHEET

R-2 TYPE VA:  
822 SF / 200 = 5 OCC  
1 EXIT MIN.; 2 EXIT PROVIDED  
5 OCC X 0.2" = 1"

TRAVEL DISTANCE NOTES: BUILDING

- EXIT ACCESS TRAVEL DISTANCE FROM MOST REMOTE POINT OF ANY OCCUPANCY IN BUILDING = 48.7' < 125' PROJECT COMPLIES

OCCUPANCY WIDTH NOTES: BUILDING

- STAIR 1 WIDTH REQUIREMENT: SET BY GREATEST OCCUPANCY
- STAIR 2 WIDTH REQUIREMENT: SET BY GREATEST OCCUPANCY
- ONLY THE GREATEST OCCUPANT LOAD IS SHOWN FOR EGRESS PURPOSES

EXIT NOTES: BUILDING, THIS FLOOR

- SINGLE EXIT PERMITTED ON EACH SIDE OF BUILDING BASED ON OCCUPANCY (R-2), MAX. TRAVEL DISTANCE (125') PER CBC 1006.3.3 AND FORMAL COMMITTEE IBC INTERPRETATION 21-14 - SEE TABLE THIS SHEET

R-2 TYPE VA:  
969 SF / 200 = 5 OCC  
1 EXIT MIN.; 2 EXIT PROVIDED  
5 OCC X 0.2" = 1"

TRAVEL DISTANCE NOTES: BUILDING

- EXIT ACCESS TRAVEL DISTANCE FROM MOST REMOTE POINT OF ANY OCCUPANCY IN BUILDING = 89' < 125' PROJECT COMPLIES

OCCUPANCY WIDTH NOTES: BUILDING

- STAIR 1 WIDTH REQUIREMENT: SET BY GREATEST OCCUPANCY
- STAIR 2 WIDTH REQUIREMENT: SET BY GREATEST OCCUPANCY
- ONLY THE GREATEST OCCUPANT LOAD IS SHOWN FOR EGRESS PURPOSES

EXIT NOTES: BUILDING, THIS FLOOR

- SINGLE EXIT PERMITTED ON EACH SIDE OF BUILDING BASED ON OCCUPANCY (R-2), MAX. TRAVEL DISTANCE (125') PER CBC 1006.3.3 AND FORMAL COMMITTEE IBC INTERPRETATION 21-14 - SEE TABLE THIS SHEET









1112 Shotwell St, San Francisco, CA 94114



2 EXISTING ELEVATION - WEST (REAR)  
3/16" = 1'-0"



1 EXISTING ELEVATION - EAST (FRONT)  
3/16" = 1'-0"

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415.749.0302

Revisions



1112  
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BLOCK 6526 / LOT 002

NEW CONSTRUCTION OF  
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EXISTING  
EXTERIOR  
ELEVATIONS

DATE 04/15/2021

SCALE 3/16" = 1'-0"

DRAWN BY YZ

CHECKED BY TM

JOB NO. ###

AE5.01

11/15/2021 12:51:07 AM



B:\112 SHOTWELL\112 Shotwell\112 Shotwell.dwg, 1112 Shotwell, R, 20200710.rvt

11/15/2021 10:22:04 AM



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morris  
architects llp

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Revisions



**1112  
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**EXISTING  
EXTERIOR  
ELEVATIONS**

DATE 04/15/2021

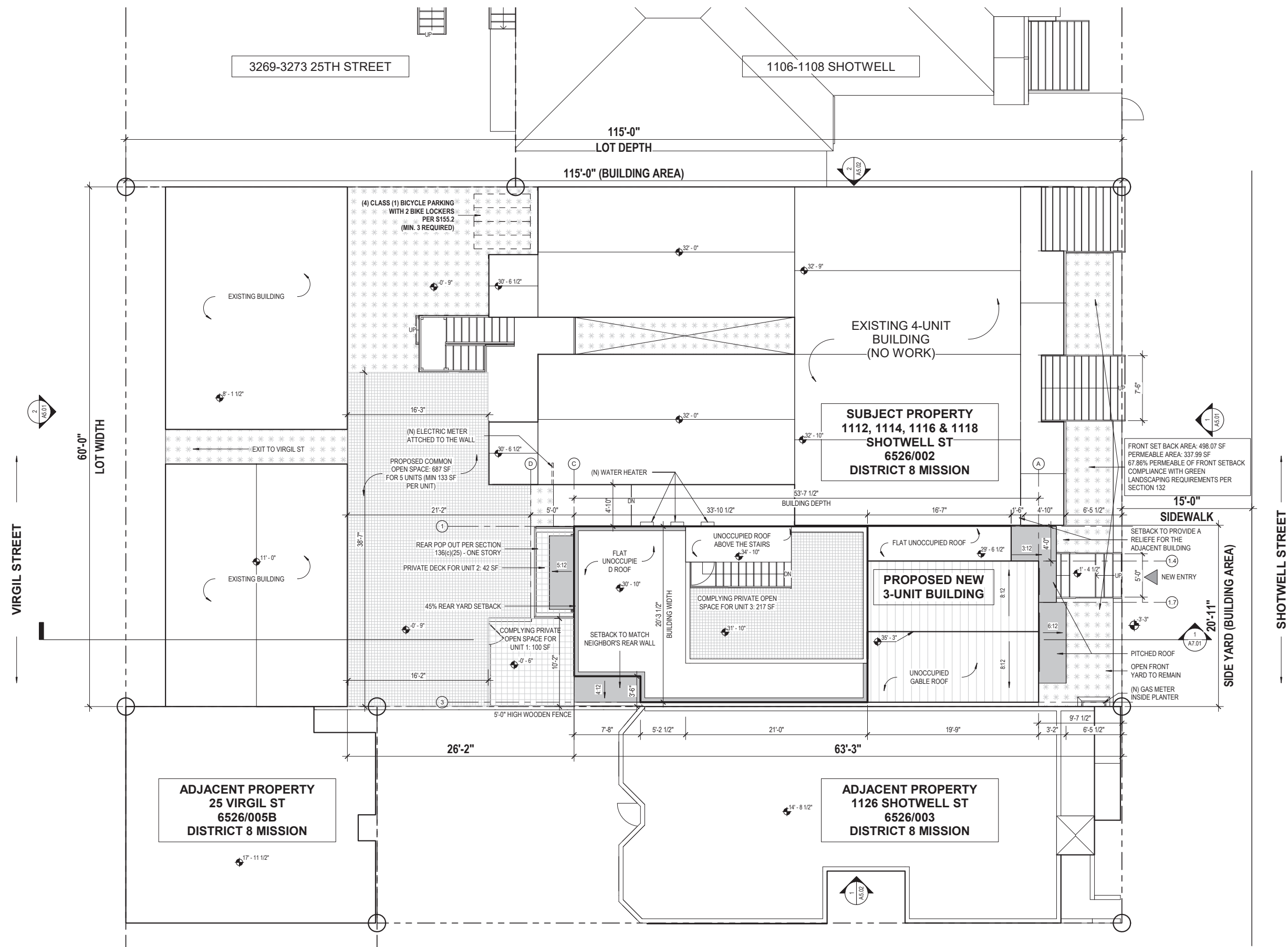
SCALE 3/16" = 1'-0"

DRAWN BY YZ

CHECKED BY TM

JOB NO. ###

**AE5.02**



## Revisions



**1112**  
**SHOTWELL ST**  
1112 SHOTWELL ST  
SAN FRANCISCO, CA 94110  
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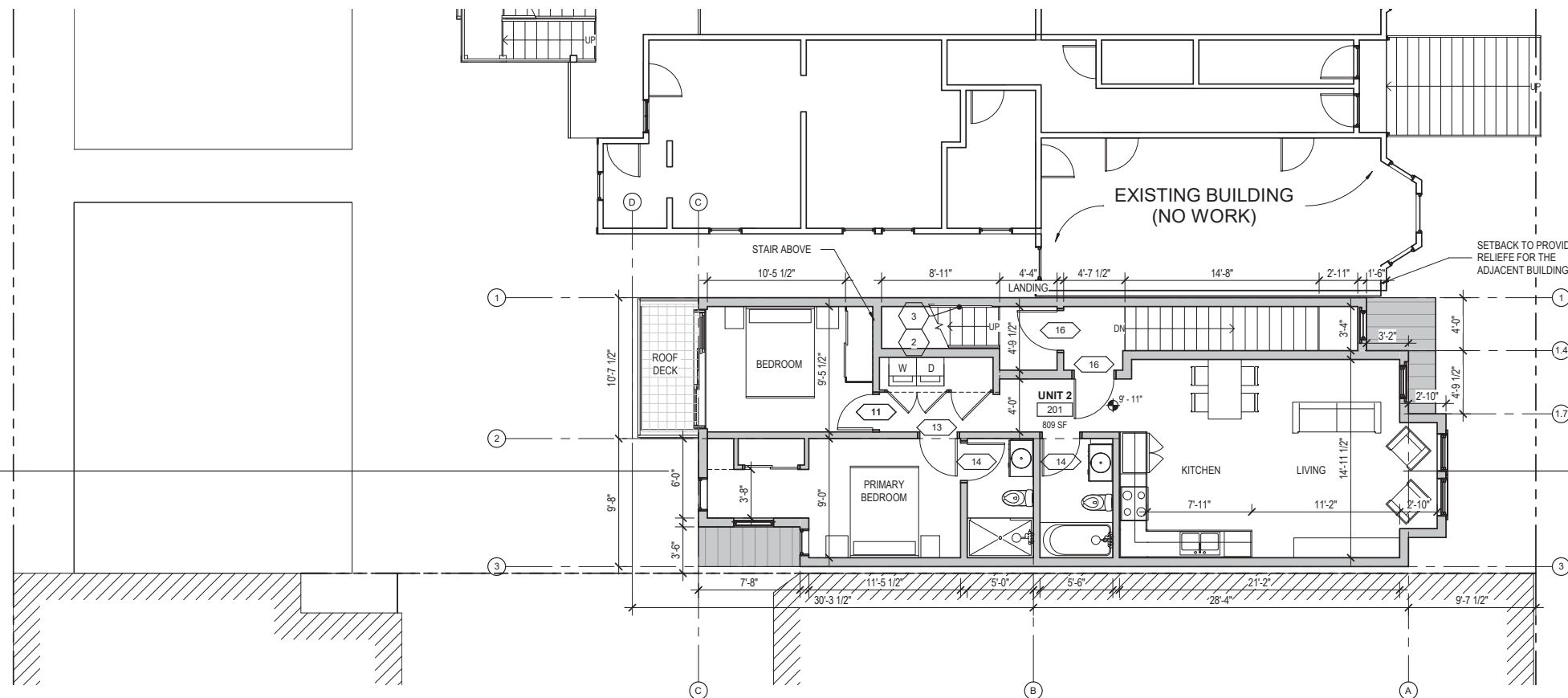
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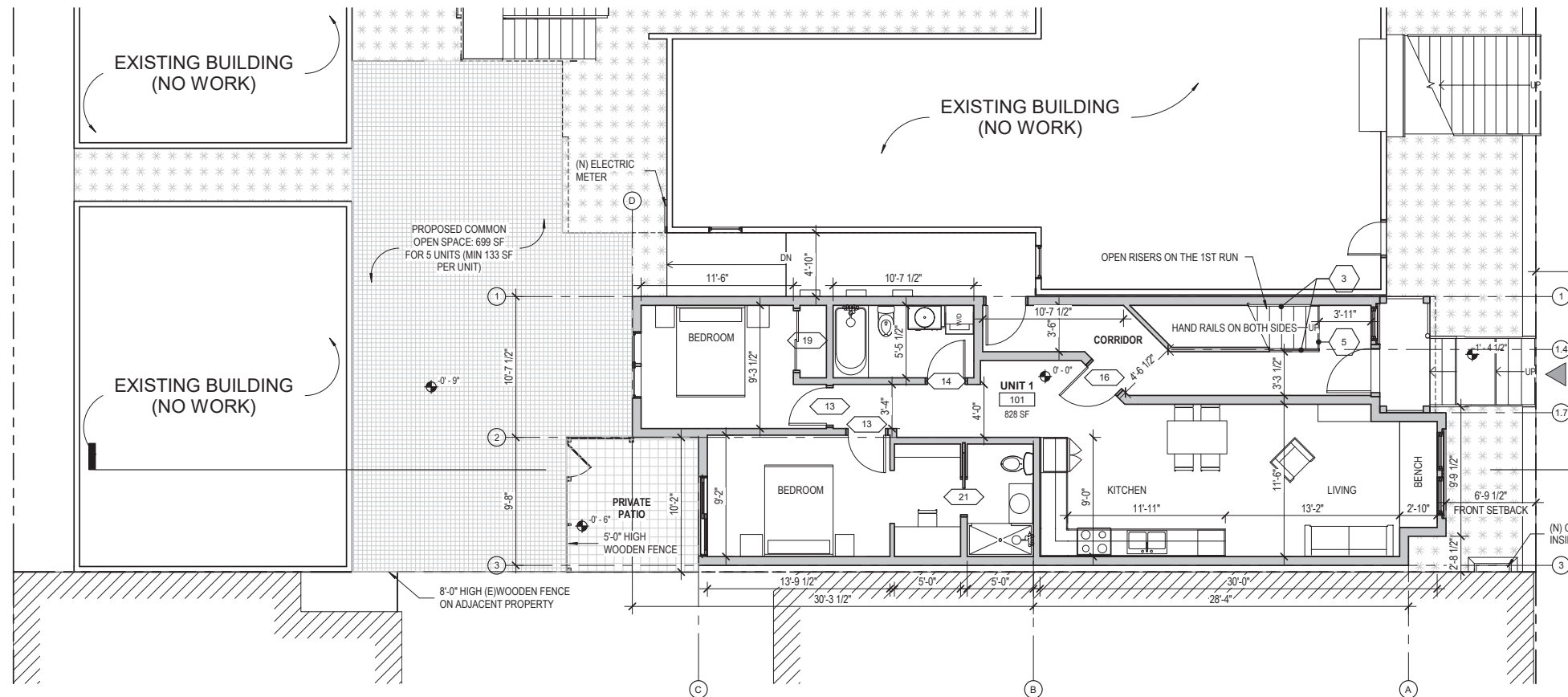
## SITE PLANS

DATE	04/15/2021
SCALE	3/16" = 1'-0"
DRAWN BY	YZ
CHECKED BY	TM
JOB NO.	###

A1.01



**2 (N) SECOND FLOOR**  
3/16" = 1'-0"



**1 (N) FIRST FLOOR**  
3/16" = 1'-0"

## GENERAL NOTES

1. ALL DIMENSIONS TO FINISH FACE OF WALL U.O.N.
2. V.I.F. ALL (E) DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ALERT ARCHITECT TO ANY DISCREPANCIES
3. ALL CLEAR DIMENSIONS SHALL BE EXACT WITHIN 1/8" TOLERANCE ALONG FULL HEIGHT AND FULL WIDTH OF WALLS

## PARTITION LEGEND

- (E) PARTITION TO REMAIN
- (E) NON-STRUCTURAL PARTITION TO BE REMOVED
- (N) 1-HR RATED PARTITION & FLOOR (SEE SHEET A7.01)

## KEYNOTES

1. RATED DOOR WITH CLOSER, LATCH, AND SMOKE SEAL
  - 45-MIN AT 1-HR ENCLOSURE
  - 90-MIN AT 2-HR ENCLOSURE
2. PRIVATE STAIR: MAX RISER HEIGHT OF 7 3/4" AND MINIMUM TREAD DEPTH OF 10" (PER CBC 1011.5.2 EXCEPTION #3) MINIMUM HEADROOM 80" (PER CBC 1011.3)
3. GUARDRAIL MIN. 42" A.F.F. WITH 4" MAX OPENINGS (PER CBC 1015.3 & 1015.4). GUARDRAIL SHALL BE 1-HR RATED CONSTRUCTION AT PROPERTY LINE CONDITION
4. HANDRAIL BETWEEN 34" AND 38" A.F.F. (PER CBC 1014)
5. COMMON STAIR: MAX RISER HEIGHT OF 7" AND MINIMUM TREAD DEPTH OF 11" MIN HEADROOM 80"

**km**  
kerman  
morris  
architects llc

139 Hoge Street  
San Francisco, CA  
94114  
415.749.0302

## Revisions

NO.	DESCRIPTION



## 1112 SHOTWELL ST

1112 SHOTWELL ST  
SAN FRANCISCO, CA 94110  
BLOCK 6526 / LOT 002

NEW CONSTRUCTION OF  
3-UNIT BUILDING ADJACENT  
TO THE EXISTING  
RESIDENTIAL STRUCTURE  
ON THE SAME LOT

1112 SHOTWELL LLC

## NOTICE

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## FLOOR PLANS

DATE 04/15/2021

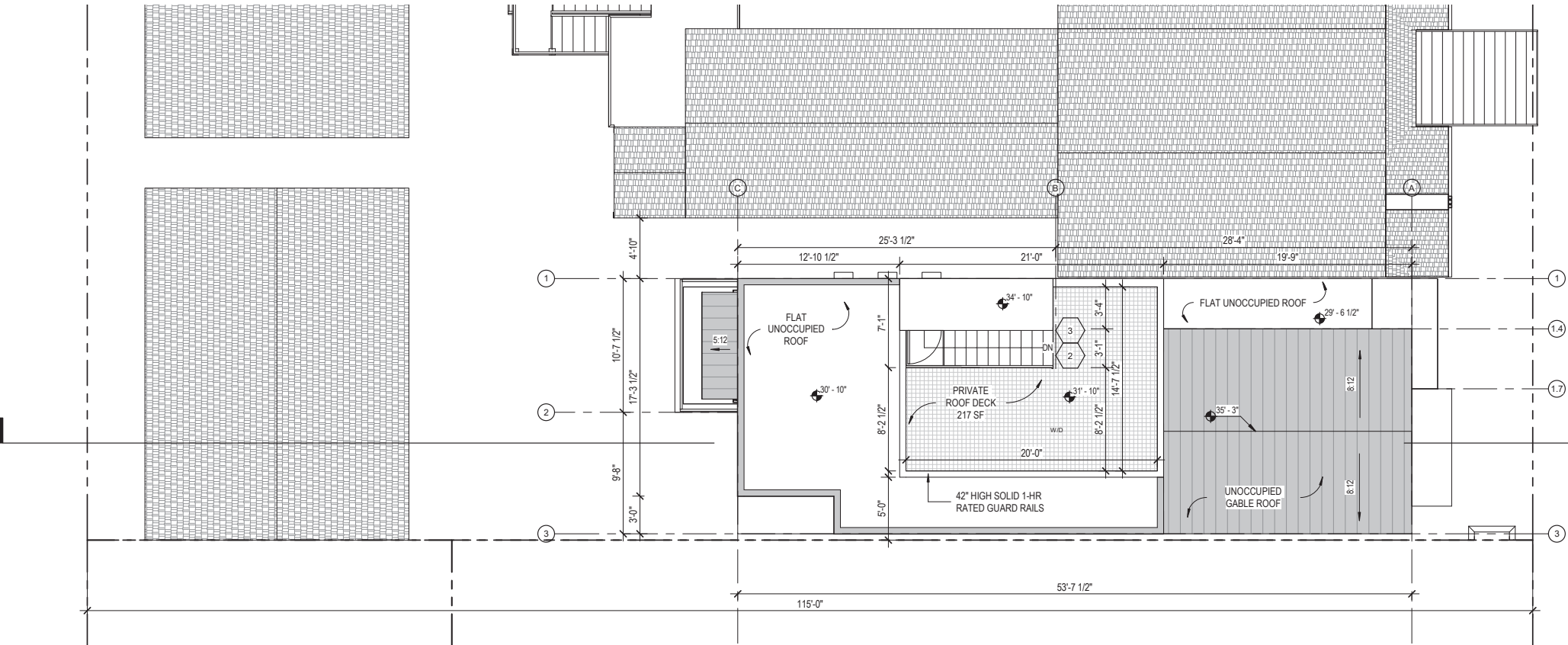
SCALE As indicated

DRAWN BY YZ

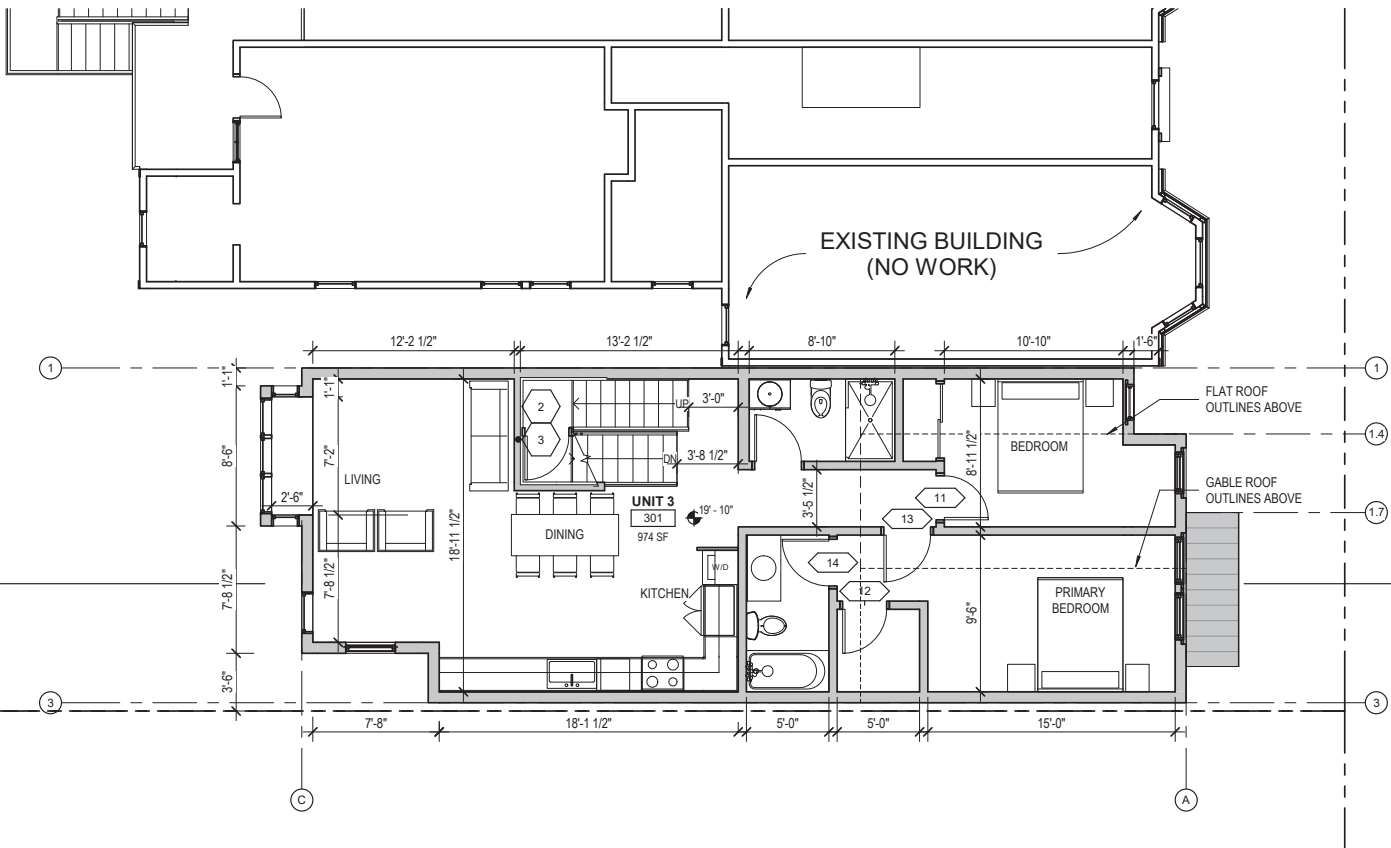
CHECKED BY TM

JOB NO. ###

**A2.01**



2 (N) ROOF  
3/16" = 1'-0"



1 (N) THIRD FLOOR  
3/16" = 1'-0"

### KEYNOTES

1. RATED DOOR WITH CLOSER, LATCH, AND SMOKE SEAL
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- (E) NON-STRUCTURAL PARTITION TO BE REMOVED
- (N) 1-HR RATED PARTITION & FLOOR (SEE SHEET A7.01)

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### Revisions



### 1112 SHOTWELL ST

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DATE 04/15/2021

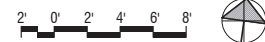
SCALE As indicated

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CHECKED BY TM

JOB NO. ###

A2.02



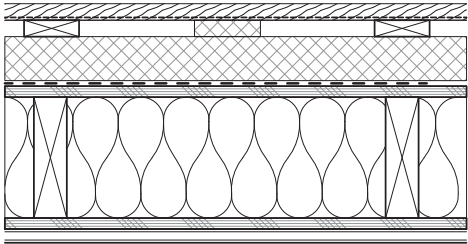






PARTITION TYPES - GENERAL NOTES

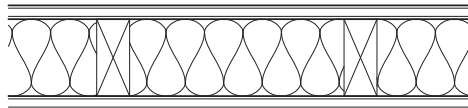
1. ALL STANDARD STUD FRAMING SHALL BE 16" O.C. U.O.N. ALL SHAFT WALL STUD FRAMING SHALL BE 24" O.C. U.O.N.
2. ALL GYP. BD. TO BE 5/8" THICK TYPE 'X' U.O.N. PAINT ALL EXPOSED FACES.
3. PROVIDE TYPE 'X' GLASS-MAT WATER-RESISTANT BACKING BOARD IN LIEU OF FINAL LAYER OF GYP.BD. INDICATED ON SCHEDULED WALL TYPES AT INTERIOR FRAMED WET WALLS, INCLUDING JANITOR'S CLOSETS.
4. PROVIDE MOISTURE AND MOLD-RESISTANT TYPE X GYP BOARD AT ALL INTERIOR "HUMID" LOCATIONS INCLUDING BATHROOMS.
5. THE WALL TYPE ABOVE OR BELOW ANY OPENING IS TO BE THE SAME AS THAT SCHEDULED FOR EITHER SIDE OF THE OPENINGS.
6. DIFFERING WALL TYPES SHALL ALIGN SO THAT WALL PLANES CONTINUE UNBROKEN IN ROOMS, UNLESS OTHERWISE NOTED.
7. DIMENSION LOCATION FOR ALL INTERIOR WALLS IS TO THE FACE OF GYPSUM BOARD PANELS.
8. WALLS INDICATED AS FIRE-RATED FORM A SEPARATION THAT SHALL BE CONTINUOUS FROM FLOOR TO FLOOR ABOVE WITH NO BREAKS AT COLUMNS, BEAMS, WALL TRANSITIONS, OR OTHER OBSTRUCTIONS. AT RATED CONDITIONS PENETRATIONS SHALL BE FIRE CAULKED.
9. ALL INSULATION SHALL BE UNFACED R-19 AT INTERIOR FURRING ADJACENT TO UNINSULATED EXTERIOR WALLS, SUCH AS CONCRETE, CMU, AND SPANDREL PANELS IN WINDOW/CURTAIN WALLS. TYP. U.O.N. FOR CLARITY, INSULATION IS NOT SHOWN ON MANY DETAILS. INSULATION IS TO RUN CONTINUOUS AROUND FURRED COLUMNS AND OTHER OBSTRUCTIONS TO FORM A CONTINUOUS ACOUSTIC OR THERMAL BARRIER.
10. STUDS TO BE 25 GA AT ALL SINGLE-STUD ACOUSTICAL WALLS U.O.N. USE KNURLED STUDS OR ADJUST SPACING AS REQUIRED FOR SPANS. SPACING SHALL BE NO LESS THAN 16" O.C. WITHOUT APPROVAL OF THE ARCHITECT AND ACOUSTICAL CONSULTANT. HEAVIER GAUGE MAY BE USED AT NON-ACOUSTICAL OR DOUBLE-STUD WALLS. MAXIMUM SPANS SHALL BE BASED ON L/240 DEFLECTION CRITERIA AND 5 PSF DESIGN LOAD. U.O.N.
11. ACOUSTICAL WALLS SHALL INCLUDE BATT INSULATION FULL WIDTH OF STUDS AND BE SEALED AIR TIGHT, WITH ACOUSTICAL SEALANT BETWEEN GYPSUM BOARD AND CONCRETE SLABS, BEAM, COLUMNS, AND WALLS, OR STRUCTURAL STEEL MEMBERS, AROUND ALL PENETRATIONS, AND AT DISSIMILAR MATERIALS. SEE WALL TYPES THIS SHEET INDICATING A NOISE-SENSITIVE SIDE - THE NOISE-SENSITIVE SIDE
12. WALLS SUPPORTING CASEWORK, SHELVING, GRAB BARS, EQUIPMENT AND OTHER WALL-MOUNTED FIXTURES SHALL BE REINFORCED PER THE FIXTURE MANUFACTURER'S REQUIREMENTS AND THE REQUIREMENTS OF THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, WHICHEVER IS GREATER.



- 3/4" WOOD SIDING W/ MATCHING (E) SIDING PAINT
- GRADE D 60-MINUTE PAPER-BACKED LATH
- 3/4" AIR GAP W/ 3/4" x 2 1/2" MIN. VERT. PLYWOOD STRAPPING @ EA. STUD, SCREWED TO STUD (SIZE, SPACING, AND EMBED PER INSUL. MFR.) AND 3/4" x 2 1/2" THICK MINERAL WOOL CONT. VERT. SPACER AT HALF-POINT B/T EA. STRAP
- 2" RIGID INSULATION (MINERAL WOOL - R-8)
- PERM-A-VAPOR VPS SELF-ADHERED, VAPOR PERMEABLE AIR/WATER BARRIER BY GCP
- 5/8" TYPE-X GYPSUM BOARD SHEATHING\* AT 1-HOUR WALL, WHERE OCCURS
- 1/2" NOMINAL MIN. PLYWOOD SHEATHING S.S.D.
- 2X6 WOOD STUDS, U.O.N. W/
- MINERAL WOOL BATT INSULATION - R-23 MIN. AT 2x6 STUDS; R-15 MIN. AT 2x4 STUDS
- 1/2" NOMINAL MIN. PLYWOOD SHEATHING, WHERE OCCURS, S.S.D.
- (1) LAYER 5/8" TYPE 'X' GYP. BD.

\* GYPSUM SHEATHING MAY BE OMITTED IN RATED (& NON-RATED) WALLS PER INTERTEK TEST # \_\_\_\_\_

**K** EXT. WALL - WOOD SIDING  
1-HR (SIM. TO GA FILE NO: WP 8105)



- (1) LAYER 5/8" TYPE 'X' GYP. BD.
- 2X WOOD STUDS @ 24" O.C. (U.O.N. S.S.D.)
- INSULATION AS REQ'D PER T-24 PART 6 ENERGY REPORT
- (1) LAYER 5/8" TYPE 'X' GYP. BD.

STUD SIZES:	
A1	2x4
A2	2x6
A3	2x8
A4	2x10
A5	2x12
A6	3x4

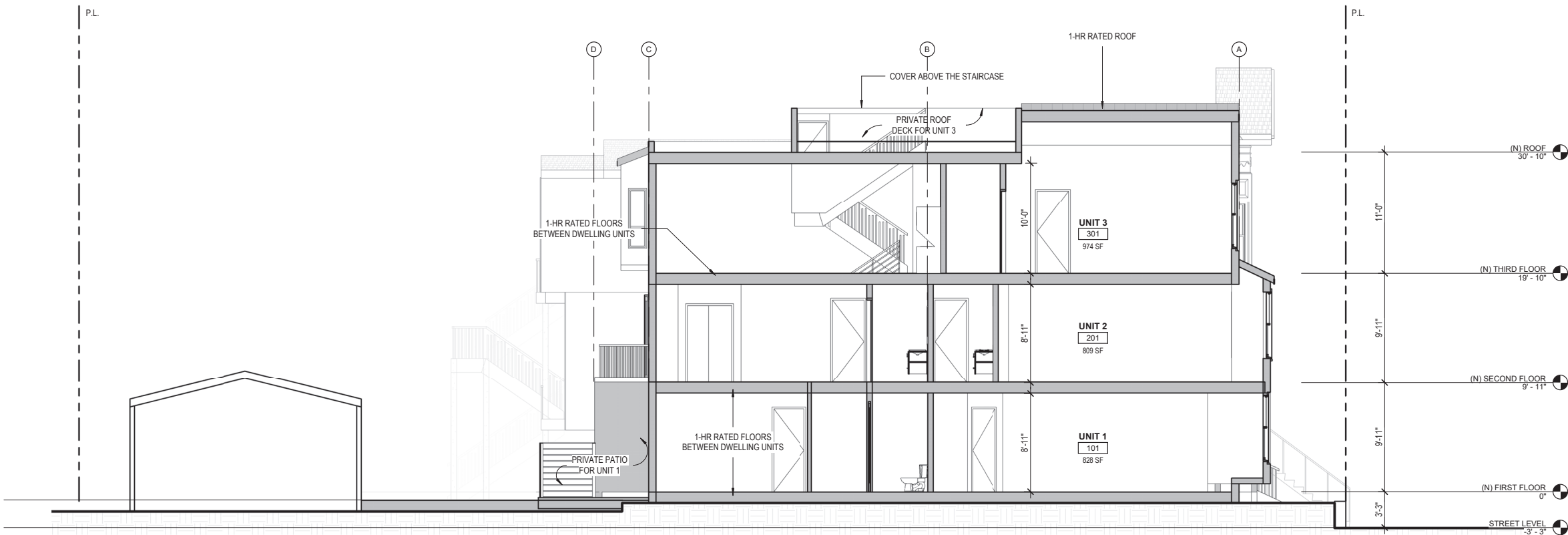
**A** INTERIOR PARTITION - TYP.  
1-HR (GA FILE NO: WP 3520)

GENERAL NOTES

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PARTITION LEGEND

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**1** SECTION - EAST / WEST LONG SECTION  
3/16" = 1'-0"

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BUILDING  
SECTIONS

DATE 04/15/2021

SCALE As indicated

DRAWN BY YZ

CHECKED BY TM

JOB NO. ###

**A7.01**

TOTAL QTY. (CONTRACTOR TO VERIFY IN PLANS):



- ## DOOR GENERAL NOTES

- \* EXTERIOR DOORS AND DOORS LEADING INTO STAIRWELLS SHALL HAVE SELF-CLOSING DEVICES
- \* UNIT ENTRANCES SHALL HAVE DEADBOLTS & DEADLATCHES SO CONSTRUCTED THAT BOTH CAN BE RETRACTED BY A SINGLE TURN OF THE HAND LEVER
- \* ALL GLAZING WITHIN AND ADJACENT TO DOORS TO BE TEMPERED OR RAPROVED SAFETY GLAZING
- \* VERIFY THAT ALL CORRIDOR FIRE DOORS ARE TESTED AND APPROVED AS SMOKE AND DRAFT ASSEMBLIES AS REQUIRED BY NFPA 105
- \* PROVIDE LOCK/LEVER AT WASHER / DRYER CLOSET PER MECH. (100 SQ. IN. NET FREE AREA)
- \* PROVIDE LOUVER(S) AT WATER HEATER CLOSERS AS REQ. BY MECH. AND AS NOTED IN DIMENSIONED FLOOR PLANS (21-A, 21-15)
- \* GARAGE ROLL-UP DOOR IS ANY OPEN GRILLE TO PROVIDE INTAKE AIR FOR GARAGE PER MECH
- \* ALL WOOD DOORS SHALL BE FINISHED ON ALL SIDES, EXCEPT WHERE CODE REQUIRED INFORMATION WOULD BE OBSCURED, FINISH SHALL BE PAINT, U.O.N.
- \* PER CBC 1010.1.3 THE MAXIMUM FORCE FOR PUSHING OR PULLING GLASS DOORS, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POUNDS, FOR OTHER SWINGING DOORS, AS WELL AS SLIDING & FOLDING DOORS, SHALL NOT EXCEED 15 POUNDS. FOR OTHER SWINGING DOORS, AS WELL AS SLIDING & FOLDING DOORS, SHALL NOT EXCEED 15 POUNDS. FOR OTHER SWINGING DOORS, AS WELL AS SLIDING & FOLDING DOORS, SHALL NOT EXCEED 15 POUNDS. FOR OTHER SWINGING DOORS, AS WELL AS SLIDING & FOLDING DOORS, SHALL NOT EXCEED 15 POUNDS.
- \* PROVIDE UNDERCUT AT BATHROOM DOORS AND OTHER DOORS AS REQ. IN MECHANICAL DRAWINGS.

- ALL DOORS TO BE NFRC-RATED (OR EQUIVALENT SEE T-24 REPORT)
- ALL WINDOWS AND GLAZED DOORS TO BE DUAL PANED METAL FRAMED (U-FACTOR = 0.64 / SHG = 0.30)
- SLIDING GLAZED DOORS (D202) TO BE THERMALLY BROKEN DUAL PANED METAL (U-FACTOR = 0.43 / SHG = 0.30)
- ALL WINDOWS TO INCLUDE LoE 172 GLAZING - SEE T-24 REPORT



PATIO DOOR TYPE SCHEDULE															
MARK	QTY	DOOR TYPE			DOOR PANELS							FRAME			Comments
		DESCRIPTION	INTERIOR / EXTERIOR	TYPE	MATERIAL	FINISH	QTY.	OVERALL WIDTH (W)	HEIGHT (H)	THICKNESS	GLASS TYPE	TYPE	MATERIAL	FINISH	
P1	1	Aluminum-clad wood Gliding Door	Exterior	DD	GL		2	6' - 0"	8' - 0"	1 3/4"	IG2		ACW		
P2	1	Aluminum-clad wood Multi-panel Gliding Door	Exterior	DD	GL		3	8' - 11"	7' - 11 1/2"	1 3/4"	IG2		ACW		

1. PER CBC 1015.8, INSTALL WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F2090 at ALL WINDOWS W/ SILL HEIGHTS LESS THAN 36" A.F.F. THE CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE MIN. NET CLEAR OPENING AREA & DIMENSIONS OF THE WINDOW UNIT TO LESS THAN THAT REQUIRED BY SECTION 1030.2.
2. ALL WINDOWS IDENTIFIED AS EMERGENCY ESCAPE AND RESCUE OPENINGS ("EERO") SHALL COMPLY WITH CBC 1030:
  - A. THE MINIMUM CLEAR AREA OF THE EEROs SHALL BE 5.0 SF AT GRADE FLOOR OPENINGS AND 5.7 SF AT ALL OTHER OPENINGS (1030.2).
  - B. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24" AND THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING (1030.2.1).
  - C. THE EEROs SHALL BE LOCATED SO THAT THE BOTTOM OF THE CLEAR OPENING IS NO GREATER THAN 44" A.F.F. (1030.3).
  - D. OPERATIONAL CONSTRAINTS SHALL COMPLY WITH CBC 1030.4.







## CEQA Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

<b>Project Address</b>		<b>Block/Lot(s)</b>
1112 SHOTWELL ST		6526002
<b>Case No.</b>		<b>Permit No.</b>
2020-009312ENV		
<input type="checkbox"/> <b>Addition/ Alteration</b>	<input type="checkbox"/> <b>Demolition (requires HRE for Category B Building)</b>	<input checked="" type="checkbox"/> <b>New Construction</b>
<b>Project description for Planning Department approval.</b> The project proposes the construction of a new 3-story / 3-unit residential building next to the existing 3-story/4-unit residential structure in the side yard. On third floor, there will be a roof access stair to roof deck.		

### STEP 1: EXEMPTION TYPE

<b>The project has been determined to be exempt under the California Environmental Quality Act (CEQA).</b>	
<input type="checkbox"/>	<b>Class 1 - Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	<b>Class 3 - New Construction.</b> Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<b>Class 32 - In-Fill Development.</b> New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. <b>FOR ENVIRONMENTAL PLANNING USE ONLY</b>
<input type="checkbox"/>	<b>Other</b> ____
<input type="checkbox"/>	<b>Common Sense Exemption (CEQA Guidelines section 15061(b)(3)).</b> It can be seen with certainty that there is no possibility of a significant effect on the environment.

## STEP 2: ENVIRONMENTAL SCREENING ASSESSMENT

### TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<p><b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g. use of diesel construction equipment, backup diesel generators, heavy industry, diesel trucks, etc.)? <i>(refer to the Environmental Information tab on <a href="https://sfplanninggis.org/PIM/">https://sfplanninggis.org/PIM/</a>)</i></p>
<input type="checkbox"/>	<p><b>Hazardous Materials:</b> <input type="checkbox"/> <b>Maier</b> or <input type="checkbox"/> <b>Cortese</b></p> <p>Is the project site located within the Maier area or on a site containing potential subsurface soil or groundwater contamination and would it involve ground disturbance of at least 50 cubic yards or a change of use from an industrial use to a residential or institutional use? Is the project site located on a Cortese site or would the project involve work on a site with an existing or former gas station, parking lot, auto repair, dry cleaners, or heavy manufacturing use, or a site with current or former underground storage tanks?</p> <p><i>if Maier box is checked, note below whether the applicant has enrolled in or received a waiver from the San Francisco Department of Public Health (DPH) Maier program, or if Environmental Planning staff has determined that hazardous material effects would be less than significant.</i></p>
<input type="checkbox"/>	<p><b>Transportation:</b> Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities? Would the project involve the intensification of or a substantial increase in vehicle trips at the project site or elsewhere in the region due to autonomous vehicle or for-hire vehicle fleet maintenance, operations or charging?</p>
<input checked="" type="checkbox"/>	<p><b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? If yes, archeology review is required.</p>
<input type="checkbox"/>	<p><b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? <i>(refer to the Environmental Information tab on <a href="https://sfplanninggis.org/PIM/">https://sfplanninggis.org/PIM/</a>)</i> If box is checked, Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p><b>Average Slope of Parcel = or &gt; 25%, or site is in Edgehill Slope Protection Area or Northwest Mt. Sutro Slope Protection Area:</b> Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, or (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area? <i>(refer to the Environmental Information tab on <a href="https://sfplanninggis.org/PIM/">https://sfplanninggis.org/PIM/</a>)</i> If box is checked, a geotechnical report is likely required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p><b>Seismic Hazard:</b> <input type="checkbox"/> <b>Landslide</b> or <input type="checkbox"/> <b>Liquefaction Hazard Zone:</b></p> <p>Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area, or (4) grading performed at a site in the landslide hazard zone? <i>(refer to the Environmental Information tab on <a href="https://sfplanninggis.org/PIM/">https://sfplanninggis.org/PIM/</a>)</i> If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<p><b>Comments and Planner Signature (optional):</b> Don Lewis</p> <p>The department's staff archeologist conducted preliminary archeological review on February 25, 2021 and determined that no CEQA-significant archeological resources are expected within project-affected soils.</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE**  
**TO BE COMPLETED BY PROJECT PLANNER**

<b>PROPERTY IS ONE OF THE FOLLOWING:</b> <i>(refer to Property Information Map)</i>	
<input checked="" type="checkbox"/>	<b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	<b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>
<input type="checkbox"/>	<b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b>

**STEP 4: PROPOSED WORK CHECKLIST**  
**TO BE COMPLETED BY PROJECT PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. <b>Change of use and new construction.</b> Tenant improvements not included.
<input type="checkbox"/>	2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input checked="" type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: ADVANCED HISTORICAL REVIEW**  
**TO BE COMPLETED BY PRESERVATION PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. <b>Reclassification of property status.</b> <i>(Attach HRER Part I)</i> <div style="display: flex; justify-content: space-between; align-items: flex-start;"> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category A  a. Per HRER  b. Other <i>(specify)</i>: </div> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category C  <i>(No further historic review)</i> </div> </div>
<input checked="" type="checkbox"/>	2. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	3. <b>Interior alterations to publicly accessible spaces that do not</b> remove, alter, or obscure <b>character defining features.</b>
<input type="checkbox"/>	4. <b>Window replacement</b> of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	5. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.

<input type="checkbox"/>	6. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	7. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	8. <b>Work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (Analysis required):
<input type="checkbox"/>	9. <b>Work compatible</b> with a historic district (Analysis required):
<input checked="" type="checkbox"/>	10. <b>Work that would not materially impair</b> a historic resource (Attach HRER Part II).
<b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.</b>	
<input checked="" type="checkbox"/>	<b>Project can proceed with exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with exemption review. <b>GO TO STEP 6.</b>
Comments (optional):	
Preservation Planner Signature: Monica Giacomucci	

## STEP 6: EXEMPTION DETERMINATION

### TO BE COMPLETED BY PROJECT PLANNER

<input checked="" type="checkbox"/>	<b>No further environmental review is required. The project is exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.</b>	
	<b>Project Approval Action:</b> Planning Commission Hearing	<b>Signature:</b> Monica Giacomucci
		06/30/2021
<p>Supporting documents are available for review on the San Francisco Property Information Map, which can be accessed at <a href="https://sfplanninggis.org/PIM/">https://sfplanninggis.org/PIM/</a>. Individual files can be viewed by clicking on the Planning Applications link, clicking the "More Details" link under the project's environmental record number (ENV) and then clicking on the "Related Documents" link. Once signed or stamped and dated, this document constitutes an exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination to the Board of Supervisors can only be filed within 30 days of the project receiving the approval action.</p> <p>Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.</p>		

## STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

### TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

### MODIFIED PROJECT DESCRIPTION

Modified Project Description:

### DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

- |                          |  |
|--------------------------|--|
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code;   |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312;  |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)?   |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |

**If at least one of the above boxes is checked, further environmental review is required.**

### DETERMINATION OF NO SUBSTANTIAL MODIFICATION

- |                          |   |
|--------------------------|---|
| <input type="checkbox"/> | The proposed modification would not result in any of the above changes. |
|--------------------------|---|

If this box is checked, the proposed modifications are exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed to the Environmental Review Officer within 10 days of posting of this determination.

**Planner Name:**

**Date:**



# SAN FRANCISCO PLANNING DEPARTMENT

## Land Use Information

PROJECT ADDRESS: 1112 SHOTWELL STREET  
RECORD NO.: 2020-009312CUA

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

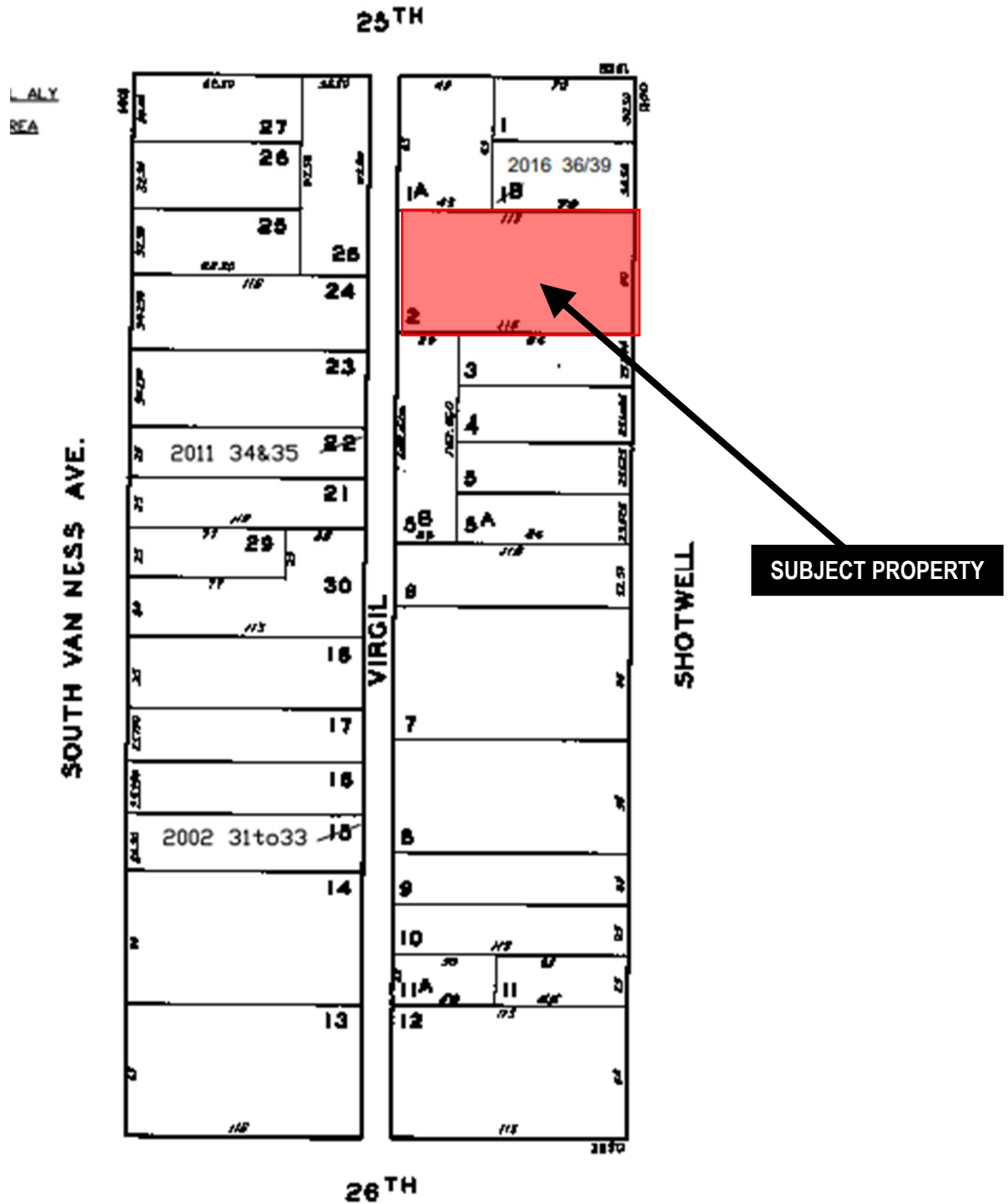
Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

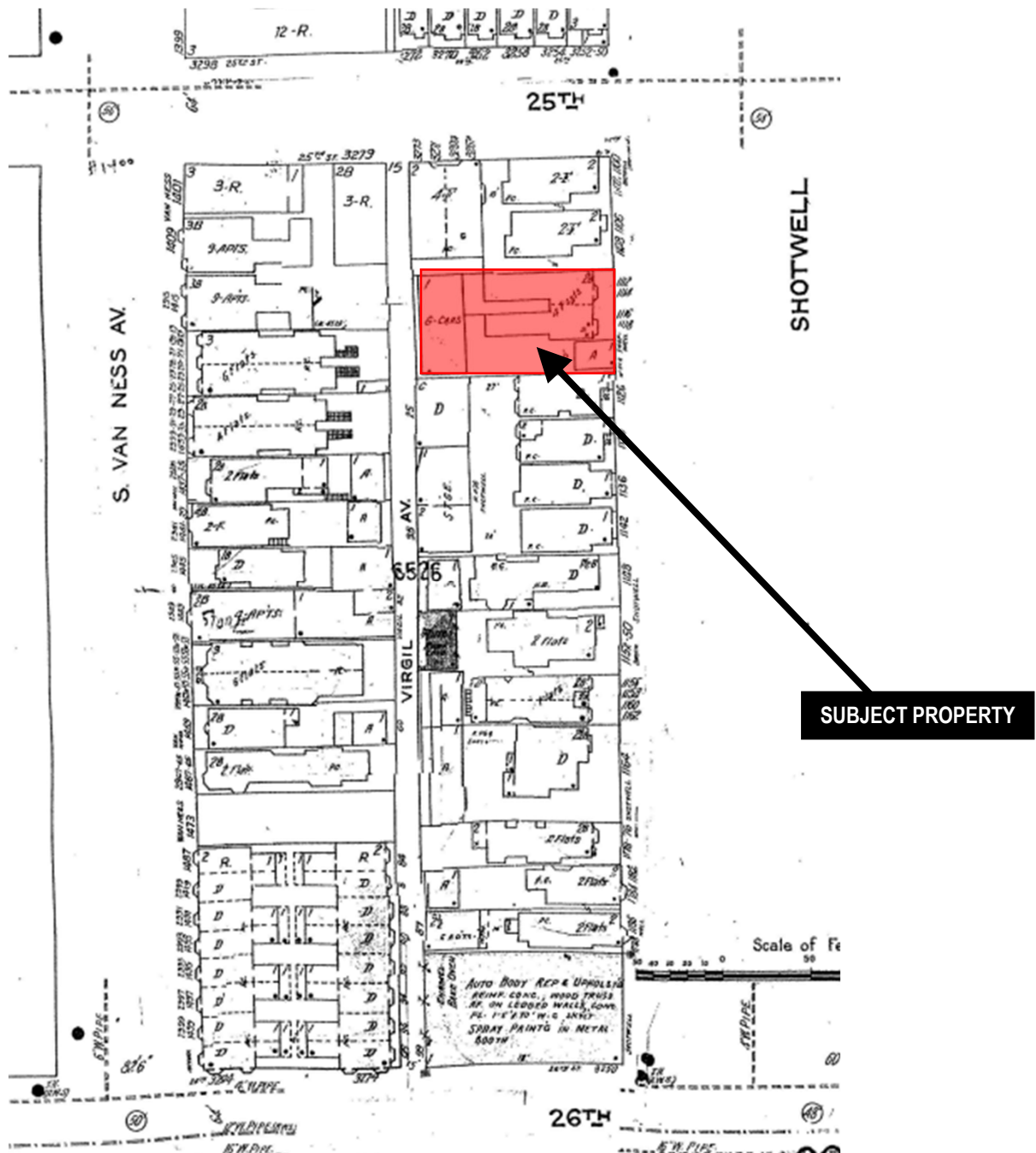
	EXISTING	PROPOSED	NET NEW
<b>GROSS SQUARE FOOTAGE (GSF)</b>			
Parking (accessory) GSF	1,171	0	0
Residential GSF	4,000	3,266	7,266
Office GSF	0	0	0
Industrial/PDR GSF <i>Production, Distribution, &amp; Repair</i>	0	0	0
Medical GSF	0	0	0
Visitor GSF	0	0	0
CIE GSF	0	0	0
Usable Open Space	2,994	+257 -1,060	2,191
Public Open Space	0	0	0
Other (Retail Sales and Services)	0	0	0
<b>TOTAL GSF</b>	<b>5,171</b>	<b>3,266</b>	<b>7,266</b>
	EXISTING	NET NEW	TOTALS
<b>PROJECT FEATURES (Units or Amounts)</b>			
Dwelling Units - Affordable	0	0	0
Dwelling Units - Market Rate	4	3	7
Dwelling Units - Total	4	3	7
Hotel Rooms	0	0	0
Number of Buildings	1	1	2
Number of Stories	3	0	3
Parking Spaces	4	0	4
Loading Spaces	0	0	0
Bicycle Spaces	4	4	8
Car Share Spaces	0	0	0
Other ( )	NA	NA	NA

# Parcel Map



Planning Commission Hearing  
**Case Number 2020-009312CUA**  
 Establish More Than Three Units CUA  
 1112 Shotwell Street

# Sanborn Map\*



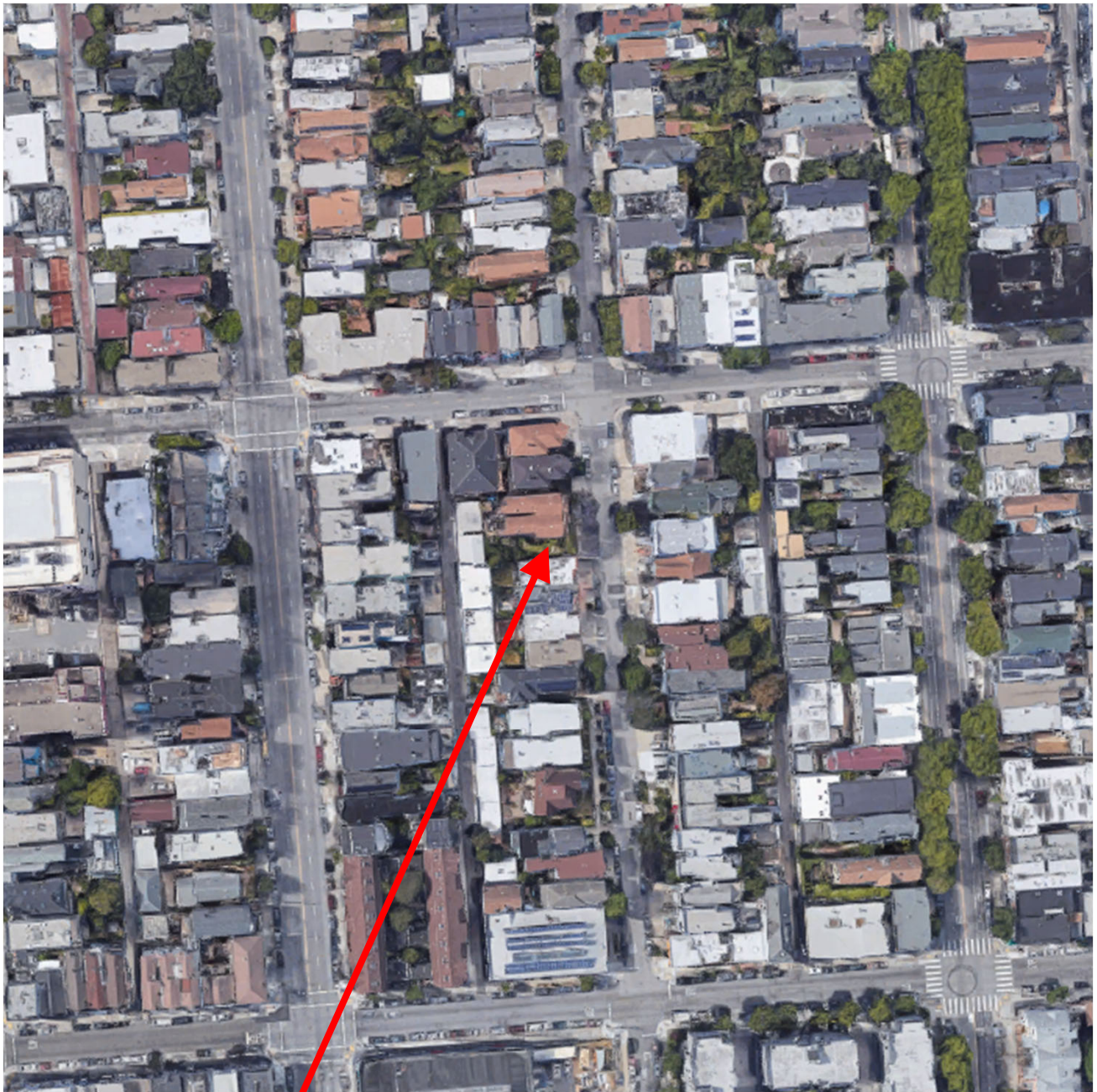
\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Planning Commission Hearing  
Case Number 2020-009312CUA  
Establish More Than Three Units CUA  
1112 Shotwell Street



# Aerial Photo – View 1

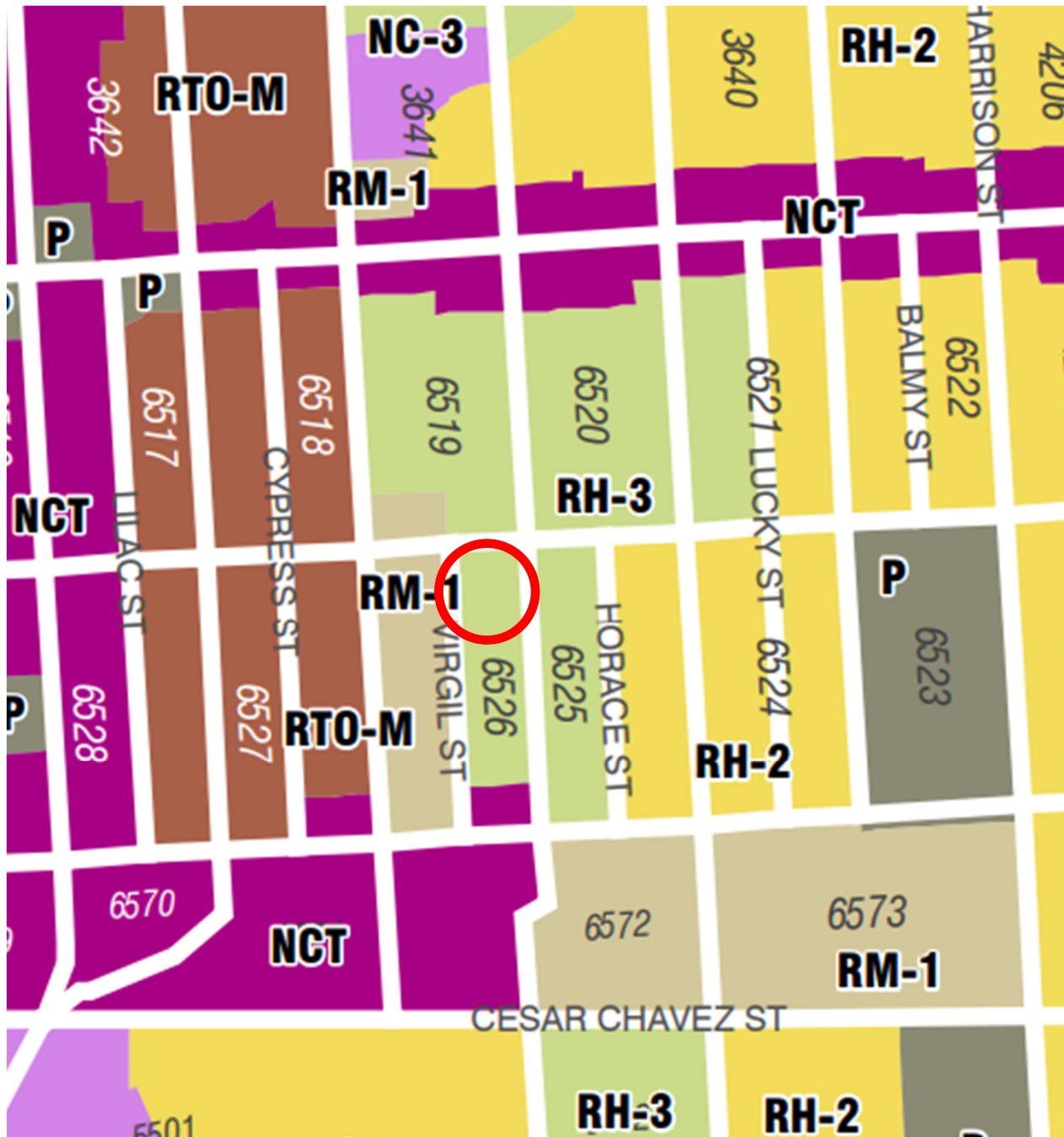


**SUBJECT PROPERTY**



Planning Commission Hearing  
**Case Number 2020-009312CUA**  
Establish More Than Three Units CUA  
1112 Shotwell Street

# Zoning Map



Planning Commission Hearing  
Case Number 2020-009312CUA  
Establish More Than Three Units CUA  
1112 Shotwell Street



# Site Photo

