



EXECUTIVE SUMMARY

CONDITIONAL USE AUTHORIZATION

HEARING DATE: APRIL 22, 2021

Record No.: 2020-009148CUA
Project Address: 353 Divisadero Street
Zoning: Divisadero Street Neighborhood Commercial Transit (NCT) Zoning District
40-X Height and Bulk District
Block/Lot: 1218 / 001
Project Sponsor: Michael Musleh
P.O. Box 320171
San Francisco, CA 94132
Property Owner: *same as sponsor*
Staff Contact: Michael Christensen – (628) 652-7567
Michael.Christensen@sfgov.org

Recommendation: Approval with Conditions

Project Description

The Project includes a change of use of an approximately 1,350 square foot on the ground floor of a three-story mixed-use building from Restaurant to Cannabis Retail. The Project also includes the use of the basement level for storage. No on-site smoking or vaporizing of cannabis products is proposed. No exterior alterations or expansion of the building are proposed.

Required Commission Action

For the Project to proceed, the Commission must grant a Conditional Use Authorization, pursuant to Planning Code Sections 202.3, 303, and 759, to allow a Cannabis Retail use operating on the ground floor within the Divisadero Street NCT Zoning District.

Issues and Other Considerations

- **On-Site Consumption.** The project originally proposed an on-site smoking or vaporizing lounge. Over the course of review, the lounge was removed from the proposed scope, because there was no location to place the lounge such that it would meet the Health Code requirement that cannabis consumption not be visible from public spaces while maintaining compliance with the Planning Code requirement that storefront windows be kept transparent. The attached motion for approval is conditioned to prohibit the smoking or vaporizing of cannabis products on-site.
- **Public Comment & Outreach.**
 - **Support/Opposition:** The Department has received four public comments in support of the application and two in opposition. Letters of support cited the need to support the City’s economic recovery, a desire to avoid empty storefronts, and a desire for an additional storefront near the Haight-Ashbury neighborhood. The letters in opposition cited concern that the store would “attract large numbers of individuals at all hours who have no relationship to and no respect for our neighborhood.”
 - **Outreach:** The Project Sponsor conducted a Community Meeting on July 31st, 2020, with notice provided to property owners and residents within 300-feet of the site.
- **Planning Section 202.2(a)(5)(B) Compliance.** The subject parcel is not located within a 600-foot radius of a parcel containing an existing private or public school or within a 600-foot radius of a parcel for which a valid permit from the City’s Office of Cannabis for a Cannabis Retailer or a Medicinal Cannabis Retailer has been issued.
 - The closest approved Cannabis storefront is located at 1326 Grove Street (dba Basa), approximately 1,100 feet from the Project Site. This site is a Medical Cannabis Dispensary with temporary authorization to conduct adult use sales while being converted to a Cannabis Retailer.
 - In the general vicinity, the following locations were identified as potentially sensitive sites that do not disqualify the location from being used as a Cannabis Retailer:
 - French American International School, Maternelle Campus (Pre-K – Kindergarten): 1155 Page Street, 625’ from Project Site
 - Ida B Wells High School, 1099 Hayes Street, 1,218’ from Project Site
- **Equity Program.** The licensing application to the City’s Office of Cannabis was submitted by Jason Everett, who was determined to meet the criteria of an Equity Applicant. The Police Code limits an equity applicant to having a financial interest in no more than four locations in San Francisco. The applicant is the listed equity applicant on only this application.

Environmental Review

The Project is exempt from the California Environmental Quality Act (“CEQA”) under Class 1 and Class 3 categorical exemptions.

Basis for Recommendation

The Department finds that the Project is, on balance, consistent with the purpose and intent of the Divisadero Street NCT Zoning District and the Objectives and Policies of the General Plan, and that the Project meets all applicable requirements of the Planning Code. The project activates an existing commercial space, brings a new type of retail business to the area, and supports the City's equity program, administered by the Office of Cannabis. The Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

Attachments:

- Draft Motion – Conditional Use Authorization with Conditions of Approval (Exhibit A)
- Exhibit B – Environmental Determination
- Exhibit C – Land Use Data
- Exhibit D – Maps and Context Photos
- Exhibit E – Project Application
- Exhibit F – Conditional Use Authorization Supplemental Application
- Exhibit G – Project Sponsor Submittal
- Exhibit H – Project Plans



PLANNING COMMISSION DRAFT MOTION

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ADOPTING FINDINGS RELATING TO A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 202.2, 303, AND 759, TO ALLOW A CHANGE OF USE OF APPROXIMATELY 1,350 SQUARE FEET ON THE GROUND FLOOR OF AN EXISTING THREE-STORY MIXED-USE BUILDING FROM RESTAURANT TO CANNABIS RETAIL, LOCATED AT 353 DIVISADERO STREET, LOT 001 IN ASSESSOR'S BLOCK 1218, WITHIN THE DIVISADERO STREET NCT (NEIGHBORHOOD COMMERCIAL TRANSIT) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PREAMBLE

On October 13, 2020, Michael Musleh (hereinafter "Project Sponsor") filed Application No. 2020-009148CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization to change the use of a 1,350 square foot ground floor space of a three-story mixed-use building from Restaurant to Cannabis Retail (hereinafter "Project") at 353 Divisadero Street, Block 1218 Lot 001 (hereinafter "Project Site").

The Project is exempt from the California Environmental Quality Act ("CEQA") under Class 1 and Class 3 categorical exemptions.

On April 22, 2021, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2020-009148CUA.

The Planning Department Commission Secretary is the Custodian of Records; the File for Record No. 2020-009148CUA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2020-009148CUA, subject to the conditions contained in “EXHIBIT A” of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

- 1. The above recitals are accurate and constitute findings of this Commission.**
- 2. Project Description.** The Project includes a change of use of an approximately 1,350 square foot on the ground floor of a three-story mixed-use building from Restaurant to Cannabis Retail. The Project also includes the use of the basement level for storage. No on-site smoking or vaporizing of cannabis products is proposed. No exterior alterations or expansion of the building are proposed.
- 3. Site Description and Present Use.** The site is developed with a three-story mixed-use building containing residential units on upper floors and two commercial units on the ground floor. One unit is occupied by a personal service use (barber shop), while the subject tenant space is occupied by a Restaurant use.
- 4. Surrounding Properties and Neighborhood.** The surrounding neighborhood is developed with a mix of Residential and Mixed-Use structures ranging from one to four stories in height. The surrounding neighborhood has a mix of Retail, Restaurant, Bar, and Entertainment uses. Higher intensity uses align the Divisadero Street corridor compared to other streets in the vicinity.
- 5. Public Outreach and Comments.** The Department has received four public comments in support of the application and two in opposition. Letters of support cited the need to support the City’s economic recovery, a desire to avoid empty storefronts, and a desire for an additional storefront near the Haight-Ashbury neighborhood. The letters in opposition cited concern that the store would “attract large numbers of individuals at all hours who have no relationship to and no respect for our neighborhood.” The Project Sponsor conducted a Community Meeting on July 31st, 2020, with notice provided to property owners and residents within 300-feet of the site.
- 6. Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Use.** The Divisadero Street NCT Zoning District requires a Conditional Use Authorization for Cannabis Retail uses on the ground floors of buildings.

The Project is requesting Conditional Use Authorization in compliance with this Section.

- B. **Use Size.** Within the Divisadero Street NCT Zoning District, the Planning Code principally permits individual Non-Residential Uses at up to 3,999 square feet.

The Project would provide a 1,350 square feet (sq ft) Cannabis Retail use which is compliant with this requirement.

- C. **600-Foot Buffer Rule:** Planning Code Section 202.2(a)(5)(B) states that the parcel containing the Cannabis Retail Use shall not be located within a 600-foot radius of a parcel containing an existing public or private School or within a 600-foot radius of a parcel for which a valid permit from the City's Office of Cannabis for a Cannabis Retailer or a Medicinal Cannabis Retailer has been issued. There shall be no minimum radius from a Cannabis Retail Use to an existing day care center or youth center unless a State licensing authority specifies a minimum radius.

The subject parcel is not located within a 600-foot radius of a parcel containing an existing private or public school or within a 600-foot radius of a parcel for which a valid permit from the City's Office of Cannabis for a Cannabis Retailer or a Medicinal Cannabis Retailer has been issued

- D. **Hours of Operation.** The Divisadero Street NCT Zoning District requires a Conditional Use Authorization for Non-Residential uses operating between 2am and 6am. State law limits hours of operation for Cannabis Retailers to between 6am and 10pm.

The Project is required under State law to cease operation between 10pm and 6am. Given the surrounding context, additional limits are not warranted.

- E. **Street Frontage in Mixed Use Districts.** Section 145.1 of the Planning Code requires that within Mixed Use Districts space for active uses shall be provided within the first 25 feet of building depth on the ground floor and 15 feet on floors above from any facade facing a street at least 30 feet in width. In addition, the floors of street-fronting interior spaces housing non-residential active uses and lobbies shall be as close as possible to the level of the adjacent sidewalk at the principal entrance to these spaces. Frontages with active uses that must be fenestrated with transparent windows and doorways for no less than 60 percent of the street frontage at the ground level and allow visibility to the inside of the building. The use of dark or mirrored glass shall not count towards the required transparent area. Any decorative railings or grillwork, other than wire mesh, which is placed in front of or behind ground floor windows, shall be at least 75 percent open to perpendicular view. Rolling or sliding security gates shall consist of open grillwork rather than solid material, so as to provide visual interest to pedestrians when the gates are closed, and to permit light to pass through mostly unobstructed. Gates, when both open and folded or rolled as well as the gate mechanism, shall be recessed within, or laid flush with, the building facade.

The subject commercial space complies with this requirement and shall be maintained in compliance with this Section. No significant modification to the front façade is proposed, and the interior changes

do not impact compliance with this Section.

7. Conditional Use Findings. Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The Project provides a use that is necessary and desirable, and compatible with the surrounding neighborhood and community, in that it activates an existing commercial space at the same size of the existing space, thus bringing additional goods and services to the local area. The Project would further the City's goal of balancing the distribution of Cannabis Retail uses in the City by providing an additional outlet for the Divisadero Street corridor.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The height and visible bulk of the existing building will remain the same. The Project will not alter the existing appearance or character of the project vicinity.

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Planning Code does not require parking or loading for any uses, and the site is very well served by transit services. The Project includes a dedicated parking space off-street for delivery vehicles, eliminating any potential for double parking on our transit corridors.

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The Project proposes a Cannabis Retail use which does not include an on-site smoking or vaporizing space. Additionally, the Project will submit an odor mitigation plan to the City's Office of Cannabis for review as part of the licensing application.

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The Project proposes no changes to parking, landscaping, or open space areas on the site.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will

not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Zoning District.

The Project provides for activation of an existing commercial space, providing goods and services to the surrounding neighborhood and diversifying the types of business in the area. As such, it is in conformity with the purpose of the Divisadero Street NCT Zoning District.

- 8. Additional Conditional Use Findings for Cannabis Retail.** Planning Code Section 303(w) outlines additional findings for the Commission when reviewing proposals for new Cannabis Retail establishments. The Commission shall consider “the geographic distribution of Cannabis Retail Uses throughout the City, the concentration of Cannabis Retail and Medical Cannabis Dispensary Uses within the general proximity of the proposed Cannabis Retail Use, the balance of other goods and services available within the general proximity of the proposed Cannabis Retail Use, any increase in youth access and exposure to cannabis at nearby facilities that primarily serve youth, and any proposed measures to counterbalance any such increase.”

In the December 2019 report titled “[Cannabis in San Francisco: A Review Following Adult Use Legalization](#),” the City Controller’s Office identified the Mission and South of Market Neighborhoods as more concentrated with Cannabis Retail uses in comparison to the balance of San Francisco. The approval of this application would contribute to the balance and even distribution of Cannabis Retail uses in the City by providing an additional outlet along the Divisadero Street corridor, serving Upper and Lower Haight. This will reduce the need for customers to travel to other neighborhoods in the City for purchase cannabis products for medical or general use.

The closest approved Cannabis storefront is located at 1326 Grove Street (dba Basa), approximately 1,100 feet from the Project Site. This site is a Medical Cannabis Dispensary with temporary authorization to conduct adult use sales while being converted to a Cannabis Retailer.

There were no sensitive uses found within 600’, so the impact on youth exposure from this approval is minimal.

- 9. General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

COMMERCE AND INDUSTRY ELEMENT

Objectives and Policies

OBJECTIVE 2

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the city.

OBJECTIVE 3:

PROVIDE EXPANDED EMPLOYMENT OPPORTUNITIES FOR CITY RESIDENTS, PARTICULARLY THE UNEMPLOYED AND ECONOMICALLY DISADVANTAGED.

Policy 3.1:

Promote the attraction, retention and expansion of commercial and industrial firms which provide employment improvement opportunities for unskilled and semi-skilled workers.

Policy 3.2:

Promote measures designed to increase the number of San Francisco jobs held by San Francisco residents.

OBJECTIVE 4

IMPROVE THE VIABILITY OF EXISTING INDUSTRY IN THE CITY AND THE ATTRACTIVENESS OF THE CITY AS A LOCATION FOR NEW INDUSTRY.

Policy 4.8:

Provide for the adequate security of employees and property.

OBJECTIVE 6

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

Policy 6.2

Promote economically vital neighborhood commercial districts which foster small business enterprises and entrepreneurship, and which are responsive to economic and technological innovation in the market place and society.

The Cannabis industry provides great potential for the City in that it is a rapidly expanding industry, with very highly developed equity ownership, hiring, and procurement requirements, that employs blue-collar workers with wages and benefits typically far higher than other types of retail services. The City Controller's Office December 2019 report titled, "[Cannabis in San Francisco: A Review Following Adult Use Legalization](#)," found that crime rates, particularly property crimes, generally decreased in the areas immediately surrounding Cannabis storefronts and dispensaries, compared to an overall increase Citywide. The uses are extremely regulated both at the State and local level, and following any Planning Department approval of a site, additional outreach still occurs to develop a Good Neighbor Policy, Security Plans (with review by SFPD), and Odor Mitigation Plans. By activating existing retail spaces in the City (which suffer from high vacancy rates), employing many blue-collar workers, furthering the City's equity goals, and providing

alternative medicines that are recognized as helping many residents suffering through pain, Cannabis Retail projects further many of the goals of the City's General Plan and area plans.

10. Planning Code Section 101.1(b) establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The Project site will provide a new retail tenant and new use for the neighborhood. The addition of this business will enhance foot traffic to the benefit neighboring businesses. Cannabis is one of the fastest growing job categories in the country and one of the few retail uses that is burgeoning even in the face of e-commerce.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

No housing is impacted by the Project. The building exterior is maintained, preserving neighborhood character.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project has no effect on housing and does not convert housing to a non-residential use.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project site is extremely well-served by transit. It is presumable that the employees would commute by transit thereby mitigating possible effects on street parking.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

There is no commercial office development associated with the proposed project and there would be no displacement of any existing industrial or service businesses in the area.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Any construction associated with Project will be designed and will be constructed to conform to the structural and seismic safety requirements of the Building Code. This proposal will not impact the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

No impact to the Historic Resource status is caused by the Project, which proposes only minor exterior alterations.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project will have no negative impact on existing parks and open spaces. The Project does not have an impact on open spaces.

- 11.** The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
- 12.** The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2020-009148CUA** subject to the following conditions attached hereto as “EXHIBIT A” in general conformance with plans on file, dated December 4, 2020, and stamped “EXHIBIT B”, which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission’s adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator’s Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on April 22, 2021.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: April 22, 2021

EXHIBIT A

Authorization

This authorization is for a conditional use to allow a 1,350 sq ft Cannabis Retail use located on the ground floor of an existing three-story mixed-use building located at 353 Divisadero Street, Block 1218 Lot 001 pursuant to Planning Code Sections 202.2, 303, and 759 within the Divisadero Street NCT Zoning District and a 40-X Height and Bulk District; in general conformance with plans, dated **December 4, 2020**, and stamped “EXHIBIT B” included in the docket for Record No. 2021-006747CUA and subject to conditions of approval reviewed and approved by the Commission on April 22, 2021 under Motion No. XXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

Recordation of Conditions of Approval

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on April 22, 2021 under Motion No. XXXXX.

Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXX shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

Severability

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. “Project Sponsor” shall include any subsequent responsible party.

Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

CONDITIONS OF APPROVAL, COMPLIANCE, MONITORING, AND REPORTING

Performance

- 1. Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

- 2. Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

- 3. Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

- 4. Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

- 5. Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

- 6. Additional Project Authorization.** The Project Sponsor shall obtain operating licenses from the City's Office of Cannabis and the State of California prior to commencing any cannabis sales or other activities per Planning Code Section 202.2(a)(5).

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Design – Compliance at Plan Stage

- 7. Transparency and Fenestration.** Pursuant to Planning Code Section 145.1, the site shall be maintained with transparent windows and doorways for no less than 60 percent of the street frontage at the ground level and allow visibility to the inside of the building. The use of dark or mirrored glass shall not count towards the required transparent area. Any decorative railings or grillwork, other than wire mesh, which is placed in front of or behind ground floor windows, shall be at least 75 percent open to perpendicular view. Rolling or sliding security gates shall consist of open grillwork rather than solid material, so as to provide visual interest to pedestrians when the gates are closed, and to permit light to pass through mostly unobstructed. Gates, when both open and folded or rolled as well as the gate mechanism, shall be recessed within, or laid flush with, the building facade.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

- 8. Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

- 9. Signage.** Signs and awnings shall be subject to review and approval by Planning Department.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

Monitoring - After Entitlement

- 10. Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

- 11. Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Operation

- 12. Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

- 13. Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

- 14. On-Site Consumption.** On-site consumption of cannabis products is permitted; however, no on-site smoking or vaporizing of cannabis products is permitted.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org



CEQA Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

| | | |
|---|---|--|
| Project Address | | Block/Lot(s) |
| 353 DIVISADERO ST | | 1218001 |
| Case No. | | Permit No. |
| 2020-009148PRJ | | |
| <input checked="" type="checkbox"/> Addition/ Alteration | <input type="checkbox"/> Demolition (requires HRE for Category B Building) | <input type="checkbox"/> New Construction |
| <p>Project description for Planning Department approval. Conditional Use Authorization request for change of use from existing 1400 square ft Coffee Shop to Cannabis Retail Use (dba"TBD"). Located on the street level in a three story mix use building on corner of Oak and Divisadero Street. The project will involve interior alterations but will not change the property envelop or the existing size of the current space or the integrity of the facade of the property.</p> | | |

STEP 1: EXEMPTION TYPE

| | |
|--|---|
| The project has been determined to be exempt under the California Environmental Quality Act (CEQA). | |
| <input checked="" type="checkbox"/> | Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft. |
| <input checked="" type="checkbox"/> | Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU. |
| <input type="checkbox"/> | <p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p> |
| <input type="checkbox"/> | Other _____ |
| <input type="checkbox"/> | Common Sense Exemption (CEQA Guidelines section 15061(b)(3)). It can be seen with certainty that there is no possibility of a significant effect on the environment. FOR ENVIRONMENTAL PLANNING USE ONLY |

STEP 2: ENVIRONMENTAL SCREENING ASSESSMENT

TO BE COMPLETED BY PROJECT PLANNER

| | |
|--|---|
| <input type="checkbox"/> | <p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g. use of diesel construction equipment, backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to <i>The Environmental Information tab on the San Francisco Property Information Map</i>)</p> |
| <input type="checkbox"/> | <p>Hazardous Materials: <input type="checkbox"/> Maher or <input type="checkbox"/> Cortese</p> <p>If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?</p> <p>Note that a categorical exemption shall not be issued for a project located on the Cortese List if box is checked, note below whether the applicant has enrolled in or received a waiver from the San Francisco Department of Public Health (DPH) Maher program, or if Environmental Planning staff has determined that hazardous material effects would be less than significant. (refer to <i>The Environmental Information tab on the San Francisco Property Information Map</i>)</p> |
| <input type="checkbox"/> | <p>Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities? Would the project involve the intensification of or a substantial increase in vehicle trips at the site due to autonomous vehicle or for-hire vehicle fleet maintenance, operations or charging?</p> |
| <input type="checkbox"/> | <p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? If yes, archeology review is required.</p> |
| <input type="checkbox"/> | <p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to <i>The Environmental Information tab on the San Francisco Property Information Map</i>) If box is checked, Environmental Planning must issue the exemption.</p> |
| <input type="checkbox"/> | <p>Average Slope of Parcel = or > 25%, or site is in Edgehill Slope Protection Area or Northwest Mt. Sutro Slope Protection Area: Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, or (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area? (refer to <i>The Environmental Planning tab on the San Francisco Property Information Map</i>) If box is checked, a geotechnical report is likely required and Environmental Planning must issue the exemption.</p> |
| <input type="checkbox"/> | <p>Seismic Hazard: <input type="checkbox"/> Landslide or <input type="checkbox"/> Liquefaction Hazard Zone:</p> <p>Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area, or (4) grading performed at a site in the landslide hazard zone? (refer to <i>The Environmental tab on the San Francisco Property Information Map</i>) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p> |
| <p>Comments and Planner Signature (optional):</p> | |

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

| | |
|---|--|
| PROPERTY IS ONE OF THE FOLLOWING: <i>(refer to Property Information Map)</i> | |
| <input checked="" type="checkbox"/> | Category A: Known Historical Resource. GO TO STEP 5. |
| <input type="checkbox"/> | Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4. |
| <input type="checkbox"/> | Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6. |

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

| | |
|--|--|
| Check all that apply to the project. | |
| <input type="checkbox"/> | 1. Change of use and new construction. Tenant improvements not included. |
| <input type="checkbox"/> | 2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building. |
| <input type="checkbox"/> | 3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations. |
| <input type="checkbox"/> | 4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines. |
| <input type="checkbox"/> | 5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way. |
| <input type="checkbox"/> | 6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way. |
| <input type="checkbox"/> | 7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> . |
| <input type="checkbox"/> | 8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features. |
| Note: Project Planner must check box below before proceeding. | |
| <input checked="" type="checkbox"/> | Project is not listed. GO TO STEP 5. |
| <input type="checkbox"/> | Project does not conform to the scopes of work. GO TO STEP 5. |
| <input type="checkbox"/> | Project involves four or more work descriptions. GO TO STEP 5. |
| <input type="checkbox"/> | Project involves less than four work descriptions. GO TO STEP 6. |

**STEP 5: ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER**

| | |
|---|---|
| Check all that apply to the project. | |
| <input type="checkbox"/> | 1. Reclassification of property status. <i>(Attach HRER Part I)</i> <input type="checkbox"/> Reclassify to Category A a. Per HRER b. Other <i>(specify)</i> : <input type="checkbox"/> Reclassify to Category C <i>(No further historic review)</i> |
| <input checked="" type="checkbox"/> | 2. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4. |
| <input type="checkbox"/> | 3. Interior alterations to publicly accessible spaces that do not remove, alter, or obscure character defining features. |
| <input type="checkbox"/> | 4. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character. |
| <input type="checkbox"/> | 5. Façade/storefront alterations that do not remove, alter, or obscure character-defining features. |

| | |
|---|---|
| <input type="checkbox"/> | 6. Raising the building in a manner that does not remove, alter, or obscure character-defining features. |
| <input type="checkbox"/> | 7. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings. |
| <input type="checkbox"/> | 8. Work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties (Analysis required)</i> : |
| <input type="checkbox"/> | 9. Work compatible with a historic district (Analysis required): |
| <input type="checkbox"/> | 10. Work that would not materially impair a historic resource (Attach HRER Part II). |
| Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below. | |
| <input checked="" type="checkbox"/> | Project can proceed with exemption review. The project has been reviewed by the Preservation Planner and can proceed with exemption review. GO TO STEP 6. |
| Comments (optional): | |
| Preservation Planner Signature: Monica Giacomucci | |

STEP 6: EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

| | | |
|---|---|--|
| <input checked="" type="checkbox"/> | No further environmental review is required. The project is exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect. | |
| | Project Approval Action: Planning Commission Hearing | Signature: Monica Giacomucci |
| | | 04/14/2021 |
| <p>Once signed or stamped and dated, this document constitutes a n exemption pursuant to CEQA Guidelines and Chapter 31of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination to the Board of Supervisors can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.</p> | | |

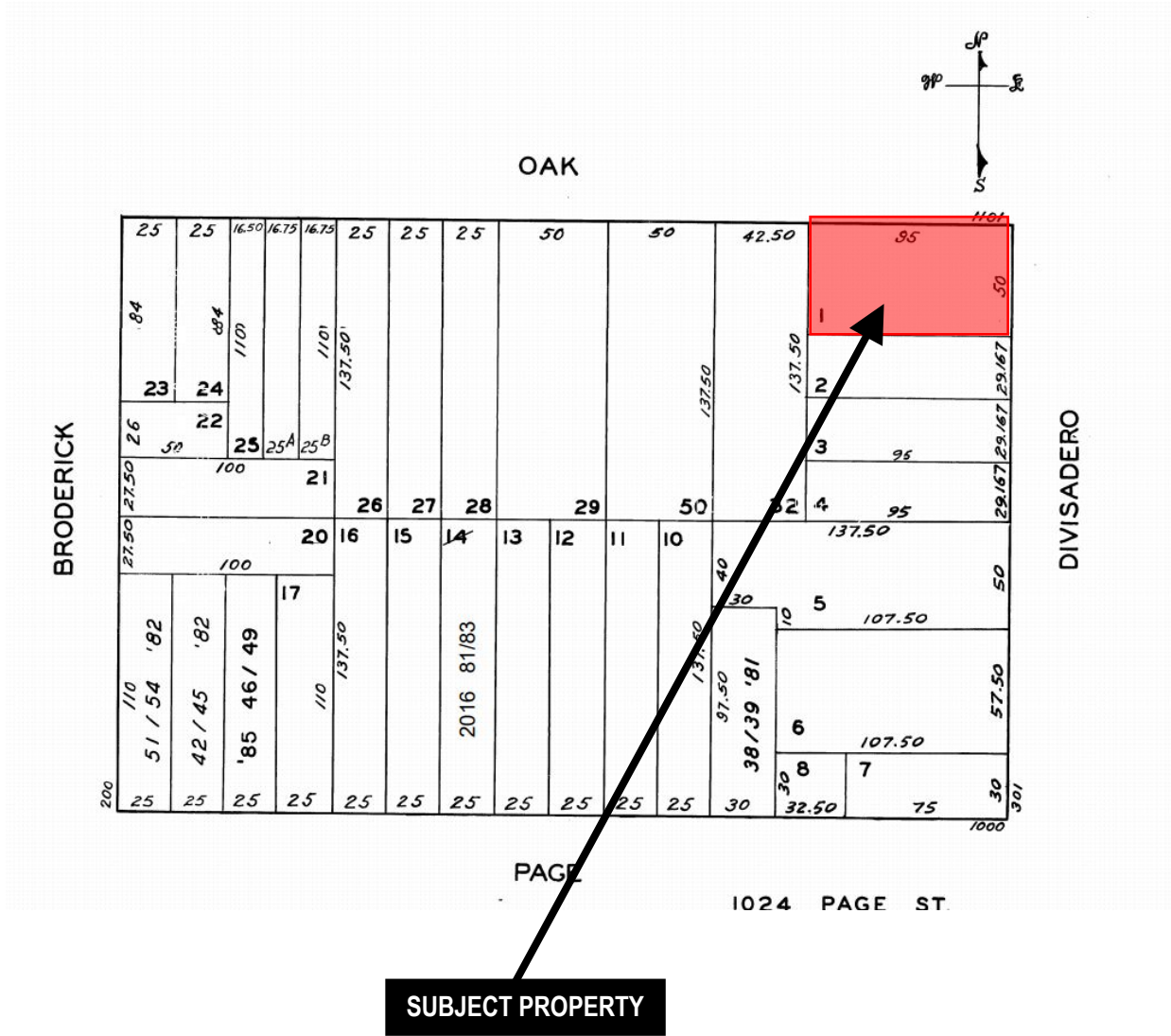


LAND USE INFORMATION

PROJECT ADDRESS: 353 DIVISADERO ST
RECORD NO.: 2020-009148PRJ

| | EXISTING | PROPOSED | NET NEW |
|---|----------|----------|---------|
| GROSS SQUARE FOOTAGE (GSF) | | | |
| Parking GSF | 0 | 0 | 0 |
| Residential GSF | 0 | 0 | 0 |
| Retail/Commercial GSF | 0 | 0 | 0 |
| Office GSF | 0 | 0 | 0 |
| Industrial/PDR GSF <i>Production, Distribution, & Repair</i> | 0 | 0 | 0 |
| Medical GSF | 0 | 0 | 0 |
| Visitor GSF | 0 | 0 | 0 |
| CIE GSF | 0 | 0 | 0 |
| Usable Open Space | 0 | 0 | 0 |
| Public Open Space | 0 | 0 | 0 |
| Other () | 0 | 0 | 0 |
| TOTAL GSF | | | |
| | EXISTING | PROPOSED | NET NEW |
| PROJECT FEATURES (Units or Amounts) | | | |
| Dwelling Units - Affordable | 0 | 0 | 0 |
| Dwelling Units - Market Rate | 14 | 14 | 0 |
| Dwelling Units - Total | 14 | 14 | 0 |
| Hotel Rooms | 0 | 0 | 0 |
| Number of Buildings | 0 | 0 | 0 |
| Number of Stories | 3 | 3 | 0 |
| Parking Spaces | 0 | 0 | 0 |
| Loading Spaces | 0 | 0 | 0 |
| Bicycle Spaces | 0 | 0 | 0 |
| Car Share Spaces | 0 | 0 | 0 |
| Other () | 0 | 0 | 0 |

Parcel Map

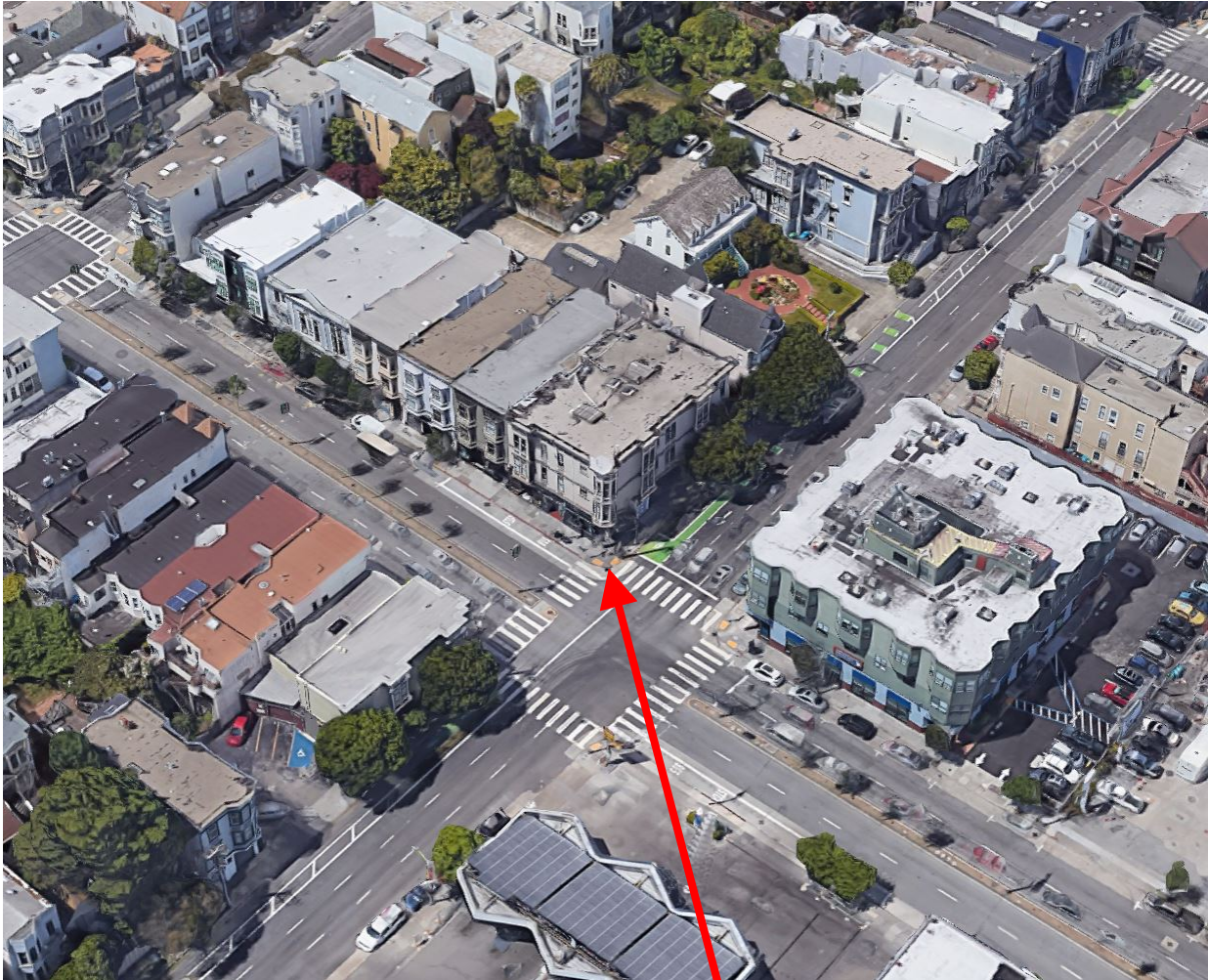


Zoning Map



Conditional Use Hearing
Case Number 2020-009148CUA
Cannabis Retailer
353 Divisadero Street

Aerial Photo – View 1



SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2020-009148CUA
Cannabis Retailer
353 Divisadero Street

Site Photo



Conditional Use Hearing
Case Number 2020-009148CUA
Cannabis Retailer
353 Divisadero Street



PROJECT APPLICATION (PRJ)

PROPERTY INFORMATION/PROJECT DESCRIPTION

| | |
|------------------------|----------------------------|
| Project Address | Block/Lot(s) |
| 353 DIVISADERO ST | 1218001 |
| Record No. | Building Permit No. |
| 2020-009148PRJ | |

Property Owner's Information

Name:

Address:

Applicant Information

Name:

Musleh, Michael nader

Company/Organization:

Fourward Integration Inc

Address:

P.O. Box 320171, san francisco, CA 94132

Email:

musleh@gmail.com

Phone:

4153082538

Billing Contact

Name:

Michael Musleh

Company/Organization:

Fourward Integration Inc

Address:

P.O. Box 320171, san francisco, CA 94132

Email:

musleh@gmail.com

Phone:

4153082538

Related Building Permit

Building Permit Application No:

Related Preliminary Project Assessment (PPA)

PPA Application No:

Project Information

Project Description:

Conditional Use Authorization request for change of use from existing 1400 square ft Coffee Shop to Cannabis Retail Use (dba" TBD"). Located on the street level in a three story mix use building on corner of Oak and Divisadero Street. The project will involve interior alterations but will not change the property envelop or the existing size of the current space or the integrity of the facade of the property.

Project Details:

- | | | |
|---|--|-------------------------------------|
| <input checked="" type="checkbox"/> Change of Use | <input type="checkbox"/> New Construction | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Facade Alterations | <input type="checkbox"/> ROW Improvements | <input type="checkbox"/> Additions |
| <input type="checkbox"/> Legislative/Zoning Changes | <input type="checkbox"/> Lot Line Adjustment-Subdivision | <input type="checkbox"/> Other: |
-

Estimated Construction Cost:

0.00

Residential:

- | | | | |
|--|--|--|---|
| <input type="checkbox"/> Senior Housing | <input type="checkbox"/> 100% Affordable | <input type="checkbox"/> Student Housing | <input type="checkbox"/> Dwelling Unit Legalization |
| <input type="checkbox"/> Inclusionary Housing Required | <input type="checkbox"/> State Density Bonus | <input type="checkbox"/> Accessory Dwelling Unit | |
| <input type="checkbox"/> Rental Units | <input type="checkbox"/> Ownership Units | <input type="checkbox"/> Unknown Units | |

Non-Residential:

- | | | |
|--|--|--|
| <input type="checkbox"/> Formula Retail | <input checked="" type="checkbox"/> Cannabis | <input type="checkbox"/> Tobacco Paraphernalia Establishment |
| <input type="checkbox"/> Financial Service | <input type="checkbox"/> Massage Establishment | <input type="checkbox"/> Other: |

General Land Use

| | Existing | Proposed |
|--|----------|----------|
| Parking GSF | 0 | 0 |
| Residential GSF | 0 | 0 |
| Retail/Commercial GSF | 1400 | 1400 |
| Office GSF | 0 | 0 |
| Industrial-PDR | 0 | 0 |
| Medical GSF | 0 | 0 |
| Visitor GSF | 0 | 0 |
| CIE (Cultural, Institutional, Educational) | 0 | 0 |
| Usable Open Space GSF | 0 | 0 |
| Public Open Space GSF | 0 | 0 |

Project Features

| | Existing | Proposed |
|------------------------------|----------|----------|
| Dwelling Units - Affordable | 0 | 0 |
| Dwelling Units - Market Rate | 14 | 14 |
| Dwelling Units - Total | 14 | 14 |
| Hotel Rooms | 0 | 0 |
| Number of Buildings | 0 | 0 |
| Number of Stories | 3 | 3 |
| Parking Spaces | 0 | 0 |
| Loading Spaces | 0 | 0 |
| Bicycle Spaces | 0 | 0 |
| Car Share Spaces | 0 | 0 |
| Other: | 0 | 0 |

Land Use - Residential

| | Existing | Proposed |
|----------------------------|----------|----------|
| Studio Units | 8 | 8 |
| One Bedroom Units | 6 | 6 |
| Two Bedroom Units | 0 | 0 |
| Three Bedroom (or +) Units | 0 | 0 |
| Group Housing - Rooms | 0 | 0 |
| Group Housing - Beds | 0 | 0 |
| SRO Units | 0 | 0 |
| Micro Units | 0 | 0 |

Environmental Evaluation Screening

1a. Estimated construction duration (months):

1b. Does the project involve replacement or repair of a building foundation?
If yes, please provide the foundation design type (e.g., mat foundation, spread footings, drilled piers, etc):

Yes No

Foundation Design Type:

1c. Does the project involve a change of use of 10,000 sq ft or greater? Yes No

2. Does the project involve a child care facility or school with 30 or more students, or a location 1,500 square feet or greater? Yes No

3. Would the project result in any construction over 40 feet in height? Yes No

4a. Would the project involve changes to the front façade or an addition visible from the public right-of-way of a structure built 45 or more years ago or located in a historic district? Yes No

4b. Would the project involve demolition of a structure constructed 45 or more years ago, or a structure located within a historic district? Yes No

5. Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeologically sensitive area or eight (8) feet below grade in a non-archeologically sensitive area?

Depth:

6a. Is the project located within a Landslide Hazard Zone, Liquefaction Zone or on a lot with an average slope of 25% or greater? Yes No

Area:

Amount:

6b. Does the project involve a lot split located on a slope equal to or greater than 20 percent? Yes No

7. Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollutant Exposure Zone? Yes No

8a. Would the project involve work on a site with an existing or former gas station, parking lot, auto repair, dry cleaners, or heavy manufacturing use, or a site with underground storage tanks? Yes No

8b. Is the project site located within the Maher area and would it involve ground disturbance of at least 50 cubic yards or a change of use from an

Yes No

| | |
|---------------|------------|
| Filed By: | File Date: |
| Michaelmusleh | 04/21/2020 |



CONDITIONAL USE AUTHORIZATION

SUPPLEMENTAL APPLICATION

Property Information

Project Address: 353 Divisadero st San Francisco Ca 94117

Block/Lot(s): 1218/001

Action(s) Requested

Action(s) Requested (Including Planning Code Section(s) which authorizes action)

The Project is a request for Conditional Use Authorization to establish a Cannabis Retail use (dba Diamond Cannabis Collective) at the ground level of a mixed-use building within the Lower Haight Street Neighborhood Commercial District and a 40-X Height and Bulk District. The proposal is to convert an interim coffee and wine bar use with approximately 1,400 square feet of floor area (occupied by " Vinyl Coffee and Wine Bar") to a Cannabis Medical, Recreational Retail use as well as a Lounge within the same location. The proposal will involve interior tenant improvements to the ground floor commercial tenant space. There will be no expansion of the existing tenant space or building envelope. Exterior modifications are limited to in-kind replacement of the front entry door and the addition of a security camera

Conditional Use Findings

Pursuant to Planning Code Section 303(c), before approving a conditional use authorization, the Planning Commission needs to find that the facts presented are such to establish the findings stated below. In the space below and on separate paper, if necessary, please present facts sufficient to establish each finding.

1. That the proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community. If the proposed use exceeds the non-residential use size limitations for the zoning district, additional findings must be provided per Planning Code Section 303(c)(1)(A-C).

This project meets and is complimentary with the Planning Zone of the neighborhood which under ordinance 229-17 allows Cannabis Retail. Restrictions are set forth in section 202.2a of the Zoning Code. The site has no additional square footage than the existing space. The previous use of the space was a restaurant (commercial use),

I.E. Residential and/or offices above, retail or services below, open to the public.

The size and scale is consistent with existing neighborhood establishments. There are some near-by similar use establishments within the neighborhood but not in close enough to general and complicated conflicts or competition.

2. That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:
 - a. The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;
 - b. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;
 - c. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;
 - d. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs.
 - a. The proposed use is a T.I. and would not modify the size or scan of the existing building, site, or structure.
 - b. The existing traffic patterns will remain unaffected. The previous use was a dine - in restraint with a higher occupancy load than the proposed use so no increases in density and/or pedestrian or vehicle traffic would be generated.
 - c. There will be a state of the HVAC and Filtration System as required by code which effectively mitigates noxious or offensive emissions including dust, odor, and noise emissions.
 - d. Signage is much the same as existing and is very tasteful and low key as well as outdoor lighting. Loading is well under the code limitations.
-
3. That such use or feature as proposed will comply with the applicable provisions of this Code and will not adversely affect the General Plan.

The use as a Cannabis Retail Establishment is well within zoning ordinance 229-17. and is consistent with the zoning code in the area. This includes retail use open to the public.

4. The use or feature satisfies any criteria specific to the use of features listed in Planning Code Section 303(g), et seq.

The use as a “ Cannabis Retail ” establishment is consistent with the S.F. Planning Code specific to the Area/neighborhood.

The signage is extremely discrete and consistent with present signage.

APPLICANT'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

- a) The undersigned is the owner or authorized agent of the owner of this property.
- b) The information presented is true and correct to the best of my knowledge.
- c) Other information or applications may be required.
- d) I hereby authorize City and County of San Francisco Planning staff to conduct a site visit of this property as part of the City's review of this application, making all portions of the interior and exterior accessible through completion of construction and in response to the monitoring of any condition of approval.
- e) I attest that personally identifiable information (PII) - i.e. social security numbers, driver's license numbers, bank accounts - have not been provided as part of this application. Furthermore, where supplemental information is required by this application, PII has been redacted prior to submittal to the Planning Department. I understand that any information provided to the Planning Department becomes part of the public record and can be made available to the public for review and/or posted to Department websites.

Michael Musleh
Signature

Michael Nader Musleh
Name (Printed)

Date

10/13/2020
Relationship to Project
(i.e. Owner, Architect, etc.)

(415)308-2538
Phone

musleh@gmail.com
Email

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

353 Divisadero St. Security Plan

| | |
|--|---------|
| 1. Purpose..... | pg. 1 |
| 2. General Information..... | pg. 1,2 |
| 3. Security & Diversion..... | pg. 2 |
| 4. Alarm System & Provider..... | pg. 2,3 |
| 5. Video Surveillance..... | pg.3 |
| 6. Process for Securing Premises..... | pg.4 |
| 7. Employee Badges..... | pg.4,5 |
| 8. Lighting & Visibility..... | pg.5 |
| 9. Consumption Lounge Security..... | pg.5,6 |
| 10. Process Documentation..... | pg.6 |
| 11. Police Reporting..... | pg.6 |
| 12. Loitering & Illegal Transfers..... | pg.6 |
| 13. Good Neighbor Policy..... | pg.6,7 |
| 14. Appendix A: Visitors Log..... | pg.7 |
| 15. Appendix B: Interior & Exterior diagram..... | pg.8,9 |

1. PURPOSE

Fourward integration is committed to providing a safe and secure environment at our cannabis retail store and consumption lounge at 353 Divisadero St. Security and safety are paramount to our neighborhood. We reside and work in District 5. Our community is our main concern. Below is our security plan that has been safely implemented in other dispensaries in San Francisco and around California. These measures have been assessed and prepared by TBD professional security provider, a company fully insured and licensed by the California Bureau of Security and Investigations Service (BSIS), a division of the California Department of Consumer Affairs.

2. GENERAL INFORMATION

A professional security provider will provide a uniformed security team, trained on the specific needs of the facility from the hours of 9:00 am until the last employee leaves the store at approximately 11:00 pm. All security officers will be fully licensed, insured, and will carry a BSIS “Security Guard Card and Firearm Permit” (if armed) at all times. There will be no armed guards at the facility as requested by the neighborhood merchants. The security team will be under the direction of the Security Director, who will incorporate high-profile deterrence and techniques to deter robbery, theft, and diversion.

Name of Security Company: TBD

License Number: CALIFORNIA PRIVATE PATROL OPERATOR #TBD

Contact Persons:

TBD

TBD

TBD

3. SECURITY & DIVERSION

Security measures will be strictly enforced. These measures include, but are not limited to:

- Preventing unauthorized entry to Fourward Integration Inc facilities: security staff will verify identification and medical authorizations of all visitors before allowing them to enter the facility. Adult use customers must be 21+ and medical patients must be 18+.
- Preventing persons from access to or remaining on the facility if they are not engaging in activity related to the business
- Establishing limited access areas
- 24-hour electronic surveillance and alarm response
- The storing of all cannabis products in a secure room, safe, or vault bolted to the floor or by other acceptable method to prevent theft
- The storing of all unusable and excess cannabis, until disposed of, in accordance with Waste Disposal Policies & Procedures
- Maintaining comprehensive and up-to-date security and safety policies and procedures Other diversion measures include Standard Operating

Procedures related to:

- Inventory tracking system accounting for all products containing cannabis
- Procedures for prompt diversion detection
- Documentation and internal and external diversion reporting
- Use of METRC through a point of sale system that identifies and tracks all stock of cannabis from the time it is delivered or produced to the time it is sold or delivered. If an employee finds evidence of a theft or diversion, the employee must report the theft or diversion to the manager, and Fourward Integration Inc. shall report the theft or diversion to the Bureau of Cannabis Control and to the San Francisco Police Department.

4. ALARM SYSTEM & PROVIDER

Name of Alarm System Agent: TBD

License Number: TBD

Address: TBD

Phone Number: TBD

General Manager Contact Phone #: TBD

The facility will use a comprehensive surveillance and alarm system, combined with a uniformed security team to enhance personal safety and prevent trespassing, robbery, and theft. The facility will conspicuously display security system cameras, commercial lighting, and warning signs in compliance with City of San Francisco and State of California requirements. Video cameras will be installed throughout the interior and exterior of the facility, including all areas

that contain cannabis and proceeds. Cameras will be positioned to provide quality images of any person entering or exiting the facility, as well as the street, parking lot, and surrounding area. Motion sensors will be installed throughout the interior of the facility.

Fourward Integration Inc. will contract with TBD, alarm system and provider licensed by the State of California, Department of Consumer Affairs Bureau of Security and Investigative Services (BSIS) in accordance with California Business & Professional Code 7590. Our Security Director will monitor real-time video to determine potential threats and notify the police in the event an intruder is discovered on the property. The alarm vendor's system will eliminate false alarm notifications to the San Francisco Police Department, thus preventing the unnecessary deployment of valuable police resources.

5.VIDEO SURVEILLANCE

The security system shall include continuous 24-hour video surveillance cameras capable of 15 frames per second, showing the time and date with TCP internet access and data storage kept for a minimum of 90 days. The TBD manufacturer system shall also be equipped with a failure notification system that pings TBD alarm providers. There will be back up power for the entire system that will last up to 8 hours. Recording will take place on our server which will be located in our IT closet on site. If wires are tampered with on the alarm or video surveillance system, the system will notify TBD alarm providers. The cameras will be permanently mounted in a fixed location that allows the camera to record activity occurring within 20-feet of all points of entry and exit. Surveillance cameras feature infrared technology which allow for night-time vision.

Additional areas that will be recorded on the system include:

- Areas where cannabis goods are weighed, packed, stored, loaded, and unloaded for transportation, prepared, or moved within the premises
- Limited-access areas
- Security rooms
- Consumption lounge
- Areas storing a surveillance-system storage device with at least one camera recording the access points to the secured surveillance recording area
- Entrances and exits to the premises, which shall be recorded from both indoor and outdoor vantage points

Fourward Integration Inc will provide real-time access to the video feeds to the San Francisco Police Department if and when reasonably requested. Additionally, Fourward Integration Inc can provide footage to SFPD to assist in investigations, even those unrelated to the company's operations, such as a car break-in in front of our facility.

6. PROCESS FOR SECURING PREMISES

The facility will use a state-of-the-art card key system, individually programmed for staff access to authorized-only areas of the facility. Card keys will be issued to all staff allowing access only to areas encompassing their level of security clearance. The card key system ensures electronic access only to authorized secure areas, while providing digital evidence of the card usage for future review. Immediate deactivation of a card key will occur in the event of a lost or stolen card or the termination of an employee. Doors in the facility will be commercial grade and will be equipped with limited-access chip activated mechanisms. Doors to limited-access areas will remain closed and locked when not in use. Front windows will be protected by a security gate after operating hours. Any rear or side windows will be protected by bars and/or break sensors at all times.

Secure areas will be accessible only to authorized personnel. Wherever possible “trap door” systems will be used to deter unauthorized entry. All cannabis and cannabis products will be stored in a locked safe room in such a manner as to prevent theft or loss.

Non-employee authorized individuals such as vendors will be required to sign into our visitor log (Appendix A). A dispensary agent will review the visitor’s government issued ID.

A dispensary agent will continuously escort and monitor the visitor while on the premises and inform the visitor that he or she is not permitted to handle any cannabis products unless required by procedure and allowed by regulation.

TBD software company will run daily tests of our security system. Any failure will immediately ping TBD alarm provider as well as Fourward Integration Inc Security Director. The alarm system also executes a system check for low batteries and/or loss of supervision on a weekly basis. TBD alarm providers conduct in-person training for all managers and staff on all security components, maintenance, and procedures. When trouble is detected, the alarm will go directly to TBD alarm providers. The operations team at Fourward Integration Inc. will authorize dispatch. The system utilizes a call tree (Security Director, General Manager for Fourward Integration Inc, Director of Retail Operations) and will only notify the police at our direction. Email notification will follow to track the emergency in writing.

7.EMPLOYEE BADGES

All agents, officers, or other persons acting for or employed by Fourward Integration Inc or a vendor shall display a laminated or plastic-coated identification badge issued by the licensee at all times while engaging in commercial cannabis activity.

A. Managers shall ensure all agents, officers, or other persons acting for or employed by a licensee display a laminated or plastic-coated identification badge issued by the licensee at all times while engaging in commercial cannabis activity that includes:

- Licensee’s “doing business as” name and license number
- Employee’s first name

- Employee number exclusively assigned to that employee for identification purposes
- Color photograph of the employee that clearly shows the full front of the employee's face and that is at least 1 inch in width and 1.5 inches in height
- Any additional information that may be required by future government regulations or company policy

B. Managers shall ensure all employee badges remain at licensed premises and:

- Distribute badges at the beginning of shift
- Collect badges at the end of shift

C. Upon termination of an employee, management shall:

- Take custody of the terminated employee's identification card
- Obtain any keys or entry devices from the terminated employee
- Eliminate entry codes from security system
- Ensure the terminated employee can no longer gain access to the premises of the licensee

8. LIGHTING & VISIBILITY

Commercial light fixtures will illuminate the exterior of the facility including entrance areas, and vegetation, trees, or fixed objects will be properly maintained or removed to provide an unobstructed view of the facility by security personnel, video surveillance, and first responders.

TBD security company will maintain a detailed site security plan, a risk and mitigation chart, and a comprehensive Standard Operating Procedures Manual for security and safety, which includes, but is not limited to:

- General Security Measures
- Uniformed Security Teams
- Employee Safety & Security
- Product/Proceeds Security
- Alarm & Surveillance Systems
- Lighting
- Signage
- Anti-Robbery, Theft and Diversion Measures
- Emergency Management
- Reporting
- Enforcement of Rules/Policy and Procedures

9. CONSUMPTION LOUNGE SECURITY

The Fourward Integration Inc. consumption lounge will only be available to customers and patients of the dispensary whose identification and medical recommendation (if applicable) have been verified by security staff. The Lounge will be closed during the Covid shutdown and remain compliant with city guidelines until notified by the city it is safe to open.

Lounge security protocols include:

- Lounge will only be open during dispensary business hours.
- Occupancy limits will be strictly enforced.
- All re-usable equipment and accessories will be regularly and thoroughly cleaned in accordance with Department of Health protocols.
- Visitors will only be allowed to consume cannabis that they have purchased at the dispensary on that visit.
- The lounge will be under constant video surveillance.
- In accordance with Fourward Integration Inc detailed Odor Management Plan (OMP) no smoke or odor will be emitted from the consumption lounge or the dispensary.

10. PROCESS DOCUMENTATION

Procedures must be in place to ensure that all information used in the clearing of merchandise/cargo is legible, complete, accurate, and protected against the exchange, loss or introduction of erroneous information. Documentation is provided to freight forwarders, carriers, and consignees by secure means of transmission. Documentation control must include safeguarding computer access and information. Management has review of process and corrective actions if any of the above guidelines are not followed.

11. POLICE REPORTING

Security shall report all criminal activity occurring on the Dispensary site to the San Francisco Police Department. Fourward Integration Inc. staff will have an active, collaborative relationship with SFPD Park Station, which is located essentially 1.2 miles from the Company's facility. Reporting and documentation shall be established in accordance.

12. LOITERING & ILLEGAL TRANSFERS

The dispensary shall direct security guards to monitor the outside of the premises for loitering and unlawful sale or giving of cannabis by customers, patients, or others. Security personnel shall report to management any unlawful sales or giving (e.g. to a minor) of medical or recreational cannabis by customers or patients of the dispensary. The dispensary shall cease to provide medical/recreational cannabis to the reported individual(s) and make a report within twenty-four (24) hours to the SFPD and/or the doctor who issued the medical marijuana recommendation, if such contact information is available. The dispensary shall keep a record of all incidents where customers or patients unlawfully sell or provide cannabis to others. The dispensary shall inform customers, patients, and caregivers about illegal cannabis activities and remind them that it is unlawful to sell cannabis outside the establishment. Crowd control barriers will be provided for social distancing required during Covid.

13. GOOD NEIGHBOR POLICY

Fourward Integration Inc. is developing a detailed Good Neighbor Policy (GNP) which it will publicize and share with all nearby community groups and interested residents and merchants. While the GNP will be ongoing we have provided the documents in print to all neighboring

Appendix B
Premise Diagram- Exterior

BEN TARCHER ARCHITECT
228 OLMA ROAD
SAN FRANCISCO, CA 94102
T: 415-424-2538
email: ben@benarchitect.com

Diamond Dispensary
1101 Oak Street, San Francisco
CLIENT/OWNER:
Michael Muscato
FORWARD INTEGRATION INC.
353 Divisadero St.
415-338-2538

| NO. | DESCRIPTION | DATE |
|-----|-------------|--------|
| 1 | PRELIMINARY | 1/2018 |
| 2 | | |
| 3 | | |
| 4 | | |

PROJECT NUMBER:
DRAWN BY: S.T.
CHECKED BY: S.T.
SCALE: AS SHOWN
SHEET TITLE:
Existing East Elevation (Divisadero Str.)
SHEET NUMBER: **A1.3**

PROPOSED FIRST FLOOR PLAN
Scale: 1/4"=1'-0"
1101 OAK STREET CANNABIS RETAIL STORE

BEN TARCHER ARCHITECT
228 OLMA ROAD
SAN FRANCISCO, CA 94102
T: 415-424-2538
email: ben@benarchitect.com

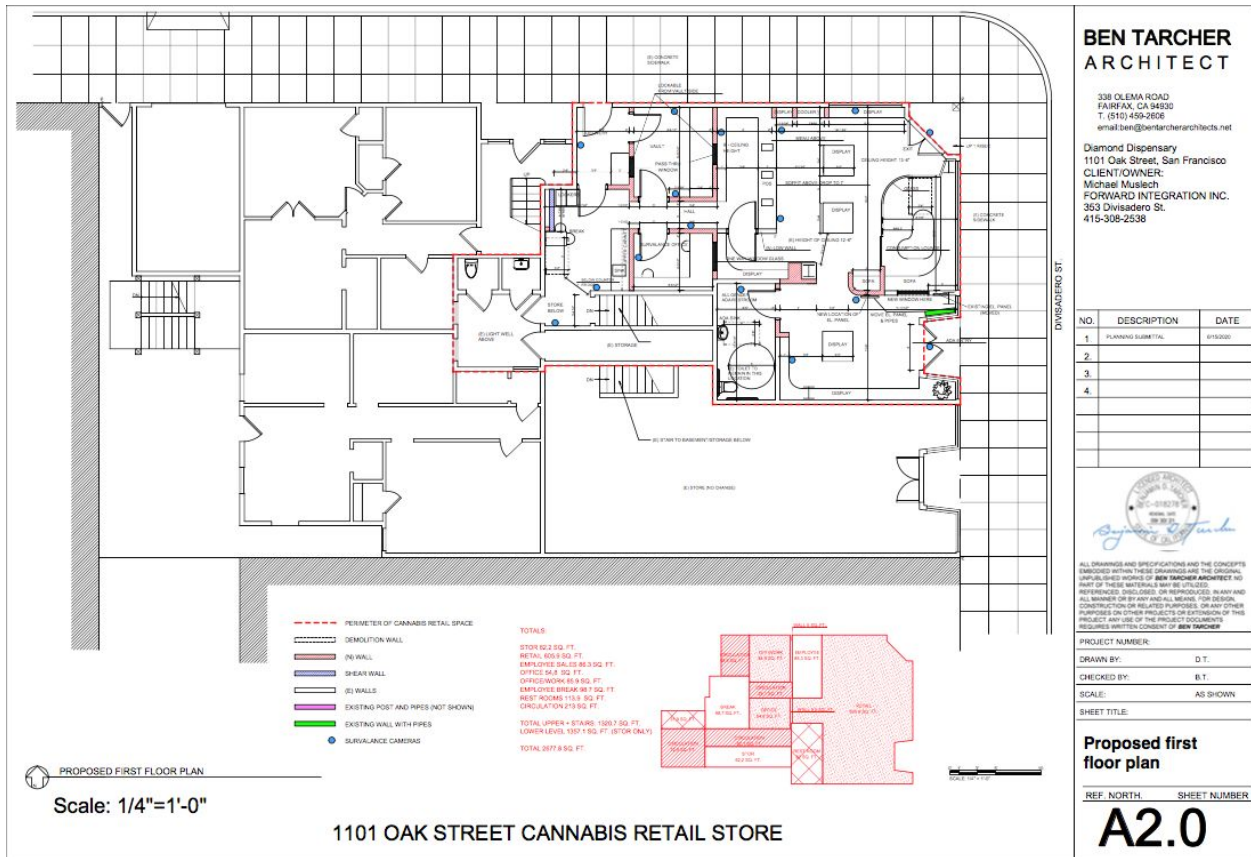
Diamond Dispensary
1101 Oak Street, San Francisco
CLIENT/OWNER:
Michael Muscato
FORWARD INTEGRATION INC.
353 Divisadero St.
415-338-2538

| NO. | DESCRIPTION | DATE |
|-----|-------------|--------|
| 1 | PRELIMINARY | 1/2018 |
| 2 | | |
| 3 | | |
| 4 | | |

PROJECT NUMBER:
DRAWN BY: S.T.
CHECKED BY: S.T.
SCALE: AS SHOWN
SHEET TITLE:
Existing North Elevation (Oak Str.)
SHEET NUMBER: **A1.4**

PROPOSED FIRST FLOOR PLAN
Scale: 1/4"=1'-0"
1101 OAK STREET CANNABIS RETAIL STORE

Premise Diagram- Interior



BEN TARCHER ARCHITECT

338 OLEMA ROAD
FAIRFAX, CA 94530
T. (510) 459-2606
email: ben@bentarcherarchitects.net

Diamond Dispensary
1101 Oak Street, San Francisco
CLIENT/OWNER:
Michael Muslech
FORWARD INTEGRATION INC.
353 Divisadero St.
415-308-2538

| NO. | DESCRIPTION | DATE |
|-----|--------------------|---------|
| 1. | PLANNING SUBMITTAL | 07/2020 |
| 2. | | |
| 3. | | |
| 4. | | |



ALL DRAWINGS AND SPECIFICATIONS AND THE CONCEPTS ILLUSTRATED HEREIN THESE DRAWINGS AND THE CONCEPTS ILLUSTRATED HEREIN ARE THE PROPERTY OF BEN TARCHER ARCHITECT. NO PART OF THESE MATERIALS MAY BE UTILIZED, REPRODUCED, COPIED, OR REPRODUCED IN ANY AND ALL MANNER OR BY ANY AND ALL MEANS, FOR DESIGN, CONSTRUCTION OR RELATED PURPOSES, OR ANY OTHER PURPOSES ON OTHER PROJECTS OR EXTENSION OF THIS PROJECT AND USE OF THE PROJECT DOCUMENTS REQUIRE WRITTEN CONSENT OF BEN TARCHER.

PROJECT NUMBER:

DRAWN BY: D.T.

CHECKED BY: B.T.

SCALE: AS SHOWN

SHEET TITLE:

Proposed first floor plan

REF NORTH SHEET NUMBER

A2.0

353 Divisadero St. Parking Protocol

- Our security will be instructed to monitor parking at the Chase building, Kelly Moore & Car Wash/Gas Station, no one is to park at these locations.
- Our security will be instructed to monitor zones surrounding our facility.
- Security and employees will also inform clients that parking temporarily on properties near the facility is not acceptable.
- Hiring local, we will reward employees that use a bike to commute & encourage public transit.
- Employees will sign an agreement that they will not park a vehicle in any parking meters on Divisadero St. Parking meters are designated for neighborhood consumers.

353 DIVISADERO ST ODOR MANAGEMENT PLAN

All of the residents who reside in the building above the 353 Divisadero St. proposed location support the dispensary project and the consumption lounge. Property owner Mike Musleh, is a partner & business landlord. The residential tenants at 353 Divisadero have all signed a letter supporting the project and the consumption lounge. Their support letter is attached as Appendix B.

Our Odor Management Plan (OMP) is designed by industry experts as a multifaceted, best-in-class approach to ensure 353 Divisadero St. does not emit any odors to its residential and commercial neighbors or to the surrounding area. Additionally, our dispensary and consumption lounge will meet or exceed every applicable requirement of the San Francisco Department of Public Health (SFDPH) and Office of Cannabis as well as the California Department of Health and Bureau of Cannabis Control.

The goals of 353 Divisadero St. OMP are:

1. Eliminating any odor of cannabis outside the premises
2. Preventing the emission of any odor of cannabis from the premises
3. Maintaining clean air within the premises, including minimizing any smoke and odor from the consumption lounge entering other areas of the dispensary.
4. Providing excellent indoor air quality for the health and wellness of all employees, patients, and customers

We are completely renovating our business' space using best building practices to stop indoor air pollutants. Our OMP is grounded on engineering controls as the primary control method for air quality and odor control. Our OMP was informed by OSHA Publication 3430, Indoor Air Quality in Commercial and Institutional Buildings (see footer). As such, efficient ventilation, proper filtration, and preventative design form the cornerstones of our OMP.

Prior to taking delivery of any cannabis products or opening the consumption lounge for public use, 353 Divisadero St. will install a robust three-stage air filtration system that complies with SFDPH's Cannabis Smoking Room Type-C Permit requirements (attached as Exhibit A). We will submit our Cannabis Smoking Room Ventilation Proposal to SFDPH before we apply for our mechanical permit from the Department of Building Inspection to ensure total compliance with city regulations regarding cannabis consumption. The three-stage system will include:

1. Intake Filtration
2. In-Line Electronic Cleaner System
3. Exhaust Filtration

1. For intake filtration, we will use the indoor, ceiling mounted Everclear CM-11 Total High Efficiency Particulate and Gaseous Filtration System. The Everclear CM-11 sits flush with the ceiling tiles and is designed to remove dust, smoke, pollen, and other particulates using high-efficiency disposable filters with large, twin odor/V.O.C filter modules. The CM- 11 serves as the first filtration point in the HVAC system. Air is filtered as it is drawn from the different rooms in the dispensary into the ducts. The Everclear CM-11 is often used in cigar bars, hookah bars, testing laboratories, and welding shops to maintain clean air, and is thus well-suited to clean the air in our consumption lounge and dispensary.

2. After the initial filtering by the CM-11, the air will then be drawn through the In-Line Electronic Cleaning System, the second stage in the filtration system. The Aprilaire Model 5000 Electronic Air Cleaner will be installed in conjunction with the air handler/furnace and remove the particles that travel with the air that circulates through the HVAC ducts. The Air Cleaner will be set to clean the air at all times, 24 hours per day, seven days a week, even when the heat or air conditioning is not turned on. This is the second firewall for the elimination odor.

3. As the third phase of the filtration system, the Exhaust Filtration serves as the final barrier for any cannabis odor particulates. The Exhaust Filtration includes an inline fan equipped with carbon can filters. The fan creates a negative pressure environment throughout the space on a continual basis, which will prevent any odors from escaping the premises when exterior doors or windows are opened. The carbon filters on the exhausts are the final stage of air scrubbing, causing the flow of air to the exterior of the building to be both odor- and contaminant-free.

Each one of these systems on its own could do, and in some applications does do, a commendable job of controlling odor. By combining all three, we are creating an unbeatable trifecta, with redundancy and certainty.

All of the systems will be maintained regularly. We will retain a maintenance team to keep the systems operating at maximum efficiency. Filters will be replaced at every scheduled maintenance. Our maintenance team will also educate our employees about the operations of the filtration system.

Because we plan to remodel the entirety of the premises, we will have the ability to install the filtration and air cleaning systems to ideal specifications rather than be hindered by previous HVAC systems or duct work. All equipment will be in brand new, working condition, covered by manufacturer warranties. And all systems will be installed prior to the opening of the premises for business.

353 Divisadero St. is committed to providing state-of-the-art air quality and odor control systems to ensure we are operating with zero odor emissions and providing the highest indoor air quality possible for our employees, patients, and customers.

Please note all specifications are subject to change pending SFDPH review of our Cannabis Smoking Room Ventilation Proposal.

APPENDIX A: SF DEPARTMENT OF PUBLIC HEALTH SMOKING ROOM REQUIREMENTS



City and County of San Francisco
 DEPARTMENT OF PUBLIC HEALTH
 ENVIRONMENTAL HEALTH

Cannabis Smoking-Type C Permit Requirements

December 2018

The Rules and Regulations for Article 8A of the San Francisco Health Code requires the Department of Public Health (DPH) approve your Cannabis Smoking Room Ventilation Proposal *before* the San Francisco Department of Building Inspection will issue a mechanical permit for your project.

For DPH to review the Cannabis Smoking Room Ventilation Proposal and assess compliance with the requirements set forth in the Article 8A Rules and Regulations of the San Francisco Health Code, the following, at a minimum, shall be included in the Cannabis Smoking Room Ventilation Proposal:

- Air change for the Designated Cannabis Smoking Room: **XXX cfm and/or XXX ach**
- Air change for common areas inside the Cannabis Retailer or Microbusiness: **XXX cfm and/or XXX ach**
- Filter type for the Designated Cannabis Smoking Room: **(e.g. MERV 11)**
- Odor Control Measure for the Designated Cannabis Smoking Room: **(e.g. Activated Carbon Filter or other Odor Control Technology, provide manufacturer's specification sheet)**
- Location of air intakes and exhaust outlets*: **(e.g. location on Roof or exterior of building)** *Shall be in compliance with the CMG 602.2 for "other product-conveying" termination
- Negative Pressure in the Designated Cannabis Smoking Room: **(Yes/No)**
- If negative pressure will be maintained only in the Designated Cannabis Smoking Room **(Yes/No)**
- Areas not served by enhanced ventilation. **(e.g. retail area, hallways, etc.)**
- If applicable, location of Z-ducts, trickle vents or similar unfiltered air system used for the Cannabis Retailer or Microbusiness. **[SPECIFY]**
- Percentage of total square footage, for consumer use, of the permitted Cannabis Retailer or Microbusiness that will be used for smoking of cannabis in the Designated Cannabis Smoking Room.
- Designated Cannabis Smoking Room does not share space with employee work area. **(Yes/No)**
- Maximum occupant load for the Designated Cannabis Smoking Room.
- The Designated Cannabis Smoking Room will have a separate heating, ventilation and air-conditioning (HVAC) system. **(Yes/No)**
- The Designated Cannabis Smoking Room shall exhaust 100% of the air directly to the outside through a Pollution Control Unit and Odor Control Unit. **(Yes/No)**
- A description of the Operations and Maintenance plan for the ventilation system and methods for recordkeeping to ensure that the Operations and Maintenance Plan is followed.
- All doors leading to the Designated Cannabis Smoking Room are self-closing and installed with a gasket to provide a seal where the door meets the stop. **(Yes/No)**
- All mechanical equipment is in compliance with the San Francisco Noise Ordinance-Police Code Article 29.

Please include the above information on a proposal that is signed and stamped by a licensed mechanical engineer or other individual authorized by the California Business and Professions Code Section 670-6799 (Professional Engineers Act) to design ventilation systems that meet the requirements of Article 8A's Rules and Regulations and all Mechanical Code Requirements. The proposal should state that in the signatory's opinion, the ventilation system as designed for the Designated Cannabis Smoking Room is compliant with Article 8A and all accompanying Rules and Regulations in effect at the time of signing.

1390 Market Street, Suite 210, San Francisco, CA 94102
 Phone 415-252-3800

APPENDIX B: LETTER OF SUPPORT FROM UPSTAIRS TENANTS

GENERAL NOTES

BIDDING

1) ALL ITEMS AND INSTALLATIONS BY EQUIPMENT CONTRACTOR, DECOR CONTRACTORS AND SIGN FABRICATOR ARE UNDER A SEPARATE CONTRACT AND NOT PART OF GENERAL CONSTRUCTION BID. GENERAL CONTRACTOR AND SUBS ARE RESPONSIBLE FOR RELATED WORK AS OUTLINED IN THE DRAWINGS, E.G. PROVIDE POWER TO SPECIFIED LOCATION FOR SIGN, BUT SIGN CONTRACTOR SHALL FABRICATE ITEM AND INSTALL.

2) EXTERIOR ILLUMINATED OR NON-ILLUMINATED SIGN, AWNING, IF APPLICABLE, ETC. SHALL BE UNDER SEPARATE CONTRACTS AND PERMITS. APPLICATION FOR PERMITS SHALL BE FILED WITH LOCAL AUTHORITY PRIOR TO FABRICATION AND INSTALLATION.

APPROVAL OF SUBSTITUTIONS

1) WHEN A SPECIFIC REFERENCE TO AN ARTICLE, MANUFACTURER, PROPERTY, NAME, DEVICE, PRODUCT, MATERIAL OR FIXTURE IS MADE IN GENERAL DOCUMENTS, IT IS TO ESTABLISH A STANDARD OF QUALITY AND SHALL NOT BE CONSTRUED AS LIMITING COMPETITION. IF THE CONTRACTOR, SUB-CONTRACTOR, SUPPLIER, MANUFACTURER'S REPRESENTATIVE, ETC. INVOLVED IN THE PROJECT DESIRES TO BID MATERIALS OTHER THAN THE SPECIFIED ITEMS, A REQUEST FOR APPROVAL OF LIKE ITEMS SHALL BE MADE IN WRITING TO ARCHITECT/OWNER NOT LATER THAN 5 CALENDAR DAYS PRIOR TO SPECIFIED TIME FOR GENERAL CONSTRUCTION BID OPENING. MATERIALS ACCEPTABLE FOR SUBSTITUTIONS WILL BE APPROVED BY A DULY AUTHORIZED ADDENDUM ISSUED BY ARCHITECT TO ALL CONTRACT DOCUMENT HOLDERS OF RECORD. MATERIALS NOT LISTED IN THE CONTRACT DOCUMENTS OR ADDENDUM WILL NOT BE ACCEPTABLE FOR THIS PROJECT.

2) SUBMITTAL FOR APPROVAL OF MATERIALS OR PRODUCTS SHALL CONTAIN SUFFICIENT INFORMATION, DESCRIPTION BROCHURES, DRAWINGS, SAMPLES OR OTHER DATA AS NECESSARY OR REQUIRED TO DETERMINE WHETHER THE PROPOSED SUBSTITUTION IS EQUAL TO SPECIFIED. EACH SUBMITTAL SHALL BE WELL MARKED AND IDENTIFIED AS TO TYPE AND KIND OF ITEMS BEING MADE. EACH SUBMITTAL FOR APPROVAL OF LIKE ITEMS, MATERIALS, PRODUCTS, WILL BE COMPLETE WITH SUBSTANTIATING DATA. REFERENCE TO CATALOGS THAT DESIGN CONSTRUCTION COORDINATOR MAY OR MAY NOT HAVE, WILL NOT BE ACCEPTABLE.

CHANGE IN THE WORK

1. THE CONTRACTOR SHALL NOT MAKE AN ADDITION, DELETION, OR REVISION TO THE CONTRACT DOCUMENTS WHICH WOULD AFFECT THE CONTRACT SUM OR CONTRACT TIME WITHOUT A WRITTEN CHANGE ORDER AUTHORIZED AND SIGNED BY BOTH THE OWNER AND ARCHITECT.

DEMOLITION NOTES

1) COMPLETE ALL DEMOLITION WORK INDICATED OR NECESSARY FOR COMPLETION OF THE NEW WORK INCLUDING LABOR, SUPERVISION, TOOLS, MATERIALS, PERMITS, ETC. REQUIRED FOR REMOVAL OF FLOORS, WALLS, CEILING, FIXTURES DUCTWORK, ETC.

2) ALL WORK MUST COMPLY WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES, STANDARDS, ETC.

3) WORKMANSHIP SHALL BE FIRST CLASS, FINISHED, SAFE, NEAT THROUGHOUT AND PERFORMED BY COMPETENT AND EXPERIENCED WORKMEN. CONSTANT SUPERVISION OF WORK BY CONTRACTOR SHALL BE MAINTAINED.

4) UPON TERMINATION OF WORK, PROMPTLY REMOVE ALL TOOLS, SCAFFOLDS, SURPLUS MATERIALS, DEBRIS, RUBBISH AND OTHER ITEMS RESULTING FROM DEMOLITION OF WORK.

5) THE OWNER, ARCHITECT, DESIGNER ASSUME NO RESPONSIBILITY FOR ACTUAL CONDITION OF STRUCTURES, EQUIPMENT, ETC. TO BE DEMOLISHED.

6) OWNER RESERVES THE RIGHT TO REMOVE AND SALVAGE ITEMS PRIOR TO THE START OF THE WORK SUCH AS DOORS, WINDOWS, HARDWARE, LIGHT FIXTURES, PLUMBING FIXTURES, LUMBER, ETC. UNLESS OTHERWISE NOTED OR SPECIFIED.

7) REMOVE ITEMS WITH CARE AND STACK NEATLY. NO SPECIAL CLEANING AND STRIPPING OF SALVAGE ITEMS IS REQUIRED UNLESS THEY ARE TO BE REINSTALLED.

8) REMOVE ITEMS FROM PREMISES AS WORK PROGRESSES. STORAGE OR SALE OF ITEMS ON SITE IS NOT PERMITTED WITHOUT PERMISSION BY OWNER.

9) USE OF EXPLOSIVES WILL NOT BE PERMITTED.

10. CONDUCT DEMOLITION AND REMOVAL OF DEBRIS TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.

11) PROVIDE PROTECTIVE DEVICES TO INSURE THE SAFE PASSAGE OF PERSONS AROUND THE DEMOLITION AREA. CONDUCT OPERATIONS TO PREVENT DAMAGE BY FALLING DEBRIS TO ADJACENT BUILDINGS, TREES, STRUCTURES, PERSONS, ETC. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING, ETC. TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND FACILITIES TO REMAIN. IF REQUIRED ERECT A 2 X 4 FRAME WITH MINIMUM 3/8" EXT. PLYWOOD SHEATHING CONSTRUCTION BARRIER ON THE SIDEWALK AROUND PERIMETER OF BUILDING. THE BARRIER SHALL BE 8'-0" HIGH AND HAVE A LOCKED DOOR FOR ACCESS. THE TOP PLATE SHALL BE BRACED BACK TO BUILDING STRUCTURE. MINIMIZE AMOUNT OF POWER SHOTS INTO SIDEWALK (MAKE ANY REQUIRED REPAIRS TO SIDEWALK WHEN BARRIER IS REMOVED). LOCATE BARRIER NO MORE THAN 4'-0" FROM BUILDING LINE (LESS IF REQUIRED BY BUILDING DEPARTMENT).

12) PROVIDE ADEQUATE FIRE PROTECTION DURING DEMOLITION WORK. PLACE FIRE EXTINGUISHERS AT JOB SITE (TYPE AND LOCATION AS DIRECTED BY FIRE INSPECTOR). ALSO, ANY EXISTING SPRINKLER SYSTEM SHALL BE RETAINED AND NOT SHUT DOWN (WHERE NECESSARY, PROVIDE TEMPORARY SUPPORT UNTIL NEW PIPING LAYOUT IS COMPLETED).

13) PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS OR AS DIRECTED AND AT NO COST TO THE OWNER.

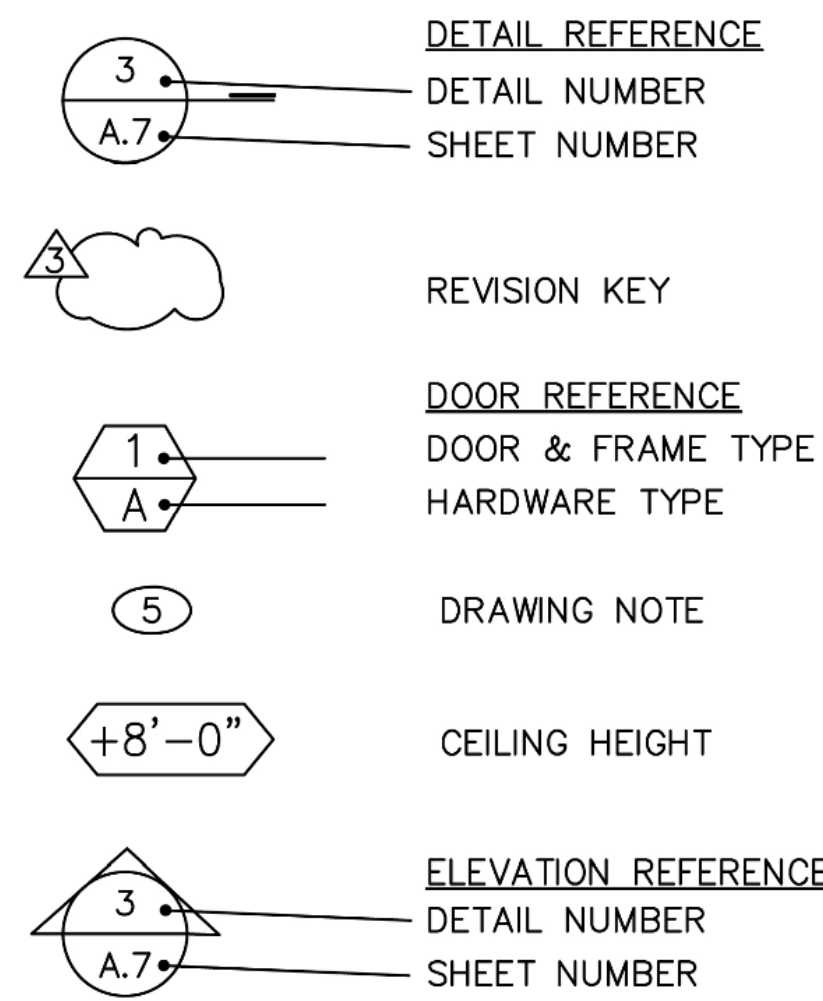
14) SHUT OFF AND/OR DISCONNECT UTILITIES SERVICING THE PROJECT AS REQUIRED BY WORK. IF POSSIBLE REMOVE UTILITY LINES BACK TO MAIN SWITCHES, SHUT-OFF VALVES OR METERS. PROVIDE TEMPORARY POWER OUTLETS, LIGHTS (AS REQUIRED), HOSE BIBB WITH WATER TO ALLOW FOR DEMOLITION WORK.

15) USE SUITABLE METHODS AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL OF AIR

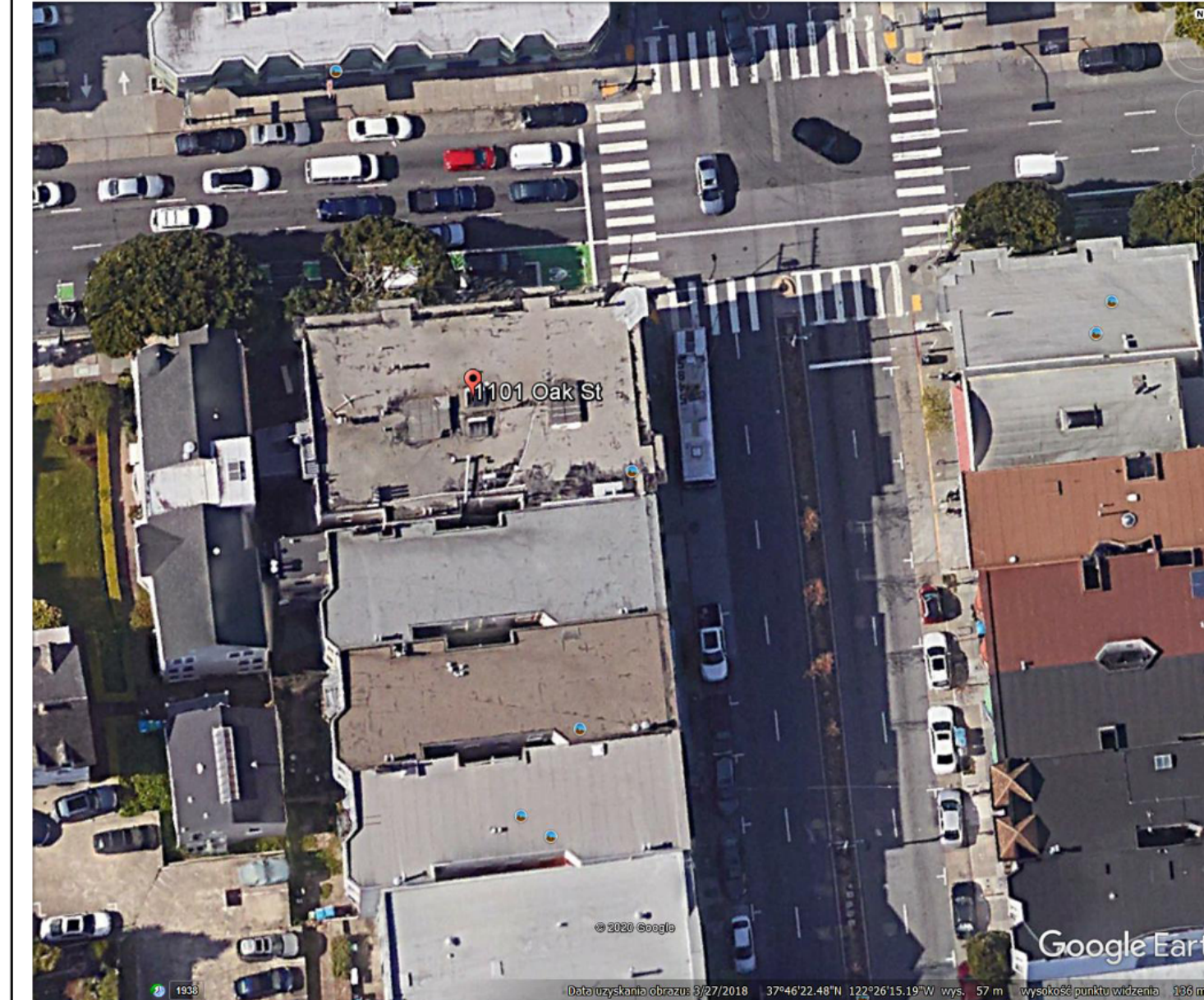
ABBREVIATIONS

| | | | |
|---------|--------------------------------|---------------------|------------------------|
| A.D.A. | AMERICAN WITH DISABILITIES ACT | JAN. KIT. | JANITOR KITCHEN |
| A.F.F. | ABOVE FINISH FLOOR | LAM. LAM. | LAMINATE |
| ⊙ | AT CENTER LINE | LAV. LAV. | LAVATORY |
| # | POUND OR NUMBER | LKR. LKR. | LOCKER |
| (E) | EXISTING | LT. LT. | LIGHT |
| (N) | NEW | LTG. LTG. | LIGHTING |
| ADJ. | ADJUSTABLE | MTL. MTL. | METAL |
| ADJ. | ADJUSTABLE | MAX. MAX. | MAXIMUM |
| ADJ. | ADJUSTABLE | N.I.C. N.I.C. | NOT IN CONTRACT |
| CLG. | CEILING | N.T.S. N.T.S. | NOT TO SCALE |
| COL. | COLUMN | OPG. OPG. | OPENING |
| CONC. | CONCRETE | O.C. O.C. | ON CENTER |
| CONSTR. | CONSTRUCTION | P.C. P.C. | PLUMBING CONTRACTOR |
| CONT. | CONTINUOUS | P LAM. P LAM. | PLASTIC LAMINATE |
| CORR. | CORRIDOR | PLYWD. PLYWD. | PLYWOOD |
| CNTR | COUNTER | P.T. P.T. | PRESSURE TREATED |
| D.F. | DOUG FIR | R R | RADIUS |
| DWG. | DRAWING | REQ'D. REQ'D. | REQUIRED |
| ELEC. | ELECTRICAL | RM. RM. | ROOM |
| ELEV. | ELEVATION | R.O. R.O. | ROUGH OPENING |
| EQ. | EQUAL | U.O.N. U.O.N. | UNLESS OTHERWISE NOTED |
| EXT. | EXTERIOR | STN. STL. STN. STL. | STAINLESS STEEL |
| F.D. | FLOOR DRAIN | SHT. SHT. | SHEET |
| FDN. | FOUNDATION | SHWR. SHWR. | SHOWER |
| FL. | FLOOR | SQ. SQ. | SQUARE |
| F.O.W. | FACE OF FINISH WALL | T.B.D. T.B.D. | TO BE DETERMINED |
| F.O.S. | FACE OF STUD | TYP. TYP. | TYPICAL |
| FURR. | FURRING | TEL. TEL. | TELEPHONE |
| G.C. | GENERAL CONTRACTOR | VCT. VCT. | VINYL COMPOSITION TILE |
| GA. | GAUGE | VERT. VERT. | VERTICAL |
| GALV. | GALVANIZED | V.I.F. V.I.F. | VERIFY IN FIELD |
| GYP. | GYPNUM | W.C. W.C. | WATER CLOSET |
| HR. | HOUR | WT. WT. | WEIGHT |
| HT. | HEIGHT | W.W.M. W.W.M. | WELDED WIRE MESH |
| H.W.H. | HOT WATER HEATER | | |

SYMBOLS



SITE LOCATION



BEN TARCHER ARCHITECT

338 OLEMA ROAD
 FAIRFAX, CA 94930
 T. (510) 459-2606
 email:ben@bentarcherarchitects.net

Diamond Dispensary
 353 Divisadero St., San Francisco CA 94117
CLIENT/OWNER:
 Michael Muslech
 FORWARD INTEGRATION INC.
 353 Divisadero St.
 415-308-2538

PROJECT DATA

PROJECT ADDRESS: 353 DIVISADERO ST., SAN FRANCISCO, CA 94117

PROJECT OWNER : Michael Muslech
 FORWARD INTEGRATION INC.

PROJECT SCOPE:

BUILDING CODE DATA

TOTAL NET SQ. FOOTAGE OF USEABLE SPACE INCLUDING STAIRS: 1320.7 SQ. FT. AT UPPER LEVEL
 LOWER LEVEL: 1357.1 SQ. FT. (STOR ONLY)
 TOTAL: 2677.8 SQ. FT. (NET)

SEE SHEET A2.0 FOR USAGE SQUARE FOOT TABLE

CONSULTANT INFORMATION

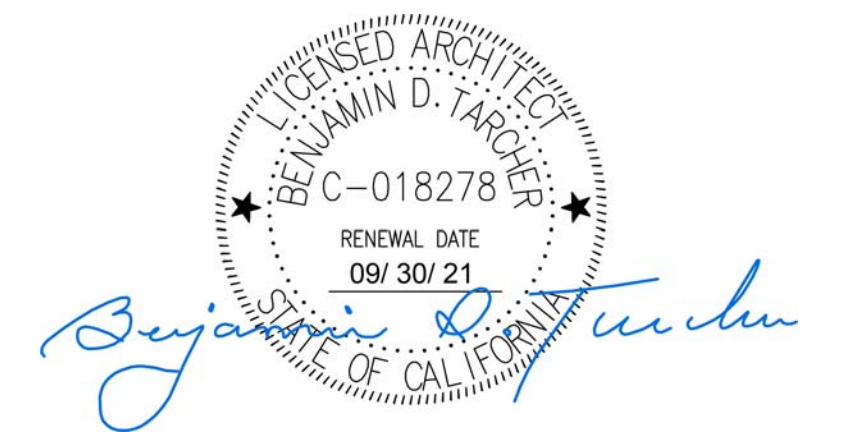
ARCHITECT:
 BENJAMIN TARCHER
 510-841-7109
 ben@bentarcherarchitects.net

MEP/ENERGY CONSULTANTS:
 ROY ASSOCIATES
 CONSULTING ENGINEERS
 39510 PASEO PADRE PARKWAY
 SUITE 250
 FREEMONT CA94538
 510-794-8091
 FAX: 510-794-7250

INDEX OF DRAWINGS

| SHEET# | DESCRIPTION |
|--------|--|
| A0 | COVER SHEET |
| A0.1 | PHOTOGRAPHS OF EXISTING CONDITION |
| A1.0 | EXISTING SITE PLAN |
| A1.1 | EXISTING LOWER FLOOR PLAN |
| A1.2 | EXISTING FIRST FLOOR PLAN |
| A1.3 | EXISTING OAK STR ELEVATION |
| A1.4 | EXISTING DIVISADERO STR ELEVATION |
| A2.0 | PROPOSED FIRST FLOOR PLAN |
| A2.1 | GENDER INCLUSIVE REST ROOM PLAN, ELEVATIONS |
| A2.3 | PROPOSED OAK STR ELEVATION |
| A2.4 | PROPOSED DIVISADERO STR ELEVATION |
| A3.0 | FRAMING DETAILS |
| A3.0 | DETAILS, P.O.S. & FRAMING |
| A4.0 | RCP LIGHTING & ELECTRICAL PLAN |
| G1 | GBC REQUIREMENT NON RESIDENT MANDATORY MEASURE SHEET 1 |
| G2 | GBC REQUIREMENT NON RESIDENT MANDATORY MEASURE SHEET 2 |
| G3 | GBC REQUIREMENT NON RESIDENT MANDATORY MEASURE SHEET 3 |

| NO. | DESCRIPTION | DATE |
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| 2. | | 12/04/2020 |
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CHECKED BY: B.T.

SCALE: AS SHOWN

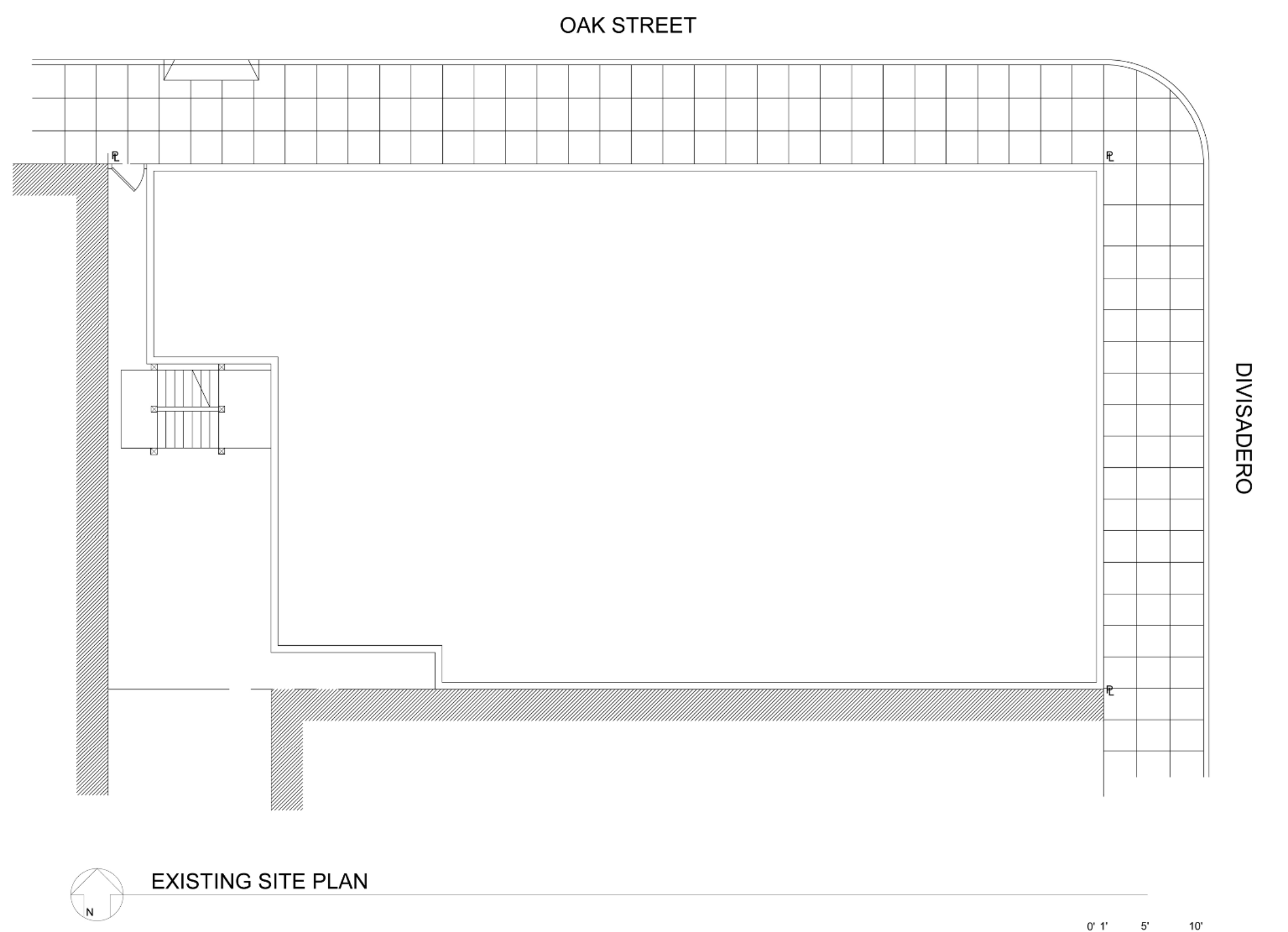
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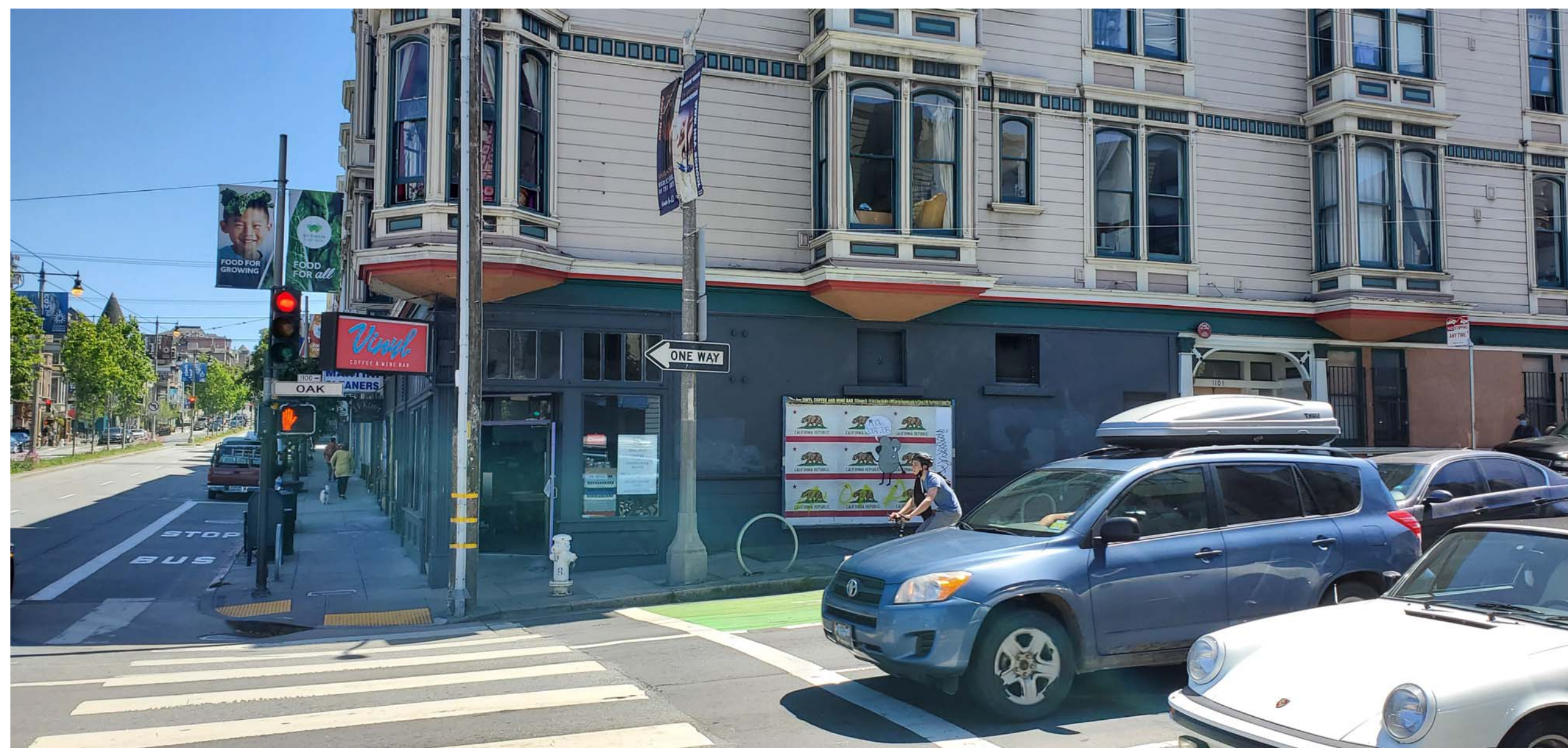
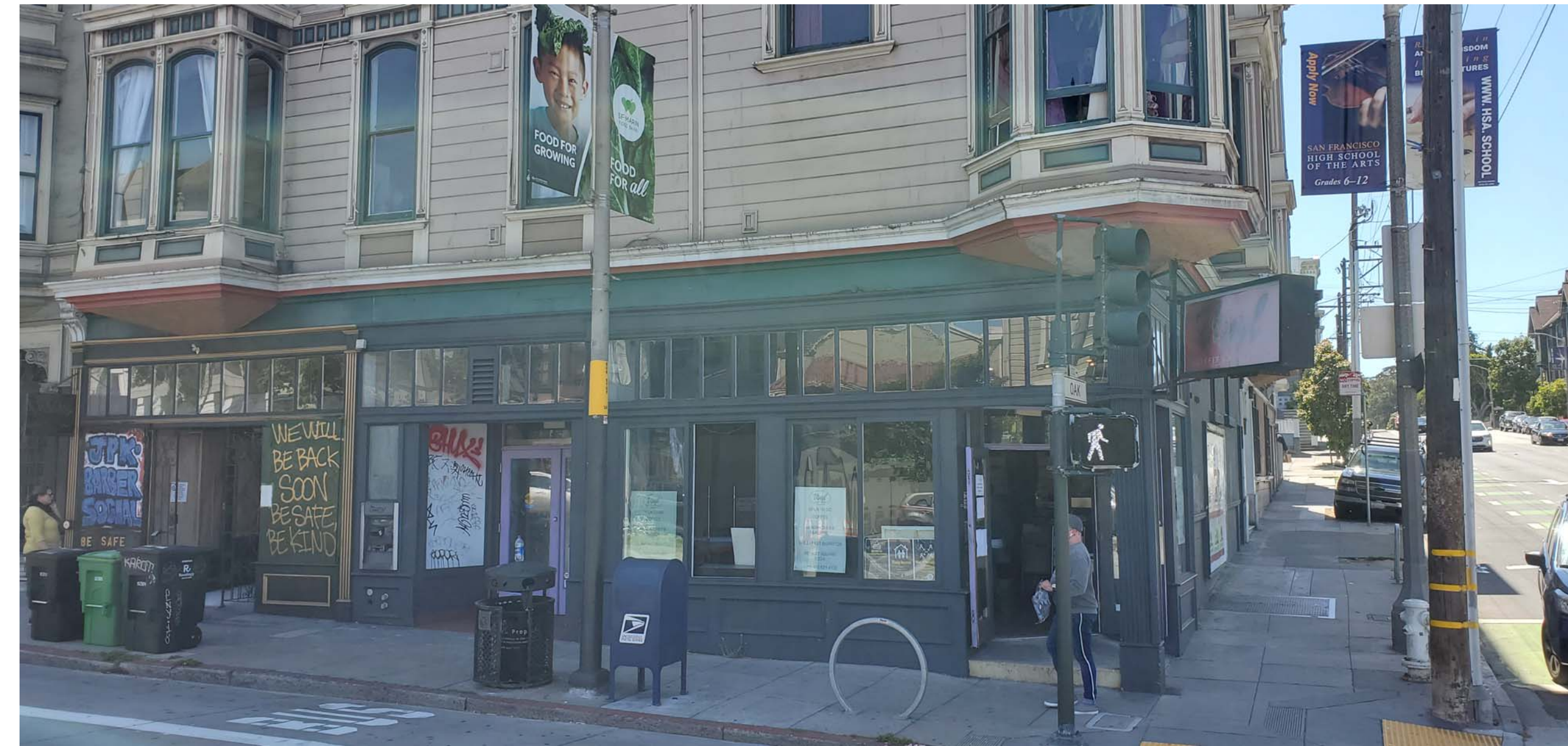
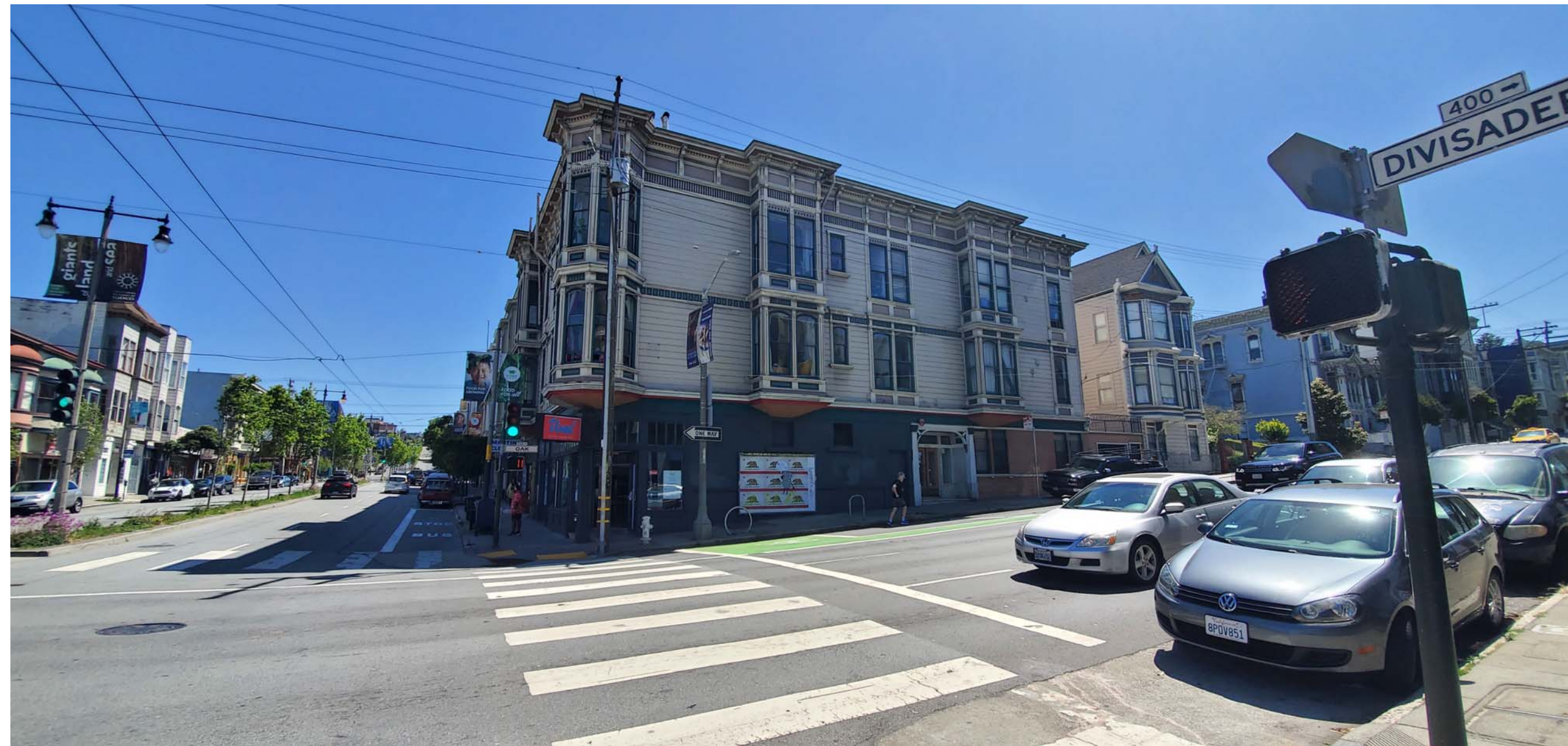
Cover sheet

REF. NORTH. SHEET NUMBER

A0

PLOT MAP





BEN TARCHER ARCHITECT

338 OLEMA ROAD
FAIRFAX, CA 94930
T. (510) 459-2606
email:ben@bentarcherarchitects.net

Diamond Dispensary
353 Divisadero St., San Francisco
CA 94117
CLIENT/OWNER:
Michael Muslech
FORWARD INTEGRATION INC.
353 Divisadero St.
415-308-2538

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SHEET TITLE:

Photographs of Existing Condition

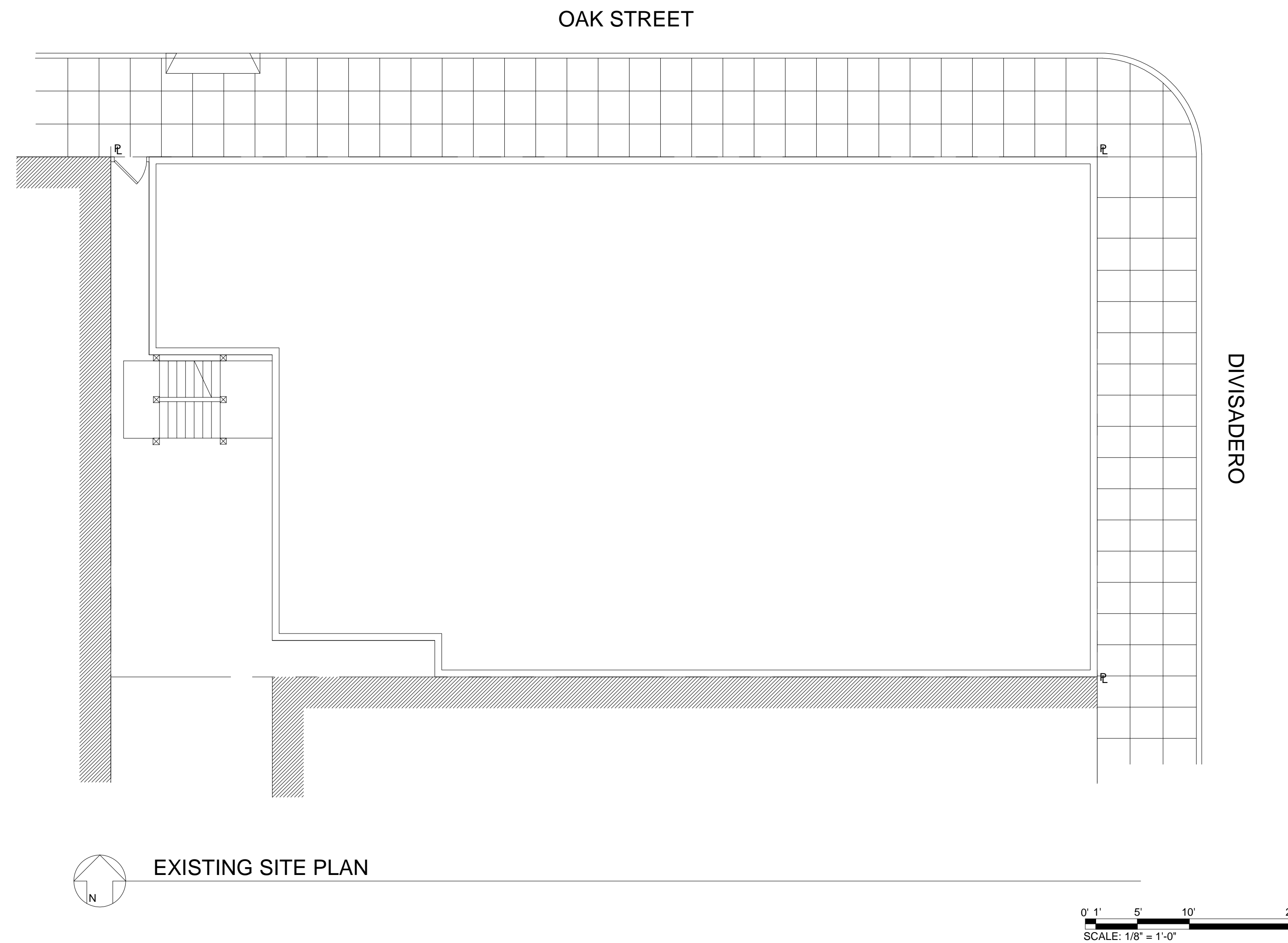
REF. NORTH. SHEET NUMBER

A0.1

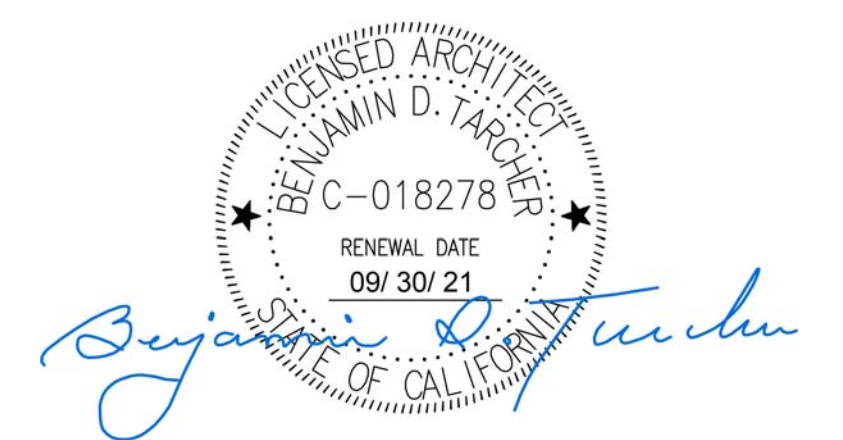
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PROJECT NUMBER:
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SCALE: AS SHOWN
SHEET TITLE:

Existing site plan

REF. NORTH. SHEET NUMBER

A1.0

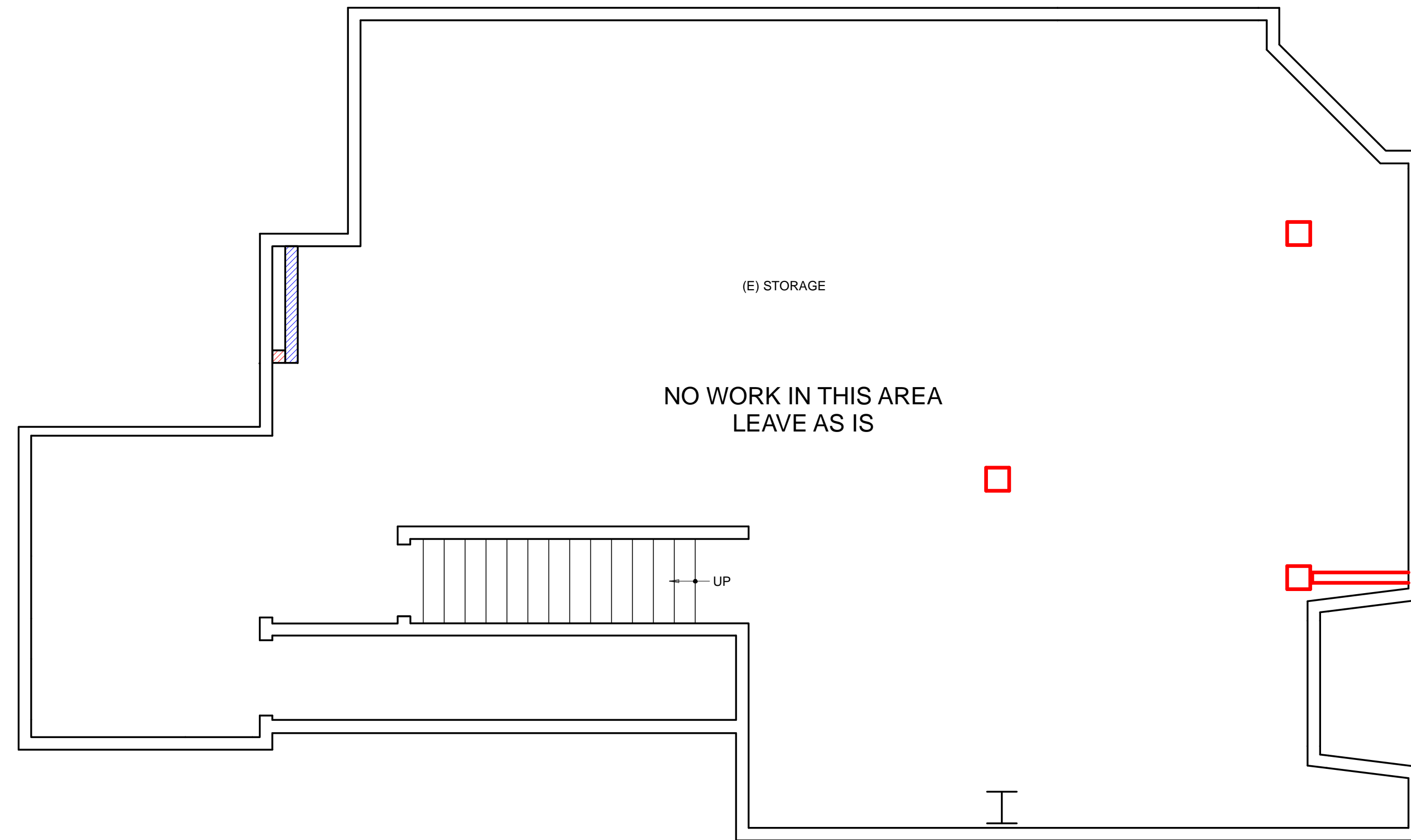
EXISTING SITE PLAN

Scale: 1/8"=1'-0"

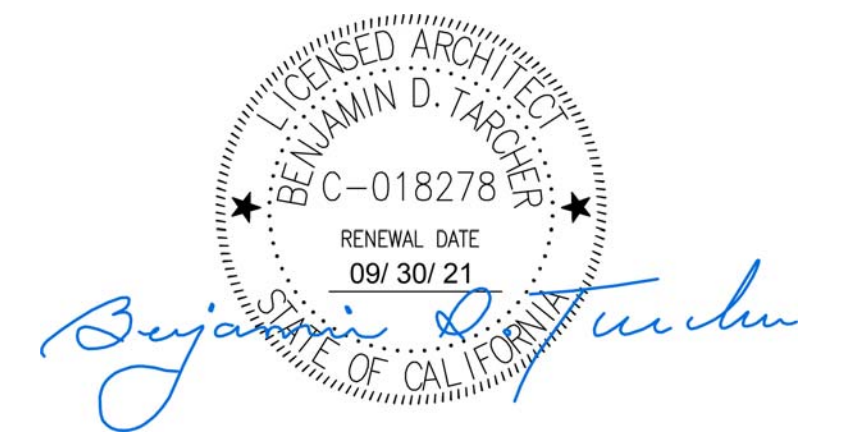
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338 OLEMA ROAD
FAIRFAX, CA 94930
T. (510) 459-2606
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SHEET TITLE:

Existing lower floor plan

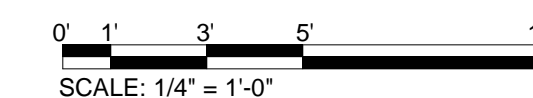
REF. NORTH. SHEET NUMBER

A1.1

EXISTING LOWER FLOOR PLAN

Scale: 1/4"=1'-0"

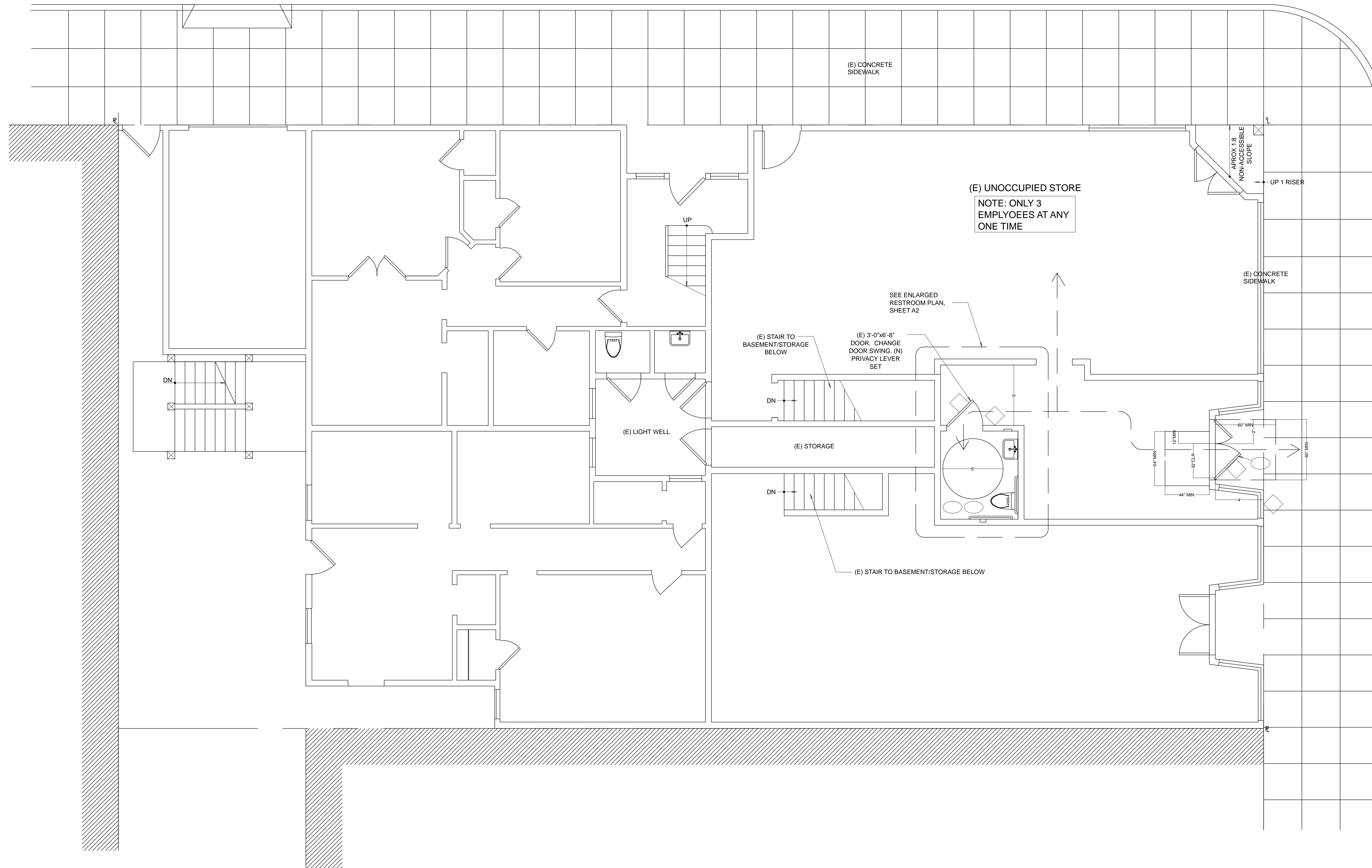
1101 OAK STREET CANNABIS RETAIL STORE



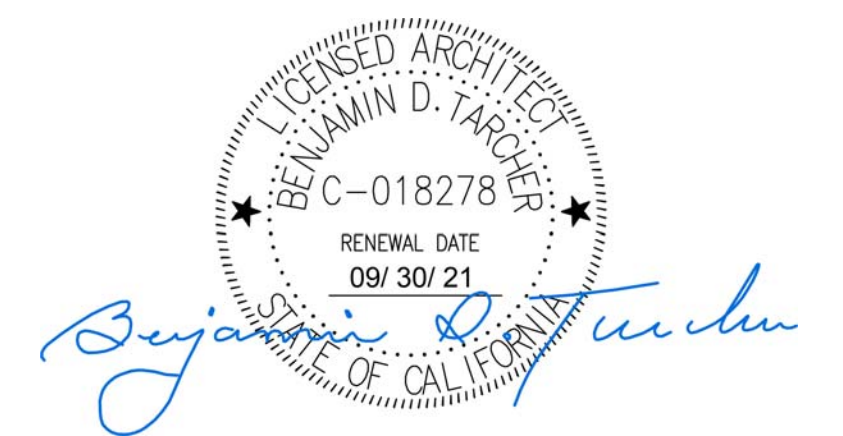
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FAIRFAX, CA 94930
T. (510) 459-2606
email:ben@bentarcherarchitects.net

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SCALE: AS SHOWN

SHEET TITLE:

**Existing first floor
plan**

REF. NORTH. SHEET NUMBER

A1.2

EXISTING FIRST FLOOR PLAN

Scale: 1/4"=1'-0"

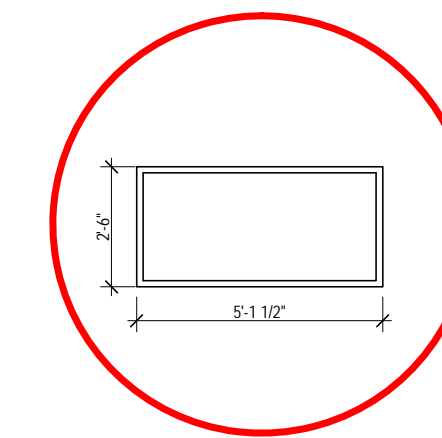
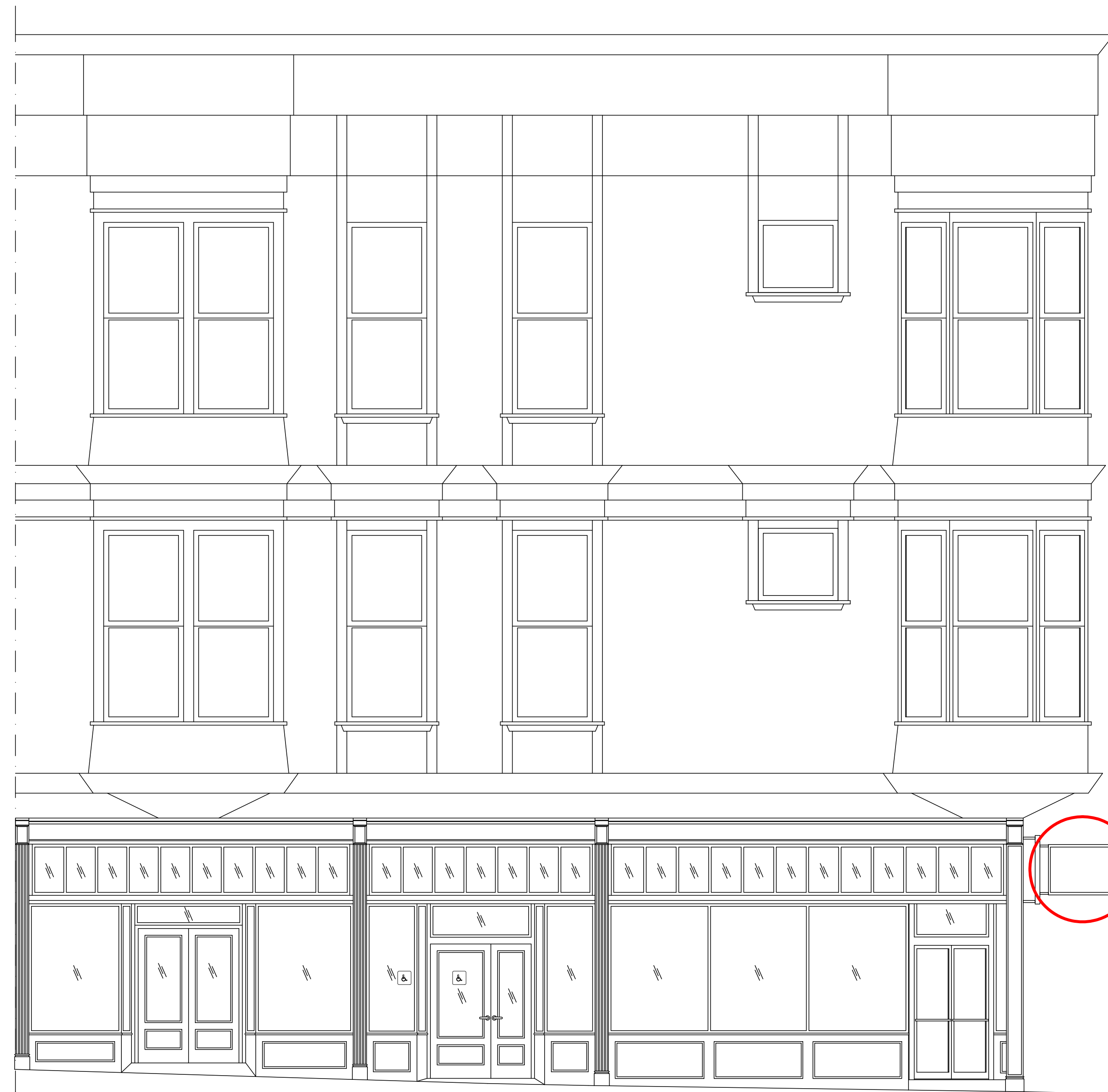
1101 OAK STREET CANNABIS RETAIL STORE


0' 1' 2' 3' 4' 5' 10'
SCALE: 1/4" = 1'-0"

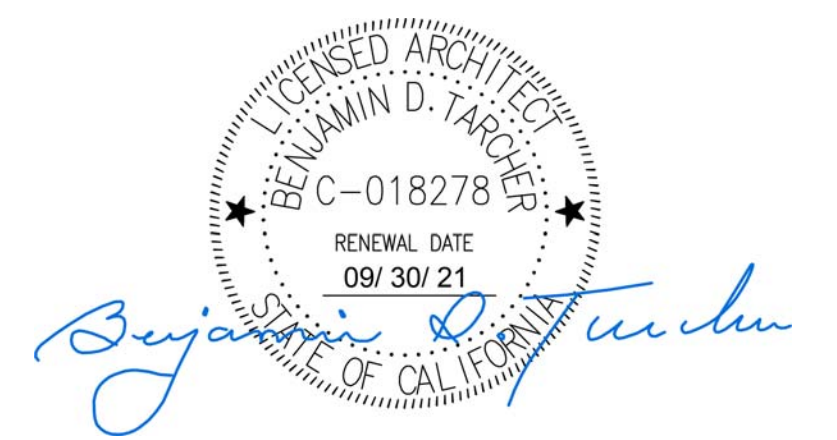
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FAIRFAX, CA 94930
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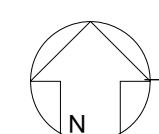
SCALE: AS SHOWN

SHEET TITLE:

**Existing East
Elevation
(Divisadero Str.)**

REF. NORTH. SHEET NUMBER

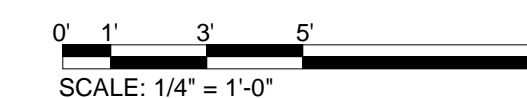
A1.3



PROPOSED FIRST FLOOR PLAN

Scale: 1/4"=1'-0"

1101 OAK STREET CANNABIS RETAIL STORE



BEN TARCHER ARCHITECT

338 OLEMA ROAD
FAIRFAX, CA 94930
T. (510) 459-2606
email:ben@bentarcherarchitects.net

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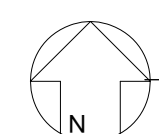
SCALE: AS SHOWN

SHEET TITLE:

**Existing North
Elevation (Oak Str.)**

REF. NORTH. SHEET NUMBER

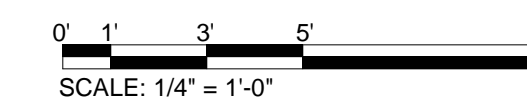
A1.4



PROPOSED FIRST FLOOR PLAN

Scale: 1/4"=1'-0"

1101 OAK STREET CANNABIS RETAIL STORE

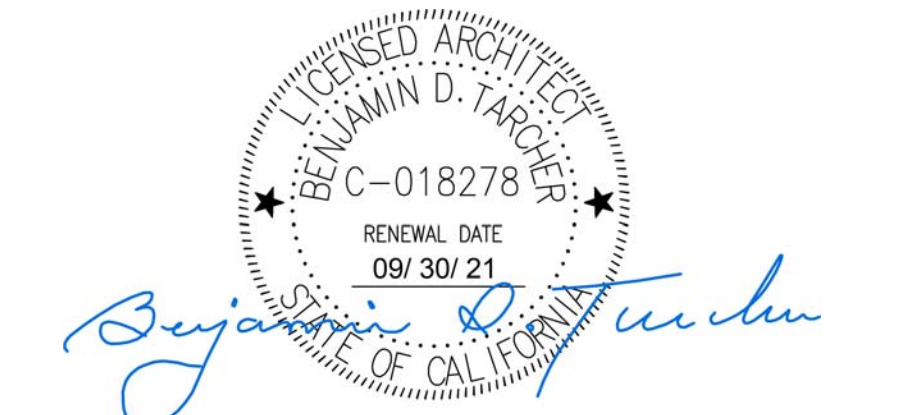


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338 OLEMA ROAD
FAIRFAX, CA 94930
T. (510) 459-2606
email:ben@bentarcherarchitects.net

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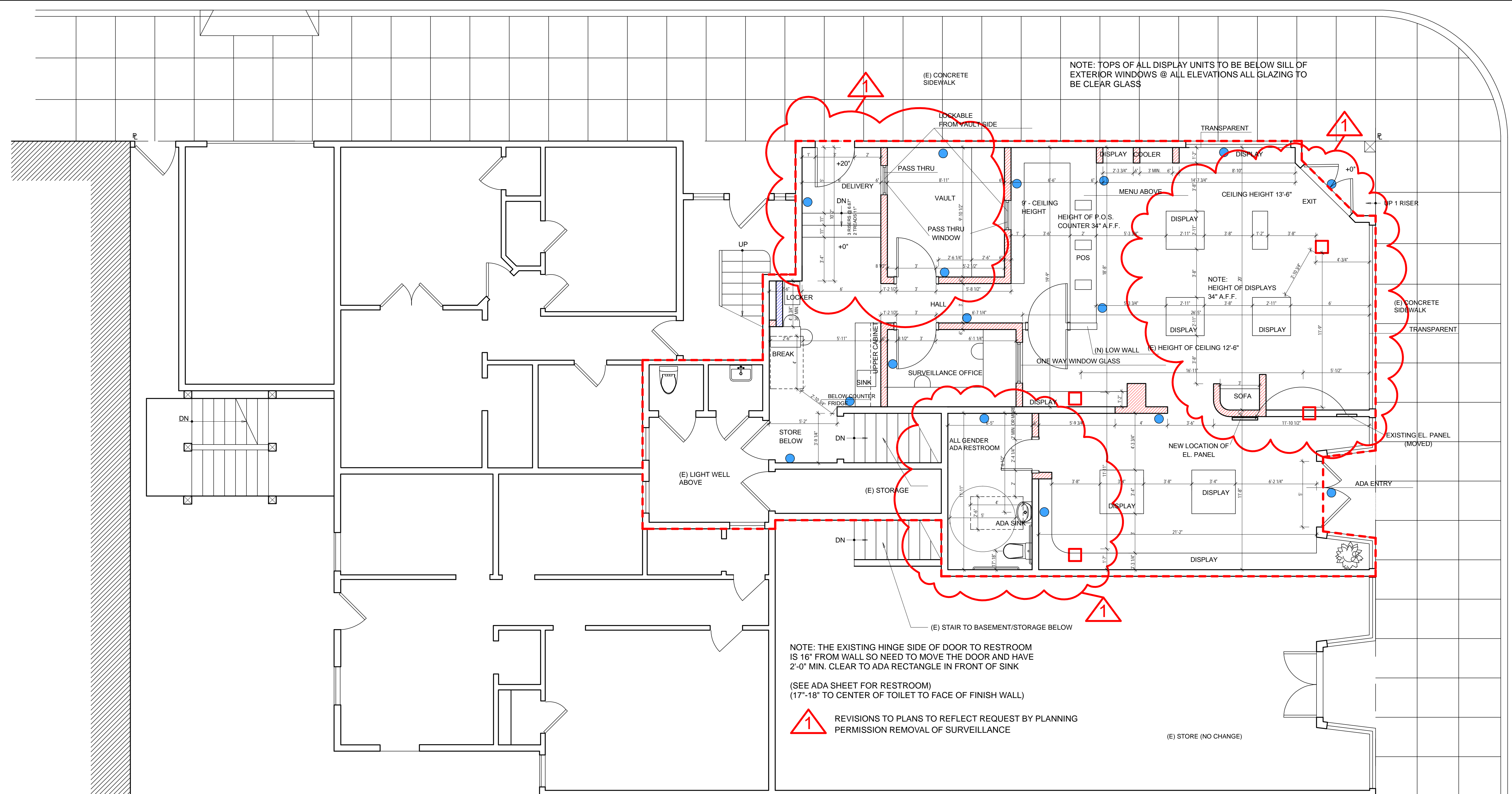
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| SCALE: | AS SHOWN |
| SHEET TITLE: | |

Proposed first floor plan

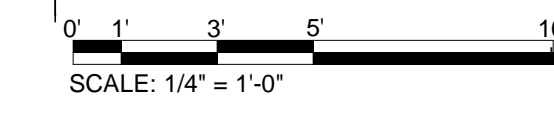
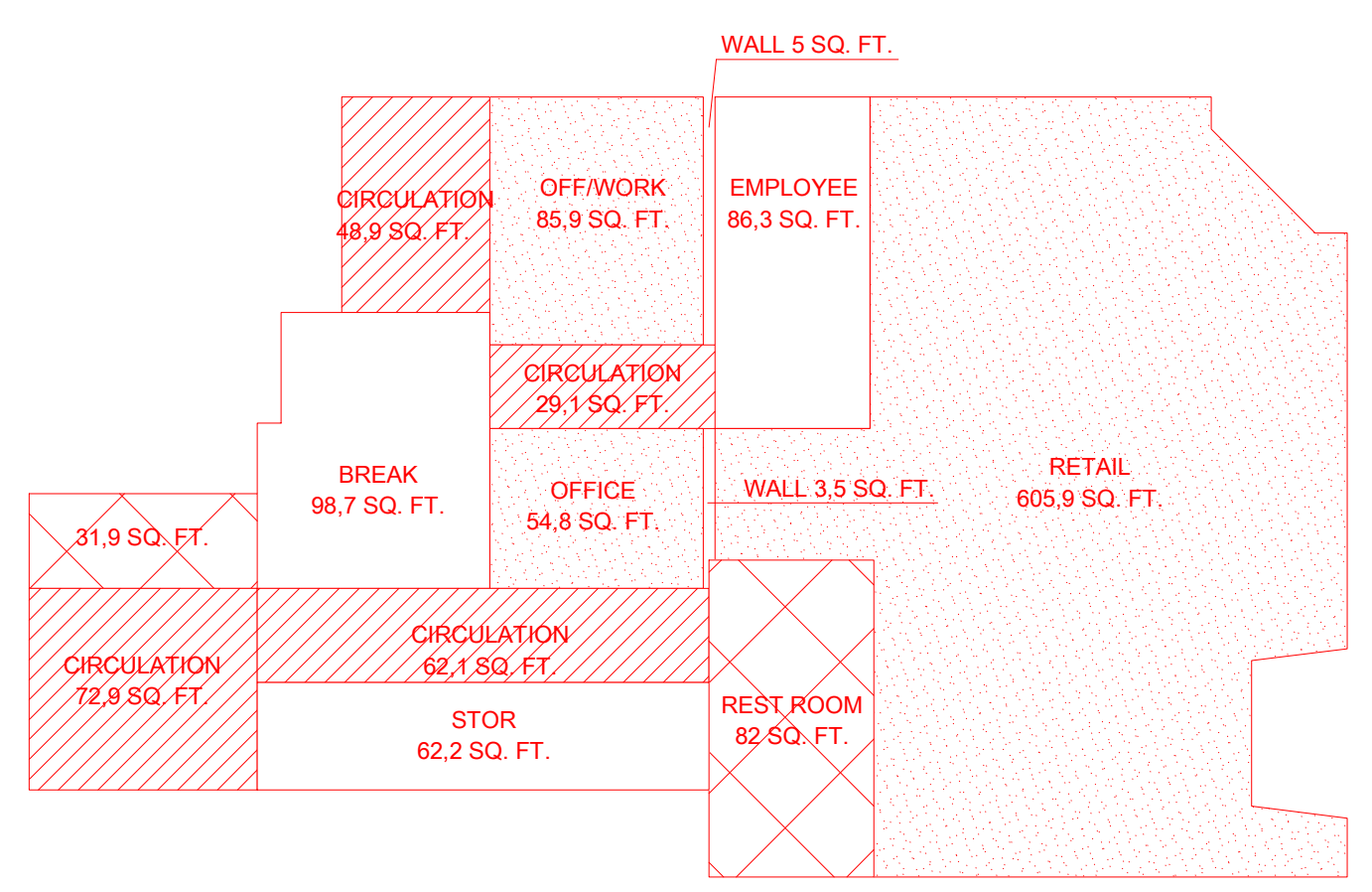
REF. NORTH. SHEET NUMBER

A2.0



- - - - - PERIMETER OF CANNABIS RETAIL SPACE
- DEMOLITION WALL
- (N) WALL
- SHEAR WALL
- (E) WALLS
- EXISTING POST AND PIPES (NOT SHOWN)
- EXISTING WALL WITH PIPES
- SURVALANCE CAMERAS
- STEEL COLUMNS

TOTALS:
 STOR 62.2 SQ. FT.
 RETAIL 605.9 SQ. FT.
 EMPLOYEE SALES 86.3 SQ. FT.
 OFFICE 54.8 SQ. FT.
 OFFICE/WORK 85.9 SQ. FT.
 EMPLOYEE BREAK 98.7 SQ. FT.
 REST ROOMS 113.9 SQ. FT.
 CIRCULATION 213 SQ. FT.
 TOTAL UPPER + STAIRS: 1320.7 SQ. FT.
 LOWER LEVEL 1357.1 SQ. FT. (STOR ONLY)
 TOTAL 2677.8 SQ. FT.



PROPOSED FIRST FLOOR PLAN

Scale: 1/4"=1'-0"

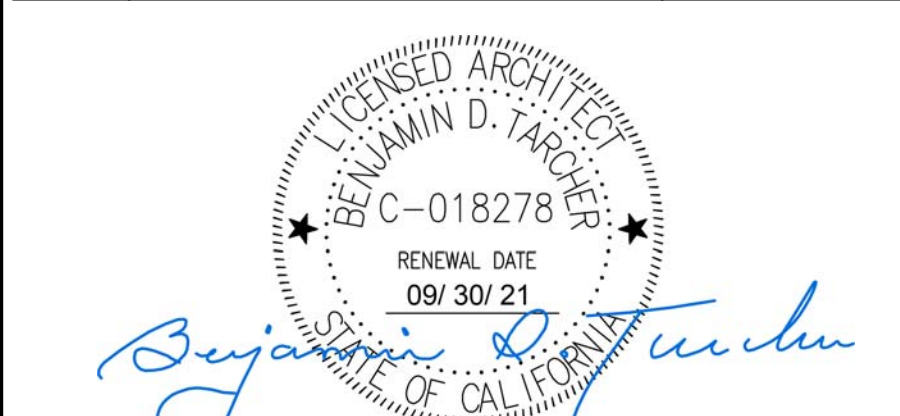
1101 OAK STREET CANNABIS RETAIL STORE

BEN TARCHER ARCHITECT

338 OLEMA ROAD
FAIRFAX, CA 94930
T. (510) 459-2606
email:ben@bentarcherarchitects.net

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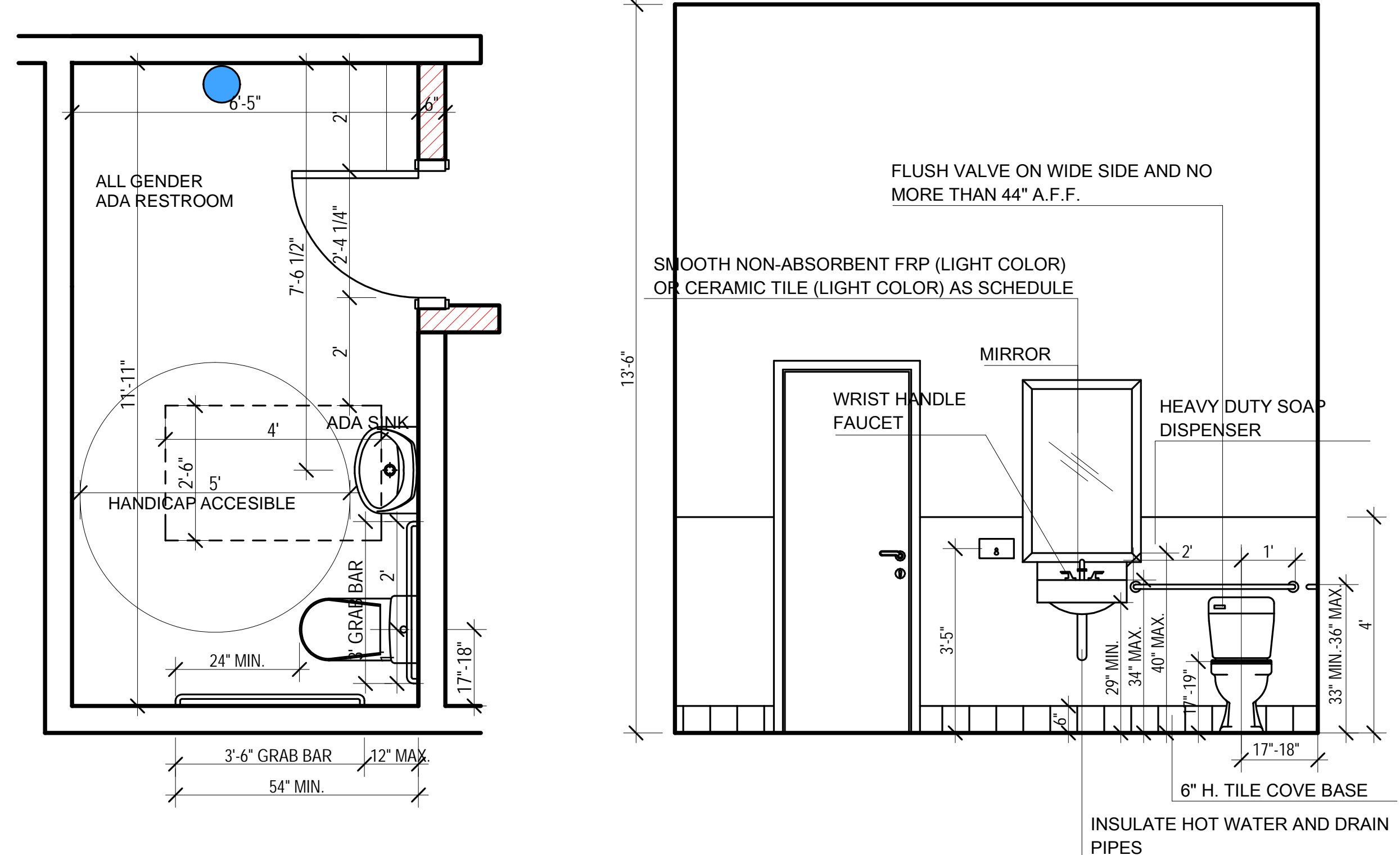
SCALE: AS SHOWN

SHEET TITLE:

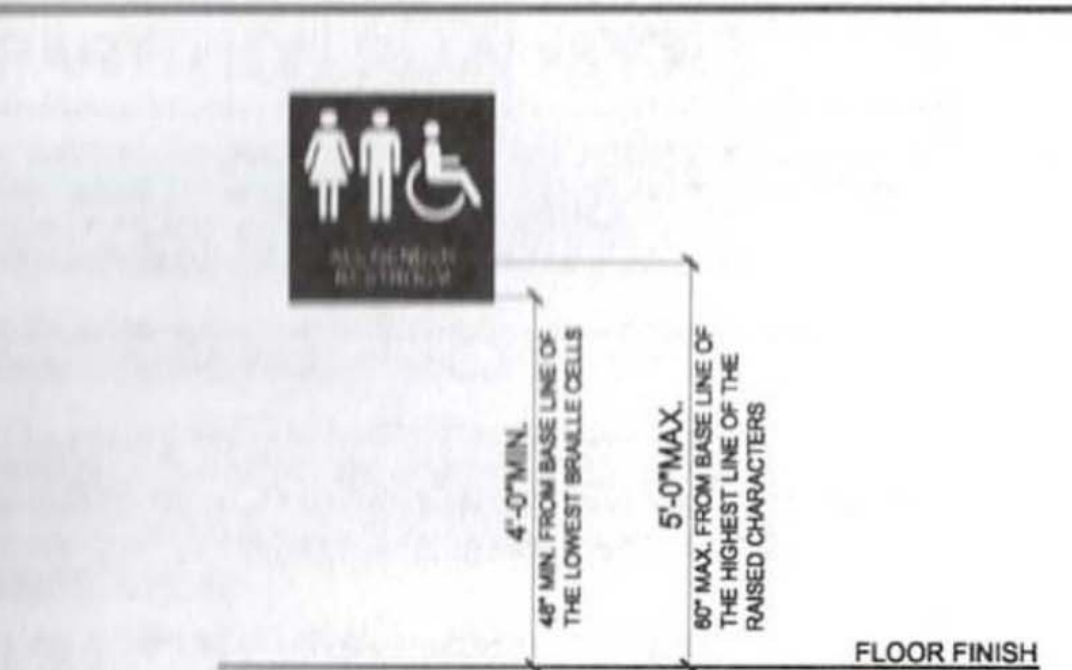
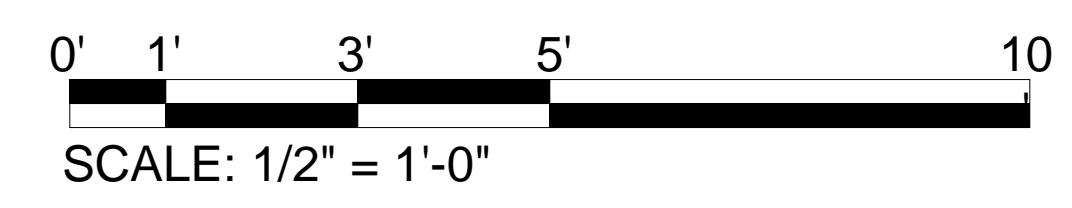
Gender inclusive Restroom plan, elevations, details

REF. NORTH. SHEET NUMBER

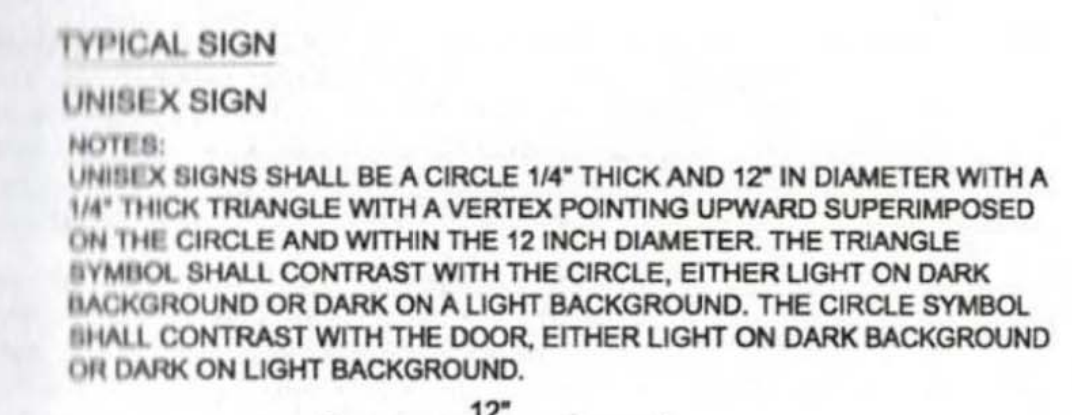
A2.1



4 TYP. FIXTURE MOUNTING HEIGHT (REFERENCE ONLY)

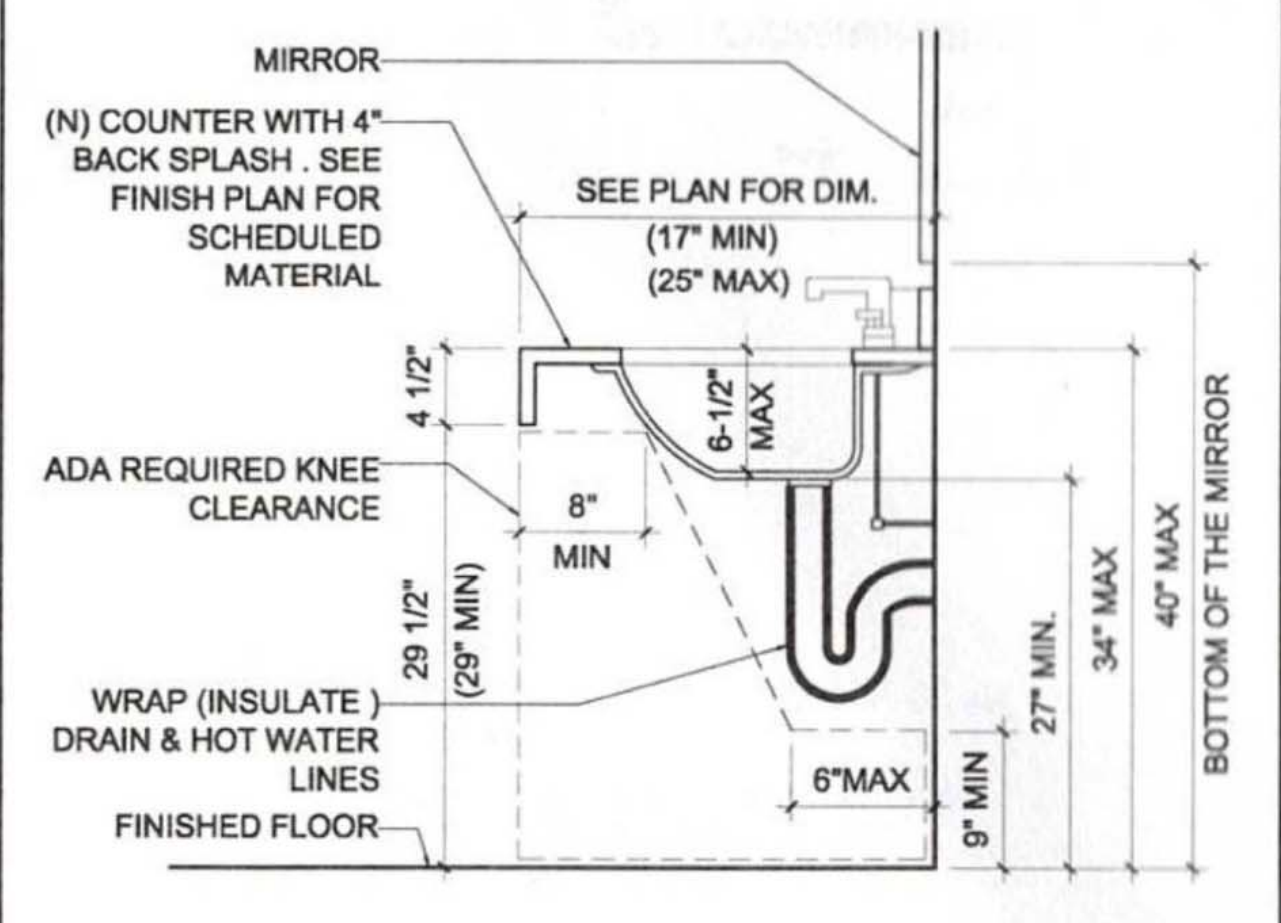


NOTES:
RAISED LETTER/ BRAILLE SIGNS ON LATCH-OUTSIDE OF DOORS, MOUNTED ON THE WALL, 60" MAXIMUM AND 48" MINIMUM ABOVE THE FLOOR. A CLEAR SPACE OF 18" MINIMUM BY 18" MINIMUM, CENTERED ON THE TACTILE CHARACTERS, SHALL BE PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREE OPEN POSITION.

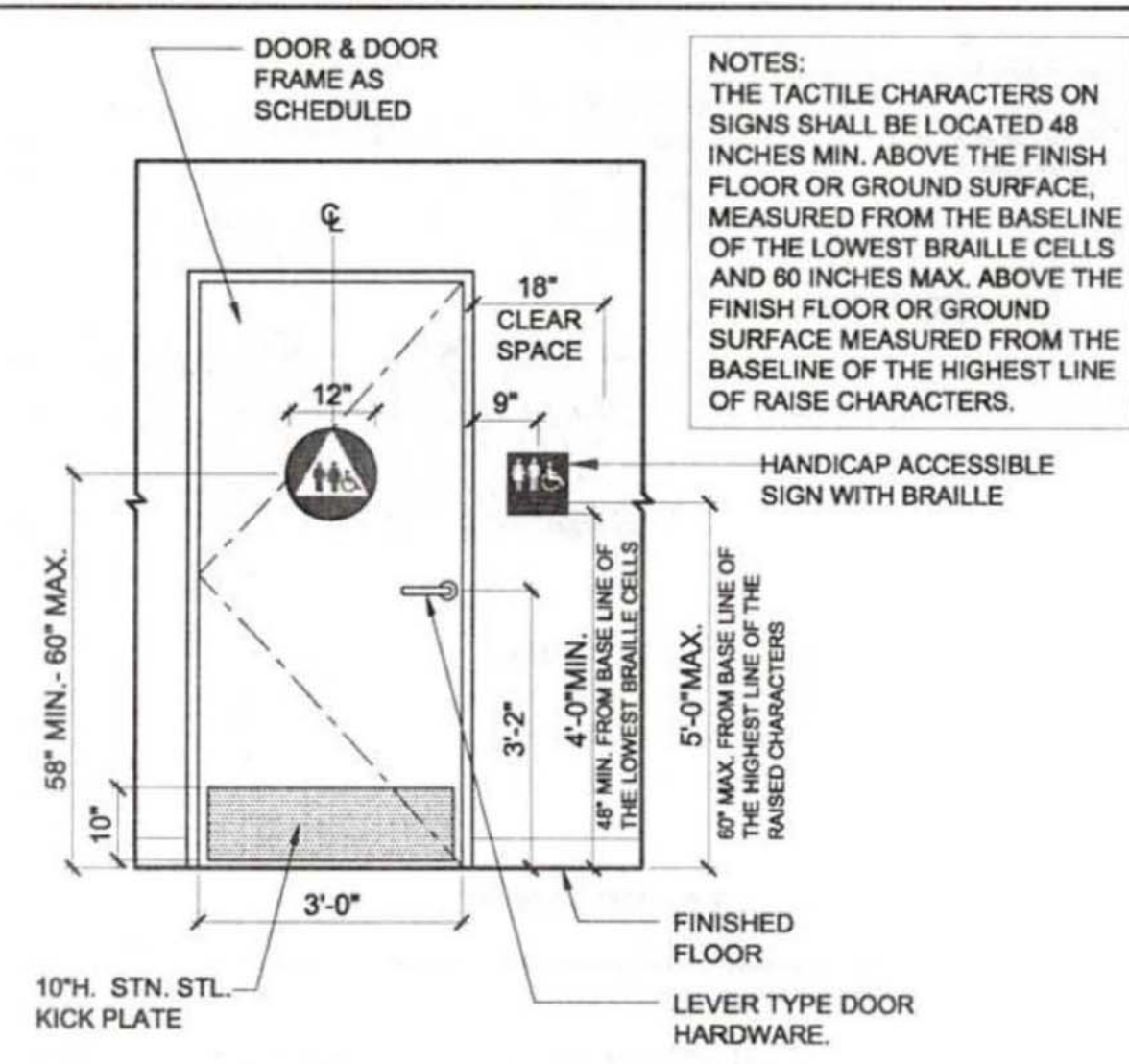


NOTES:
THE REQUIRED SIGNAGE FOR THE DOOR LEADING TO THE SANITARY FACILITY IS MOUNTED 58" MIN. AND 60" MAX. ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED FROM THE CENTERLINE OF THE SYMBOL. WHERE A DOOR IS PROVIDED THE SYMBOL SHALL BE MOUNTED WITHIN 1 INCH OF THE VERTICAL CENTER-LINE OF THE DOOR.

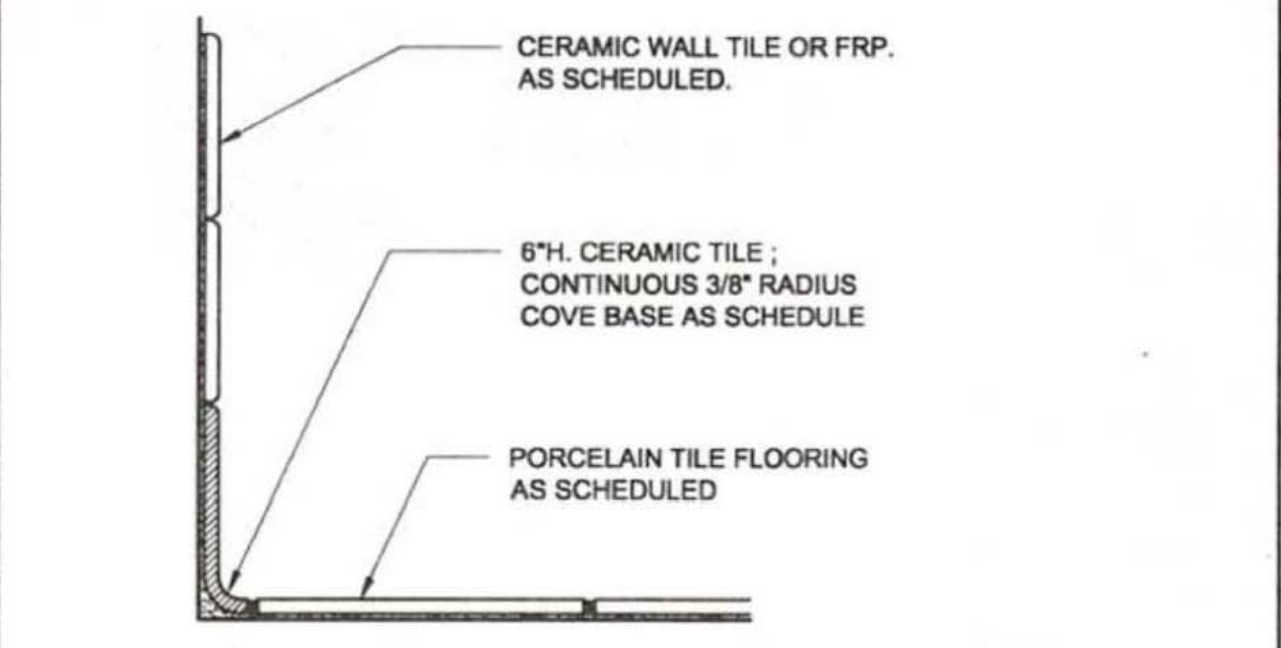
5 RESTROOM SIGNAGE SCALE: 1/2" = 1'-0"



3 LAVATORIES (REFERENCE ONLY) SCALE: 1" = 1'-0"



6 RESTROOM IDENTIFICATION SIGNAGE & TYP. MOUNTING HEIGHTS SCALE: 1/2" = 1'-0"



2 KITCHEN, WAIT STATION, AND RESTROOM COVERED BASE DETAIL N.T.S.

1101 OAK STREET CANNABIS RETAIL STORE

- (N) WALL
- (E) WALLS
- SURVAILANCE CAMERAS

1 GENDER INCLUSIVE RESTROOM Scale: 1/2"=1'-0"

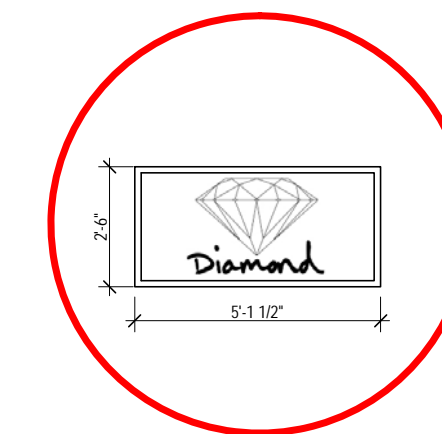
NOTE: INSTALL BRAILLE SIGN AT THE LATCH SIDE OF THE DOOR PER ADA REQUIREMENTS. SEE DETAIL: 6 THIS SHEET

NOTE: THE FORCE REQUIRED TO ACTIVATE CONTROLS AT TOILETS AND SINKS SHALL BE NO GREATER THAN 5 POUNDS - FORCE.

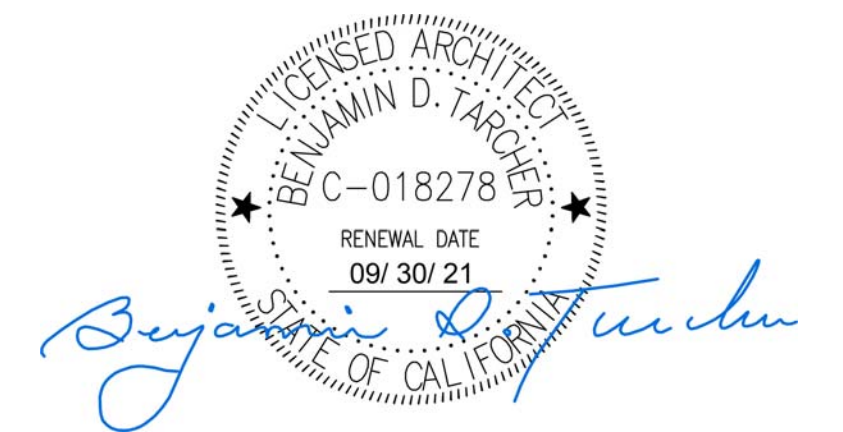
BEN TARCHER ARCHITECT

338 OLEMA ROAD
FAIRFAX, CA 94930
T. (510) 459-2606
email:ben@bentarcherarchitects.net

Diamond Dispensary
353 Divisadero St., San Francisco
CA 94117
CLIENT/OWNER:
Michael Muslech
FORWARD INTEGRATION INC.
353 Divisadero St.
415-308-2538



| NO. | DESCRIPTION | DATE |
|-----|--------------------|------------|
| 1. | PLANNING SUBMITTAL | 6/15/2020 |
| 2. | △ | 12/04/2020 |
| 3. | | |
| 4. | | |
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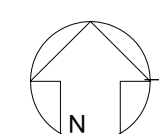
SCALE: AS SHOWN

SHEET TITLE:

**Proposed East
Elevation
(Divisadero Str.)**

REF. NORTH. SHEET NUMBER

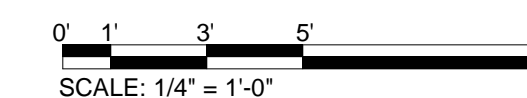
A2.3



PROPOSED FIRST FLOOR PLAN

Scale: 1/4"=1'-0"

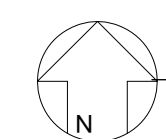
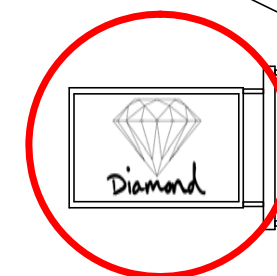
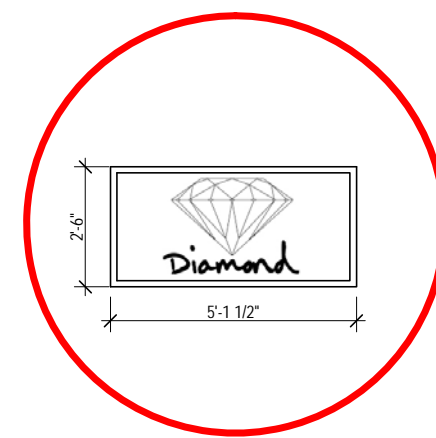
1101 OAK STREET CANNABIS RETAIL STORE



BEN TARCHER ARCHITECT

338 OLEMA ROAD
FAIRFAX, CA 94930
T. (510) 459-2606
email:ben@bentarcherarchitects.net

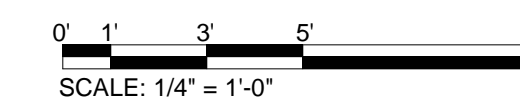
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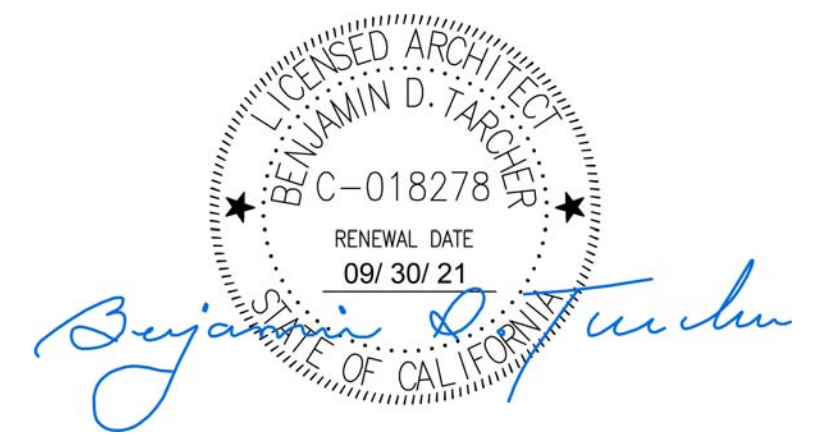
PROPOSED FIRST FLOOR PLAN

Scale: 1/4"=1'-0"

1101 OAK STREET CANNABIS RETAIL STORE



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| 1. | PLANNING SUBMITTAL | 6/15/2020 |
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PROJECT NUMBER:

DRAWN BY: D.T.

CHECKED BY: B.T.

SCALE: AS SHOWN

SHEET TITLE:

**Proposed North
Elevation (Oak Str.)**

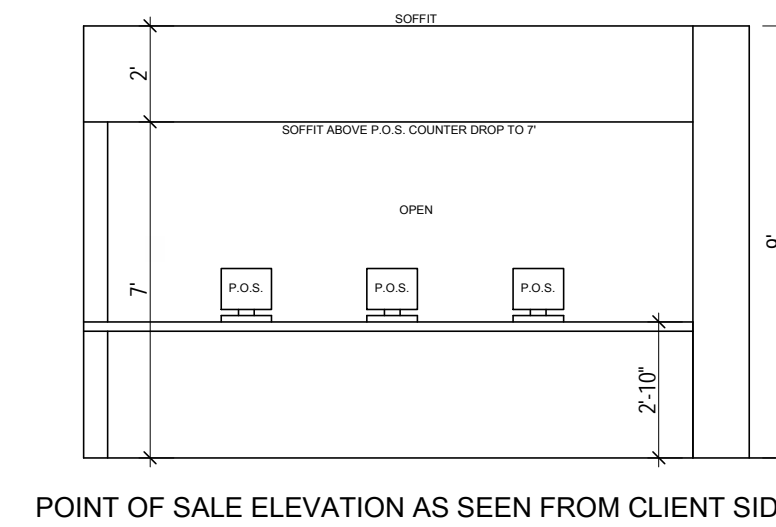
REF. NORTH. SHEET NUMBER

A2.4

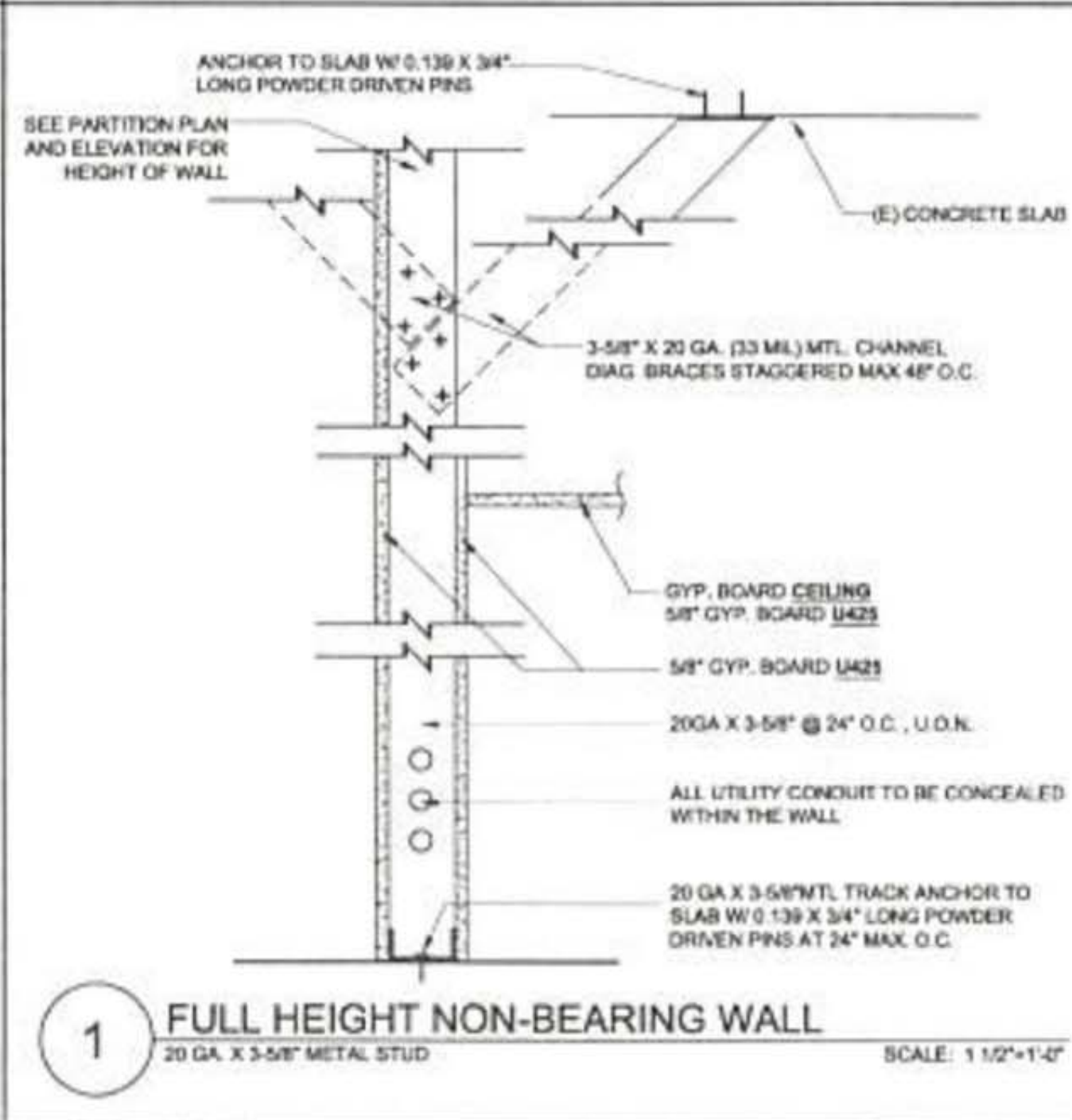
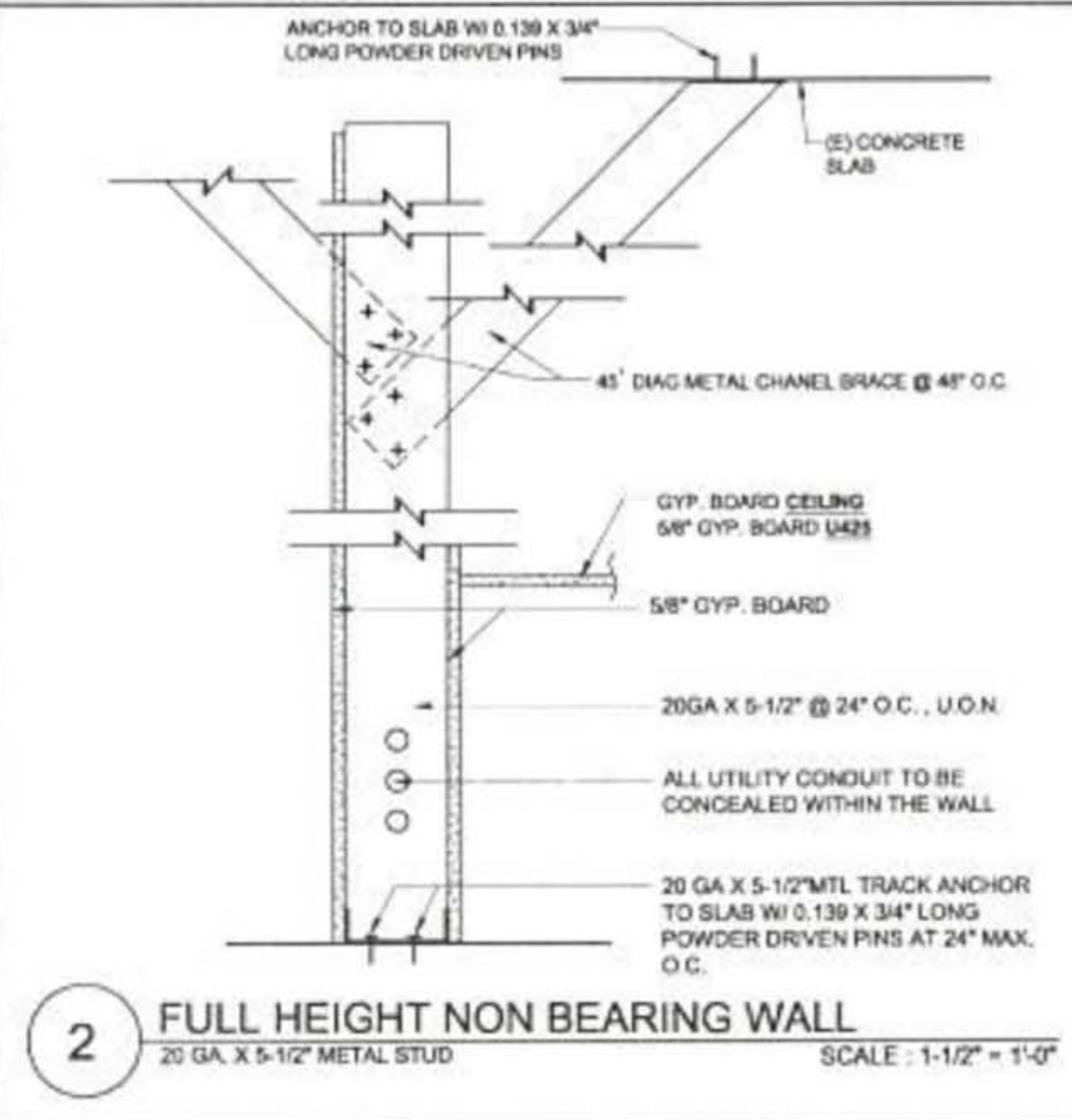
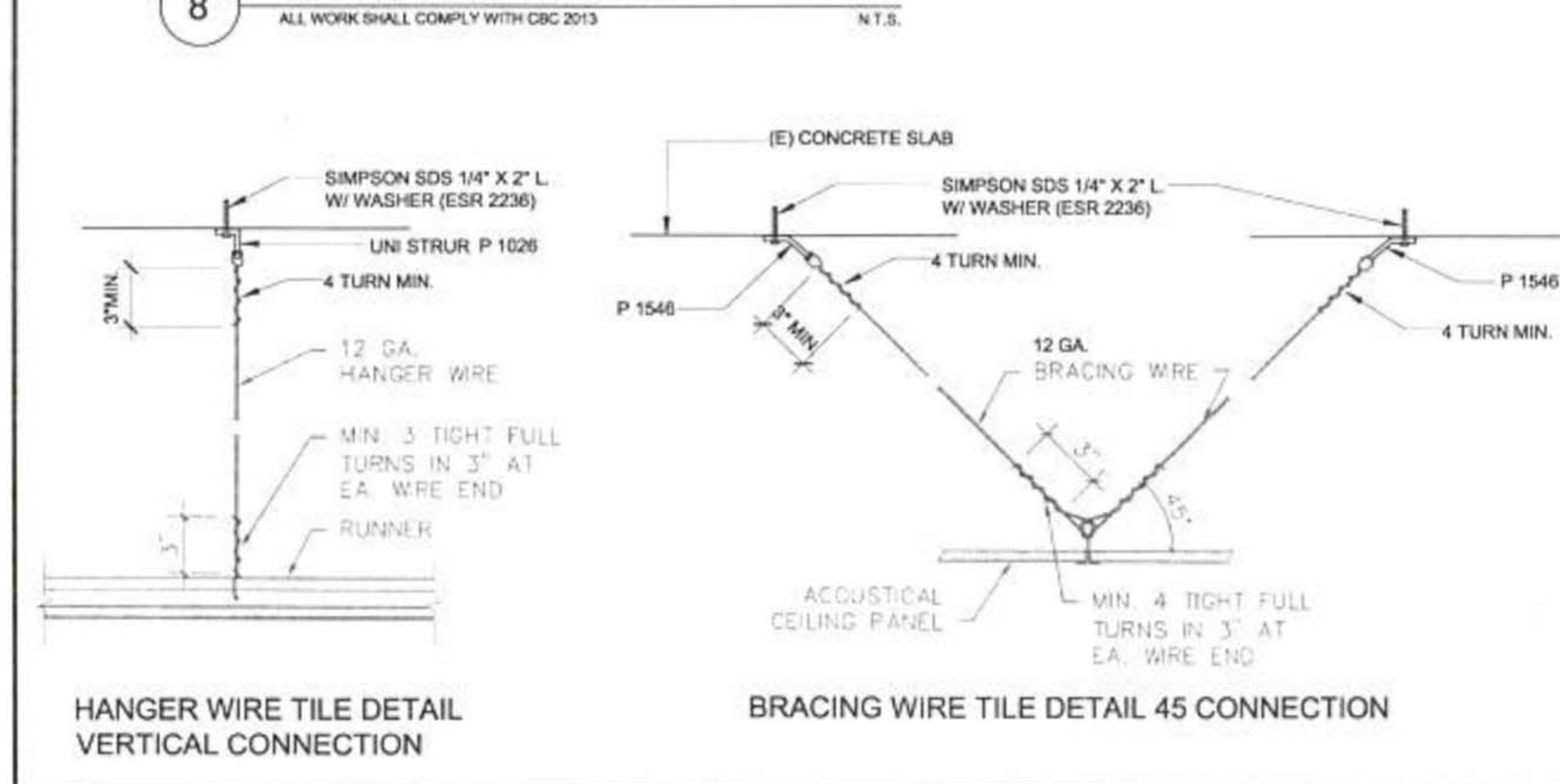
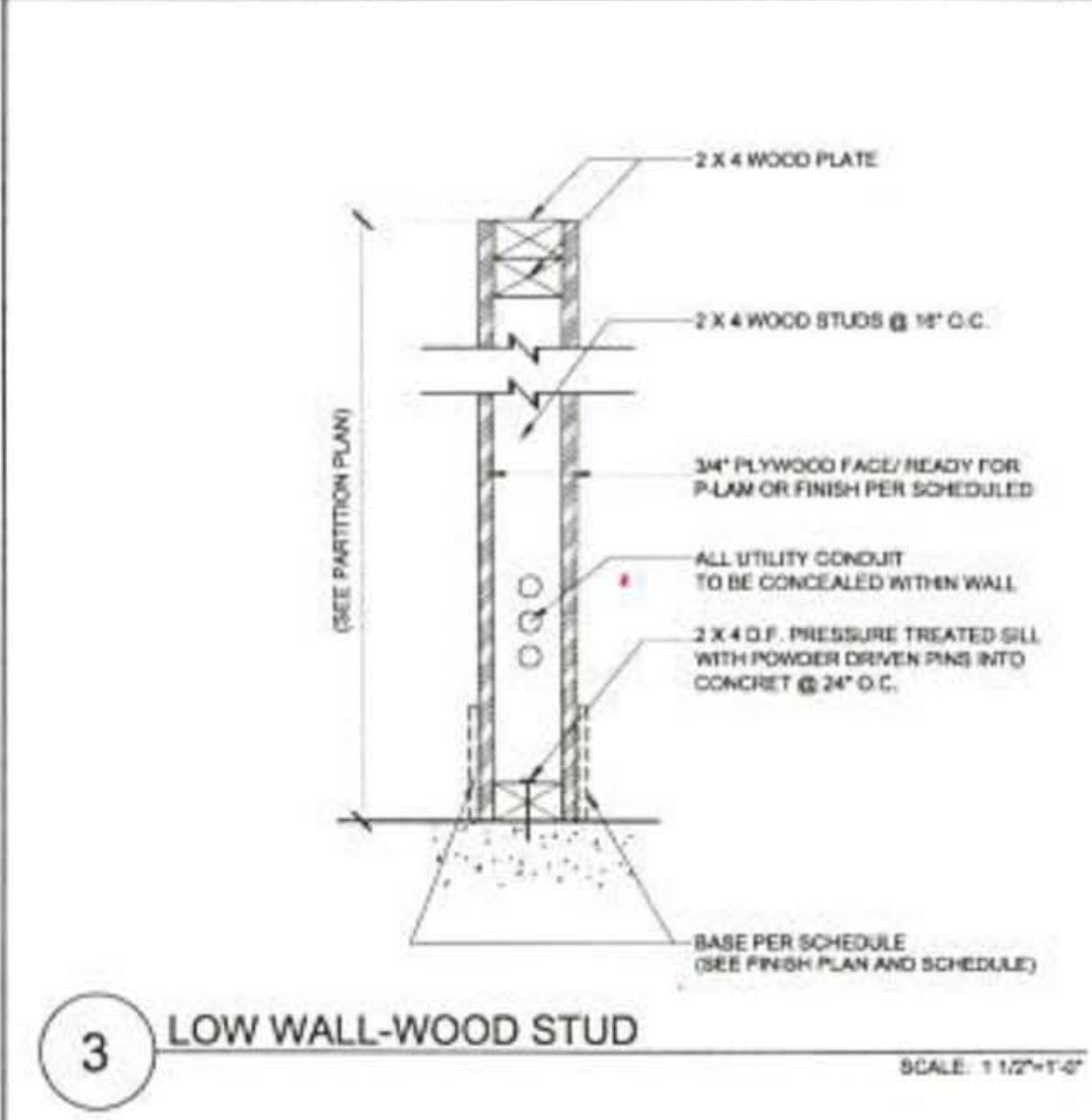
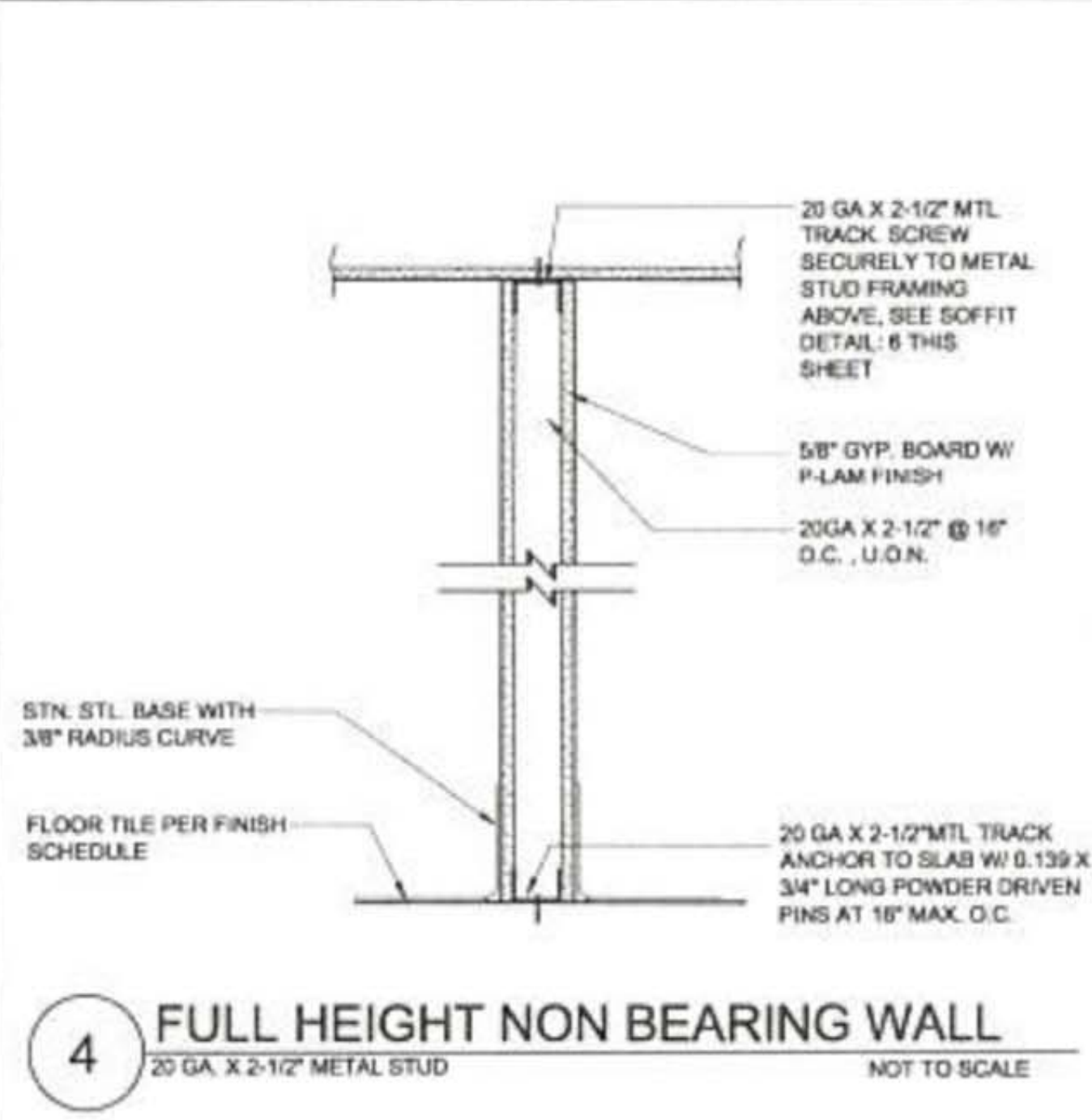
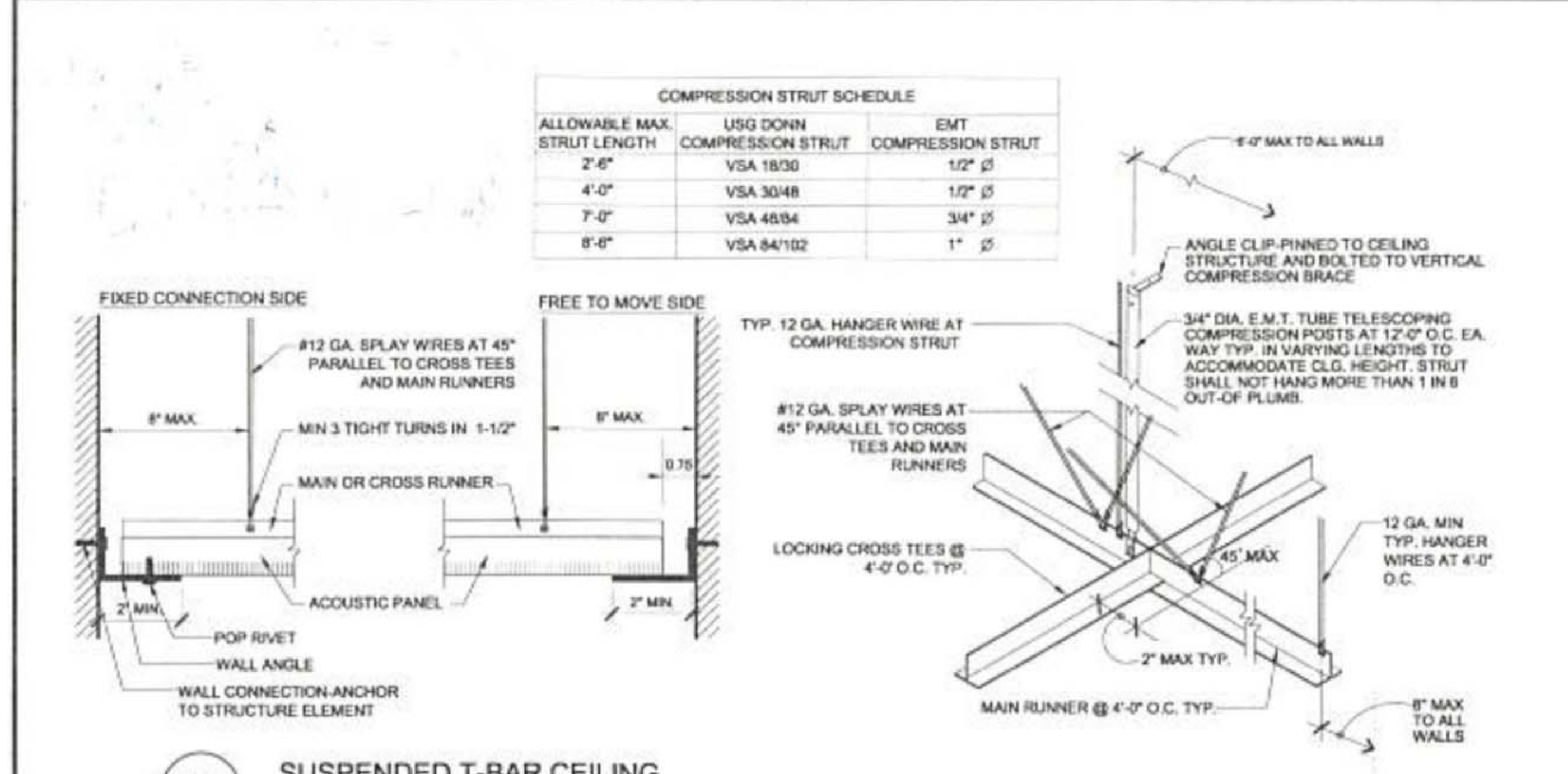
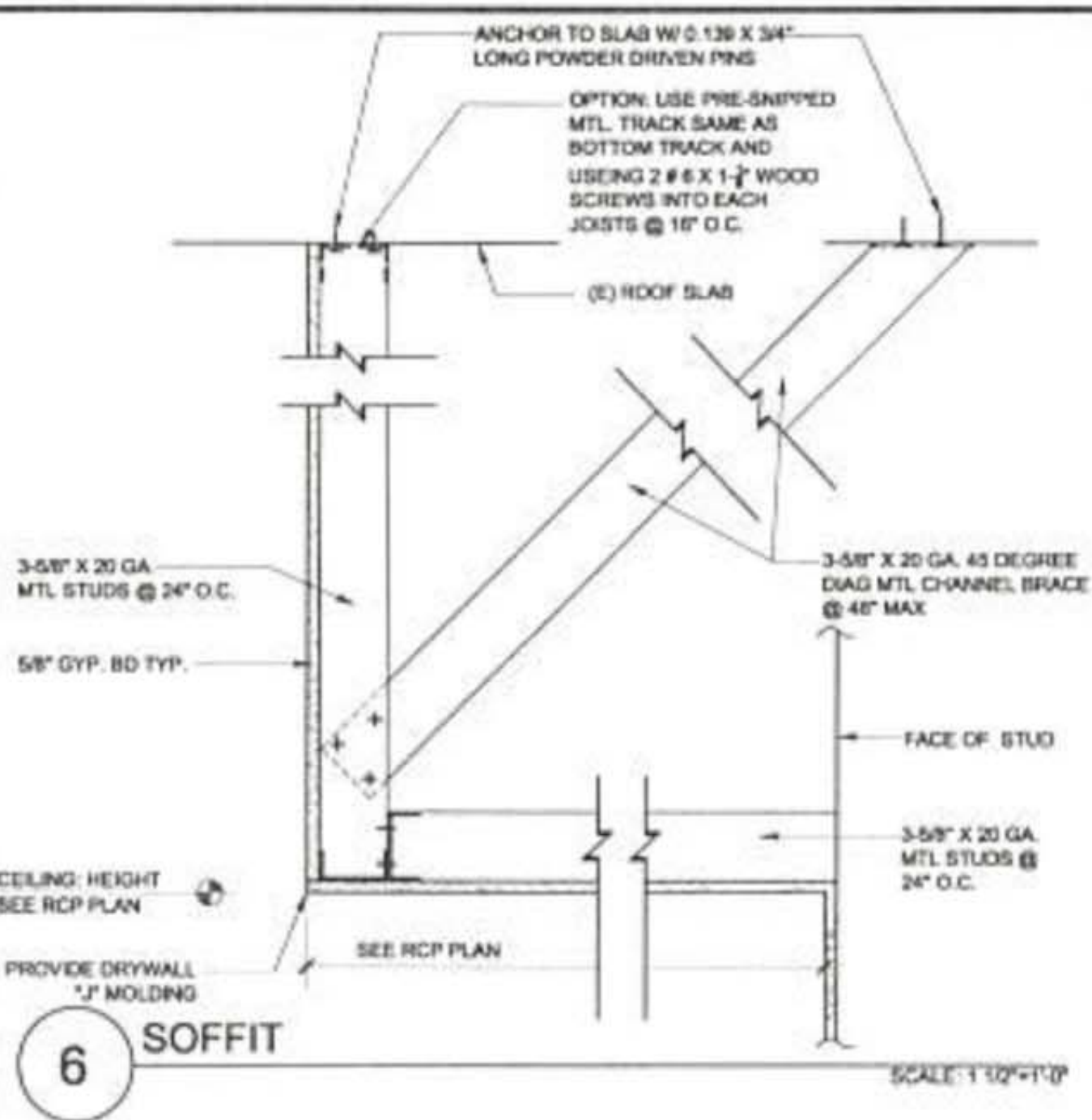
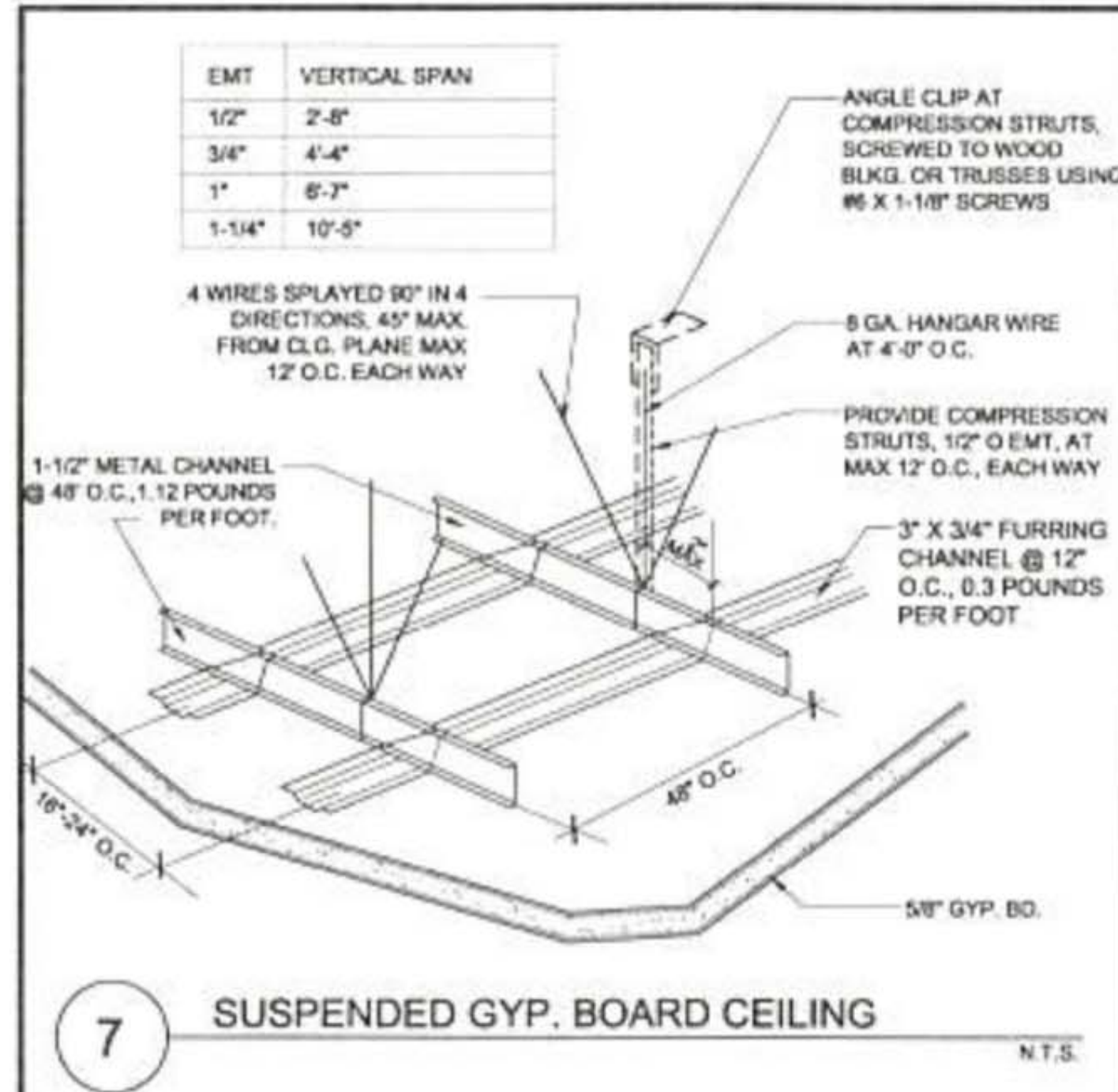
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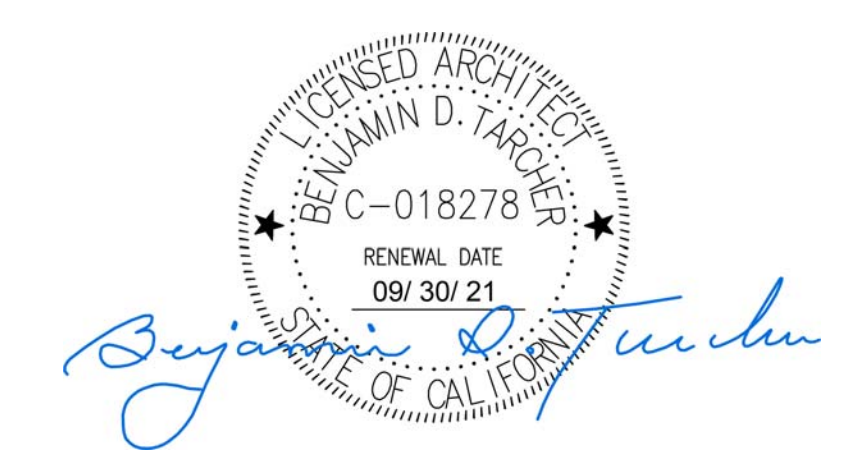
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ALL MEASUREMENTS V.I.F.
SCALE: 1/4" = 1'-0"
6' 1' 5' 10'



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PROJECT NUMBER:
DRAWN BY: D.T.
CHECKED BY: B.T.
SCALE: AS SHOWN
SHEET TITLE:

Framing details
REF. NORTH. SHEET NUMBER

A3.0