



# EXECUTIVE SUMMARY CONDITIONAL USE

**HEARING DATE:** October 28, 2021

**Record No.:** 2020-009146CUA  
**Project Address:** 247 Upper Terrace  
**Zoning:** RH-2 (Residential-House, Two Family) Zoning District  
40-X Height and Bulk District  
Corona Heights Large Residence Special Use District  
**Block/Lot:** 2628/045  
**Project Sponsor:** GBA Inc.  
David Penn  
201 Noe Street  
San Francisco, CA 94114  
**Property Owner:** Sarah Cooper and Michael McNabb  
245 Upper Terrace  
San Francisco, CA 94117  
**Staff Contact:** Jeff Horn – (628) 652-7366  
[jeffrey.horn@sfgov.org](mailto:jeffrey.horn@sfgov.org)

**Recommendation:** Approval with Conditions

## Project Description

The Project proposes to demolish an existing 351 square-foot garage structure and to construct a new 4,081 gross-square-foot, four-story-over-basement two-family dwelling which includes a 2,074 square-foot, three-bedroom dwelling unit (Unit A), a 1,764-square-foot three-bedroom dwelling unit (Unit B), and a 243-square-foot garage providing one vehicle parking space and two Class 1 bicycle parking spaces.

## Required Commission Action

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization, pursuant to Planning Code Sections 303, 249.77(d)(3) and 249.77(d)(4) to allow residential development residential

development on a developed parcel that will result in total gross square floor area in excess of 3,000 gross square feet and to allow residential development that results in both lots having a rear yard less than 45% lot depth within the Corona Heights Large Residence Special Use District.

## Issues and Other Considerations

- **Public Comment & Outreach.**
  - **Support/Opposition:** The Department has received nine letters in opposition to the Project.
    - The opposition to the Project is centered on the massing and scale, impacts to the midblock open space, increased on-street parking demand, and safety concerns with construction on the lot's steep slope and the protection and integrity of the existing tree at the rear of the lot.
  - **Outreach:** The Sponsor held a Department required pre-application meeting with neighbors and community groups on December 17, 2019.
- **Corona Heights Large Residence Special Use District:** The project is located within the boundaries of the Corona Heights Large Residence Special Use District (SUD). The SUD was adopted to protect and enhance existing neighborhood character, encourage new infill housing at compatible densities and scale, and provide for thorough assessment of proposed large-scale residences that could adversely impact the area and affordable housing opportunities, to meet these goals, the SUD requires Conditional Use Authorization for five (5) types of development. The proposed Project exceeds two of these development standards; thereby requiring Conditional Use Authorization pursuant to Planning Code Section 249.77(d)(3), for residential development on a developed parcel that will result in total gross square floor area in excess of 3,000 gross square feet, if that expansion results in more than 100% increase in gross square feet of development, and increases the existing legal unit count on the parcel and pursuant to Planning Code Section 249.77(d)(4) for residential development that results in less than 45% rear yard depth.
- **Design Review Comments:** The project has changed in the following significant ways since the original submittal to the Department:
  - Along the south property line, the depth of building at all levels was reduced to not extend more than five feet beyond the primary rear wall of the adjacent building at 251 Upper Terrace. A five foot setback is provided for any massing beyond.
  - Four foot side setbacks on both sides of the upper floor were removed.
  - Modifications to the proposed façade to comply with the Planning Code and provide a contextually consistent façade design.

## Environmental Review

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and Class 3 categorical exemption.

## Basis for Recommendation

The Department finds that the Project is, on balance, consistent with the Objectives and Policies of the General Plan. The proposed building has been contextually designed with regard to site-specific conditions and will

develop an underutilized lot in a manner that adds two quality, family-sized units to the City's housing stock.. The overall scale, design, and materials of the proposed building is consistent with the subject block and compliments the neighborhood character with a contextual, yet contemporary design. The Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

### **Attachments:**

Draft Motion – Conditional Use Authorization with Conditions of Approval  
Exhibit B – Plans and Renderings  
Exhibit C – Environmental Determination  
Exhibit D – Land Use Data  
Exhibit E – Maps and Context Photos



# PLANNING COMMISSION DRAFT MOTION

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ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 249.77(D)(3), 249.77(D)(4) AND 303(C) TO DEMOLISH AN EXISTING 351 SQUARE-FOOT GARAGE STRUCTURE AND TO CONSTRUCT A NEW 4,081 GROSS-SQUARE-FOOT, FOUR-STORY-OVER-BASEMENT TWO-FAMILY DWELLING LOCATED AT 247 UPPER TERRACE, LOT 045 IN ASSESSOR'S BLOCK 2628, WITHIN AN RH-2 (RESIDENTIAL HOUSE, TWO-FAMILY) ZONING DISTRICT, A 40-X HEIGHT AND BULK DISTRICT, AND THE CORONA HEIGHTS LARGE RESIDENCE SPECIAL USE DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.



## PREAMBLE

On October 8, 2020, David Penn of GBA Inc. (hereinafter "Project Sponsor") filed Application No. 2020-009146CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for Conditional Use Authorization to construct a new two-family dwelling (hereinafter "Project") at 247 Upper Terrace, Block 2628 Lot 045 (hereinafter "Project Site").

The project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and Class 3 categorical exemption under CEQA.

On October 28, 2021, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2020-009146CUA.

The Planning Department Commission Secretary is the Custodian of Records; the File for Record No. 2020-009146CUA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2020-009146CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

## FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

**1. The above recitals are accurate and constitute findings of this Commission.**

**Project Description.** The Project is to demolish an existing 351 square-foot garage structure and to construct a new 4,081 gross-square-foot, four-story-over-basement two-family dwelling which includes a 2,074 square-foot, three-bedroom dwelling unit, a 1,764-square-foot three-bedroom dwelling unit, and a 243-square-foot garage providing one vehicle parking space and two Class 1 bicycle parking spaces.

**2. Site Description and Present Use.** The subject property is located on the southeast side of Upper Terrace within the Corona Heights neighborhood. The subject property is a steeply downward sloping lot, in excess of 25%, with a width of 25 feet and depth of 60 feet. At the front of the property, the site is developed with a detached one-vehicle garage and a courtyard that are currently used by the adjacent property to the north (245 Upper Terrace) and the remaining portion of the lot contains natural vegetation including several large trees. The lot totals 1,500 square feet (SF) in size and is located in a RH-2 (Residential House, Two-Family) Zoning District and a 40-X Height and Bulk District.

**3. Surrounding Properties and Neighborhood.** The surrounding neighborhoods of Corona Heights and Ashbury Heights consist of very steep slopes, both of individual lots and laterally along streets. The neighborhood around Mt. Olympus developed over many decades (early and mid-1900s, generally), in a mixture of architectural styles, and many buildings have undergone substantial alterations since their respective construction dates. The surrounding neighborhood predominantly consists of two- and three-story buildings on the downward sloping lots, containing one- or two-residential dwelling units. The adjacent parcel to the north, 245 Upper Terrace, is a two-story-over basement two-family residence that is on a deeper lot with a building depth of 50 feet. The adjacent property to the south, 251 Upper Terrace, is a shallower one-story-over-basement single-family home with a depth of 30 feet.

**4. Public Outreach and Comments.** The Department has received nine letters and emails in opposition of the proposed project. All letters shared a similar concern of the massing and scale, impacts to the midblock open space, increased on-street parking demand, and safety concerns with construction on the lot's steep slope and the protection and integrity of the existing tree at the rear of the lot.

**5. Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

**A. Use.** Planning Code Section 209.1 permits up to two dwelling units per lot in an RH-2 District.

*The Project proposes two units; therefore, the permitted density is not exceeded.*

**B. Front Setback.** Planning Code Section 132 requires, in RH-2 Districts, a front setback that complies to legislated setbacks (if any) or a front back based on the average of adjacent properties (in no case shall the required setback be greater than 15 feet).

*The Project will provide a 11 inches minimum front setback required based on the average of adjacent properties along Upper Terrace.*

- C. **Front Setback Landscaping and Permeability.** Planning Code Section 132 requires that the required front setback be at least 20% unpaved and devoted to plant material and at least 50% permeable to increase storm water infiltration.

*The Project complies with Section 132 and provides the required landscaping permeable area.*

- D. **Rear Yard.** Planning Code Section 134 requires a minimum rear yard depth equal to 45% of the total depth of the lot on which the building is situated, except that rear yard requirements can be reduced to a line on the lot, parallel to the rear lot line, which is the average between the depths of the rear building walls of both adjacent properties.

*The project is permitted to extend beyond the 45% rear yard line through the rear yard reduction allowed by PCS, 134(c). The Code allows the rear yard line to be reduced to a depth equal to the average of the two adjacent neighbors. In this case, the average depth of the two adjacent properties is 24 feet 8 inches, which the project complies with. Additionally, the project proposes an 8 foot 5 inch deep, two-story tall rear projection that does not extend into the last 25% of the lot's depth, as allowed by PCS 136(2)(25).*

- E. **Street Frontage.** Off-street parking and freight loading shall meet the standards set forth in Planning Code Section 144 with respect to entrance dimensions and features.

*The Project complies as the off-street parking entrance will not exceed 10 feet and the minimum 1/3 width visual relief at the ground story street frontage will be provided.*

- F. **Usable Open Space.** Planning Code Section 135 requires at least 125 SF of private usable open space per unit or 133 SF of usable open space per unit if common.

*The Project provides private open space to the upper with a 121 SF deck at the 2<sup>nd</sup> floor and a 140 SF deck on the building's roof. The lower unit has access to 220 SF of open space within the rear yard, in which none of the area is needed to meet the upper units required open space.*

- G. **Off-Street Parking.** Planning Code Section 151 allows one off-street parking space per dwelling unit, and the maximum parking permitted as accessory may not exceed three spaces, where one is required by Code.

*The Project proposes one off-street parking spaces, which does not exceed the maximum parking permitted.*

- H. **Bicycle Parking.** Planning Code Section 155.2 requires one Class 1 Bicycle Parking space per dwelling unit, when there is an addition of a dwelling unit.

*The Project proposes two Class 1 Bicycle Parking spaces within the proposed garage; therefore the requirement is met.*

- I. **Height.** Planning Code Section 260 requires that all structures be no taller than the height prescribed in the subject height and bulk district. The proposed Project is located in a 40-X Height and Bulk District.

*Planning Code Section 261(b)(2) decreases the permitted height of a building in the RH-2 District to 35 feet where the average ground elevation at the rear line of the lot is lower by 20 or more feet than at the front line. The subject property's rear lot line is more than 20 feet lower in elevation than the front line and the building has a height of 30 feet above grade at the tallest point.*

- J. **Child Care Requirements for Residential Projects.** Planning Code Section 414A requires that any residential development project that results in a net new dwelling unit or additional space in an existing residential unit of more than 800 gross square feet (GSF) shall comply with the imposition of the Residential Child Care Impact Fee requirement.

*The Project proposes new construction of a 4,081 SF, two-family residence. Therefore, the Project is subject to the Residential Child Care Impact Fee and must comply with the requirements outlined in Planning Code Section 414A.*

6. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*The use and size of the Project is compatible with the immediate neighborhood. The site is located in the RH-2 Zoning District, which permits the development of a two-family dwelling on the lot. The neighborhood is developed with a mix of one-and two-family houses that are two- to three-stories in height. The proposed massing allows for family-sized units, while maintaining the required rear yard open space. The project is necessary and desirable as it will develop an underutilized lot to create much-needed dwelling units within a building that is designed to be in keeping with the existing development pattern and neighborhood character.*

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The subject property, similar to many lots within the surrounding neighborhood, is characterized by a steep slope, with a rear property line that is at least 25 feet lower than the front property line. The proposed building's depth and height have been sensitively designed with regard to site-specific constraints and will create quality, family-sized units. Although the Project will have a rear yard less than 45% of the total lot depth, and that the structure exceeds 3,000 GSF in size, its depth and scale are consistent with other properties in the surrounding neighborhood.*

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*The Project provides one vehicle parking space and two-bike parking spaces, which is adequate to meet the needs of a two-family home. This modest Project will not have significant impacts on area traffic. The subject property is also in close proximity to several transit lines, located only approximately a 10-minute walk away from the Castro Street MUNI Station, and within a ½ mile of the 24, 33, 35, and 37 MUNI bus lines.*

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*The Project will comply with all applicable regulations relating to construction noise and dust. It will not produce, nor include, any permanent uses that generate substantial levels of noxious or offensive emissions, such as noise, dust, glare, or odor.*

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*The proposal does not include loading or services areas, nor will it include atypical lighting or signage. The Project proposes landscaping at the base of the entry stair and in the rear yard to contribute to an enjoyable rear yard and open space area. The proposed roof deck above the third floor will be set back from the front and side lot lines to minimally impact the neighboring properties and their own enjoyment of their space.*

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.*

- D. That use or feature as proposed will provide development that is in conformity with the stated purpose of the applicable Use District.

*The Project is consistent with the Corona Heights Large Residence SUD and the Objectives and Policies of the General Plan, meets all applicable requirements of the Planning Code, including the stated purpose of the RH-2 District. The building is compatible to the height and size of development expected in this District, and within the permitted density.*

- 7. Corona Heights Large Residence Special Use District (Planning Code Section 249.77).** The project is located within the boundaries of the Corona Heights Large Residence Special Use District (SUD). The SUD was adopted to protect and enhance existing neighborhood character, encourage new infill housing at compatible densities and scale, and provide for thorough assessment of proposed large-scale residences that could adversely impact the area and affordable housing opportunities, to meet these goals, the SUD requires Conditional Use Authorization for five (5) types of development.

The proposed Project exceeds two of these development standards; thereby requiring Conditional Use Authorization pursuant to Planning Code Section 249.77(d)(3), for residential development of a developed property that will result in total gross floor area exceeding 3,000 square-feet and pursuant to Planning Code Section 249.77(d)(4) for residential development that results in less than 45% rear yard depth.

In acting on any application for Conditional Use authorization within the SUD, the Commission shall consider the Conditional Use authorization requirements set forth in subsection 303(c) and, in addition, shall consider whether facts are presented to establish, based on the record before the Commission, one or more of the following:

- A. The proposed project promotes housing affordability by increasing housing supply.

*The Project would develop an underutilized lot with a new building that provides two units that are sized for families (three bedrooms). The Project would promote housing affordability by adding two new units to the City's housing stock.*

- B. The proposed project maintains affordability of any existing housing unit; or

*The Site is currently underdeveloped with a detached 351 SF garage structure. Therefore, there is no affordability of any existing unit to maintain.*

- C. The proposed project is compatible with existing development.

*The subject property, similar to many lots within the surrounding neighborhood, is characterized by a steep slope in excess of 25%, with a rear property line that is at least 25 feet lower than the front property line. The proposed building's depth and height have been sensitively designed with regard to site-specific constraints and will create quality, family-sized units. Although the Project will have a rear yard less than 45% of the total lot depth, and that the structure exceeds 3,000 GSF in size, its coverage and scale are consistent with other properties in the surrounding neighborhood.*

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

**HOUSING ELEMENT**

**Objectives and Policies**

**OBJECTIVE 1**

**IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.**

**Policy 1.1**

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

**Policy 1.2**

Focus housing growth and infrastructure necessary to support growth according to community plans. Complete planning underway in key opportunity areas such as Treasure Island, Candlestick Park and Hunter's Point Shipyard.

Policy 1.10

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

**OBJECTIVE 4**

**FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.**

Policy 4.1

Develop new housing, and encourage the remodeling of existing housing, for families with children.

Policy 4.4

Encourage sufficient and suitable rental housing opportunities, emphasizing permanently affordable rental units wherever possible.

Policy 4.5

Ensure that new permanently affordable housing is located in all of the City's neighborhoods, and encourage integrated neighborhoods, with a diversity of unit types provided at a range of income levels.

**OBJECTIVE 11**

**SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.**

Policy 11.1

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2

Ensure implementation of accepted design standards in project approvals.

Policy 11.3

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.4

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

Policy 11.6

Foster a sense of community through architectural design, using features that promote community interaction.

Policy 11.8

Consider a neighborhood's character when integrating new uses, and minimize disruption caused by expansion of institutions into residential areas.

**OBJECTIVE 12**

**BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION.**

Policy 12.2

Consider the proximity of quality of life elements such as open space, child care, and neighborhood services, when developing new housing units.

**URBAN DESIGN ELEMENT**

**Objectives and Policies**

**OBJECTIVE 1**

**EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.**

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

Policy 1.7

Recognize the natural boundaries of districts, and promote connections between districts.

**OBJECTIVE 4**

**IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.**

Policy 4.15:

Protect the livability and character of residential properties from the intrusion of incompatible new buildings.

*The subject property, like many lots within the surrounding neighborhood, is characterized by a steep slope. The proposed building has been contextually designed with regard to site-specific conditions and will develop an underutilized lot in a manner that adds two quality, family-sized units to the City's housing stock. The overall scale, design, and materials of the proposed building is consistent with the subject block and compliments the neighborhood character with a contextual, yet contemporary design. The Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity. Furthermore, the proposal maximizes the dwelling unit density for each new lot, while bringing the property into full compliance with the requirements of the Planning Code.*



**9. Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*This policy does not apply to the proposed project, as the project is residential and will not affect or displace any existing neighborhood-serving retail uses.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*The Project is consistent with this policy, as the proposed construction is designed to be consistent with the existing neighborhood's height and size while maintaining the strong mid-block open space pattern.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*The Project does not propose to remove or add any affordable housing units, nor are any required under the Planning Code. The Project does help to create a high-quality two-family house that contributes new family-sized units to the City's housing stock.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*The Project Site is served by nearby public transportation options. Additionally, the Project proposes one off-street parking spaces and provides two bicycle parking spaces. The Castro MUNI Rail Station and several MUNI bus lines are in close proximity to the subject property; therefore, the Project will not overburden streets or neighborhood parking. MUNI transit service will not be overburdened as the unit count is only increasing by one unit.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The Project is residential in nature and does not include commercial office development; therefore, the Project would not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses would not be affected by the Project.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The Project will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code. As such, this Project will improve the property's ability to withstand an earthquake.*

- G. That landmarks and historic buildings be preserved.

*Currently, the Project Site does not contain any City Landmarks or historic buildings.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*The Project will not affect any parks or open space, through development upon such lands or impeding their access to sunlight. No vistas will be blocked or otherwise affected by the proposed project*

- 10.** The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
- 11.** The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2020-009146CUA** subject to the following conditions attached hereto as “EXHIBIT A” in general conformance with plans on file, dated September 14, 2021 and stamped “EXHIBIT B”, which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

**Protest of Fee or Exaction:** You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission’s adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator’s Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on October 28, 2021.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

RECUSE:

ADOPTED:        October 28, 2021

## EXHIBIT A

### Authorization

This authorization is for a conditional use to construct a new 4,081 gross-square-foot four-story-over-basement two-family dwelling which includes a 2,074 square-foot, three-bedroom dwelling unit, a 1,764-square-foot three-bedroom dwelling unit, and a 243-square-foot garage providing one vehicle parking space and two Class 1 bicycle parking spaces located at 247 Upper Terrace, Block 2628, Lot 045, pursuant to Planning Code Sections 249.77 and 303, within the RH-2 (Residential-House, Two Family) Zoning District, 40-X Height and Bulk District, and the Corona Heights Large Residence Special Use District; in general conformance with plans, dated September 14, 2021, and stamped “EXHIBIT B” included in the docket for Record No. 2020-009146CUA and subject to conditions of approval reviewed and approved by the Commission on **October 28, 2021** under Motion No. XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### Recordation of Conditions Of Approval

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **October 28, 2021** under Motion No. XXXXXX.

### Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

### Severability

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. “Project Sponsor” shall include any subsequent responsible party.

### Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

## CONDITIONS OF APPROVAL, COMPLIANCE, MONITORING, AND REPORTING

### Performance

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463,*

[www.sfplanning.org](http://www.sfplanning.org)

## Design – Compliance at Plan Stage

6. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7366, [www.sfplanning.org](http://www.sfplanning.org)*

7. **Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7366, [www.sfplanning.org](http://www.sfplanning.org)*

8. **Rooftop Mechanical Equipment.** Pursuant to Planning Code 141, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the building permit application. Rooftop mechanical equipment, if any is proposed as part of the Project, is required to be screened so as not to be visible from any point at or below the roof level of the subject building.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sfplanning.org](http://www.sfplanning.org)*

9. **Landscaping.** Pursuant to Planning Code Section 132, the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that 50% of the front setback areas shall be surfaced in permeable materials and further, that 20% of the front setback areas shall be landscaped with approved plant species. The size and specie of plant materials and the nature of the permeable surface shall be as approved by the Department of Public Works.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7366, [www.sfplanning.org](http://www.sfplanning.org)*

## Parking and Traffic

10. **Bicycle Parking.** The Project shall provide no fewer than **two** Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.2.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

- 11. Parking Maximum.** Pursuant to Planning Code Section 151, the Project shall provide no more than **three (3)** off-street parking spaces.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

- 12. Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

## Provisions

- 13. Residential Child Care Impact Fee.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7366, [www.sfplanning.org](http://www.sfplanning.org)*

## Monitoring - After Entitlement

- 14. Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

- 15. Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

## Operation

- 16. Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department

of Public Works Streets and Sidewalk Maintenance Standards.

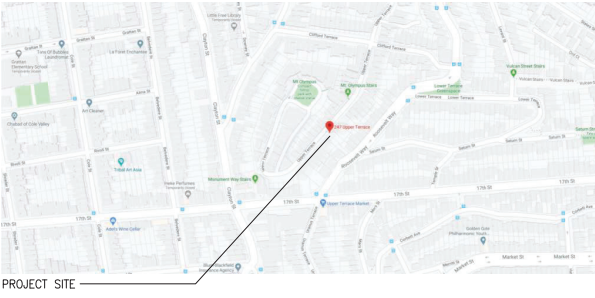
*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 628.271.2000, [www.sfpublicworks.org](http://www.sfpublicworks.org)*

- 17. Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*



LOCATION MAP:



PROJECT DIRECTORY

CLIENT

SARAH COOPER AND MICHAEL MCNABB  
247 UPPER TERRACE  
SAN FRANCISCO, CA 94117

ARCHITECT

CUMBY ARCHITECTURE  
CONTACT: DAVID CUMBY  
2325 THIRD STREET, SUITE 401  
SAN FRANCISCO, CA 94107  
TEL: 415.505.1536  
EMAIL: david@cumbyarchitecture.com

APPLICABLE CODES

2019 CALIFORNIA BUILDING CODE  
2019 SAN FRANCISCO BUILDING CODE  
2019 CALIFORNIA MECHANICAL CODE WITH SAN FRANCISCO AMEDMENTS  
2019 CALIFORNIA PLUMBING CODE WITH SAN FRANCISCO AMENDMENTS  
2019 CALIFORNIA ELECTRICAL CODE WITH SAN FRANCISCO AMENDMENTS  
2019 CALIFORNIA FIRE CODE WITH SAN FRANCISCO AMENDMENTS  
ENERGY CODE – TITLE 24 – CALIFORNIA CODE OF REGULATIONS

DRAWING LIST

ARCHITECTURAL

- A1.0A

PROJECT INFORMATION
- C1

SITE SURVEY
- A1.0B

DEMO PLOT PLAN
- A1.0C

PROPOSED PLOT PLAN
- A1.0D

PLOT PLAN WITH SURVEY INFO
- A1.0E

GREEN BUILDING
- A1.0F

GENERAL NOTES
- A1.0G

PHOTOS – UPPER TERRACE
- A1.0H

PHOTOS – UPPER TERRACE
- A1.0I

PHOTOS – PROJECT SITE
- A1.1

PROPOSED BASEMENT FLOOR PLAN
- A1.2

PROPOSED FIRST FLOOR PLAN
- A1.3

PROPOSED SECOND FLOOR PLAN (STREET LEVEL)
- A1.4

PROPOSED THIRD FLOOR PLAN
- A1.5

PROPOSED FOURTH FLOOR PLAN
- A1.6

PROPOSED ROOF PLAN
- A3.0

3D IMAGES
- A3.1

EXISTING AND PROPOSED STREET EXTERIOR ELEVATION
- A3.2

EXISTING NORTH SIDE EXTERIOR ELEVATION
- A3.3

PROPOSED NORTH SIDE EXTERIOR ELEVATION
- A3.4

EXISTING REAR YARD EXTERIOR ELEVATION
- A3.5

PROPOSED REAR YARD EXTERIOR ELEVATION
- A3.6

EXISTING SOUTH SIDE EXTERIOR ELEVATION
- A3.7

PROPOSED SOUTH SIDE EXTERIOR ELEVATION
- A3.8

PROPOSED LONGITUDINAL BUILDING SECTION
- A3.9

PROPOSED LONGITUDINAL BUILDING SECTION
- A3.10

PROPOSED LONGITUDINAL BUILDING SECTION
- A3.11

PROPOSED BUILDING CROSS SECTIONS
- A3.12

PROPOSED BUILDING CROSS SECTION

PROJECT DESCRIPTION

DEMOLISH EXISTING GARAGE STRUCTURE

CONSTRUCT NEW 4 STORY OVER BASEMENT TWO UNIT RESIDENTIAL BUILDING WITH ONE CAR GARAGE

RESIDENTIAL UNIT "A" AT SECOND, THIRD AND FOURTH FLOORS – 3 BEDROOMS, 2 1/2 BATHROOMS

RESIDENTIAL UNIT "B" AT BASEMENT AND FIRST FLOOR – 3 BEDROOMS, 2 BATHROOMS

PROJECT INFORMATION:

BLOCK/LOT:	2628 / 045	PROPOSED BUILDING HEIGHT:	30'-0"
OCCUPANCY:	R3	PROPOSED CAR PARKING	1 SPACE
ZONING:	RH-2 / 40-X / CORONA HEIGHTS	PROPOSED BIKE PARKING (CLASS 1)	2 SPACES
LOT AREA:	1,625 SF		

CONSTRUCTION TYPE

V-A

EXISTING GROSS FLOOR AREA	
	GROSS FLOOR AREA
DETACHED GARAGE (TO BE DEMOLISHED)	351 SF
	351 SF EXISTING GROSS FLOOR AREA

PROPOSED GROSS FLOOR AREA	
	GROSS FLOOR AREA
BASEMENT (UNIT B)	863 SQ FT
FIRST FLOOR LEVEL (UNIT B)	901 SQ FT
SECOND FLOOR LEVEL (UNIT A)	837 SQ FT
THIRD FLOOR LEVEL (UNIT A)	912 SQ FT
FOURTH FLOOR LEVEL (UNIT A)	568 SQ FT
TOTAL FLOOR AREA	4,081 SQ FT

1,764 SQ FT UNIT B TOTAL

2,317 SQ FT UNIT A TOTAL  
(2,074 SQ FT LIVING SPACE,  
243 SQ FT GARAGE)

PROPOSED OPEN SPACE	
PRIVATE:	PRIVATE:
UNIT A:	UNIT B:
DECK AT SECOND FLOOR LEVEL	DECK AT BASEMENT LEVEL
DECK AT THIRD FLOOR LEVEL	
DECK AT FOURTH FLOOR LEVEL	
	COMMON:
	REAR YARD

121 SQ FT

76 SQ FT

140 SQ FT

317 SQ FT

81 SQ FT

220 SQ FT

FIRE SPRINKLERS

THE BUILDING SHALL BE FULLY EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM MEETING THE STANDARDS OF NFPA 13R

Cumby Architecture

2325 Third Street, Suite 401  
San Francisco, CA 94107  
Tel 415.505.1536  
Email david@cumbyarchitecture.com  
Web www.cumbyarchitecture.com

PROJECT/CLIENT:  
New Residential Building  
247 Upper Terrace  
San Francisco, CA 94117

Sarah Cooper and Michael McNabb  
245 Upper Terrace  
San Francisco, CA 94117  
415.

Site Permit

ISSUE/DATE:

Site Permit	8-17-2020
Plan Check 1	4-29-2021
Plan Check 2	9-14-2021

DBI STAMP:



SCALE:  
TITLE: NTS

PROJECT INFORMATION

SHEET:

A1.0A

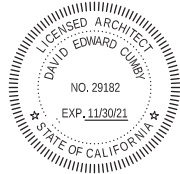
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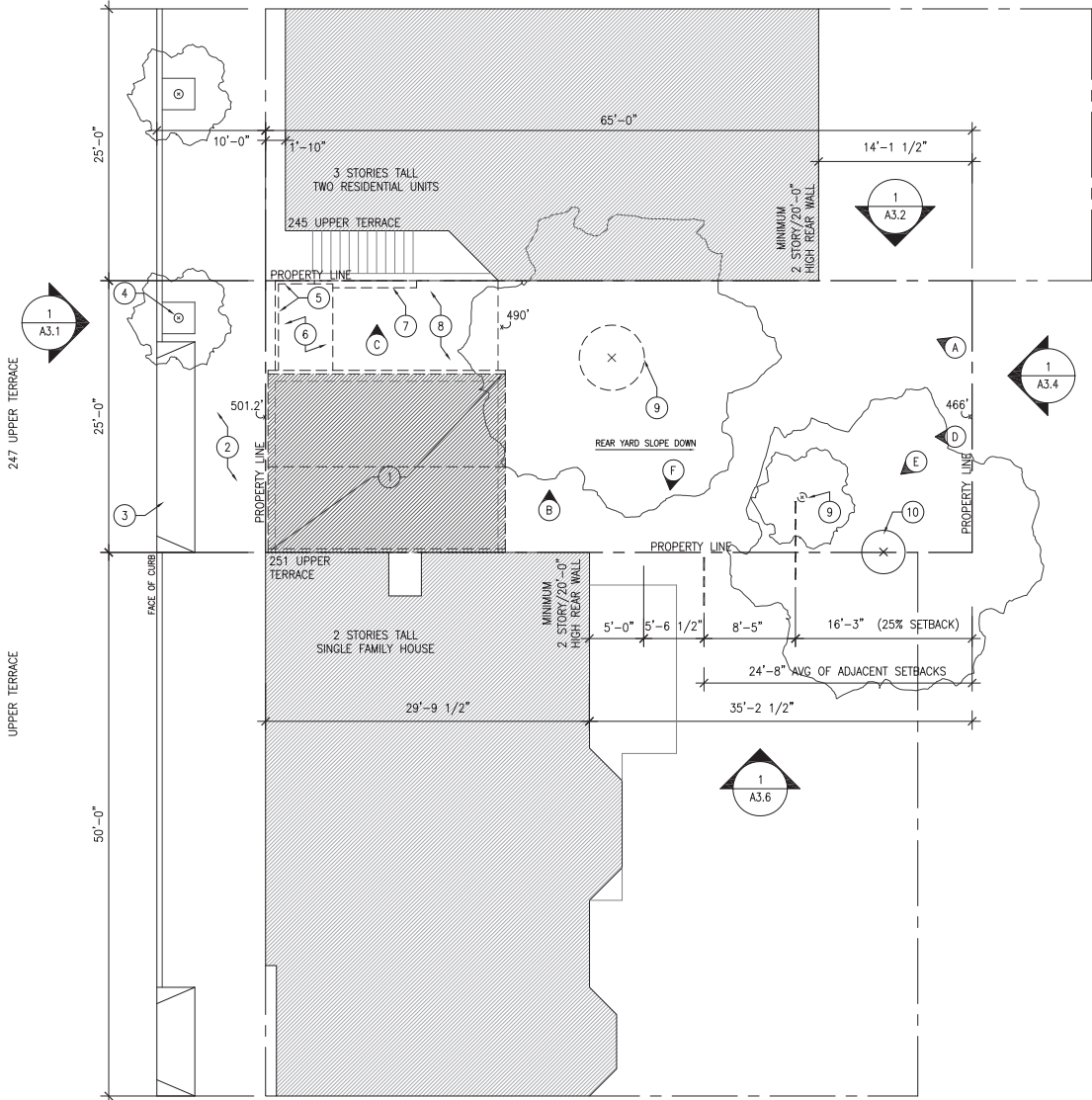


SCALE:  
1/8"=1'-0"

TITLE:  
DEMO  
PLOT PLAN

SHEET:

A1.0B



1 DEMO  
PLOT PLAN / 1/8"=1'-0"

KEYNOTES:

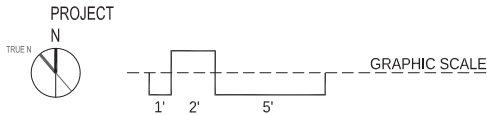
- 1 (E) 1 STORY TALL GARAGE TO BE DEMOLISHED
- 2 (E) SIDEWALK TO REMAIN
- 3 (E) CURB CUT
- 4 (E) STREET TREE TO REMAIN

- 5 (E) WOOD FENCE TO BE REMOVED
- 6 (E) WOOD DECK TO BE REMOVED
- 7 (E) CONCRETE RETAINING WALL TO BE REMOVED
- 8 (E) CONCRETE SLAB ON GRADE TO BE REMOVED

- 9 (E) TREE TO BE REMOVED
- 10 (E) TREE TO REMAIN

DRAWING LEGEND:

- A PHOTO REFERENCE LOCATION



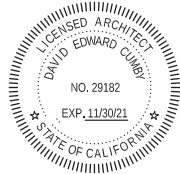
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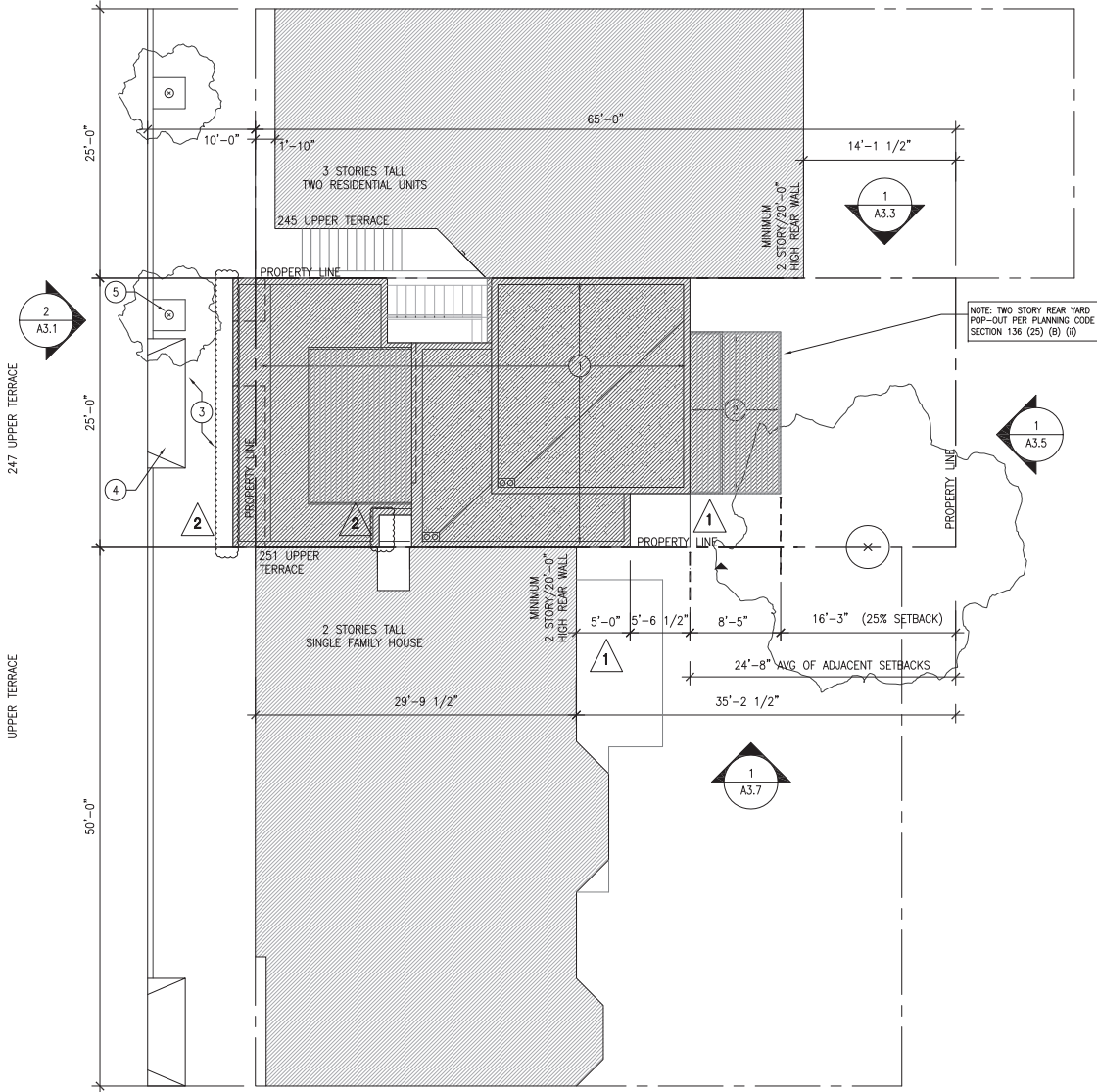
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SCALE:  
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TITLE:  
PROPOSED  
PLOT PLAN

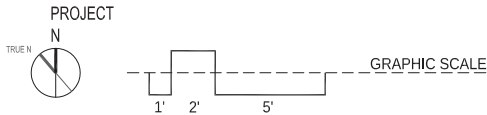
SHEET:  
A1.0C



1 PROPOSED  
PLOT PLAN / 1/8"=1'-0"

KEYNOTES:

- 1 (N) 2 UNIT RESIDENTIAL BUILDING
- 2 (N) 2 STORY TALL POP-OUT AT REAR YARD PER PLANNING CODE SECTION 136 (25) (B) (ii)
- 3 (E) SIDEWALK TO REMAIN
- 4 (E) CURB CUT, WIDTH REDUCED TO APPROXIMATELY 12 FEET
- 5 (E) STREET TREE TO REMAIN



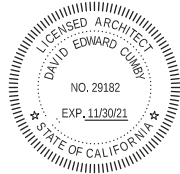
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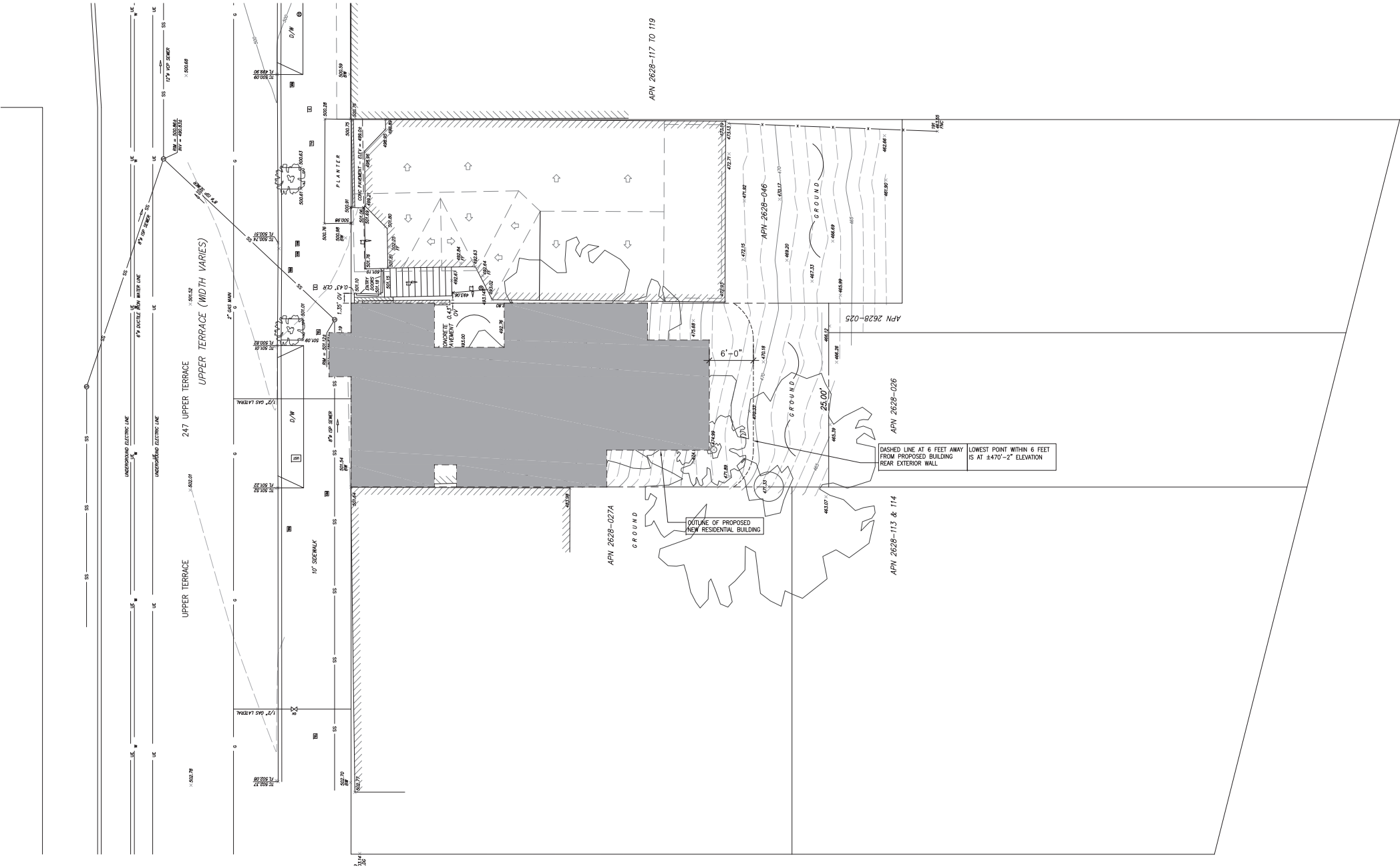


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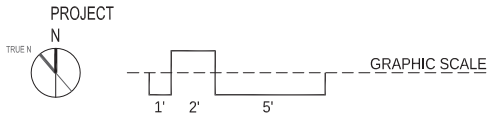
TITLE:  
PLOT PLAN W/  
SURVEY INFO

SHEET:

A1.0D



1 PLOT PLAN W/ SURVEY INFO / 1/8"=1'-0"





Cumby  
Architecture

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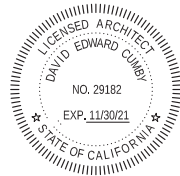
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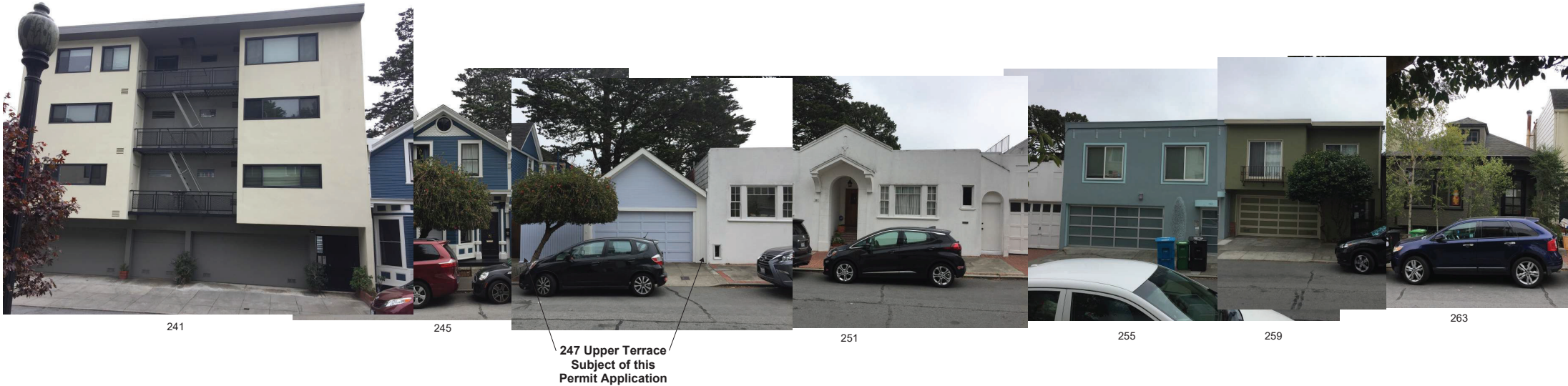


SCALE:  
1/8"=1'-0"

TITLE:

SITE PHOTOS

SHEET:  
A1.0G





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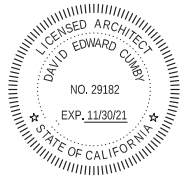
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Site Permit

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DEI STAMP:



SCALE:  
1/8"=1'-0"

TITLE:

PHOTOS -  
UPPER TERRACE

SHEET:

A1.0H



312

308



304

300

298

294

290

286

282

Directly across the street  
from 247 Upper Terrace



278

272

266

260

248

242

240

MT Olympus Stairs





F



E



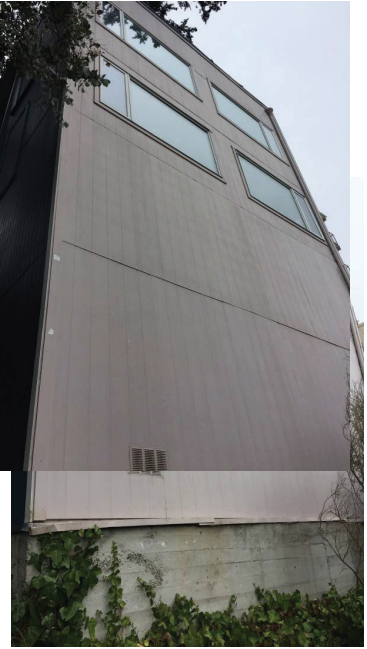
D



C



B



A

# Cumby Architecture

2325 Third Street, Suite 401  
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## Site Permit

ISSUE/DATE:

Site Permit	8-17-2020
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DBI STAMP:



SCALE:

1/8"=1'-0"

TITLE:

PHOTOS -  
PROJECT SITE

SHEET:

A1.01



GENERAL NOTES:

1. OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING FURNISHINGS.
2. ALL ITEMS TO BE RE-USED SHALL BE CAREFULLY REMOVED FREE OF DAMAGE AND STORED IN ONE AREA.
3. ANY (E) ELECTRICAL TO BE REMOVED SHALL BE TERMINATED PER 2019 CALIFORNIA ELECTRICAL CODE AND ANY DESIGN / BUILD DRAWINGS.
4. ANY (E) PLUMBING TO BE REMOVED SHALL BE TERMINATED PER 2019 CALIFORNIA PLUMBING CODE AND ANY DESIGN / BUILD DRAWINGS.
5. ANY (E) MECHANICAL TO BE REMOVED SHALL BE TERMINATED PER 2019 CALIFORNIA MECHANICAL CODE AND ANY DESIGN / BUILD DRAWINGS.
6. DEMOLITION IN ENTIRE AREA TO BE COORDINATED WITH FUTURE CONSTRUCTION PHASE
7. CUTTING WORK SHALL BE DONE WITH MINIMUM DAMAGE TO SURROUNDING SURFACES TO BE RETAINED.
8. EXPOSE FRAMING PRIOR TO ANY DEMOLITION. DO NOT ENDANGER (E) STRUCTURAL SYSTEMS. NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF ANY FRAMING CONFLICTS.
9. MOISTURE RESISTANT GYPSUM BOARD SHALL BE INSTALLED AT WET AREAS.

DRAWING LEGEND:

NEW WALL; 2x4 WOOD STUD FRAMING @ 16" O.C., 5/8" GYPSUM BOARD, EACH SIDE, PAINTED

NEW 1-HOUR RATED WALL PER UL 305

- (E) DENOTES EXISTING FIXTURE TO REMAIN  
(X) DENOTES EXISTING FIXTURE TO BE REMOVED  
101 DENOTES DOOR NUMBER  
DENOTES WINDOW TYPE

WALL TYPE  
4A NR

DENOTES FIRE RATING

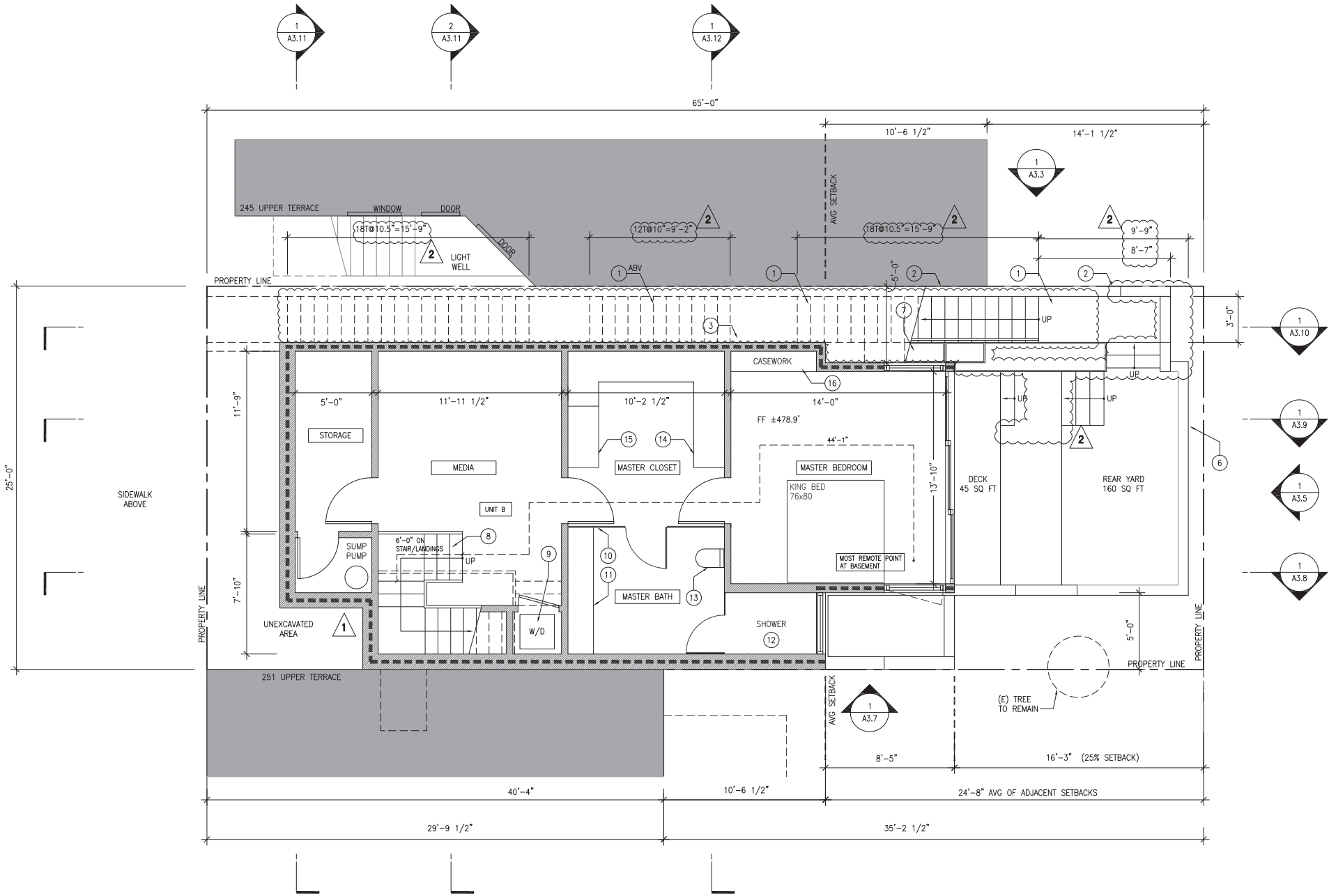
DENOTES ROOM NAME

ROOM LABEL AND NUMBER  
STORAGE 103

DENOTES ROOM NUMBER

FLOOR FINISHES:

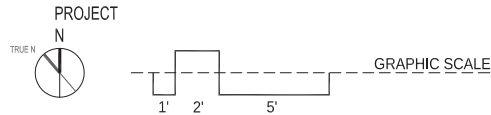
- (S) STONE TILE FINISH FLOOR  
(W) WOOD FINISH FLOOR



1 PROPOSED  
BASEMENT FLOOR PLAN / 1/4"=1'-0"

KEYNOTES:

- (N) CONCRETE EXTERIOR STAIR W/ 11" TREAD, MAX 7" RISER
- (N) 1-HOUR RATED WALL; T.O. WALL MIN. 42" ABV. STAIR TREAD NOSING/LANDINGS
- (N) 1-1/2" O.D. HANDRAIL, TOP OF RAIL 36" ABV STAIR TREAD NOSING
- (N) GUARDRAIL, TOP OF RAIL 42" ABV. FIN. FLR., LESS THAN 4" CLR. BTWN. GUARDRAIL MEMBERS
- (N) WOOD DECK
- (N) CONCRETE RETAINING WALL
- (N) PLANTER
- (N) INTERIOR STAIR W/ 10" TREADS, MAX. 7.75" RISER
- (N) STACKED WASHER/DRYER, VENT TO EXTERIOR MINIMUM 3 FEET FROM PROPERTY LINE
- (N) TEMPERED TRANSLUCENT GLASS PANEL
- (N) DOUBLE VANITY
- (N) 48x72 SHOWER. TEMPERED GLASS SHOWER DOOR, FULL HEIGHT CERAMIC TILE WALL FINISH AT SHOWER ENCLOSURE
- (N) WALL MOUNTED TOILET, 1.28 GPF
- (N) CLOTHES CABINETS
- (N) BENCH
- (N) CASEWORK





GENERAL NOTES:

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NEW 1-HOUR RATED WALL PER UL 305

- (E) DENOTES EXISTING FIXTURE TO REMAIN  
(X) DENOTES EXISTING FIXTURE TO BE REMOVED  
101 DENOTES DOOR NUMBER  
DENOTES WINDOW TYPE

4A NR  
WALL TYPE

DENOTES FIRE RATING

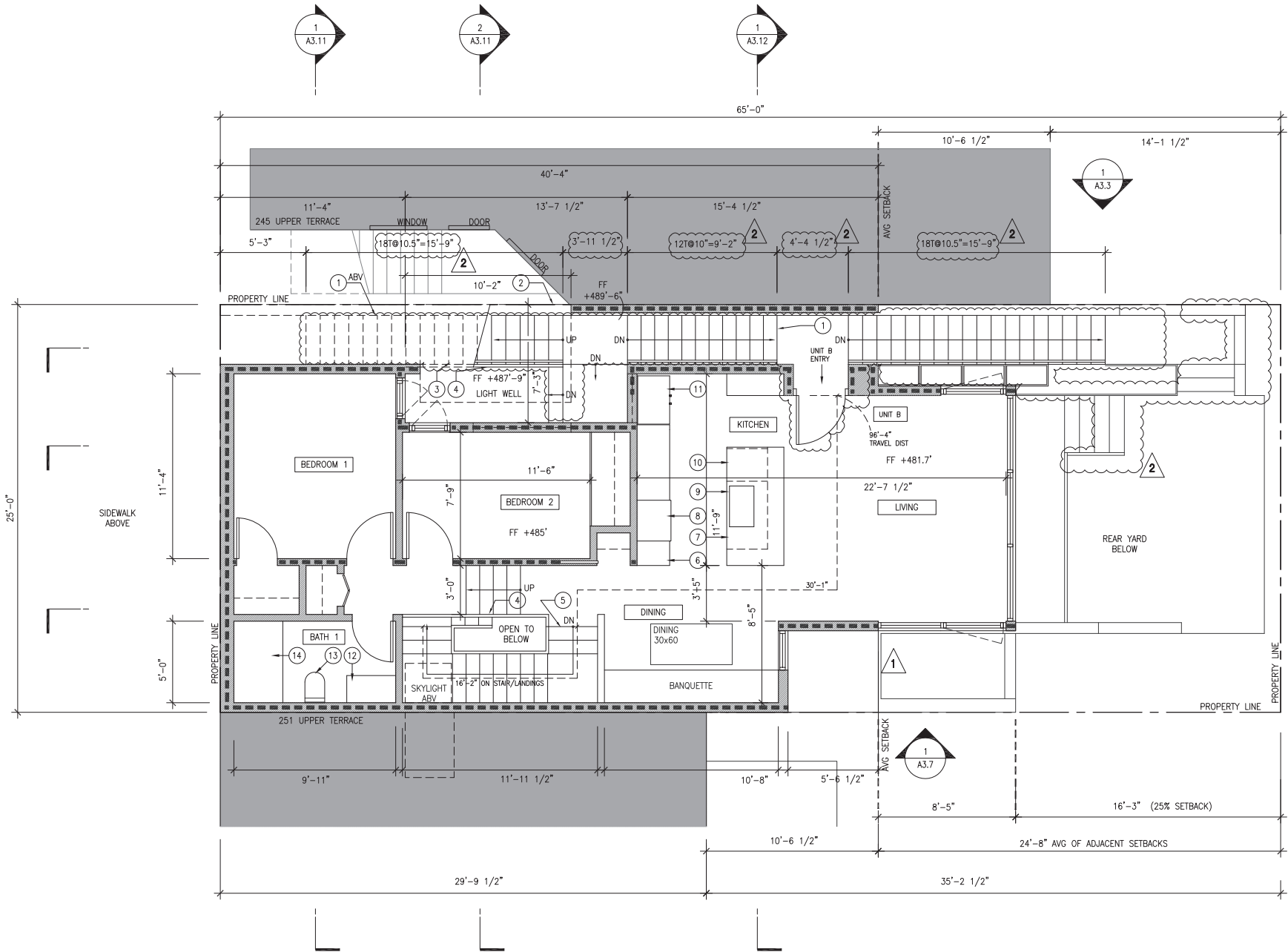
DENOTES ROOM NAME

STORAGE  
103  
ROOM LABEL AND NUMBER

DENOTES ROOM NUMBER

FLOOR FINISHES:

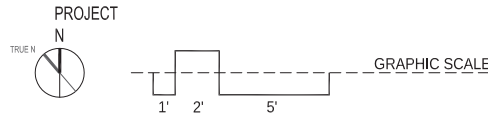
- (S1) STONE TILE FINISH FLOOR  
(W1) WOOD FINISH FLOOR



1 PROPOSED  
FIRST FLOOR PLAN / 1/4"=1'-0"

KEYNOTES:

- (N) CONCRETE EXTERIOR STAIR W/ 11" TREAD, MAX 7" RISER
- (N) 1-HOUR RATED WALL; T.O. WALL MIN. 42" ABV. STAIR TREAD NOSING/LANDINGS
- (N) 1-1/2" O.D. HANDRAIL, TOP OF RAIL 36" ABV STAIR TREAD NOSING
- (N) GUARDRAIL, TOP OF RAIL 42" ABV. FIN. FLR., LESS THAN 4" CLR. BTWN. GUARDRAIL MEMBERS
- (N) INTERIOR STAIR W/ 10" TREADS, MAX. 7.75" RISER
- (N) KITCHEN BASE CABINETS, TOP OF COUNTER 36" ABV FIN FLR
- (N) KITCHEN ISLAND, TOP OF COUNTER 36" ABV FIN FLR
- (N) COOKTOP W/ VENT HOOD
- (N) SINK
- (N) DISHWASHER
- (N) REFRIGERATOR
- (N) VANITY
- (N) WALL MOUNTED TOILET, 1.28 GPF
- (N) BATHTUB W/ SHOWER HEAD
- (N) DECK BELOW



LANDSCAPING/PERMEABLE SURFACE:

AREA OF FRONT SETBACK: 11" X 25'-0" = 22.9 SQ FT  
AREA OF LANDSCAPING: 11" X 5'-2" = 4.74 SQ FT  
PERCENTAGE OF LANDSCAPING AREA IN FRONT SETBACK: 4.74 / 22.9 = 20.7%  
AREA OF PERMEABLE PAVING: 11" X 9'-0" = 8.25 SQ FT  
AREA OF PERMEABLE SURFACE: 4.74 SQ FT + 8.25 SQ FT = 12.99 SQ FT/22.9 SQ FT = 56.7 SQ FT

GENERAL NOTES:

- OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING FURNISHINGS.
- ALL ITEMS TO BE RE-USED SHALL BE CAREFULLY REMOVED FREE OF DAMAGE AND STORED IN ONE AREA.
- ANY (E) ELECTRICAL TO BE REMOVED SHALL BE TERMINATED PER 2019 CALIFORNIA ELECTRICAL CODE AND ANY DESIGN / BUILD DRAWINGS.
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- DEMOLITION IN ENTIRE AREA TO BE COORDINATED WITH FUTURE CONSTRUCTION PHASE
- CUTTING WORK SHALL BE DONE WITH MINIMUM DAMAGE TO SURROUNDING SURFACES TO BE RETAINED.
- EXPPOSE FRAMING PRIOR TO ANY DEMOLITION. DO NOT ENDANGER (E) STRUCTURAL SYSTEMS. NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF ANY FRAMING CONFLICTS.
- MOISTURE RESISTANT GYPSUM BOARD SHALL BE INSTALLED AT WET AREAS.

DRAWING LEGEND:

- NEW WALL; 2x4 WOOD STUD FRAMING @ 16" O.C., 5/8" GYPSUM BOARD, EACH SIDE, PAINTED
- NEW 1-HOUR RATED WALL PER UL 305

- (E) DENOTES EXISTING FIXTURE TO REMAIN
- (X) DENOTES EXISTING FIXTURE TO BE REMOVED
- 101 DENOTES DOOR NUMBER
- 101 DENOTES WINDOW TYPE

- DENOTES WALL TYPE DESIGNATION
- DENOTES FIRE RATING
- DENOTES ROOM NAME
- DENOTES ROOM NUMBER
- WALL TYPE
- ROOM LABEL AND NUMBER

FLOOR FINISHES:

- (S) STONE TILE FINISH FLOOR
- (W) WOOD FINISH FLOOR

Cumby Architecture

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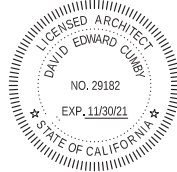
415.

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Plan Check 2	9-14-2021

DBI STAMP:



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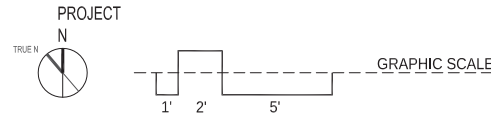
1/4"=1'-0"

TITLE:

PROPOSED  
SECOND  
FLOOR PLAN

SHEET:

A1.3



1

PROPOSED  
SECOND FLOOR PLAN (STREET LEVEL) / 1/4"=1'-0"

KEYNOTES:

- (N) CONCRETE EXTERIOR STAIR W/ 11" TREAD, MAX 7" RISER
- (N) 1-HOUR RATED WALL; T.O. WALL MIN. 42" ABV. STAIR TREAD NOSING/LANDINGS
- (N) 1-1/2" O.D. HANDRAIL, TOP OF RAIL 36" ABV STAIR TREAD NOSING
- (N) GUARDRAIL, TOP OF RAIL 42" ABV. FIN. FLR., LESS THAN 4" CLR. BTWN. GUARDRAIL MEMBERS
- (N) INTERIOR STAIR W/ 10" TREADS, MAX. 7.75" RISER
- (N) VANITY
- (N) WALL MOUNTED TOILET, 1.28 GPF
- (N) SHOWER, FULL HEIGHT CERAMIC TILE WALL FINISH AT SHOWER ENCLOSURE, TEMPERED GLASS PANEL
- (N) COAT CLOSET
- (N) BENCH
- (N) BIKE PARKING, WALL MOUNT 24" WIDE, 40" LONG, LESS THAN 3" LIFT REQUIRED
- (N) RECOLOGY BINS
- (N) UTILITY METERS/PANELS
- PORTION OF (E) CURB CUT TO REMAIN
- PORTION OF (E) CURB CUT TO BE REMOVED; PROVIDE NEW CURB AND SIDEWALK IN THIS AREA
- (E) STREET TREE
- (N) BAY WINDOW ABOVE
- (N) CANTILEVERED BALCONY ABOVE
- (N) PERMEABLE PAVERS AT GARAGE ENTRY
- (N) LANDSCAPING AREA AT GRADE LEVEL
- (N) BIKE PARKING, 24" WIDE, 72" LONG

GENERAL NOTES:

1. OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING FURNISHINGS.
2. ALL ITEMS TO BE RE-USED SHALL BE CAREFULLY REMOVED FREE OF DAMAGE AND STORED IN ONE AREA.
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7. CUTTING WORK SHALL BE DONE WITH MINIMUM DAMAGE TO SURROUNDING SURFACES TO BE RETAINED.
8. EXPOSE FRAMING PRIOR TO ANY DEMOLITION. DO NOT ENDANGER (E) STRUCTURAL SYSTEMS. NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF ANY FRAMING CONFLICTS.
9. MOISTURE RESISTANT GYPSUM BOARD SHALL BE INSTALLED AT WET AREAS.

DRAWING LEGEND:

- NEW WALL; 2x4 WOOD STUD FRAMING @ 16" O.C., 5/8" GYPSUM BOARD, EACH SIDE, PAINTED
- NEW 1-HOUR RATED WALL PER UL 305

- (E) DENOTES EXISTING FIXTURE TO REMAIN
- (X) DENOTES EXISTING FIXTURE TO BE REMOVED
- 101 DENOTES DOOR NUMBER
- DENOTES WINDOW TYPE

- DENOTES WALL TYPE DESIGNATION

4A

NR

DENOTES FIRE RATING
- DENOTES ROOM NAME

STORAGE

103

DENOTES ROOM NUMBER
- WALL TYPE
- ROOM LABEL AND NUMBER

FLOOR FINISHES:

- (S1) STONE TILE FINISH FLOOR
- (W1) WOOD FINISH FLOOR

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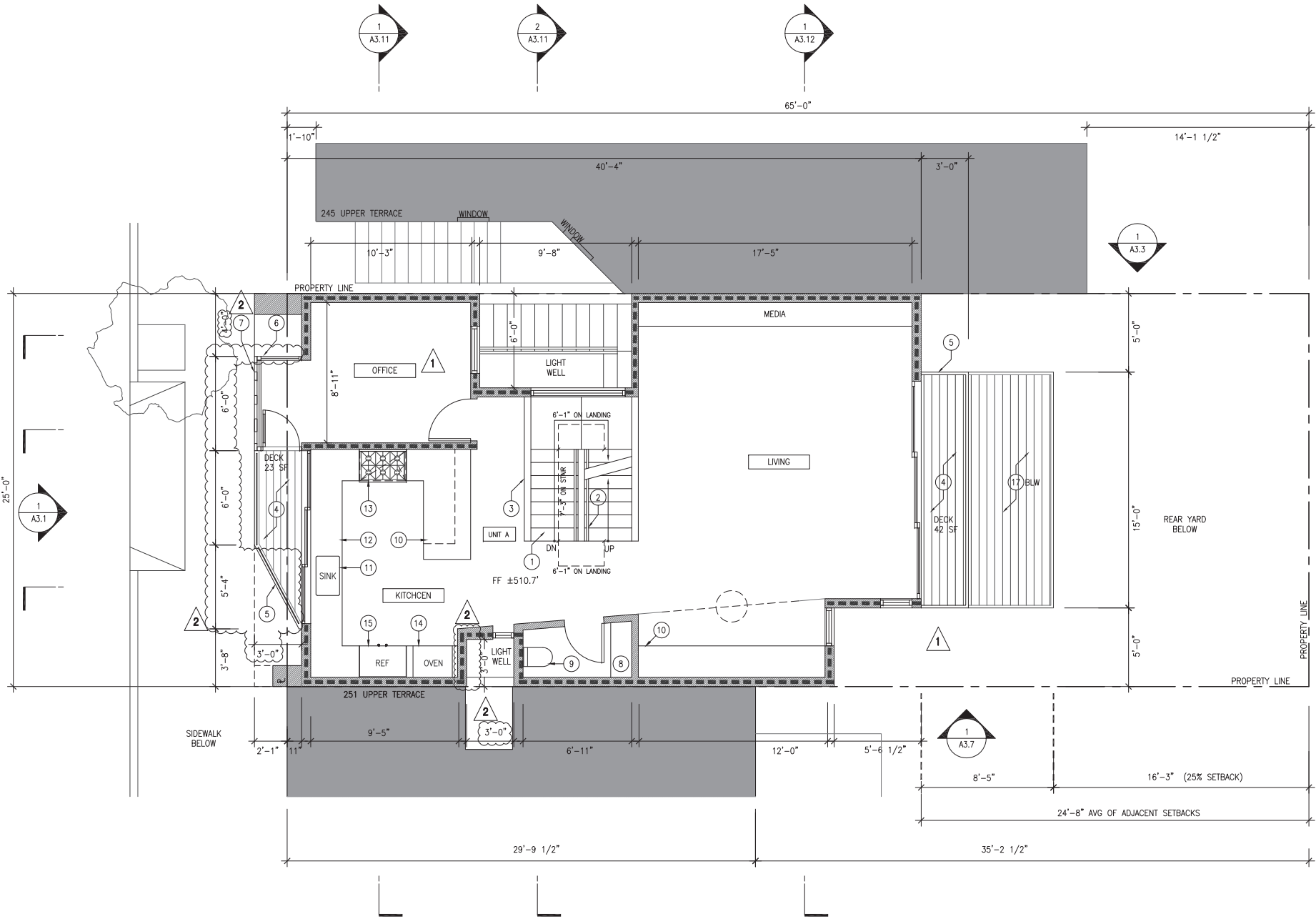
1/4"=1'-0"

TITLE:

PROPOSED  
THIRD  
FLOOR PLAN

SHEET:

A1.4



1 PROPOSED  
THIRD FLOOR PLAN / 1/4"=1'-0"

KEYNOTES:

- 1 (N) INTERIOR STAIR W/ 10" TREADS, MAX. 7.75" RISER

2 (N) 1-1/2" O.D. HANDRAIL, TOP OF RAIL 36" ABV STAIR TREAD NOSING

3 (N) GUARDRAIL, TOP OF RAIL 42" ABV. FIN. FLR., LESS THAN 4" CLR. BTWN. GUARDRAIL MEMBERS

4 (N) CANTILEVERED DECK

5 (N) TEMPERED GLASS GUARDRAIL, TOP OF RAIL 42" ABV DECK FINISH FLOOR

6 (N) BAY WINDOW

7 (N) DECORATIVE PERFORATED PANEL

8 (N) VANITY

9 (N) TOILET, 1.28 GPF

10 (N) KITCHEN BASE CABINETS, TOP OF COUNTER 36" ABV FIN FLR

11 (N) SINK

12 (N) DISHWASHER

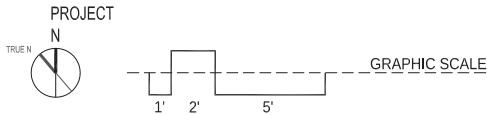
13 (N) COOKTOP W/ VENT TO EXTERIOR MIN. 3 FEET FROM PROPERTY LINES

14 (N) WALL OVEN

15 (N) REFRIGERATOR, 36" COUNTER DEPTH

16 (N) BANQUETTE SEATING

17 (N) DECK AT 2ND FLOOR LEVEL BELOW



GENERAL NOTES:

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9. MOISTURE RESISTANT GYPSUM BOARD SHALL BE INSTALLED AT WET AREAS.

DRAWING LEGEND:

- NEW WALL; 2x4 WOOD STUD FRAMING @ 16" O.C., 5/8" GYPSUM BOARD, EACH SIDE, PAINTED
- NEW 1-HOUR RATED WALL PER UL 305

- (E) DENOTES EXISTING FIXTURE TO REMAIN
- (X) DENOTES EXISTING FIXTURE TO BE REMOVED
- 101 DENOTES DOOR NUMBER
- 103 DENOTES WINDOW TYPE

DENOTES WALL TYPE DESIGNATION

4A NR

DENOTES FIRE RATING

DENOTES ROOM NAME

STORAGE

103

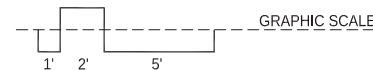
DENOTES ROOM NUMBER

ROOM LABEL AND NUMBER

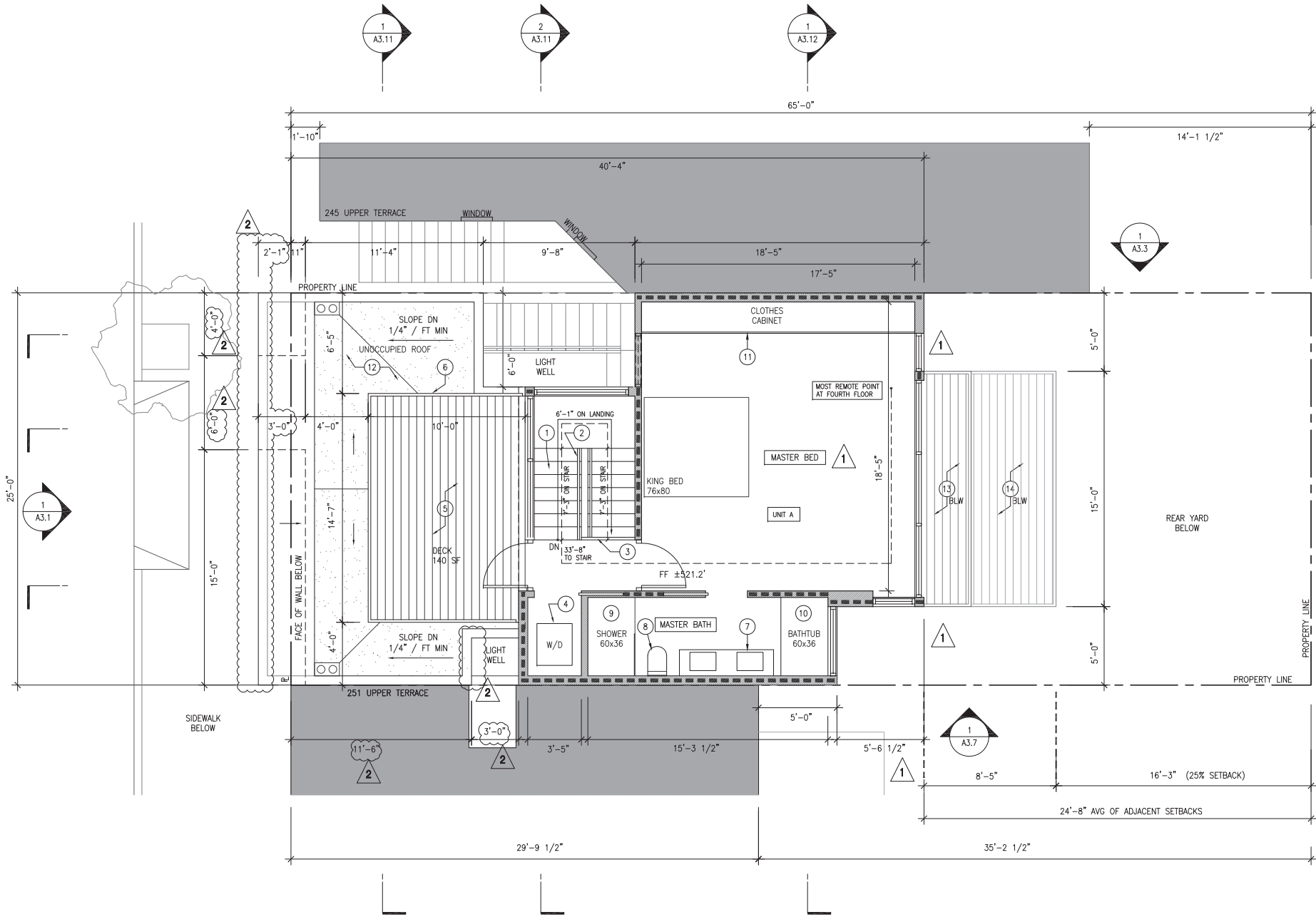
FLOOR FINISHES:

- (S1) STONE TILE FINISH FLOOR
- (W1) WOOD FINISH FLOOR

PROJECT



GRAPHIC SCALE



1 PROPOSED  
FOURTH FLOOR PLAN / 1/4"=1'-0"

KEYNOTES:


- |  |  |                                      |
|--|--|--------------------------------------|
| 1 (N) INTERIOR STAIR W/ 10" TREADS, MAX. 7.75" RISER                                       | 6 (N) TEMPERED GLASS GUARDRAIL, TOP OF RAIL 42" ABV DECK FINISH FLOOR                        | 11 (N) BUILT IN CASEWORK             |
| 2 (N) 1-1/2" O.D. HANDRAIL, TOP OF RAIL 36" ABV STAIR TREAD NOSING                         | 7 (N) DOUBLE VANITY  | 12 (N) MULTIPLE PLY BUILT UP ROOFING |
| 3 (N) GUARDRAIL, TOP OF RAIL 42" ABV. FIN. FLR., LESS THAN 4" CLR. BTWN. GUARDRAIL MEMBERS | 8 (N) TOILET, 1.28 GPF   | 13 (N) DECK BELOW; SEE SHEET A1.4    |
| 4 (N) WASHER/DRYER; DRYER VENT TO EXTERIOR MIN. 4 FEET FROM PROPERTY LINES                 | 9 (N) SHOWER, FULL HEIGHT CERAMIC TILE WALL FINISH AT SHOWER ENCLOSURE, TEMPERED GLASS PANEL | 14 (N) DECK BELOW; SEE SHEET A1.3    |
| 5 (N) ROOF DECK  | 10 (N) BATHTUB   |                                      |



GENERAL NOTES:

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9. MOISTURE RESISTANT GYPSUM BOARD SHALL BE INSTALLED AT WET AREAS.

DRAWING LEGEND:

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- (X) DENOTES EXISTING FIXTURE TO BE REMOVED
- 101 DENOTES DOOR NUMBER
-  DENOTES WINDOW TYPE

Cumby  
Architecture

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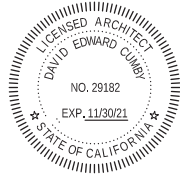
415.

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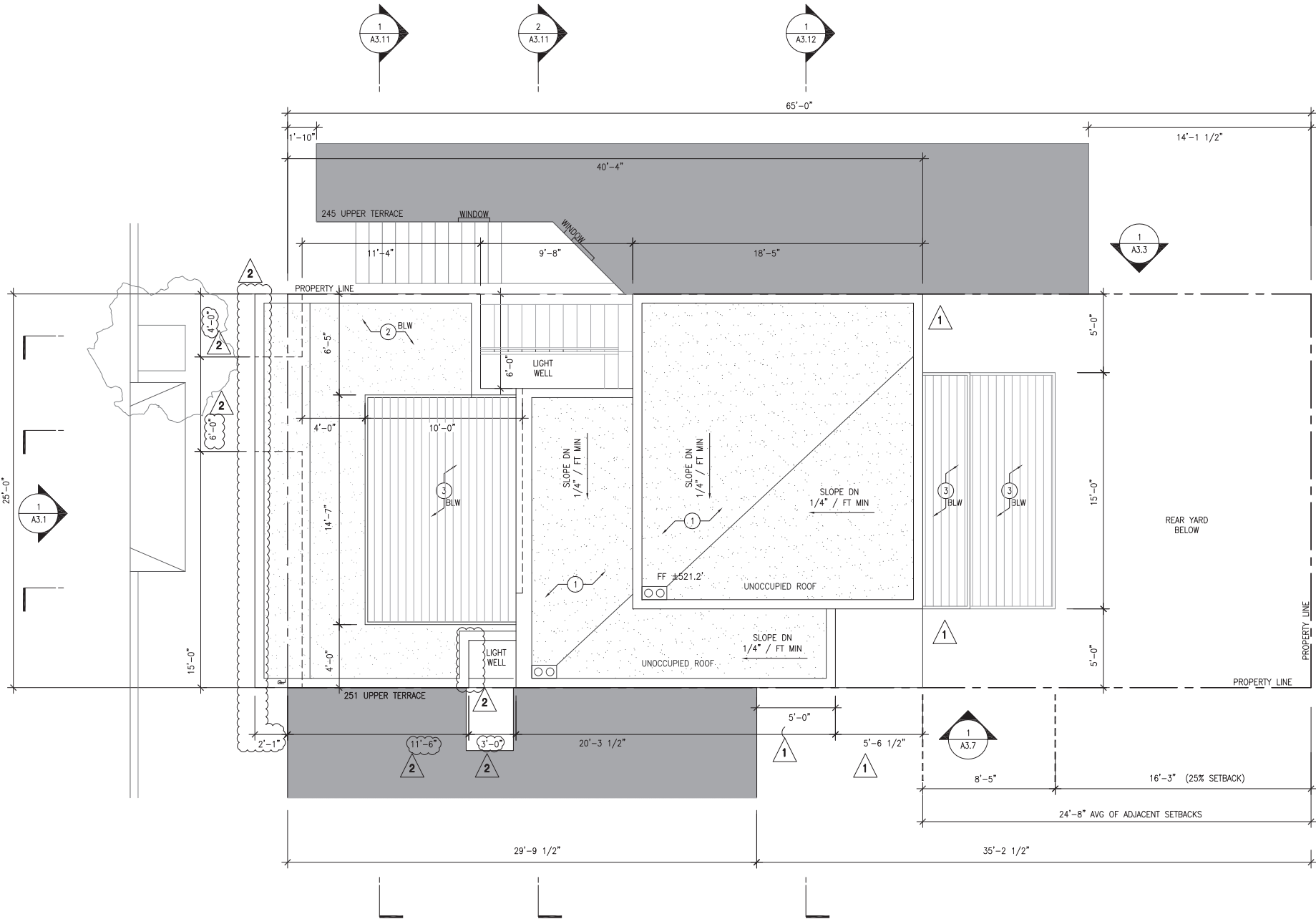
1/4"=1'-0"

TITLE:

PROPOSED  
ROOF  
PLAN

SHEET:

A1.6



1 PROPOSED  
ROOF PLAN / 1/4"=1'-0"

KEYNOTES:

- 1 (N) MULTIPLE PLY BUILT UP ROOFING
- 2 (N) ROOF BELOW
- 3 (N) DECK BELOW

PROJECT







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SCALE:  
TITLE: NTS

MODEL  
IMAGES

SHEET:  
A3.0

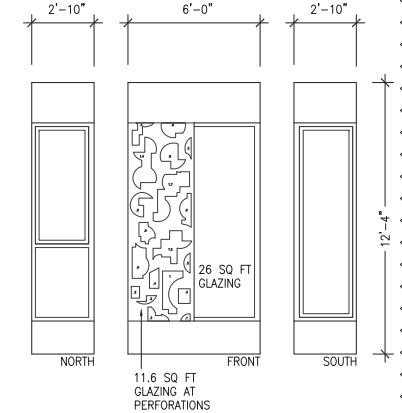
GENERAL NOTES:

1. -

KEYNOTES:

- 1 (E) GARAGE TO BE REMOVED
- 2 (E) WOOD FENCE TO BE REMOVED
- 3 (N) THERMALLY MODIFIED WOOD SIDING, "PARKLEX" OR SIM., FINISH TBD
- 4 (N) STUCCO, SMOOTH TROWEL FINISH
- 5 (N) ALUMINUM REVEAL, PAINTED TO MATCH STUCCO
- 6 (N) ALUMINUM WINDOW, BLACK FRAME, "BLOMBERG T300N" OR SIMILAR
- 7 (N) PERFORATED CUSTOM PANEL
- 8 (N) BAY WINDOW (BEHIND CUSTOM PANEL)
- 9 (N) WOOD DOOR
- 10 (N) ALUMINUM GARAGE DOOR
- 11 (N) CANTILEVERED BALCONY
- 12 (N) TEMPERED GLASS GUARDRAIL, TOP OF RAIL 42" ABV FINISH FLOOR
- 13 (N) STEEL TRIM FRAMING BUILDING ENTRY
- 14 (N) COMPOSITE SIDING
- 15 (N) TEMPERED GLASS GUARDRAIL, TOP OF RAIL 42" ABV FINISH FLOOR, ANGLED BACK TO FACE OF BUILDING

BAY WINDOW GLAZING:



BAY WINDOW GLAZING AREAS:  
BAY FRONT:  
TOTAL SURFACE AREA 74 SQ FT (50% EQUALS 37 SQ FT)  
1/3 OF BAY TOTAL REQUIRED GLAZING AREA 36.3 SQ FT  
BAY FRONT GLAZING AREA 37.6 SQ FT  
BAY SIDE:  
TOTAL SURFACE AREA EACH SIDE 35 SQ FT  
GLAZING AREA EACH SIDE 21 SQ FT

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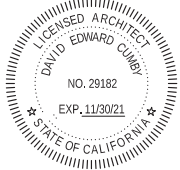
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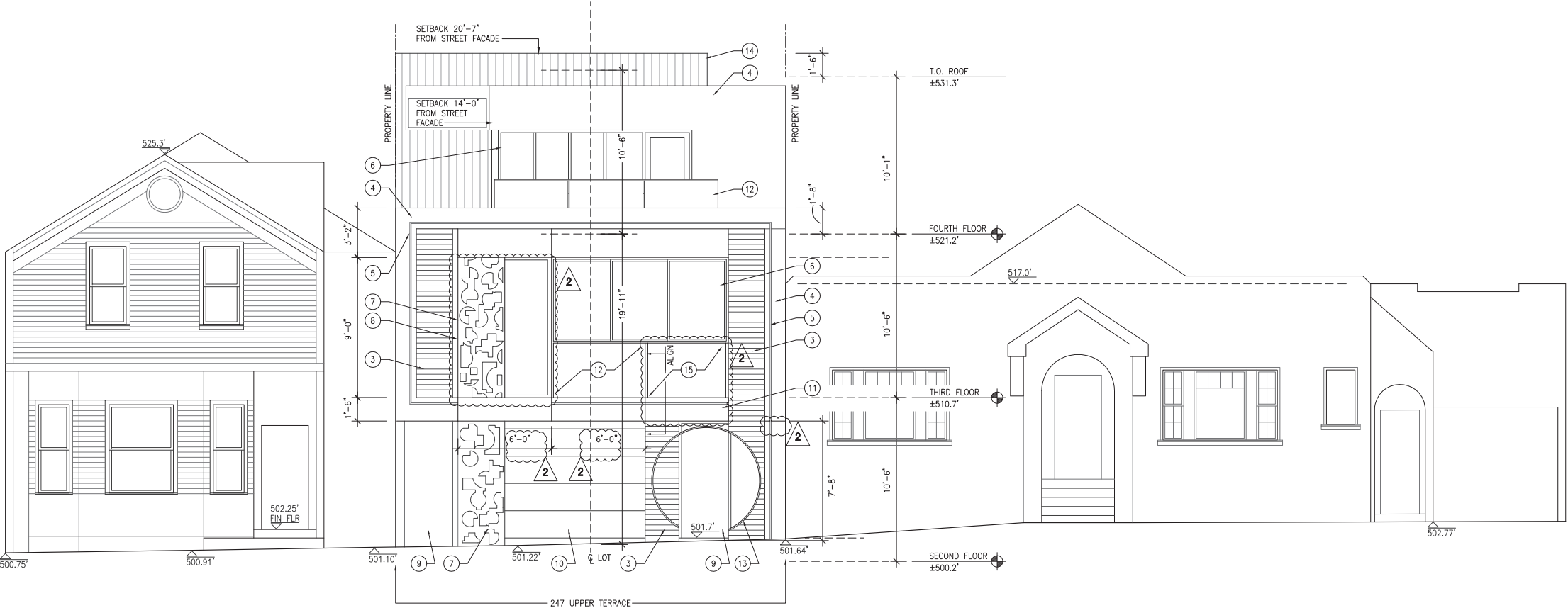
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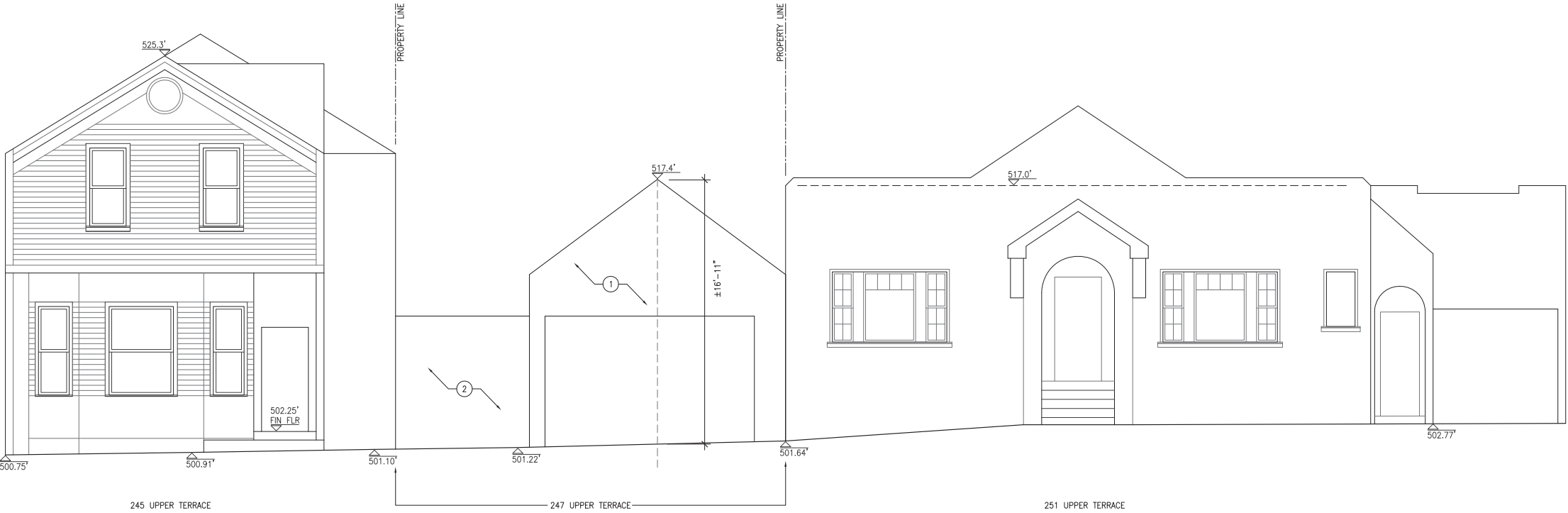


SCALE:  
1/4"=1'-0"  
TITLE:  
EXISTING & PROPOSED STREET ELEVATIONS  
SHEET:

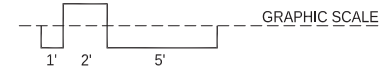
A3.1



2 PROPOSED STREET ELEVATION / 1/4"=1'-0"



1 EXISTING STREET ELEVATION / 1/4"=1'-0"



GENERAL NOTES:

1. -

KEYNOTES:

- ① (E) GARAGE TO BE REMOVED
- ② (E) WOOD FENCE TO BE REMOVED
- ③ (E) WOOD DECK TO BE REMOVED
- ④ (E) CONCRETE SLAB TO BE REMOVED
- ⑤ (E) GRADE LEVEL
- ⑥ (E) DECK AT REAR YARD OF 251 UPPER TERRACE

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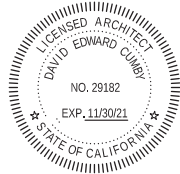
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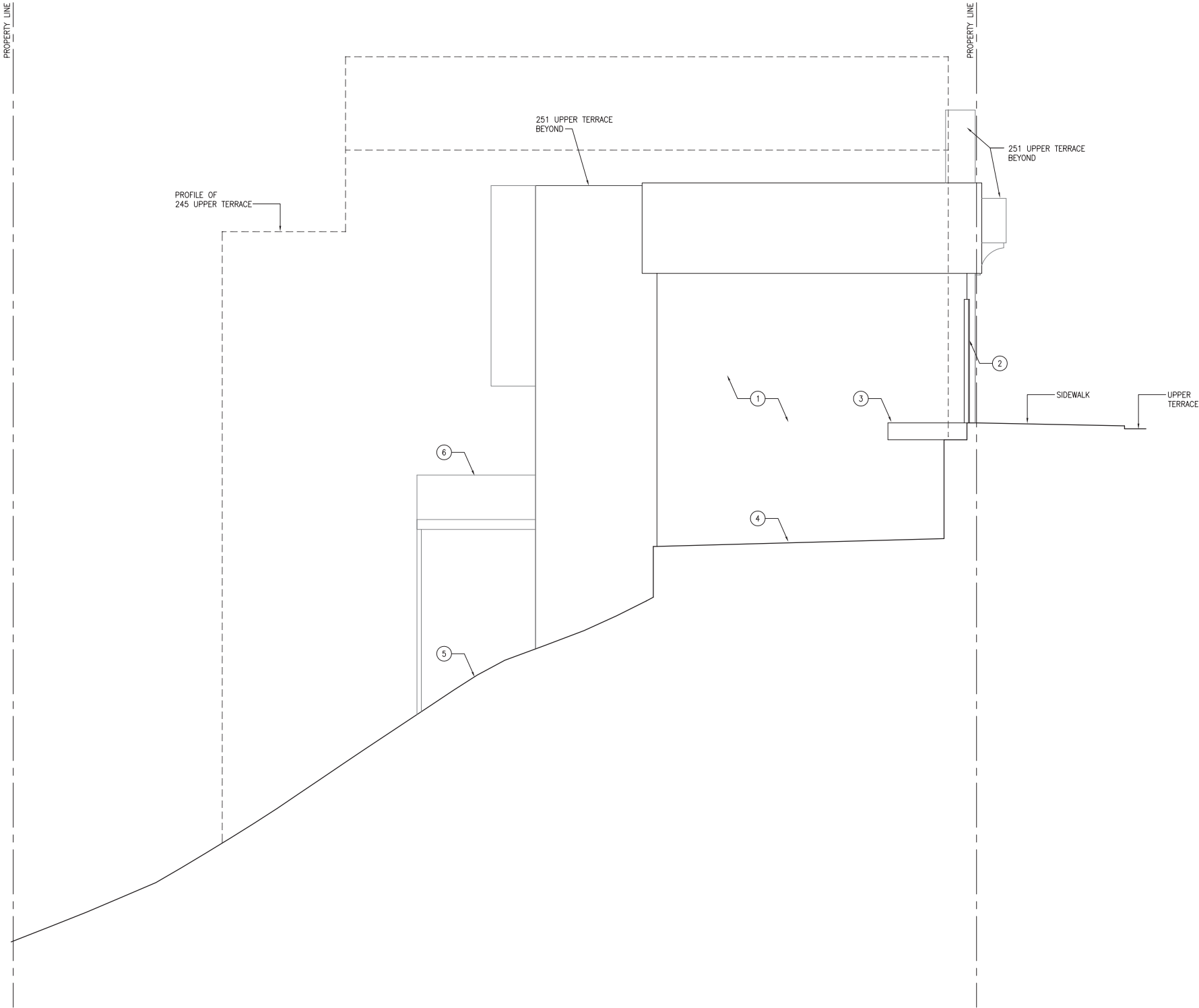
1/4"=1'-0"

TITLE:

EXISTING  
NORTH (SIDE)  
ELEVATION

SHEET:

A3.2



1 EXISTING NORTH (SIDE) ELEVATION / 1/4"=1'-0"





GENERAL NOTES:

1. -

KEYNOTES:

- ① (N) PROPERTY LINE WALL W/ STUCCO, SMOOTH TROWEL FINISH
- ② (N) PROPERTY LINE BLIND WALL
- ③ (N) LIGHT WELL
- ④ (N) STUCCO, SMOOTH TROWEL FINISH
- ⑤ (N) ALUMINUM WINDOW
- ⑥ (N) TRANSLUCENT TEMPERED FIXED GLASS PANEL
- ⑦ (N) BAY WINDOW
- ⑧ (N) TEMPERED GLASS GUARDRAIL, TOP OF RAIL 42" ABV FINISH FLOOR
- ⑨ (N) ROOF DECK
- ⑩ (N) TWO STORY POP-OUT AT REAR YARD
- ⑪ (N) ROOF DECK ON POP-OUT AT REAR YARD
- ⑫ (N) COMPOSITE SIDING
- ⑬ (E) WINDOW ON NEIGHBORING PROPERTY (245 UPPER TERRACE)

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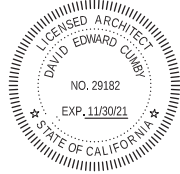
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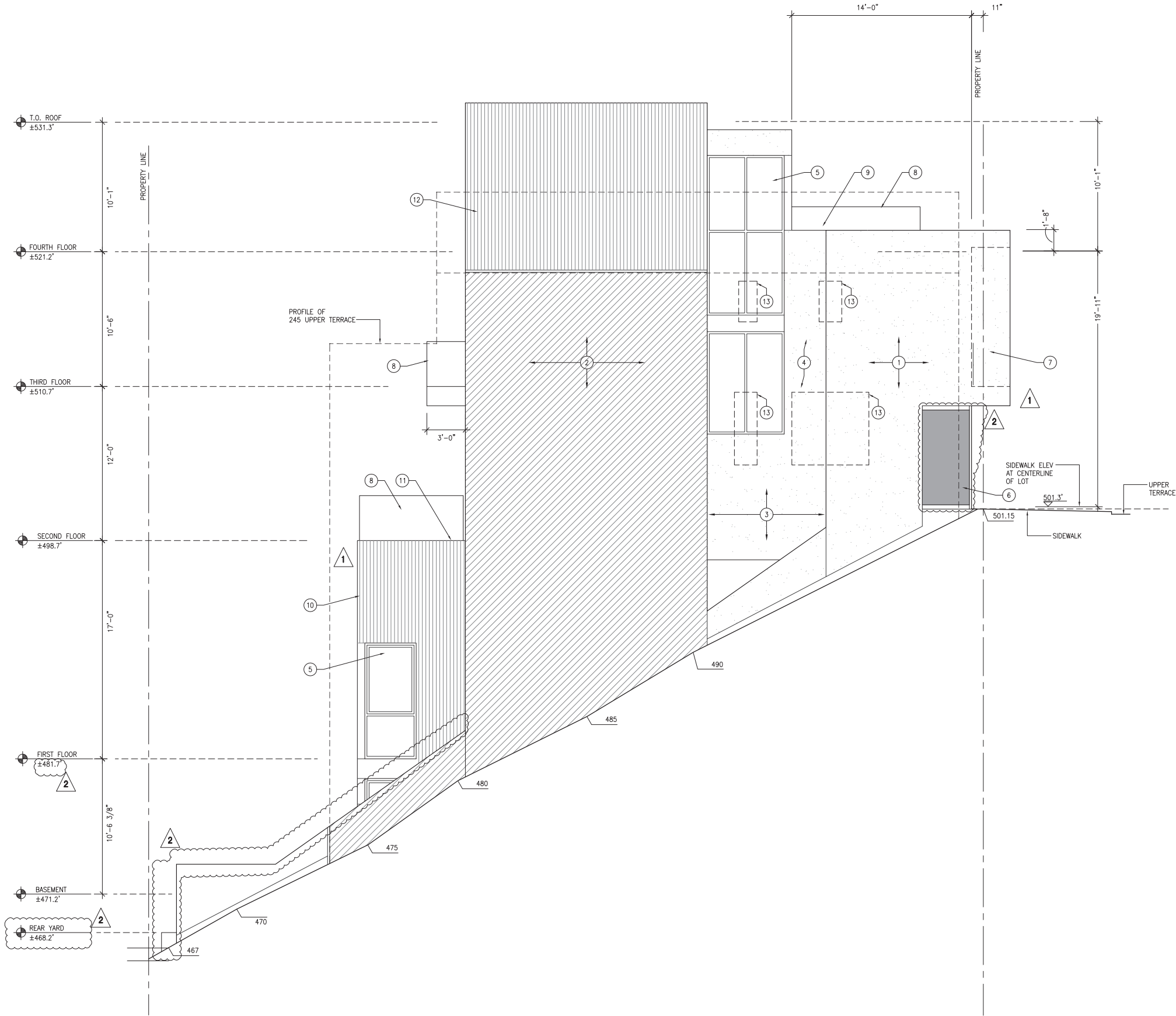
1/4"=1'-0"

TITLE:

PROPOSED  
NORTH (SIDE)  
ELEVATION

SHEET:

A3.3



GENERAL NOTES:

1. XXXX

KEYNOTES:

- ① (E) GARAGE TO BE REMOVED
- ② (E) WOOD FENCE TO BE REMOVED

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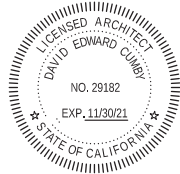
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DBI STAMP:



SCALE:

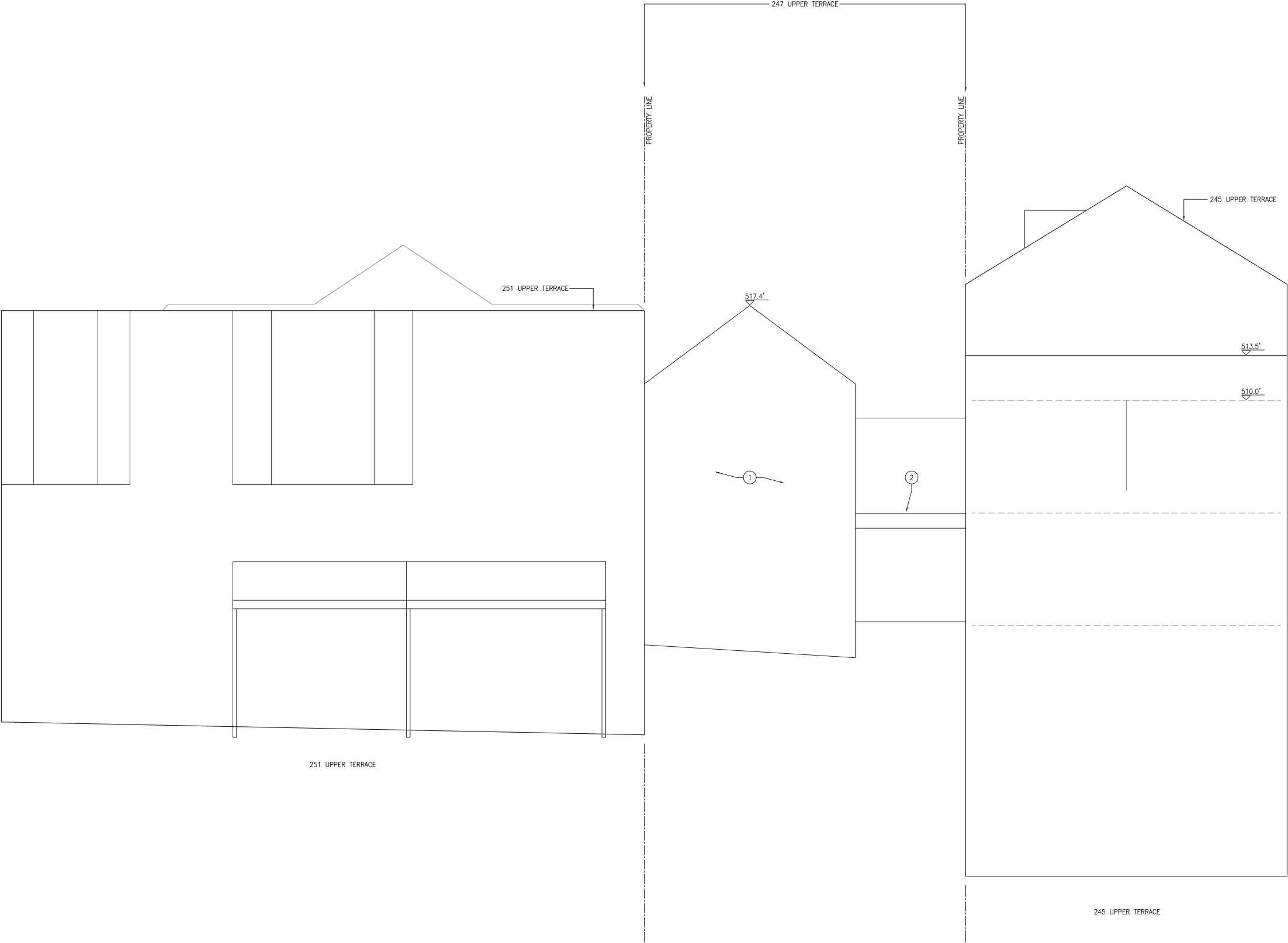
1/4"=1'-0"

TITLE:

EXISTING  
EAST (REAR YARD)  
ELEVATION

SHEET:

A3.4



GENERAL NOTES:

1. -

KEYNOTES:

- 1 (N) ALUMINUM WINDOW; BLACK FRAME, "BLOMBERG T300N" OR SIMILAR
- 2 (N) ALUMINUM SLIDING GLASS DOOR; BLACK FRAME, "BLOMBERG SLD" OR SIMILAR
- 3 (N) POP-OUT AT REAR YARD
- 4 (N) ROOF DECK ON POP-OUT AT REAR YARD
- 5 (N) CANTILEVERED BALCONY
- 6 (N) TEMPERED GLASS GUARDRAIL, TOP OF RAIL 42" ABV FINISH FLOOR
- 7 (N) ALUMINUM FASCIA PANEL; COLOR TO MATCH WINDOW FRAMES
- 8 (N) ALUMINUM INFILL PANEL; COLOR TBD (HATCHED AREA)
- 9 (N) CONCRETE STAIR
- 10 (N) 1-HOUR RATED WALL AT STAIR; TOP OF WALL MIN. 36" ABV STAIR TREAD NOSING; MIN. 42" ABV FINISH FLOOR AT STAIR LANDING
- 11 (N) CONCRETE RETAINING WALL
- 12 (N) STUCCO
- 13 (N) GALV STL GUARDRAIL, TOP OF RAIL 42" ABV FINISH FLOOR/YARD LEVEL; LESS THAN 4" CLR. BTWN GUARDRAIL MEMBERS, TYP.

Cumby  
Architecture

2325 Third Street, Suite 401  
San Francisco, CA 94107  
Tel 415.505.1536  
Email david@cumbyarchitecture.com  
Web www.cumbyarchitecture.com

PROJECT/CLIENT:

New Residential Building  
247 Upper Terrace  
San Francisco, CA 94117

Sarah Cooper and Michael McNabb  
245 Upper Terrace  
San Francisco, CA 94117

415.

Site Permit

ISSUE/DATE:

Site Permit	8-17-2020
1 Plan Check 1	4-29-2021
2 Plan Check 2	9-14-2021

DBI STAMP:



SCALE:

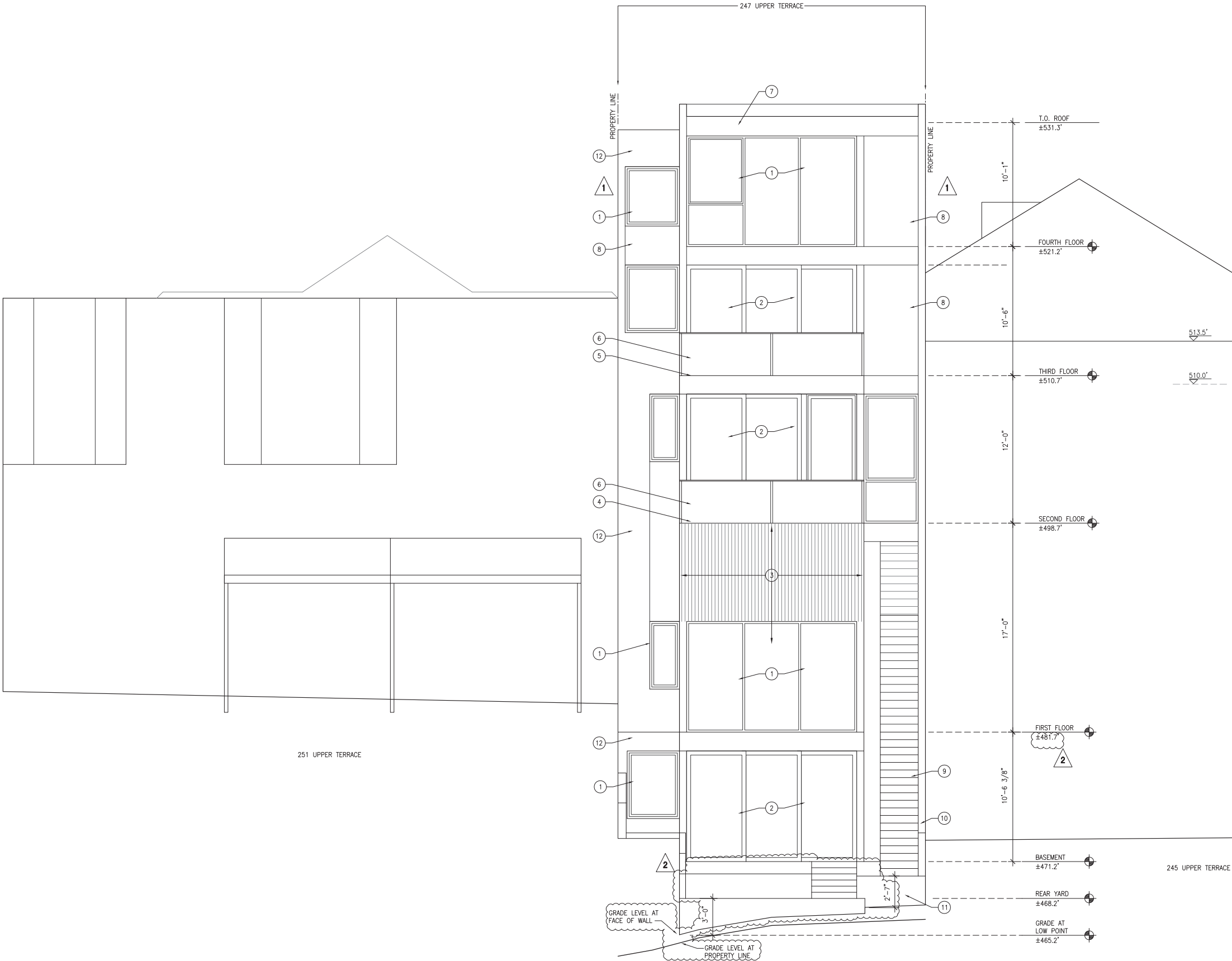
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TITLE:

PROPOSED  
EAST (REAR YARD)  
ELEVATION

SHEET:

A3.5

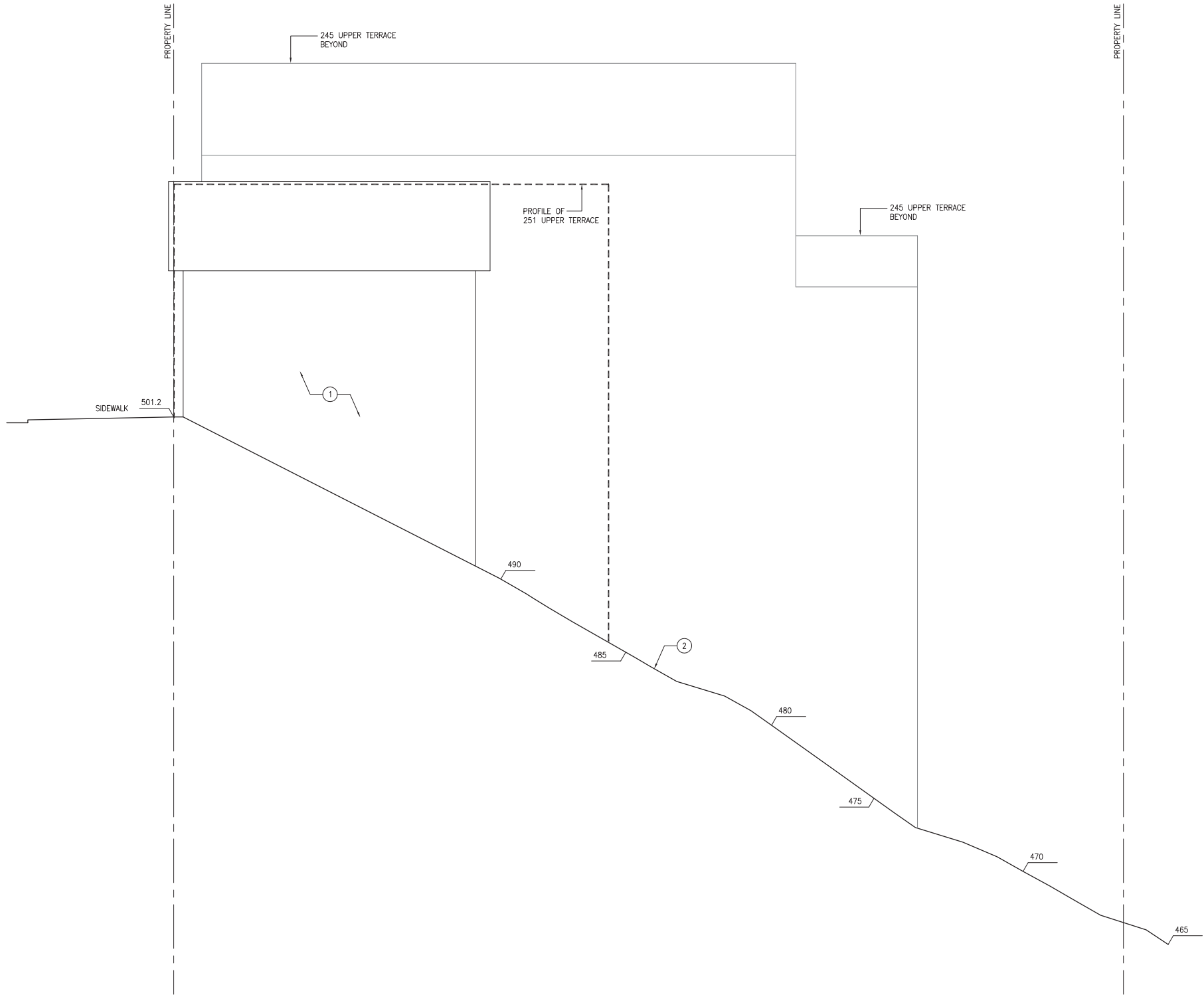


GENERAL NOTES:

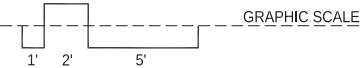
1. XXXX

KEYNOTES:

- ① (E) GARAGE TO BE REMOVED
- ② (E) GRADE LEVEL



1 EXISTING SOUTH (SIDE) ELEVATION / 1/4"=1'-0"



GRAPHIC SCALE

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Architecture

2325 Third Street, Suite 401  
San Francisco, CA 94107  
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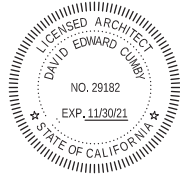
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DBI STAMP:



SCALE:

1/4"=1'-0"

TITLE:

EXISTING  
SOUTH (SIDE)  
ELEVATION

SHEET:

A3.6

GENERAL NOTES:

1. XXXX

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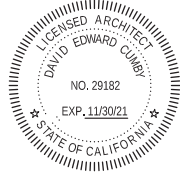
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DBI STAMP:



SCALE:

1/4"=1'-0"

TITLE:

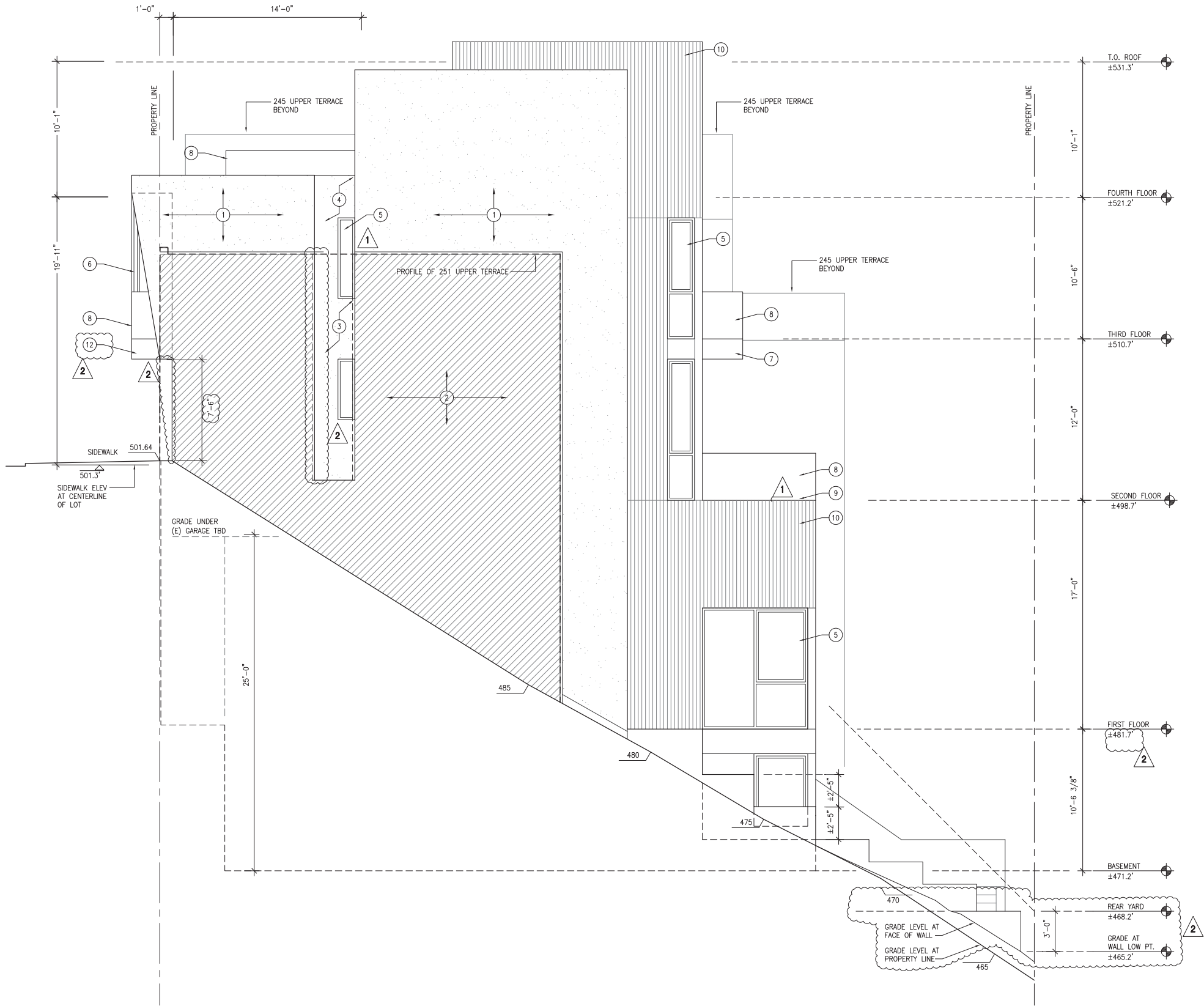
PROPOSED  
SOUTH (SIDE)  
ELEVATION

SHEET:

A3.7

KEYNOTES:

- 1 (N) PROPERTY LINE WALL W/ STUCCO, SMOOTH TROWEL FINISH
- 2 (N) PROPERTY LINE BLIND WALL
- 3 (N) LIGHT WELL
- 4 (N) STUCCO, SMOOTH TROWEL FINISH
- 5 (N) ALUMINUM WINDOW
- 6 (N) BAY WINDOW
- 7 (N) CANTILEVERED BALCONY
- 8 (N) TEMPERED GLASS GUARDRAIL, TOP OF RAIL 42" ABV FINISH FLOOR
- 9 (N) ROOF DECK ON POP-OUT AT REAR YARD
- 10 (N) COMPOSITE SIDING
- 11 (N) CONCRETE RETAINING WALL
- 12 (N) PROJECTION OVER ENTRY



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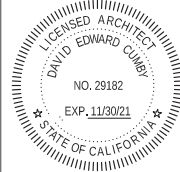
415.

Site Permit

ISSUE/DATE:

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2 Plan Check 2	9-14-2021

DBI STAMP:



SCALE:  
TITLE: 1/4"=1'-0"

PROPOSED  
BUILDING  
SECTION

SHEET:

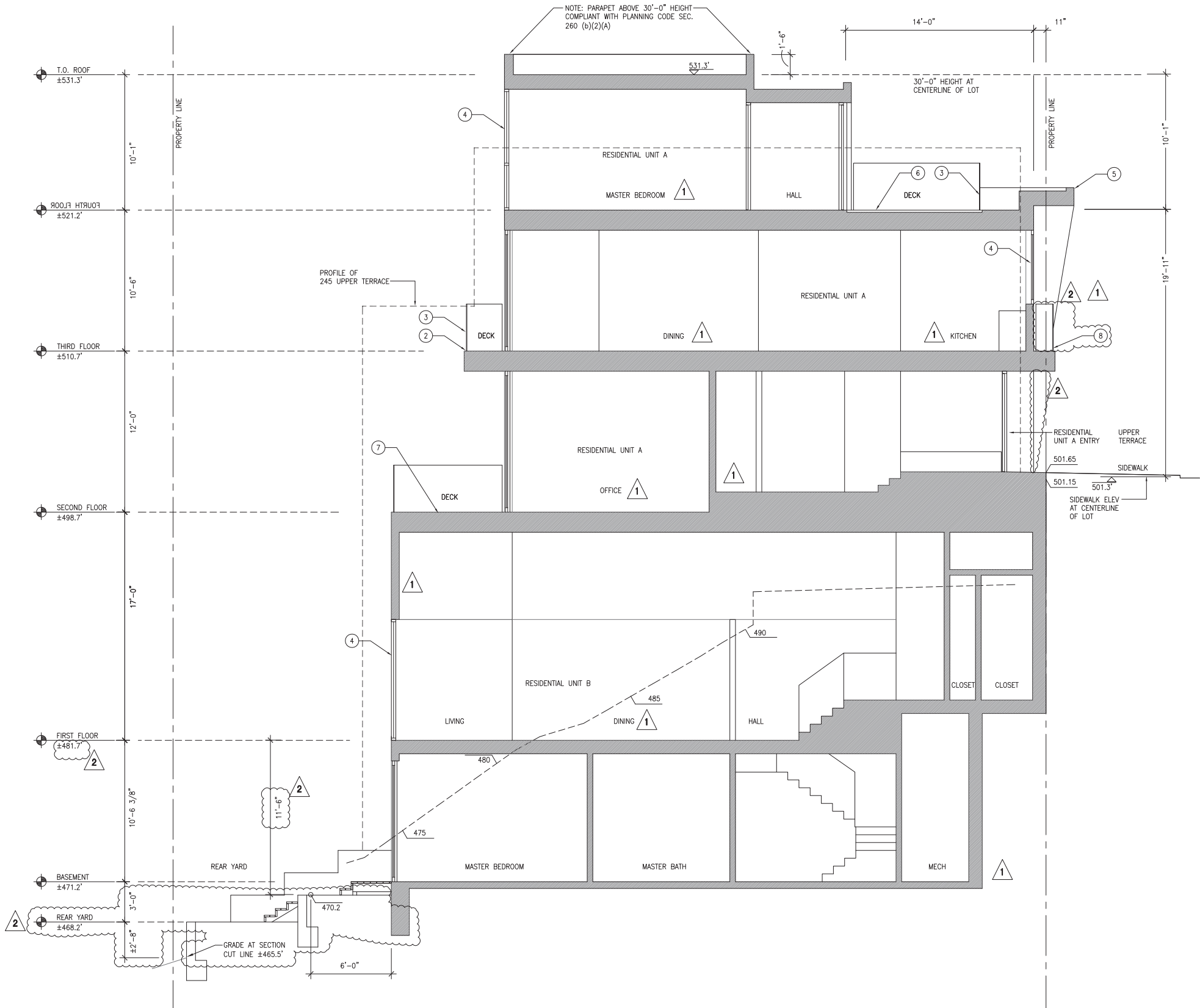
A3.8

GENERAL NOTES:

1. -

KEYNOTES:

- 1 (N) GARAGE DOOR
- 2 (N) CANTILEVERED BALCONY
- 3 (N) TEMPERED GLASS GUARDRAIL, TOP OF RAIL 42" ABV FINISH FLOOR
- 4 (N) ALUMINUM WINDOW
- 5 (N) PROJECTING CAP AT TOP OF STREET FACADE
- 6 (N) ROOF DECK
- 7 (N) ROOF DECK ON POP-OUT AT REAR YARD
- 8 (N) TEMPERED GLASS GUARDRAIL, TOP OF RAIL 42" ABV FINISH FLOOR; ANGLED BACK TO FACE OF BUILDING



1 PROPOSED LONGITUDINAL BUILDING SECTION / 1/4"=1'-0"



GENERAL NOTES:

1. -

KEYNOTES:

- ① (N) GARAGE DOOR
- ② (N) CANTILEVERED BALCONY
- ③ (N) TEMPERED GLASS GUARDRAIL, TOP OF RAIL 42" ABV FINISH FLOOR
- ④ (N) ALUMINUM WINDOW
- ⑤ (N) BAY WINDOW
- ⑥ (N) PERFORATED CUSTOM PANEL
- ⑦ (N) PROJECTING CAP AT TOP OF STREET FACADE
- ⑧ (N) ROOF DECK
- ⑨ (N) ROOF DECK ON POP-OUT AT REAR YARD

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② Plan Check 2	9-14-2021

DBI STAMP:



SCALE:

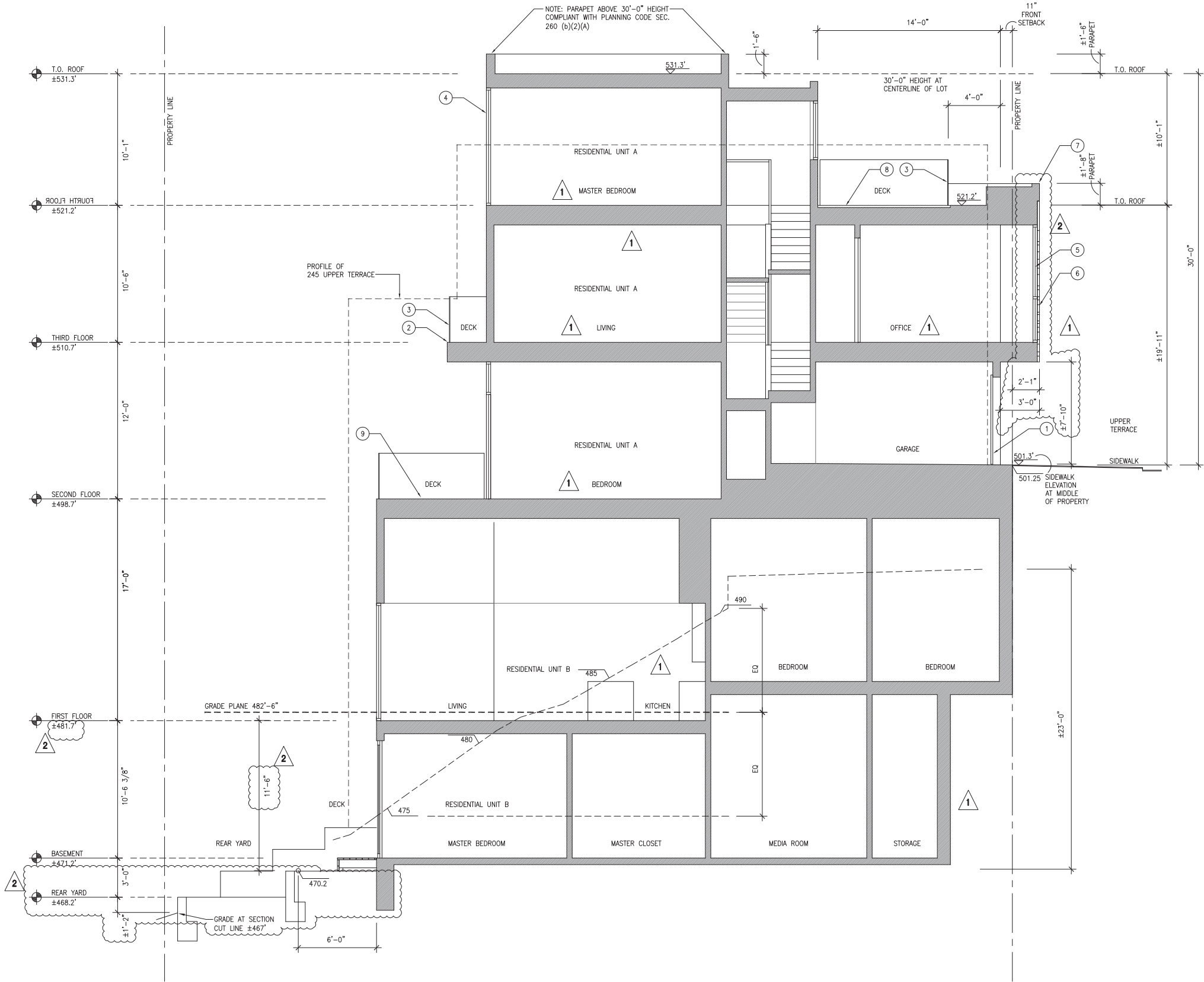
1/4"=1'-0"

TITLE:

PROPOSED  
BUILDING  
SECTION

SHEET:

A3.9



1 PROPOSED LONGITUDINAL BUILDING SECTION / 1/4"=1'-0"



GENERAL NOTES:

1. -

KEYNOTES:

- 1 (N) GATE
- 2 (N) CANTILEVERED BALCONY
- 3 (N) TEMPERED GLASS GUARDRAIL, TOP OF RAIL 42" ABV FINISH FLOOR
- 4 (N) ALUMINUM WINDOW
- 5 (N) BAY WINDOW
- 6 (N) PERFORATED CUSTOM PANEL
- 7 (N) PROJECTING CAP AT TOP OF STREET FACADE
- 8 (N) ROOF DECK
- 9 (N) ROOF DECK ON POP-OUT AT REAR YARD
- 10 (N) CONCRETE STAIR
- 11 (N) PROJECTION OVER ENTRY

Cumby  
Architecture

2325 Third Street, Suite 401  
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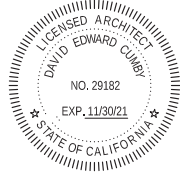
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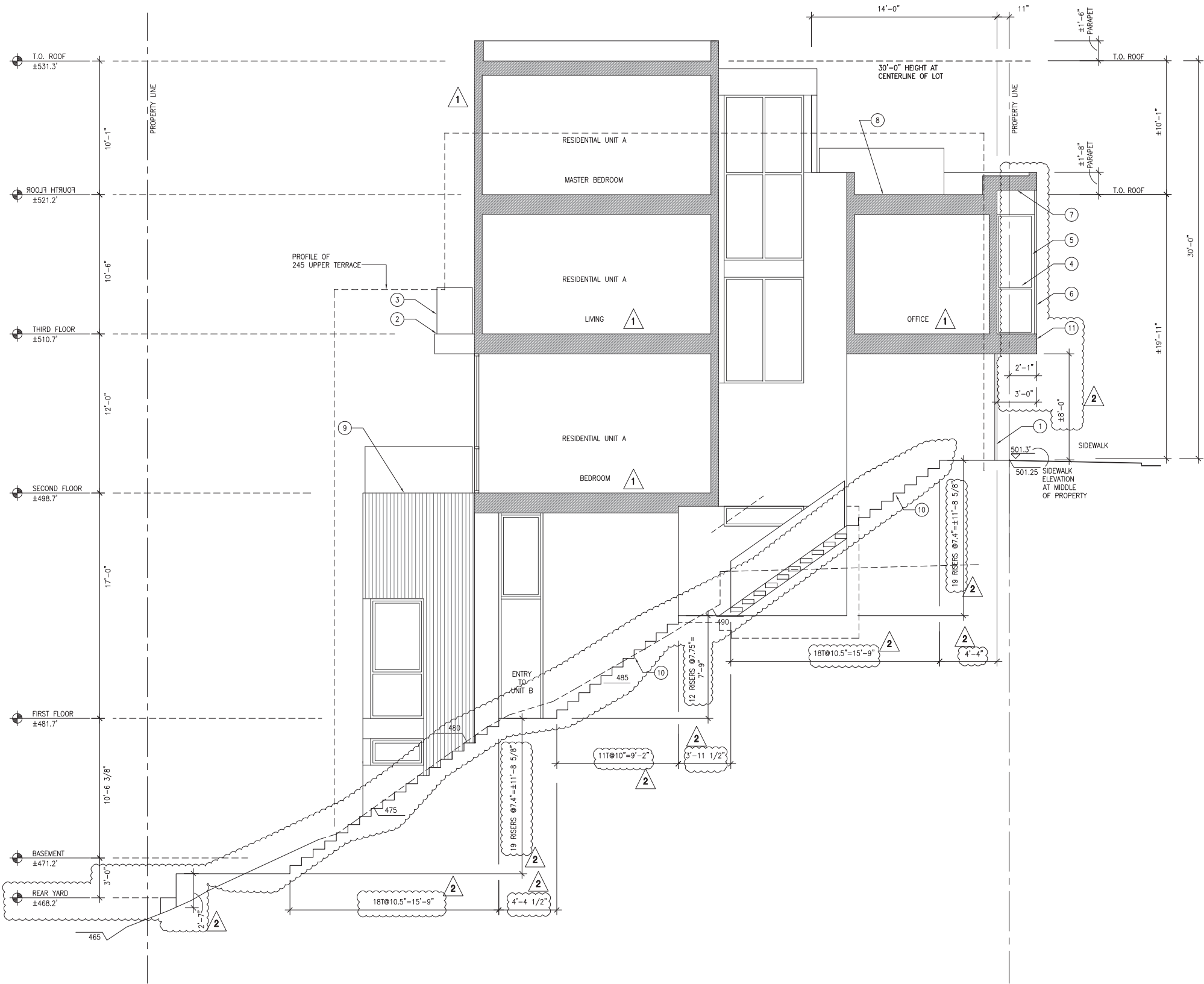
DBI STAMP:



SCALE:  
1/4"=1'-0"

TITLE:  
PROPOSED  
BUILDING  
SECTION  
SHEET:

A3.10



1 PROPOSED LONGITUDINAL BUILDING SECTION / 1/4"=1'-0"





GENERAL NOTES:

1. -

KEYNOTES:

- ① (N) ROOF DECK
- ② (N) TEMPERED GLASS GUARDRAIL, TOP OF RAIL 42" ABV FINISH FLOOR
- ③ (N) ALUMINUM WINDOW
- ④ (N) LIGHT WELL

Cumby Architecture

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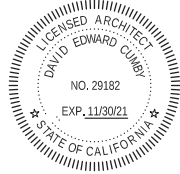
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DBI STAMP:



SCALE:

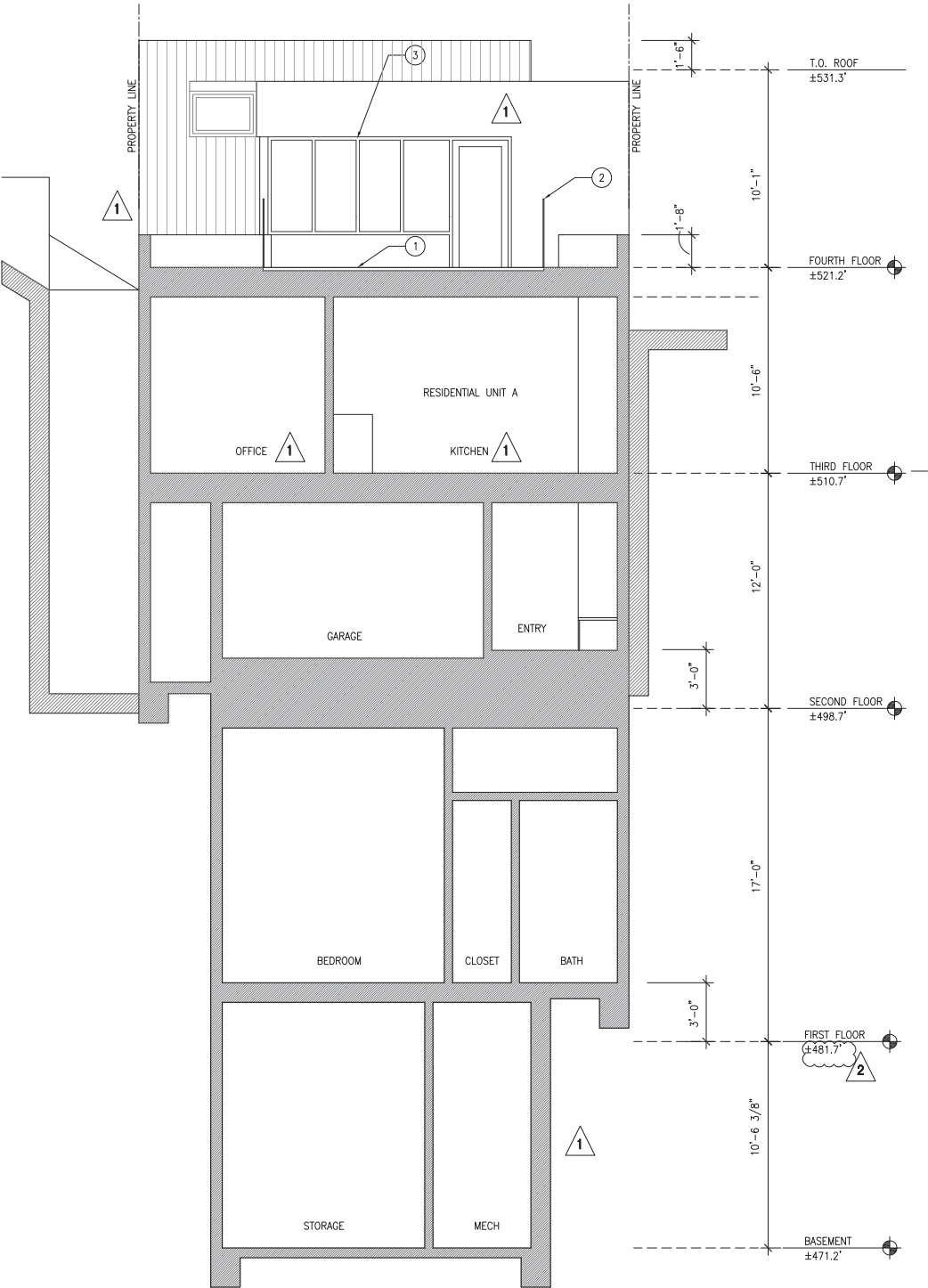
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TITLE:

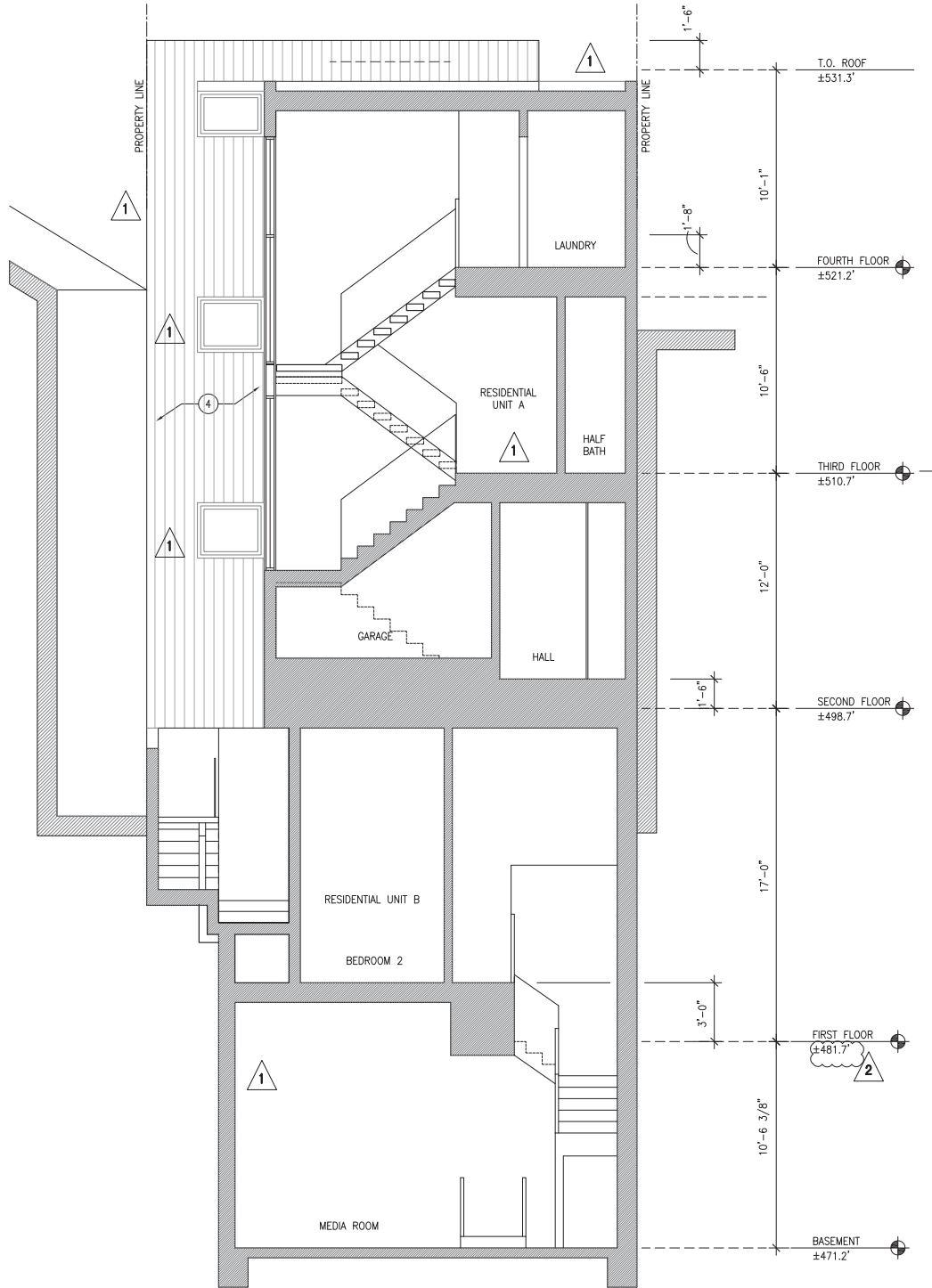
PROPOSED  
BUILDING CROSS  
SECTIONS

SHEET:

A3.11



1 PROPOSED BUILDING CROSS SECTION / 1/4"=1'-0"



2 PROPOSED BUILDING CROSS SECTION / 1/4"=1'-0"

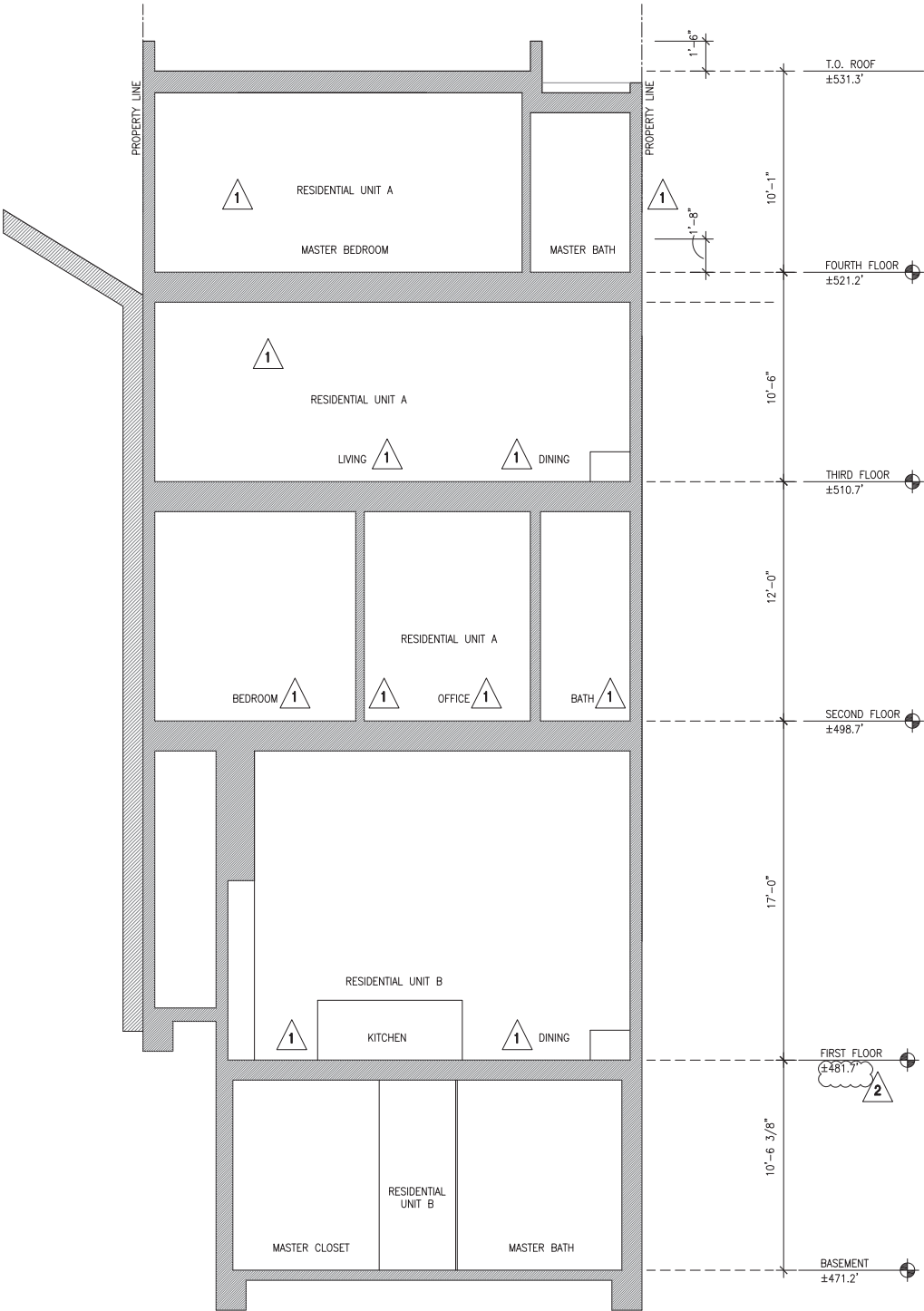


GENERAL NOTES:

1. -

KEYNOTES:

① -



1 PROPOSED BUILDING CROSS SECTION / 1/4"=1'-0"



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2325 Third Street, Suite 401  
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DBI STAMP:



SCALE:

1/4"=1'-0"

TITLE:

PROPOSED  
BUILDING CROSS  
SECTION

SHEET:

A3.12



## CEQA Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

<b>Project Address</b>		<b>Block/Lot(s)</b>
247 UPPER TER		2628045
<b>Case No.</b>		<b>Permit No.</b>
2020-009146ENV		202009224673
<input type="checkbox"/> <b>Addition/ Alteration</b>	<input type="checkbox"/> <b>Demolition (requires HRE for Category B Building)</b>	<input checked="" type="checkbox"/> <b>New Construction</b>
<b>Project description for Planning Department approval.</b> The project sponsor proposes the demolition of an existing garage structure and construction of a new four-story over basement, two-unit residential building with one-street vehicular parking space.		

### STEP 1: EXEMPTION TYPE

<b>The project has been determined to be exempt under the California Environmental Quality Act (CEQA).</b>	
<input checked="" type="checkbox"/>	<b>Class 1 - Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	<b>Class 3 - New Construction.</b> Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<b>Class 32 - In-Fill Development.</b> New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. <b>FOR ENVIRONMENTAL PLANNING USE ONLY</b>
<input type="checkbox"/>	<b>Other</b> ____
<input type="checkbox"/>	<b>Common Sense Exemption (CEQA Guidelines section 15061(b)(3)).</b> It can be seen with certainty that there is no possibility of a significant effect on the environment . <b>FOR ENVIRONMENTAL PLANNING USE ONLY</b>

## STEP 2: ENVIRONMENTAL SCREENING ASSESSMENT

### TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<p><b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g. use of diesel construction equipment, backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to <i>The Environmental Information tab on the San Francisco Property Information Map</i>)</p>
<input type="checkbox"/>	<p><b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?</p> <p><b>Note that a categorical exemption shall not be issued for a project located on the Cortese List if box is checked, note below whether the applicant has enrolled in or received a waiver from the San Francisco Department of Public Health (DPH) Maher program, or if Environmental Planning staff has determined that hazardous material effects would be less than significant. (refer to <i>The Environmental Information tab on the San Francisco Property Information Map</i>)</b></p>
<input type="checkbox"/>	<p><b>Transportation:</b> Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input checked="" type="checkbox"/>	<p><b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? If yes, archeology review is required.</p>
<input type="checkbox"/>	<p><b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to <i>The Environmental Information tab on the San Francisco Property Information Map</i>) If box is checked, Environmental Planning must issue the exemption.</p>
<input checked="" type="checkbox"/>	<p><b>Average Slope of Parcel = or &gt; 25%, or site is in Edgehill Slope Protection Area or Northwest Mt. Sutro Slope Protection Area:</b> Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, or (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area? (refer to <i>The Environmental Planning tab on the San Francisco Property Information Map</i>) If box is checked, a geotechnical report is likely required and Environmental Planning must issue the exemption.</p>
<input checked="" type="checkbox"/>	<p><b>Seismic Hazard:</b> <input checked="" type="checkbox"/> <b>Landslide or</b> <input type="checkbox"/> <b>Liquefaction Hazard Zone:</b></p> <p>Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area, or (4) grading performed at a site in the landslide hazard zone? (refer to <i>The Environmental tab on the San Francisco Property Information Map</i>) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<p><b>Comments and Planner Signature (optional):</b> Don Lewis</p> <p>Planning department staff archeologist cleared the project with no potential effects on 11/23/2020.</p> <p>A preliminary geotechnical report was prepared by Geotecnia (dated 2/19/2021). The project's structural drawings would be reviewed by the building department, where it would be determined if further geotechnical review and technical reports are required.</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE**  
**TO BE COMPLETED BY PROJECT PLANNER**

<b>PROPERTY IS ONE OF THE FOLLOWING:</b> <i>(refer to Property Information Map)</i>	
<input type="checkbox"/>	<b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>
<input checked="" type="checkbox"/>	<b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>
<input type="checkbox"/>	<b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b>

**STEP 4: PROPOSED WORK CHECKLIST**  
**TO BE COMPLETED BY PROJECT PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. <b>Change of use and new construction.</b> Tenant improvements not included.
<input type="checkbox"/>	2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input checked="" type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: ADVANCED HISTORICAL REVIEW**  
**TO BE COMPLETED BY PRESERVATION PLANNER**

<b>Check all that apply to the project.</b>	
<input checked="" type="checkbox"/>	1. <b>Reclassification of property status.</b> <i>(Attach HRER Part I)</i> <div style="display: flex; justify-content: space-between; align-items: flex-start;"> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category A  a. Per HRER 03/23/2021  b. Other <i>(specify)</i>: </div> <div style="width: 45%; text-align: right;"> <input checked="" type="checkbox"/> Reclassify to Category C  <i>(No further historic review)</i> </div> </div>
<input type="checkbox"/>	2. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	3. <b>Interior alterations to publicly accessible spaces that do not</b> remove, alter, or obscure <b>character defining features.</b>
<input type="checkbox"/>	4. <b>Window replacement</b> of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	5. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.

<input type="checkbox"/>	6. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	7. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	8. <b>Work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (Analysis required):
<input type="checkbox"/>	9. <b>Work compatible</b> with a historic district (Analysis required):
<input type="checkbox"/>	10. <b>Work that would not materially impair</b> a historic resource (Attach HRER Part II).
<b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.</b>	
<input checked="" type="checkbox"/>	<b>Project can proceed with exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with exemption review. <b>GO TO STEP 6.</b>
<b>Comments (optional):</b>	
<b>Preservation Planner Signature:</b> Charles Enchill	

**STEP 6: EXEMPTION DETERMINATION**  
**TO BE COMPLETED BY PROJECT PLANNER**

<input checked="" type="checkbox"/>	<b>No further environmental review is required. The project is exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.</b>	
	<b>Project Approval Action:</b>	<b>Signature:</b>
	Planning Commission Hearing	Charles Enchill
		03/25/2021
<p>Once signed or stamped and dated, this document constitutes an exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination to the Board of Supervisors can only be filed within 30 days of the project receiving the approval action.</p> <p>Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.</p>		

## STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

### TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a “substantial modification” and, therefore, be subject to additional environmental review pursuant to CEQA.

### MODIFIED PROJECT DESCRIPTION

Modified Project Description:

### DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

- |                          |  |
|--------------------------|--|
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code;   |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312;  |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)?   |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |

**If at least one of the above boxes is checked, further environmental review is required.**

### DETERMINATION OF NO SUBSTANTIAL MODIFICATION

- |                          |   |
|--------------------------|---|
| <input type="checkbox"/> | The proposed modification would not result in any of the above changes. |
|--------------------------|---|

If this box is checked, the proposed modifications are exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed to the Environmental Review Officer within 10 days of posting of this determination.

**Planner Name:**

**Date:**



## PART I Historic Resource Evaluation Response

**Record No.:** 2020-009146ENV  
**Project Address:** 247 Upper Terrace  
**Zoning:** RH-2 - Residential- House, Two Family Zoning District  
40-X Height and Bulk District  
**Block/Lot:** 2628/062  
**Staff Contact:** Charles Enchill- 628-652-7551  
charles.enchill@sfgov.org

### PART I: Historic Resource Evaluation

#### PROJECT SPONSOR SUBMITTAL

To assist in the evaluation of the proposed project, the Project Sponsor has submitted a:

- ☒ Supplemental Information for Historic Resource Determination Form (HRD)
  - ☐ Consultant-prepared Historic Resource Evaluation (HRE)
- Prepared by: Authorized Agent David Penn (November, 2020)

#### BUILDINGS AND PROPERTY DESCRIPTION

The subject property is developed with a one-story front-gable garage building with below grade basement, constructed circa 1911. The garage exterior consists of horizontal wood siding and a wood-paneled garage door. As discussed in more detail below, the garage building is associated with the adjacent property to the northeast, 245 Upper Terrace. The adjacent property is developed with a two-story residence constructed circa 1907 (Spring Valley Water Tap record), but the two buildings have always been on separate lots.



## EXISTING PROPERTY PHOTOS / CURRENT CONDITIONS



245 Upper Terrace (left) and 247 Upper Terrace (right)  
Sources: HRD 2020

## PRE-EXISTING HISTORIC RATING / SURVEY

- ☐ Category A – Known Historic Resource, per: \_\_\_\_\_
- ☒ Category B – Age Eligible/Historic Status Unknown
- ☐ Category C – Not Age Eligible / No Historic Resource Present, per: \_\_\_\_\_

Adjacent or Nearby Historic Resources: ☒ No ☐ Yes: \_\_\_\_\_

## CEQA HISTORICAL RESOURCE(S) EVALUATION

### Step A: Significance

Individual Significance	Historic District / Context Significance
<p>Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:</p> <p><b>Criterion 1</b> - Event: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><b>Criterion 2</b> - Persons: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><b>Criterion 3</b> - Architecture: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><b>Criterion 4</b> - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Period of Significance: N/A</p>	<p>Property is eligible for inclusion in a California Register Historic District/Context under one or more of the following Criteria:</p> <p><b>Criterion 1</b> - Event: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><b>Criterion 2</b> - Persons: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><b>Criterion 3</b> - Architecture: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><b>Criterion 4</b> - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Period of Significance: <input type="checkbox"/> Contributor <input type="checkbox"/> Non-Contributor <input checked="" type="checkbox"/> N/A</p>

### Analysis:

According to the Supplemental Application Form prepared by David Penn (dated November 2020), and information accessed by the Planning Department, the subject property at 247 Upper Terrace (formerly 249 Upper Terrace) does not appear historically or architecturally significant such that the property would rise to a level of individual eligibility. No historic events are known to be associated with the property (Criterion 1). The garage was constructed to serve the adjacent two-story residence to the northeast (245 Upper Terrace), however, this auxiliary building always remaining on a separate lot and does not appear to be a significant features of the adjacent property. The original owner of the garage was carpenter Samuel H. Johns (Water Tap Records). A successful painter, Paul Carey

(1904-2001), did reside at the adjacent residence (245 Upper Terrace) for unknown duration until 1989. The large body of Carey's work included Bay Area landscapes. At 10, Paul learned to paint from his neighbor John Stanton, then dean of painting at the Hopkins Institute in San Francisco. He later enrolled at the California School of Fine Arts in San Francisco (presently San Francisco Art Institute). Among his extensive career, he briefly worked at the San Francisco Call-Bulletin as an artist and also art director at McGraw Hill (SF Gate Article). Nonetheless, there is no indication that the subject property's garage was used by Carey or any of the other owners and occupants (at 245 Upper Terrace) than for its original garage use, therefore is ineligible under Criterion 2 (persons). The existing garage was constructed circa 1911 by unknown architect and builder. It is plausible it was constructed by the carpenter and owner, Samuel H. Johns, as an accessory structure. However, the wood-frame, front-gable garage, does not contain high artistic or architectural value nor is it associated with a master builder or architect. Therefore, the property is ineligible under Criterion 3 (architecture). The property is not associated with rarity of construction (Criterion 4). Archeological assessment is outside the scope of this review. This portion of Upper Terrace does not contain concentrations of historically or architecturally unified buildings such that it would rise to the level of an eligible historic district.

### CEQA HISTORIC RESOURCE DETERMINATION

- ☐ Individually-eligible Historical Resource Present  
☐ Contributor to an eligible Historical District / Contextual Resource Present  
☐ Non-contributor to an eligible Historic District / Context / Cultural District  
☒ No Historical Resource Present

### NEXT STEPS

- ☐ HRER Part II Review Required  
☐ Historic Design Review Comments provided  
☒ No further historic resource review, consult:
  - ☒ Current Planner
  - ☐ Environmental Planner

### PART I: Approval

Signature: Allison Vanderslice

Date: 3/23/2021

Allison Vanderslice, *Principal Preservation Planner*  
CEQA Cultural Resources Team Manager, Environmental Planning Division

CC: Jeffrey Horn, *Senior Planner*  
SW Team, Current Planning Division



## LAND USE INFORMATION

PROJECT ADDRESS: 247 UPPER TER  
RECORD NO.: 2020-009146CUA

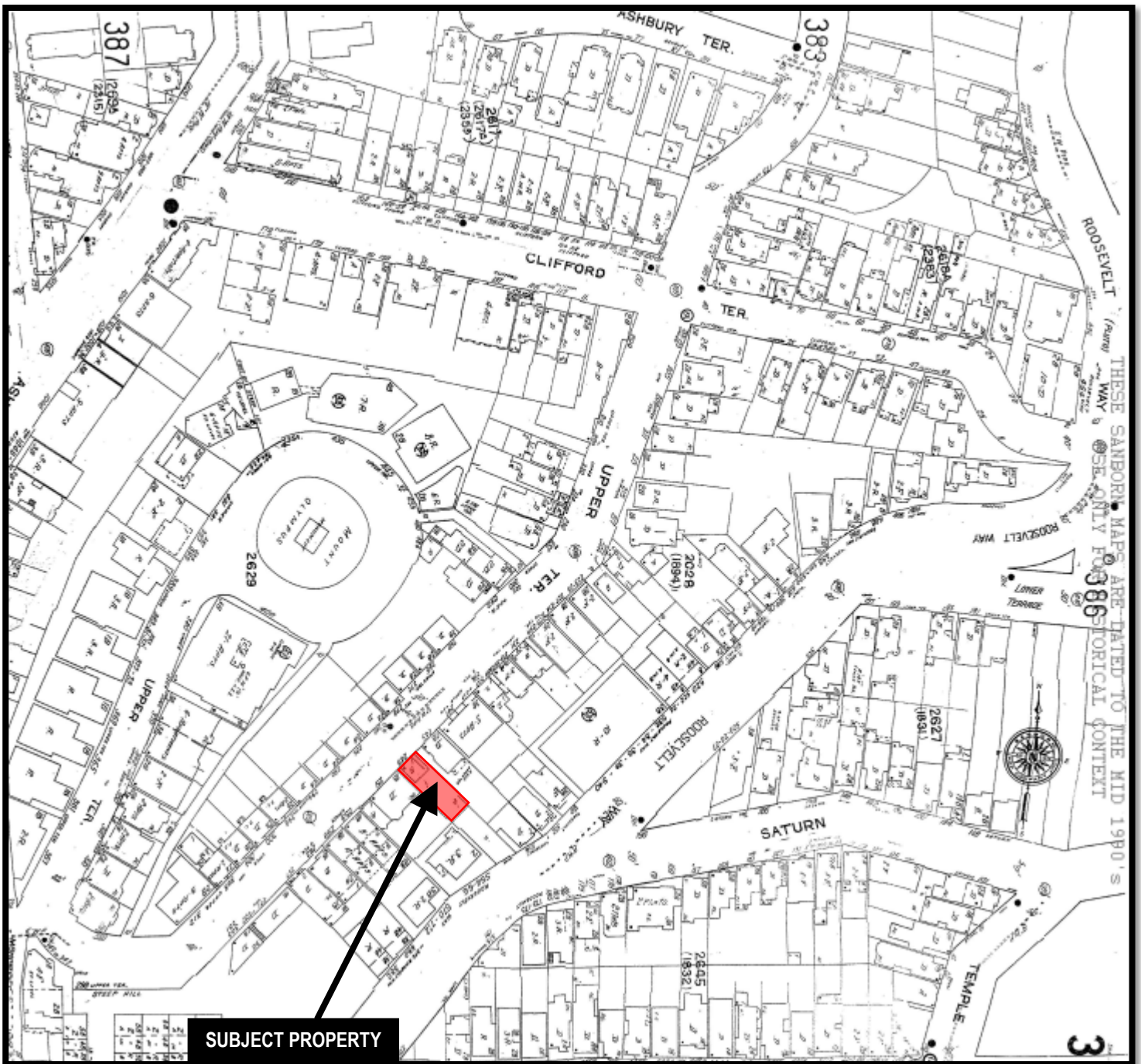
	EXISTING	PROPOSED	NET NEW
GROSS SQUARE FOOTAGE (GSF)			
Parking GSF	351	243	-108
Residential GSF	0	3,838	3,838
Retail/Commercial GSF			
Office GSF			
Industrial/PDR GSF <i>Production, Distribution, &amp; Repair</i>			
Medical GSF			
Visitor GSF			
CIE GSF			
Usable Open Space	160	618	458
Public Open Space			
Other ( )			
TOTAL GSF	351	4,081	3730
	EXISTING	NET NEW	TOTALS
PROJECT FEATURES (Units or Amounts)			
Dwelling Units - Affordable			
Dwelling Units - Market Rate	0	2	2
Dwelling Units - Total	0	2	2
Hotel Rooms			
Number of Buildings	1	1	0
Number of Stories	1	3 and basement	4 over basement
Parking Spaces	1	1	0
Loading Spaces			
Bicycle Spaces	0	2	2
Car Share Spaces			
Other ( )			

	EXISTING	PROPOSED	NET NEW
LAND USE - RESIDENTIAL			
Studio Units	-	-	-
One Bedroom Units	-	-	-
Two Bedroom Units	-	-	-
Three Bedroom (or +) Units	0	2	2
Group Housing - Rooms			
Group Housing - Beds			
SRO Units			
Micro Units			
Accessory Dwelling Units			





# Sanborn Map\*

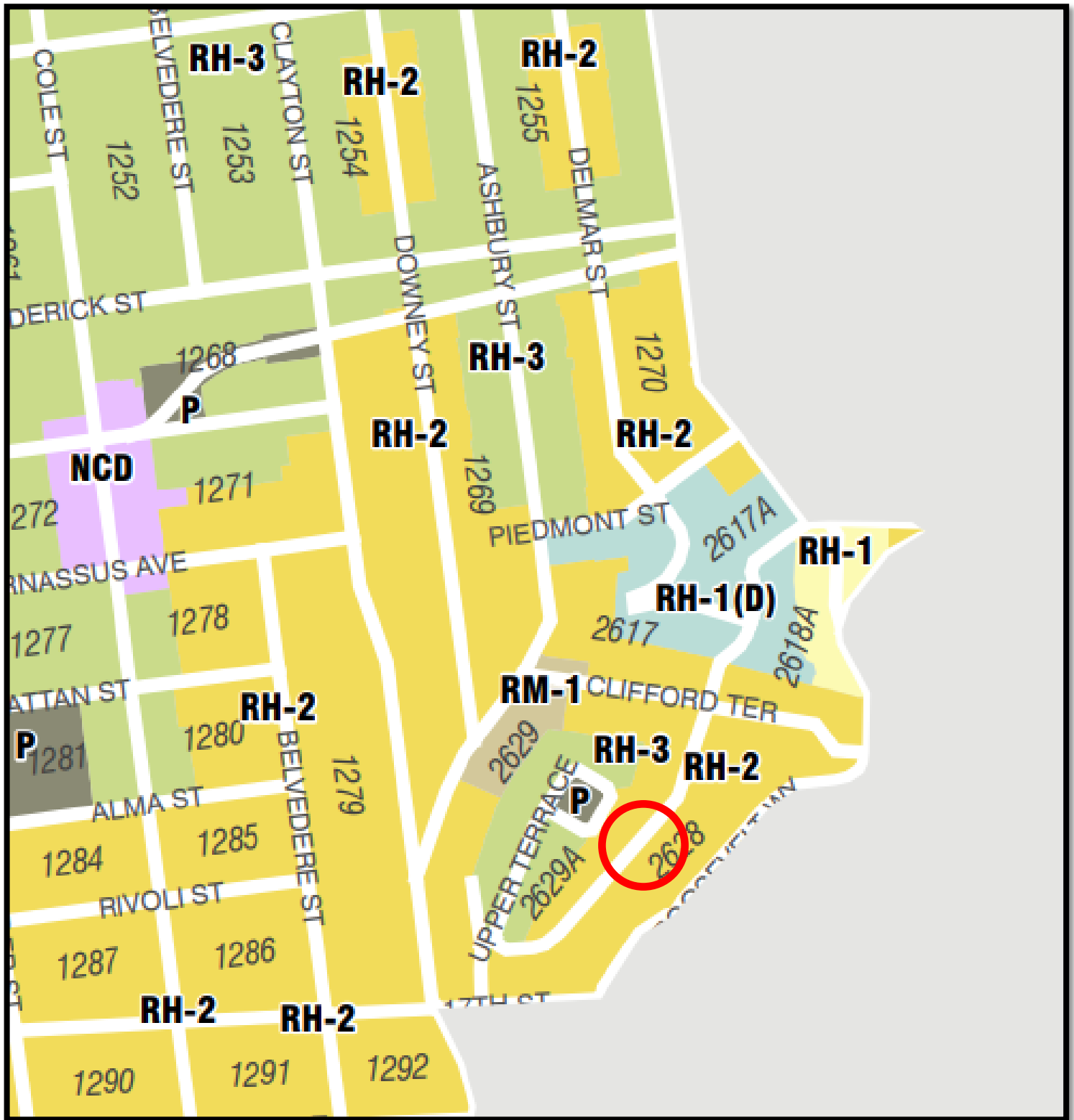


\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

Conditional Use Hearing  
Case Number 2020-009146CUA  
247 Upper Terrace

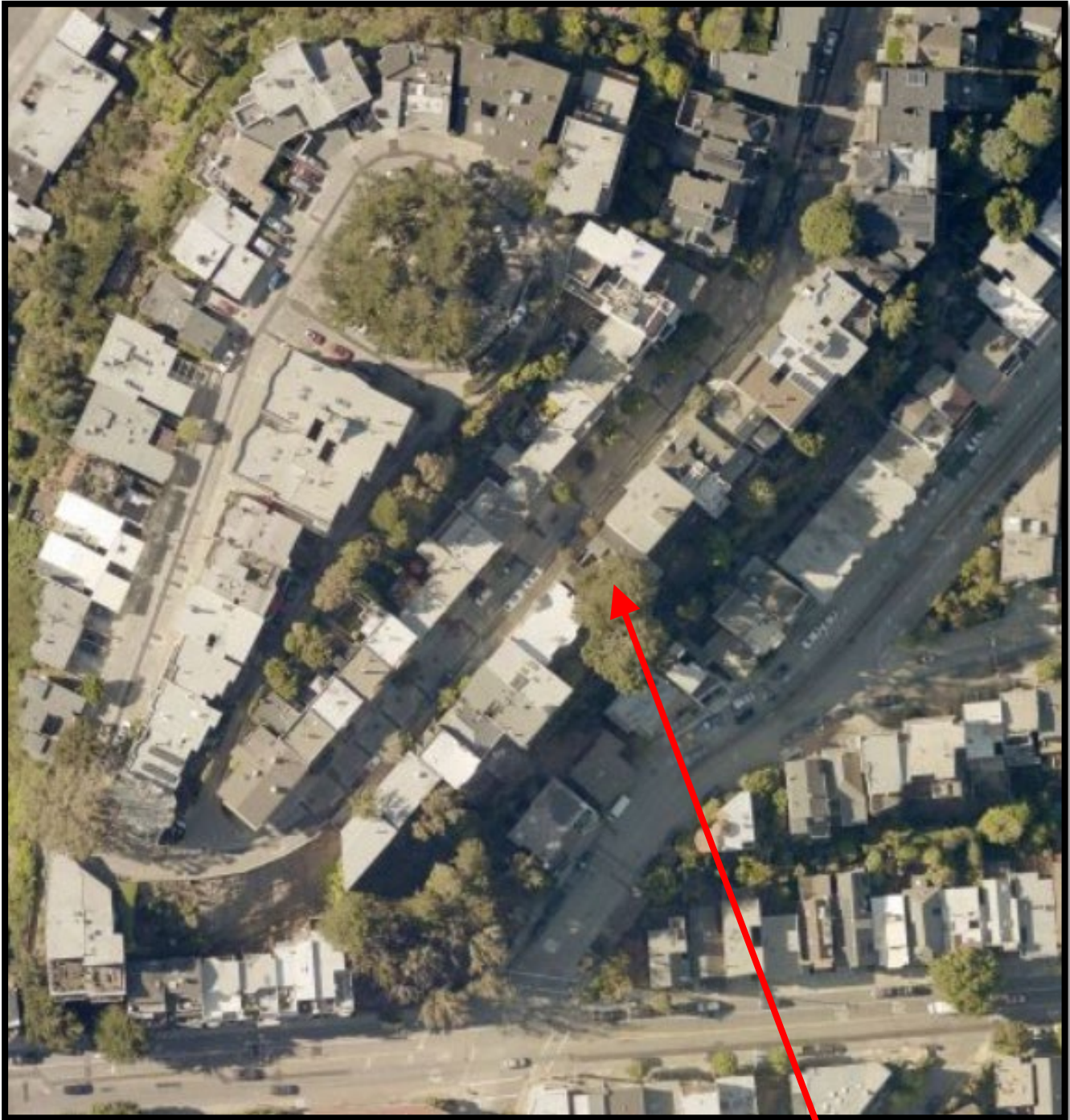


# Zoning Map



Conditional Use Hearing  
Case Number 2020-009146CUA  
247 Upper Terrace

# Aerial Photo



**SUBJECT PROPERTY**



Conditional Use Hearing  
Case Number 2020-009146CUA  
247 Upper Terrace



# Aerial Photo



**SUBJECT PROPERTY**



# Existing Site Photo





# Existing Site Photo



Conditional Use Hearing  
Case Number 2020-009146CUA  
247 Upper Terrace

# Existing Site Photo



Conditional Use Hearing  
Case Number 2020-009146CUA  
247 Upper Terrace