



EXECUTIVE SUMMARY CONDITIONAL USE

HEARING DATE: September 2, 2021

Record No.: 2020-008959CUA
Project Address: 376 Hill Street
Zoning: RH-1 (Residential-House, One Family) Zoning District
40-X Height and Bulk District
Dolores Heights Special Use District
Block/Lot: 3620/089
Project Sponsor: Reuben, Junius & Rose, LLP
Thomas Tunny
One Bush Street, Suite 600
San Francisco, CA 94104
Property Owner: Hill Street Revocable Trust
376 Hill Street
San Francisco, CA 94114
Staff Contact: Jeff Horn – (628) 652-7366
jeffrey.horn@sfgov.org

Recommendation: Approval with Conditions

Project Description

The Project proposes the demolition of an existing three-story, 2,317 gross-square-foot, one-family dwelling and a detached one-story, 449 gross square foot, one-family dwelling and new construction of a three-story-over-basement, 7,986 gross-square-foot, two-family dwelling, which includes a 5,458 square-foot, four-bedroom main dwelling unit (Unit 1), a 1,127 square-foot one-bedroom second dwelling unit (Unit 2), and a 1,401 square-foot garage providing storage for both units and two vehicle parking spaces.

Required Commission Action

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization, pursuant to Planning Code Sections 209.1, 303 and 317, to demolish two existing residential buildings and allow residential density at a ratio of one unit per 3,000 square feet of lot area for the project that would construct a new two-unit residential building.

Issues and Other Considerations

- **Public Comment & Outreach.**

- **Support/Opposition:** To date, Department Staff has received written correspondence from five neighbors in support of the project, all from Hill Street residence in immediate proximity to the project. No correspondences or comments in opposition have been received.
- **Outreach:**
 - The Sponsor held a Department required pre-application meeting with neighbors and community groups on August 24, 2020.
 - Since the submittal of the project application, the Project Sponsor has engaged specific members of the public regarding their concerns or questions with the proposed Project, including the Dolores Heights Improvement Club.

- **Density.** The Project maximizes the density on the Property, as Planning Code Section 209.1 principally permits up to one unit per lot and conditionally permits one unit per 3,000 square feet of lot area in the RH-1 Zoning District. With a lot area of 7,236 square feet, up to two units are permitted at the Property with a Conditional Use Authorization.
- **Rent Control.** Under California Government Code Section 66300 (SB-330), if existing units to be demolished were subject to the City's Rent Ordinance, they are considered as protected units and are subject to replacement and relocation requirements specified in Section 66300(d). Replacement provisions are dependent upon the income levels of the current or previous tenants. Since the rear unit has been vacant for over five years, it shall be replaced with a rent-controlled unit. The income levels for the tenant in main unit is above 80% AMI and therefore may be replaced with a rent-controlled unit. Therefore, both of the units to be demolished will be replaced with rent-controlled units.
- **Dolores Heights Special Use District.** The Project is located within the boundaries of the Dolores Heights Special Use District (SUD). Per Planning Code Section 241, the SUD was adopted to preserve and provide for an established area with a unique character and balance of built and natural environment, with public and private view corridors and panoramas, to conserve existing buildings, plant materials and planted spaces, to prevent unreasonable obstruction of view and light by buildings or plant materials, and to encourage development in context and scale with established character and landscape. There are no additional findings required within the SUD, but additional development controls are provided which include a required minimum rear yard of 45% of the lot depth and a building height maximum of 35 feet. The proposed new buildings comply with the additional provisions of the SUD.

Environmental Review

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and Class 3 categorical exemption.

Basis for Recommendation

The Department finds that the Project is, on balance, consistent with the Objectives and Policies of the General Plan and the Dolores Heights SUD. The proposed new building is code-complying and designed to be in-keeping with the existing development pattern and neighborhood character along Hill Street. Although the Project includes the demolition of two residential units, the Project would create two new larger units with one additional bedroom on the site, thereby maintaining the maximum allowed density at the Project site while creating additional family-sized housing. The Department also finds the Project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

Attachments:

Draft Motion – Conditional Use Authorization with Conditions of Approval (Exhibit A)
Exhibit B – Plans and Renderings
Exhibit C – Environmental Determination (including Historic Resource Evaluation Response)
Exhibit D – Land Use Data
Exhibit E – Maps and Context Photos
Exhibit F – Sponsors Brief



PLANNING COMMISSION DRAFT MOTION

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ADOPTING FINDINGS RELATING TO A CONDITIONAL USE AUTHORIZATION, PURSUANT TO PLANNING CODE SECTIONS 209.1, 303 AND 317, TO ALLOW THE DEMOLITION OF AN EXISTING THREE-STORY, 2,317 GROSS-SQUARE-FOOT, ONE-FAMILY DWELLING AND A DETACHED ONE-STORY, 49 GROSS-SQUARE-FOOT ONE-FAMILY DWELLING AND TO ALLOW RESIDENTIAL DENSITY AT A RATIO OF ONE UNIT PER 3,000 SQUARE FEET OF LOT AREA FOR THE PROJECT INVOLVING CONSTRUCTION OF A NEW THREE-STORY-OVER-BASEMENT, 7,96 GROSS-SQUARE-FOOT, TWO-FAMILY DWELLING WITH A 5,48-SQUARE-FOOT, FOUR-BEDROOM MAIN DWELLING UNIT, A 1,127-SQUARE-FOOT ONE-BEDROOM SECOND DWELLING UNIT AT 376 HILL STREET, BLOCK 3620 LOTS 089 WITHIN THE RH-1 (RESIDENTIAL HOUSE, ONE-FAMILY) ZONING DISTRICT, THE DOLORES HEIGHTS SPECIAL USE DISTRICT, AND A 40-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

On October 12, 2020, Reuben, Junius & Rose, LLP (hereinafter "Project Sponsor") filed Application 2020-008959CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization to demolish an existing three-story, 2,317 gross-square-foot, one-family dwelling and a detached one-story, 499 gross-square-foot one-family dwelling and to construct a new three-story-over-basement, 7,976 gross-square-foot, two-family dwelling, which includes a 5,448-square-foot, four-bedroom main dwelling unit, a 1,127-square-foot one-bedroom second dwelling unit, and a 1,401-square-foot garage providing storage for both units and two vehicle parking spaces at 376 Hill Street, Block 3620 Lots 089 (hereinafter "Project Site").

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and Class 3 categorical exemption.

On September 2, 2021, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2020-008959CUA.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2020-008959CUA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2020-008959CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

- 1. The above recitals are accurate and constitute findings of this Commission.**
- 2. Project Description.** The Project proposes the demolition of an existing three-story, 2,317 gross-square-foot (SF), one-family dwelling and a detached one-story, 449 gross-SF, one-family dwelling and to construct a new three-story-over-basement, 7,986 gross-SF, two-family dwelling, which includes a 5,458 SF, four-bedroom main dwelling unit, a 1,127 SF one-bedroom second dwelling unit, and a 1,401 SF garage providing storage for both units and two vehicle parking spaces.
- 3. Site Description and Present Use.** The Project site is on the north side of Hill Street, between Sanchez and Church Streets; Lot 089 in Assessor's Block 3620 and is located within the RH-1 (Residential House, One-Family) Zoning District, the Dolores Height Special Use District, and a 40-X Height and Bulk District. The 7,236 SF lot has 66 feet 10 inches of street frontage and varying depths of 90 feet and 114 feet. The lot slopes steeply (greater than 25%) upwards toward the rear of the lot and laterally to the west along the street frontage. The lot is developed with an existing three-story, 2,317 SF, three-bedroom, one-family dwelling (constructed circa 1907) located on the uphill (western) side of the lot with a 24 foot 6 inch setback from the street. The lot's rear yard is developed with a pool and a non-complying one-story, 449 gross-SF, accessory structure containing a dwelling unit. The eastern half of the lot is mostly undeveloped and contains substantial landscaping and vegetation, obstructing the view of the buildings from the street.
- 4. Surrounding Properties and Neighborhood.** The subject property is located in the Dolores Heights neighborhood within Supervisor District 8. Parcels within the immediate vicinity consist almost exclusively of residential two- to four-story, one-family dwellings constructed mostly in the early 1900s, a second period of development between the late 1960s and 1990s, and several more recently constructed buildings, and the subject block-face exhibits a great variety of architectural styles, scale and massing. The subject block generally contains 25-foot wide lots, it does contain a number of oversized lots with large residences. The 25-foot wide lots are concentrated at the eastern end of the block. Starting mid-way through the block, the western half contains larger sized lots that are similarly sized to the Property, including the two immediately behind the subject property on 21st Street (Lots 053 and 054), one at the northwest corner of the Property (Lot 051/052, recently merged into one lot), and the property directly to the east (Lot 90). Surrounding zoning districts in the vicinity of the project site include the RH-1 (Residential House, One-Family) and the Dolores Height Special Use District.
- 5. Public Outreach and Comments.** To date, Department Staff has received written correspondence from five neighbors in support of the project, all from Hill Street residence in immediate proximity to the project. No comments in opposition have been received.
- 6. Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. Use.** Per Planning Code Section 209.1, one unit per lot is principally permitted and up to one unit per

3,000 SF of lot area is allowed with Conditional Use Authorization in the RH-1 Zoning District.

The subject property is 7,236 SF in area, and therefore is permitted at a maximum density of two dwelling units with Conditional Use Authorization.

- B. Residential Demolition.** Pursuant to Planning Code Section 317, Conditional Use Authorization is required for applications proposing to demolish a residential unit in a RH-1 Zoning District. This Code Section establishes criteria that the Planning Commission shall consider in the review of applications for Residential Demolition.

The Project proposes the demolition two detached one-family residential buildings and therefore requires Conditional Use Authorization. The additional criteria specified under Section 317 have been incorporated as findings in Subsection 8 below.

- C. Front Setback.** Planning Code Section 132 states that the minimum front setback depth shall be based on the average of adjacent properties or a Legislated Setback and not to be more than 15 feet.

The adjacent property to the west has a front setback of 24 feet 6 inches and the adjacent property to the east has a front setback of 21 feet 6 inches, which results in an average depth of 23 feet, therefore the required front setback would be the maximum allowed by the Code, 15 feet. The front building wall of the Project is setback 24 feet, 6 inches, which is greater than the site's required 15 foot front setback. The project includes a protruding garage which is a permitted obstruction per Planning Code Section (PCS) 136(c)(27) due to the existing slope of the area within the required front setback.

- D. Landscaping and Permeability.** Planning Code Section 132(g) requires that for projects involving the construction of a new building, the addition of a new dwelling unit, garage, or additional parking; at least 20% of the required front setback area be and remain unpaved and devoted to plant material, including the use of climate appropriate plant material. Section 132(h) requires that the front setback area be at least 50% permeable so as to increase stormwater infiltration. The permeable surface may be inclusive of the area counted towards the landscaping requirement; provided, however, that turf pavers or similar planted hardscapes shall be counted only toward the permeable surface requirement and not the landscape requirement.

The Project provides 36 percent landscaping and 66 percent permeability of the area within the required front setback, exceeding the required percentages for landscaping and permeable surfaces within the required front setback.

- E. Rear Yard.** Planning Code Section 134 requires a rear yard equal to 25 percent of the total depth, at grade and above, for properties containing dwelling units in RH-1 Zoning Districts. The project is also located within the Dolores Heights Special Use District which further reduces the required rear yard to 45 percent of lot depth.

The property has a staggered rear property line with two separate depths, 114 feet and 90 feet. The project will be constructed within the area of the lot that has a depth 114 feet and provides a 51 foot 4 inch rear yard, equal to 45% of the lot's depth.

- F. **Useable Open Space.** In the RH-1 Zoning District, Planning Code Section 135 requires 300 square feet of useable open space for each dwelling unit if all private open space and of 400 square feet of common usable open space for two dwelling units.

The Project contains two dwelling units, and both have access to private usable open space. Unit 1 has access to the code-complying rear yard, while the lower unit (Unit 2) has exclusive access to a courtyard providing 849 square feet of private open space above the garage at the building's front.

- G. **Permitted Obstructions.** Planning Code Section 136 allows certain features including architectural projections, uncovered stairways and decks as permitted obstructions into the required rear yard so long as certain dimensional requirements are met.

The Project includes several features within the required front setback that are allowed per PCS 136, including a protruding garage, retaining walls to maintain the existing grade, open railing fencing, and deck/patio not more than 3 feet above the existing grade level.

- H. **Dwelling Unit Exposure.** Planning Code Section 140 requires that at least one room of all dwelling units face onto a public street or public alley at least 30 feet in width, a side yard at least 25 feet in width, a rear yard meeting the requirements of the Code or other open area that meets minimum requirements for area and horizontal dimensions.

Within the Project, Unit 1 has direct exposure onto both Hill Street and a Code-compliant rear yard and Unit 2 has direct exposure onto Hill Street.

- I. **Street Frontages.** Section 144 of the Planning Code requires that no more than one-third of the width of the ground story along the front lot line, or along a street side lot line, or along a building wall that is setback from any such lot line, shall be devoted to entrances to off-street parking, except that in no event shall a lot be limited by this requirement to a single such entrance of less than ten feet in width.

The Project provides a 21 foot 7 inch wide garage along the 66 foot 10 inch wide lot, which is less than one-third of the lot's width, the garage's entrance is separated into two 9-foot wide recessed doors.

- J. **Off-Street Parking.** Planning Code Section 151 does not require a minimum number of off-street parking spaces and permits a maximum of 1.5 parking space for each dwelling unit.

The Project will provide two (2) parallel off-street parking spaces.

- K. **Bicycle Parking.** Planning Code Section 155.2 requires at least one Class 1 bicycle parking space for each dwelling unit.

The Project proposes two Class 1 bicycle parking spaces within the garage.

- L. **Height.** Planning Code Section 260 requires that all structures be no taller than the height prescribed in the subject height and bulk district. The proposed Project is located in a 40-X Height and Bulk District, with a 35-foot height limit per the RH-1 District.

PCS 261(c)(1)(B) limits height to 30 feet the location of a lot's front setback, then at such setback shall increase at an angle of 45 degrees to a maximum height of 35 feet above existing grade. Due to the lateral slope of the lot being greater than 25%, PCS 260(a)(3) requires that height calculations must be made at the highest point within 35-foot wide portions of the lot. The building is setback 9 feet 6 inches from the required front setback and has a maximum height of 32 feet, and is therefore Code-compliant with regard to height as the building is less of 35 feet above grade within all portions of the lot used for height calculations.

- M. Residential Child-Care Impact Fee.** Planning Code Section 411 is applicable to any residential development that results in at least one new residential unit.

The Project includes approximately 7,98 gross square feet of newly constructed residential use. This use is subject to Residential Child-Care Impact Fee, as outlined in Planning Code Section 411A. This fee must be paid prior to the issuance of the building permit application.

- N. Dolores Height Special Use District.** Planning Code Section 241 adopted to preserve and provide for an established area with a unique character and balance of built and natural environment, with public and private view corridors and panoramas, to conserve existing buildings, plant materials and planted spaces, to prevent unreasonable obstruction of view and light by buildings or plant materials, and to encourage development in context and scale with established character and landscape. There are no additional findings required within the SUD, but additional development controls are provided which include a required minimum rear yard of 45% of the lot depth and a building height maximum of 35 feet.

The Project provides rear yard equal to 45% of lot depth and does not exceed 35 feet in height, therefore the complying with the additional provisions of the Dolores Heights SUD.

- 7. Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The size of the Project and the units within the proposed three-story-over-basement two-unit building are in-keeping with other residential properties in the neighborhood. The Project is necessary and desirable because it will replace an aging single-family home and a second unit located in a non-complying accessory structure in the rear yard with a single, cohesive building containing two new units. The property is compliant with the Planning Code, the Residential Design Guidelines and the Dolores Heights Special Use District and contributes to the mixed visual character of the neighborhood. The entirety of the new building is within its buildable area and will not require any variances or modifications. Further, the Project improves the conditions along the street, which currently features a large retaining wall with little openings into the lot.

Under California Government Code section 66300 (SB-330), if existing units to be demolished were

subject to the City's Rent Ordinance, they are considered as protected units and are subject to replacement and relocation requirements specified in section 66300(d). Replacement provisions are dependent upon the income levels of the current or previous tenants. Since the rear unit has been vacant for over five years, it shall be replaced with a rent-controlled unit. The income levels for the tenant in main unit is above 80% AMI and therefore may be replaced with a rent-controlled unit. Therefore, both of the units to be demolished will be replaced with rent-controlled units.

Overall, the Project is proposing to retain two dwelling units, while providing them as upgraded, modern, larger units. The new building is compatible with the neighborhood and zoning and will bring the lot into compliance with the Planning Code and the Dolores Heights Special Use District, resulting in a Project that is necessary, desirable, and compatible with the City at-large.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The Project has been designed to be compatible with its surroundings, and the project sponsor has worked closely with the neighbors to ensure compatibility and neighborhood support. The Project includes significant front setbacks with additional setbacks at the upper floors. The replacement structure's proposed 32-foot height is below the maximum height permitted in the 40-X height and bulk district and is appropriate for the site location and size. The proposed size, shape, and arrangement of the Project will also match that of neighboring structures, and the Project overall will aesthetically enhance the neighborhood.

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Project will not result in any new traffic impacts on Hill Street. The Project will provide two off-street parking space and two Class 1 bicycle parking spaces in a 1,401 square foot below-grade garage. The Property is situated in a walkable area in which daily errands can be done by foot and do not require a car, and there are numerous public transit options nearby. The Project site is located in close proximity to the J MUNI train line on Church Street and the 48 MUNI bus line, as well as 0.8 miles away from the Castro Street MUNI station.

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The Project proposes a new three-story, two-unit residential building. The proposed uses are not expected to generate any noxious or offensive emissions, such as noise, glare, dust, or odor. The Project will comply with all applicable regulations regarding construction noise and dust, and will not produce, or include, any permanent uses that will generate substantial levels of noxious or offensive emissions, such as excessive noise, glare, dust, and odor.

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The Project will replace a single-family home and a small, non-complying structure with a dwelling unit in the rear yard with a thoughtfully-designed, visually-appealing, two-unit residential building. The facade treatment and materials of the building have been appropriately selected to be compatible with the surrounding neighborhood. The Project will provide generous landscaping in the front setback area. Extensive landscaping will also be provided in the Project's 3,013 square feet of open space.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and Dolores Heights Special Use District, and is consistent with Objectives and Policies of the General Plan, as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Use District.

The Project is consistent with the stated purpose of the RH-1 Zoning District, which is characterized by lots of greater width and area than in other parts of the City, and by single-family houses. The Project is consistent with the Planning Code requirements for dwelling units in an RH-1 Zoning District.

- 8. Residential Demolition Findings.** Section 317 of the Planning Code establishes criteria for the Planning Commission to consider when reviewing applications to demolish or convert residential buildings. In addition to the criteria of Section 303(c) of this Code, the Commission shall consider the extent to which the following criteria are met pursuant to Section 317(g)(6):

- a) Whether the property is free of a history of serious, continuing code violations;

A review of the Department of Building Inspection and the Planning Department databases showed no open enforcement cases or notices of violation for the subject property.

- b) Whether the housing has been maintained in a decent, safe, and sanitary condition;

The existing building appears to be in decent, safe, and sanitary condition with an original construction date circa 1907.

- c) Whether the property is an "historical resource" under CEQA;

Although the existing building is more than 50 years old, a review of supplemental information resulted in a determination that the property is not a historical resource.

- d) Whether the removal of the resource will have a substantial adverse impact under CEQA;

The existing building is not a historical resource and its removal will not have any substantial adverse impacts under CEQA.

- e) Whether the Project converts rental housing to other forms of tenure or occupancy;

Pursuant to a search request with the San Francisco Rent Board and the Sponsor's Dwelling Unit Removal supplemental application, one of the two units have had tenants within the last five years. The rear unit has no records of being leased to a tenant. The main unit has been historically an owner-occupied unit, but currently is rented to a tenant for the interim between the current owner's possession of the property and the commencing of construction, or earlier.

The replacement project will provide two larger dwelling units, and Unit 1 will be owner-occupied, as has been the historical occupancy of the main unit at the subject property.

- f) Whether the Project removes rental units subject to the Rent Stabilization and Arbitration Ordinance;

The Planning Department cannot definitively determine whether the three-family home with an is subject to the Rent Stabilization and Arbitration Ordinance; this being under the purview of the Rent Board. However, pursuant to SB 330, the Project Sponsors are willing to offer to impose a restriction on the Project such that the three of the new units will be subject to the Rent Stabilization and Arbitration Ordinance.

Under California Government Code Section 66300 (SB-330), if existing units to be demolished were subject to the City's Rent Ordinance, they are considered as protected units and are subject to replacement and relocation requirements specified in Section 66300(d). Replacement provisions are dependent upon the income levels of the current or previous tenants. Since the rear unit has been vacant for over five years, it shall be replaced with a rent-controlled unit. The income levels for the tenant in main unit is above 80% AMI and therefore may be replaced with a rent-controlled unit. Therefore, both of the units to be demolished will be replaced with rent-controlled units.

- g) Whether the Project conserves existing housing to preserve cultural and economic neighborhood diversity;

The Project will construct a two-unit residential building with a four-bedroom, family-sized unit, and a one-bedroom unit in a building of similar height to the existing three-story single-family home at the Property. The Project will preserve the housing stock in the neighborhood and provide a diverse range of unit types.

- h) Whether the Project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

The Project conserves neighborhood character with appropriate scale, design, and materials, and improves cultural and economic diversity by constructing a family-sized dwelling and a second unit, maximizing the density of the site. with accessory dwelling units that are consistent with the Residential Design Guidelines, the Dolores Heights Special Use District and the provisions of the RH-1 Zoning District.

- i) Whether the Project protects the relative affordability of existing housing;

The Project removes two dwelling units, including the main unit constructed in 1907, which is generally considered more affordable than more recently constructed units. However, the Project results in two rent-controlled units with one additional bedroom, that on-balance contribute positively to the relative affordability of the City's housing stock.

- j) Whether the Project increases the number of permanently affordable units as governed by Section 415;

The Project is not subject to the provisions of Planning Code Section 415, as the Project proposes fewer than ten units. However, pursuant to SB 330, both of the replacement units will be subject to the Rent Stabilization and Arbitration Ordinance.

- k) Whether the Project locates in-fill housing on appropriate sites in established neighborhoods;

The Project represents the redevelopment on a parcel within an established neighborhood at a dwelling unit density consistent with the requirements of the RH-1 Zoning District.

- l) Whether the project increases the number of family-sized units on-site;

The Project will create a four-bedroom family-sized dwelling unit and a larger one-bedroom dwelling unit. Unit 2 would be more the double in size and will have direct, independent access to the street, unlike the current unit. Both units will be an improvement from existing conditions at the Property.

- m) Whether the Project creates new supportive housing;

The Project does not create supportive housing.

- n) Whether the Project is of superb architectural and urban design, meeting all relevant design guidelines, to enhance existing neighborhood character;

The Project is of superb architectural and urban design that has been thoughtfully designed to integrate into the neighborhood by taking into consideration the existing adjacent buildings as well as other proposed projects in the area. The neighborhood does not have a consistent design character; rather, it is characterized by its eclectic building styles and types. The facade treatment and materials of the building have been appropriately selected to be compatible with the surrounding neighborhood. The building is a series of solids and voids, with massing elements that extend and recede from each other. There are numerous balconies and open spaces, all with greenery integrated throughout. The street levels have a series of stepped terraces, allowing the eye to flow from east to west as you look up to the main residence. The Project will add extensive landscaping in the front setback area as well as in the 3,013 square feet of open space, which includes 302 square feet of dedicated private open space for the Unit 2 and 2,711 square feet for the Unit 2. On balance, the overall scale, design, and materials of the proposed building is consistent with the block face and compliment the neighborhood character with traditional building materials and a contemporary design.

- o) Whether the Project increases the number of on-site dwelling units;

The Property is located in an RH-1 Zoning District and currently has two detached dwelling units, with the main dwelling located within the buildable area and the second unit located in a small one-story building at the rear of the Property without independent access. The Project will consolidate the two units into a single building, resulting in two independently, directly accessible dwelling units. Both units will increase in size, with the second unit doubling in total area and the main unit providing an additional bedroom.

- p) Whether the Project increases the number of on-site bedrooms.

The Project provides one additional bedroom and both units are increasing in size from the current units. The second dwelling unit doubling in size and will have direct, independent access to the street, unlike the current unit. Both units will be an improvement from existing conditions at the Property.

- q) Whether or not the replacement project would maximize density on the subject lot; and,

The Project proposes two units and maximizes the density on the Property, as Planning Code Section 209.1 principally permits up to one unit per lot in the RH-1 Zoning District, and conditionally permits one unit per 3,000 square feet of lot area. With a lot area of 7,236 square feet, up to two units are permitted at the Property with a Conditional Use Authorization.

- r) If replacing a building not subject to the Residential Rent Stabilization and Arbitration Ordinance, whether the new project replaces all the existing units with new dwelling units of a similar size and with the same number of bedrooms.

The Planning Department cannot definitively determine whether the two detached dwelling units on the site are subject to the Rent Stabilization and Arbitration Ordinance; this being under the purview of the Rent Board. However, pursuant to SB 330, the Project Sponsor is willing to impose a restriction on the Project such that the two newly constructed units will be subject to the Rent Stabilization and Arbitration Ordinance.

The Project replaces a demonstrably unaffordable home and is not eliminating any affordable housing. The new units will be significantly larger than the current ones on the Property. The project would provide a four-bedroom main dwelling (Unit 1) and a generously-sized one bedroom dwelling (Unit 2), which results in one additional bedroom at the site.

- 9. General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.1

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

Policy 1.10

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

OBJECTIVE 4

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1

Develop new housing, and encourage the remodeling of existing housing, for families with children.

Policy 4.4

Encourage sufficient and suitable rental housing opportunities, emphasizing permanently affordable rental units wherever possible.

OBJECTIVE 11

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2

Ensure implementation of accepted design standards in project approvals.

Policy 11.3

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.4

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

Policy 11.6

Foster a sense of community through architectural design, using features that promote community interaction.

Policy 11.8

Consider a neighborhood's character when integrating new uses, and minimize disruption caused by expansion of institutions into residential areas.

OBJECTIVE 12

BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION.

Policy 12.2

Consider the proximity of quality of life elements such as open space, child care, and neighborhood services, when developing new housing units.

URBAN DESIGN ELEMENT

Objectives and Policies

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

Policy 1.7

Recognize the natural boundaries of districts, and promote connections between districts.

The Project proposes demolition of two dwelling units, and the Project will provide a new building that will contain two dwelling units that are both larger in size than their respective replacements and will provide one additional bedroom on the site. The Project will include two vehicle parking space, Class 1 bicycle parking, and the subject property is located within close proximity of public transit. The proposed new construction conforms to the Residential Design Guidelines and is appropriate in terms of materials, scale, proportions, and massing for the surrounding neighborhood. The Project proposes new construction that will reinforce the existing street pattern as the building scale is appropriate for the subject block's street frontage and will contribute to the neighborhood's mixed character. Furthermore, the proposal maximizes the dwelling unit density of the lot, while bringing the property into full compliance with the requirements of the Planning Code.

10. Planning Code Section 101.1(b) establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The project site does not possess any neighborhood-serving retail uses. Existing neighborhood-serving retail uses would not be displaced or otherwise adversely affected by the proposal.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

While the two existing one-family dwellings are proposed to be demolished, the Project will provide an additional bedroom within the proposed four-bedroom unit and a one-bedroom unit. The Project includes building heights and scale compatible with the surrounding neighborhoods and is consistent with the Planning Code and the Dolores Heights Special Use District.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project does not currently possess any existing affordable housing. Pursuant to Government Code 66300, the two proposed units will be subject to rent-control.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project Site is served by nearby public transportation options. Specifically, the property is located within ¼ mile of the following MUNI lines: 24, 33, 35 and J Train. The Project will provide a total of two off-street vehicle spaces, which are the principally permitted amount, and two Class 1 bicycle spaces.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project does not include commercial office development. The Project is a residential project in an RH-1 Zoning District. Therefore, the Project would not affect industrial, or service sector uses or related employment opportunities. Ownership of industrial or service sector uses would not be affected by the Project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code. As such, this Project will improve the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

The Project Site does not contain any City Landmarks or historic buildings.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project will not have negative impact on existing parks and open space.

11. The Project is consistent with and would promote the general and specific purposes of the Code provided

under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.

12. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2020-008959CUA**, subject to the following conditions attached hereto as “EXHIBIT A” in general conformance with plans on file, dated March 26, 2021, and stamped “EXHIBIT B”, which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission’s adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator’s Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on September 2, 2021.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

RECUSE:

ADOPTED: September 2, 2021

EXHIBIT A

Authorization

This authorization is for a conditional use to allow the demolition of an existing three-story, 2,317 gross-square-foot, one-family dwelling and a detached one-story 499 gross-square-foot one-family dwelling and to allow residential density at a ratio of 3,000 square feet per lot area for the project that would construct a new three-story-over-basement, 7,976 gross-square-foot, two-family dwelling, which includes a 5,448-square-foot, four-bedroom main dwelling unit, a 1,127-square-foot one-bedroom second dwelling unit, and a 1,401-square-foot garage providing storage for both units and two vehicle parking spaces at 376 Hill Street, Block 3620 Lots 089, pursuant to Planning Code Sections 209.1, 303 and 317 within the RH-1 Zoning District, a 40-X Height and Bulk District, and the Dolores Heights Special Use District; in general conformance with plans, dated March 26, 2021, and stamped "EXHIBIT B" included in the docket for Record No. 2020-008959CUA and subject to conditions of approval reviewed and approved by the Commission on September 2, 2021 under Motion No. XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

Recordation of Conditions Of Approval

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **September 2, 2021** under Motion No. XXXXXX.

Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

Severability

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

CONDITIONS OF APPROVAL, COMPLIANCE, MONITORING, AND REPORTING

Performance

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

Design – Compliance at Plan Stage

- 6. Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7366, www.sfplanning.org

- 7. Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7366, www.sfplanning.org

- 8. Landscaping.** Pursuant to Planning Code Section 132, the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that 50% of the front setback areas shall be surfaced in permeable materials and further, that 20% of the front setback areas shall be landscaped with approved plant species. The size and specie of plant materials and the nature of the permeable surface shall be as approved by the Department of Public Works

For information about compliance, contact the Case Planner, Planning Department at 628.652.7366, www.sfplanning.org

Parking and Traffic

- 9. Bicycle Parking.** The Project shall provide no fewer than 2 Class 1 bicycle parking spaces for each building as required by Planning Code Sections 155.1 and 155.2.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 10. Parking Maximum.** Pursuant to Planning Code Section 151, the Project shall provide no more than three (3) off-street parking spaces at each building.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 11. Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

Provisions

- 12. Residential Child Care Impact Fee.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7366 www.sfplanning.org

Monitoring - After Entitlement

- 13. Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 14. Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 15. Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 628.271.2000, www.sfpublishworks.org

- 16. Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463,
www.sfplanning.org*

- 17. Replacement Units.** As required by California Government Code section 66300(d), three of the four proposed units shall be subject to the City's Rent Ordinance, Administrative Code Chapter 37, and the Project Sponsor shall record a restriction on the property records that these three units shall be subject to the City's Rent Ordinance and shall comply with all applicable provisions of Chapter 37 and California Government Code section 66300(d).

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463,
www.sfplanning.org*

- 18. Relocation Payments.** Where relocation benefits are required by state or local law, the amount of relocation payments to be provided shall be the applicable amount as published by the San Francisco Residential Rent Stabilization and Arbitration Board. Current relocation payment requirements and amounts can be found on the Rent Board website: sfrb.org/forms-center.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463,
www.sfplanning.org*

- 19. Right of First Refusal and Right to Remain in Unit.** Where a right of first refusal to a comparable unit in the replacement project is required by State law, the project sponsor shall provide such right to occupants consistent with those requirements. (See California Government Code Section 66300.)

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463,
www.sfplanning.org*

[illegible]



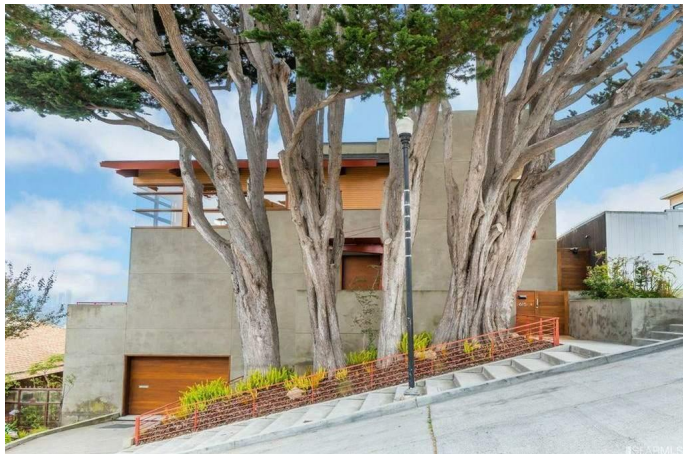
A 4001 SANCHEZ STREET



B 428 HILL STREET



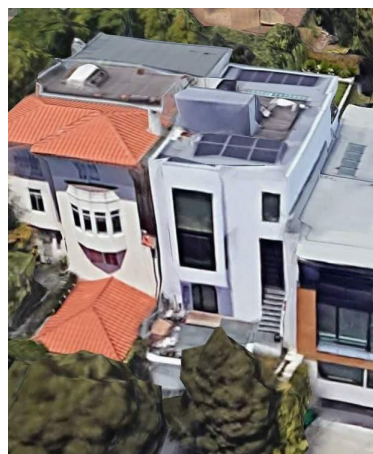
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D 615 SANCHEZ STREET



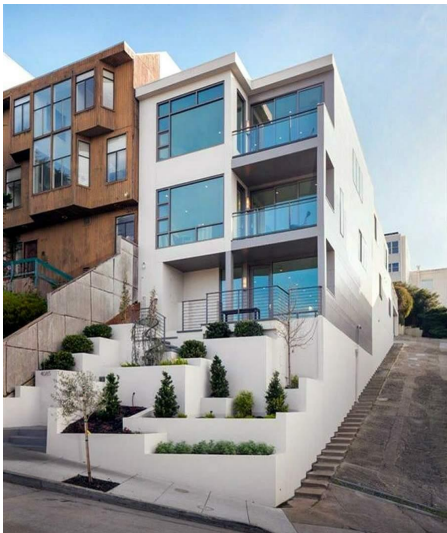
E 400 HILL STREET



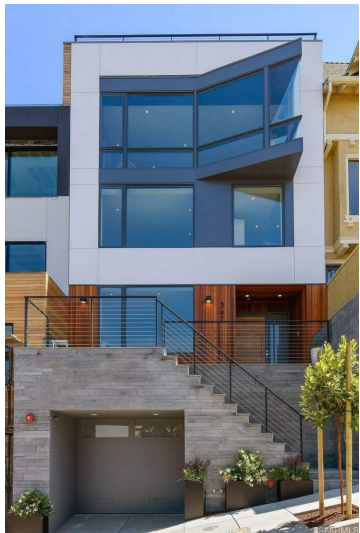
F 366 HILL STREET



G 350 HILL STREET



H 4085 20TH STREET



I 367 LIBERTY STREET



J 3719 21ST STREET

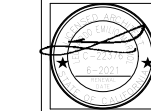


NEIGHBORHOOD PRECEDENTS

VICINITY KEY MAP



EXISTING NEIGHBORHOOD PRECEDENTS
NOT TO SCALE



2019103
Drawn by: RK

A0.10

EXISTING - PHOTOS

HILL STREET RESIDENCE
376 HILL STREET
SAN FRANCISCO, CA 94114

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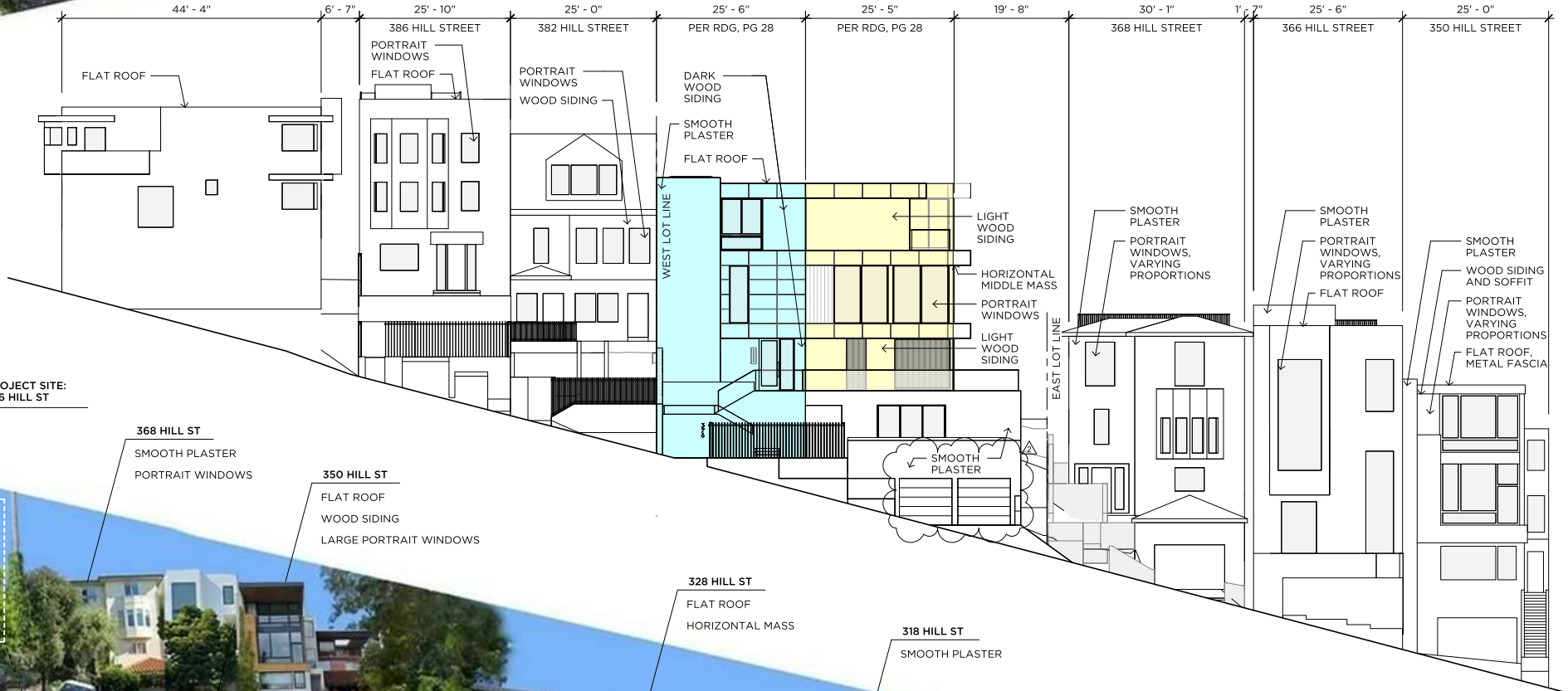
architecture
interiors
landscape

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San Francisco, California 94109
415.872.5107 phone
415.872.5108 fax
info@marmol-radziner.com
www.marmol-radziner.com



SOUTH SIDE OF HILL STREET

FROM CHURCH STREET (LEFT) TO SANCHEZ STREET (RIGHT)



FACADE MASSING DIAGRAM

FROM SANCHEZ STREET (LEFT) TO CHURCH STREET (RIGHT)



NORTH SIDE OF HILL STREET

FROM SANCHEZ STREET (LEFT) TO CHURCH STREET (RIGHT)



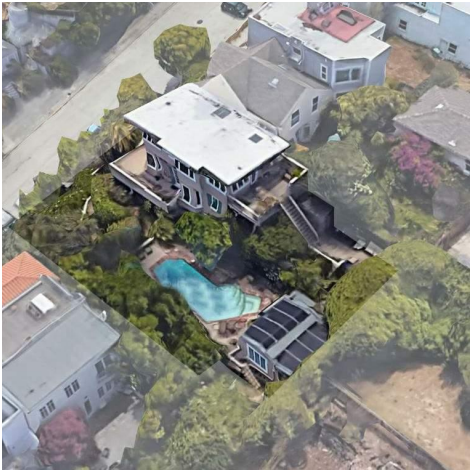
SOUTHEAST



SOUTHWEST



NORTHWEST

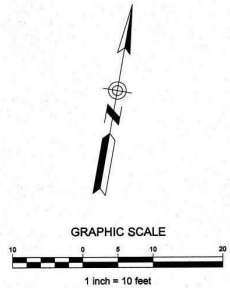


NORTHEAST

PROJECT SITE AERIAL VIEWS



VIEW FROM 368 HILL STREET



NOTE TO ANYONE HAVE ANY INTEREST IN THIS MAP,
PLEASE BE ADVISED OF THE FOLLOWING:

1. THAT ALL TITLE INFORMATION HEREON (INCLUDING EASEMENTS IF ANY) WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR CLIENT'S AND/OR HIS AGENT'S REQUIREMENTS. THE FOLLOWING INFORMATION WAS SUPPLIED TO TRANSAMERICAN ENGINEERS; □ DEED □ TITLE REPORT □ A.P.N. □ ADDRESS OF THE P.L.Q.

FURTHERMORE, WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITIES AS BEING BEYOND OUR CONTRACT AND COMMITMENT TO OUR CLIENT.

2. THAT THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OR SERVICE AND THAT IT REMAINS THE PROPERTY OF TRANSAMERICAN ENGINEERS WHETHER THE PROJECT (IF ANY PROPOSED) ON THIS SITE IS CONSTRUCTED OR NOT.

3. THAT ANY INFORMATION ON THIS MAP AND ANY DOCUMENT(S) PREPARED BY TRANSAMERICAN ENGINEERS IN RELATION HEREOF SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR: BUILDING PERMITS.

FURTHERMORE, THE USE OF THIS MAP FOR ANY OTHER PURPOSES WHATSOEVER INCLUDING ENGINEERING DESIGNS OF OFFSITE OR ONSITE IMPROVEMENTS IS BEYOND THIS MAP'S PURPOSE, INTENT & CONTRACT. TRANSAMERICAN ENGINEERS DISCLAIMS ANY AND ALL RESPONSIBILITIES, LIABILITIES WHICH SHALL REST UPON THE PARTY USING OUR INFORMATION BEYOND THE ESTABLISHED LIMITATION ABOVE.

4. THAT ANY IMPROVEMENT CHANGES WITHIN THIS SITE OR THE ADJACENT SITES THEREOF AS WELL AS TITLE TRANSFERS OF THE PROPERTY IN QUESTION (EXCEPT FOR ALTA MAPS) AND/OR THE LAPSE OF 3 OR MORE YEARS FROM THE DATE OF THIS MAP (WHICHEVER COMES FIRST) SHALL VOID ALL INFORMATION HEREON UNLESS A RE-SURVEY IS ORDERED TO RECTIFY, UPDATE OR RE-CERTIFY THIS MAP.

5. THAT THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING UNLESS STATED IN ITEM NO. 3 ABOVE.

6. THAT THE USE OF THIS MAP BY OTHER CONSULTANTS OR CONTRACTORS ON BEHALF OF OUR CLIENT SHALL PROMPT THE IMMEDIATE FULFILLMENT OF ALL CLIENTS OBLIGATIONS TO TRANSAMERICAN ENGINEERS UNLESS OTHERWISE AGREED TO.

7. THAT UNDERGROUND UTILITIES (IF ANY) SHOWN HEREON WERE OBTAINED FROM INFORMATION PROVIDED TO TRANSAMERICAN ENGINEERS BY UTILITIES COMPANIES. TRANSAMERICAN ENGINEERS DOES NOT ASSUME ANY RESPONSIBILITY FOR THEIR EXISTENCE OR ACCURACY.

8. THAT SURFACE UTILITIES, MANHOLES, ETC. AS SHOWN HEREON WERE LOCATED BY FIELD SURVEY.

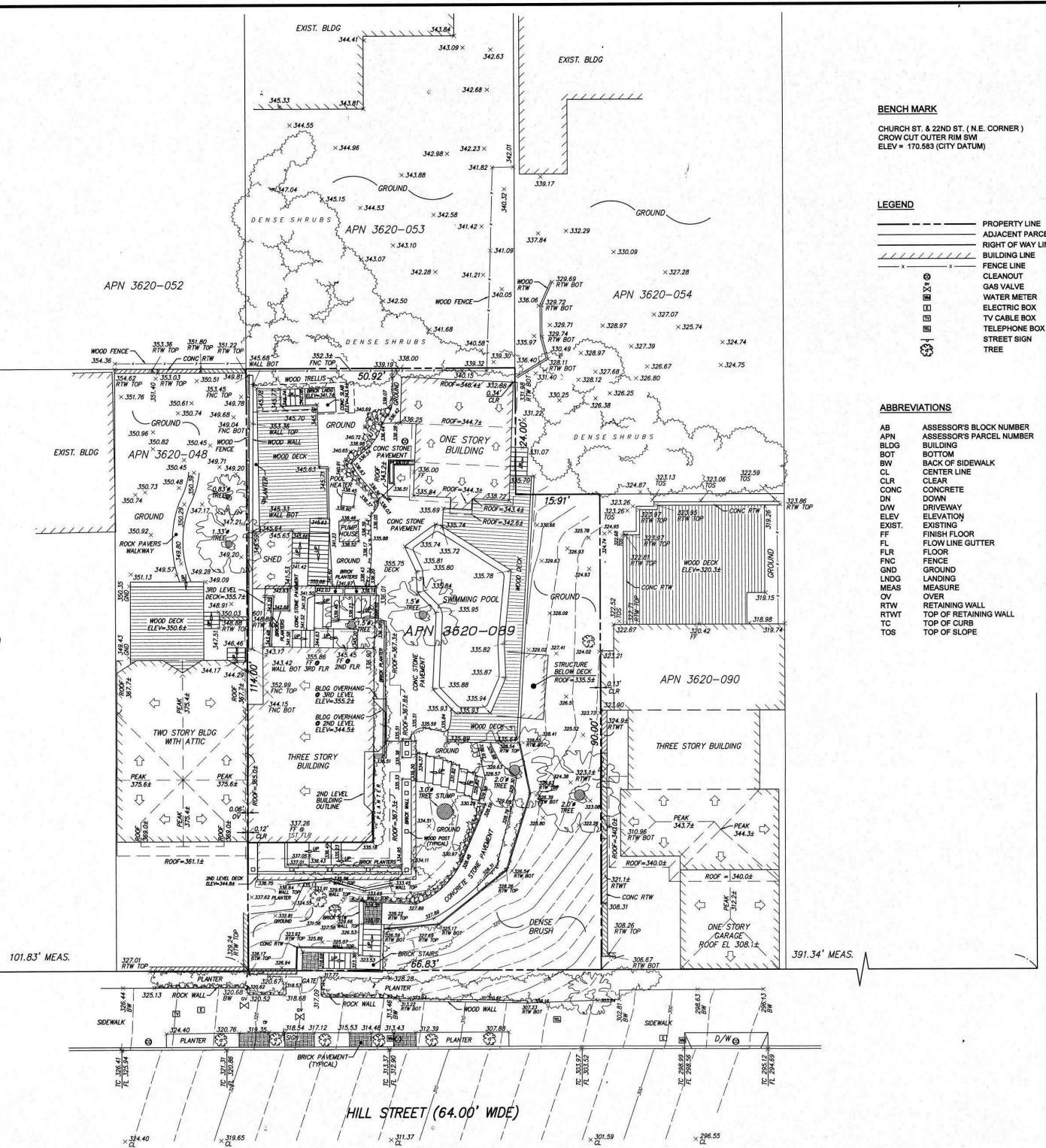
9. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.

SPECIAL NOTES

1. ELEVATIONS SHOWN AS "ROOF ELEV." HEREON ARE IN FACT THE ELEVATIONS OF THE HIGHEST POINT OF SIDE WALLS. THESE ELEVATIONS MAY BE EITHER THE ROOF OR THE PARAPET ELEVATION OF SUCH ROOF. FLAT ROOF LEVELS WERE NOT VISIBLE FROM SURVEY POINT.
2. "PARAPET ELEV." SHOWN HEREON ARE THE HIGHEST POINT OF SUCH PARAPET.
3. "ROOF PEAK ELEV." AND "EAVES ELEV." (IF ANY SHOWN HEREON) ARE THE HIGHEST POINT OF ROOF PEAKS AND THE LOWEST POINTS OF ROOF EAVES RESPECTIVELY.
4. DUE TO LIMITED ACCESS TO THE REAR OR THE ADJACENT AND/OR THE PARAPET SUBJECT BUILDING(S) AND/OR COVERED STRUCTURE(S) AT THE TIME OF THIS SURVEY, THE TOPOGRAPHIC DATA FOR THOSE BUILDING(S) AND/OR STRUCTURE(S) IS NOT SHOWN HEREON.
5. IT SHALL BE THE RESPONSIBILITY OF OUR CLIENT TO CALL OUR OFFICE IN ORDER TO HAVE OUR SURVEYORS LOCATE ADDITIONAL INFORMATION AND/OR STRUCTURE(S) ONCE THE SITE HAS BEEN CLEARED. WE REQUIRE AN ADVANCE NOTICE OF FOUR (4) DAYS MORE OR LESS.
6. ALSO, NOTE THAT THERE WILL BE ADDITIONAL CHARGES FOR SUCH STAKING AS IT IS NOT A PART OF THE SCOPE OF THIS JOB'S CONTRACT.

SANCHEZ STREET (82.50' WIDE)

AB 3620



BENCH MARK

CHURCH ST. & 22ND ST. (N.E. CORNER)
CROW CUT OUTER RIM SW
ELEV + 170.563 (CITY DATUM)

LEGEND

- PROPERTY LINE
- ADJACENT PARCEL LINES
- RIGHT OF WAY LINE
- BUILDING LINE
- FENCE LINE
- CLEANOUT
- GAS VALVE
- WATER METER
- ELECTRIC BOX
- TV CABLE BOX
- TELEPHONE BOX
- STREET SIGN
- TREE

ABBREVIATIONS

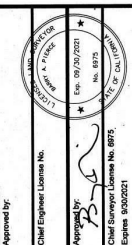
- AB ASSESSOR'S BLOCK NUMBER
- APN ASSESSOR'S PARCEL NUMBER
- BLDG BUILDING
- BOT BOTTOM
- BW BACK OF SIDEWALK
- CL CENTER LINE
- CLR CLEAR
- CONC CONCRETE
- DN DOWN
- D/W DRIVEWAY
- ELEV ELEVATION
- EXIST. EXISTING
- FF FINISH FLOOR
- FL FLOW LINE GUTTER
- FLR FLOOR
- FNC FENCE
- GND GROUND
- LNDG LANDING
- MEAS MEASURE
- OV OVER
- RTW RETAINING WALL
- TC TOP OF CURB
- TOS TOP OF SLOPE

Job No.	6875
Sheet No.	1 OF 1
Date	JUNE 2019
Survey	DP 06/19
Design	NA
Drawn	JT 06/19
Checked	BP 07/19
Scale	AS SHOWN



FOX PLAZA
1380 Market St., Suite 201
San Francisco, CA 94102
Phone No. (415) 553-4092
Fax No. (415) 553-4071

ARCHITECTURAL TOPOGRAPHIC SURVEY ASSESSOR'S PARCEL No. 3620-089 376 HILL STREET



Revisions	By:
07/11/19	BP
ADDITIONAL TOPO ADDED - 07/02/20	JT
ADDITIONAL TOPO ADDED - 08/06/20	JT

MARMOL RADZINER AIA
602 York Street
San Francisco, California 94102
Phone (415) 392-3008
Fax (415) 392-3008
www.marmol-radziner.com

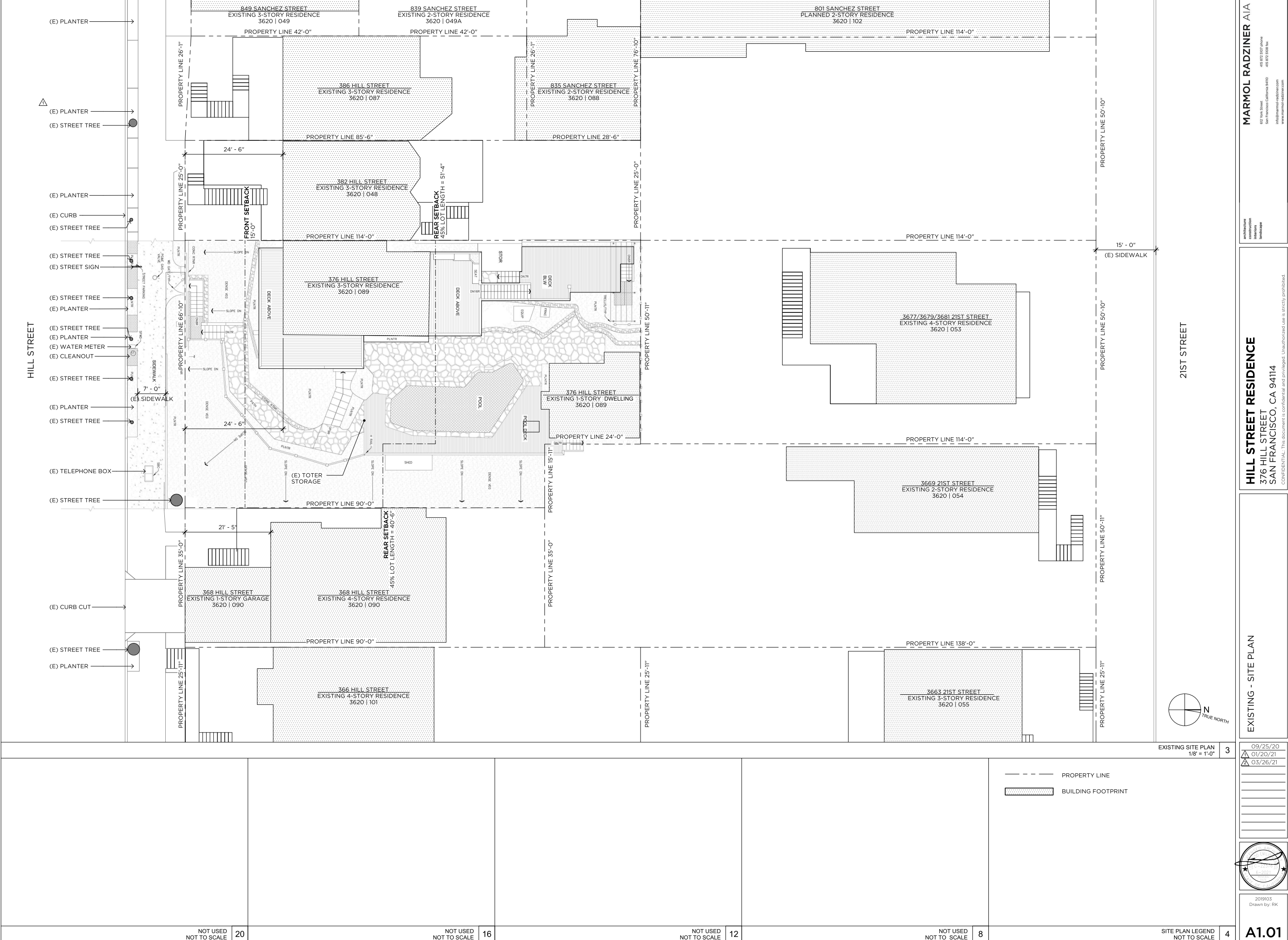
architecture
interiors
landscape

HILL STREET RESIDENCE
376 HILL STREET
SAN FRANCISCO, CA 94114

EXISTING - SITE SURVEY

09/25/20
01/20/21
03/26/21

2019103
Drawn by: RK



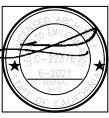
MARMOL RADZINER AIA
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San Francisco, California 94109
info@marmol-radziner.com
www.marmol-radziner.com

architecture
interior
landscape

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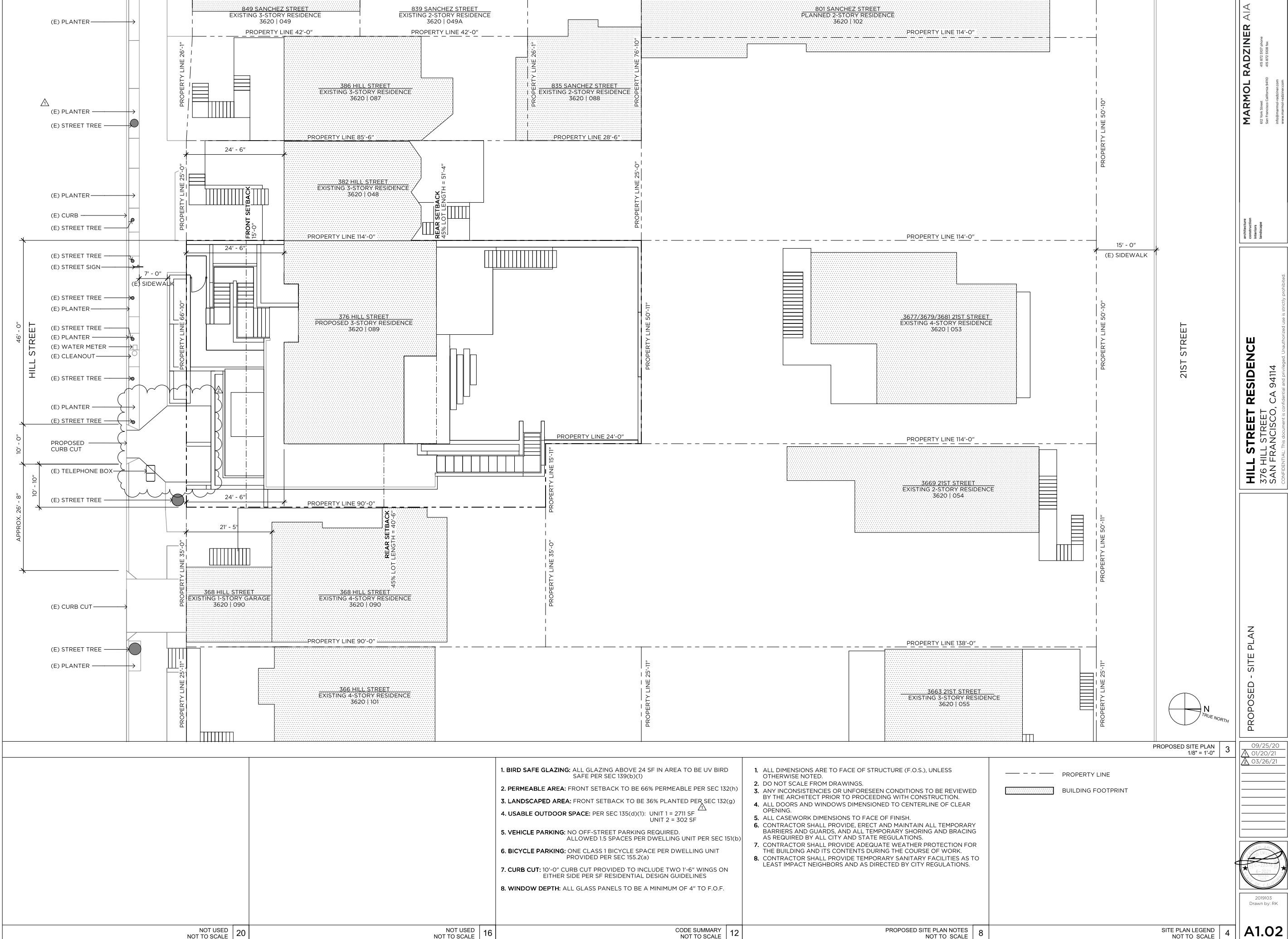
EXISTING - SITE PLAN

09/25/20
01/20/21
03/26/21



2019103
Drawn by: RK

A1.01



PROPOSED SITE PLAN
1/8" = 1'-0"

3

09/25/20
01/20/21
03/26/21



2019103
Drawn by: RK

A1.02

- BIRD SAFE GLAZING:** ALL GLAZING ABOVE 24 SF IN AREA TO BE UV BIRD SAFE PER SEC 139(b)(1)
- PERMEABLE AREA:** FRONT SETBACK TO BE 66% PERMEABLE PER SEC 132(h)
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--- PROPERTY LINE
[Pattern] BUILDING FOOTPRINT

NOT USED
NOT TO SCALE

20

NOT USED
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16

CODE SUMMARY
NOT TO SCALE

12

PROPOSED SITE PLAN NOTES
NOT TO SCALE

8

SITE PLAN LEGEND
NOT TO SCALE

4

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HILL STREET RESIDENCE
376 HILL STREET
SAN FRANCISCO, CA 94114

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PROPOSED - SITE PLAN



1	CONCRETE - DAYTON TOPCAST #3, DAVIS MIAMI BUFF 5447 COLOR
2	SMOOTH PLASTER - ECOSTUCCO, SEA MIST COLOR
3	MATTE FINISH METAL PANEL - RIMEX, GRANEX M1A COLOURTEX CHAMPAGNE COLOR
4	WOOD SIDING - WESTERN RED CEDAR, DARK BROWN STAIN
5	WOOD SIDING AND SOFFIT - WESTERN RED CEDAR, LIGHT BROWN STAIN
6	MATTE FINISH METAL DOORS AND WINDOWS - FLEETWOOD, CHAMPAGNE COLOR

MATERIAL LEGEND

- 2. SMOOTH PLASTER
- 3. MATTE FINISH METAL PANELS
- 4. VERTICAL WOOD SIDING, DARK STAIN
- 5. WOOD SOFFIT
- 5. VERTICAL WOOD SIDING, LIGHT STAIN
- 6. MATTE FINISH METAL DOOR AND WINDOW FRAMES

- 1. CONCRETE
- 5. WOOD GARAGE DOOR
- 2. SMOOTH PLASTER
- 6. MATTE FINISH METAL FENCE AND GATE

VIEW FROM HILL STREET

PROPOSED - EXTERIOR VIEWS

09/25/20
01/20/21
03/26/21



2019/03
Drawn by: RK

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VIEW FROM HILL STREET

ENLARGED VIEW OF MAIN ENTRY

PROPOSED - EXTERIOR VIEWS

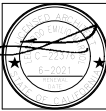
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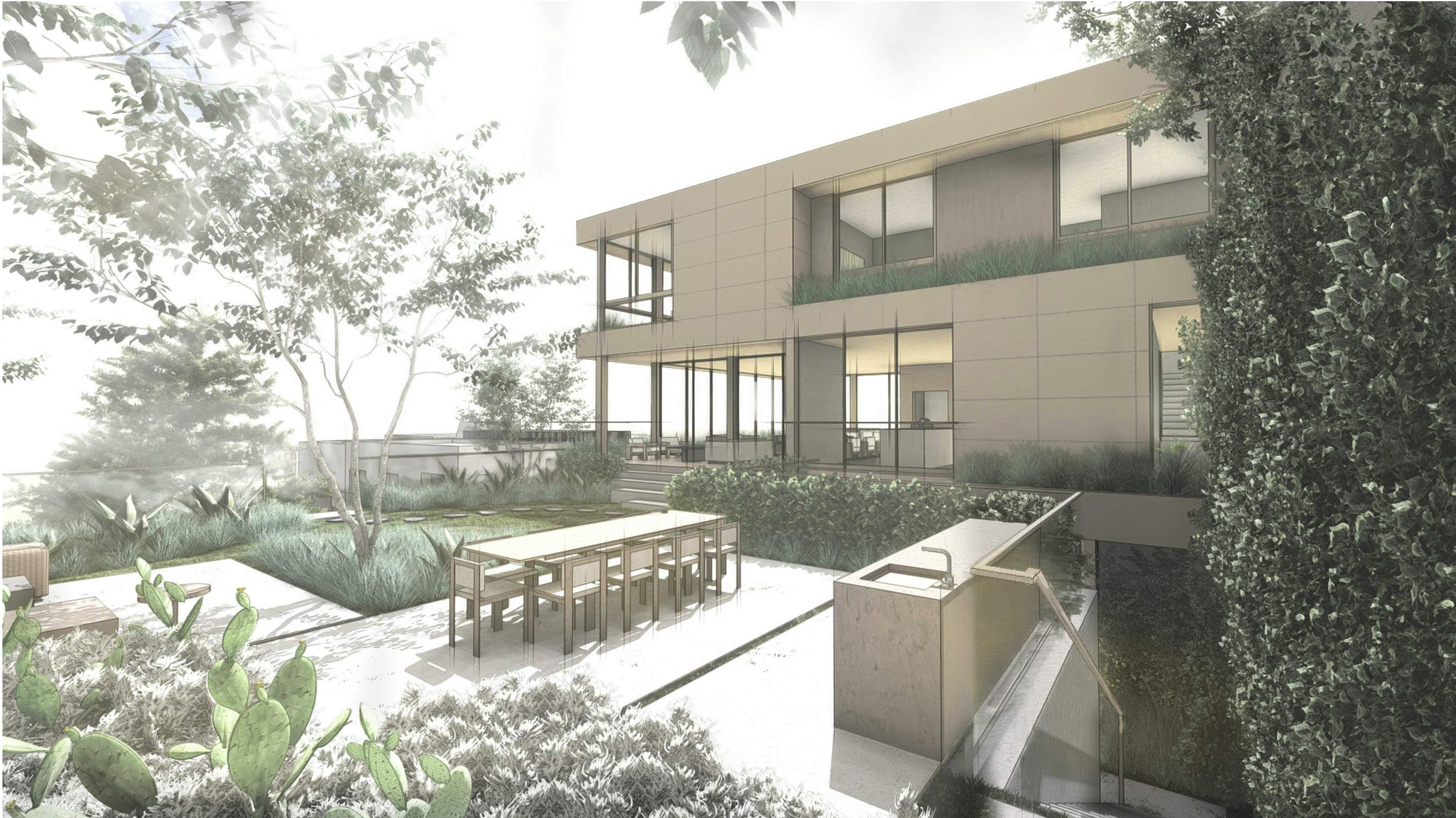


2019103
Drawn by: RK



VIEW FROM HILL STREET

ENLARGED VIEW OF GARAGE ENTRY



VIEW FROM REAR YARD

PROPOSED - EXTERIOR VIEWS

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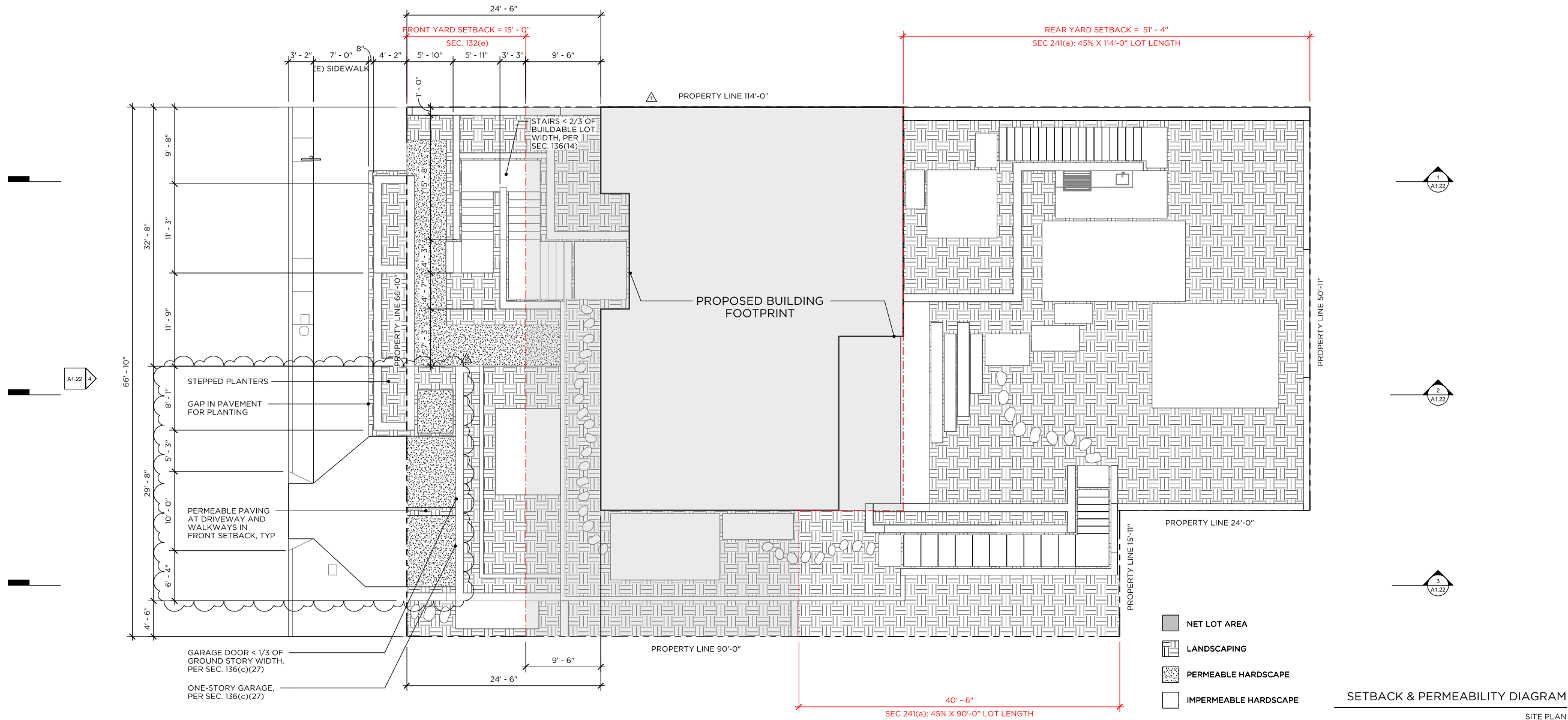
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2019103
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- NET LOT AREA
- LANDSCAPING
- PERMEABLE HARDSCAPE
- IMPERMEABLE HARDSCAPE

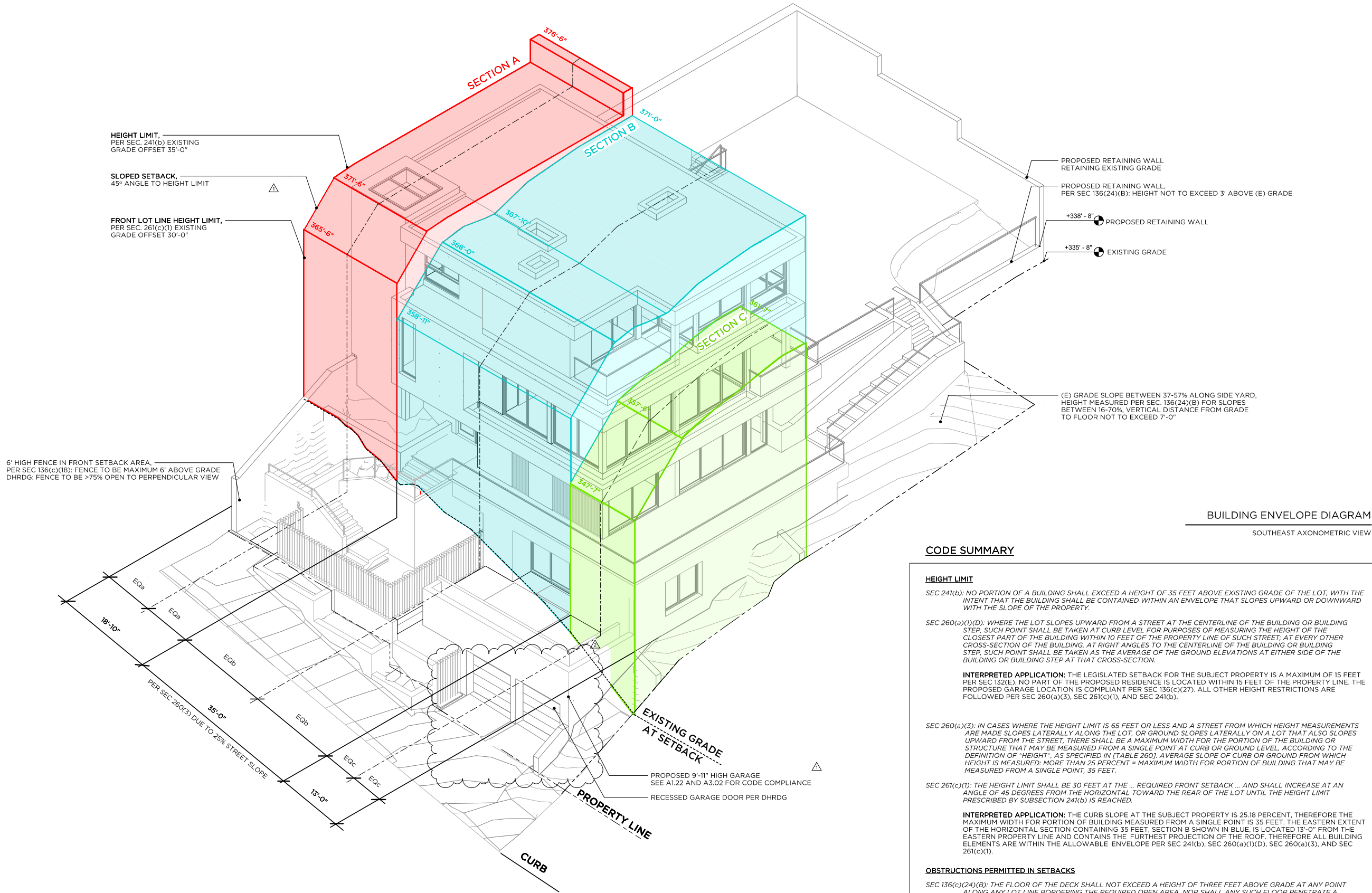
SETBACK & PERMEABILITY DIAGRAM
SITE PLAN

CODE SUMMARY

BUILDABLE LOT AREA
SEC 132(e): THE MAXIMUM REQUIRED FRONT SETBACK ... SHALL BE 15 FEET FROM THE PROPERTY LINE ALONG THE STREET OR ALLEY, OR 15 PERCENT OF THE AVERAGE DEPTH OF THE LOT FROM SUCH STREET OR ALLEY, WHICHEVER IS THE LESSER REQUIREMENT.
SEC 241(a): THE MINIMUM REAR YARD DEPTH SHALL BE EQUAL TO 45 PERCENT OF THE TOTAL DEPTH OF THE LOT ... BUT IN NO CASE SHALL THE REAR YARD BE LESS THAN 25 FEET DEEP.
SEC 209.1: RH-1 DISTRICT SIDE YARD NOT REQUIRED.
NET LOT AREA = 2976 SF

LANDSCAPING AT FRONT SETBACK
SEC 132(g): ALL FRONT SETBACK AREAS REQUIRED BY THIS SECTION 132 SHALL BE APPROPRIATELY LANDSCAPED ... AND IN EVERY CASE NOT LESS THAN 20% OF THE REQUIRED SETBACK AREA SHALL BE AN REMAIN UNPAVED AND DEVOTED TO PLANT MATERIAL, INCLUDING THE USE OF CLIMATE APPROPRIATE PLANT MATERIAL AS DEFINED IN PUBLIC WORKS CODE SECTION 802.1.
TOTAL LANDSCAPED AREA = 36% OF FRONT SETBACK

PERMEABILITY AT FRONT SETBACK
SEC 132(h): THE FRONT SETBACK AREA SHALL BE AT LEAST 50% PERMEABLE SO AS TO INCREASE STORMWATER INFILTRATION.
TOTAL PERMEABLE AREA = 66% OF FRONT SETBACK



BUILDING ENVELOPE DIAGRAM
SOUTHEAST AXONOMETRIC VIEW

CODE SUMMARY

HEIGHT LIMIT

SEC 241(b): NO PORTION OF A BUILDING SHALL EXCEED A HEIGHT OF 35 FEET ABOVE EXISTING GRADE OF THE LOT, WITH THE INTENT THAT THE BUILDING SHALL BE CONTAINED WITHIN AN ENVELOPE THAT SLOPES UPWARD OR DOWNWARD WITH THE SLOPE OF THE PROPERTY.

SEC 260(a)(1)(D): WHERE THE LOT SLOPES UPWARD FROM A STREET AT THE CENTERLINE OF THE BUILDING OR BUILDING STEP, SUCH POINT SHALL BE TAKEN AT CURB LEVEL FOR PURPOSES OF MEASURING THE HEIGHT OF THE CLOSEST PART OF THE BUILDING WITHIN 10 FEET OF THE PROPERTY LINE OF SUCH STREET; AT EVERY OTHER CROSS-SECTION OF THE BUILDING, AT RIGHT ANGLES TO THE CENTERLINE OF THE BUILDING OR BUILDING STEP, SUCH POINT SHALL BE TAKEN AS THE AVERAGE OF THE GROUND ELEVATIONS AT EITHER SIDE OF THE BUILDING OR BUILDING STEP AT THAT CROSS-SECTION.

INTERPRETED APPLICATION: THE LEGISLATED SETBACK FOR THE SUBJECT PROPERTY IS A MAXIMUM OF 15 FEET PER SEC 132(E). NO PART OF THE PROPOSED RESIDENCE IS LOCATED WITHIN 15 FEET OF THE PROPERTY LINE. THE PROPOSED GARAGE LOCATION IS COMPLIANT PER SEC 136(c)(27). ALL OTHER HEIGHT RESTRICTIONS ARE FOLLOWED PER SEC 260(a)(3), SEC 261(c)(1), AND SEC 241(b).

SEC 260(a)(3): IN CASES WHERE THE HEIGHT LIMIT IS 65 FEET OR LESS AND A STREET FROM WHICH HEIGHT MEASUREMENTS ARE MADE SLOPES Laterally ALONG THE LOT, OR GROUND SLOPES Laterally ON A LOT THAT ALSO SLOPES UPWARD FROM THE STREET, THERE SHALL BE A MAXIMUM WIDTH FOR THE PORTION OF THE BUILDING OR STRUCTURE THAT MAY BE MEASURED FROM A SINGLE POINT AT CURB OR GROUND LEVEL, ACCORDING TO THE DEFINITION OF "HEIGHT", AS SPECIFIED IN TABLE 260). AVERAGE SLOPE OF CURB OR GROUND FROM WHICH HEIGHT IS MEASURED: MORE THAN 25 PERCENT = MAXIMUM WIDTH FOR PORTION OF BUILDING THAT MAY BE MEASURED FROM A SINGLE POINT, 35 FEET.

SEC 261(c)(1): THE HEIGHT LIMIT SHALL BE 30 FEET AT THE ... REQUIRED FRONT SETBACK ... AND SHALL INCREASE AT AN ANGLE OF 45 DEGREES FROM THE HORIZONTAL TOWARD THE REAR OF THE LOT UNTIL THE HEIGHT LIMIT PRESCRIBED BY SUBSECTION 241(b) IS REACHED.

INTERPRETED APPLICATION: THE CURB SLOPE AT THE SUBJECT PROPERTY IS 25.18 PERCENT, THEREFORE THE MAXIMUM WIDTH FOR PORTION OF BUILDING MEASURED FROM A SINGLE POINT IS 35 FEET. THE EASTERN EXTENT OF THE HORIZONTAL SECTION CONTAINING 35 FEET, SECTION B SHOWN IN BLUE, IS LOCATED 13'-0" FROM THE EASTERN PROPERTY LINE AND CONTAINS THE FURTHEST PROJECTION OF THE ROOF. THEREFORE ALL BUILDING ELEMENTS ARE WITHIN THE ALLOWABLE ENVELOPE PER SEC 241(b), SEC 260(a)(1)(D), SEC 260(a)(3), AND SEC 261(c)(1).

OBSTRUCTIONS PERMITTED IN SETBACKS

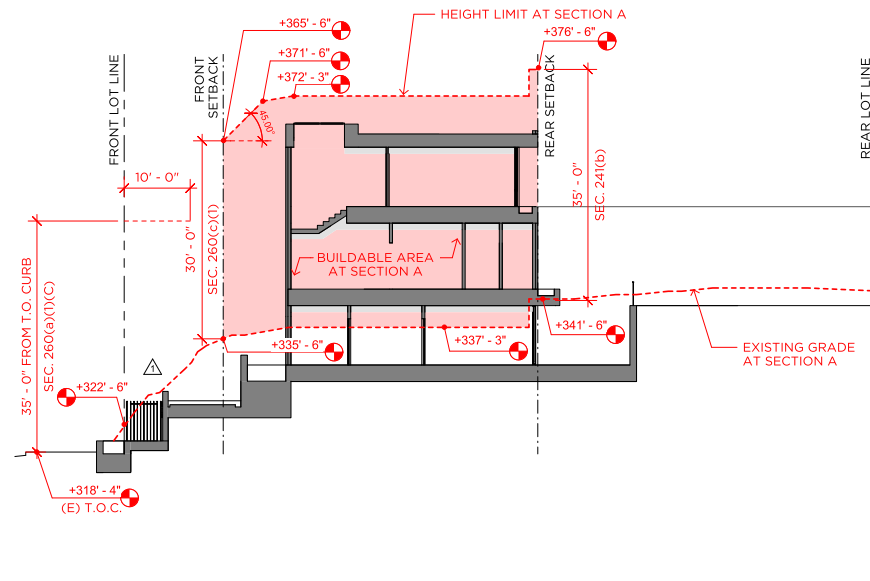
SEC 136(c)(24)(B): THE FLOOR OF THE DECK SHALL NOT EXCEED A HEIGHT OF THREE FEET ABOVE GRADE AT ANY POINT ALONG ANY LOT LINE BORDERING THE REQUIRED OPEN AREA, NOR SHALL ANY SUCH FLOOR PENETRATE A PLANE MADE BY A VERTICAL ANGLE 45 DEGREES ABOVE HORIZONTAL WITH ITS VERTEX THREE FEET ABOVE GRADE AT ANY LOT LINE ... THE VERTICAL DISTANCE MEASURED UP FROM GRADE TO THE FLOOR OF THE DECK SHALL NOT EXCEED SEVEN FEET AT ANY POINT IN THE REQUIRED OPEN AREA.

SEC 136(13): RETAINING WALLS THAT ARE NECESSARY TO MAINTAIN APPROXIMATELY THE GRADE EXISTING AT THE TIME OF CONSTRUCTION OF A BUILDING [ARE PERMITTED]. OTHER RETAINING WALLS AND THE GRADE MAINTAINED BY THEM SHALL BE SUBJECT TO THE SAME REGULATIONS AS DECKS.

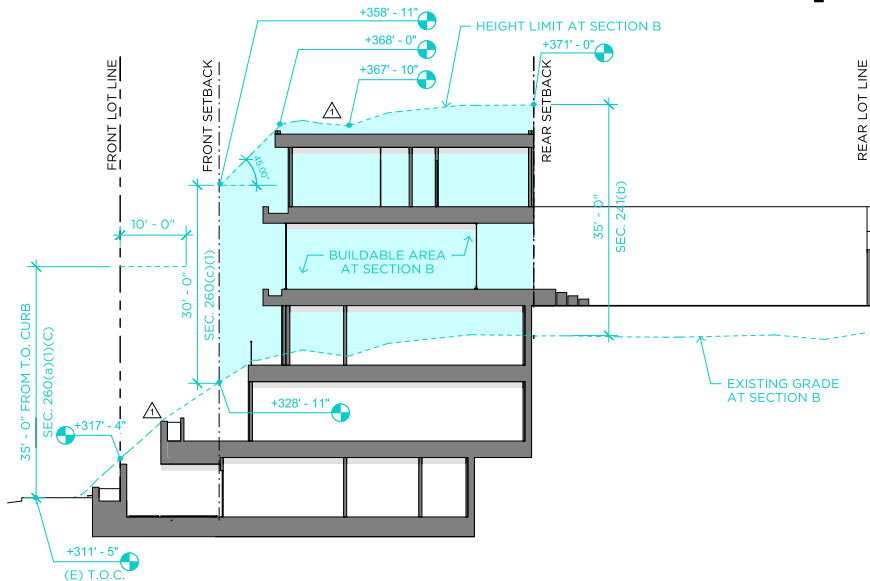
SEC 136(c)(27): GARAGES [ARE PERMITTED], WHERE THE AVERAGE SLOPE OF THE REQUIRED OPEN AREA ASCENDS FROM THE STREET LOT LINE TO THE LINE AT THE SETBACK AND EXCEEDS 50 PERCENT, PROVIDED THE HEIGHT OF THE GARAGE IS LIMITED TO 10 FEET ABOVE GRADE, OR THE FLOOR LEVEL OF THE ADJACENT FIRST FLOOR OF OCCUPANCY ON THE SUBJECT PROPERTY, WHICHEVER HEIGHT IS LESS.



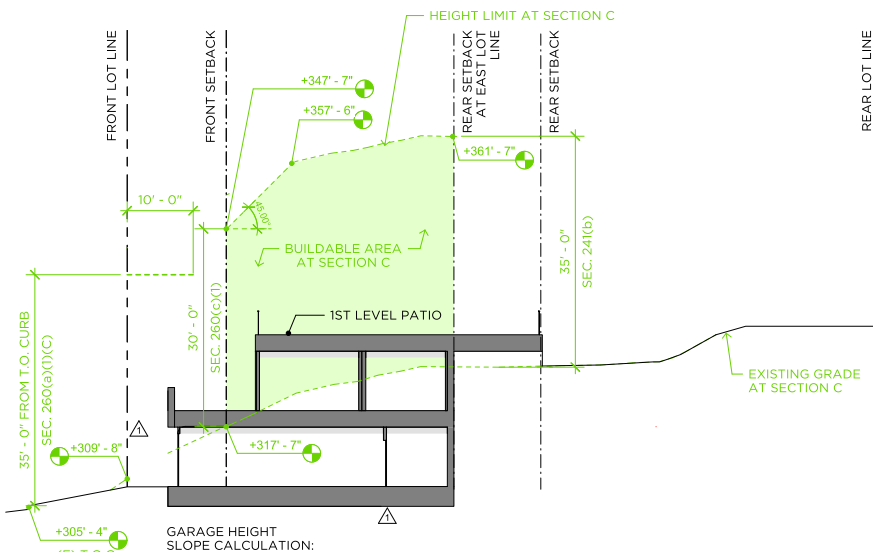
HEIGHT DIAGRAM - SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



HEIGHT DIAGRAM - SECTION A
SCALE: 3/32" = 1'-0"

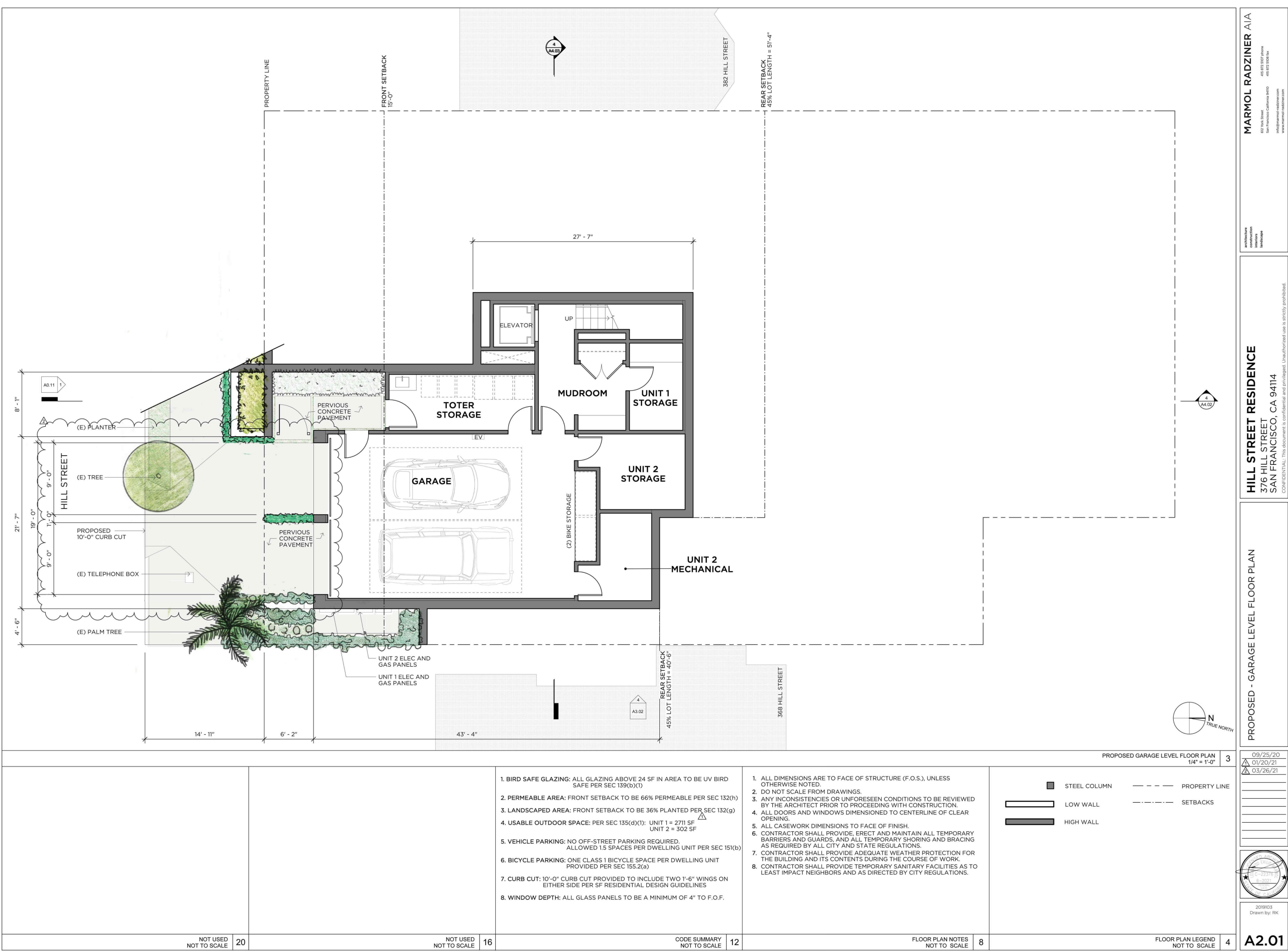


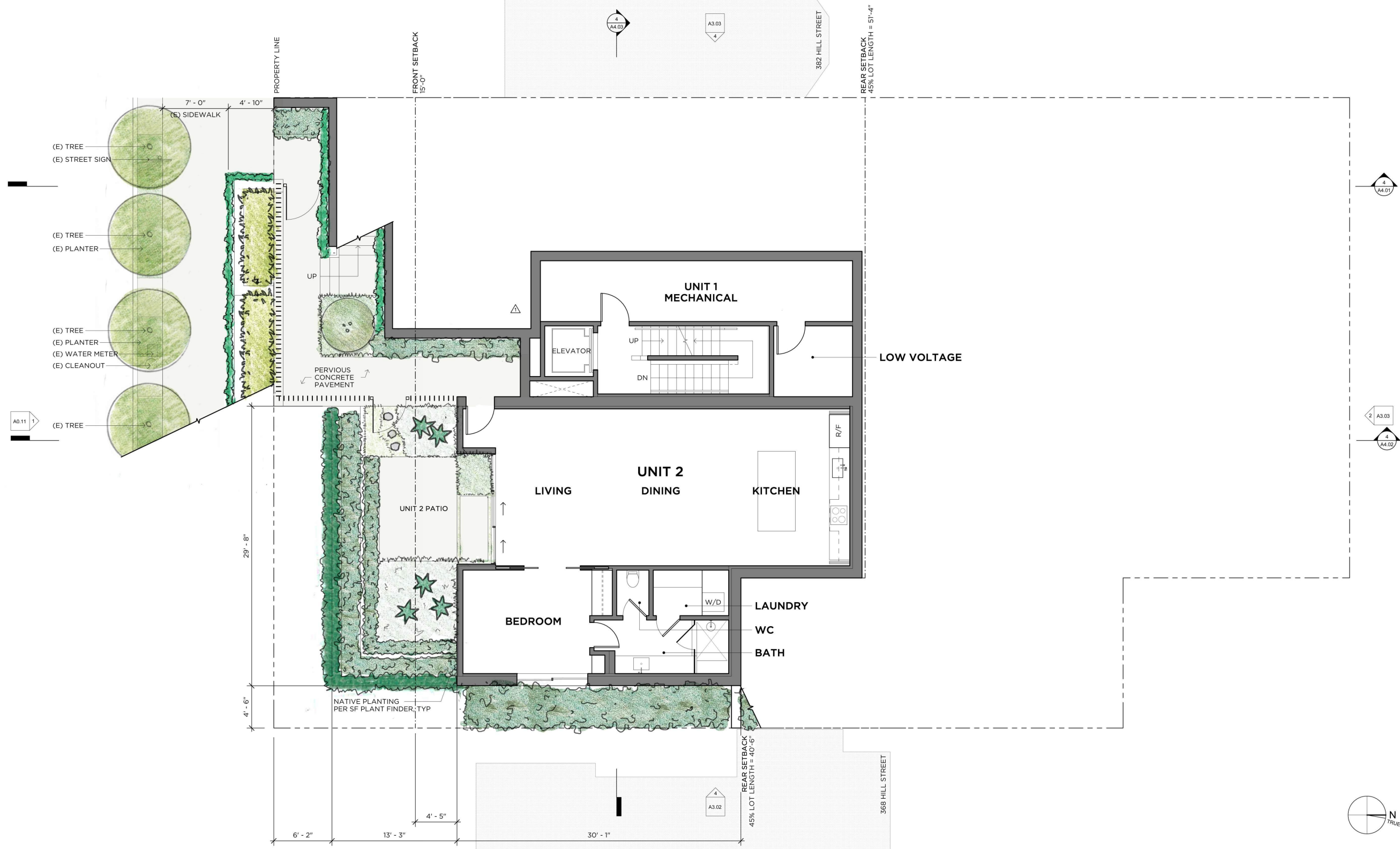
HEIGHT DIAGRAM - SECTION B
SCALE: 3/32" = 1'-0"



GARAGE HEIGHT
SLOPE CALCULATION:
50% MIN SLOPE PER SEC 136(27)
317'-7" - 309'-8" = 7'-11"
7'-11" / 15'-0" FYSB = 53% SLOPE

HEIGHT DIAGRAM - SECTION C
SCALE: 3/32" = 1'-0"





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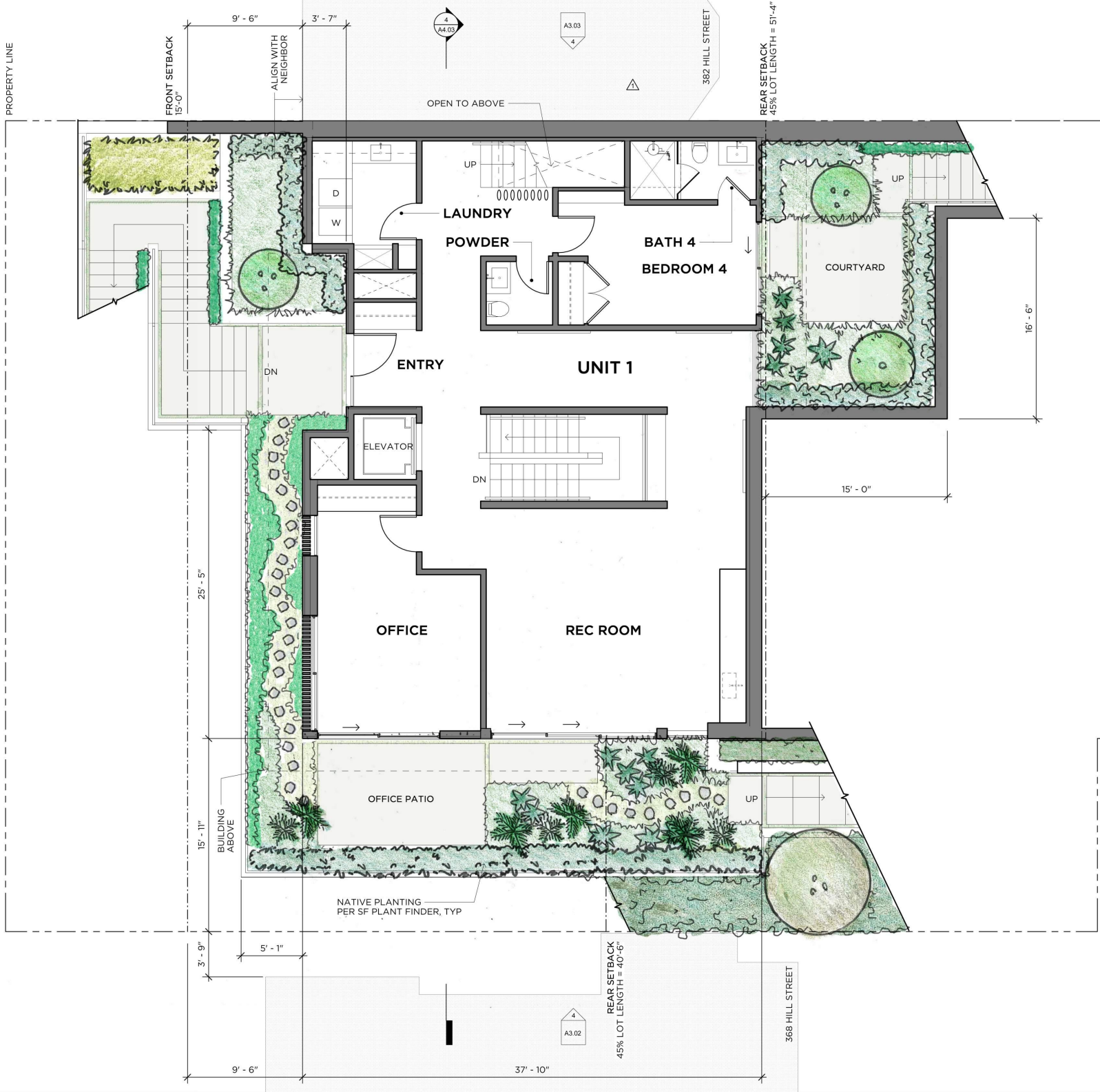
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- STEEL COLUMN
LOW WALL
HIGH WALL
PROPERTY LINE
SETBACKS



A0.11

PROPERTY LINE



PROPOSED FIRST LEVEL FLOOR PLAN
1/4" = 1'-0"

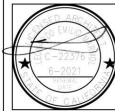
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09/25/20
01/20/21
03/26/21

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- STEEL COLUMN
LOW WALL
HIGH WALL
PROPERTY LINE
SETBACKS



2019103
Drawn by: RK

A2.03

PROPOSED - FIRST LEVEL FLOOR PLAN

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CODE SUMMARY
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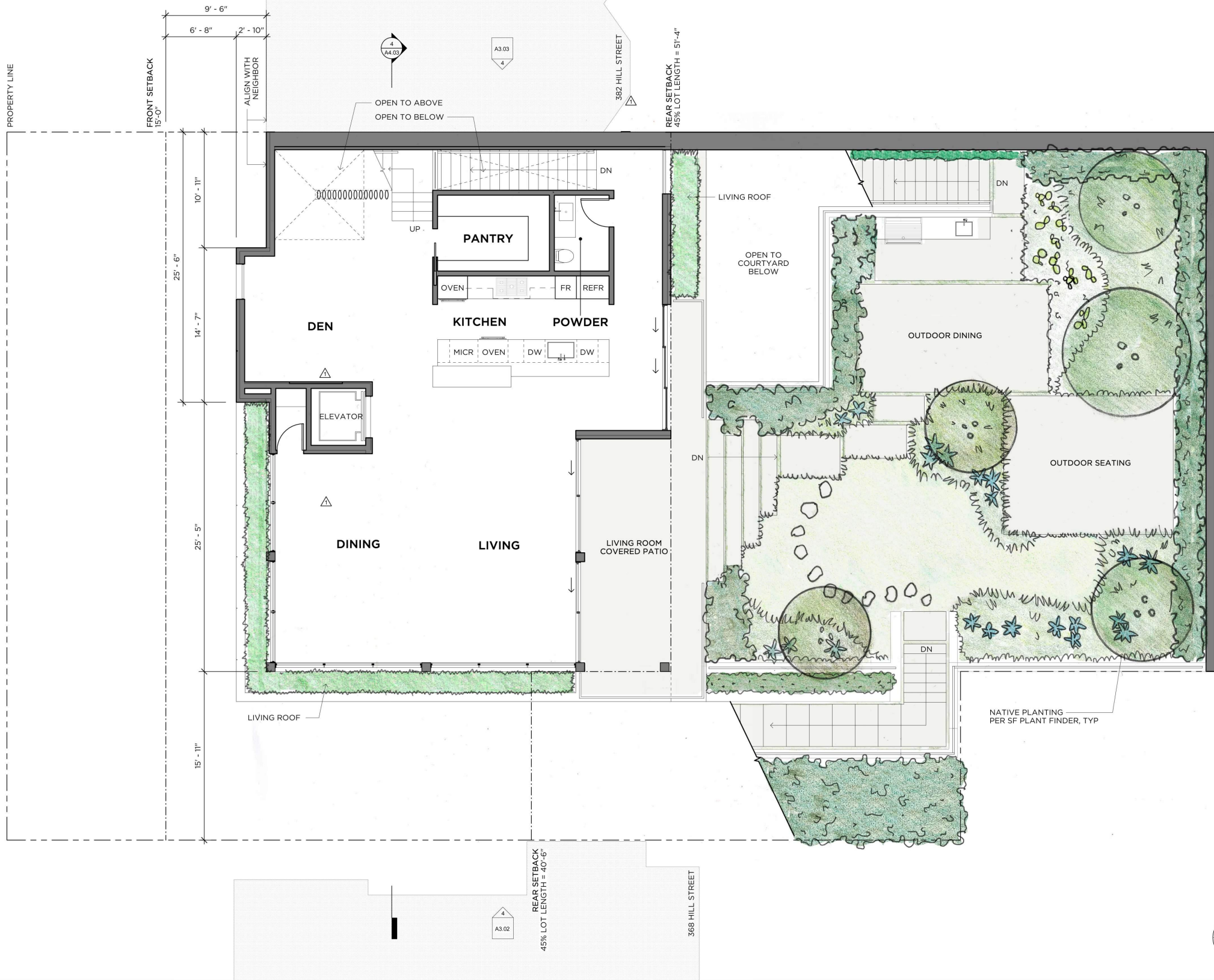
FLOOR PLAN NOTES
NOT TO SCALE

8

FLOOR PLAN LEGEND
NOT TO SCALE

4

A0.11 1"



PROPOSED SECOND LEVEL FLOOR PLAN
1/4" = 1'-0"

3

09/25/20
01/20/21
03/26/21

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- STEEL COLUMN
- LOW WALL
- HIGH WALL
- PROPERTY LINE
- SETBACKS



2019103
Drawn by: RK

A2.04

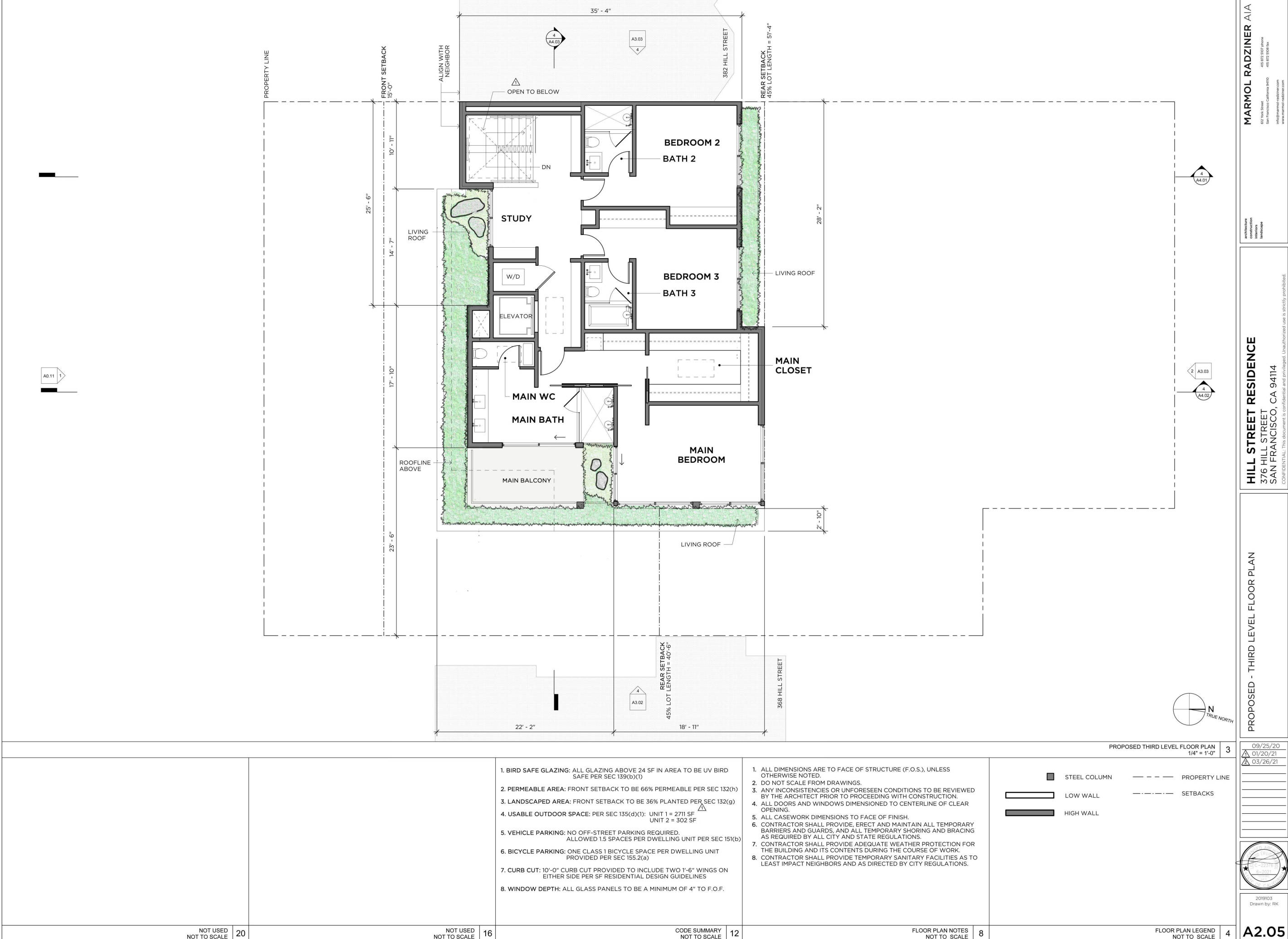
PROPOSED - SECOND LEVEL FLOOR PLAN



















































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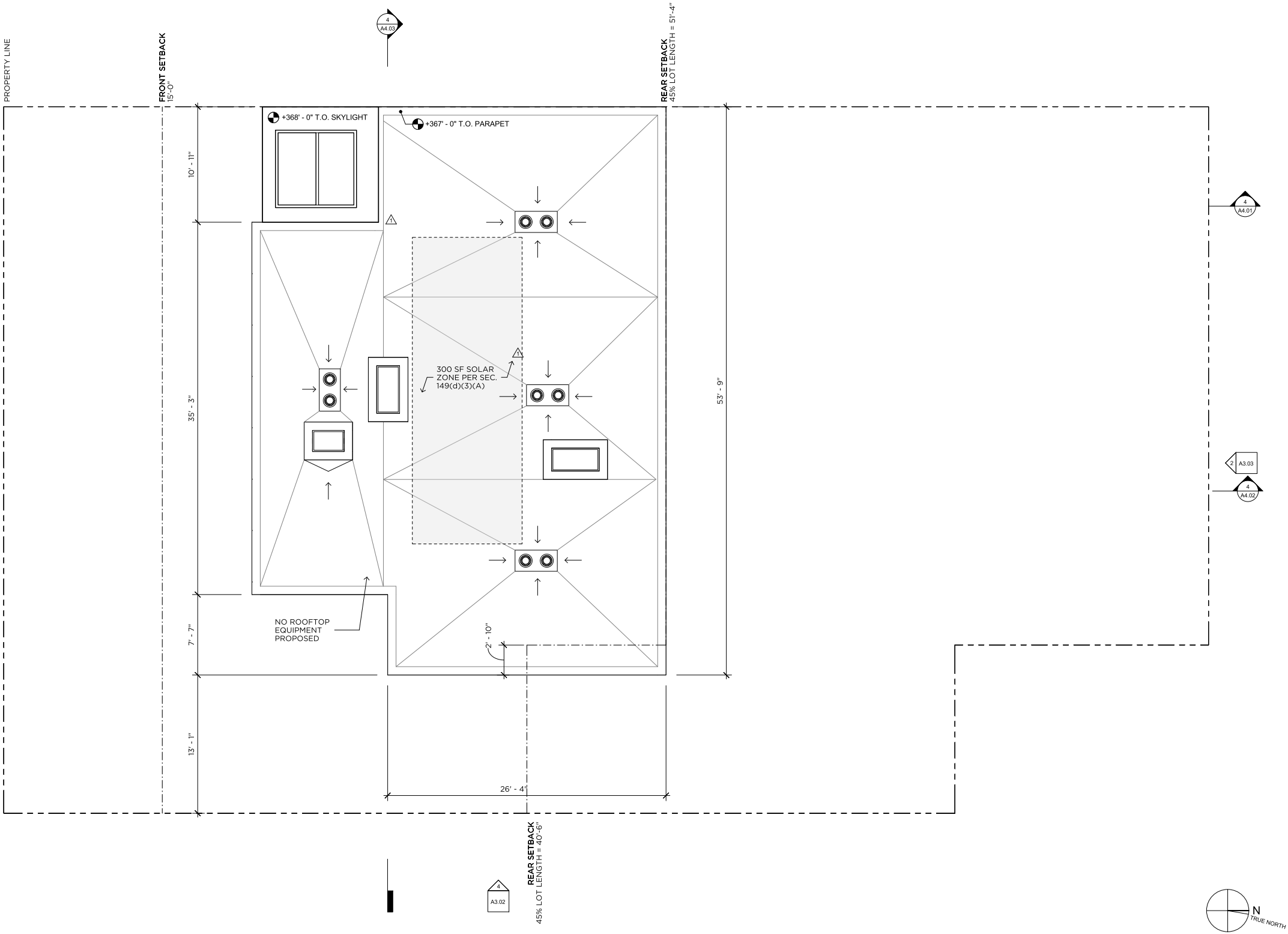
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				<div>1. BIRD SAFE GLAZING: ALL GLAZING ABOVE 24 SF IN AREA TO BE UV BIRD SAFE PER SEC 139(b)(1)</div> <div>2. PERMEABLE AREA: FRONT SETBACK TO BE 66% PERMEABLE PER SEC 132(h)</div> <div>3. LANDSCAPED AREA: FRONT SETBACK TO BE 36% PLANTED PER SEC 132(g)</div> <div>4. USABLE OUTDOOR SPACE: PER SEC 135(d)(1): UNIT 1 = 2711 SF UNIT 2 = 302 SF</div> <div>5. VEHICLE PARKING: NO OFF-STREET PARKING REQUIRED. ALLOWED 1.5 SPACES PER DWELLING UNIT PER SEC 151(b)</div> <div>6. BICYCLE PARKING: ONE CLASS 1 BICYCLE SPACE PER DWELLING UNIT PROVIDED PER SEC 155.2(a)</div> <div>7. CURB CUT: 10'-0" CURB CUT PROVIDED TO INCLUDE TWO 1'-6" WINGS ON EITHER SIDE PER SF RESIDENTIAL DESIGN GUIDELINES</div> <div>8. WINDOW DEPTH: ALL GLASS PANELS TO BE A MINIMUM OF 4" TO F.O.F.</div>				<div>1. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.</div> <div>2. DO NOT SCALE FROM DRAWINGS.</div> <div>3. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.</div> <div>4. ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING.</div> <div>5. ALL CASEWORK DIMENSIONS TO FACE OF FINISH.</div> <div>6. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.</div> <div>7. CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK.</div> <div>8. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS TO LEAST IMPACT NEIGHBORS AND AS DIRECTED BY CITY REGULATIONS.</div>		<div><div></div> ROOF DRAIN AND OVERFLOW DRAIN</div> <div><div></div> INDICATES DIRECTION OF POSITIVE DRAINAGE, 2% MINIMUM</div> <div><div></div> SKYLIGHT</div> <div><div></div> PROPERTY LINE</div> <div><div></div> SETBACKS</div>		<div>09/25/20</div> <div> 01/20/21</div> <div> 03/26/21</div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div>	
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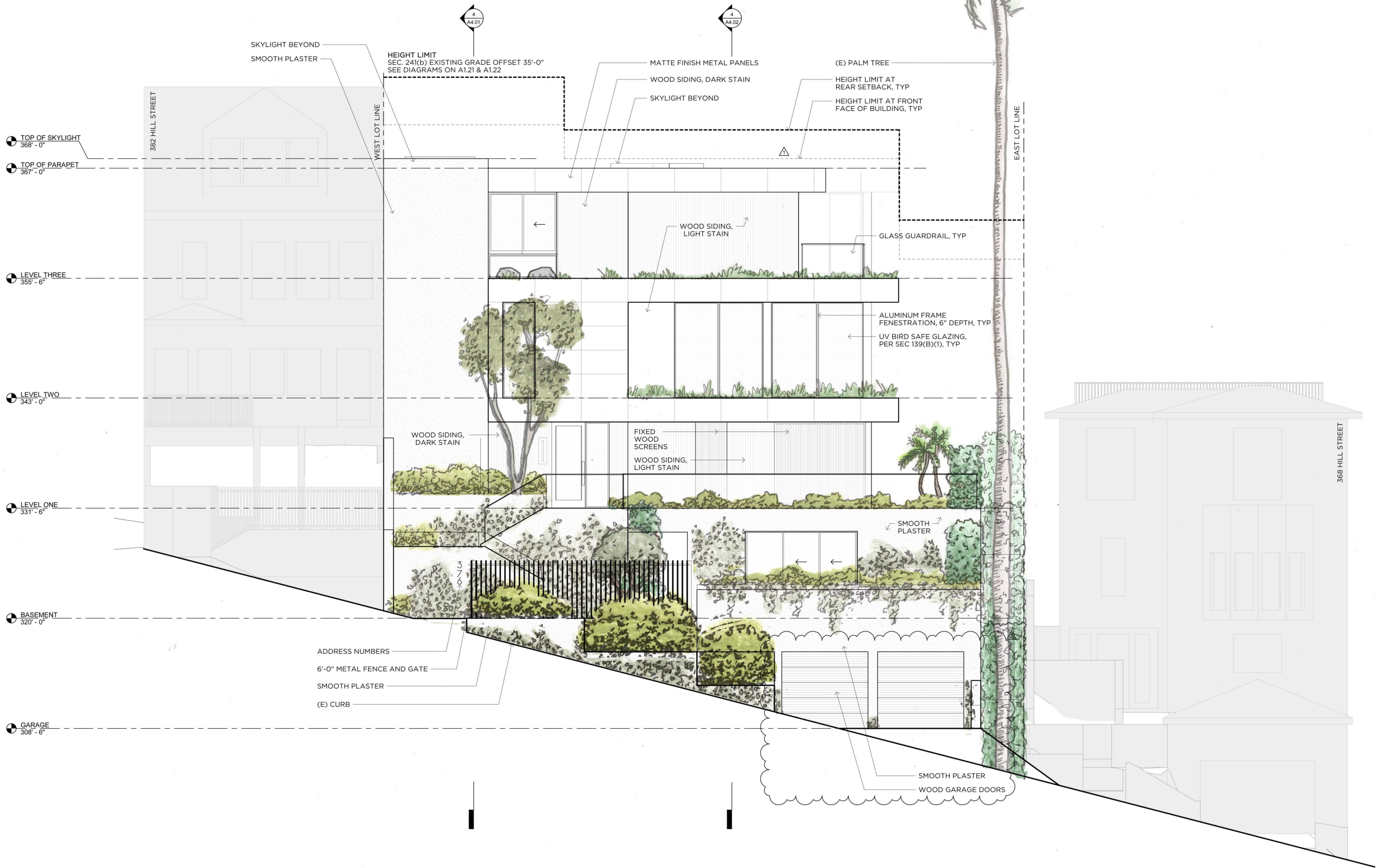
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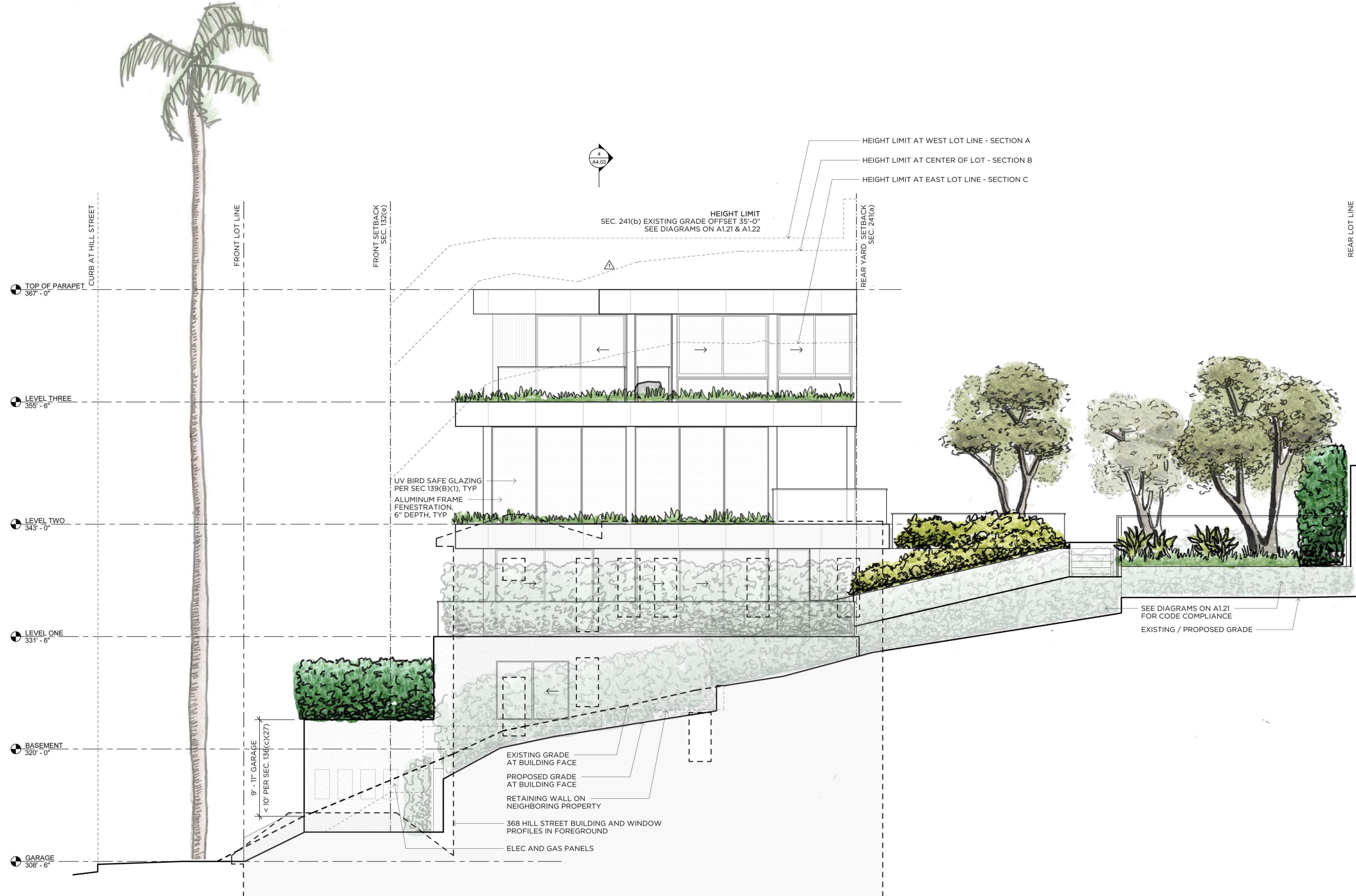
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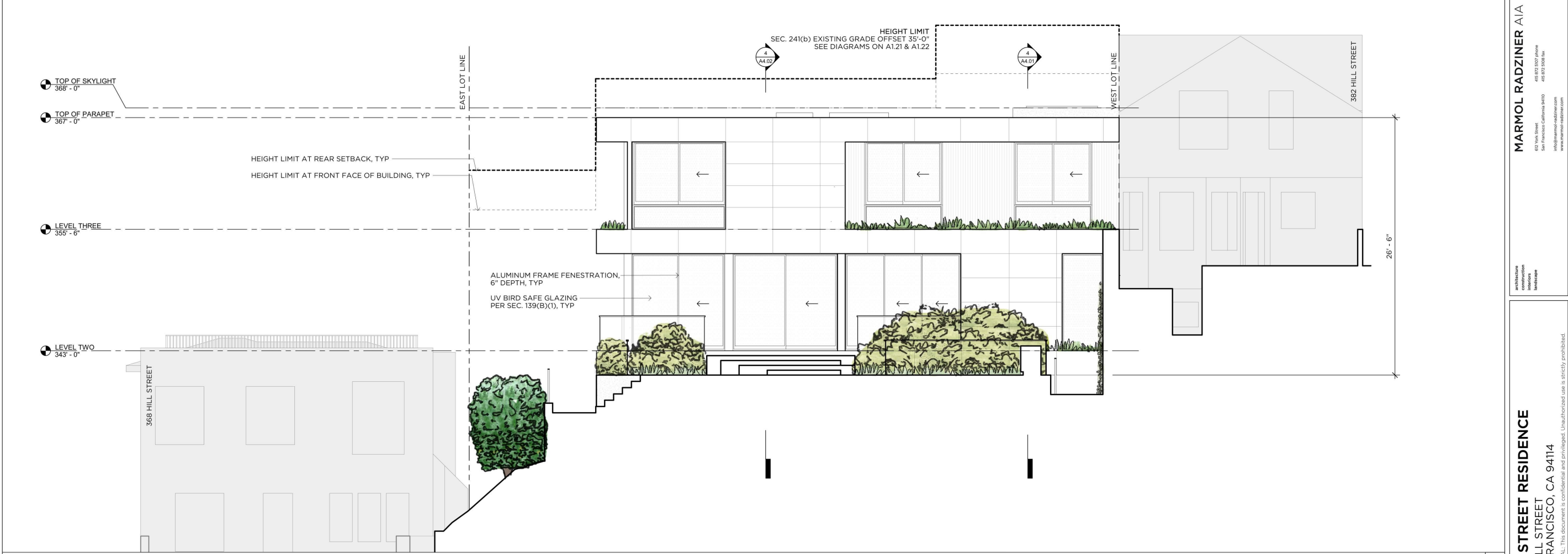
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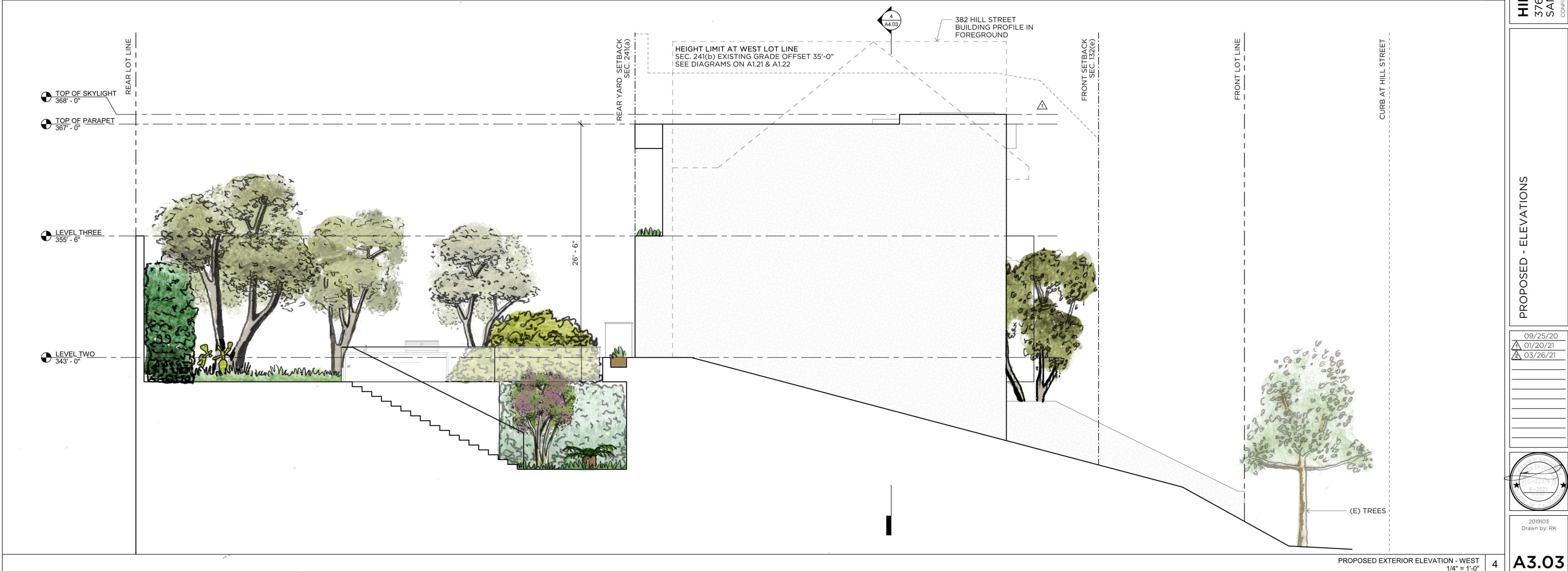
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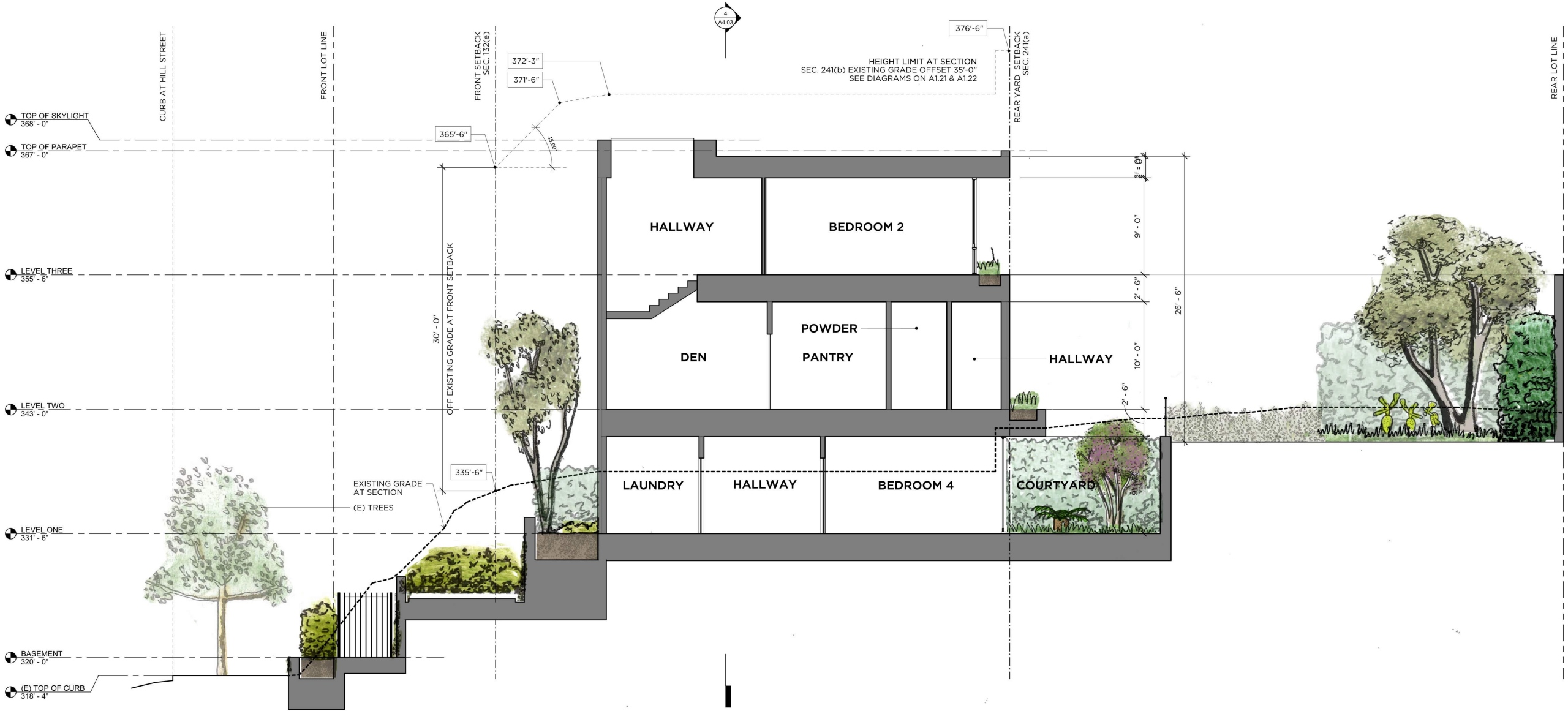




PROPOSED EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"



PROPOSED EXTERIOR ELEVATION - WEST
1/4" = 1'-0"



BASEMENT
320' - 0"

(E) TOP OF CURB
318' - 4"

LEVEL ONE
331' - 6"

LEVEL TWO
343' - 0"

LEVEL THREE
355' - 6"

TOP OF PARAPET
367' - 0"

TOP OF SKYLIGHT
368' - 0"

CURB AT HILL STREET
FRONT LOT LINE

FRONT LOT LINE

FRONT SETBACK
SEC. 132(e)

REAR YARD SETBACK
SEC. 241(g)

REAR LOT LINE

PROPOSED - SECTIONS

09/25/20
01/20/21
03/26/21

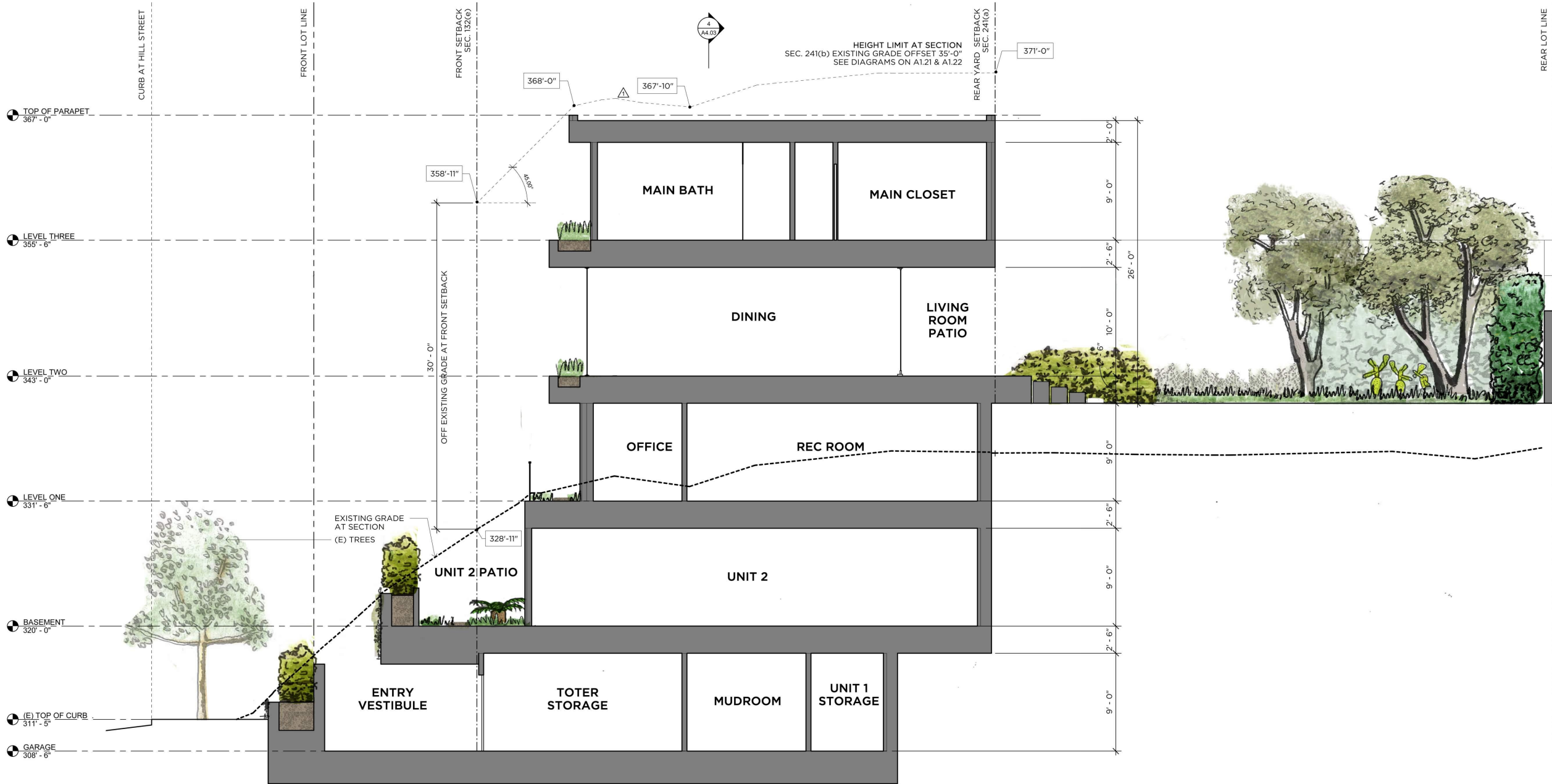


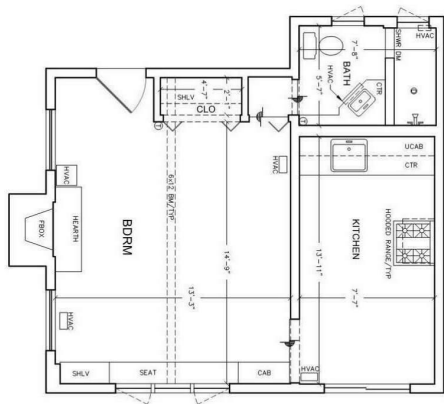
2019103
Drawn by: RK

HILL STREET RESIDENCE
376 HILL STREET
SAN FRANCISCO, CA 94114

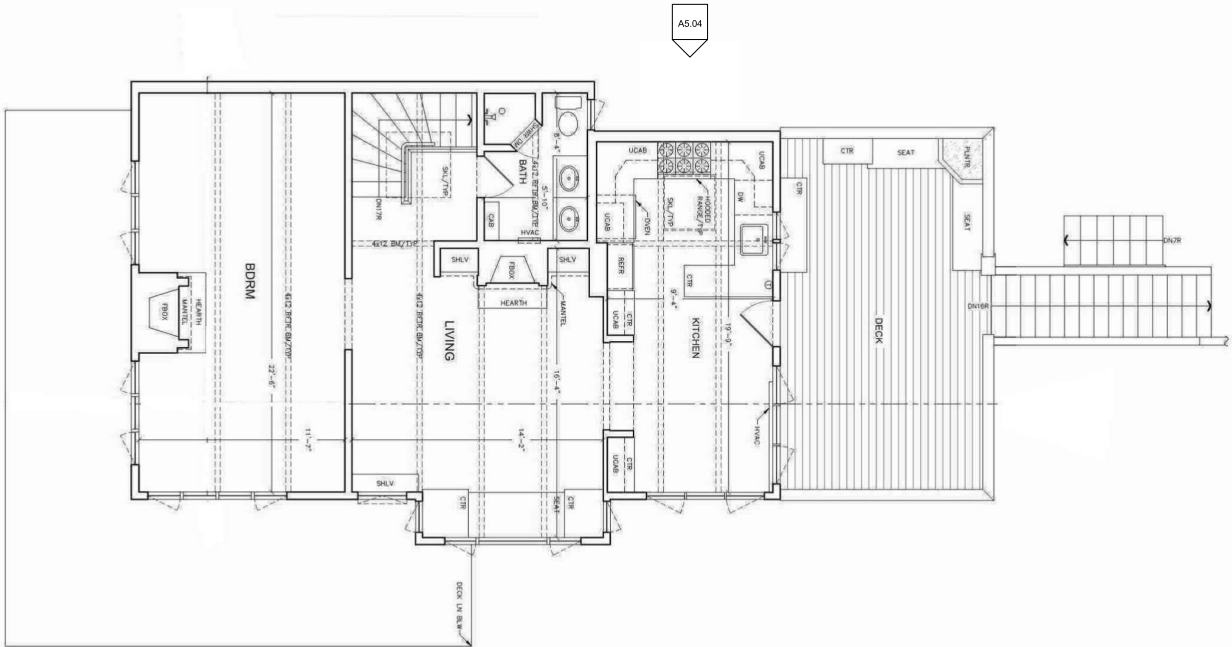
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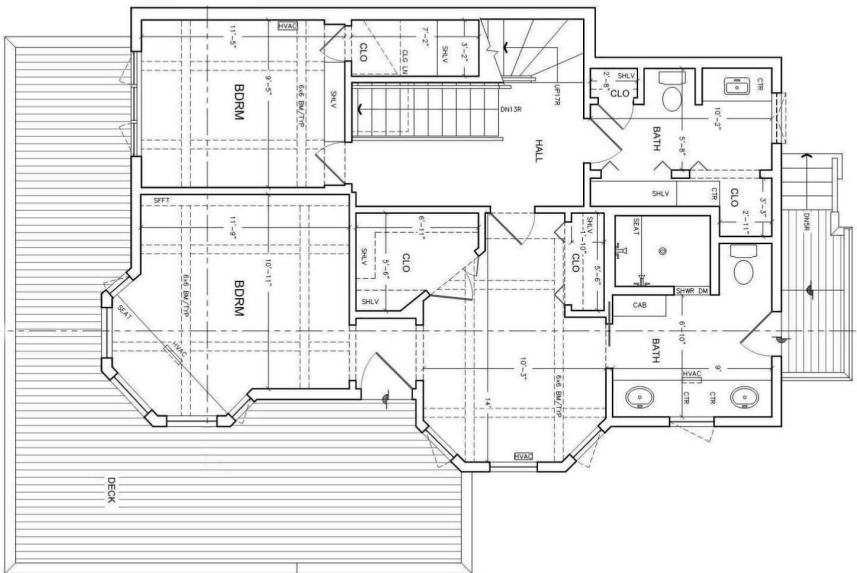




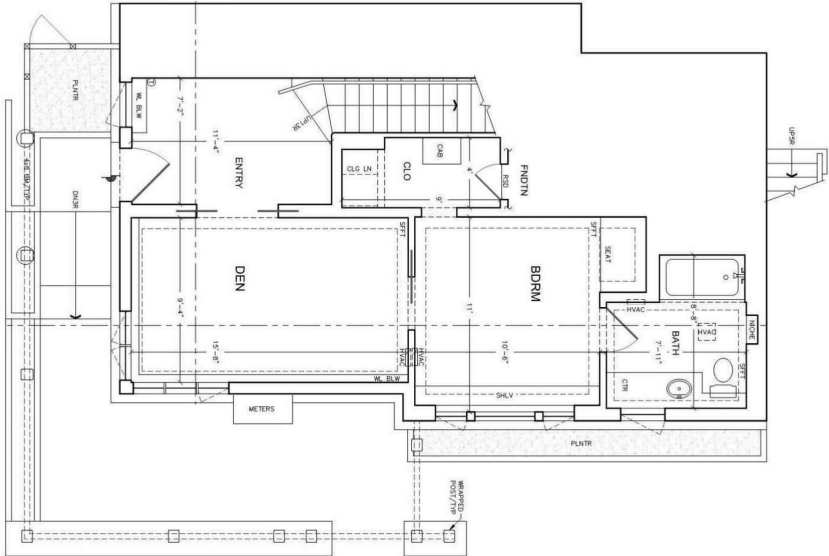
EXISTING ACCESSORY BUILDING FLOOR PLAN



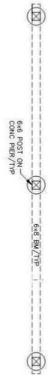
EXISTING THIRD LEVEL FLOOR PLAN

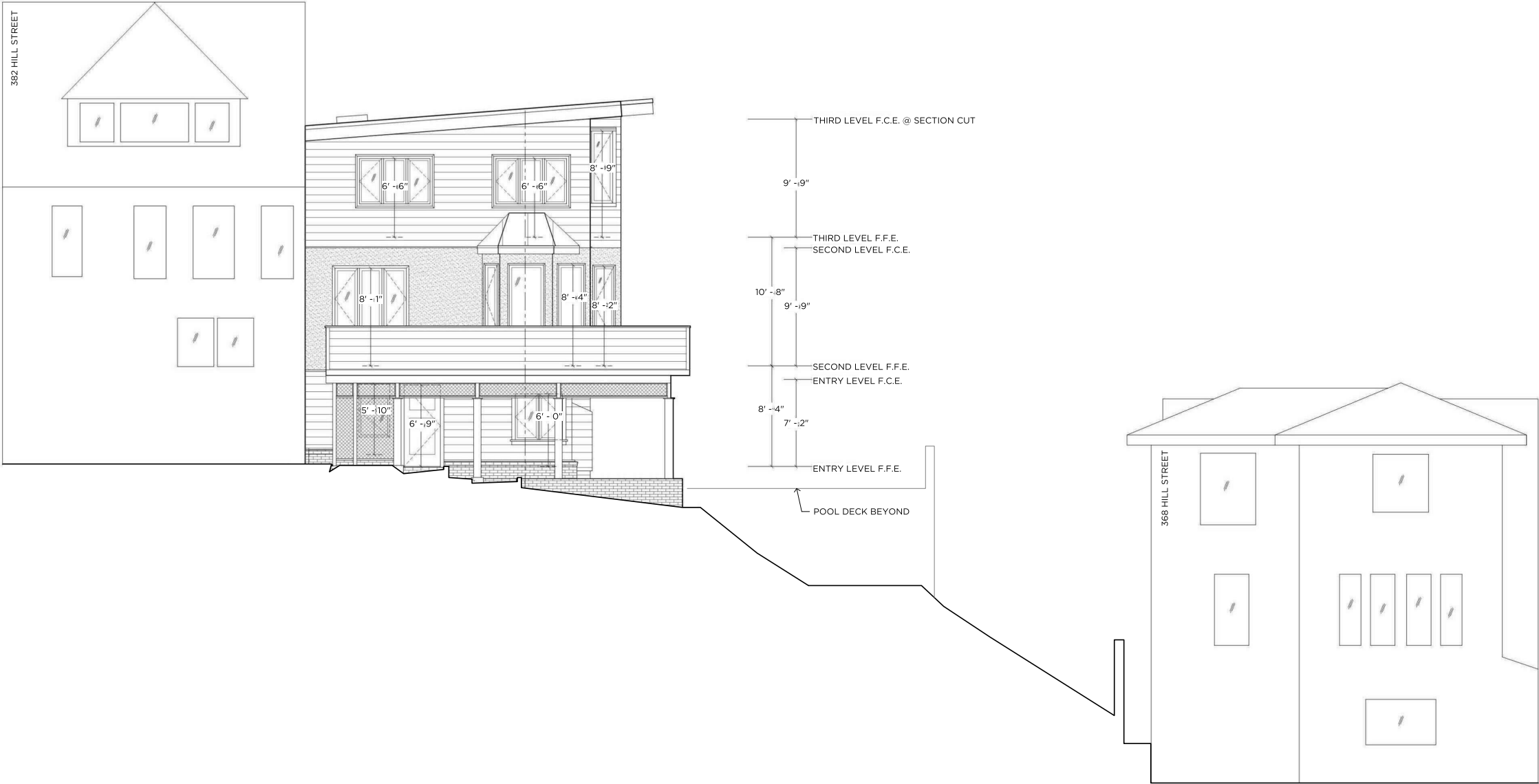


EXISTING SECOND LEVEL FLOOR PLAN



EXISTING FIRST LEVEL FLOOR PLAN





EXISTING - ELEVATIONS

HILL STREET RESIDENCE
376 HILL STREET
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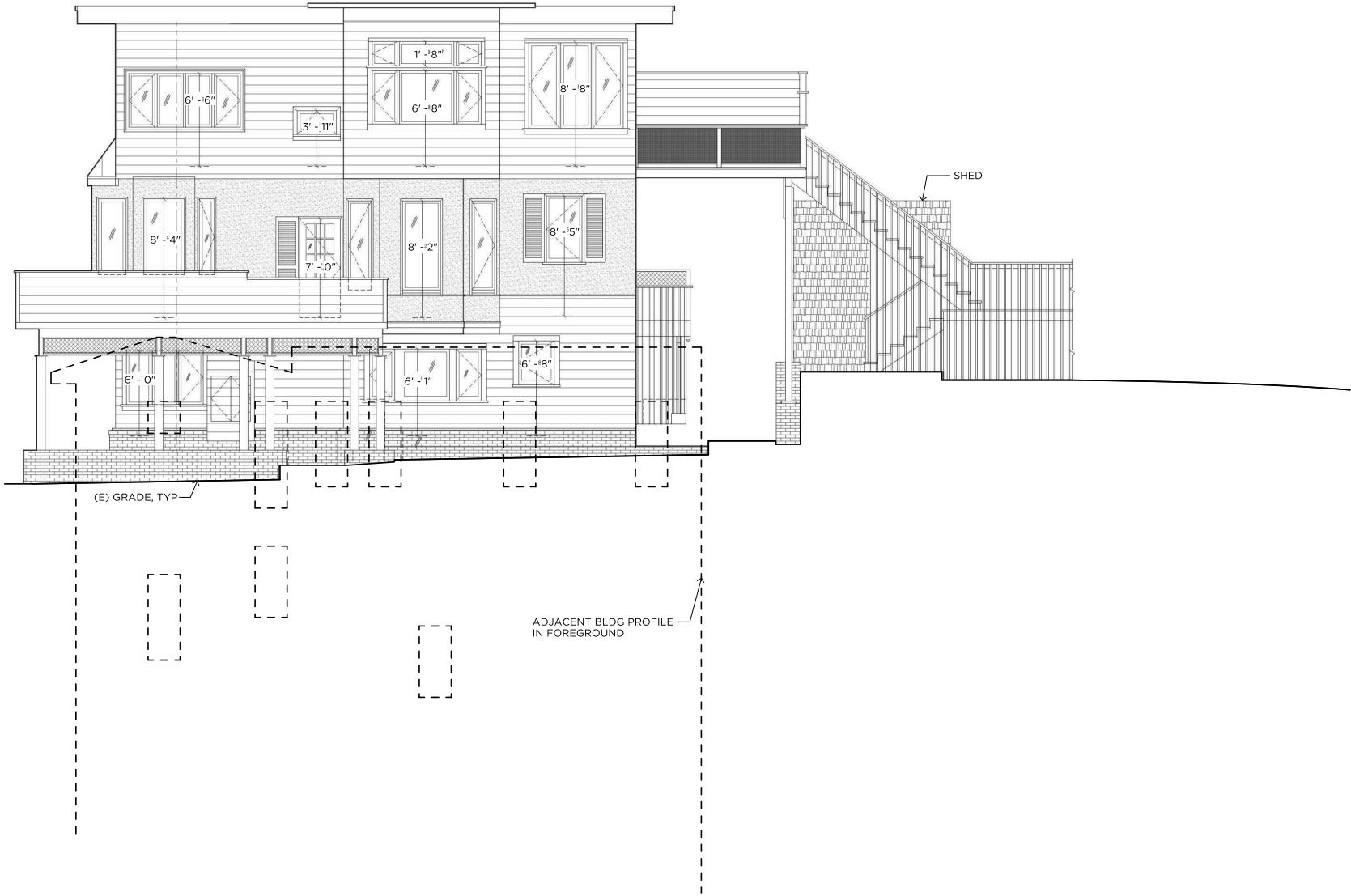
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09/25/20
01/20/21
03/26/21

20191003
Drawn by: RK

THIRD LEVEL F.F.E. @ SECTION CUT
9' -19"
THIRD LEVEL F.F.E.
SECOND LEVEL F.F.E.
9' -19" 10' -18"
SECOND LEVEL F.F.E.
ENTRY LEVEL F.F.E.
7' -12" 8' -14"
ENTRY LEVEL F.F.E.



EXISTING - ELEVATIONS

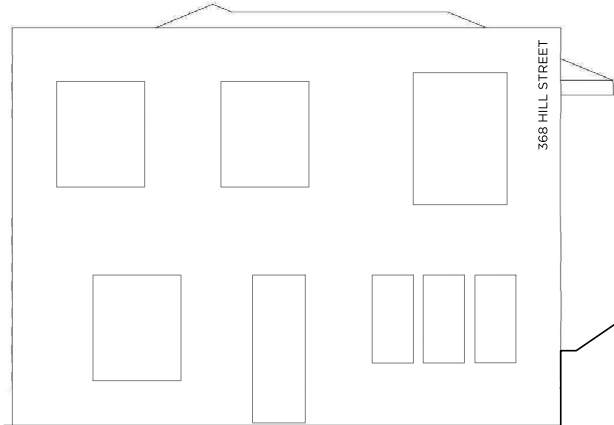
09/25/20
01/20/21
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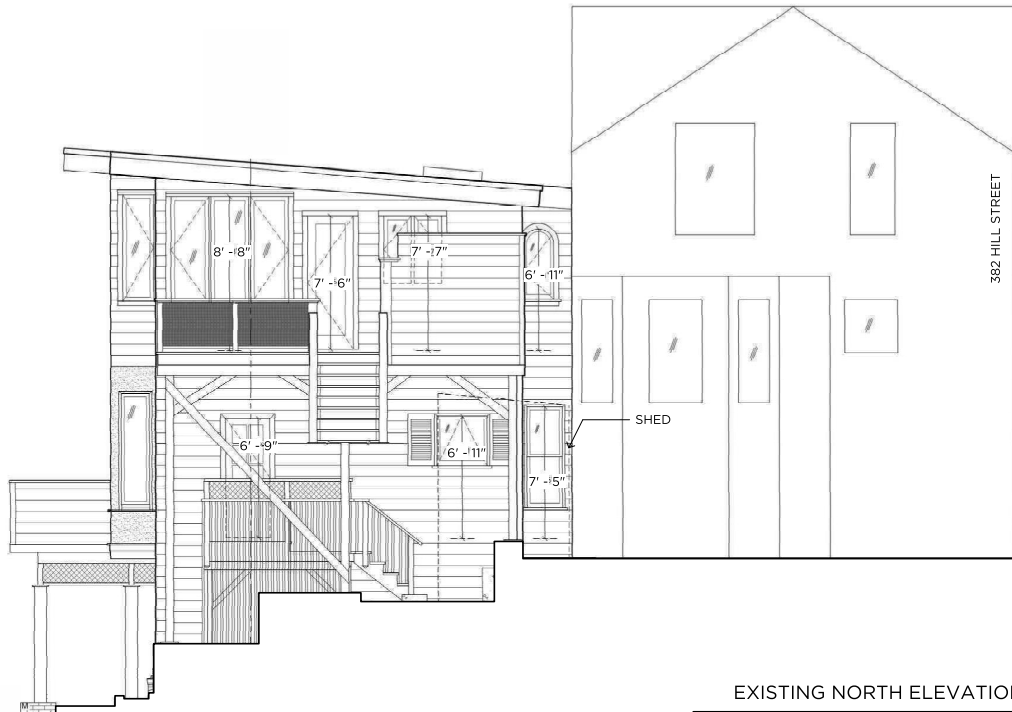


THIRD LEVEL F.C.E. @ SECTION CUT
9' -19"

THIRD LEVEL F.F.E.
SECOND LEVEL F.C.E.
9' -19" 10' -18"

SECOND LEVEL F.F.E.
ENTRY LEVEL F.C.E.
7' -2" 8' -14"

ENTRY LEVEL F.F.E.



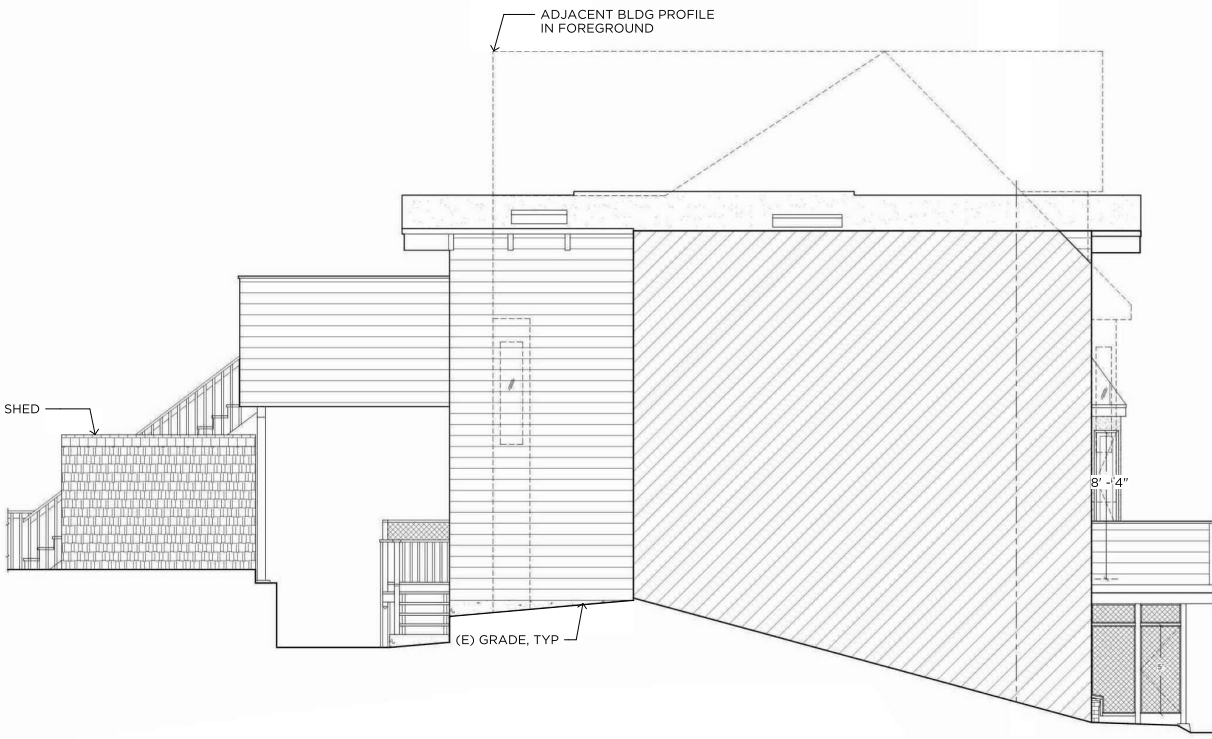
EXISTING NORTH ELEVATION

THIRD LEVEL F.C.E. @ SECTION CUT
9' -19"

THIRD LEVEL F.F.E.
SECOND LEVEL F.C.E.
9' -19" 10' -18"

SECOND LEVEL F.F.E.
ENTRY LEVEL F.C.E.
7' -2" 8' -14"

ENTRY LEVEL F.F.E.



EXISTING WEST ELEVATION

EXISTING - ELEVATIONS

HILL STREET RESIDENCE
376 HILL STREET
SAN FRANCISCO, CA 94114

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09/25/20
01/20/21
03/26/21

2019103
Drawn by: RK



CEQA Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
376 HILL ST		3620089
Case No.		Permit No.
2020-008959ENV		
<input type="checkbox"/> Addition/ Alteration	<input checked="" type="checkbox"/> Demolition (requires HRE for Category B Building)	<input checked="" type="checkbox"/> New Construction
Project description for Planning Department approval. The project site is occupied by two buildings: a three-story single-family residence fronting Hill Street, and one-story accessory structure at the rear of the lot. The project proposes to demolish both buildings, and construct a new 32-foot-tall, three-story residential building approximately 6,508 square feet in size with two dwelling units and two off-street parking spaces.		

STEP 1: EXEMPTION TYPE

The project has been determined to be exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. FOR ENVIRONMENTAL PLANNING USE ONLY
<input type="checkbox"/>	Other ____
<input type="checkbox"/>	Common Sense Exemption (CEQA Guidelines section 15061(b)(3)). It can be seen with certainty that there is no possibility of a significant effect on the environment. FOR ENVIRONMENTAL PLANNING USE ONLY

STEP 2: ENVIRONMENTAL SCREENING ASSESSMENT

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g. use of diesel construction equipment, backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to <i>The Environmental Information tab on the San Francisco Property Information Map</i>)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?</p> <p>Note that a categorical exemption shall not be issued for a project located on the Cortese List if box is checked, note below whether the applicant has enrolled in or received a waiver from the San Francisco Department of Public Health (DPH) Maher program, or if Environmental Planning staff has determined that hazardous material effects would be less than significant. (refer to <i>The Environmental Information tab on the San Francisco Property Information Map</i>)</p>
<input type="checkbox"/>	<p>Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input checked="" type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? If yes, archeology review is required.</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to <i>The Environmental Information tab on the San Francisco Property Information Map</i>) If box is checked, Environmental Planning must issue the exemption.</p>
<input checked="" type="checkbox"/>	<p>Average Slope of Parcel = or > 25%, or site is in Edgehill Slope Protection Area or Northwest Mt. Sutro Slope Protection Area: Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, or (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area? (refer to <i>The Environmental Planning tab on the San Francisco Property Information Map</i>) If box is checked, a geotechnical report is likely required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic Hazard: <input type="checkbox"/>Landslide or <input type="checkbox"/>Liquefaction Hazard Zone:</p> <p>Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area, or (4) grading performed at a site in the landslide hazard zone? (refer to <i>The Environmental tab on the San Francisco Property Information Map</i>) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<p>Comments and Planner Signature (optional): Don Lewis</p> <p>Planning department staff archeologist cleared the project with no effects on 12/16/2020.</p> <p>A preliminary geotechnical report was prepared by Romig Engineers (dated 9/18/2019). The project's structural drawings would be reviewed by the building department, where it would be determined if further geotechnical review and technical reports are required.</p>	

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map)

<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.

<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.

Note: Project Planner must check box below before proceeding.

<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project.

<input checked="" type="checkbox"/>	1. Reclassification of property status. (Attach HRER Part I)	
	<input type="checkbox"/> Reclassify to Category A	<input checked="" type="checkbox"/> Reclassify to Category C
	a. Per HRER 01/22/2021	(No further historic review)
	b. Other (specify):	
<input type="checkbox"/>	2. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.	
<input type="checkbox"/>	3. Interior alterations to publicly accessible spaces that do not remove, alter, or obscure character defining features.	
<input type="checkbox"/>	4. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.	
<input type="checkbox"/>	5. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.	

<input type="checkbox"/>	6. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	7. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	8. Work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (Analysis required):
<input type="checkbox"/>	9. Work compatible with a historic district (Analysis required):
<input type="checkbox"/>	10. Work that would not materially impair a historic resource (Attach HRER Part II).
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input checked="" type="checkbox"/>	Project can proceed with exemption review. The project has been reviewed by the Preservation Planner and can proceed with exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Charles Enchill	

STEP 6: EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input checked="" type="checkbox"/>	No further environmental review is required. The project is exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Planning Commission Hearing	Signature: Charles Enchill
		03/19/2021
<p>Once signed or stamped and dated, this document constitutes an exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination to the Board of Supervisors can only be filed within 30 days of the project receiving the approval action.</p> <p>Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.</p>		

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a “substantial modification” and, therefore, be subject to additional environmental review pursuant to CEQA.

MODIFIED PROJECT DESCRIPTION

Modified Project Description:

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

- | | |
|--------------------------|--|
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code; |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312; |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)? |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |

If at least one of the above boxes is checked, further environmental review is required.

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

- | | |
|--------------------------|---|
| <input type="checkbox"/> | The proposed modification would not result in any of the above changes. |
|--------------------------|---|

If this box is checked, the proposed modifications are exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed to the Environmental Review Officer within 10 days of posting of this determination.

Planner Name:

Date:



PART I HISTORIC RESOURCE EVALUATION RESPONSE

Record No.: **2020-008959ENV**
Project Address: **376 Hill Street**
Zoning: RH-1 - Residential- House, One Family Zoning District
40-X Height and Bulk District
Block/Lot: 3620/089
Staff Contact: Charles Enchill – 628-652-7551
Charles.enchill@sfgov.org

PART I: Historic Resource Evaluation

PROJECT SPONSOR SUBMITTAL

To assist in the evaluation of the proposed project, the Project Sponsor has submitted a:

- ☐ Supplemental Information for Historic Resource Determination Form (HRD)
☒ Consultant-prepared Historic Resource Evaluation (HRE)
Prepared by: Page & Turnbull, *Historic Resource Evaluation* (October, 2020)
Staff consensus with Consultant's HRE report: ☒ Agree ☐ Disagree

BUILDINGS AND PROPERTY DESCRIPTION

Neighborhood: Noe Valley	Stories: 3
Date of Construction: 1907; Remodel in 1960's	Roof Form: Pent
Construction Type: Wood-Frame	Cladding: Horizontal wood siding, stucco
Architect/Engineer: None; Remodel by unknown architect	Primary Façade: Hill Street (South)
Builder: Frederick O. Nelson	Visible Facades: South and partial east elevations

EXISTING PROPERTY PHOTOS / CURRENT CONDITIONS



Sources: Google Maps, 2019 and HRE, 2020

PRE-EXISTING HISTORIC RATING / SURVEY

- ☐ Category A – Known Historic Resource, per: _____
- ☒ Category B – Age Eligible/Historic Status Unknown
- ☐ Category C – Not Age Eligible / No Historic Resource Present, per: _____

Adjacent or Nearby Historic Resources: ☒ No ☐ Yes: _____

CEQA HISTORICAL RESOURCE(S) EVALUATION

Step A: Significance

Individual Significance	Historic District / Context Significance
<p>Property (main building and rear structure) is individually eligible for inclusion in a California Register under one or more of the following Criteria:</p> <p>Criterion 1 - Event: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Criterion 2 - Persons: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Criterion 3 - Architecture: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Criterion 4 - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Period of Significance: N/A</p>	<p>Property (main building and rear structure) is eligible for inclusion in a California Register Historic District/Context under one or more of the following Criteria:</p> <p>Criterion 1 - Event: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Criterion 2 - Persons: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Criterion 3 - Architecture: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Criterion 4 - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Period of Significance:</p> <p><input type="checkbox"/> Contributor <input type="checkbox"/> Non-Contributor <input checked="" type="checkbox"/> N/A</p>

Analysis:

According to the Historic Resource Evaluation prepared by Page & Turnbull (dated October 2020), and information assessed from the Planning Department's files, the subject property does not appear historically or architecturally significant such that it would rise to a level of individual eligibility. No historic events are known to be associated with the property (Criterion 1). The earliest owner, Frederick O. Nelson, resided at the property from construction in 1906 until 1920. Frederick's wife, Bertha C. Nelson, resided at the property upon marriage, beginning in 1912. Frederick worked as a local builder and Bertha's occupation is unknown. Other notable owners include Eugene C. L. Appert and wife Mary O. Appert, from 1924-1951. The Apperts emigrated from Switzerland and lived with their two baby sons at the subject property, Kurt and Richard. At the age of 19 in 1934, Richard wrote, illustrated, bound, and self-published a book on San Francisco. The book entitled *San Francisco* featured illustrations done as linoleum block-cuts and was completed during his time studying printing and allied arts at the San Francisco Continuation School. Only 175 copies of the book were printed and is considered a rare volume today. Although a San Francisco Examiner article from 1934 described the book as containing outstanding illustrating, Richard's work is more closely associated with the San Francisco Continuation School, where Richard learned his skills and created his book. The next longstanding owners and occupants were Raymond E. Schaffer and wife Athadda L. Schaffer from 1951-1964. Raymond worked as a real estate salesman and Athadda worked as an office secretary. None of the previously mentioned owners nor subsequent owners and occupants are known to be important to history (Criterion 2). The main residence was constructed in 1907 by owner and builder Frederick O. Nelson in no notable architectural style. The roof form was hipped roof with dormer window and the building was originally clad in wood shingles. The building was substantially remodeled in the 1960's by unknown architect. Nelson was not a master builder. Also, there is no indication the main building's remodel contains high artistic value or was associated with a master architect or builder. At the rear of the property is a one-story, wood-frame cottage clad in wood shingles. The rear cottage was constructed circa 1906 and may have been Frederick's short-term residence while the main residence was completed shortly after in 1907. Due to the rear structure's height and massing, it was investigated as a potential relocated "earthquake shack". Exploratory removal by Page & Turnbull revealed horizontal rustic channel redwood siding beneath as opposed to the distinctive board-and-batten or vertical board siding typical of earthquake shacks. It was determined not to be an earthquake shack. Therefore, the main residence and the rear cottage are found to be ineligible for their design or as a significant example of a type, style or period (Criterion 3). The property is not associated with rarity of construction (Criterion 4). Archaeological assessment is outside the scope of this review. The subject property does not appear to be part of a significant concentration of historically or architecturally unified buildings such would rise to the level of an eligible historic district. Therefore, the subject property is not eligible for listing in the California Register under any criteria individually or as part of a historic district.

CEQA HISTORIC RESOURCE DETERMINATION

- ☐ Individually-eligible Historical Resource Present
☐ Contributor to an eligible Historical District / Contextual Resource Present
☐ Non-contributor to an eligible Historic District / Context / Cultural District
☒ No Historical Resource Present

NEXT STEPS

- ☐ HRER Part II Review Required
☐ Historic Design Review Comments provided
☒ No further historic resource review, consult:
☒ Current Planner
☐ Environmental Planner

PART I: Approval

Signature: Allison Vanderslice

Date: 1/22/2021

Allison Vanderslice, *Principal Preservation Planner*
CEQA Cultural Resources Team Manager, Environmental Planning Division

CC: Jeffrey Horn, *Senior Planner*
SW Team, Current Planning Division



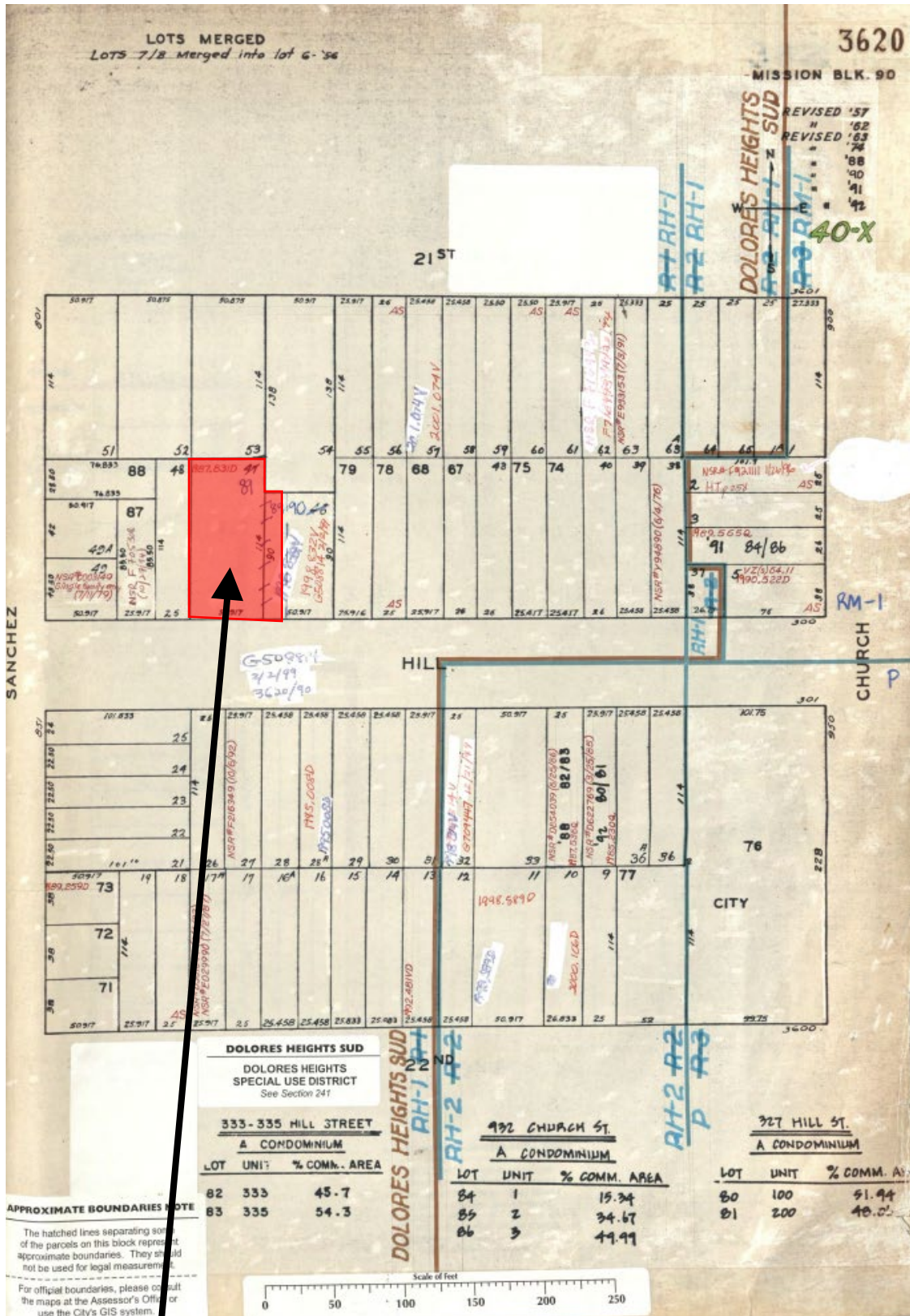
LAND USE INFORMATION

PROJECT ADDRESS: 376 HILL STREET
RECORD NO.: 2020-008959CUA

	EXISTING	PROPOSED	NET NEW
GROSS SQUARE FOOTAGE (GSF)			
Parking GSF			
Residential GSF	2,766	7,986	5,220
Retail/Commercial GSF			
Office GSF			
Industrial/PDR GSF <i>Production, Distribution, & Repair</i>			
Medical GSF			
Visitor GSF			
CIE GSF			
Usable Open Space	NA	3,013	NA
Public Open Space			
Other ()			
TOTAL GSF	2,766	7,986	5,220
	EXISTING	NET NEW	TOTALS
PROJECT FEATURES (Units or Amounts)			
Dwelling Units - Affordable			
Dwelling Units - Market Rate	2	-	2
Dwelling Units - Total	2	-	2
Hotel Rooms			
Number of Buildings	2	-1	1
Number of Stories	3	Basement	3 over basement
Parking Spaces	0	2	2
Loading Spaces			
Bicycle Spaces	0	2	2
Car Share Spaces			
Other ()			

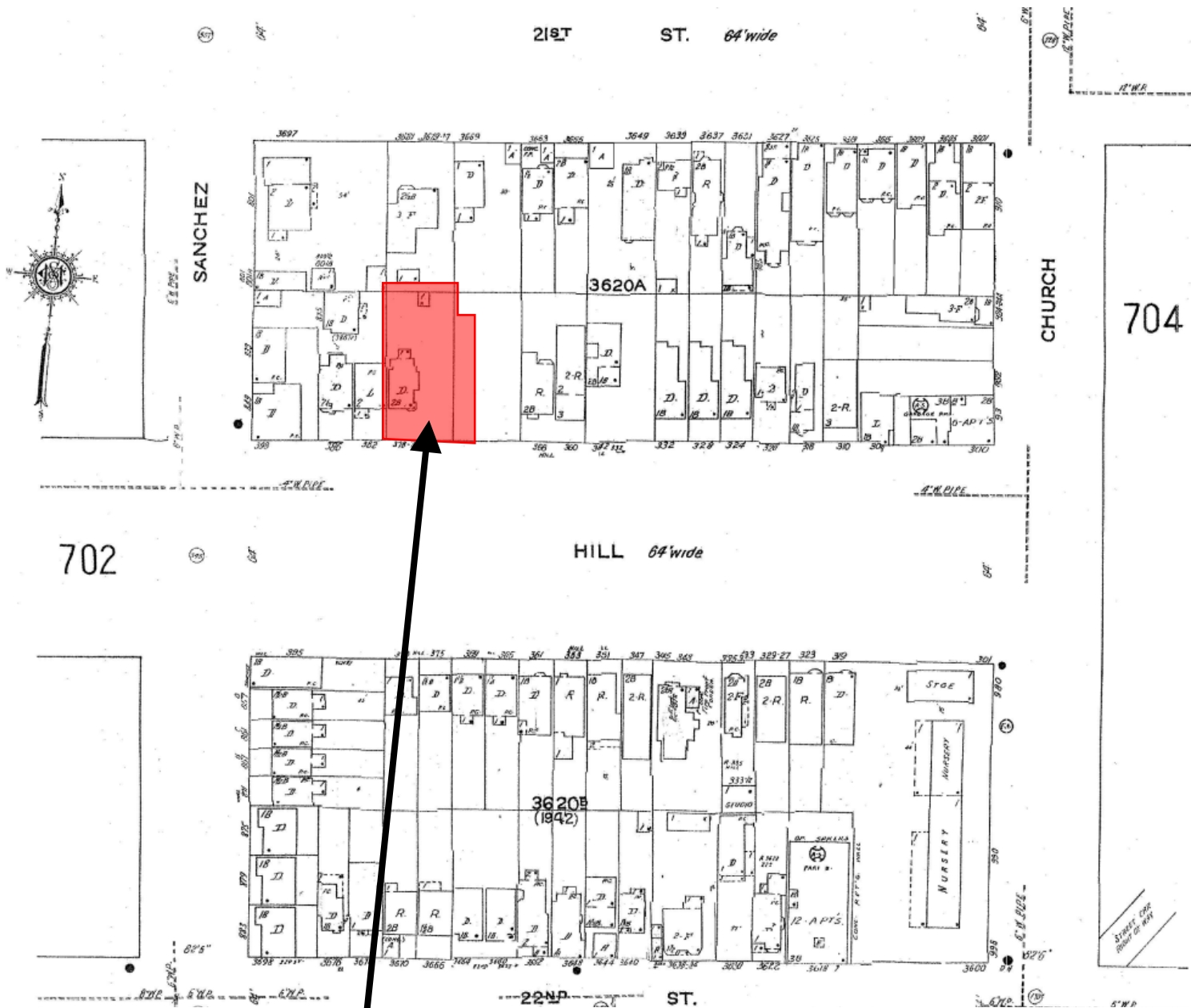
	EXISTING	PROPOSED	NET NEW
LAND USE - RESIDENTIAL			
Studio Units			
One Bedroom Units	1	1	-
Two Bedroom Units			
Three Bedroom (or +) Units	1	1	-
Group Housing - Rooms			
Group Housing - Beds			
SRO Units			
Micro Units			
Accessory Dwelling Units			

Parcel Map



Conditional Use Authorization
Case Number 2020-008959CUA
Residential Demolition, Density
376 Hill Street

Sanborn Map*



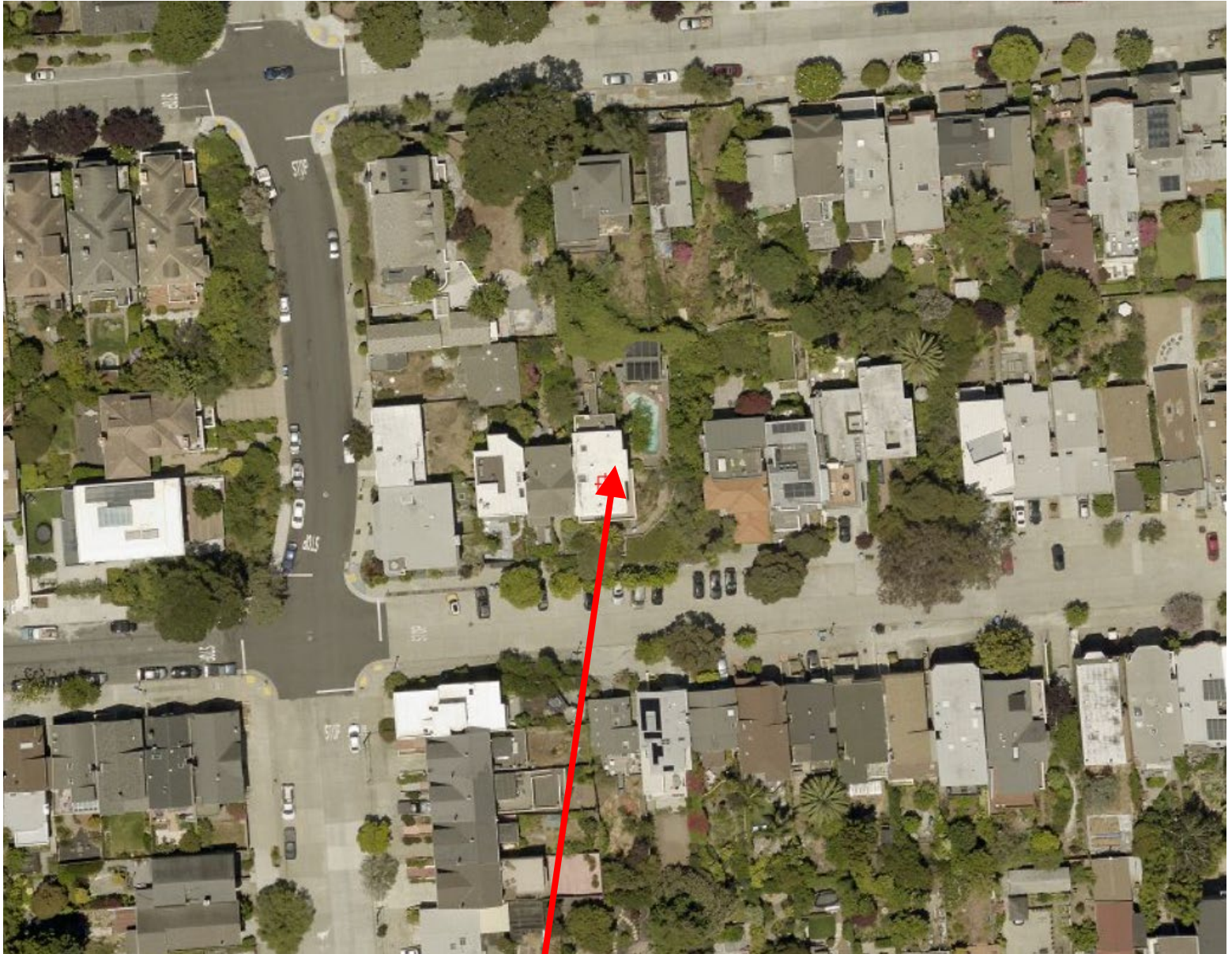
*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

SUBJECT PROPERTY



Conditional Use Authorization
Case Number 2020-008959CUA
Residential Demolition, Density
376 Hill Street

Aerial Photo – View 1

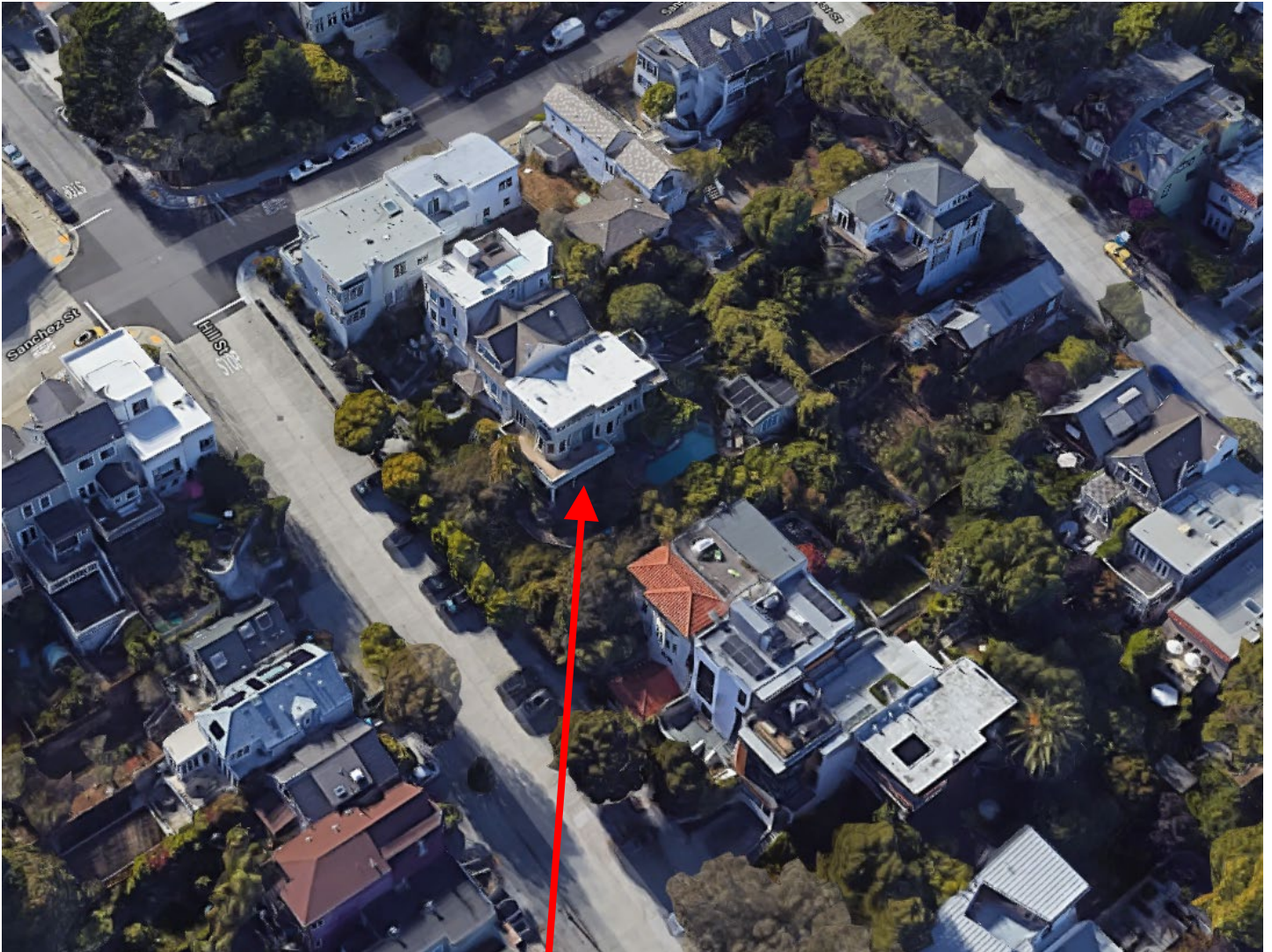


SUBJECT PROPERTY



Conditional Use Authorization
Case Number 2020-008959CUA
Residential Demolition, Density
376 Hill Street

Aerial Photo – View 2



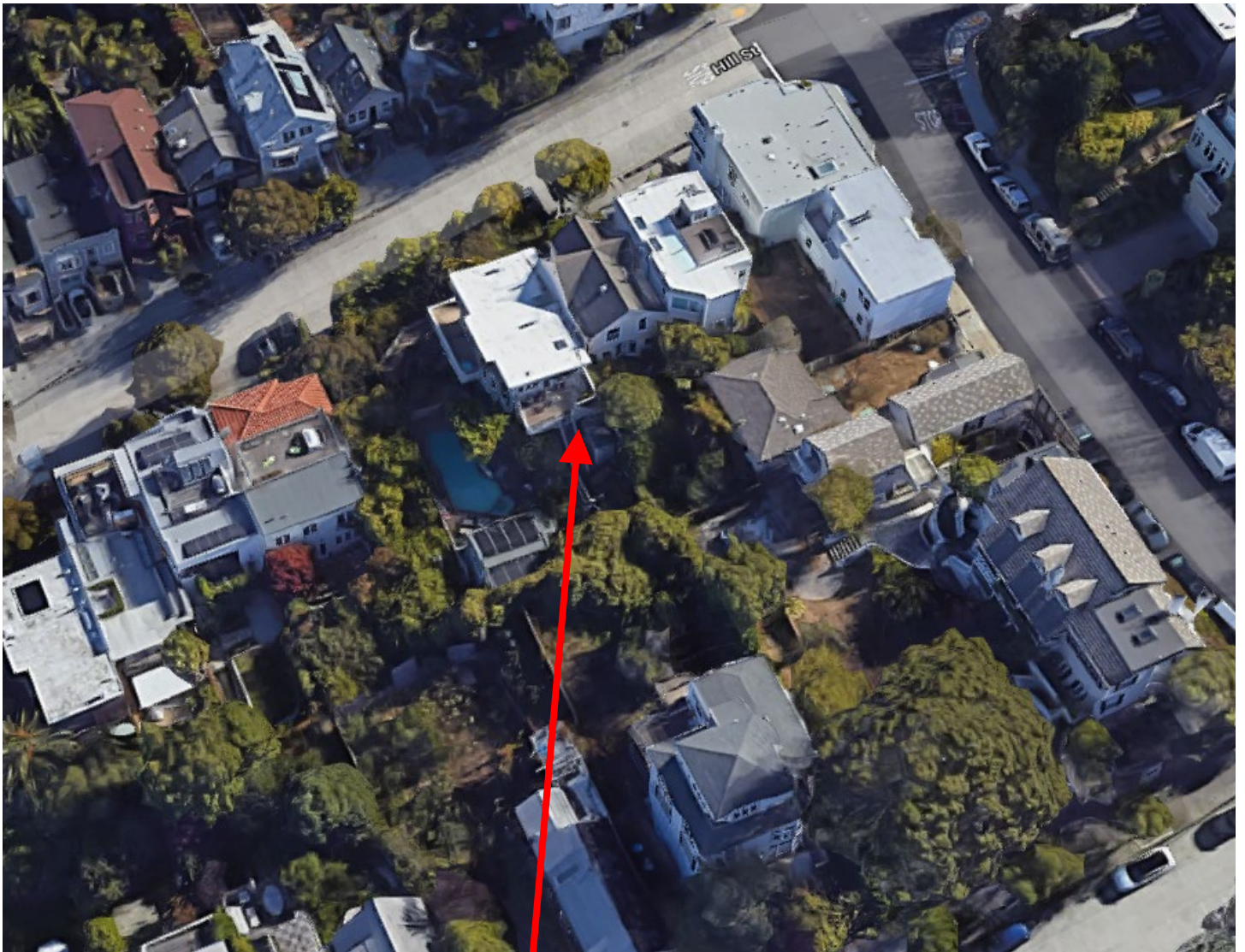
SUBJECT PROPERTY



**SAN FRANCISCO
PLANNING DEPARTMENT**

Conditional Use Authorization
Case Number 2020-008959CUA
Residential Demolition, Density
376 Hill Street

Aerial Photo – View 3

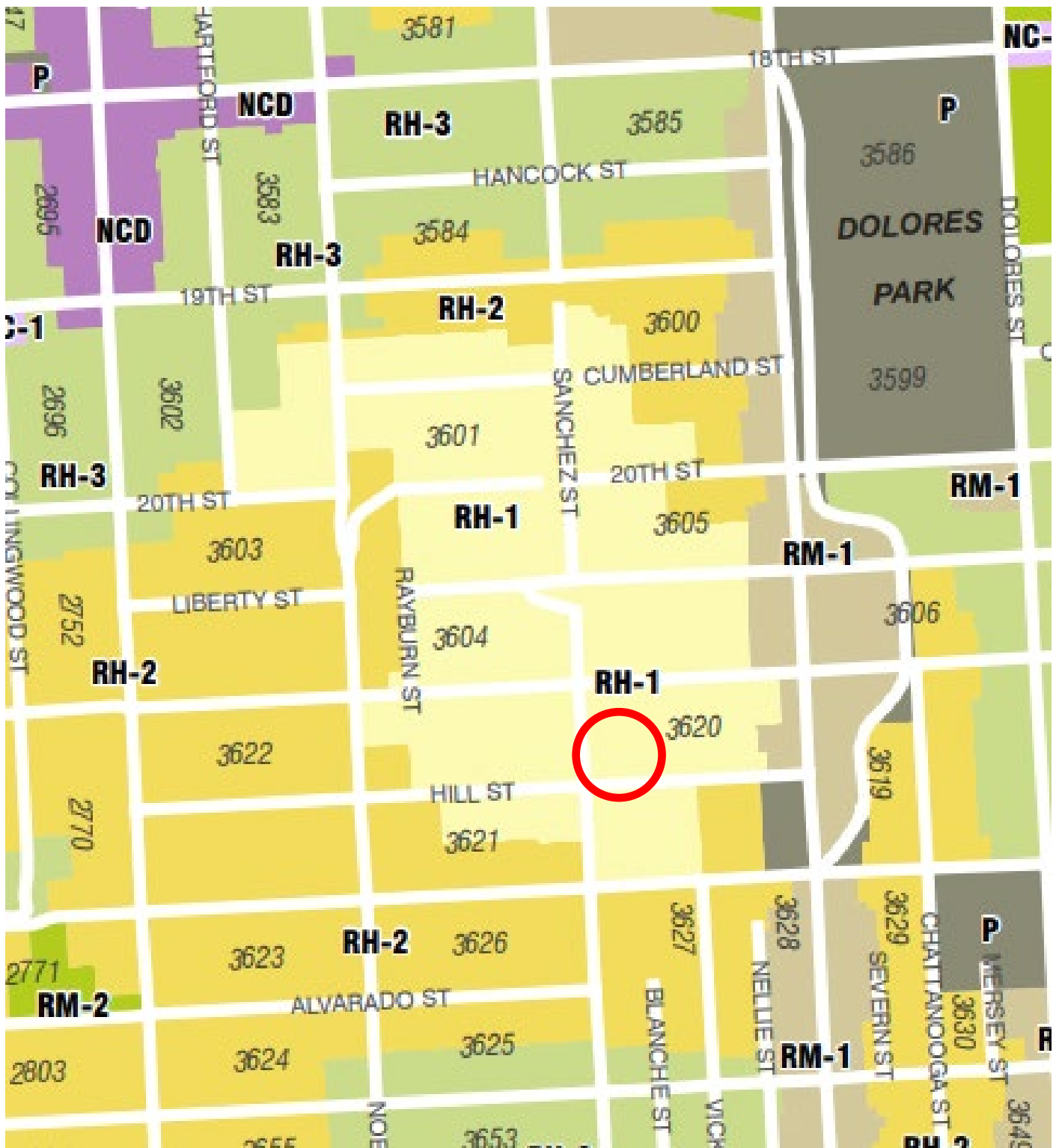


SUBJECT PROPERTY



Conditional Use Authorization
Case Number 2020-008959CUA
Residential Demolition, Density
376 Hill Street

Zoning Map



Conditional Use Authorization
Case Number 2020-008959CUA
Residential Demolition, Density
376 Hill Street

Site Photo



Conditional Use Authorization
Case Number 2020-008959CUA
Residential Demolition, Density
376 Hill Street

Site Photo



Conditional Use Authorization
Case Number 2020-008959CUA
Residential Demolition, Density
376 Hill Street

Site Photo



Conditional Use Authorization
Case Number 2020-008959CUA
Residential Demolition, Density
376 Hill Street

REUBEN, JUNIUS & ROSE, LLP

Thomas Tunny
ttunny@reubenlaw.com

August 20, 2021

Delivered Via Email

President Joel Koppel
San Francisco Planning Commission
49 South Van Ness Avenue, Suite 1400
San Francisco, CA 94103

**Re: 376 Hill Street
Project Sponsor Submittal
Planning Department Case No. 2020-008959CUA
Hearing Date: September 2, 2021**

Dear President Koppel and Commissioners:

Our office is working with Michael Muscolino, property owner and sponsor of the proposed project at 376 Hill Street (the “Property”). The Property is a very large parcel at 7,236 square feet with two aged (but non-historic) existing structures: a three-story single-family residence in significant disrepair, and a second, 449-square-foot unit located in a code-deficient one-story accessory structure at the rear of the lot. The second unit does not have a separate entrance; one must walk through the main residence to access it. This unit functions as a pool house, is currently vacant, and has had no known tenants. The project proposes to demolish the two existing structures and consolidate them into one cohesive Code-complying structure with two new units. The larger unit will be Mr. Muscolino’s residence.

The evocatively-designed new structure will consist of a 5,458 square-foot three+ bedroom main unit, and a 1,127 square foot, one-bedroom second unit with independent access (the “Project”). The second unit will be more than twice the size of the prior unit and is a high-quality second unit unlike many second units the Commission typically sees. The new structure will be slightly shorter than the existing building’s maximum height at approximately 32 feet, and will provide two off-street parking spaces and two Class 1 bicycle parking spaces in a below grade garage accessed on Hill Street. The Project includes substantial landscaping and provides 3,013 square feet of open space. (Renderings of the Project are attached as Exhibit A.)

The Project requires a Conditional Use Authorization (“CUA”) for the following actions: (1) residential demolition pursuant to Planning Code Sections 303 and 317(g)(6); and (2) the addition of a second unit in the RH-1 zoning district pursuant to Planning Code Section 209.1. We respectfully request that the Planning Commission approve the CUA and the Project as proposed for the following reasons:

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- The Project is compatible with and will enhance the existing neighborhood character as the design draws from a number of nearby precedents. (See Exhibit B.) The Project continues a trend in the neighborhood of imaginative, contemporary designs. The facade treatment and materials have been carefully selected to be harmonious with the surrounding neighborhood. The building is a series of solids and voids, with massing elements that extend and recede from each other, softening the visual effect. The east side setback is 16 feet from the property line, maintaining the existing condition, and the front retaining wall is removed, opening the Property to the street. There are numerous balconies and open spaces, all with greenery integrated throughout. .
- The Project fits in the neighborhood in terms of massing at the street (Exhibit C) and floor area ratio (“FAR”). In fact, the Project has a lower FAR, even with both units combined, than six of the seven adjacent properties, all of which are a single family homes only. The Project’s FAR is 0.75 for the main residence and 0.90 for the two units combined, while the adjacent properties are 1.11, 1.16, 1.18, 1.22, and 1.26 FAR, again, all with a single dwelling unit. The Project is similar in neighborhood compatibility as other recent precedents approved by the Commission, such as 35 Belgrave Ave. and 178 Sea Cliff Ave.
- The new second unit is a true dwelling unit, increasing in size from 449 square feet to 1,127 square feet, with a much improved design, independent access to the street, and its own independent open space. The unit’s reasonable size makes it more affordable.
- The Property’s open space is significantly improved with a far better design and increased area, which includes 302 square feet of dedicated private open space for the one-bedroom unit and 2,711 square feet for the three+ bedroom unit (more than eight times the required amount). The mid-block open space is enhanced, and privacy for the neighbors improved. (Exhibit D.)
- Mr. Muscolino has worked closely with neighbors and the Dolores Heights Improvement Club to ensure the Project’s compatibility with its surroundings and neighborhood support. The Project has no privacy, shadow, or view impacts on neighbors. Five neighbors have submitted letters of support of the Project, and we know of no opposition.

Staff recommends approval of the Project as proposed and we respectfully request the Planning Commission adopt Staff’s recommendation.

I. THE FINDINGS OF PLANNING CODE SECTIONS 303 AND 317 ARE MET

A. Section 303

Under Planning Code section 303(c), the City Planning Commission shall approve the application and authorize a conditional use if the facts presented establish the following:

- 1. That the proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community.***

The Project is necessary and desirable because it will replace a deteriorated single-family home and a second unit located in a non-complying accessory structure in the rear yard with a single, cohesive building containing both units. There will be no loss of dwelling units at the Property; both units will be increased in size, with the second unit doubling its square footage. Further, the Project will provide the second unit with independent, direct access, which it currently does not have. It will bring the Property into compliance with the Planning Code by removing the nonconforming structures in the rear portion of the lot, thus opening up the lot and reducing encroachments into the interior block space. The entirety of the new building is within its buildable area and will not require any variances or modifications. Further, the Project improves the conditions along the street, which currently features a large retaining wall with little openings into the lot. The Project will open up the lot to the street and provide a generous amount of landscaping.

The Project is compatible with the controls and intent of the RH-1 zoning and Dolores Heights SUD. The neighborhood consists of single-family homes that provide front setbacks and a generous amount of open space. The Project will result in two dwelling units on a 7,236 square-foot, 66.8 feet wide and 114 feet deep lot, which is compatible with the density in this neighborhood. The subject block is particularly long and wide – most lots are 114 feet deep. Although the subject block generally contains 25-ft wide lots, it does contain a number of oversized lots with large residences. The 25-foot wide lots are concentrated at the eastern end of the block. Starting mid-way through the block, the western half contains larger sized lots that are similarly sized to the Property, including the two immediately behind the subject property on 21st Street (Lots 053 and 054), one at the northwest corner of the Property (Lot 051/052, recently merged into one lot), and the property directly to the east (Lot 90). The Project will be compatible with the surrounding neighborhood density by proposing two (2) units on a larger lot.

The Project is of superb architectural and urban design that has been thoughtfully designed to integrate into the neighborhood by taking into consideration the existing adjacent buildings as well as other proposed projects in the area. The neighborhood does not have a consistent design character; rather, it is characterized by its eclectic building styles and types. The Project will add extensive landscaping in the front setback area as well as in the 3,013 square feet of open space, which includes 302 square feet of dedicated private open space for the one-bedroom unit and 2,711 square feet for the three+ bedroom unit.

Overall, the Project is proposing to retain two dwelling units, while providing them as upgraded, modern, larger units. The new building is compatible with the neighborhood and zoning, and the Project will bring the lot into compliance with the Planning Code.

2. ***That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:***
 - (a) ***The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of the structure.***

The existing neighborhood lacks a “defined visual character” that is recognized in the Residential Design Guidelines (“**RDG**”) due to the mix of both modern and historic/older homes, including a varied mix of building materials. For example, there are a variety of different types of rooflines, including other horizontal rooflines as proposed by the Project. The Project incorporates a sizeable front setback at the ground level, consistent with the front setbacks for the adjacent buildings. Further, it has an additional 9’-6” setback to the main façade, providing an appropriate transition between the street, the building and adjacent neighbors. Additional setbacks are provided at the upper levels of the building, which tapers down the hill to the east, allowing light and air onto that property. In the rear, the building is significantly offset from the northern rear property lines, with an approximately 51 foot-deep rear yard; the eastern setback drops to 40-6”, but there is no building in that area. It is open space with the second unit primarily below grade. The Project considerably opens up the rear yard and interior open space on the block.

The Project has been designed to be compatible with its surroundings, and the project sponsor has worked closely with the neighbors to ensure compatibility and neighborhood support. The Project includes significant front setbacks with additional setbacks at the upper floors. The replacement structure’s proposed 32-foot height is below the maximum height permitted in the 40-X height and bulk district and is appropriate for the site location and size. The proposed size, shape, and arrangement of the Project will also match that of neighboring structures, and the Project overall will aesthetically enhance the neighborhood.

- (b) ***The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading.***

The Project will not result in any new traffic impacts on Hill Street. The Project will provide two off-street parking space and two Class 1 bicycle parking spaces in a 1,401 square foot below-grade garage. The Property is situated in a walkable area in which daily errands can be done by foot and do not require a car, and there are numerous public transit options nearby. The Project site is located in close proximity to the J MUNI train line on Church Street and the 48 MUNI bus line, as well as 0.8 miles away from the Castro Street MUNI station.

(c) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor.

The Project proposes a new three-story, two-unit residential building. The proposed uses are not expected to generate any noxious or offensive emissions, such as noise, glare, dust, or odor. The Project will comply with all applicable regulations regarding construction noise and dust, and will not produce, or include, any permanent uses that will generate substantial levels of noxious or offensive emissions, such as excessive noise, glare, dust, and odor.

(d) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs.

The Project will replace a single-family home and a small, non-complying structure with a dwelling unit in the rear yard with a thoughtfully-designed, visually-appealing, two-unit residential building. The facade treatment and materials of the building have been appropriately selected to be compatible with the surrounding neighborhood. The Project will provide generous landscaping in the front setback area. Extensive landscaping will also be provided in the Project's 3,013 square feet of open space, consisting of 302 square feet of dedicated private open space for the one-bedroom unit and 2,711 square feet for the three+ bedroom unit. In addition, the Project's removal of the existing non-complying accessory structure, platforms and deck structures currently located in the rear yard will enhance the mid-block open space.

3. That such use or feature as proposed will comply with the applicable provisions of this Code and will not adversely affect the General Plan:

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan, including the Housing and Urban Design elements, as detailed below:

Housing Element

OBJECTIVE 1 IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.6: Consider greater flexibility in number and size of units within established building envelopes in community-based planning processes, especially if it can increase the number of affordable units in multi-family structures.

Policy 1.10: Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking, and bicycling for the majority of daily trips.

OBJECTIVE 4 FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1: Develop new housing, and encourage the remodeling of existing housing, for families with children.

OBJECTIVE 11 SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1: Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2: Ensure implementation of accepted design standards in project approvals.

OBJECTIVE 12 BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION.

Policy 12.1: Encourage new housing that relies on transit use and environmentally sustainable patterns of movement.

Policy 12.3: Ensure new housing is sustainably supported by the City's public infrastructure systems.

OBJECTIVE 13 PRIORITIZE SUSTAINABLE DEVELOPMENT IN PLANNING FOR AND CONSTRUCTING NEW HOUSING.

Policy 13.1: Support "smart" regional growth that located new housing close to jobs and transit.

Policy 13.3: Promote sustainable land use patterns that integrate housing with transportation in order to increase transit, pedestrian, and bicycle mode share.

The Project will thoughtfully redevelop the lot with a two-unit residential building with a family-sized three+ bedroom unit and generously-sized one-bedroom unit. The Project supports "smart" growth, being located in a transit rich area off of the MUNI J Church train line and in proximity to other public transit routes, including the MUNI 48 bus line and the Castro MUNI light rail station.

Urban Design Element

OBJECTIVE 3 MODERATION OF MAJOR NEW DEVELOPMENT TO COMPLEMENT THE CITY PATTERN, THE RESOURCES TO BE CONSERVED, AND THE NEIGHBORHOOD ENVIRONMENT.

Policy 3.1: Promote harmony in the visual relationships and transitions between new and older buildings.

Policy 3.3 Promote efforts to achieve high quality of design for buildings to be constructed at prominent locations.

Policy 3.6: Relate the bulk of buildings to the prevailing scale of development to avoid an overwhelming or dominating appearance in new construction.

Policy 4.4: Design walkways and parking facilities to minimize danger to pedestrians.

Policy 4.12: Install, promote and maintain landscaping in public and private areas.

The Project has been thoughtfully designed to integrate into the neighborhood by taking into consideration the existing adjacent buildings as well as other proposed projects in the area. The neighborhood does not have a consistent design character; rather, it is characterized by its eclectic building styles and types. There are several contemporary structures throughout the block and the proposed design is in keeping with that style. Overall, the Project is in line with the scale, form, and proportion of older development in and around the Project site, while not creating a false sense of history. The three-story building will be slightly shorter than the maximum height of the existing three-story single-family home. The Project has been designed to include landscaping and ample open space for both dwelling units.

4. *Such use or feature as proposed will provide development that is in conformity with the stated purpose of the applicable Use District*

The Project's residential uses are in conformity with the stated purpose of the RH-1 Zoning District.

B. Section 317

Under Planning Code Section 317(g)(6), The Planning Commission shall consider the following additional criteria in the review of applications for Residential Demolition:

1. *Whether the property is free of a history of serious, continuing Code violations;*

Since the current owner purchased the Property in May 2019, there have been no Code violations. Nearly two decades ago, a complaint was made on August 6, 2002, stating "water

seepage into my property and is just below the neighbor.” In response, on August 9, 2002, Department of Building Inspection determined that the case was abated.

2. Whether the housing has been maintained in a decent, safe, and sanitary condition;

While the Property is in a safe and sanitary condition, it has become run down and worn over time. The Property is in need of renovation and repair.

3. Whether the property is an "historical resource" under CEQA;

The existing structures at the Property are not historical resources under CEQA.

4. Whether the removal of the resource will have a substantial adverse impact under CEQA;

The existing structures at the Property are not historical resources under CEQA and therefore there will not be any adverse impacts if demolished.

5. Whether the project converts rental housing to other forms of tenure or occupancy;

The Property has been owner-occupied for decades. When the current owner purchased the Property in May 2019, it was vacant. It became clear that the current structure would not be suitable for his needs and the current proposal was envisioned. Because the owner currently resides in another location in San Francisco, he decided to rent out the main structure on a short-term, temporary basis while this application was filed and reviewed. Fortunately, a couple in a similar situation was looking for a temporary rental while they looked for a home to purchase. They are renting the main structure month-to-month and understand and agree they will need to vacate for the Project. They expect to vacate by the end of 2021.

The second dwelling unit at the rear of the Property was not occupied when the owner purchased it in May 2019. This structure is an accessory building without direct access to the street and served as a pool house for prior owners. It had not been rented and remains vacant.

6. Whether the project removes rental units subject to the Residential Rent Stabilization and Arbitration Ordinance or affordable housing;

The Property has two single-family dwellings that are exempt from rent restrictions under the Costa Hawkins Rental Housing Act.

7. Whether the project conserves existing housing to preserve cultural and economic neighborhood diversity;

The Project will construct a two-unit residential building with a three+ bedroom, family-sized unit, and a one-bedroom unit in a building of similar height to the existing three-story single-

family home at the Property. It will preserve the housing stock in the neighborhood and provide a diverse range of unit types.

8. Whether the project protects the relative affordability of existing housing;

The Project will not eliminate any affordable housing.

9. Whether the project increases the number of permanently affordable units;

The Project is not subject to the City's inclusionary housing program.

10. Whether the project locates in-fill housing on appropriate sites in established neighborhoods;

The Property is currently developed with two dwelling units. The Project will retain both units but relocate them into one building that is more appropriately sited on the lot. The Project is more in keeping with the development pattern on the block while maintaining the open space and detached-building character of the block. Importantly, both dwelling units will be independently accessible.

11. Whether the project increases the number of family-sized units on-site;

The Project will result in construction of a family-sized dwelling unit and a generously sized one-bedroom dwelling unit. The second dwelling unit is doubling in size and will have direct, independent access to the street, unlike the current unit. Both units will be an improvement from existing conditions at the Property.

12. Whether the project creates new supportive housing;

The Project does not involve new supportive housing.

13. Whether the project is of superb architectural and urban design, meeting all relevant design guidelines, to enhance existing neighborhood character;

The Project is of superb architectural and urban design that has been thoughtfully designed to integrate into the neighborhood by taking into consideration the existing adjacent buildings as well as other proposed projects in the area. The neighborhood does not have a consistent design character; rather, it is characterized by its eclectic building styles and types. The facade treatment and materials of the building have been appropriately selected to be compatible with the surrounding neighborhood. The building is a series of solids and voids, with massing elements that extend and recede from each other. There are numerous balconies and open spaces, all with greenery integrated throughout. The windows allow in light, with overhangs protecting the interior from the elements. The street levels have a series of stepped terraces, allowing the eye to flow from east to west as you look up to the main residence. The Project will add extensive landscaping in the front setback area as well as in the 3,013 square feet of open space, which includes 302

square feet of dedicated private open space for the one-bedroom unit and 2,711 square feet for the three+ bedroom unit.

14. Whether the project increases the number of on-site Dwelling Units;

The Property is located in an RH-1 Zoning District and currently has two separate units. The second unit is located in a small one-story building at the rear of the Property without independent access. The Project will consolidate the two units into a single building, resulting in two independently, directly accessible dwelling units. Both units will increase in size, with the second unit doubling in size.

15. Whether the project increases the number of on-site bedrooms;

The Project increases the number of on-site bedrooms from four to five. Both units are increasing in size from the current units. The second dwelling unit doubling in size and will have direct, independent access to the street, unlike the current unit. Both units will be an improvement from existing conditions at the Property.

***16. Whether or not the replacement project would maximize density on the subject lot;
and***

The Property is located in an RH-1 Zoning District, which is a single-family zoning district. The Project maximizes the density on the Property, as Planning Code Section 209.1 principally permits up to one unit per lot in the RH-1 Zoning District, and conditionally permits one unit per 3,000 square feet of lot area. With a lot area of 7,236 square feet, up to two units are permitted at the Property with a Conditional Use Authorization.

17. If replacing a building not subject to the Residential Rent Stabilization and Arbitration Ordinance, whether the new project replaces all of the existing units with new Dwelling Units of a similar size and with the same number of bedrooms.

The Project replaces a home demonstrably unaffordable and is not eliminating any affordable housing. The new units will be significantly larger than the current ones on the Property. There will be a three+ bedroom residence and a generously-sized one bedroom unit. There will be no loss in bedroom type, amount, or size with this Project.

II. CONCLUSION

For all of the foregoing reasons, we respectfully request that the Planning Commission approve the Project as proposed.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP

A handwritten signature in blue ink, appearing to read 'T. Tunny', with a stylized horizontal line extending to the right.

Thomas Tunny

Enclosures

cc: Jeffrey Horn, Planning Department
Michael Muscolino
Marmol Radziner

EXHIBIT A

Project Renderings



1	CONCRETE - DAYTON TOPCAST #3, DAVIS MIAMI BUFF 5447 COLOR
2	SMOOTH PLASTER - ECOSTUCCO, SEA MIST COLOR
3	MATTE FINISH METAL PANELS - RIMEX, GRANEX MIA COLOURTEX CHAMPAGNE COLOR
4	WOOD SIDING - WESTERN RED CEDAR, DARK BROWN STAIN
5	WOOD SIDING AND SOFFIT - WESTERN RED CEDAR, LIGHT BROWN STAIN
6	MATTE FINISH METAL DOORS AND WINDOWS - FLEETWOOD, CHAMPAGNE COLOR

MATERIAL LEGEND

- 2. SMOOTH PLASTER
- 3. MATTE FINISH METAL PANELS
- 4. VERTICAL WOOD SIDING, DARK STAIN
- 5. WOOD SOFFIT
- 5. VERTICAL WOOD SIDING, LIGHT STAIN
- 6. MATTE FINISH METAL DOOR AND WINDOW FRAMES

- 1. CONCRETE
- 5. WOOD GARAGE DOOR
- 2. SMOOTH PLASTER
- 6. MATTE FINISH METAL FENCE AND GATE

VIEW FROM HILL STREET

MARMOL RADZINER AIA
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San Francisco, CA 94103
415.398.1000
www.marmolradziner.com

HILL STREET RESIDENCE
376 HILL STREET
SAN FRANCISCO, CA 94114
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PROPOSED - EXTERIOR VIEWS

09/25/20
01/20/21
03/26/21



2019103
Drawn by: RK



VIEW FROM HILL STREET



ENLARGED VIEW OF MAIN ENTRY



ENLARGED VIEW OF GARAGE ENTRY

VIEW FROM HILL STREET

PROPOSED - EXTERIOR VIEWS

09/25/20
01/20/21
03/26/21



2019103
Drawn by: RK

A1.12

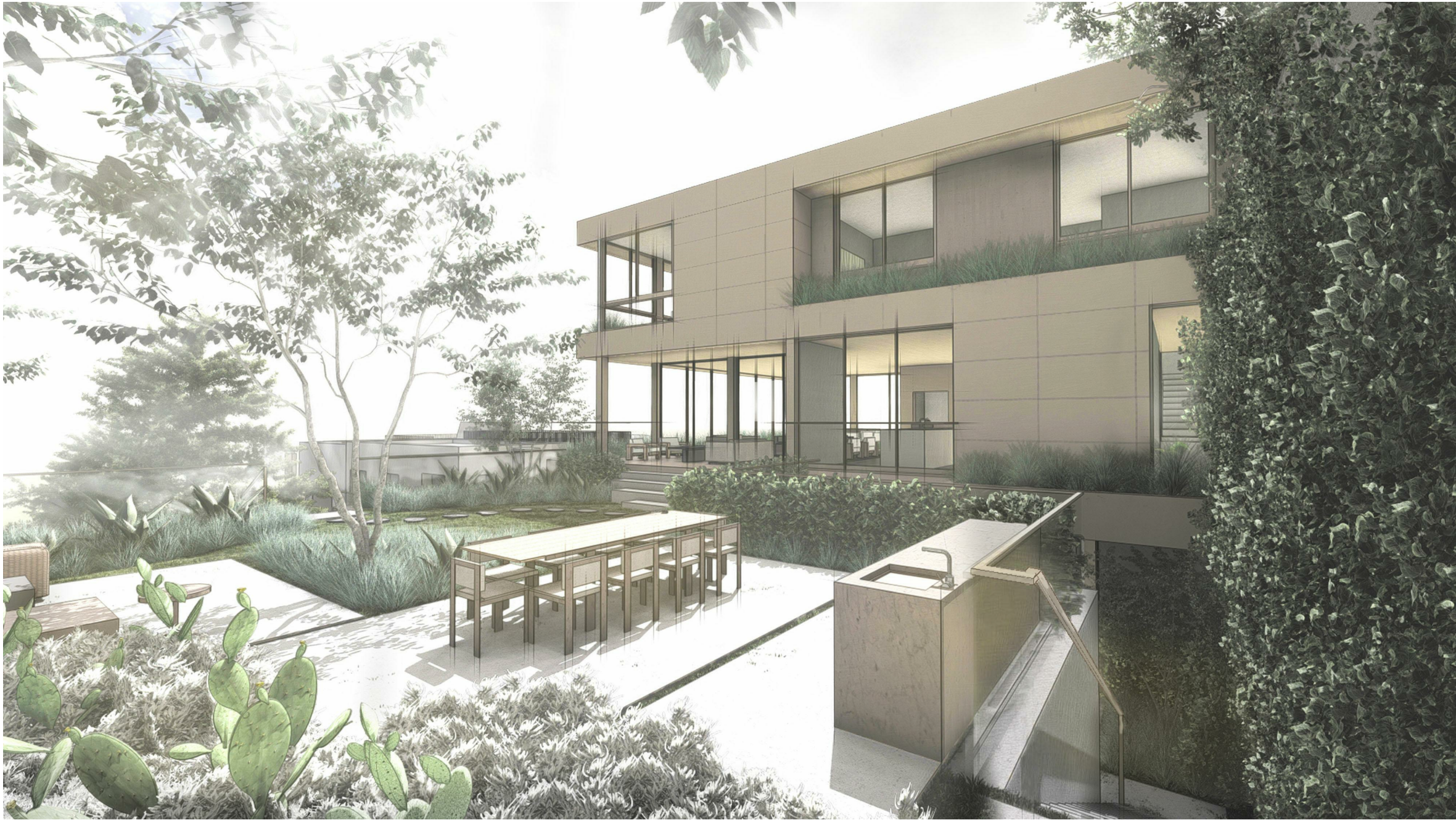
HILL STREET RESIDENCE

376 HILL STREET
SAN FRANCISCO, CA 94114

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Architecture
Construction
Interiors
Landscape

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San Francisco, California 94102
415.775.1000
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VIEW FROM REAR YARD

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San Francisco, California 94102
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PROPOSED - EXTERIOR VIEWS

09/25/20
01/20/21
03/26/21



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Drawn by: RK

A1.13

EXHIBIT B

Vicinity Key Map



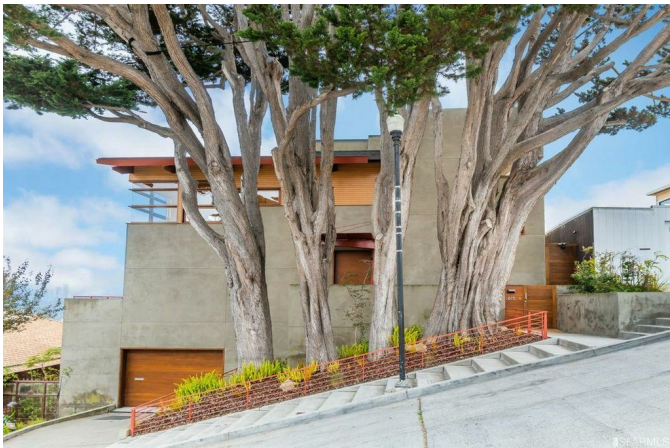
(A) 4001 SANCHEZ STREET



(B) 428 HILL STREET



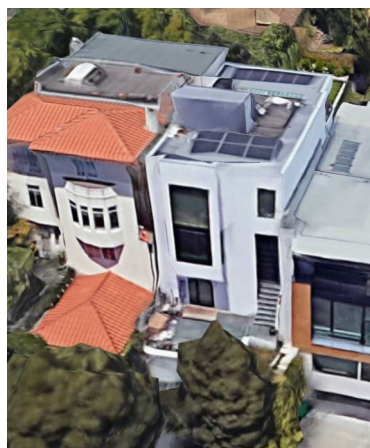
(C) 765 SANCHEZ STREET



(D) 615 SANCHEZ STREET



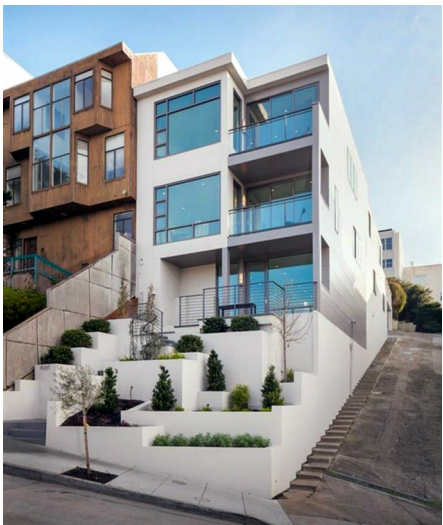
(E) 400 HILL STREET



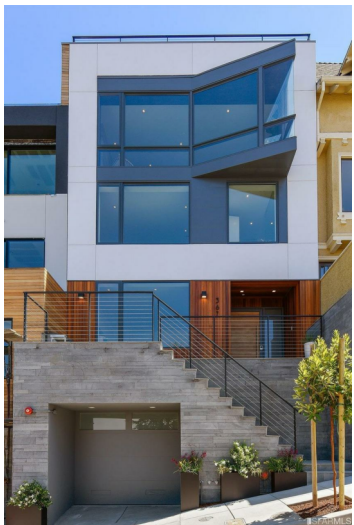
(F) 366 HILL STREET



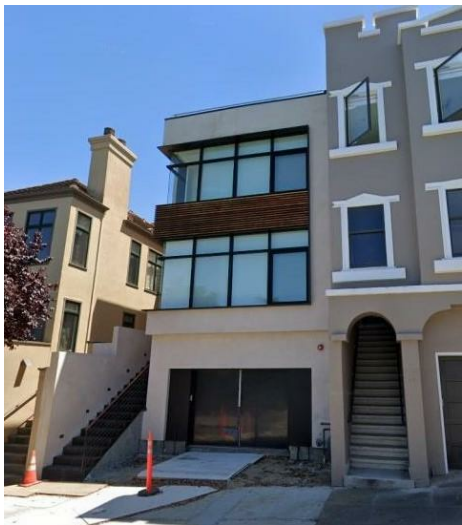
(G) 350 HILL STREET



(H) 4085 20TH STREET

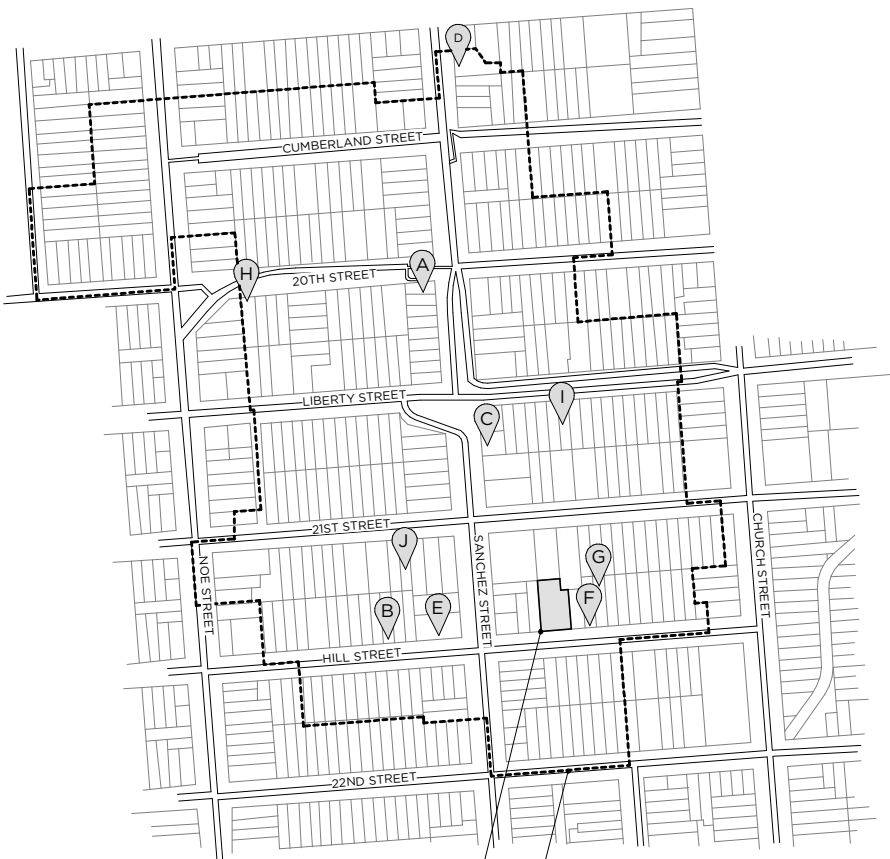


(I) 367 LIBERTY STREET



(J) 3719 21ST STREET

NEIGHBORHOOD PRECEDENTS



PROJECT SITE:
376 HILL STREET

DOLORES HEIGHTS
SPECIAL USE DISTRICT

VICINITY KEY MAP



EXHIBIT C

Massing of Vicinity

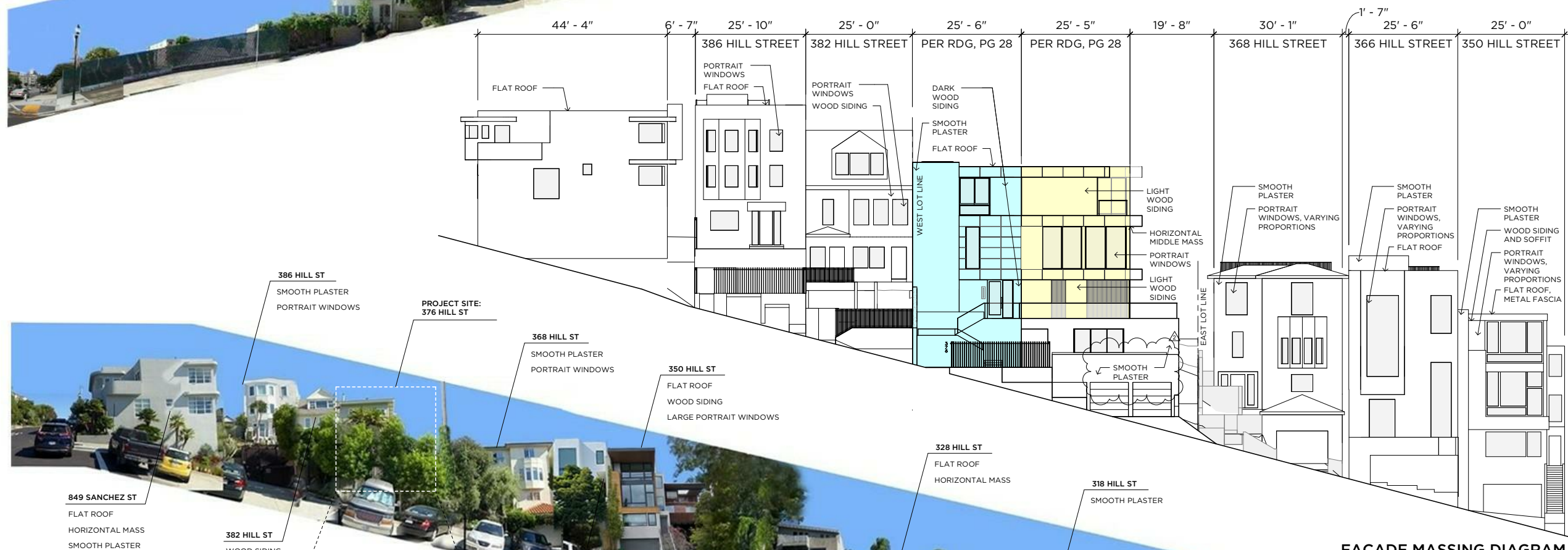


EXHIBIT D

Proposed Open Space



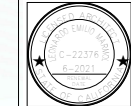
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 Drawn by: RK

A1.14