



EXECUTIVE SUMMARY CONDITIONAL USE AUTHORIZATION

HEARING DATE: MARCH 11, 2021

Record No.: 2020-008651CUA
Project Address: 801 38th Avenue
Zoning: RH-2 (Residential- House, Two Family)
40-X Height and Bulk District
Block/Lot: 1681/001
Project Sponsor: Mark English
315 Sutter Street
San Francisco, CA 94133
Property Owner: Michael J. Hammett & Tucker R. Lewis
801 38th Avenue
San Francisco, CA 94121
Staff Contact: Gretel Gunther – (628) 652-7607
gretel.gunther@sfgov.org

Recommendation: Approval with Conditions

Project Description

1. The proposal is to change a Residential Care Facility to Residential Use. The current proposal is to add one dwelling unit. The Department recommends the addition of a second dwelling unit to maximize density within an RH-2 Zoning District. The existing building contains a licensed, but non-operational, Residential Care Facility (d.b.a. Quality Care Homes, LLC 1). The building is currently owner-occupied with no active Residential Care activities. The Project includes an interior remodel at the first and second floors, new window openings at the side façade, select window replacement at all street-visible facades, removal of an existing shed in the rear yard, and removal of an existing metal entry gate in the rear yard. The building is proposed to retain one off-street parking space and add one class 1 bicycle parking space. No additional habitable space will be added and there will be no change to the building footprint.

Required Commission Action

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization, pursuant to Planning Code Sections 209.1, 303 and Board of Supervisors File No. 190908, to change the use of a Residential Care Facility to Residential Use at 801 38th Avenue.

Issues and Other Considerations

- **Public Comment & Outreach.**
 - **Support/Opposition:** The Department has received 0 letters in support and 0 letters in opposition to the Project.
 - **Public Comment:** The Department has received one letter regarding the proposed project.
 - The correspondence centered on how the conversion of the subject property Residential Care Facility Use to Residential Use would affect the availability of on-street parking, particularly as it pertains to a red zone located on the southwest corner of the intersection of 38th Avenue and Cabrillo Street.
- **History.** The existing building is a two-story residence that was initially converted to a Residential Care Facility in 1976. The existing building remained an active, functional Residential Care Facility until some time in 2019. The last site visit to Quality Care Homes, LLC 1 by the Community Care Licensing Division of the California Department of Social Services was recorded in April 2019. The building was sold in April 2020 to the current Property Owners and was vacant at the time of sale.
- **Interim Zoning Control.** On October 11, 2019, the Board of Supervisors passed Board File No. 190908 enacting a resolution to require Conditional Use Authorization from the Planning Commission to change the use of a Residential Care Facility to another use. As part of this resolution, the Commission must adopt certain findings, as detailed in the draft motion.

Environmental Review

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 categorical exemption.

Basis for Recommendation

The Department finds that the Project is, on balance, consistent with the intent of the RH-2 Zoning District, the Objectives and Policies of the General Plan, and the findings of the Interim Zoning Controls adopted by the Board of Supervisors. The Project proposes to restore one market rate dwelling unit. The Department recommends the addition of a second dwelling unit to maximize density within the RH-2 Zoning District. Tenants of the Residential Care Facility were relocated prior to the building being sold in April 2020 and the building was vacant when purchased by the current Property Owners. The Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

Attachments:

- Draft Motion – Conditional Use Authorization with Conditions of Approval (Exhibit A)
- Exhibit B – Plans and Renderings
- Exhibit C – Environmental Determination
- Exhibit D – Land Use Data
- Exhibit E – Maps and Context Photos



PLANNING COMMISSION DRAFT MOTION

HEARING DATE: MARCH 11, 2021

Record No.: 2020-008651CUA
Project Address: 801 38th Avenue
Zoning: RH-2 (Residential- House, Two Family)
40-X Height and Bulk District
Block/Lot: 1681/001
Project Sponsor: Mark English
315 Sutter Street
San Francisco, CA 94133
Property Owner: Michael J. Hammett & Tucker R. Lewis
801 38th Avenue
San Francisco, CA 94121
Staff Contact: Gretel Gunther – (628) 652-7607
gretel.gunther@sfgov.org

ADOPTING FINDINGS RELATING TO A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTION 209.1, 303 AND BOARD OF SUPERVISORS FILE NO. 190908, TO ALLOW THE CHANGE IN USE OF A RESIDENTIAL CARE FACILITY USE TO RESIDENTIAL USE WITHIN THE EXISTING TWO-STORY RESIDENTIAL BUILDING, LOCATED AT 801 38TH AVENUE, LOT 001 IN ASSESSOR'S BLOCK 1681, WITHIN AN RH-2 (RESIDENTIAL, HOUSE, TWO-FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PREAMBLE

On September 28, 2020, Mark English of Mark English Architects hereinafter ("Project Sponsor") filed a building permit application (Record No. 2020-008651PRJ) received by the Planning Department (hereinafter "Department") for improvements to the building at 801 38th Avenue, Block 1681 Lot 001 (hereinafter "Project Site"). On September 28, 2020, the Project Sponsor filed Record No. 2020-008651CUA (hereinafter "Application") with the Department for a change of use from Residential Care Facility to Residential Use.

On March 11, 2021, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2020-008651CUA.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2020-008651CUA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2020-008651CUA., subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

The above recitals are accurate and constitute findings of this Commission.

- 1. Project Description.** The proposal is to change a Residential Care Facility to Residential Use. The current proposal is to add one dwelling unit. The Department recommends the addition of a second dwelling unit to maximize density within an RH-2 Zoning District. The existing building contains a licensed, but non-operational, Residential Care Facility (d.b.a. Quality Care Homes, LLC 1). The building is currently owner-occupied with no active Residential Care activities. The Project includes an interior remodel at the first and second floors, new window openings at the side façade, select window replacement at all street-visible facades, removal of an existing shed in the rear yard, and removal of an existing metal entry gate in the rear yard. The building is proposed to retain one off-street parking space and add one class 1 bicycle parking space. No additional habitable space will be added and there will be no change to the building footprint.

- 2. Site Description and Present Use.** The Project is located on a 2,375 square foot lot with 25 feet of frontage along 38th Avenue and 95 feet of frontage along Cabrillo Street. The Project Site contains one two-story building that is currently owner-occupied. The subject property was sold in April 2020 to the current Property Owners. Documents from the Community Care Licensing Division of the California Department of Social Services show a Residential Care Facility operated as recently as April 2019, when a site visit was conducted by a Licensing Evaluator. The Residential Care Facility operated on both floors of the subject building. A summary timeline that has been assembled from Department files, California Department of Social Services files, and property records is below:
 - 1925: A one story over basement residence is constructed.
 - 1953: A second dwelling unit is added at the ground floor.
 - 1976: The entire building is converted to a Residential Care Facility for no more than 6 residents.
 - 2000: Under CPC Motion Number 15978, the Residential Care Facility Use (d.b.a. Farol's Residential Care Home) is intensified, allowing up to 12 residents in the facility.
 - 2019: The Community Care Licensing Division of the California Department of Social Services conducts a site visit to the subject property on April 17 to investigate a complaint about the facility (d.b.a. Quality Care Homes, LLC 1), indicating active use as a Residential Care Facility.
 - 2019: Interim Zoning Control 2019-017654PCA which requires a Conditional Use Authorization to remove or abandon Residential Care Facility uses is passed by the Board of Supervisors on October 11.
 - 2020: The subject property is sold to the current Property Owners on April 1 and is vacant at the time of sale.

- 2020: The Project Sponsor applies to re-establish Residential Use on September 28, 2020.

- 3. Surrounding Properties and Neighborhood.** The Project Site is located within an RH-2 Zoning District. The immediate context is consistent in character with one and two-family residential uses. The immediate neighborhood includes two-to-three-story single and multifamily residential buildings. There is one apartment building across Cabrillo Street to the north. Cabrillo Playground is located down the block to the south.
- 4. Public Outreach and Comments.** The Department has received correspondence from one person regarding the proposed project. The correspondence centered on how the conversion of the subject property's Residential Care Facility Use to Residential Use would affect the availability of on-street parking, particularly as it relates to a red zone located on the southwest corner of the intersection of 38th Avenue and Cabrillo Street.
- 5. Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. Residential.** Per Planning Code Section 102, a Use Category consisting of uses that provide housing for San Francisco residents, rather than visitors, including Dwelling Units, Group Housing, Residential Hotels, Senior Housing, Homeless Shelters, and for the purposes of Article 4 only any residential components of Institutional Uses. Single Room Occupancy, Intermediate Length Occupancy, and Student Housing designations are considered characteristics of certain Residential Uses.

The Project Sponsor is proposing to convert the entire subject building from a Residential Care Facility Use to a single-family home.

- B. Bicycle Parking.** Per Planning Code Section 155.2, one on-site bike parking space is required per dwelling unit.

The Project will include one bicycle parking space within the garage. Staff recommends that the project be modified to include a second unit. A modified project would be required to provide two bicycle parking spaces within the garage.

- C. Rear Yard.** Per Planning Code Section 134, an RH-2 Zoning District requires a rear yard equal to 45% of lot depth or the average of the adjacent neighbors. If averaged, no less than 25% or 15 feet, whichever is greater.

In the case of any lot that abuts along one of its side lot lines upon a lot with a building that fronts on another street or alley, the lot on which it so abuts shall be disregarded, and the forward edge of the required rear yard shall be reduced to a line on the subject lot which is at the depth of the rear building wall of the one adjacent building fronting on the same street or alley. Under no circumstances shall the minimum rear yard be reduced to less than a depth equal to 25 percent of the total depth of the lot. The subject property is required to maintain a rear yard of approximately 23 feet 9 inches, which is the minimum rear yard required based on the rear building wall of the one adjacent property fronting the

same street. There are no proposed changes to the rear façade depth and the required rear yard will be maintained. Further, the Project proposes to remove a legal non-conforming shed in the rear yard.

- D. **Open Space.** Per Planning Code Section 135, at least 125 square feet of useable open space is required per dwelling unit if private, and 166 square feet if common in an RH-2 Zoning District.
- E. **Dwelling Unit Exposure.** Per Planning Code Section 140, all dwelling units must have at least one room that faces a street, yard, or open space that is at least 20-feet deep.

The residential unit will have direct access to the rear yard which is approximately 24 feet deep. Both the upper and ground floors of the subject building have multiple rooms with windows that face Cabrillo Street. Staff recommends that the project be modified to include a second unit. A second unit would meet minimum code requirements for dwelling unit exposure.

- F. **Residential Child Care Fee.** *The project includes the creation of at least one new residential unit and is therefore subject to the Residential Child Care Impact Fee per Planning Code Section 414A.*

6. Conditional Use Findings. Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The proposed dwelling unit will be almost 3,000 square feet and entirely within the existing footprint of the building. The proposed Residential Use is compatible with the subject and surrounding blocks, which are entirely residential, and the Outer Richmond as a whole. The project is in line with the City's housing goals and objectives and will help decrease the City's housing shortage.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The height and bulk of the existing building will remain the same and will not alter the existing appearance or character of the project vicinity. The proposed work will not affect the building envelope. Proposed alterations include minor interior and exterior tenant improvements at the first and second floors, new window openings at the side façade, select window replacement at all street-visible facades, removal of an existing shed in the rear yard, and removal of an existing metal entry gate in the rear yard.

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Planning Code does not require off-street parking for Residential Uses. The existing building will retain one off-street parking space.

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The Project will not produce noxious or offensive emissions related to noise, glare, dust, and odor.

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The subject building does not possess a front setback nor is in an area with a legislative setback. The Project will not alter the existing landscaping, open spaces, parking and loading areas.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Use District

The Project is consistent with the stated purposes of RH-2 Zoning Districts. Residential Uses are principally permitted within an RH-2 Zoning District.

- 7. Interim Zoning Controls Findings: Change of Use to a Residential Care Facility.** Effective on October 11, 2019, the Board of Supervisors passed an interim zoning control to require Conditional Use Authorization for a change in use of a residential care facility. In addition to the criteria of Section 303(c) of this Code, the Commission shall consider the extent to which the following criteria are met:

- A. Any findings by the Department of Public Health, the Human Services Agency, the Department of Aging and Adult Services, or the San Francisco Long-Term Care Coordinating Council regarding the capacity of the existing Residential Care Facility Use, the population served, and the nature and quality of services provided.

The Project Site was previously home to Quality Care Homes, LLC 1, a Residential Care Facility that operated until some point in 2019. There is not currently an operating Residential Care Facility on the property, so the capacity of the Use is zero patients. There are therefore no available findings by the agencies listed above.

- B. The impact of the change of use on the neighborhood and community.

The Project Site is on a residential block with single-family and multifamily buildings, and a public park. The building is currently owner-occupied. The subject property obtained a Conditional Use Authorization in 2000 to intensify the existing Residential Care Facility Use from six patients to twelve patients allowed. The Project will restore Residential Use, a principally permitted and more compatible use in an RH-2 Zoning District, to the subject property.

Residential Care Facilities are important service providers that support the health and wellbeing of seniors and/or people living with mental and physical disabilities. The need for more health care services overall, and in-particular long-term care facilities, has been noted by both the City and community organizations. The high cost of land and high cost of living in San Francisco present an acute problem for offering safe, comfortable, and affordable care for people in need.

The change of use from a vacant Residential Care Facility to occupied Residential Use will benefit the subject block and the larger Richmond neighborhood. Public safety and the streetscape will be improved by the presence of the dwelling unit and accompanying family residents. Reinstating Residential Use to the building is compatible with, and beneficial to, the neighborhood and community.

- C. Whether there are sufficient available beds at a licensed Residential Care Facility within a one-mile radius of the site.

Quality Care Homes, LLC 1 became non-operational at some point in 2019 and all eleven residents were relocated to other facilities. This change of use will not displace any residents. Currently, the California Department of Social Services licensing database lists 70 residential care facility beds within a mile of the subject property at seven different residential care facilities: Sunset Gardens (1338 27th Avenue), Sunset Care Home 2 (1367 39th Avenue), Damenik's Home (331 30th Avenue), Ida's Rest Home, LLC (612 39th Avenue), Quality Care Homes 2, LLC (757 44th Avenue), Stella's Care Home I (616 39th Avenue), and Sutro Heights Residential Care, LLC (659 45th Avenue).

- D. Whether the Residential Care Facility Use to be converted will be relocated or replaced with another Residential Care Facility Use. The intensity of activity in the district is not such that allowing the larger use will be likely to foreclose the location of other needed neighborhood-serving uses in the area.

The Residential Care Facility on site became non-operational at some point in 2019. All patients were relocated, and no relocation services or replacement facilities are currently required. The intensity of on-site activity will diminish with the conversion to dwelling unit use. There will be fewer people living on the site and no regular demand for medical and support services. No neighborhood serving uses will be foreclosed upon due to this Project.

- 8. General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 2

RETAIN EXISTING HOUSING UNITS, AND PROMOTE SAFETY AND MAINTENANCE STANDARDS, WITHOUT JEOPARDIZING AFFORDABILITY.

Policy 2.1

Discourage the demolition of sound existing housing, unless the demolition results in a net increase in affordable housing.

Policy 2.2

Retain existing housing by controlling the merger of residential units, except where a merger clearly creates new family housing.

Policy 2.4

Promote improvements and continued maintenance to existing units to ensure long term habitation and safety.

Policy 2.5

Encourage and support the seismic retrofitting of the existing housing stock.

OBJECTIVE 11

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2

Ensure implementation of accepted design standards in project approvals.

Policy 11.3

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.4

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the general plan.

Policy 11.5

Ensure densities in established residential areas promote compatibility with prevailing neighborhood character.

Policy 11.6

Foster a sense of community through architectural design, using features that promote community interaction.

Policy 11.7

Respect San Francisco's historic fabric, by preserving landmark buildings and ensuring consistency with historic districts.

Policy 11.8

Consider a neighborhood's character when integrating new uses, and minimize disruption caused by expansion of institutions into residential areas.

The Project as proposed by the Project Sponsor includes the conversion of a vacant Residential Care Facility Use to Residential Use containing one dwelling unit. The Project includes adding an approximately 3,000 square foot unit with room to accommodate a family with children and additional elderly relatives or guests. The remodel and reuse of a vacant building will benefit the immediate area, while re-establishing Residential Use that will contribute to the City's efforts to increase the housing stock.

The Project Sponsor currently proposes to only have one dwelling unit within the existing building. With the addition of another kitchen and compliance with Building Code requirements, two two-bedroom units could be created within the existing building. This would result in two bedrooms at the upper floor, and a bedroom and an open "studio room" at the ground floor. Therefore, the Department recommends the addition of a second dwelling unit at the subject property to maximize density within an RH-2 Zoning District.

The Project Site shifted between Residential and Residential Care Facility Uses over multiple decades. Quality Care Homes, LLC 1 most recently occupied the property until some point in 2019. All eleven residents were relocated to other Residential Care Facilities.

The Project will not cause any residents or patients to be displaced. It includes tenant and building improvements including other building safety, energy efficiency, and aesthetic improvements. The proposal is to re-establish the original single-family use of an existing building in the Richmond District. On balance, the Project is consistent with the Objectives and Policies of the General Plan.

9. Planning Code Section 101.1(b) establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The Project Site does not possess any neighborhood-serving retail uses. The Project will not significantly affect the existing mix of neighborhood-serving retail uses. The Project will convert a Residential Care Facility Use to Residential Use.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The Project will not adversely affect the character or diversity of the neighborhood. The Project will restore a dwelling unit. Minimal changes are proposed to the exterior of the building and there will be no change to the existing building's footprint and massing.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project would not have any adverse effect on the City's supply of affordable housing.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project Site is served by nearby public transportation options. The Project is located near multiple Muni bus lines (5 Fulton, 5R Fulton Rapid (temporarily suspended due to COVID-19), 31 Balboa (temporarily suspended due to COVID-19), 31AX Balboa A Express (temporarily suspended due to COVID-19), and 31BX Balboa B Express (temporarily suspended due to COVID-19.)) The Project is retaining one off-street parking space within the existing garage. Therefore, traffic and transit ridership generated by the Project will not overburden the streets or MUNI service.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project will not displace or adversely affect any service sector or industrial businesses and it does not include any commercial office development.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

This Project will not adversely affect the property's ability to withstand an earthquake. The Project will comply with the requirements of the San Francisco Building Code.

- G. That landmarks and historic buildings be preserved.

Currently, the Project Site does not contain any City Landmarks or historic buildings.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project will have no negative effect on existing parks and open spaces, and will not adversely affect their access to sunlight, or vistas.

- 10.** The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.

11. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2020-008651CUA** subject to the following conditions attached hereto as “EXHIBIT A” in general conformance with plans on file, dated February 9, 2021, and stamped “EXHIBIT B”, which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission’s adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator’s Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on March 11, 2021.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: March 11, 2021

EXHIBIT A

Authorization

This authorization is for a conditional use to allow a change in use from Residential Care Facility to Residential Use with two dwelling units at the subject property, located at 801 38th Avenue, Lot 001 of Block 1681, pursuant to Planning Code Sections 209.1 and 303 and Board of Supervisors File No. 190908, within an RH-2 Zoning District and a 40-X Height and Bulk District; in general conformance with plans, dated **February 9, 2021**, and stamped “EXHIBIT B” included in the docket for Record No. **2020-008651CUA** and subject to conditions of approval reviewed and approved by the Commission on March 11, 2021 under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

Recordation of Conditions of Approval

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **March 11, 2021** under Motion No **XXXXXX**.

Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

Severability

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. “Project Sponsor” shall include any subsequent responsible party.

Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

CONDITIONS OF APPROVAL, COMPLIANCE, MONITORING, AND REPORTING

Performance

- 1. Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 2. Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 3. Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 4. Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 5. Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463,
www.sfplanning.org*

Design – Compliance at Plan Stage

- 6. Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7607,
www.sfplanning.org*

- 7. Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7607
www.sfplanning.org*

- 8. Dwelling Unit Density.** The Project Sponsor shall include a second dwelling unit prior Planning Department approval. The Department recommends the addition of a second dwelling unit to maximize density. Per Planning Code Section 209.1, an RH-2 Zoning District allows for up to two dwelling units per lot. The Project currently proposes one dwelling unit.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7607
www.sfplanning.org*

Parking and Traffic

- 9. Bicycle Parking.** The Project shall provide no fewer than **two (2)** Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.2.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463,
www.sfplanning.org*

- 10. Parking Maximum.** Pursuant to Planning Code Section 151, the Project shall provide no more than **two (2)** off-street parking spaces.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463,

www.sfplanning.org

Provisions

- 11. Residential Child Care Impact Fee.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7607, www.sfplanning.org

Monitoring - After Entitlement

- 12. Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 13. Monitoring.** The Project requires monitoring of the conditions of approval in this Motion. The Project Sponsor or the subsequent responsible parties for the Project shall pay fees as established under Planning Code Section 351(e) (1) and work with the Planning Department for information about compliance.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 14. Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

Operation

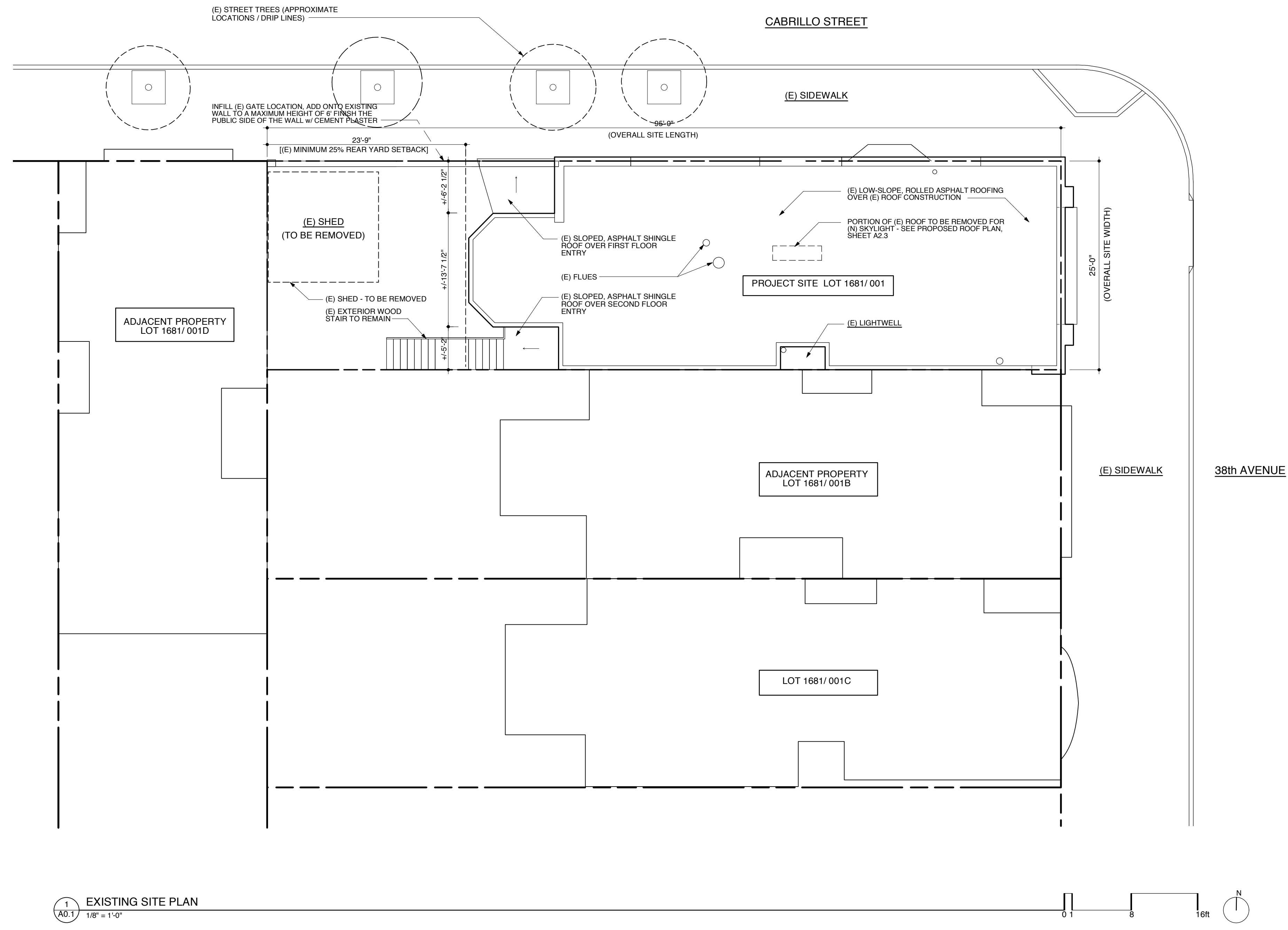
- 15. Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all

sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 628.271.2000, www.sfpublicworks.org

- 16. Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org



1 EXISTING SITE PLAN
1/8" = 1'-0"

PROJECT DATA:

LOCATION: 801 38th AVENUE, SAN FRANCISCO, CA 94121
 OWNER: TUCKER LEWIS & MICHAEL HAMMETT
 BLOCK AND LOT NUMBER: 1681/001
 JURISDICTION: CITY AND COUNTY OF SAN FRANCISCO
 ZONE: RH-2, RESIDENTIAL-HOUSE, TWO FAMILY
 HEIGHT & BULK: 40-X
 OCCUPANCY GROUP: R2.1 (CURRENT) - CONVERT TO R-3
 YEAR BUILT: 1925
 FULLY SPRINKLERED: YES - TO BE REMOVED
 CONSTRUCTION TYPE: VB
 LOT AREA: 2,375 SQ FT
 BUILDING CODES ENFORCED: 2019 CALIFORNIA BUILDING STANDARDS CODE, TITLE 24

AREA CALCULATION (FROM OUTSIDE FACE OF BUILDING)

EXISTING FIRST FLOOR	1,588 SQ FT
EXISTING SECOND FLOOR	1,683 SQ FT
TOTAL	3,271 SQ FT

PROJECT DESCRIPTION

REQUEST THE CHANGE OF USE FROM R3.1 OCCUPANCY (RESIDENTIAL CARE HOME) TO R3 (SINGLE FAMILY RESIDENCE) AND REMOVAL OF THE EXISTING FIRE PROTECTION SYSTEM.
 PROJECT SCOPE INCLUDES INTERIOR REMODEL OF EXISTING 3,271 SQ FT TWO-STORY RESIDENCE. NEW WINDOWS, DOORS AND SKYLIGHT. NEW ELECTRICAL AND PLUMBING WORK AS WELL AS REMOVAL AND RECONFIGURATION OF INTERIOR WALL PARTITIONS. SCOPE OF WORK ALSO INCLUDES INFILL (E) GATE LOCATION, ADD ONTO EXISTING WALL TO A MAXIMUM HEIGHT OF 8' FINISH THE PUBLIC SIDE OF THE WALL w/ CEMENT PLASTER.
 NO ADDITIONAL HABITABLE SPACE ADDED.

EXISTING SHED IN REAR YARD TO BE REMOVED.

CONSULTANTS:

OWNERS:
 TUCKER LEWIS & MICHAEL HAMMETT
 801 38th AVENUE
 SAN FRANCISCO, CA 94121
 e. ronaltuckerfewis@gmail.com
 michael.hammetts@gmail.com

ARCHITECT:
 MARK ENGLISH ARCHITECTS
 315 SUTTER STREET 5th FLOOR
 SAN FRANCISCO, CA 94108
 T. 415.391.0186
 C. 415.505.0443
 e. mark@markenglisharchitects.com

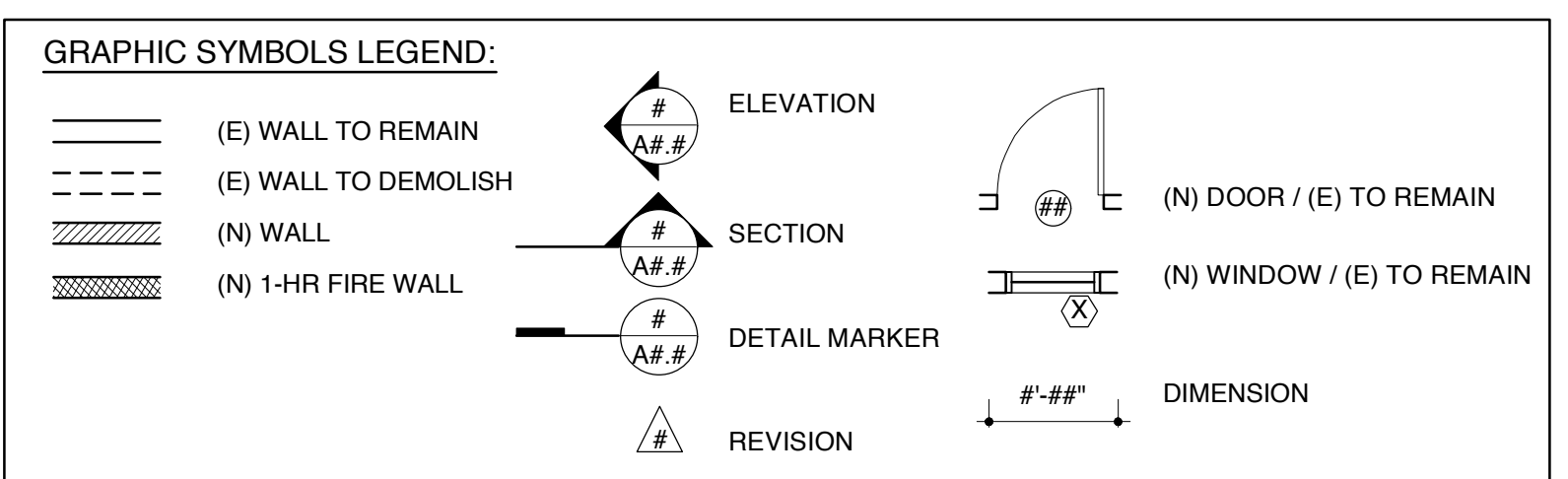
STRUCTURAL ENGINEER:
 JEFFERSON CHEN
 ENERTIA DESIGNS
 1167 MISSION STREET, FL. 1
 SAN FRANCISCO, CA 94103
 T. 415.626.8300 x 300
 C. 415.515.0403
 F. 415.701.0212
 e. jefferson@enertiadesigns.net

SHEET INDEX

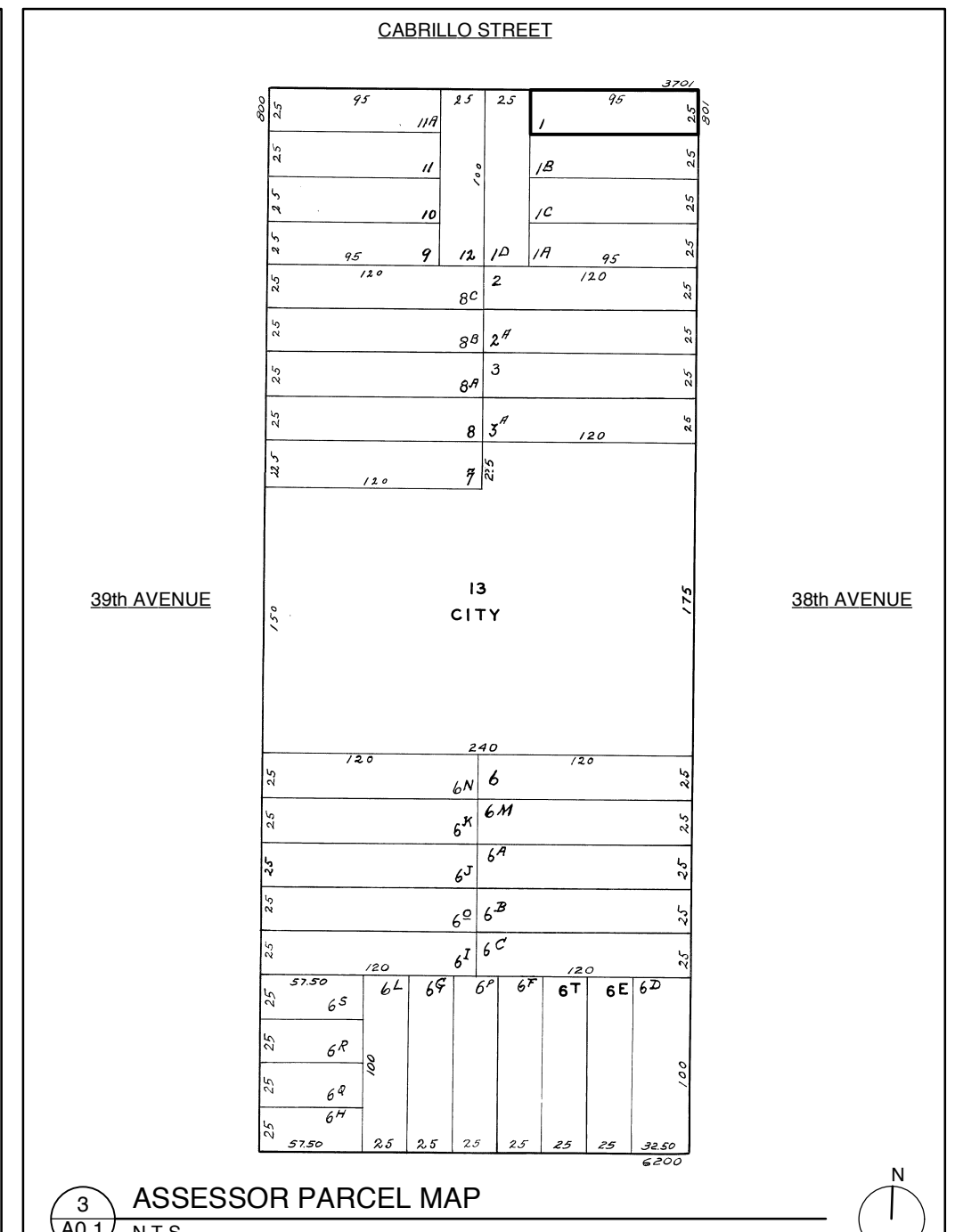
- ARCHITECTURAL**
- A0.1 EXISTING SITE PLAN, PROJECT DATA, ASSESSOR MAP, VICINITY MAP, GENERAL NOTES, SITE NOTES
 - A2.1 EXISTING/ DEMOLITION FIRST FLOOR PLAN, PROPOSED FIRST FLOOR PLAN
 - A2.2 EXISTING/ DEMOLITION SECOND FLOOR PLAN, PROPOSED SECOND FLOOR PLAN
 - A2.3 PROPOSED ROOF PLAN, SKYLIGHT SCHEDULE, ARCHITECTURAL DETAIL, SPECIFICATION
 - A2.4 EXISTING EXTERIOR ELEVATION, PROPOSED EXTERIOR ELEVATION
 - A2.5 EXISTING EXTERIOR ELEVATION, PROPOSED EXTERIOR ELEVATION
 - A2.6 EXISTING EXTERIOR ELEVATION, PROPOSED EXTERIOR ELEVATION
 - A3.1 DOOR & WINDOW SCHEDULE, ARCHITECTURAL DETAILS, SPECIFICATIONS
 - EM-1 PROPOSED FIRST FLOOR ELECTRICAL/ MECHANICAL PLANS, ELECTRICAL / MECHANICAL NOTES
 - EM-2 PROPOSED SECOND FLOOR ELECTRICAL / MECHANICAL PLANS, SPECIFICATIONS
- STRUCTURAL**
- S1.0 TITLE SHEET
 - S1.1A TYPICAL WOOD DETAILS
 - S2 FOUNDATION / FIRST FLOOR PLAN, SECOND FLOOR FRAMING PLAN
 - S3 ROOF FRAMING PLAN
 - S4 STRUCTURAL DETAILS

- SITE NOTES:**
- EXISTING ROOF PLAN, ADJACENT BUILDING OUTLINES AND STREET INFORMATION APPROXIMATED FROM AERIAL PHOTOGRAPH.
 - PUBLIC RIGHT OF WAY SHALL BE KEPT CLEAN AND FREE OF DEBRIS FOR THE DURATION OF THE PROJECT. GENERAL CONTRACTOR RESPONSIBLE FOR DAILY SWEEPING AS NECESSARY.
 - GENERAL CONTRACTOR RESPONSIBLE FOR COORDINATION OF SHUTDOWN AND REMOVAL OF (E) UTILITIES w/ CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC HEALTH AND ANY ASSOCIATED AGENCIES AS REQUIRED.
 - GENERAL CONTRACTOR RESPONSIBLE FOR PUBLIC AND SITE SAFETY AT ALL TIMES.

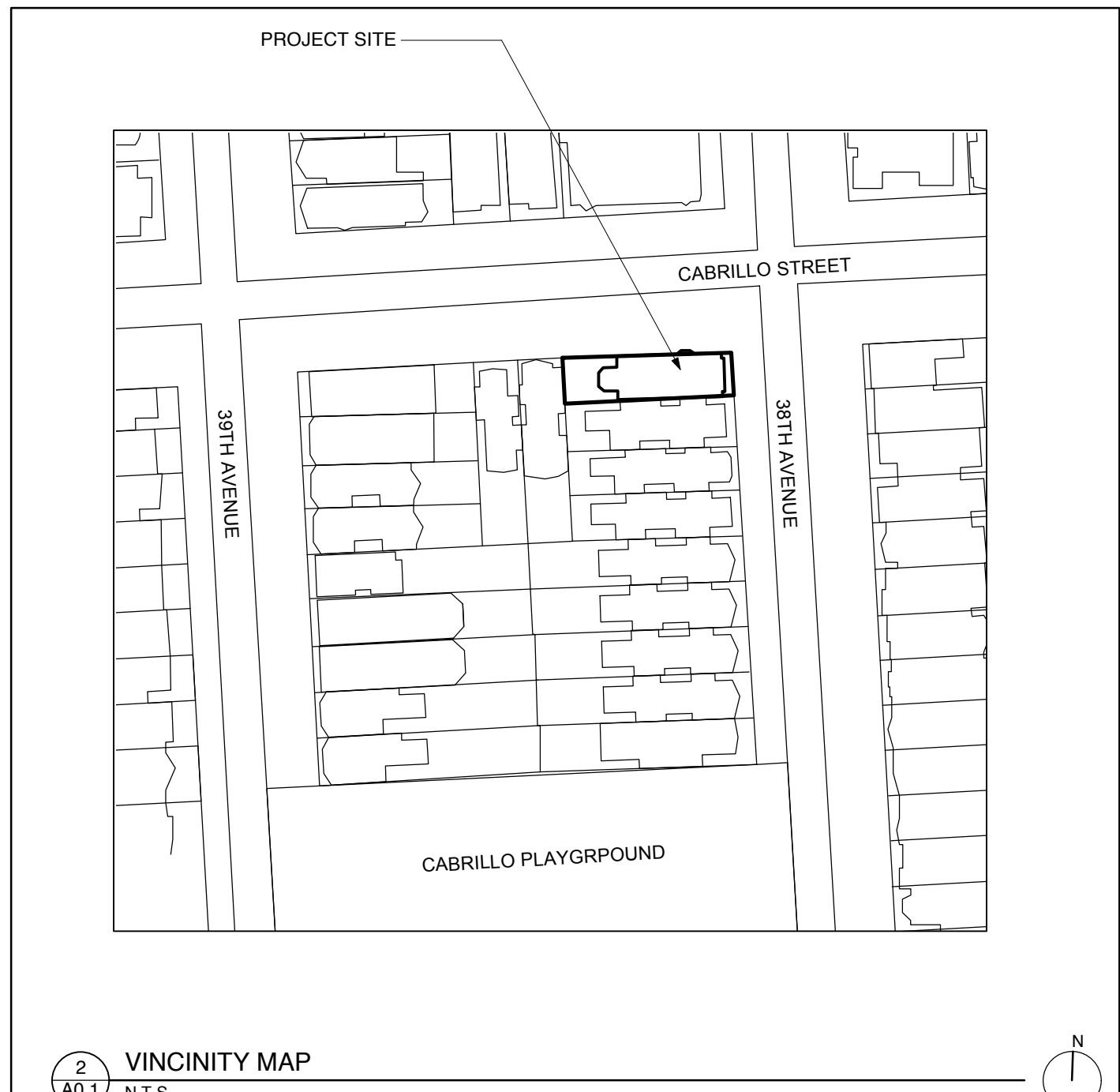
DISCLAIMER:
 ALL EXISTING DRAWINGS AND DIMENSIONS WERE PROVIDED BY THE OWNER. THE ARCHITECT DOES NOT MAKE ANY WARRANTY, EXPRESSED OR IMPLIED OR ASSUME ANY LEGAL LIABILITY OR RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING DIMENSIONS.



- GENERAL NOTES:**
- ALL WORK SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING STANDARDS CODE (CALIFORNIA CODE OF REGULATIONS, TITLE 24) ALL OCCUPANCIES IN CALIFORNIA ARE SUBJECT TO NATIONAL MODEL CODES ADOPTED INTO TITLE 24, AND OCCUPANCIES ARE FURTHER SUBJECT TO AMENDMENTS ADOPTED BY STATE AGENCIES AND ORDINANCES IMPLEMENTED BY LOCAL JURISDICTIONS' GOVERNING BODIES. CONTRACTOR SHALL COMPLY WITH ANY OTHER STANDARD OR CODE IN EFFECT AS OF DATE OF CONTRACT DOCUMENTS.
 - DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS SHALL BE FOLLOWED. LARGE SCALE DRAWINGS OR DETAILS TAKE PRECEDENCE OVER SMALL SCALE ONES. SPECIFIC NOTES AND DETAILS TAKE PRECEDENCE OVER TYPICAL NOTES AND DETAILS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DIMENSIONAL DISCREPANCIES.
 - BEFORE STARTING ANY PORTION OF WORK, THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT THE SITE AND BE KNOWLEDGABLE OF CONDITIONS THEREIN. ALL EXISTING CONDITIONS THAT HAVE BEARING ON HIS WORK, ARCHITECT IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS, DRAWINGS, SPECIFICATIONS, OR OTHER CONTRACT DOCUMENTS. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR CORRECTING ANY WORK THAT WAS KNOWINGLY COMMENCED WITHOUT FIRST NOTIFYING THE ARCHITECT AND THE OWNER. THEY SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITION REQUIRING MODIFICATION BEFORE PROCEEDING WITH WORK.
 - CONTRACTOR SHALL COORDINATE ALL MECHANICAL, PLUMBING, ELECTRICAL, CIVIL, STRUCTURAL AND ARCHITECTURAL WORK. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH WORK. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA WORK RESULTING FROM LACK OF COORDINATION BETWEEN TRADES.
 - CONTRACTOR SHALL PROVIDE PUBLIC PROTECTION AS REQUIRED BY CITY AND COUNTY REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY TEMPORARY BRACING TO INSURE THE SAFETY OF THE WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR CUTTING, FITTING AND PATCHING AS REQUIRED TO MAKE THE SEVERAL PARTS FIT TOGETHER PROPERLY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SEPARATE PERMITS FOR ELECTRICAL, MECHANICAL, PLUMBING, GRADING OR OTHER PERMITS AS MAY BE REQUIRED BY LOCAL AUTHORITIES. ISSUANCE OF A BUILDING PERMIT BASED ON THESE DRAWINGS DOES NOT CONSTITUTE GRANTING OF THESE SEPARATE PERMITS.
 - THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE FULL PERFORMANCE OF THE WORK HEREIN, UNLESS SPECIFICALLY NOTED OTHERWISE.
 - ALL WORK SHALL BE PERFORMED IN A GOOD AND WORKMAN-LIKE MANNER AND CONFORM TO ALL PERTINENT REGULATIONS AND INSTRUCTIONS.
 - ALL WORK SHOWN IS TO BE CONSTRUCTED OF NEW MATERIAL U.O.N. INSTALLATION AND / OR MAINTENANCE DIRECTIONS PROVIDED BY THE MANUFACTURER SHALL BE FOLLOWED FOR ALL MATERIALS U.O.N.
 - ALL ITEMS MARKED (E) ARE EXISTING AND (N) ARE NEW.
 - ALL WALLS AND CEILINGS SHALL BE 5/8" GYPSUM WALL BOARD (GWB) UNLESS OTHERWISE NOTED.
 - NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA WORK RESULTING FROM LACK OF COORDINATION BETWEEN TRADES.
 - OWNER'S RESPONSIBILITY FOR MAINTENANCE TO ENSURE VIABILITY OF MATERIALS AND WATERPROOFING SYSTEM.
 - CONTRACTOR SHALL ABIDE BY ALL FONTANA EAST APARTMENT CORPORATION'S REMODEL GUIDELINES AND RULES.
 - PROVIDE SMOKE CONTROL AND CARBON MONOXIDE CONTROL SYSTEMS AS REQUIRED BY CITY AND COUNTY OF SAN FRANCISCO. BUILDER RESPONSIBLE FOR COORDINATION OF SUBMITTALS AND DOCUMENTATION TO MEET THE MINIMUM REQUIREMENTS.

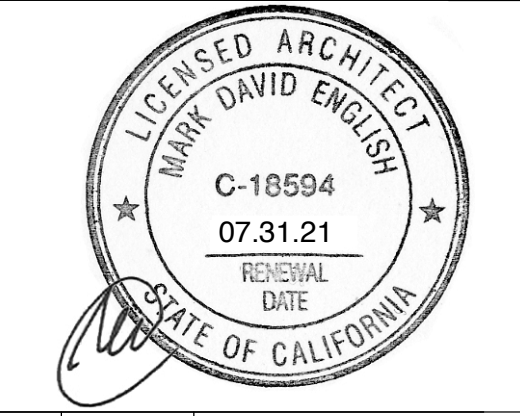


3 ASSESSOR PARCEL MAP
N.T.S.



2 VICINITY MAP
N.T.S.

MARK ENGLISH architects
 315 Sutter Street, 5th Floor
 San Francisco, California 94108
 T. 415.391.0186
 e. mark@markenglisharchitects.com
 web. www.markenglisharchitects.com

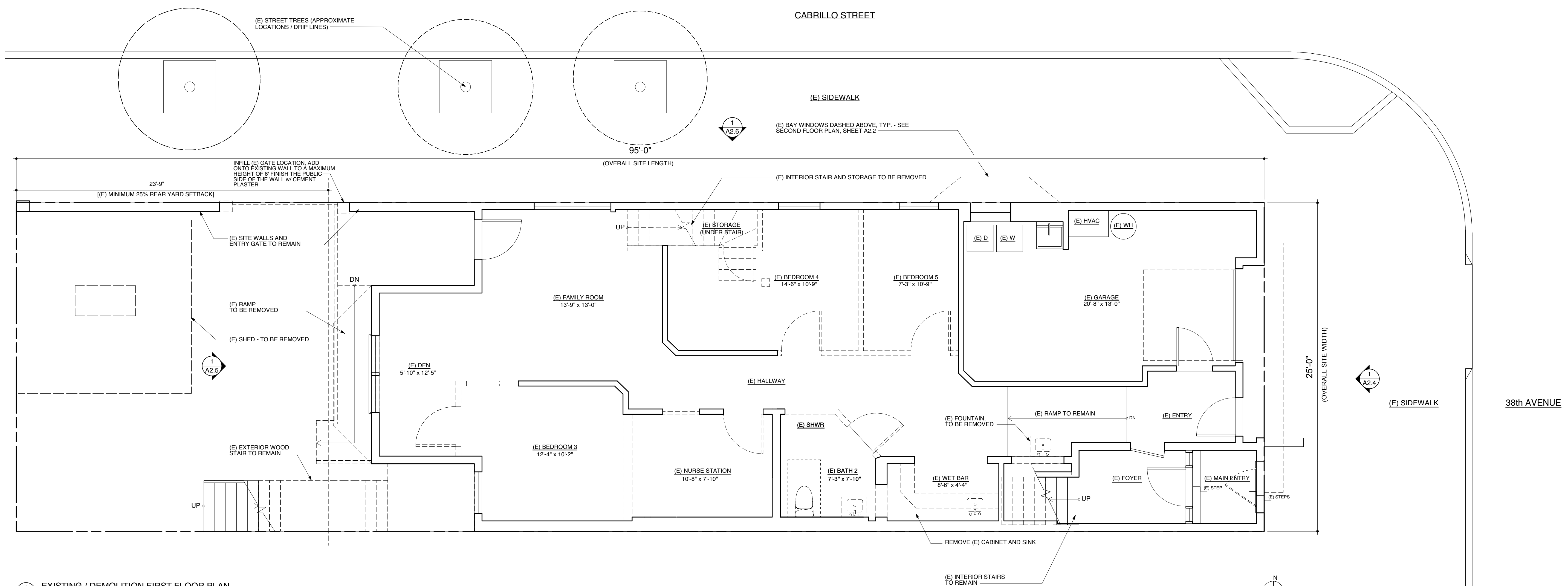


DATE	REVISIONS
09.03.20	RESPONSE TO BLDG DEPT COMMENTS
09.14.20	RESPONSE TO BLDG DEPT COMMENTS
01.04.21	
01.11.21	

EXISTING SITE PLAN, PROJECT DATA,
 ASSESSOR MAP, VICINITY MAP,
 GENERAL NOTES, SITE NOTES

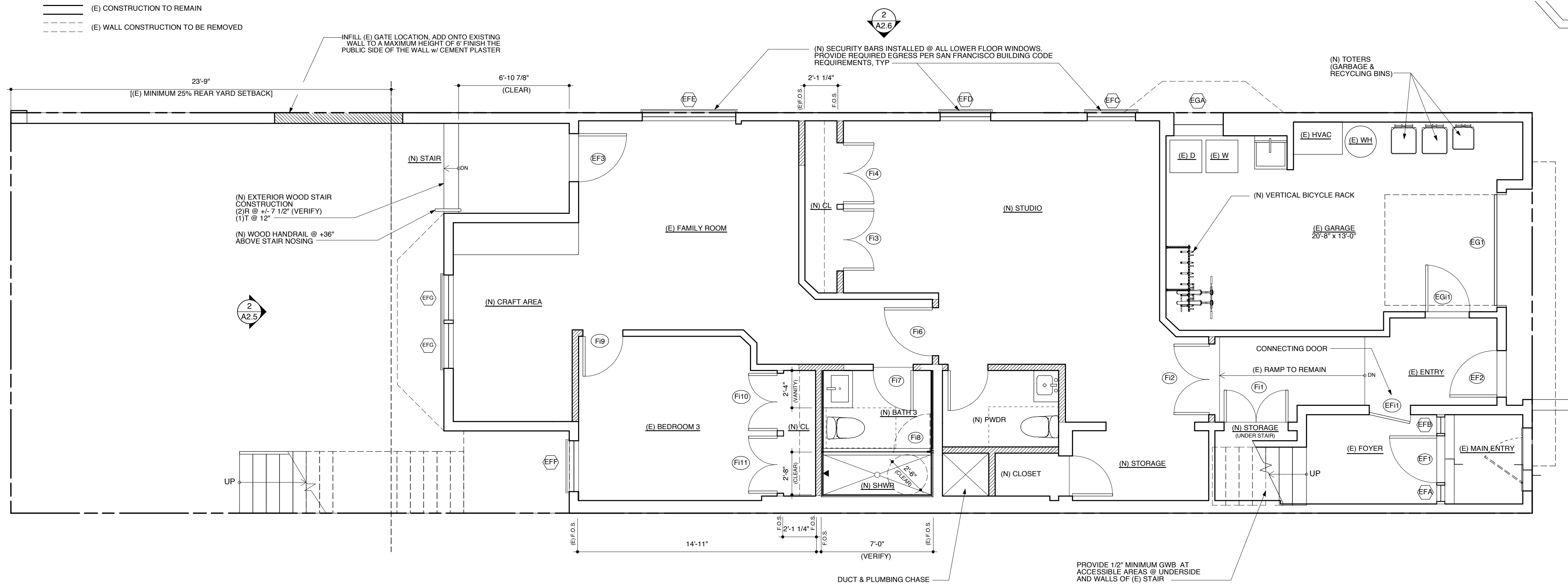
INTERIOR RENOVATION
 801 38TH AVENUE
 SAN FRANCISCO, CA 94121
 BLOCK / LOT: 1681/001

Date: 02.09.2021
 Scale: AS SHOWN
 Drawn By: TN/NL
 Job No: ZB-05
 Sheet
A0.1
 1 of 15 Sheets



1
A2.1
EXISTING / DEMOLITION FIRST FLOOR PLAN

1/4" = 1'-0"
 (E) CONSTRUCTION TO REMAIN
 (E) WALL CONSTRUCTION TO BE REMOVED

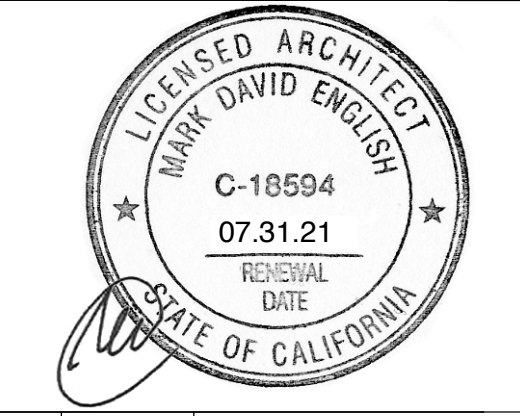


2
A2.1
PROPOSED FIRST FLOOR PLAN

1/4" = 1'-0"
 (E) CONSTRUCTION TO REMAIN
 (N) WALL CONSTRUCTION

- DEMOLITION NOTES:**
- CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING DEMOLITION.
 - CONTRACTOR SHALL PATCH AND / OR REPAIR ALL EXISTING ADJACENT CONSTRUCTION AS REQUIRED AFTER DEMOLITION TO PROVIDE A COMPLETE AND FINISHED INSTALLATION.
 - CONTRACTOR TO PROVIDE TEMPORARY SHORING AS NECESSARY DURING DEMOLITION. CONTRACTOR RESPONSIBLE FOR SITE SAFETY AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION. SAFETY ON SITE INCLUDES PREVENTING ACCESS TO SITE WHEN AND IF IT CONSTITUTES A PUBLIC NUISANCE OR HAZARD.
 - CONTRACTOR TO PROPERLY CAP ALL EXISTING SANITARY SEWER AND / OR FILLING SEPTIC SYSTEM TO HEALTH DEPARTMENT STANDARDS.
 - CONTRACTOR SHALL DEMOLISH AND / OR REMOVE ALL ITEMS AS INDICATED ON THE DRAWINGS.
 - CONTRACTOR RESPONSIBLE FOR REMOVING ALL DEBRIS CAUSED BY DEMOLITION AND OTHER DEBRIS IN THE BUILDING. CONTRACTOR SHALL CLEAN UP DAILY AND SHALL NOT ALLOW AN EXCESSIVE AMOUNT OF DEBRIS TO ACCUMULATE AT ANY TIME.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND LEGAL DISPOSAL OF ALL ITEMS, MATERIALS, ETC. DEMOLISHED FROM PROPERTY.
 - WHERE EXISTING LIGHT FIXTURES, ELECTRICAL OUTLETS, ETC. ARE TO BE REMOVED, ALL SERVICE TO SAME SHALL BE CAPPED OR REMOVED IN ACCORDANCE WITH ALL APPLICABLE CODES.

MARK ENGLISH architects
 315 Sutter Street, 5th Floor
 San Francisco, California 94108
 T. 415.391.0186
 e. mark@markenglisharchitects.com
 web. www.markenglisharchitects.com

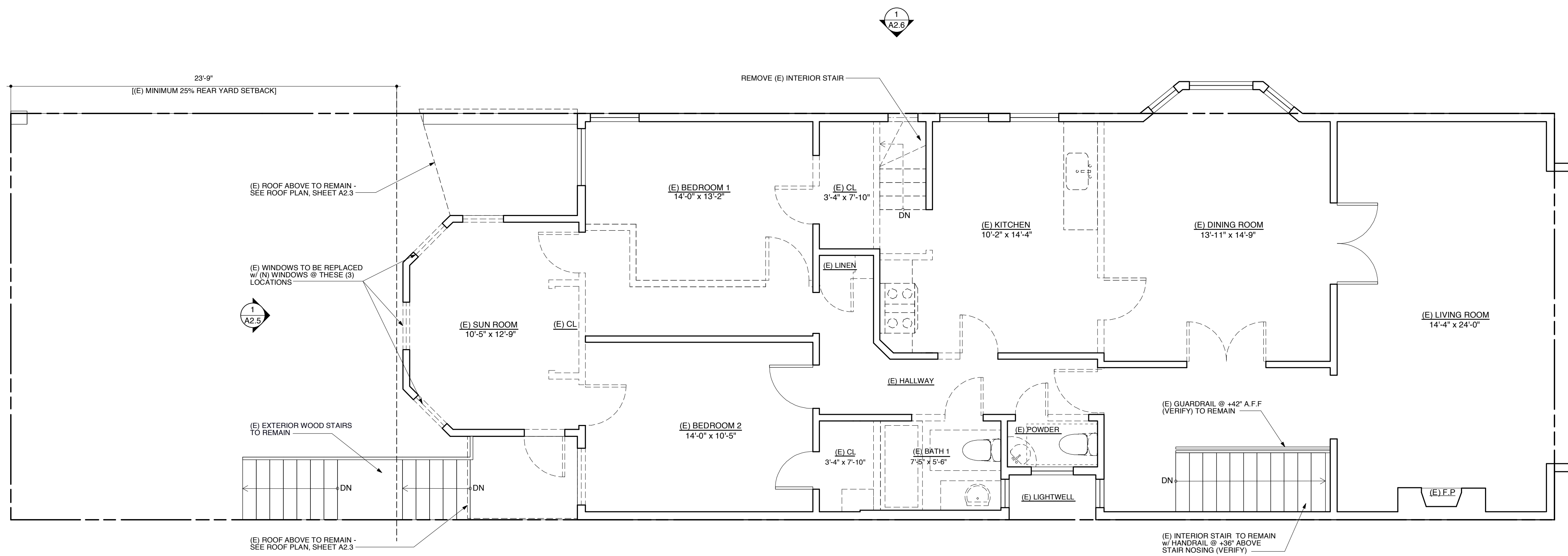


DATE	REVISIONS
09.03.20	RESPONSE TO BLDG DEPT COMMENTS
09.14.20	RESPONSE TO BLDG DEPT COMMENTS
12.11.20	RESPONSE TO BLDG DEPT COMMENTS
12.24.20	
01.04.21	
01.11.21	

EXISTING/DEMOLITION FIRST FLOOR PLAN
 & PROPOSED FIRST FLOOR PLAN

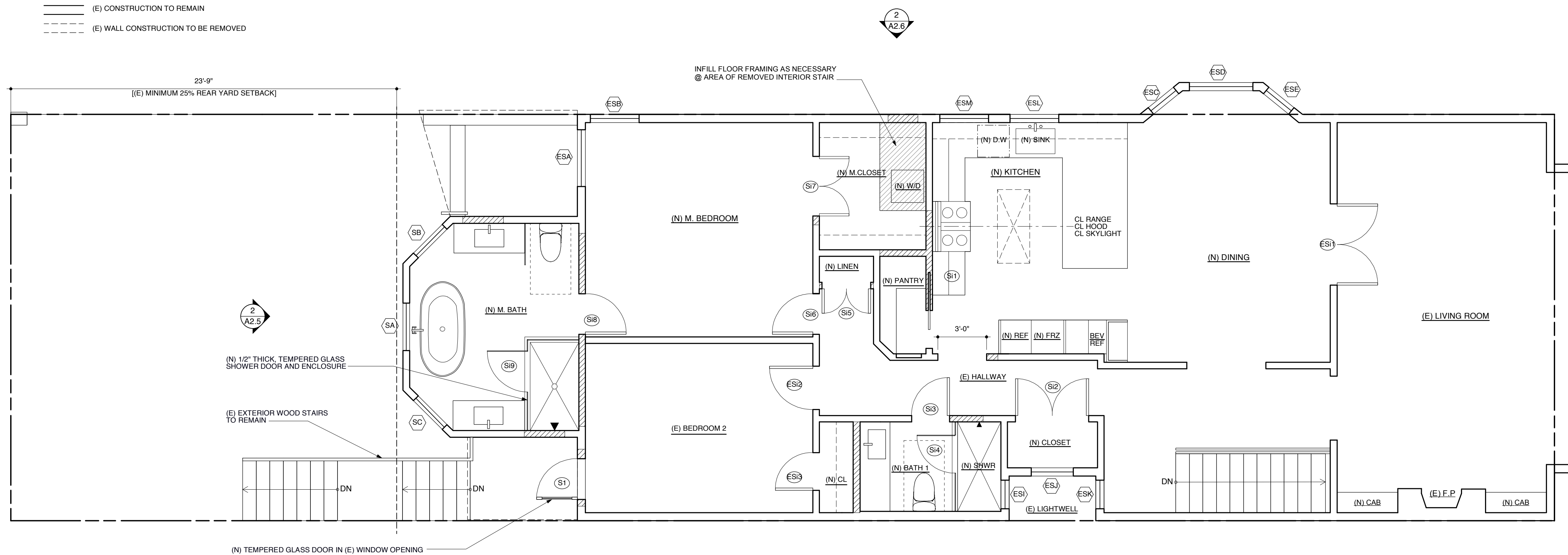
INTERIOR RENOVATION
 801 38TH AVENUE
 SAN FRANCISCO, CA 94121
 BLOCK LOT: 16811/001

Date: 02.09.2021
 Scale: 1/4" = 1'-0"
 Drawn By: TN/NL
 Job No: ZB-05
 Sheet: **A2.1**
 2 Of 15 Sheets



1
A2.2
EXISTING/ DEMOLITION SECOND FLOOR PLAN

1/4" = 1'-0"
 (E) CONSTRUCTION TO REMAIN
 (E) WALL CONSTRUCTION TO BE REMOVED

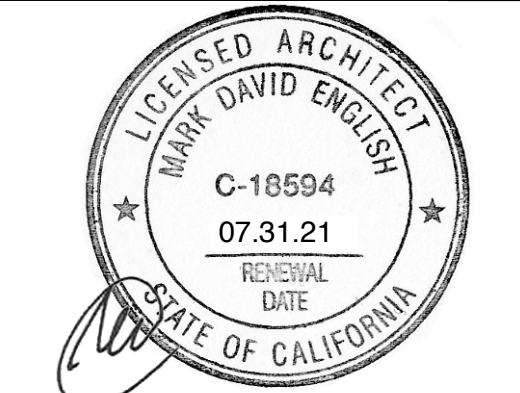


2
A2.2
PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"
 (E) CONSTRUCTION TO REMAIN
 (N) WALL CONSTRUCTION

DEMOLITION NOTES:

- CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING DEMOLITION.
- CONTRACTOR SHALL PATCH AND / OR REPAIR ALL EXISTING ADJACENT CONSTRUCTION AS REQUIRED AFTER DEMOLITION TO PROVIDE A COMPLETE AND FINISHED INSTALLATION.
- CONTRACTOR TO PROVIDE TEMPORARY SHORING AS NECESSARY DURING DEMOLITION. CONTRACTOR RESPONSIBLE FOR SITE SAFETY AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION. SAFETY ON SITE INCLUDES PREVENTING ACCESS TO SITE WHEN AND IF IT CONSTITUTES A PUBLIC NUISANCE OR HAZARD.
- CONTRACTOR TO PROPERLY CAP ALL EXISTING SANITARY SEWER AND / OR FILLING SEPTIC SYSTEM TO HEALTH DEPARTMENT STANDARDS.
- CONTRACTOR SHALL DEMOLISH AND / OR REMOVE ALL ITEMS AS INDICATED ON THE DRAWINGS.
- CONTRACTOR RESPONSIBLE FOR REMOVING ALL DEBRIS CAUSED BY DEMOLITION AND OTHER DEBRIS IN THE BUILDING. CONTRACTOR SHALL CLEAN UP DAILY AND SHALL NOT ALLOW AN EXCESSIVE AMOUNT OF DEBRIS TO ACCUMULATE AT ANY TIME.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND LEGAL DISPOSAL OF ALL ITEMS, MATERIALS, ETC. DEMOLISHED FROM PROPERTY.
- WHERE EXISTING LIGHT FIXTURES, ELECTRICAL OUTLETS, ETC. ARE TO BE REMOVED, ALL SERVICE TO SAME SHALL BE CAPPED OR REMOVED IN ACCORDANCE WITH ALL APPLICABLE CODES.



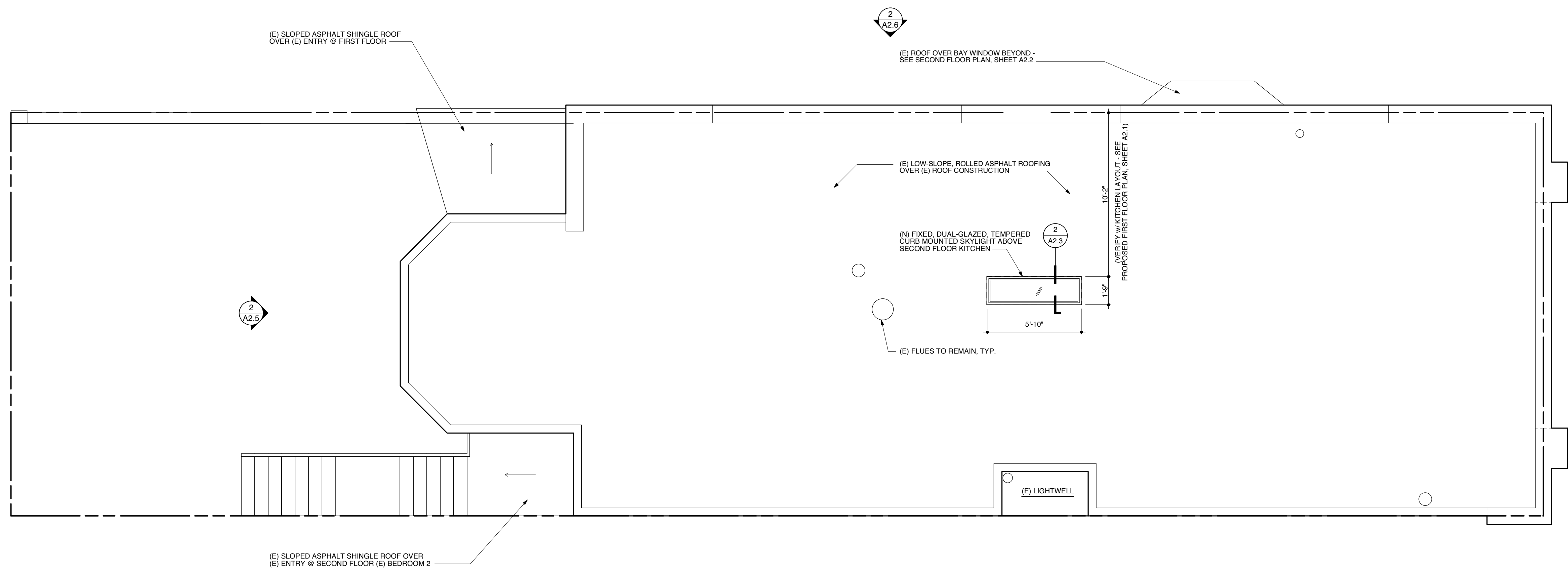
DATE	REVISIONS
09.03.20	RESPONSE TO BLDG DEPT COMMENTS
09.14.20	RESPONSE TO BLDG DEPT COMMENTS
12.11.20	RESPONSE TO BLDG DEPT COMMENTS
12.24.20	
01.04.20	

EXISTING/DEMOLITION SECOND FLOOR PLAN
 & PROPOSED SECOND FLOOR PLAN

INTERIOR RENOVATION

801 38TH AVENUE
 SAN FRANCISCO, CA 94121
 BLOCK LOT: 16811/001

Date:	02.09.2021
Scale:	1/4" = 1'-0"
Drawn By:	TN/NL
Job No:	ZB-05
Sheet	A2.2
3 Of 15 Sheets	



1
A2.3 PROPOSED ROOF PLAN
1/4" = 1'-0"
—— (E) CONSTRUCTION TO REMAIN

- ROOF NOTES:**
- SEE SITE PLAN, SHEET A0.1, FOR EXISTING ROOF PLAN
 - SEE STRUCTURAL DRAWINGS FOR SIZE AND SPACING OF STRUCTURAL MEMBERS.
 - CONSOLIDATE AND ALIGN SANITARY VENTS AS POSSIBLE TO MINIMIZE ROOF PENETRATIONS.
 - REVIEW ALL ROOF PENETRATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
 - (N) FIXED, DUAL GLAZED SKYLIGHT BY 'VELUX', OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
 - ALL 'EXPOSED' FLASHINGS TO BE 22 GA 'BONDERIZED' SHEET METAL. SUBMIT SAMPLE FOR ARCHITECT'S APPROVAL.
 - G.C. TO CONFORM ALL FLASHING AND SHEET METAL WORK TO MIN. REQUIREMENTS AS SET FORTH BY S.M.A.C.N.A. - ARCHITECTURAL SHEET METAL MANUAL AND TO RECOMMENDATIONS BY THE NRCA.

SKYLIGHT SCHEDULE

UNIT #	ROOM / LOCATION	UNIT SIZE (OUTSIDE FRAME)		TYPE	SAFETY GLAZING	EGRESS	MANUFACTURER/ MODEL	FRAME TYPE / FINISH	DETAILS			NOTES
		WIDTH	HEIGHT						HEAD	JAMB	SILL	
FIRST FLOOR SL1	(N) KITCHEN	3'-1"	5'-0"	(N) DUAL-GLAZED ALUMINUM FRAME w/ TEMPERED GLAZING	Y		'VELUX'	ALUMINUM WHITE	2 (A2.3)	2 (A2.3)	—	

SKYLIGHT NOTES:

- ALL SKYLIGHT SIZES TO BE VERIFIED IN FIELD PRIOR TO FABRICATION. UNIT SIZE IS CUSTOM BASED ON 'VELUX' (MAXIMUM WIDTH AVAILABLE = 50 3/4" X MAXIMUM HEIGHT AVAILABLE = 76 1/2" TO OUTSIDE OF FRAME, TYP.
- ALL SKYLIGHTS SHALL HAVE SAFETY GLAZING PER CBC SECTION 2406.
- (N) SKYLIGHT TO BE DUAL GLAZED WITH MIN. U VALUE = .40

STANDARD GLAZING OPTIONS:

- Tempered Exterior Pane used with all options
- Laminated LowE3 (04)
- Miami-Dade (07)
- Tempered LowE3 (05)
- White Laminated (08)
- Impact (06)

COMPATIBLE FLASHINGS:

- ECL Step flashing
- ECW Tile flashing

FCM Size Code	1430	1446	2222	2230	2234	2246	2270	3030	3046	3434	3446	4646
Inside curb (WxH)	14 1/2 x 30 1/2	14 1/2 x 46 1/2	22 1/2 x 22 1/2	22 1/2 x 30 1/2	22 1/2 x 34 1/2	22 1/2 x 46 1/2	22 1/2 x 70 1/2	30 1/2 x 30 1/2	30 1/2 x 46 1/2	34 1/2 x 34 1/2	34 1/2 x 46 1/2	46 1/2 x 46 1/2
Outside curb (WxH)	17 1/2 x 33 1/2	17 1/2 x 49 1/2	25 1/2 x 25 1/2	25 1/2 x 33 1/2	25 1/2 x 37 1/2	25 1/2 x 49 1/2	25 1/2 x 73 1/2	33 1/2 x 33 1/2	33 1/2 x 49 1/2	37 1/2 x 37 1/2	37 1/2 x 49 1/2	49 1/2 x 49 1/2
Maximum skylight clearance (WxH)	18 1/2 x 34 1/2	18 1/2 x 50 1/2	26 1/2 x 26 1/2	26 1/2 x 34 1/2	26 1/2 x 38 1/2	26 1/2 x 50 1/2	26 1/2 x 74 1/2	34 1/2 x 34 1/2	34 1/2 x 50 1/2	38 1/2 x 38 1/2	38 1/2 x 50 1/2	50 1/2 x 50 1/2

CUSTOM SIZES AVAILABLE

Width: 18 1/2 to 50 1/2
Height: 18 1/2 to 72
Delivered in 8-14 days
Delivered in 20 days or less

3
A2.3 SPECIFICATION - (N) CURB-MOUNTED, FIXED SKYLIGHT BY 'VELUX'
N.T.S.

(N) CURB MOUNTED, DUAL-GLAZED, TEMPERED FIXED ALUMINUM SKYLIGHT BY 'VELUX' OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S INSTRUCTIONS.

STAINLESS STEEL WOOD SCREWS PER MANUFACTURER'S INSTRUCTIONS.

'VELUX' ECL FLASHING OR COMPATIBLE FLASHINGS PER MANUFACTURER.

(E) LOW SLOPE, ROLLED ASPHALT ROOFING OVER (E) ROOF CONSTRUCTION.

(E) SLOPE TO DRAIN.

SEALANT ALL AROUND.

'J' METAL.

(N) STRUCTURAL ROOF MEMBER @ (N) SKYLIGHT OPENING - S.S.D.

METAL CORNER BEAD.

(E) ROOF JOIST WHERE OCCURS.

(E) GWB CEILING.

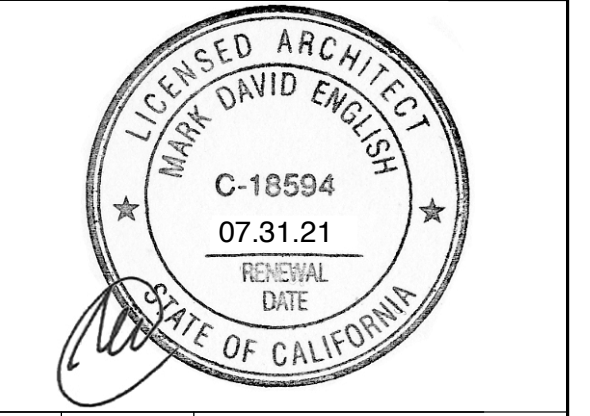
(E) ROOF INSULATION - (VERIFY).

INTERIOR (KITCHEN).

NOTE: CONFIRM AVAILABILITY OF CUSTOM SIZE W/ MANUFACTURER.

2
A2.3 SECTION DETAIL - (N) CURB-MOUNTED, FIXED SKYLIGHT
3"=1'-0"

MARK ENGLISH architects
315 Sutter Street, 5th Floor
San Francisco, California 94108
T. 415.391.0186
e. mark@markenglisharchitects.com
web. www.markenglisharchitects.com



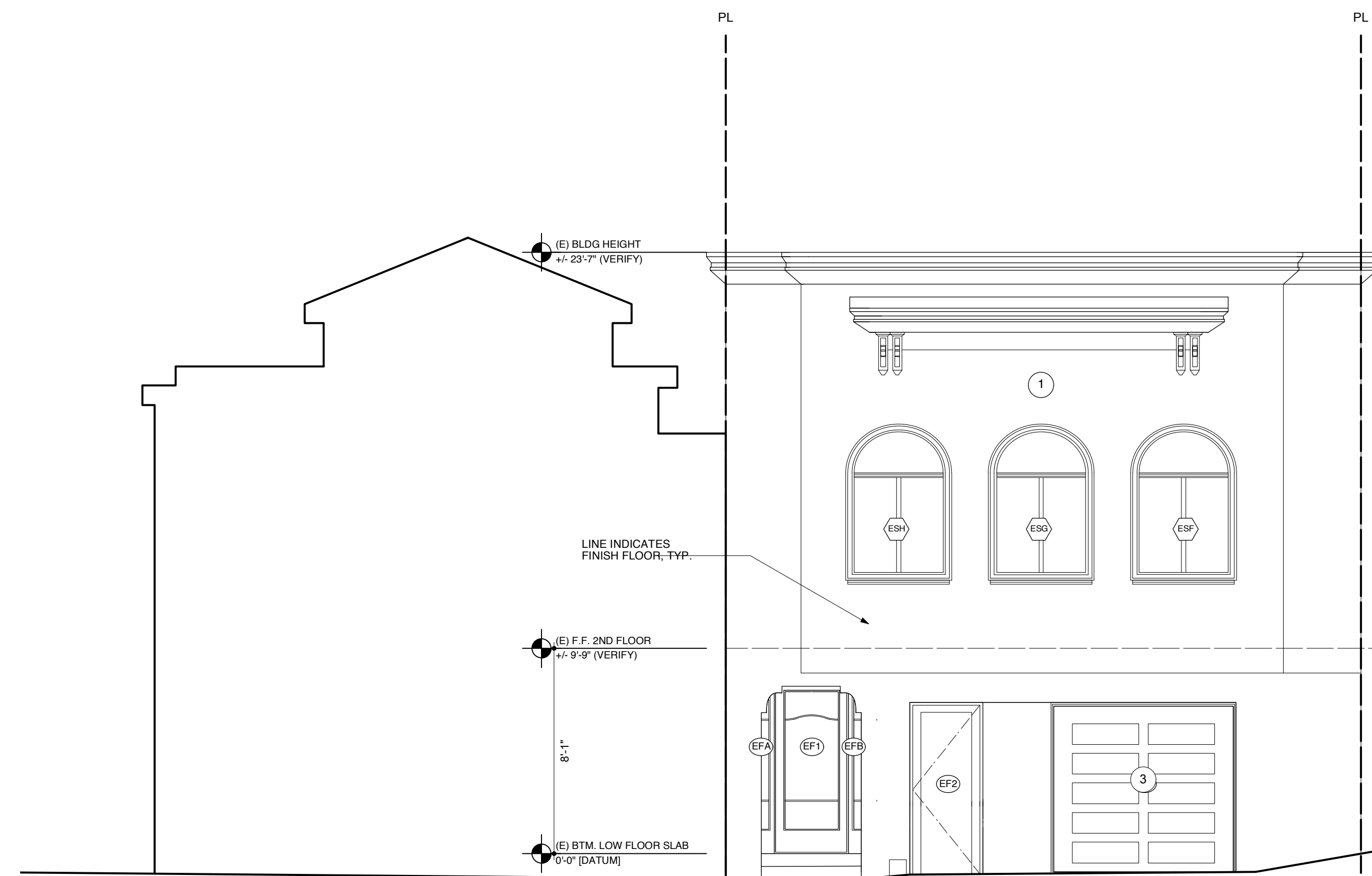
DATE	REVISIONS
09.03.20	RESPONSE TO BLDG DEPT COMMENTS
09.14.20	RESPONSE TO BLDG DEPT COMMENTS

PROPOSED ROOF PLAN,
SKYLIGHT SCHEDULE, SPECIFICATION,
ARCHITECTURAL DETAIL.

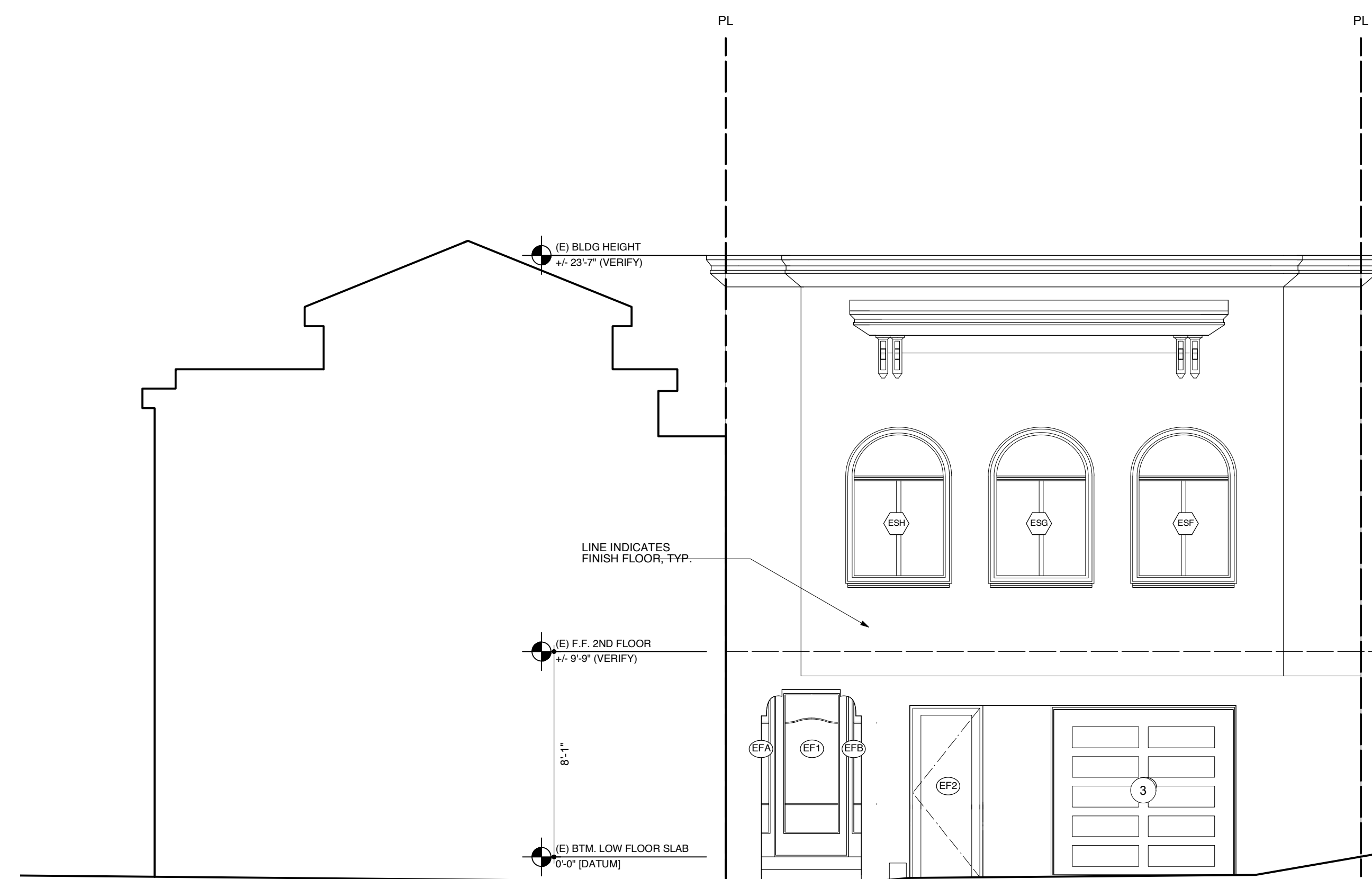
INTERIOR RENOVATION

801 38TH AVENUE
SAN FRANCISCO, CA 94121
BLOCK LOT: 16811/001

Date: 02.09.2021
Scale: AS SHOWN
Drawn By: TN/NL
Job No: ZB-05
Sheet
A2.3
4 Of 15 Sheets



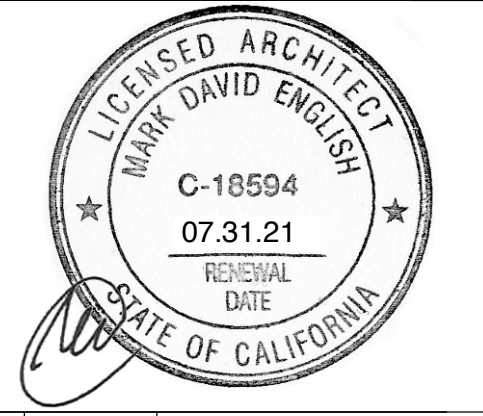
1 EXISTING EAST ELEVATION - (38TH AVENUE ELEVATION)
 1/4" = 1'-0"
 (E) CONSTRUCTION TO REMAIN



2 PROPOSED EAST ELEVATION - (38TH AVENUE ELEVATION)
 1/4" = 1'-0"

- EXISTING NOTE LEGEND
- 1 (E) STUCCO FACADE
 - 3 (E) WOOD SECTIONAL GARAGE DOOR

MARK ENGLISH architects
 315 Sutter Street, 5th Floor
 San Francisco, California 94108
 T. 415.391.0186
 e. mark@markenglisharchitects.com
 web. www.markenglisharchitects.com



DATE	REVISIONS

EXISTING FRONT ELEVATION
 PROPOSED FRONT ELEVATION

INTERIOR RENOVATION

801 38TH AVENUE
 SAN FRANCISCO, CA 94121
 BLOCK / LOT: 1681 / 001

Date:	02.09.2021
Scale:	AS SHOWN
Drawn By:	TN/NL
Job No:	ZB-05
Sheet	A2.4



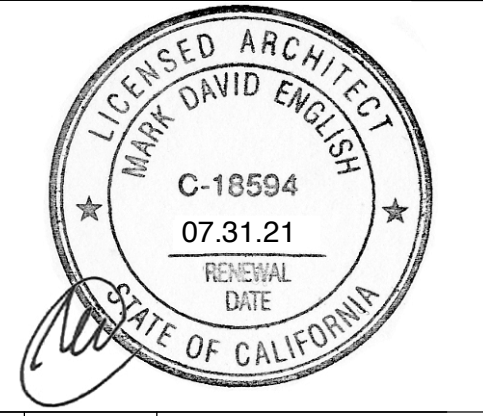
1 EXISTING WEST ELEVATION
 A2.5 1/4" = 1'-0" 0 1 4 8 ft



2 PROPOSED WEST ELEVATION
 A2.5 1/4" = 1'-0" 0 1 4 8 ft

EXISTING NOTE LEGEND
 1 (E) STUCCO FACADE

MARK ENGLISH architects
 315 Sutter Street, 5th Floor
 San Francisco, California 94108
 T. 415.391.0186
 e. mark@markenglisharchitects.com
 web. www.markenglisharchitects.com



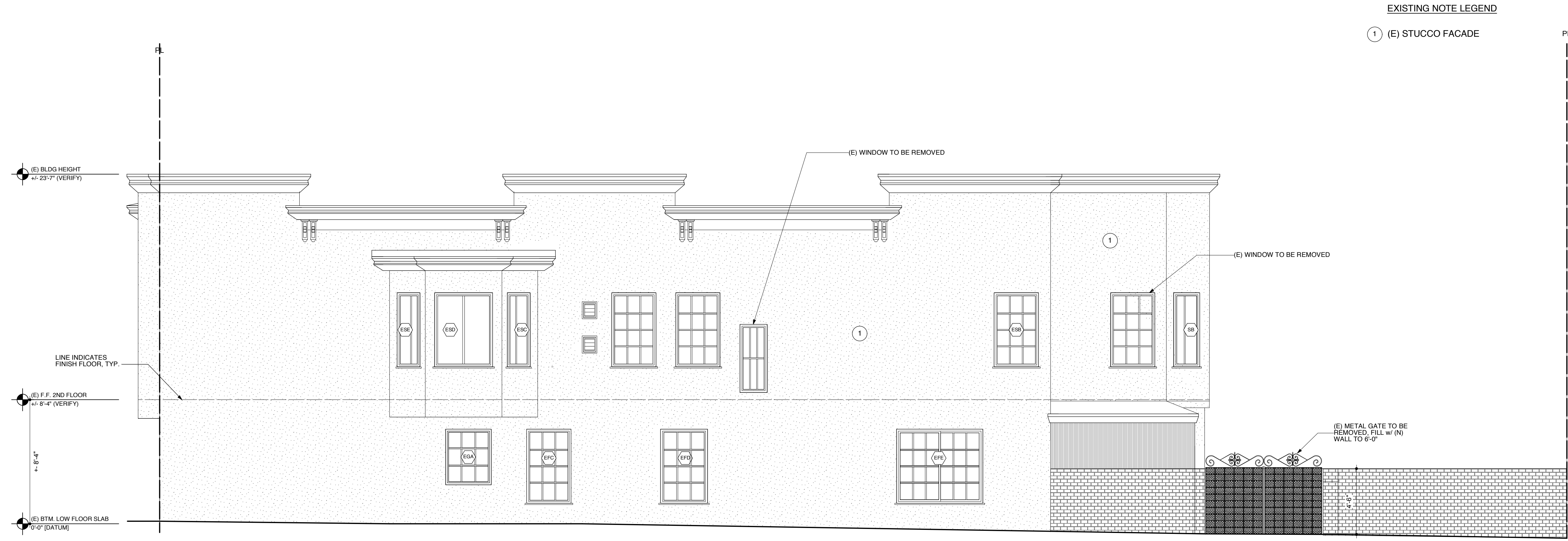
DATE	REVISIONS
01.11.21	

EXISTING WEST ELEVATION
 PROPOSED WEST ELEVATION

INTERIOR RENOVATION
 801 38TH AVENUE
 SAN FRANCISCO, CA 94121
 BLOCK / LOT: 1681 / 001

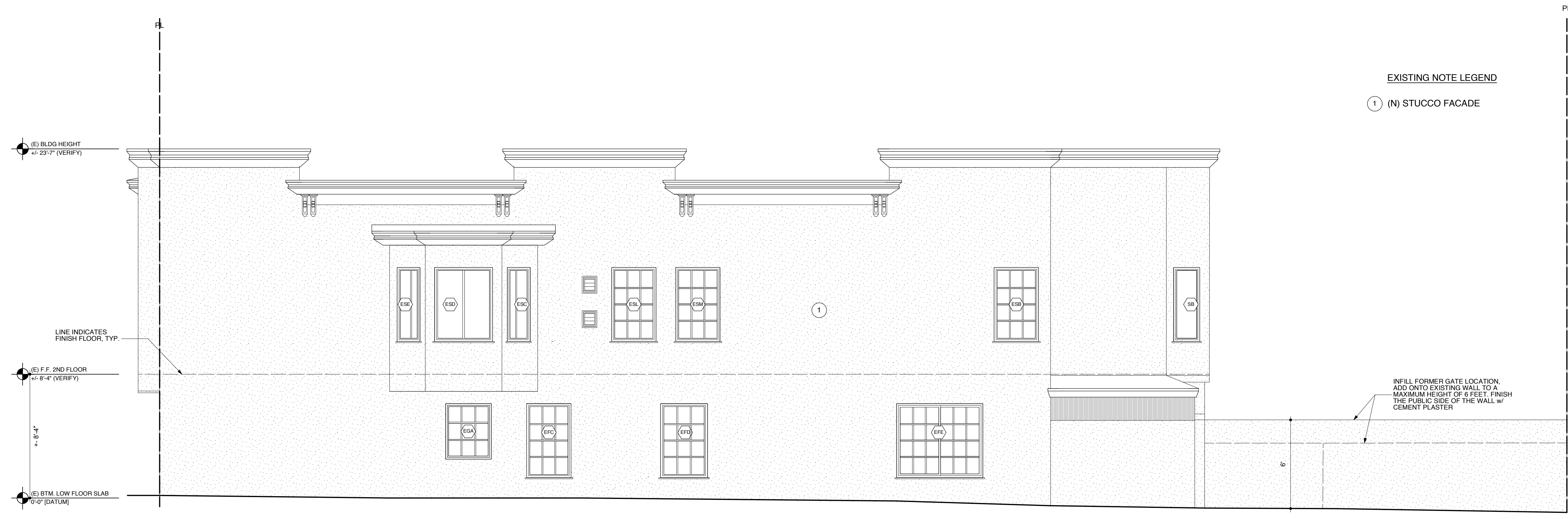
Date: 02.09.2021
 Scale: AS SHOWN
 Drawn By: TN/NL
 Job No: ZB-05
 Sheet: **A2.5**
 6 Of 15 Sheets

THIS DESIGN AND SPEC REPRESENTS OUR BEST AND SOLEST EFFORT. THE USER SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONTRACTS AND AGREEMENTS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDING. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES AND SERVICES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND SUPPLIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LABOR AND SERVICES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONTRACTS AND AGREEMENTS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDING. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES AND SERVICES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND SUPPLIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LABOR AND SERVICES.



1 EXISTING NORTH ELEVATION - (CABRILLO STREET ELEVATION)
 AZ 6 1/4" = 1'-0"

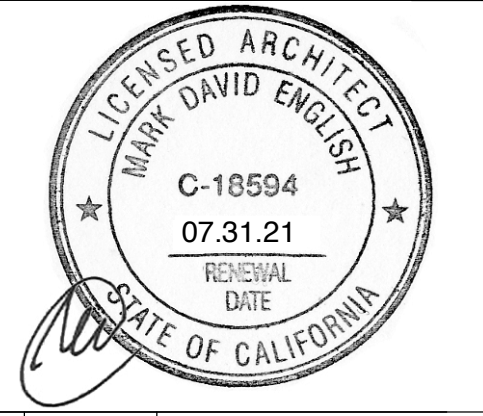
EXISTING NOTE LEGEND
 1 (E) STUCCO FACADE



2 PROPOSED NORTH ELEVATION - (CABRILLO STREET ELEVATION)
 AZ 6 1/4" = 1'-0"

EXISTING NOTE LEGEND
 1 (N) STUCCO FACADE

MARK ENGLISH architects
 315 Sutter Street, 5th Floor
 San Francisco, California 94108
 T. 415.391.0186
 e. mark@markenglisharchitects.com
 web. www.markenglisharchitects.com



DATE	REVISIONS
01.11.21	

EXISTING NORTH ELEVATION
 PROPOSED NORTH ELEVATION

INTERIOR RENOVATION

801 38TH AVENUE
 SAN FRANCISCO, CA 94121
 BLOCK/LOT: 16811/001

Date: 02.09.2021
 Scale: AS SHOWN
 Drawn By: TN/NL
 Job No: ZB-05

Sheet
A2.6
 7 Of 15 Sheets

DOOR SCHEDULE

UNIT #	ROOM / LOCATION	NOMINAL SIZE		TYPE	MANUFACTURER / MODEL	FRAME TYPE / FINISH	DETAILS			NOTES		
		WIDTH	HEIGHT				HEAD	JAMB	SILL			
EXTERIOR	EF1	(E) FOYER	2'-11"	6'-8"	(E) EXTERIOR WOOD WITH GLASS PANEL INSWING	EXISTING TO REMAIN	PAINTED WOOD					
	EF2	(E) ENTRY	3'-0"	6'-8"	(E) EXTERIOR WOOD							
	EF3	(E) ENTRY 2	2'-11"	6'-8"								
FIRST FLOOR	F1	(N) PORCH	3'-0"	6'-8"	(N) EXTERIOR WOOD FRENCH INSWING DOOR	TBD	PAINTED WOOD					
	EF1	(E) ENTRY	2'-7"	6'-8"	(E) PAINTED WOOD INTERIOR SWING	CUSTOM	PAINTED WOOD					
	F1	(N) STORAGE UNDER STAIR	PR 2'-0"	6'-8"								
	F2	(N) STUDIO	PR 2'-2 1/2"	6'-8"								
	F3	(N) CLOSET 1 (N) STUDIO)	PR 1'-11"	6'-8"	(N) 1 3/4" THICK S.C. WOOD INTERIOR SWING							
	F4	(N) CLOSET 2 (N) STUDIO)	PR 1'-11"	6'-8"								
	F5	(E) BATHROOM 2	2'-6"	6'-8"								
	F6	HALLWAY	3'-0"	6'-8"								
	F7	BATHROOM 3	2'-6"	6'-8"								
	F8	BATHROOM 3 (SHOWER)	2'-4"	6'-8"	(N) 1/2" THICK TEMPERED CLEAR GLASS SWING				CLEAR TEMPERED GLASS	2 AS.1	3 AS.1	
	F9	(E) BEDROOM 3	2'-6"	6'-8"								
F10	(N) CLOSET (BEDROOM 3)	PR 1'-9 1/2"	6'-8"	(N) 1 3/4" THICK S.C. WOOD INTERIOR SWING				PAINTED WOOD				
F11	(N) CLOSET (BEDROOM 3)	PR 1'-9 1/2"	6'-8"									
SECOND FLOOR	S1	(E) BEDROOM 2	2'-6"	6'-8"	(N) DUAL-GLAZED EXT. FRENCH OUTSWING DOOR	TBD	PAINTED WOOD					
	ES1	(E) LIVING ROOM	PR 2'-6"	6'-8"		EXISTING TO REMAIN	PAINTED WOOD					
	ES2	(E) BEDROOM 2	2'-5"	6'-8"	(E) PAINTED WOOD INTERIOR SWING							
	ES3	(E) BEDROOM 2	PR 2'-3"	6'-8"								
	SI1	PANTRY	2'-5"	6'-8"								
	SI2	CLOSET	PR 2'-3"	6'-8"	(N) 1 3/4" THICK S.C. WOOD INTERIOR SWING				PAINTED WOOD			
	SI3	BATHROOM 1	2'-4"	6'-8"								
	SI4	BATHROOM 1 (SHOWER)	2'-4"	6'-8"	(N) 1/2" THICK TEMPERED CLEAR GLASS SWING			CUSTOM	CLEAR TEMPERED GLASS	2 AS.1	3 AS.1	
	SI5	LINEN	PR 1'-6"	6'-8"								
	SI6	(N) MASTER BEDROOM	2'-6"	6'-8"								
SI7	(N) MASTER BEDROOM (CLOSET)	PR 1'-10"	6'-8"	(N) 1 3/4" THICK S.C. WOOD INTERIOR SWING				PAINTED WOOD				
SI8	(N) MASTER BATHROOM	2'-6"	6'-8"									
SI9	(N) MASTER BATHROOM (SHOWER)	2'-6"	6'-8"	(N) 1/2" THICK TEMPERED CLEAR GLASS SWING		CLEAR TEMPERED GLASS	2 AS.1	4 AS.1	GLASS DOOR HINGE TO FIXED GLASS PANEL			
GARAGE	EG1	(E) GARAGE	7'-2"	6'-8"	(E) OVERHEAD SECTIONAL GARAGE DOOR	(E) TO REMAIN	PAINTED WOOD					
	EG1	(E) GARAGE	2'-9"	6'-8"	(E) 1 3/4" THICK S.C. WOOD INTERIOR SWING							

DOOR NOTES:

- ALL ROUGH DOOR OPENING DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO DOOR FABRICATION.
- BUILDER TO PROVIDE SHOP DRAWINGS AND COLOR SAMPLE OF DOOR FINISH FOR ARCHITECT'S REVIEW PRIOR TO ORDERING.
- ALL GLAZED DOORS TO HAVE SAFETY GLAZING PER CRC SECTION R308.4 AND CRC SECTION R327.8.2.1.
- ALL EXTERIOR DOORS SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252.
- ALL EXTERIOR GLAZED DOOR ASSEMBLIES SHALL BE CONSTRUCTED OF MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING.

WINDOW NOTES:

- ALL WINDOW DIMENSIONS TO BE CONFIRMED WITH ROUGH OPENINGS IN THE FIELD PRIOR TO ORDERING.
- BUILDER TO PROVIDE WINDOW SHOP DRAWINGS AND COLOR SAMPLE OF WINDOW FINISH FOR ARCHITECT'S REVIEW PRIOR TO ORDERING.
- ALL WINDOWS SHALL BE CONSTRUCTED OF MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE PER CRC SECTION R337.
- ALL EXTERIOR WINDOWS AND EXTERIOR GLAZED DOOR ASSEMBLIES SHALL BE CONSTRUCTED OF MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING.

3800122
CRL Chrome Anaheim Wall Mount Short Back Plate Shower Door Hinge

Using two hinges with 3/8 to 1/2 inch glass (10 to 12 millimeters) the hinge will hold up to 80 pounds (36 kilograms) with a max width of 30 inches (762 millimeters).

Using three hinges with 3/8 to 1/2 inch glass (10 to 12 millimeters) the hinge will hold up to 120 pounds (54 kilograms) with a max width of 36 inches (914 millimeters).

The CRL Anaheim Series Shower Door Hinge features precision machined stainless steel components with mouse ear design for added holding strength. The versatile, adaptable styling of this hinge will complement a traditional as well as a contemporary shower installation. It is self-closing from 25 degrees to self-centering 0 degree return. (5 degree positive closure and 45 degree configurations available) An allen wrench is included with each hinge. This series hinge conservatively rated at 40 pounds per hinge.

4 AS.1
4 AS.1
SPECIFICATION - SHOWER DOOR HINGE TO TILE HARDWARE
N.T.S. CONFIRM FINISH WITH OWNER

M1L180SC
Catalog Number: M1L180SC
Finish: SATIN CHROME

- 135 Degree Glass-to-Glass
- Precise Closing Feature to Zero Degrees
- Available in Several Beautiful Finishes
- Three Year Warranty

Traditionally designed CRL Milano Series Hinges are constructed of solid brass for reliable and durable performance. The closing action of this hinge will complement a traditional as well as a contemporary shower installation. It is self-closing from 25 degrees to self-centering 0 degree return. (5 degree positive closure and 45 degree configurations available) An allen wrench is included with each hinge. This series hinge conservatively rated at 40 pounds per hinge.

Using two hinges with 1/4" or 5/16" glass (6 or 8 mm) the hinge will hold up to 80 lbs. (27 kg) with a maximum door width of 28" (711 mm).

Using three hinges with 1/4" or 5/16" glass (6 or 8 mm) the hinge will hold up to 90 lbs. (41 kg) with a maximum door width of 32" (813 mm).

5 AS.1
5 AS.1
SPECIFICATION - SHOWER DOOR HINGE TO GLASS HARDWARE
N.T.S. CONFIRM FINISH WITH OWNER

R0E128A
RITE ANODIZED

- For 3/8" to 1/2" (10 to 12 mm) Thick Glass
- Deep Pocket Does Excellent Job of Securing Fixed Panels of Glass
- May Be Used Alone or with Regular Depth U-Channels
- Wet Glazed with Clear Silicone to Secure Glass
- All Available in Popular 98" (2.49 m) Lengths. Some Available in Economical 144" (3.66 m) Stock Lengths
- End Caps Offered to Conceal Ends of Channel

CRL Deep U-Channel is for securing fixed panels of glass to the wall, ceiling or floor. Widths suitable for 3/8" to 1/2" (10 to 12 mm) thick glass are available, and are individually wrapped to protect the finish. The 3/4" (19 mm) high profile Deep U-Channel can be used also as the top channel in installations where the glass must be inserted into the top, then lowered into the Regular U-Channel used at the bottom of the enclosure.

6 AS.1
6 AS.1
SPECIFICATION - FIXED GLASS ENCLOSURE U-CHANNEL
N.T.S.

P120HJ
CRL Polycarbonate "H" Jamb
180 Degree for 1/2" Glass

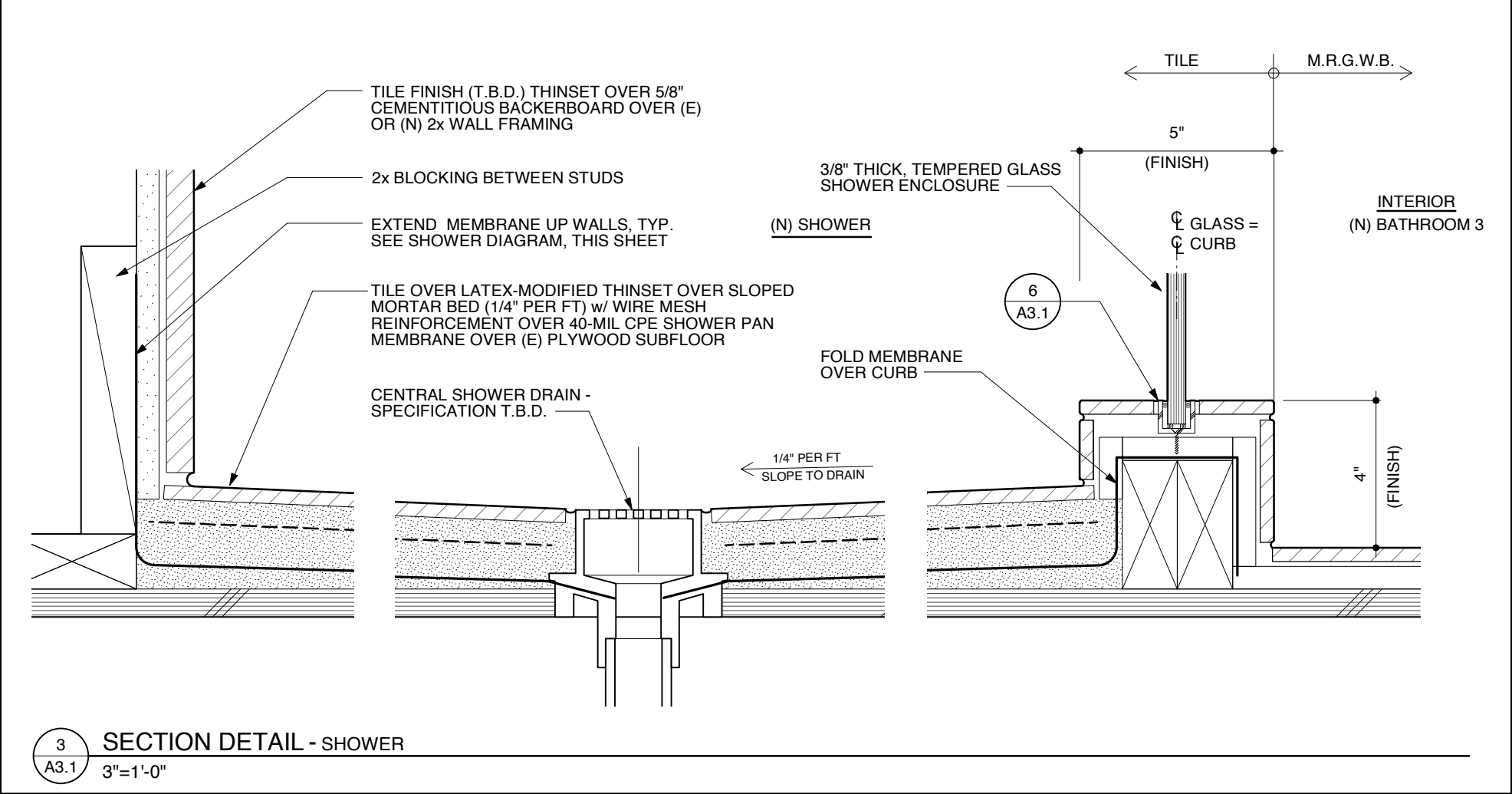
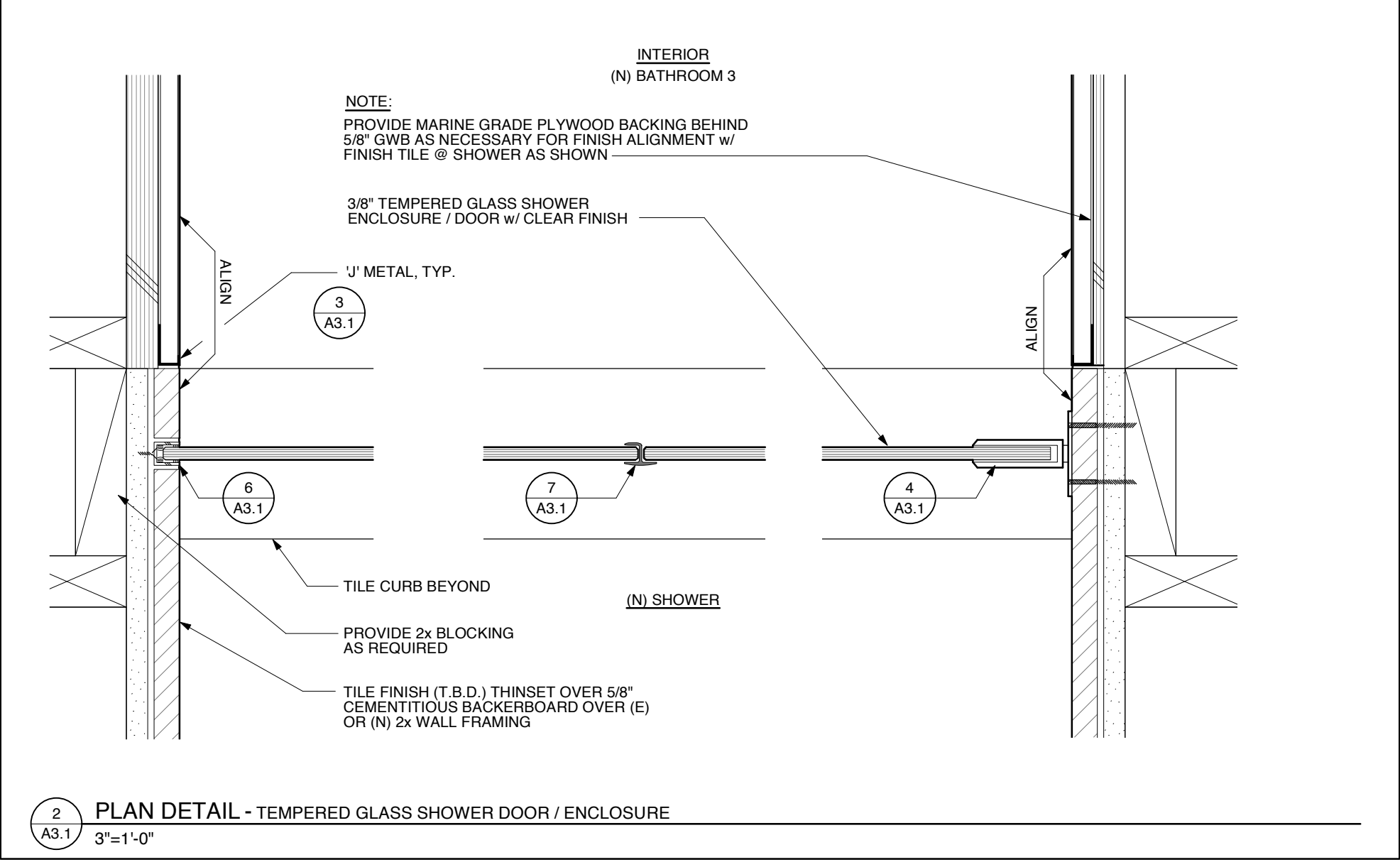
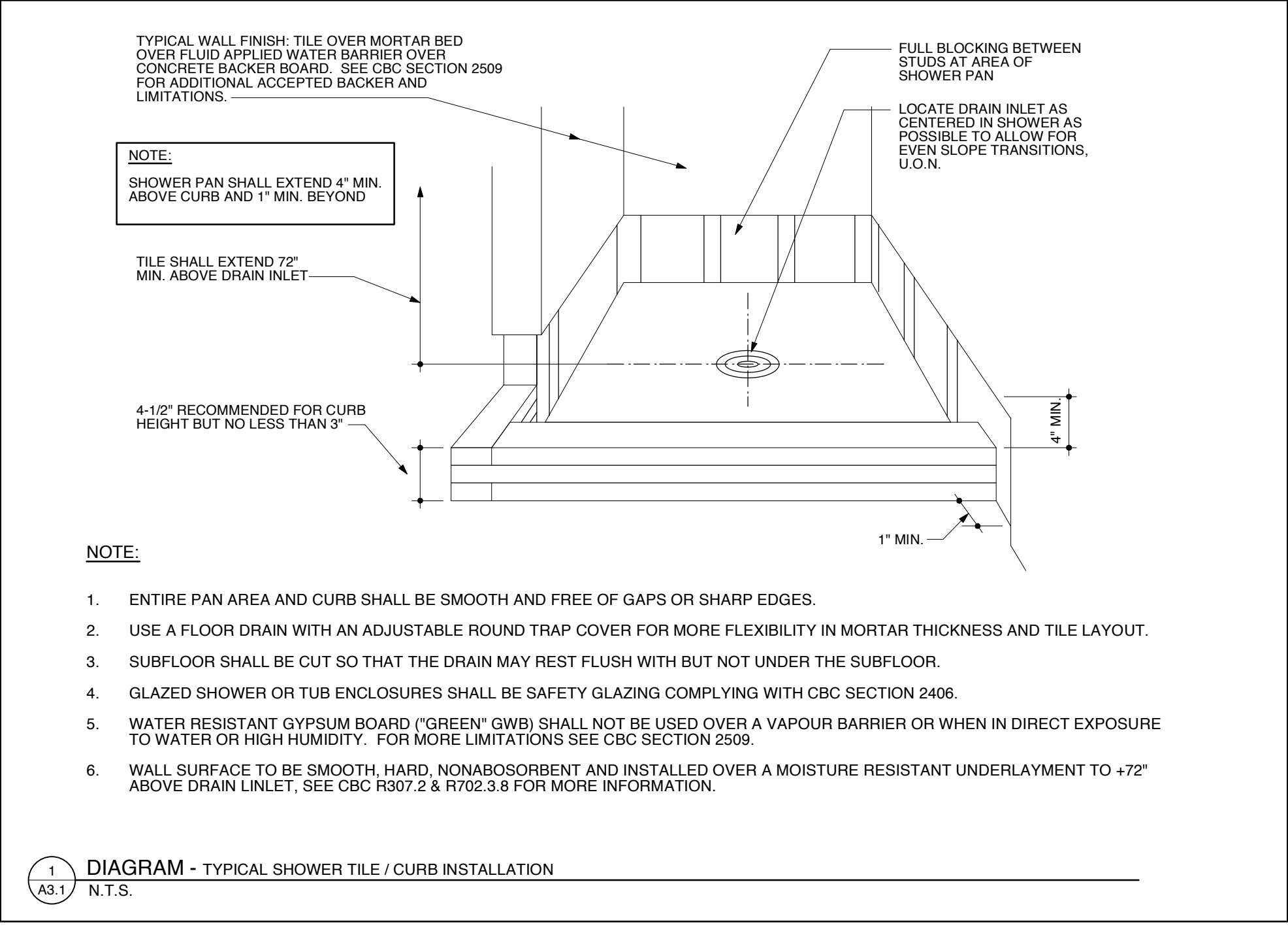
This CRL Clear Polycarbonate "H" Jamb is for use on 180 degree inline glass-to-glass applications. Snap onto the fixed panel with the lip on the strike side, or onto the door with the lip on the hinge side. Leaves a clear appearance while serving as a functional seal. Entire "H" Jamb is made of hard polycarbonate.

P912WS
CRL Clear Co-Extruded Bottom Wipe With Drip Rail for 1/2" Glass

The CRL Clear Bottom Wipe with Drip Rail snaps onto bottom of door. The soft wipe on bottom creates a water resistant seal. 45 degree Drip Rail sheds water back into the shower stall.

- Snaps on Bottom of Door
- 45 Degree Drip Rail Assists in Deflecting Water Back into Enclosure
- 98" (2.49 m) Stock Length
- Suggested Gap: 7/16" (11 mm)

7 AS.1
7 AS.1
SPECIFICATION - SHOWER DOOR HARDWARE
N.T.S.



WINDOW SCHEDULE

UNIT #	ROOM / LOCATION	UNIT SIZE		TYPE	SAFETY GLAZING	EGRESS	MANUFACTURER / MODEL	FRAME TYPE / FINISH	DETAILS			NOTES
		WIDTH	HEIGHT						HEAD	JAMB	SILL	
GAR	EGA	(E) GARAGE	3'-1"	3'-9"	(E) DUAL-GLAZED SINGLE-HUNG WOOD		(E) WOOD	(E) PAINTED WOOD				
FIRST FLOOR	EFA	(E) FOYER	1'-4"	6'-8"	(E) DUAL-GLAZED FIXED SIDE-LITE WOOD							
	EFB	(E) FOYER	1'-4"	6'-8"								
	EFC	(N) STUDIO	3'-0"	5'-0"	(E) DUAL-GLAZED SINGLE-HUNG WOOD	Y	(E) WOOD	(E) PAINTED WOOD				
	EFD	(N) STUDIO	3'-2"	5'-0"								
	EFE	(E) FAMILY ROOM	5'-10"	5'-0"	(E) DUAL-GLAZED SLIDING TEMPERED							
	EFG	(N) ALCOVE	2'-9-1/2"	5'-0"								
	EFH	(N) ALCOVE	2'-9-1/2"	5'-0"	(E) DUAL-GLAZED SLIDING TEMPERED		TBD	(N) PAINTED WOOD				
	EFF	(E) BEDROOM 3	3'-2"	5'-0"	(N) DUAL-GLAZED SINGLE-HUNG WOOD							
SECOND FLOOR	ESA	(E) M. BEDROOM	3'-6"	5'-0"	(E) DUAL-GLAZED SINGLE-HUNG	Y						
	ESB	(E) M. BEDROOM	3'-0"	5'-0"								
	ESC	(N) DINING ROOM	2'-0"	5'-0"								
	ESD	(N) DINING ROOM	3'-11"	5'-0"								
	ESE	(E) LIVING ROOM	2'-0"	5'-0"	(E) DUAL-GLAZED CASSETMENT WOOD		(E) WOOD	(E) PAINTED WOOD				
	ESF	(E) LIVING ROOM	3'-6"	6'-0"								
	ESG	(E) LIVING ROOM	3'-6"	6'-0"								
	ESH	(E) BATHROOM 1	3'-6"	6'-0"								
	ESI	(E) BATHROOM 1	1'-9"	4'-0"	(E) DUAL-GLAZED SINGLE-HUNG TEMPERED	Y						CONFIRM (E) TEMPERED GLAZING
	ESJ	CLOSET	2'-7"	4'-0"								
	ESK	STAIR	1'-9"	4'-0"	(E) DUAL-GLAZED SINGLE-HUNG WOOD							
	SA	(N) M BATHROOM	2'-11"	5'-0"								
	SB	(N) M BATHROOM	2'-6"	5'-0"	(N) DUAL-GLAZED CASSETMENT TEMPERED	Y		MARVIN'	(N) PAINTED WOOD			
	SC	(N) KITCHEN	2'-6"	5'-0"								
	ESL	(N) KITCHEN	3'-0"	5'-0"	(E) DUAL-GLAZED SINGLE-HUNG	Y						
ESM	(N) KITCHEN	3'-0"	5'-0"									

MARK ENGLISH architects
315 Sutter Street, 5th Floor
San Francisco, California 94108
T. 415.391.0186
e. mark@markenglisharchitects.com
web. www.markenglisharchitects.com

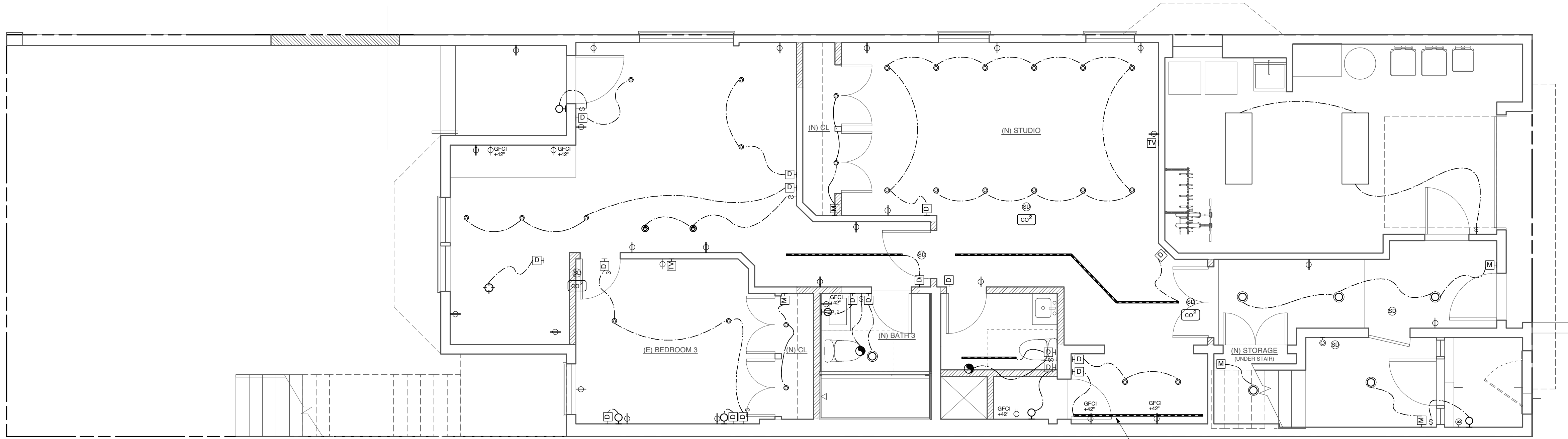
DATE	REVISIONS
01.04.21	

DOOR AND WINDOW SCHEDULE
ARCHITECTURAL DETAILS, SPECIFICATIONS

INTERIOR RENOVATION

801 38TH AVENUE
SAN FRANCISCO, CA 94121
BLOCK LOT: 16811/001

Date: 02.09.2021
Scale: AS SHOWN
Drawn By: TN/NL
Job No: ZB-05
Sheet: **A3.1**
8 Of 15 Sheets



1 EM-1 PROPOSED FIRST FLOOR ELECTRICAL / MECHANICAL PLAN
1/4" = 1'-0"

(E) CONSTRUCTION TO REMAIN
(N) WALL CONSTRUCTION



LIGHTING LEGEND

- SURFACE MOUNTED LIGHT FIXTURE
- ⊙ WALL MOUNTED LIGHT FIXTURE
- ⊕ PENDANT MOUNTED LIGHT FIXTURE
- ⊙ RECESSED LIGHT FIXTURE
- ⊙ RECESSED DIRECTIONAL LIGHT FIXTURE
- ⊙ RECESSED LOW VOLTAGE
- RECESSED LINEAR LED LIGHT STRIP
- ▭ FLUORESCENT LIGHT FIXTURE

MECHANICAL LEGEND

- ⊙ EXHAUST FAN - MIN. 5 AIR CHANGES / HR CONNECT TO (E) TOILET EXHAUST DUCT
- ⊕ NATURAL GAS SUPPLY
- GAS KEY

ELECTRICAL LEGEND

- ⊕ 120 V. DUPLEX OUTLET
- ⊕ 208/ 220 V. DUPLEX OUTLET (+48" A.F.F., U.N.O.)
- ⊕ 120 V. DOUBLE DUPLEX OUTLET (+8" A.F.F., U.O.N.)
- ⊕ GFCI 120V GROUND FAULT INTERRUPTER (+42" A.F.F., U.O.N.)
- ⊕ SWITCHED OUTLET; HALF HOT (+8" A.F.F., U.O.N.)
- ⊕ 120 V. DUPLEX FLOOR OUTLET (FLUSH) BRASS OR ST. STL.
- ⊕ SINGLE POLE SWITCH (+48" A.F.F., U.O.N.)
- ⊕ THREE WAY SWITCH (+48" A.F.F., U.O.N.)
- ⊕ DSL / ETHERNET (+8" A.F.F., U.O.N.)
- ⊕ DIMMER SWITCH (+48" A.F.F., U.O.N.)
- ⊕ MOTION OCCUPANCY SENSOR SWITCH (+48" A.F.F., U.N.O.)
- ⊕ CABLE T.V. (+8" A.F.F., U.O.N.)
- ⊕ THERMOSTAT (+48" A.F.F., U.O.N.)
- ⊕ SMOKE DETECTOR WALL MOUNTED
- ⊕ SMOKE DETECTOR CEILING MOUNTED
- ⊕ CARBON MONOXIDE DETECTOR
- ⊕ TELEPHONE JACK
- ⊕ DIGITAL LINE
- ⊕ HOSE BIB
- ⊕ BELL
- ⊕ CHIME

MANDATORY CARBON MONOXIDE DETECTORS REQUIREMENTS:

1. PER CALIFORNIA LEGISLATURE ENACTED SB 183, ALL RESIDENTIAL PROPERTY OWNERS ARE TO INSTALL CARBON MONOXIDE DETECTORS IN DWELLING UNITS HAVING A FOSSIL FUEL BURNING HEATER OR APPLIANCE, FIREPLACE, OR ATTACHED GARAGE.
2. OWNERS SHALL INSTALL CO DEVICES IN A MANNER CONSISTENT WITH BUILDING STANDARDS APPLICABLE TO NEW CONSTRUCTION FOR THE RELEVANT TYPE OF OCCUPANCY IF IT IS TECHNICALLY FEASIBLE PER 2016 CALIFORNIA BUILDING CODE, SECTION 420.4, AND THE 2016 CALIFORNIA RESIDENTIAL CODE, SECTION R315.
3. CO DEVICES SHALL PRODUCE A DISTINCT AUDIBLE ALARM.
4. PER THE CALIFORNIA BUILDING STANDARDS COMMISSION, A NEW DEVICE MUST BE INSTALLED WHEN THE OWNER APPLIES FOR A PERMIT TO ALTER, REPAIR OR MAKE AN ADDITION TO A DWELLING UNIT WHOSE COST VALUATION IS ONE THOUSAND OR MORE DOLLARS.
5. INSTALL CO WALL-MOUNTED OR CEILING MOUNTED DETECTORS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
6. COMINATION CO/SMOKE ALARMS ARE AVAILABLE AND MAY BE USED IF STATE FIRE MARSHAL (SFM) APPROVED.
7. CO ALARMS HAVE A LIMITED LIFESPAN (VARIES BY ALARM), AND MUST BE REPLACED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. HOMEOWNERS SHOULD MAINTAIN THE RECORDS OF THE DATE THEY INSTALLED THE ALARM, AS WELL AS RETAIN A COPY OF THE MANUFACTURER'S INSTRUCTIONS.
8. LIKE SMOKE ALARMS, CO ALARMS SHOULD BE TESTED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. BATTERIES SHOULD BE REPLACED AT LEAST ANNUALLY.

ELECTRICAL / LIGHTING NOTES:

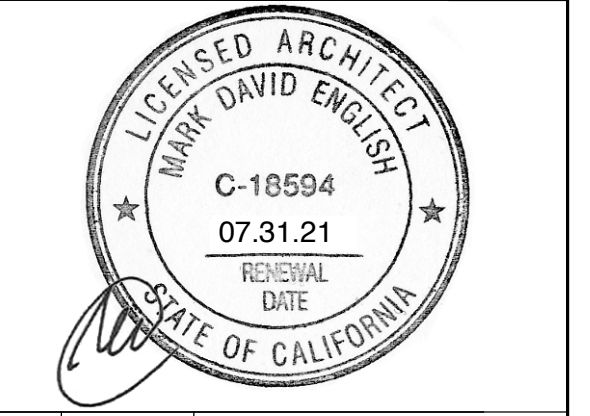
- A. ONLY NEW WORK SHOWN. ALL EXISTING TO REMAIN UNLESS NOTED OTHERWISE
- B. EXACT LOCATION OF LIGHT FIXTURES TO BE COORDINATED IN THE FIELD w/ OWNER AND ARCHITECT.
- C. ALL SURFACE MOUNTED AND DECORATIVE FIXTURES TO BE SELECTED BY OWNER AND INSTALLED BY G.C.
- D. CENTER AND ALIGN LIGHT FIXTURES AS SHOWN AND PROVIDE EQUAL SPACING BETWEEN SIMILAR FIXTURES IN SEQUENCE.
- E. DIMENSIONS SHOWN ARE FROM FINISH WALL SURFACE, U.O.N.
- F. NOTIFY THE ARCHITECT REGARDING CONFLICTS BETWEEN THE ELECTRICAL PLANS AND OTHER DRAWINGS PRIOR TO INSTALLATION.
- G. CONTRACTOR IS TO REVIEW ALL RESIDENTIAL EQUIPMENT AND APPLIANCE SPECIFICATIONS AND VERIFY ALL POWER AND GAS REQUIREMENTS.
- H. VERIFY ALL LIGHTING & ELECTRICAL APPLIANCE LOCATIONS & POWER REQUIREMENTS BEFORE ANY SHEETROCK INSTALLATION OCCURS. VERIFY WITH OWNER ANY FUTURE APPLIANCE LOCATIONS PRIOR TO SHEETROCK INSTALLATION.
- I. ALL ELECTRICAL SWITCH PLATES TO BE 42" ABOVE FINISH FLOOR (A.F.F.) TO CENTER UNLESS NOTED OTHERWISE.
- J. ALL ELECTRICAL OUTLETS, PHONE JACKS AND T.V. HOOKUPS TO BE 12" A.F.F. TO CENTER UNLESS NOTED OTHERWISE.
- K. ALL OUTLETS AND SWITCHES ABOVE COUNTERS, VANITIES AND SIMILAR SITUATIONS SHALL BE MOUNTED HORIZONTALLY.
- L. ALL MULTIPLE SWITCHES SHOWN IN ONE LOCATION SHALL BE GANG-SWITCHED WITH ONE COVER PLATE.
- M. ALL ELECTRICAL OUTLETS IN BATHROOMS, OUTSIDE, IN KITCHEN COUNTER OUTLETS, AND ALL OUTLETS WITHIN 6'-0" OF A KITCHEN SINK TO BE GROUND FAULT PROTECTED (GFCI) PER 2016 CEC.
- N. RECEPTACLES IN BATHROOMS MUST BE SUPPLIED BY AT LEAST ONE 20 AMP CIRCUIT WHICH SHALL HAVE NO OTHER OUTLET.
- O. ALL MOTORLOADS TO BE ON DEDICATED CIRCUITS: DISPOSALS, DISHWASHERS, ETC.
- P. OUTLETS OPPOSING ONE ANOTHER IN FIREWALLS SHALL BE SEPARATED BY 24" HORIZONTAL MINIMUM DISTANCE.
- Q. MINIMUM OF TWO 20 AMP DEDICATED SMALL APPLIANCE CIRCUITS TO KITCHEN / DINING AREA SHALL BE SUPPLIED FOR COUNTER OUTLETS (THESE CANNOT SERVE DINING ROOM, OUTSIDE PLUGS, FRIDGEHOOD, DISPOSALS, DISHWASHERS OR MICROWAVE - ONLY THE REQUIRED COUNTERTOP WALL OUTLETS - INCLUDING THE REFRIGERATOR).
- R. SMOKE DETECTORS PER C.B.C. SEC. 907.2.10 ARE REQUIRED IN ALL SLEEPING ROOMS AND THEIR ACCESS HALLWAYS, AND AT LEAST ONE PER FLOOR LEVEL OR BASEMENT. ALL NEW SMOKE DETECTORS ARE TO BE HARDWIRED 110V W/ BATTERY BACK-UP AND MUST BE INTER-CONNECTED IN ACCORDANCE WITH C.B.C. SECTION 907.2.10 AND ARE TO BE AUDIBLE IN ALL SLEEPING AREAS. VERIFY LOCATION WITH ARCHITECT IN THE FIELD.
- S. CARBON MONOXIDE DETECTORS ARE REQUIRED PER CRC SEC. R315 IN ALL SLEEPING ROOMS AND AT LEAST ONE PER FLOOR LEVEL. ALL DETECTORS ARE TO BE HARDWIRED WITH BATTERY BACK-UP AND MUST BE INTER-CONNECTED. COMBINATION SMOKE AND CARBON DETECTORS WITH PROPER LISTING ARE PERMISSIBLE AND PREFERRED. SEE ADDITIONAL CARBON MONOXIDE NOTES BELOW ON THIS SHEET.
- T. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT THE TIME OF INSPECTION.
- U. ALL CLOSET ELECTRICAL FIXTURES SHALL COMPLY WITH N.E.C. 410-8.
- V. ALL LUMINAIRES THAT ARE RECESSED INTO INSULATED CEILINGS MUST BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) AND CERTIFIED AIR TIGHT TO ASTM E283

- W. ALL EXHAUST FANS IN BATHROOMS MUST BE CAPABLE OF FIVE (5) AIR CHANGES PER HOUR AND MUST VENT DIRECTLY TO OUTSIDE AIR. THE POINT OF DISCHARGE AT A ROOF IS TO BE FIVE (5) OR MORE FEET FROM ANY PROPERTY LINE. ALL MECHANICAL VENTILATION FANS IN BATHROOMS SHALL HAVE AN EXHAUST CAPACITY OF AT LEAST 50 CFM.
- X. A. ALL LIGHTING TO BE HIGH EFFICACY. CEC TABLE 150.0-A
B. SCREW-BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED J48 (JOINT APPENDIX 8) COMPLIANT LAMPS. J48 LAMPS MUST BE MARKED AS "J48-2016" OR "J48-2016-E" (J48-2016-E ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINAIRES) CEC 150.0(K)(2K)
C. ALL J48 COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS SHALL BE CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPT CLOSETS LESS THAN 70 SF AND HALLWAYS) CEC 150.0(K)(2K)
I. CEILING RECESSED DOWNLIGHT LUMINAIRES
II. LED LUMINAIRES WITH INTEGRAL SOURCES
III. PIN BASED LED LAMPS (I.E. MR16, AR111, ETC)
IV. GU-24 BASED LED LIGHT SOURCES
D. AT LEAST ONE FIXTURE IN EACH BATHROOM SHALL BE CONTROLLED BY A VACANCY SENSOR. CEC 150.0(K)(2K)
E. AT LEAST ONE FIXTURE IN THE GARAGE SHALL BE CONTROLLED BY A VACANCY SENSOR CEC 150.0 (K)(2J)
F. AT LEAST ONE FIXTURE IN EACH LAUNDRY ROOM SHALL BE CONTROLLED BY A VACANCY SENSOR. CEC 150.0(K)(2J)
G. AT LEAST ONE FIXTURE IN EACH UTILITY ROOM SHALL BE CONTROLLED BY A VACANCY SENSOR CEC 150.0(K)(2J)
H. ALL OUTDOOR LIGHTING SHALL BE HIGH EFFICACY WITH MANUAL ON/OFF SWITCH AND ONE OF THE FOLLOWING IN ACCORDANCE WITH CEC 150.0(K)(S)
I. PHOTOCONTROL AND MOTION SENSOR.
II. PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL.
III. ASTRONOMICAL TIME SWITCH CONTROL.
IV. ENERGY MANAGEMENT CONTROL SYSTEMS
- Y. ALL WIRING MATERIALS AND OTHER ELECTRICAL COMPONENTS TO MEET LOCAL CODE REQUIREMENTS.
- Z. ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENIS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS SHALL BE PROTECTED BY AN AFCI-FAULT CIRCUIT INTERRUPTER PER CEC 210.12
- AA. PROVIDE AT LEAST ONE SEPARATE 20 AMP CIRCUIT TO LAUNDRY APPLIANCES. CEC 210.11(C)(2).
- BB. PROVIDE AT LEAST ONE 20 AMP CIRCUIT FOR BATHROOM OUTLETS, WITH NO OTHER OUTLETS ON THE CIRCUIT. CEC 210.11(C)(3).
- CC. LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES ARE TO BE SUITABLE FOR DAMP LOCATIONS PER CEC 410.10 (A).
- DD. NOTE DD REMOVED AND REPLACED BY NOTE W.
- EE. ALL LIGHTING FIXTURES RECESSED IN CEILING TO HAVE 1-HR FIRE RATING OR TO BE ENCLOSED IN SHROUD OF NOT LESS THAN 1-HR FIRE RATED CONSTRUCTION AS REQUIRED.
- FF. ALL 15 AMP/ 20 AMP DWELLING UNIT RECEPTACLE OUTLETS SHALL BE LISTED AS TAMPER RESISTANT RECEPTACLES. CEC ARTICLE 406.12
- GG. EXTERIOR RECEPTACLES SHALL BE WITHIN 6'-6" A.F.F. GFCI, WITH A WEATHERPROOF COVER.
- HH. PENDANT, TRACK LIGHTS OR CEILING SUSPENDED PANEL FANS ARE PROHIBITED LESS THAN 8' ABOVE THE TOP OF A TUB OR SHOWER WATER DAM, OR WITHIN 3' OF THE EDGE OF THE TUB OR SHOWER. PER CEC 410.4 (D)
- II. BATHROOM EXHAUST FANS MUST BE ENERGY STAR COMPLIANT; DUCTED TO TERMINATE OUTSIDE THE BUILDING, AND MUST BE CONTROLLED BY A HUMIDISTAT WHICH MUST BE READILY ACCESSIBLE. CGBSC SECTION 4.507.2
- JJ. HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF CGBSC SECTION 4.507.2
- KK. DWELLING UNIT RECEPTACLE NOTE: ALL 15-AMP AND 20-AMP DWELLING UNIT RECEPTACLE OUTLETS SHALL BE LISTED TAMPER RESISTANT RECEPTACLES. CEC ARTICLE 406.12.

MECHANICAL & PLUMBING NOTES:

1. G.C. TO VERIFY LOCATION AND LAYOUT OF ALL FLOOR SUPPLY REGISTERS, DUCT RUNS AND RETURN AIR GRILLE WITH MECHANICAL CONTRACTOR.
2. EXACT LOCATION OF SUPPLY AND RETURN AIR GRILLES TO BE COORDINATED IN FIELD WITH ARCHITECT.
3. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FT. FROM ANY OPENINGS INTO THE BUILDING (I.E. DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS) & MINIMUM OF 3 FT FROM PROPERTY LINES.
4. EARTHQUAKE-ACTUATED GAS SHUTOFF VALVE, CERTIFIED BY THE STATE ARCHITECT AS CONFORMING TO CRS 12-16-1, SHALL BE AT OR NEAR THE METER SUPPLYING GAS TO THE BUILDING.
5. WHERE DUCT LEAKAGE TESTING IS REQUIRED, THE TESTING MUST BE CONDUCTED BY A HERS CERTIFIED AGENCY.
6. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)
7. ALL CONTROL VALVES FOR SHOWERS AND TUB-SHOWERS SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE PER CPC 408.3.
8. THE WATER CLOSET STOOL SHALL BE LOCATED IN A CLEAR SPACE NOT LESS THAN 30" IN WIDTH. THE CLEAR SPACE IN FRONT OF THE WATER CLOSET STOOL SHALL NOT BE LESS THAN 24".
9. SHOWER COMPARTMENTS SHALL HAVE A MINIMUM FINISH INTERIOR AREA 1,024 SQ.IN., AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30" DIAMETER CIRCLE.
10. SHOWERS AND TUBS WITH SHOWERS SHALL HAVE A SMOOTH, HARD, NON-ABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT UP TO 72 INCHES ABOVE THE DRAIN INLET PER CBC 1210.2.3
11. PROVIDE SAFETY GLAZING WITHIN SHOWER/TUB ENCLOSURES PER CBC 2406
12. PROVIDE WATER HEATER PRESSURE/TEMPERATURE RELIEF VALVE WITH DRAIN TO OUTSIDE OF BUILDING OR OTHER APPROVED LOCATION. CPC 1504.10.3. NO DRAIN MAY BE INSTALLED WHERE IT WOULD BE SUBJECT TO FREEZING. CPC 418.5.
13. PROVIDE A NON-REMOVABLE BACKFLOW PREVENTION DEVICE ON ALL EXTERIOR HOSE BIBS, AND LAWN SPRINKLER/IRRIGATION SYSTEMS. CPC 422.8.
14. MAXIMUM FLOW RATE REQUIREMENTS FOR PLUMBING FIXTURES PER CGBSC SECTION 4.303.1 ARE AS FOLLOWS:
A. SHOWERHEADS: 1.8 GALLONS PER MINUTE
B. WATER CLOSETS: 1.28 GALLONS PER FLUSH
C. LAVATORY FAUCETS: 1.2 GALLONS PER MINUTE
D. KITCHEN FAUCETS: 1.8 GALLONS PER MINUTE WITH 2.2 GPM TEMPORARY FLOW
15. ALL PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN TABLE 170-1.1 OF THE 2019 CALIFORNIA PLUMBING CODE CGBSC SECTION 4.303.2.

MARK ENGLISH architects
315 Sutter Street, 5th Floor
San Francisco, California 94108
T. 415.391.0186
e. mark@markenglisharchitects.com
web. www.markenglisharchitects.com

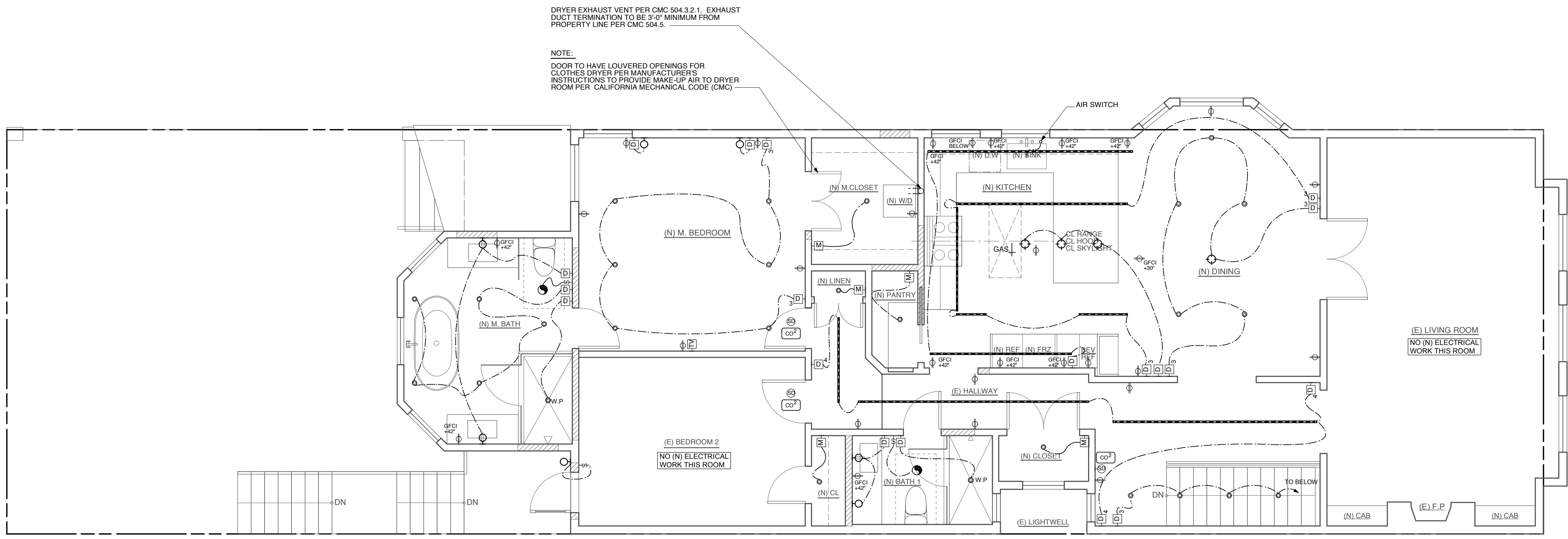


DATE	REVISIONS
09.03.20	RESPONSE TO BLDG DEPT COMMENTS
09.14.20	RESPONSE TO BLDG DEPT COMMENTS

PROPOSED FIRST FLOOR ELECTRICAL / MECHANICAL PLANS, ELECTRICAL / MECHANICAL NOTES

INTERIOR RENOVATION
801 38TH AVENUE
SAN FRANCISCO, CA 94121
BLOCK LOT: 16811/001

Date:	02.09.2021
Scale:	AS SHOWN
Drawn By:	TN/NL
Job No:	ZB-05
Sheet	EM-1
9 Of 15 Sheets	

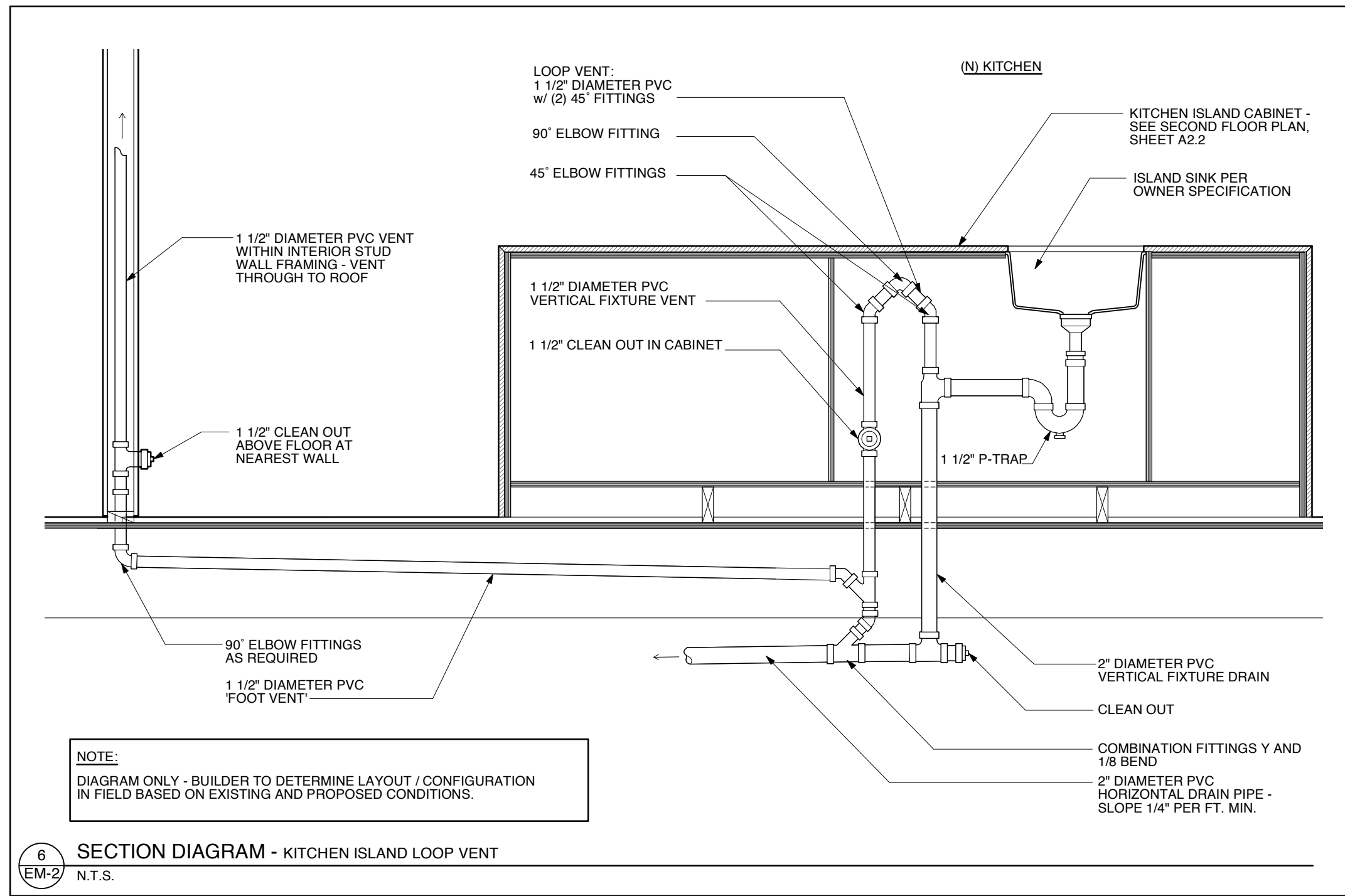


- LIGHTING LEGEND**
- SURFACE MOUNTED LIGHT FIXTURE
 - ⊙ WALL MOUNTED LIGHT FIXTURE
 - ⊕ PENDANT MOUNTED LIGHT FIXTURE
 - ⊙ RECESSED LIGHT FIXTURE
 - ⊙ RECESSED DIRECTIONAL LIGHT FIXTURE
 - ⊙ RECESSED LOW VOLTAGE
 - RECESSED LINEAR LED LIGHT STRIP
 - FLUORESCENT LIGHT FIXTURE
- MECHANICAL LEGEND**
- ⊙ EXHAUST FAN - MIN. 5 AIR CHANGES / HR CONNECT TO (E) TOILET EXHAUST DUCT
 - ⊕ NATURAL GAS SUPPLY
 - GAS KEY
- ELECTRICAL LEGEND**
- ⊕ 120 V. DUPLEX OUTLET
 - ⊕ 208/ 220 V. DUPLEX OUTLET (+48" A.F.F., U.N.O.)
 - ⊕ 120 V. DOUBLE DUPLEX OUTLET (+8" A.F.F., U.O.N.)
 - ⊕ 120V GROUND FAULT INTERRUPTER (+42" A.F.F., U.O.N.)
 - ⊕ SWITCHED OUTLET; HALF HOT (+8" A.F.F., U.O.N.)
 - ⊕ 120 V. DUPLEX FLOOR OUTLET (FLUSH) BRASS OR ST. STL.
 - ⊕ SINGLE POLE SWITCH (+48" A.F.F., U.O.N.)
 - ⊕ THREE WAY SWITCH (+48" A.F.F., U.O.N.)
 - ⊕ DSL / ETHERNET (+8" A.F.F., U.O.N.)
 - ⊕ DIMMER SWITCH (+48" A.F.F., U.O.N.)
 - ⊕ MOTION OCCUPANCY SENSOR SWITCH (+48" A.F.F., U.O.N.)
 - ⊕ CABLE T.V. (+8" A.F.F., U.O.N.)
 - ⊕ THERMOSTAT (+48" A.F.F., U.O.N.)
 - ⊕ SMOKE DETECTOR WALL MOUNTED
 - ⊕ SMOKE DETECTOR CEILING MOUNTED
 - ⊕ CARBON MONOXIDE DETECTOR
 - ⊕ TELEPHONE JACK
 - ⊕ DIGITAL LINE
 - ⊕ HOSE BIB
 - ⊕ BELL
 - ⊕ CHIME

1 EM-2 PROPOSED SECOND FLOOR ELECTRICAL/ MECHANICAL PLAN
1/4" = 1'-0"

- (E) CONSTRUCTION TO REMAIN
- (N) WALL CONSTRUCTION

NOTES:
SEE SHEET EM-1 FOR ELECTRICAL / MECHANICAL NOTES.



6 EM-2 SECTION DIAGRAM - KITCHEN ISLAND LOOP VENT
N.T.S.

Panasonic FV-05-11VKS1
WhisperGreen Select
VENTILATION EXM

SPECIFICATIONS	Base Fan							
	FV-05-11VKS1				FV-11-15VKS1			
Static Pressure in Inches w.g.	0.1	0.25	0.1	0.25	0.1	0.25	0.1	0.25
Air Volume CFM	110	113	80	82	50	53	150	151
Watt (nom)	-0.3	0.8	-0.3	0.4	-0.3	-0.3	0.7	-0.3
Power Consumption (watts)	0.8	16.1	0.4	16.2	0.3	12.7	0.8	16.0
Energy Efficiency (CFM/WATT)	115	7.2	15.3	14	15.1	8.1	11.5	8
Speed (RPM)	901	1205	814	1131	747	1072	694	905
Current (amps)	0.10	0.16	0.06	0.10	0.04	0.07	0.13	0.21
MAX. Current (amps)	0.27							
Power Rating (VA)	120/60							
Motor Type	DC							
Type of Motor Bearing	Ball							
Thermal Fuse Protection	Yes							
Blower Wheel Type	Styrofoam							
ENERGY STAR Qualified	Yes							
Duct Diameter (inches)	4.5							
Mounting (Ceiling/Recessed)	50-102							
Grid Size (inches sq.)	13							
Lamp Watts	N/A							
Lumens (lm)	N/A							
Lumens Per Watt (LPW)	N/A							
Color Rendering Index	N/A							
Color Temperature (Kelvin)	N/A							
Ambient Light (lux)	N/A							
Lamp Model #	N/A							
Type of Lamp Socket	N/A							
Night Light Watts	N/A							
Shipping	13.45							
UL Listed/ETL Certified	Yes							
WhisperGreen VMO Code	Yes							
California Title 24 Compliant	Yes							
Mfg to ISO 9001 Certified Facility	Yes							

FOR OWNER REVIEW / APPROVAL

5 EM-2 SPECIFICATION - KITCHEN BATHROOM FAN
N.T.S.

KLUS TEPIKO Extrusion ref. number 18046

Application: FINISH: Non anodized (raw)

Assembly:

- TEPIKO is mounted in drywall boards using elastic fixing glues
- the "built-in" PKO-ZM is mounted in the TEPIKO extrusion with the IESNL latch
- the "suspended" PKO-ZM is mounted using other KLUS accessories dedicated to the "small lock"

3 EM-2 SPECIFICATION - ALUMINUM EXTRUSION @ CEILING
N.T.S.

KLUS MICRO-ALU Extrusion ref. number B1888

Application: Small dimensions (just 6 mm; 0.23" high), extrusion can fit slim design and thin furniture pieces, lightweight, easily release heat, environment friendly.

Patent Number: US D621,542.5

4 EM-2 SPECIFICATION - ALUMINUM EXTRUSION (UNDER CABINET)
N.T.S.

KLUS FLEXIBLE LED STRIP K-1820-24

Model	Color Temperature	Lumen Output per meter/ per foot
K-22-1820-HD-24V	2200	1082LM 330L/F
K-25-1820-HD-24V	2500	1328LM 405L/F
K-27-1820-HD-24V	2700	1470LM 448L/F
K-30-1820-HD-24V	3000	1510LM 460L/F
K-35-1820-HD-24V	3500	1590LM 485L/F
K-40-1820-HD-24V	4000	1640LM 500L/F
K-50-1820-HD-24V	5000	1836LM 560L/F

Volt	Watts per meter/ foot	Beam Angle	Diodes per meter/ foot
24	18.2W/M 5.6W/F	120°	266/M 81/F

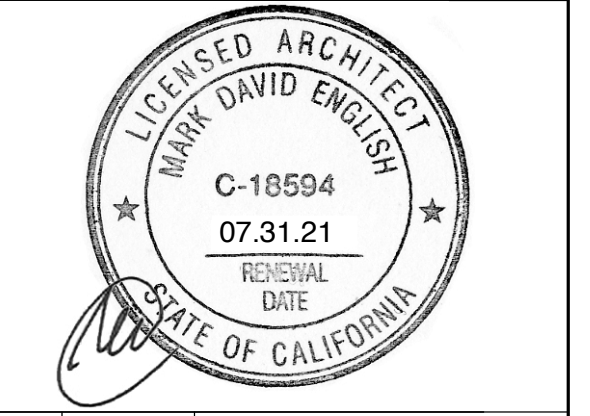
Chip Type: 2016 90° 16.4/5 m

2 EM-2 SPECIFICATION - LED STRIP LIGHTING
N.T.S.

INTERIOR RENOVATION
801 38TH AVENUE
SAN FRANCISCO, CA 94121
BLOCK LOT: 1681/001

Date: 02.09.2021
Scale: AS SHOWN
Drawn By: TN/NL
Job No: ZB-05
Sheet: EM-2
10 of 15 Sheets

MARK ENGLISH architects
315 Sutter Street, 5th Floor
San Francisco, California 94108
T. 415.391.0186
e. mark@markenglisharchitects.com
web. www.markenglisharchitects.com



DATE	REVISIONS
09.03.20	RESPONSE TO BLDG DEPT COMMENTS
09.14.20	RESPONSE TO BLDG DEPT COMMENTS

PROPOSED SECOND FLOOR ELECTRICAL / MECHANICAL PLANS, SPECIFICATIONS



CEQA Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
801 38TH AVE		1681001
Case No.		Permit No.
2020-008651PRJ		202008131746
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval. Conditional Use Authorization request for change of use from the existing I-2(71) Residential Care Home to an R-3 (27) single-family home.</p>		

STEP 1: EXEMPTION TYPE

The project has been determined to be exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Other _____
<input type="checkbox"/>	Common Sense Exemption (CEQA Guidelines section 15061(b)(3)). It can be seen with certainty that there is no possibility of a significant effect on the environment . FOR ENVIRONMENTAL PLANNING USE ONLY

STEP 2: ENVIRONMENTAL SCREENING ASSESSMENT

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g. use of diesel construction equipment, backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to <i>The Environmental Information tab on the San Francisco Property Information Map</i>)
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? Note that a categorical exemption shall not be issued for a project located on the Cortese List if box is checked, note below whether the applicant has enrolled in or received a waiver from the San Francisco Department of Public Health (DPH) Maher program, or if Environmental Planning staff has determined that hazardous material effects would be less than significant. (refer to <i>The Environmental Information tab on the San Francisco Property Information Map</i>)
<input type="checkbox"/>	Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? If yes, archeology review is required.
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to <i>The Environmental Information tab on the San Francisco Property Information Map</i>) If box is checked, Environmental Planning must issue the exemption.
<input type="checkbox"/>	Average Slope of Parcel = or > 25%, or site is in Edgehill Slope Protection Area or Northwest Mt. Sutro Slope Protection Area: Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, or (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area? (refer to <i>The Environmental Planning tab on the San Francisco Property Information Map</i>) If box is checked, a geotechnical report is likely required and Environmental Planning must issue the exemption.
<input type="checkbox"/>	Seismic Hazard: <input type="checkbox"/> Landslide or <input type="checkbox"/> Liquefaction Hazard Zone: Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area, or (4) grading performed at a site in the landslide hazard zone? (refer to <i>The Environmental tab on the San Francisco Property Information Map</i>) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.
Comments and Planner Signature (optional):	

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to <i>Property Information Map</i>)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input checked="" type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input checked="" type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input checked="" type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input checked="" type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Reclassification of property status. (Attach HRER Part I) <input type="checkbox"/> Reclassify to Category A a. Per HRER b. Other (specify): <input type="checkbox"/> Reclassify to Category C (No further historic review)
<input type="checkbox"/>	2. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	3. Interior alterations to publicly accessible spaces that do not remove, alter, or obscure character defining features.
<input type="checkbox"/>	4. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	5. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.

<input type="checkbox"/>	6. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	7. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	8. Work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties (Analysis required)</i> :
<input type="checkbox"/>	9. Work compatible with a historic district (Analysis required):
<input type="checkbox"/>	10. Work that would not materially impair a historic resource (Attach HRER Part II).
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input type="checkbox"/>	Project can proceed with exemption review. The project has been reviewed by the Preservation Planner and can proceed with exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature:	

**STEP 6: EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input checked="" type="checkbox"/>	No further environmental review is required. The project is exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Building Permit	Signature: Gretel Gunther
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	02/17/2021
	Once signed or stamped and dated, this document constitutes a n exemption pursuant to CEQA Guidelines and Chapter 31of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination to the Board of Supervisors can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

MODIFIED PROJECT DESCRIPTION

Modified Project Description:

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

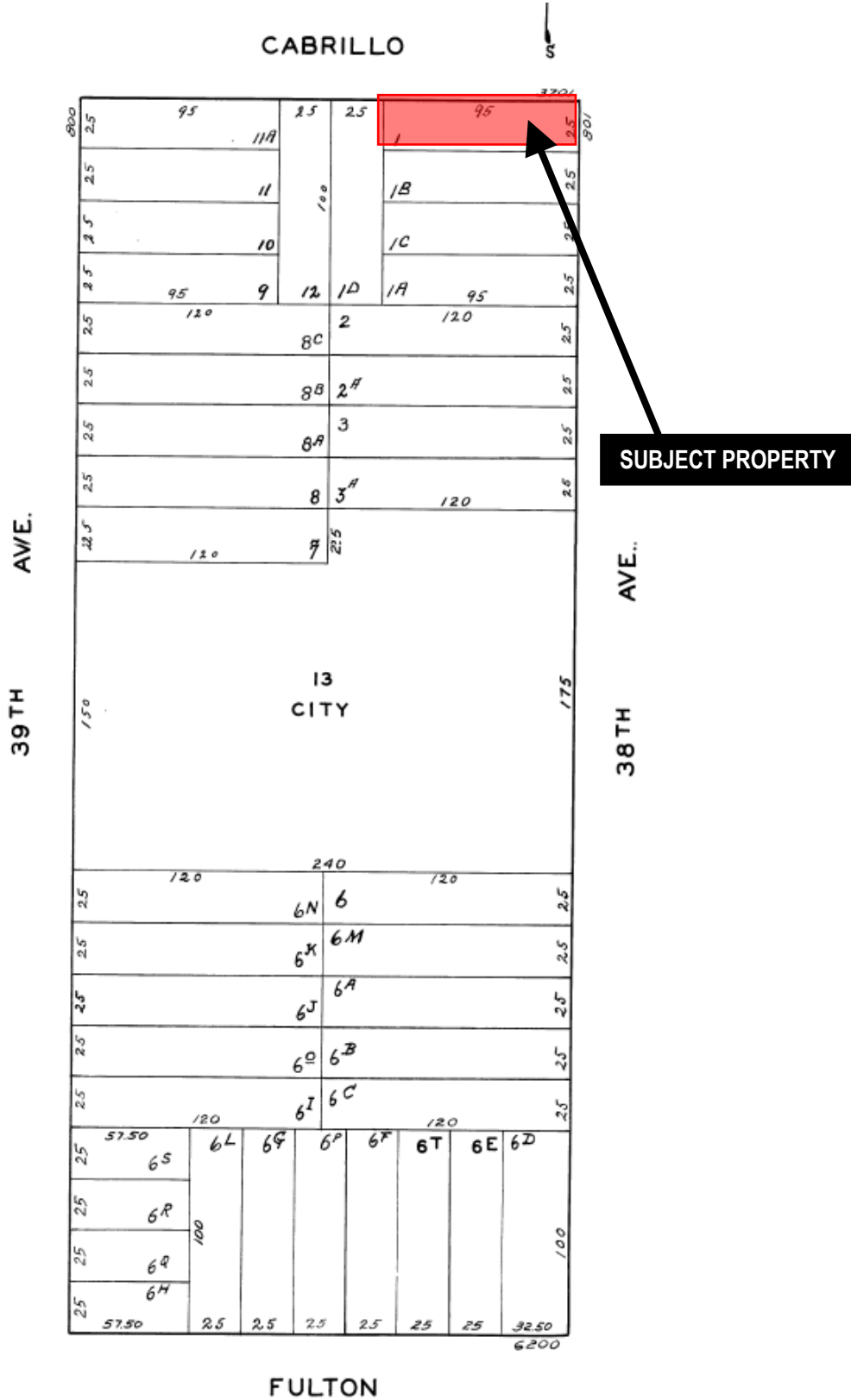
<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed to the Environmental Review Officer within 10 days of posting of this determination.	
Planner Name:	Date:

Land Use Information

Project Address: 801 38th Ave
Record No.: 2020-008651PRJ

	EXISTING	PROPOSED	NET NEW
GROSS SQUARE FOOTAGE (GSF)			
Parking GSF	270	270	0
Residential GSF	0	3,001	3,001
Retail/Commercial GSF	0	0	0
Office GSF	0	0	0
Industrial/PDR GSF <i>Production, Distribution, & Repair</i>	0	0	0
Medical GSF	0	0	0
Visitor GSF	0	0	0
CIE GSF	0	0	0
Usable Open Space	600	600	0
Public Open Space	0	0	0
Other (Residential Care Facility)	3,001	0	0
TOTAL GSF	3,271	3,271	0
	EXISTING	NET NEW	TOTALS
PROJECT FEATURES (Units or Amounts)			
Dwelling Units - Affordable	0	0	0
Dwelling Units - Market Rate	0	1	1
Dwelling Units - Total	0	1	1
Hotel Rooms	0	0	0
Number of Buildings	1	0	1
Number of Stories	2	0	2
Parking Spaces	1	0	1
Loading Spaces	0	0	0
Bicycle Spaces	0	1	1
Car Share Spaces	0	0	0
Other (Residential Care Facility)	3,001	0	3,001

Parcel Map



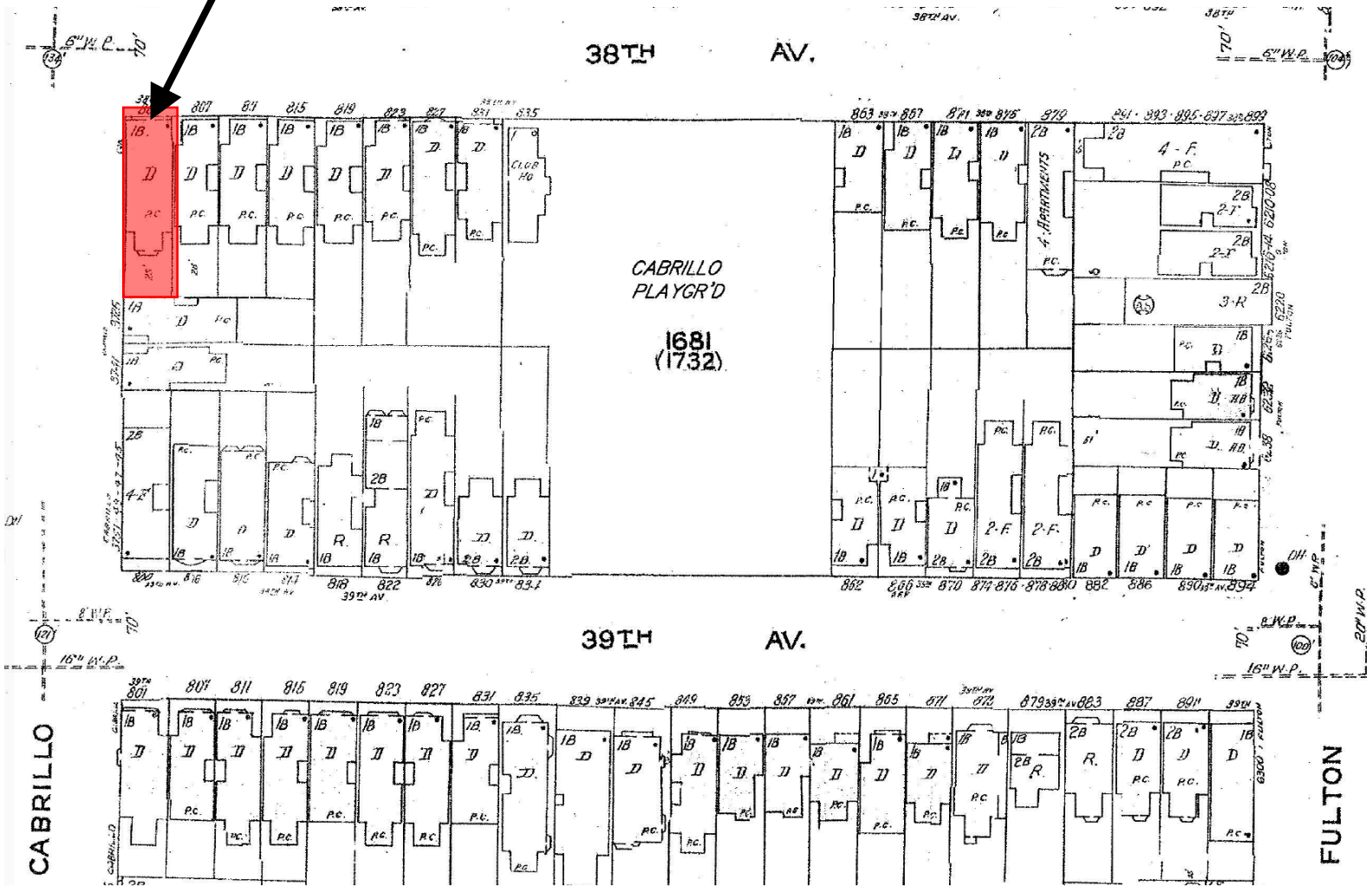
SUBJECT PROPERTY



Planning Commission Hearing
 Case Number 2020-008651CUA
 Residential Care Facility CUA
 801 38th Avenue

Sanborn Map*

SUBJECT PROPERTY



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Aerial Photo – View 1



SUBJECT PROPERTY



Planning Commission Hearing
Case Number 2020-008651CUA
Residential Care Facility CUA
801 38th Avenue

Aerial Photo – View 2



SUBJECT PROPERTY



Planning Commission Hearing
Case Number 2020-008651CUA
Residential Care Facility CUA
801 38th Avenue

Aerial Photo – View 3



SUBJECT PROPERTY



Zoning Map



Planning Commission Hearing
Case Number 2020-008651CUA
Residential Care Facility CUA
801 38th Avenue

Site Photo

