



## DISCRETIONARY REVIEW ABBREVIATED ANALYSIS

**HEARING DATE:** October 28, 2021

**Record No.:** 2020-008529DRP/VAR  
**Project Address:** 1857 Church Street  
**Permit Application:** 2020.0908.3710  
**Zoning:** RH-2 [Residential House-Two Family]  
40-X Height and Bulk District  
**Block/Lot:** 6656/ 035  
**Project Sponsor:** Shad Beazer  
Studio 22 Design  
7426 Geary Blvd.  
San Francisco, CA 94121  
**Staff Contact:** David Winslow – (628) 652-7335  
[david.winslow@sfgov.org](mailto:david.winslow@sfgov.org)

**Recommendation:** Do Not Take DR and Approve

### Project Description

The project proposes to construct a rear addition and remodel of kitchen and bath to an existing three-story over basement, single-family dwelling. The proposal extends into the required rear yard and therefore is requesting a Variance.

### Site Description and Present Use

The site is a 25' wide x 125' deep lateral lot containing an existing 3-story, single family home. The existing building is a Category 'B' – potential historic resource built in 1900.

### Surrounding Properties and Neighborhood

The buildings on this block of Church Street consist of 2- to 3-story houses with varying front setbacks. At the rear there is a relatively consistent alignment of rear building walls with some variations of depth due to decks and pop outs, all of which leave ample mid-block open space and visual access to the common rear yards.

## Building Permit Notification

Type	Required Period	Notification Dates	DR File Date	DR Hearing Date	Filing to Hearing Date
311 Notice	30 days	July 11, 2021– August 11, 2021	August 11, 2021	October 28, 2021	78 days

## Hearing Notification

Type	Required Period	Required Notice Date	Actual Notice Date	Actual Period
Posted Notice	20 days	October 8, 2021	October 8, 2021	20 days
Mailed Notice	20 days	October 8, 2021	October 8, 2021	20 days
Online Notice	20 days	October 8, 2021	October 8, 2021	20 days

## Public Comment

	Support	Opposed	No Position
Adjacent neighbor(s)	0	0	0
Other neighbors on the block or directly across the street	0	0	0
Neighborhood groups	0	0	0

## Environmental Review

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

## DR Requestor

Stephen Williams on behalf of the adjacent neighbor to the south of the proposed project at 1861 Church Street.

## DR Requestor's Concerns and Proposed Alternatives

DR requestor is concerned that the proposed project drawings do not accurately depict the existing conditions. The proposed side windows will intrude into the privacy of the neighbor to the south. The project requires a variance to extend into the required rear yard and increases the height which will also impact the neighbors.

### Proposed alternatives:

1. Correct the plans to identify window sizes, location, and configurations facing the south neighbor.
2. Reduce the height of rear extension to no more than the existing height.
3. Eliminate all windows facing the south.

See attached *Discretionary Review Application*, dated August 11, 2021.

## Project Sponsor's Response to DR Application

The project does not add any new south facing windows and maintains three out the four existing windows, two of which will high sill heights and one which will be frosted glass so that none will have any direct line of sight into the DR requestor's home. Existing south facing window area will be reduced.

The proposed addition seeks to bring the building into closer compliance with the Code while allowing for a reasonable renovation that modernizes the house. The area extending beyond the buildable area is 3'-8" and would not be a detriment to the surrounding neighbors and is consistent with development pattern in this block.

See attached Response to Discretionary Review, dated September 2, 2021.

## Department Review

The Planning Department's review of this proposal confirms support for this project as it conforms to the Planning Code and the Residential Design Guidelines.

As designed the rear extension with side setbacks ensure compatibility with the Residential Design Guidelines related to scale and access to mid-block open space and is consistent with other development on this block

The Department has received revised drawings clarifying the location and sizes of existing windows (Sheet A8.1) and proposed windows (sheet A8.0).

The project proposes to close two existing south facing window openings, replace one existing window with a smaller window using privacy glass, and to install a new window on the south side of the proposed extension which is set back 5 feet from the property line and has a 4' sill height.

The location, size and glazing of the proposed windows do not present any exceptional or extraordinary circumstances. Therefore, staff recommends not taking Discretionary Review and approving as reflected in the revised drawings, on Sheet A8.0.

**Recommendation:** Do Not Take DR and Approve

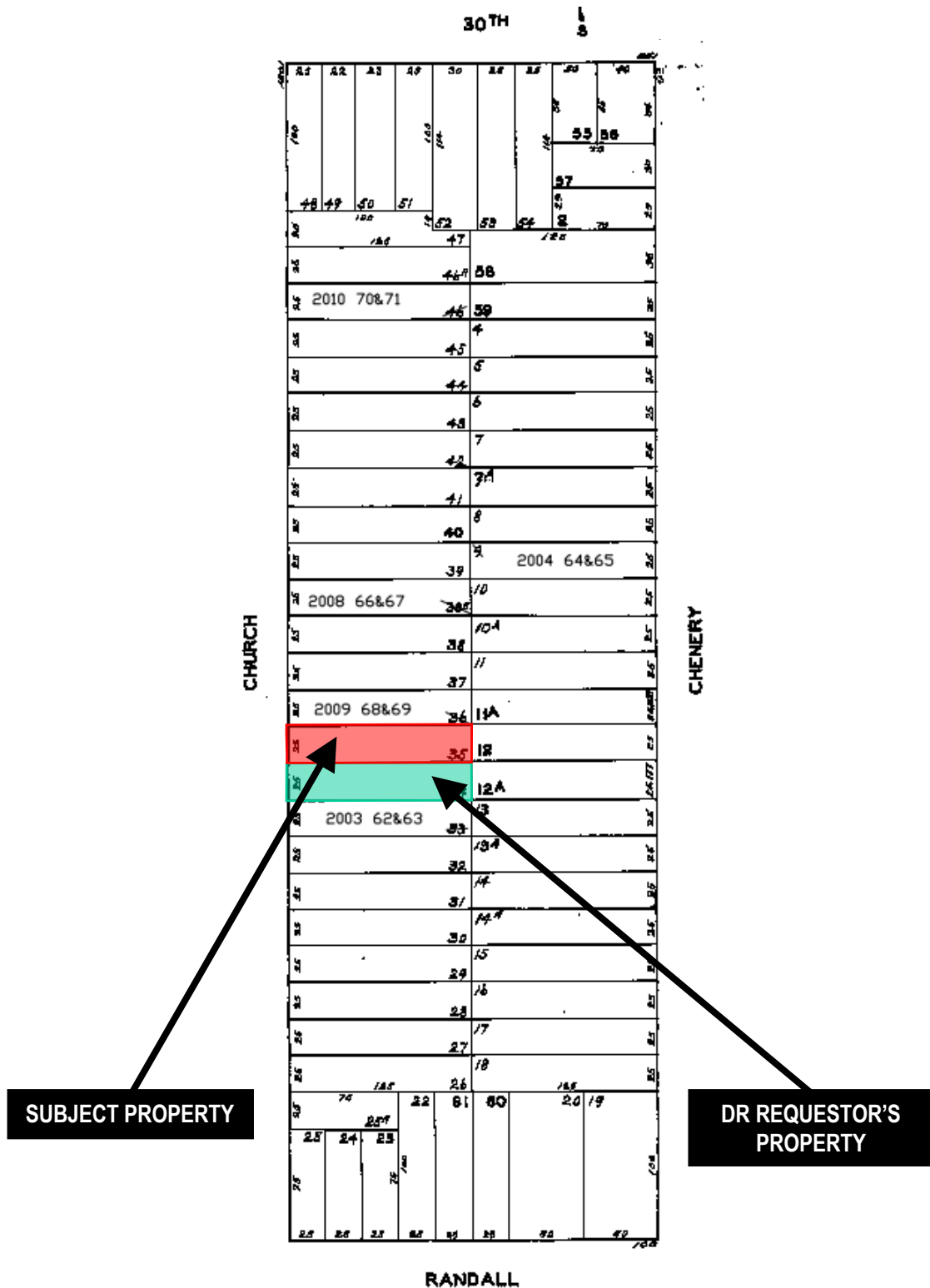
## **Attachments:**

Block Book Map  
Sanborn Map  
Zoning Map  
Aerial Photographs  
Context Photographs  
Section 311 Notice  
CEQA Determination  
DR Application  
Response to DR Application, dated September 2, 2021  
311 plans  
Revised plans



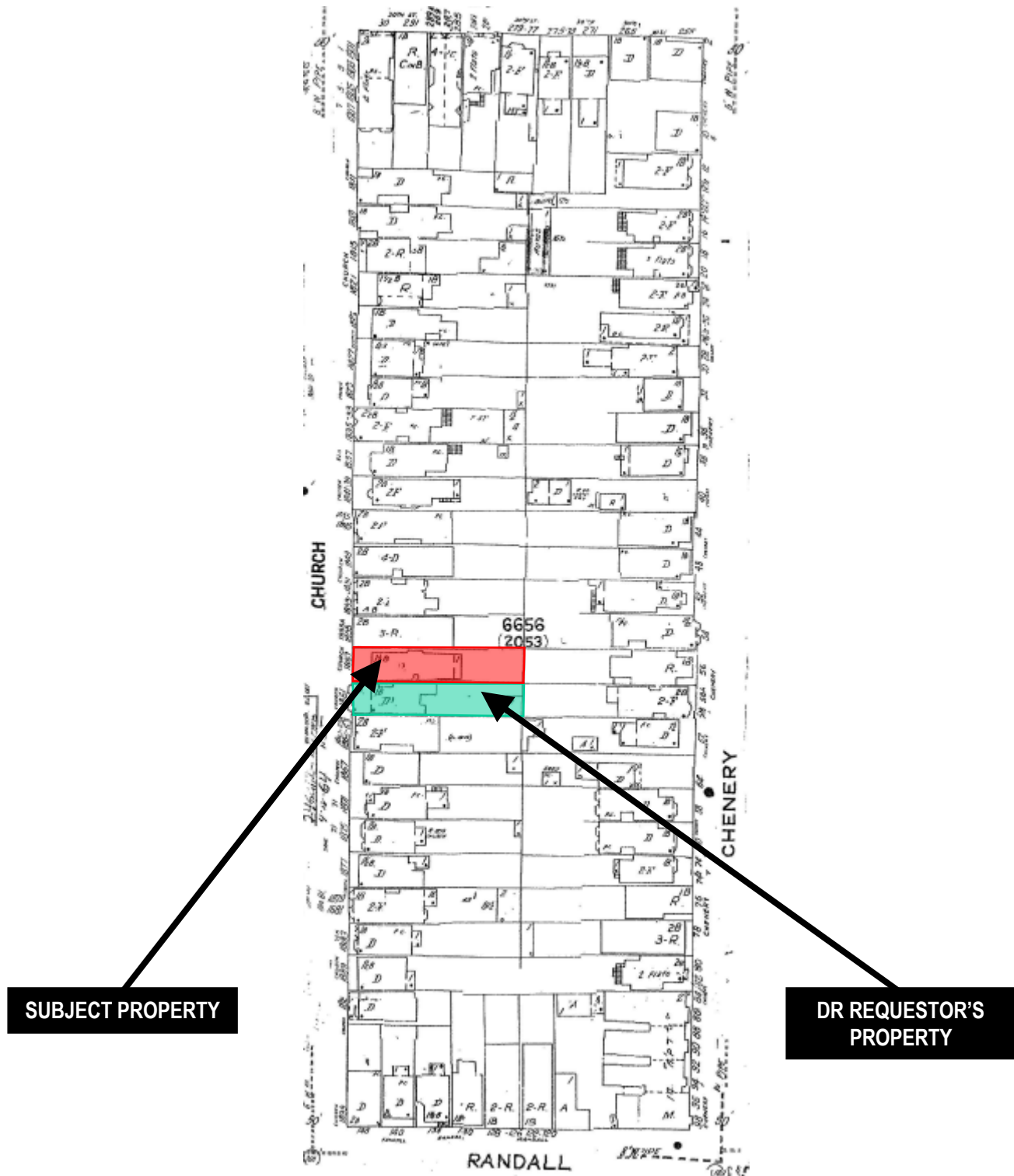
# Exhibits

# Parcel Map



Discretionary Review Hearing  
Case Number 2020-008529DRP  
1857 Church Street

# Sanborn Map\*

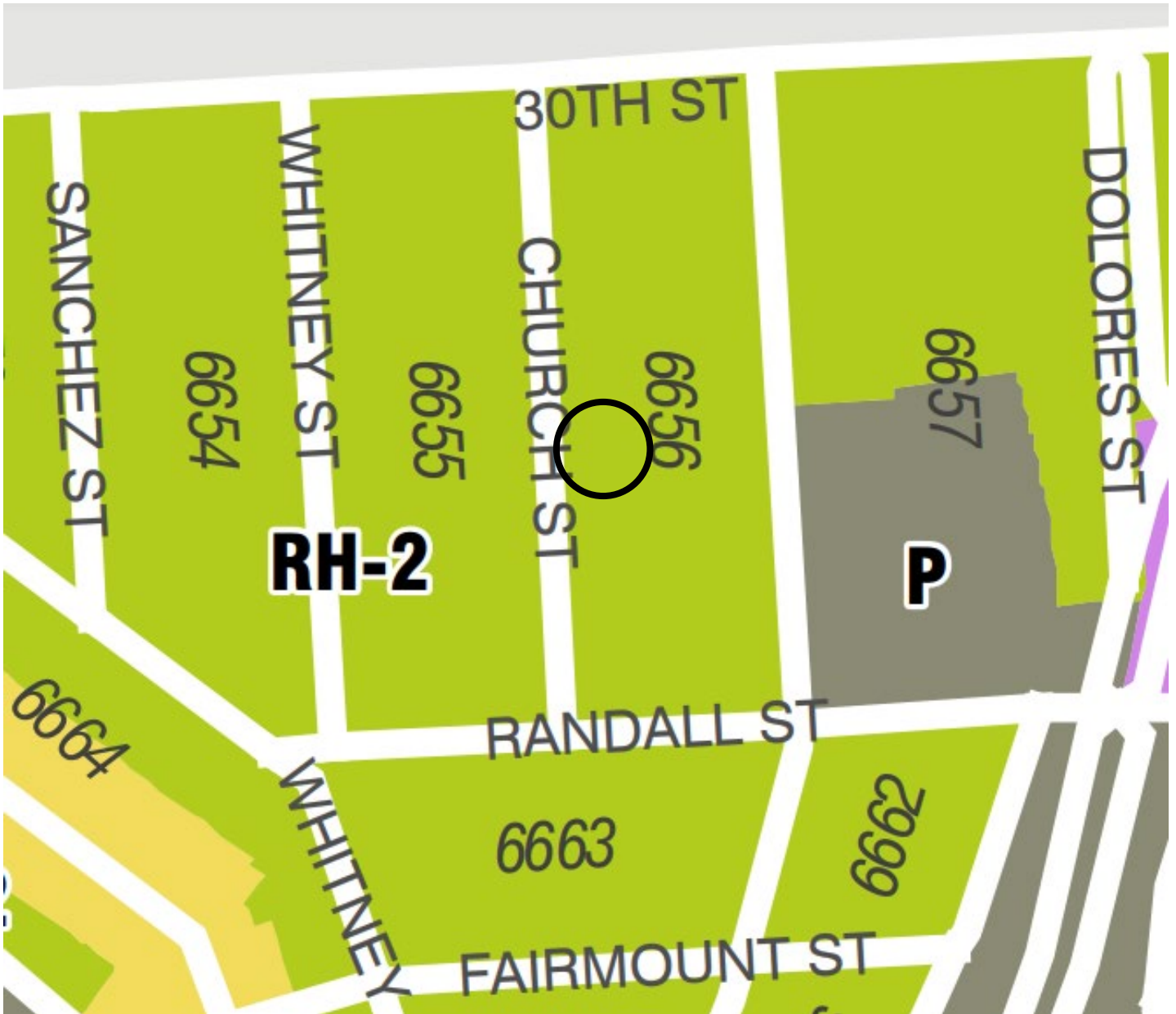


\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing  
Case Number 2020-008529DRP  
1857 Church Street

# Zoning Map



Discretionary Review Hearing  
Case Number 2020-008529DRP  
1857 Church Street

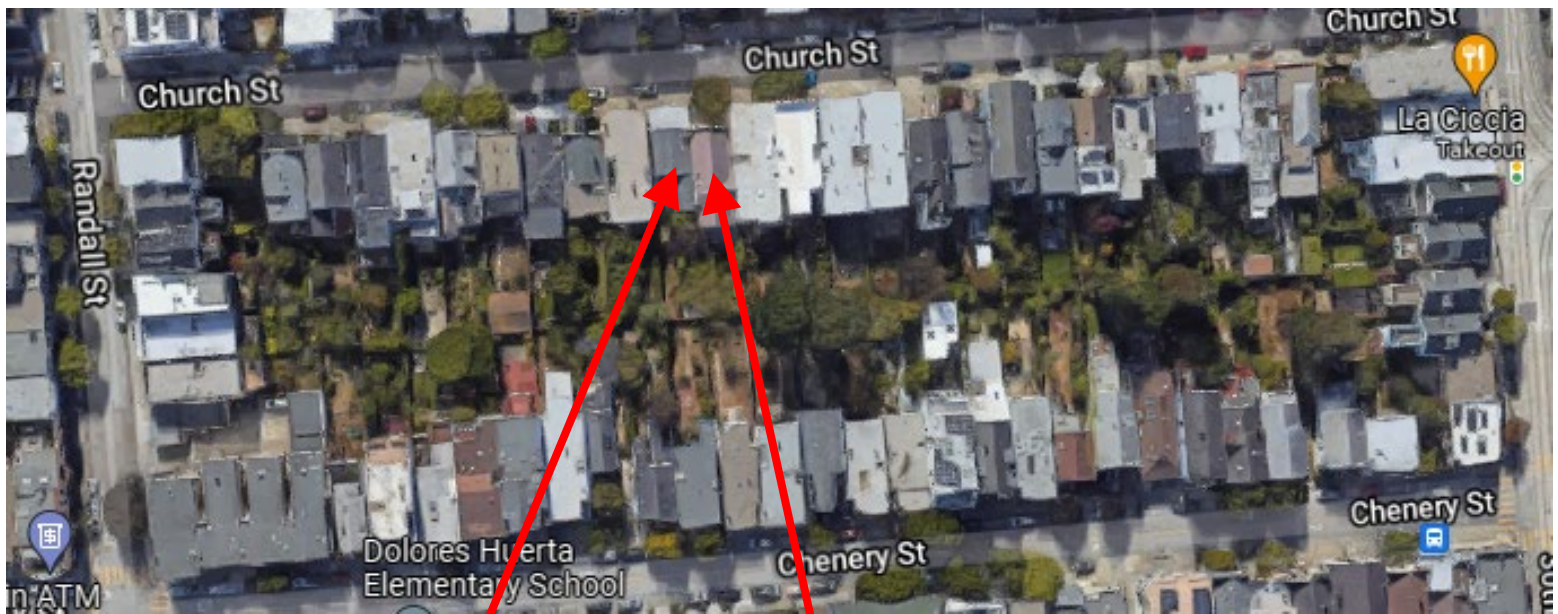
# Aerial Photo



Discretionary Review Hearing  
Case Number 2020-008529DRP  
1857 Church Street



# Aerial Photo



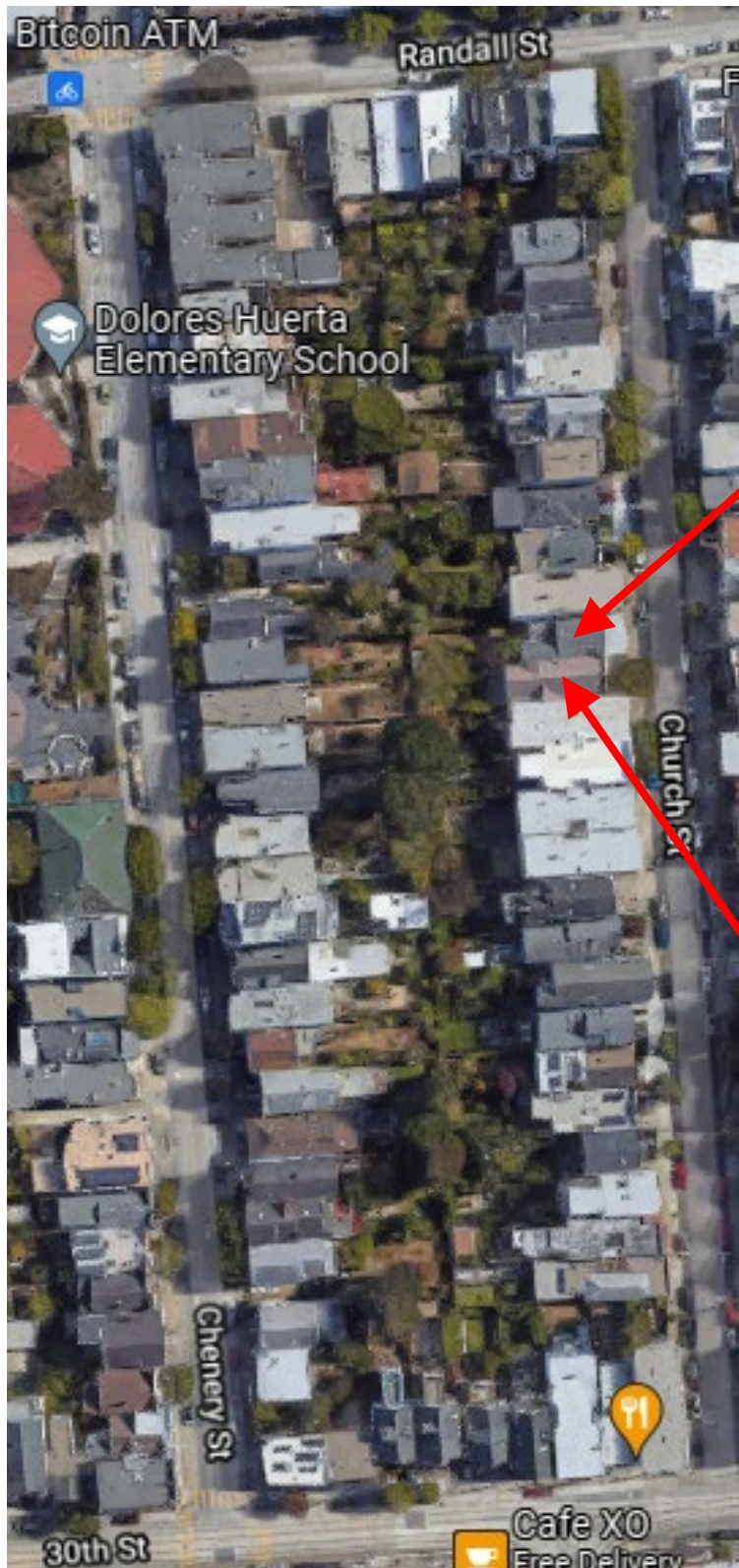
DR REQUESTOR'S  
PROPERTY

SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2020-008529DRP  
1857 Church Street

# Aerial Photo



DR REQUESTOR'S  
PROPERTY

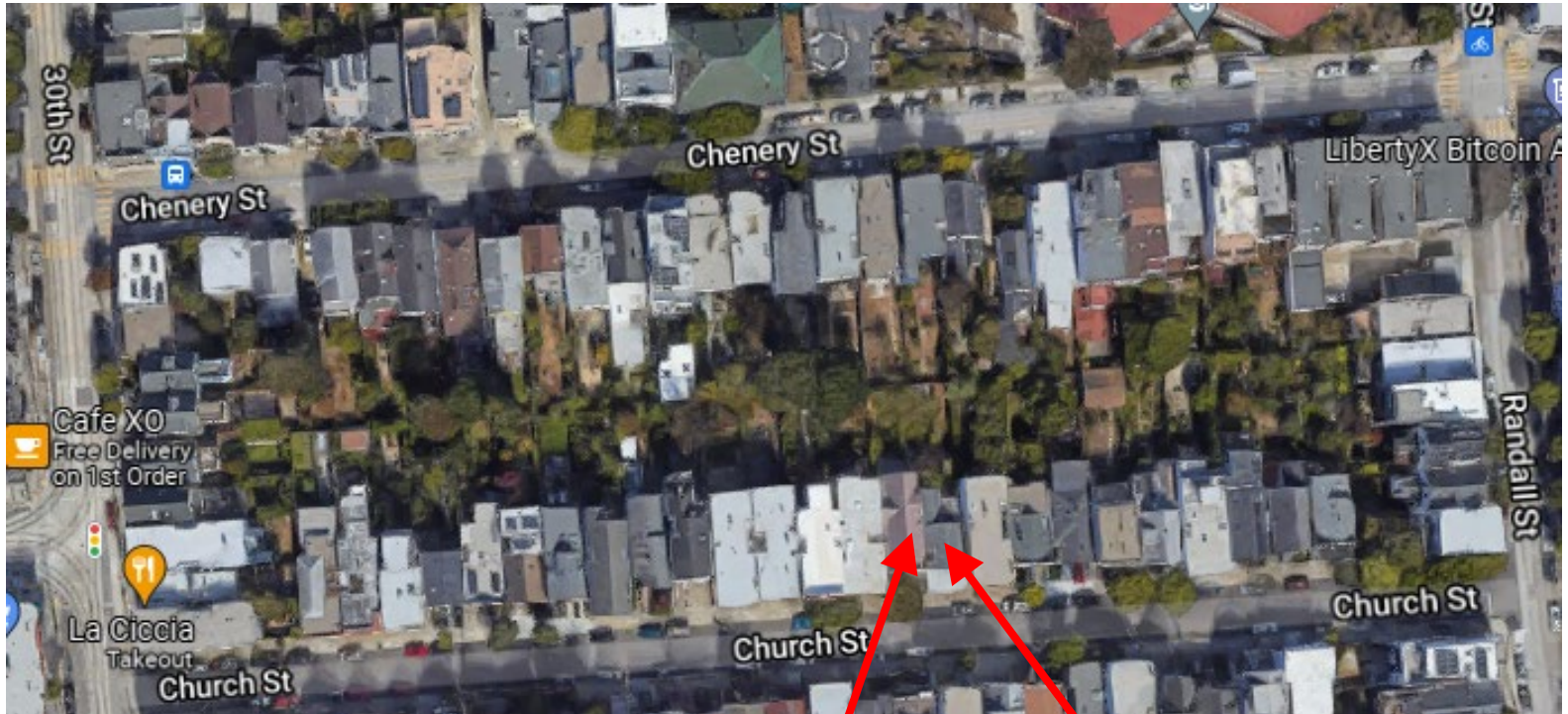
SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2020-008529DRP  
1857 Church Street



# Aerial Photo



SUBJECT PROPERTY

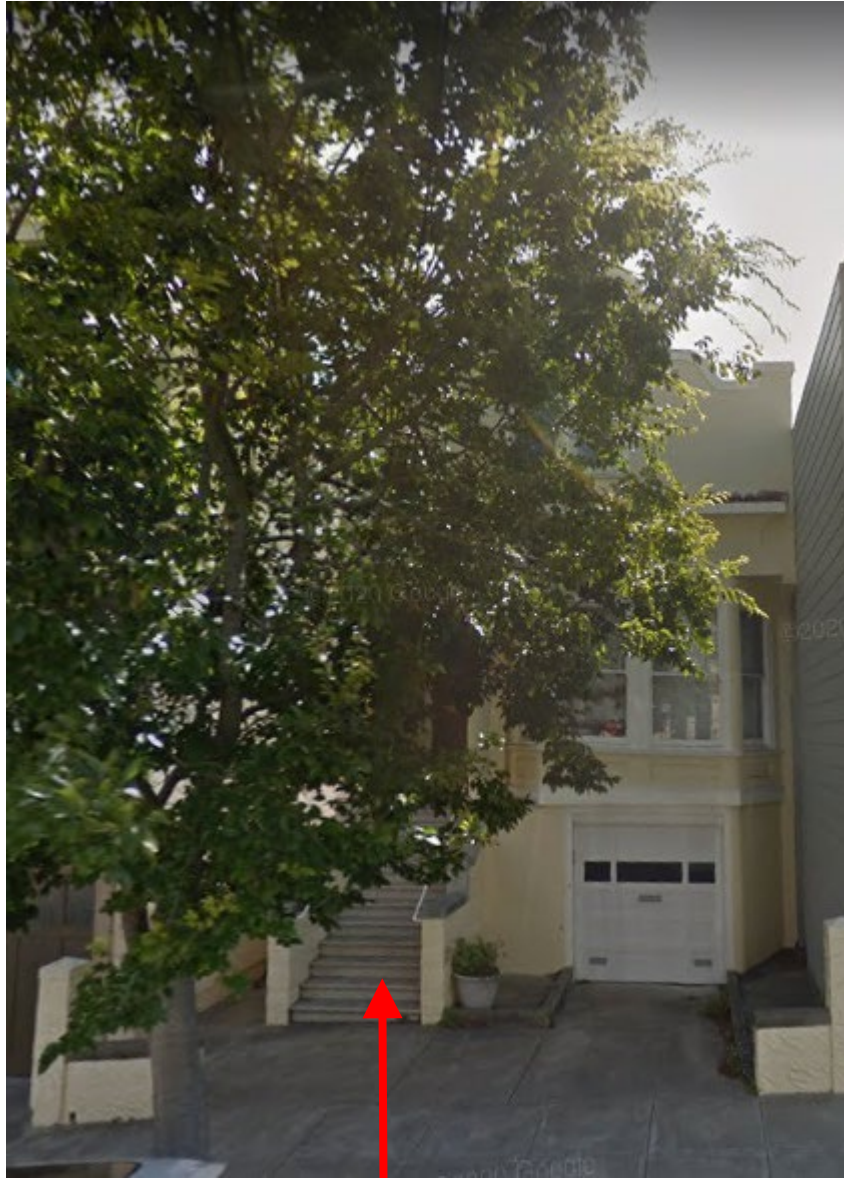
DR REQUESTOR'S  
PROPERTY



Discretionary Review Hearing  
Case Number 2020-008529DRP  
1857 Church Street



# Site Photo



**SUBJECT PROPERTY**

Discretionary Review Hearing  
Case Number 2020-008529DRP  
1857 Church Street

# Notice of an application for Alteration and Rear Addition

Project Location & Details:

**1857 CHURCH STREET**

Building Permit Application No. **202009083710**

Block/Lot No. **6656/035**

Zoning District: **RH-2 - Residential- House, Two Family**

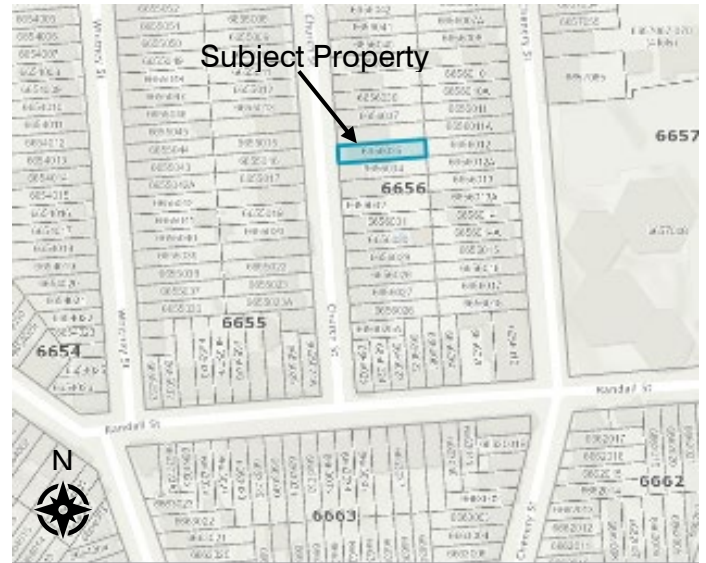
The Project at 1857 CHURCH STREET proposes to modify the existing building with a Rear Addition.

Applicant: **Michael Beazer**

415-490-6678 shad@sn22.com

City Planner: **Cathleen Campbell**

628-652-7387 Cathleen.campbell@sfgov.org



Project Features	Existing	Proposed
Building Use	Residential	No Change
Building Height	31' 3 1/2"	No Change
Dwelling Units	1	No Change

**You are not  
required to take  
any action.**

If you believe there are exceptional circumstances, you may request a **public hearing for Discretionary Review** by the response deadline.

For information on how to request a public hearing please contact the City Planner or visit [sfplanning.org/resource/drp-application](https://sfplanning.org/resource/drp-application).

中文:

該專案位於 1857 CHURCH STREET 提議修改現有的建築，在後面添加。有關此通知的中文信息，請於以下截止日期前致電 628.657.7550，並提供項目地址及項目編號。

Español:

El proyecto en 1857 CHURCH STREET propone modificar el edificio existente con un agregado posterior. Para información sobre esta notificación en español, favor de llamar al 628.657.7550 antes de la fecha límite listada abajo, y mencione la dirección y número de proyecto.

Filipino:

Iminumungkahi ng proyektong nasa 1857 CHURCH STREET na baguhin ang nariyan nang gusali sa pamamagitan ng Dagdag sa Likuran (Rear Addition). Para sa impormasyon tungkol dito sa abiso sa Tagalog, pakitawagan ang 628.657.7550 sa petsa ng deadline na nakalista sa ibaba, at banggitin ang address ng proyekto at ang numero ng record.

Response Deadline: **8/11/21**

Record No. **2020-008529PRJ**



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[sfplanning.org/notices](https://sfplanning.org/notices)

For more information



# General Information About Procedures During COVID-19 Shelter-In-Place Order

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice. If you have general questions about the Planning Department's review process, contact the Planning counter at the Permit Center via email at [pic@sfgov.org](mailto:pic@sfgov.org).

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Contact the project Applicant to get more information and to discuss the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at [www.communityboards.org](http://www.communityboards.org) for a facilitated. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects that conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review ("DR"). If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a DR Application prior to the Expiration Date shown on the front of this notice.**

To file a DR Application, you must:

1. Complete the Discretionary Review PDF application (<https://sfplanning.org/resource/drpf-application>) and email the completed PDF application to [CPC.Intake@sfgov.org](mailto:CPC.Intake@sfgov.org) by the expiration date listed on the front of this notice.

You will receive follow-up instructions via email on how - and by when - to post payment for the DR Application.

To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at [www.sfplanning.org](http://www.sfplanning.org). If the project includes multiple building permits, i.e. demolition and new construction, a separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

## BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. The Board of Appeals is accepting appeals via e-mail. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (628) 652-1150.

## ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map at [www.sfplanning.org](http://www.sfplanning.org). An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Board of Supervisors at [bos.legislation@sfgov.org](mailto:bos.legislation@sfgov.org), or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



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## CEQA Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

<b>Project Address</b>		<b>Block/Lot(s)</b>
1857 CHURCH ST		6656035
<b>Case No.</b>		<b>Permit No.</b>
2020-008529PRJ		202009083710
<input checked="" type="checkbox"/> <b>Addition/ Alteration</b>	<input type="checkbox"/> <b>Demolition (requires HRE for Category B Building)</b>	<input type="checkbox"/> <b>New Construction</b>
<b>Project description for Planning Department approval.</b> Kitchen & bath remodel of existing single family home, selective demolition and build back of (e) spaces. Reconfiguration of (e) allowable rear yard obstruction per zoning code 136 (25)(b)(ii). Mep under separate permit		

### STEP 1: EXEMPTION TYPE

<b>The project has been determined to be exempt under the California Environmental Quality Act (CEQA).</b>	
<input checked="" type="checkbox"/>	<b>Class 1 - Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	<b>Class 3 - New Construction.</b> Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<b>Class 32 - In-Fill Development.</b> New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services.
<input type="checkbox"/>	<b>Other</b> ____
<input type="checkbox"/>	<b>Common Sense Exemption (CEQA Guidelines section 15061(b)(3)).</b> It can be seen with certainty that there is no possibility of a significant effect on the environment.

**STEP 2: ENVIRONMENTAL SCREENING ASSESSMENT****TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	<b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g. use of diesel construction equipment, backup diesel generators, heavy industry, diesel trucks, etc.)? <i>(refer to the Environmental</i>
<input type="checkbox"/>	<b>Hazardous Materials:</b> <input type="checkbox"/> <b>Maher</b> or <input type="checkbox"/> <b>Cortese</b> Is the project site located within the Maher area or on a site containing potential subsurface soil or groundwater contamination and would it involve ground disturbance of at least 50 cubic yards or a change of use from an industrial use to a residential or institutional use? Is the project site located on a Cortese site or would the project involve work on a site with an existing or former gas station, parking lot, auto repair, dry cleaners, or heavy manufacturing use, or a site with current or former underground storage tanks? <i>if Maher box is checked, note below whether the applicant has enrolled in or received a waiver from the San Francisco Department of Public Health (DPH) Maher program, or if Environmental Planning staff has determined that hazardous material effects would be less than significant.</i> <b>Note that a categorical exemption shall not be issued for a project located on the Cortese List</b>
<input type="checkbox"/>	<b>Transportation:</b> Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities? Would the project involve the intensification of or a substantial increase in vehicle trips at the project site or elsewhere in the region due to autonomous vehicle or for-hire vehicle fleet maintenance, operations or
<input type="checkbox"/>	<b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? If yes, archeology review is required.
<input type="checkbox"/>	<b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? <i>(refer to the Environmental Information tab on <a href="https://sfplanninggis.org/PIM/">https://sfplanninggis.org/PIM/</a>)</i> <b>If box is checked, Environmental Planning must issue the exemption.</b>
<input type="checkbox"/>	<b>Average Slope of Parcel = or &gt; 25%, or site is in Edgehill Slope Protection Area or Northwest Mt. Sutro Slope Protection Area:</b> Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, or (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area? <i>(refer to the Environmental Information tab on <a href="https://sfplanninggis.org/PIM/">https://sfplanninggis.org/PIM/</a>)</i> <b>If box is checked, a geotechnical report is likely required and Environmental Planning must issue the exemption.</b>
<input type="checkbox"/>	<b>Seismic Hazard:</b> <input type="checkbox"/> <b>Landslide</b> or <input type="checkbox"/> <b>Liquefaction Hazard Zone:</b> Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area, or (4) grading performed at a site in the landslide hazard zone? <i>(refer to the Environmental Information tab on <a href="https://sfplanninggis.org/PIM/">https://sfplanninggis.org/PIM/</a>)</i> <b>If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</b>
<b>Comments and Planner Signature (optional):</b> Cathleen Campbell	



**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE**  
**TO BE COMPLETED BY PROJECT PLANNER**

<b>PROPERTY IS ONE OF THE FOLLOWING:</b> <i>(refer to Property Information Map)</i>	
<input type="checkbox"/>	<b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>
<input checked="" type="checkbox"/>	<b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>
<input type="checkbox"/>	<b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b>

**STEP 4: PROPOSED WORK CHECKLIST**  
**TO BE COMPLETED BY PROJECT PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. <b>Change of use and new construction.</b> Tenant improvements not included.
<input checked="" type="checkbox"/>	2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input checked="" type="checkbox"/>	8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input checked="" type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: ADVANCED HISTORICAL REVIEW**  
**TO BE COMPLETED BY PRESERVATION PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. <b>Reclassification of property status.</b> <i>(Attach HRER Part I)</i> <div style="display: flex; justify-content: space-between; align-items: flex-start; margin-top: 10px;"> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category A  a. Per HRER  b. Other <i>(specify)</i>: </div> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category C  <i>(No further historic review)</i> </div> </div>
<input type="checkbox"/>	2. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	3. <b>Interior alterations to publicly accessible spaces that do not remove, alter, or obscure character defining features.</b>
<input type="checkbox"/>	4. <b>Window replacement</b> of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	5. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.

<input type="checkbox"/>	6. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	7. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	8. <b>Work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (Analysis required):
<input type="checkbox"/>	9. <b>Work compatible</b> with a historic district (Analysis required):
<input type="checkbox"/>	10. <b>Work that would not materially impair</b> a historic resource (Attach HRER Part II).
<b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.</b>	
<input type="checkbox"/>	<b>Project can proceed with exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with exemption review. <b>GO TO STEP 6.</b>
<b>Comments (optional):</b>	
<b>Preservation Planner Signature:</b> Cathleen Campbell	

## STEP 6: EXEMPTION DETERMINATION

### TO BE COMPLETED BY PROJECT PLANNER

<input checked="" type="checkbox"/>	<b>No further environmental review is required. The project is exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.</b>	
	<b>Project Approval Action:</b>	<b>Signature:</b>
	Building Permit	Cathleen Campbell
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the	08/12/2021
<p>Supporting documents are available for review on the San Francisco Property Information Map, which can be accessed at <a href="https://sfplanninggis.org/PIM/">https://sfplanninggis.org/PIM/</a>. Individual files can be viewed by clicking on the Planning Applications link, clicking the "More Details" link under the project's environmental record number (ENV) and then clicking on the "Related Documents" link. Once signed or stamped and dated, this document constitutes an exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination to the Board of Supervisors can only be filed within 30 days of the project receiving the approval action.</p>		

## STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

### TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional

### MODIFIED PROJECT DESCRIPTION

Modified Project Description:

### DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

- |                          |  |
|--------------------------|--|
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code;   |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312;  |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)?   |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |

**If at least one of the above boxes is checked, further environmental review is required**

### DETERMINATION OF NO SUBSTANTIAL MODIFICATION

- |                          |   |
|--------------------------|---|
| <input type="checkbox"/> | The proposed modification would not result in any of the above changes. |
|--------------------------|---|

If this box is checked, the proposed modifications are exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can

**Planner Name:**

**Date:**





# DISCRETIONARY REVIEW PUBLIC (DRP)

## APPLICATION PACKET

Pursuant to Planning Code Section 311, the Planning Commission may exercise its power of Discretionary Review over a building permit application.

For questions, call 415.558.6377, email [pic@sfgov.org](mailto:pic@sfgov.org), or visit the Planning Information Center (PIC) at 1660 Mission Street, First Floor, San Francisco, where planners are available to assist you.

Please read the [Discretionary Review Informational Packet](#) carefully before the application form is completed.

### WHAT TO SUBMIT:

- ☐ Two (2) complete applications signed.
- ☐ A Letter of Authorization for Agent from the owner giving you permission to communicate with the Planning Department on their behalf.
- ☐ Photographs or plans that illustrate your concerns.
- ☐ Related covenants or deed restrictions (if any).
- ☐ A digital copy (CD or USB drive) of the above materials (optional).
- ☐ Payment via check, money order or debit/credit for the total fee amount for this application. (See [Fee Schedule](#)).

### HOW TO SUBMIT:

To file your Discretionary Review Public application, please submit in person at the Planning Information Center:

Location: 1660 Mission Street, Ground Floor  
San Francisco, CA 94103-2479

**Español:** Si desea ayuda sobre cómo llenar esta solicitud en español, por favor llame al 415.575.9010. Tenga en cuenta que el Departamento de Planificación requerirá al menos un día hábil para responder

中文：如果您希望獲得使用中文填寫這份申請表的幫助，請致電415.575.9010。請注意，規劃部門需要至少一個工作日來回應。

**Tagalog:** Kung gusto mo ng tulong sa pagkumpleto ng application na ito sa Filipino, paki tawagan ang 415.575.9010. Paki tandaan na mangangailangan ang Planning Department ng hindi kukulangin sa isang araw na pantrabaho para makasagot.



# DISCRETIONARY REVIEW PUBLIC (DRP)

## APPLICATION

### Discretionary Review Requestor's Information

Name:

Address:

Email Address:

Telephone:

### Information on the Owner of the Property Being Developed

Name:

Company/Organization:

Address:

Email Address:

Telephone:

### Property Information and Related Applications

Project Address:

Block/Lot(s):

Building Permit Application No(s):

### ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?		
Did you discuss the project with the Planning Department permit review planner?		
Did you participate in outside mediation on this case? (including Community Boards)		

## DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

- 
2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

- 
3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

# DISCRETIONARY REVIEW REQUESTOR'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

- a) The information presented is true and correct to the best of my knowledge.
- b) Other information or applications may be required.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Name (Printed)

\_\_\_\_\_  
Relationship to Project  
(i.e. Owner, Architect, etc.)

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Email

For Department Use Only

Application received by Planning Department:

By: \_\_\_\_\_

Date: \_\_\_\_\_

Window Configuration on South Facing Façade (Mistakenly Labeled as “North” on the Plans) of 1857 Church Street



The Above is a Photo of the South Facing Façade (incorrectly labeled as the “North” Elevation on the Plans)–There is one very small window to the east (right side in photo) and two other small and obscured windows to the west (left side of photo)



Window Configuration on South Facing Façade (Mistakenly Labeled as “North” on the Plans) of 1857 Church Street



This is the Window to the East and in the area of the building to be removed with the demolition. It has obscured glass and is very small (approx. 2' feet by 3' feet). The “existing” elevation submitted by the sponsors falsely show three very large “existing” windows in this area. No such window exists.



Window Configuration on South Facing Façade (Mistakenly Labeled as “North”  
on the Plans) of 1857 Church Street



This photo shows the other window on the south facing façade. There are not a series of four windows on the south façade as falsely shown on the plans.

Window Configuration on South Facing Façade (Mistakenly Labeled as “North”  
on the Plans) of 1857 Church Street



This is the final window on the south facing façade. It is completely obscured and appears to have been used a laundry room vent. It is at the ground floor level.





# RESPONSE TO DISCRETIONARY REVIEW

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## Project Information

Property Address:	Zip Code:
Building Permit Application(s):	
Record Number:	Discretionary Review Coordinator:

---

## Project Sponsor

Name:	Phone:
Email:	

---

## Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

---
2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

---
3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

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---

## Project Features

---

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

---

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)		
Occupied Stories (all levels with habitable rooms)		
Basement Levels (may include garage or windowless storage rooms)		
Parking Spaces (Off-Street)		
Bedrooms		
Height		
Building Depth		
Rental Value (monthly)		
Property Value		

I attest that the above information is true to the best of my knowledge.

<b>Signature:</b>	<b>Date:</b>
<b>Printed Name:</b>	<input type="checkbox"/> Property Owner <input type="checkbox"/> Authorized Agent

*If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.*

DATE 9.2.21

PROJECT: **Yen Residence Renovation – 1857 Church**

REGARDING: **DR Request response**

Please see below for our responses to the DR request:

#### Question #1

We feel the alteration should be approved as the proposed project seeks to bring the existing structure and property into better compliance with current code. The side setbacks will be increased, providing more privacy than the existing conditions. The DR requester is incorrect in his recounting of the number of existing windows that face his property: there are currently (4) windows facing his property, and an additional window that faces the rear yard and has line of sight to the requester's yard. As I explained to the requester at the neighborhood outreach meeting, (1) of the existing windows will be removed entirely, while a 2nd window will be changed from clear glass to obscure glass as it is located in the bathroom. The other proposed window is located in the kitchen, above the sink area (the same placement as a current window over the kitchen sink). With the sill height being 5'-6", its view is primarily of the sky and tree canopy, not a direct view to the adjacent yard. Additionally, the existing rear facing windows will be greatly reduced in area, as the rear facade is currently mostly windows, akin to a sunroom; these will be replaced by one smaller window, also above counter height, and a full light door. This style of rear yard development is common throughout the city, as are windows facing adjacent properties. The proposed renovation is in keeping with those precedents.

The proposed alteration sets the height of the alteration per the allowed height set forth in SFPC 136; no higher than the 2nd floor level of occupancy, which in this case puts the height of the alteration at 19'-1" (20'-5" inclusive of the parapet) as opposed to the 18'-0" to the peak of the existing shed roof. The drawings included in the notice material show existing and proposed building heights. There currently are several other structures in the mid block area taller and with direct views into the requester's property.

The existing structure extends only approximately 22'-5" past the end of the requester's property, not 30'-0" as the requester claims. As shown in the floor plans for the project, the existing structure is not merely a sun porch, but also houses functional spaces critical to the home (the only toilet on the 1st floor).

As the proposed alteration only exceeds the build-able area allowed by SFPC 136 by 3'-8", is well short of the last 25% of the lot and is offset by the front setback of 13'-8", we feel the approval of the proposal is not a detriment to the neighborhood, and is rather a very fair and unobtrusive improvement to an old and debilitated property.

#### Question #2

One possible change to mitigate privacy concerns would be for the requester and the project owner to jointly replace the existing chain link fence with a more private fence and add screening vegetation at the property line as a buffer. We are happy to discuss this option for new fencing; however, that would not need to impact the proposed plans for the current project. We have already reduced the size of the proposed structure in the course of working with the planning department during the submittal/intake phase. The proposal increases the side setback by over 2'-6" on each side, an increase of privacy for the adjacent properties. The loss of the deleted floor area is compensated by the slight increase into the rear yard.

#### Question #3

Once again, we would note that the project does add any new south-facing windows, contrary to the requester's claim; it maintains three of the four currently existing windows (one in the kitchen, one in the bathroom, one in the WC, one in the garage), both of which have high sill heights, one of which will now be frosted glass, and neither of which provide any line of sight into the requester's rental home.

The alteration as designed modernizes and replaces an existing portion of the structure that is failing and must be replaced as it has become hazardous. Replacing it necessitates complying with current codes, including access to light and air for interior spaces.

The existing kitchen and bath areas are Victorian era, the fixtures and layout having never been renovated in the history of the house. They are not suited to modern living, or for aging occupants. It is the goal of the property owner to be allowed to age in place gracefully, and enjoy a refreshed property in dire need of repair, without the need to ascend to the upper level just to use the bathroom.

We feel we are consistent with the development patterns in the block and precedent throughout the city, many of the properties having undertaken similar expansions, or having large separate units within the rear yard areas. The proposed layout is compact and efficient. As this home is set back so much further from the front property line than any of the adjacent properties, it has less build-able area under SFPC 136 in the rear yard than the adjacent properties do. We feel that this is a very fair and modest proposal that will greatly improve the elderly occupant's quality of life without impeding on the privacy of the requester.

**S**tudio **T**wenty**T**wo **D**esign, LLC

Shad Beazer, RA  
Name



9.2.21  
Issue Date



7426 GEARY BLVD.  
SAN FRANCISCO, CA 94121  
TEL: 415.881.7622  
E-MAIL: shad@sn22.com

STUDIO TWENTYTWO

1857 CHURCH ST. SAN FRANCISCO, CA 94131  
APN. 025-66556  
3 STORY SINGLE FAMILY DWELLING  
27'-8" HIGH

ADJACENT LOT:  
1861 CHURCH  
2 STORY ONE  
FAMILY DWELLING  
26'-4" HIGH

ADJACENT LOT:  
1851 CHURCH  
3 STORY TWO  
FAMILY DWELLING  
32'-6" HIGH

ADJACENT LOT:  
1861 CHURCH  
2 STORY ONE  
FAMILY DWELLING  
26'-4" HIGH

ADJACENT LOT:  
1851 CHURCH  
3 STORY TWO  
FAMILY DWELLING  
32'-6" HIGH

ADJACENT LOT:  
1861 CHURCH  
2 STORY ONE  
FAMILY DWELLING  
26'-4" HIGH

ADJACENT LOT:  
1851 CHURCH  
3 STORY TWO  
FAMILY DWELLING  
32'-6" HIGH

ADJACENT LOT:  
1861 CHURCH  
2 STORY ONE  
FAMILY DWELLING  
26'-4" HIGH

ADJACENT LOT:  
1851 CHURCH  
3 STORY TWO  
FAMILY DWELLING  
32'-6" HIGH

# 1857 CHURCH RENOVATIONS

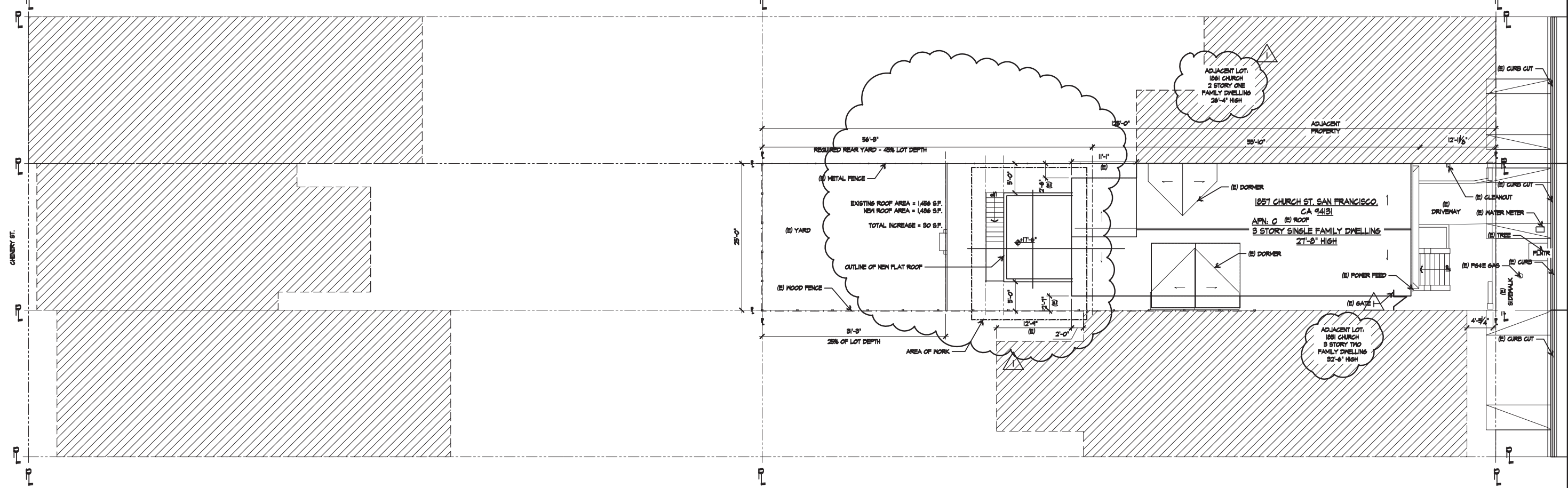
1857 CHURCH ST. SAN FRANCISCO, CA 94131

DATE	ISSUE
8.28.20	PRELIM
11.30.20	REVIT
2.22.21	PLANNING REV
8.12.21	PRE-APP MEETING

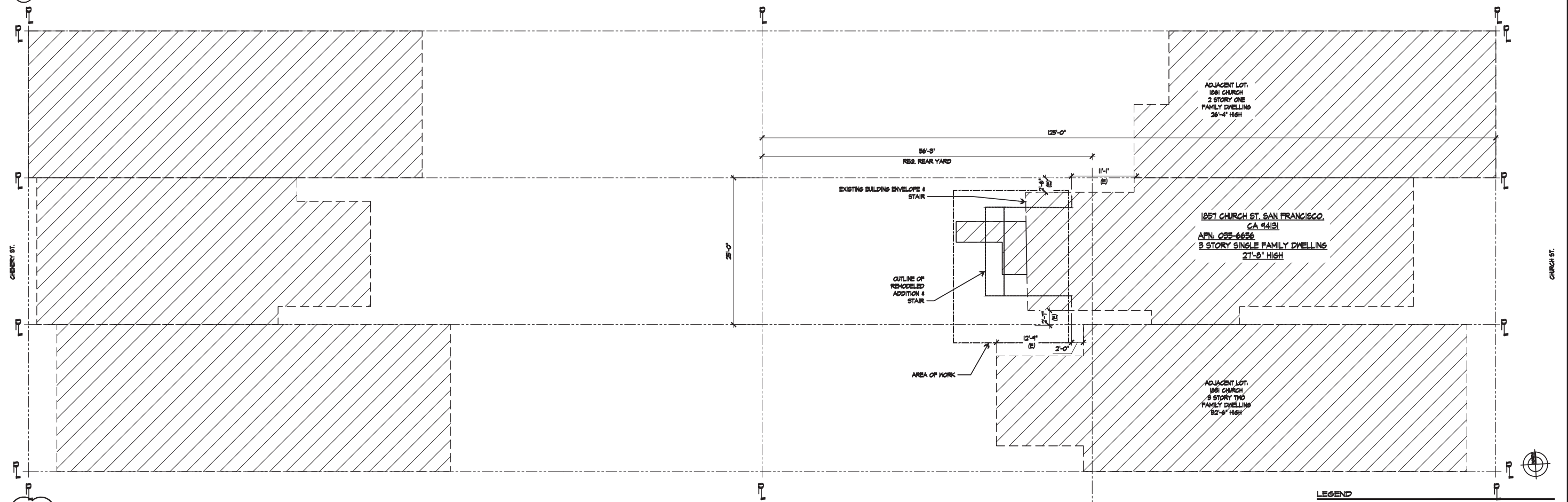
## SITE & PLOT PLANS

SCALE AS NOTED  
000016

ASO.



2 SITE PLAN - PROPOSED  
1/8" = 1'-0"



1 PLOT PLAN - EXISTING  
1/8" = 1'-0"

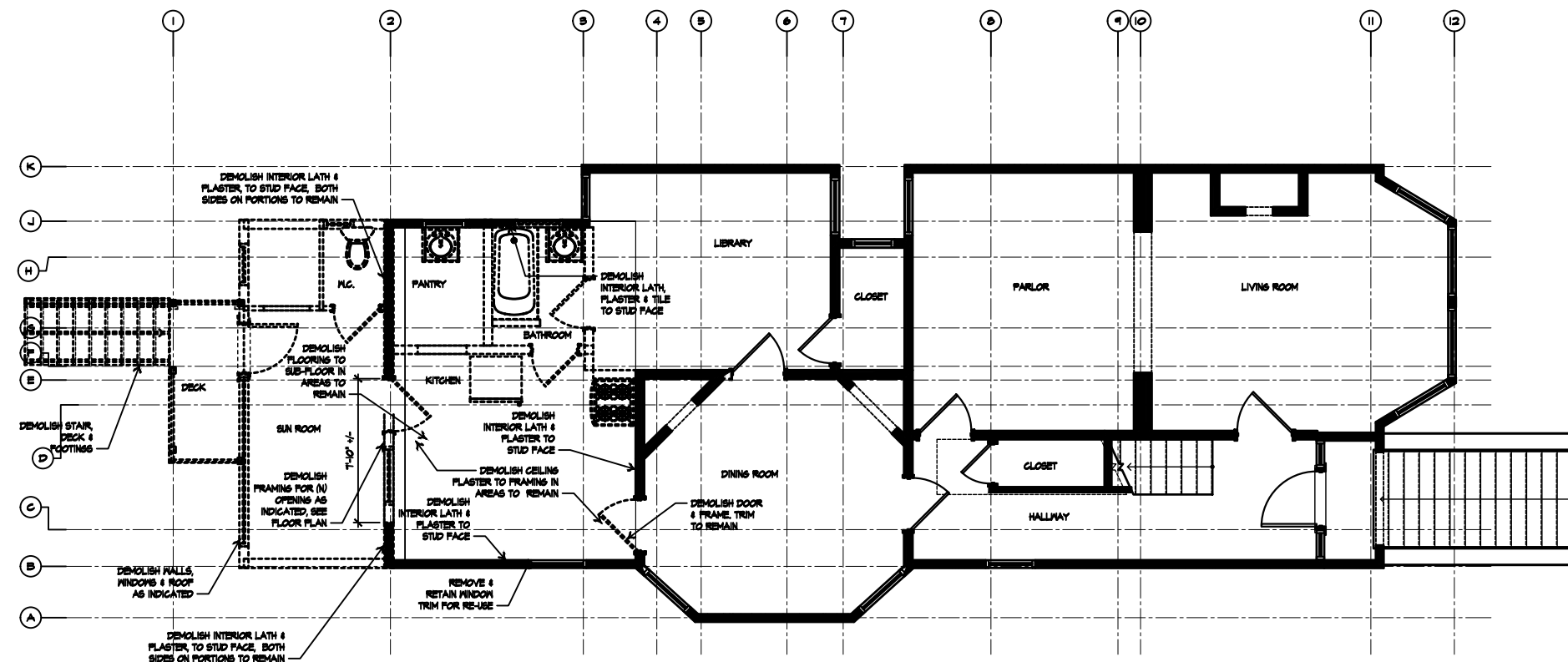
### LEGEND

(P) PAVERS	(P) PITCHED ROOF
(P) PLANTED AREA	(P) FLAT ROOF

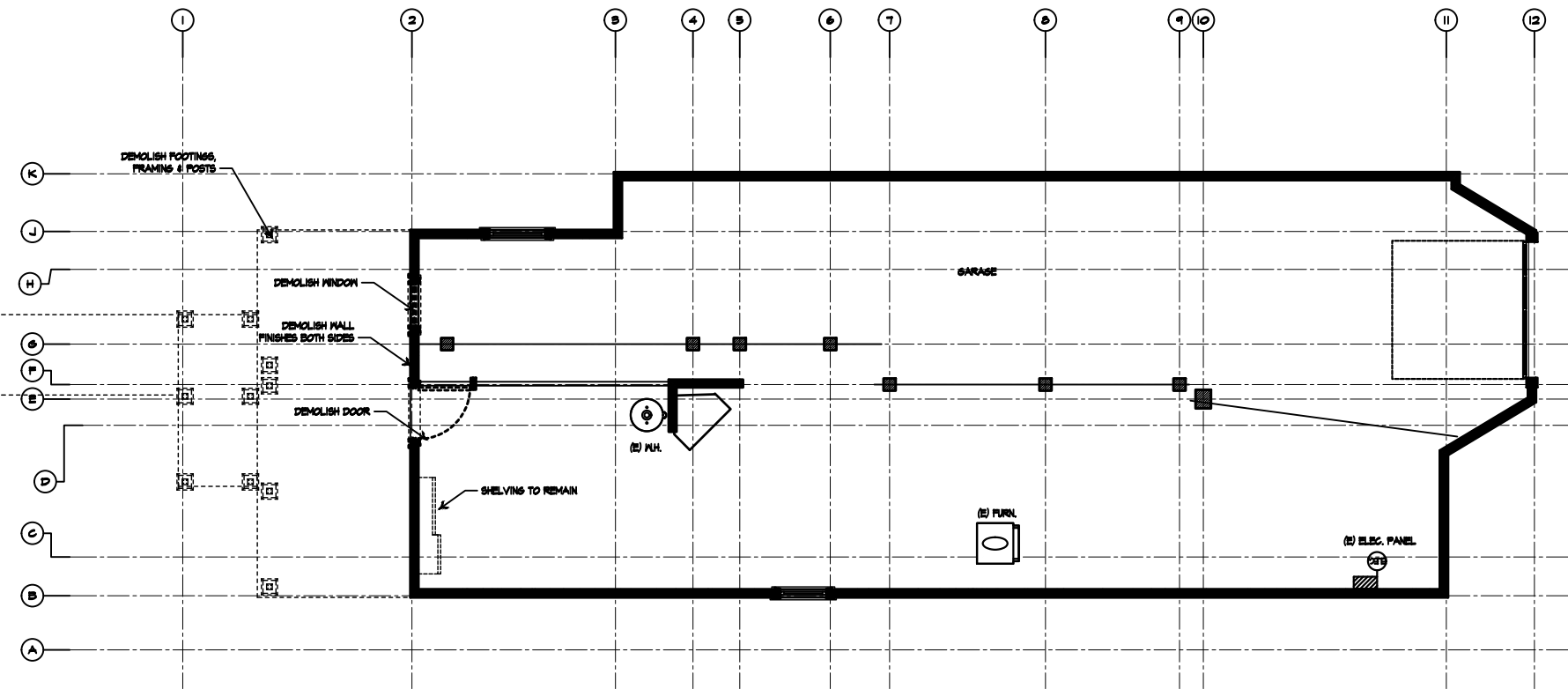
REMOVE ALL ABANDONED PIRING, CABLE, OUTLETS, J-BOXES, CONDUIT, PANELS, ETC. THROUGHOUT AREA OF WORK. PATCH, REPAIR & SAFE-OFF PENETRATIONS AS NECESSARY.



STUDIO TWENTYTWO  
7426 GEARY BLVD.  
SAN FRANCISCO, CA 94121  
TEL: 415.881.7622  
E-MAIL: shad@stn22.com



2 1ST FLOOR DEMOLITION PLAN  
1/4" = 1'-0"



1 GROUND FLOOR DEMOLITION PLAN  
1/4" = 1'-0"

LEGEND

- (B) PARTITION TO REMAIN
  - (D) TO BE DEMOLISHED
  - (N) PARTITION
  - PARTIAL HEIGHT WALL
  - (R) DENOTES EXISTING TO BE RELOCATED
  - (D) DENOTES DEMOLITION
  - (N) DENOTES NEW WORK
- NAME: 01 ROOM NAME AND NUMBER

1857 CHURCH RENOVATIONS  
1857 CHURCH ST. SAN FRANCISCO, CA 94131

DATE	ISSUE
11-20-2021	PROPOSAL
11-20-2021	PERMITS
11-20-2021	PLANS REV 1
11-20-2021	PLANS REV 2
11-20-2021	PLANS REV 3
11-20-2021	PLANS REV 4
11-20-2021	PLANS REV 5
11-20-2021	PLANS REV 6
11-20-2021	PLANS REV 7
11-20-2021	PLANS REV 8
11-20-2021	PLANS REV 9
11-20-2021	PLANS REV 10

DEMOLITION PLANS

SCALE AS NOTED  
0000116

A0.0



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1857 CHURCH RENOVATIONS  
1857 CHURCH ST. SAN FRANCISCO, CA 94131

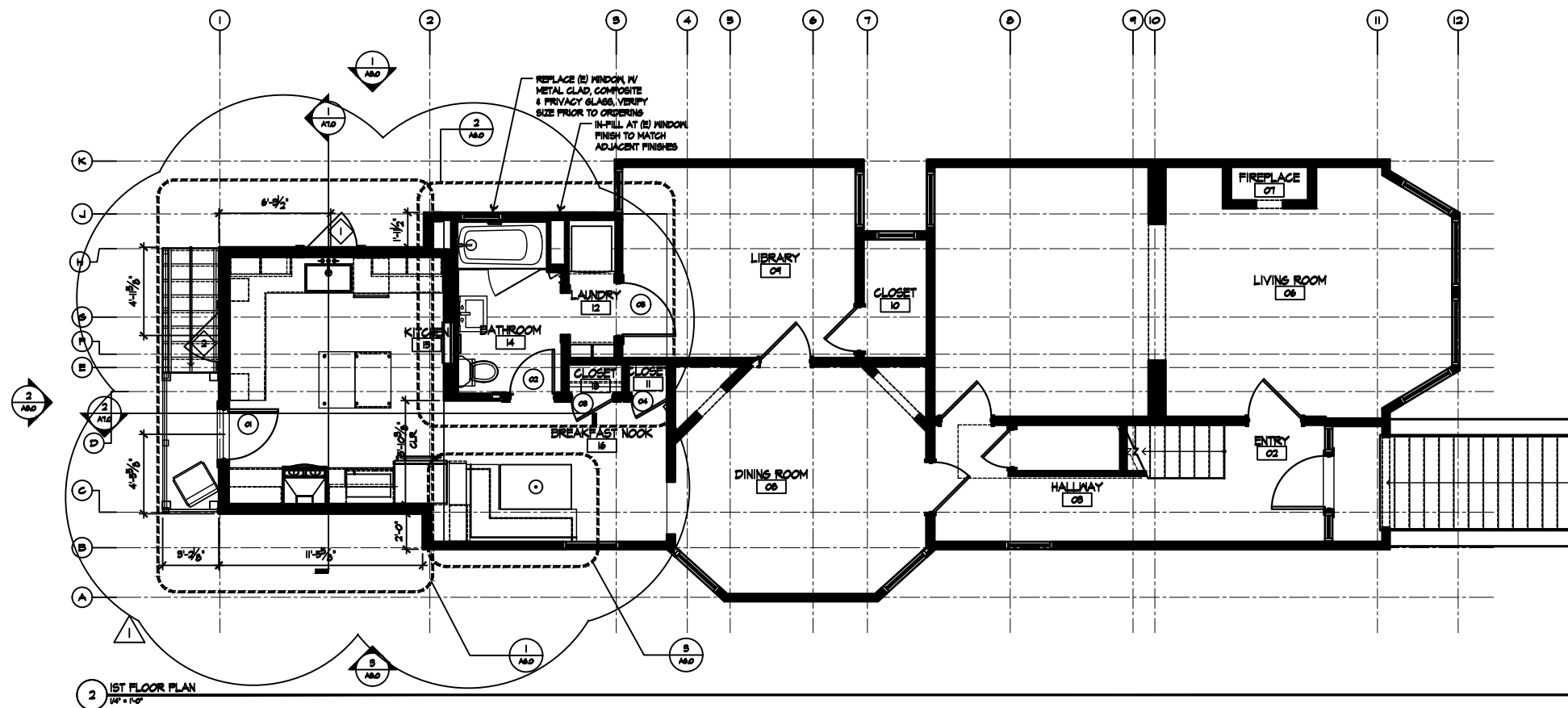
DATE	ISSUE
12-2021	PROLOG
12-2021	BASE PLAN
12-2021	PLAN REVISIONS
12-2021	PRELIMINARY
12-2021	FINAL

FLOOR PLANS

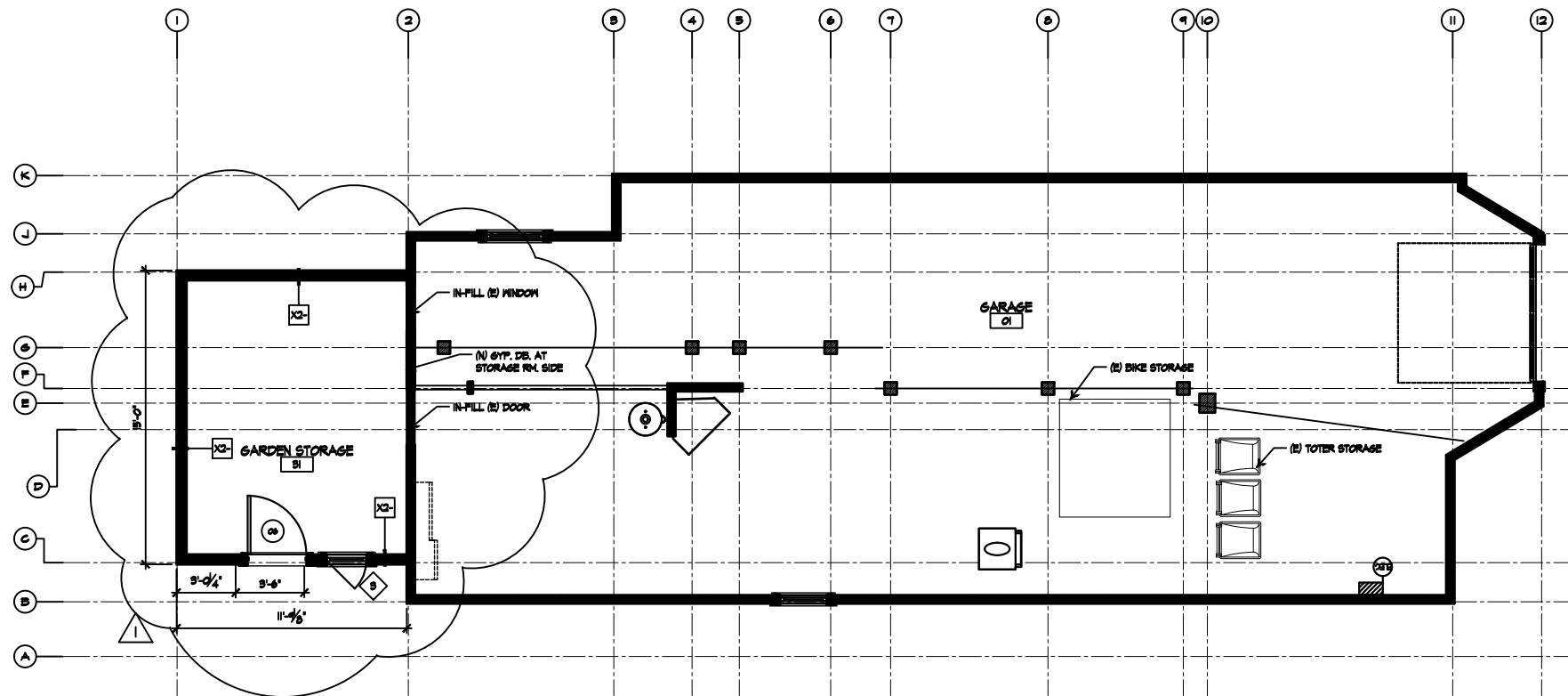
SCALE AS NOTED

000016

A1.0



2 1ST FLOOR PLAN  
1/4" = 1'-0"



1 GROUND FLOOR FLOOR PLAN  
1/4" = 1'-0"

LEGEND

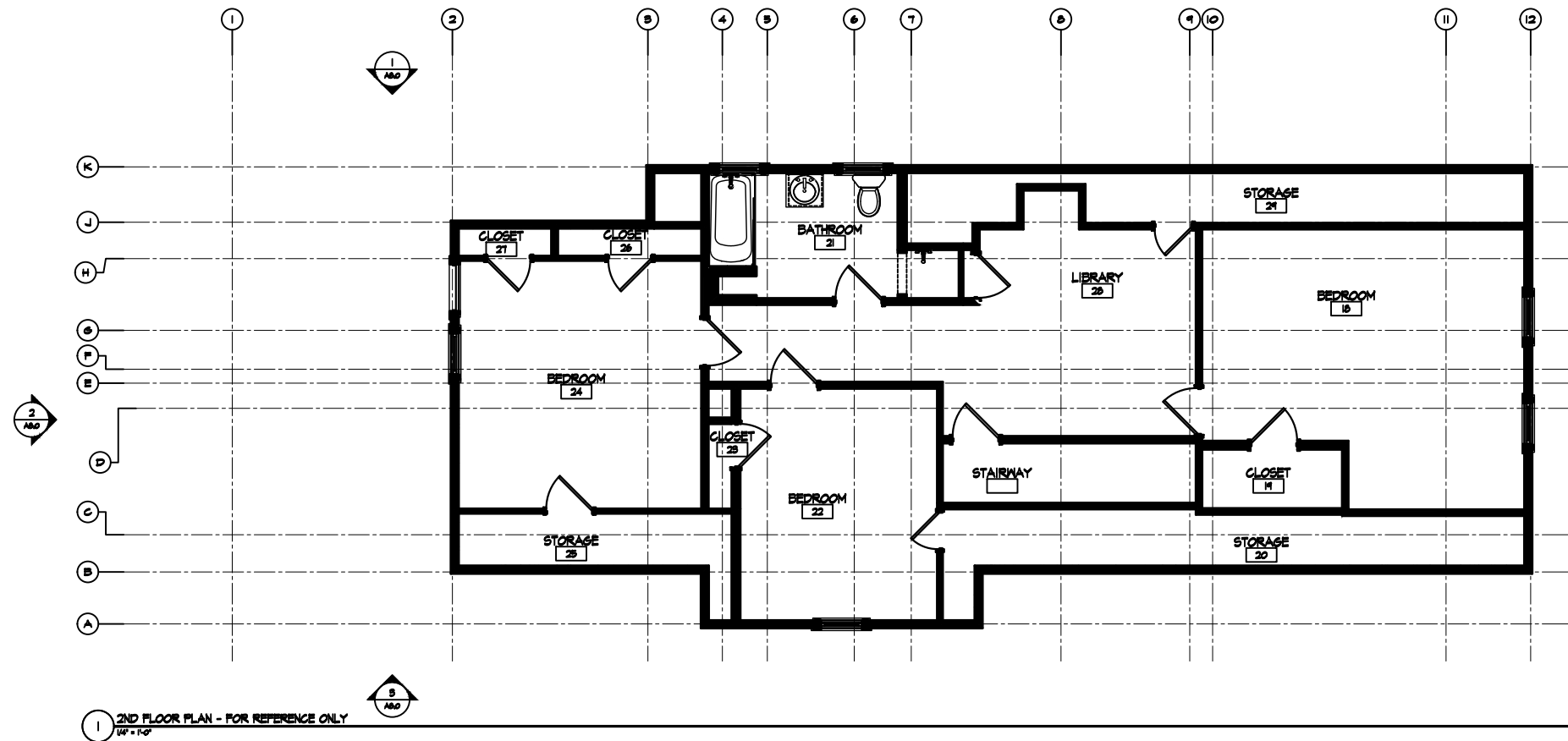
- (E) PARTITION TO REMAIN
- (R) DENOTES EXISTING TO BE RELOCATED
- (N) DENOTES NEW WORK
- (N) PARTITION
- NAME: ROOM NAME AND NUMBER
- HALL TYPE, SEE ADO.6 FOR SCHEDULE
- N.C. AREA
- (N) VGT TILE SEE DETAIL 6/A10.1 FOR BASE & TAIL.1 FOR TRANSITION DETAILS
- (N) MILLWORK
- (E) BIKE STORAGE
- (E) TOWER STORAGE
- DOOR TAG
- HALL MOUNTED FIRE EXTINGUISHER





STUDIO TWENTYTWO  
7426 GEARY BLVD.  
SAN FRANCISCO, CA 94121  
TEL: 415.861.7622  
E-MAIL: shad@sn22.com

1857 CHURCH RENOVATIONS  
1857 CHURCH ST. SAN FRANCISCO, CA 94131



1 2ND FLOOR PLAN - FOR REFERENCE ONLY  
1/8" = 1'-0"

LEGEND

- (R) PARTITION TO REMAIN  
(R) DENOTES EXISTING TO BE RELOCATED  
(N) DENOTES NEW WORK

- (N) PARTITION

NAME:  
01 ROOM NAME AND NUMBER

— B HALL TYPE, SEE A&O'S FOR SCHEDULE

U.C. AREA

(N) VGT TILE SEE DETAIL 6(A&O) FOR BASE  
& 7(A&O) FOR TRANSITION DETAILS

(N) MILLWORK — F.E. HALL MOUNTED FIRE EXTINGUISHER

OR DOOR TAG

DATE	ISSUE
1/23/21	PLANNING REV 1
3/23/21	PRELIM REV 1

2ND FLOOR PLAN

1/8" = 1'-0"

0000116

A.I.



STUDIO TWENTY TWO  
7426 GEARY BLVD.  
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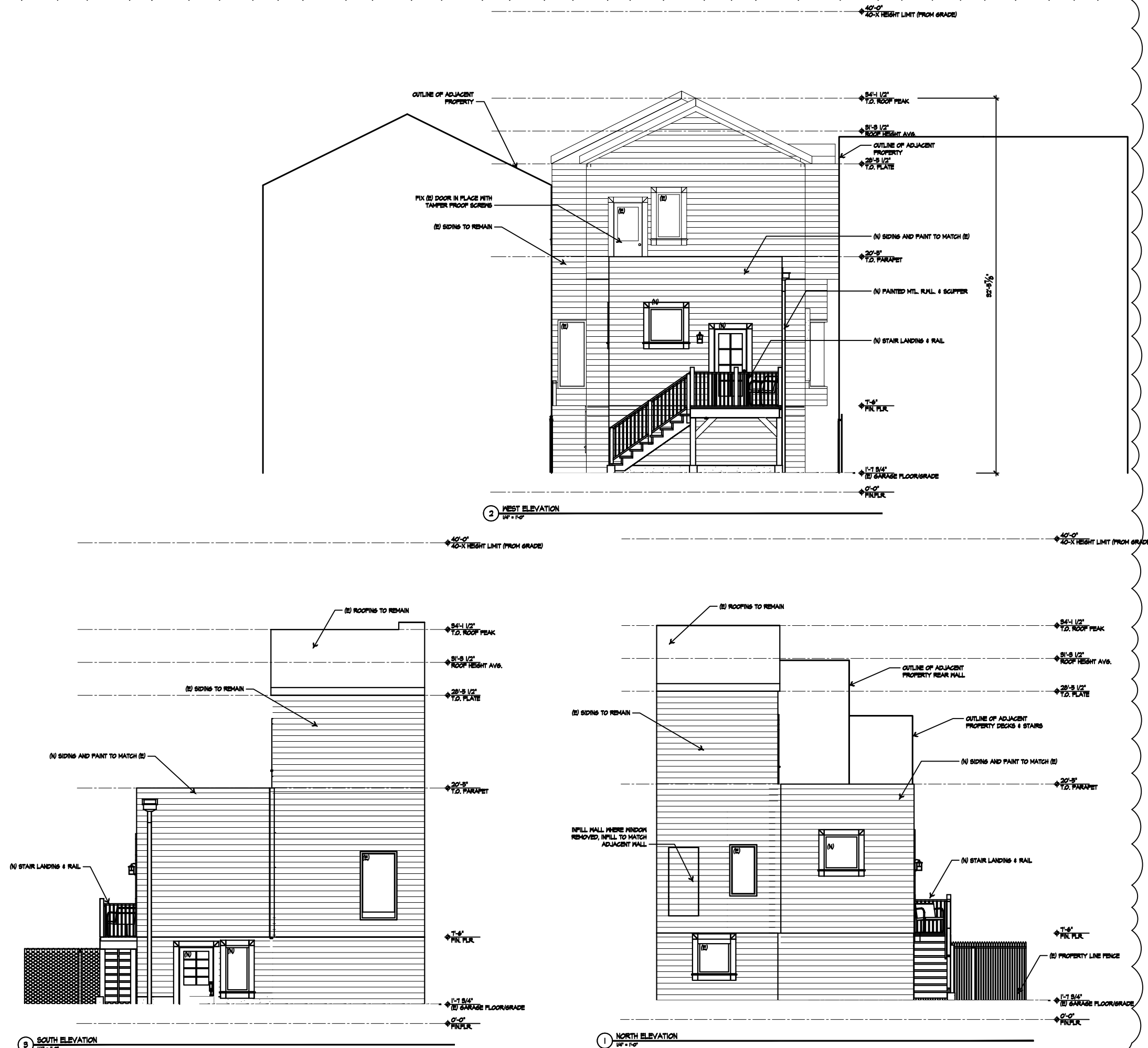
1857 CHURCH RENOVATIONS  
1857 CHURCH ST. SAN FRANCISCO, CA 94131

DATE	ISSUE
8.25.20	PROJING
1.25.21	PERMIT
2.15.21	PLANNING REV 1
3.15.21	PRELIM REV 1
4.15.21	REV 2
5.15.21	REV 3
6.15.21	REV 4
7.15.21	REV 5
8.15.21	REV 6
9.15.21	REV 7
10.15.21	REV 8
11.15.21	REV 9
12.15.21	REV 10

EXTERIOR  
ELEVATIONS

SCALE AS NOTED  
000016

A8.0





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SAN FRANCISCO, CA 94121  
TEL: 415.881.7622  
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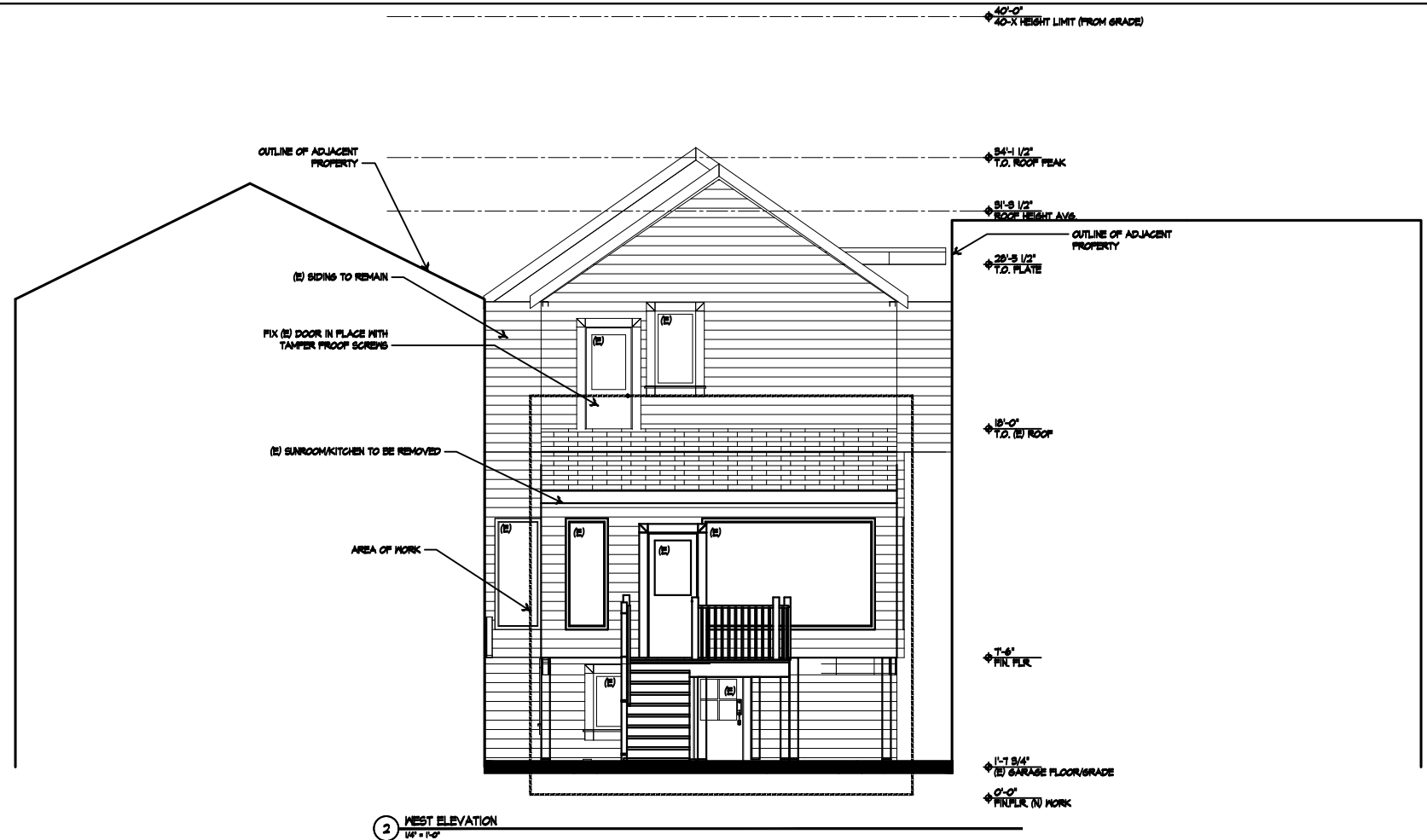
1857 CHURCH RENOVATIONS  
1857 CHURCH ST. SAN FRANCISCO, CA 94131

DATE	ISSUE
1	2/25/20 PLANNING REV 1
2	3/25/20 PRE-APP MEETING
3	
4	
5	
6	
7	
8	
9	
10	

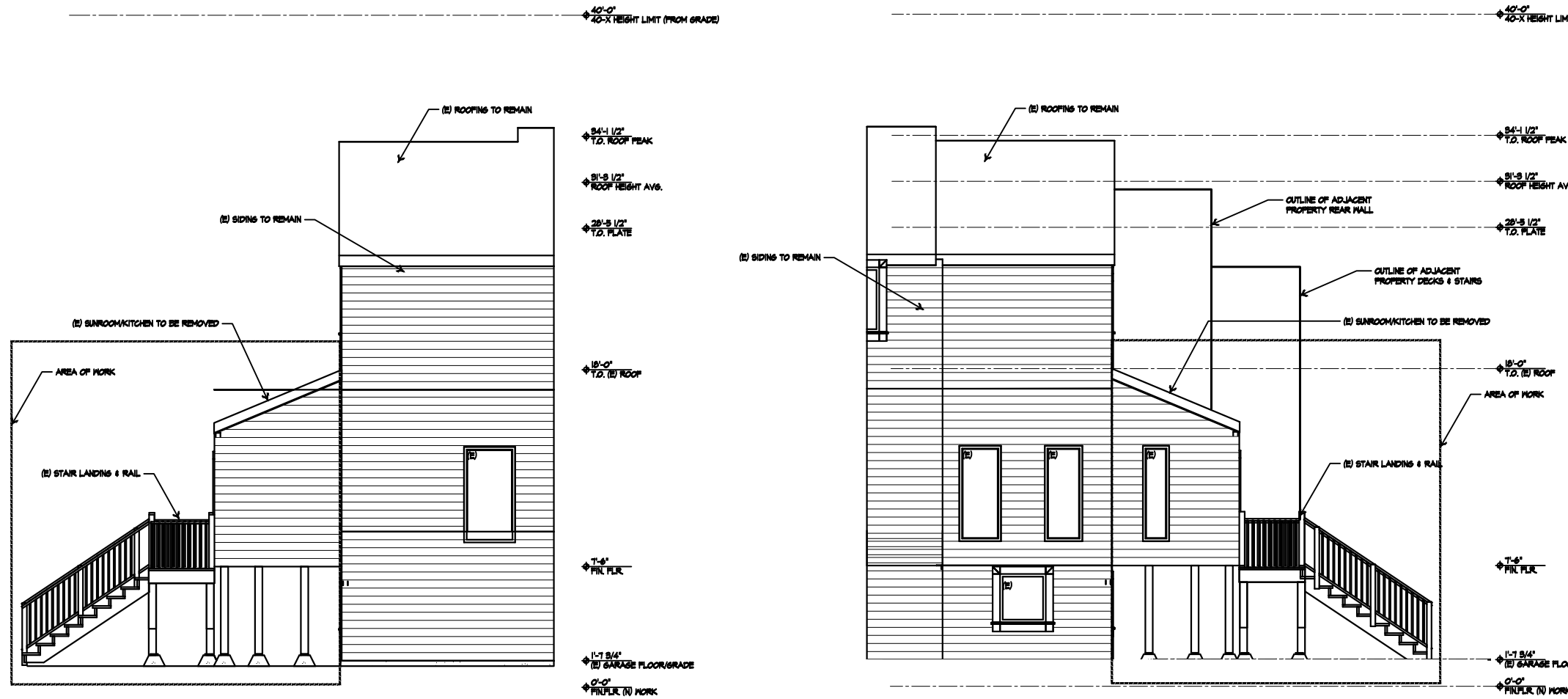
EXTERIOR  
ELEVATIONS  
- EXISTING

18"x 11"  
0000116

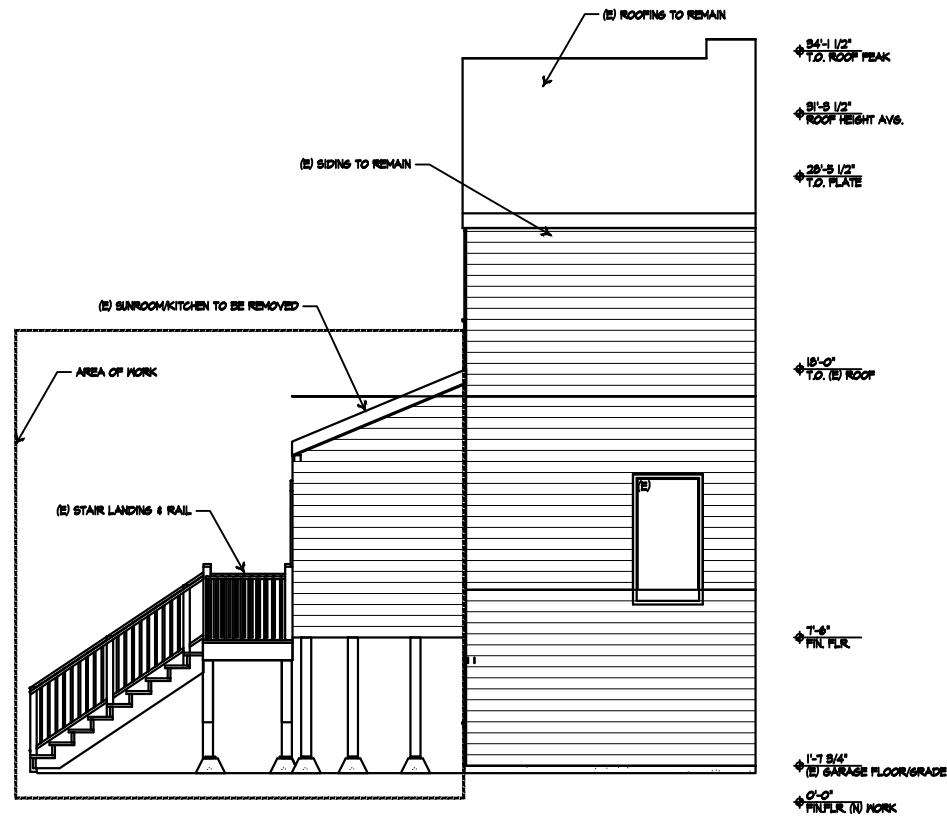
A8.1  
sheet 01/21



2 WEST ELEVATION  
1/4" = 1'-0"



1 NORTH ELEVATION  
1/4" = 1'-0"



3 SOUTH ELEVATION  
1/4" = 1'-0"

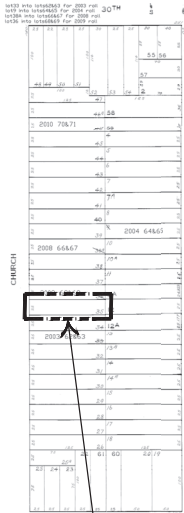
## ABBREVIATIONS

A.D.	AREA DRAIN
ADD.	ADDITIONAL
ADJ.	ADJUSTABLE
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
A.S.F.	ABOVE SUBFLOOR
ASPH.	ASPHALT
BD.	BOARD
BLDS.	BUILDING
BLKS.	BLOCKING
BM.	BEAM
BOT.	BOTTOM
CEM.	CEMENT
CER.	CERAMIC
C.I.	CAST IRON
CLKS.	CAULKING
CLS.	CEILING
CLR.	CLEAR
C.M.U.	CONCRETE MASONRY UNIT
C.O.	CASED OPENING
COL.	COLUMN
CON.	CONCRETE
CONN.	CONNECTION
CONSTR.	CONSTRUCTION
CONT.	CONTINUOUS
CTR.	CENTER
D.	DEMOLISH
DEL.	DOUBLE
DIA.	DIAMETER
DM.	DIMENSION
DN.	DOWN
D.O.	DOOR OPENING
DR.	DOOR
D.S.	DOWN SPOUT
E.	EAST
(E)	EXISTING
EACH	EACH
E.I.	EXPANSION JOINT
EL.	ELEVATION
ELEC.	ELECTRICAL
E.P.	ELECTRICAL PANELBOARD
EQ.	EQUAL
F.B.O.	FURNISHED BY OWNER
F.D.	FLOOR DRAIN
FDN.	FOUNDATION
FIN.	FINISH
FLASH.	FLASHING
FLOOR.	FLOORESCENT
FLR.	FLOOR
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.S.	FACE OF STUDS
FTG.	FOOTING
FURN.	FURNISH
FUT.	FUTURE
GA.	GAUGE
GALV.	GALVANIZED
GL.	GLASS
GLU-LAM	GLUE LAMINATED
GRD.	GROUND
GRD.	GRADE
G.A.B.	GYPSEUM WALL BOARD
H.B.	HOSE BIBB
H.C.	HOLLOW CORE
HDRW.	HARDWOOD
HGT.	HEIGHT
H.M.	HOLLOW METAL
HORZ.	HORIZONTAL
J.B.	JUNCTION BOX
JT.	JOINT
LAM.	LAMINATE
L.T.	LIGHT
L.V.C.	LIGHT WEIGHT CONCRETE
MAX.	MAXIMUM
MECH.	MECHANICAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTD.	COATED
MTL.	METAL
N.	NORTH
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIMENSION
OPNS.	OPENING
OPP.	OPPOSITE
O.V.	OVERALL
PL.	PLATE
PLAS.	PLASTER
PLYWD.	PLYWOOD
PREFAB.	PREFABRICATED
PTD.	PAINTED
QTY.	QUANTITY
R.	RELOCATE
RAD.	RADIUS
R.D.	ROOF DRAIN
REF.	REFERENCE
REINF.	REINFORCED
REQ.	REQUIRED
RM.	ROOM
R.O.	ROUGH OPENING
R.N.L.	RAIN WATER LEADER
S.	SOUTH
S.C.	SOLID CORE
SCHED.	SCHEDULE
SECT.	SECTION
SHT.	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATIONS
SQ.	SQUARE
SQ. FT.	SQUARE FOOT (FEET)
S.S.	STAINLESS STEEL
STD.	STANDARD
STL.	STEEL
STRUCT.	STRUCTURAL
S.S.D.	SEE STRUCTURAL DRAWINGS
T.B.D.	TO BE DETERMINED
THK.	THICK
TYP.	TYPICAL
T + G	TONGUE & GROOVE
UL.	UNDERWRITERS LABORATORY
UN.	UNLESS OTHERWISE NOTED
VAR.	VARIABLE
V.B.	VAPOR BARRIER
V.C.T.	VINYL COMPOSITE TILE
VEN.	VEENER
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
W.	WEST
W.	WITH
W.C.	WATER CLOSET
W.D.	WOOD
WH.	WATER HEATER
W/D.	WASHING MACHINE & DRYER
W/O.	WITHOUT
W.P.	WATERPROOF

## PROJECT NOTES

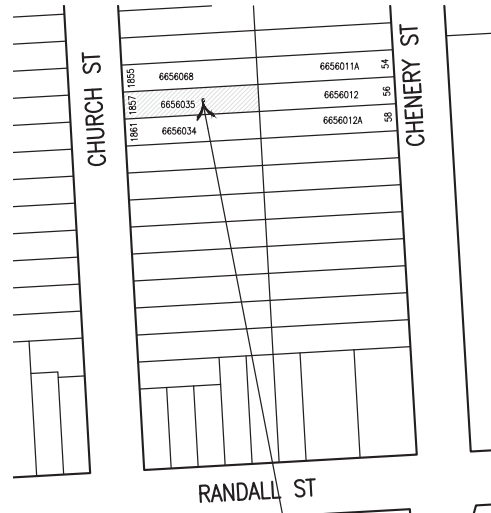
- THE CONTRACT DOCUMENTS INCLUDE THE WORKING DRAWINGS, ADDENDA, MODIFICATIONS, AND THE CONDITIONS OF THE CONSTRUCTION CONTRACT.
- CONTRACTOR SHALL PROVIDE MANUFACTURER'S SPECIFICATIONS, INSTALLATION INSTRUCTIONS, SHOP DRAWINGS AND SAMPLES FOR REVIEW AND APPROVAL OF ALL MATERIALS AND METHODS TO BE USED PRIOR TO ORDERING OR PROCEEDING WITH THE WORK.
- EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THE WORK SHALL BE MADE IMMEDIATELY BY THE CONTRACTOR WHO SHALL COMPARE IT WITH THE DRAWINGS AND VERIFY THE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT HIS WORK. NO ALLOWANCE SHALL BE MADE FOR ANY EXTRA EXPENSE TO WHICH HE MAY BE DUE BECAUSE OF FAILURE OR NEGLECT ON HIS PART TO MAKE SUCH EXAMINATIONS. ANY CONFLICTS OR OMISSIONS ETC. SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
- ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH ANY WORK.
- ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR SHALL NOT SCALE DRAWINGS. QUESTIONS REGARDING THE DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO ANY START OF WORK.
- HORIZONTAL DIMENSIONS ARE TO/FROM FINISHED FACE OF CONSTRUCTION EXCEPT AS NOTED.
- VERTICAL DIMENSIONS ARE FROM TOP OF FLOOR FINISH EXCEPT WHERE NOTED TO BE FROM TOP OF FLOOR SLAB.
- DIMENSIONS ARE NOT ADJUSTABLE WITHOUT THE APPROVAL OF OWNER UNLESS NOTED +/-.
- DISCREPANCIES BETWEEN SPECIFICATIONS, GENERAL PLAN OR SHEET NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION OR RESOLUTION.
- REFERENCES TO MAKES, BRANDS, MODELS, ETC. IS TO ESTABLISH TYPE AND QUALITY DESIRED. SUBSTITUTION OF ACCEPTABLE EQUALS WILL NOT BE PERMITTED UNLESS SPECIFICALLY NOTED OTHERWISE OR WHEN MADE ACCORDING TO PROCEDURES FOR SUBSTITUTIONS.
- CONTRACTOR SHALL SUBMIT TO THE OWNER FOR HIS/HER REVIEW SPECIFICATIONS FOR ANY ITEM INTENDED TO BE USED AS A SUBSTITUTION FOR ITEMS SPECIFIED IN THE CONTRACT DOCUMENTS. CONTRACTOR SHALL NOT PROCEED UNTIL THE OWNER HAS REVIEWED THE SUBSTITUTION.
- ALL WORK SHALL COMPLY WITH THE APPLICABLE CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL COMPLY. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO THE CURRENT APPLICABLE EDITIONS OR EDITIONS OF THE FOLLOWING (OR OTHERWISE NOTED):
  - UNIFORM BUILDINGS CODE
  - NATIONAL FIRE PROTECTION ASSOCIATION
  - UNIFORM MECHANICAL CODE
  - UNIFORM PLUMBING CODE
  - NATIONAL ELECTRICAL CODE
  - AMERICAN NATIONAL STANDARDS INSTITUTE
  - STATE OF CALIFORNIA ENERGY REGULATIONS FOR RESIDENTIAL BUILDINGS
  - TITLE 24 AND THE CALIFORNIA STATE BUILDING CODE
  - AMERICAN WITH DISABILITIES ACT
  - LOCAL MUNICIPAL ORDINANCES AND AMENDMENTS TO THE CODES.
- ABBREVIATIONS USED IN REFERRING TO STANDARDS THAT APPLY TO THE WORK INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, THE FOLLOWING:
  - AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM)
  - AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)
  - AMERICAN WELDING SOCIETY (AWS)
  - AMERICAN CONCRETE INSTITUTE (ACI)
  - AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)
  - ARCHITECTURAL ALUMINUM MANUFACTURER'S ASSOCIATION (AAMA)
  - ALUMINUM ASSOCIATION, INC (AA)
  - CONCRETE REINFORCING STEEL INSTITUTE (CRSI)
  - NATIONAL ASSOCIATION OF ARCHITECTURAL METAL MANUFACTURERS (NAAMM)
  - NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)
  - WOODWORK INSTITUTE OF CALIFORNIA (WCI)
- "FURNISH" MEANS SUPPLY ONLY, FOR OTHER TO PUT IN PLACE.
- "INSTALL" MEANS SUPPLIED BY OTHERS, TO BE INSTALLED BY THE CONTRACTOR.
- "PROVIDE" MEANS FURNISH AND INSTALL, COMPLETE AND IN PLACE.
- "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR CONDITIONS NOTED. CONTRACTOR TO VERIFY DIMENSIONS AND ORIENTATION.
- "TYPICAL" MEANS IDENTICAL FOR CONDITIONS NOTED.
- CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- CONTRACTOR SHALL MAIVE "COMMON PRACTICE" AND "COMMON USAGE" AS CONSTRUCTION CRITERIA WHEREVER DETAILS AND CONTRACT DOCUMENTS OR GOVERNING CODES, ORDINANCES ETC. REQUIRE GREATER QUANTITY OR BETTER QUALITY THAN COMMON PRACTICE OR COMMON USAGE WOULD REQUIRE.
- CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIALS IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE, CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY TO ALLOW THE OWNER A REASONABLE AMOUNT OF TIME TO SELECT A REASONABLE SUBSTITUTE.
- THE CONTRACTOR SHALL "STRIKE OUT" LOCATION OF ALL WALLS, DOORS, WINDOWS, SPOFFS, RAISED FLOOR GRIDS, HOUSEKEEPING AND UTILITY EQUIPMENT PADS, AND OTHER MAJOR ELEMENTS, OR AS DIRECTED BY THE OWNER AT THE BEGINNING OF THE PROJECT BEFORE PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING AS REQUIRED TO THE EXISTING STRUCTURE.
- ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR, EXCEPT WHERE NOTED. THE CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURERS' REQUIREMENTS. WORK REQUIRED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT ETC. NECESSARY TO COMPLETE THIS PROJECT. ALL MATERIALS SHALL BE NEW AND UNUSED, UNLESS SPECIFICALLY NOTED, AND BE OF A QUALITY ACCEPTABLE BY INDUSTRY STANDARDS.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF THE CONSTRUCTION FOR USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. THE CONTRACTOR, IN ASSUMING RESPONSIBILITY FOR THE WORK INDICATED, SHALL COMPLY WITH THE LETTER IN WHICH THEY WERE DRAWN.
- THE CONTRACTOR SHALL TAKE ALL REASONABLE CONTROL AND PRECAUTION TO ELIMINATE DUST, NOISE, ODOR, NUISANCE AND THE LIKE TO THE PREMISES AND OCCUPANCY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WATER MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OF DUST FROM AFFECTING IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE.
- THE CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS FOR ITEMS TO BE FURNISHED OR INSTALLED BY OWNER. PROVIDE PROTECTION FOR THESE PROVISIONS UNTIL COMPLETION OF THE PROJECT. GENERAL CONTRACTOR TO COORDINATE N.I.C. ITEMS WITH APPROPRIATE TRADES.
- CONTRACTOR TO FOLLOW MANUFACTURER'S RECOMMENDED SPECIFICATIONS AND INSTALLATION PROCEDURES. IF THESE ARE CONTRARY TO THE CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING IMMEDIATELY, TO RESOLVE DISCREPANCIES BEFORE PROCEEDING.
- ONLY NEW ITEMS OF RECENT MANUFACTURE, OF STANDARD QUALITY, FREE FROM DEFECT, WILL BE PERMITTED ON THE WORK. REJECTED ITEMS SHALL BE REMOVED IMMEDIATELY FROM THE WORK AND REPLACED WITH ITEMS OF THE QUALITY SPECIFIED. FAILURE TO REMOVE REJECTED MATERIALS AND EQUIPMENT SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR QUALITY AND CHARACTER OF ITEMS USED NOR FROM ANY OTHER OBLIGATION IMPOSED ON HIM BY THE CONTRACT.
- THE FINISHED WORK SHALL BE FIRM, WELL ANCHORED IN TRUE ALIGNMENT, PLUMB, LEVEL, WITH SMOOTH, CLEAN, UNIFORM APPEARANCE WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS OR DISCOLORATION. JOINTINGS SHALL BE TIGHT FITTING, NEAT AND WELL SCRUBBED. THE FINISH WORK SHALL NOT HAVE EXPOSED UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION IN CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.
- ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE AND THE CONTRACTOR IS RESPONSIBLE FOR IMPROVING THEM ACCORDING TO THESE CONDITIONS. THE DRAWINGS SHOW ONLY SPECIAL CONDITIONS TO ASSIST THE CONTRACTOR. THEY DO NOT ILLUSTRATE EVERY SUCH CONDITION AND DETAIL.
- CONSTRUCTION ACTIVITY SHALL NOT BEGIN BEFORE 8 AM OR CONTINUE LATER THAN 1 PM.
- DEMOLITION: THE CONTRACTOR SHALL ENTIRELY DEMOLISH AND REMOVE FROM SITE ANY STRUCTURE OR PORTION THEREOF INDICATED TO BE REMOVED.
- SALVAGE: ALL ITEMS DEEMED SALVAGEABLE BY THE OWNER WILL EITHER HAVE BEEN INDICATED ON THE DRAWINGS, REMOVED PRIOR TO THE START OF DEMOLITION OR WILL BE DIRECTED BY THE OWNER TO BE STORED BY THE CONTRACTOR AND SHALL REMAIN THE PROPERTY OF THE OWNER. ITEMS TO BE RELOCATED WILL HAVE BEEN INDICATED ON THE DRAWINGS.
- NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY, OR DEFICIENT IN ANY REQUIREMENTS OF DRAWINGS AND SPECIFICATIONS WILL BE ACCEPTABLE IN CONSEQUENCE OF OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. NO WILL. PRESENCE OF INSPECTORS ON WORK SITE RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR SECURING QUALITY AND PROGRESS OF WORK AS REQUIRED BY CONTRACT. DEFECTIVE WORK REVEALED WITH TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT. NO PAYMENT WHETHER PARTIAL OR FINAL SHALL BE CONSIDERED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
- ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, INSTALLATION AND MATERIAL FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION.
- ALL MATERIALS FOR USE ON THE PROJECT SHALL BE STORED WITHIN THE PROJECT SITE.
- ALL QUESTIONS REGARDING THE PROJECT EITHER DURING BIDDING PHASE OR DURING CONSTRUCTION SHALL BE DIRECTED TO THE ARCHITECT.
- ANY DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
- PROJECT CLOSEOUT:
  - A. CONTRACTOR SHALL REVIEW PROJECT WITH THE OWNER TO ENSURE THAT ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS HAVE BEEN FOLLOWED.
  - B. CONTRACTOR SHALL OBTAIN ALL REQUIRED CERTIFICATES AND NOTICES.
  - C. ALL WORK PERFORMED SHALL BE CLEAN AND READY FOR USE.
  - D. UPON COMPLETION, THE ARCHITECT SHALL, AT THE OWNER'S REQUEST, COMPILE A PROJECT PUNCH LIST NOTING ANY CORRECTIONS OR OMISSIONS. ARCHITECT'S ACCEPTANCE WILL BE CAUSE FOR FINAL PAYMENT, UNLESS SPECIFICALLY DETERMINED OTHERWISE BY OWNER.

## ASSESSORS MAP



SITE LOCATION

## VICINITY MAP



SITE LOCATION

# 1857 CHURCH RENOVATIONS

## 1857 CHURCH ST. SAN FRANCISCO, CA 94131

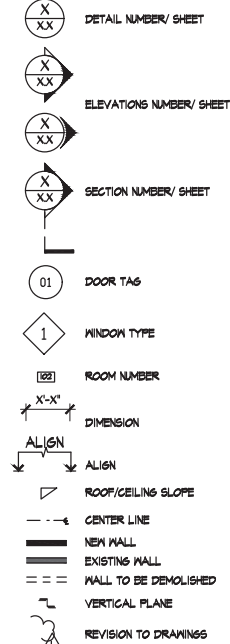
## PROJECT DATA

PROJECT ADDRESS: 1857 CHURCH ST. SAN FRANCISCO, CA 94131 SAN FRANCISCO, CA 94101	PROJECT DESCRIPTION: KITCHEN & BATH REMODEL, SELECTIVE DEMOLITION AND BUILD BACK OF (B) SPACES. NO WORK TO FRONT FACADE WORK LIMITED TO KITCHEN/BATH AREA AT REAR. MEP UNDER SEPARATE PERMIT VARIANCE APPLICATION
APN: CONSTRUCTION TYPE: OCCUPANCY: STORIES: ZONING:	6656-035 V-B R-3 3 RH-2
HEIGHT DISTRICT: BUILDING HEIGHT:	40-X 31'-9"
PROJECT SQUARE FEET:	240 sq.
DEFERRED SUBMITTALS:	MECHANICAL, ELECTRICAL, PLUMBING,
AREA PER FLOOR: GROUND FLOOR EXISTING - 1146 SF. GROUND FLOOR NEW - 1248 SF. 1ST FLOOR EXISTING - 1280 SF. 1ST FLOOR NEW - 1281 SF. 2ND FLOOR EXISTING - 1214 SF.	TOTAL EXISTING = 3675 SF. TOTAL NEW = 3849 SF. TOTAL ADDITIONAL = 173
USABLE OPEN SPACE EXISTING - 1121 SF. USABLE OPEN SPACE NEW - 1091 SF.	OFF STREET PARKING SPACES = 1 OFF STREET BICYCLE PARKING = 4
APPLICABLE CODES: (N/SAN FRANCISCO AMENDMENTS) BUILDING CODE MECHANICAL CODE PLUMBING CODE ELECTRICAL CODE ENERGY CODE	2014 C.B.C. 2014 M.C.G. 2014 C.P.C. 2014 C.E.C. 2014 C.E.C.

## DRAWING INDEX

Sheet Number	Sheet Title
ANO.0	COVER SHEET
ASO.1	SITE & PLOT PLANS
AO.0	DEMOLITION PLANS
AI.0	FLOOR PLANS
AI.1	2ND FLOOR PLAN
AT.0	SECTIONS
AB.0	EXTERIOR ELEVATIONS
AB.1	EXTERIOR ELEVATIONS - EXISTING
AB.0	SITE PHOTOS

## SYMBOL LEGEND



## PROJECT DIRECTORY

CLIENT: FLORETTE KAPLAN 1857 CHURCH ST. SAN FRANCISCO, CA 94131 --- TARASFB355@GMAIL.COM	ARCHITECT: STUDIO TWENTYTWO 7426 GEARY BLVD. SAN FRANCISCO CA 94121 SHAD BEAZER 415.347.6447
LANDLORD: --- --- --- ---	GENERAL CONTRACTOR: T.B.D. --- --- ---

## HAZARDOUS MATERIALS NOTES

- OWNER ACKNOWLEDGES THAT ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, REMOVAL, PRESENCE HANDLING, DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS SUBSTANCES, MATERIALS, AND WASTES IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO: ASBESTOS, ASBESTOS PRODUCTS, PCB MOLD, OR OTHER TOXIC SUBSTANCES.
- THE OWNER ACKNOWLEDGES THAT IT ACCEPTS RESPONSIBILITY FOR NOTIFYING THE APPROPRIATE FEDERAL, STATE, AND LOCAL GOVERNING AGENCIES FOR ANY DEMOLITION, CONSTRUCTION, OR REPAIR WORK.
- ANY QUESTIONS THAT ARISE RELATED TO ASBESTOS SHALL BE REFERRED TO THE OWNER FOR RESOLUTION. ARCHITECT SHALL NOT BE REQUIRED TO DO ANY WORK NOR RENDER ANY OPINIONS RELATED TO ASBESTOS.
- THE OWNER SHALL RETAIN AN INDEPENDENT CONSULTANT WHO IS TRAINED AND EXPERIENCED IN IDENTIFICATION AND SURVEY OF EXISTING SITES PRIOR TO START OF DEMOLITION CONSTRUCTION.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL REPORT THE PRESENCE OF ANY MATERIAL OR ASSEMBLY SUSPECTED TO CONTAIN ASBESTOS UPON DISCOVERY. THE WORK SHALL BE CARRIED OUT PER THE CONSULTANTS' RECOMMENDATIONS.

## BUILDING NOTES



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E-MAIL: shad@sn22.com

STUDIO TWENTYTWO

1857 CHURCH RENOVATIONS

1857 CHURCH ST. SAN FRANCISCO, CA 94131

DATE	ISSUE
12/28/20	PROJ
1/1/21	REV 1
1/1/21	PLANNING REV 1
1/1/21	PREP MEETING
1/1/21	VARIANCE
1/1/21	
1/1/21	
1/1/21	
1/1/21	
1/1/21	
1/1/21	

COVER SHEET

NO SCALE

000016

ANO.0





1857 CHURCH RENOVATIONS  
1857 CHURCH ST. SAN FRANCISCO, CA 94131

DATE	ISSUE
9.29.20	PRICING
7.19.20	PERMIT
2.9.21	PLANNING REV 1
9.12.21	PRE-APP MEETING
4.21.21	VARIANCE

SITE &  
PLOT  
PLANS

SCALE AS NOTED

ASO. |

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1857 CHURCH ST. SAN FRANCISCO, CA 94131

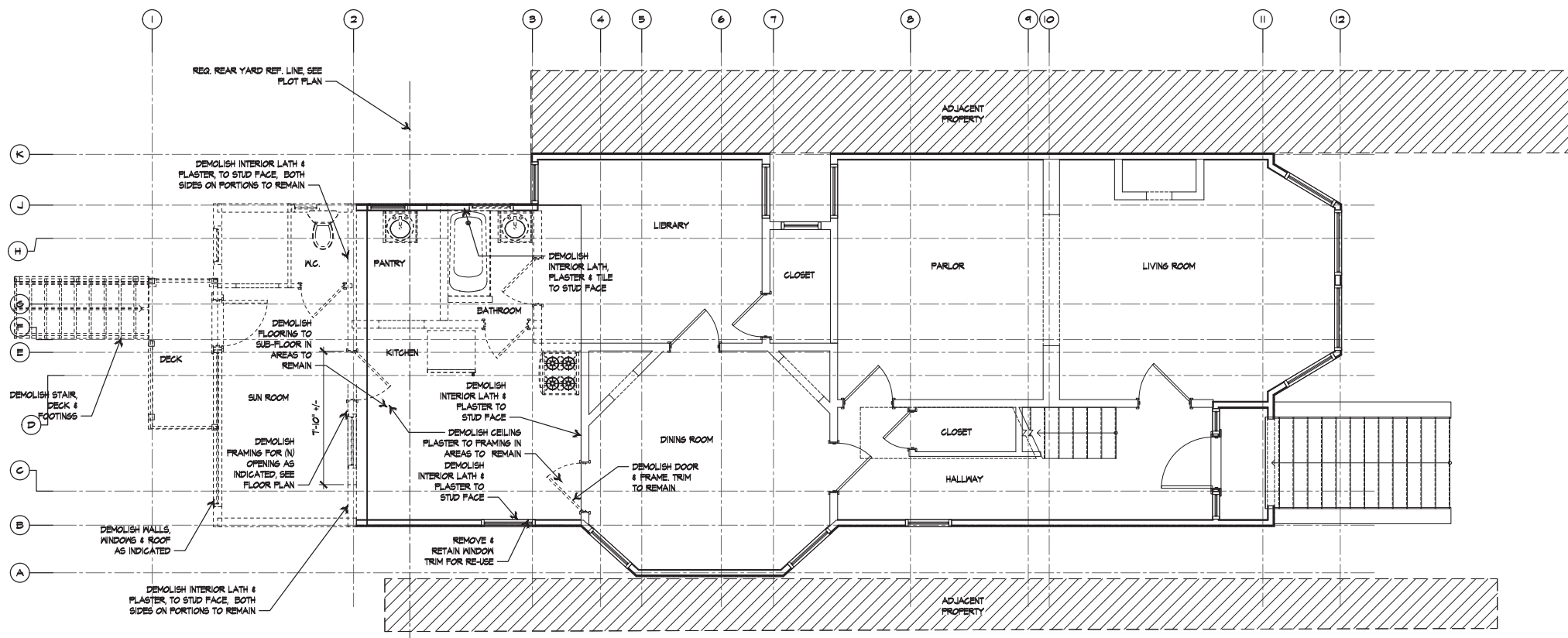
DATE	ISSUE
8.28.20	PLANS
11.30.20	REVIT
02.23.21	PLANNING REV 1
PRE-AP MEETING	

DEMOLITION PLANS

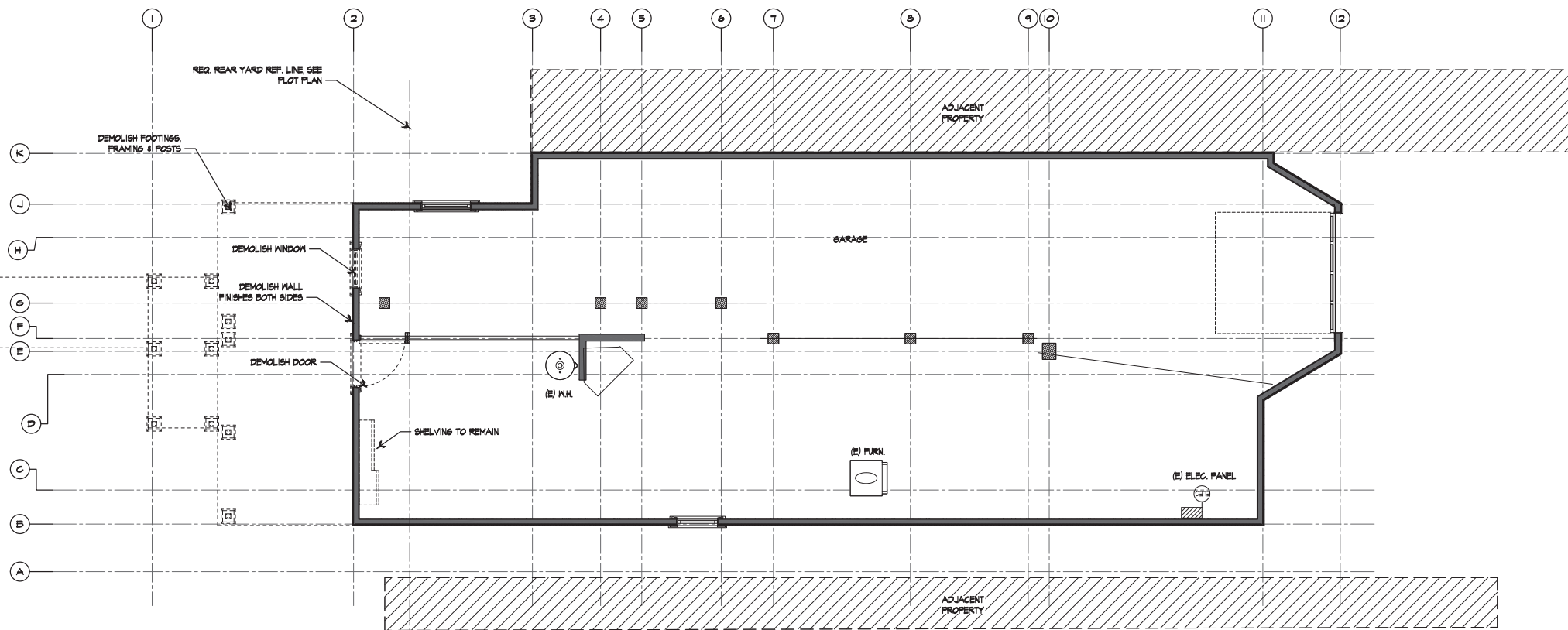
SCALE AS NOTED  
000016

A0.0

REMOVE ALL ABANDONED WIRING, CABLE, OUTLETS, J-BOXES, CONDUIT, PANELS, ETC. THROUGHOUT AREA OF WORK. PATCH, REPAIR & SAFE-OFF PENETRATIONS AS NECESSARY.



2 1ST FLOOR DEMOLITION PLAN  
1/4" = 1'-0"



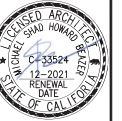
1 GROUND FLOOR DEMOLITION PLAN  
1/4" = 1'-0"

LEGEND

- (E) PARTITION TO REMAIN
- (E) TO BE DEMOLISHED
- (N) PARTITION
- PARTIAL HEIGHT WALL
- (R) DENOTES EXISTING TO BE RELOCATED
- (D) DENOTES DEMOLITION
- (N) DENOTES NEW WORK

NAME:  
01

ROOM NAME AND NUMBER



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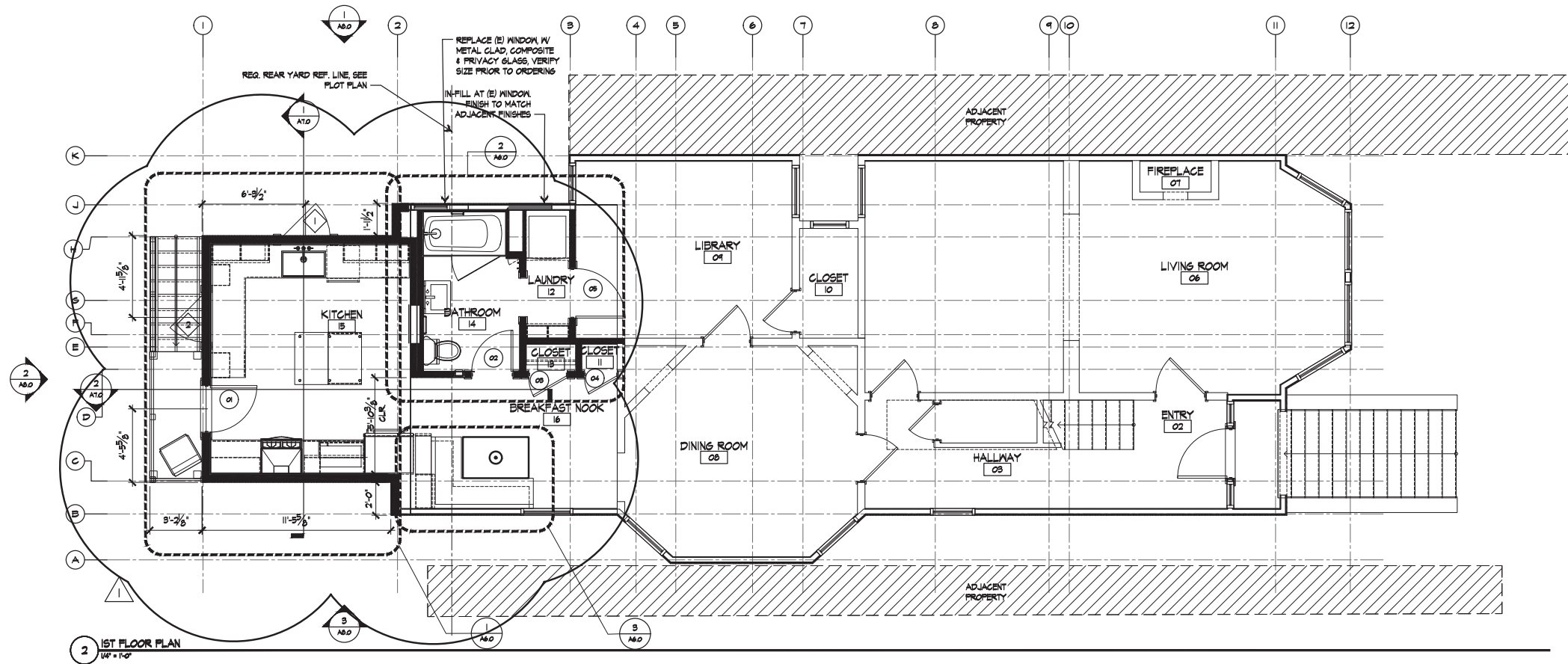
1857 CHURCH RENOVATIONS  
1857 CHURCH ST. SAN FRANCISCO, CA 94131

FLOOR PLANS

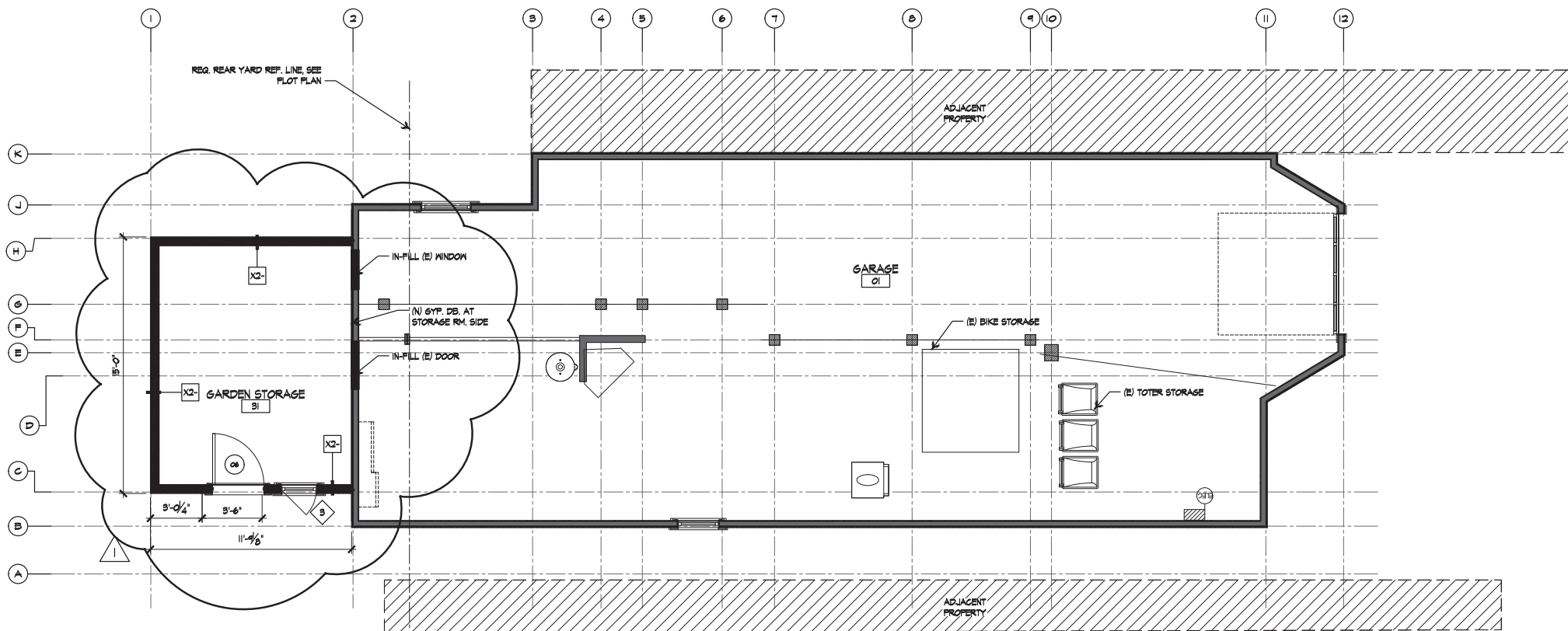
SCALE AS NOTED

000016

A1.0



2 1ST FLOOR PLAN  
1/4" = 1'-0"



1 GROUND FLOOR FLOOR PLAN  
1/4" = 1'-0"

LEGEND

(E) PARTITION TO REMAIN  
(R) DENOTES EXISTING TO BE RELOCATED  
(N) DENOTES NEW WORK

(N) PARTITION

NAME  
01 ROOM NAME AND NUMBER

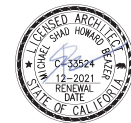
01 WALL TYPE, SEE A1.0 FOR SCHEDULE

N.I.C. AREA

(N) VCT TILE SEE DETAIL 6/A1.0 FOR BASE  
& T/A1.0 FOR TRANSITION DETAILS

(N) MILLWORK F.E. WALL MOUNTED FIRE EXTINGUISHER

01 DOOR TAG



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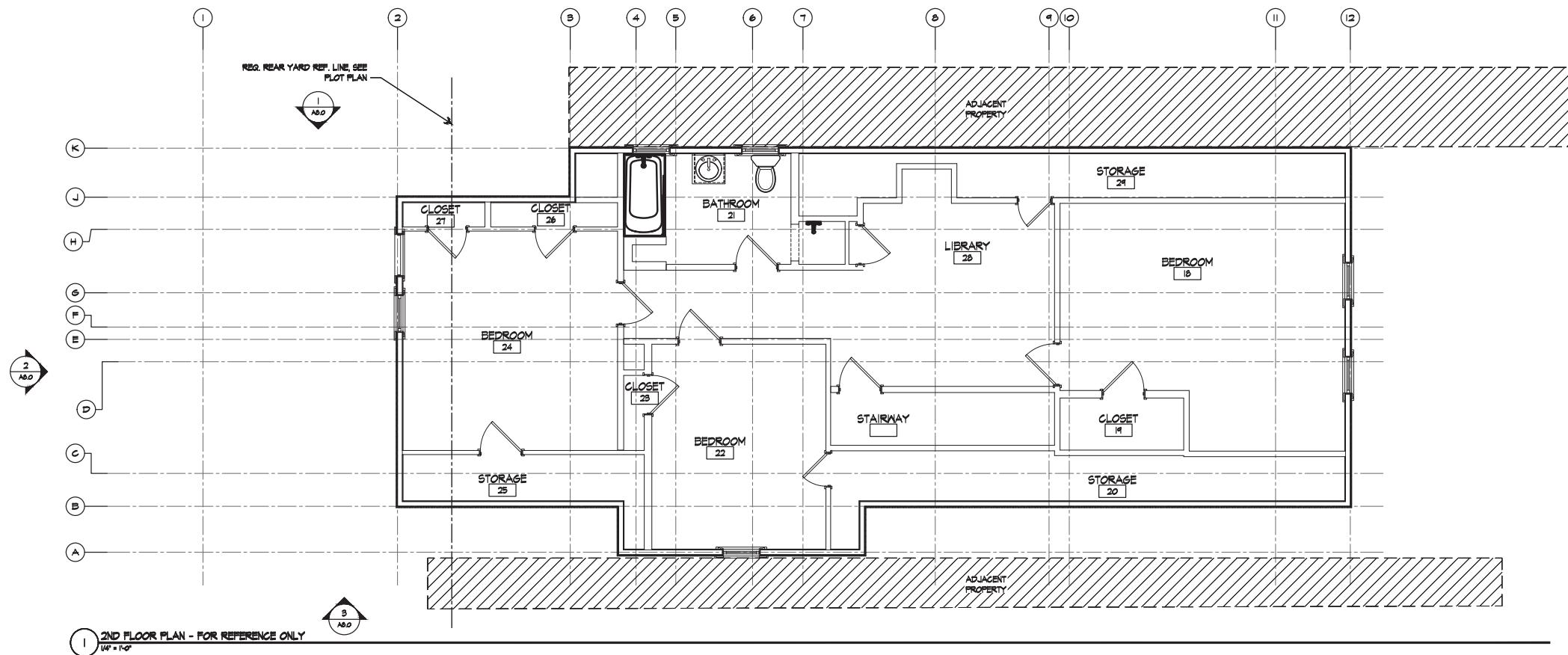
2ND FLOOR PLAN

1/8" = 1'-0"

000016

A.I.I

sheet - of 27



LEGEND

- (E) PARTITION TO REMAIN  
(R) DENOTES EXISTING TO BE RELOCATED  
(N) DENOTES NEW WORK

- (N) PARTITION

- NAME  
OI ROOM NAME AND NUMBER

- WALL TYPE, SEE A0.6 FOR SCHEDULE

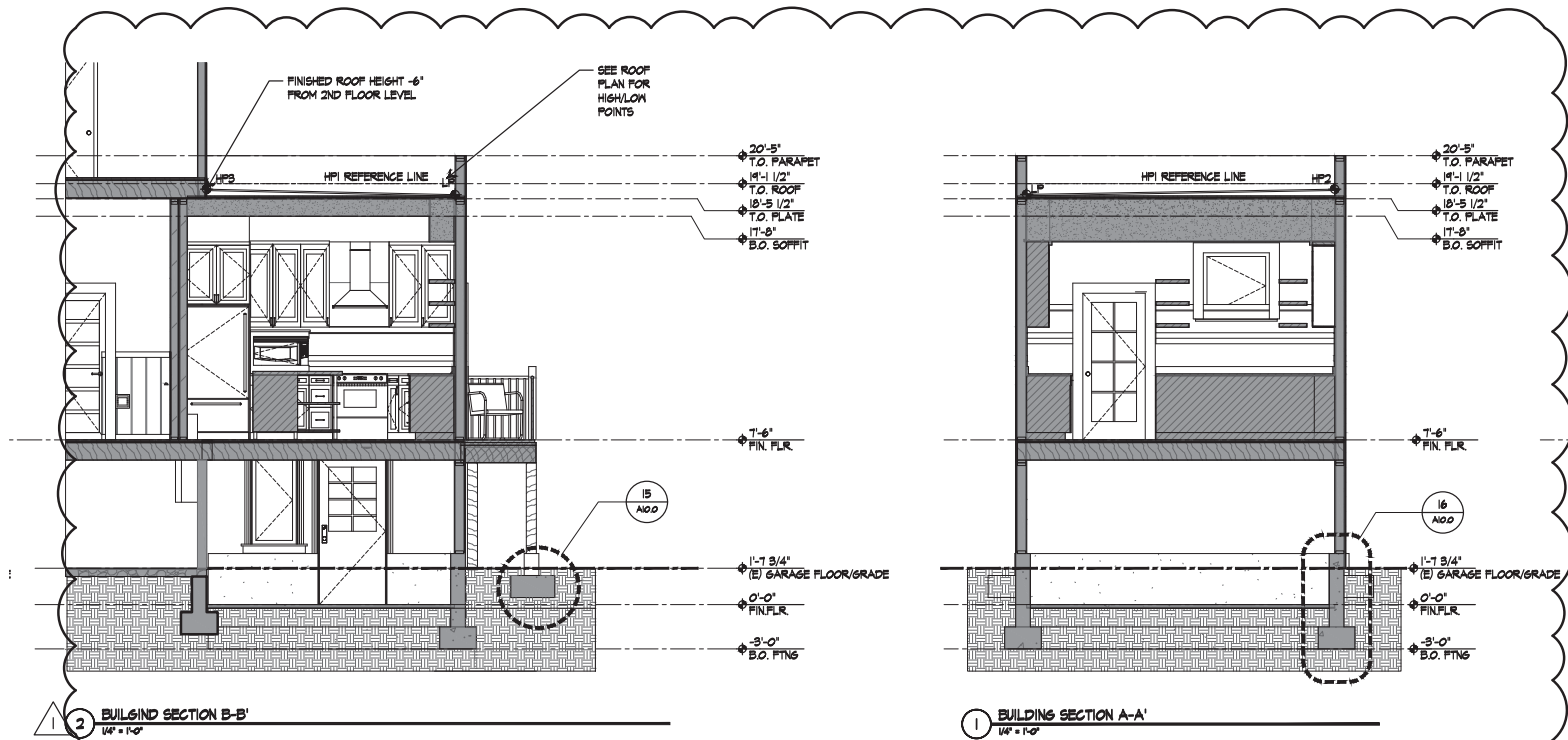
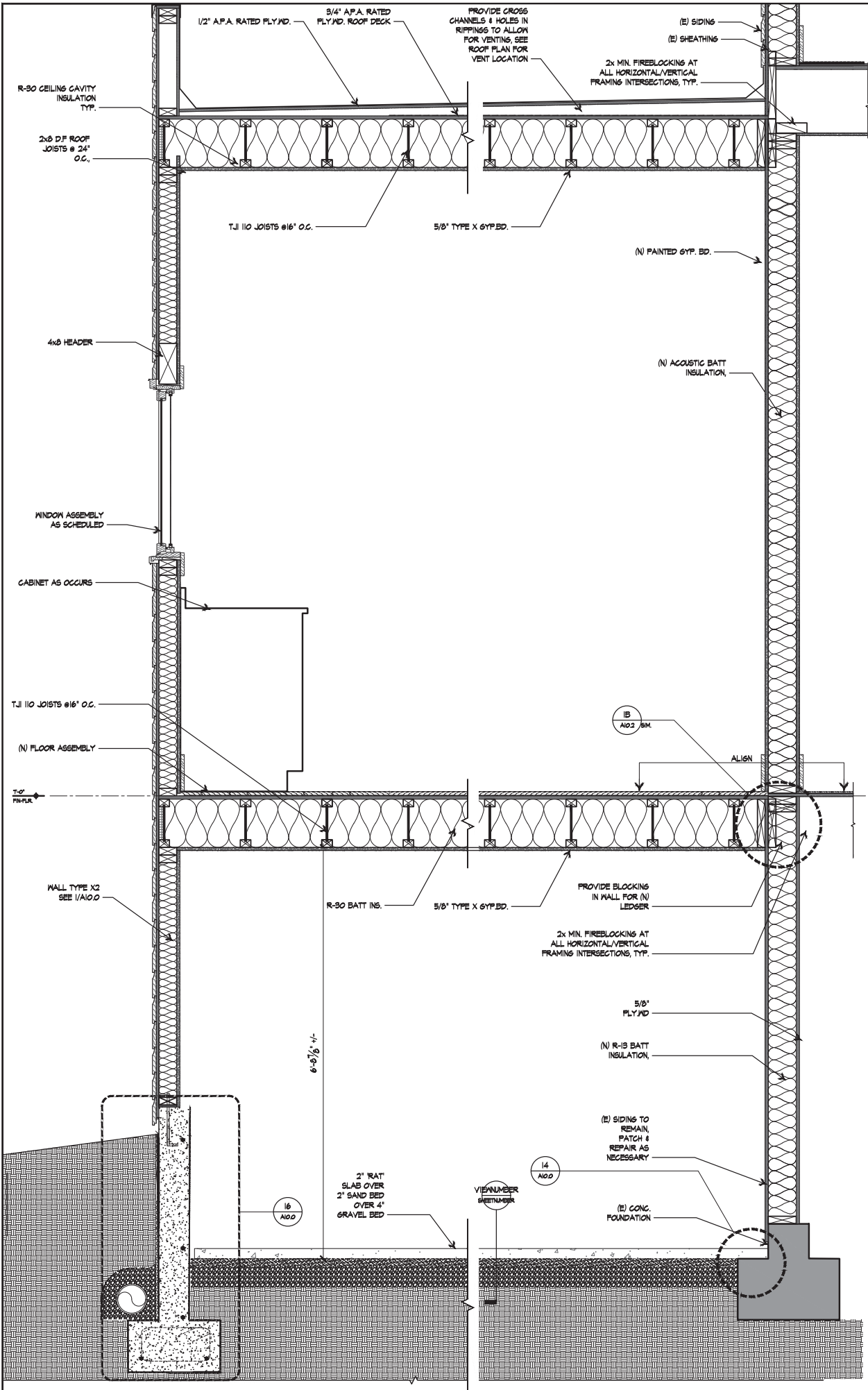
- N.I.C. AREA

- (N) VGT TILE SEE DETAIL 6/A10.1 FOR BASE  
& T/A10.1 FOR TRANSITION DETAILS

- (N) MILLWORK F.E. WALL MOUNTED FIRE EXTINGUISHER

- DOOR TAG





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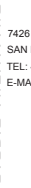
1857 CHURCH RENOVATIONS  
1857 CHURCH ST. SAN FRANCISCO, CA 94131

DATE	ISSUE
8.28.20	PRICING
11.30.20	PERMIT
2.8.21	PLANNING REV 1
8.12.21	PRE-APP MEETING
4.21.22	VARIANCE

SECTIONS

SCALE AS NOTED  
000016

A7.0



1857 CHURCH RENOVATIONS

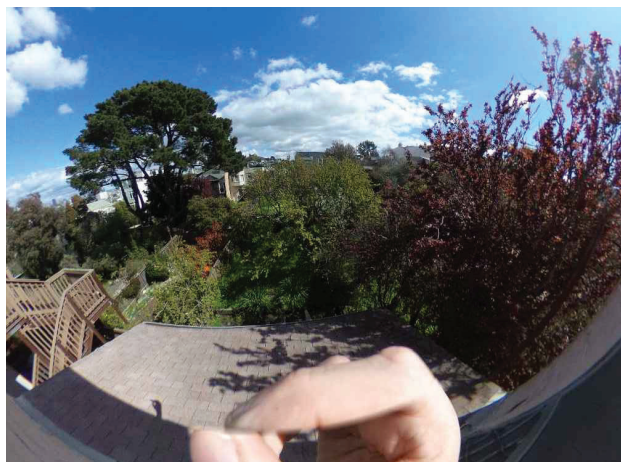
## EXTERIOR ELEVATIONS

48.0

EXTERIOR  
ELEVATIONS  
EXISTING







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## 1857 CHURCH RENOVATIONS

1957 CHURCH ST SAN FRANCISCO CA 94101

DATE	ISSUE
9/22/21	PRE-APP MEETING
4/21/22	VARIANCE

4212	VARIANCE
------	----------

## SITE PHOTOS

$$1/8^{\circ} = 1^{\circ}-0^{\circ}$$

0000116

A|3.0

sheet - of 2