



# SAN FRANCISCO PLANNING DEPARTMENT

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## Executive Summary Conditional Use Hearing Date: May 23, 2019

*Case No.:* 2019-000189CUA  
*Project Address:* 1860-1862 9<sup>th</sup> Avenue  
*Zoning:* RH-2 (Residential-House, Two-Family)  
40-X Height and Bulk District  
*Block/Lot:* 2045/030  
*Project Sponsor:* Yuflex Engineering  
Ronald Yu  
5418A Geary Blvd  
San Francisco, CA 94121  
*Staff Contact:* Jeff Horn – (415) 575-6925  
[jeffrey.horn@sfgov.org](mailto:jeffrey.horn@sfgov.org)  
*Recommendation:* **Approval with Conditions**

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### PROJECT DESCRIPTION

The proposal is for the tantamount to demolition of a 2,222 square foot, two-story two-family dwelling and to construct a horizontal and vertical addition to create four-story, 6,986 gross square foot, three-family dwelling with an Accessory Dwelling Unit (ADU). The existing structure consists of a 1,072 square foot two-bedroom unit on the first floor and a 1,150 square foot two-bedroom unit on the second floor. The proposed structure will provide two three-bedroom units (1,747 and 1835 square feet), a 948 square foot two-bedroom unit, and a 950 square foot Accessory Dwelling Unit, a two-vehicle garage and five Class 1 bicycle parking spaces at the ground floor.

### BACKGROUND

The Project was noticed and continued from the March 21, 2019 Planning Commission hearing without being publicly heard. During the noticing period, the project proposed a 3-unit building over a ground floor garage and storage spaces for the residential units. The project has been revised to replace the proposed storage areas with an Accessory Dwelling Unit at the ground floor.

### REQUIRED COMMISSION ACTION

The project proposes to remove vertical and horizontal elements in exceedance of the threshold established in Planning Code Section 317. In order for the Project to proceed, the Commission must grant Conditional Use Authorization pursuant to Planning Code Sections 303 and 317 for the demolition of a residential unit. Pursuant to Planning Code 317(c), "where an application for a permit that would result in the loss of one or more Residential Units Is required to obtain Conditional Use Authorization by other sections of this Code, the application for a replacement building or alteration permit shall also be subject to Conditional Use requirements."

The project proposes a dwelling unit density the exceeds the maximum permitted density allowed in the RH-2 Zoning District, per Planning Code Section 209.1. In order for the Project to proceed, the Commission must grant Conditional Use Authorization pursuant to Planning Code Sections 303 and 209.1 to allow a density of 1 unit for every 1,500 square feet of lot area.

## **ISSUES AND OTHER CONSIDERATIONS**

- **Residential Dwelling Units.** The Project will add one new two-bedroom dwelling unit to the City's housing stock and will enlarge two two-bedroom units into three bedroom units. The project is zoned RH-2, Per Planning Code Section 209.1, up to two units per lot are principally permitted in RH-2 Districts and up to one unit per 1,500 Sq. Ft. of lot area is allowed with Conditional Use Authorization.
- **Accessory Dwelling Units.** The Project proposes a 960 to construct a an ADU with an area of the existing and proposed horizontal addition to the ground floor per Section 207(c)(4), "Accessory Dwelling Units in Multifamily Buildings."
- **Public Comment/Community Outreach.** To date, the Department has received 5 comment letters in opposition to the project, with concerns on the height and massing of the project and resulting impacts to light and air access. The Sponsor presented the proposed project to the Sunset Heights Association of Responsible People (SHARP) neighborhood group on March 19, 2019.

## **ENVIRONMENTAL REVIEW**

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption. The Property is not an "Historical Resource" under CEQA. The Departments Categorical Exemption Determination and PTR determined "No Historic Resource Present." (See Case No. 2016-011553ENV)

## **BASIS FOR RECOMMENDATION**

The Department finds that the Project is, on balance, consistent with the Objectives and Policies of the General Plan. The Project will create an additional residential unit, enlarge two existing units and add an accessory dwelling unit to create four family-size units in total. The Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

## **ATTACHMENTS:**

Draft Motion – Conditional Use Authorization with Conditions of Approval  
Exhibit B – Land Use Table  
Exhibit C – Plans and Renderings  
Exhibit D – Environmental Determination  
Exhibit E – Maps and Context Photos  
Exhibit F – Sponsor's Materials  
Exhibit G – Public Correspondence



# SAN FRANCISCO PLANNING DEPARTMENT

*Subject to: (Select only if applicable)*

- |  |   |
|--|---|
| <input type="checkbox"/> Affordable Housing (Sec. 415)           | <input type="checkbox"/> First Source Hiring (Admin. Code)            |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input checked="" type="checkbox"/> Child Care Requirement (Sec. 414) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412)            | <input type="checkbox"/> Other  |

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## Planning Commission Draft Motion

HEARING DATE: MAY 23, 2019

*Case No.:* **2019-000189CUA**  
*Project Address:* **1860-1862 9<sup>th</sup> Avenue**  
*Zoning:* **RH-2 (Residential-House, Two-Family)**  
**40-X Height and Bulk District**  
*Block/Lot:* **2045 /030**  
*Project Sponsor:* **Yuflex Engineering**  
**Ronald Yu**  
**5418A Geary Blvd**  
**San Francisco, CA 94121**  
*Staff Contact:* **Jeff Horn – (415) 575-6925**  
[jeffrey.horn@sfgov.org](mailto:jeffrey.horn@sfgov.org)

**ADOPTING FINDINGS RELATING TO A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 209.1, 303 AND 317 FOR THE TANTAMOUNT TO DEMOLITION OF AN 2,222 SQUARE FOOT, TWO-STORY TWO-FAMILY HOME AND TO CONSTRUCT A HORIZONTAL AND VERTICAL ADDITION TO CREATE A FOUR STORY, 6,986 GROSS SQUARE FOOT, THREE-FAMILY DWELLING WITH AN ACCESSORY DWELLING UNIT WITHIN IN RH-2 (RESIDENTIAL-HOUSE, TWO-FAMILY) DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.**

### PREAMBLE

On January 4, 2019, Ronald Yu of (Project Sponsor) Yuflex Engineering filed an application with the Planning Department (hereinafter "Department") for Conditional Use Authorization under Planning Code Sections 209.1, 303 and 317 for the tantamount to demolition of an 2,222 square foot, two-story two-family home and to construct a horizontal and vertical addition to create a 39-foot, 8-inch tall, four story, 6,986 gross square foot, three-family dwelling with an Accessory Dwelling Unit (ADU) (hereinafter "Project") at 1860-1862 9th Avenue, Lot 030 of Block 2045 (hereinafter "Project Site").

On May 23, 2019, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2019-000189CUA. The project was noticed and continued from the March 21, 2019 Planning Commission hearing without being publicly heard. During the noticing period, the project proposed a 3-unit building

over a ground floor garage and storage spaces for the residential units. The project has been revised to replace the proposed storage areas with an Accessory Dwelling Unit at the ground floor.

The project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption under CEQA.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use requested in Application No. 2019-000189CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

## **FINDINGS**

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project site is on the east side of 9<sup>th</sup> Avenue, between Noriega and Ortega Streets; Lot 030 in Assessor's Block 2045 and is located within the RH-2 (Residential House, Two-Family) Zoning District with a 40-X Height and Bulk designation. The lot is a half lot wider than the typical lot in the City, measuring 37.5 feet wide, and has a depth of 120 feet, providing a total lot area of 4,500 square feet. The site is slopes downward towards the rear and is currently developed with a 2,222 gross square foot, two-story two-family dwelling that was constructed circa 1900. The existing structure has a side setback of 3 feet, 8 inches along the north property line.
3. **Surrounding Properties and Neighborhood.** The subject property is located on the east side of Inner Sunset neighborhood within Supervisorial District 7. Lots within the immediate vicinity consist of residential two- to three-story, single- and multi-family dwellings. The subject block face exhibits a great variety of architectural styles, scale and massing. 9<sup>th</sup> Avenue slopes downward laterally to the north.
4. **Project Description.** The proposal is for the tantamount to demolition of an 2,222 square foot, two-story two-family dwelling and to construct a horizontal and vertical addition to create four-story three-family dwelling with an ADU. The existing structure consists of a 1,072 square foot two-bedroom unit on the first floor and a 1,150 square foot two-bedroom unit on the second floor. The proposed structure will provide two three-bedroom units (1,747 and 1835 square feet), a 948 square foot two-bedroom unit, and a 950 square foot Accessory Dwelling Unit, a two-vehicle garage and five Class 1 bicycle parking spaces at the ground floor. At the front wall, the building is three-stories tall with a height of 30 feet, and the fourth floor is setback 15 feet and has a height of 39-feet, 8-inches.

5. **Public Comment/Community Outreach.** To date, the Department has received 5 comment letters in opposition to the project, with concerns on the height and massing of the project and resulting impacts to light and air access. The Sponsor presented the proposed project to the Sunset Heights Association of Responsible People (SHARP) neighborhood group on March 19, 2019.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Height.** Planning Code Section 260 requires that all structures be no taller than the height prescribed in the subject height and bulk district. The proposed Project is located in a 40-X Height and Bulk District, with a 40-foot height limit. Planning Code Section 261 further restricts height in RH-2 Districts to 30-feet at the front lot line, then at such setback, height shall increase at an angle of 45° toward the rear lot line until the prescribed 40-foot height limit is reached.

*The project proposes a building that has a maximum height of 30 feet at the front building wall, the fourth floor is setback 15 and reaches a height of 39 feet, 8 inches.*

- B. **Front Setback Requirement.** Planning Code Section 132 requires, in RH-2 Districts, a front setback that complies to legislated setbacks (if any) or a front back based on the average of adjacent properties (15 foot maximum).

*The subject property does not have a legislated setback. The project is located behind the required front setback line on of 3 feet, 9 inches.*

- C. **Rear Yard Requirement.** Planning Code Section 134 requires, in RH-2 Districts, a rear yard measuring 45 percent of the total depth.

*The project proposes a 54-foot, 0-inch rear yard setback which is equal to the required 45% of lot depth, the project also includes a one-story, 12-foot-deep obstruction permitted under Planning Code Section 136.*

- D. **Residential Design Guidelines.** Per Planning Code Section 311, the construction of new residential buildings and alteration of existing residential buildings in R Districts shall be consistent with the design policies and guidelines of the General Plan and with the "Residential Design Guidelines."

*The Residential Design Team determined that the project complies with the Residential Design Guidelines and would not create exceptional or extraordinary circumstances. The fourth floor is setback 15 feet, so that the building presents as three-stories at the street. The project will maintain the existing 3-foot, 8-inch side setback along the north property line.*

- E. **Front Setback Landscaping and Permeability Requirements.** Planning Code Section 132 requires that the required front setback be at least 20% unpaved and devoted to plant material and at least 50% permeable to increase storm water infiltration.

*The project will provide landscaping and permeable concrete for the driveway and walking path within required front setback to comply with Section 132 requirements.*

- F. **Usable Open Space.** Planning Code Section 135 requires, in RH-2 Districts, usable open space that is accessible by each dwelling (125 Sq. Ft per unit if private, ~166 Sq. Ft. if shared).

*The project provides usable open space that exceeds the minimum private and shared amount required.*

- G. **Parking.** Planning Code Section 151 requires no parking spaces and a permits a maximum of 1.5 spaces for each dwelling unit.

*The project proposes two off-street parking spaces.*

- H. **Bicycle Parking.** Planning Code Section 155.2 requires at least one Class 1 bicycle parking space for each dwelling unit and one Class 2 bicycle parking space for every 20 dwelling units.

*The Project requires four Class 1 bicycle parking spaces and no Class 2 bicycle parking spaces. The Project will provide five Class 1 bicycle parking spaces.*

- I. **Residential Demolition – Section 317:** Pursuant to Planning Code Section 317, Conditional Use Authorization is required for applications proposing to demolish a residential unit. This Code Section establishes a checklist of criteria that delineate the relevant General Plan Policies and Objectives.

*The project proposed to remove vertical and horizontal elements in exceedance of the threshold established in Planning Code Section 317. As the project requires Conditional Use Authorization per the requirements of the Section 317, the additional criteria specified under Section 317 have been incorporated as findings a part of this Motion. See Item 8. "Additional Findings pursuant to Section 317" below.*

- J. **Residential Density, Dwelling Units.** Per Planning Code Section 209.1, up to two units per lot are principally permitted in RH-2 Districts and up to one unit per 1,500 Sq. Ft. of lot area is allowed with Conditional Use Authorization.

*The subject property is 4,500 sq. ft. in area, and therefore is conditionally permitted a maximum density of 3 dwelling units.*

*Additionally, the project proposes to construct an Accessory Dwelling Unit at the ground floor of the expanded structure per Section 207(c)(4).*

- K. **Child Care Requirements for Residential Projects.** Planning Code Section 414A requires that any residential development project that results in additional space in an existing residential unit of more than 800 gross square feet shall comply with the imposition of the Residential Child Care Impact Fee requirement.

*The project proposes two new dwelling units. Therefore, the Project is subject to the Residential Child Care Impact Fee and must comply with the requirements outlined in Planning Code Section 414A.*

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*The proposed massing allows for a higher density and better use of the site. The project will provide three family-sized unit (2 three-bedroom units, and 1 two-bedroom unit) and a two-bedroom ADU, while maintaining ample rear yard open space. The project is designed to be in keeping with the existing development pattern and the neighborhood character.*

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The Project is designed to be compatible with the surrounding neighborhood; the enlarged building is in similar in massing to the structures on the block, with the front wall having a height of 3 stories. The Project results in a building size, shape, and height that is appropriate for the neighborhood context.*

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*Planning Code requires no off-street parking space per dwelling unit. Two vehicle spaces are proposed, where currently there is no space provided for the existing building.*

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*The proposal is residential and will not yield noxious or offensive emissions.*

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*The proposed project is residential and will be landscaped accordingly within the required front setback.*

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.*

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable RH-2 District.

*The proposed project is conditionally consistent with the stated purpose of the RH-2 Districts.*

- 8. **Additional Findings pursuant to Section 317** establishes criteria for the Planning Commission to consider when reviewing applications to demolish or convert Residential Buildings. On balance, the Project does comply with said criteria in that:

- a. Whether the property is free of a history of serious, continuing Code violations;

*A review of the Department of Building Inspection and the Planning Department databases showed no open enforcement cases or notices of violation for the subject property.*

- b. Whether the housing has been maintained in a decent, safe, and sanitary condition;

*The structure does not appear to superficially be in decent or sanitary conditions, although a structural soundness report has not been submitted for review.*

- c. Whether the property is an “historic resource” under CEQA;

*The Planning Department reviewed Historic Resource Determination Supplemental Information and provided a historic resource determination in a Preservation Team Review (PTR) Form. The review concluded that the subject property is not eligible for listing in the California Register of Historical Resources (CRHR) individually or as a contributor to a historic district. Therefore, the existing structure is not a historic resource under CEQA.*

- d. Whether the removal of the resource will have a substantial adverse impact under CEQA;

*The Planning Department determined that the existing structure is not a historic resource. Therefore, the removal of the structure would not result in a significant adverse impact on historic resources under CEQA.*

- e. Whether the Project converts rental housing to other forms of tenure or occupancy;

*Project does not convert rental housing to other forms of tenure or occupancy as the units on site will not be demolished, but rather will be relocated and/or enlarged.*

- f. Whether the Project removes rental units subject to the Rent Stabilization and Arbitration Ordinance or affordable housing;

*Although Planning Staff does not have the authority to make a determination on the rent control status of a property, it is to be assumed that the units to be relocated/enlarged and created will be subject to the Residential Rent Stabilization and Arbitration Ordinance.*

- g. Whether the Project conserves existing housing to preserve cultural and economic neighborhood diversity;

*The project proposes additions to a two-family dwelling, and to create a third unit. Although the two existing units will be enlarged, there will be a net gain of one unit and an ADU at the project site. The replacement structure proposed will include family sized units, consisting of two three-bedrooms units and two two-bedroom unit.*

- h. Whether the Project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

*The replacement building will conserve neighborhood character with appropriate scale, design, and materials, and improve cultural and economic diversity by appropriately increasing the number of units while providing family-sized units. The project would increase the number of dwelling units, while providing a net gain of four bedrooms to the City's housing stock.*

- i. Whether the Project protects the relative affordability of existing housing;

*The project will be an expansion of an existing two-unit residential building to three unit residential and an ADU. Each of the units will maintain rent control keeping the units affordable. The existing units will each be enlarged and constructed with additional bedroom and updated finishes and amenities, which could result in an incremental increase to the values. The project will introduce a new 948 square foot, two-bedroom unit that is comparable in size to the existing units onsite and a 950 square foot, two-bedroom ADU. Overall, the project will protect the relative affordability of existing housing.*

- j. Whether the Project increases the number of permanently affordable units as governed by Section 415;

*The project is not subject to the provisions of Planning Code Section 415, as the project proposes less than ten units.*

- k. Whether the Project locates in-fill housing on appropriate sites in established neighborhoods;

*The project has been designed to be in keeping with the scale and development pattern of the established neighborhood character.*

- l. Whether the Project increases the number of family-sized units on -site;

*The project proposes an opportunity for family-sized housing. Two three-bedroom units and two two-bedroom unit is proposed within the enlarged building.*

- m. Whether the Project creates new supportive housing;

*The project does not create supportive housing.*

- n. Whether the Project is of superb architectural and urban design, meeting all relevant design guidelines, to enhance existing neighborhood character;

*The overall scale, design, and materials of the proposed building is consistent with the block-face and compliments the neighborhood character while preserving much of the existing architecture.*

- o. Whether the Project increases the number of on-site Dwelling Units;

*The Project will provide a net gain of one unit and an ADU at the site. The proposed expanded structure is in keeping with the scale and mass of the immediately surrounding development.*

- p. Whether the Project increases the number of on-site bedrooms;

*The project proposes three dwelling units and an ADU; two units containing three bedrooms, and two two-bedroom units – a total of six bedrooms more than the existing building.*

- q. Whether or not the replacement project would maximize density on the subject lot; and

*The project proposes maximizes the density on the subject lot through a Conditional Use request, as the proposal includes three units on an RH-2 lot that is 4,500 square feet in size. The project also proposes an ADU per Planning Code 207(c)(4).*

- r. If replacing a building not subject to the Residential Rent Stabilization and Arbitration Ordinance, whether the new project replaces all of the existing units with new Dwelling Units of a similar size and with the same number of bedrooms.

*The project proposes to expand the existing two units and provide a new dwelling unit and an ADU, both of a similar size. In total, the project proposes four dwelling units; two units containing three bedrooms, and two two-bedroom units – a total of six bedrooms more than the existing building. The proposal results in four family-sized. The project does not result in new*

*construction and therefore the existing building shall “remain” and should be subject to the Residential Rent Stabilization and Arbitration Ordinance.*

9. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

## **HOUSING ELEMENT**

### **OBJECTIVE 4:**

**FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.**

#### **Policy 4.1:**

Develop new housing, and encourage the remodeling of existing housing, for families with children.

*The project proposes to expand a two-family residence to create a building with four family-sized dwelling units.*

### **OBJECTIVE 11:**

**SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO’S NEIGHBORHOODS.**

#### **Policy 11.1**

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

#### **Policy 11.2**

Ensure implementation of accepted design standards in project approvals.

#### **Policy 11.3**

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

*The proposed enlarged building conforms to the Residential Design Guidelines and, while contemporary architecture, are appropriate in terms of scale, proportions and massing for the surrounding neighborhood.*

#### **Policy 11.4**

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan. **Policy 11.5**

Ensure densities in established residential areas promote compatibility with prevailing neighborhood character.

*The proposed enlarged building conditionally conforms to the zoning and general plan densities of the neighborhood.*

## URBAN DESIGN

### OBJECTIVE 1:

**EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.**

#### Policy 1.2:

Recognize, protect and reinforce the existing street pattern, especially as it is related to topography.

#### Policy 1.3:

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

*The proposed altered and expanded building reflects the existing mixed architectural character and development pattern of the neighborhood, particularly by proposing a construction that respects the two- to three-story heights on the block face.*

### OBJECTIVE 2:

**CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.**

#### Policy 2.6:

Respect the character of older development nearby in the design of new buildings.

*The expanded building has been designed to be compatible with the neighborhood's mixed massing, width and height. The proposed buildings reflect the pattern of the older development to have bay windows and vertically oriented projections and window form.*

10. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*The project is residential and has no impact on neighborhood-serving retail uses.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*While the existing housing is retained and one unit and an ADU will be added, in total, the expanded building would provide four dwelling units in a neighborhood made up of one-, two-and three units buildings of mixed architectural character.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*The project will be an expansion of an existing two-unit residential building to four-unit residential building. Each of the units will maintain rent control keeping the units affordable. The existing units will each be enlarged and constructed with additional bedroom and updated finishes and amenities, which could result in an incremental increase to the values. The project will introduce a new 948 square foot, two-bedroom unit that is comparable in size to the existing units onsite and a 950 square foot, two-bedroom ADU. Overall the project will protect the relative affordability of existing housing.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*The project would not have a significant adverse effect on automobile traffic congestion or create parking problems in the neighborhood. The project would enhance neighborhood parking by providing two off-street parking spaces, where none currently exists.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The proposal is a residential project in an RH-2 District; therefore, the Project would not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses would not be affected by the Project.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The project will significantly strengthen the existing building, bringing it up to current building and seismic codes.*

- G. That landmarks and historic buildings be preserved.

*Landmark or historic buildings do not occupy the project site.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*The project will have no negative impact on existing parks and open spaces. The height of the proposed structure is compatible with the established neighborhood development.*

11. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
12. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

## **DECISION**

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2019-000189CUA** subject to the following conditions attached hereto as "EXHIBIT A" which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94012.

**Protest of Fee or Exaction:** You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on May 23, 2019.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: May 23 21, 2019

## **EXHIBIT A**

### **AUTHORIZATION**

This authorization is for a conditional use to allow tantamount to demolition of an existing 2,222 square foot, two-story two-family home and to construct a horizontal and vertical addition to create a 39-foot, 8-inch tall, four story, t, 6,986 gross square foot three family dwelling with an ADU at 1860-1862 9th Avenue, Lot 030 of Block 2045 pursuant to Planning Code Sections 209.1, 303 and 317 within the RH-2 District and a 40-X Height and Bulk District; in general conformance with plans, dated **April 20 2019**, and stamped "EXHIBIT B" included in the docket for Case No. **2019-000189CUA** and subject to conditions of approval reviewed and approved by the Commission on **May 23, 2019** under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### **RECORDATION OF CONDITIONS OF APPROVAL**

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **May 23, 2019** under Motion No **XXXXXX**.

### **PRINTING OF CONDITIONS OF APPROVAL ON PLANS**

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

### **SEVERABILITY**

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

### **CHANGES AND MODIFICATIONS**

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

## Conditions of Approval, Compliance, Monitoring, and Reporting

### PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

3. **Diligent pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## DESIGN

6. **Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

7. **Landscaping.** Pursuant to Planning Code Section 132, the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that 50% of the front setback areas shall be surfaced in permeable materials and further, that 20% of the front setback areas shall be landscaped with approved plant species. The size and specie of plant materials and the nature of the permeable surface shall be as approved by the Department of Public Works.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

8. **Bicycle Parking.** The Project shall provide no fewer than **one** Class 1 bicycle parking spaces as required by Planning Code Section 155.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## PROVISIONS

10. **Child Care Fee - Residential.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

## MONITORING

11. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

12. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning

Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## OPERATION

13. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org>*

14. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>*

15. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*



# SAN FRANCISCO PLANNING DEPARTMENT

## Land Use Information

PROJECT ADDRESS: 1860-1862 9<sup>TH</sup> AVENUE  
RECORD NO.: 2019-000189CUA

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

	EXISTING	PROPOSED	NET NEW
<b>GROSS SQUARE FOOTAGE (GSF)</b>			
Parking GSF		633	633
Residential GSF	2,222	6353	4131
Retail/Commercial GSF			
Office GSF			
Industrial/PDR GSF <i>Production, Distribution, &amp; Repair</i>			
Medical GSF			
Visitor GSF			
CIE GSF			
Usable Open Space			
Public Open Space			
Other ( )			
TOTAL GSF		6986	4764
	EXISTING	NET NEW	TOTALS
<b>PROJECT FEATURES (Units or Amounts)</b>			
Dwelling Units - Affordable			
Dwelling Units - Market Rate	2	2	4
Dwelling Units - Total	2	2	4
Hotel Rooms			
Number of Buildings	1	0	1
Number of Stories	2	2	4
Parking Spaces	0	2	2
Loading Spaces			
Bicycle Spaces	0	5	5
Car Share Spaces			
Other ( )			

	EXISTING	PROPOSED	NET NEW
<b>LAND USE - RESIDENTIAL</b>			
Studio Units			
One Bedroom Units			
Two Bedroom Units	2	2	0
Three Bedroom (or +) Units		2	2
Group Housing - Rooms			
Group Housing - Beds			
SRO Units			
Micro Units			
Accessory Dwelling Units			

PROJECT DATA

ADDRESS:1860 9th Avenue

BLOCK2045

LOT030

STORIES:4

PRESENT USE:Two unit residential

OCCUPANCY:R-3

TYPE:5-B

ZONING:RH-2

SCOPE OF WORK

1. Horizontal and vertical addition of existing two story two unit building and convert to four story.

2. New unit configurations to be (2) three bed with three bathroom and two bedroom with two bathroom.

3. Add unit on fourth floor, move unit one to third floor

4. New ADU on first floor

PROJECT NOTES

Floor	Existing	Proposed	Existing	Proposed
First	1072	2292	Parking 0	2
Second	1150	1807		
Third	0	1807		
Fourth	0	1080	Front setback	
Total	2222	6986	66/213= 31% landscaping (see A2)	
Unit #1	1072	1747	100% permeable (see A2)	
Unit #2	1150	1835		
Unit #3	0	948		
ADU	0	950		

GENERAL NOTES

1. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE ADOPTED CODES, STANDARDS AND ANY APPLICABLE STATE OR LOCAL AMENDMENTS, INCLUDING BUT NOT LIMITED TO:

1.1. OCCUPATIONAL SAFETY AND HEALTH STANDARDS, (CAL OSHA).

1.2. LISTS OF INSPECTED APPLIANCES, EQUIPMENT AND MATERIALS (UNDERWRITERS LABORATORIES).

1.3. APPROVED EQUIPMENT LISTING (FACTORY MUTUAL).

1.4. HANDBOOK OF RIGGING (ROSSNAGEL).

1.5. SAFETY CODE FOR BUILDING CONSTRUCTION, ANSI.

1.6. CALIFORNIA BUILDING CODE, 2013 EDITION.

1.7. CALIFORNIA ELECTRICAL CODE, 2013 EDITION.

1.8. CALIFORNIA ENERGY CODE, 2013 EDITION.

1.9. CALIFORNIA FIRE CODE, 2013 EDITION.

1.10. CALIFORNIA MECHANICAL CODE, 2013 EDITION.

1.11. CALIFORNIA PLUMBING CODE, 2013 EDITION.

1.12. CALIFORNIA REFERENCED STANDARDS CODE, 2013 EDITION.

1.13. CALIFORNIA ENERGY EFFICIENCY STANDARDS, 2013 EDITION.

1.14. CALIFORNIA RESIDENTIAL CODE, 2013 EDITION.

2. WHERE DIFFERENCES EXIST BETWEEN CODES AFFECTING THIS WORK, THE MORE RESTRICTIVE CODE SHALL GOVERN.

3. IF THE CONTRACTORS OBSERVE THAT THESE DRAWINGS AND SPECIFICATIONS ARE IN VARIANCE WITH THE CODES, HE SHALL NOTIFY THE ARCHITECTS AND ENGINEERS IN WRITING AT ONCE.

4. DUCTWORK, PIPING AND EQUIPMENT SHALL BE INSTALLED PER SMACNA "SEISMIC RESTRAINT MANUAL GUIDELINES FOR MECHANICAL SYSTEMS" ADDENDUM NO. 1 OR EQUAL IN ACCORDANCE WITH ASCE CHAPTER 13 "SEISMIC DESIGN REQUIREMENTS FOR NON-STRUCTURAL COMPONENTS".

5. ALL FIRE-RATED WALL AND FLOOR PENETRATIONS SHALL BE FIRESAFED UTILIZING A UL APPROVED FIRE SAFING SYSTEMS.

6. ALL PLUMBING AND PIPING SYSTEMS SHALL BE PRESSURE TESTED AND VERIFIED LEAK TIGHT PRIOR TO CALLING FOR CITY PROGRESS OR FINAL INSPECTIONS.

7. THESE DRAWINGS REPRESENT APPROXIMATIONS OF EXISTING CONDITIONS. ALL CONDITIONS AND DIMENSIONS ARE TO BE FIELD VERIFIED BY CONTRACTORS PRIOR TO CONSTRUCTION.

ABBREVIATIONS

ABV.	ABOVE	MTG.	MOUNTING
A.F.F.	ABOVE FINISH FLOOR	MTL.	METAL
ALC.	ALCOVE	(N)	NEW
ADJ.	ADJACENT	N.I.C.	NOT IN CONTRACT
ADJUST.	ADJUSTABLE	N.T.S.	NOT TO SCALE
ALUM.	ALUMINUM	O/	OVER
A.V.	AUDIO-VISUAL	O.C.	ON CENTER
B.O.	BOTTOM OF	O.H.	OPPOSITE HAND
BD.	BOARD	OPNG.	OPENING
BLDG.	BUILDING	OPP.	OPPOSITE
BTWN.	BETWEEN	O.S.C.I.	OWNER SUPPLIED
CAB.	CABINET	& CONTRACTOR	
C.G.	CORNER GUARD	INSTALLED	
C.H.	CLOTHES HOOK	O.S.O.I.	OWNER SUPPLIED
C.J.	CONTROL JOINT	& OWNER	
C.L.	CENTER LINE	INSTALLED	
CLG.	CEILING	PART. BD.	PARTICLE BOARD
CLR.	CLEAR	PL.	PLATE
CNTR.	COUNTER	P. LAM.	PLASTIC LAMINATE
COL.	COLUMN		
CONC.	CONCRETE	PLCB.	PLASTIC
COND.	CONDITION		LAMINATE CABINET
CONT.	CONTINUOUS	PNL.	PANEL
CONST.	CONSTRUCTION	P.T.	PAPER TOWEL
CPT.	CARPET		DISPENSER
C.S.C.I	CONTRACTOR	PTD.	PAINTED
	SUPPLIED &	RAD.	RADIUS
	CONTRACTOR	REINF.	REINFORCE
	INSTALLED	REQ'D.	REQUIRED
	CENTER	RESIL.	RESILIENT
CTR.	DOUBLE	R.C.P.	REFLECTED
DBL.	DEMOLITION		CEILING PLAN
DEMO.	DIMENSION	RM.	ROOM
DIM.	DISPENSER	R.O.	ROUGH OPENING
DISP.	DOWN	R.O.S.	ROLL OUT SHELF
DN.	DOOR	S&P	SHELF AND POLE
DR.	DETAIL	S.D.	SOAP DISPENSER
DTL.	DRAWING	SIM.	SIMILAR
DWG.	DRAWER	SHT.	SHEET
DWR.	EXISTING	S.C.D.	SEE CIVIL
(E)	EACH		ENGINEERING
EA.	ELEVATION		DRAWINGS
EL.	ELECTRICAL	S.E.D.	SEE ELECTRICAL
ELEC.	ENCLOSED		DRAWINGS
ENCL.	EQUAL	S.L.D.	SEE LANDSCAPE
EQ.	EQUIPMENT		DRAWINGS
EQUIP.	EXPANSION	S.M.D.	SEE MECHANICAL
EXPAN.	EXTERIOR		DRAWINGS
EXT.	FABRICATION	S.P.D.	SEE PLUMBING
FAB.	FLOOR DRAIN		DRAWINGS
F.D.	FINISH FLOOR	SPECS.	SPECIFICATIONS
F.F.	FIRE EXT. CABINET	SQ. IN.	SQUARE INCHES
FEC.	FINISH	SQ. FT.	SQUARE FEET
FIN.	FLOOR	S.S.	STAINLESS STEEL
FLR.	FLUORESCENT	S.S.D.	SEE
FLUOR.	FACE OF		STRUCTURAL
F.O.	FEET		DRAWINGS
F.T.	FIRE SHUTTER	ST. STL.	STAINLESS STEEL
F.S.	GAUGE	STL.	STEEL
GA.	GRAB BAR	STN.	STATION
G.B.	GARBAGE DISPOSAL	SUSP.	SUSPENDED
G.D.	GENERAL	T.	TEMPERED GLASS
G.C.	CONTRACTOR	TEL.	TELEPHONE
	GLASS	TEMP.	TEMPERED
GL.	GYP. BD.	T.O.	TOP OF
GYP. BD.	H.C.	TYP.	TYPICAL
H.C.	HEIGHT	U.N.	UNLESS
HT.	INTERIOR		OTHERWISE NOTED
INT.	INSULATED	V.A.T.	VINYL ACOUSTICAL
INSUL.	JOINT		TILE
JT.	KNEE SPACE	V.I.F.	VERIFY IN FIELD
K.S.	LOCKER	W/	WITH
L.	LOCATION	W.C.	WATER CLOSET
LOC.	MAGNETIC	WD.	WOOD
MAG.	MAXIMUM	WDW	WINDOW
MAX.	MECHANICAL	W/O.	WITHOUT
MECH.	MINIMUM	W.O.	WHERE OCCURS
MIN.	MOTION SENSOR		
MOS.	MOUNTED		
MTD.			

SHEET INDEX

A1.1	Notes, legend, scope of work, site plan
A1.2	Existing site plan
A1.3	317 Calcuations
A2.1	Existing floor plans
A2.2	Proposed floor plans
A2.3	Proposed floor plans
A3.1	Existing and proposed front elevation
A3.2	Existing and proposed rear elevations
A3.3	Existing and proposed south elevation (right side)
A3.4	Existing and proposed north elevation (left side)
A3.5	Existing and proposed section
A4.1	Architectural details
A4.2	Architectural details

1860 9th Avenue

San Francisco Ca

1

Proposed site plan

1/8" = 1' - 0"

YUFLUX

ENGINEERING LLC

5418A GEARY BLVD.

SAN FRANCISCO, CA

P 415-322-0793

F 415-963-4080

REVISIONS

NO.	DESCRIPTION	DATE
1	Revised plans	4/2019

PROJECT TITLE

SHEET TITLE

General notes

LOCATION

1860 9th Avenue

San Francisco Ca

BLOCK : 2045

LOT : 030

ZONING : RH-2

N

THESE DRAWINGS REPRESENT APPROXIMATIONS OF EXISTING CONDITIONS. ALL CONDITIONS AND DIMENSIONS ARE TO BE FIELD VERIFIED BY CONTRACTORS PRIOR TO CONSTRUCTION.

REGISTERED PROFESSIONAL ENGINEER

RONALD GATEVED

No. C76647

EXP. 12/31/2020

CIVIL

STATE OF CALIFORNIA

DRAWN

SCALE

AS NOTED

DATE

8/5/16

PROJECT NO.

SHEET

A1.1

Residential Demolition Calculation

Site Address:

Notes:

- 1 Input data into grey fields only.  
2 Calculations will appear in Grand Totals chart.  
3 Demo if Percent is greater than Threshold in B1 AND B2 OR C1 AND C2.

B Lineal Measurement

1 50% of front and rear

	Existing	Removal
Front Façade	28.5	14
Rear Façade	28.5	28.5
Total	57	42.5

2 65% of all vertical elements

	Existing	Removal
Front Façade	28.5	14
Rear Façade	28.5	28.5
Right Side Wall	47.2	47.2
Left Side Wall	47.2	0
Total	151.4	89.7

C Surface Area Measurement

1 50% of vertical elements

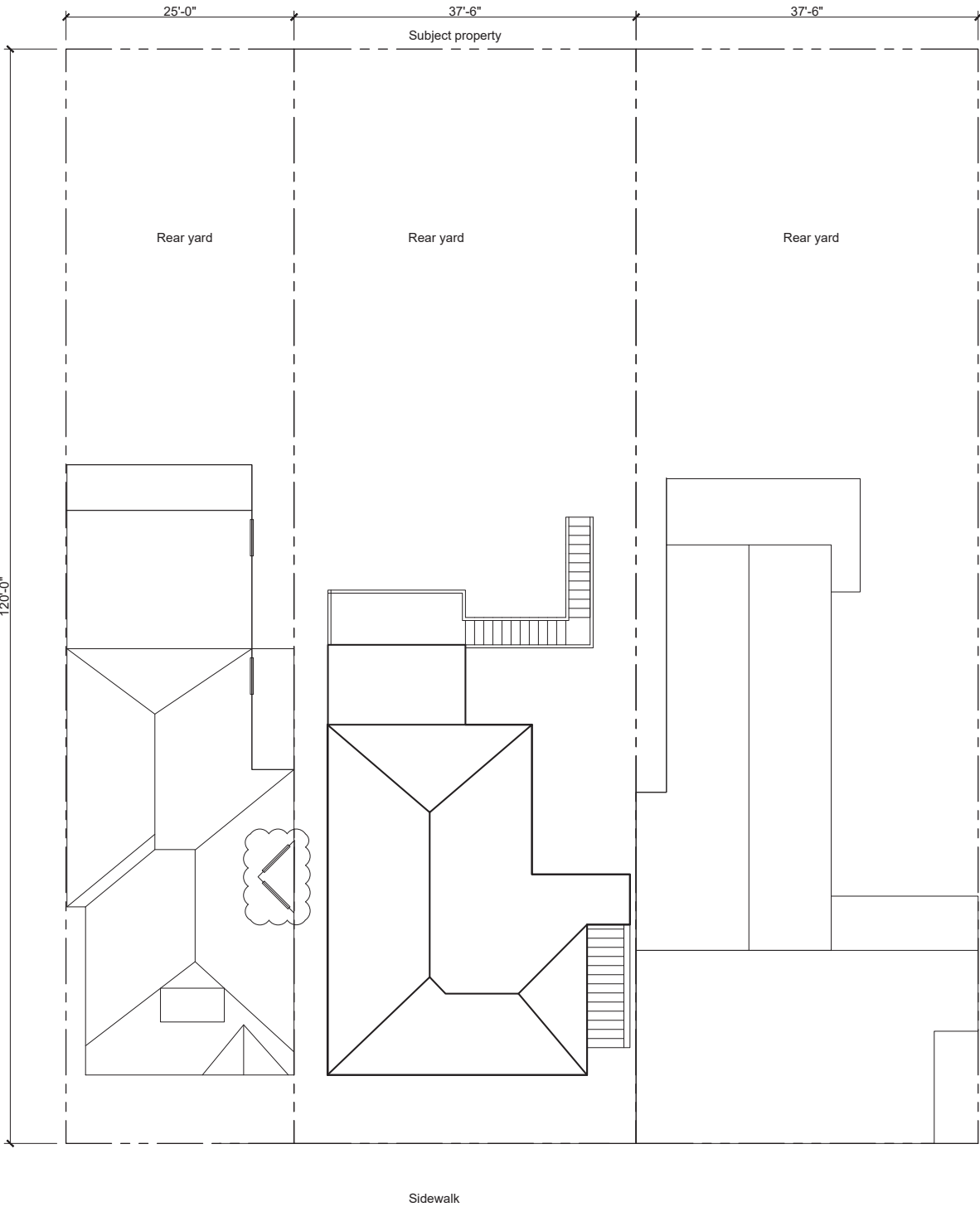
	Existing	Removal	Height
Front Façade	617.595	303.38	21.67
Rear Façade	752.97	752.97	26.42
Right Side Wall	1109.2	1109.2	23.5
Left Side Wall	1148.376	0	24.33
Total	3628.141	2165.55	

2 50% of horizontal elements

	Existing	Removal
1st Floor Plate	0	0
2nd Floor Plate	1148	0
3rd Floor Plate	0	0
Roof	1150	1150
Total	2298	1150

Grand Totals

	Percent	Threshold
B1	75%	50%
B2	59%	65%
C1	60%	50%
C2	50%	50%



1 Existing site Plan

1/8" = 1' - 0"

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REVISIONS

NO.	DESCRIPTION	DATE
1	Revised plans	4/2019

PROJECT TITLE

SHEET TITLE

Site plan

LOCATION

1860 9th Avenue  
San Francisco Ca

BLOCK : 2045 LOT : 030

ZONING : RH-2

N



THESE DRAWINGS REPRESENT  
APPROXIMATIONS OF EXISTING  
CONDITIONS. ALL CONDITIONS AND  
DIMENSIONS ARE TO BE FIELD VERIFIED BY  
CONTRACTORS PRIOR TO CONSTRUCTION.



DRAWN

SCALE AS NOTED

DATE 8/5/16

PROJECT NO.

SHEET

A1.2



Residential Demolition Calculation

Site Address:

Notes:

- Input data into grey fields only.
- Calculations will appear in Grand Totals chart.
- Demo if Percent is greater than Threshold in B1 AND B2 OR C1 AND C2

B Lineal Measurement

1 50% of front and rear

	Existing	Removal
Front Façade	28.5	14
Rear Façade	28.5	28.5
Total	57	42.5

2 65% of all vertical elements

	Existing	Removal
Front Façade	28.5	14
Rear Façade	28.5	28.5
Right Side Wall	47.2	47.2
Left Side Wall	47.2	0
Total	151.4	89.7

C Surface Area Measurement

1 50% of vertical elements

	Existing	Removal	Height
Front Façade	617.595	303.38	21.87
Rear Façade	752.97	752.97	26.42
Right Side Wall	1109.2	1109.2	23.5
Left Side Wall	1148.376	0	24.33
Total	3628.141	2165.55	

2 50% of horizontal elements

	Existing	Removal
1st Floor Plate	0	0
2nd Floor Plate	1148	0
3rd Floor Plate	0	0
Roof	1150	1150
Total	2298	1150

Grand Totals

	Percent	Threshold
B1	75%	50%
B2	59%	65%
C1	60%	50%
C2	50%	50%

**YUFLUX**  
ENGINEERING LLC

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SAN FRANCISCO, CA  
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[illegible]

PROJECT TITLE	
---------------	--

SHEET TITLE

### 317 Calculation

LOCATION

1860 9th Avenue  
San Francisco Ca

BLOCK: 2045 LOT: 030

ZONING : RH-2



THESE DRAWINGS REPRESENT  
APPROXIMATIONS OF EXISTING  
CONDITIONS. ALL CONDITIONS AND  
DIMENSIONS ARE TO BE FIELD VERIFIED BY  
CONTRACTORS PRIOR TO CONSTRUCTION.



DRAWN

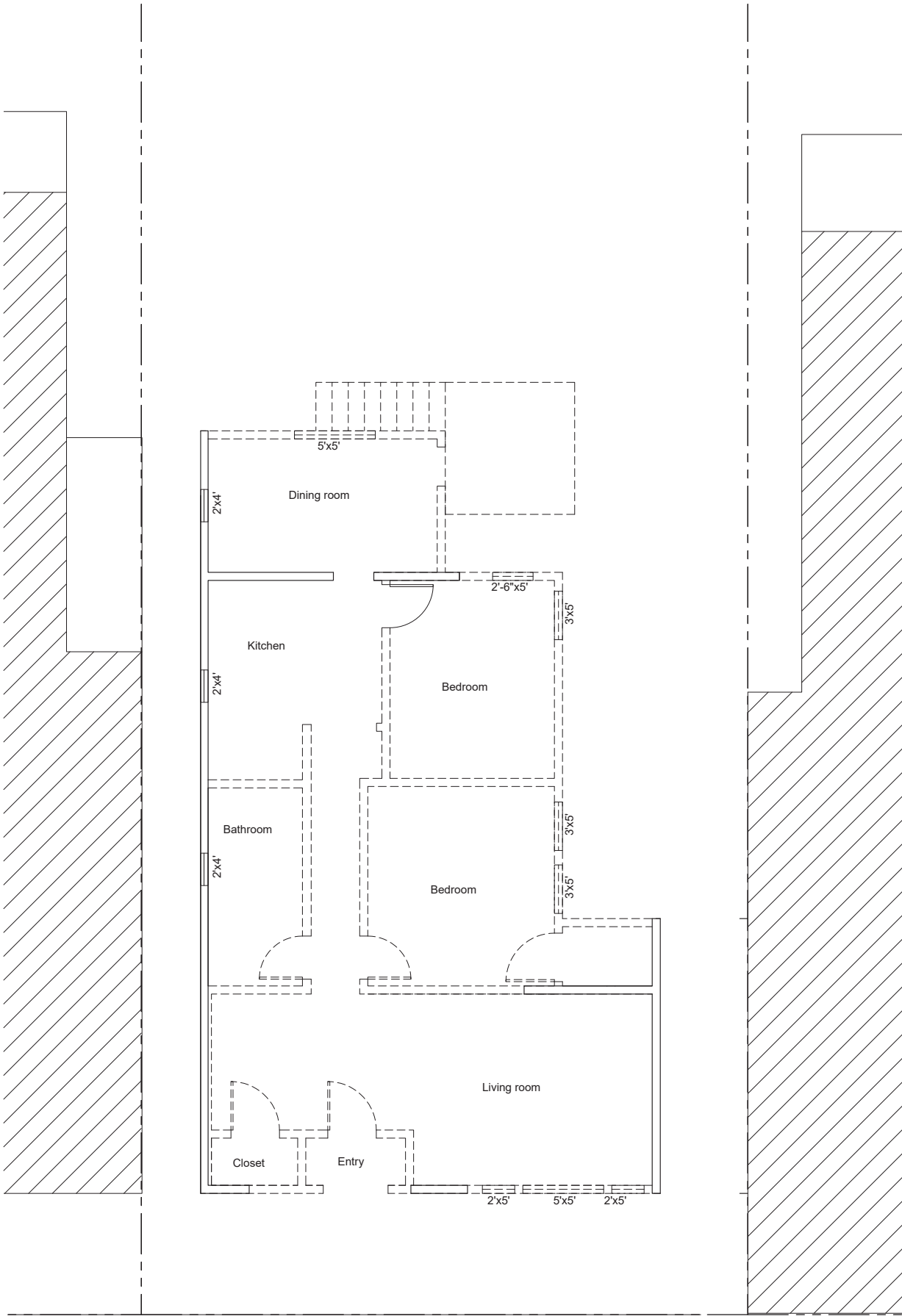
SCALE AS NOTED

DATE	8/5/16
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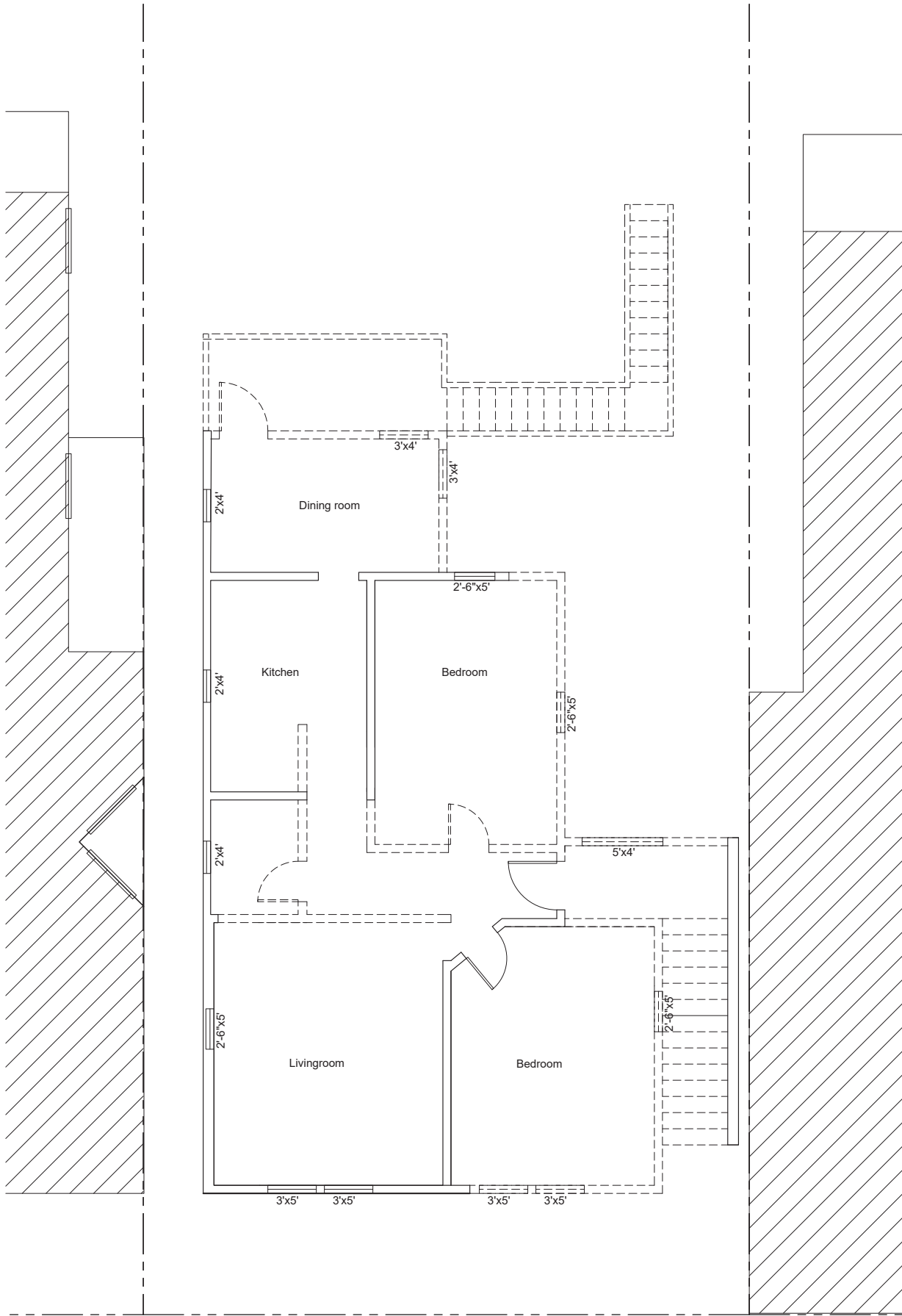
PROJECT NO.

SHEET

## A1.3



1 Existing first floor plan  
1/4" = 1' - 0"



2 Existing second floor plan  
1/4" = 1' - 0"

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REVISIONS

NO.	DESCRIPTION	DATE
1	Revised plans	4/2019

PROJECT TITLE

SHEET TITLE

Existing floor plans

LOCATION

1860 9th Avenue  
San Francisco Ca

BLOCK : 2045 LOT : 030

ZONING : RH-2

N



THESE DRAWINGS REPRESENT  
APPROXIMATIONS OF EXISTING  
CONDITIONS. ALL CONDITIONS AND  
DIMENSIONS ARE TO BE FIELD VERIFIED BY  
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DRAWN

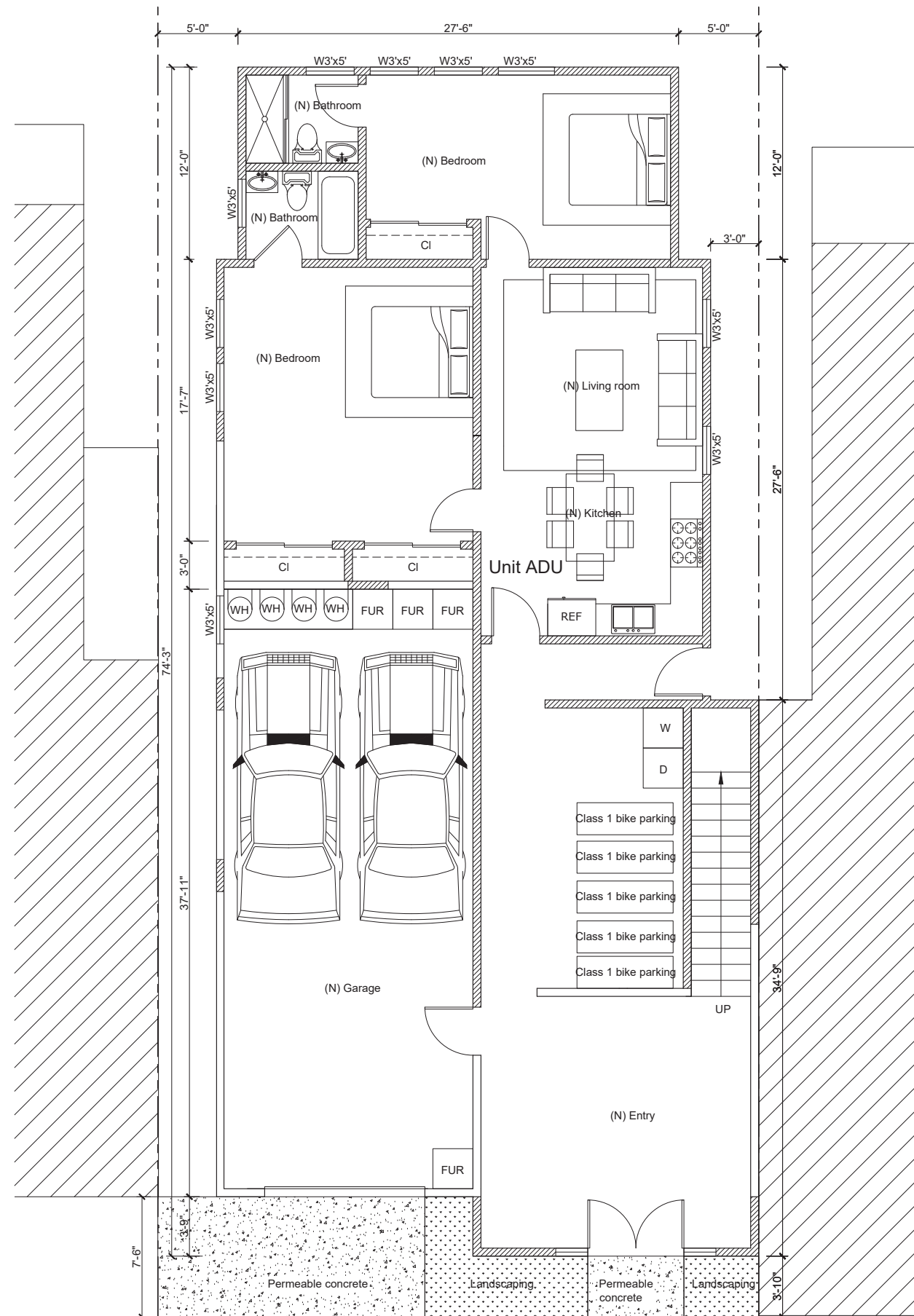
SCALE AS NOTED

DATE 8/5/16

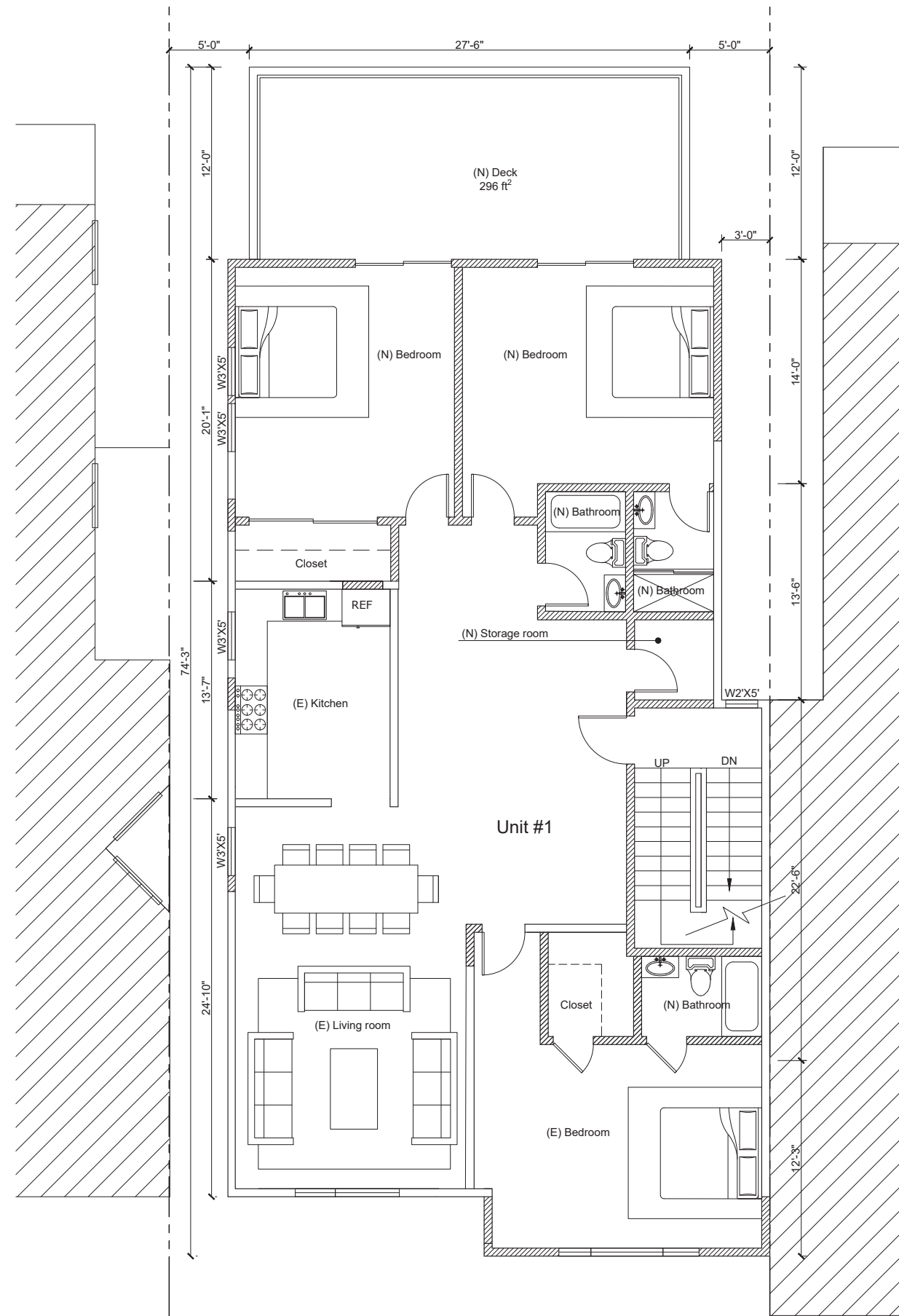
PROJECT NO.

SHEET

A2.1



**1** Proposed first floor plan  
1/4" = 1' - 0"



**2** Proposed second floor plan  
1/4" = 1' - 0"

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ENGINEERING LLC

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SAN FRANCISCO, CA  
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REVISIONS

NO.	DESCRIPTION	DATE
1	Revised plans	4/2019

PROJECT TITLE

SHEET TITLE

Proposed floor plans

LOCATION

1860 9th Avenue  
San Francisco Ca

BLOCK : 2045 LOT : 030

ZONING : RH-2

N



THESE DRAWINGS REPRESENT  
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DRAWN

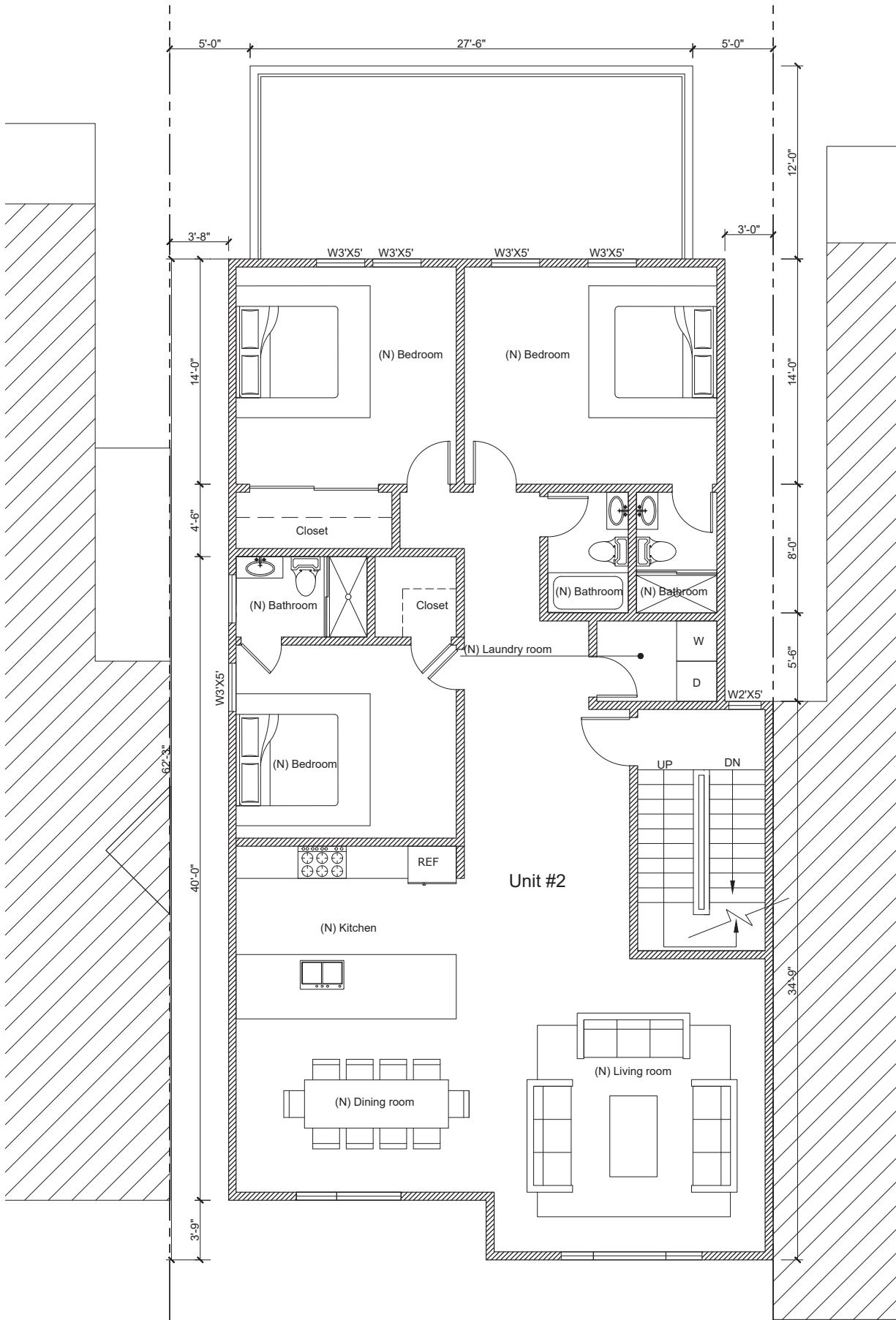
SCALE AS NOTED

DATE 8/5/16

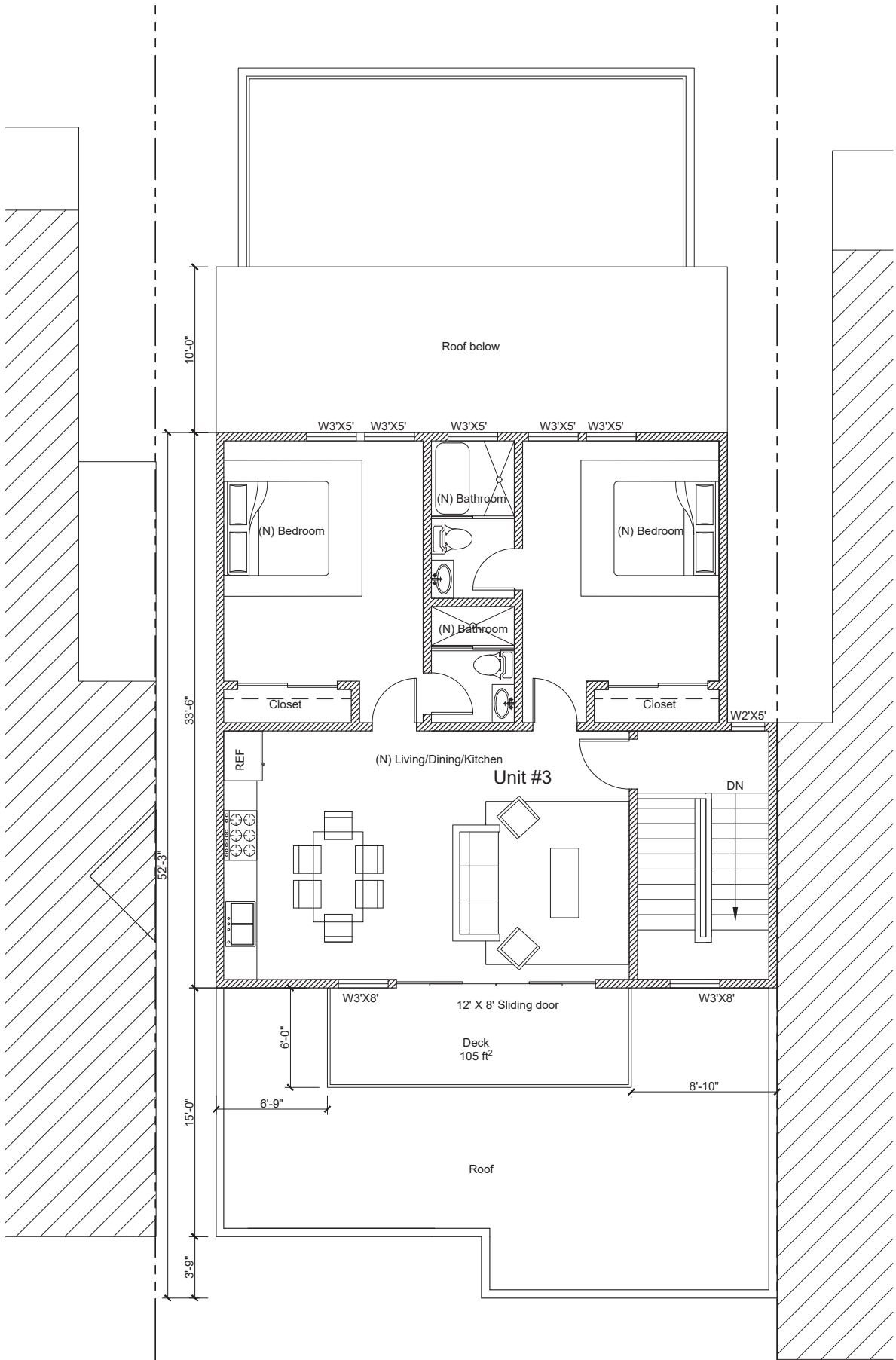
PROJECT NO.

SHEET

**A2.2**



1 Proposed third floor plan  
1/4" = 1' - 0"



2 Proposed fourth floor plan  
1/4" = 1' - 0"

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SAN FRANCISCO, CA  
P 415-322-0793  
F 415-963-4080

REVISIONS

NO.	DESCRIPTION	DATE
1	Revised plans	4/2019

PROJECT TITLE

SHEET TITLE

Proposed floor plans

LOCATION

1860 9th Avenue  
San Francisco Ca

BLOCK : 2045 LOT : 030

ZONING : RH-2

N



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APPROXIMATIONS OF EXISTING  
CONDITIONS. ALL CONDITIONS AND  
DIMENSIONS ARE TO BE FIELD VERIFIED BY  
CONTRACTORS PRIOR TO CONSTRUCTION.



DRAWN

SCALE AS NOTED

DATE 8/5/16

PROJECT NO.

SHEET

A2.3

REVISIONS

NO.	DESCRIPTION	DATE
1	Revised plans	4/2019

PROJECT TITLE

SHEET TITLE

Elevations

LOCATION

1860 9th Avenue  
San Francisco Ca

BLOCK : 2045      LOT : 030

ZONING : RH-2

THESE DRAWINGS REPRESENT  
APPROXIMATIONS OF EXISTING  
CONDITIONS. ALL CONDITIONS AND  
DIMENSIONS ARE TO BE FIELD VERIFIED BY  
CONTRACTORS PRIOR TO CONSTRUCTION.



DRAWN

SCALE      AS NOTED

DATE      8/5/16

PROJECT NO.

SHEET

A3.1



1 Existing front elevation  
1/4" = 1' - 0"



2 Proposed front elevation  
1/4" = 1' - 0"



**1** Existing rear elevation  
1/4" = 1' - 0"



**2** Proposed rear elevation  
1/4" = 1' - 0"

**YUFLUX**  
ENGINEERING LLC

5418A GEARY BLVD.  
SAN FRANCISCO, CA  
P 415-322-0793  
F 415-963-4080

REVISIONS

NO.	DESCRIPTION	DATE
1	Revised plans	4/2019

PROJECT TITLE

SHEET TITLE

Elevations

LOCATION

1860 9th Avenue  
San Francisco Ca

BLOCK : 2045 LOT : 030

ZONING : RH-2

THESE DRAWINGS REPRESENT  
APPROXIMATIONS OF EXISTING  
CONDITIONS. ALL CONDITIONS AND  
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DRAWN

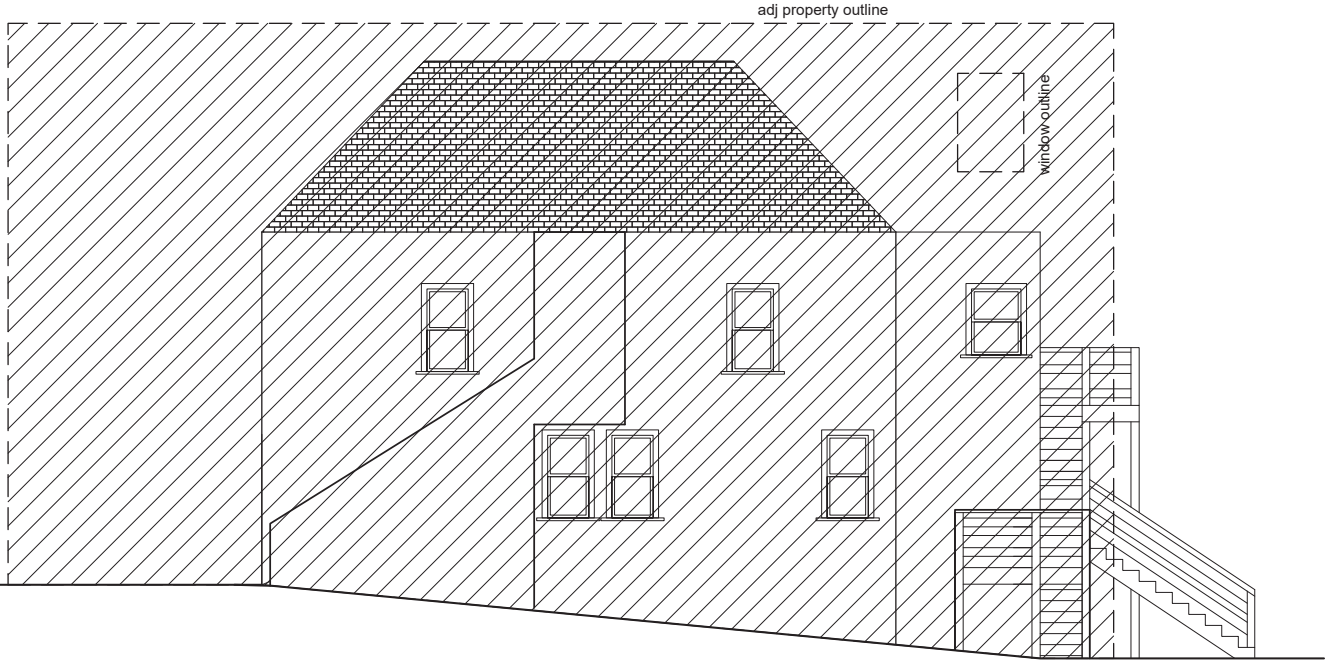
SCALE AS NOTED

DATE 8/5/16

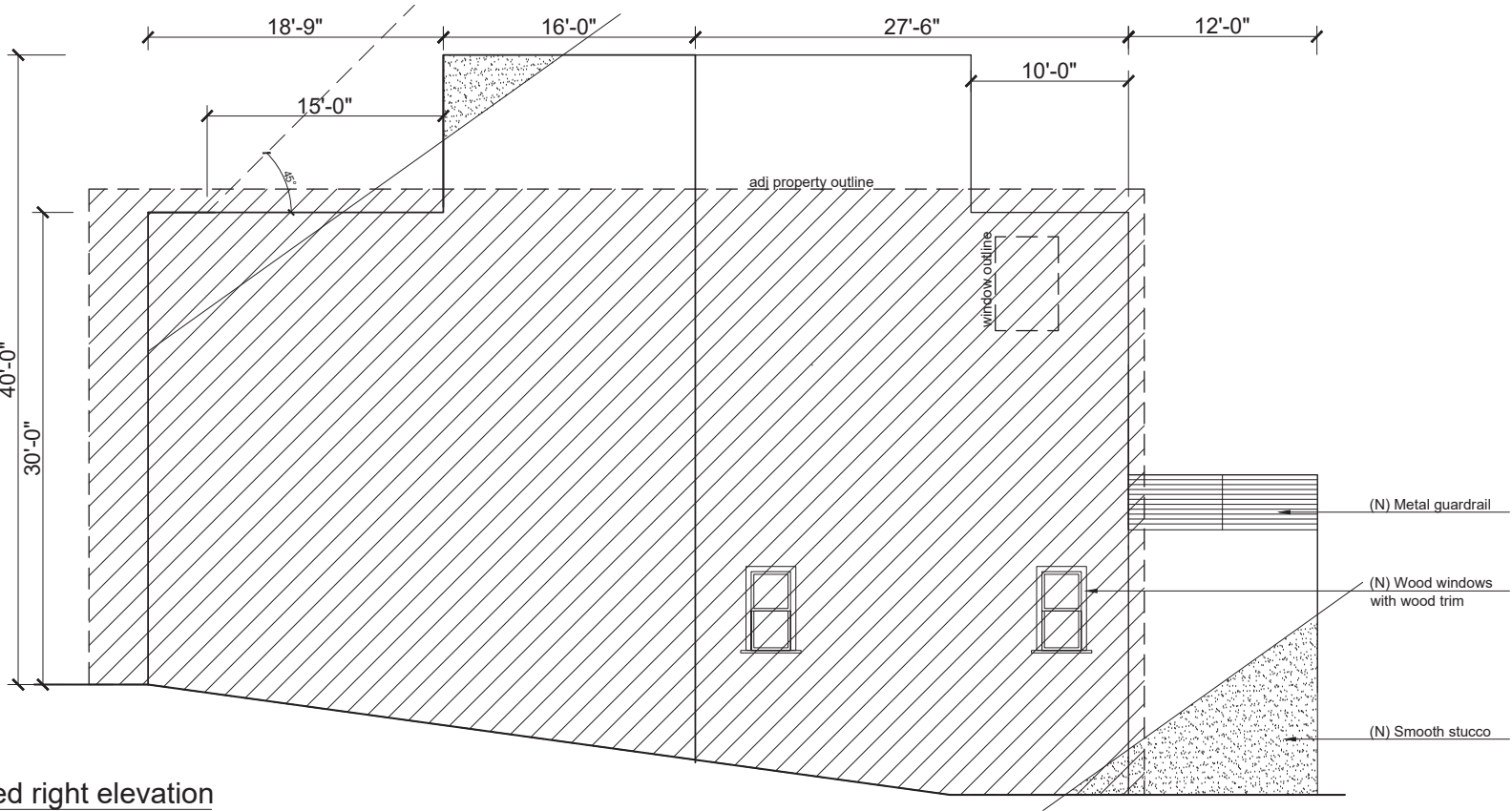
PROJECT NO.

SHEET

A3.2



5 Existing right elevation  
3/16" = 1' - 0" (south elevation)



6 Proposed right elevation  
1/8" = 1' - 0" (south elevation)

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ENGINEERING LLC

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REVISIONS

NO.	DESCRIPTION	DATE
1	Revised plans	4/2019

PROJECT TITLE

SHEET TITLE

Elevations

LOCATION

1860 9th Avenue  
San Francisco Ca

BLOCK : 2045      LOT : 030

ZONING : RH-2

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DRAWN

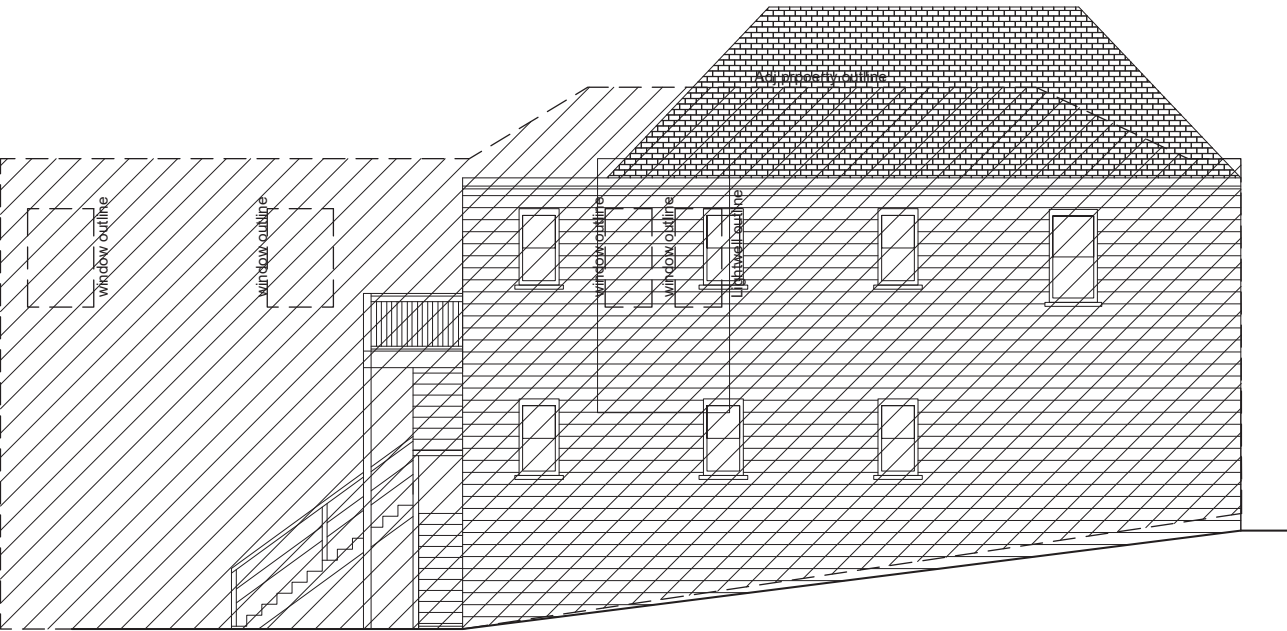
SCALE AS NOTED

DATE 8/5/16

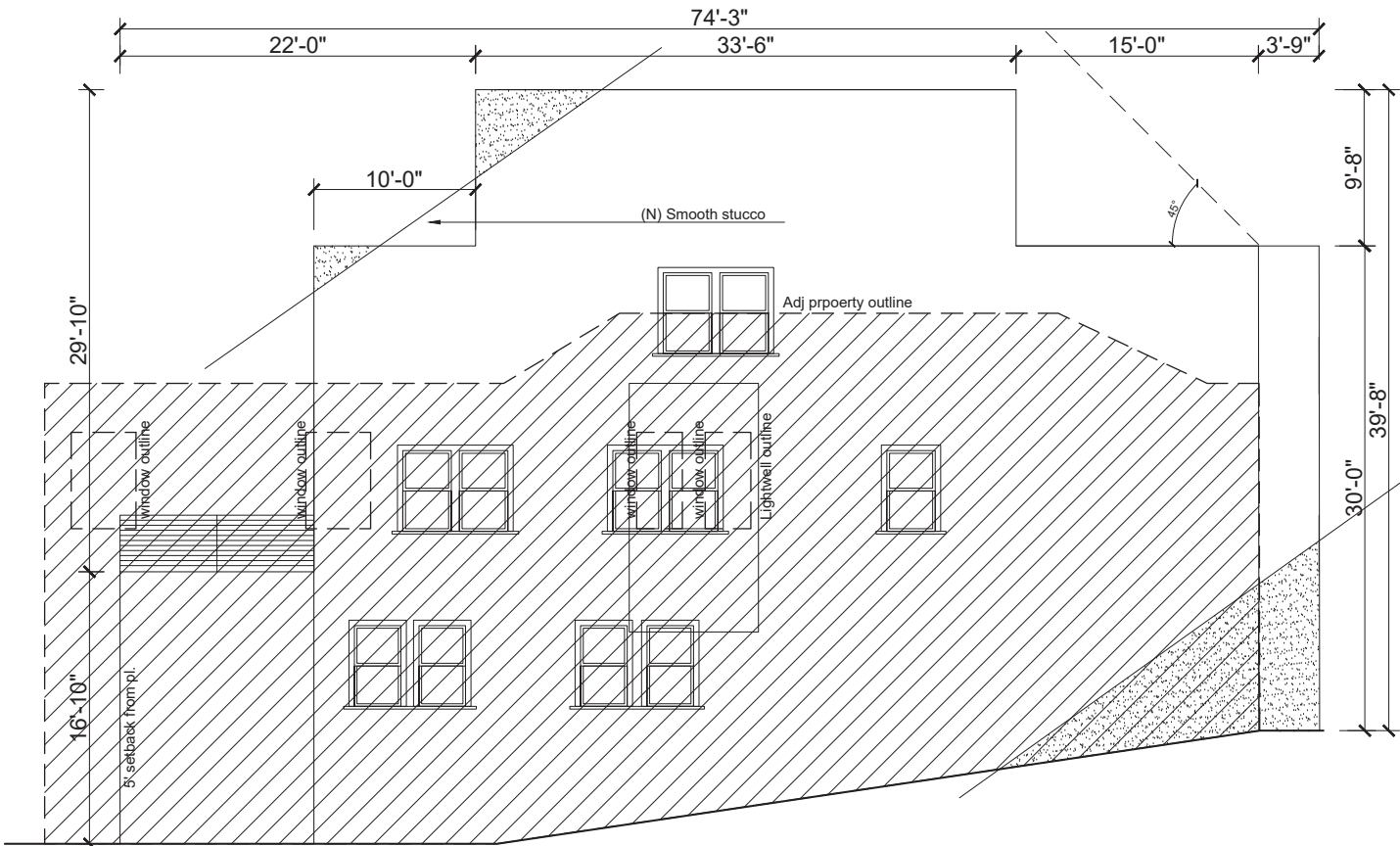
PROJECT NO.

SHEET

A3.3



1 Existing left elevation  
3/16" = 1' - 0"



2 Proposed left elevation  
3/16" = 1' - 0"

YUFLUX  
ENGINEERING LLC

5418A GEARY BLVD.  
SAN FRANCISCO, CA  
P 415-322-0793  
F 415-963-4080

REVISIONS

NO.	DESCRIPTION	DATE
1	Revised plans	4/2019

PROJECT TITLE

SHEET TITLE

Elevations

LOCATION

1860 9th Avenue  
San Francisco Ca

BLOCK : 2045 LOT : 030

ZONING : RH-2

THESE DRAWINGS REPRESENT  
APPROXIMATIONS OF EXISTING  
CONDITIONS. ALL CONDITIONS AND  
DIMENSIONS ARE TO BE FIELD VERIFIED BY  
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DRAWN

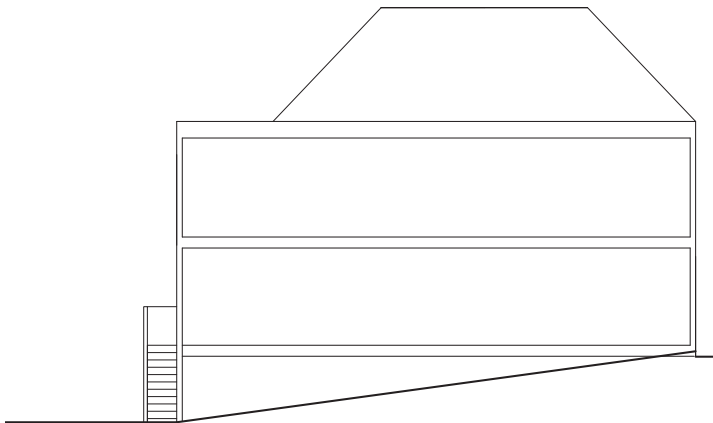
SCALE AS NOTED

DATE 8/5/16

PROJECT NO.

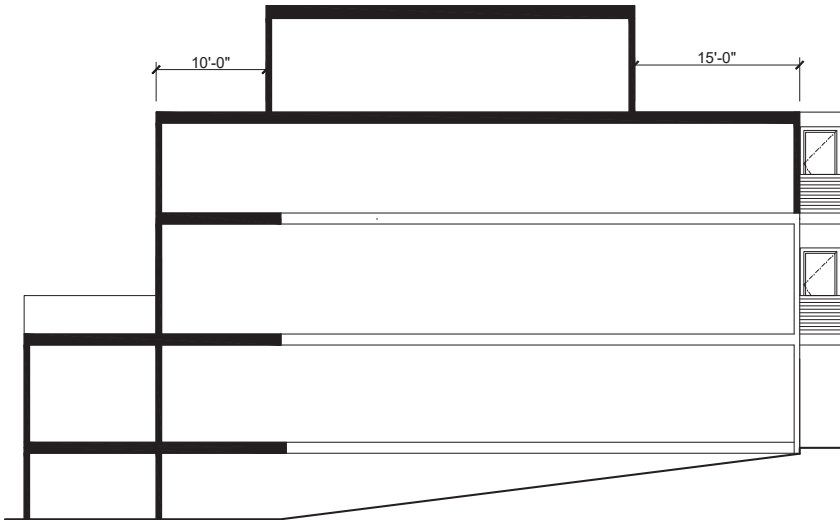
SHEET

A3.4



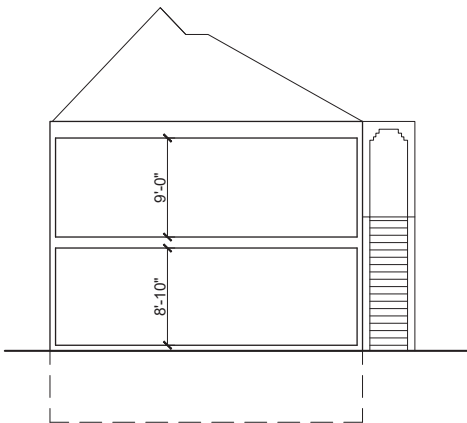
1 Existing longitudinal section

1/8" = 1' - 0"



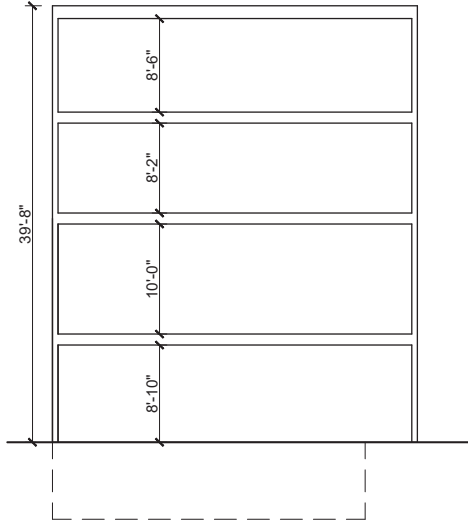
2 Proposed longitudinal section

1/8" = 1' - 0"



3 Existing transverse section

1/8" = 1' - 0"



4 Proposed transverse section

1/8" = 1' - 0"

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5418A GEARY BLVD.  
SAN FRANCISCO, CA  
P 415-322-0793  
F 415-963-4080

REVISIONS

NO.	DESCRIPTION	DATE
1	Revised plans	4/2019

PROJECT TITLE

SHEET TITLE

Sections

LOCATION

1860 9th Avenue  
San Francisco Ca

BLOCK : 2045 LOT : 030

ZONING : RH-2

THESE DRAWINGS REPRESENT  
APPROXIMATIONS OF EXISTING  
CONDITIONS. ALL CONDITIONS AND  
DIMENSIONS ARE TO BE FIELD VERIFIED BY  
CONTRACTORS PRIOR TO CONSTRUCTION.



DRAWN

SCALE AS NOTED

DATE 8/5/16

PROJECT NO.

SHEET

A3.5



# SAN FRANCISCO PLANNING DEPARTMENT

## CEQA Categorical Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
1860-1862 9th Avenue		2045/030	
Case No.	Permit No.	Plans Dated	
2016-011553ENV	201608185448	11/20/2015	
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval. Horizontal and vertical extension of the existing building, converting from a two-story, two-family dwelling into a four-story, two family dwelling unit. The building height would increase from eighteen (18) feet to approximately twenty-eight (28) feet			

### STEP 1: EXEMPTION CLASS

#### TO BE COMPLETED BY PROJECT PLANNER

<b>*Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.*</b>	
<input checked="" type="checkbox"/>	Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 – New Construction/ Conversion of Small Structures. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions.; .; change of use under 10,000 sq. ft. if principally permitted or with a CU. Change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class ____

### STEP 2: CEQA IMPACTS

#### TO BE COMPLETED BY PROJECT PLANNER

<b>If any box is checked below, an <i>Environmental Evaluation Application</i> is required.</b>	
<input type="checkbox"/>	<b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Air Pollutant Exposure Zone)</i>
<input type="checkbox"/>	<b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the</i>

	<i>Mahe program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap &gt; Maher layer).</i>
<input type="checkbox"/>	<b>Transportation:</b> Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	<b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	<b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	<b>Slope = or &gt; 20%:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Landslide Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Liquefaction Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report will likely be required.</b>
<b>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <u>Environmental Evaluation Application</u> is required, unless reviewed by an Environmental Planner.</b>	
<input checked="" type="checkbox"/>	<b>Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.</b>
Comments and Planner Signature (optional): <b>Laura Lynch</b> <div style="font-size: small; margin-top: 5px;"> Digitally signed by Laura Lynch  DN: cn=Lynch, o=City of San Francisco, email=lori.lynch@sfgov.org, email=lori.lynch@sfgov.org  Date: 2017.10.19 12:22:52 -0700 </div>	

### STEP 3: PROPERTY STATUS – HISTORIC RESOURCE TO BE COMPLETED BY PROJECT PLANNER

<b>PROPERTY IS ONE OF THE FOLLOWING:</b> (refer to Parcel Information Map)	
<input type="checkbox"/>	<b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>
<input checked="" type="checkbox"/>	<b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>
<input type="checkbox"/>	<b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b>

**STEP 4: PROPOSED WORK CHECKLIST**  
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. <b>Change of use and new construction.</b> Tenant improvements not included.
<input type="checkbox"/>	2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input checked="" type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW**  
TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. <b>Interior alterations to publicly accessible spaces.</b>
<input type="checkbox"/>	3. <b>Window replacement</b> of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. <b>Addition(s)</b> , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. <b>Other work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):

<input type="checkbox"/>	<p>9. Other work that would not materially impair a historic district (specify or add comments):</p> <p>(Requires approval by Senior Preservation Planner/Preservation Coordinator) _____</p>
<input checked="" type="checkbox"/>	<p>10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation Coordinator)</p> <p><input type="checkbox"/> Reclassify to Category A      <input checked="" type="checkbox"/> Reclassify to Category C</p> <p>a. Per HRER dated: _____ (attach HRER)</p> <p>b. Other (specify): Per PTR form signed 1/18/18</p>
<p><b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</b></p>	
<input type="checkbox"/>	<p>Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. <b>GO TO STEP 6.</b></p>
<input checked="" type="checkbox"/>	<p>Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. <b>GO TO STEP 6.</b></p>
<p>Comments (optional):</p>	
<p>Preservation Planner Signature: Elizabeth Gordon Jonckheer</p> <p><small>Digitally signed by Elizabeth Gordon Jonckheer DN: cn=Elizabeth Gordon Jonckheer, o=City Planning, ou=Current Planning, email=Elizabeth.Gordon-Jonckheer@sfgov.org Date: 2018.01.25 11:12:50 -08'00'</small></p>	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION**  
TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<p>Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply):</p> <p><input type="checkbox"/> Step 2 – CEQA Impacts</p> <p><input type="checkbox"/> Step 5 – Advanced Historical Review</p> <p><b>STOP! Must file an <i>Environmental Evaluation Application</i>.</b></p>						
<input checked="" type="checkbox"/>	<p>No further environmental review is required. The project is categorically exempt under CEQA.</p> <table border="1"> <tr> <td> <p>Planner Name: E. Jonckheer</p> </td> <td> <p>Signature:</p> <p><b>Elizabeth Gordon Jonckheer</b></p> <p><small>Digitally signed by Elizabeth Gordon Jonckheer DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Elizabeth Gordon Jonckheer, email=Elizabeth.Gordon-Jonckheer@sfgov.org Date: 2018.01.25 11:12:50 -08'00'</small></p> </td> </tr> <tr> <td> <p>Project Approval Action:</p> <p>Building Permit</p> <p>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p> </td> <td colspan="2"> <p>Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.</p> </td> </tr> </table>		<p>Planner Name: E. Jonckheer</p>	<p>Signature:</p> <p><b>Elizabeth Gordon Jonckheer</b></p> <p><small>Digitally signed by Elizabeth Gordon Jonckheer DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Elizabeth Gordon Jonckheer, email=Elizabeth.Gordon-Jonckheer@sfgov.org Date: 2018.01.25 11:12:50 -08'00'</small></p>	<p>Project Approval Action:</p> <p>Building Permit</p> <p>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p>	<p>Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.</p>	
<p>Planner Name: E. Jonckheer</p>	<p>Signature:</p> <p><b>Elizabeth Gordon Jonckheer</b></p> <p><small>Digitally signed by Elizabeth Gordon Jonckheer DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Elizabeth Gordon Jonckheer, email=Elizabeth.Gordon-Jonckheer@sfgov.org Date: 2018.01.25 11:12:50 -08'00'</small></p>						
<p>Project Approval Action:</p> <p>Building Permit</p> <p>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p>	<p>Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.</p>						

**STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT  
TO BE COMPLETED BY PROJECT PLANNER**

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

**PROPERTY INFORMATION/PROJECT DESCRIPTION**

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
Plans Dated	Previous Approval Action	New Approval Action
Modified Project Description:		

**DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION**

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required. <b>CATEX FORM</b>	

**DETERMINATION OF NO SUBSTANTIAL MODIFICATION**

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:



# SAN FRANCISCO PLANNING DEPARTMENT

## PRESERVATION TEAM REVIEW FORM

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

<b>Preservation Team Meeting Date:</b> 1/3/2018	<b>Date of Form Completion</b> 1/3/2018
---	---

<b>PROJECT INFORMATION:</b>		
Planner:	Address:	
Elizabeth Jonckheer	1860-1862 9th Avenue	
Block/Lot:	Cross Streets:	
2045/030	Noriega and Ortega Streets	
CEQA Category:	Art. 10/11:	BPA/Case No.:
B	n/a	2016-011553ENV

<b>PURPOSE OF REVIEW:</b>			<b>PROJECT DESCRIPTION:</b>	
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input checked="" type="radio"/> Alteration	<input type="radio"/> Demo/New Construction

<b>DATE OF PLANS UNDER REVIEW:</b>	November 20, 2015
------------------------------------	-------------------

<b>PROJECT ISSUES:</b>	
<input checked="" type="checkbox"/>	Is the subject Property an eligible historic resource?
<input type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
Supplemental Information for Historic Resource Determination prepared by Stacy Farr (dated September 13, 2017). Proposed Project: Horizontal and vertical extension of the existing building, converting from a two-story, two-family dwelling into a four-story, two family dwelling unit. The building height would increase from eighteen (18) feet to approximately twenty-eight (28) feet.	

<b>PRESERVATION TEAM REVIEW:</b>				
Category:		<input type="radio"/> A	<input type="radio"/> B	<input checked="" type="radio"/> C
Individual		Historic District/Context		
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:		
Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Period of Significance:	n/a	Period of Significance:	n/a	
		<input type="radio"/> Contributor <input type="radio"/> Non-Contributor		


Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment to the individual historic resource:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
CEQA Material Impairment to the historic district:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Defer to Residential Design Team:	<input checked="" type="radio"/> Yes	<input type="radio"/> No	

**PRESERVATION TEAM COMMENTS:**

According to the Supplemental Information for Historic Resource Determination by Stacy Farr (dated September 13, 2017), and information found in the Planning Department files, the subject property at 1860-62 9th Avenue is a two-story, two-unit residential building clad in stucco and horizontal channel-drop siding, constructed in 1902 (source: "Real Estate Transactions", San Francisco Chronicle and Spring Valley Water Tap record). The building reflects no specific architectural style due to alterations. Mary L. Alexander (a widow and later a secretary) appears to have commissioned the construction of the subject property for rental as she never lived at the address. Thereafter there was regular turnover in the owners and occupants of the property over time. Known alterations to the property include: stuccoing the front and replacing the stairs (1927), adding two rooms, a staircase and new front stairs to upper flat (1953), raising the foundation at the southwest portion of the building, replacing damaged rustic siding and cutting off the lower ends of door jambs at rear facade (1959), and removing the tar and gravel roofing with a fiberglass/gravel/asphalt roof (1994). Visible alterations not reflected in the permit record include: removal of first floor level tripartite windows at the primary facade replaced between 2008 and 2015: earlier windows were four-over-one double-hung wood sash windows flanking a one-over-one double-hung wood sash window.

No known historic events occurred at the subject property (Criterion 1). None of the owners or occupants have been identified as important to history (Criterion 2). The building is not architecturally distinct such that it would qualify individually for listing in the California Register under Criterion 3. The subject property is not located within the boundaries of any identified historic district. The subject property is located in the Inner Sunset neighborhood. The block of 9th Avenue between Noriega and Ortega Avenues is uniformly residential. However, unlike many other blocks in the Sunset District, construction on this block appears to have occurred incrementally, by individual builders or small scale developers. Building types include a mixture of single-family houses, two- and three-unit flats, and small, multi-unit apartment buildings. Building heights range from one to three stories, and setbacks vary, with some properties flush with the street and others set substantially back. The dates of construction on the block vary, with all decades between 1900 and 1970 represented.

- continued -

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
	1/18/18

PTR Form  
2016-011553ENV  
1860-1862 9th Avenue

Architectural styles reflect this range of construction dates, and include Queen Anne, Craftsman, Mission Revival, Mediterranean Revival, Marina, Moderne, French Normandy Revival, and Contractor Modern styles. Many properties on the block exhibit alterations at the primary facade, generally removal of original windows and replacement with aluminum sash sliding windows. Some of the oldest buildings on the block have undergone significant alterations. This neighborhood itself is not of remarkable architectural quality such that it would be significant for its architecture, and therefore could not be considered a potential historic district. The subject building is not significant under Criterion 4, since this significance criterion typically applies to rare construction types when involving the built environment. The subject building is not an example of a rare construction type.

Therefore, the subject property is not eligible for listing in the California Register under any criteria individually or as part of a historic district. This assessment does not address archeology.



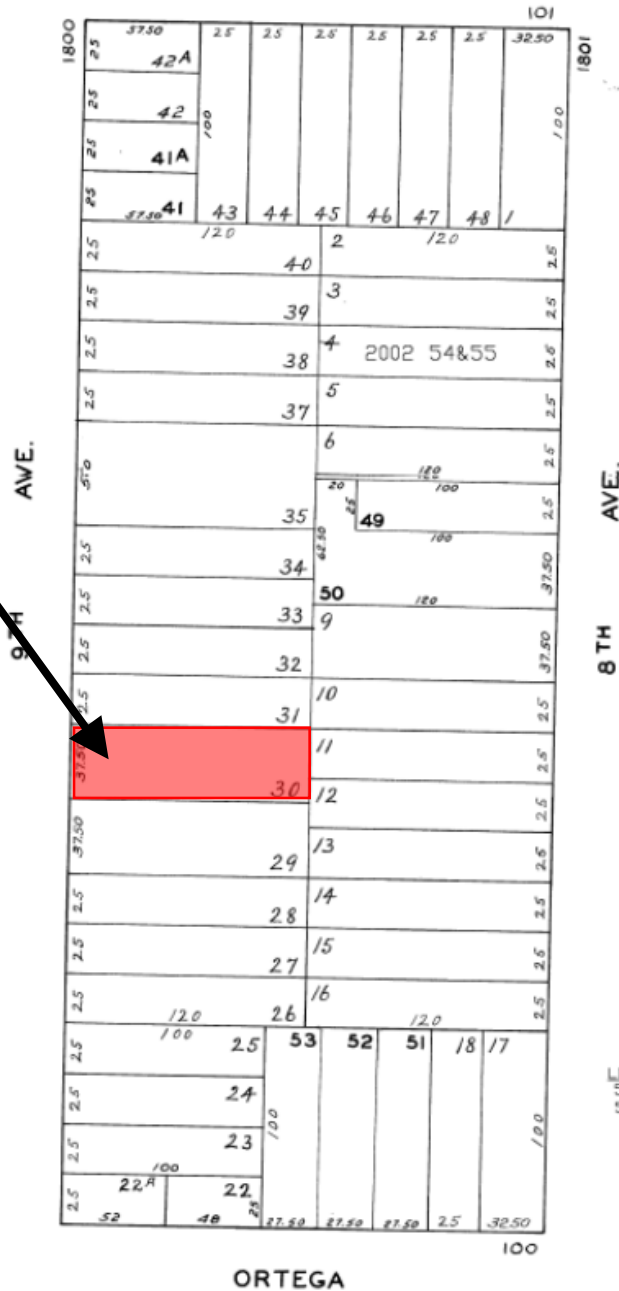
# Parcel Map

*MERGED*  
 1901 19  
 1901 46  
 1901 46  
 15 for 2002 roll



NORIEGA

**SUBJECT PROPERTY**

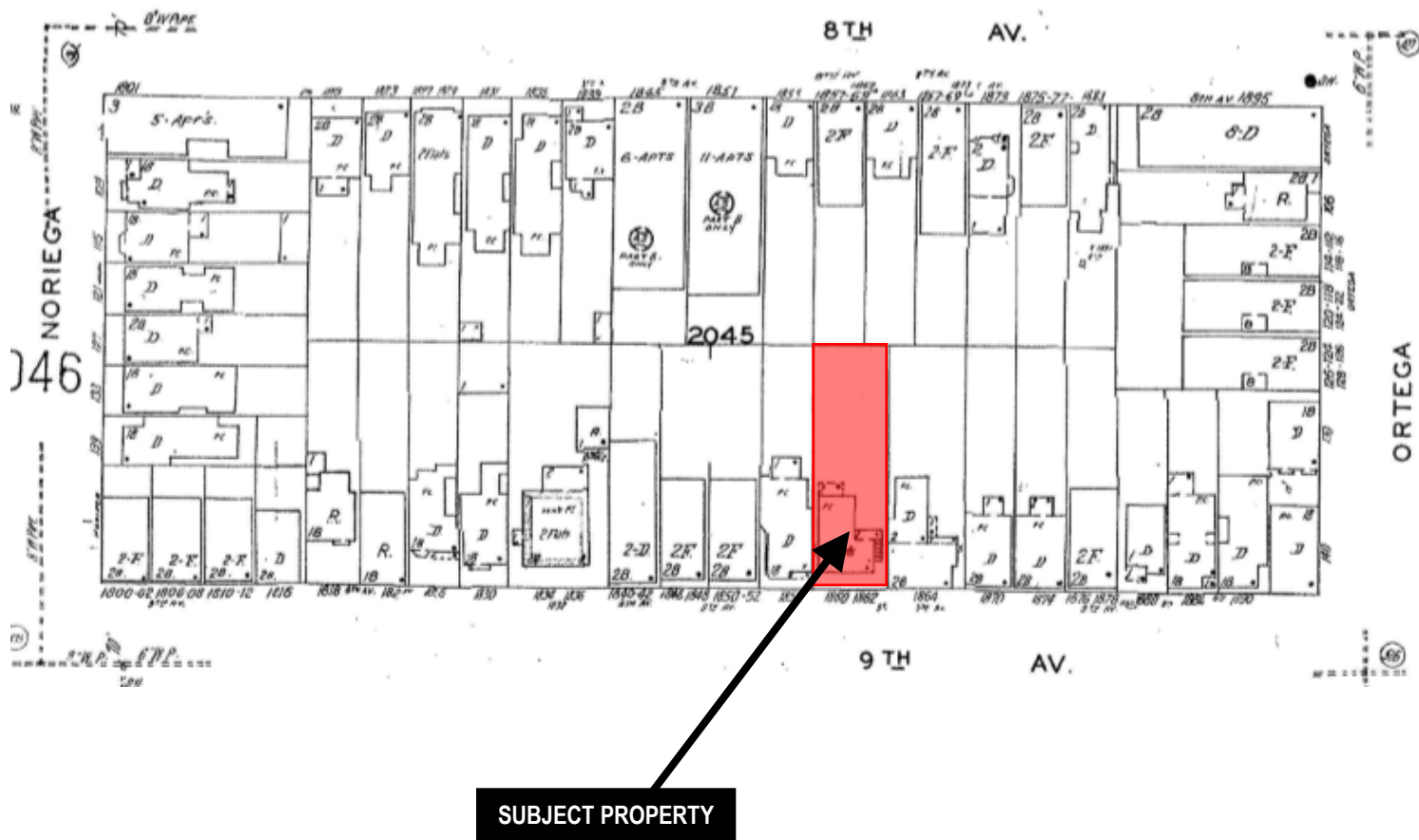


1827-18  
 A C  
 LDI LNI  
 54 182  
 55 182



Conditional Use Authorization  
 Case Number 2019-000189CUA  
 1860 9th Avenue

# Sanborn Map\*

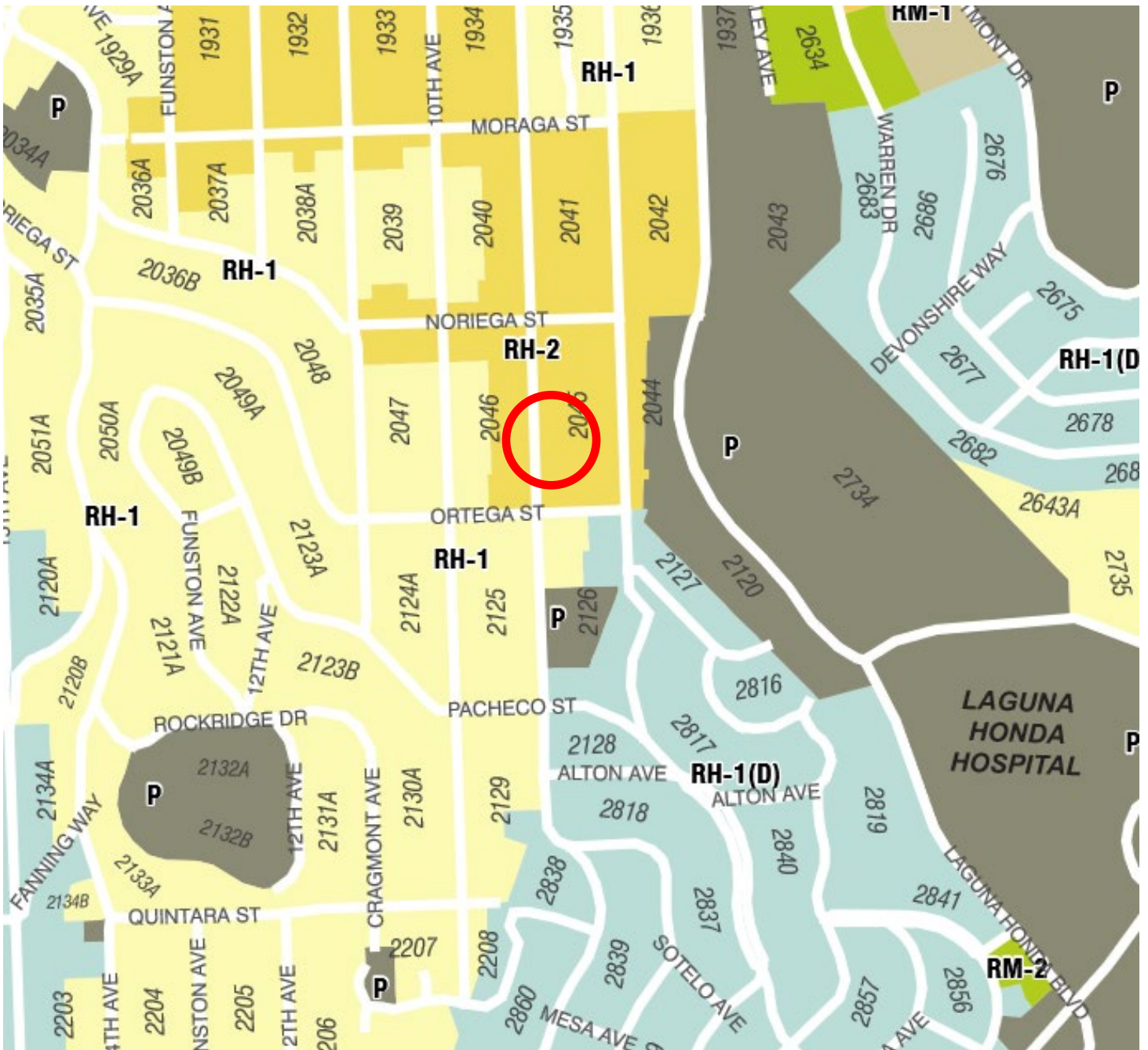


*\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.*



Conditional Use Authorization  
**Case Number 2019-000189CUA**  
 1860 9th Avenue

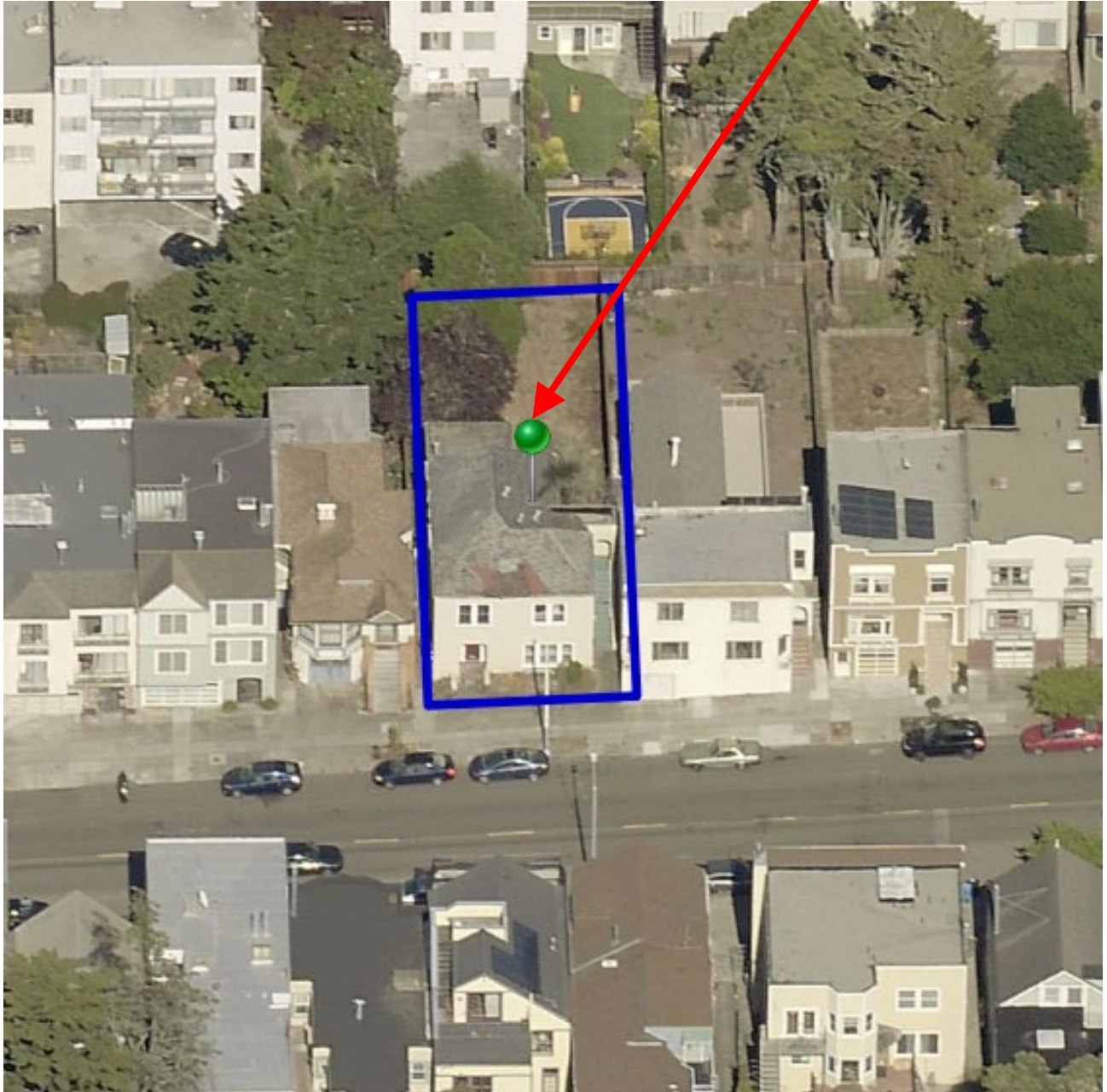
# Zoning Map



Conditional Use Authorization  
Case Number 2019-000189CUA  
1860 9th Avenue

# Aerial Photo

SUBJECT PROPERTY



Conditional Use Authorization  
Case Number 2019-000189CUA  
1860 9th Avenue

# Aerial Photo

SUBJECT PROPERTY



Conditional Use Authorization  
Case Number 2019-000189CUA  
1860 9th Avenue

# Existing Site Photo



Conditional Use Authorization  
Case Number 2019-000189CUA  
1860 9th Avenue



5418A Geary Blvd  
San Francisco, Ca 94121

Date: April 12th, 2019

Client:  
1860-1862 9<sup>th</sup> Avenue  
San Francisco Ca

Hello San Francisco Planning Department. This report is to assess the existing condition at 1860 9<sup>th</sup> avenue. The building was built in 1900 and is two story two unit residences. The building has been poorly maintained and in need of extensive renovation.

The entry door (north side) steps for 1860 9<sup>th</sup> Avenue have started to separate and settle. See figure 1

The asphalt shingle are detaching from the roof. Currently there are three layers of asphalt shingle (typically only one additional layer is allowed over original). See figure 2

The entry wood stairs for 1862 9<sup>th</sup> Avenue on the south side has settled along with the stucco wall. There is cracking in the stucco and the first three steps have settled. See figure 3 and 4

The handrail at entry stairs for 1862 9<sup>th</sup> Avenue on the south side is partially missing and handrail remaining is decayed.

The wood stairs at rear are decayed and not code conforming. The guardrails have openings exceeding 4" in diameter. The stairs are missing a handrail. The first two steps have settled. Reinforcements have been made with P.T. wood for stability. See figure 6 and 7

The existing wood windows are decayed with paint peeling and single pane. See figure 2 and figure 8

The replacement windows around the house are vinyl and most likely do not meet current energy standards. See figure 9

The wood overhang on the exterior has decayed. See figure 10-11

The foundation has decayed substantially and was constructed poorly with concrete over existing brick. See figure 12-18

The exterior wall have signs of water intrusion and no building paper or moisture barrier. See figure 17 and 18

Interior walls have cracks and peeling paint. See figure 19-22

Flooring is missing and linoleum is decaying on first floor. See figure 23-24

Plumbing fixtures on first floor in decay. See figures 25-26

First floor ceiling in walls full of black mold. Lath and plaster is cracking and falling off. See figures 27-30

Figure 1



Figure 2



Figure 3

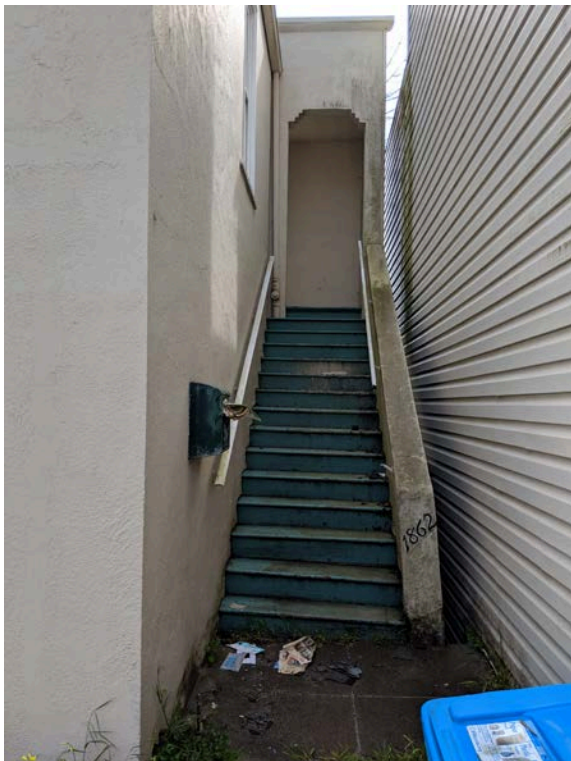


Figure 4

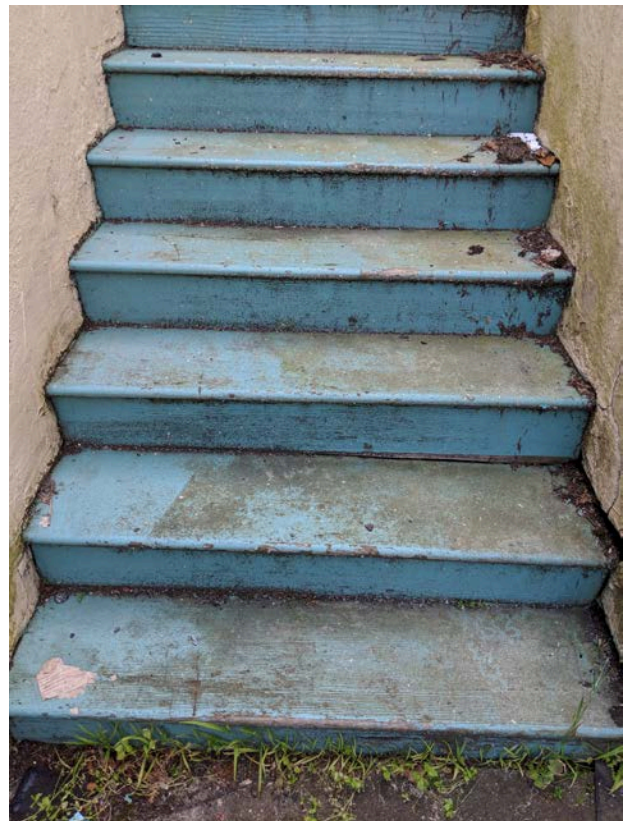


Figure 5

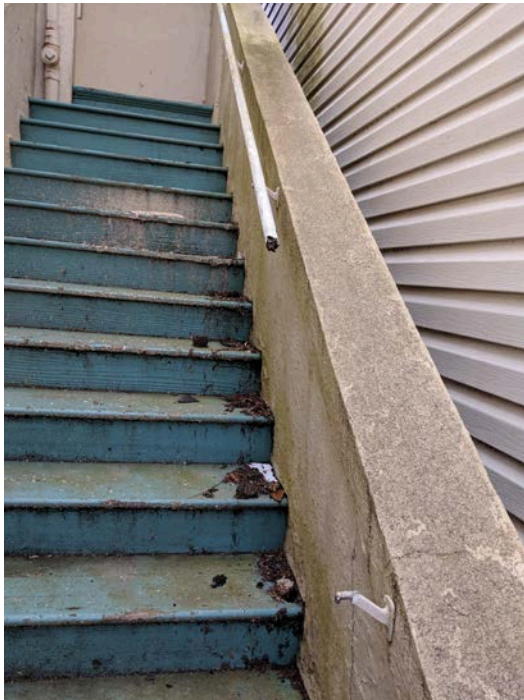


Figure 6



Figure 7



Figure 8



Figure 9



Figure 10



Figure 11



Figure 12



Figure 13



Figure 15



Figure 16



Figure 17



Figure 18



Figure 19



Figure 20

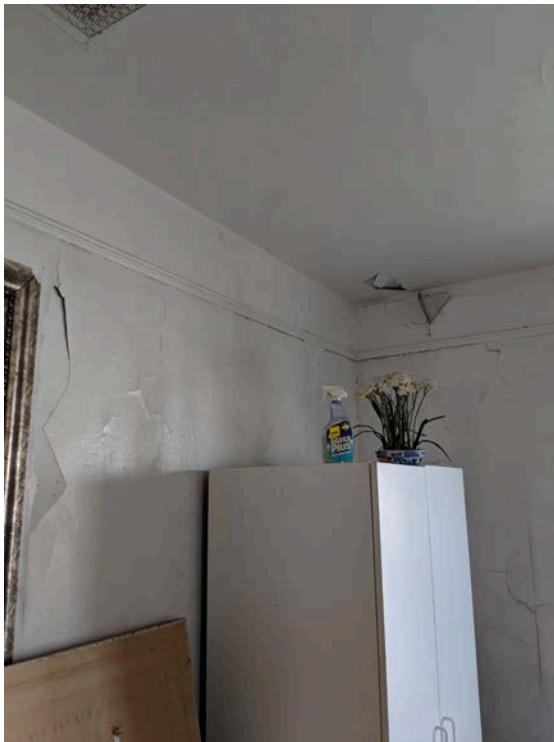


Figure 21



Figure 22



Figure 23



Figure 24



Figure 25



Figure 26



Figure 27



Figure 28



Figure 29



Figure 30



RECEIVED

MAY 01 2019

CITY & COUNTY OF S.F.  
PLANNING DEPARTMENT  
RECEPTION DESK

1857 9<sup>th</sup> Ave.  
San Francisco, Calif. 94122  
22 April 2019

Mr. Jeffrey Horn  
San Francisco Planning Commission  
4<sup>th</sup> Floor, Suite 400  
1650 Mission St.  
San Francisco, California 94103

RE: 1860 9<sup>th</sup> Ave., Record Number 2019-000189CUA

San Francisco Planning Commission:

When this writer first met the occupants of 1860 9<sup>th</sup> Ave. in the late 1990s, two disabled women lived in the building, one in each unit. Delores, living in the lower level had been there for about 20 years. She could not walk without the use of a walker due to injuries from a childhood accident. The other lady of whom I do not recall her name, lived for several years upstairs even though she had difficulty walking. Obviously, both units are easily entered and inhabited by the disabled. The disabled would be prevented from living at 1860 should it be massively increased 300% to almost 7,000 sq. ft. and 4 levels.

Not only is the owner of 1860 seeking to eliminate two units appropriate for disabled housing, there are many other negative issues:  
massive size out-of-character for the neighborhood,  
diminished light to multiple neighbors on 3 sides,  
privacy invasions,  
and others as addressed in this report submitted to our Planning Commission.

There was a very brief pre-planning meeting in Summer 2016 at which there was 100% disapproval of demolishing 1860 9<sup>th</sup> Ave. and attempting to build a very out-of-neighborhood-character duplex of 8 bedrooms. Not one person expressed any approval. It is interesting to note that the very items objected to in 2016 are the items avoided in informing the public on the Notice of Public Hearing. To find the total number of bedrooms, the massive size, etc., etc. the public has to attempt to find this at the Planning Commission website. The website has been much improved, but since the public seldom accesses that site, it remains a bit time-consuming such that members of the public will simply look at the Notice of Public Hearing and assume it contains all information needed to make a vital decision about our neighborhood which will have negative and decades-long influences on the neighborhood and its livability.

SHARP, the local neighborhood association, was not informed of the pre-planning meeting in 2016. They were informed by neighbors with the situation being discussed by the Board of Directors. It was decided to monitor the situation at 1860 9<sup>th</sup> Ave. I was given the task of doing so with advice from two other members. Several months later I received an unusual, almost

indecipherable e-mail vaguely stating that the Planning Department had requested the e-mail be sent to me. I replied to the writer who never responded. I sent an e-mail to Planning and was informed they knew nothing about the e-mail and had not informed anyone to send me e-mails or correspondence of any sort.

### DESTRUCTIVE ASPECTS OF PROPOSED APARTMENT PLAN FOR 1860 9<sup>th</sup> Ave.:

#### Light

- A. Decrease in East, South, and West light to multiple residences.
  - 1. 1858 9<sup>th</sup> Ave.--immediate North neighbor.
    - 1.a. The plan for this requested building goes **against city codes!** Whether this is purposeful negligence or ignorance, the result is the same--and VERY concerning. It can be assumed that if this avoidance occurred once, more situations are being concealed.
    - 1.b. The plan shows intention to negate all South light at 1858 9<sup>th</sup> Ave. to the extent of even blocking the window-well which is the only South light for this home.
    - 1.c. Such obvious contempt for the most basic of planning and for neighbors makes one suspicious of all intentions at 1860 9<sup>th</sup> Ave..
    - 1.d. The builder of 1858 was very knowledgeable in using all aspects of a site such as Sun angles at various times of the year, the form of 1860, etc. to produce high-quality work. Photos taken in Summer and then close to the Spring Equinox reveal that the house at 1858 was constructed in coordination with the angles of 1860 9<sup>th</sup> Ave., especially the roof such that even though 1858 is a much smaller building and located to the North, it gets a good share of the available light.
    - 1.e. Stacking a bunch of 90-degree-angled boxes on top of each other, pushing outward in four directions and three levels is not only a simpleton idea bringing nothing to the neighborhood, nothing to the architecture of the City, but placing 1858 9<sup>th</sup> Ave. into perpetual shadow. This action would also negate light both north and south of 1860 going to 1857-1859 across the street, especially on the first level which is 1859.  

See photo next page
  - 2.. 1857-1859 9<sup>th</sup> Ave., immediate West neighbor.
    - 2.a. Four levels of stacked boxes out to the lot line at 1860 9<sup>th</sup> Ave. blocks light for the 2<sup>nd</sup> and especially the 1<sup>st</sup> level of 1857-1859 9<sup>th</sup> Ave.
    - 2.b. **How much more ironic can it get? There is a CURRENT City Permit for 1857-1859 9<sup>th</sup> Ave. for work to ENHANCE LIGHT at the 1<sup>st</sup> level (1859)!--#2018-07-05-3841. This, while even considering a pile of stacked boxes to inhibit the very light for which the architect planned and the City approved originally in 2010!**
    - 2.c. 1859 is a legal unit not rented for years after three potential renters claimed it was "too dark". It was. Work started to correct this in 2011. The current permit completes this work. The rear of the unit has been improved as much as possible for light entry, but there is a limit as to how much can be done at this level because the

house is built into a slope; the rear wall of 1859 is actually the upper 3.5 ft. of a substantial retaining wall.

- 2.d. The most recent work for the front started in 2017 with completion expected June 2019. There was an earlier permit for repair/restoration of the stairs in front of 1859 9<sup>th</sup> Ave.. The hope was that restoration could mean the original stairs would remain—stairs which had been covered with asbestos shingles since 1947. The original balusters are widely spaced (8 inches) allowing light into 1859 as originally built. Two contractors, however, informed me the dry rot was extensive such that repair/restoration was out of the question. Even with the now standard 4 inch space between balusters, there will still be an increase in light entering 1859 UNLESS two levels of stacked boxes are allowed to delay morning light coming from the East.
- 2.e. The 2<sup>nd</sup> level of 1857 9<sup>th</sup> Ave. would also be negatively affected not just by two levels of stacked boxes, but by closing off the two triangular spaces currently existing on each side of 1860 above the first level



- 2.f. **Morning light is extremely important to 1857. The kitchen has NO windows!**

Light enters the kitchen via 4 doors, **one of which is in the East where two transoms capture as much light as possible.** Light enters also from the front bay windows via the hall and dining room. The 2<sup>nd</sup> level of 1857 has 6 East windows plus glass in the front door (larger glass when the current permit is complete)—all work in the front aimed at maximum capture of East light.

3. The small residence (only a little over 1,100 sq. ft.) at 1853 9<sup>th</sup> Ave. would be very negatively affected by any reduced East light especially Spring, Fall, Winter. Similar to 1857, the home was constructed with maximum windows in front for light. The elderly

gentleman living at this address is currently recovering from surgery so has probably not had a chance to address the negative potential effects of a huge apartment building across the street.

4. Homes on the West side of the 1800 block of 8<sup>th</sup> Ave. would be negatively affected by reduced afternoon light in this relatively steep and narrow section of the valley. The valley slopes down to 7<sup>th</sup> Ave. in the bottom of the valley. The West ridge of the valley slopes up to 743 ft.. (Google Earth)
5. Site-specific considerations regarding light are vital as evidenced by the Board of Supervisors' recent decision to prevent reduction of light onto a public park by 10%. Light reaching a valley is naturally reduced by the surrounding slopes. Short of a professional assessment of light, how might we assess the already reduced light within a valley and the reduction in light reaching any particular site when builders operate only on greed? There are means of at least showing the trend of light reduction minus the necessary professional assessment.
  - 5.a. When there are questions of light, privacy, neighborhood, a professional assessment is necessary for informed, quality decisions.
  - 5.b. Without professional information, we are left with local observations and published charts of times of sunrise/sunset.
  - 5.c. Below are readings from 1859 9<sup>th</sup> Ave. when sunlight first could be seen:  
 30 March 2019 - Sun came up over the north 25% of 1864 9<sup>th</sup> Ave. @ 0745  
 30 March 2019 - Sun went down behind 1862 10<sup>th</sup> Ave. @ 1756  
**Hours of sunlight=9 hr. 71 min. or 10 hr. 11 min.**  
 31 March 2019 - Sun came up between 1864 and 1860 9<sup>th</sup> Ave. @ 0742  
 31 March 2019 - Sun went down behind peak of 1862 10<sup>th</sup> Ave. @ 1757  
**Hours of sunlight=9 hr. 75 min. or 10 hr. 15 min.**
  - 5.d. Below are the times for sunrise/sunset in San Francisco not in the hills where the times would vary depending upon site location within hills/valleys. This information comes from <https://www.sunrise-sunset.org/us/san-francisco-ca-2018/3> (last accessed 24 April 2019)  
 30 March - Sunrise expected at San Francisco at 0656  
 Sunset expected at San Francisco at 1931  
**Hours of sunlight not in valley=12 hr., 35 min.**  
 31 March - Sunrise expected at San Francisco at 0654  
 Sunset expected at San Francisco at 1932  
**Hours of sunlight not in valley=12 hr. 38 min.**
  - 5.e. So, we can see the negative light aspects already naturally present in the valley of which the 1800 block of 9<sup>th</sup> Ave. is located in objective numbers:  
**On 30 March, 1800 block of 9<sup>th</sup> Ave. had 2 hr. 24 min. reduced hours of sunlight**  
**due to natural location in a valley.**  
**On 31 March, 1800 block of 9<sup>th</sup> Ave. had 2 hr. 23 min. reduced hours sunlight**  
**due to natural location in a valley.**  
 Sunlight readings in Winter would, of course, be even worse.  
 Loss of light on 8<sup>th</sup> Ave. is greater due to greater depth in the valley.

**IT CAN, THEREFORE, BE SEEN THAT ANY REDUCTION IN LIGHT FROM INCREASED MASS OF STRUCTURES WOULD HAVE NEGATIVE EFFECTS IN THE 1800 BLOCK OF 9<sup>TH</sup> AVE..**

- 5.f. The 1800 block of 9<sup>th</sup> Ave. is in a valley trending from South to North in height. The South end is at about 797 ft. This relatively long valley (Quintara to Irving) has a width wider at the top and bottom than the middle, the valley narrowing significantly at the 1900 block by a westward slope of Mt. Sutro. The narrowest part of the valley is from Ortega to Lawton of which the 1800 block of 9<sup>th</sup> Ave. is a part. All altitudes are from Google Earth (last accessed 26 April 19)  
The East side of the valley is at 910 ft. increasing to the North to 970 ft.  
The West side of the valley is at 743 ft.
6. Height is not the only aspect of light reduction; building configuration is also important. East sunlight strikes 1853, 1857, 1859 9<sup>th</sup> Ave. via the large triangular spaces on both the North and South sides of the sloped roof of 1860. See photos.
- 6.a. The homes at 1853, 1857, and 1859 were all built later than 1860 and, so, were constructed (as was 1858) in conjunction with the lines of 1860 (especially the roof). East light is the PRIMARY light of these homes which are all built into a slope rising sharply behind them and up at least another 200+ ft.
7. We request from our Planning Department that we not be put into shade even more each day!
8. The Board of Supervisors recently nixed a building shading a park as little as 10%. A park is not in use every day all day as a home can be. Our homes must NOT have reduced sunlight 365 days a year.



Of course, issues of light interact with privacy issues. Please see next section.

### Privacy

1857 has NO blinds, curtains, drapes, any window coverings on any of the East windows for an obvious reason— nothing to impede the admittance of what sunlight is available. This is especially true at 1859 which is on the first level. Since 1857 is on the west side of 9<sup>th</sup> Ave. and, thus a little upslope, privacy even from the second level of 1860 is not a problem. However, if more levels are added at 1860, 100% of my upslope three levels of which there are two bedrooms, will be available for peering into from across the street! Privacy gone!

When one purchases real estate, privacy issues are assessed. Houses downslope are normally of no privacy concern. No one imagines structures that are downslope would become a privacy threat. 1860 in some massive configuration could become a privacy threat. Windows on all 3 levels of my house become non-private. Windows on the 1<sup>st</sup> level are expected to have less privacy, but not 2<sup>nd</sup> and 3<sup>rd</sup> levels—both of which are bedrooms. One never suspects that a downslope house could possibly become a major privacy issue, and it should NOT. Please do not make a mockery of buying intelligently.

### Ambience and Neighborhood

Increasing the size of a building 300% is simply an abomination to the neighborhood. The homes surrounding 1860 have the following square footage per PropertyShark at <https://www.propertyshark.com>.

1858 -	1,315 sq. ft.
1853 -	1,124 sq. ft.
1857/1859 -	2,280 sq. ft. per architect
1861 -	2,160 sq. ft.
1864 -	2,590 sq. ft.

Average square footage of surrounding buildings is 1,893 sq. ft. so almost 7,000 sq. ft. is MASSIVELY OUT OF SCALE. The largest local building is across the street and up two lots which is a tenants-in-common at 3,358 sq. ft.

San Francisco planning has provided for larger buildings on corners. The houses at the corners of 9<sup>th</sup> Ave. are:

Corner of 9<sup>th</sup> and Ortega on West side: 2 levels over garage  
 Corner of 9<sup>th</sup> and Ortega on East side: 1 level over garage  
 Corner of 9<sup>th</sup> and Noriega on West side: 1 level over garage  
 Corner of 9<sup>th</sup> and Noriega on East side: 2 levels over garage

The 1800 block of 9<sup>th</sup> Ave. has several houses that are one level over a garage.

The meeting assisted by SHARP in March showed lots of questions and no support for this gargantuan opportunistic-greed project.

The local online board called Next Door had a message about this project. There were a total of 104 comments. Of these, 54 were AGAINST; 7 were for. The remainder of the comments were comments supporting comments already made. Some stated the plans suggested a dormitory project. This was exactly what one took away from the pre-planning meeting. Another comment was that if a contractor lies once, expect more lies and more hidden problems.

More neighborhood appropriate work would be to upgrade what is already at 1860 and maybe build into the back. The designer agreed at the SHARP Meeting that this would be viable. Or build a basement.

Consideration for the neighborhood was effectively done at 1865-1867 9<sup>th</sup> Ave. on a similarly wider lot. The original house (one story over garage) had two in-law units. The end result was two units over garage as tenants-in-common. This homeowner respected the neighborhood and honored what the Planning Commission made him do. One of the in-law units was naturally eliminated in the construction. In the other in-law unit, the homeowner was required by Planning to remove the stove (and maybe other items) from the kitchen so it could never be an in-law unit. So, we had one homeowner bending over backward to honor neighborhood ambience and Planning regulations while we now have a decidedly out-of-character building being considered against all neighborhood wishes. Our area is better than this.

Roof-top solar is being promoted by our City and State, yet any opportunity for solar at 1858 9<sup>th</sup> Ave. would be negated by being entirely shadowed by a 7,000 sq. ft. potential apartment building. This makes no sense. Putting up solar is a public duty which the owner at 1858 could not do.

Our Planning Commission has taken a position regarding new construction near transit centers. I don't think the Commission intends new construction to destroy the character of neighborhoods. The 1800 block of 9<sup>th</sup> Ave. is not near any transit center. There is only the 6 MUNI, and it is structured such that it can be diverted to run up/down 10<sup>th</sup> Ave. which it sometimes does.

A look at NextDoor and other sites, newspapers, one sees that there is questionable public support for cramming anything anywhere in San Francisco if it adds more square feet. Perhaps the underlying concept is legitimate, but implementation shows much more comprehensive planning (not one size fits all) is required. So, please let us not destroy our neighborhood attempting to implement something that likely will be changed in the near future.

### General Concerns

At every meeting I have attended regarding 1860 9<sup>th</sup> Ave., the alleged "owner" is a different person, different name; the stories change (or there is difficulty remembering the story),

so who knows what we are dealing with here? We do not. What I do know from personal observation and that of others, however, is concerning and noted below.

The incident related here occurred at the SHARP-sponsored meeting March 19, 2019. A question was asked about how much it would cost to build per square foot versus what had been reported to the City and the public. There was an unusually intense emotional reaction. A sort of bidding as in an auction started. The alleged "owner" said \$200, then it went to \$250, and then \$300 before the bidders (the owner, the designer) realized what they were doing, and they shut up. The alleged owner (different name, different person than attended the 2016 meeting) had originally claimed he could build for \$68/square ft. The Chronicle on 12 April 2019 ("Building Costs Soar to Top" by Roland Li) reported that the average price per square foot to build in San Francisco is \$417. The bidding and the throwing around obviously inaccurate figures is concerning, if not rather silly. What was and is concerning and disturbing was the behavior of the alleged owner. I have attended public meetings that might get a bit emotional, but I have never been and have never observed anyone being verbally accosted in a public meeting.

As a clinical nurse specialist in mental health for almost 40 years in all sorts of settings including forensic and in the military, with national certification the last 20 years of work, I have seen many emotional outbursts. I instinctively react very little to such behavior, but what happened during the SHARP meeting was disturbing. I asked the question about the discrepancy in building costs. The alleged owner was sitting on the other side of a wall in front of me, apparently a few feet away from the corner. He felt it appropriate to pull his chair to the edge of the wall, peer around the wall at me and hiss something in a very angry manner. I did not understand what he said and said to him, "pardon?" or "what?". He repeated, but I still could not understand him he was so angry. What I did thoroughly understand, however, was his emotional tone and some level of questionable emotional control consistent with behavior seen in forensic settings accompanied by the following behavior: manipulation of information, studying the values/thinking/perception of the audience and changing information as needed to conceal true intent. When the person gets called on the behavior, the anger is usually intense as witnessed in that meeting.

Janet Fiere  
30 April 2019  
Submitted 1 May 19

## Horn, Jeffrey (CPC)

---

**From:** Zones, Stacey <SIZO@chevron.com>  
**Sent:** Friday, March 15, 2019 3:01 PM  
**To:** Gordon-Jonckheer, Elizabeth (CPC)  
**Cc:** Horn, Jeffrey (CPC); Zones, Stacey  
**Subject:** RE: 1860 9th Avenue : proposed construction

Thank you for your prompt reply to my inquiry. I appreciate that you have a pretty strong directive from the mayor to have more housing created. This is a disaster for those of us in the neighborhood though. I believe in the 3 units I saw at least 7 bedrooms. You have parking for 2 cars ( if they get used for that ). I enjoyed the humorous bureaucratic maneuver of the 5 bike spaces. The home is being built on a part of steep downward hill towards the park. You should come and visit our neighborhood sometimes and see how many people use a bike to go anywhere. If I were in town I would come to oppose this but I am away for a few weeks. Anyway maybe this can be recorded; there is not enough off-site parking to support this much housing. And in practice we experience an increasing number of young adults who convince themselves that they're not blocking your driveway all that much ( except we can't get a car out of our garage ) when they need to park within a few doors of where they are staying or visiting. Thanks again for your prompt reply ,  
Stacey

---

**From:** Gordon-Jonckheer, Elizabeth (CPC) <elizabeth.gordon-jonckheer@sfgov.org>  
**Sent:** Tuesday, March 12, 2019 9:33 AM  
**To:** Zones, Stacey <SIZO@chevron.com>  
**Cc:** Horn, Jeffrey (CPC) <jeffrey.horn@sfgov.org>  
**Subject:** [\*\*EXTERNAL\*\*] RE: 1860 9th Avenue : proposed construction

Hi Stacey,

Here is a copy of the environmental review, plans and application for the project. I've also copied Jeff Horn who is the planner assigned to this project.

Thanks,  
Elizabeth

**Elizabeth Gordon Jonckheer, Principal Planner**  
**Northwest Team, Current Planning Division**  
Planning Department, City and County of San Francisco  
1650 Mission Street, Suite 400, San Francisco, CA 94103  
**Direct:** 415-575-8728 **Fax:** 415-558-6409  
**Email:** [Elizabeth.Gordon-Jonckheer@sfgov.org](mailto:Elizabeth.Gordon-Jonckheer@sfgov.org)  
**Web:** [www.sfplanning.org](http://www.sfplanning.org)

---

**From:** Zones, Stacey <[SIZO@chevron.com](mailto:SIZO@chevron.com)>  
**Sent:** Tuesday, March 12, 2019 8:42 AM  
**To:** Gordon-Jonckheer, Elizabeth (CPC) <[elizabeth.gordon-jonckheer@sfgov.org](mailto:elizabeth.gordon-jonckheer@sfgov.org)>  
**Cc:** Zones, Stacey <[SIZO@chevron.com](mailto:SIZO@chevron.com)>  
**Subject:** 1860 9th Avenue : proposed construction

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Good morning . I received a proposed construction plan and I live at 1874 9<sup>th</sup> Avenue. I followed the instructions in the mailer to learn more about this on the sf planning website. I cannot find a link to the plans. But I see that you were involved in the environmental impact review. So perhaps you can tell me what plans there are, given that the design is for 3 families in the unit ( which can well translate into 3 homes for single adults living together ) , for the on-site parking for the project. Parking is a nightmare in our neighborhood as many people park all day and go to UCSF to work. My wife and I are in our 70's and to not be able to park until several blocks away , and on the rainy days, to bring groceries home etc., is a hardship. So I know the city wants more housing but I hope some thought was put into the parking situation and their plans. Thanks Stacey Zones,

## Horn, Jeffrey (CPC)

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**From:** Pamela Boughton <pboughton@gmail.com>  
**Sent:** Tuesday, March 19, 2019 10:09 PM  
**To:** Horn, Jeffrey (CPC)  
**Cc:** Boughton, Pamela  
**Subject:** Construction proposal for 1860 9th Ave

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Hello Jeffrey, Thank you for coming to our neighborhood Tuesday night to discuss the construction proposal for 1860 9th Ave.

I own and live in the house at 1858 9th Ave, right next door to 1860 and on the North side of it (toward Noriega St.). I have several concerns about the proposal. One is that I have a light well on the South side of my house (the side next to 1860) that will be blocked by the proposed plan. I also am concerned about losing the nice Southern light that comes in through my bedroom side window and door made of windows that opens onto a back deck. Much of that light will be blocked. I use this deck frequently to sit in the sun and relax. I have a second bedroom and dining room with windows on the side of the house that would be somewhat blocked as well. I count on these Southern windows on the the South side of my house which is not attached to the house next door because the other side of my house is attached to the house next door and thus I have no windows on that side. I've arranged my life to take advantage of the light coming through the windows on the South side of my house. Also, I believe the diminishment of light as a result of this proposal would reduce the value of my home, which doesn't seem fair.

I can send photos if that would be helpful.

I appreciate the planning committee's consideration of my concerns.

Thank you, Pam Boughton  
415.577.275

## Horn, Jeffrey (CPC)

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**From:** Teresa Taiclet <tmtaiclet@yahoo.com>  
**Sent:** Wednesday, March 20, 2019 11:09 PM  
**To:** Horn, Jeffrey (CPC)  
**Subject:** 2019-000189CUA

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Hello

Re: 1860 9th Ave permit

As a neighbor and home owner, living on 9th Ave in the immediate area of this building proposal I would like to document my concerns for this project. Unfortunately I can't attend the hearing on Thursday March 21st and hope this email reaches the right people.

-This is a low density living area. The proposed plan offers 2 parking spaces for a 3 unit/ 8 bedroom building. The current building does not have a garage. If a garage would be built, the building would be taking away a parking space from the street.

-The area does not have permit limited parking as near by neighborhoods. I have observed people parking cars and leaving for extended periods of days or leaving for the day so they may either walk to work (assumption to UCSF) or take the #6 bus. A high density building with limited parking of 2 spaces will only make the area more congested for parking.

- I'm concerned about the true height of the proposed plans and if it is truly 40 feet. I do not see the 4th floor meeting this requirement and conflicts with the skyline of the other buildings on the block. Also, having such a building tower over others takes away the small tight community neighborhood feel and begins to make it feel like a downtown area with additional congestion.

Thank you.

Teresa

## Horn, Jeffrey (CPC)

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**From:** Larsen Chiu <larsenkc@yahoo.com>  
**Sent:** Saturday, March 30, 2019 4:20 PM  
**To:** Horn, Jeffrey (CPC)  
**Subject:** Project: 1860 9th Avenue

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Hello Mr. Horn,

My name is Larsen Chiu and I am a current resident of 1963 9th Ave speaking on behalf of all the residents of both 1863 9th Ave and 1861 9th Ave. We are strongly against constructing the vertical and horizontal addition to the property at 1860 9th Ave. There is no other house in this entire block, or even neighborhood, that is four stories. Having a four story building would obstruct the view of the sun, interrupt street parking (when it already is ridiculous to find outside parking for residents), and demolish the tranquility of the neighborhood.

I was not able to attend the public hearing on 3/21/19 because I had just been discharged from the ER after having to stay overnight for a few days.

I hope I am not too late in giving both my input and my neighbor's input in this matter.

Thank you.

Sincerely,  
Larsen Chiu  
415-672-3018