

425 MASON ST HOTEL



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EXISTING MASON STREET FACADE

PROJECT INFORMATION

1.	PARCEL:	BLOCK 0306 / LOT 002
2.	ZONING	C-3-G (DOWNTOWN - GENERAL)
3.	EXISTING USE: PROPOSED USE:	OFFICE (SPRING VALLEY WATER COMPANY) HOTEL
5.	EXISTING HEIGHT:	95' (HIGHRISE)
6.	YEAR BUILT: ARTICLE 11:	1922 IV, CONTRIBUTORY (KMMS DISTRICT)
7.	STORIES: TOTAL KEYS:	8, 1 BASEMENT AND PARTIAL MEZZANINE 77 ROOMS
8.	GROSS AREA:	39,380



PROJECT LOCATION



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425 Mason St Hotel

425 Mason Street
San Francisco, CA 94107

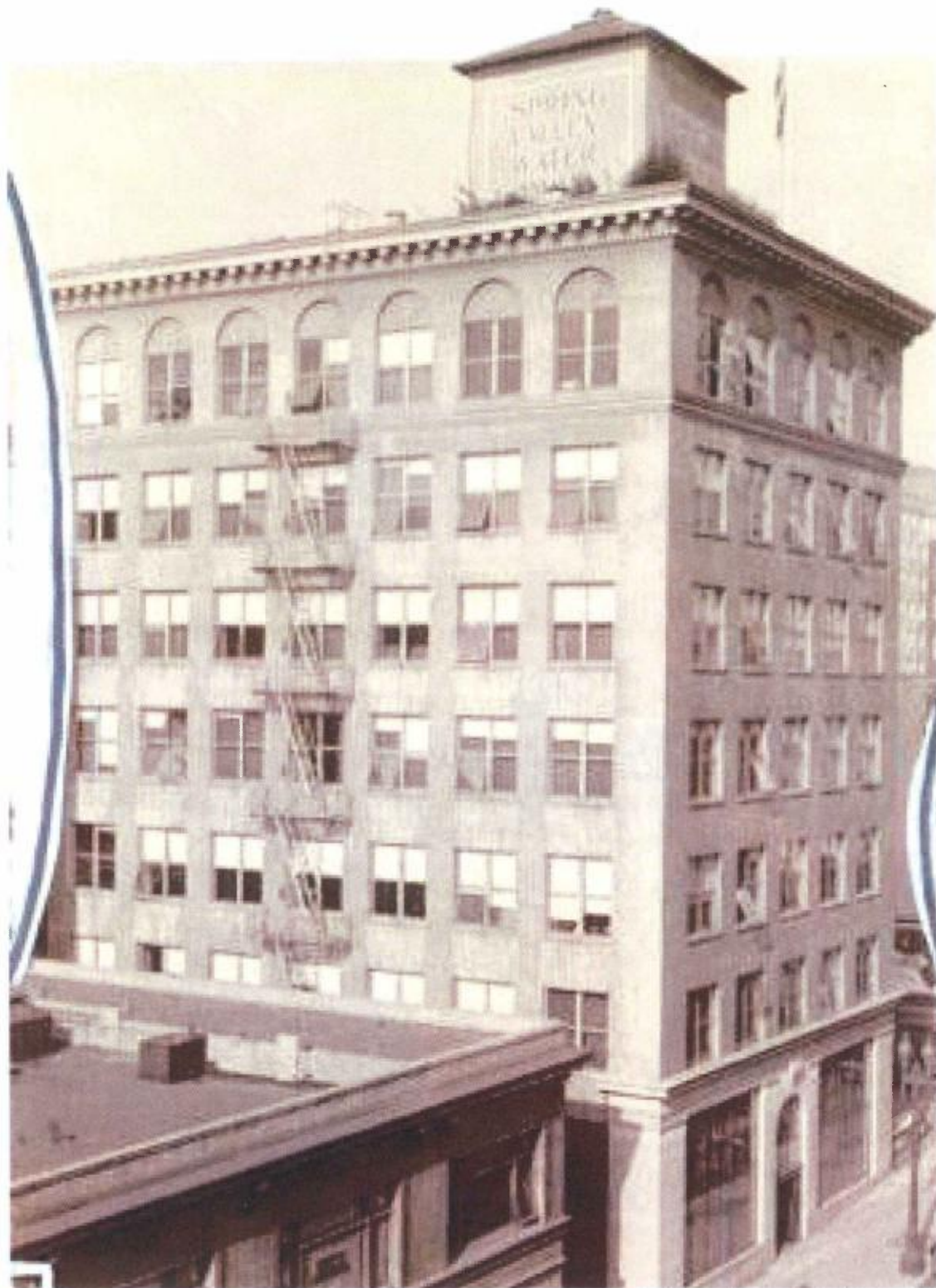


VIEW FROM GEARY STREET LOOKING UP MASON STREET



VIEW FROM POST STREET LOOKING DOWN MASON STREET

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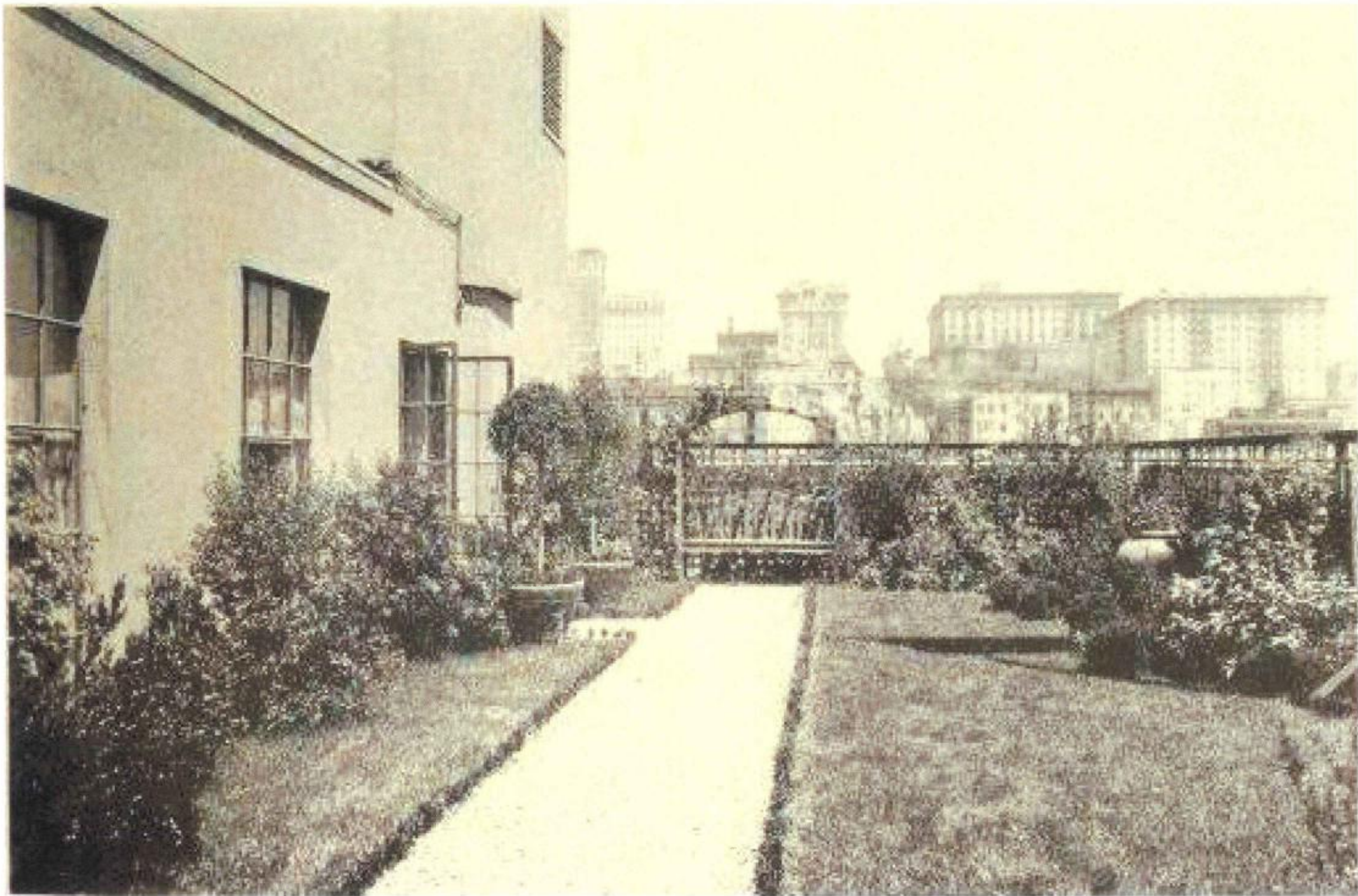


EXTERIOR IMAGE: SEPT 29, 1923
(SOURCE: SAN FRANCISCO EXAMINER)



EXTERIOR IMAGE: JAN 20, 1923
(SOURCE: SAN FRANCISCO EXAMINER)

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ROOF GARDEN IMAGE: JAN 1926

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LOBBY IMAGE: JAN 1926

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MURAL BY MAYNARD DIXON, CLOCK BY LUCILLE SCHOENFELD



ENTRY VESTIBULE



OAK WOODWORK DETAILING



COLUMN CAPITALS



BALUSTRADE

INTERIOR HISTORICAL FEATURES TO REMAIN:

- A. MURAL AND CLOCK
- B. ENTRY VESTIBULE WOODWORK
- C. COLUMN AND PILASTER CAPITALS
- D. PARTIAL HEIGHT PARTITIONS
- E. STAIR RAILINGS

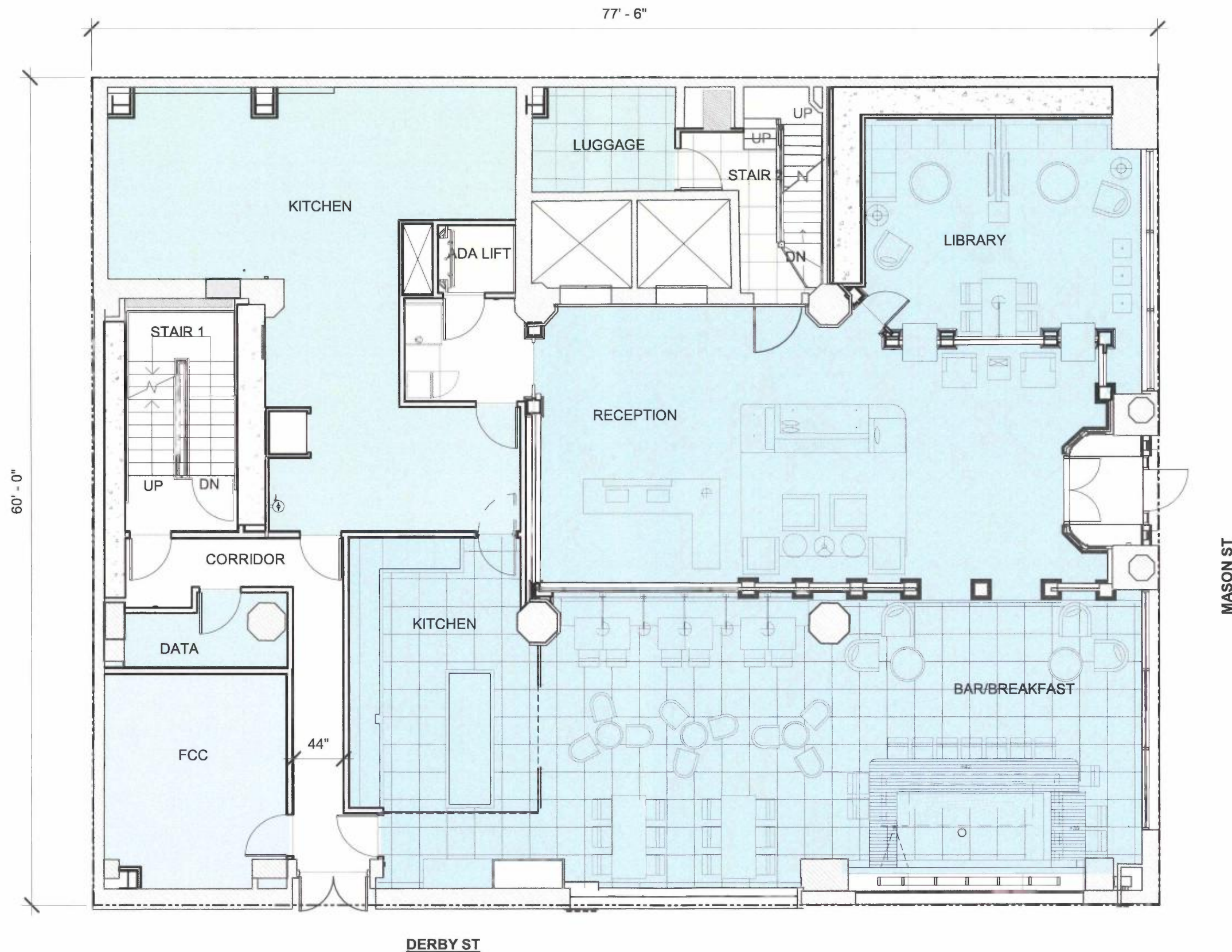
ADDITIONAL VOLUNTARY ITEMS TO REMAIN:

- BEAM TRIM
- MEZZANINE BALUSTRADE
- VAULT DOOR
- MARBLE SURROUND AT ELEVATOR

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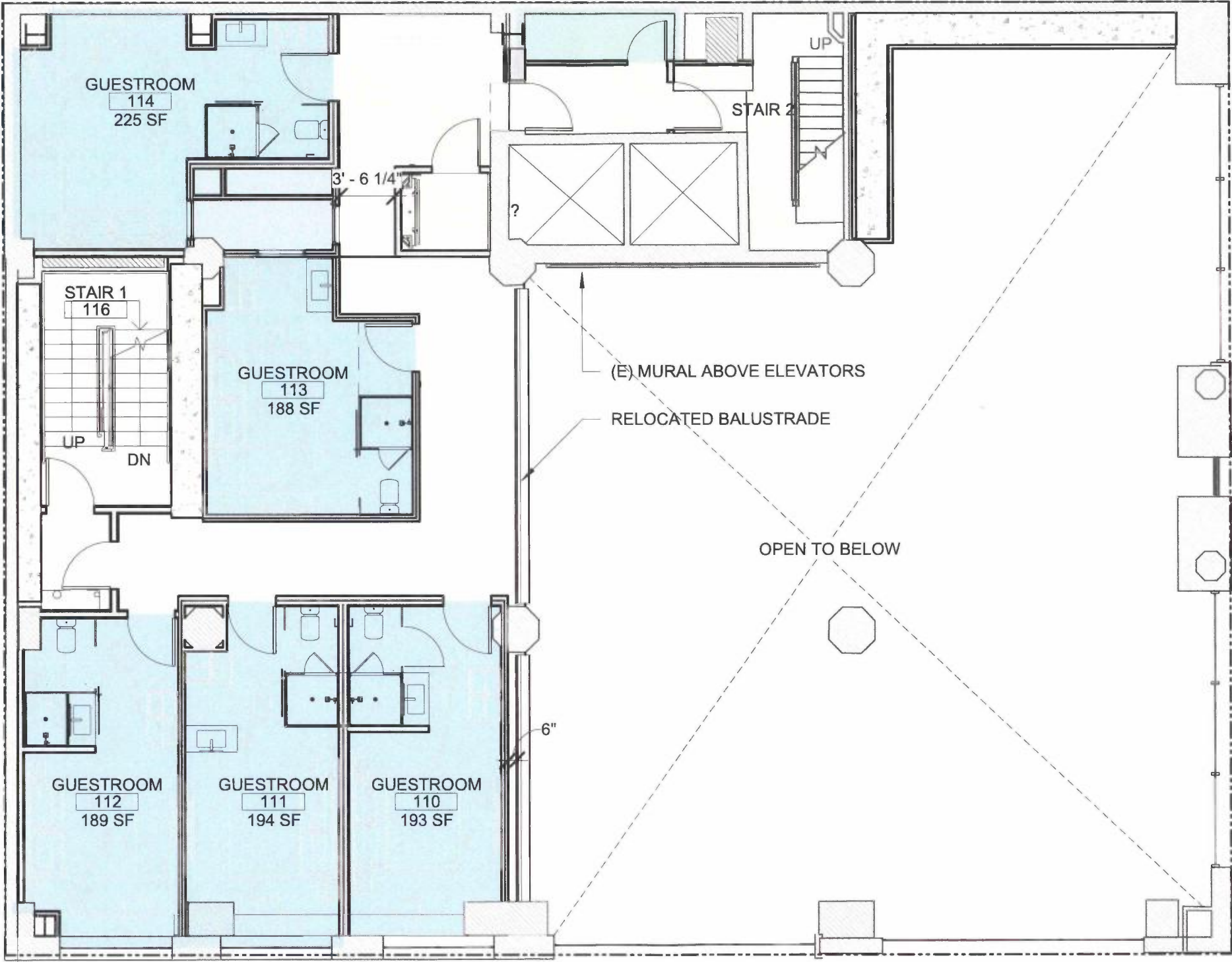


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- ROOM LEGEND
- BUILDING SERVICE
 - CIRCULATION
 - HOTEL BOH
 - HOTEL OPERATION

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ROOM LEGEND

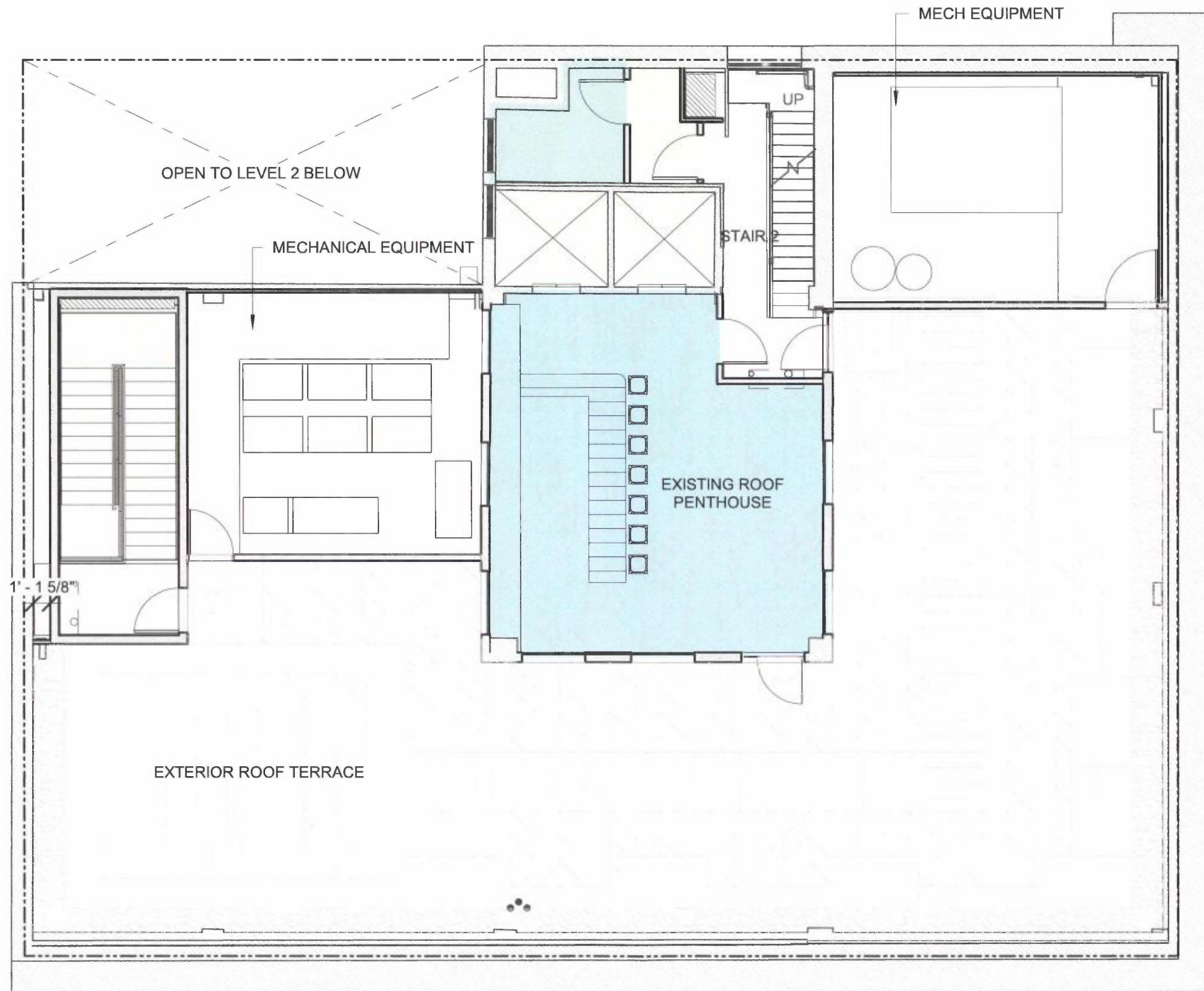
- BUILDING SERVICE
- CIRCULATION
- GUESTROOM
- HOTEL BOH



ROOM LEGEND

- BUILDING SERVICE
- CIRCULATION
- GUESTROOM
- HOTEL BOH

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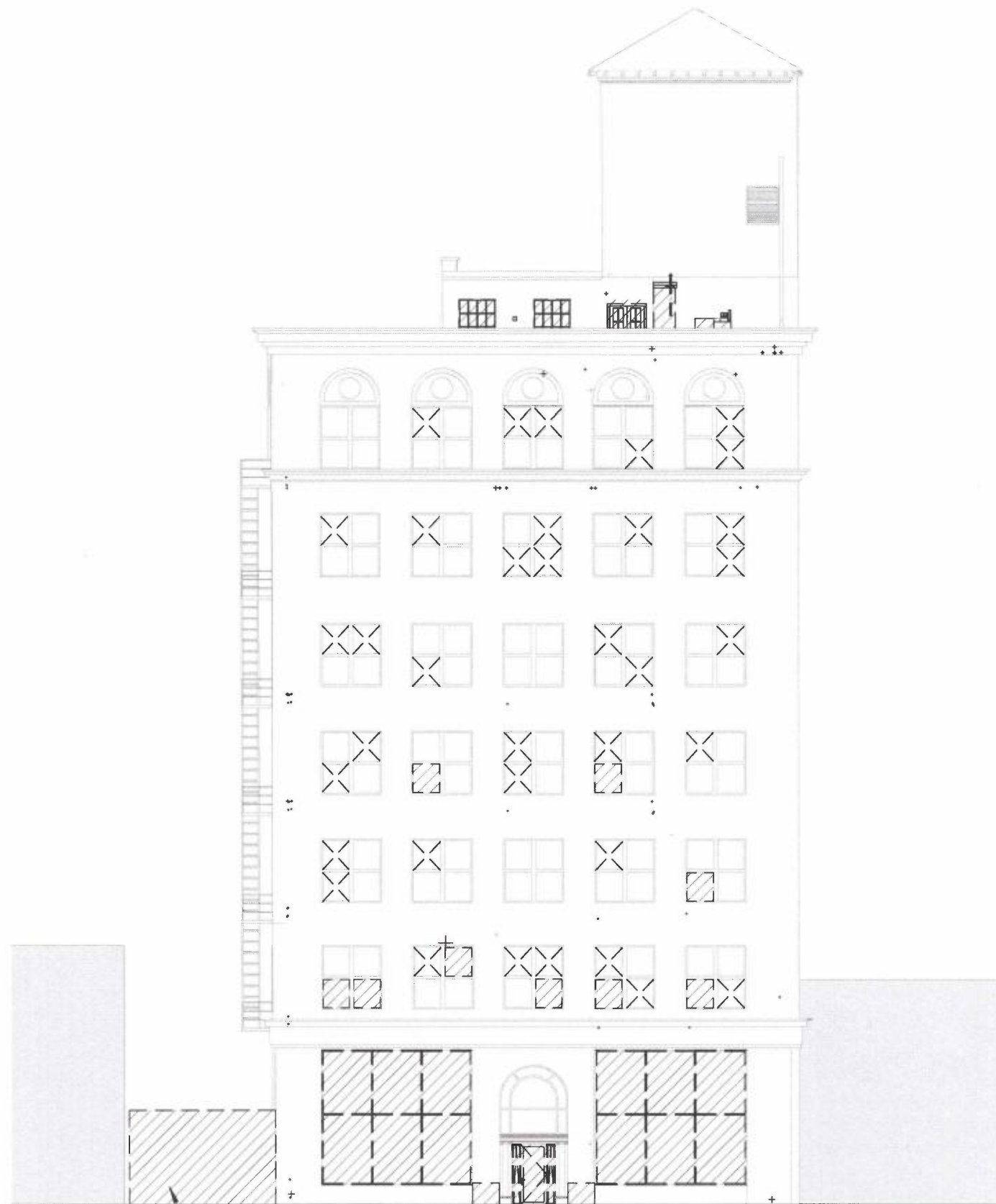
ROOM LEGEND

- CIRCULATION
- HOTEL BOH
- HOTEL OPERATION

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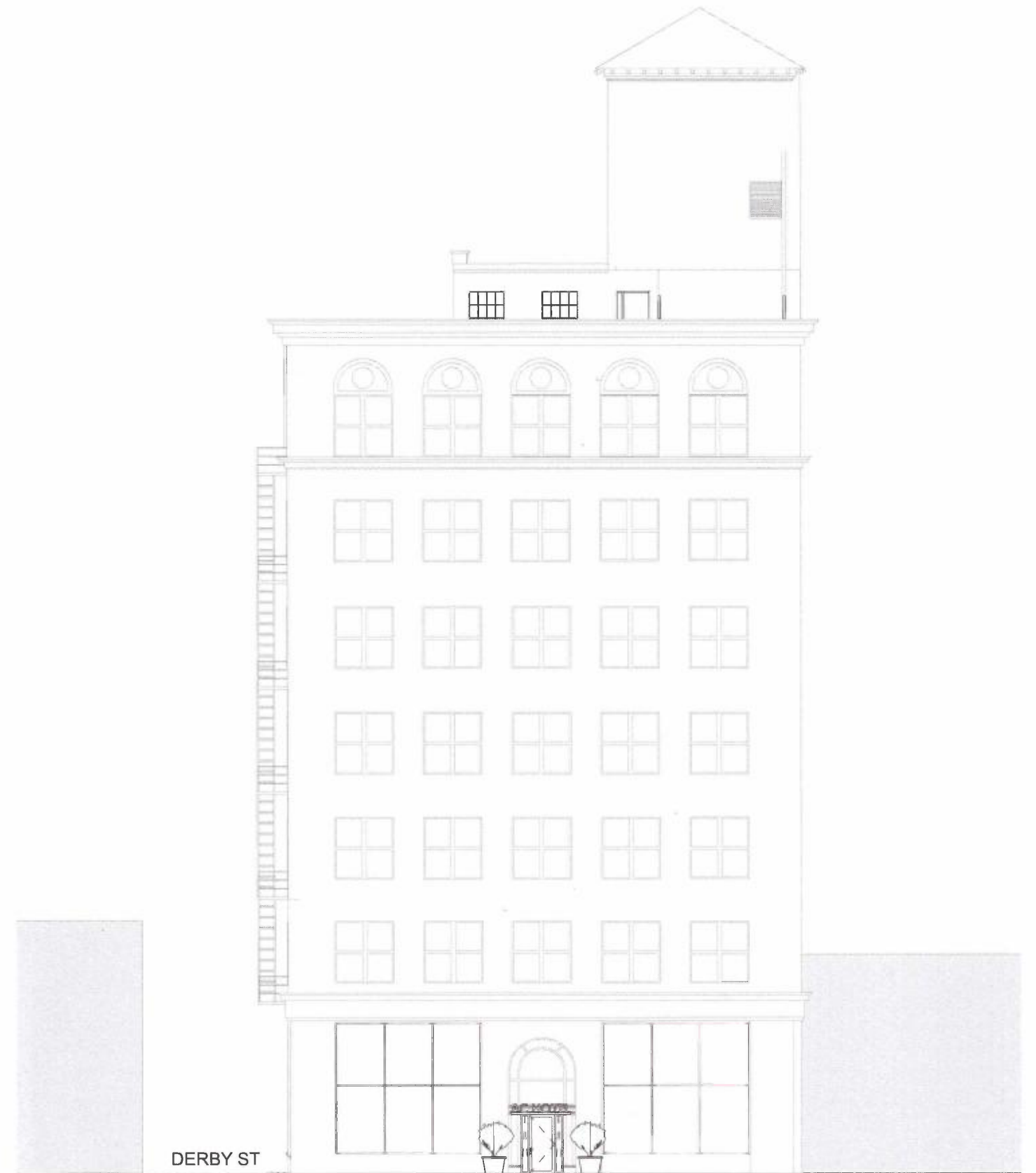


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REMOVE (E) GATE AT DERBY STREET

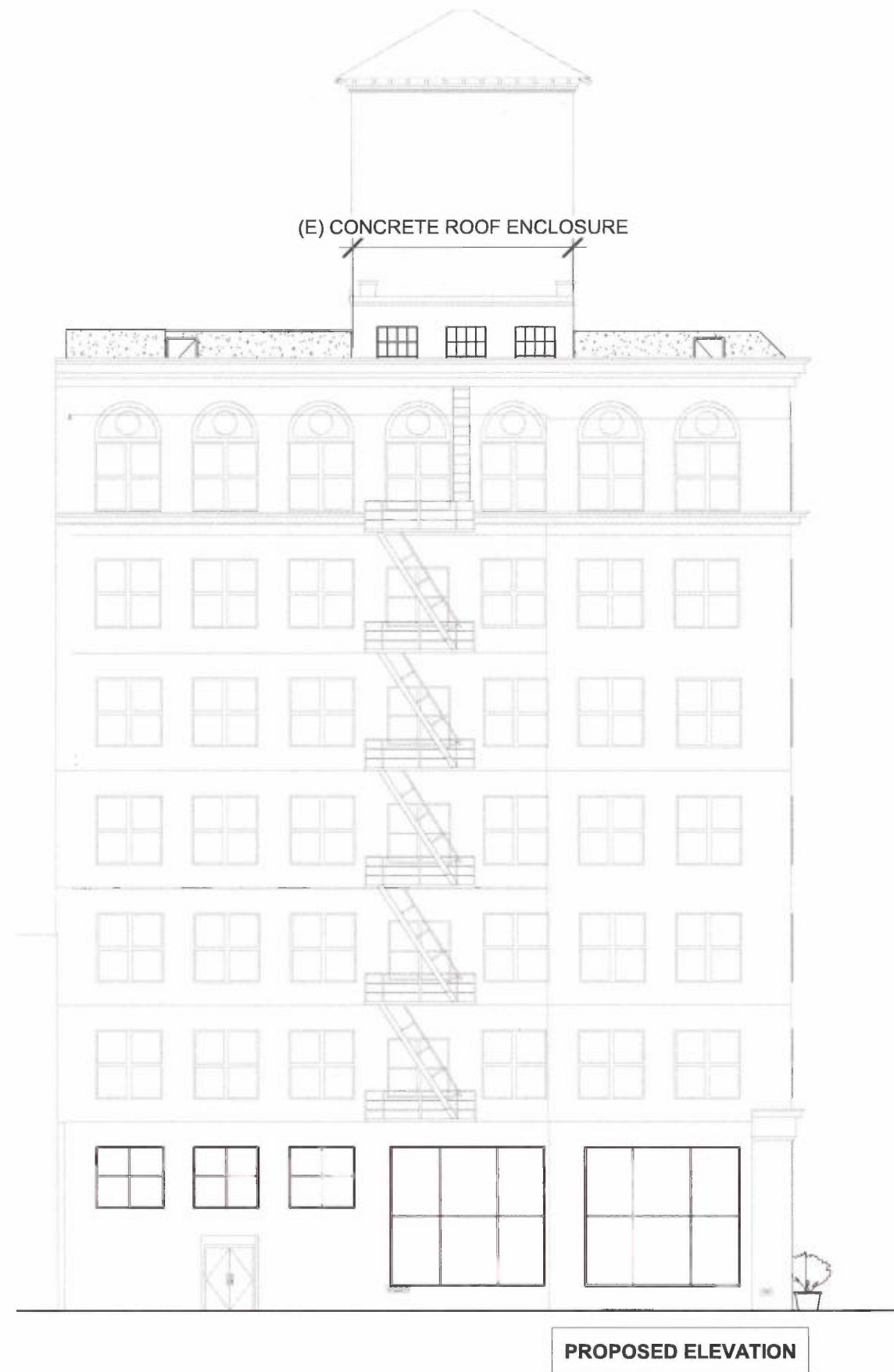
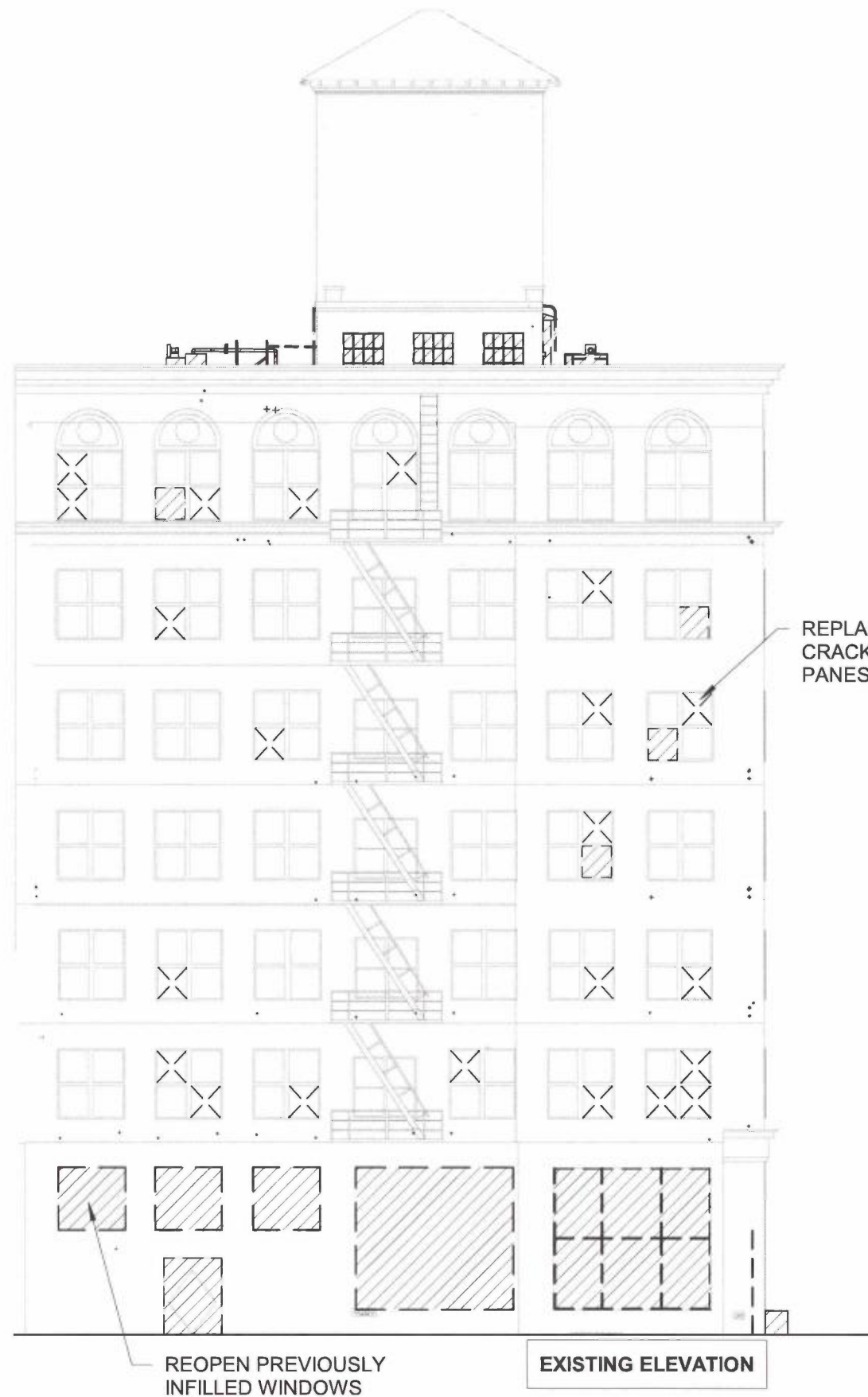
EXISTING ELEVATION



DERBY ST

PROPOSED ELEVATION

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Received at CPC Hearing

N. Foster

4/26/18

Chris,

We have performed a cursory review using our own internal cost numbers and have concluded this site is not only feasible for a mixed use multifamily housing site; we think it is an incredible opportunity to develop. This said we have presented a base model to our financial partners who have expressed keen interest should you be able to deliver the property for us to purchase. As you know we have owned and developed thousands of units across the country, self-performing almost all construction in house. Please keep us posted on the result as this fits well within our current acquisition criteria of urban infill properties.

Attached is our internal financial model for your reference.

Best,

<https://mail.google.com/mail/u/0/?ui=2&ik=89e73815aa&jsver=OeNArYUPo4g.en.&view=pt&msg=16304844ce937e8a&search=inbox&siml=16304844ce937e8a>

Mixed-Use Development 1600 Jackson										Project Name: Jackson / Polk											
PROJECT LEVEL VALUATION				Year 3		Per SF		Year 6		Per SF		COST SUMMARY				Per SF		% of Total			
Net Income				4,010,847		45.89		4,412,970		50.49		Purchase Price				(22,605,000)		(258.64)		35.79%	
Cap-Rate				5.14%		5.13%						Due Diligence				(563,235)		(6.44)		0.89%	
Value				78,064,221		893.18		85,943,749		983.34		General Conditions				(2,927,136)		(33.49)		4.63%	
Cost of Sale				2.50%		2.50%		(2,148,594)		(24.58)		Soft Costs				(3,839,686)		(43.93)		6.08%	
Sales Proceeds				76,112,616		870.85		83,795,156		958.75		Hard Costs				(31,243,838)		(357.48)		49.47%	
Less: Loan Balance				(35,141,919)		(402.08)		(52,018,527)		(595.18)		Leasing Costs				(400,000)		(4.58)		0.63%	
Proceeds from Sale				40,970,696		468.77		31,776,629		363.58		Const Loan Fee				(351,419)		(4.02)		0.56%	
Less: Outstanding Equity				(23,368,651)		(267.38)		(899,846)		(10.30)		Interest & Exp Shortfall				(1,226,819)		(14.04)		1.94%	
Profits from Sale				17,602,045		201.40		30,876,782		353.28		Total Costs				(63,157,133)		(722.62)			
Plus: CF after Equity is Paid										0.00											
Total Profits								30,876,782		353.28		EQUITY SUMMARY									
												Initial Equity				(25,088,078)					
												Equity to Cost				39.72%					
RESIDENTIAL 57% of project				49,400 sf		Year 2		Per SF		Year 6		Per SF									
Net Income				2,109,265		42.70				2,342,449		47.42									
Cap-Rate				4.85%																	
Value				43,490,005		880.36				48,297,923		977.69									
Cost of Sale				2.50%		2.50%		(1,087,250)		(22.01)		(1,207,448)		(24.44)							
Sales Proceeds				42,402,755		858.36				47,090,475		953.25									
% of Project Value				55.71%						56.20%											
COMMERCIAL 43% of project				38,000 sf		Year 2		Per SF		Year 6		Per SF									
Net Income				1,901,582		50.04				2,070,520		54.49									
Cap-Rate				5.50%																	
Value				34,574,216		909.85				37,645,827		990.68									
Cost of Sale				2.50%		2.50%		(864,355)		(22.75)		(941,146)		(24.77)							
Sales Proceeds				33,709,860		887.10				36,704,681		965.91									
% of Project Value				44.29%						43.80%											
PROJECT LEVEL RETURN ANALYSIS						2 Year Hold				6 Year Hold											
Stabilized Yield / Cost				6.35%																	
Return on Investment						70.16%				123.07%											
ROI Annualized						23.39%				20.51%											
IRR						28.90%				17.40%											

Received at CPC Hearing 4/26/18
N. Foster

**PUBLIC CORRESPONDENCE:
SUPPORT**

To; SF Planning Commission

From: JC Lxxxxxe

Resident of District 3/ Middle Polk Neighborhood

Date: January 23, 2016

UPDATE: 4/20/18: this memo is outdated but I continue to support the proposal of WH365.

re: 1600 Jackson St, San Francisco, CA (Whole Foods 365) CUA2016-000378cua

After reading the SF Examiner front page story on 1/22/2016 of Whole Fight, in which several groups, including MPNA and others, submitting an opposition to the proposal of Whole Foods 365 (WH365) at former Lombardi's sports site. As a longtime (>50years) resident, who lives 1 block away from the site, **I would like to support the WF 365 opening up and doing business in the area.**

The Cala Foods closed, with a Trader Joe's in place, but its always too crowded and further to walk. The flagship Whole Foods is equally crowded and further to walk; in addition to being more expensive. The Market on Polk that's been in the planning stages for a few years, slated for Clay and Polk, will not be a regular grocery store... instead, they propose "vendor style" pods...for pizza, for sushi, etc and very little grocery items. There is a lack of a regular grocery store in the immediate Polk St corridor, that's conveniently located and more affordable. It will serve the neighborhood residents, and those whom work in the area , or visiting the Polk area for business or pleasure. I've spoken to teachers who work at the nearby elementary school, and they are excited to have a WF365 in its place: so they shop for groceries and/or lunch.

I had attended the December 23 open house/information meeting the WF planning team had with those interested neighbors: The purpose was to gather information/ ask questions, before developing own decision on if to support it or not. My perception was 50-50, of those who support and those who did not support it.... but there were many individuals who were supporting having a grocery store nearby their residences, instead of having an vacant building which draws the undesireables. The vibe is that many of us want the area to be utilized and as a WF365.

Those of us who support WF365, do not want it to be built into a housing units with retail down. The tall buildings create a "lack of sunshine", a wind tunnel effect on Jackson and District 3 is already a highly densely populated area, so no more residences is needed.

As a long time resident of the Polk area, i've seen the many changes in the neighborhood, and I, personally, do not like it...with the higher density population, and the businesses that are allowed to come in, who cater to those who will pay the higher price for certain items such as cheese, liquor, etc. The need for a grocery store is immediate on Polk St, and WF365 will meet the resident's needs. I and many others look forward to the approval of WF 365, operating at 1600 Jackson St, in 2016.

Thank you.

JC Lxxxxxe

I am sorry but I will need to block out my name as those who "claim" opposition, may have retaliatory actions on those who go against what they want.

From: [David Farella](#)
To: [Foster, Nicholas \(CPC\)](#)
Cc: [Peskin, Aaron \(BOS\)](#); [Rahaim, John \(CPC\)](#)
Subject: April 26th Meeting on Lombardi's space (resending from last week with Nicholas's correct email address and adding Mr Peskin and Mr. Rahaim)
Date: Wednesday, April 25, 2018 9:44:24 PM
Attachments: [image001.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)

Good Evening Nicholas

Prior to the public hearing on the old Lombardi's space at Polk and Jackson, we wanted to voice our support for the Whole Foods project and look forward to its long awaited opening

We have occupied our spaces at 1845 Polk and 1607 Jackson over 15 years and the vibrancy of the neighborhood has been at an all-time low since Lombardi's closed. Since then, vacancies on the street have increased despite an improving economy. The anchor to the neighborhood that Whole Foods would bring is most welcome as it would bring in potential customers from outside the neighborhood that would help reinvigorate the neighborhood. Their prescience will cause some of the food oriented business to reposition their (like every business must do due to ever changing market forces) assortments and strategy a bit; but the business result from the increased traffic will be significant enough to offset these minor losses.

If this project does not happen I fear when the economy starts to weaken the street will have increased vacancies causing even business that are successful on the street to find better opportunity someplace else as their leases expire

Thanks for listening



David Farella
Blinds & Designs Inc.
1845 Polk Street

San Francisco CA 94109

P 415 921 4212 Ext 105

F 415 921 4202

david@blindsdesigns.com

www.blindsdesigns.com

"Making Windows Beautiful for 25 years"



Nicholas Foster
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Dear Nicholas,

I am writing to express my views on the proposed Whole Foods 365 that would replace Lombardi's on Polk Street. **After much consideration of the pros and cons I must say that I am for it.** This building has been sitting empty for far too long and I feel it is time to make a decision that defies the excessive bickering and indecision that has surrounded this move.

The one reservation I have at this point is the issue of parking. I feel this needs to be resolved before any further plans are made. This is vital in helping to keep Polk Street a safe and desirable place to shop for those on foot and to give drivers easy and safe access to the new business that goes into that space.

I feel that this extension of the Whole Foods/Amazon store on California Street will make shopping easier and more affordable for residents of all the surrounding neighborhoods. **What could be more practical than making healthy, affordable food accessible to our community?** If Whole Foods/Amazon wants this new store in place they must feel that it is an addition to the one on California for those living in the neighborhoods outside of Pacific Heights. Not competition. And for those that are crossing Van Ness these days only to find a very overly crowded Whole Foods with long lines; an alternative store on a quieter street is a welcome addition.

In regards to the competition hurting other stores in the area—I for one still plan on shopping at four or five food stores. This seems to be the San Francisco way. We learn where to get the best value and quality for individual items and enjoy having choices in the area. I will still frequent Trader Joe's, Le Beau, Real Foods and Cheese Plus long after new stores come to the area.

Please consider making this new Whole Foods 365 on Polk Street a reality with substantial parking to accommodate the shoppers.

Very Sincerely,



Diana Merrill 415-921-4320
dianamerrill@sbcglobal.net

From: Amir Rafii
To: Peskin, Aaron (BOS); Foster, Nicholas (CPC); Secretary, Commissions (CPC)
Subject: in support of 365 whole food grocery on corner of Jackson and Polk at old Lombardi store site
Date: Thursday, April 19, 2018 12:09:12 PM

Members of the Planning Commission

San Francisco Planning Department

1650 Mission Street Suite 400

San Francisco, CA 94103

Regarding: In SUPPORT of the proposed 365 Whole Foods Market on the corner of Jackson St. & Polk St. at the old Lombardi Sports location

I am resident at 1800 Washington street, and I am writing in strong support of the proposed 365 whole foods market at the corner of Jackson and Polk street, at the site of the previous Lombardi Sports site.

This will greatly benefit the neighborhood, especially since the closure of the Big apple store. I am very excited about the having a grocery store within convenient and walking distance. I know my neighbors support this as well.

It will also be nice to have the building occupied again, as the current vacant building has led to many unsafe encounters as well as general dirt and debris buildup.

thank you for your support
Amir Rafii

From: M Bokser
To: Secretary, Commissions (CPC); Rahaim, John (CPC); Foster, Nicholas (CPC)
Subject: My support for Whole Foods 365 at the Lombardi Sports site
Date: Tuesday, April 24, 2018 4:08:11 PM

I strongly support letting Whole Foods 365 open a store at the Lombardi's site on Polk and Jackson.

I would like to address some of the issues that were raised at the Planning Commission meeting last year, and then tell you why I so strongly support WF 365.

"People who support WF 365 do not care about the independently owned businesses in this neighborhood."

This is not true. I have lived in this neighborhood for 35 years (on Washington and Polk, a block from the proposed WF site). I love this neighborhood, and I care deeply about the character of this neighborhood. I do not want Bob's Donuts replaced by a Duncan Donuts. I do not want Brownie's Hardware replaced by Home Depot. Independently owned mom-and-pop stores are a big part of what gives this neighborhood its character. I do not want chain stores taking over Polk Street. (And nor do I want independently owned high-priced boutiques taking over Polk Street, as has happened in Hayes Valley.)

What is true: Though I do not want big-box stores taking over Polk Street, I am not absolutist about this. I make exceptions for chain stores that serve a neighborhood need. For example, I make an exception for Peet's Coffee, and I make an exception for WF. (More on that later.)

"Chain stores drive out the independently owned businesses."

While I'm sure there is some truth in this, I don't believe it is the primary reason so many of the businesses on Polk have closed. The primary reason is soaring rents. Polk Street is now blighted with storefronts that have been empty for years, and I hope the City will do something about this.

"The people who went around collecting petition signatures in favor of WF 365 were shills for Whole Foods"

This is false. I was one of those people. I collected signatures because having WF 365 in my neighborhood is that important to me. Whole Foods never approached me. In fact, when I created an online petition and tried to contact Whole Foods for advice, and they never got back to me.

"The Middle Polk Association represents the people in the neighborhood, and they do not support WF 365"

I strongly disagree that the Middle Polk Association represents the people of this neighborhood. They may represent small business owners, but not the neighbors. I have asked to join on a number of occasions, and they never got back to me. They never held a publicized public forum to solicit feedback from the people of this neighborhood. When the head of the Association ran an informational meeting, he shut down questions and comments from WF 365 supporters.

"This neighborhood does not need another grocery store."

I strongly disagree. The population density of this neighborhood has increased dramatically over the past 10 years. We need another grocery store to meet the needs of all these additional people.

"The neighborhood needs housing more than it needs another grocery store."

I couldn't disagree more. You can't keep shoving people into this neighborhood without expanding the available services.

"Why do you care so much about converting Lombardi's into WF 365"

Because it would be a godsend. As I age, it would be an easy walk to an affordable grocery store. I would be able to buy high-quality pesticide-free locally grown produce at Trader Joe's prices.

"Why don't you shop at Whole Foods on Franklin, and just wait a little longer in line?"

Two reasons: (a) I cannot afford Whole Foods on Franklin; and (b) I do not have a car. I am getting older and it is becoming increasingly difficult to walk the quarter mile round trip, up a very steep hill, with grocery bags.

“Why don’t you shop at Trader Joe’s, and just wait a little longer in line?”

Again, it is too hard for me to walk the quarter mile uphill. Plus they do not have high-quality, locally grown, fresh fruits and vegetables.

“Why don’t you shop at Golden Market, on Polk and California?”

I do sometimes buy my produce there. But I know I am eating pesticides. They do not have high-quality, locally grown, fresh fruits and vegetables. And they have a very limited selection of all the other groceries I need.

“Why don’t you shop at Real Foods?”

Because they are ridiculously expensive. Way more expensive than Whole Foods on Franklin, with way poorer quality.

Please, listen to the people who live in the neighborhood. Please let Whole Foods 365 move into the Lombardi's site.

Thank you very much,
Mindy Bokser
1644 Washington Street #3, SF 94109

From: TRUDY CHIDDIX
To: Secretary, Commissions (CPC)
Cc: Rahaim, John (CPC); Foster, Nicholas (CPC); Commissioner; Melgar, Myrna (CPC); Commissioner; Koppel, Joel (CPC); Moore, Kathrin (CPC); Johnson, Milicent (CPC); Richards, Dennis (CPC); Stefani, Catherine (BOS); Peskin, Aaron (BOS)
Subject: STONG support -Whole Foods 365
Date: Tuesday, April 24, 2018 10:34:38 AM

Dear SF Planning Commission,

My husband and I have been residents of Russian Hill for 13 years. We , and MANY of our neighbors, are STRONG SUPPORTERS of the Whole Foods 365 grocery proposed for 1600 Jackson Street.

Now that we have retired, the prospect of a Whole Foods Market within walking distance from our home is very appealing. The fact that this would be one of their "value priced" stores is a nice bonus.

We urge you to vote YES for Whole Foods 365!

Thank you,
Trudy & Jim Chiddix

From: Tom Oliphant
To: Rahaim, John (CPC); Peskin, Aaron (BOS); Foster, Nicholas (CPC)
Subject: Support for Whole Foods 365 at 1600 Jackson
Date: Wednesday, April 25, 2018 11:26:09 AM

Hello,

I hope this finds you well. I am writing on behalf of my family (including my wife Dana LaMendola and our 9-month old daughter). We have lived in San Francisco since 2007, first in Nob Hill and then in Cow Hollow, most recently at 1550 Filbert St since 2014.

We strongly support the approval of the Whole Foods 365 development at 1600 Jackson St. As a young family hoping to stay in San Francisco long-term, we think this development would bring several benefits to the neighborhood. First, a large, vacant building invites vandalism and discourages foot traffic, which is crucial for the vitality of the neighborhood. Second, the other grocery stores in the vicinity offer a narrower, more expensive selection than Whole Foods, which is not practical to support the full needs of a working family. Third, the existing Whole Foods at California x Franklin is routinely overcrowded, and its location on a steep block is challenging to navigate with a stroller and groceries; the Jackson x Polk site would be a boon for walkable grocery shopping.

We are sensitive to the concerns of our neighbors--about traffic, neighborhood character, etc. Nonetheless, we would argue that--per the planning commission agenda--this does not represent a change of use relative to the historical commerce patterns at Lombardi Sports. It is rather a return to historical norms, and as such, it does not appear likely to place an undue burden on the neighborhood.

We are unable to attend the meeting, in light of our young child at home, but we hope that this letter can serve as an additional voice in support of the development. Thank you for your consideration. Please do not hesitate to contact me should you have questions.

Best,
Tom Oliphant
650-796-3301

From: Michael Scheu
To: Foster, Nicholas (CPC); Secretary, Commissions (CPC); Peskin, Aaron (BOS)
Subject: Whole Foods 365 proposed location on Jackson and Polk
Date: Tuesday, April 24, 2018 8:47:59 AM

To whom it may concern,

I am writing to express my support for the proposed Whole Foods 365 store on Polk Street. I have attended the community events that the 365 team has hosted and heard their thoughtful and collaborative approach to creating a win-win scenario for Whole Foods, the Community and the local merchants along Polk Street. I appreciate how they listened to the concerns of neighbors and small business owners and offered pragmatic solutions to address these concerns. I believe that local businesses can actually benefit from the increased foot traffic that Whole Foods 365 will bring to Polk Street and the more hospitable environment that the grocery store will bring to this blighted corner of an otherwise thriving neighborhood. The current building is a liability to the middle Polk neighborhood and has become a magnet for several homeless individuals who "camp" on that block.

We need progress.....not more stalled process and inaction. Thank you for considering.

Mike Scheu
1426 Jackson Street

PUBLIC CORRESPONDENCE:
OPPOSE



Planning Commission
City Hall, Room 400
San Francisco, CA

November 9, 2017

Ensure Housing at 1600 Jackson St.

Dear Planning Commissioners,

While it pains me to write against approving a permit, I am forced to oppose the current plan to develop 1600 Jackson St. into a Whole Foods grocery store. San Francisco is in the midst of a severe housing shortage that cannot be solved without infill housing. This site is an obvious choice for such housing, and YIMBY Action will oppose any plan that does not include a significant number of housing units on-site.

The former site of Lombardi Sports is one of the few remaining "soft sites" in District 3. Development there would result in no residential displacement. The site is also zoned for density: Housing there could rise to 65 feet, and using the HOME-SF density bonus, new housing could go to 85 feet by including 30% affordable units.

Of course, YIMBY Action is not opposed to a grocery store on-site, so long as housing is included. This is a rare opportunity to bring dozens of units onto an infill site on a popular commercial corridor without displacing a single resident or business. A residential development would be a boon for the small businesses on Polk Street, while the current design of the Whole Foods project would deny any street activation on-site.

Village Properties has the opportunity to add dozens of housing units in a rare underutilized infill site. We agree with groups like the Middle Polk Neighborhood Association and the San Francisco Housing Action Coalition: The Planning Commission should deny permits for any project on this site that does not include a substantial number of housing units.

Sincerely,

Laura Clark
Executive Director

From: Jennifer Farris
To: Foster, Nicholas (CPC); Secretary, Commissions (CPC)
Subject: 1600 Jackson Street
Date: Tuesday, April 24, 2018 4:38:57 PM

To whom it may concern:

I am writing to express my strong opposition to the proposed Whole Foods project at 1600 Jackson Street. I've lived in the neighborhood for over 25 years and have owned a small business in the Polk Corridor for 14 years. While Whole Foods will not compete with my business, I am deeply concerned that this project will harm the fabric of our vibrant San Francisco district. There are so many reasons to oppose this project that I don't know where to start:

<!--[if !supportLists]-->• <!--[endif]-->At a time when the city is facing a severe housing shortage, why would we waste this opportunity to create dozens of new homes? The developer initially intended to erect a mixed-use building, in keeping with the other large projects in the neighborhood, and then got greedy. I urge the city to work with the developer to design a project that will work for the long-term needs of the city, not the short-term needs of the developer's ledger sheet.

<!--[if !supportLists]-->• <!--[endif]-->Whole Foods will compete on an unfair basis with dozens of neighborhood-serving small businesses along the Polk Corridor that give our neighborhood its personality and charm. In the immediate area there are dozens of grocery stores and markets, as well as restaurants and fast-casual eateries that will all be forced to compete with a corporate behemoth with the nearly bottomless resources of Amazon.com. They will be able to undercut the prices of these neighborhood businesses for as long as necessary.

<!--[if !supportLists]-->• <!--[endif]-->Traffic congestion along Polk Street is already a nightmare. The addition of a massive formula retail chain store with a parking lot that empties onto Polk Street will create more back-ups and delays and put more cars onto Polk Street. And this is at a time when the city is trying to lessen automobile traffic and promote pedestrian and bicycle safety along Polk. One of the many reasons that formula retail stores are allowed on Van Ness is that the attendant traffic can be better handled there, rather than on a pedestrian-friendly street like Polk.

<!--[if !supportLists]-->• <!--[endif]-->How will the deliveries for such a huge store be handled along Polk Street? The city is already limiting early morning parking along part of Polk in order to allow for bike commute lanes; where will Whole Foods park their trucks for deliveries? The existing underground parking lot does not have the clearance to allow large trucks. It has been widely documented in the media that Whole Foods is already struggling with the new inventory system put in place by Amazon, OTS, which requires more frequent deliveries from suppliers and less inventory held on-site.

<!--[if !supportLists]-->• <!--[endif]-->The addition of another Whole Foods store just a few blocks from their existing store does nothing to enhance the neighborhood, which is one of the requirements for a CU. Not only is it a chain store, but it's a chain store that already exists around the corner!

On a recent visit to Bentonville, Arkansas, the home of Wal-Mart, the world's largest retailer, I was struck by the fact that their town center has no chain stores! The reason for this, we were told repeatedly, is that everyone, especially the Walton family who started Wal-Mart, wants to preserve the small businesses and character of the neighborhood. I urge you to do the same for our neighborhood.

Jennifer Farris
STUDIO Gallery
1641 Pacific Avenue

From: Kate Chase
To: Rahaim, John (CPC); Peskin, Aaron (BOS); Foster, Nicholas (CPC); richhillissf@gmail.com; Richards, Dennis (CPC); planning@rodnevfong.com; Koppel, Joel (CPC); Melgar, Myrna (CPC); Moore, Kathrin (CPC); Secretary, Commissions (CPC); Johnson, Millicent (CPC); Kim, Jane (BOS); Board of Supervisors, (BOS)
Subject: Amazon/WholeFoods 365, Please Oppose, Please
Date: Friday, April 20, 2018 3:15:42 PM

My name is Kate Chase and I am writing today to share with you my belief that Amazon/WholeFoods 365 should NOT be allowed to create a store at 1600 Jackson Street.

As someone that is a part of this neighborhood, I am VERY stressed out that granting them approval will change the whole dynamic of our very unique community; and try as I might, I don't see how it will be for the better.

Case in point that I recently overheard 2 gentlemen on the 14 bus talking about why they were heading to Russian Hill — "because it is the last truly unique San Francisco neighborhood".

I would hate to see how it would alter descriptions of what trusted guidebooks and websites recently describe our destination as:

"This charming area channels a San Francisco from the past—sidewalks are replaced by hidden stairways and residents ride the city's iconic cable cars. **Cozy cafes and local-favorite** watering holes round out this reserved neighborhood's cordial repertoire."

"On **Russian Hill**, Polk Street is crowded with **unusual** boutiques, antique shops, trendy restaurants and night spots."

"With the same stunning views as its ritzier neighbor Nob Hill, **Russian Hill** has a **pace and vibe all its own**: still posh, but the kind of place where everyone knows your name."

"Russian Hill is a neighborhood with that rare advantage of being tucked away, yet central to almost everything. I feel lucky that from where I live I can walk to Union Square, the Marina, Pacific Heights, Aquatic Park, Chinatown, or North Beach in about 15 minutes. This is also a neighborhood that eludes stereotypes. If the Mission = hipsters, the Marina = yuppies, SOMA = techies, and the Haight = hippies, **Russian Hill is just a bunch of great people coming together to eat free pizza on Monday nights at Robberbarron.**"

In hearing that the commission would be meeting next week, I felt it important for me to now beg you to oppose this take over. Let them build in a part of the city that needs them for food, their commoditized 365 line. I also fear for those small businesses that would be negatively impacted by a predatory organization such as theirs, they would consume all our favorite independent shops that have worked so hard and need our undivided support. I can't stand what I believe would result in empty small business storefronts on Polk Street. Instead, please vote in a way that would allow for additional and much-needed housing.

Thank you in advance for your consideration.

Sincerely,
Kate Chase

1335 Filbert Street, #204
SF CA 94109
415-987-3764

From: Adam Lang
To: Peskin, Aaron (BOS); Foster, Nicholas (CPC); Rahaim, John (CPC)
Subject: Another voice against Polk Whole Foods 360
Date: Monday, April 23, 2018 8:29:42 PM

Hi there. Just wanted to add my voice to the list of those lining up against the Polk Whole Foods. I live right near there, and I know what'll happen to a good-sized chunk of the local businesses around there if it does go through.

I'm not a say-no-to-everyone kind of guy. I haven't joined any of the other local crusades here, whether it be the 'NO BIKE LANES' assholes (who got their way, alas) or the 'NO BUS LANES' people (who, I gather, didn't). But a bunch of my favorite businesses have gone under in SF already. I would hate to lose the several that would be sure to follow this.

I'm sorry I can't make it to the planning meeting. However, hopefully this letter will weigh at least a little bit on the scales when the plan comes up for review.

Thank you,

Adam Lang



Page 1 of 2

November 16, 2017

TO: San Francisco Planning Commission, San Francisco Planning Director, San Francisco Board of Supervisors

FROM: George Wooding, President, Coalition for San Francisco Neighborhoods (CSFN)

RESOLUTION ON WHOLE FOODS POLK STREET PROPOSAL

Whereas, Amazon/Whole Foods has proposed a 365 grocery store at the intersection of Jackson Street and Polk Street requiring conditional use authorization for a 20,000+ foot formula retail grocery use along with 77 off street parking spaces and a variance request for off-street loading of deliveries;

Whereas, the Polk Street corridor and the adjacent Van Ness Avenue corridor are experiencing unprecedented levels of traffic congestion resulting in slower transit trip times for the corridors 10+ Muni Routes including on Polk Street which is major North-South Pedestrian and Bicycle corridor;

Whereas, the 94109 zip code which include the Polk Street corridor is ranked number 2 in the City and County of San Francisco for no-fault evictions including evictions of seniors and disabled tenants via the Ellis Act;

RESOLUTION ON WHOLE FOODS POLK STREET PROPOSAL

Whereas; the Polk Street corridor continues to experience a strong demand for housing far exceeding the supply of new housing being built which in turn increases evictions of tenants as rents surge;

Whereas, Amazon/Whole Foods has refused to entertain a mixed-use project at this location which has no existing residential tenants or neighborhood servicing businesses;

Whereas, Amazon/Whole Foods operates another Whole Foods grocery store, 6 blocks away from the proposed project site and the intersection of California St. and Franklin Street that also provides off-street parking, less than a 10 minute walk, or 5 minute drive;

Whereas, the proposed 365 store will contain many of the same identical products of the already existing Whole Foods grocery store;

Whereas, Amazon/Whole Foods has the ability to operate stores at a loss for long periods of time by undercutting prices offered by local merchants such as Real Foods Company, the Jug Shop, Le Beau Market, and others thereby resulting in a substantial economic threat to viable independent retail in the neighborhoods;

Whereas, Amazon/Whole Foods has not partnered with organized labor to allow their workers the right of collective bargaining and unionization;

Therefore, be it resolved that the Coalition of San Francisco Neighborhoods opposes Amazon/Whole Foods request for Conditional Use Authorization for a 365 grocery store at 1600 Jackson Street and supports housing with ground-floor retail at the site to curb pressure on no-fault evictions in the neighborhood and to complement and support the corridor's many long-standing independent businesses.

From: kilian4@aol.com
To: [Secretary, Commissions \(CPC\)](#)
Subject: 365 Whole Foods
Date: Thursday, April 26, 2018 10:28:11 AM

To whom it may concern,

I am emailing you to express our family's concerns about approving the 365 Whole Foods on Polk and Jackson. Our family owns both commercial and residential property in the neighborhood dating back to 1916. Through multiple generations we as landlords have rented our commercial spaces to small business owners to preserve the character of the neighborhood. We want our commercial tenants to succeed for their own livelihood and for the benefits they provide for the residents in the area. We are worried that the presence of 365 Whole Foods could marginalize and/ or put our commercial tenants out of business due to the fact that a corporation the size of Amazon will undercut prices small businesses can charge thus affecting their profitability and feasibility to compete.

We ask that you consider our concerns when making your final decision regarding this proposed project. Thank you.

Regards,

Donna Kilian
Property Owner and Manager

From: Secretary, Commissions (CPC)
To: Richards, Dennis (CPC); Johnson, Millicent (CPC); Koppel, Joel (CPC); Moore, Kathrin (CPC); Melgar, Myrna (CPC); planning@rodnevfong.com; Rich Hillis
Cc: Foster, Nicholas (CPC); Son, Chanbory (CPC); Feliciano, Josephine (CPC)
Subject: FW: Whole Foods ?discount Band store on Polk
Date: Monday, April 23, 2018 8:50:35 AM

Jonas P. Ionin,
Director of Commission Affairs

Planning Department|City & County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103
Direct: 415-558-6309|Fax: 415-558-6409

jonas.ionin@sfgov.org
www.sfplanning.org

-----Original Message-----

From: jan blum [<mailto:1janblum@sbcglobal.net>]
Sent: Friday, April 20, 2018 5:00 PM
To: Secretary, Commissions (CPC)
Cc: jan blum
Subject: Whole Foods ?discount Band store on Polk

Nicholas Foster: Please copy each of the Planning Commissioners on the following public comment.
Thank you.
Jan Blum, D-2, SF

To Planning Commissioners:

Please OPPOSE THE CONDITIONAL USE APPLICATION OF AMAZON WHOLE FOODS AT 1600 JACKSON.

INSTEAD CHOOSE TO UTILIZE THIS SPACE AS HOUSING-OVER-LOCAL-BUSINESS IN ORDER TO BETTER SERVE THE SURROUNDING NEIGHBORHOODS.

There already exists sufficient retail grocery in the area (Amazon Whole Food on California and Franklin, Trader Joes on Hyde at California, and on North Point, Marina Safeway, North Point Safeway, Cheese Plus on Polk , Bel Campo Meat Co. and other small, locally owned stores to which neighbors can walk).

Amazon is already a monopolistic retailer and appears to have the desire to be the retailer of choice for everything that anyone would ever need including delivery of same. I do not support monopolistic, price domineering retail as it eventually chokes choice, price, competitiveness, novelty and innovation. It undemocratic.

The last thing we need to add to ANY neighborhood if we are even remotely considering less congested streets, sidewalks and rights of way, is an Amazon/ Walmartish business driven on pricing. Amazon would be yet another destination wholesale type grocery store just blocks from its predecessor on California where congestion is quite easily observed, regularly, as shoppers clog the streets and the parking lot.

Just say NO.

Thank you.
Jan Blum
SF CA 94133 (D-2)

From: [Rahaim, John \(CPC\)](#)
To: [Foster, Nicholas \(CPC\)](#)
Subject: Fwd: 1600 Jackson
Date: Thursday, April 26, 2018 7:20:29 AM

Please excuse any typos. This was sent from my iPhone

Begin forwarded message:

From: Nancy Warner <nancy.warner@gmail.com>
Date: April 25, 2018 at 9:58:08 PM PDT
To: John.Rahaim@sfgov.org
Subject: 1600 Jackson

Dear Director Rahaim,

I'm writing to oppose the proposed Whole Foods 365 store at 1600 Jackson. There are plenty of other shopping options in the vicinity. I've been shopping at Real Food for over 30 years. Opening Whole Foods 2 blocks away will definitely impact the small business in a negative way, and Cheese Plus as well.

Also a chain store is not in keeping with the character of the neighborhood. Small businesses are vital to the health of San Francisco. There are other options for that space; I would rather see much needed housing built.

Please vote no on this.

--

Nancy Warner
1003 Broadway
San Francisco, CA 94133

From: [Rahaim, John \(CPC\)](#)
To: [Foster, Nicholas \(CPC\)](#)
Subject: Fwd: against Whole Foods on Polk
Date: Tuesday, April 24, 2018 10:42:06 AM

Please excuse any typos. This was sent from my iPhone

Begin forwarded message:

From: Thomas Barron <tbarron@yahoo.com>
Date: April 24, 2018 at 12:17:16 PM CDT
To: "Aaron.Peskin@sfgov.org" <Aaron.Peskin@sfgov.org>, "John.Rahaim@sfgov.org" <John.Rahaim@sfgov.org>
Subject: **against Whole Foods on Polk**
Reply-To: Thomas Barron <tbarron@yahoo.com>

hello

originally i thought this was a good idea, as many elderly need access to groceries and even the stores a few blocks away are on quite steep hills. but now that amazon owns whole foods, this would be a grand departure from polk gulch--originally zoned for non chains.

appreciate you listening.

thomas

From: [Gavin Jefferies](#)
To: [Foster, Nicholas \(CPC\)](#)
Subject: I oppose 2016-000378CUA 1600 JACKSON STREET
Date: Thursday, April 26, 2018 10:17:20 AM

Hi Nicholas,

I would like to register my opposition to a big box retail store appearing on this neighborhood street. There are quite enough grocery retailers in the neighborhood already. And this will kill off the smaller ones. It is not in keeping with a local and diverse neighborhood.

Thanks,
-Gavin

From: Vasu Narayanan
To: Rahaim, John (CPC); Peskin, Aaron (BOS); Foster, Nicholas (CPC); richhillssf@gmail.com; Richards, Dennis (CPC); planning@rodneyfong.com; christine.d.johnson@sfgov.org; Koppel, Joel (CPC); Melgar, Myrna (CPC); Moore, Kathrin (CPC); Secretary, Commissions (CPC); Johnson, Millicent (CPC); Kim, Jane (BOS); Board of Supervisors, (BOS)
Subject: Letter of Opposition - 1600 Jackson St., - Amazon 365
Date: Tuesday, April 24, 2018 7:25:01 AM

Hello Commissioners and Supervisor Peskin

My name is Vasu Narayanan and I recently acquired Real Foods on Polk. I have rescued, owned and operated grocery stores in many parts of the Bay Area, over the past 20 years. I am against the Whole Foods 365 project proposed for 1600 Jackson St. I hope the planning commission will take a leadership role in being a champion for housing and protecting small businesses and communities from perishing and allow larger companies to operate in appropriate surroundings.

I acquired Real Foods due to my experience and passion for rescuing long running businesses as well as my desire to be a part of this wonderful community. In late 2016, I got involved in the turn around efforts at the Market on Market in the Twitter Building. During this time I got a chance to explore the middle Polk neighborhood and fell absolutely in love with this community of small businesses and residents. I also have had discussions with Jason Talbot, who is pursuing a redevelopment of the old Apple Discount store.

Polk St may not be the most ideal grocery retail food neighborhood yet in some people's minds, but the current set of players in the market place is fully capable of making this one of the finest retail grocery areas in SF. They just need to be given the opportunity to make it happen.

This is one of the oldest neighborhoods in the city and should be preserved. I have seen the fabric of neighborhoods get destroyed by powerful companies forcing legacy businesses to close and render communities characterless with fewer choices. There is an acute need of housing in the area and as such a housing project will be most ideal use of this currently unused property. Such a project does not create any displacement of residents or loss of business to the community – it will only enhance the neighborhood by allowing local businesses to further improve their offerings and thrive.

If the city said no to Wal-Mart and Target, then why say yes to Amazon, almost an equal. Amazon has publicly stated that all new locations will be incorporating a delivery infrastructure meaning most of the space will be utilized for this and there will be trucks coming in and out of the facility 24/7. If people need a Whole Foods, it is only a few blocks away and Amazon is already offering a 2 hr grocery delivery – so why do we need another physical store here?

Think of the impact of Whole Foods on California and Franklin – Ever since they opened no local full service grocery retailer has survived and none has opened anywhere in the near vicinity and there are really no pedestrian businesses in that area.

Over the past 5 years most small grocery retail businesses in the Polk St corridor area have held back on making investments into their businesses as well as new concepts such as the Bazaar (at the currently vacant space at Clay and Polk) have been put on ice due to the potential of a large company opening shop in the vicinity.

A small business doesn't need all of its sales to be taken away to fail – just a 10 to 20% decline is all it takes. Small businesses in the city have experienced exponential rental expenses, increasing payroll expenses and regulatory costs which have squeezed them – a big competitor will pretty much destroy them.

I hope the Commission will look at the negative impacts of this proposal on local businesses and will support new housing at this site.

Thank you for your time and consideration

Vasu Narayanan

From: Ray Bair
To: Rich Hillis; Melgar, Myrna (CPC); planning@rodnevfong.com; Johnson, Milicent (CPC); Koppel, Joel (CPC); Moore, Kathrin (CPC); Richards, Dennis (CPC); Foster, Nicholas (CPC); Secretary, Commissions (CPC); Peskin, Aaron (BOS); john.rahain@sfgov.org
Subject: Letter of opposition - Amazon Whole Foods at 1600 Jackson St
Date: Thursday, April 26, 2018 11:06:10 AM

Good Morning

I'm writing today to express my opposition to Amazon's proposed development at 1600 Jackson St. I realize the Conditional Use hearing will occur this afternoon, but wanted to let you know this is a hot topic on our street. I am writing today with the support of dozens of small business owners and residents along the street who have asked me to tell you they too are opposed to the project.

I am the owner of Cheese Plus, on the corner of Polk and Pacific, just 1 block away from the project site. While a relative newcomer to the street compared to my neighbors The Jug Shop, Molte Cose, Russian Hill Chiropractic, Studio Gallery, The Bell Tower, One Half, and others who have been in business for generations, I've witnessed a lot of positive change in the 13 years I've owned Cheese Plus.

I've watched as new housing has sprung up in old, out of date, and underutilized properties. Just across the street from my store, where The Jug Shop once occupied, there is now a housing complex with 2 small retailers below - BelCampo and Basik Cafe - which are thriving. That once unattractive corner, is now home to many happy residents, and the street scene is lively and safe because the small businesses below make an engaging experience for the community.

On Pacific, I've witnessed as a new development took over an old parking structure and former livery stable, transforming it into housing with 3 small businesses below. Again, what was once an unattractive and under utilized space, is now home to happy San Franciscans and unique high quality small businesses.

You have an exciting opportunity before you today to strike a similar balance in our neighborhood at 1600 Jackson St, by denying Amazon their Conditional Use on the basis that the space should include housing. This project is completely out of scope for the neighborhood, as Amazon and it's "Amazon Effect" has done the most to drive small business out of existence. Renderings submitted by Amazon for the site show little effort to make the space more aesthetically pleasing. Instead offering a drab, industrial image of their logo above the entrance. This is not fitting for our unique and diverse street, and shows their cookie-cutter attitude, and lack of community outreach on this project.

Amazon and Village Properties have had 2+ years to consider our request for housing above retail at the location. If they had agreed to consider this option, they might very well be in business today with happy residents above. Unfortunately, they have done little to work with the community, adopting a typical corporate stance that they know better and everything will be fine if we just let them do as they please.

Don't be swayed by a posse of residents from far away atop Russian Hill. Their argument is anti-housing, and this is not their immediate neighborhood. Furthermore, that community is among the wealthiest in the city with mobility and means to shop anywhere they desire. Polk St is not a food desert with

underprivileged residents and little choice for food shopping. But it is a vibrant and unique neighborhood unlike any other in the city. Please don't permanently destroy that uniqueness by allowing this ugly, over sized, corporate business to take over our community.

Similar housing over small retail developments are occurring all around the city. I'm confident Village Properties can continue their original vision of housing at the site. If not, I'm sure another developer would be happy to take over the space, even perhaps including a retail grocer - preferably a local, independent business over a big box option. Regardless, I urge you to support small business and old-school San Francisco values, and deny Amazon Whole Foods 365 their Conditional Use today.

Ray Bair

Cheese Plus

Best Cheese Shop in SF - San Francisco Magazine

2001 Polk St @ Pacific Ave

San Francisco, CA 94109

415 921 2001

cheeseplus.com

facebook.com/cheeseplus

instagram.com/cheeseplus

blog.cheeseplus.com



Middle Polk
Neighborhood Association



April 24, 2018

President Hillis
Planning Commission

Re: CU Required For Any Use Over 4,000 sq Feet at 1600 Jackson

We believe any non-residential use size over 4,000 would require a conditional use authorization and the non-conforming use size is not grandfathered. We also believe that a CU to revive the nonconforming use size should be denied in this case.

Current zoning only allows non-residential use sizes up to 1,999 sq feet as Permitted and up to 3,999 with a conditional use. Uses over 4,000 are not permitted.

If a prior nonconforming use with respect to use size is abandoned after 18 months of non use under the code then that prior non-conforming use with respect to size may only be revived with a conditional use.

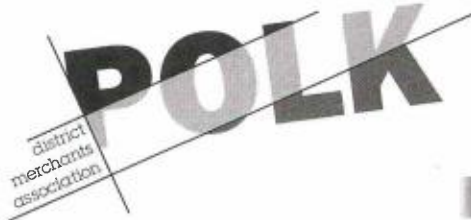
Here, the prior non conforming use ended in December 2014 and it was abandoned after 18 months of June of 2016. It can only be revived via an approved new conditional use application by this commission and that approval is not vested until a building permit is issued.

Reliance on a 25 year old code interpretation is wrong when we have code language which is clear and was passed by the BOS last year. There is no analysis of the abandonment issue.

The purpose of these requirements is to right-size uses to the correct scale of the neighborhood and to encourage housing development on several key soft sites including in the NCD including 1600 Jackson. We believe any CU for



Middle Polk
Neighborhood Association



use size should be denied because this site needs to be prioritized for mixed use development including housing with code conforming non-residential use sizes on the ground floor.

Sincerely,
Chris Gembinski
Chair,
Middle Polk Neighborhood Association

Parker Austin
President,
Polk District Merchants Association

Dan Larson
President
United Food and Commercial Workers, UFCW Local 648

Cc: Commissions Secretary
John Rahaim, Planning Director

JOSHUA S. DEVORE
jdevore@dpf-law.com

April 25, 2018

Nicholas Foster
Senior Planner, Northeast Team
Current Planning Division

San Francisco Planning Commission
c/o Jonas P. Ionin
Planning Commission Secretary

San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

VIA EMAIL: nicholas.foster@sfgov.org
commissions.secretary@sfgov.org
richhillissf@gmail.com
myrna.melgar@sfgov.org
planning@rodneyfong.com
milicent.johnson@sfgov.org
joel.koppel@sfgov.org
kathrin.moore@sfgov.org
dennis.richards@sfgov.org

RE: 1600 JACKSON STREET - 365 BY WHOLE FOODS

Dear Mr. Foster, Mr. Ionin, and Commissioners:

With apologies for the last-minute communication, we write on behalf of Tony Vargas and further to our April 18, 2018 letter with additional serious concerns regarding the attempt to force through approval of the 1600 Jackson Street project despite its clear failure to follow applicable rules and regulations. This letter supplements our prior concerns, and highlights a

few of the largest failures of the project revealed in last-minute submissions that dictate it must be rejected.

The critical environmental study, traffic management plan, and loading analysis for the project were not provided until after the period for written comments to be submitted to the Planning Commission passed. We have not had sufficient opportunity to fully analyze all of the submissions provided yesterday afternoon, nor has Keith Higgins, the traffic engineer that provided his comments on the earlier drafts. As noted previously and discussed further below, we respectfully submit that the hearing scheduled for tomorrow should not go forward under the present circumstances, and any action taken thereat would be illegal.

The packet of materials provided to the Planning Commission and provided to the public after close of business on Friday, April 20 contains a draft motion adopting findings approving the Project (the "Draft Motion"). The Draft Motion attempts to address or deflect some of the patent deficiencies of the project. One of its conclusions is that the off-street freight loading space's deficiency is a lawful preexisting condition. (See Draft Motion at 7, *citing* Planning Code Section 150(c)(1).) That is incorrect. That conclusion ignores the full language of Planning Code Section 150(b), which directs the opposite conclusion. That provision provides that:

Off-street parking and loading spaces, according to the requirements stated in this Article 1.5, shall be provided for any structure constructed, and any use established, whether public or private, after the original effective date of any such requirement applicable to such structure or use.

The draft motion's analysis focuses solely on the "existing building" but ignores that there is a new use proposed. (Draft Motion at 7, Packet page 20.) Indeed, the very next page of the Draft Motion acknowledges that the proposed "General Grocery store" is a "new use." (Draft Motion at 8.) The updated application submitted and provided with the Planning Commission packet admits as much, checking the "Change of Use" box under Item 3.¹ The failure to acknowledge that Section 150(b) requires new *uses* to comply with the loading requirements is fatal.

Even giving the largest benefit of the doubt that the pre-existing nonconforming loading zone was a legal nonconforming feature, and even if the "use" of the general grocery project is the same "use" as the abandoned Lombardi's sporting goods store, that deficient off-street loading

¹ We note that the revised application provided with the public notice and planning commission packet is unsigned and as such appears defective on its face.

zone was abandoned in December 2014 when the store closed.² Any legal nonconformance that is “discontinued for a continuous period of three years” is forfeited and future use “shall be in conformity with the use limitations of” the Planning Code. (SF Planning Code § 183(a).) In short, planning staff’s conclusion that the off-street loading zone’s deficiency is a legal nonconformance is wrong.

Further, as noted above, numerous key analysis that dramatically alter the scope of the project were not provided in advance of the notice of hearing or written comment deadline, nor included with the hearing packet. Only on the afternoon of April 24, 2018, less than 48 hours before the scheduled hearing, were the CEQA Categorical Exemption Determination, Transportation Analysis, or Transportation Management Plan provided. Because these documents are critical to even the most basic understanding of the project and provided less than 72 hours before the hearing, the hearing cannot proceed and must be renoticed for a future date after concerned parties have had a proper opportunity to consider the project’s true scope and impact. (See SF Admin. Code § 67.1-1(b) (“The notice should inform the residents of the proposal or planned activity, the length of time planned for the activity, the effect of the proposal or activity....”)) There is not even a “brief general description” of the on-street loading zone provided in the notice of hearing. (Ca. Gov’t Code § 54954.2(a).)

Indeed, as to the on-street loading zone that now appears to be planned, but not included in the notice, the documents finally provided less than 48 hours before the hearing actually show a proposed taking of 128 ½ feet of public street space for private use: the Transportation Management Plan (TMP) that has finally been provided (and claims only 100-feet of taking in its text, see TMP p. 3) eventually reveals:

If the 80 foot extension of the existing 20-foot yellow zone is granted, the loading zone would be 100-feet-long. Adjacent to this yellow zone, to the west is a 24-foot-long curb cut for the building’s driveway, ***adjacent this yellow zone to the east would be a proposed 28-foot, 6-inch-long red zone***, extending from the yellow zone to the curb.

(TMP Attachment B, Loading Analysis Memo at 8-9 (emphasis added).) As noted in our prior submission, such taking is plainly contrary to the General Plan.

² The building owner also evidenced “a clear intent ... to abandon a nonconforming use” when it previously put forth plans to raze the structure and build a residential building in its place. SF Planning Code § 183(a)

The reason for this additional previously undisclosed conversion of public street space to private use stems from the recognized deficiencies in truck movements, and highlights further shortcomings of the analysis – or lack thereof – of truck movements. The project’s consultant has only analyzed three turns at the intersection of Jackson and Polk, and concluded that one-third are incompatible with the project’s plans. Rather than expand the analysis or conduct a full traffic study, the TMP instead proposes a truck route through a small residential street more than 300-feet away (and thus outside the noticing of the hearing provided by the project). Without doing any apparent analysis of the feasibility of its proposed truck route, the Loading Analysis Memo (at p. 10) falsely claims that:

Since Larkin Street is one-way southbound, trucks and vans would be able to turn onto westbound Jackson Street without affecting any on-street parking spaces or blocking any travel lanes.

(TMP Attachment B at 10.) We suspect the northbound traffic on Larkin such as this fire engine captured by Google Street View would be surprised to learn they are going the wrong way:



Larkin looking southbound towards intersection of Jackson and Larkin. Opposing traffic is travelling northbound.

Little credibility can be given to an analysis which has such a glaring shortcoming. A full analysis of the entirety of the transportation management plan’s truck routing is required at a minimum. At best, the project’s consultant – who plainly never visited the location proposed for this extensive truck traffic – thought that Larkin was one-way-southbound because it knew

April 25, 2018

Page 5

that no trucks over 3-tons were permitted on Larkin between Broadway and Pacific:



Larkin looking northbound towards Broadway from intersection of Larkin and Pacific. No trucks over 3 tons are allowed to use this block.

But that hardly makes the Project's plans better to route trucks to a residential street where truck traffic is already restricted. In short, the Project, its consultants, planning staff, and the Planning Commission have no idea whether trucks can actually follow the proposed route because it was not studied.

As discussed above, the hearing scheduled for tomorrow should at the least be postponed, or the project should be rejected in its entirety. We thank the Commission for its attention to these numerous issues, and remain available for any questions you may have.

Respectfully submitted,

DICKENSON, PEATMAN & FOGARTY

/s/ Joshua S. Devore

Joshua S. Devore
Thomas S. Adams

From: [Teresa Nittolo](#)
To: [Foster, Nicholas \(CPC\)](#)
Subject: Oppose 365 Whole Foods on Polk/Jackson
Date: Wednesday, April 25, 2018 1:03:56 PM
Attachments: [Oppose 365 Whole Foods on Polk Street \(2\).pdf](#)

Dear Nicholas,

Today I'm writing you as a small business owner on Polk Street for 28 years. I'm here to express why I oppose the opening of 365 Whole Foods on Polk / Jackson.

I'm sure you're aware this is not Whole Foods anymore, it is now owned by Amazon, the owner being the richest man in America who has managed to put out many small retail businesses. According to recent news, Amazon book stores are opening in neighborhoods where there were once book shops that were forced to closed as they were not able to compete.

I understand concerns of this vast space remaining vacant, but I believe if this goes through there will be many other vacant storefronts. Maybe not as large, but smaller ones make our community. There have been zoning that forbids big box stores in neighborhoods with similar footprints, why are we letting one of the biggest corporation into ours? We are settling for convenience over community.

Some arguments, say we need a grocery store. Real Foods, Trader Joes, Molly Stones are all conveniently located and another Whole Foods less just a few blocks away. Plus numerous mom and pop shops that outline and make our neighborhood.

Please consider community over convenience. Small businesses keeps communities diverse, alive and vibrant. Locally owned businesses give back more to local economies, than National chains. Your decision will affect our community.

Thank you for taking the time to read this, I hope to remain in the neighborhood and one day pass my business onto the next generation that was born and raised in this district, our community.

Sincerely,

Teresa Nittolo

Proprietor of Belle Cose and Molte Cose (415) 474-3494

2036-2040 Polk Street between Broadway and Pacific

From: Linda Shaw
To: Peskin, Aaron (BOS); Foster, Nicholas (CPC); Rahaim, John (CPC)
Subject: Potential Whole Foods at Polk and Jackson
Date: Monday, April 23, 2018 4:38:46 PM

Dear Sirs,

I understand there is currently discussion underway regarding putting a Whole Foods store in the space formerly occupied by Lombardi Sports at Polk and Jackson Streets. This is my neighborhood. I am a San Francisco native and have lived in this neighborhood for over 30 years. I wholeheartedly object to Whole Foods occupying this space. We have ample grocery stores in the neighborhood, not to mention Whole Foods on Franklin and California Streets, just a short distance away. San Francisco should be able to maintain its neighborhoods and with those neighborhoods the small independent businesses. I don't want to see my neighborhood, or any neighborhood in San Francisco overrun by large corporate businesses. Let's maintain the charm that is San Francisco, let's support the independent business person.

Thank you,
Linda Shaw

From: [jane pannell](#)
To: [Foster, Nicholas \(CPC\)](#)
Subject: Potential Whole Foods On Polk Street at Jackson
Date: Monday, April 23, 2018 3:55:53 PM

Dear Mr. Foster,

I am writing to strongly oppose the opening of a Whole Foods in the former space of Lombardi's on Polk and Jackson.

I understand that people have concerns about this space remaining vacant, but I believe if this goes through you will see many other vacant storefronts. There has been zoning that forbids big box stores in neighborhoods such as ours, so why are we letting one of the biggest corporation into ours??

Some people say we need a grocery store. We already have Real Foods, Trader Joe's, Molly Stones, all conveniently located, not to mention another huge Whole Foods less just a few blocks away. Plus the numerous smaller mom and pop shops that outline and define neighborhoods.

I am disabled, and I can safely say that none of the stores mentioned above are too difficult for me to reach!!! Having a Whole Foods on Polk Street will only change the character of the neighborhood, without adding a while lot more convenience.

Locally owned businesses add life to our neighborhood, and give back more to local economies than ational chains. Please help us maintain our neighborhood--- Don't mall-ify Polk Street!

Thank you,

Jane Pannell
1745 Pacific Avenue #603
SF CA 94109



San Francisco
HOUSING
ACTION
COALITION

95 Brady Street
San Francisco, CA 94103
415 541 9001 tel
info@sfhac.org
www.sfhac.org

October 16th, 2017

Moe Jamil, President
Mid-Polk Neighborhood Association
P.O. Box 640918
San Francisco, CA 94164

Ref: Potential Housing at 1600 Jackson Street

Dear Mr. Jamil,

On behalf of the San Francisco Housing Action Coalition (SFHAC) and its 300-plus members, I'm reaching out in regards to our updated opinion on the future development of 1600 Jackson Street, former site of Lombardi Sports. As you know, San Francisco and the region are facing an affordability and displacement crisis caused by a severe housing shortage and it is of the utmost importance to take advantage of every opportunity to provide housing for all income levels of San Franciscans. As such, we will oppose the approval of any Conditional Use (CU) permit at 1600 Jackson St that does not include on-site homes.

The site's transit rich neighborhood, large lot size, and corner location provide the perfect opportunity for mixed-income housing. Without knowing the specifics of any proposed housing at this site, it is not possible to say whether SFHAC would endorse it or not. However, we must oppose the issuance of a CU permit where housing is omitted.

Sincerely,

Todd David
Executive Director



January 11, 2018

Planning Commission
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

RE: 1600 Jackson Street: Please Consider Impact to Transit

Dear President Hillis and Commissioners,

On behalf of San Francisco Transit Riders (SFTR), I'm writing you today to encourage your consideration of the needs of current and future 19 Polk transit riders and the potential impact to their service in relation to the proposed reuse of building 1600 Jackson Street as an Amazon/Whole Foods 365 grocery store.

Specifically, I write with apprehension of the proposal's plan to use the existing 74-space parking garage that enters and exits directly onto Polk Street for customer parking. As you know, Polk Street is currently undergoing a massive redesign to prioritize pedestrians, bicyclists, and of course, transit. By reusing the current mid-block curb cut on Polk Street to enter into the parking garage, the proposal could intensify car traffic and potentially impede service of the 19 Polk. The 19 directly serves the Polk Street commercial corridor, carrying thousands of riders everyday. These riders deserve consistent and reliable service that is not hindered by vehicles queuing in and out of a parking garage.

As an organization we are not commenting on the use of the 1600 Jackson Street building, but do urge the Planning Commission to put transit first and consider the impact that the project as proposed could have, not only to the 19 Polk service, but pedestrians and cyclists as well.

Sincerely,

A handwritten signature in cursive script that reads 'Rachel Hyden'.

Rachel Hyden
Executive Director
San Francisco Transit Riders

CC: John Rahaim, Director, Planning Department
Nicholas Foster, Planner, Northeast Quadrant, Current Planning
Aaron Peskin, Supervisor, District 3

April 23, 2018

San Francisco Planning Commissioners
1650 Mission Street, Suite 400
San Francisco, CA 94103

Subject: 1600 Jackson Street CUA (Whole Foods 365)

Dear Commissioners:

We are writing in opposition to the Whole Foods coming in to this location.


UFCW Local 648 is a labor union that represents approximately 4,000 members in San Francisco in the grocery and drug industry.

We have a small family business that is a signatory with us that has been in operation since 1965 that would be heavily impacted if a Whole Foods would be allowed to go in. We also have a drug store whose members we represent would be impacted. Potential lay-offs could result.

Furthermore, this location is ideal for housing and we believe that this use would benefit the neighborhood and San Francisco.

Thank you for your consideration.

Sincerely,



Dan Larson
President

Copy: John Rahaim
Nicholas Foster
San Francisco Supervisor Aaron Peskin

1 [Interim Zoning Controls - Conversion of Retail to Non-Retail Sales and Service Use in the
2 C-3-R Zoning District]

3 **Resolution imposing interim zoning controls for 18 months to require a Conditional**
4 **Use Permit, information to be submitted, and specified findings for any conversion of**
5 **Retail Use to Non-Retail Sales and Service Use in the C-3-R Downtown Retail Zoning**
6 **District; and affirming the Planning Department's determination under the California**
7 **Environmental Quality Act.**

8
9 WHEREAS, Planning Code, Section 306.7 authorizes the Board of Supervisors to
10 impose interim zoning controls to allow time for the orderly completion of a planning study and
11 for the adoption of appropriate legislation, which are necessary to ensure that the legislative
12 scheme that may be ultimately adopted is not undermined during the planning and legislative
13 process by the approval or issuance of permits authorizing changes of use that could conflict
14 with that scheme; and

15 WHEREAS, The Planning Department and Commission have been studying ongoing
16 trends and changes in the retail market in San Francisco and in the C-3-R Downtown Retail
17 Zoning District, and considering potential zoning amendments or policy approaches to
18 respond to any changes in that retail market; and

19 WHEREAS, In response to applications submitted to convert existing retail space to
20 office use within the C-3-R Downtown Retail Zoning District, the Planning Commission held
21 hearings to discuss retail to office conversions in the C-3-R Downtown Retail Zoning District
22 on March 16, 2017, and February 22, 2018; and

23 WHEREAS, At the March 16, 2017, the Office of Economic and Workforce
24 Development (OEWD) presented analysis of trends within the C-3-R Downtown Retail Zoning
25 District as compared to the rest of the City and to regional and national retail trends; and

8/29/18
J. Peskin

1 WHEREAS, At the March 16, 2017, hearing, Planning Department staff outlined three
2 potential approaches to reviewing retail to office conversions in the C-3-R Zoning District,
3 which included continuing to review projects seeking upper level retail to office space
4 conversions on a case-by-case basis; adopting a policy that provides specific additional
5 criteria that projects must meet in order for approval; or initiating changes to the Planning
6 Code to codify the criteria that projects must meet in order for approval; and

7 WHEREAS, Since the March 16, 2017, Planning Commission hearing, OEWD has
8 conducted additional research and analysis related to lease rates, vacancies, and tenant
9 space sizes specific to the C-3-R Downtown Retail Zoning District and found, in pertinent part,
10 that Union Square retail lease rates have surpassed Citywide lease rates, and that Union
11 Square has higher lease rates than any part of the City in all classes of office; and

12 WHEREAS, On February 22, 2018, the Planning Commission held another public
13 hearing on retail to office space conversion within the C-3-R Downtown Retail Zoning District,
14 at which OEWD cited dramatic changes in the retail landscape over the past 40 years in San
15 Francisco and ongoing major restructuring in the national retail industry; and

16 WHEREAS, OEWD also found that although San Francisco's retail economy has
17 somewhat slowed, San Francisco's many competitive advantages for retail and restaurants
18 have nevertheless insulated the City's retail from national trends, including the City's strong
19 local economy, significant regional and international tourism, and granular approach to zoning
20 controls aimed at enhancing the City's existing retail corridors and zoning districts; and

21 WHEREAS, The Union Square area, most of which is zoned C-3-R, is a world-class
22 retail destination that draws both tourists and Bay Area residents with its combination of
23 walkable shopping and dining, excellent transit access, and top-tier hospitality, and a 2016
24 study showed that Union Square merchants generate approximately 37% of San Francisco's
25 sales tax in General Consumer Goods, and 15% of all City sales tax dollars; and

1 WHEREAS, It is necessary to consider the effects of conversions from Retail to Office
2 use in the C-3-R Downtown Retail Zoning District that may occur while the City considers
3 permanent controls and guidance for such conversions, to assure that the City does not lose
4 the opportunity to preserve neighborhoods and areas of mixed uses and the existing
5 character of such neighborhoods and areas, and to continue to develop and conserve the
6 economic vitality of the City; and

7 WHEREAS, The Planning Department has determined that the actions contemplated in
8 this Resolution comply with the California Environmental Quality Act (California Public
9 Resources Code, Sections 21000 et seq.), which determination is on file with the Clerk of the
10 Board of Supervisors in File No. _____ and is incorporated herein by reference, and the
11 Board affirms this determination; now therefore be it

12 RESOLVED, That any proposed conversion of Retail Sales and Service use to Non-
13 Retail Sales and Service use in the C-3-R Downtown Retail Zoning district shall require
14 conditional use authorization while these Interim Controls are in effect; and, be it

15 FURTHER RESOLVED, That an applicant proposing any such conversion shall
16 provide information and data to the Planning Department about current Retail and Non-Retail
17 use vacancy rates in the C-3-R Downtown Retail Zoning District; current (as of the time of the
18 application) rental rates for Retail and Non-Retail Sales and Service uses based on
19 knowledge of existing lease rental rates and advertised rental rates for both Retail and/or
20 Non-Retail use categories and their sub-categories as set forth in Section 102 of the Planning
21 Code; a list of other properties in the C-3-R Downtown Retail Zoning District either owned or
22 managed by the applicant, and available information about comparable and relevant rental
23 rates, the principally permitted use(s) of such properties, any vacancies at those other
24 properties, and, to the extent that vacancies exist, any evidence that the property owner or
25 manager has advertised a lease at that property for an existing principally permitted use or

1 any other use, including any publicly advertised terms of that rental; and any other relevant
2 neighborhood development, economic or demand changes in the C-3-R Downtown Retail
3 Zoning District; and, be it

4 FURTHER RESOLVED, In addition to the findings required under Planning Code,
5 Section 303, the City must make the following findings in order to approve any conditional use
6 permit authorizing conversion of Retail use to Non-Retail Sales and Service use in the C-3-R
7 Downtown Retail Zoning District: (1) the change in use from Retail to Non-Retail Sales and
8 Service will not detract from the area's primary function as an internationally renowned
9 destination for comparison shopper retailing and direct consumer services; (2) a Retail or
10 other principally-permitted use is not feasible at the site proposed for conversion, based on
11 evidence that the applicant has openly advertised and solicited rental applications for a Retail
12 or principally-permitted use at the location for a period of at least 18 months and no suitable
13 lessees submitted an application or other response indicating a desire to use the space for a
14 principally-permitted use; (3) any application for a proposed Non-Retail Sales and Service use
15 of the site includes specific calculation of the gross floor area of the proposed Non-Retail use
16 and how any necessary independent and non-public access would be provided to the
17 proposed Non-Retail use; (4) there is a lack of availability of property that is principally
18 permitted for Non-Retail Sales and Service use citywide, including prospective availability of
19 property principally permitted for Non-Retail uses based on five- and ten-year estimates of
20 anticipated new construction, such that the supply of Office space is so constrained as to
21 warrant the applied-for conversion; and (5) whether rental rates for Non-Retail uses are
22 comparable to rental rates for Retail uses within the C-3-R Downtown Retail Zoning District;
23 and be it

1 FURTHER RESOLVED, that these Interim Controls shall remain in effect for a period
2 of 18 months from the date of imposition, unless they are extended or otherwise amended in
3 accordance with the provisions of Planning Code Section 306.7, or until the adoption of
4 permanent legislation regulating conversions from Retail use to Non-Retail Sales and Service
5 (Office) use in the C-3-R Downtown Retail Zoning District, whichever first occurs.

6
7
8 APPROVED AS TO FORM:

9 DENNIS J. HERRERA,
10 City Attorney

11 By _____
12 KATE H. STACY
13 Deputy City Attorney

14 n:\legan\las2018\1800500\01265453.docx

May, Christopher (CPC)

From: Jerome Lerch <jlerch@lerchsturmer.com>
Sent: Monday, April 23, 2018 10:21 PM
To: May, Christopher (CPC); Secretary, Commissions (CPC)
Cc: Kathy Charous
Subject: FW: Proposed addition to 2 Lupine Avenue San Francisco - Permit Application # 201605238139

Importance: High

Follow Up Flag: Follow up
Flag Status: Flagged

Ladies and Gentlemen:

As the correspondence states below, I am the single member of the Lerch Family LLC that owns 4 Lupine Avenue San Francisco, California.

On December 29, 2016, I conveyed oral and written objections to the proposed addition to 2 Lupine. The proposed addition will shade our building; block sun; create invasions of privacy as our tenants will now have to look directly onto and into windows of a structure that never would have been allowed to be built on this site when the 5 unit building was originally approved for construction.

I was never aware that the Commission would create a proposed approval of this project without providing us notice so that we could convey our objections and concerns. Your statement that no public objection was received is in error, and if proper notice was provided, other neighbors would be objecting as well.

Since we have not had the opportunity to comment and provide our concerns to the project, we demand that the Commission postpone approval pending our ability to present objections to the project. As I believe inadequate notice was provided to all of the neighbors who will be adversely affected by this project, we demand that the Commission rescind its preliminary approval so as to enable us sufficient time to present our objections and concerns to the planning department and to the Commission.

I request the opportunity to be heard at the Hearing now set for April 26.

Sincerely,

Jerome Lerch

Jerome N. Lerch Esq.
Lerch Sturmer, LLP
One Sansome Street, Ste. 2060
San Francisco, California 94104

E: jlerch@lerchsturmer.com
Tel: (415) 217-6341

8/10/18
This email is intended only for the use of the individual or entity to which it is addressed and may contain information that is privileged, confidential and exempt from disclosure under applicable law. If the reader of this message is not the intended recipient or the employee or agent responsible for delivering the message to the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone, and return the original message to us via postal service.

Thank you.



Lerch Sturmer LLP

ATTORNEYS AND COUNSELORS AT LAW

From: Jerome Lerch

Sent: Monday, April 23, 2018 5:15 PM

To: Christopher.May@SFGOV.org

Cc: Kathy Charous <kcharous@lerchsturmer.com>

Subject: FW: Proposed addition to 2 Lupine Avenue San Francisco - Permit Application # 201605238139

Importance: High

Dear Mr. May:

Please note my correspondence that I sent to you on December 29, 2016.

For the first time today, I learned that a hearing, on a conditional use permit to add a two story "single family" dwelling on a portion of land previously permitted for the existing 5 unit structure that was built years ago at 2 Lupine Avenue is scheduled to take place this Thursday. The Notice of Hearing for Thursday April 26 and Agenda under item #18 notes that this proposal is preliminarily approved with conditions.

We wrote to you in December of 2016 and voiced our strong objections to this project. The project as planned will take away sun and light from the entire west side of 4 Lupine Avenue, and will cast shade on the building which was previously designed and planned for exposure to sun and light. Additionally, our tenants will now be required to look directly into windows or the side of a new building which was never contemplated when both 4 Lupine and 2 Lupine were planned and constructed.

I placed a call to you today and asked that you call me on my cell: 415 420 9943. I can be reached any time.

I am surprised that the Commission has given a green light to this project without the benefit of our input or consideration. I had certainly thought that we would have been contacted about this matter before now, in view of our correspondence that was sent to you in December of 2016. I have heard nothing further about this project since December of 2016.

Please call me as soon as you can so that we can discuss this matter.

We strongly object to the approval of this proposed project.

Sincerely,

Jerome Lerch

Jerome N. Lerch Esq.
Lerch Sturmer, LLP
One Sansome Street, Ste. 2060
San Francisco, California 94104

E: jlerch@lerchsturmer.com
Tel: (415) 217-6341

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Thank you.



Lerch Sturmer LLP

ATTORNEYS AND COUNSELORS AT LAW

From: Jerome Lerch
Sent: Thursday, December 29, 2016 1:14 PM
To: Christopher.May@SFGOV.org
Cc: Kathy Charous <kcharous@lerchsturmer.com>
Subject: Proposed addition to 2 Lupine Avenue San Francisco - Permit Application # 201605238139

Dear Mr. May:

I am the single member of the Lerch Family LLC that owns an 8 unit apartment house at 4 Lupine Avenue San Francisco.

I had been alerted to a meeting regarding a proposal to develop a single family residence as an addition to a 5 Unit Structure on the lot at 2 Lupine Avenue San Francisco. I had informed the owner that we opposed this project as planned, as the proposed building would eliminate sun and cast great shade on our building. It would adversely affect the quality of life our tenants enjoy who depend upon light, sun and a sense of openness from their current apartments.

I do not know if my thoughts were ever communicated to the Department, as I had posed objections to the architect for this project at the meeting.

I would appreciate speaking with you about this proposed project so that my concerns can be heard.


Sincerely,

Jerome Lerch
Lerch Family LLC

Jerome N. Lerch Esq.
Lerch Sturmer, LLP
425 California Street, Suite 2400
San Francisco, California 94104

E: jlernch@lerchsturmer.com
Tel: (415) 217-6341

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Thank you.



Lerch Sturmer LLP

ATTORNEYS AND COUNSELORS AT LAW

4/26/18


D.Vu


PETITION


Dear President Hillis and Planning Commissioners,

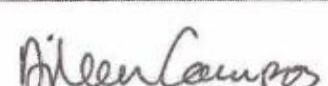
I am a resident of the South Beach Marina Apartments. I am contacting you to express my support for the proposed 1140 Harrison Street project and its plans to meet the affordable requirement through the preservation of over 100 existing below market rate homes at South Beach Marina Apartments on Townsend Street. Florida State Board of Administration, the owner of the building and 1140 Harrison's financial sponsor, executed an agreement with the City in 2016 that will preserve the affordability of the South Beach Marina Apartments as a prepayment of affordable housing fees on future projects. Saving these affordable units, and preventing the displacement of existing San Francisco families, is a priority for the City, Supervisor Jane Kim, and the Mayor's Office of Housing, and reflects a significant investment in the city's existing affordable housing.


I strongly encourage you to vote in favor of 1140 Harrison Street and to preserve our affordable housing.

Name	Mina Fadavi	Apartment #	1-203	Phone	415-823-0264 415 823 0264
Signature		Email Address	Mina.fadavi@gmail.com		

Name	REBECCA DAVIS	Apartment #	4-218	Phone	415-860-4795
Signature		Email Address	rjdavis260@gmail.com		

Name	Kirby Veach	Apartment #	4-218	Phone	415-297-4084
Signature		Email Address	Kirbyveach@gmail.com		

Name	Aileen Campos	Apartment #		Phone	(415) 632-0832
Signature		Email Address	Camposaileens@gmail.com		


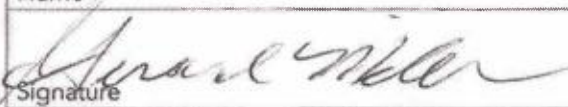
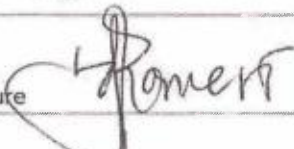
Name	Vittorio Comelli	Apartment #	1-114	Phone	415-770-3511
Signature		Email Address	comelliv@gmail.com		

PETITION

Dear President Hillis and Planning Commissioners,

I am a resident of the South Beach Marina Apartments. I am contacting you to express my support for the proposed 1140 Harrison Street project and its plans to meet the affordable requirement through the preservation of over 100 existing below market rate homes at South Beach Marina Apartments on Townsend Street. Florida State Board of Administration, the owner of the building and 1140 Harrison's financial sponsor, executed an agreement with the City in 2016 that will preserve the affordability of the South Beach Marina Apartments as a prepayment of affordable housing fees on future projects. Saving these affordable units, and preventing the displacement of existing San Francisco families, is a priority for the City, Supervisor Jane Kim, and the Mayor's Office of Housing, and reflects a significant investment in the city's existing affordable housing.

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Name	ANKITA	1-411	650 499 7436
Signature	Ankita	Apartment #	Phone
		ankitajhn07@gmail.com	
		Email Address	
Name	Lise Braden	2-303	415-810-6938
Signature	Lise Braden	Apartment #	Phone
		lbraden1994@gmail.com	
		Email Address	
Name	BOURGEOIS Dorian	1-807	415-769-7676
Signature		Apartment #	Phone
		dorian23@hotmail.com	
		Email Address	
Name	Yvonne Miller	2-104	415-240-0475
Signature		Apartment #	Phone
		yvonne.s.miller@yahoo.com	
		Email Address	
Name	Grace Romero	1-305	(415) 367-5066
Signature		Apartment #	Phone
		grace.romero1234@gmail.com	
		Email Address	

PETITION

Dear President Hillis and Planning Commissioners,

I am a resident of the South Beach Marina Apartments. I am contacting you to express my support for the proposed 1140 Harrison Street project and its plans to meet the affordable requirement through the preservation of over 100 existing below market rate homes at South Beach Marina Apartments on Townsend Street. Florida State Board of Administration, the owner of the building and 1140 Harrison's financial sponsor, executed an agreement with the City in 2016 that will preserve the affordability of the South Beach Marina Apartments as a prepayment of affordable housing fees on future projects. Saving these affordable units, and preventing the displacement of existing San Francisco families, is a priority for the City, Supervisor Jane Kim, and the Mayor's Office of Housing, and reflects a significant investment in the city's existing affordable housing.

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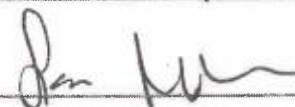

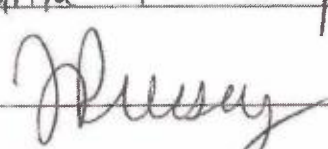
1	Name <i>Richard Dickens</i>	2-108 Apartment #	415-541-9911 Phone
	Signature <i>[Signature]</i>	rickdmr@aol.com Email Address	
2	Name <i>C. M. Hannady</i>	4-107 Apartment #	415-512-0113 Phone
3	Signature <i>Mary</i>	2-701 Email Address	415-710-2310
4	Name <i>SWATI GROVER</i>	2-110 Apartment #	405-332-0416 Phone
	Signature <i>Swati Grover</i>	swati-grover@gmail.com Email Address	
5	Name <i>Carlo Bullam</i>	2-306 Apartment #	415 541 9755 Phone
6	Signature <i>[Signature]</i>	Email Address	
7	Name <i>Eugenio Timashev</i>	4302 Apartment #	909-660-9600 Phone
	Signature <i>[Signature]</i>	netind77@gmail.com Email Address	

PETITION

Dear President Hillis and Planning Commissioners,

I am a resident of the South Beach Marina Apartments. I am contacting you to express my support for the proposed 1140 Harrison Street project and its plans to meet the affordable requirement through the preservation of over 100 existing below market rate homes at South Beach Marina Apartments on Townsend Street. Florida State Board of Administration, the owner of the building and 1140 Harrison's financial sponsor, executed an agreement with the City in 2016 that will preserve the affordability of the South Beach Marina Apartments as a prepayment of affordable housing fees on future projects. Saving these affordable units, and preventing the displacement of existing San Francisco families, is a priority for the City, Supervisor Jane Kim, and the Mayor's Office of Housing, and reflects a significant investment in the city's existing affordable housing.

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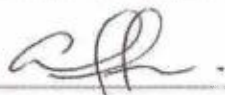


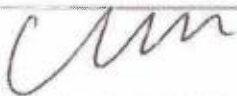
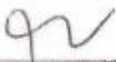
8	Name	Harshiva Matcha	Apartment #	4-200	Phone	7203829439
	Signature		Email Address			
9	Name	LAURE BURKE	Apartment #	4-216	Phone	434-315-4302
	Signature		Email Address			
10	Name	Sara Miller	Apartment #	8-104	Phone	(861)2470761
	Signature		Email Address			
11	Name	Natalia Bartrom	Apartment #	2-111	Phone	4157935951
	Signature		Email Address			
12	Name	Jeanne Pressley	Apartment #	3-401	Phone	
	Signature		Email Address			

PETITION

Dear President Hillis and Planning Commissioners,

I am a resident of the South Beach Marina Apartments. I am contacting you to express my support for the proposed 1140 Harrison Street project and its plans to meet the affordable requirement through the preservation of over 100 existing below market rate homes at South Beach Marina Apartments on Townsend Street. Florida State Board of Administration, the owner of the building and 1140 Harrison's financial sponsor, executed an agreement with the City in 2016 that will preserve the affordability of the South Beach Marina Apartments as a prepayment of affordable housing fees on future projects. Saving these affordable units, and preventing the displacement of existing San Francisco families, is a priority for the City, Supervisor Jane Kim, and the Mayor's Office of Housing, and reflects a significant investment in the city's existing affordable housing.

I strongly encourage you to vote in favor of 1140 Harrison Street and to preserve our affordable housing.

13	Name Maria Lopez	Apartment # 1-603	Phone 305-421-6835
	Signature 	Email Address	
14	Name Hank Szajda	Apartment # 1105	Phone 416-825-2315
	Signature 	Email Address Twinford1@gmail.com	
15	Name Arin Baguni	Apartment # 1-100	Phone 925-330-5381
	Signature 	Email Address ariibus@yahoo.com	
16	Name Chris Huh	Apartment # 2-700	Phone (949) 55-4916
	Signature 	Email Address	
17	Name Ritika Agnew	Apartment # 1-1404	Phone
	Signature 	Email Address	

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18	Name Jack Breibart	Apartment # 1-614	Phone 415 713 8706
	Signature Jack R L +	Email Address breibart@ix.netcom.com	
19	Name Liz Fay	Apartment # 1-604	Phone 415-371-1928
	Signature [Signature]	Email Address lfay317@gmail.com	
20	Name ERIC ROBERTS	Apartment # 1-509	Phone 775-846-3538
	Signature [Signature]	Email Address	
21	Name Ryan Jones	Apartment # 2-405	Phone 415-516-0551
	Signature [Signature]	Email Address rj123@hotmail.com	
22	Name [Signature] ANDREA S. [Signature]	Apartment # 1-304	Phone 415-512-1230
	Signature [Signature]	Email Address	

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23	Name <u>ARA HARMANDIA</u>	Apartment # <u>1-304</u>	Phone <u>415 637-3773</u>
	Signature <u>ARA HARMANDIA</u>	Email Address	
24	Name <u>Thea Forrester</u>	Apartment # <u>1-105</u>	Phone <u>415-606-3481</u>
	Signature <u>THEA Forrester</u>	Email Address <u>theajoy@gmail.com</u>	
25	Name <u>Becky mar</u>	Apartment # <u>4-214</u>	Phone <u>510 388-0029</u>
	Signature <u>[Signature]</u>	Email Address <u>becky mar 92@gmail.com</u>	
26	Name <u>Monica Guerra</u>	Apartment # <u>4206</u>	Phone <u>415 794 2408</u>
	Signature <u>[Signature]</u>	Email Address <u>monica.guerra18@gmail.com</u>	
27	Name <u>ROBERT MANSFIELD</u>	Apartment # <u>1408</u>	Phone <u>415 235 6047</u>
	Signature <u>Robert Mansfield</u>	Email Address <u>robert.mansfield@ucsf.edu</u>	

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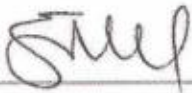



28	Name Ferdinand Pulido	2-107 Apartment #	Phone (415) 425-3864
	Signature <i>Ferdinand Pulido</i>	Email Address <i>ferdinand.pulido@gmail.com</i>	
29	Name Heid. Erl	1-207 Apartment #	Phone (310) 569-8001
	Signature <i>Heid Erl</i>	Email Address <i>heid.a.erl@gmail.com</i>	
30	Name Alexa Dennett	1-203 Apartment #	Phone 415 866 0663
	Signature <i>ADennett</i>	Email Address <i>alexa.dennett@gmail.com</i>	
31	Name Adam Howat	1-203 Apartment #	Phone 415 830 1961
	Signature <i>A Howat</i>	Email Address <i>howata01@gmail.com</i>	
32	Name Ruston Filipacu	7-505 Apartment #	Phone 415.812.1767
	Signature	Email Address	

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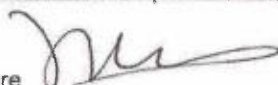



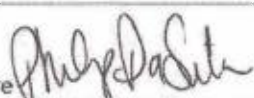
33	Name	ELISA RESENDE	Apartment #	4-112	Phone	415 519 3058
	Signature				Email Address	elisafranca86@yahoo.com.br
34	Name	EUGENIA POKALIK	Apartment #	1903	Phone	917 714 6834
	Signature				Email Address	epokalik@gmail.com
35	Name	Connie Chen	Apartment #	2-1000	Phone	415 629 4336
	Signature				Email Address	cchen@outlook.fr
36	Name	Toss Rubenstein	Apartment #	2-363	Phone	415 860 7212
	Signature				Email Address	
37	Name	Tania Abbaszadeh	Apartment #	1-203	Phone	408 921 0926
	Signature				Email Address	Tania.Abbaszadeh@gmail.com

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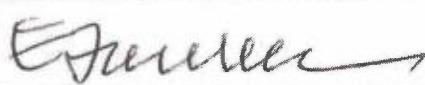
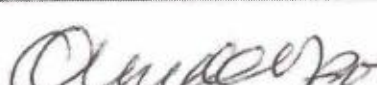

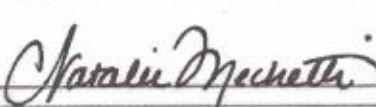

Name	Maria Moustakis	2-604	415-533-4838
Signature		Apartment #	Phone
		maraki12@hotmail.com	
		Email Address	
Name	Susan Jaffe	1-1205	415-618-0100
Signature		Apartment #	Phone
		susan.D.Jaffe@gmail.com	
		Email Address	
Name	Nicole Parsons	I-209	415-518-3272
Signature		Apartment #	Phone
		Email Address	
Name	Michael Moustakis	2-604	415-533-5487
Signature		Apartment #	Phone
		mike524@hotmail.com	
		Email Address	
Name	Philip DaSilva	2-105	
Signature		Apartment #	Phone
		phildasilva@sbcglobal.net	
		Email Address	

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Name	Erin Tanaka	2-603	(949) 292-5316
Signature		Apartment #	Phone
		erintanaka1983@gmail.com	
		Email Address	
Name	OLIVER BLACK	2-603	(415) 299-9347
Signature		Apartment #	Phone
		OHARA BLACK@gmail.com	
		Email Address	
Name	Antonio Garcia	1-264	
Signature		Apartment #	Phone 415-861-9952
		Email Address	
Name	Natalie Mechetti		415 407.4225
Signature		Apartment #	Phone
		Email Address	
Name	SARAH DAVIS	1-212	415-710-7193
Signature		Apartment #	Phone
		Email Address	

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Name	HARMONY NILES	Apartment #	1-0303	Phone	415.215.7697
Signature		Email Address	harmony.niles@me.com		

Name	BLAŽKA MARTANOVIČOVÁ	Apartment #	2-304	Phone	
Signature		Email Address	Blazka.Kesal@mac.com		

Name	MARTANOVIČ PAVEL	Apartment #	2-304	Phone	
Signature		Email Address			

Name	Roberta D'Agostino	Apartment #	1-403	Phone	415 695 4119
Signature	Roberta L. D'Agostino	Email Address	rdagostino31@yahoo.com		


Name	Sagiba Najam	Apartment #	4224	Phone	
Signature		Email Address	sagimoie@gmail.com		


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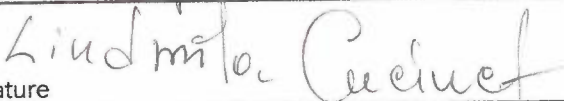
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Name	Jeffrey De Fazio	Apartment #	1-302	Phone	916 949 6224
Signature		Email Address	jdefaz7@gmail		

Name	Kim Elliott	Apartment #	4-319	Phone	415 519 2014
Signature		Email Address	kimkannelliote@yahoo.com		

Name	Emmanuel Chausson	Apartment #	1-202	Phone	415-819-5464
Signature		Email Address	emmanuel.c@hotmail.fr		

Name	Ann Fullerton	Apartment #	4-419	Phone	415 777 4847
Signature		Email Address	a-fullerton@obcglobat.net		


Name	L. Cuevas	Apartment #	4-106	Phone	415 595-0545
Signature		Email Address			

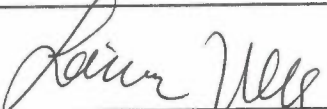
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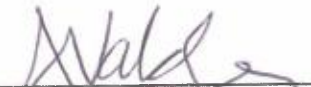
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Name	DAVID DE SEMIR	Apartment #	1-603	Phone	415-9940715
Signature		Email Address	ddesemir@gmail.com		

Name	Laring Weber	Apartment #	3-105	Phone	415. 583 3747
Signature		Email Address	sellingthecity@mc.com		

Name	John Valdez	Apartment #	3-105	Phone	215-990-2111
Signature		Email Address	John@slp-inc.com		

Name	Annabelle Bayhan	Apartment #	4-300	Phone	415-539-9353
Signature		Email Address	Annabellebayhan@gmail.com		

Name	OWEN ORALLO	Apartment #	4-311	Phone	408 781 2773
Signature		Email Address	owen.orallo@gmail.com		

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Name	Jennifer Otten	Apartment #	1-407	Phone	650-888-1266
Signature	Jennifer Otten	Email Address	Otten.Jennifer.SF@gmail.com		

Name	TIMOTHY NAROSKA	Apartment #	4427	Phone	415 218 7326
Signature	TIMOTHY NAROSKA	Email Address	TNAROSKA@MAC.COM		

Name	Emily Lehua Edwards	Apartment #	1-306	Phone	415-613-2286
Signature	Emily Lehua Edwards	Email Address	Emily.Lehua.Edwards@gmail.com		

Name	Shawna Morrison	Apartment #	2-403	Phone	415-571-6414
Signature	S. Morrison	Email Address	meshawnamichelle@aol.com		

Name	GARY MORRISON	Apartment #	2-403	Phone	(415) 879 0890
Signature	GARY MORRISON	Email Address	morrison.gary@aol.com		

D.V. 4/26/18

Leather and LGBTQ Cultural District Community Group

April 24, 2018

Dear President Hillis and Planning Commissioners,

My name is Bob Goldfarb and I am the Chair of the nascent Leather and LGBTQ Cultural District. The District was formed with the vision to rejoice, commemorate, and protect the contributions of our ancestors, contemporaries, and descendants rooted in the Leather & LGBTQ District and its diverse and marginalized peoples.

On behalf of the Leather and LGBTQ Cultural District, I am pleased to submit this letter in support of the 1140 Harrison Street project. The Hanover Company first contacted us in late 2017 to share its plans to replace the vacant German Motors Collision Center of San Francisco with a new mixed-use building. Plans include 371 new rental housing units, ground floor commercial, and preservation of a significant portion of the existing brick wall fronting on Berwick Place and Hallam Street.

We have been engaged in ongoing discussions with the Hanover Company for many months and appreciate their willingness to listen to our concerns and collaborate. The Hanover Company understands the historical importance of the South of Market neighborhood fabric to our community, and we look forward to engaging further to achieve the District's goals as the 1140 project moves forward.

We'd like to thank the Hanover Company for their generous support of our vision. I am very pleased to offer the support of the Leather and LGBTQ Cultural District and strongly urge the Planning Commission's approval of the proposed 1140 Harrison Street project.

Best regards,

Bob Goldfarb
Leather and LGBTQ Cultural District Community Group, Chair

From: Robert Mansfield
To: Vu, Doug (CPC); richhillssf@gmail.com; Melgar, Myrna (CPC); planning@rodneyfong.com; Johnson, Milicent (CPC); Koppel, Joel (CPC); Moore, Kathrin (CPC); Richards, Dennis (CPC)
Subject: 1140 Harrison Street Project
Date: Monday, April 16, 2018 6:50:09 PM

Dear President Hills, Planning Commissioners, and Mr. Vu,

I am a resident of the South Beach Marina Apartments located at 2 Townsend Street in San Francisco. I am writing to express my support for the proposed 1140 Harrison Street project and its plans to meet the affordable requirements through the preservation of over 100 existing below market rate homes at South Beach Marina Apartments.

The Florida State Board of Administration, the owner of the building on Townsend and 1140 Harrison's financial sponsor, executed an agreement with the City in 2016 that will preserve the affordability of the units in the South Beach Marina Apartments as prepayment of affordable housing fees on future projects. Saving these affordable units, and preventing the displacement of existing San Francisco families, is a priority for the City, our own Supervisor Jane Kim, and the Mayor's Office of Housing, and reflects a significant investment in the City's existing affordable housing.

I believe this matter comes before the Commission on Thursday, April 26, and I strongly and sincerely encourage you to vote in favor of the 1140 Harrison Street project in order to preserve the existing 100 homes of affordable housing in the SBMA complex.

Thank you so much for your consideration,

Robert Mansfield

From: 3000mcs
To: Vu, Doug (CPC)
Subject: 1140 Harrison
Date: Wednesday, April 11, 2018 9:57:10 PM

Dear Mr. Vu and the San Francisco Planning Commission:

I am writing in support of the development and approval of 1140 Harrison and the preservation of all affordable units at South Beach Marina Apartments.

I have lived at the South Beach Marina Apartments for more than 15 years. During this time, I have seen this neighborhood and city change. Like the rest of the city, many new tech and start-up businesses have been created and populate my zip code of 94107, driving up rents.

According to SF Curbed: "In its first quarterly San Francisco report, Hot Pads recorded a citywide median rent (across all kinds and sizes of properties) of \$4,508/month."

The rising rents, some of the highest in the US, make it critical to preserve all affordable housing units at South Beach Marina Apartment and preserve/create new affordable housing units in San Francisco, so the city can thrive with a diverse population of all incomes, ages, color and gender.

I urge the Planning Commission to support and approve 1140 Harrison and the preservation of all affordable units at South Beach Marina Apartments! Thank you!

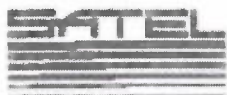
Best,
Mary Schaefer
South Beach Marina Apartment Resident

From: Richard Hylen
To: Vu, Doug (CPC)
Subject: 1140 Harrison/ South Beach Marina Apts.
Date: Wednesday, April 25, 2018 5:19:40 PM

Dear Mr. Vu :

Am writing in support of the project at 1140 Harrison and retaining the existing MMR and BMR units at South Beach Marina Apts.

Thanks & Best Regards,



Richard Hylen

330 Townsend Street, Suite 135 | San Francisco, CA 94107
Ph: 415.974.5577 | Mobile: 415.725.6840 | Fax: 415.974.5580
Email: richard@satelsf.com

From: Harmony Niles
To: Vu, Doug (CPC)
Subject: please approve 1140 Harrison Project
Date: Tuesday, April 10, 2018 3:43:12 PM

Dear Planning Commission,

I hope you will support the project at 1140 Harrison. That project saved the affordable housing I found at South Beach Marina Apartments. I am a single-mother of a 6-year-old daughter, and it looked like I wasn't going to be able to find anything in the city that I could afford for us, not even a studio. I feel blessed that we got the apartment at South Beach Marina Apartments and our quality of life immediately improved. I work in the city and dreaded the thought of being pushed out.

With warm regards,

Harmony Niles

ph. 415.215.7697
2 Townsend Street
Apt 1-0303
San Francisco, CA 94107

From: Natasha Glow Yoga
To: Vu, Doug (CPC)
Subject: Please Approve 1140 Harrison Street Project
Date: Wednesday, April 25, 2018 12:32:28 PM

Dear Doug and all wonderful team of San Francisco City Planning Commission,

I am writing you to encourage the approval of 1140 Harrison Street. Focusing on San Francisco's development and renewal is one of the better ways to support growth of our economy and local communities.

With that project there will be new retail space, cleaner sidewalks and safer neighborhood, as well as vital preservation of Lower Market Rate units at South Beach Marina apartments.

I represent hard-working community of small business owners of San Francisco and would love your support on that project, thank you!

Wishing you health,

Natasha Ivantsova

GLOW Yoga & Wellness Team
415.874.9141
www.glowyogasf.com
www.gocyclingsf.com

From: Paul Rickett
To: Vu, Doug (CPC)
Subject: Please Approve the 1140 Harrison Project
Date: Wednesday, April 25, 2018 11:35:59 AM

Good Morning, Mr. Doug Vu.

My name is Paul Rickett. My wife Izabela and I live at 2 Townsend Street, in the South Beach Marina Apartments (SBMA). We have lived there for 15 years and it is our home. We walk or ride our bikes to work. We don't drive. We have no children. Our apartment is our home and we love it. Our rent is less than market rates and that is the only reason we can afford to remain there. Neither of us make enough money to move locally should our rent be increased. If we were forced out of our home, that we so dearly love, it would be an indescribable hardship and I don't what would happen to us. It is likely that we would have to move far away, hours of commuting on freeways and Bart, at high costs to us and with considerable suffering. We are both in our fifties. This possibility is so scary and heartbreaking.

There is a meeting coming up to consider a development project at **1140 Harrison Street**. I believe that meeting is tomorrow. Our future as residents of San Francisco depends on that project being approved and preserving the Below Market affordable units at SBMA.

I implore you to please consider **APPROVING the 1140 Harrison Project**. If you approve that development, we could keep our home and not have to move far away. If we move, we will likely move and have to change careers, and income brackets, and this would be devastating to us. Neither of us have much in the way of marketable skills. I work at a Staffing Agency, and my wife works as a secretary.

We love San Francisco. Our heart and souls are here. We have been and hope to remain local citizens, who walk to work and enjoy our neighbors and the community. Your vote IN FAVOR of the 1140 Harrison Project is a vote to allow us to stay where we live now and not uproot us for higher paying, more affluent tech industry renters. The influx of Tech and high priced rents is destroying communities and disrupting lives.

Thank you so much, Mr Vu.

Paul and Izabela Rickett
2 Townsend Street. # 2-506
San Francisco, CA. 94107

From: Natallia Ivantsova
To: Vu, Doug (CPC)
Subject: Please Support 1140 Harrison
Date: Wednesday, April 25, 2018 12:09:54 PM

Dear President Hillis and Planning Commissioners,

I am writing to support the 1140 Harrison project. Located on Harrison between 7th and 8th Streets, the project fulfills the vision of the Western SoMa Area Plan, transforming the auto-oriented site to a vibrant, pedestrian-friendly mixed-use development.

During the process, we have found the Hanover Company to be very straight forward in their presentations, responsive to our questions and inclusive in their outreach. This process started with their initial concepts and has evolved, in part, because of input from ourselves and the community.

I ardently support the project for many reasons and here are a few for your consideration:

This project being proposed fits with the neighborhood as we see it evolving. It is a real compliment to the mixed-use, diverse character of Western SoMa.

The project proposes a new publicly accessible pedestrian mid-block alley through the project to connect Harrison Street to Hallam and Folsom Streets. The alley will feature active ground floor uses, courtyards, landscaping and residential stoops to provide an interactive pedestrian experience through the alley.

The project proposes a walkable, human-scaled environment and a vibrant public realm. The enhanced pedestrian alleyway connection, wider sidewalks, new greenery along Harrison Street and over 29,838 square feet of open space all contribute to a more pedestrian-scale experience in and around the development.

Thank you for including our support in your considerations, and we anticipate your agreement that this is going to be a positive addition to our neighborhood.

Sincerely,
Natallia Ivantsova
San Francisco
ivantsovajob@yahoo.com

From: Lise Braden
To: Vu, Doug (CPC)
Subject: Support for the 1140 Harrison Street project
Date: Monday, April 16, 2018 12:51:27 PM

Good Afternoon,

I am writing to show my support for the 1140 Harrison Street project as a credit towards affordable housing, in particular here at my residence, South Beach Marina Apartments.

I have been a resident at SBMA for 23 years. As a single mother, I was able to raise my two children here in safety and security because of the below market rate applied to the apartment I was fortunate enough to move into - long before it became a trendy location. This is HOME for all of us. I am happy to say my children are now launched, one working as a nurse practitioner at the VA Hospital in SF, the other an up-and-coming professional musician, soon to begin his second tour of the U.S. with his group's latest album (which has garnered reviews comparing it to the great music that came out of SF in the Summer of Love era). I am now retired, and living on a limited income. Without below-market-rate availability, I would be forced to move out, not just of my long-term home here at SBMA, but out of the Bay Area completely.

I thank you for your help to preserve affordable housing here. I heartily urge the Planning Commission to approve of the 1140 Harrison Street project as a credit towards that goal.

Many thanks, and most sincerely,

Lise Braden

APRIL 26, 2018
SAN FRANCISCO PLANNING COMMISSION
CANDLESTICK POINT & HUNTERS POINT SHIPYARD

THE SHIPYARD & CANDLESTICK

AGENDA

ACTIONS TO BE TAKEN

PROJECT BACKGROUND

**HPS & BVHP PLAN
AMENDMENTS**

**HPS DESIGN FOR
DEVELOPMENT (D4D)**

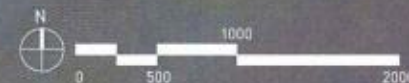
CANDLESTICK POINT & HUNTERS POINT SHIPYARD

LOCATIONS

Shipyards Phase 1

Shipyards Phase 2

Candlestick



CONTEXT MAP

Scale: NTS

CANDLESTICK POINT & HUNTERS POINT SHIPYARD

REDEVELOPMENT PLAN AREAS

HPS Phase 1

BVHP Zone 2

HPS Phase 2

BVHP Zone 1

CALTRAIN

3RD STREET

GILMAN AVENUE

JAMESTOWN ROAD

HARNEY WAY

INNES AVENUE

HIGHWAY 101



ACTIONS TO BE TAKEN

01 *General Plan Amendments*

Amendments to the Hunters Point Shipyard Area Plan

- Revising text regarding previously proposed stadium
- Revising maps regarding previously proposed stadium

Amendments to the Candlestick Hunters Point Sub-Area Plan

- Revising boundaries of all maps
- Conforming changes to all maps throughout the GP

02 *Planning Code Amendments*

Revising boundaries of the Candlestick Point Activity Node SUD and the CP Height and Bulk Districts

ACTIONS TO BE TAKEN CONT'D

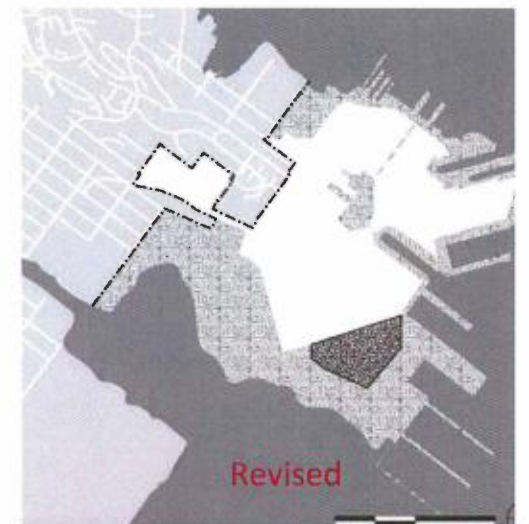
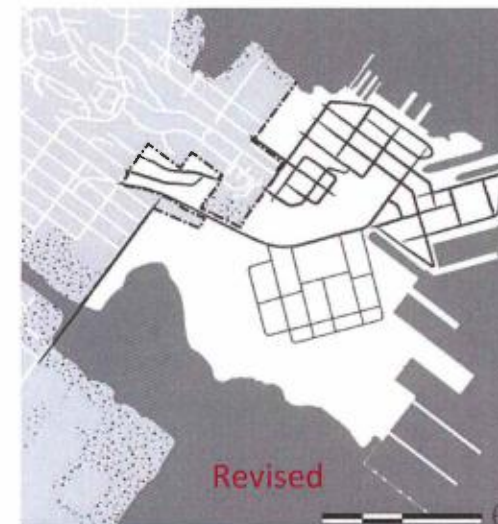
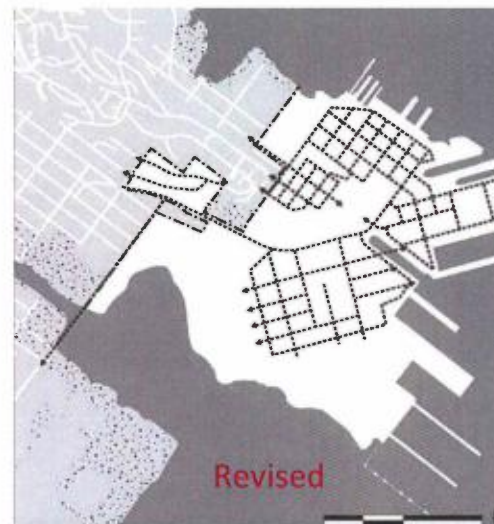
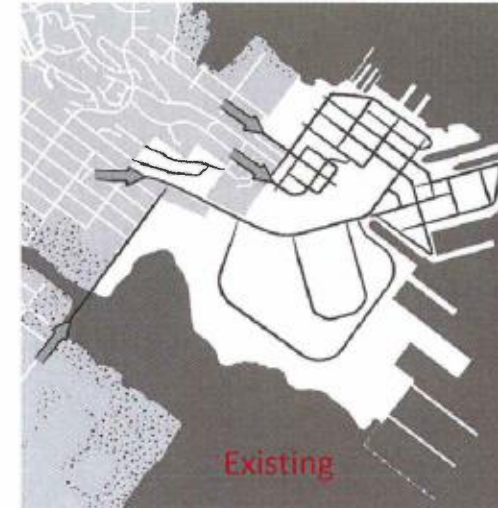
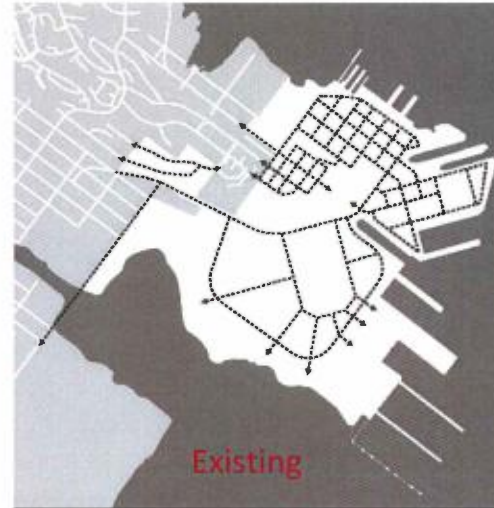
03 *Findings of General Plan Consistency*

Hunters Point Shipyard Redevelopment Plan Amendment

Bayview Hunters Point Redevelopment Plan Amendment

04 *Approval of Hunters Point Shipyard Phase 2 Design for Development (D4D)*

HPS PLAN MAP REVISIONS (EXAMPLES)



MAP 07: PEDESTRIAN
CIRCULATION NETWORK

MAP 04: EXTENDED STREET
GRID

MAP 08: OPEN SPACE
NETWORK

PROJECT BACKGROUND

PROPOSED HPS2 CHANGES: WHY

Land Uses

Increase diversity of uses:

- Increase R&D/office uses
- Increase retail uses
- Add hotel and makerspace uses
- Maximize housing entitlement

Potential shift in commercial sf from HPS2 to Candlestick

- Approval path created to allow for changes in market conditions

PROPOSED HPS2 CHANGES: WHY CONT'D

Street Grid and Block Development Plan

- Re-envisioned to align closer to existing historic layout of Shipyard
- Designed by Adjaye Associates

Heritage Buildings

Increase potential to retain certain structures

- Parks and Open Spaces: Re-imagine layout and increase acreage

Green Energy and Sustainable Infrastructure

“Eco-grid” potential

2010 HPS2 VARIANTS



2010 VS 2018 HPS2 DEVELOPMENT AGREEMENT



2010 CP/HPS2 DEVELOPMENT AGREEMENT



2018 CP/HPS2 DEVELOPMENT AGREEMENT



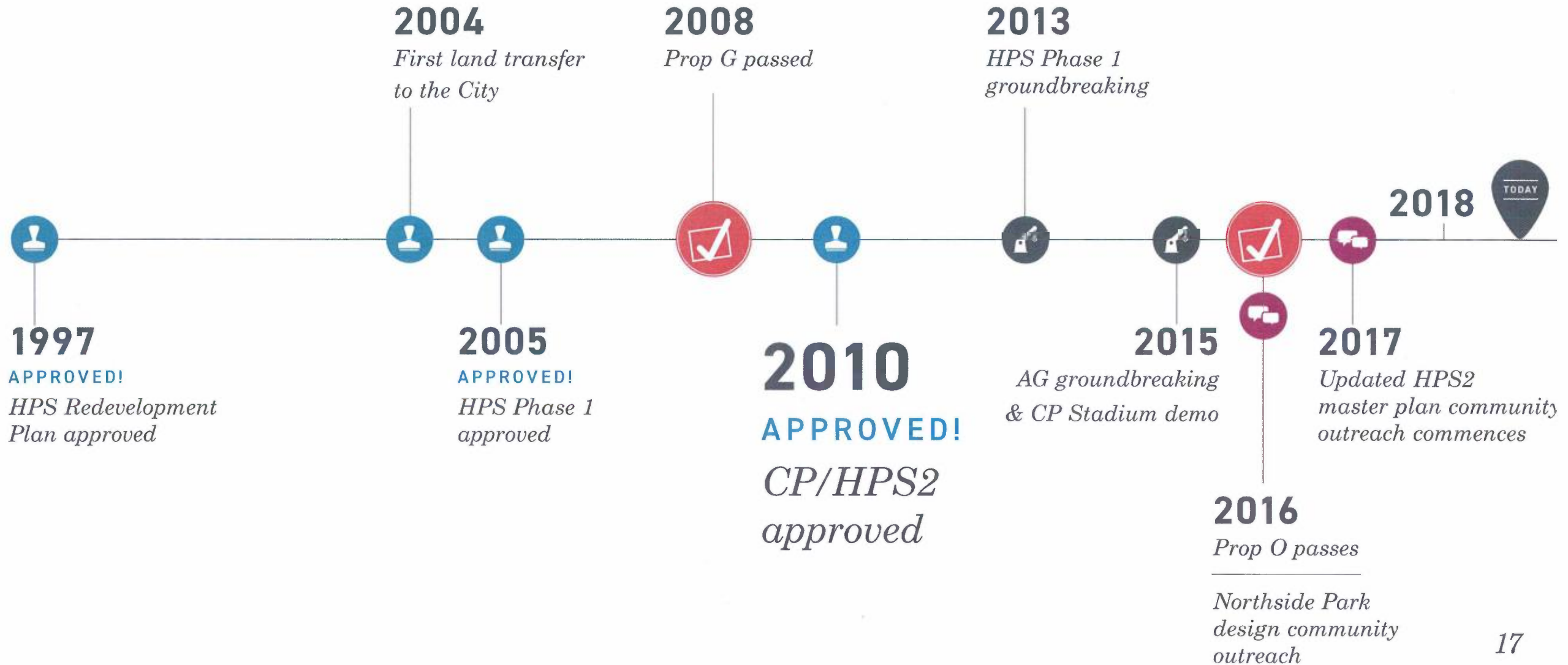
UPDATED CP/HPS2 DEVELOPMENT PROGRAM

LAND USE & HOUSING	2010	2018	CHANGE	
Residential	10,500	10,672	+172 ⁱ	UNITS
Park & Open Space	327.0	337.7	+10.7	ACRES
Commercial				
Artist Studio	255,000	255,000	0	SF
Community Use	100,000	100,000	0	SF
FAC / Performance Venue	75,000	75,000	0	SF
Hotel	150,000	270,000	+120,000	SF
Institution	0	410,000	+410,000	SF
R&D Office	5,150,000 ⁱⁱ	4,415,000	-735,000	SF
Regional Retail	635,000	735,000	+100,000	SF
Neighborhood Retail	250,000	351,000	+101,000	SF
Maker Space	0	75,000	+75,000	SF
TOTAL:	6,615,000	6,686,000	+71,000 ⁱ	SF

i. Transfer of entitlements from Phase 1
 ii. 2010 CPHPS2 DDA only authorized 3,150,000 SF

PLAN AMENDMENTS

PROJECT TIMELINE



CANDLESTICK POINT & HUNTERS POINT SHIPYARD

REDEVELOPMENT PLAN AREAS

CALTRAIN

3RD STREET

BVHP Zone 2

GILMAN AVENUE

JAMESTOWN ROAD

BVHP Zone 1

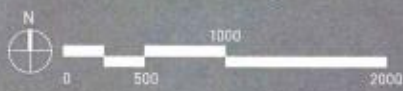
HARNEY WAY

INNES AVENUE

VALOU AVENUE

HPS Phase 1

HPS Phase 2



HPS REDEVELOPMENT PLAN

Amendments Include:

- **Land Use Districts:** names changes to match Shipyard Phase 2 vision
- **Land Use Definitions:** adjustments and additions to match vision
- **Land Use Entitlement:** adjustments within caps to permit a more diverse land use mix + allows conversion of square footage between different commercial land uses
- **Transfer of R&D to Candlestick:** 118,500 SF of R&D/Office uses may be transferred from Shipyard Phase 2 to Candlestick (BVHP Zone 1)




BVHP REDEVELOPMENT PLAN

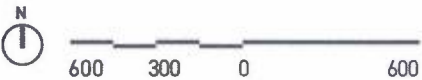
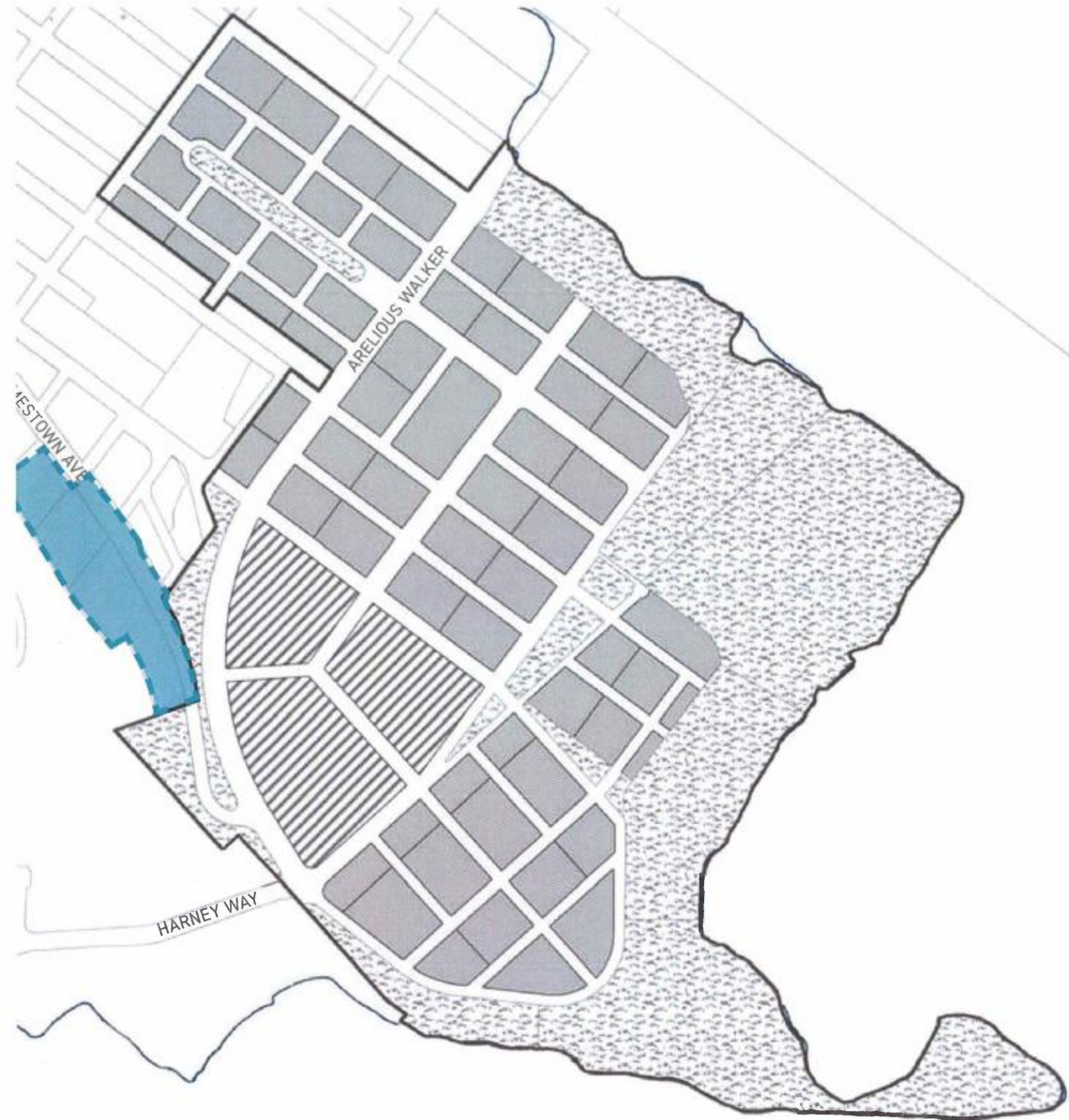
Amendments Include:

- **Land Use Entitlement:** allows conversion of square footage between different commercial land uses
- **Transfer of R&D to Candlestick:** 118,500 SF of R&D/Office uses may be transferred from Shipyard Phase 2 to Candlestick (BVHP Zone 1)
- **Jamestown Parcel:** shift of a parcel not owned by Developer from Zone 1 (OCII jurisdiction) to Zone 2 (SF Planning jurisdiction)

JAMESTOWN PARCEL

LEGEND

-  Candlestick Center Mixed Use Commercial
-  Candlestick Mixed-Use Residential
-  Open Space
-  BVHP Zone 1 Boundary
-  Parcel to be Removed From Zone 1 and Added to Zone 2



HPS VISION

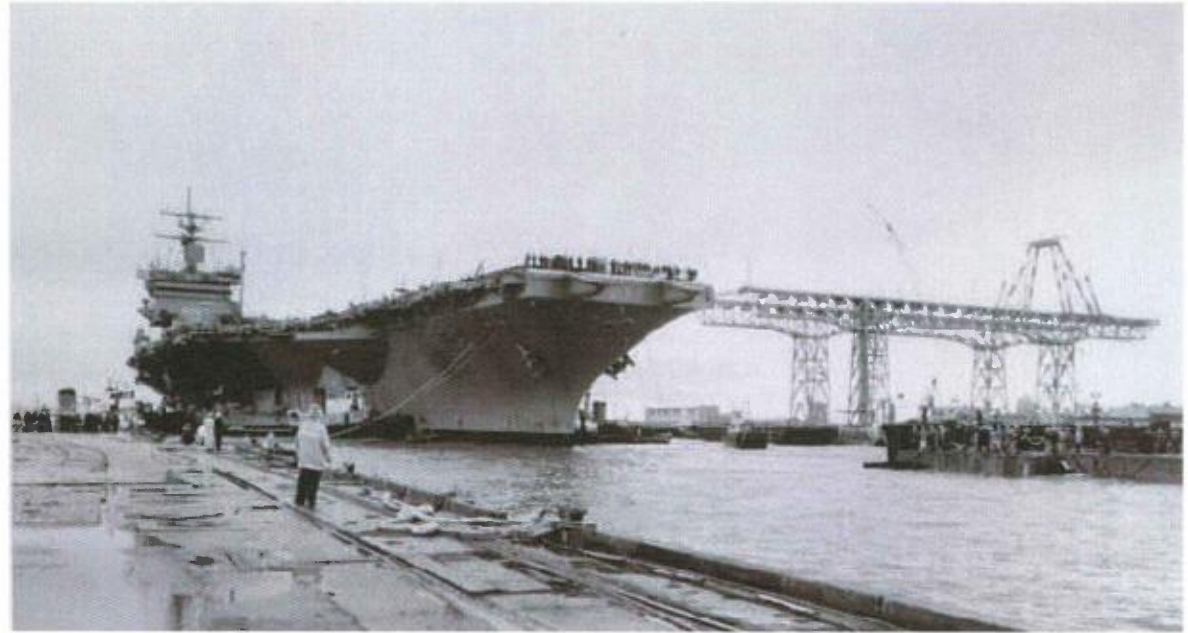
- An integrated community with a robust and diverse mix of uses
- Increasing the potential for the adaptive re-use of historic buildings by re-instating the Navy street grid
- Re-imagining parks and open space with a stronger focus on gathering places



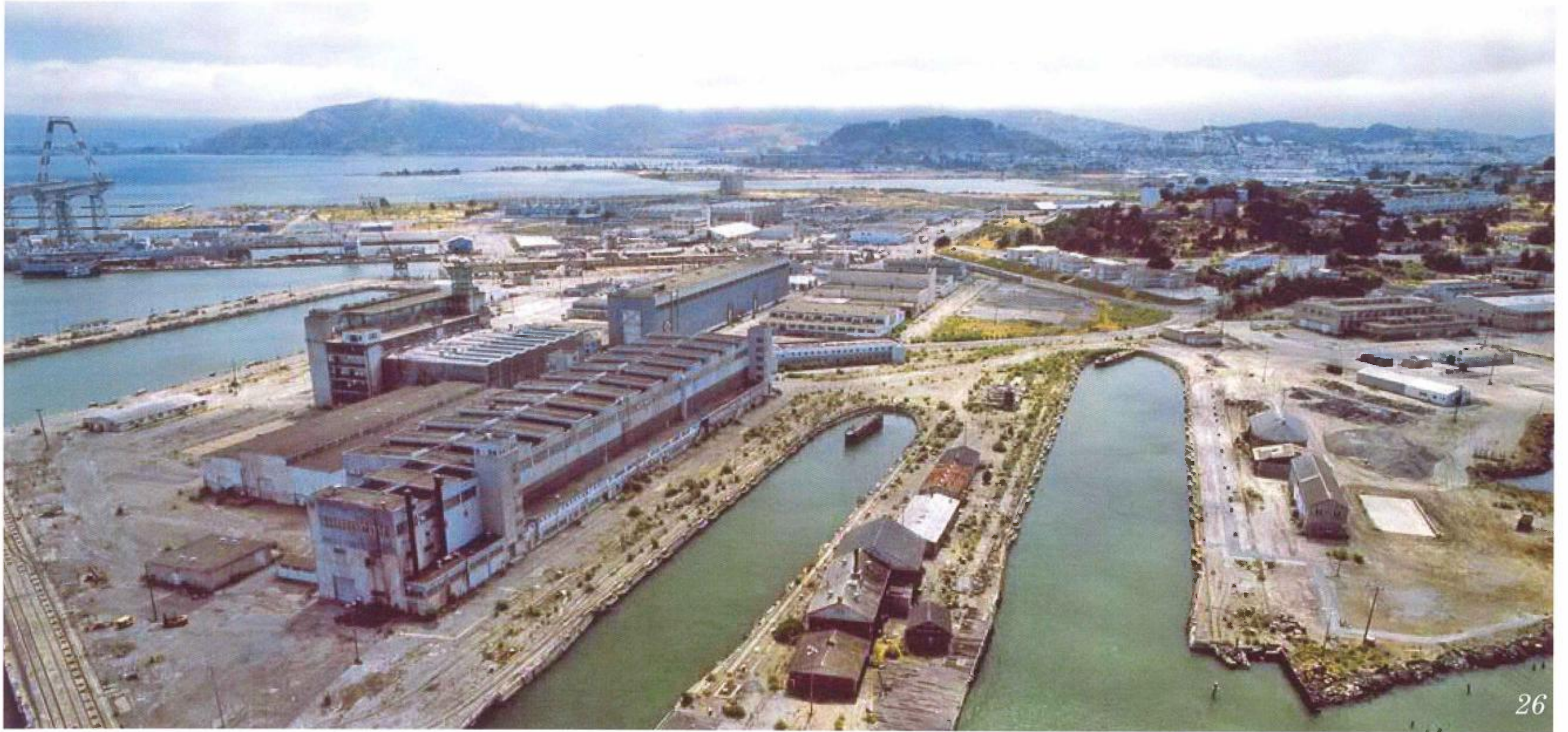
DESIGN FOR DEVELOPMENT



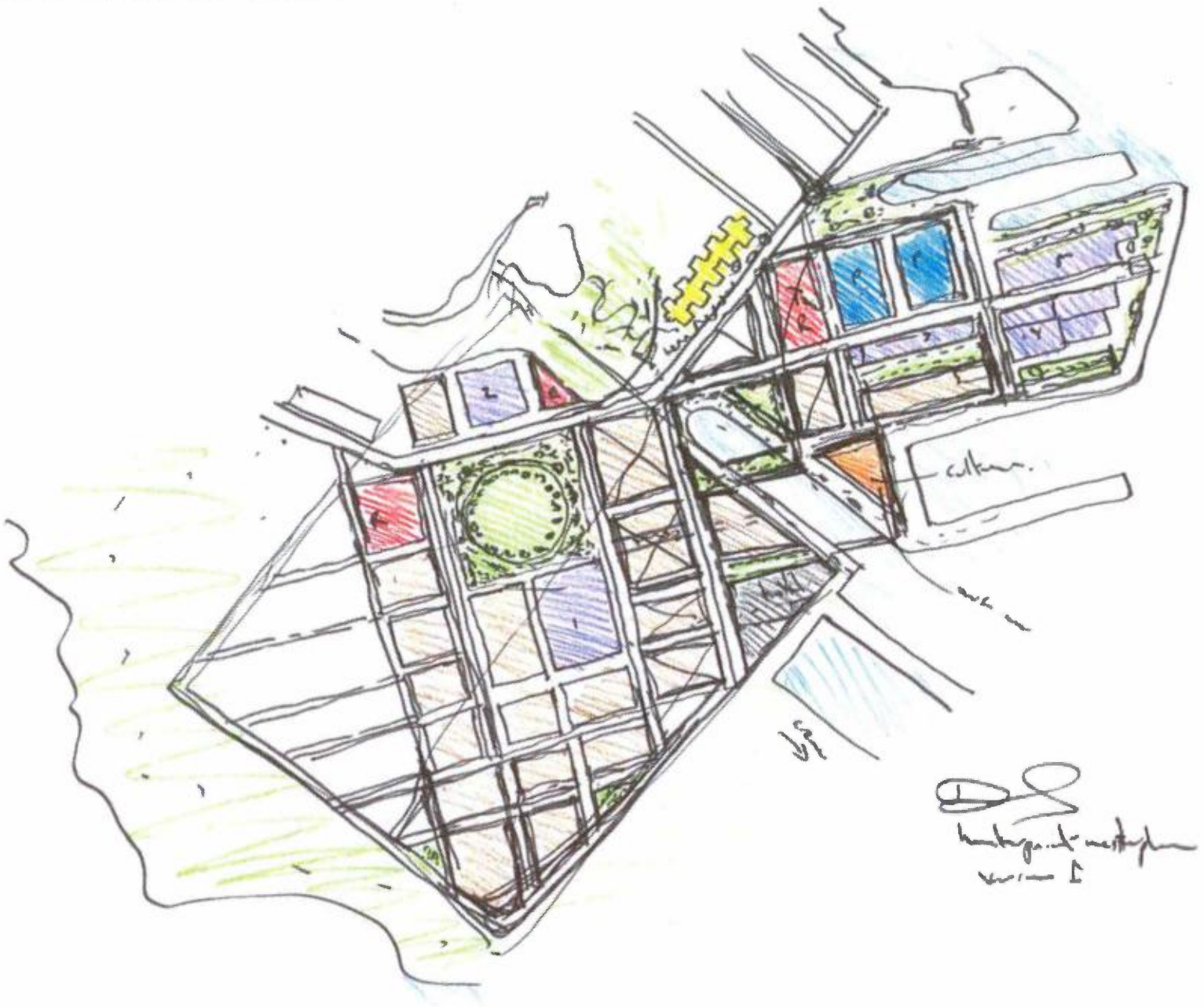
VISION HISTORY



VISION THE SHIPYARD TODAY



VISION MASTER PLAN



KEY CONCEPTS

- Integrated Use Districts
- Original Street Grid
- Large Historic Buildings

VISION EMBRACE THE LEGACY, AUTHENTICITY, AND UNIQUE CHARACTER OF THE SHIPYARD



VISION EMBRACE THE LEGACY, AUTHENTICITY, AND UNIQUE CHARACTER OF THE SHIPYARD



VISION CREATE A MODEL FOR CITY-MAKING THAT CONTINUES
SAN FRANCISCO'S LEGACY OF DISTINCT NEIGHBORHOODS



VISION INTEGRATED USE
DISTRICTS

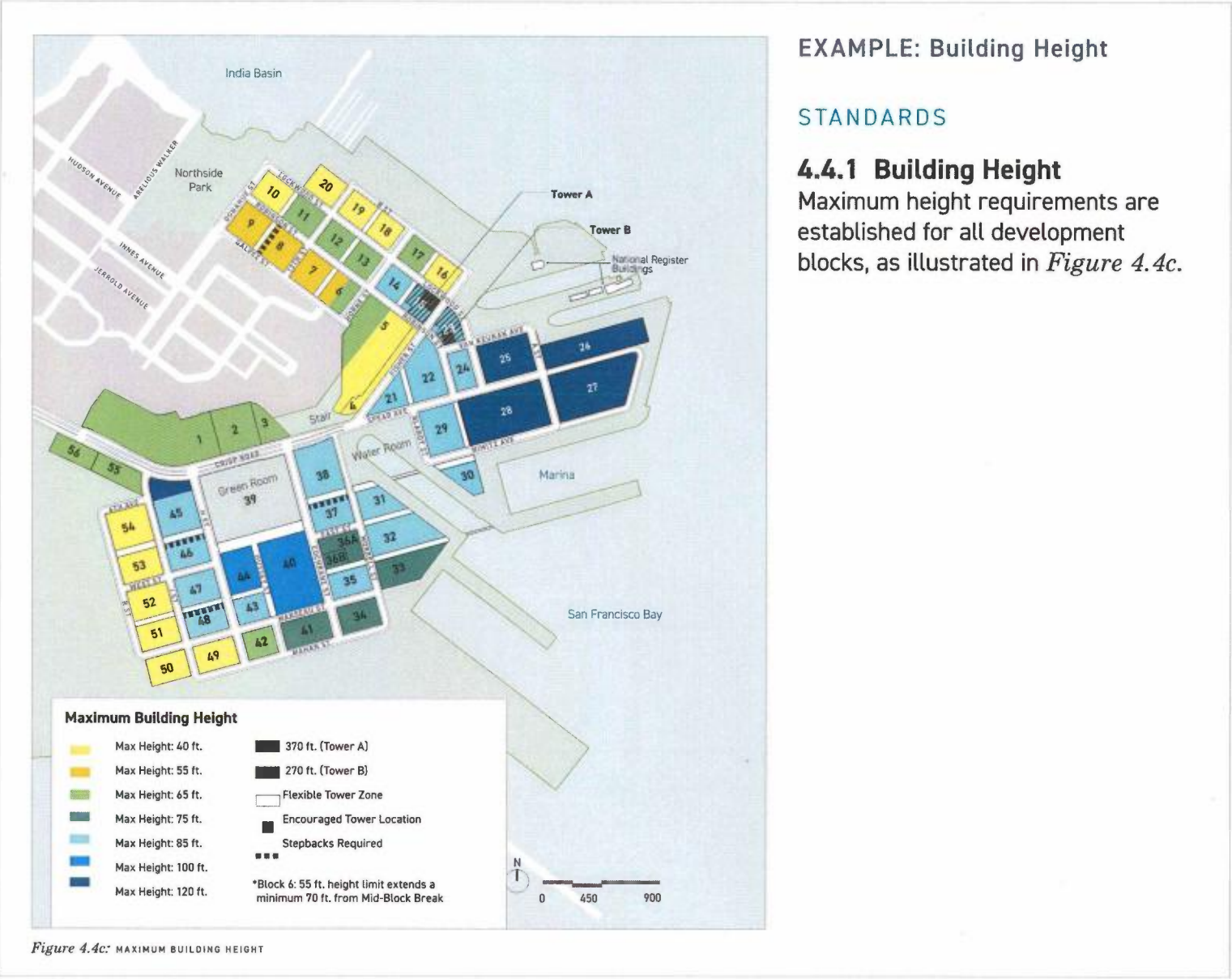


VISION KEY FEATURES

1. Green Room
 2. Water Room
 3. Pedestrian Allée
 4. Waterfront Open Space
 5. Artists' Studio / Makerspace
 6. Transit Center
 7. Pedestrian Connection to/from Hilltop
 8. Hilltop View to the Bay
- Existing Buildings



STANDARDS SAMPLE DEVELOPMENT STANDARDS

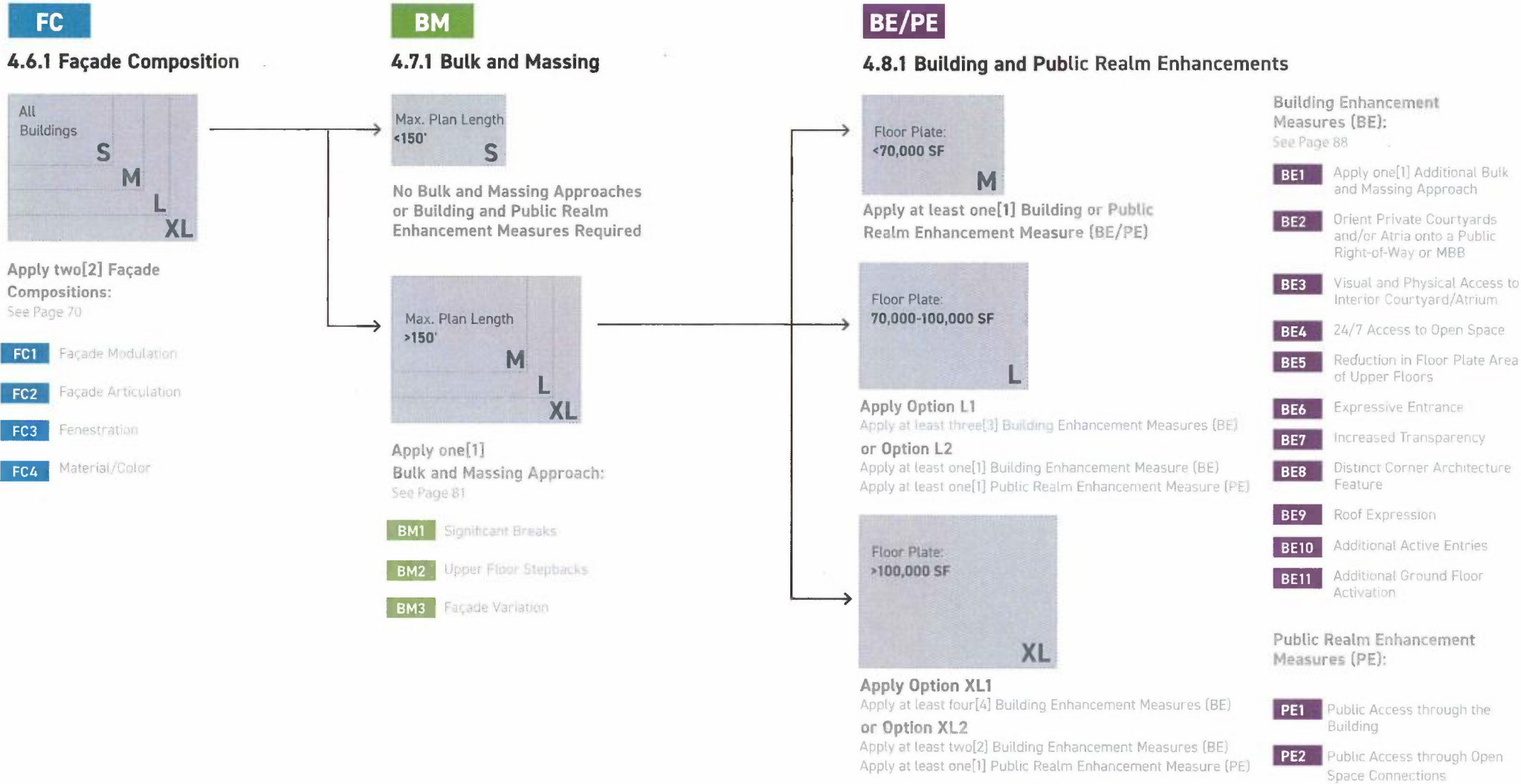


The design for development includes development standards that relate to:

- Building Height
- Building Setbacks
- Mid-block Breaks
- Architectural Controls
- Private Open Space
- Signage
- Lighting

STANDARDS A MENU OF OPTIONS

4.5A ARCHITECTURAL CONTROLS BY BUILDING SCALE
FLOW CHART



BE/PE

4.8.1 Building and Public Realm Enhancements

Floor Plate: <70,000 SF

M

Apply at least one[1] Building or Public Realm Enhancement Measure (BE/PE)

Floor Plate: 70,000-100,000 SF

L

Apply Option L1
Apply at least three[3] Building Enhancement Measures (BE)
or Option L2
Apply at least one[1] Building Enhancement Measure (BE)
Apply at least one[1] Public Realm Enhancement Measure (PE)

Floor Plate: >100,000 SF

XL

Apply Option XL1
Apply at least four[4] Building Enhancement Measures (BE)
or Option XL2
Apply at least two[2] Building Enhancement Measures (BE)
Apply at least one[1] Public Realm Enhancement Measure (PE)

Building Enhancement Measures (BE):
See Page 88

BE1

Apply one[1] Additional Bulk and Massing Approach

BE2

Orient Private Courtyards and/or Atria onto a Public Right-of-Way or MBB

BE3

Visual and Physical Access to Interior Courtyard/Atrium

BE4

24/7 Access to Open Space

BE5

Reduction in Floor Plate Area of Upper Floors

BE6

Expressive Entrance

BE7

Increased Transparency

BE8

Distinct Corner Architecture Feature

BE9

Roof Expression

BE10

Additional Active Entries

BE11

Additional Ground Floor Activation

Public Realm Enhancement Measures (PE):

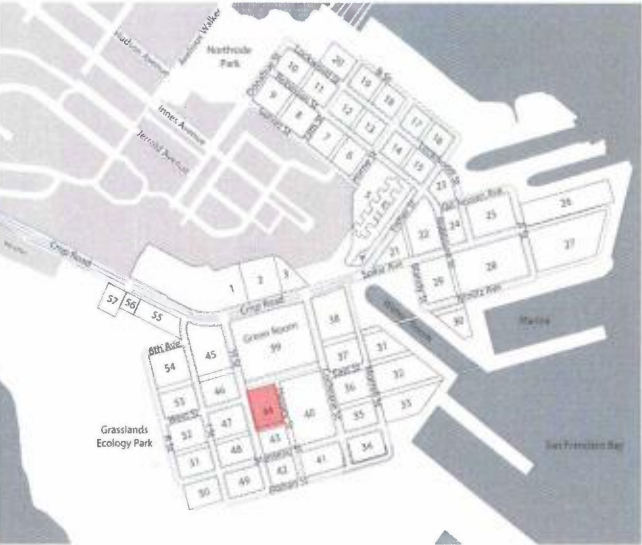
PE1

Public Access through the Building

PE2

Public Access through Open Space Connections

STANDARDS TEST



BUILDING DESIGN STANDARDS

Zoning: Commercial

Lot Area: 83,017 SF

Developable Area:

- 0-40' :100%
- 41'-95' : 90%
- 96'-120' : 80%

Gross Floor Area: 415,082

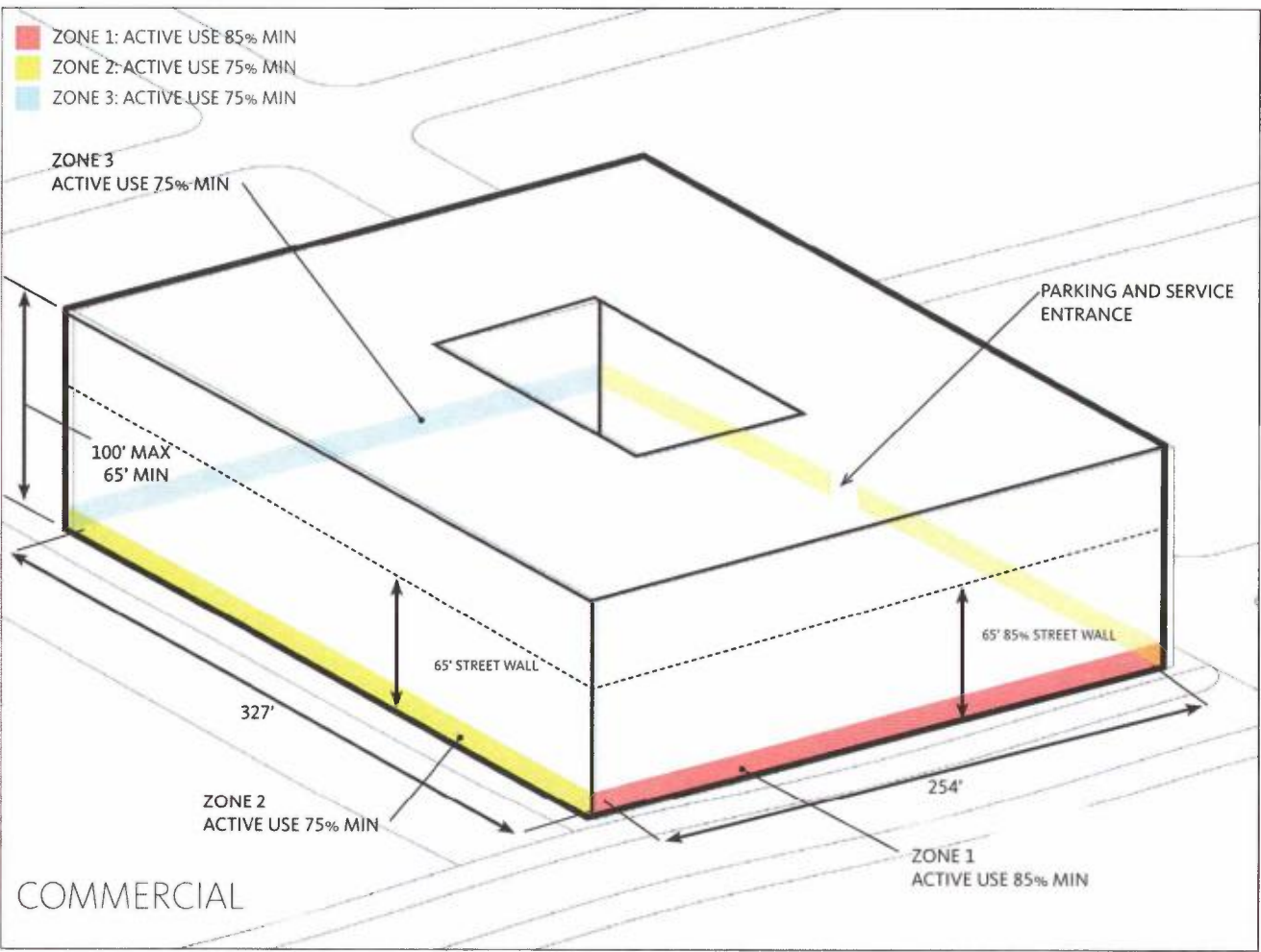
Setback: 0' (Zone 1), 0'-5' (Zone 2)

Plan Length: 363'

Number of Stories: 5

Building Height: 40' Min / 85' Max)

Street Wall: 85%/60'



STANDARDS TEST

- STEP 1
- FACADE COMPOSITION (FC), PICK TWO**

FC1. Façade Modulation Strategies

FC2. Façade Articulation Strategies

FC3. Fenestration Strategies

FC4. Material / Color Strategies

- STEP 2
- BULK AND MASSING (BM)**

BM1. Significant Building Breaks

BM2. Upper Floor Stepbacks

BM3. Façade Variation (pick two)

 - Façade Modulation
 - Façade Articulation
 - Fenestration/ Transparency
 - Material Color

- STEP 3
- BUILDING ENHANCEMENT (BE)**

BE1. Apply One [1] Additional Bulk/Massing Control

BE2A. Orient Private Courtyards and/or Atria Onto a Public ROW or MBB (Per Street Fronting Elevation)

BE2B. Orient Private Courtyards and/or Atria Onto a Public ROW or MBB (Multiple Street Fronting Elevations)

BE3. Provide Visual Access to Interior Courtyard and/or Atrium

BE4. Permanently Open Public Access to Open Space

BE5. Reduction in Floor Plate Area of Upper Floors

BE6. Expressive Entrances

BE7. Increased Transparency

BE8. Distinct Corner Architectural Feature

BE9. Roof Expression

BE10. Additional Active Entries

BE11. Additional Ground Floor Activation

PUBLIC REALM ENHANCEMENT (PE)

PE1. Public Access Through the Building

PE2. Public Access though Open Space Connection



STANDARDS EXAMPLE

4.6

FC

Façade Composition

Cont'd

FC1

Façade Modulation Strategies

INTENT

To shape building massing and provide visual interest, scale, and rhythm to a building and/or building facade.

APPLICATION

FC1.1

Façade Modulation

Façade Modulations shall include plan shifts in the Façades, expressions of building structure, Building Projections, and other strategies that provide visual interest and depth that is recognizable from a distance. Plan shifts and Flanking shall be a minimum of two (2) ft. in depth. The extent and scale of Façade Modulations shall be proportional to and in keeping with the scale of the entire building. Double skins and structural expressions that are character defining features of the Façade have no minimum depth requirements.

Changes to the Façade plane made for the application of the Façade Modulation may be used to create an Implied Façade.

MODULATION STRATEGIES

The following are a non-exhaustive list of Façade Modulation strategies.

"Horizontal Shift"

The Façade is defined by horizontal subdivisions which project forward or push back from each other. The horizontal subdivisions may, but need not be, determined by the location of the building floor slabs. See Figure 4.6.1.

"Vertical Shift"

The Façade is subdivided into "bays" that promote a sense of scale and proportion. These bays may be expressive of a programmatic or structural characteristic of the building. See Figure 4.6.2.

Figure 4.6.1 HORIZONTAL SHIFT

Figure 4.6.2 VERTICAL SHIFT

38

CHAPTER 4 DESIGN STANDARDS & GUIDELINES

4.6

FC

Façade Composition

Cont'd

FC1

Façade Modulation Strategies

INTENT

To shape building massing and provide visual interest, scale, and rhythm to a building and/or building facade.

APPLICATION

FC1.1

Façade Modulation

Façade Modulations shall include plan shifts in the Façades, expressions of building structure, Building Projections, and other strategies that provide visual interest and depth that is recognizable from a distance. Plan shifts and Flanking shall be a minimum of two (2) ft. in depth. The extent and scale of Façade Modulations shall be proportional to and in keeping with the scale of the entire building. Double skins and structural expressions that are character defining features of the Façade have no minimum depth requirements.

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Figure 4.6.1 HORIZONTAL SHIFT

Figure 4.6.2 VERTICAL SHIFT

39

CHAPTER 4 DESIGN STANDARDS & GUIDELINES

4.6

FC

Façade Composition

Cont'd

FC2

Façade Fenestration

INTENT

Building Fenestration strategies are Façade composition elements that contribute to the character of a building and the feel of the urban environment. These strategies modulate Daylight and potential for natural ventilation in buildings.

APPLICATION

FC2.1

Fenestration

Fenestration strategies include a variety of techniques to bring Daylight into a building and help define the character of a building. Fenestration strategies include shape, size, pattern, rhythm, and location of façade apertures.

Successful fenestration strategies stand out as a central component or feature of a building's enclosure. Such strategies strengthen the expression of the building's architectural character. A non-exhaustive list of strategies are listed below.

DEFINITION

"Fenestration"

The design, construction, or presence of openings in a building. Fenestration includes windows, doors, louvers, vents, wall panels, skylights, transoms, curtain walls, and sloped systems.

Fenestration Strategies:

Glass Curtain Wall

Punched Window

Window Wall

Double Skin

Boxed Window

Bay Window

Grand Atrium at the Façade

Per Skyscraper

Figure 4.6.3 Fenestration Strategies

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CHAPTER 4 DESIGN STANDARDS & GUIDELINES

4.6

FC

Façade Composition

Cont'd

FC2

Façade Fenestration

INTENT

Building Fenestration strategies are Façade composition elements that contribute to the character of a building and the feel of the urban environment. These strategies modulate Daylight and potential for natural ventilation in buildings.

APPLICATION

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Fenestration Strategies:

Glass Curtain Wall

Punched Window

Window Wall

Double Skin

Boxed Window

Bay Window

Grand Atrium at the Façade

Per Skyscraper

Figure 4.6.3 Fenestration Strategies

41

CHAPTER 4 DESIGN STANDARDS & GUIDELINES

4.7

BM

Bulk and Massing

Cont'd

BM1

Significant Breaks

INTENT

To reduce the Bulk and Massing of buildings by the introduction of vertical breaks within the Façade Plane. Such breaks may articulate building mass or provide rhythm to the Façade.

APPLICATION

BM1.1

Significant Breaks

An Apparent Face on a Street Fronting Elevation shall be no greater than (150) ft. in length without a Significant Break in the Primary Façade Plane. Such breaks may articulate building mass or provide rhythm to the Façade.

Significant Breaks shall be in the form of vertical interruptions within the Primary Façade Plane that are at least as wide and deep as 10% of the longest adjoining Apparent Building Face. (Example: If the longest Apparent Face is (100) ft. in length, the Significant Break shall be at least ten (10) ft. wide and ten (10) ft. deep; if the longest Apparent Face is (150) ft. in length, the Significant Break shall be at least (15) ft. wide and (15) ft. deep.)

Significant Breaks shall extend from the roof plane to a building height of (25) ft. or less from the sidewalk grade. The Break may extend to grade.

Significant Breaks may occur at any rhythm or length of a Primary Façade Plane. The minimum Significant Break dimension is two (2) ft. by two (2) ft.

Figure 4.7.1 SIGNIFICANT BREAKS

Figure 4.7.2 SIGNIFICANT BREAKS

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CHAPTER 4 DESIGN STANDARDS & GUIDELINES

4.7

BM

Bulk and Massing

Cont'd

BM1

Significant Breaks

INTENT

To reduce the Bulk and Massing of buildings by the introduction of vertical breaks within the Façade Plane. Such breaks may articulate building mass or provide rhythm to the Façade.

APPLICATION

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Figure 4.7.1 SIGNIFICANT BREAKS

Figure 4.7.2 SIGNIFICANT BREAKS

43

CHAPTER 4 DESIGN STANDARDS & GUIDELINES

4.8

BE/PE

Building and Public Realm Enhancements

Cont'd

BE

Building Enhancement Measures

PE

Public Realm Enhancement Measures

INTENT

To enhance the Building and Public Realm of the urban environment.

APPLICATION

BE1

Reduction in Floor Plate Area of Upper Floors

Provide an additional 30% reduction of Floor Plate at the upper levels as follows: for buildings (75) ft. and taller, reduce the upper two levels by 30% of Floor Plate relative to the floor beneath for buildings less than (75) ft. tall, reduce the top Floor Plate by 30% relative to the floor beneath. Each Street Fronting Elevation receives credit for applying this measure. See Figure 4.8.1.

BE2

Expressive Entrance

Provide an Expressive Entrance to enhance identity and visual access into the building. For residential buildings, the Expressive Entrance shall be at minimum (100) ft. wide along the facade and a minimum two (2) stories in height. For commercial and mixed-use buildings, the Expressive Entrance shall be at minimum (25) ft. wide along the facade and a minimum two (2) stories in height. See Figure 4.8.2.

BE3

Increased Transparency

For commercial buildings, provide a minimum 60% Transparency for the entire Street Fronting Elevation. For residential buildings, provide a minimum 35% Transparency for the entire Street Fronting Elevation. Areas counted in meeting this requirement must be comprised of Transparent Glazing. See Figure 4.8.3.

BE4

Distinct Corner Architectural Feature

Provide a distinct architectural feature of special character and design that accentuates a change or interruption in the architectural language of the building. The corner element shall be at least (20) ft. in width and change in height by a minimum of two (2) ft. above or below the adjacent roof line and/or be integrated with a Roof Expression. See Figure 4.8.4.

Figure 4.8.1 BE1 - REDUCTION IN FLOOR PLATE AREA OF UPPER FLOORS

Figure 4.8.2 BE2 - EXPRESSIVE ENTRANCE

Figure 4.8.3 BE3 - INCREASED TRANSPARENCY

Figure 4.8.4 BE4 - DISTINCT CORNER ARCHITECTURAL FEATURE

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CHAPTER 4 DESIGN STANDARDS & GUIDELINES

4.8

BE/PE

Building and Public Realm Enhancements

Cont'd

PE

Public Realm Enhancement Measures

INTENT

To enhance the Building and Public Realm of the urban environment.

APPLICATION

PE1

Roof Expression

A roof expression shall be observed as a recognizable shape or profile against the sky as visible from eye-level in the adjacent pedestrian realm. It may accentuate a change or interruption in the architectural language of the building. See Figure 4.8.5.

PE2

Additional Active Entrances

For Ground Floor Zones 1 and 2, provide a total of two (2) Active Entrances per (75) ft. of Street Fronting Elevation. For Zone 3, provide a total of two (2) Active Entrances per (100) ft. of Street Fronting Elevation. Refer to 4.3.1 Ground Floor Activation. See Figure 4.8.6.

PE3

Additional Ground Floor Activation

Increase Ground Floor Activation from that required by designated Ground-Floor Active Use Zone to meet the percentage of Ground-Floor Activation required by the next higher Ground-Floor Active Use Zone (see Ground-Floor Activation Plan on Page 95). Example: Building in Ground-Floor Active Use Zone 2 increases Ground Floor Activation to meet the requirements of Ground Floor Active Use Zone 1.

PE4

Public Access through the Building

Provide in-grade public access during business hours extending through to the opposite side of the block. Public access shall provide access between a public right-of-way, Mid-Block Break or HP52 open space to another public right-of-way, Mid-Block Break or HP52 open space. The access through shall be at a minimum two (2) stories in height and (25) ft. in width. Above the lowest two (2) stories, public access pass-through may be crossed by catwalks, skyway connections, habitable spaces, and/or floor plates. All Street Fronting Elevations receive credit for applying this measure. See Figure 4.8.7.

PE5

Public Access through Open Space Connection

Provide in-grade public access during business hours in the form of a private common open space that connects through to the opposite side of the block. Open space shall be open to the sky at a minimum of (100) ft. in width. Skyways may be located over open spaces. All Street Fronting Elevations receive credit for applying this measure. See Figure 4.8.8.

Figure 4.8.5 PE1 - ROOF EXPRESSION

Figure 4.8.6 PE2 - ADDITIONAL ACTIVE ENTRANCES

Figure 4.8.7 PE4 - PUBLIC ACCESS THROUGH BUILDING

Figure 4.8.8 PE5 - PUBLIC ACCESS THROUGH OPEN SPACE CONNECTION

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CHAPTER 4 DESIGN STANDARDS & GUIDELINES

STANDARDS EXAMPLE


RIJINSTRAAT 8

the Hague, the Netherlands

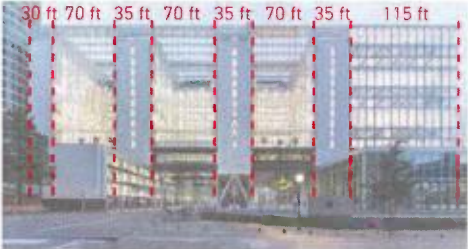
Floorplate - Atrium



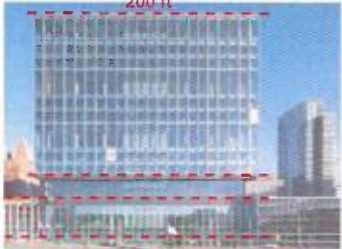
Height




Apparent Face - Vertical Change



Horizontal Change



Eye-Level View




RIJINSTRAAT 8

the Hague, the Netherlands

STEP 1. APPLY: DEVELOPMENT BLOCK COVERAGE STANDARDS, HEIGHT REGULATIONS, BUILDING SETBACKS, MAXIMUM PLAN LENGTH

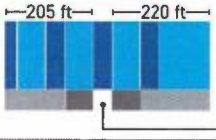
Development Block Coverage:
Non-Residential: 65% above 40 ft
(Required: <90% above 40 ft)



Maximum Plan Length: 460 ft

No significant break for the 500 ft facade
(Required: >25 ft significant break for facade >400 ft)

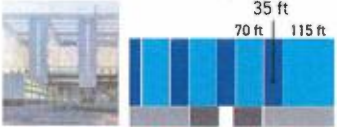
Private Common Open Space with access to opposite side, but not open to sky



STEP 2. FACADE LENGTH

Plan Length > 150 feet
For all facades in this development, apply one of the Bulk/Massing Strategies

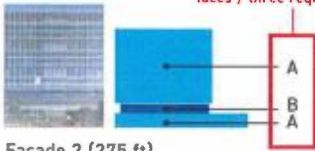
STEP 3. BULK/MASSING STRATEGIES



Facade 1 (460 ft)

Facade Variation: Vertical Variations (Max. 115 ft)

- Fenestration/Transparency
- Material/Color



Facade 2 (275 ft)

Facade Variation: Horizontal Variations


- Fenestration/Transparency
- Facade Modulation

Not Compliant

Only two different apparent faces / three required

STEP 4. FLOORPLATE SIZE

57,500 sf above 40 ft - Medium Building Floorplate



If adjusting facade composition on Facade 2 to comply with standards

If extending the private common open space all the way to the roof

ADDITIONAL BULK/MASSING STRATEGIES APPLIED

- ☐ Face private courtyards and atria onto a public ROW or MBB
- ☐ Extend Atria/Courtyards to the Ground Floor
- ☐ Increased Transparency
- ☐ Provide Visual Access to interior courtyard and/or atrium
- ☐ Public Access through the Building

38

STANDARDS APPLIED TO BUILDING 411



EXISTING BUILDING

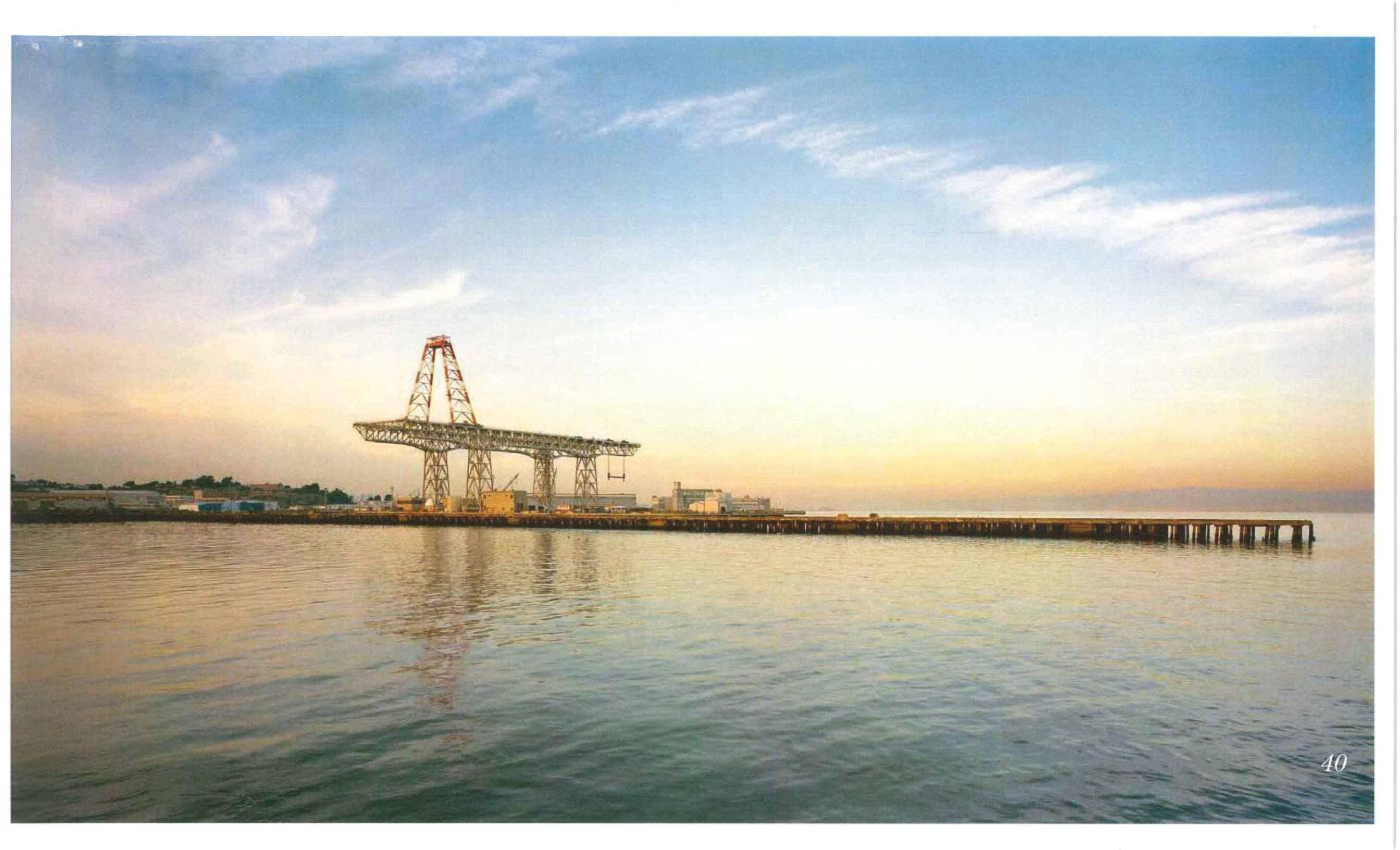


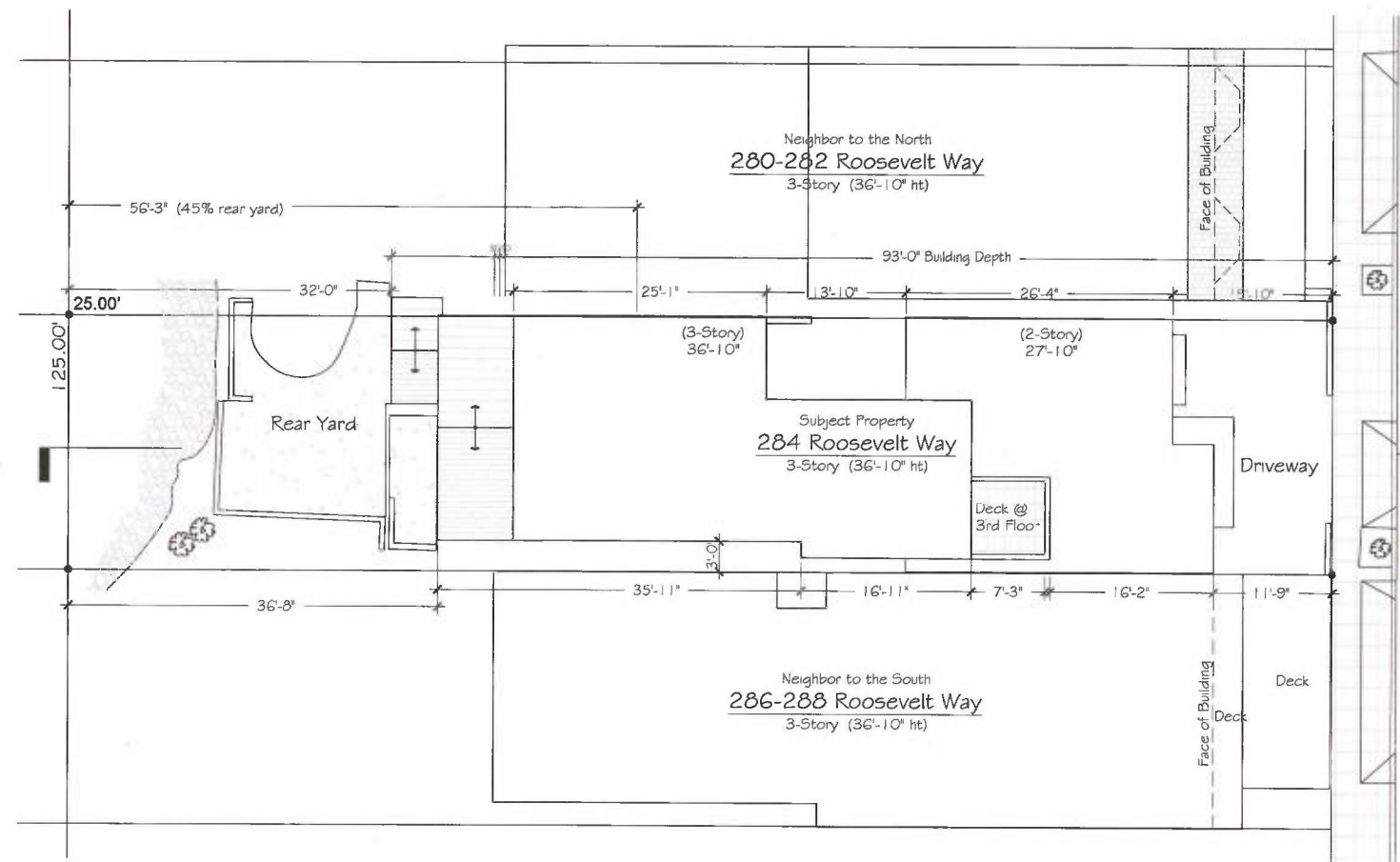
BUILDING 411 LOCATION

Scale: NTS

Artist's renderings are conceptual only. There is no guarantee that the project will be approved, developed or built as shown.

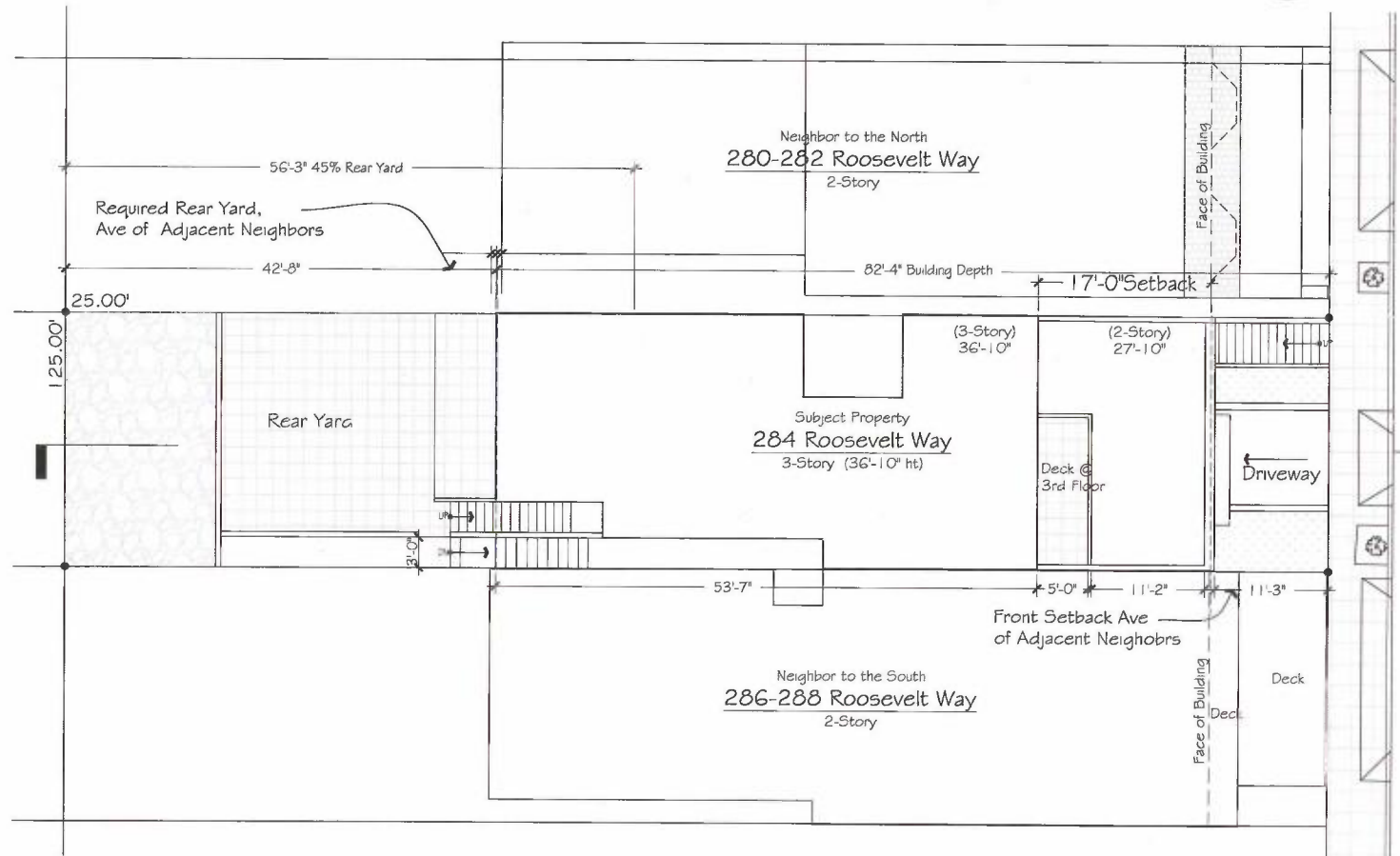
Retention subject to further study.





1 Existing Site & Roof Plan

Scale: 1/8" = 1'-0"



2 Proposed Site & Roof Plan

Scale: 1/8" = 1'-0"



Directory

Owner:
284 Roosevelt Way LLC
3520 20th St B,
San Francisco, CA 94110
mobile: 415-374-0669
email: lucas@eastwoodsf.com

Architect:
Ernie Selander
2095 Jerrold Ave. Suite 319
San Francisco, CA 94124
mobile: 415.385.4339
email: ernie@selanderarchitects.net

Planning Information:

Parcel: 2607/037
Zoning District: RH-2
Height/Bulk District: 40-X
Lot Area: 3,123 sf

Building Information:

2016 CBC and all San Francisco Building,
Mechanical, Plumbing, Electrical,
Fire Code and amendments.

Existing:

Single Family Dwelling (SFD)
3-Story, 27'-10" ht
Construction: Type V - B
Occupancy: R3

Proposed:

Two Family Dwelling 4-Story,
27'-10" ht @ Roosevelt Way.
36'-10" ht @ setback
Construction: Type V - B
Occupancy: R3

Building Area (sq ft):

Garage	740
First Floor	1243
Second Floor	1581
Third Floor	789
Total	3613

Existing

Garage	740
First Floor	1243
Second Floor	1581
Third Floor	789
Total	3613

Proposed

Garage	-
First Floor	1297
Second Floor	1513
Third Floor	1125
Total	3935

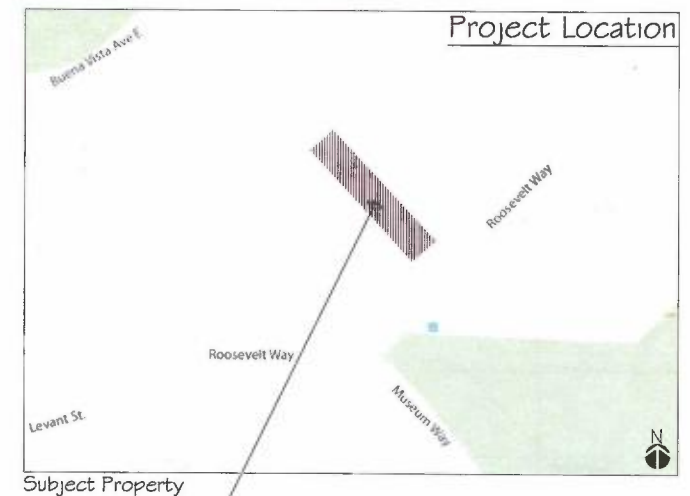
Lower Unit Area = 1920 sq.ft
No. of Bedrooms = 3
Upper Unit Area = 2015 sq.ft
No. of Bedrooms = 3

Front Setback Diagram

Landscape
Permeable
Landscape

Front Setback = 293 sq ft
Permeable Area = 182 sq ft
Planter Area = 111 sq ft
Planter Percentage = 38 %

Lower Unit
Upper Unit

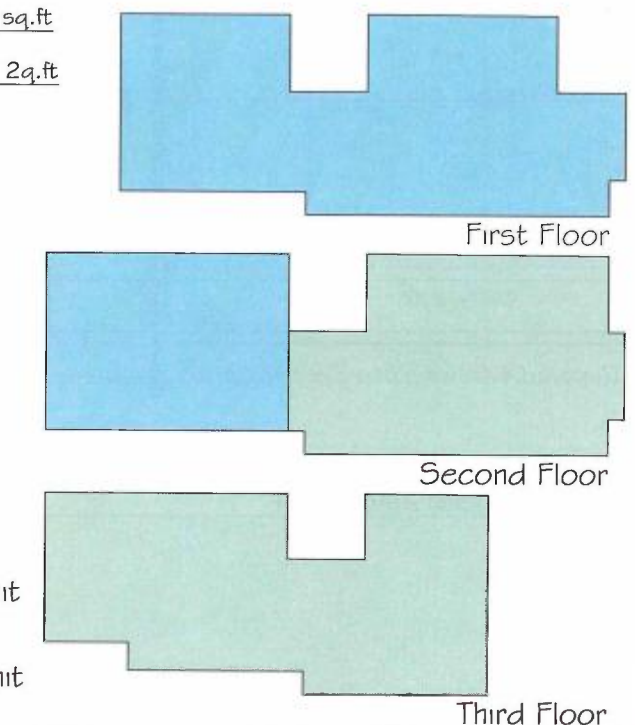


Project Description

The existing structure is an abandoned, partially framed new single family dwelling. The original house on the property was demolished without proper permits. This permit application is to (1) clear Complaint #201603171, and (2) complete and add on to the existing structure to create two new residential units.

Sheet Index

- A1 Project Info. & Proposed site, Roof Plan
- S1 Survey
- A2 (E) & (P) Garage and First Floor Plans
- A3 (E) & (P) Second Floor Plan
- A4 (E) & (P) Third Floor Plan
- A5 (E) & (P) Sections
- A6 (E) Garage Plan, (E), (P) Front & Rear Elevations
- A7 (E) & (P) South Side Elevations
- A8 (E) & (P) North Side Elevations



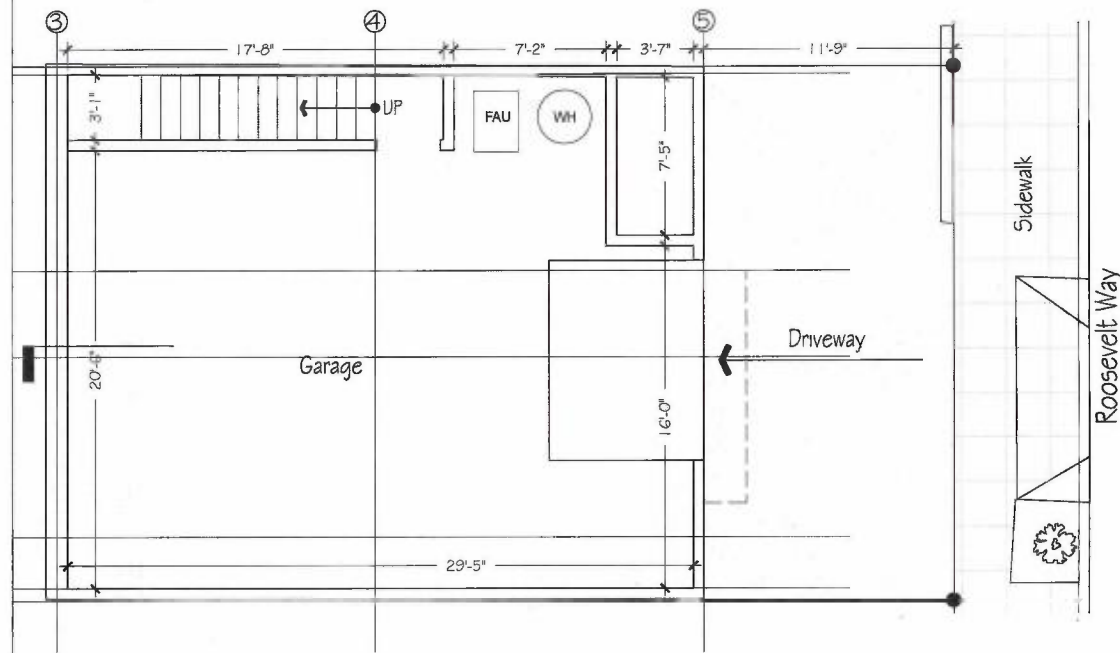
SELANDER ARCHITECTS
2095 Jerrold Avenue, Suite 319, SF, CA 94124
415.385.4339
ernie@selanderarchitects.net

284 Roosevelt Way
San Francisco, CA 94114
Parcel # 2607/037

Issue:	Date:
CU# Site	1/25/18
CHK	3/12/18
RDT	4/05/18
RDT 2	4/16/18

Plot Date:
April 25, 2018
Scale:
As shown

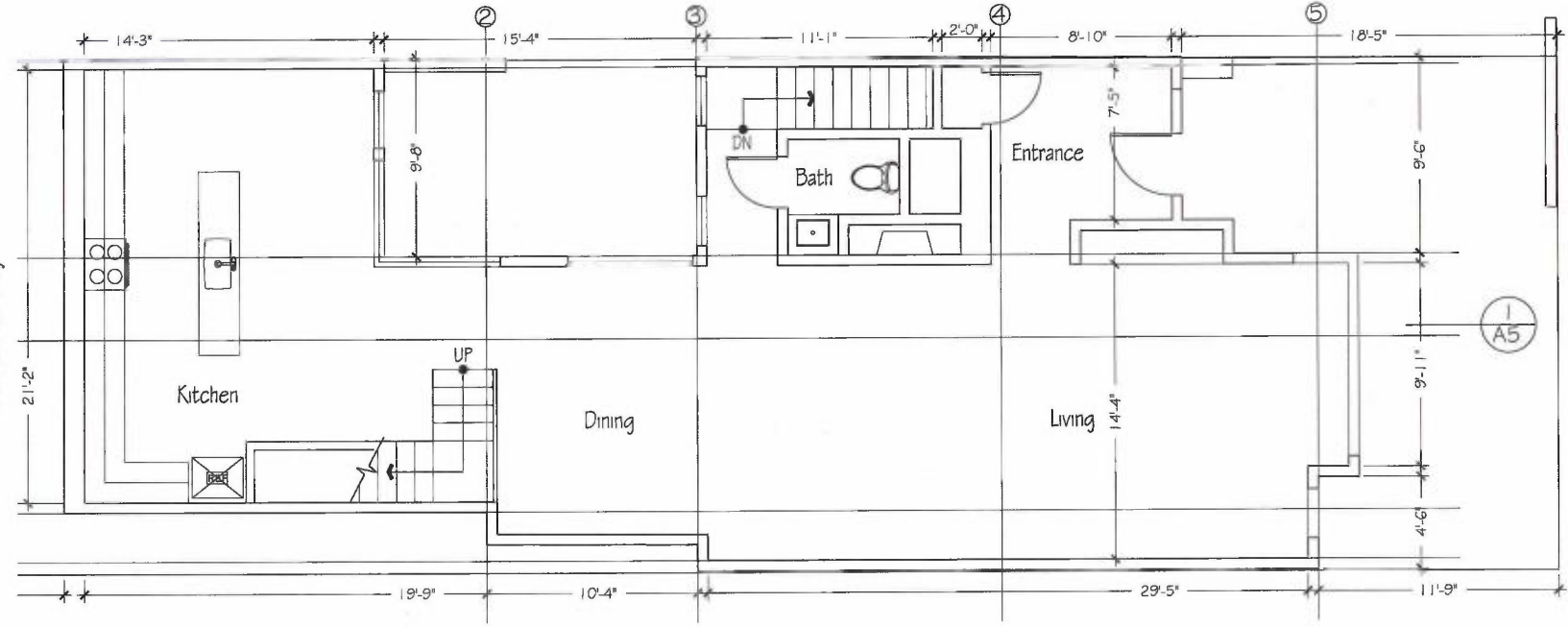
A1



1 Existing Garage Plan

* This reflects the existing abandoned, new structure as partially framed

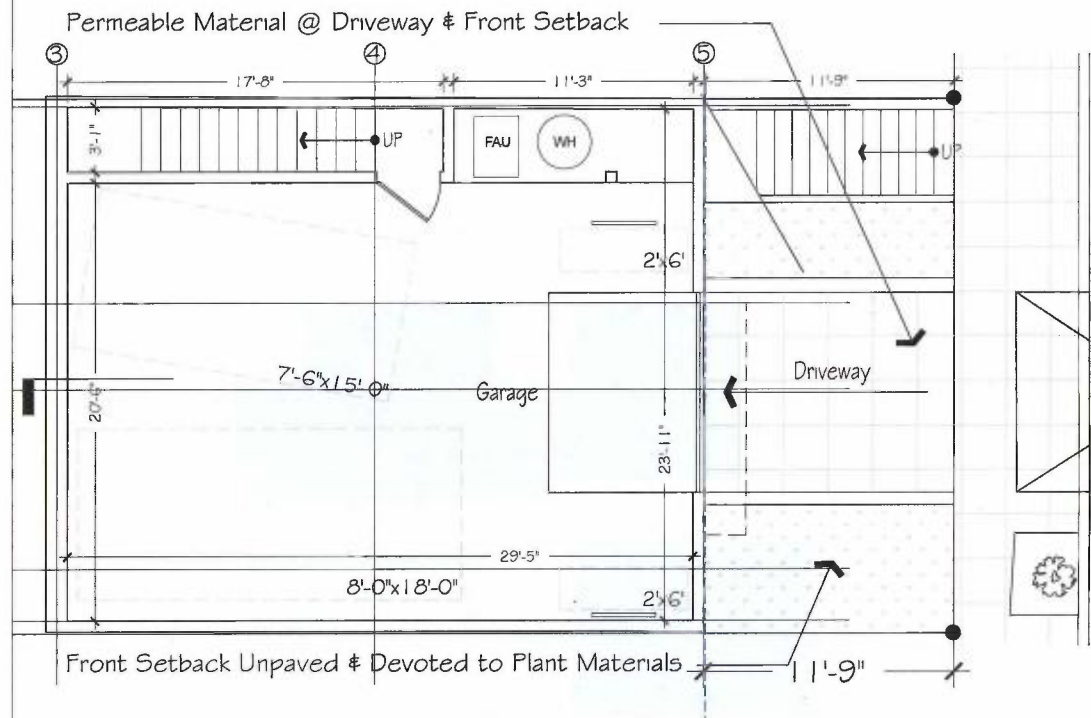
Scale: 1/4" = 1'-0"



2 Existing First Floor Plan

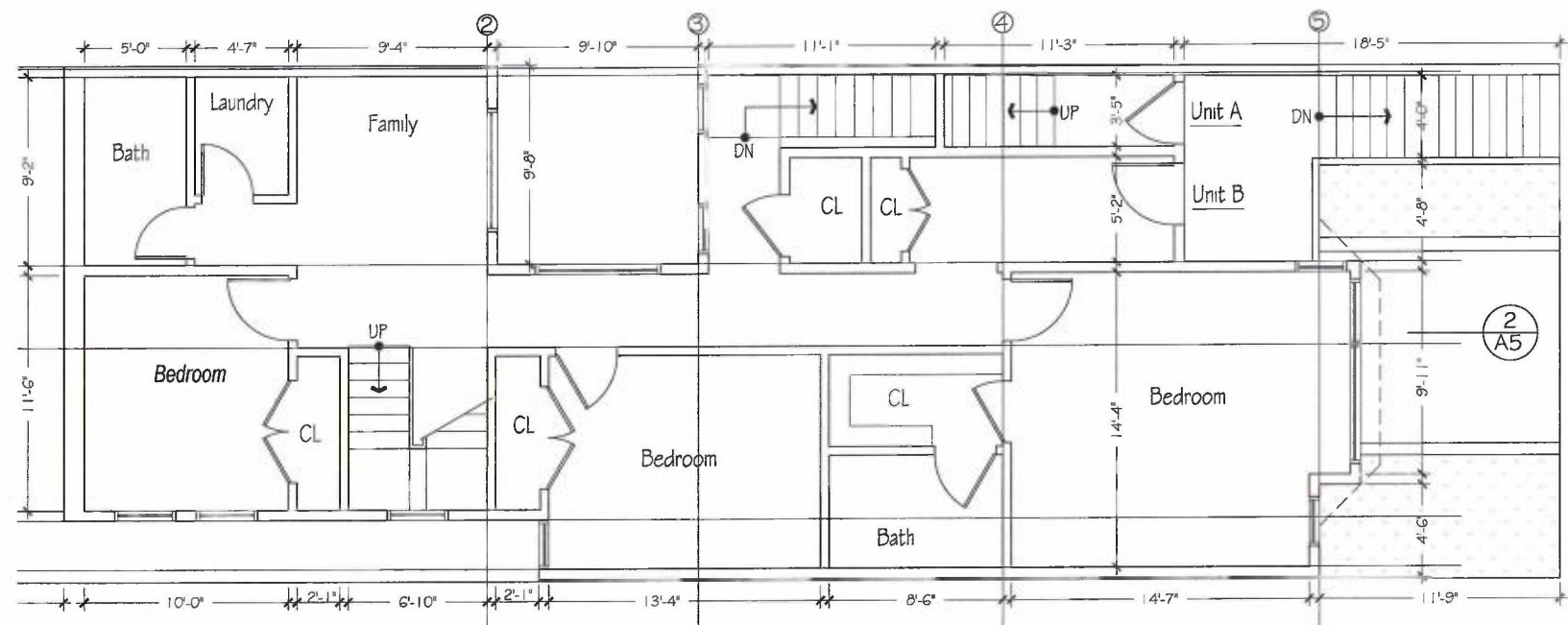
* This reflects the existing abandoned, new structure as partially framed

Scale: 1/4" = 1'-0"



3 Proposed Garage Plan

Scale: 1/4" = 1'-0"



4 Proposed First Floor Plan

Scale: 1/4" = 1'-0"

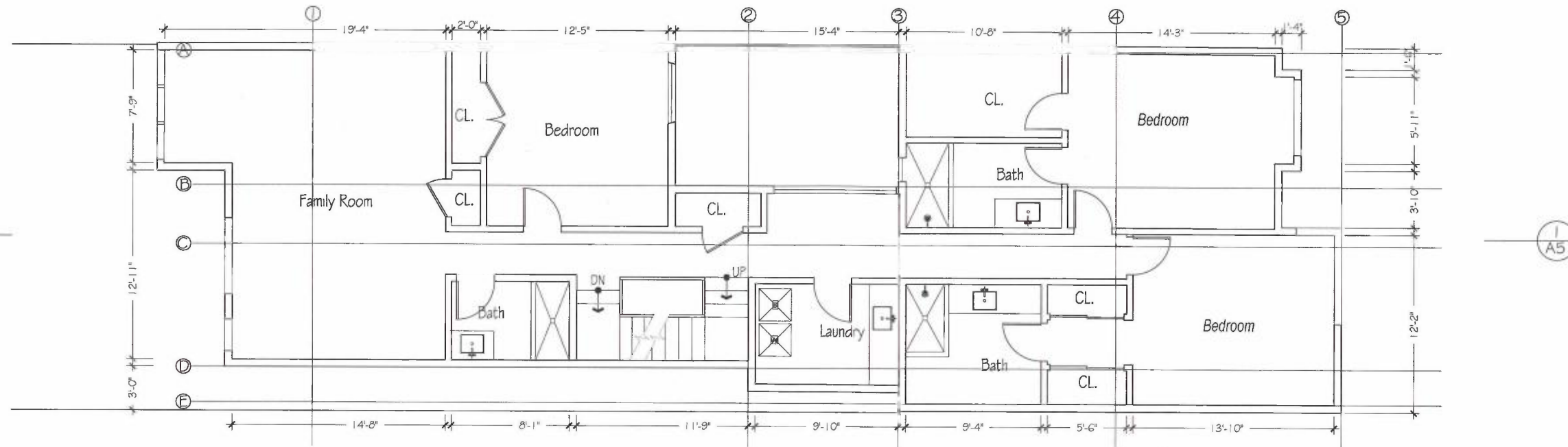


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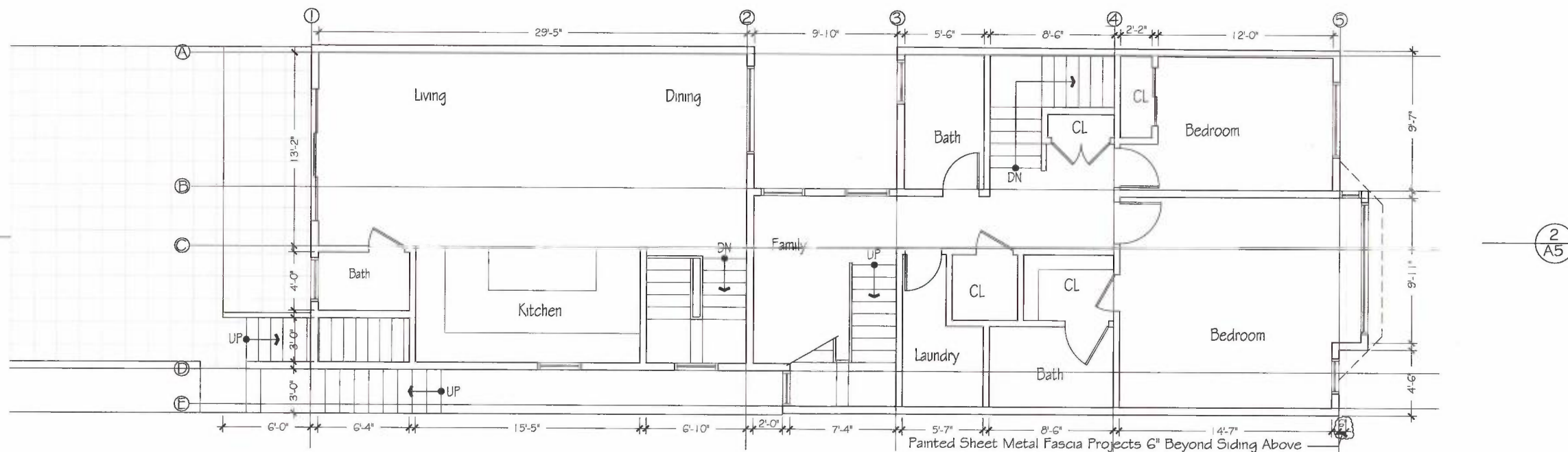
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CU# Site	1/25/18
CHK	3/12/18
RDT	4/05/18
RDT 2	4/16/18
Plot Date:	April 25, 2018
Scale:	As shown

A2



1 Existing Second Floor Plan

* This reflects the existing abandoned, new structure as partially framed



2 Proposed Second Floor Plan

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 2095 Jerrold Avenue, Suite 319, SF, CA 94124
 415.385.4339
 eric@selanderarchitects.net

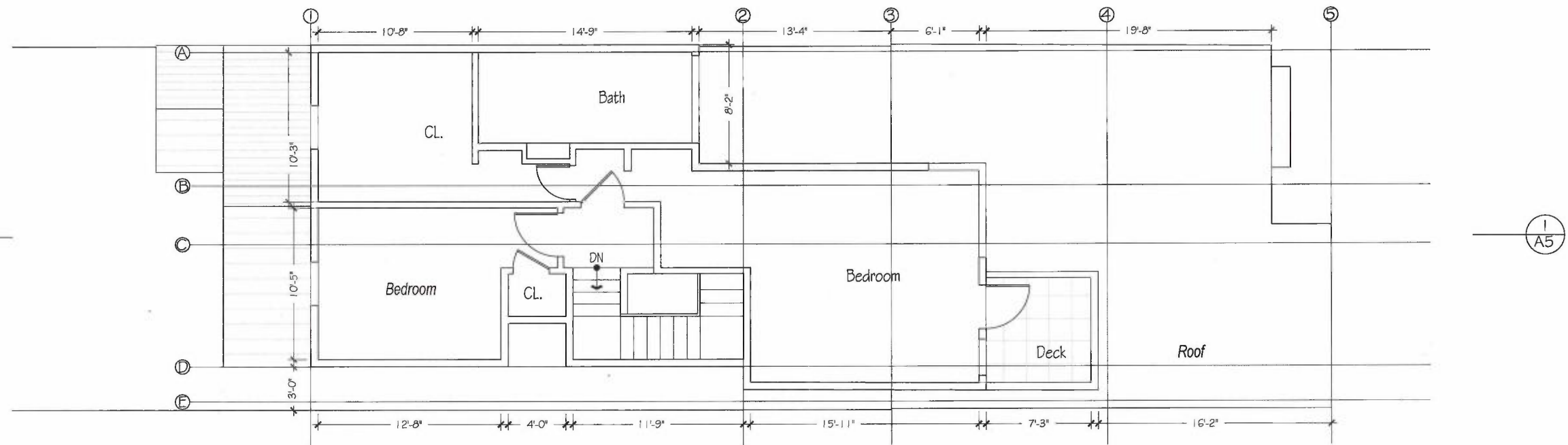
284 Roosevelt Way
 San Francisco, CA 94114
 Parcel # 2607037

Issue:	Date:
CU# Site	1/25/18
CHK	3/12/18
RDT	4/05/18
RDT 2	4/16/18

Plot Date:
 April 25, 2018
 Scale:
 As shown

A3

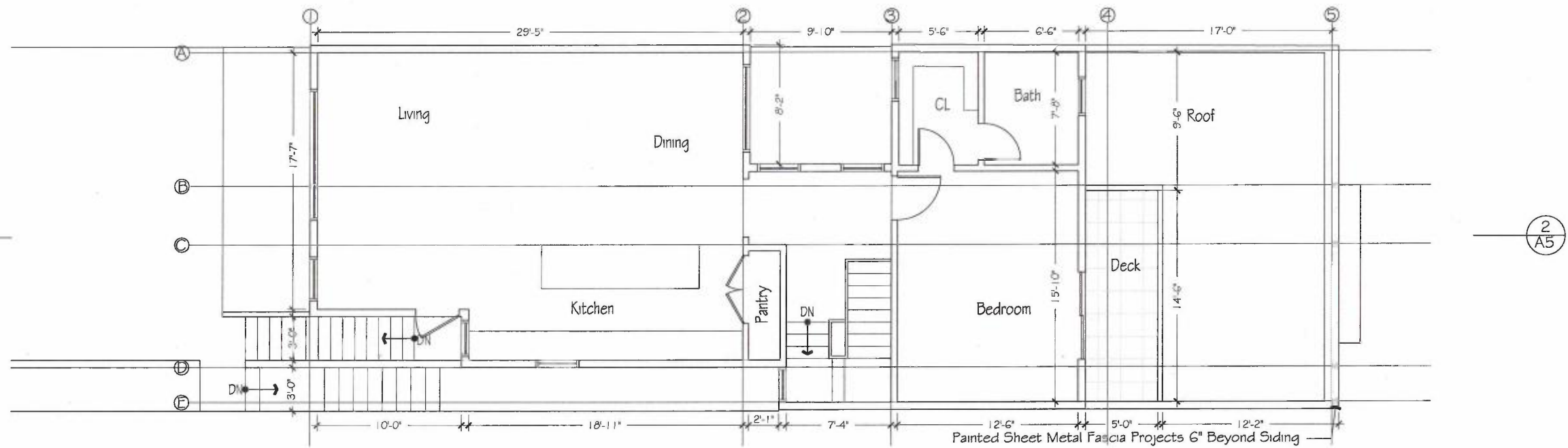




1 Existing Third Floor Plan

* This reflects the existing abandoned, new structure as partially framed

Scale: 1/4" = 1'-0"



2 Proposed Third Floor Plan

Scale: 1/4" = 1'-0"



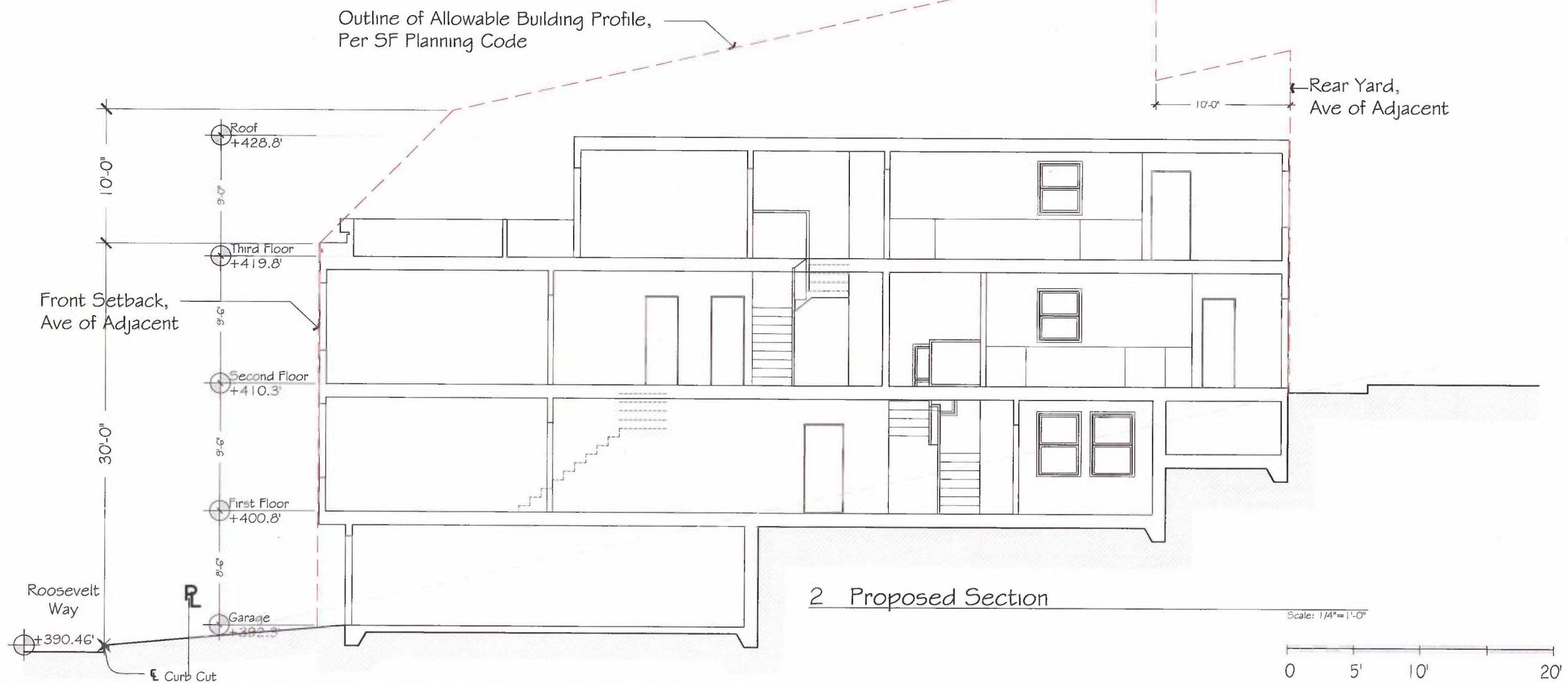
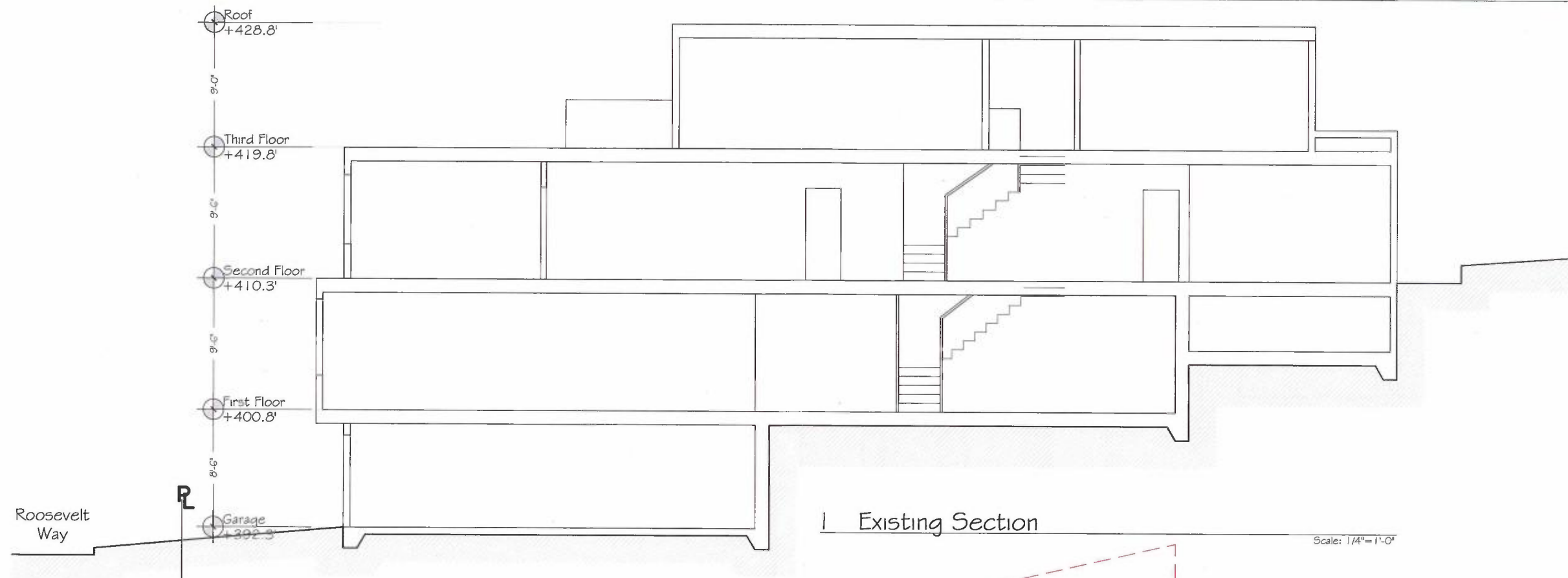
SELANDER ARCHITECTS
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emlie@selanderarchitects.net 415.385.4339

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Parcel # 26071037

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RDT 2	4/16/18

Plot Date:
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Scale:
As shown

A4



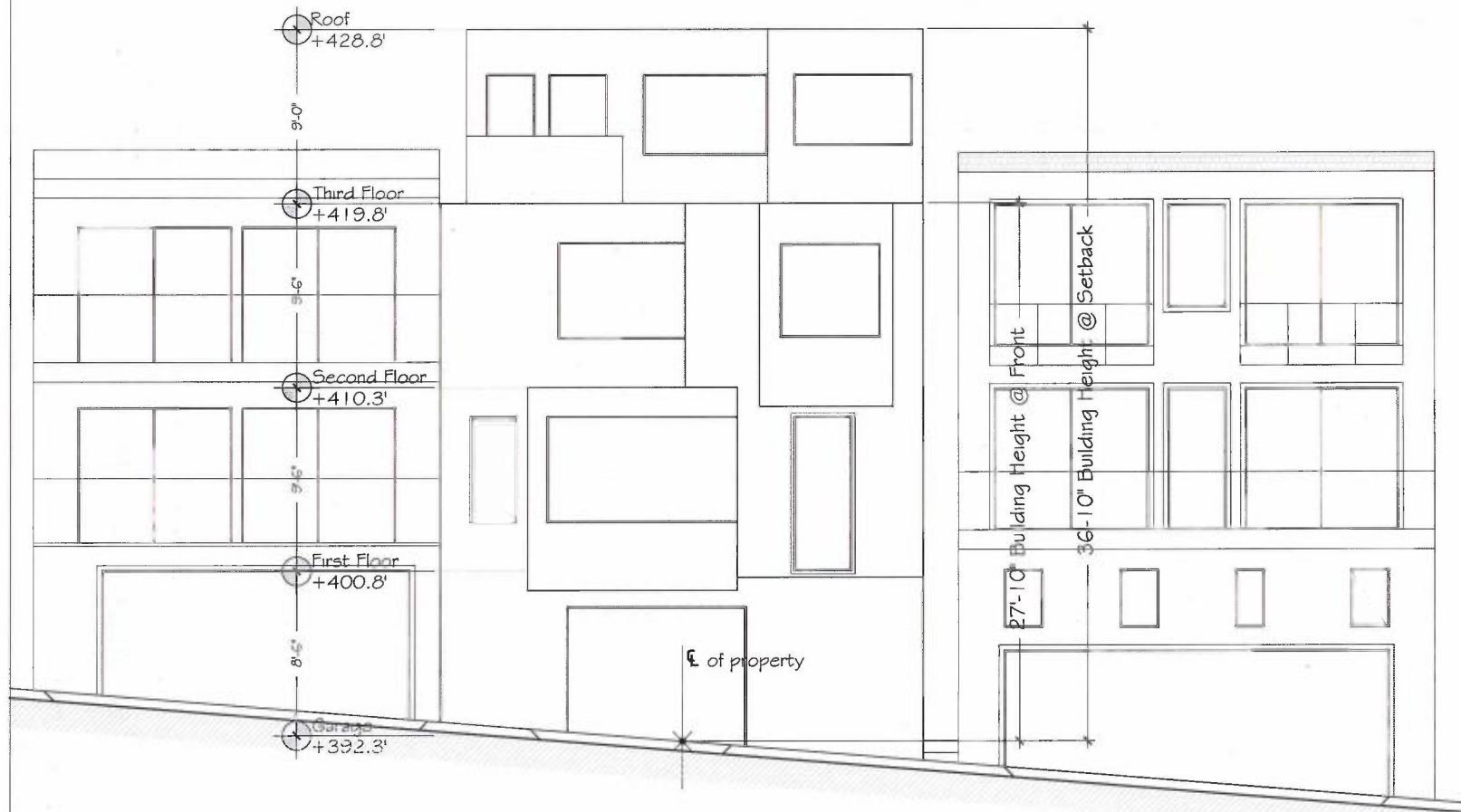
SELANDER ARCHITECTS
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emile@selandearchitects.net 415.385.4339

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San Francisco, CA 94114
Parcel # 2607037

Issue:	Date:
CU# Site	1/25/18
CHK	3/12/18
RDT	4/05/18
RDT 2	4/16/18

Plot Date:
April 25, 2018
Scale:
As shown

A5



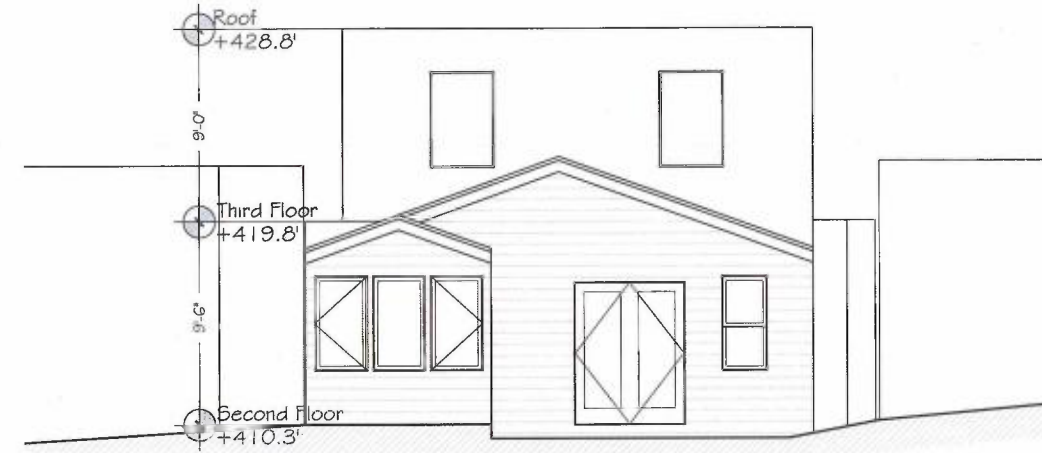
1 Existing Front Elevation

Scale: 1/4" = 1'-0"



3 Proposed Front Elevation

Scale: 1/4" = 1'-0"



2 Existing Rear Elevation

Scale: 1/4" = 1'-0"



4 Proposed Rear Elevation

Scale: 1/4" = 1'-0"



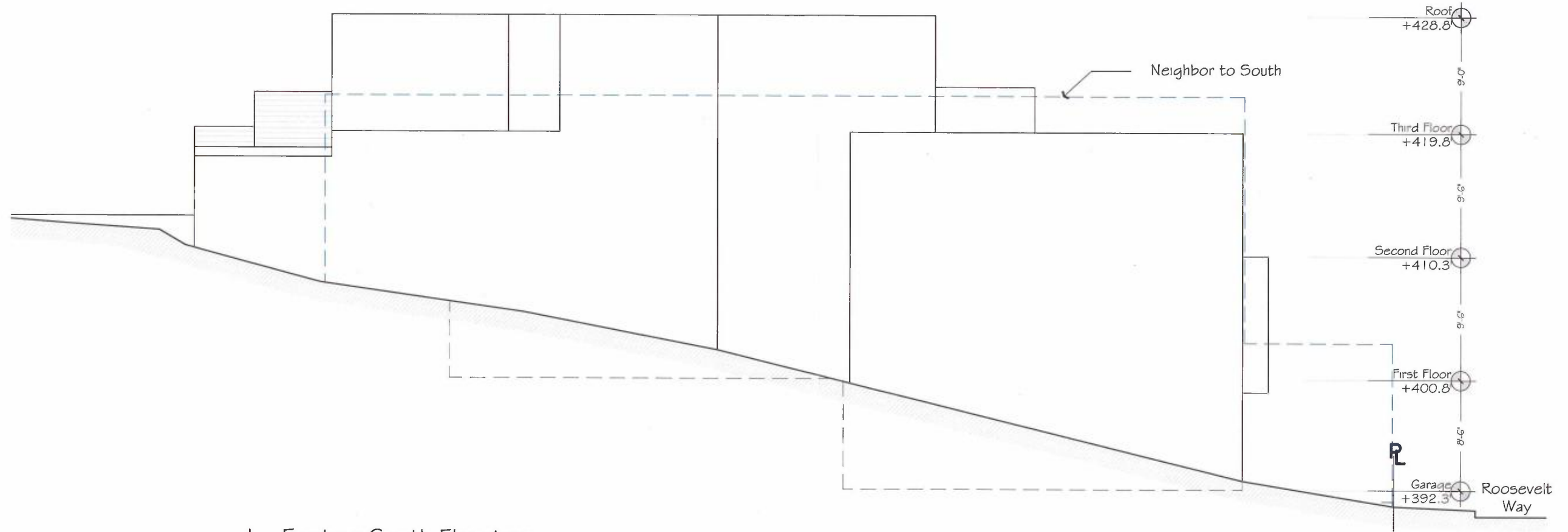
SELANDER ARCHITECTS
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erlie@selanderarchitects.net 415.385.4339

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San Francisco, CA 94114
Parcel # 26071037

Issue:	Date:
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CHK	3/12/18
RDT	4/05/18
RDT 2	4/16/18

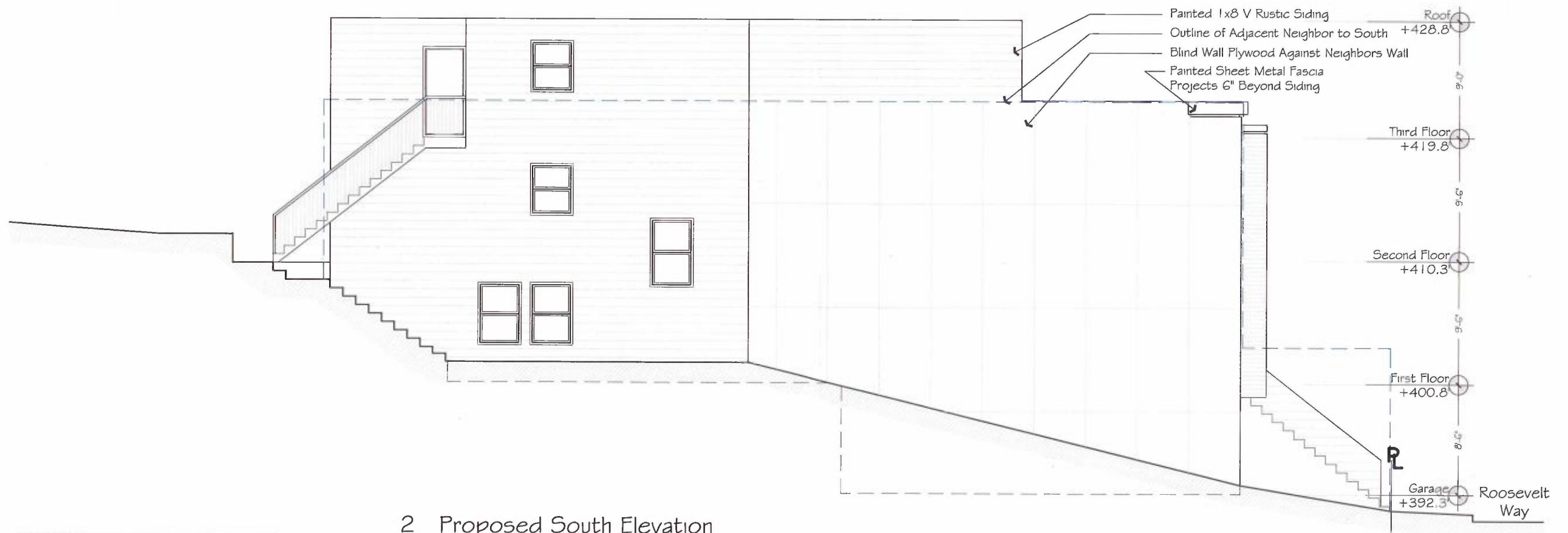
Plot Date:
April 25, 2018
Scale:
As shown

A6



1 Existing South Elevation

Scale: 1/4" = 1'-0"



2 Proposed South Elevation

Scale: 1/4" = 1'-0"

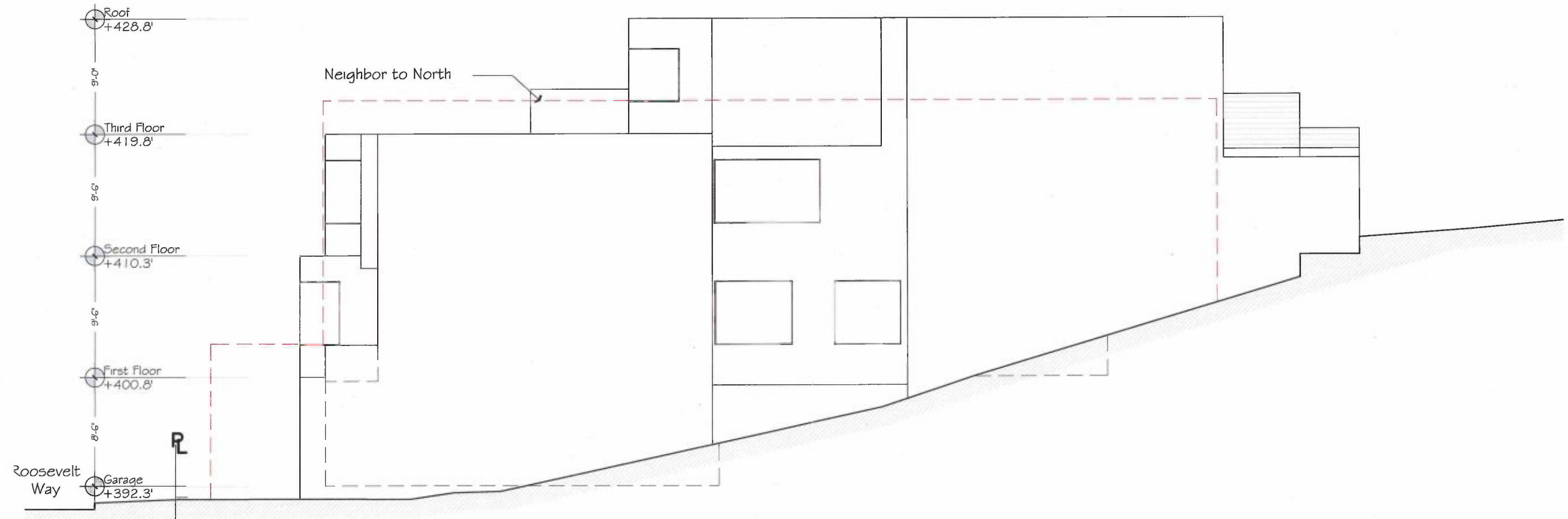
SELANDER ARCHITECTS
2095 Jerrold Avenue, Suite 319, SF, CA 94124
emile@selanderarchitects.net 415.385.4339

284 Roosevelt Way
San Francisco, CA 94114
Parcel # 2607037

Issue:	Date:
CU# Site	1/25/18
CHK	3/12/18
RDT	4/05/18
RDT 2	4/16/18

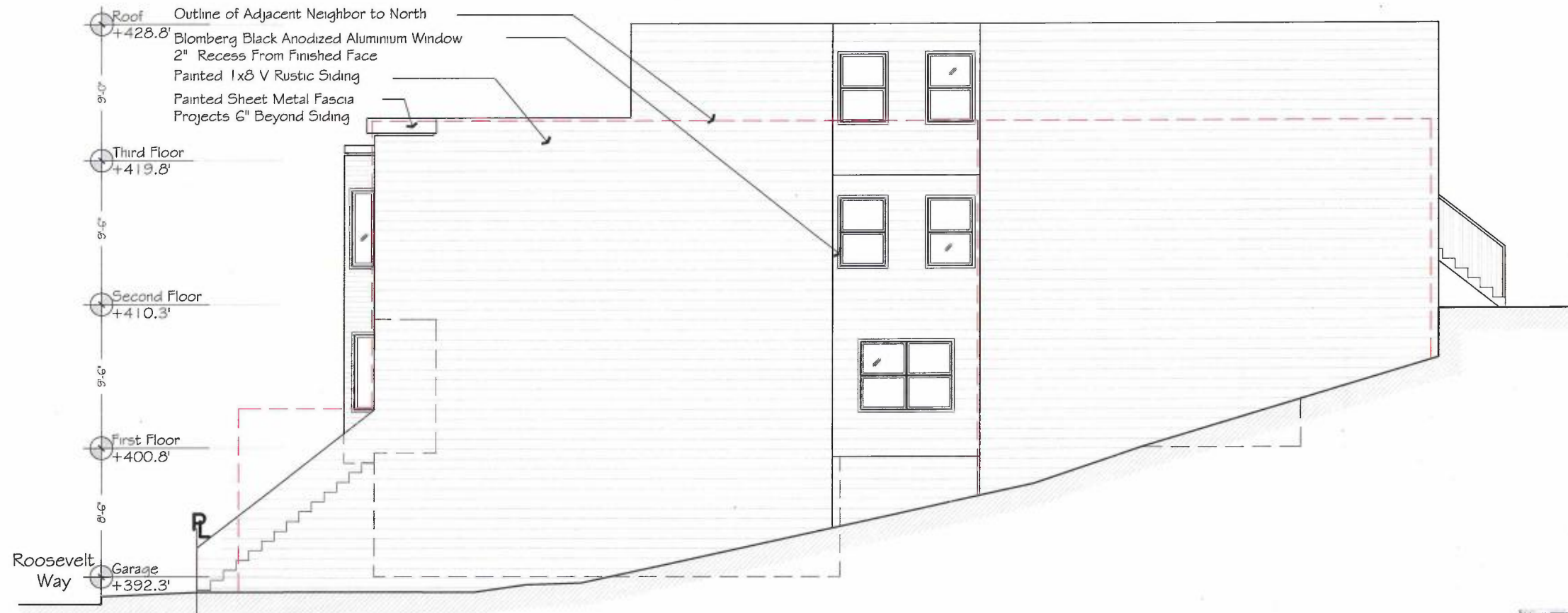
Plot Date:
April 25, 2018
Scale:
As shown

A7



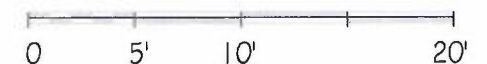
1 Existing North Elevation

Scale: 1/4" = 1'-0"



2 Proposed North Elevation

Scale: 1/4" = 1'-0"



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 2095 Jerrold Avenue, Suite 319, SF, CA 94124
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 ernie@selanderarchitects.net

284 Roosevelt Way
 San Francisco, CA 94114
 Parcel # 26071037

Issue:	Date:
CU# Site	1/25/18
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RDT	4/05/18
RDT 2	4/16/18
Plot Date:	April 25, 2018
Scale:	As shown

A8

4/26/18

E. Jonckheer

Gordon-Jonckheer, Elizabeth (CPC)

From: Lucas Eastwood <lucas@eastwoodsfc.com>
Sent: Wednesday, April 25, 2018 2:21 PM
To: Gordon-Jonckheer, Elizabeth (CPC)
Cc: Ernie Seelander
Subject: Letters of support
Attachments: 284 Roosevelt Way.pdf; 180425-Roosevelt Way.pdf; 284R_Letter of Support.pdf; 284 Roosevelt Way - letter of support 25 April 2018.pdf

Hi Elizabeth,

We met with concerned neighbors regarding 284 Roosevelt and we managed to gain full support by offering a few concessions:

- 1) changing the 3rd floor front setback from 15' to 17'
- 2) reducing the depth of the 3rd floor roof deck from 5' to 10'

I am attaching their letters of support along with a 3rd letter letter of support.

Ernie has revised the plans accordingly and I am attaching them as well.

Thanks,
Lucas

LUCAS EASTWOOD | PRINCIPAL
EASTWOOD DEVELOPMENT
415-374-0669 c
415-341-0473 o
lucas@eastwoodsfc.com
www.eastwoodsfc.com

Neil Hart
278 Roosevelt Way
neilehart@gmail.com
415 793 5629

Re: Case No.:2016-000556CUA
284 Roosevelt Way
Hearing Date: 26 April 2018

25 April 2018

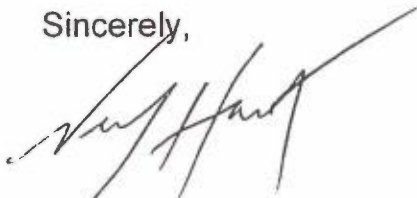
Dear Planning Commissioners:

I live two properties east of, and 25 feet from, the proposed project at 284 Roosevelt Way. Other neighbors involved live to the west of the subject property. The purpose of this letter is to update the Commission on the change in our stance regarding this project. Since submitting my original letter, we have been able to have a highly productive dialogue with Lucas Eastwood, the project sponsor. We have worked together with other neighbors and stakeholders (neighbors on each side, the Residential Builders Association and project sponsor) to come to a resolution that we are happy with, which incorporates the following changes:

1. The third floor set back be extended from 15' to 17'
2. The third floor roof deck be reduced from 10' in depth to 5'
3. All building elevations be painted rustic v-groove siding

I would like to point out that Lucas went out of his way to hear the neighbors' concerns and work with us until we felt comfortable supporting his project. We think this project will be a great addition to our neighborhood and are happy to be in support.

Sincerely,



Neil Hart
278 Roosevelt Way
San Francisco, CA 94114
neilehart@gmail.com

415 793 5629

April 25, 2018
Karl Sopke
290 Roosevelt Way #2
San Francisco, CA 94114
karl@derosetravel.com
415 864 7679

Re Case No: 2016-00556CUA
284 Roosevelt Way
Hearing Date: April 26, 2018

Dear Planning Commissioners,


I am the owner of the condominium located two properties west and 25 feet from the proposed project at 284 Roosevelt Way. I have lived here with my husband, Tom de Rose, since 1978.

The purpose of this letter is to update my previous stance on the project as outlined in my letter dated April 23, 2018. After continued discussion with Lucas Eastwood (the project sponsor) we have come to a resolution and wish to support the project provided that the following changes are incorporated into the design and massing:

- 1) The third floor set back be extended from 15' to 17'
- 2) The third floor roof deck be reduced from 10' in depth to 5'
- 3) All building elevations be painted rustic v-groove siding

Furthermore, I do wish to point out that Lucas was open, engaging and transparent with all of the neighbors throughout the entire process. We were able to have a productive dialogue that we feel has resulted in the best possible outcome for our neighbors. We do think that this project is a great addition to the neighborhood and we are in full support.

Respectively submitted,


Karl Sopke
Tom de Rose



April 24, 2018
San Francisco Planning Department
City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103

Subject: 284 Roosevelt Way – Proposed Construction of 2-unit Building

Dear Planning Department,

The purpose of this letter to formally voice my support for the proposed project (demo and proposed construction of a 2 unit building) at 284 Roosevelt Way. Based on the drawings prepared by Ernie Seelander, I feel the project suits the city and even more importantly, adds much needed housing in our city.

To reiterate, I am in full support of the proposed project at 284 Roosevelt Way.

Sincerely,

A handwritten signature in black ink, appearing to read "Amanda Kleha". The signature is fluid and cursive, with a long horizontal stroke at the end.

Amanda Kleha
2503 15th St.
San Francisco, CA 94114