



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use Authorization

HEARING DATE: OCTOBER 10, 2019

Record No.: 2018-016600CUA
Project Address: 2241 Chestnut Street
Zoning: NC-2 (Neighborhood Commercial, Small Scale) Zoning District
40-X Height and Bulk District
Chestnut Street Financial Services Restricted Use District
Scenic Streets Special Sign District
Block/Lot: 0489/034
Project Sponsor: David Villa-Lobos
P.O. Box 642201
San Francisco, CA 94164
Property Owner: Richard Howard
San Francisco, CA 94123
Staff Contact: Katie Wilborn – (415) 575-9114
Katherine.Wilborn@sfgov.org
Recommendation: **Approval with Conditions**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The Project is to legalize and establish an Outdoor Activity Area within the existing rear patio. This Outdoor Activity Area shall service the permitted Bar use (d.b.a. "Campus Bar") at the ground story.

REQUIRED COMMISSION ACTION

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization, pursuant to Planning Code Sections 711 and 303 to allow an Outdoor Activity Space of approximately 1,332 square feet within the NC-2 Zoning District.

ISSUES AND OTHER CONSIDERATIONS

- **Enforcement.**
 - **2018-016600ENF:** The Department received a complaint on December 10, 2018, for an unpermitted use of a residential rear patio to service the bar; an unauthorized roof deck; and the removal / conversion of a dwelling unit in the rear structure to service the bar.
- **Public Comment & Outreach.**
 - **Support/Opposition:** The Department has not received any letters of support or opposition to the proposed project.

ENVIRONMENTAL REVIEW

The project is not a project under CEQA Guidelines Sections 15060(c) and 15378 because there is no direct or indirect physical change in the environment.

BASIS FOR RECOMMENDATION

The Department finds that the Project is, on balance, consistent with the small-scale district controls of NC-2 Zoning Districts and the Objectives and Policies of the General Plan. The Project provides outdoor seating for a neighborhood-serving business within a commercial corridor that has sparse outdoor seating options for patrons. The Department finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

ATTACHMENTS:

Draft Motion – Conditional Use Authorization with Conditions of Approval (Exhibit A)
Exhibit B – Plans
Exhibit C – Environmental Determination
Exhibit D – Land Use Data
Exhibit E – Maps and Context Photos
Exhibit F – Project Sponsor Brief



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Planning Commission Draft Motion HEARING DATE: OCTOBER 10, 2019

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ADOPTING FINDINGS RELATING TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTION 303 AND 711 TO LEGALIZE AND ESTABLISH AN OUTDOOR ACTIVITY AREA AT THE REAR OF AN EXISTING BAR USE ON THE GROUND LEVEL (D.B.A. "CAMPUS BAR") OF AN EXISTING RESIDENTIAL-OVER-COMMERCIAL BUILDING WITHIN THE NC-2 (NEIGHBORHOOD COMMERCIAL, SMALL SCALE) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On December 20, 2018, David Villa-Lobos of CLA Consulting (hereinafter "Project Sponsor") filed Application No. 2018-016600CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for Conditional Use Authorization to permit an approximately 1,332 square foot Outdoor Activity Area (hereinafter "Project") in the rear yard of an existing ground floor Bar use (d.b.a. "Campus Bar") at 2241 Chestnut, Block 0489 Lot 034 (hereinafter "Project Site").

The project is not a project under CEQA Guidelines Sections 15060(c) and 15378 because there is no direct or indirect physical change in the environment.

On September 19, 2019, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2018-016600CUA.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2018-016600CUA is located at 1650 Mission Street, Suite 400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2018-016600CUA, subject to the conditions contained in “EXHIBIT A” of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Project Description.** The Project includes the legalization and establishment of an Outdoor Activity Space within the existing ground story rear patio to service the existing bar use (d.b.a. “Campus Bar”) at the ground story. The project was initially filed in response to a complaint, whereas the Bar was identified as:
 - a. Using the residential rear patio as an Outdoor Activity Space;
 - b. Converting a residential unit into an office space to service the Bar; and
 - c. Establishing a rooftop deck without benefit of permits.

The Enforcement Case was reviewed, and a site visit conducted on July 11, 2019. Based on Planning Department Records and observations, Planning Staff determined that the roof deck was permitted (BPA #201710100749 and #201709279720), and the residential unit in the rear was not converted and remains a residential unit. The project seeks to legalize and establish an Outdoor Activity Area in the rear patio, to address the complaint.

3. **Site Description and Present Use.** The Project is located on a lot with approximately 28-ft of frontage along Chestnut Street which contains two structures; (one) three-story structure fronting Chestnut Street and (one) two-story structure in the rear.. The existing bar is approximately 1,394 square feet and the proposed Outdoor Activity Area will be approximately 1,332 square feet, to service 45 number of seated patrons, with the maximum occupancy of 49 persons. The Project Site contains one existing bar (d.b.a. “Campus Bar”) use at the ground story and a unit at each second and third story of the main structure. The auxiliary, smaller structure at the back of the main structure contains one dwelling unit split between the second and third stories.
4. **Surrounding Properties and Neighborhood.** The Project Site is located within the NC-2 (Neighborhood Commercial, Small Scale) Zoning District in the Marina Neighborhood. The site is also within the Financial Services Restricted Use District, the Scenic Streets Sign District, and within one-quarter mile of the Union Street Neighborhood Commercial District. The immediate context is residential-over commercial, with neighborhood-serving businesses providing convenient goods and services to the surrounding residential area. The immediate neighborhood includes

two-to-three-story residential development to the north, Lombard Street to the south, and a continuous small-scale commercial corridor to the east and west.

5. **Public Outreach and Comments.** The Department has not received any correspondence regarding the proposed project.
6. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Use.** Planning Code Sections 145.2 and 711 state that a Conditional Use Authorization is required for an Outdoor Activity Area, as defined by Planning Code Section 102.

The Project Sponsor intends to use the existing rear outdoor patio as an outdoor activity area, per Planning Code Section 711 and 102, to service the existing, permitted Bar use at the ground story. The Outdoor Activity will include outdoor seating in the rear yard area and shall be used by patrons of the Bar during hours of operation.

- B. **Hours of Operation.** Planning Code Section 711 states the permitted hours of operation as 6:00am – 2:00am.

The Outdoor Activity Area shall be open until 10:30pm on any given day of operation. The existing Bar use is operating within the principally permitted operating hours of 6:00am-2:00am.

7. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new use, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The approximate 1,332 square foot size of the proposed use is in keeping with the scale and occupancy of the existing Bar use. This Outdoor Activity Use will complement the mix of goods and services currently available in the district and contribute to the economic vitality of the neighborhood by providing outdoor space in commercial area that does not have an abundance of outdoor seating opportunities.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The existing building will remain the same and will not alter the existing appearance or character of the project vicinity. The proposed work will not affect the building envelope, yet the inclusion of outside seating will alter the use of the property.

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Planning Code does not require parking or loading for a use of this size. The proposed use is designed to meet the needs of the immediate neighborhood and should not generate significant amounts of vehicular trips from the immediate neighborhood or citywide.

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The proposed use is subject to the standard conditions of approval for Outdoor Activity Areas, as outlined in Exhibit A.

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The proposed Outdoor Activity Area does not require any additional tenant improvements. The Department shall review any lighting and signs proposed for the new use in accordance with Condition outlined in Exhibit A.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed above and below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The proposed project is consistent with the stated purposes of NC-2 Districts in that the intended use is located at the ground floor and will provide a compatible service to the existing Bar use and the immediately surrounding neighborhoods.

8. Planning Code Section 145.2 establishes additional findings for the Commission to consider when reviewing applications for an Outdoor Activity Area. On balance, the project complies with these criteria in that:
 - a. The nature of the activity operated in the outdoor activity area is compatible with surrounding uses;
 - b. The operation and design of the outdoor activity area does not significantly disturb the privacy or affect the livability of adjoining or surrounding residences;
 - c. The hours of operation of the activity operated in the outdoor activity area are limited so that the activity does not disrupt the viability of surrounding uses.
9. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

OBJECTIVE 11:

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2

Ensure implementation of accepted design standards in project approvals.

Policy 11.3

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.4:

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

Policy 11.6

Foster a sense of community through architectural design, using features that promote community interaction.

Policy 11.8

Consider a neighborhood's character when integrating new uses, and minimize disruption caused by expansion of institutions into residential areas.

OBJECTIVE 12:

BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION.

Policy 12.2

Consider the proximity of quality of life elements such as open space, child care, and neighborhood services, when developing new housing units.

URBAN DESIGN ELEMENT

Objectives and Policies

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

Policy 1.7

Recognize the natural boundaries of districts and promote connections between districts.

NEIGHBORHOOD COMMERCE

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

Policy 1.3:

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL

STRUCTURE FOR THE CITY.

Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

OBJECTIVE 6:

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

Policy 6.1:

Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts.

EATING AND DRINKING ESTABLISHMENTS

Eating and drinking establishments include bars, sit-down restaurants, fast food restaurants, self-service restaurants, and take-out food. Associated uses, which can serve similar functions and create similar land use impacts, include ice cream stores, bakeries and cookie stores. Guidelines for eating and drinking establishments are needed to achieve the following purposes:

- Regulate the distribution and proliferation of eating and drinking establishments, especially in
- districts experiencing increased commercial activity;
- Control nuisances associated with their proliferation;
- Preserve storefronts for other types of local-serving businesses; and
- Maintain a balanced mix of commercial goods and services.
- The regulation of eating and drinking establishments should consider the following:
- Balance of retail sales and services;
- Current inventory and composition of eating and drinking establishments;
- Total occupied commercial linear frontage, relative to the total district frontage;
- Uses on surrounding properties;
- Available parking facilities, both existing and proposed;
- Existing traffic and parking congestion; and
- Potential impacts on the surrounding community.

The proposed Outdoor Activity Area is located at the rear of the existing permitted Bar use on the ground floor of two residential-over-commercial buildings, which contain three dwelling units total. The project does not diminish, reduce, or otherwise impact the residential development on the project site or within the immediate area. The residential units have required open space and exposure requirements that are met at their respective stories through decks, patios, and a shared sundeck atop the roof; whereas the proposed Outdoor Activity Area would not impact the residential units' access to light, air, or open space.

The proposed project will support the existing Bar use as located within a Neighborhood Commercial District, consistent with activities in the commercial land use plan. The subject business is already existing eating and drinking establishments. The project would not impact existing storefronts, nor impact the mix of commercial goods and services. The Project is also in proximity to ample public transportation, which will not be impacted by the addition of an Outdoor Activity Area to the property, and therefore is not anticipated to have a negative impact on parking or traffic. The effect on the surrounding community would be minimal due to the location the patio relative to the surrounding uses (and the limited hours of operation?)

On balance, the Project is consistent with the Objectives and Policies of the General Plan.

10. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The project site contains one neighborhood-serving retail use which will be enhanced by the Outdoor Activity Area and may provide expanded patronage to this business.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The project site contains three existing housing units that will remain and will not be impacted by the Project, and will provide a new outdoor space for the bar patrons within the Marina neighborhood. For these reasons, the Project would protect and preserve the cultural and economic diversity of the neighborhood.

- C. That the City's supply of affordable housing be preserved and enhanced.

The Project does not currently possess any existing affordable housing nor does it currently qualify for the City's Inclusionary Housing Program.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project Site is served by nearby public transportation options. Current and future patrons would be afforded proximity to several nearby bus lines.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project does not currently house any industrial or service sector businesses, nor does the proposal include commercial office development.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project does not propose any change to the existing built environment. This proposal is seeking Conditional Use Authorization only, which will not impact the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

Currently, the Project Site does not contain any City Landmarks or historic buildings.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project does not propose any development, nor does the Project Site abut to any parks or public open spaces. As such, the project would not impact the sunlight and/or vistas of these areas.

11. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
12. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2018-016600CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated July 22, 2019, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

The project is not a project under CEQA Guidelines Sections 15060(c) and 15378 because there is no direct or indirect physical change in the environment.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission **ADOPTED** the foregoing Motion on October 10, 2019.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: October 10, 2019

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to allow an **Outdoor Activity Area** located at 2241 Chestnut Street, Block 0489, and Lot 034 (d.b.a. **Campus Bar**) pursuant to Planning Code Section(s) **711 and 303** within the **NC-2 (Neighborhood Commercial, Small Scale)** District and a **40-X** Height and Bulk District; in general conformance with plans, dated **July 22, 2019**, and stamped "EXHIBIT B" included in the docket for Record No. **2018-016600CUA** and subject to conditions of approval reviewed and approved by the Commission on **October 10, 2019** under Motion No. **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **October 10, 2019** under Motion No. **XXXXXX**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

MONITORING - AFTER ENTITLEMENT

6. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

7. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

8. **Eating and Drinking Uses.** As defined in Planning Code Section 202.2, Eating and Drinking Uses, as defined in Section 102, shall be subject to the following conditions:

- A. The business operator shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Street and Sidewalk Maintenance Standards. In addition, the operator shall be responsible for daily monitoring of the sidewalk within a one-block radius of the subject business to maintain the sidewalk free of paper or other litter associated with the business during business hours, in accordance with Article 1, Section 34 of the San Francisco Police Code.

For information about compliance, contact the Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org>.

- B. When located within an enclosed space, the premises shall be adequately soundproofed or insulated for noise and operated so that incidental noise shall not be audible beyond the premises or in other sections of the building, and fixed-source equipment noise shall not exceed the decibel levels specified in the San Francisco Noise Control Ordinance.

For information about compliance of fixed mechanical objects such as rooftop air conditioning, restaurant ventilation systems, and motors and compressors with acceptable noise levels, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

For information about compliance with construction noise requirements, contact the Department of Building Inspection at 415-558-6570, www.sfdbi.org. For information about compliance with the requirements for amplified sound, including music and television, contact the Police Department at 415-553-0123, www.sf-police.org.

- C. While it is inevitable that some low level of odor may be detectable to nearby residents and passersby, appropriate odor control equipment shall be installed in conformance with the approved plans and maintained to prevent any significant noxious or offensive odors from escaping the premises.

For information about compliance with odor or other chemical air pollutants standards, contact the Bay Area Air Quality Management District, (BAAQMD), 1-800-334-ODOR (6367), www.baaqmd.gov and Code Enforcement, Planning Department at 415-575-6863, www.sfplanning.org.

- D. Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

For information about compliance, contact the Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>.

9. **Noise Control.** The premises shall be adequately soundproofed or insulated for noise and operated so that incidental noise shall not be audible beyond the premises or in other sections of the building and fixed-source equipment noise shall not exceed the decibel levels specified in the San Francisco Noise Control Ordinance.

For information about compliance with the fixed mechanical objects such as rooftop air conditioning, restaurant ventilation systems, and motors and compressors with acceptable noise levels, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

For information about compliance with the construction noise, contact the Department of Building Inspection, 415-558-6570, www.sfdbi.org.

For information about compliance with the amplified sound including music and television contact the Police Department at 415-553-0123, www.sf-police.org

10. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

11. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide

the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

12. **Notices Posted at Bars and Entertainment Venues.** Notices urging patrons to leave the establishment and neighborhood in a quiet, peaceful, and orderly fashion and to not litter or block driveways in the neighborhood, shall be well-lit and prominently displayed at all entrances to and exits from the establishment.

For information about compliance, contact the Entertainment Commission, at 415 554-6678, www.sfgov.org/entertainment

13. **Lighting.** All Project lighting shall be directed onto the Project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Nighttime lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

14. **Hours of Operation.** The subject outdoor activity area is limited to the following hours of operation: Monday – Sunday, 10:00am-10:30pm.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

15. **Outdoor Activity Area Occupancy.** The Outdoor Activity Area shall be limited to 49 occupants maximum.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

EXHIBIT B

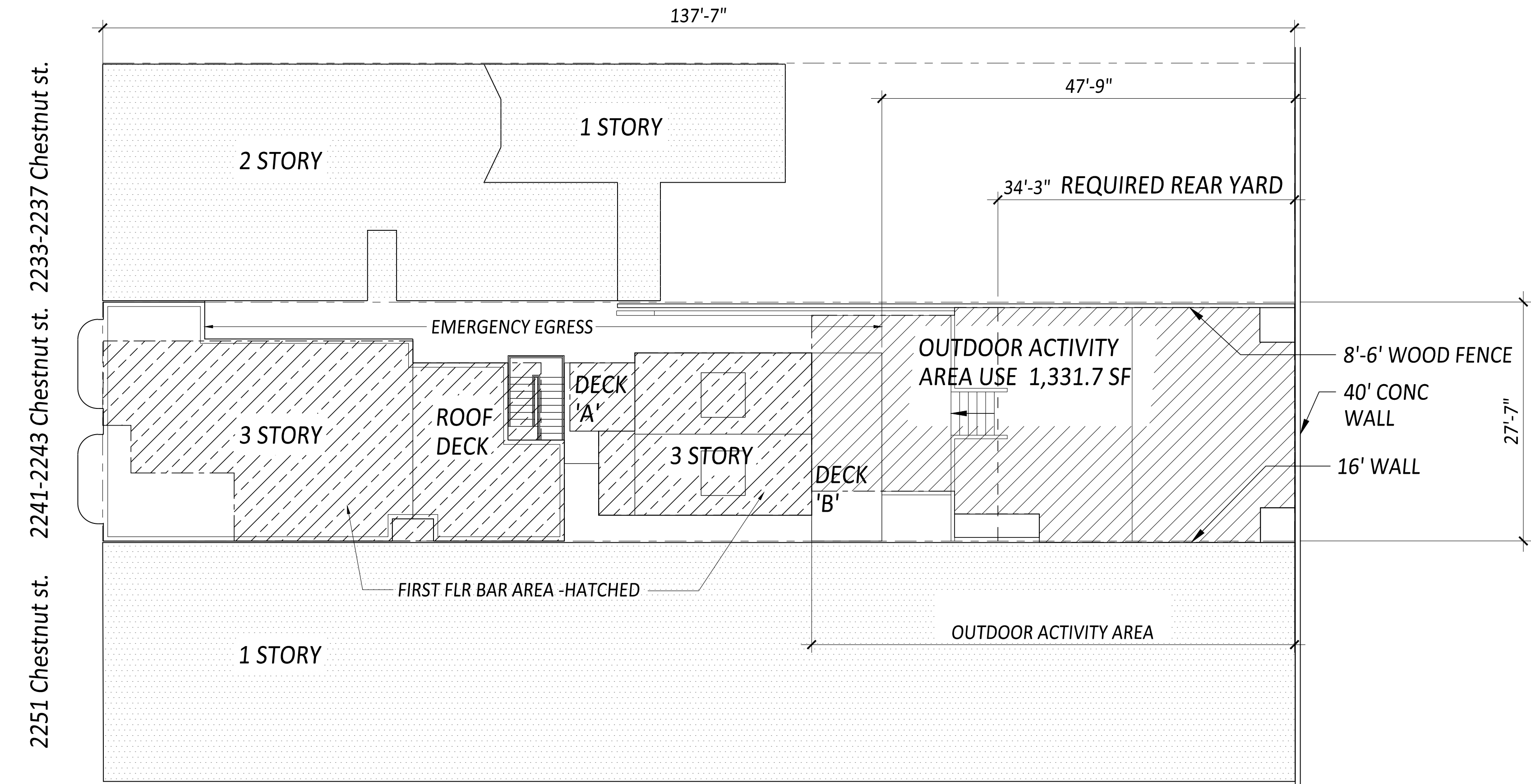
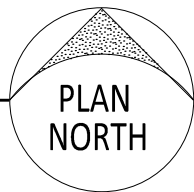
PLANS

THIS IS NOT A FORMULA RETAIL-
ONLY 'CAMPUS BAR' OWNED BY
OWNER.



PROJECT SITE

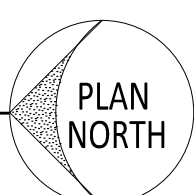
2 Location Map



Sec. 711 control table
rear yard required 25%
of lot.
 $137.6 \times 25\% = 34.4$ (34'-3")
 $47'-9" > 34'-3"$

1 Site Plan

1"=10'-0"



Front Structure contains TWO (2) Residential Flats AND Bar

2241 Chestnut - bar-first floor

2243 Chestnut - entire 2nd floor.

2245 Chestnut - entire 3rd floor
Identical floor plans for each dwelling.

REAR STURCTURE -2241B Chestnut-bar first flr/ONE Residential unit BOTH
2nd/3rd flr

Sec. 711 Zoning Control Table requires 25% rear yard. SEE Site Plan 1/A0.0

Sec. 711 Zoning Control Table requires 100 Sq. Ft. open space per UNIT for
private use. For common use open space 133 SF/Unit.

2243&2245 Chestnut- TWO DWELLING UNITS- 2X133=266 sf. of Common
Area required. **SHARED ROOF DECK**

Roof Deck 324 SF. >266 SF. required.

2243 Chestnut st. -Access to deck from private back door to stair up to
deck.

2245 Chestnut st. -Access to deck from private back door to stair up to
deck.

2241B Chestnut st. - **PRIVATE OPEN SPACE**- 100SF required per
unit- one unit in structure

Deck 'A' 85 SF
Deck 'B' 181 SF
Total open Space 266 SF Which exceeds 100 SF min. required

2241 Chestnut
Principally permitted first story Bar Use(dba"Campus Bar") seeking
Conditional Use Authorization(CUA) for Outdoor Activity Area within
the rear yard, which will result in a reduction of the (3) residential
uses (2nd & 3rd Stories)Usable Open Space. (pursuant to Planning
Code Sect. 711), Under This Conditional Use Authorization the
legalization of an existing rooftop deck, shall be included within this
CUA. To demonstrate and ensure that the residential units shall meet
their Usable Open Space requirements pursuant to the creation of an
Outdoor Activity Area, the bar's Use Size is expanding with an
auxiliary bar and storage area; these will be indicated on the plans
but do not warrant inclusion within the CUA as long as the Use Size
does not exceed the principally permitted square footage. If the use
Size does not exceed the permitted limit, then the Bar's Use Size shall
be incorporated within this CUA.

2241 B Chestnut Street
Single family unit; no interior or exterior construction work proposed
under this CUA.

2243 &2245 Chestnut Street
Two - single family flats on the second and third story of the subject
building. no interior or exterior construction work proposed
under this CUA

Job: Campus Bar
Site: 2241-2243 Chestnut Street
Code: 2016 California Building Code
2016 California Electrical Code
2016 California Mechanical Code
2016 California Plumbing Code
2016 California Green Building Code
Local City Building Code and Amendments

Preservation: 'B' Unknown age eligible
Occupancy: R-2/B
Legislative setbacks: None
Const. Type: V-B
Sprinklers: NO
Parcel: 0489/034
Lot: 034
Block: 0498
Zoning: NC2
Height limit: 40-X
Building Area : 4,500 s.f. - 3 stories (as Listed in Assessor report)

Year Built: 1915

Area of work: NO CONSTRUCTION

Project Description:

EXPANSION OF BAR USE INTO EXTERIOR REAR YARD.
NO CONSTRUCTION. EXISTING INDOOR BAR AREA 1,012.7SF
FIRST FLOOR BAR AREA UNDER 2241B - 380.9SF. SEE 1/A1.2

BUILDING USES BY FLOOR:

2241 CHESTNUT- FIRST FLOOR - BAR	961.4 sf.
-WALKIN COOLER	51.3 sf.
2243 CHESTNUT- 2ND FLOOR- ONE RESIDENTIAL DWELLING	1,234.4 sf.
2245 CHESTNUT- 3RD FLOOR -ONE RESIDENTIAL DWELLING	1,234.4 sf.
2241B CHESTNUT- FIRST FLOOR -BAR	380.9 sf.
2241B-FIRST & 2ND REAR UNIT - 428.8 sf. ea. FLR	857.6 sf.
TOTAL BAR AREA	1,393.6 sf.

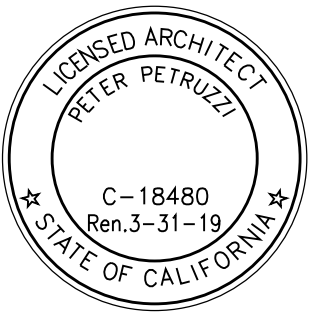
OUTDOOR ACTIVITY AREA	1,331.7 sf.
-----------------------	-------------

Sheet Index

ARCHITECTURAL

A0 Cover Sheet
A1.0 As Built First Floor Plan & Elevations
A1.1 Proposed First Floor Plan BAR AREA USE Square Footage
A2.0 As Built, Proposed 2nd Floor Plan
A3.0 As Built, Proposed 3RD Floor Plan
A4.0 As Built, Proposed Roof Plan
A5.0 East, West Elevation

LINE A³
Peter Petrucci
A. I. A. N.C.A.R.B.
1165 Francisco No. 7
San Francisco, Calif.
415-674-8039



REVISION
CUA

Campus Bar
2241 Chestnut Street
San Francisco, Calif.

DESCRIPTION:

Cover

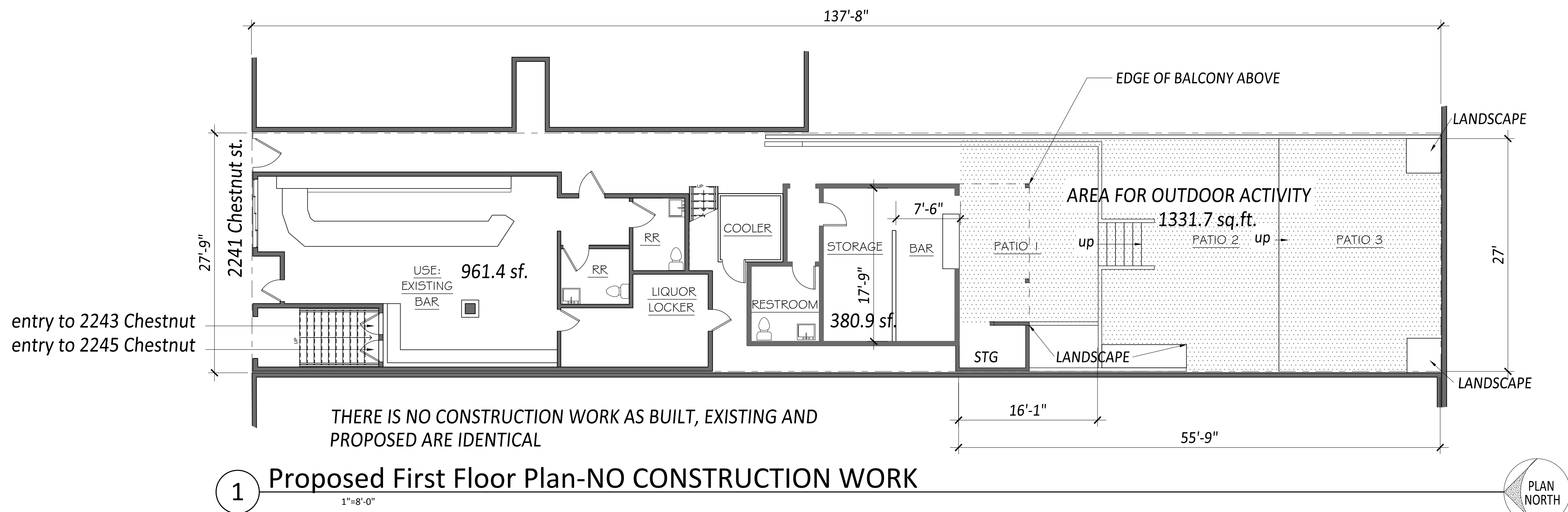
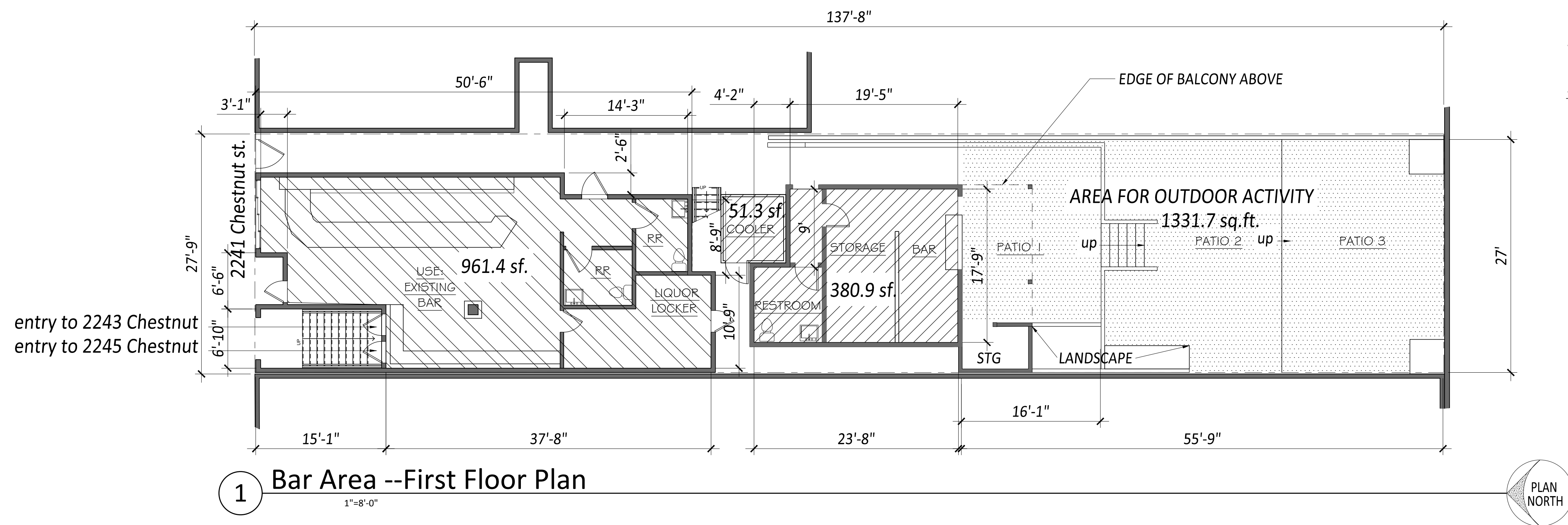
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DRAWN BY: PP
SCALE: As Noted

A0.0

DATE: 7.22.19

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TOTAL BAR AREA

2241 CHESTNUT 961.4
COOLER 51.3
2241B CHESTNUT 380.9

TOTAL SQ. BAR 1,393.6



REVISION
CUA

Campus Bar
2241 Chestnut Street
San Francisco, Calif.

DESCRIPTION:

1st Flr
Plan

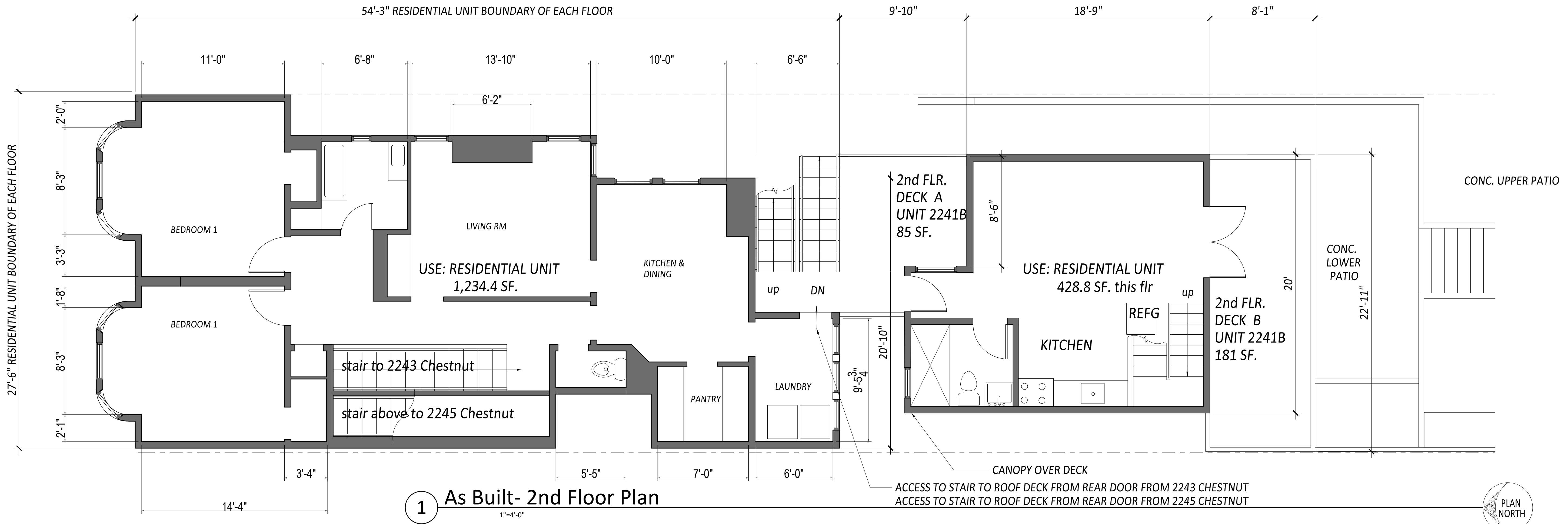
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A1.1

DATE: 7.22.19

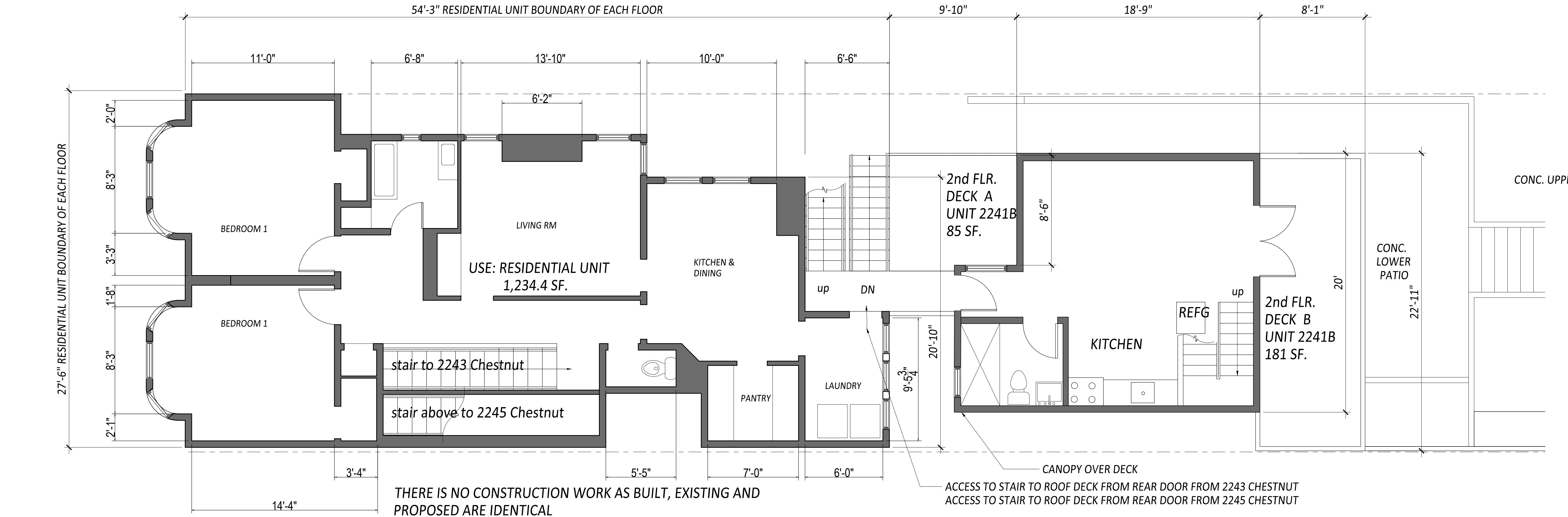
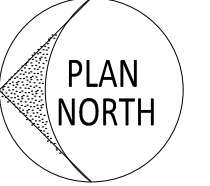
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2 Proposed- 2nd Floor Plan

1"=4'-0"



Campus Bar
2241 Chestnut Street
San Francisco, Calif.

DESCRIPTION:

2nd Floor
Plans

JOB NUMBER: 97000
DRAWN BY: PP
SCALE: 1/4"=1'-0"

A2.0

DATE: 7.22.19

REVISION
CUA

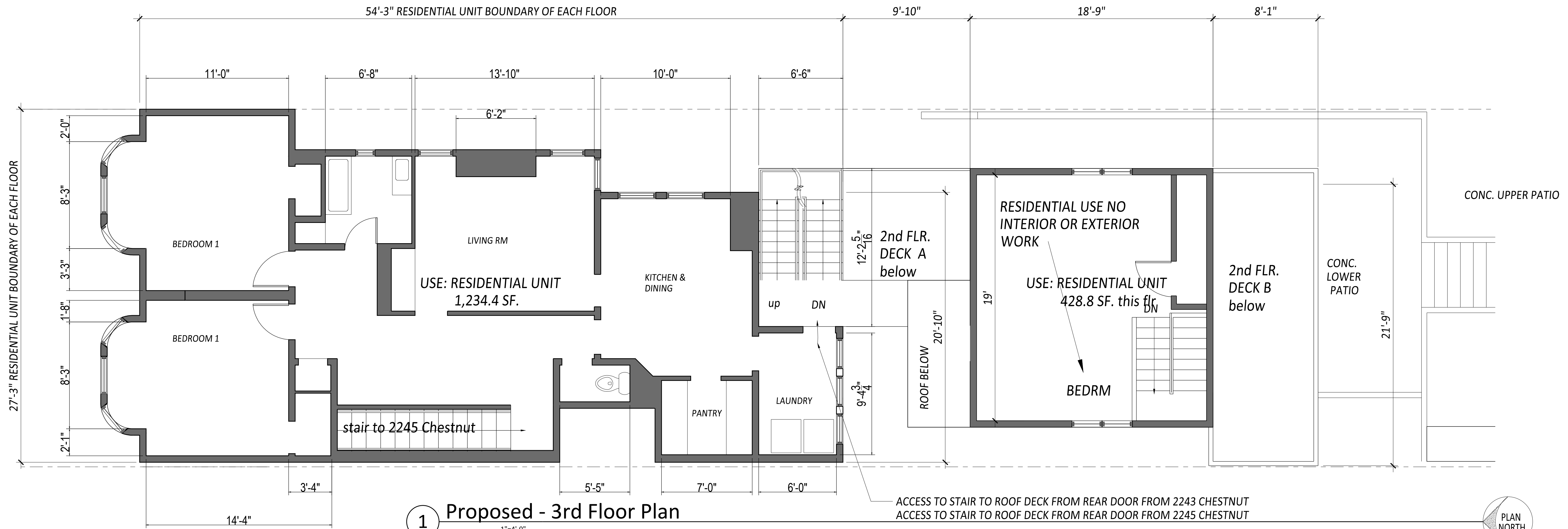
Peter Petrucci
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1165 Francisco No. 7
San Francisco, Calif.
415-674-8039

LEEDS ARCHITECT
PETER PETRUCCI

C-18480
Ren-3-31-19
STATE OF CALIFORNIA

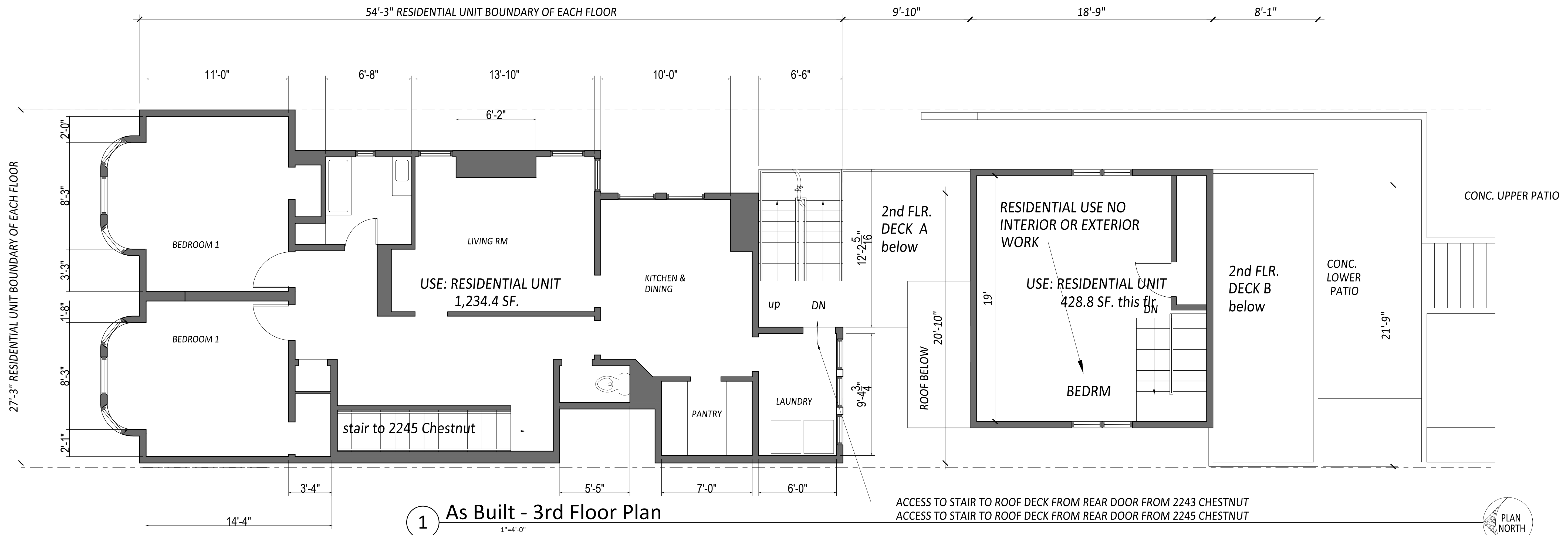
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1 Proposed - 3rd Floor Plan

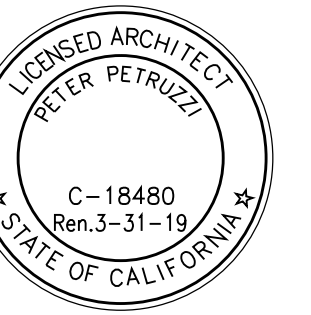
THERE IS NO CONSTRUCTION WORK INSIDE OR OUTSIDE- AS BUILT, EXISTING AND PROPOSED ARE IDENTICAL



1 As Built - 3rd Floor Plan

LINEA³

■ Peter Petrucci ■
A. I. A. N.C.A.R.B.
1165 Francisco No. 7
San Francisco, Calif.
■ 415-674-8039 ■



REVISION
CUA

Campus Bar
2241 Chestnut Street
San Francisco, Calif.

DESCRIPTION:

3rd Floor
Plans

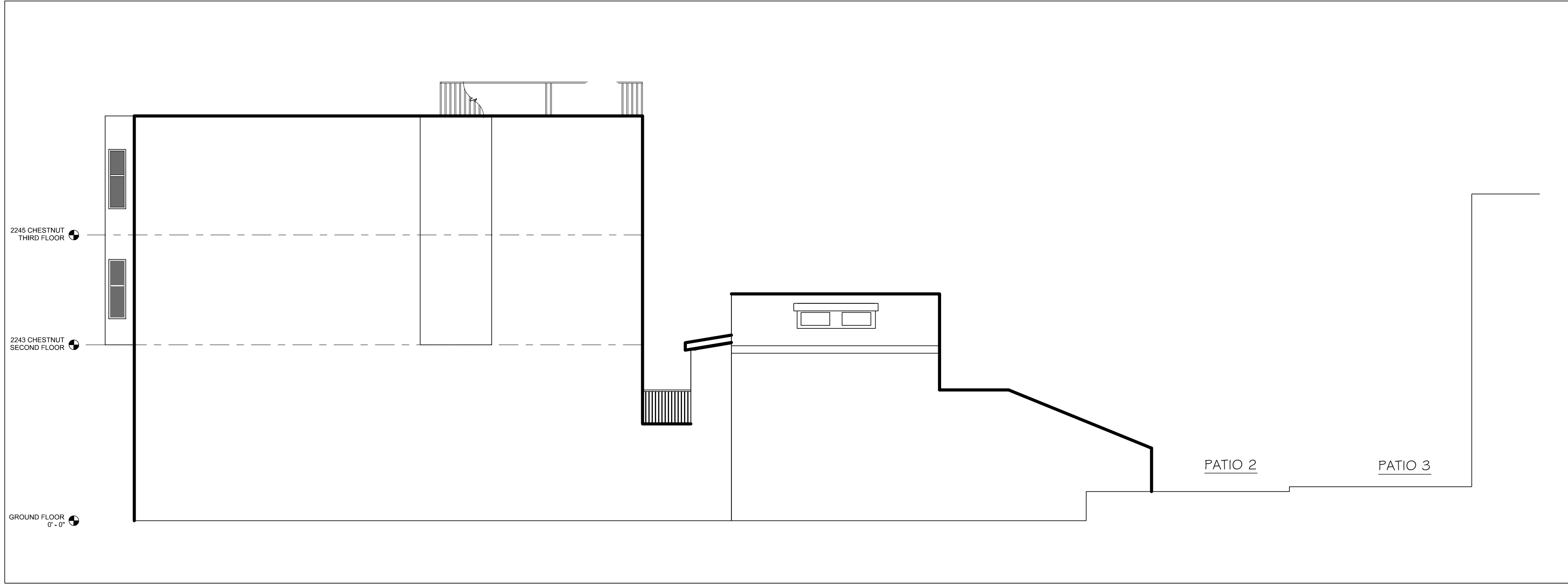
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A3.0

DATE: 7.22.19

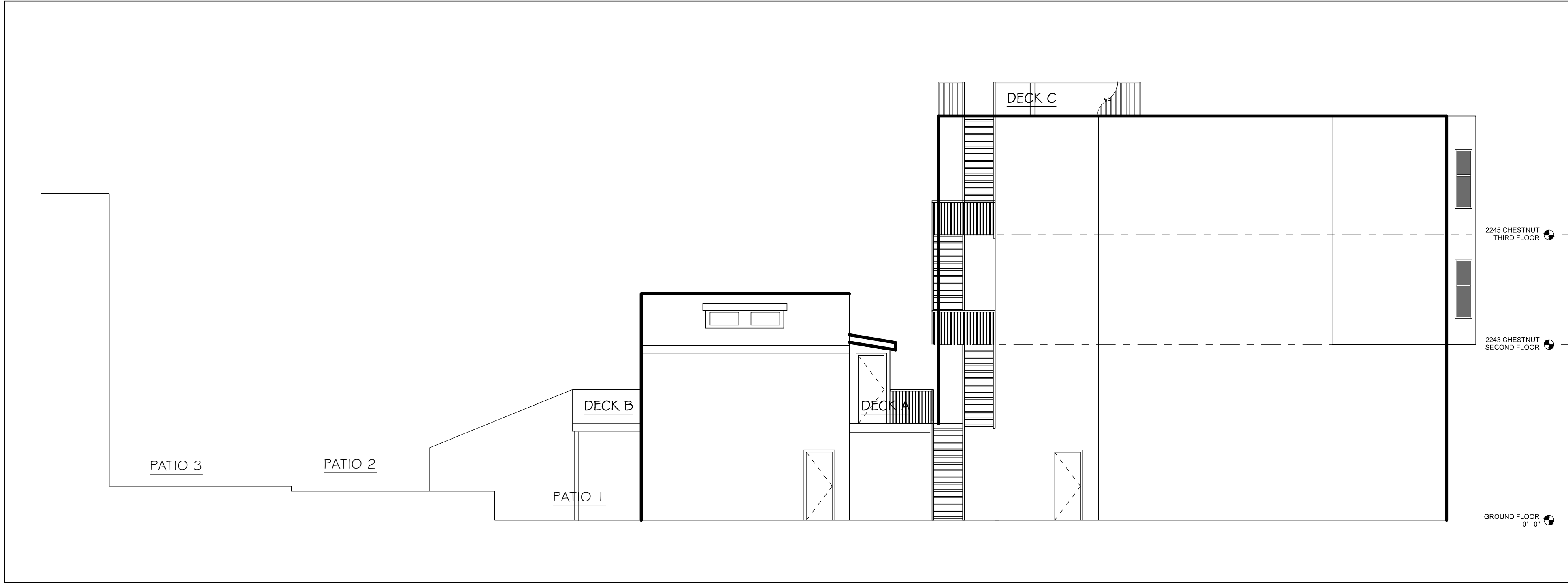
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2 West Elevation

1"=8'-0"

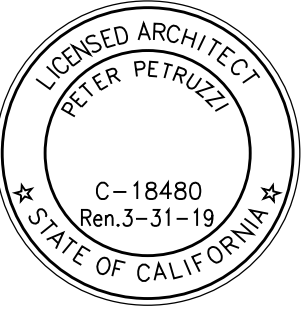


1 East Elevation

1"=8'-0"

LINEA³

■ Peter Petrucci:
A. I. A. N.CARB.
1165 Francisco No. 7
San Francisco, Calif.
■ 415-674-8039 ■



REVISION
CUA

Campus Bar
2241 Chestnut Street
San Francisco, Calif.

DESCRIPTION:

Plan
Elevation

JOB NUMBER: 97000
DRAWN BY: PP
SCALE: 1/8"=1'-0"

A5.0

DATE: 7.22.19

EXHIBIT C

ENVIRONMENTAL DETERMINATION



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
2241 Chestnut St		0489034
Case No.		Permit No.
2018-016600PRJ		
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
Project description for Planning Department approval. To legalize the existing patio use at Campus Bar.		

STEP 1: EXEMPTION CLASS

The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. FOR ENVIRONMENTAL PLANNING USE ONLY
<input type="checkbox"/>	Class ____

TO BE COMPLETED BY PROJECT PLANNER

Comments and Planner Signature (optional):

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input checked="" type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments): Conditional Use Authorization to allow for an Outdoor Activity Area at the rear of the existing Bar Use.
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category A a. Per HRER or PTR dated b. Other (specify): </div> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category C (attach HRER or PTR) </div> </div>
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature:	

STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Planning Commission Hearing If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	Signature: Katherine Wilborn 09/03/2019
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.		

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
2241 Chestnut St		0489/034
Case No.	Previous Building Permit No.	New Building Permit No.
2018-016600PRJ		
Plans Dated	Previous Approval Action	New Approval Action
	Planning Commission Hearing	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.	
Planner Name:	Date:

EXHIBIT D

LAND USE DATA



SAN FRANCISCO PLANNING DEPARTMENT

Land Use Information

PROJECT ADDRESS: 2241 CHESTNUT ST
RECORD NO.: 2018-016600CUA

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

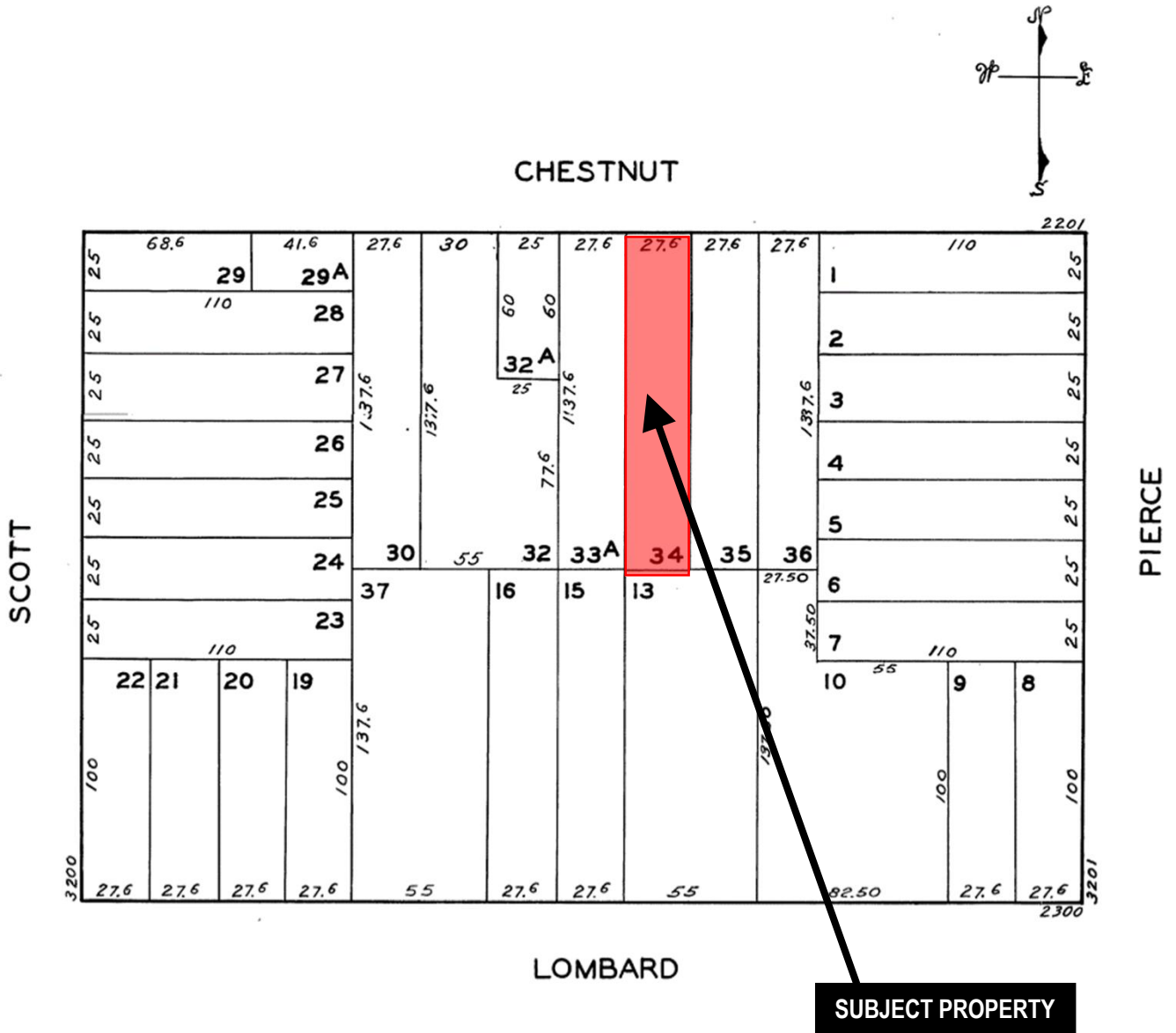
Reception:
415.558.6378

Fax:
415.558.6409

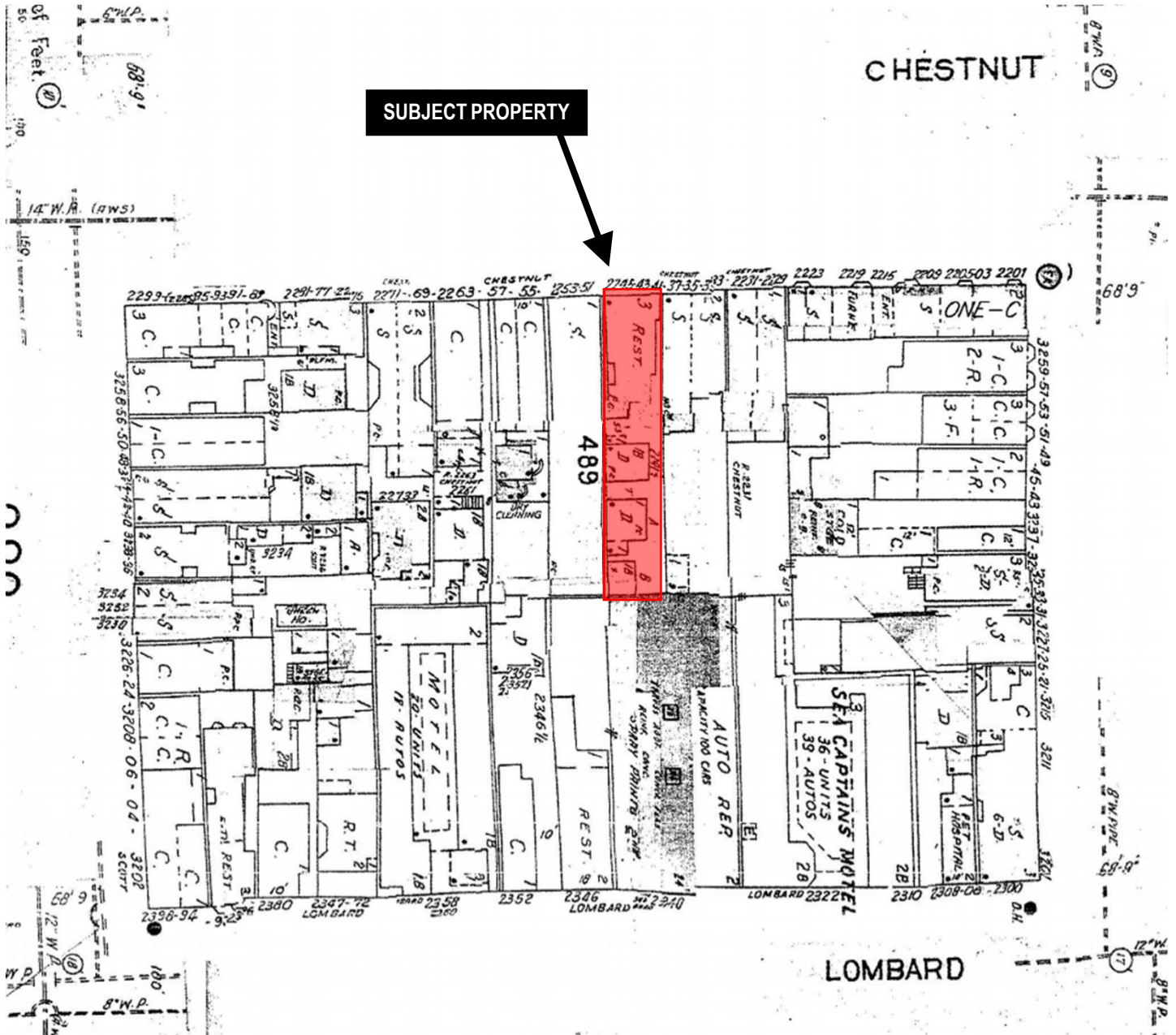
Planning
Information:
415.558.6377

	EXISTING	PROPOSED	TOTALS
GROSS SQUARE FOOTAGE (GSF)			
Parking GSF	-	-	-
Residential GSF	3,327	0	3,327
Retail/Commercial GSF	1,394	0	1,394
Office GSF	-	-	-
Industrial/PDR GSF <i>Production, Distribution, & Repair</i>	-	-	-
Medical GSF	-	-	-
Visitor GSF	-	-	-
CIE GSF	-	-	-
Usable Open Space	590 sq. ft. decks 1,332 sq. ft. rear patio	-1,332	590 (decks only)
Public Open Space	-	-	-
Outdoor Activity Area	0	1,332 sq. ft. rear patio	1,332 (rear patio)
TOTAL GSF	4,721	0	4,721
	EXISTING	NET NEW	TOTALS
PROJECT FEATURES (Units or Amounts)			
Dwelling Units - Affordable	-	-	-
Dwelling Units - Market Rate	3	0	3
Dwelling Units - Total	3	0	3
Hotel Rooms	-	-	-
Number of Buildings	2	0	2
Number of Stories	3	0	3
Parking Spaces	-	-	-
Loading Spaces	-	-	-
Bicycle Spaces	-	-	-
Car Share Spaces	-	-	-
Other	-	-	-

Parcel Map



Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

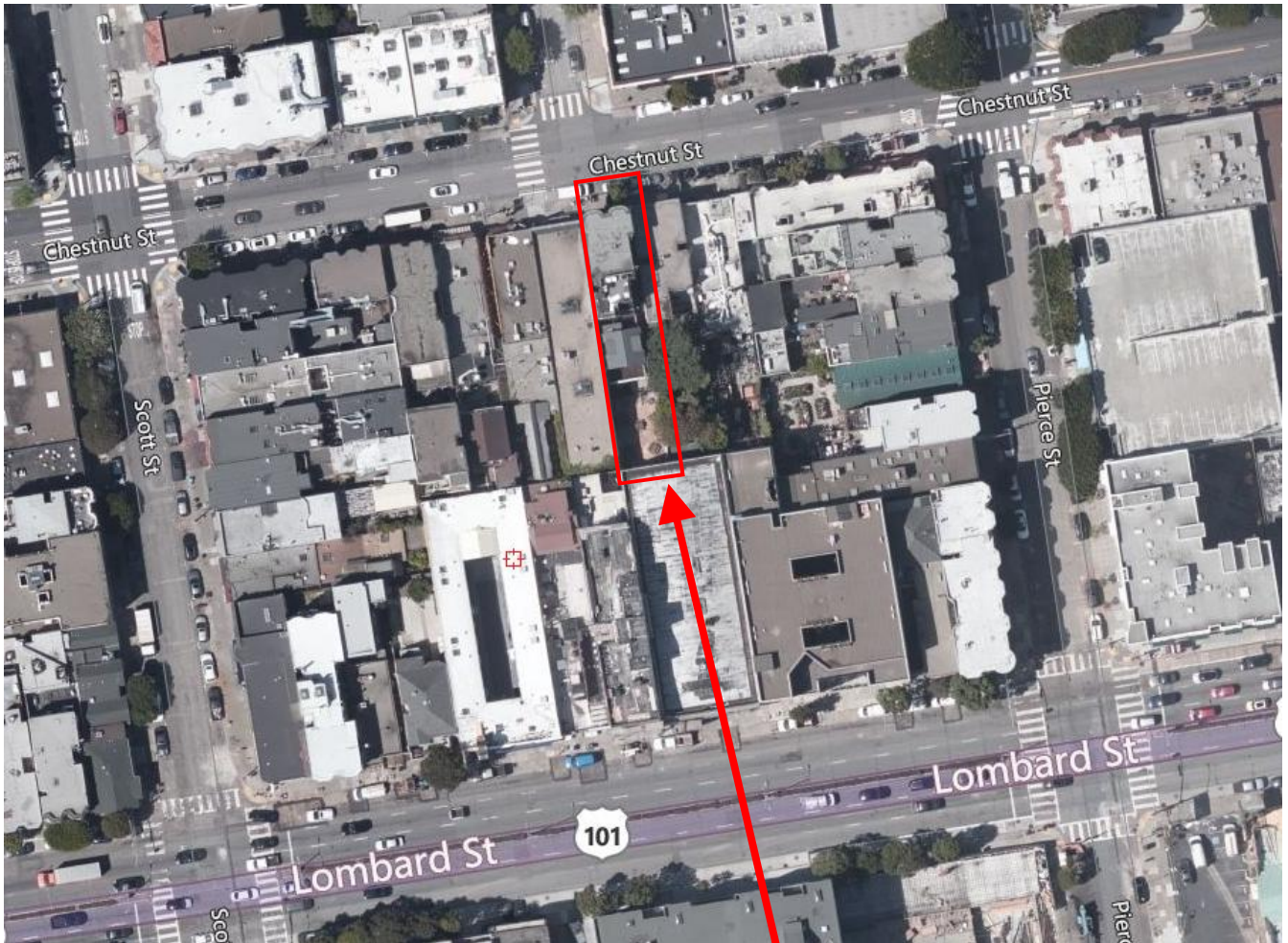


Conditional Use Authorization
Case Number 2018-016600CUA
Outdoor Activity Area
2241 Chestnut Street

EXHIBIT E

MAPS AND CONTEXT PHOTOS

Aerial Photo – View 1



SUBJECT PROPERTY



Aerial Photo – View 2



SUBJECT PROPERTY



**SAN FRANCISCO
PLANNING DEPARTMENT**

Conditional Use Authorization
Case Number 2018-016600CUA
Outdoor Activity Area
2241 Chestnut Street

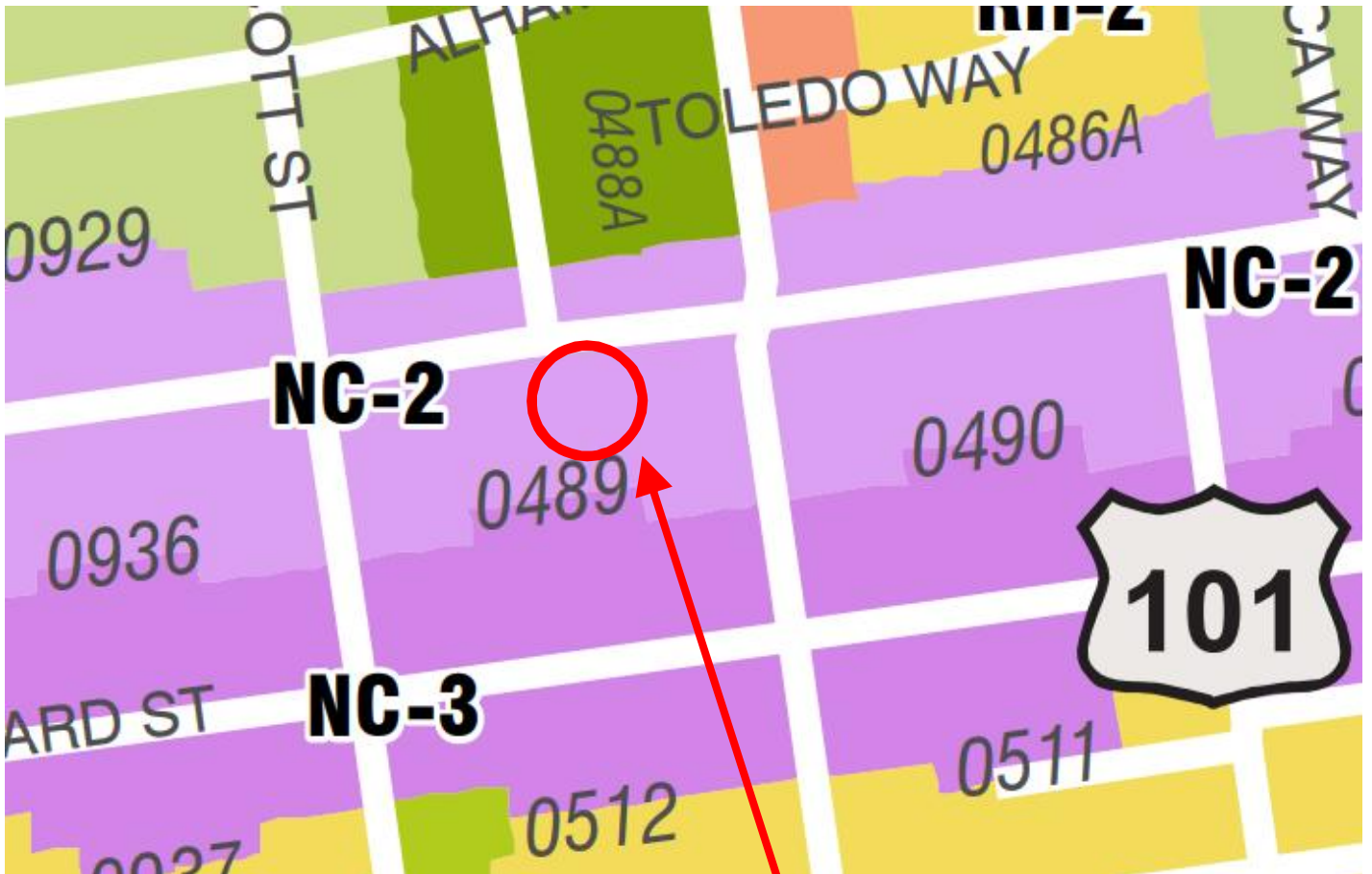
Aerial Photo – View 3



SUBJECT PROPERTY



Zoning Map



SUBJECT PROPERTY



Site Photo



Photo courtesy of: www.google.com/maps (February 2017).



EXHIBIT F

Project Sponsor Brief

Campus Outdoor Use Permit

Background of Ownership

Rick Howard and Noelle Calixto own and operate Campus Bar as well as six other well known bar/restaurants in San Francisco. Mr. Howard is a native San Franciscan whose family roots date back to 1845 and were among the first residents of San Francisco. He has operated bars/restaurants in San Francisco for 20 years and his businesses are in good standing with the ABC and the SFPD.

The Project

Presently, Campus Bar occupies the storefront at 2241 Chestnut St (between Pierce and Scott) which has been a bar for 30 plus years. Prior to Campus the bar was operated as Delaney's. Howard and Calixto own the building as well as the business. The property has a large south facing back patio. All adjacent properties are commercial properties with no residential component. The property behind Campus is an auto repair shop, the property on one side is a book store and on the other side is a jewelry store with a law office occupying the upstairs. Two properties over from Campus to the East and West are two restaurant /bars with outdoor seating . (Topsy Pig and Squat and Gobble) These backyard spaces are virtually identical in size to what is being proposed at 2241 Chestnut.

There is a shortage of outdoor bar/restaurant spaces in San Francisco. To increase the number of outdoor space the City has promoted the development of parklets that convert public parking places in commercial districts to outdoor seating . This project is an opportunity to take an underutilized privately owned outdoor space in the heart of a commercial district and create a neighborhood outdoor social venue. It is our intention to create a well landscaped , inviting environment and to operate in a fashion that respects those that live in the neighborhood.

The back patio operations will be days and evenings in on the weekends and some evenings during the week. Weekend daytime use will commence around noon. All evening use will be no later than midnight. We have researched the options to mitigate sound and are confident that we will be able to operate with minimal impact on any residential neighbors.