



EXECUTIVE SUMMARY CONDITIONAL USE AUTHORIZATION

HEARING DATE: DECEMBER 9, 2021

CONTINUED FROM: AUGUST 26, 2021 and OCTOBER 21, 2021

Record No.: 2018-015983CUA
Project Address: 136 Delmar Street
Zoning: Residential-House, Two Family (RH-2) Zoning District
40-X Height and Bulk District
Block/Lot: 1270/067A
Project Sponsor: David Armour
136 Delmar Street
San Francisco, CA 94117
Property Owner: David Armour
San Francisco, CA 94117
Staff Contact: Linda Ajello Hoagland – (628) 652-7320
linda.ajellohoagland@sfgov.org

Recommendation: Approval with Conditions

Project Description

The Project includes the demolition of an existing one-story over basement, single-family dwelling (approximately 1,030 square feet), and new construction of a three-story over basement, single-family dwelling and one accessory dwelling unit (ADU). The single-family home is a three-level unit, located on the first, second and third floors with four-bedrooms and three and one-half bathrooms and a total of 2,965 gross square feet. The ADU is a single-story unit, located on the basement level with one-bedroom and one-bathroom and a total of 669 gross square feet. The Project will also include a one-car garage on the basement level.

Required Commission Action

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization, pursuant to Planning Code Sections 303 and 317, to allow the demolition of an existing single-family dwelling and new construction of a single-family dwelling and one ADU within the RH-2 Zoning District.

Issues and Other Considerations

- **Public Comment & Outreach.** To date, the Department has received eight e-mails in support of the project. Two phone calls and six e-mails from neighbors in opposition to the Project were received, expressing concerns about the size of the proposed building, legitimacy of the second unit, loss of light and air, and apprehension that the property will be sold after construction has been completed.
- **Residential Demolition.** While the Project does involve demolition of a residential structure, the proposed replacement building will provide one dwelling unit and one ADU. Additionally, the existing structure has been determined to not be a historic resource under CEQA.
- **Tenant History:** The existing single-family home is owner occupied.

Environmental Review

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 categorical exemption.

Basis for Recommendation

The Department finds that the Project is, on balance, consistent with the Objectives and Policies of the General Plan. While the project does involve demolition of an existing single-family residential structure, the proposed replacement building will provide a single-family dwelling and a new ADU. The Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

Attachments:

Draft Motion – Conditional Use Authorization with Conditions of Approval (Exhibit A)
Exhibit B – Plans and Renderings
Exhibit C – Environmental Determination
Exhibit D – Land Use Data
Exhibit E – Maps and Context Photos
Exhibit F - Project Sponsor Brief



PLANNING COMMISSION DRAFT MOTION

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ADOPTING FINDINGS RELATING TO A CONDITIONAL USE AUTHORIZATION, PURSUANT TO PLANNING CODE SECTIONS 303 and 317, TO ALLOW THE DEMOLITION OF AN EXISTING SINGLE-FAMILY DWELLING AND NEW CONSTRUCTION OF A SINGLE-FAMILY DWELLING WITH ONE ACCESSORY DWELLING UNIT, LOCATED AT 136 DELMAR STREET, LOT 067A IN ASSESSOR'S BLOCK 1270, WITHIN THE RH-2 (RESIDENTIAL, HOUSE, TWO-FAMILY), ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PREAMBLE

On November 27, 2018, David Armour (hereinafter "Project Sponsor") filed Application No. 2018-015983CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization for the demolition of an existing one-story over basement, single-family dwelling, and new construction of a three-story over basement, single-family dwelling and one accessory dwelling unit (ADU) (hereinafter "Project") at 136 Delmar Street, Block 1270 Lot 067A (hereinafter "Project Site").

On August 26, 2021, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2018-015983CUA and continued the project to the hearing on October 21, 2021. On October 21, 2021, the project was continued to the hearing on December 9, 2021.

On December 9, 2021, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2018-015983CUA.

The Planning Department Commission Secretary is the Custodian of Records; the File for Record No. 2018-015983CUA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2018-015983CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

- 1. The above recitals are accurate and constitute findings of this Commission.**
- 2. Project Description.** The Project includes the demolition of an existing one-story over basement, single-family dwelling (approximately 1,030 square feet), and new construction of a three-story over basement, single-family dwelling and one accessory dwelling unit (ADU). The single-family home is a three-level unit, located on the first, second and third floors with four-bedrooms and three and one-half bathrooms and a total of 2,965 gross square feet. The ADU is a single-story unit, located on the basement level with one-bedroom and one-bathroom and a total of 669 gross square feet. The Project will also include a one-car garage on the basement level.
- 3. Site Description and Present Use.** The Project is located on an upsloping rectangular lot measuring 25-ft wide and 85-feet deep (approximately 2,125 square feet). The Project Site contains a one-story over basement, single-family home. The Project site has an existing approximately 1,030 square foot, one-story over basement, single-family dwelling constructed circa 1924.
- 4. Surrounding Properties and Neighborhood.** The Project Site is located in the Ashbury Heights neighborhood. Parcels within the immediate vicinity consist of residential one- to three-story over basement one- and two-family dwellings constructed between the late 1800's and the mid-1930's. The subject block face exhibits a variety of architectural styles, scales and massing. The surrounding properties are located within the RH-2 Zoning District. The subject property is also located with .25 miles of stops for the 33, 37, 43, 6, 7, N and NBUS MUNI transit lines.
- 5. Public Outreach and Comments.** To date, the Department has received eight e-mails in support of the project. Two phone calls and six e-mails from neighbors in opposition to the Project were received, expressing concerns about the size of the proposed building, legitimacy of the second unit, loss of light and air, and apprehension that the property will be sold after construction has been completed.
- 6. Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. Use.** Planning Code Section 209.1 principally permits two dwelling units per lot in the RH-2 Zoning District. Planning Code Section 207 permits one accessory dwelling unit (ADU) to an existing or proposed single-family home without exceeding the allowable density for the lot.

The Project proposes one principally permitted dwelling unit and one accessory dwelling unit (ADU).
 - B. Height.** Planning Code Section 260 requires that all structures be no taller than the height prescribed in the subject height and bulk district. The proposed Project is located in a 40-X Height and Bulk District. Planning Code Section 261 further restricts height in the RH-2 Zoning District to 30-feet at the front lot line or required front setback, then at such setback, height shall increase at an angle of 45° toward the rear lot line until the prescribed 40-foot height limit.

The Project proposes a building that will be approximately 31 feet, ½ inches tall. The building height as measured from the front setback is approximately 30 feet. Therefore, the Project complies with Planning Code Sections 260 and 261.

- C. **Front Setback Requirement.** Planning Code Section 132 requires, in RH-2 Districts, a front setback that complies to legislated setbacks (if any) or a front back based on the average of adjacent properties (15-foot maximum).

The subject property does not have a legislated setback. The average front setback of the adjacent two buildings is 11 feet 10 7/8 inches. The Project will utilize the alternate method of averaging per Planning Code Section 132(b) to allow a 10-foot 5-inch front setback by offsetting the area within the buildable lot area and, therefore, complies with the front setback requirement.

- D. **Rear Yard.** Planning Code Section 134 requires a minimum rear yard depth equal to 45 percent of the total depth of the lot on which the building is situated, except to the extent that a reduction in this requirement is permitted by averaging of the adjacent rear building walls. When averaging, the minimum rear yard allowed is 25 percent, but in no case less than 15 feet.

The subject property has a lot depth of 85 feet and the average rear yard depth of the adjacent neighbors is 24 feet, 8 inches; therefore, the rear yard requirement is 24 feet, 8 inches. The Project provides a rear yard of 24 feet, 8 inches and therefore, complies with the rear yard requirements.

- E. **Street Frontage Requirement.** Planning Code Section 144 requires that off-street parking entrances be limited to one-third of the ground story width along the front lot line and no less than one-third be devoted to windows, entrances to dwelling units, landscaping and other architectural features that provide visual relief and interest for the street frontage.

The Project complies with the street frontage requirement and provides the appropriately sized entrance to the off-street parking.

- F. **Street Frontage, Parking and Loading Access Restrictions.** Off-street parking shall meet the standards set forth in Planning Code Section 155 with respect to location, ingress/egress, arrangement, dimensions, etc.

Proposed off-street parking for one vehicle will be located wholly within the property, and will comply with access, arrangement and street frontage dimensional standards.

- G. **Usable Open Space.** Planning Code Section 135 requires, in RH-2 Districts, usable open space that is accessible by each dwelling (100 square feet per unit if private, or 133 square feet if shared).

The Project provides access to the rear yard area for the principally permitted unit and the accessory dwelling unit. The 475 square foot private open space provided for both units exceeds the 266 square feet required for both units; therefore, the Project provides code-complying open space for both dwelling units.

- H. **Dwelling Unit Exposure.** Planning Code Section 140 requires that at least one room of all dwelling units face onto a public street or public alley at least 30 feet in width, a side yard at least 25 feet in width, a rear yard meeting the requirements of the Code or other open area that meets minimum requirements for area and horizontal dimensions. Accessory Dwelling Units are not required to comply with the dwelling unit exposure requirements.

The principally permitted dwelling unit will have direct exposure onto both the public street and a Code compliant rear yard. The proposed ADU is exempt from the Exposure requirements of the Planning Code under State law; if Exposure was required, the unit would not be compliant.

- I. **Off-Street Parking.** Planning Code Section 151 does not require any off-street parking for dwelling units and allows a maximum of 1.5 spaces per dwelling unit.

The Project provides one off-street parking space and therefore complies with Planning Code Section 151.

- J. **Bicycle Parking.** Planning Code Section 155.2 requires at least one Class 1 bicycle parking space for each dwelling unit and one Class 2 space for every 20 dwelling units.

The Project requires two Class 1 bicycle parking spaces and no Class 2 bicycle parking spaces. The Project proposes two Class 1 bicycle parking spaces, located in the garage.

- K. **Residential Demolition.** Pursuant to Planning Code Section 317, Conditional Use Authorization is required for applications proposing to remove a residential unit. This Code Section establishes a checklist of criteria that delineate the relevant General Plan Policies and Objectives.

As the Project requires Conditional Use Authorization per the requirements of Planning Code Section 317, the additional criteria specified under Section 317 have been incorporated as findings as part of this Motion. See item 8, "Additional Findings pursuant to Section 317" below.

- L. **Child Care Requirements for Residential Projects.** Planning Code Section 414A requires that any residential development project that results in at least one new dwelling unit or additional space in an existing residential unit of more than 800 gross square feet comply with the Residential Child Care Impact Fee requirement.

The Project proposes new construction of a building that results in one net new dwelling. Therefore, the Project is subject to the Residential Child Care Impact Fee and must comply with the requirements outlined in Planning Code Section 414A.

7. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use Authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The use and size of the Project is compatible with the surrounding neighborhood. The proposal will demolish an existing, 1,030 square foot, single-family dwelling and construct a new single-family-dwelling unit building with one accessory dwelling unit (ADU). The new building will contain a one-bedroom ADU and a four-bedroom unit that are 669 and 2,965 gross square feet, respectively. Overall, the construction of two new dwelling units is necessary and compatible with the surrounding neighborhood and the larger City.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The Project includes a three-story over basement massing along the street, with dormers on the fourth floor that are setback approximately 3-feet from the front building wall, which is appropriate given the context of the surrounding neighborhood. The proposed building provides rear setbacks, all which help to sculpt the building to minimize impacts and remain compatible with the neighborhood's one- to-three-story over basement buildings.

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Planning Code does not require off-street parking for residential dwelling units and allows a maximum of 1.5 spaces per unit. The garage provides one off-street parking space, in addition to the two Class 1 bicycle parking spaces.

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

As the Project is residential in nature, the proposed residential use is not considered to have the potential to produce noxious or offensive emissions.

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The Project is residential and will be landscaped accordingly.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with relevant requirements and standards of the Planning Code and is

consistent with objectives and policies of the General Plan as detailed below.

- D. That use or feature as proposed will provide development that is in conformity with the stated purpose of the applicable Use District.

The Project is consistent with the stated purpose of the RH-2 Zoning District, which is characterized by one-, two- and multi-family buildings that are finely scaled and usually do not exceed 25 feet in width and 40 feet in height and is therefore consistent with the Planning Code requirements for dwelling units in the RH-2 Zoning District.

8. **Additional Findings pursuant to Section 317** establishes criteria for the Planning Commission to consider when reviewing applications for Residential Demolition. On balance, the Project does comply with said criteria in that:

- i. Whether the property is free of a history of serious, continuing Code violations;

A review of the Department of Building Inspection and the Planning Department databases showed no open enforcement cases or notices of violation for the subject property.

- ii. Whether the housing has been maintained in a decent, safe, and sanitary condition;

The existing dwelling is currently used as a single-family home and appears to be in decent, safe and sanitary condition.

- iii. Whether the property is an "historical resource" under CEQA;

Although the existing structure is more than 50 years old, a review of the supplemental information resulted in a determination that the structure is not a historical resource.

- iv. Whether the removal of the resource will have a substantial adverse impact under CEQA;

Not Applicable. The existing structure is not a historic resource.

- v. Whether the project converts rental housing to other forms of tenure or occupancy;

The Project does not convert rental housing to other forms of tenure or occupancy, as the existing building is a single-family residence and is used as such.

- vi. Whether the project removes rental units subject to the Residential Rent Stabilization and Arbitration Ordinance or affordable housing;

The existing single-family dwelling is not deed-restricted, tax-credit funded affordable housing. Although Planning Staff does not have the authority to make a determination on rent control status of a property, it is to be assumed that the unit to be demolished was not subject to the Residential Rent Stabilization and Arbitration Ordinance.

- vii. Whether the project conserves existing housing to preserve cultural and economic neighborhood diversity;

Although the Project proposes the demolition of an existing dwelling, the new construction will result in one additional unit with the new accessory dwelling unit.

- viii. Whether the project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

The Project conserves neighborhood character with appropriate scale, design, and materials, and improves cultural and economic diversity by constructing two dwelling units that are consistent with the RH-2 Zoning District. The proposed residential development is characteristic of other existing residential buildings located along Delmar Street; one net new dwelling unit would be added to the City's Housing Stock.

- ix. Whether the project protects the relative affordability of existing housing;

The Project removes an older dwelling unit, which is generally considered more affordable than a more recently constructed unit; however, the Project will add one net new accessory dwelling unit to the City's Housing Stock.

- x. Whether the project increases the number of permanently affordable units as governed by Section 415;

The Project is not subject to the provisions of Planning Code Section 415, as the Project proposes less than ten units.

- xi. Whether the project locates in-fill housing on appropriate sites in established neighborhoods;

The Project proposes in-fill housing with a total of two dwelling units which is consistent with the varying neighborhood density. The proposed residential development is characteristic of other existing residential buildings located along Delmar Street and in the surrounding neighborhood.

- xii. Whether the project increases the number of family-sized units on-site.

The Project proposes an opportunity for one 4-bedroom, family-sized unit and a smaller one-bedroom accessory dwelling unit. Currently, the property only contains one dwelling unit with two bedrooms.

- xiii. Whether the project creates new supportive housing;

The Project does not create new supportive housing.

- xiv. Whether the project is of superb architectural and urban design, meeting all relevant design guidelines, to enhance existing neighborhood character;

The overall scale, design, and materials of the proposed building is consistent with the block-face and will complement the neighborhood character with a contemporary design. The proposed residential development is characteristic of other existing residential uses along Delmar Street and in the surrounding neighborhood.

- xv. Whether the project increases the number of on-site Dwelling Units;

The Project will increase the number of on-site units from one dwelling unit to one single-family dwelling unit and one accessory dwelling unit.

- xvi. Whether the project increases the number of on-site bedrooms.

The existing dwelling contains two bedrooms. The Project includes a total of five bedrooms between the two dwelling units.

- xvii. Whether or not the replacement project would maximize density on the subject lot; and

The maximum density for the subject property is two units plus one accessory dwelling unit. The Project proposes the new construction of a single-family unit with one accessory dwelling unit; thus, it does not maximize the density permitted in the RH-2 Zoning District.

- xviii. If replacing a building not subject to the Residential Rent Stabilization and Arbitration Ordinance, whether the new project replaces all of the existing units with new Dwelling Units of a similar size and with the same number of bedrooms.

The Project will replace the existing single-family dwelling with one new single-family unit and one accessory dwelling unit. The existing dwelling unit has approximately 1,030 square feet of habitable area and two bedrooms. The proposed building will contain a one-bedroom accessory dwelling unit and a four-bedroom single-family unit. The new units provide more than the existing square footage and bedroom count.

- 8. General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 4

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1

Develop new housing, and encourage the remodeling of existing housing, for families with children.

OBJECTIVE 11

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2

Ensure implementation of accepted design standards in project approvals.

Policy 11.3

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.4

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

Policy 11.5

Ensure densities in established residential areas promote compatibility with prevailing neighborhood character.

Policy 11.6

Foster a sense of community through architectural design, using features that promote community interaction.

The subject property contains a two-bedroom single-family dwelling within a RH-2 Zoning District. The Project proposes a new four-bedroom single-family dwelling unit building with a one-bedroom accessory dwelling unit on the lower level. The new single-family dwelling will provide 4-bedrooms which could accommodate a family with children. The Project will provide two units and one off-street parking space on a property located in a neighborhood consisting of single-family residences to two-family buildings with off-street parking. Furthermore, the proposed new construction conforms to the Residential Design Guidelines and is appropriate in terms of material, scale, proportions and massing for the surrounding neighborhood.

URBAN DESIGN ELEMENT

Objectives and Policies

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.2:

Recognize, protect and reinforce the existing street pattern, especially as it is related to topography.

The Project proposes demolition of an existing single-family building and new construction of a single-family dwelling and one accessory dwelling unit with off-street parking. Similar to other existing structures on the block-face, the Project will have a three-story over garage configuration with a pitched roof and shed dormers on the front and rear roof. The structure, as viewed from the front façade, will continue the pattern of building forms along the block-face.

Policy 1.3:

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

The proposed façade and massing are compatible with the existing neighborhood character and development pattern, particularly because the proposed building is of a similar massing, width and height to the existing structures in the neighborhood. A raised entry is appropriate given the raised entries of neighboring homes in the immediate area. The proposed façade and massing of the new building reflects the existing mixed architectural character, varying heights along the block face and will be in keeping with the neighborhood development pattern.

OBJECTIVE 2:

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.6:

Respect the character of older development nearby in the design of new buildings.

The massing of the new buildings' main front façade has been designed to be compatible with the prevailing street wall height, particularly the height and proportions of the adjacent buildings. Although interpreted in a contemporary architectural style, the proposed building proportions and exterior materials have been selected to be compatible with the adjacent buildings and the immediate neighborhood character.

9. Planning Code Section 101.1(b) establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

Existing neighborhood-serving retail uses would not be displaced or otherwise adversely affected by the proposal, as the existing building does not contain commercial uses.

B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The proposal will retain an existing residential use, consistent with the residential character of the surrounding neighborhood.

C. That the City's supply of affordable housing be preserved and enhanced.

The existing single-family dwelling is not designated as affordable housing. The Project does not propose any affordable units and, therefore, will not impact the City's supply of affordable housing units.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project will replace a single-family dwelling with a new single-family dwelling and one accessory dwelling unit and provides off-street parking at the principally permitted amounts and sufficient bicycle parking for residents and their guests. Thus, there will be no significant adverse effect on automobile traffic or congestion.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project is a residential project in an RH-2 Zoning District; therefore, the Project would not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses would not be affected by the Project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code. This proposal will not impact the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

Currently, the Project Site does not contain any City Landmarks or historic buildings.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project will have no negative impact on existing parks and open spaces. The height of the proposed structure is compatible with the established neighborhood development.

- 10.** The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
- 11.** The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2018-015983CUA** subject to the following conditions attached hereto as “EXHIBIT A” in general conformance with plans on file, dated November 17, 2021, and stamped “EXHIBIT B”, which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission’s adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator’s Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on December 9, 2021.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

RECUSE:

ADOPTED: December 9, 2021

EXHIBIT A

Authorization

This authorization is for a conditional use to allow the demolition on an existing one-story over basement, single-family dwelling and new construction of a single-family dwelling and one accessory dwelling unit located at 136 Delmar Street, Block 1270, and Lot 067A pursuant to Planning Code Sections 303 and 317 within the RH-2 Zoning District and a 40-X Height and Bulk District; in general conformance with plans, dated November 17, 2021, and stamped “EXHIBIT B” included in the docket for Record No. 2018-05983CUA and subject to conditions of approval reviewed and approved by the Commission on December 9, 2021 under Motion No. XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

Recordation of Conditions Of Approval

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on December 9, 2021 under Motion No. XXXXXX.

Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

Severability

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. “Project Sponsor” shall include any subsequent responsible party.

Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

CONDITIONS OF APPROVAL, COMPLIANCE, MONITORING, AND REPORTING

Performance

- 1. Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 2. Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 3. Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 4. Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 5. Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

Design – Compliance at Plan Stage

6. **Alternative Front Setback.** The Project shall utilize the alternative method of averaging the front setback pursuant to Planning Code Section 132(b).

For information about compliance, contact the Case Planner, Planning Department at 628.652.7320, www.sfplanning.org

7. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7320, www.sfplanning.org

8. **Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7320, www.sfplanning.org

9. **Landscaping.** Pursuant to Planning Code Section 132, the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that 50% of the front setback areas shall be surfaced in permeable materials and further, that 20% of the front setback areas shall be landscaped with approved plant species. The size and specie of plant materials and the nature of the permeable surface shall be as approved by the Department of Public Works.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7320, www.sfplanning.org

Parking and Traffic

10. **Bicycle Parking.** The Project shall provide no fewer than 2 Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.2.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

11. **Parking Maximum.** Pursuant to Planning Code Section 151, the Project shall provide no more than one off-street parking spaces per unit.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 12. Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

Provisions

- 13. Residential Child Care Impact Fee.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7320, www.sfplanning.org

Monitoring - After Entitlement

- 14. Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 15. Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 16. Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

DELMAR STREET RESIDENCES

136 DELMAR STREET, SAN FRANCISCO, CA 94117

**EXHIBIT
B**



498 HAIGHT STREET
SAN FRANCISCO, CA 94117
(415) 440-2880



DELMAR STREET RESIDENCES
136 DELMAR STREET, SAN FRANCISCO, CA 94117

SCOPE OF WORK

CONSTRUCT NEW 3-STORY OVER BASEMENT TWO-FAMILY DWELLING WITH (1) FOUR BEDROOM UNIT AND (1) ONE BEDROOM UNIT (STATE PROGRAM ADU); ONE-CAR GARAGE

SHEET INDEX

GENERAL INFORMATION

- G1.1 COVER SHEET
- G1.2 ABBREVIATIONS, SYMBOL LEGEND & GENERAL NOTES
- G2.1 PROJECT PHOTOS
- G2.2 PROJECT PHOTOS
- G2.3 3D IMAGES
- G2.4 3D IMAGES
- G3.1 EGRESS DIAGRAMS
- G4.1 CODE COMPLIANCE
- GS1 SAN FRANCISCO GREEN BUILDING SITE PERMIT SUBMITTAL FORM

CIVIL SITE SURVEY

DEMOLITION

- D0.1 SITE PLAN
- D1.0 BASEMENT, 1ST FLOOR PLANS
- D2.1 EXTERIOR ELEVATIONS
- D3.1 BUILDING SECTION - LONGITUDINAL
- D3.2 BUILDING SECTION - TRANSVERSE

ARCHITECTURAL

- A0.1 SITE PLAN
- A1.0 BASEMENT LEVEL PLAN
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A1.3 3RD FLOOR PLAN
- A1.4 ROOF PLAN
- A2.1 EXTERIOR ELEVATION-WEST
- A2.2 EXTERIOR ELEVATION-NORTH
- A2.3 EXTERIOR ELEVATION - EAST
- A2.4 EXTERIOR ELEVATION - SOUTH
- A3.1 BUILDING SECTION - LONGITUDINAL
- A3.2 BUILDING SECTION - TRANSVERSE
- A3.3 BUILDING SECTION - TRANSVERSE

PROJECT DIRECTORY

CLIENT	GENERAL CONTRACTOR	GEOTECHNICAL ENGINEER
THE ARMOUR-CHOREBANIAN FAMILY REVOCABLE TRUST 136 DELMAR STREET SAN FRANCISCO, CA 94117	TBD	GEOTECNIA 2422 PROVIDENCE COURT WALNUT CREEK, CA. 94596-6454 (510) 913-1067
ARCHITECT		LUIS MOURA, C.E., G.E., F.ASCE luis@geotecnia.com
DAVID ARMOUR ARCHITECTURE 498 HAIGHT STREET SAN FRANCISCO, CA 94117 (415) 816-2642 DAVID ARMOUR, PRINCIPAL david@armourarchitecture.com		

BUILDING DATA / PROJECT SUMMARY TABLE

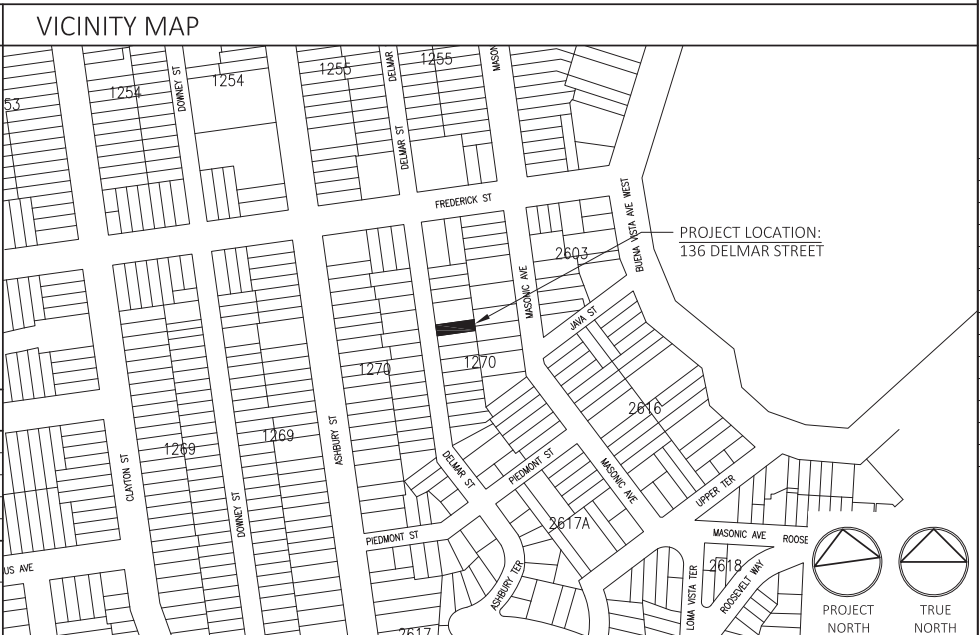
BLOCK & LOT NO.	1270/067A	(E) CONST. TYPE	V-B	(E) HEIGHT	20'-4" (FLAT ROOF)
LOT AREA	25' x 85' = 2,125 SF	(N) CONST. TYPE	V-B	(N) HEIGHT	VARIES (SLOPED ROOF)
ZONING DISTRICT	RH-2				
HEIGHT & BULK	40-X	(E) NO. OF STORIES	1 OVER BASEMENT		
		(N) NO. OF STORIES	3 OVER BASEMENT	TOTAL SOIL DISTURBANCE	~215 CUBIC YARDS
(E) OCCUPANCY, USE	R-3, U (1 FAMILY DWELLING)				
(N) OCCUPANCY, USE	R-3, U (2 FAMILY DWELLING, GARAGE)				

NUMBER OF (E) MARKET RATE DWELLINGS - ONE
NUMBER OF PROPOSED MARKET RATE DWELLINGS - TWO
DWELLING UNIT MIX: (1) ONE BEDROOM, (1) FOUR BEDROOM
NUMBER OF BMR UNITS - NONE
NUMBER OF STATE PROGRAM ADUs - ONE

EFFECTIVE CODES

SAN FRANCISCO PLANNING CODE
2016 CBC & SF AMENDMENTS
2016 CMC & SF AMENDMENTS
2016 CPC & SF AMENDMENTS
2016 CALIFORNIA ELECTRICAL CODE & SF AMENDMENTS
2016 CALIFORNIA ENERGY CODE & SF AMENDMENTS

BUILDING TO RECEIVE AUTOMATIC SPRINKLER SYSTEM PER
2016 CBC SECTION 903.2.8.1 AND INSTALLED PER
2016 CBC SECTION 903.3.1.3
(SEE "SEPARATE PERMITS" BELOW)



SF PLANNING CODE SECTION 102: GROSS AREA CALCULATIONS

LEVEL	EXISTING RESIDENTIAL USE	PROPOSED RESIDENTIAL USE	UNIT #1 - ADU (1 BEDROOM)	UNIT #2 (4-BEDROOM)	EXISTING USABLE OPEN SPACE	PROPOSED USABLE OPEN SPACE (SHARED)	PROPOSED USABLE OPEN SPACE (PRIVATE)
BASEMENT	0	836	669	167	0	0	0
1ST FLOOR	1,030	1,074	0	1,074	806	475	0
2ND FLOOR	0	1,005	0	1,005	---	---	0
3RD FLOOR	0	726	0	719	---	---	59
TOTAL GSF	1,030	3,641	669	2,965	806	475	59
	# EXISTING VEHICLE PARKING SPACES	# PROPOSED VEHICLE PARKING SPACES	EXISTING VEHICLE PARKING AREA, SQ. FT.	PROPOSED VEHICLE PARKING AREA, SQ. FT.	# EXISTING BICYCLE PARKING SPACES	# PROPOSED BICYCLE PARKING SPACES	
	0	1	0	277	0	2	

DEFERRED SUBMITTAL LIST

ADDENDA	CONTENT
1	FOUNDATION
2	SUPERSTRUCTURE

SEPARATE PERMITS

- AUTOMATIC SPRINKLER SYSTEM
-

CBC SECTION 502: BUILDING AREA CALCULATIONS

LEVEL	PROPOSED
BASEMENT	1,113
1ST FLOOR	1,074
2ND FLOOR	1,005
3RD FLOOR	726
TOTAL AREA	3,918

CBC SECTION 502: GROSS FLOOR AREA CALCULATIONS

LEVEL	PROPOSED	'U' OCCUPANCY		'R' OCCUPANCY	
		UNIT 1	UNIT 2	UNIT 1	UNIT 2
BASEMENT	971	251	564	156	
1ST FLOOR	970	0	0	970	
2ND FLOOR	905	0	0	905	
3RD FLOOR	639	0	0	639	
TOTAL AREA	3,485	251	564	2,670	

ISSUANCE	DATE
SITE PERMIT	11/19/18
SITE PERMIT	08/02/21
SITE PERMIT	11/17/21

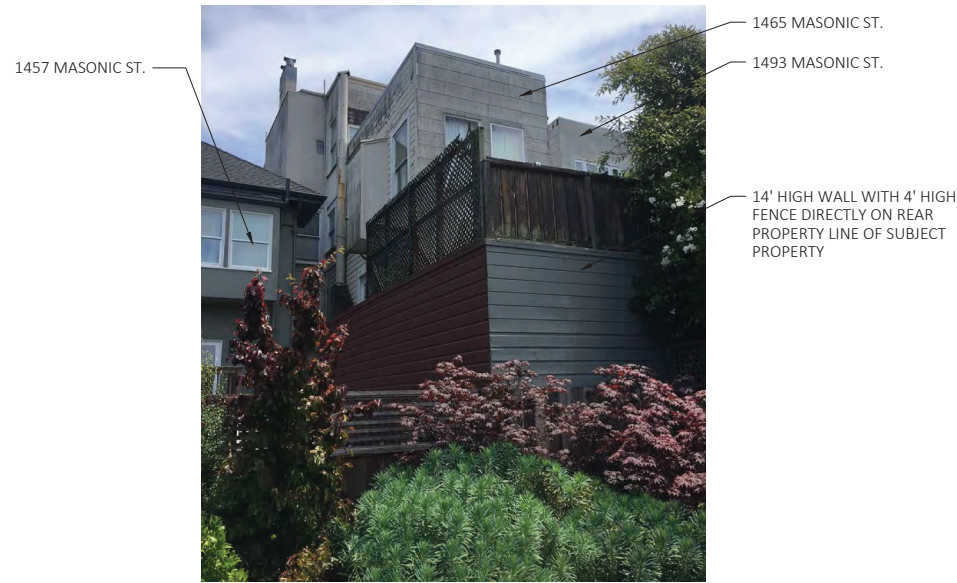
JOB # 1715

COVER SHEET

G1.1

SCALE: N/A

COPYRIGHT © 2021 DAVID ARMOUR ARCHITECTURE - ALL RIGHTS RESERVED



7 PROPERTIES TO REAR OF SUBJECT PROPERTY



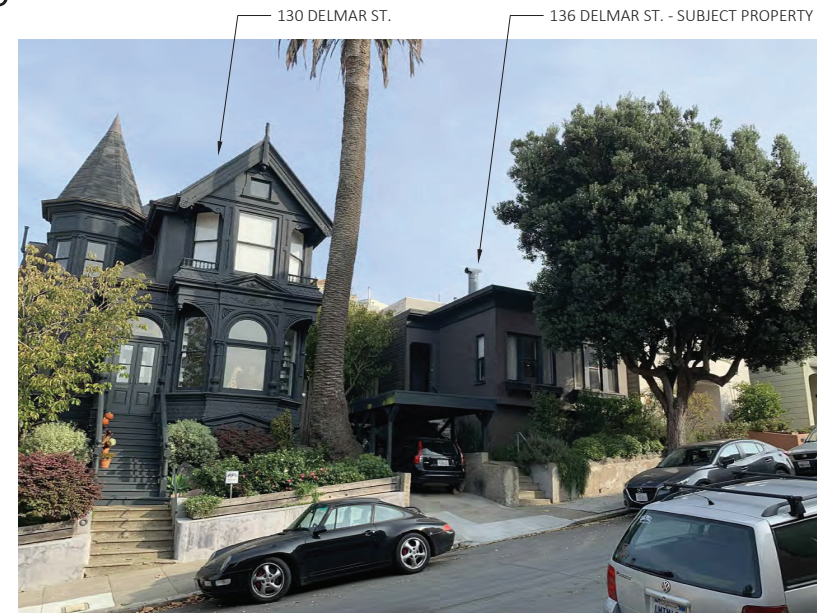
4 STREET ELEVATION - SUBJECT PROPERTY & ADJACENTS



5 STREET ELEVATION - ACROSS FROM SUBJECT PROPERTY



3 SUBJECT PROPERTY - FRONT FACADE



2 STREET ELEVATION - SUBJECT PROPERTY & ADJACENTS



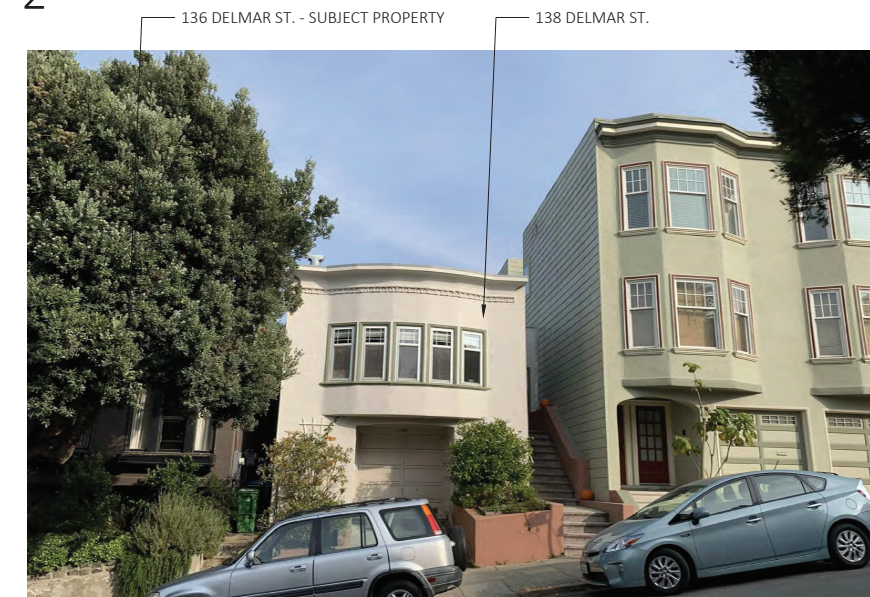
8 PROPERTIES TO REAR OF SUBJECT PROPERTY



9 REAR FACADE OF SUBJECT PROPERTY



6 PHOTO KEY



1 STREET ELEVATION - SUBJECT PROPERTY & ADJACENTS



DAVID ARMOUR ARCHITECTURE

498 HAIGHT STREET
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(415) 440-2880



DELMAR STREET RESIDENCES
136 DELMAR STREET, SAN FRANCISCO, CA 94117

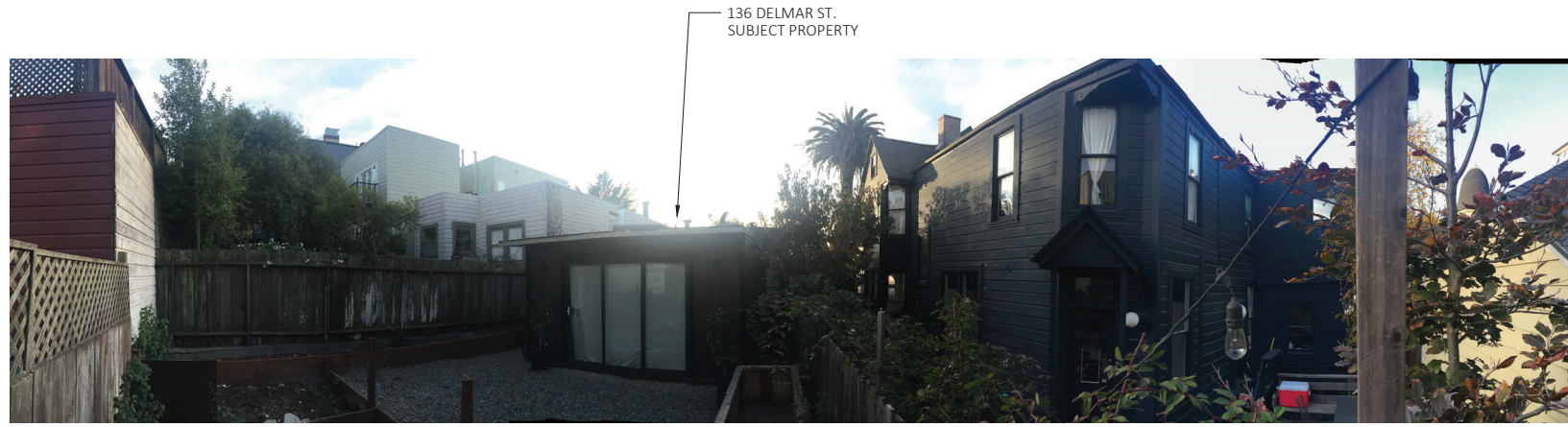
ISSUANCE	DATE
SITE PERMIT	11/19/18
SITE PERMIT	08/02/21
SITE PERMIT	11/17/21

JOB # 1715

PROJECT PHOTOS

G2.1

SCALE:



4 REAR PANORAMA



3 REAR ELEVATIONS



2 STREET ELEVATION - ACROSS FROM SUBJECT PROPERTY

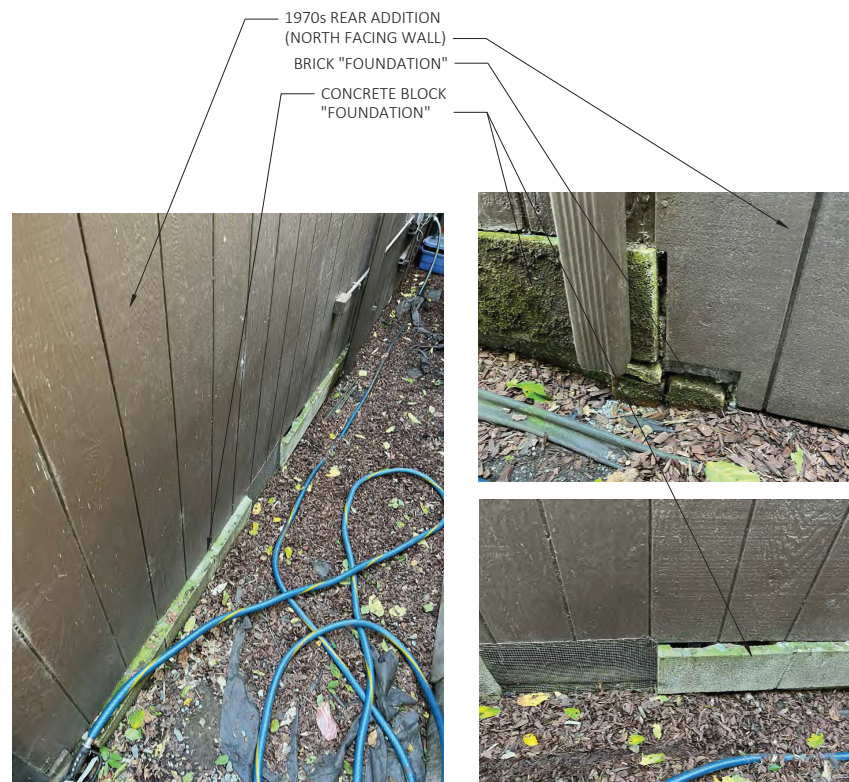


1 STREET ELEVATION - SUBJECT PROPERTY & ADJACENTS



6 136 DELMAR - EXISTING ROOFS

7 136 DELMAR - EXISTING ROOFS



8 136 DELMAR - REAR FOUNDATION



5 PHOTO KEY



DAVID ARMOUR
ARCHITECTURE

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(415) 440-2880



DELMAR STREET RESIDENCES
136 DELMAR STREET, SAN FRANCISCO, CA 94117

ISSUANCE	DATE
SITE PERMIT	11/19/18
SITE PERMIT	08/02/21
SITE PERMIT	11/17/21

JOB # 1715

PROJECT PHOTOS

G2.2

SCALE:



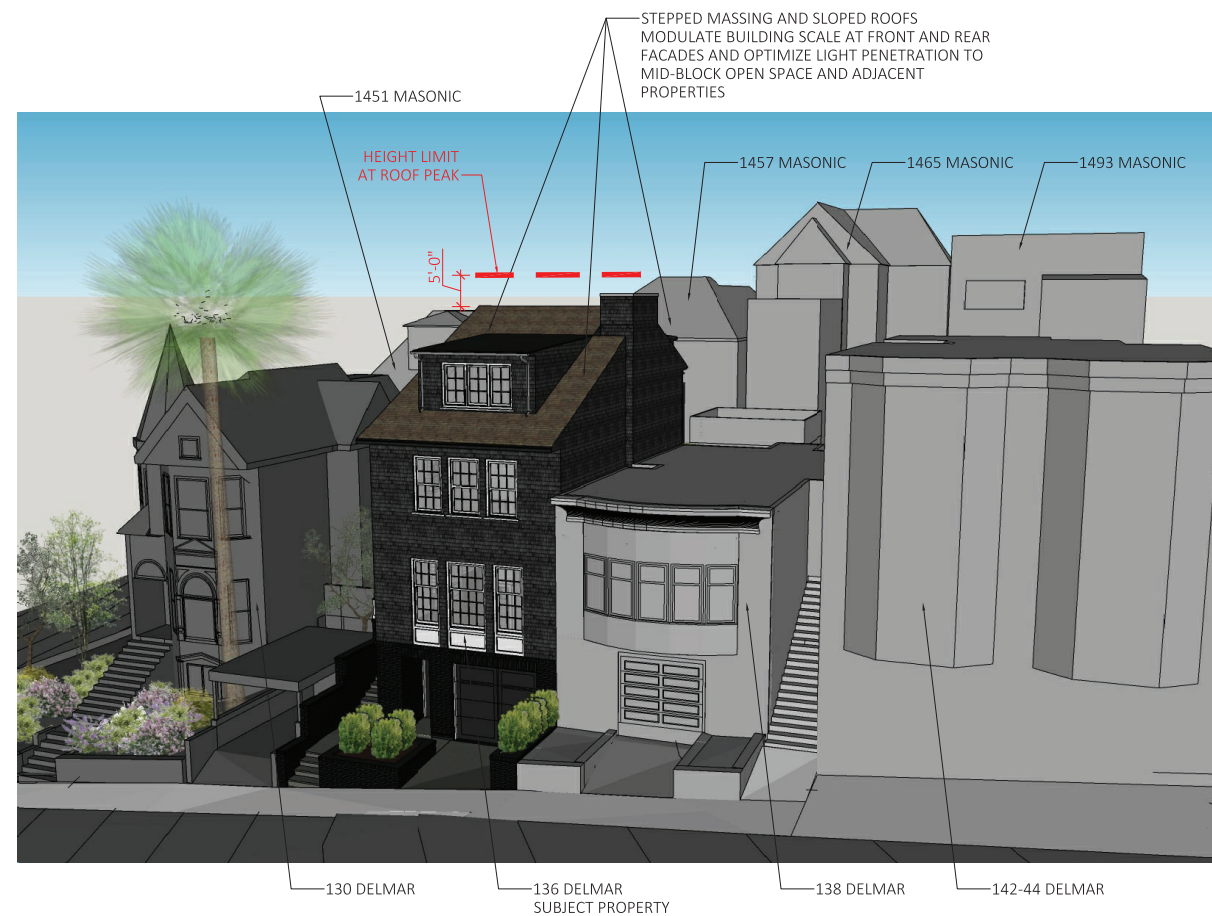
3 VIEW OF FRONT FACADE - LOOKING SOUTHEAST



1 VIEW OF FRONT FACADE - LOOKING EAST



4 BIRD'S EYE VIEW LOOKING SOUTHEAST



2 VIEW OF FRONT FACADE - LOOKING NORTHEAST



DAVID ARMOUR
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DELMAR STREET RESIDENCES
136 DELMAR STREET, SAN FRANCISCO, CA 94117

ISSUANCE	DATE
SITE PERMIT	11/19/18
SITE PERMIT	08/02/21
SITE PERMIT	11/17/21

JOB # 1715

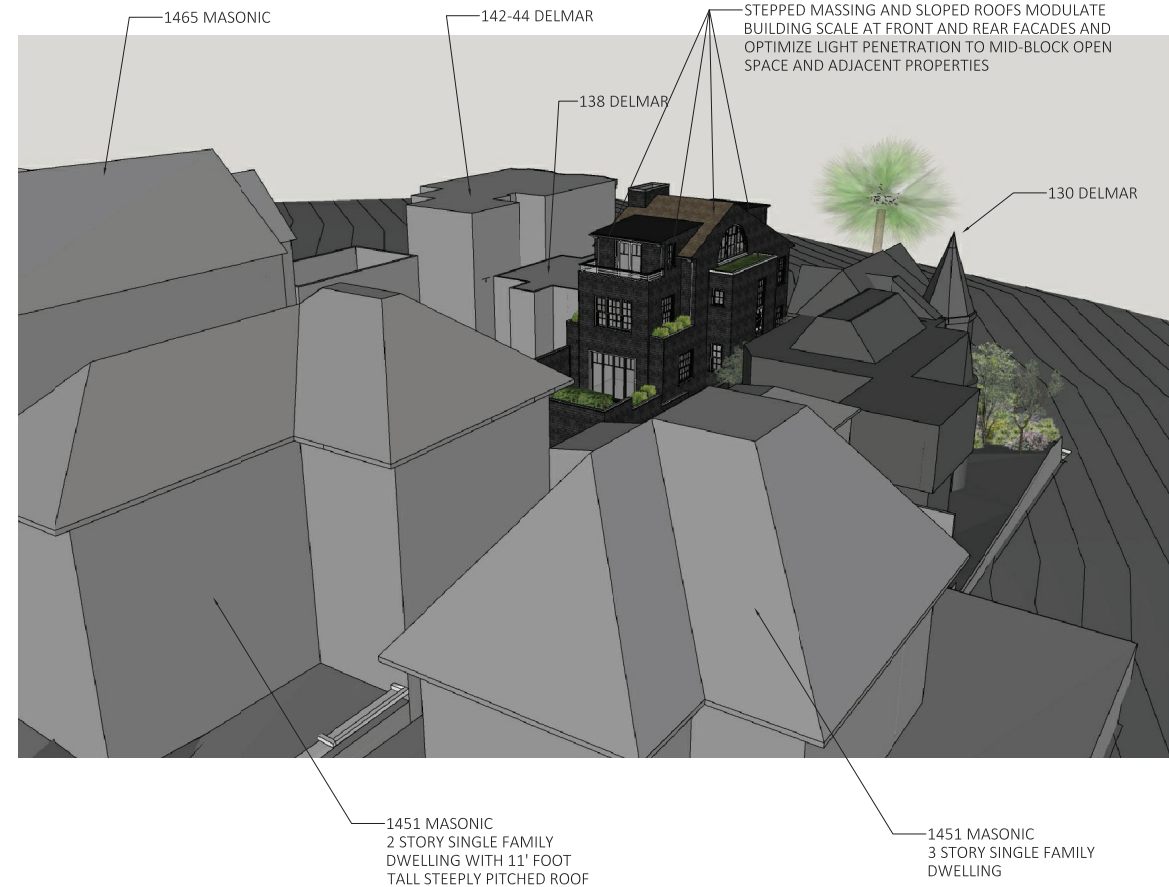
PROJECT IMAGES

G2.3

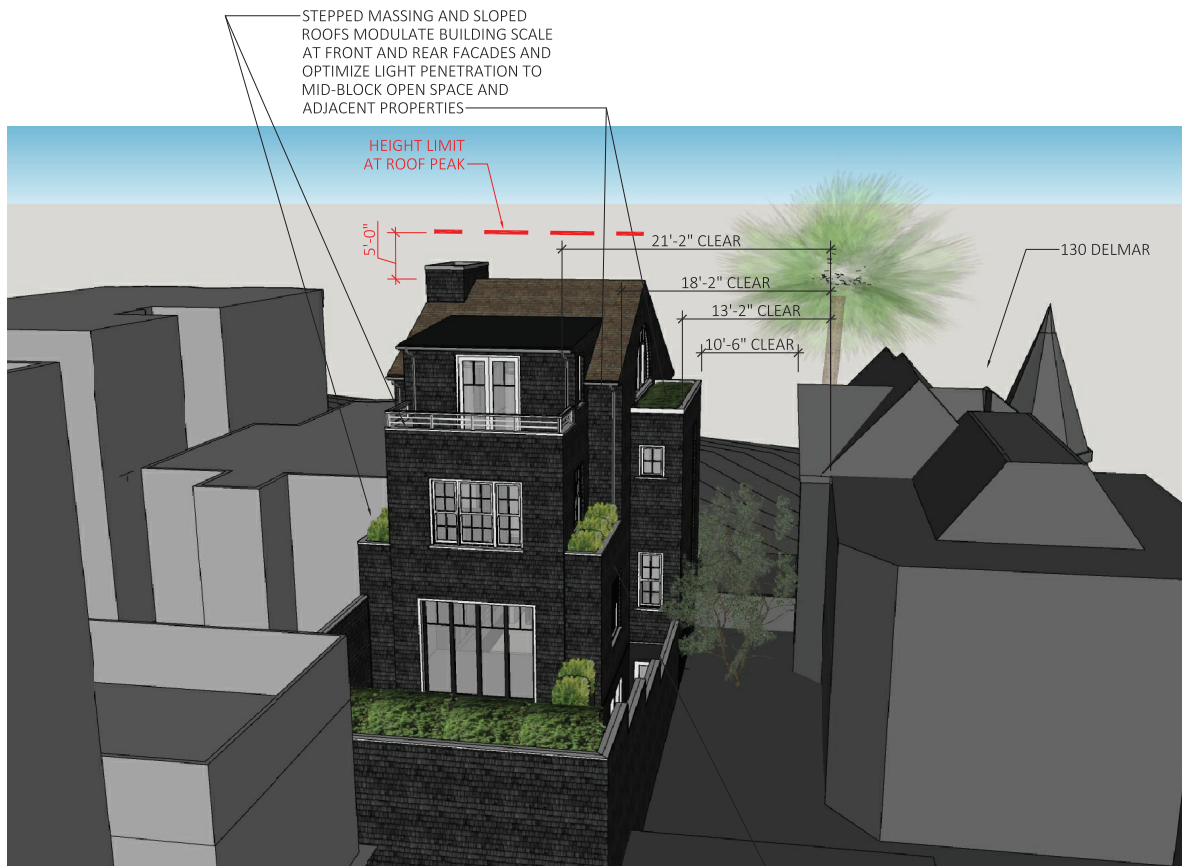
SCALE:



3 BIRD'S EYE VIEW LOOKING EAST



1 BIRD'S EYE VIEW FROM REAR LOOKING SOUTHWEST



4 VIEW OF REAR FACADE - LOOKING WEST



2 VIEW OF REAR FACADE - LOOKING SOUTHWEST



498 HAIGHT STREET
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(415) 440-2880



DELMAR STREET RESIDENCES
136 DELMAR STREET, SAN FRANCISCO, CA 94117

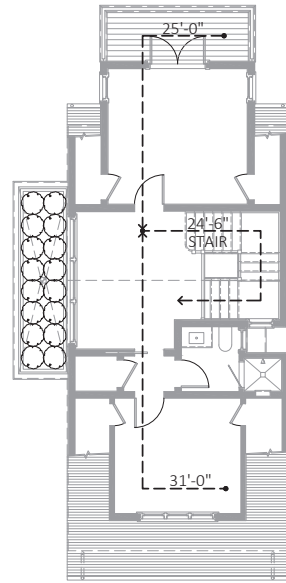
ISSUANCE	DATE
SITE PERMIT	11/19/18
SITE PERMIT	08/02/21
SITE PERMIT	11/17/21

JOB # 1715

PROJECT IMAGES

G2.4

SCALE:



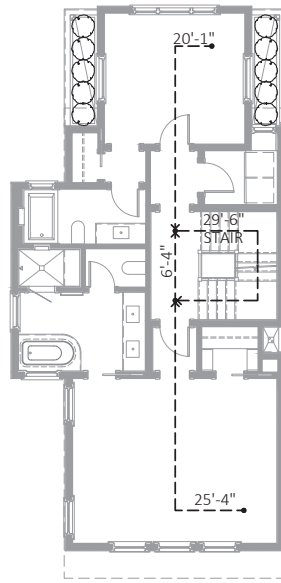
3RD FLOOR

EXIT ACCESS TRAVEL DISTANCE CALCULATED BY FLOOR:

THIRD	31'-0"
STAIR	24'-6"
SECOND	6'-4"
STAIR	29'-6"
FIRST	11'-0"
TOTAL =	102'-4"

PER CBC TABLE 1006.2.2 EXCEPTION 1: EXIT ACCESS TRAVEL DISTANCE FOR BUILDINGS WITH ONE EXIT: 125'

CONCLUSION: ALLOWABLE W/ SPRINKLER



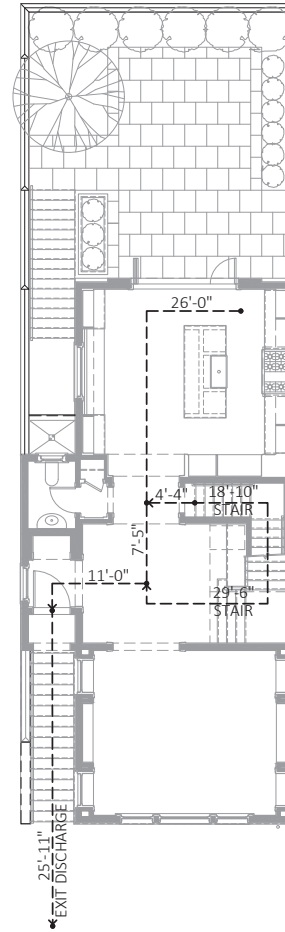
2ND FLOOR

EXIT ACCESS TRAVEL DISTANCE CALCULATED BY FLOOR:

SECOND	25'-4" + 6'-4"
STAIR	29'-6"
FIRST	11'-0"
TOTAL =	72'-2"

PER CBC TABLE 1006.2.2 EXCEPTION 1: EXIT ACCESS TRAVEL DISTANCE FOR BUILDINGS WITH ONE EXIT: 125'

CONCLUSION: ALLOWABLE W/ SPRINKLER



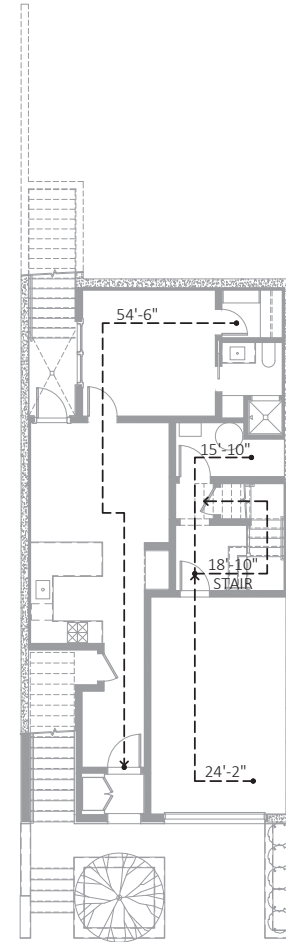
1ST FLOOR

EXIT ACCESS TRAVEL DISTANCE CALCULATED BY FLOOR:

FIRST	11'-0" + 7'-5" + 26'-0"
TOTAL	= 44'-5"

PER CBC TABLE 1006.2.2 EXCEPTION 1: EXIT ACCESS TRAVEL DISTANCE FOR BUILDINGS WITH ONE EXIT: 125'

CONCLUSION: ALLOWABLE W/ SPRINKLER



BASEMENT

EXIT ACCESS TRAVEL DISTANCE CALCULATED BY FLOOR:

BASEMENT	24'-2" + 18'-10" + 4'-4" + 7'-5" + 11'-0"
TOTAL	= 65'-9"

PER CBC TABLE 1006.2.2 EXCEPTION 1: EXIT ACCESS TRAVEL DISTANCE FOR BUILDINGS WITH ONE EXIT: 125'

CONCLUSION: ALLOWABLE W/ SPRINKLER



DAVID ARMOUR
ARCHITECTURE

498 HAIGHT STREET
SAN FRANCISCO, CA 94117
(415) 440-2880



DELMAR STREET RESIDENCES

136 DELMAR STREET, SAN FRANCISCO, CA 94117

ISSUANCE	DATE
SITE PERMIT	11/19/18
SITE PERMIT	08/02/21
SITE PERMIT	11/17/21

JOB # 1715

EGRESS DIAGRAMS

G3.1

SCALE:

ATTACHMENT A



DEPARTMENT OF BUILDING INSPECTION
City & County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

DATE SUBMITTED [Note: This form shall be recorded as part of the permanent construction records of the property]

If no permit application has been filed, a Preapplication Review Fee is required for review of a request for local equivalency or modification, per SFBC Table 1A-B, Item 5. Additional fees may be required by Fire Department and other City review agencies.

If a permit application has been filed, no additional fees are required for this review.

Permit Application #

Property Address: 136 DELMAR STREET

Block and Lot: 1270/067A Occupancy Group: R-3 Type of Construction: V-B No. of Stories: 4

Describe Use of Building SINGLE FAMILY DWELLING

Under the authority of the 2013 San Francisco Building Code, Sections 104A.2.7 and 104A.2.8; the 2013 San Francisco Mechanical Code, Section 103.0; the 2013 San Francisco Electrical Code, Section 89.117; and the 2013 San Francisco Plumbing Code, Section 301.2; the undersigned requests modifications of the provisions of these codes and/or approval of alternate materials, designs or methods of construction. Two copies of supporting documents, including plans showing the proposed modifications or alternate materials, design or methods of construction, are attached.

Regular Code Requirement (specify Code and Sections)

- 2016 SAN FRANCISCO BUILDING CODE
SECTION 1030 EMERGENCY ESCAPE & RESCUE:
REQUIRES SUBJECT OPENING TO OPEN DIRECTLY IN TO PUBLIC WAY OF TO A YARD THAT OPENS TO A PUBLIC WAY

ADMINISTRATIVE BULLETIN

NO. AB-005
DATE: September 18, 2002 (Updated 01/01/2014 for code references)
SUBJECT: Plan Review and Permit Process
TITLE: Procedures for Approval of Local Equivalencies

PURPOSE: The purpose of this Administrative Bulletin is to detail the procedures to be used for the application and case-by-case review of requests for approval of equivalencies, when work is proposed which does not strictly comply with the provisions of the 2013 San Francisco Building, Electrical, Mechanical, or Plumbing Codes.

REFERENCES: 2013 San Francisco Building Code - Section 104A, Organization and Enforcement
- Section 104A.2.7, Modifications
- Section 104A.2.8, Alternate materials, design and methods of construction
DBI Administrative Bulletin AB-042, Board of Examiners: Request for Variance, New Materials, or Alternate Methods of Construction
DBI Administrative Bulletin AB-028, Pre-application and Pre-Addendum Plan Review Procedures

DISCUSSION: Project sponsors may request the application of standard local equivalencies, as detailed in various Administrative Bulletins, or approval of other alternates when it can be demonstrated on a case-by-case basis that there are practical difficulties in meeting the specific provisions of the codes, that the modification is in conformance with the intent and purpose of the codes, and that reasonable equivalency is provided in fire-protection and structural integrity.

Project sponsors may request the application of standard local equivalencies, as detailed in various Administrative Bulletins, or approval of other alternates when it can be demonstrated on a case-by-case basis that there are practical difficulties in meeting the specific provisions of the codes, that the modification is in conformance with the intent and purpose of the codes, and that reasonable equivalency is provided in fire-protection and structural integrity.

Proposed modifications may be administratively approved by the Departments if they conform to the standard provisions of Local Equivalency. Other modifications and applications for use of alternate materials, designs and methods of construction may be administratively approved or may be referred to the Board of Examiners or other review body as appropriate.

Based upon individual building and property conditions, the Department of Building Inspection and other City departments, such as the Fire Department, may impose requirements in addition to those proposed by the project sponsor when approving any request for use of a standard Local Modification, code modification or alternate material, design or method of construction. Additionally, the Department of Building Inspection or any other City agency may require that additional substantiation be provided supporting any claims made for such proposals.

Proposed Modification or Alternate

PER SF DBI INFORMATION SHEET NO. EG-02 OF AUGUST 2, 2013, EMERGENCY ESCAPE AND RESCUE WINDOWS OPEN INTO A REAR YARD WITH A DEPTH OF LARGER THAN 25' WITH NO ACCESS TO PUBLIC WAY.

Case-by-Case Basis of Request - Describe the practical difficulties presented in meeting the specific conditions of the code and how the proposed modification or alternate meets the intent of the code. A separate form should be filled for each requested modification or alternate. Attach copies of any Administrative Bulletin, Code Ruling, reference, test reports, expert opinions, etc., which support this request. The Department may require that an approved consultant be hired by the applicant to perform tests or analysis and to submit an evaluation report to the Department for consideration.

LITERAL COMPLIANCE TO BUILDING CODE IS IMPOSSIBLE SINCE THE BACK YARD DOES NOT CONNECT TO PUBLIC RIGHT OF WAY. LOCAL EQUIVALENCY IS DESCRIBED AND ESTABLISHED IN SF DBI INFORMATION SHEET NO. EG-02 OF AUGUST 2, 2013. BACK YARD IN QUESTION IS 25' DEEP MINIMUM AS REQUIRED BY 2G-02. SEE 1/A0 1 FOR YARD DEPTH. ATTACHMENTS: COPY OF DBI EG-02

Requested by: PROJECT SPONSOR ARCHITECT/ENGINEER
DAVID ARMOUR & LISA CHOREBANIAN DAVID ARMOUR ARCHITECTURE
Signature: [PROFESSIONAL STAMP HERE]
Telephone: 415-440-2880

INFORMATION SHEET

EG-02

2. Other conditions will be evaluated on a case-by-case basis by the Supervisor or Manager. Pre-application meeting and/or approval of AB-005 is required.

Michie Wong Date
Fire Marshal & Assistant Deputy Chief
San Francisco Fire Department

Tom C. Hui, S.E., C.B.O. Date
Acting Director
Department of Building Inspection

This Information Sheet is subject to modification at any time. For the most current version, visit our website at http://www.sfdbi.org

PLAN REVIEWER COMMENTS:
RECOMMENDATIONS: Approve Approve with conditions Disapprove
Plan Reviewer:
Division Manager:
for Director of Bldg. Inspection
for Fire Marshal:
CONDITIONS OF APPROVAL or OTHER COMMENTS



498 HAIGHT STREET
SAN FRANCISCO, CA 94117
(415) 440-2880



DELMAR STREET RESIDENCES
136 DELMAR STREET, SAN FRANCISCO, CA 94117

Table with 2 columns: ISSUANCE, DATE. Rows: SITE PERMIT 11/19/18, SITE PERMIT 08/02/21, SITE PERMIT 11/17/21

JOB # 1715

CODE COMPLIANCE

G4.1

SCALE:


GS1: San Francisco Green Building Site Permit Submittal Form

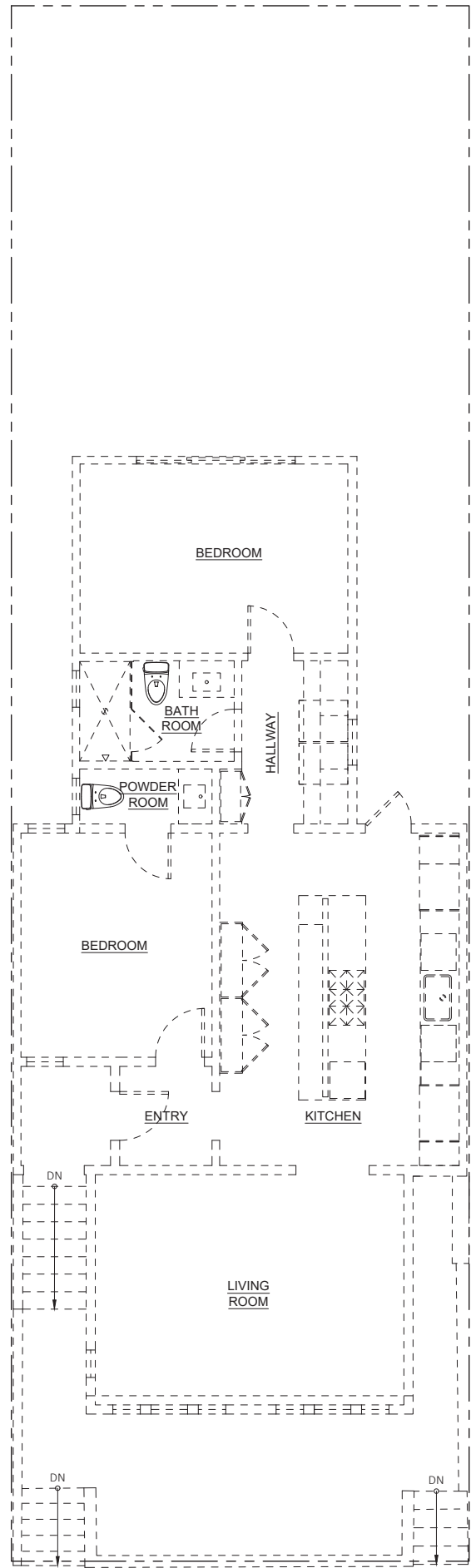
Form version: October 5, 2017 (For permit applications January 2017 - December 2019)

INSTRUCTIONS:

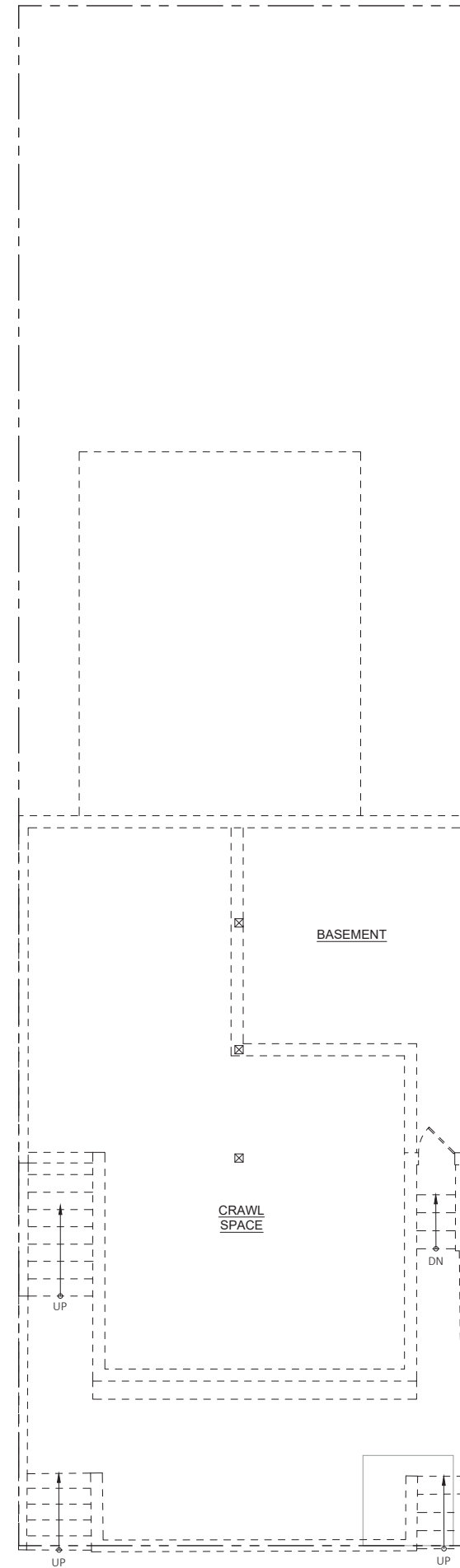
- Select one (1) column to identify project requirements for the project. For addition and alteration projects, applicability of specific requirements may depend upon project scope. Provide the Project Information in the column at right.
- To ensure legibility of DBI archives, submittal must be a minimum of 24" x 36".
- This form is for permit applications submitted January 2017 through December 2019. The prior version may be submitted until January 1, 2018.
- LEED or GreenPoint Rated scorecards are not required with Site Permit applications, but should be used as early as possible.

Attachment GS2, GS3, GS4, GS5 or GS6 will be due with applicable addenda. "FINAL COMPLIANCE VERIFICATION" form is required prior to Certificate of Completion. For Municipal projects, additional Environment Code Chapter 7 requirements may apply; see GS6. See Administrative Bulletin 93 for details.

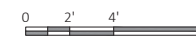
			NEW CONSTRUCTION				ALTERATIONS + ADDITIONS					PROJECT INFO	
			LOW-RISE RESIDENTIAL	HIGH-RISE RESIDENTIAL	LARGE NON-RESIDENTIAL	OTHER NON-RESIDENTIAL	RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS	OTHER RESIDENTIAL ALTERATIONS + ADDITIONS	NON-RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS	FIRST-TIME NON-RESIDENTIAL INTERIORS	OTHER NON-RESIDENTIAL INTERIORS, ALTERATIONS + ADDITIONS		
			R 1-3 Floors	R 4+ Floors	A,B,E,I,M 25,000 sq.ft. or greater	F,H,L,S,U or A,B,E,I,M less than 25,000 sq.ft.	R 25,000 sq.ft. or greater	R adds any amount of conditioned area	B,M 25,000 sq.ft. or greater	A,E,I,M 25,000 sq.ft. or greater	A,B,E,F,H,L,I,M,S,U more than 1,000 sq.ft. or \$200,000		
LEED/GPR	Required LEED or GPR Certification Level	SFGBC 4.103.1.1, 4.103.2.1, 4.103.3.1, 5.103.1.1, 5.103.3.1 & 5.103.4.1	Project is required to achieve sustainability certification listed at right.										DELMAR RESIDENCES
	LEED/GPR Point Adjustment for Retention/Demolition of Historic Features/Building	SFGBC 4.104, 4.105, 5.104 & 5.105	Enter any applicable point adjustments in box at right.										PROJECT NAME
MATERIALS	LOW-EMITTING MATERIALS	CALGreen 4.504.2.1-5 & 5.504.4.1-6, SFGBC 4.103.3.2, 5.103.1.9, 5.103.3.2 & 5.103.4.2	Use products that comply with the emission limit requirements of 4.504.2.1-5, 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products. Major alterations to existing residential buildings must use low-emitting coatings, adhesives and sealants, and carpet systems that meet the requirements for GPR measures K2, K3 and L2 or LEED EQc2, as applicable. New large non-residential interiors and major alterations to existing residential and non-residential buildings must also use interior paints, coatings, sealants, and adhesives when applied on-site, flooring and composite wood that meet the requirements of LEED credit Low-Emitting Materials (EQc2).										1270/067A
	INDOOR WATER USE REDUCTION	CALGreen 4.303.1 & 5.303.3, SFGBC 5.103.1.2, SF Housing Code sec.12A10, SF Building Code ch.13A	Meet flush/flow requirements for: toilets (1.28gpf); urinals (0.125gpf wall, 0.5gpf floor); showerheads (2.0gpm); lavatories (1.2gpm private, 0.5gpm public/common); kitchen faucets (1.8gpm); wash fountains (1.8gpm); metering faucets (0.2gpc); food waste disposers (1gpm/8gpm). Residential projects must upgrade all non-compliant fixtures per SF Housing Code sec.12A10. Large non-residential interiors, alterations & additions must upgrade all non-compliant fixtures per SF Building Code ch.13A. New large non-residential buildings must also achieve minimum 30% indoor potable water use reduction as calculated to meet LEED credit Indoor Water Use Reduction (WEc2).										BLOCK/LOT
WATER	NON-POTABLE WATER REUSE	Health Code art.12C	New buildings ≥ 40,000 sq. ft. must calculate a water budget. New buildings ≥ 250,000 sq. ft. must treat and use available rainwater, graywater, and foundation drainage and use in toilet and urinal flushing and irrigation. See www.sfwater.org for details.										136 DELMAR STREET
	WATER-EFFICIENT IRRIGATION	Administrative Code ch.63	New construction projects with aggregated landscape area ≥ 500 sq. ft., or existing projects with modified landscape area ≥ 1,000 sq. ft. shall use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated ETAF (.55 for residential, .45 for non-residential or less) or by prescriptive compliance for projects with ≤ 2,500 sq. ft. of landscape area. See www.sfwater.org for details.										SAN FRANCISCO, CA 94117
	WATER METERING	CALGreen 5.303.1	Provide submeters for spaces projected to consume >1,000gal/day (or >100gal/day in buildings >50,000 sq. ft.).										ADDRESS
	ENERGY EFFICIENCY	CA Energy Code	Comply with all provisions of the CA Title 24 Part 6 Energy Standards.										R-3, U - 2 FAMILY DWELLING, GARAGE
ENERGY	BETTER ROOFS	SFGBC 4.201.1 & 5.201.1.2	New non-residential buildings >2,000 sq. ft. and ≤10 occupied floors, and new residential buildings of any size and ≤10 occupied floors, must designate 15% of roof Solar Ready, per Title 24 rules. Install photovoltaics or solar hot water systems in this area. With Planning Department approval, projects subject to SFPUC Stormwater Requirements may substitute living roof for solar energy systems.										PRIMARY OCCUPANCY
	RENEWABLE ENERGY	SFGBC 5.201.1.3	Non-residential buildings with ≥11 floors must acquire at least 1% of energy from on-site renewable sources, purchase green energy credits, or achieve 5 points under LEED credit Optimize Energy Performance (EAc2).										XXXX SF
	COMMISSIONING (Cx)	CALGreen 5.410.2 - 5.410.4.5.1	For projects ≥10,000 sq. ft. include OPR, BOD, and commissioning plan in design & construction. Commission to comply. Alterations & additions with new HVAC equipment must test and adjust all equipment.										GROSS BUILDING AREA
	BICYCLE PARKING	CALGreen 5.106.4, Planning Code sec.155.1-2	Provide short- and long-term bike parking equal to 5% of motorized vehicle parking, or meet SF Planning Code sec.155.1-2, whichever is greater.										
DESIGNATED PARKING	CALGreen 5.106.5.2	Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles.										DESIGN PROFESSIONAL or PERMIT APPLICANT (sign & date)	
WIRING FOR EV CHARGERS	CALGreen 4.106.4 & 5.106.5.3	Install infrastructure to provide electricity for EV chargers at 6% of spaces for non-residential (5.106.5.3), 3% of spaces for multifamily with ≥17 units (4.106.4.2), and each space in 1-2 unit dwellings (4.106.4.1). Installation of chargers is not required.											
WASTE DIVERSION	RECYCLING BY OCCUPANTS	SF Building Code AB-088	Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials.										
	CONSTRUCTION & DEMOLITION (C&D) WASTE MANAGEMENT	SFGBC 4.103.2.3 & 5.103.1.3.1, Environment Code ch.14, SF Building Code ch.13B	For 100% of mixed C&D debris use registered transporters and registered processing facilities with a minimum of 65% diversion rate. Divert a minimum of 75% of total C&D debris if noted.										
HVAC	HVAC INSTALLER QUALS	CALGreen 4.702.1	Installers must be trained and certified in best practices.										
	HVAC DESIGN	CALGreen 4.507.2	HVAC shall be designed to ACCA Manual J, D, and S.										
	REFRIGERANT MANAGEMENT	CALGreen 5.508.1	Use no halons or CFCs in HVAC.										
GOOD NEIGHBOR	LIGHT POLLUTION REDUCTION	CA Energy Code, CALGreen 5.106.8	Comply with CA Energy Code for Lighting Zones 1-4. Comply with 5.106.8 for Backlight/Uplight/Glare.										
	BIRD-SAFE BUILDINGS	Planning Code sec.139	Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity.										
	TOBACCO SMOKE CONTROL	CALGreen 5.504.7, Health Code art.19F	For non-residential projects, prohibit smoking within 25 feet of building entries, air intakes, and operable windows. For residential projects, prohibit smoking within 10 feet of building entries, air intakes, and operable windows and enclosed common areas.										
POLLUTION PREVENTION	STORMWATER CONTROL PLAN	Public Works Code art.4.2 sec.147	Projects disturbing ≥5,000 sq. ft. in combined or separate sewer areas, or replacing ≥2,500 impervious sq. ft. in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements. See www.sfwater.org for details.										
	CONSTRUCTION SITE RUNOFF CONTROLS	Public Works Code art.4.2 sec.146	Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices. See www.sfwater.org for details.										
INDOOR ENVIRONMENTAL QUALITY	ACOUSTICAL CONTROL	CALGreen 5.507.4.1-3, SF Building Code sec.1207	Non-residential projects must comply with sound transmission limits (STC-50 exteriors near freeways/airports; STC-45 exteriors if 65db Leq at any time; STC-40 interior walls/floor-ceilings between tenants). New residential projects interior noise due to exterior sources shall not exceed 45dB.										
	AIR FILTRATION (CONSTRUCTION)	CALGreen 4.504.1-3 & 5.504.1-3	Seal permanent HVAC ducts/equipment stored onsite before installation.										
	AIR FILTRATION (OPERATIONS)	CALGreen 5.504.5.3, SF Health Code art.38	Non-residential projects must provide MERV-8 filters on HVAC for regularly occupied, actively ventilated spaces. Residential new construction and major alteration & addition projects in Air Pollutant Exposure Zones per SF Health Code art.38 must provide MERV-13 filters on HVAC.										
	CONSTRUCTION IAQ MANAGEMENT PLAN	SFGBC 5.103.1.8	During construction, meet SMACNA IAQ guidelines; provide MERV-8 filters on all HVAC.										
RESIDENTIAL	GRADING & PAVING	CALGreen 4.106.3	Show how surface drainage (grading, swales, drains, retention areas) will keep surface water from entering the building.										
	RODENT PROOFING	CALGreen 4.406.1	Seal around pipe, cable, conduit, and other openings in exterior walls with cement mortar or DBI-approved similar method.										
	FIREPLACES & WOODSTOVES	CALGreen 4.503.1	Install only direct-vent or sealed-combustion, EPA Phase II-compliant appliances.										
	CAPILLARY BREAK, SLAB ON GRADE	CALGreen 4.505.2	Slab on grade foundation requiring vapor retarder also requires a capillary break such as: 4 inches of base 1/2-inch aggregate under retarder; slab design specified by licensed professional.										
	MOISTURE CONTENT	CALGreen 4.505.3	Wall and floor wood framing must have <19% moisture content before enclosure.										
	BATHROOM EXHAUST	CALGreen 4.506.1	Must be ENERGY STAR compliant, ducted to building exterior, and its humidistat shall be capable of adjusting between <50% to >80% (humidistat may be separate component).										



2 FIRST FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



1 BASEMENT PLAN - DEMOLITION
1/4" = 1'-0"



DEMOLITION KEY NOTES
 ① COMPLETELY DEMOLISH (E)
 STRUCTURE AND SITE
 IMPROVEMENTS



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 498 HAIGHT STREET
 SAN FRANCISCO, CA 94117
 (415) 440-2880



DELMAR STREET RESIDENCES
 136 DELMAR STREET, SAN FRANCISCO, CA 94117

ISSUANCE	DATE
SITE PERMIT	11/19/18
SITE PERMIT	08/02/21
SITE PERMIT	11/17/21

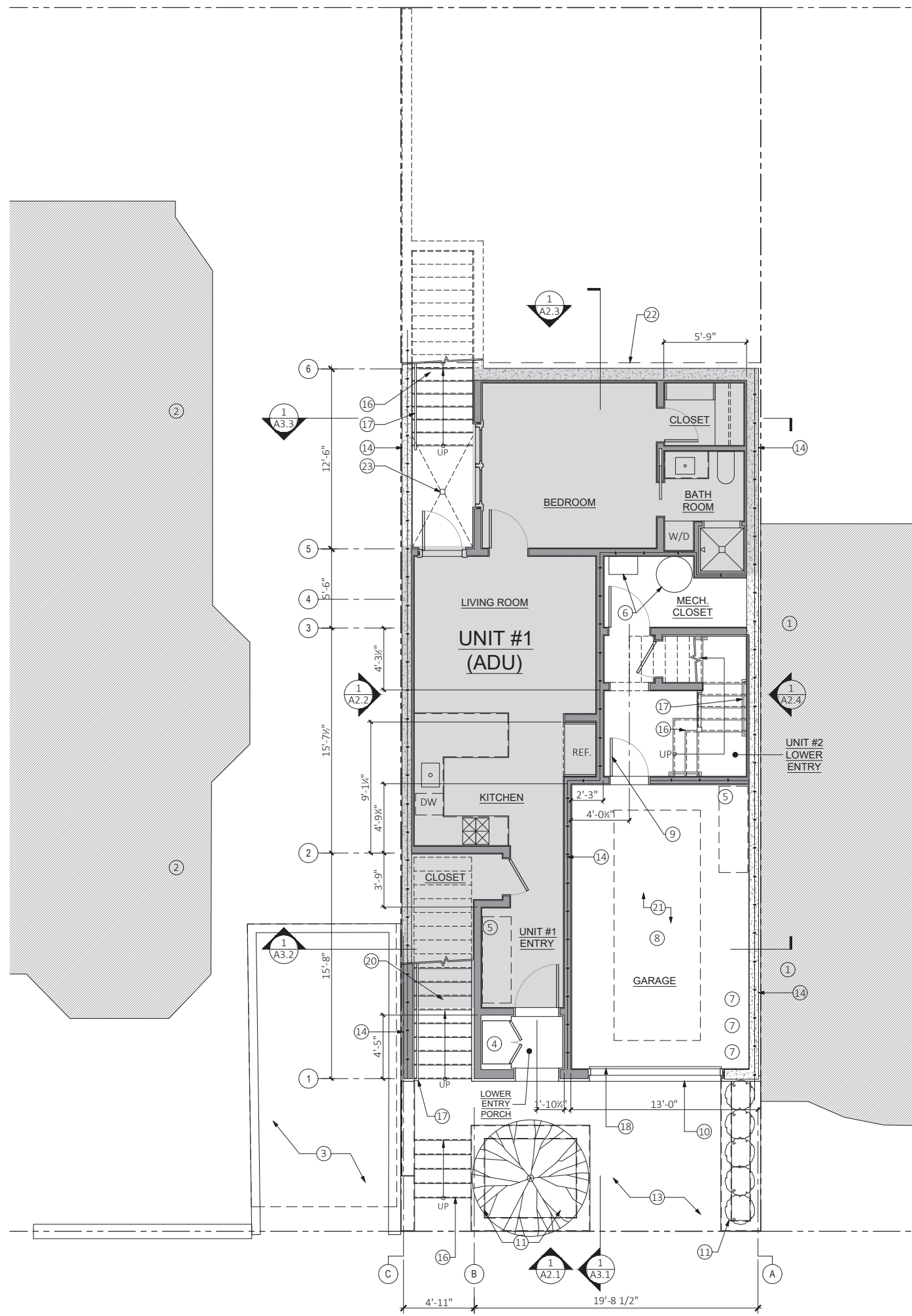
JOB # 1715

BASEMENT PLAN
 FIRST FLOOR PLAN -
 DEMO

D1.0

SCALE:

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- KEY NOTES**
- ① ADJACENT BUILDING (138 DELMAR)
 - ② ADJACENT BUILDING (130 DELMAR)
 - ③ ADJACENT CARPORT (130 DELMAR)
 - ④ GAS AND ELECTRICAL SERVICE EQUIPMENT
 - ⑤ 2'X6' CLASS ONE BICYCLE STORAGE FOR (1) BICYCLE
 - ⑥ HYDRONIC HEATING EQUIPMENT
 - ⑦ TRASH, COMPOST & RECYCLING TOTERS
 - ⑧ PARKING FOR ONE CAR
 - ⑨ 20 MIN. RATED, SELF-CLOSING FIRE DOOR PER 2016 CBC SECTION 716.5.3
 - ⑩ TRENCH DRAIN
 - ⑪ PLANTER
 - ⑫ NOT USED
 - ⑬ PERMEABLE COBBLESTONE FINISH
 - ⑭ ONE-HOUR RATED WALL
 - ⑮ NOT USED
 - ⑯ STAIR WITH MAX. 7-1/2" RISERS & MIN. 10" TREADS
 - ⑰ HANDRAIL AT 36" ABOVE FINISHED NOSING PER CBC SEC. 1014
 - ⑱ PROVIDE MIN. 200 SQ. IN OF VENTILATION PER SFBC SEC. 406.3.7
 - ⑲ NOT USED
 - ⑳ PROVIDE $\frac{5}{8}$ " TYP. 'X' GWB AT UNDERSIDE OF STAIR PER CBC SEC. 1011.7.3
 - ㉑ PROVIDE $\frac{5}{8}$ " TYP. 'X' GWB AT GARAGE CEILING
 - ㉒ LINE OF REQUIRED REAR YARD PER SF PLANNING CODE SEC. 134 (c)(3)(e) - REDUCTION OF REQUIREMENTS
 - ㉓ DOUBLE FLOOR DRAIN BELOW PEDESTAL SET PAVERS
 - ㉔ FRONT SETBACK PER SF PLANNING CODE SEC. 132(b)



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DELMAR STREET RESIDENCES
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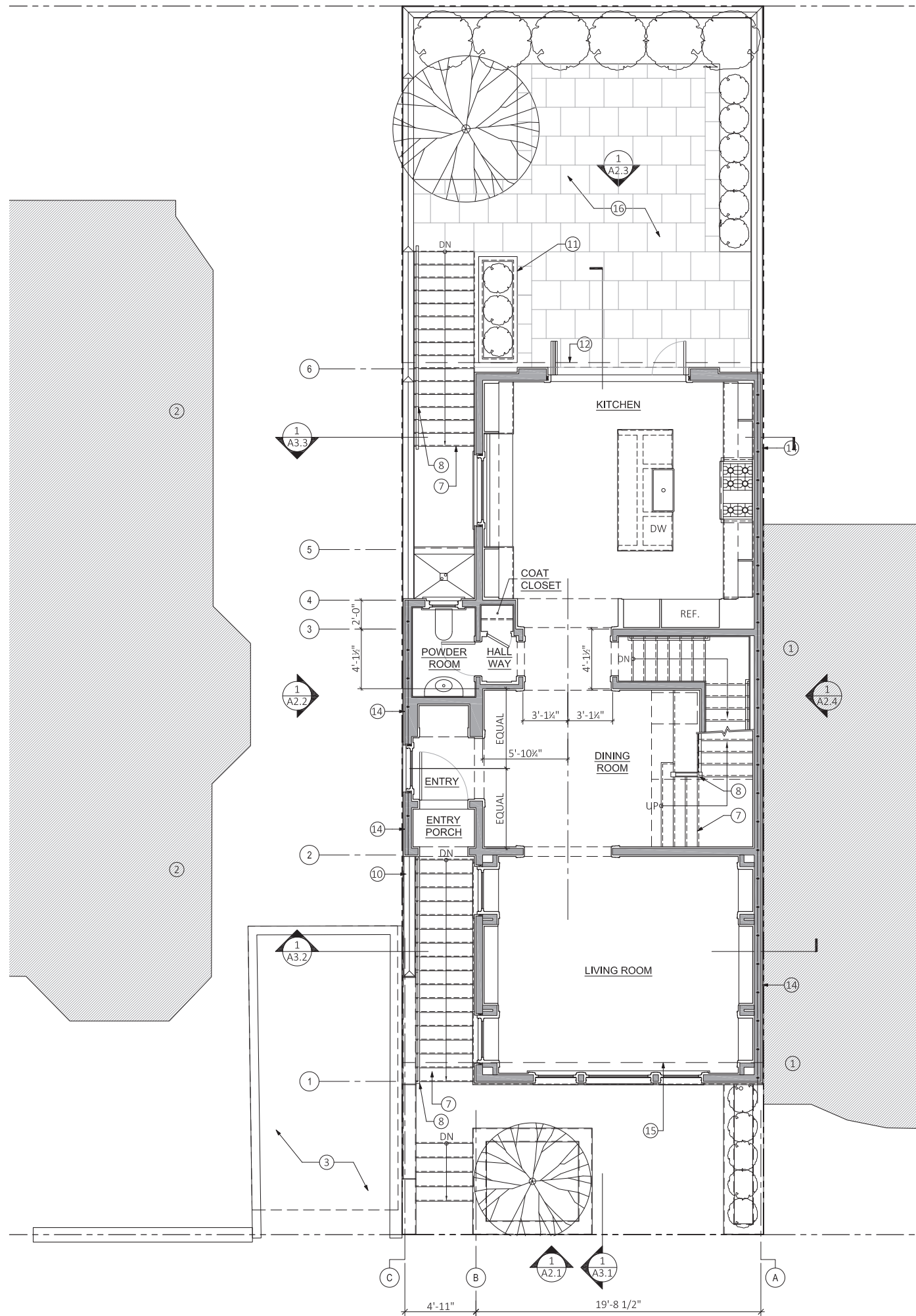
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BASEMENT FLOOR PLAN - PROPOSED

A1.0
SCALE: 1/4" = 1'-0"



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KEY NOTES

- ① ADJACENT BUILDING (138 DELMAR)
- ② ADJACENT BUILDING (130 DELMAR)
- ③ ADJACENT CARPORT (130 DELMAR)
- ④ ONE-HOUR RATED ROOF PER CBC SEC. 705.11.5.1
- ⑤ SKYLIGHT
- ⑥ DOUBLE ROOF DRAIN WITH SECOND INLET LOCATED 2" ABOVE FIRST INLET
- ⑦ STAIR WITH MAX. 7-1/2" RISERS & MIN. 10" TREADS
- ⑧ HANDRAIL AT 36" ABOVE FINISHED NOSING PER CBC SEC. 1014
- ⑨ WOOD TRELLIS
- ⑩ GUARD RAIL AT 42" AFF MIN.
- ⑪ PLANTER
- ⑫ LINE OF REQUIRED REAR YARD PER SF PLANNING CODE SEC. 134 (C)(3)(e) - REDUCTION OF REQUIREMENTS
- ⑬ ROOF OVERHANG ABOVE
- ⑭ ONE-HOUR RATED WALL
- ⑮ FRONT SETBACK PER SF PLANNING CODE SEC. 132(b)
- ⑯ STONE PATIO



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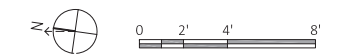
ISSUANCE	DATE
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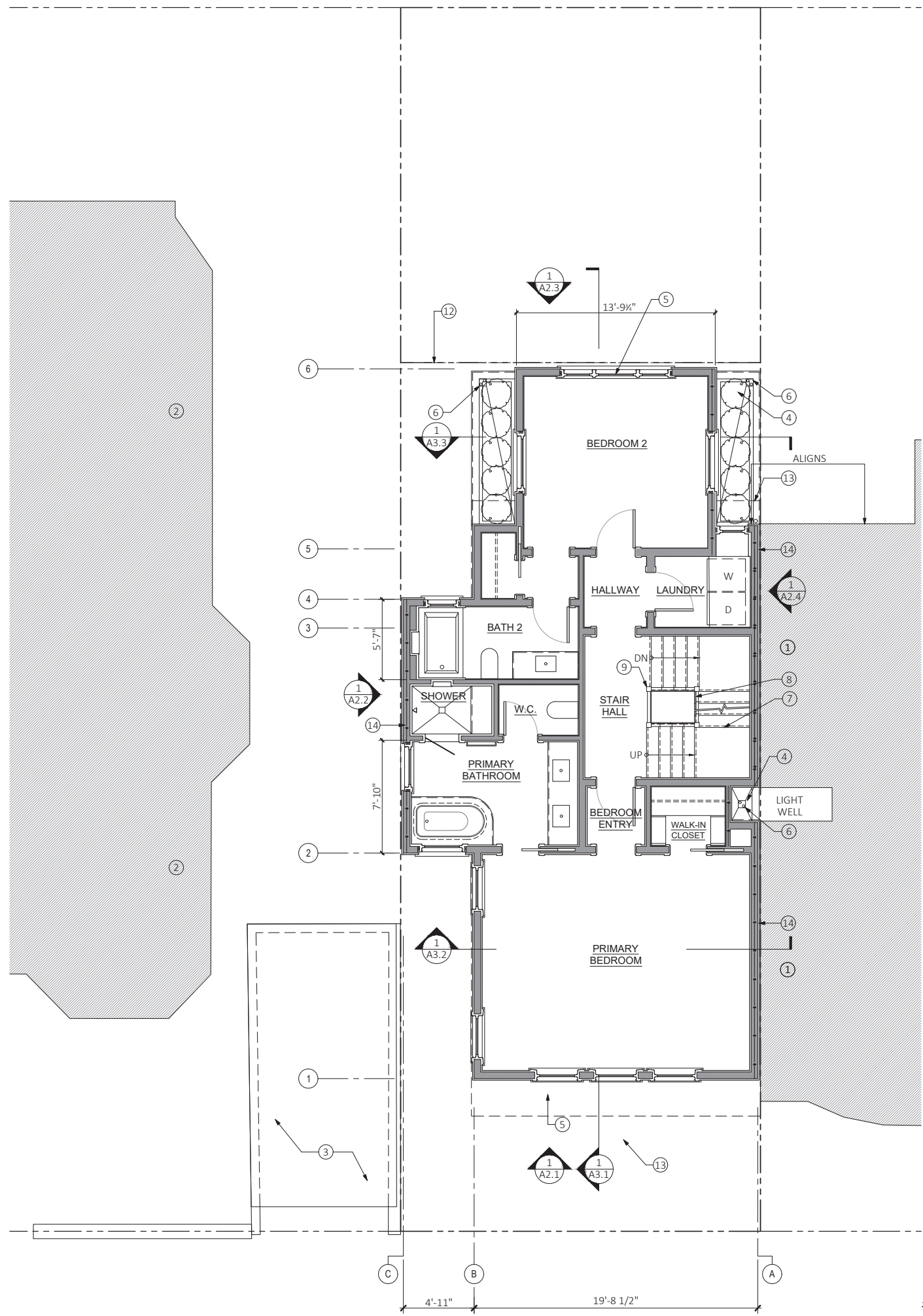
FIRST FLOOR PLAN - PROPOSED

A1.1

SCALE: 1/4" = 1'-0"



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- KEY NOTES**
- ① ADJACENT BUILDING (138 DELMAR)
 - ② ADJACENT BUILDING (130 DELMAR)
 - ③ ADJACENT CARPORT (130 DELMAR)
 - ④ ONE-HOUR RATED ROOF PER CBC SEC. 705.11.5.1
 - ⑤ EMERGENCY ESCAPE AND RESCUE WINDOW PER CBC 1030.1
 - ⑥ DOUBLE ROOF DRAIN WITH SECOND INLET LOCATED 2" ABOVE FIRST INLET
 - ⑦ STAIR WITH MAX. 7-1/2" RISERS & MIN. 10" TREADS
 - ⑧ HANDRAIL AT 36" ABOVE FINISHED NOSING AT STAIR PER CBC SEC. 1014
 - ⑨ GUARDS MIN. 42" A.F.F. AT LEVEL LANDING PER CBC SEC. 1015.3
 - ⑩ AREA OF UNPROTECTED OPENINGS LIMITED TO MAX. 25% OF WALL PER CBC. 705.8.1, TABLE 705.8
 - ⑪ NOT USED
 - ⑫ LINE OF REQUIRED REAR YARD PER SF PLANNING CODE SEC. 134 (c)(3)(e) - REDUCTION OF REQUIREMENTS
 - ⑬ ROOF OVERHANG ABOVE
 - ⑭ ONE-HOUR RATED WALL
 - ⑮ FRONT SETBACK PER SF PLANNING CODE SEC. 132(b)
 - ⑯ NOT USED
 - ⑰ STANDING SEAM METAL ROOFING



DELMAR STREET RESIDENCES
136 DELMAR STREET, SAN FRANCISCO, CA 94117

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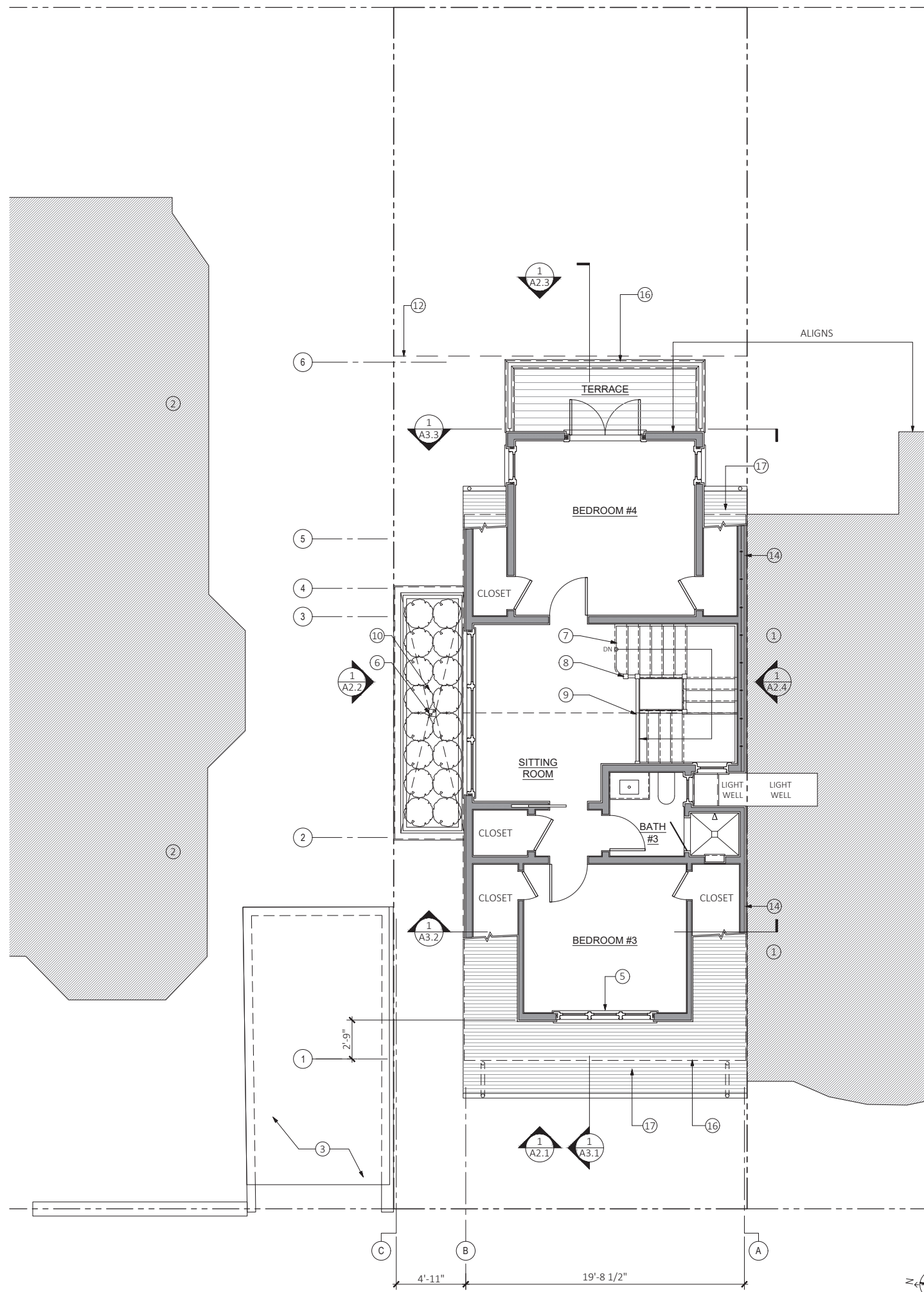
SECOND FLOOR PLAN - PROPOSED

A1.2

SCALE: 1/4" = 1'-0"



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- KEY NOTES**
- ① ADJACENT BUILDING (138 DELMAR)
 - ② ADJACENT BUILDING (130 DELMAR)
 - ③ ADJACENT CARPORT (130 DELMAR)
 - ④ ONE-HOUR RATED PARAPET PER CBC SEC. 705.11
 - ⑤ EMERGENCY ESCAPE AND RESCUE WINDOW PER CBC 1030.1
 - ⑥ DOUBLE ROOF DRAIN WITH SECOND INLET LOCATED 2" ABOVE FIRST INLET
 - ⑦ STAIR WITH MAX. 7-1/2" RISERS & MIN. 10" TREADS
 - ⑧ HANDRAIL AT 36" ABOVE FINISHED NOSING AT STAIR PER CBC SEC. 1014
 - ⑨ GUARDS MIN. 42" A.F.F. AT LEVEL LANDING PER CBC SEC. 1015.3
 - ⑩ ONE-HOUR RATED ROOF PER CBC SEC. 705.11.5.1
 - ⑪ NOT USED
 - ⑫ LINE OF REQUIRED REAR YARD PER SF PLANNING CODE SEC. 134 (c)(3)(e) - REDUCTION OF REQUIREMENTS
 - ⑬ ROOF OVERHANG ABOVE
 - ⑭ ONE-HOUR RATED WALL
 - ⑮ FRONT SETBACK PER SF PLANNING CODE SEC. 132(b)
 - ⑯ WALL BELOW (SHOWN DASHED)
 - ⑰ CEDAR SHINGLE ROOFING (FIRE TREATED)



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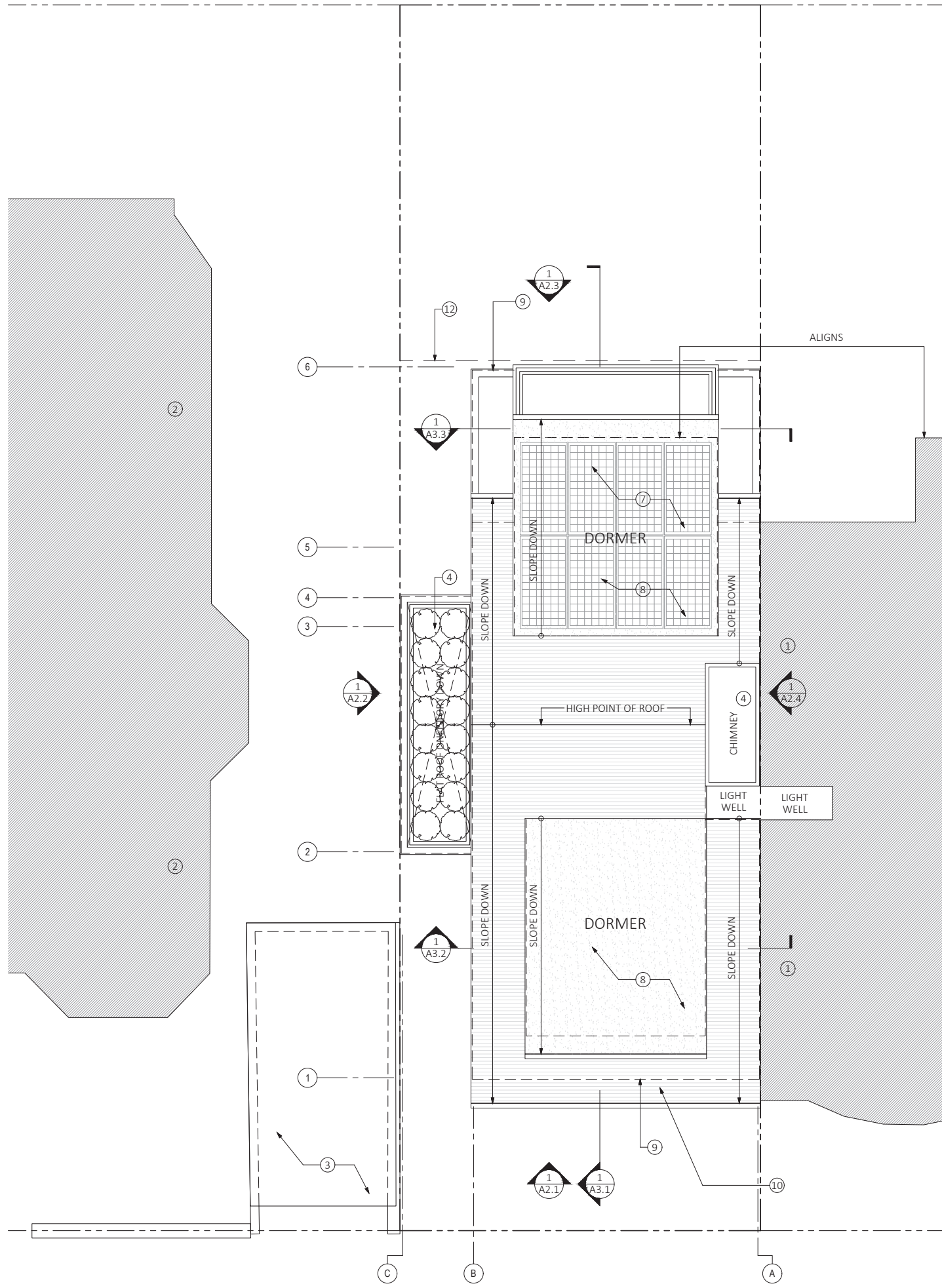
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ISSUANCE	DATE
SITE PERMIT	11/19/18
SITE PERMIT	08/02/21
SITE PERMIT	11/17/21

JOB # 1715

THIRD FLOOR PLAN - PROPOSED
A1.3
 SCALE: 1/4" = 1'-0"

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- KEY NOTES**
- ① ADJACENT BUILDING (138 DELMAR ST.)
 - ② ADJACENT BUILDING (130 DELMAR ST.)
 - ③ ADJACENT CARPORT (130 DELMAR ST.)
 - ④ ONE-HOUR RATED ROOF PER CBC SEC. 705.11.5.1
 - ⑤ NOT USED
 - ⑥ TERRACE AT 3RD FLOOR BELOW
 - ⑦ PHOTOVOLTAIC PANELS
 - ⑧ MODIFIED BITUMEN ROOFING
 - ⑨ LINE OF WALL BELOW
 - ⑩ CEDAR SHINGLE ROOFING (FIRE TREATED)
 - ⑪ NOT USED
 - ⑫ LINE OF REQUIRED REAR YARD PER SF PLANNING CODE SEC. 134 (c)(3)(e) - REDUCTION OF REQUIREMENTS
 - ⑬ NOT USED
 - ⑭ NOT USED
 - ⑮ FRONT SETBACK PER SF PLANNING CODE SEC. 132(b)



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DELMAR STREET RESIDENCES
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ROOF PLAN - PROPOSED

A1.4
SCALE: 1/4" = 1'-0"



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1 WEST EXTERIOR ELEVATION - PROPOSED
1/4" = 1'-0"

SHEET NOTES

- ① ADJACENT BUILDING (138 DELMAR ST.)
- ② ADJACENT BUILDING (130 DELMAR ST.)
- ③ ADJACENT CARPORT (130 DELMAR STREET)
- ④ (N) STONE TREADS AND RISERS
- ⑤ (N) PTD. MTL. HANDRAIL AT 36" ABOVE FINISHED NOSING TO COMPLY W/ CBC 1014
- ⑥ (N) PTD. WD. GUARD - 42" A.F.F. AT LEVEL SURFACES TO COMPLY W/ CBC 1015.3
- ⑦ PTD. CEDAR SHINGLES, TYP.
- ⑧ PTD. WD. WINDOWS, TYP.
- ⑨ PTD. WD. ENTRY DOOR
- ⑩ MODIFIED BITUMEN ROOFING
- ⑪ METAL GUTTER & RAIN WATER LEADER, TYP.
- ⑫ PTD. WD. TRIM
- ⑬ CONCRETE PLANTER/SITE WALLS WITH ROMAN BRICK VENEER
- ⑭ CEDAR SHINGLE ROOFING (FIRE TREATED)
- ⑮ PTD. WD. GARAGE DOOR
- ⑯ CHIMNEY W/ SHINGLED WALLS AND METAL SHROUD - TO CONCEAL ALL PLUMBING AND MECHANICAL VENTS- EXEMPTED FROM HEIGHT LIMIT PER SF PLANNING CODE SEC. 260(B)(A)
- ⑰ DORMER, EXEMPTED FROM HEIGHT LIMIT PER SF PLANNING CODE SEC.260(b)(B)
- ⑱ ROMAN BRICK VENEER
- ⑲ HEIGHT LIMIT PER SF PLANNING CODE SEC. 260(a)(1)(C)
- ⑳ REQ'D. FRONT SETBACK PER SF PLANNING CODE SEC. 132(b)
- ㉑ HEIGHT LIMIT PER SF PLANNING CODE SEC. 261(c)(1)
- ㉒ NOT USED
- ㉓ NOT USED
- ㉔ PTD. CEDAR SHINGLE FENCE
- ㉕ AVG. EXISTING GRADE
- ㉖ LINE OF REQ'D. REAR YARD PER SF PLANNING CODE SEC. 134(c)(1)
- ㉗ HEIGHT LIMIT REDUCED PER SF PLANNING CODE SEC. 134(c)(1)
- ㉘ PHOTOVOLTAIC PANELS



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DELMAR STREET RESIDENCES
136 DELMAR STREET, SAN FRANCISCO, CA 94117

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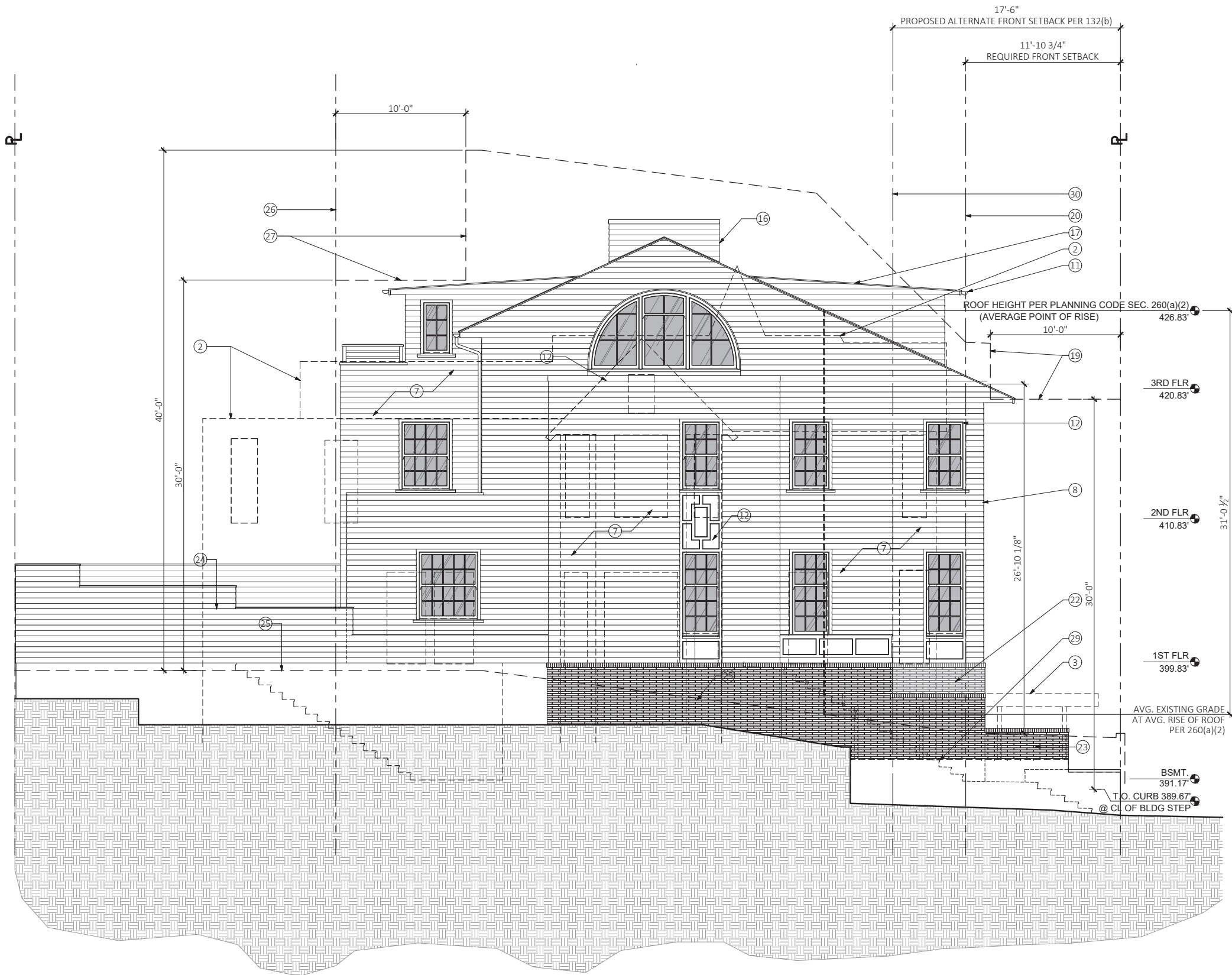
JOB # 1715

WEST EXTERIOR ELEVATION - PROPOSED

A2.1

SCALE: 1/4" = 1'-0"





SHEET NOTES

- ① ADJACENT BUILDING (138 DELMAR ST.
- ② ADJACENT BUILDING (130 DELMAR ST.
- ③ ADJACENT CARPORT (130 DELMAR STREET)
- ④ (N) STONE TREADS AND RISERS
- ⑤ (N) PTD. MTL. HANDRAIL AT 36" ABOVE FINISHED NOSING TO COMPLY W/ CBC 1014
- ⑥ (N) PTD. WD. GUARD - 42" A.F.F. AT LEVEL SURFACES TO COMPLY W/ CBC 1015.3
- ⑦ PTD. CEDAR SHINGLES, TYP.
- ⑧ PTD. WD. WINDOWS, TYP.
- ⑨ PTD. WD. ENTRY DOOR
- ⑩ MODIFIED BITUMEN ROOFING
- ⑪ METAL GUTTER & RAIN WATER LEADER, TYP.
- ⑫ PTD. WD. TRIM
- ⑬ CONCRETE PLANTERS WITH ROMAN BRICK VENEER
- ⑭ CEDAR SHINGLE ROOFING (FIRE TREATED)
- ⑮ PTD. WD. GARAGE DOOR
- ⑯ CHIMNEY W/ SHINGLED WALLS AND METAL SHROUD - TO CONCEAL ALL PLUMBING AND MECHANICAL VENTS EXEMPTED FROM HEIGHT LIMIT PER SF PLANNING CODE SEC. 260(B)(A)
- ⑰ DORMER, EXEMPTED FROM HEIGHT LIMIT PER SF PLANNING CODE SEC. 260(b)(B)
- ⑱ PTD. STEEL DOORS
- ⑲ HEIGHT LIMIT PER SF PLANNING CODE SEC. 260(a)(1)(C)
- ⑳ REQ'D. FRONT SETBACK PER SF PLANNING CODE SEC. 132(a)
- ㉑ HEIGHT LIMIT PER SF PLANNING CODE SEC. 261(c)(1)
- ㉒ ROMAN BRICK VENEER
- ㉓ BRICK FENCE TO COMPLY WITH PLANNING CODE SECTION 136(c)(17) MAX. 36" ABOVE GRADE IN FRONT SETBACK
- ㉔ PTD. CEDAR SHINGLE FENCE
- ㉕ AVG. EXISTING GRADE
- ㉖ LINE OF REQ'D. REAR YARD PER SF PLANNING CODE SEC. 134(c)(1)
- ㉗ HEIGHT LIMIT REDUCED PER SF PLANNING CODE SEC. 134(c)(1)
- ㉘ PHOTOVOLTAIC PANELS
- ㉙ EXTERIOR STAIR TO THE FIRST FLOOR OF OCCUPANCY ABOVE THE GROUND FLOOR PER SF PLANNING CODE SECTION 136(c)(14)
- ㉚ ALT. FRONT SETBACK PER SF PLANNING CODE SEC. 132(b)



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DELMAR STREET RESIDENCES

136 DELMAR STREET, SAN FRANCISCO, CA 94117

ISSUANCE	DATE
SITE PERMIT	11/19/18
SITE PERMIT	08/02/21
SITE PERMIT	11/17/21

JOB # 1715

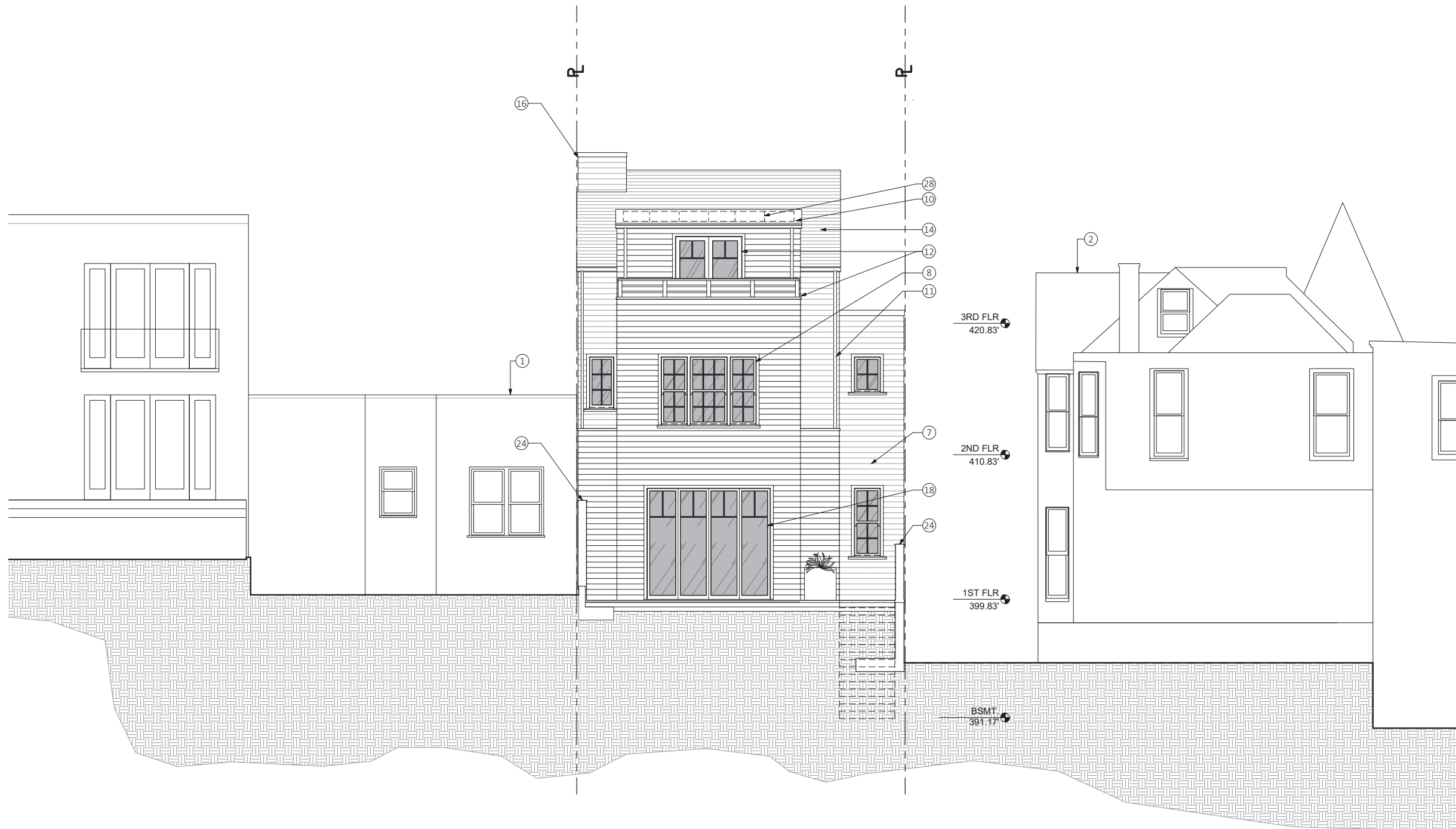
NORTH EXTERIOR ELEVATION - PROPOSED

A2.2

SCALE: 1/4" = 1'-0"

1 NORTH EXTERIOR ELEVATION - PROPOSED
1/4" = 1'-0"

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SHEET NOTES

- ① ADJACENT BUILDING (138 DELMAR STREET)
- ② ADJACENT BUILDING (130 DELMAR STREET)
- ③ ADJACENT CARPORT (130 DELMAR STREET)
- ④ (N) STONE TREADS AND RISERS
- ⑤ (N) PTD. MTL. HANDRAIL AT 36" ABOVE FINISHED NOSING TO COMPLY W/ CBC 1014
- ⑥ (N) PTD. WD. GUARD - 42" A.F.F. AT LEVEL SURFACES TO COMPLY W/ CBC 1015.3
- ⑦ PTD. CEDAR SHINGLES, TYP.
- ⑧ PTD. WD. WINDOWS, TYP.
- ⑨ PTD. WD. ENTRY DOOR
- ⑩ MODIFIED BITUMEN ROOFING
- ⑪ METAL GUTTER & RAIN WATER LEADER, TYP.
- ⑫ PTD. WD. TRIM
- ⑬ CONCRETE PLANTERS WITH PTD. STUCCO FINISH
- ⑭ CEDAR SHINGLE ROOFING (FIRE TREATED)
- ⑮ PTD. WD. GARAGE DOOR
- ⑯ CHIMNEY W/ SHINGLED WALLS AND METAL SHROUD - TO CONCEAL ALL PLUMBING AND MECHANICAL VENTS EXEMPTED FROM HEIGHT LIMIT PER SF PLANNING CODE SEC. 260(B)(A)
- ⑰ DORMER, EXEMPTED FROM HEIGHT LIMIT PER SF PLANNING CODE SEC. 260(b)(B)
- ⑱ PTD. STEEL DOORS
- ⑲ HEIGHT LIMIT PER SF PLANNING CODE SEC. 260(a)(1)(C)
- ⑳ REQ'D. FRONT SETBACK PER SF PLANNING CODE SEC. 132(b)
- ㉑ HEIGHT LIMIT PER SF PLANNING CODE SEC. 261(c)(1)
- ㉒ NOT USED
- ㉓ NOT USED
- ㉔ PTD. CEDAR SHINGLE FENCE
- ㉕ AVG. EXISTING GRADE
- ㉖ LINE OF REQ'D. REAR YARD PER SF PLANNING CODE SEC. 134(c)(1)
- ㉗ HEIGHT LIMIT REDUCED PER SF PLANNING CODE SEC. 134(c)(1)
- ㉘ PHOTOVOLTAIC PANELS



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DELMAR STREET RESIDENCES
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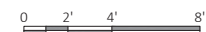
ISSUANCE	DATE
SITE PERMIT	11/19/18
SITE PERMIT	08/02/21
SITE PERMIT	11/17/21

JOB # 1715

EAST EXTERIOR ELEVATION - PROPOSED

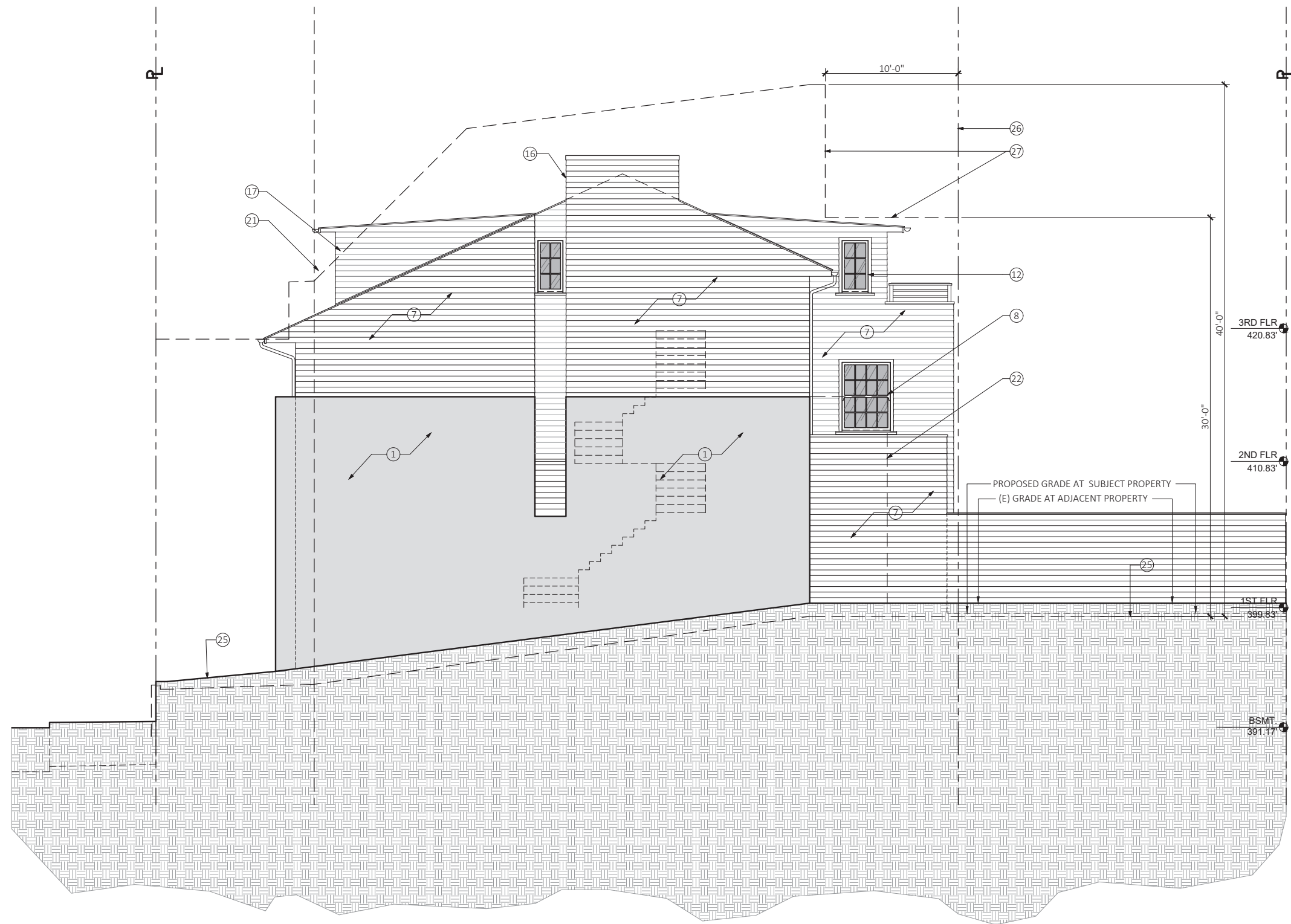
A2.3

SCALE: 1/4" = 1'-0"



1 EAST EXTERIOR ELEVATION - PROPOSED
1/4" = 1'-0"

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SHEET NOTES

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- ③ ADJACENT CARPORT (130 DELMAR STREET)
- ④ (N) STONE TREADS AND RISERS
- ⑤ (N) PTD. MTL. HANDRAIL AT 36" ABOVE FINISHED NOSING TO COMPLY W/ CBC 1014
- ⑥ (N) PTD. WD. GUARD - 42" A.F.F. AT LEVEL SURFACES TO COMPLY W/ CBC 1015.3
- ⑦ PTD. CEDAR SHINGLES, TYP.
- ⑧ PTD. WD. WINDOWS, TYP.
- ⑨ PTD. WD. ENTRY DOOR
- ⑩ MODIFIED BITUMEN ROOFING
- ⑪ METAL GUTTER & RAIN WATER LEADER, TYP.
- ⑫ PTD. WD. TRIM
- ⑬ CONCRETE PLANTERS WITH PTD. STUCCO FINISH
- ⑭ CEDAR SHINGLE ROOFING (FIRE TREATED)
- ⑮ PTD. WD. GARAGE DOOR
- ⑯ CHIMNEY W/ SHINGLED WALLS AND METAL SHROUD - TO CONCEAL ALL PLUMBING AND MECHANICAL VENTS EXEMPTED FROM HEIGHT LIMIT PER SF PLANNING CODE SEC. 260(B)(A)
- ⑰ DORMER, EXEMPTED FROM HEIGHT LIMIT PER SF PLANNING CODE SEC. 260(b)(B)
- ⑱ PTD. STEEL DOORS
- ⑲ HEIGHT LIMIT PER SF PLANNING CODE SEC. 260(a)(1)(C)
- ⑳ REQ'D. FRONT SETBACK PER SF PLANNING CODE SEC. 132(b)
- ㉑ HEIGHT LIMIT PER SF PLANNING CODE SEC. 261(e)(1)
- ㉒ REAR SUNROOM AT 138 DELMAR STREET
- ㉓ NOT USED
- ㉔ PTD. CEDAR SHINGLE FENCE
- ㉕ AVG. EXISTING GRADE
- ㉖ LINE OF REQ'D. REAR YARD PER SF PLANNING CODE SEC. 134(c)(1)
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- ㉘ PHOTOVOLTAIC PANELS



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DELMAR STREET RESIDENCES
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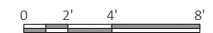
ISSUANCE	DATE
SITE PERMIT	11/19/18
SITE PERMIT	08/02/21
SITE PERMIT	11/17/21

JOB # 1715

SOUTH EXTERIOR ELEVATION - PROPOSED

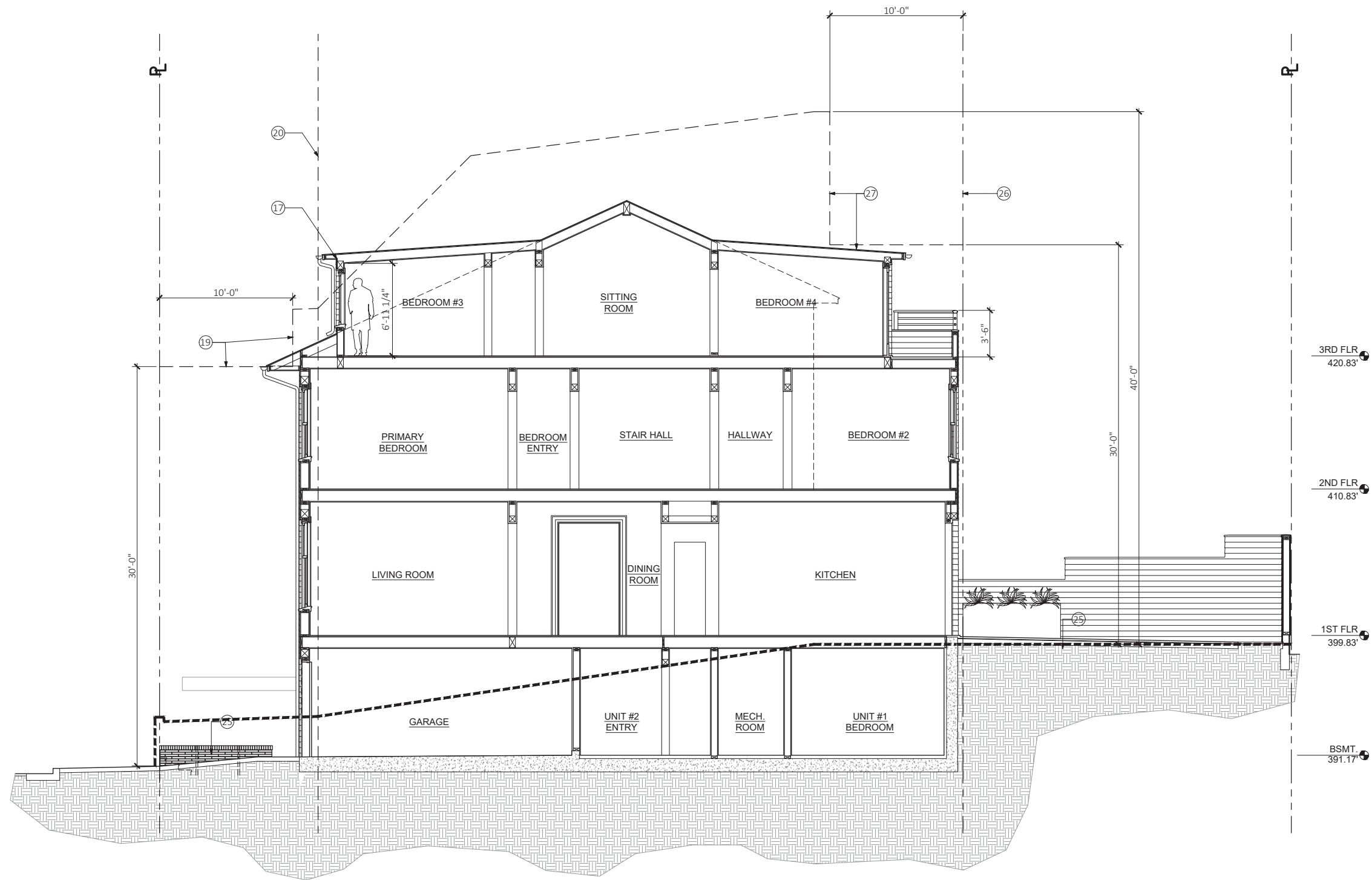
A2.4

SCALE: 1/4" = 1'-0"



1 SOUTH EXTERIOR ELEVATION - PROPOSED
1/4" = 1'-0"

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SHEET NOTES

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- 2 ADJACENT BUILDING (130 DELMAR STREET)
- 3 ADJACENT CARPORT (130 DELMAR STREET)
- 4 (N) STONE TREADS AND RISERS
- 5 (N) PTD. MTL. HANDRAIL AT 36" ABOVE FINISHED NOSING TO COMPLY W/ CBC 1014
- 6 (N) PTD. WD. GUARD - 42" A.F.F. AT LEVEL SURFACES TO COMPLY W/ CBC 1015.3
- 7 PTD. CEDAR SHINGLES, TYP.
- 8 PTD. WD. WINDOWS, TYP.
- 9 PTD. WD. ENTRY DOOR
- 10 MODIFIED BITUMEN ROOFING
- 11 METAL GUTTER & RAIN WATER LEADER, TYP.
- 12 PTD. WD. TRIM
- 13 CONCRETE PLANTERS WITH PTD. STUCCO FINISH
- 14 CEDAR SHINGLE ROOFING (FIRE TREATED)
- 15 PTD. WD. GARAGE DOOR
- 16 CHIMNEY W/ SHINGLED WALLS AND METAL CAP - TO CONCEAL ALL PLUMBING AND MECHANICAL VENTS EXEMPTED FROM HEIGHT LIMIT PER SF PLANNING CODE SEC. 260(B)(A)
- 17 DORMER, EXEMPTED FROM HEIGHT LIMIT PER SF PLANNING CODE SEC. 260(b)(B)
- 18 PTD. STEEL DOORS
- 19 HEIGHT LIMIT PER SF PLANNING CODE SEC. 260(a)(1)(C)
- 20 REQ'D. FRONT SETBACK PER SF PLANNING CODE SEC. 132(b)
- 21 HEIGHT LIMIT PER SF PLANNING CODE SEC. 261(e)(1)
- 22 NOT USED
- 23 NOT USED
- 24 PTD. WD. FENCE, NOT SHOWN FOR CLARITY
- 25 AVG. EXISTING GRADE
- 26 LINE OF REQ'D. REAR YARD PER SF PLANNING CODE SEC. 134(c)(1)
- 27 HEIGHT LIMIT REDUCED PER SF PLANNING CODE SEC. 134(c)(1)
- 28 PHOTOVOLTAIC PANELS



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DELMAR STREET RESIDENCES

136 DELMAR STREET, SAN FRANCISCO, CA 94117

ISSUANCE	DATE
SITE PERMIT	11/19/18
SITE PERMIT	08/02/21
SITE PERMIT	11/17/21

JOB # 1715

LONGITUDINAL SECTION - PROPOSED

A3.1

SCALE: 1/4" = 1'-0"

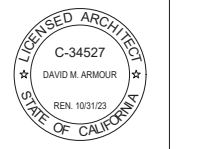
1 LONGITUDINAL SECTION - PROPOSED
1/4" = 1'-0"



- SHEET NOTES**
- 1 ADJACENT BUILDING (138 DELMAR STREET)
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 - 20 REQ'D. FRONT SETBACK PER SF PLANNING CODE SEC. 132(b)
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 - 22 NOT USED
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SITE PERMIT	11/17/21

JOB # 1715

TRANSVERSE SECTION - PROPOSED

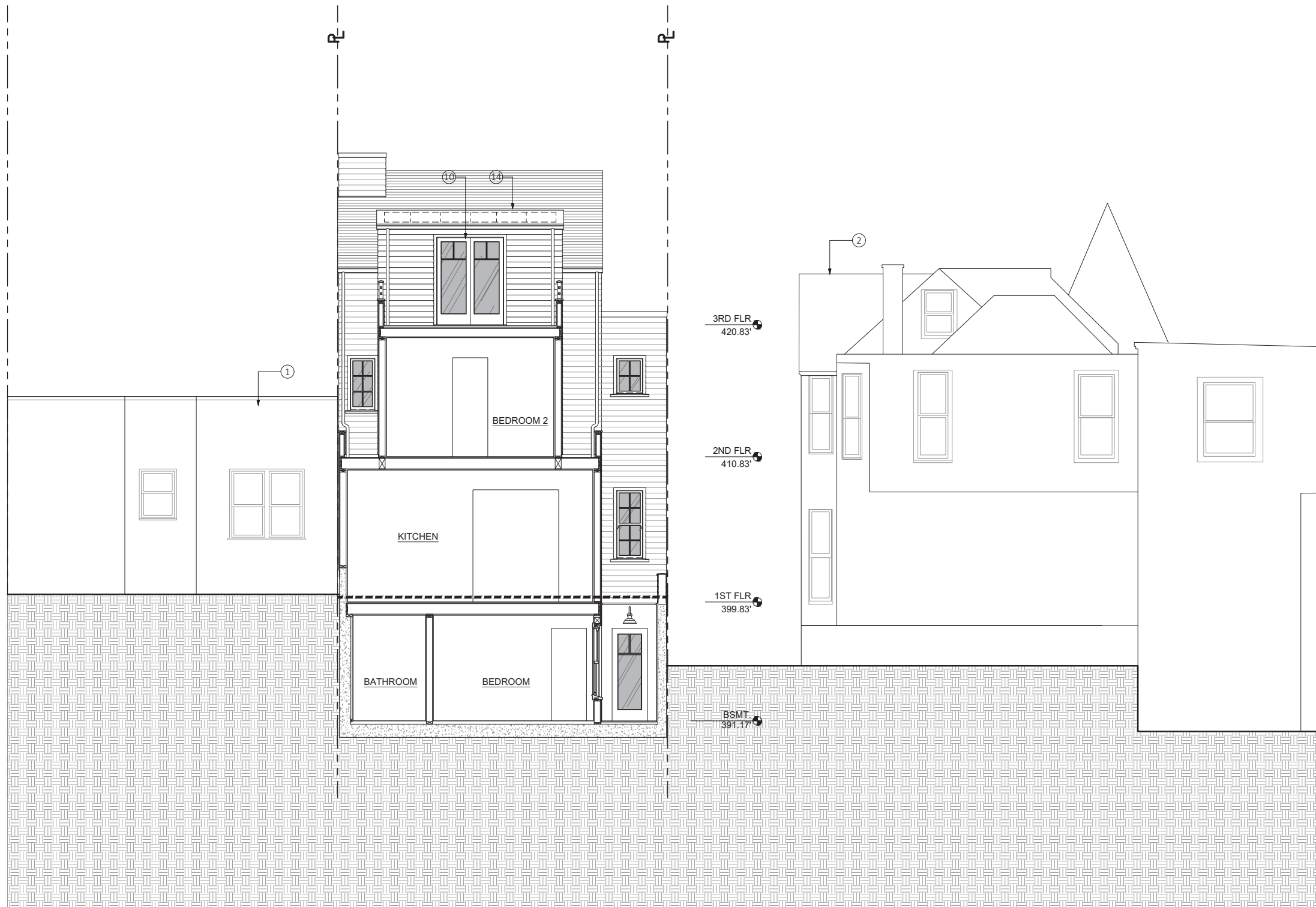
A3.2

SCALE: 1/4" = 1'-0"

1 TRANSVERSE SECTION - PROPOSED
1/4" = 1'-0"



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- ⑱ PTD. STEEL DOORS
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- ㉑ HEIGHT LIMIT PER SF PLANNING CODE SEC. 261(e)(1)
- ㉒ NOT USED
- ㉓ NOT USED
- ㉔ PTD. WD. FENCE, NOT SHOWN FOR CLARITY
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ISSUANCE	DATE
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SITE PERMIT	11/17/21

JOB # 1715

TRANSVERSE SECTION - PROPOSED

A3.3

SCALE: 1/4" = 1'-0"

1 TRANSVERSE SECTION - PROPOSED
1/4" = 1'-0"

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SAN FRANCISCO PLANNING DEPARTMENT

**EXHIBIT
C**

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
136 Delmar Street		1270067A
Case No.		Permit No.
2017-001095ENV		201804055596
<input checked="" type="checkbox"/> Addition/ Alteration	<input checked="" type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval. Demolition of a Single Family Residence. Construct of two unit dwelling consisting of one bedroom unit and a three bedroom unit.</p>		

STEP 1: EXEMPTION CLASS

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Class _____

STEP 2: CEQA IMPACTS
TO BE COMPLETED BY PROJECT PLANNER

<p>If any box is checked below, an <i>Environmental Evaluation Application</i> is required.</p>	
<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i></p>
<input type="checkbox"/>	<p>Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input checked="" type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)</p>
<input checked="" type="checkbox"/>	<p>Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required.</p>
<input type="checkbox"/>	<p>Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.</p>
<input type="checkbox"/>	<p>Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.</p>
<p>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <i>Environmental Evaluation Application</i> is required, unless reviewed by an Environmental Planner.</p>	
<p>Comments and Planner Signature (optional): Alexandra Kirby</p> <p>No Archaeological effects</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input checked="" type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <input checked="" type="checkbox"/> Reclassify to Category A <input type="checkbox"/> Reclassify to Category C a. Per HRER dated 05/14/2018 (attach HRER) b. Other (specify): Demolition of a non-contributing property will not pose a potential adverse impact to the surrounding district. Proposed design will comply with RDGs for
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input checked="" type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Alexandra Kirby	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 - CEQA Impacts <input type="checkbox"/> Step 5 - Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Building Permit	Signature: Alexandra Kirby
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	05/16/2018
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.		

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
136 Delmar Street		1270/067A
Case No.	Previous Building Permit No.	New Building Permit No.
2017-001095PRJ	201804055596	
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:



SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Preservation Team Meeting Date: 4/13/2018	Date of Form Completion: 5/10/2018
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PROJECT INFORMATION:		
Planner:	Address:	
Alexandra Kirby	136 Delmar Street	
Block/Lot:	Cross Streets:	
1270/067A	Frederick and Piedmont Street	
CEQA Category:	Art. 10/11:	BPA/Case No.:
B		2017-001095ENV

PURPOSE OF REVIEW:		PROJECT DESCRIPTION:	
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input type="radio"/> Alteration
		<input checked="" type="radio"/> Demo/New Construction	

DATE OF PLANS UNDER REVIEW: 4/5/2018

PROJECT ISSUES:
<input checked="" type="checkbox"/> Is the subject Property an eligible historic resource?
<input type="checkbox"/> If so, are the proposed changes a significant impact?
Additional Notes:
Submitted: Historic Resource Evaluation by Architecture + History, LLC (April 22, 2016)
Proposed Project: Demolition of the existing single-family residence and construction of a three-story-over-garage two-unit residence.

PRESERVATION TEAM REVIEW:			
Category:	<input checked="" type="radio"/> A	<input type="radio"/> B	<input type="radio"/> C
Individual	Historic District/Context		
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:	Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:		
Criterion 1 - Event: <input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event: <input checked="" type="radio"/> Yes <input type="radio"/> No		
Criterion 2 - Persons: <input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 - Persons: <input type="radio"/> Yes <input checked="" type="radio"/> No		
Criterion 3 - Architecture: <input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 3 - Architecture: <input checked="" type="radio"/> Yes <input type="radio"/> No		
Criterion 4 - Info. Potential: <input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential: <input type="radio"/> Yes <input checked="" type="radio"/> No		
Period of Significance: <input type="text"/>	Period of Significance: <input type="text" value="1905-1909"/>		
<input type="radio"/> Contributor <input checked="" type="radio"/> Non-Contributor			

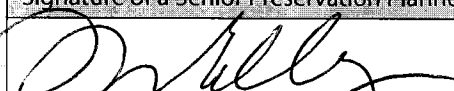
Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment to the individual historic resource:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
CEQA Material Impairment to the historic district:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Defer to Residential Design Team:	<input checked="" type="radio"/> Yes	<input type="radio"/> No	

PRESERVATION TEAM COMMENTS:

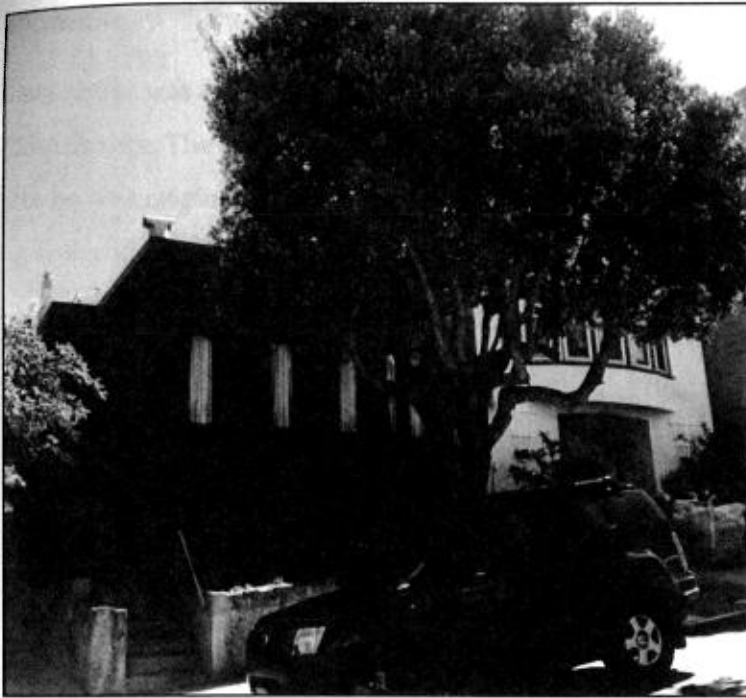
The building at 136 Delmar Street was built in 1924-25 by Neish Brothers Contractors for Henry Stern. The property is located on the east side of the street between Frederick and Piedmont Street in the Ashbury Heights neighborhood. The building is a simple, one-story, wood-frame, stucco-finished cottage with few stylistic characteristics.

Based on the information provided in the HRE report prepared by Architecture + History (April 2016), the Department finds that the subject property does not appear to be eligible for inclusion on the California Register (CR) as an individual historic resource, nor does it appear to contribute to a California Register-eligible historic district. There is no information provided by the Project Sponsor's reports or located in the San Francisco Planning Department's background files to indicate that the property was associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States (Criterion 1, Events). No significant historical figures, including prior owners or occupants, are associated with the property (Criterion 2, Persons). Lastly, the property does not significantly embody the distinctive characteristics of a particular style; it is not the a notable work of master architect or builder; and, it does not possess high artistic values (Criterion 3, Architecture). The surrounding neighborhood was predominantly developed between 1890 and 1910 in stylistically similar large single-family residences, with a high density of properties surveyed in the 1976 survey for their architectural merit. While this neighborhood does appear to be eligible for listing as a historic district, the subject property does not conform to the character of the surrounding architecture, and it falls outside of the likely period of significance of 1890 - 1910. Further research is needed to determine the boundaries of the eligible district.

Based upon a review of information in the Department's records, the subject property is not significant under Criterion 4, since this significance criterion typically applies to rare construction types when involving the built environment. The subject building is not an example of a rare construction type. Lastly, the proposed scope of work would not pose a potential adverse effect on adjacent historic resources or the surrounding eligible district, as all proposed work is limited to demolition of the subject building and a new design that is compliant with the Secretary's Standards, the Residential Design Guidelines and generally compatible with the surrounding context.

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
	5/14/18

April 22, 2016



Above: 136 Delmar current conditions.

Below: A view of 136 Delmar from the late 1950s. (Source: Assessor's Office Record Card).





LAND USE INFORMATION

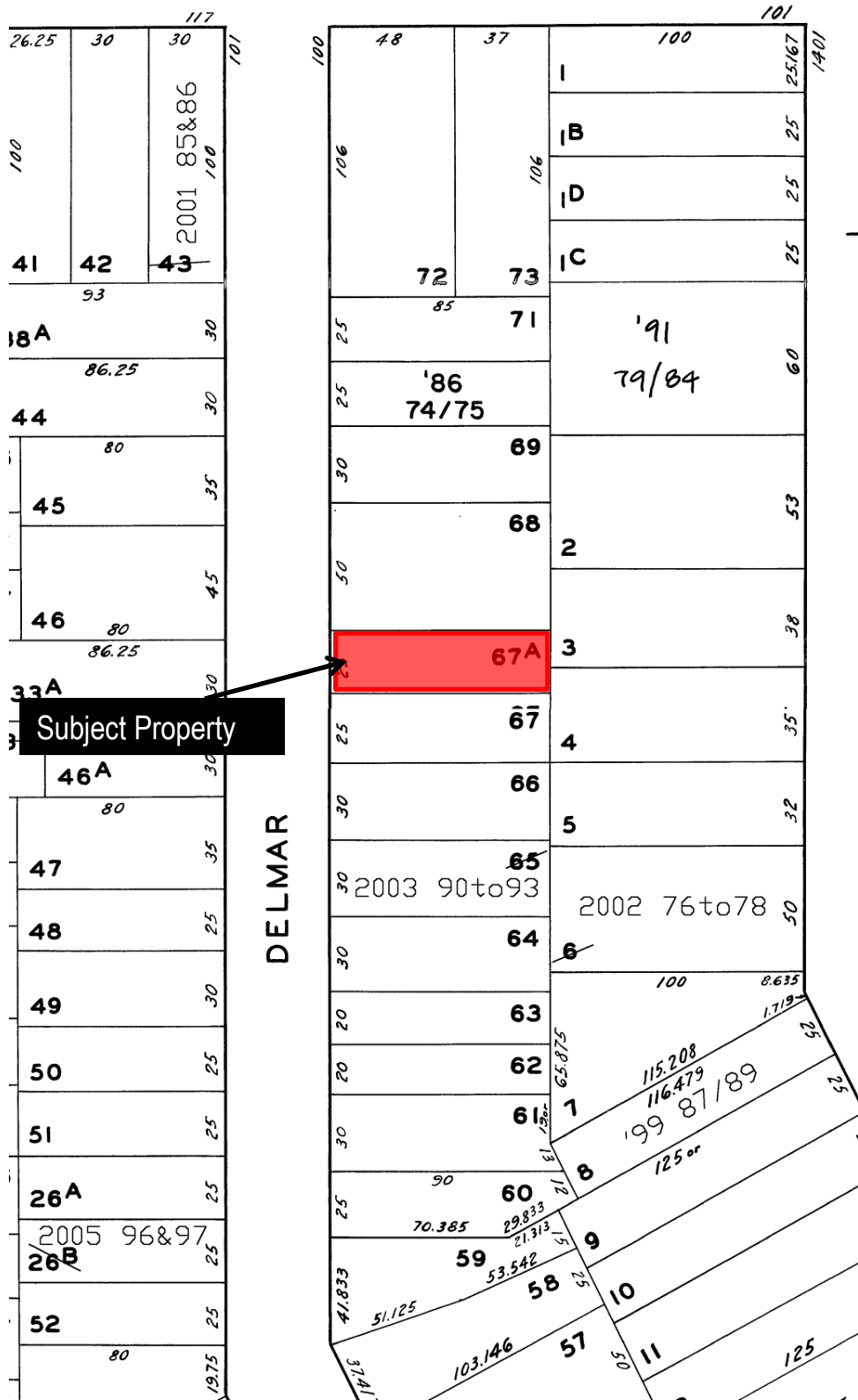
PROJECT ADDRESS: 136 DELMAR ST
RECORD NO.: 2018-015983PRJ

	EXISTING	PROPOSED	NET NEW
GROSS SQUARE FOOTAGE (GSF)			
Parking GSF	0	234	234
Residential GSF	1,030	2,965 (SFR)/669 (ADU)	2,604
Retail/Commercial GSF	0	0	0
Office GSF	0	0	0
Industrial/PDR GSF <i>Production, Distribution, & Repair</i>	0	0	0
Medical GSF	0	0	0
Visitor GSF	0	0	0
CIE GSF	0	0	0
Usable Open Space	806	475	-272
Public Open Space	0	0	0
Other ()			
TOTAL GSF	1,836	4,343	2,838
	EXISTING	NET NEW	TOTALS
PROJECT FEATURES (Units or Amounts)			
Dwelling Units - Affordable	0	0	0
Dwelling Units - Market Rate	1	1 ADU	1 SFR/1 ADU
Dwelling Units - Total	1	1 ADU	1 SFR/1 ADU
Hotel Rooms	0	0	0
Number of Buildings	1	1	1
Number of Stories	1 over basement	2	3 over basement
Parking Spaces	0	1	1
Loading Spaces	0	0	0
Bicycle Spaces	0	2	2
Car Share Spaces	0	0	0
Other ()			

Block Book Map

EXHIBIT
E

FREDERICK



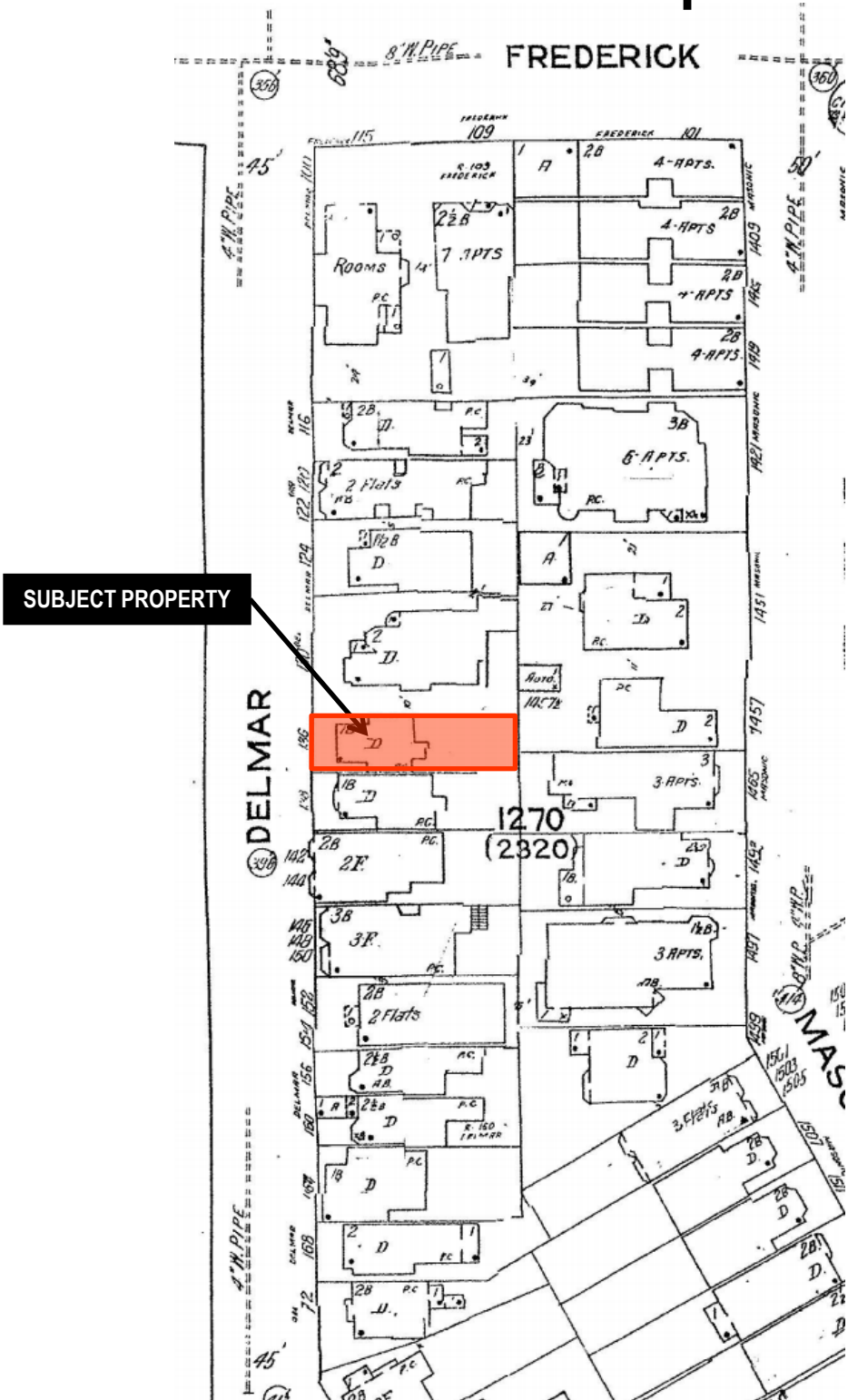
Subject Property

DELMAR



Conditional Use Authorization
Case Number 2018-015983CUA
136 Delmar Street

Sanborn Map*

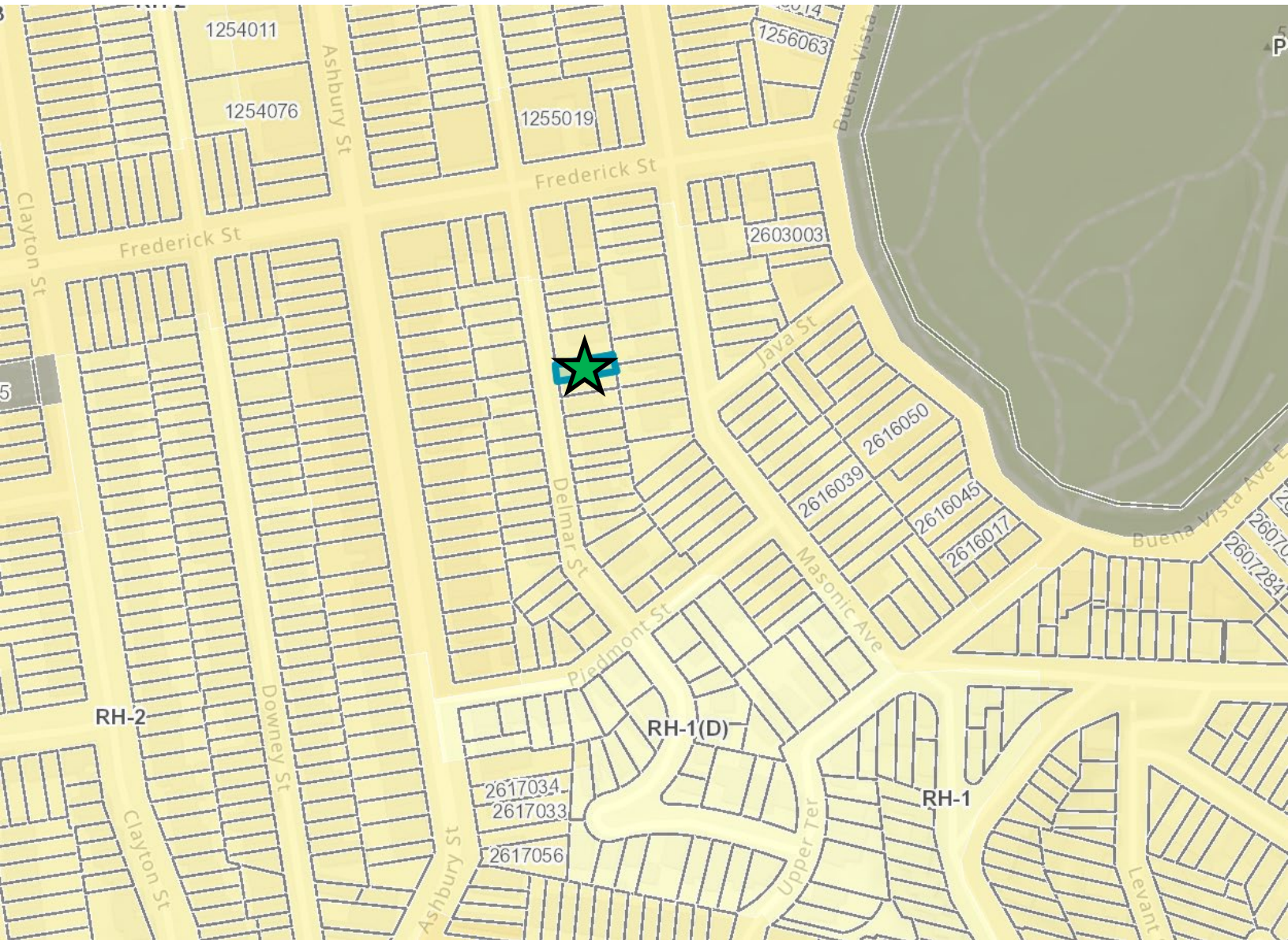


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



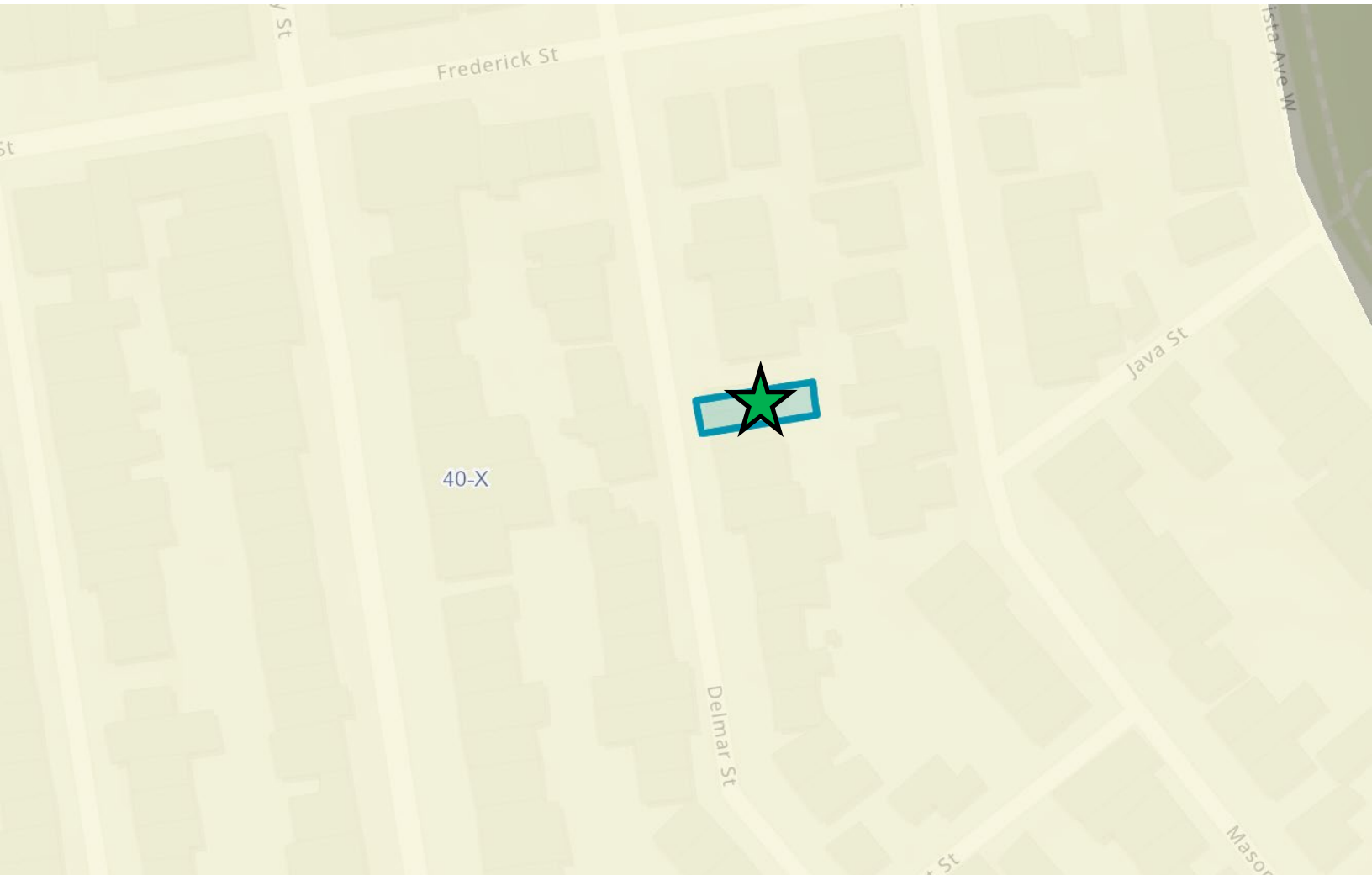
Conditional Use Authorization
Case Number 2018-015983CUA
136 Delmar Street

Zoning Map

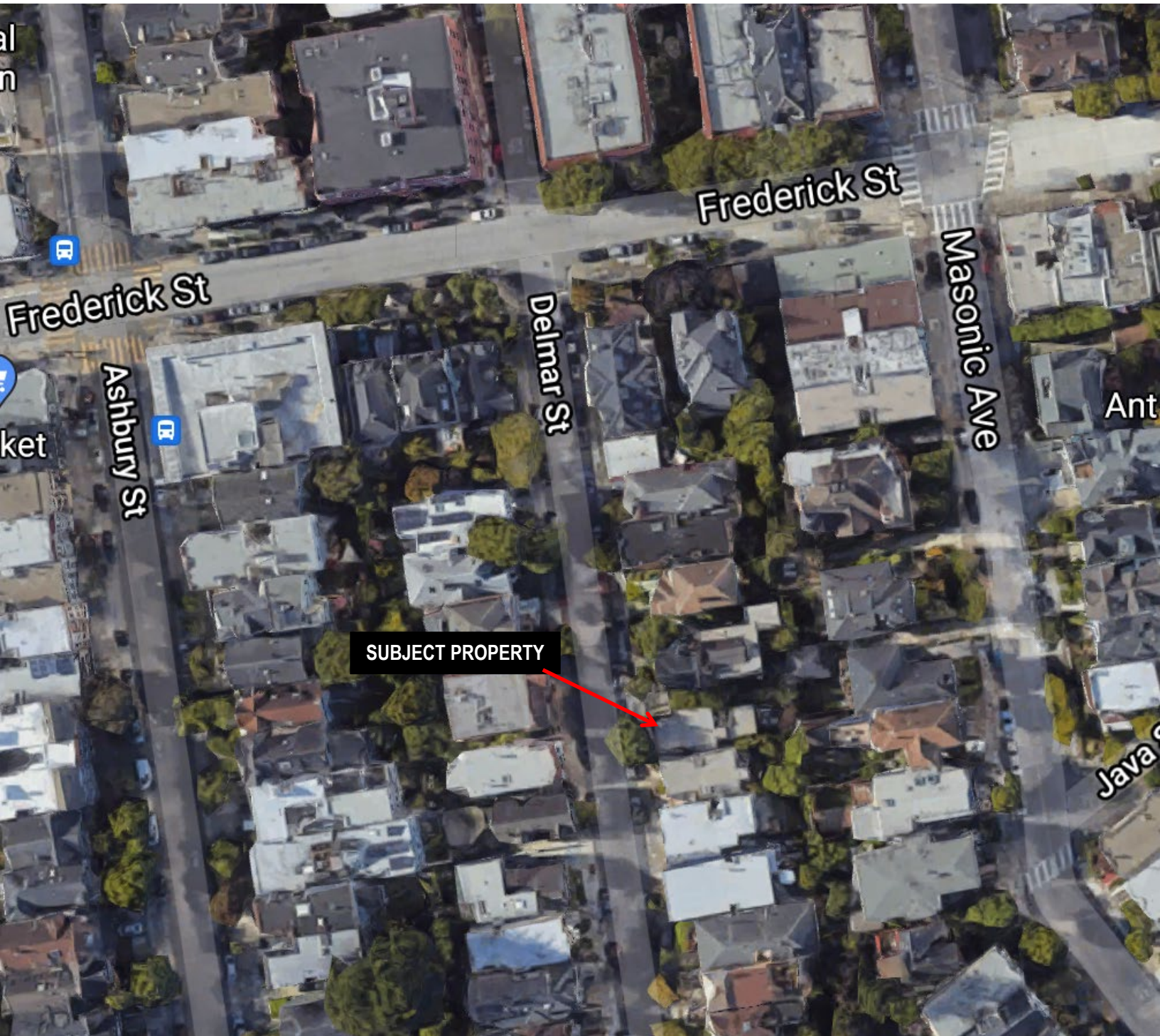


Conditional Use Authorization
Case Number 2018-015983CUA
136 Delmar Street

Height and Bulk Map



Aerial Photo



Conditional Use Authorization
Case Number 2018-015983CUA
136 Delmar Street

Aerial Photo



SUBJECT PROPERTY



Context Photos

SUBJECT PROPERTY ON DELMAR STREET



Conditional Use Authorization
Case Number 2018-015983CUA
136 Delmar Street

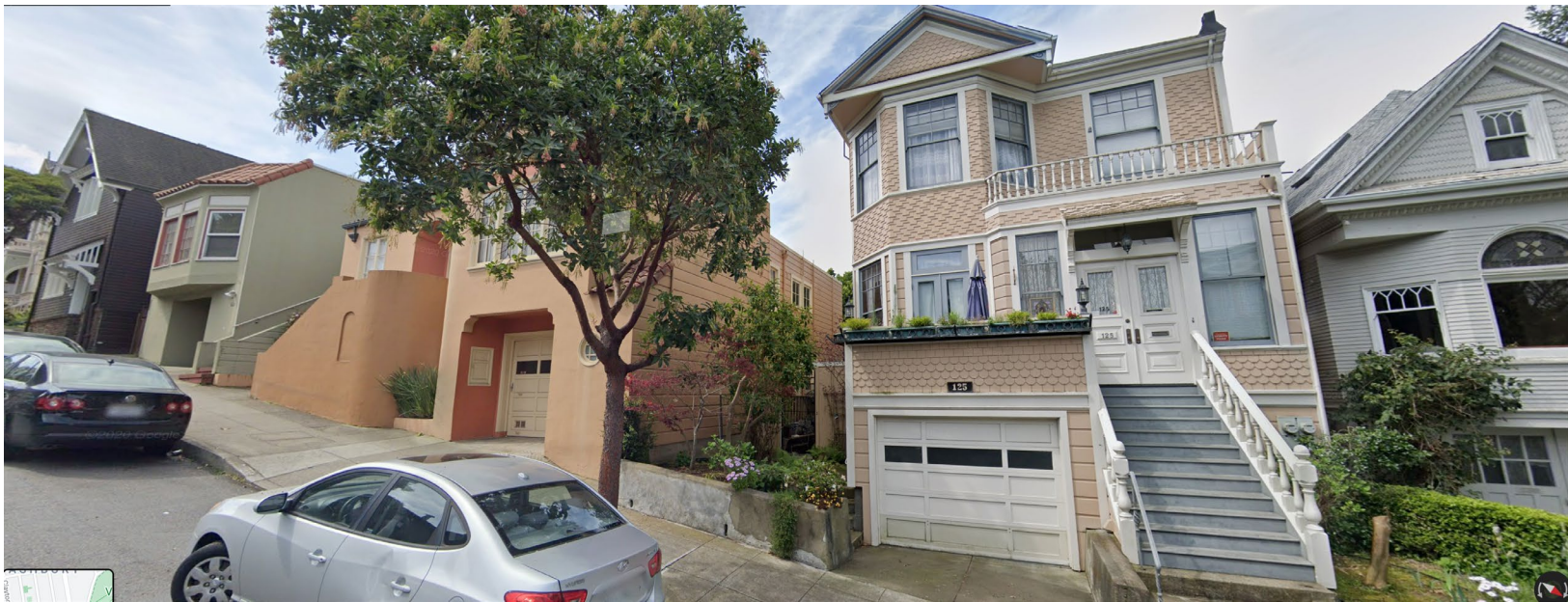
Site Photo

PORTION OF BLOCK ON DELMAR STREET



SUBJECT PROPERTY

PORTION OF OPPOSITE SIDE OF SUBJECT BLOCK ON DELMAR

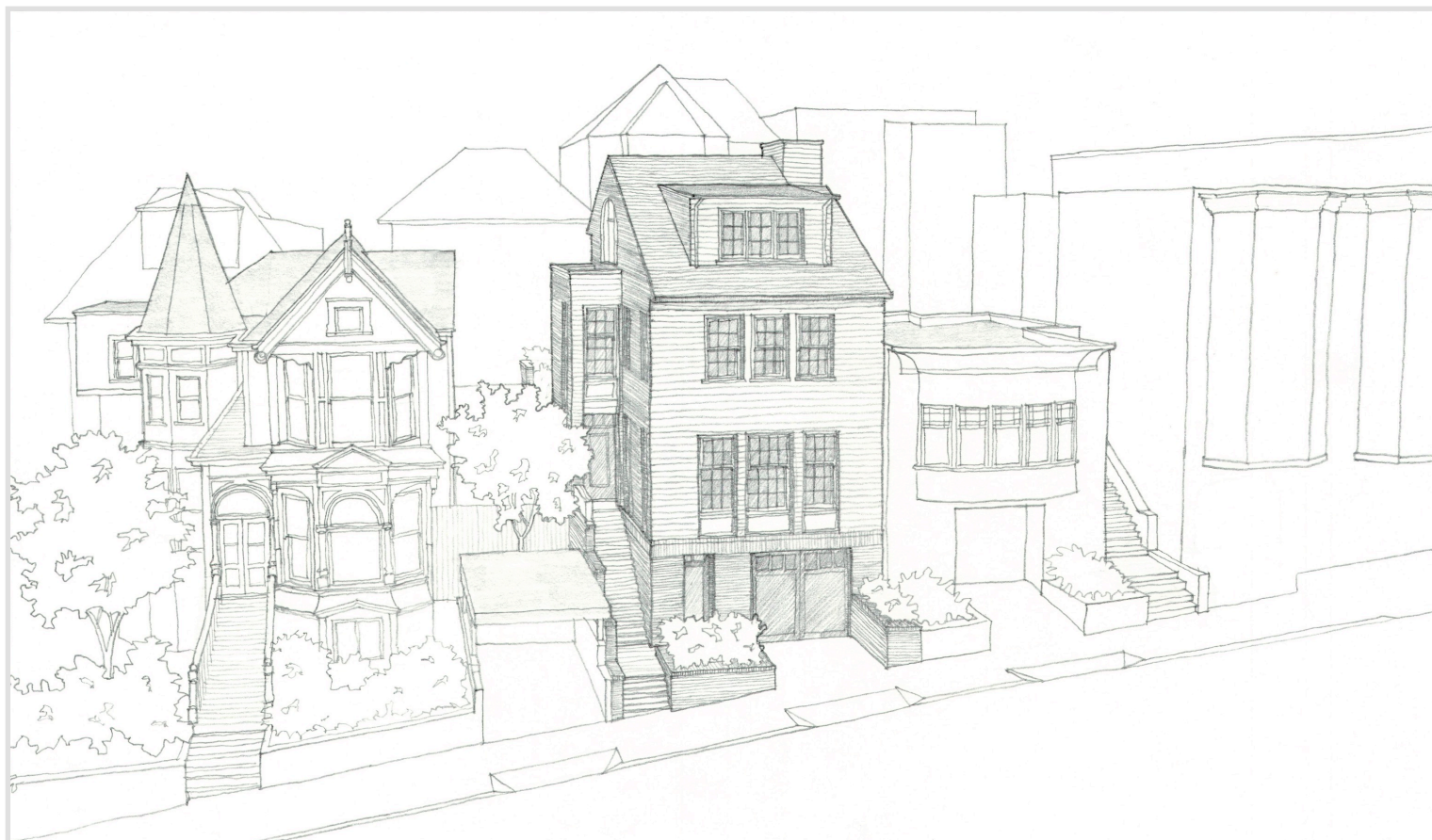


Conditional Use Authorization
Case Number 2018-015983CUA
136 Delmar Street



**EXHIBIT
F**

PROPOSED PROJECT



136 Delmar Street, San Francisco

Sponsors: David Armour & Lisa Chorebanian

David@ArmourArchitecture.com | mobile: 415.816.2642



SPONSOR LETTER

TO: San Francisco Planning Commission

FR: David Armour & Lisa Chorebanian, Project Sponsors for 136 Delmar

Designing our forever house on this particular street has been an intense, 5-year passion project. As a preface to your review, **we thought it would be helpful to share a bit of that story:**

LONG “LOVE” DELMAR: As a new couple in the early 2000’s, we walked the city absorbing each neighborhood’s character and architectural history. **Upper Delmar became an early favorite** and we began watching real estate listings for movement on the block, envisioning our future life here. In 2009—married with toddler—we were thrilled when the rare, historic 130 Delmar came available; then brokenhearted when we were runners up (“the one that got away”). We went on to lose out on properties on Delmar, Masonic and Waller.

In 2015, the stars aligned: **we bought 136 Delmar**, a dilapidated 1-bedroom cottage left vacant for 10 years. We saw the chance to create the **forever home** we’d always imagined and jumped through hoops to bolster our offer (we’re not high net-worth individuals). Knowing we needed ample time to plan and finesse this home to perfection, we did a quick interior renovation to make it livable and moved in. Getting to know the neighborhood and property firsthand was vital to ensure that our design truly suited the character of the street and our position alongside historic #130; and that the house met every one of our long-term goals:

- A reasonably-sized home with room for our family
- A rental unit that would offset our costs while offering flexibility for multi-generational living (configured to support accessibility, e.g. a single level, ample passageways). Our more immediate plans are to move David’s senior mother here, but we also want to be able to age in place in this unit, hopefully leaving the upstairs for our daughter and her future family / as her forever home.
- Space to host overnight guests
- A work-from-home space (even more important today)
- A single car garage
- A cost structure that pencils out for our eventual construction lender

RETAINING SAN FRANCISCO CHARACTER: Our investment in this home includes substantial sweat-equity, mostly nights and weekends: we own David Armour Architecture, a well-regarded residential firm whose work is grounded in traditional San Francisco homes and features thoughtful renovations and historic restorations of landmark properties. Our project at 714 Steiner—one of the Painted Ladies on Alamo Square—enjoyed a glowing reception at its recent Historic Preservation Commission hearing.



Jonas Ionin, Director of Commission Affairs, even went on to compliment it at a subsequent Planning Commission hearing – we were quite proud. Overall, our firm strives to retain the unique character of San Francisco, its great diversity, community history, and architectural heritage. We've brought all of this passion and skill to bear in our final design for 136 Delmar, hoping it can become an enduring addition to the cityscape.

Recently, we also renovated a long-neglected retail space in Lower Haight, restored its lost 1920's storefront façade, and relocated our offices there just before lockdown. Centrally located and transit-oriented, it's **walking distance from our Delmar home**, which has allowed us to eliminate one of our cars and commute on foot, primarily along Page Street (a welcome slow-street during lockdown, hopefully in perpetuity).

OPTIONS VETTED: The unique conditions of 136 Delmar, constraints driven by neighboring houses, and our own lengthy submission process required that we examine multiple methods for developing this house before landing on the best and most feasible:

STATUS QUO: our current 1,030 square foot house comprises the original 720 square foot, 1-bedroom cottage, a laundry porch later enclosed as interior space, and a shoddy 1970s dining room addition at the rear (since converted into our 2nd bedroom). The building has structural defects, substandard and damaged infrastructure (electrical and sewer), mold issues, and a roof that needs replacing. The 1970s addition and the converted laundry porch lack a proper foundation and are dry-rotted; mold is growing on the 2nd bedroom ceiling. Replacing the foundation alone would require demolishing the rear portions of the home entirely. Addressing these issues **merely to maintain the house in its current configuration** ongoing would require an investment well over \$500,000, a cost that makes no economic sense for a 1,030 square foot building appraised at \$1,800,000 (2021), a value mostly attributed to the land. A lender would almost certainly reject financing for this repair work.

MODIFICATION/EXPANSION: Expanding the current home to a 2nd floor would require demolishing the same rear portions noted above and removing the entire roof structure, leaving the bare minimum wall sections and floor plate to classify it as a technical renovation/addition. While it appeared sensible to pursue a demolition permit from the outset/2018, we were deterred by the hurdles for acquiring one and submitted a **renovation/addition permit application**, instead (BPA#2018-0405-5596). The team leader for the Southwest Quadrant—then Delvin Washington—liked our proposal, but noted the excessive work required and suggested it was a great candidate for demolition via Conditional Use Authorization, instead. We followed his advice and withdrew the application, both for architectural reasons (clear design integrity/not a hodgepodge of old and new), and financial (the efficiency of new construction over a substantial renovation/expansion/seismic retrofit - shorter construction time, reduced cost load, and less impact on adjacent neighbors, very important on our narrow street.)



Thus, in early 2019, our design for a completely **new 2-unit building** was heading toward public notification...then office/family needs and the pandemic interfered; however, the extended lockdown allowed us to refine the design significantly and make further revisions in response to neighbor feedback. The project was then slated for an August 2021 commission hearing. More meetings with an added neighbor led to a final pause for a few last modifications (including a 10% reduction in overall size—reduced square footage for the primary unit; increased for the second unit).

OUR FINAL PLAN now features:

- A 2,965 square foot, 4-bedroom primary unit
- An ample 669 square foot ground-floor rental ADU that's 93% of the original 1920's cottage and on one level/accessible for senior living (David's mom/eventually us)
- A one-car garage
- A 20' wide primary massing and small side volume adjacent to 130 Delmar, a Category 'A' historic resource in the center of a 50' wide lot - the Residential Design Guidelines drove the massing of our design (this limited building width, substandard lot length—85'—and deep front setback requirement limit the footprint of each floor to just over 1,000 square feet, so 2 of the 4 bedrooms in the primary unit are located in a smaller, third-story attic level)

DESIGN AESTHETIC: We chose to create a contemporary expression of the Bay Area Shingle Style due to its importance in local architectural history and stature as a unique historic style that's still being interpreted by architects today. While this block of Delmar Street has many period homes dating from the 1890s to 1930s, it lacks a specific period of design; Shingle Style design thus blends into the traditional context of the block, while its simple massing and restrained detailing simultaneously give a nod to the present era, bridging 19th and 21st centuries and looking to the future architectural heritage of the neighborhood and city.

Commissioners, we appreciate your time and attention and hope that you find our project appropriate, sensitive and forward-looking. *Thank you!*