



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: DECEMBER 12, 2019

Record No.: 2018-015446CUAVAR
Project Address: 740 CLAYTON STREET
Zoning: RH-3 (Residential, House – Three-Family) Zoning District
40-X Height & Bulk District
Block/Lot: 1254/039
Project Sponsor: Amir Afifi
SIA Consulting Corp.
1256 Howard Street
San Francisco, CA 94103
Property Owner: Golden Properties, LLC
2170 Sutter Street
San Francisco, CA 94115
Staff Contact: Matt Dito – (415) 575-9164
matthew.dito@sfgov.org
Recommendation: **Approval with Conditions**

1650 Mission St.
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PROJECT DESCRIPTION

The Project includes the conversion of a church and single-family dwelling into a three-family dwelling. The Project includes a rear addition at the third floor, and a three-story side addition along the south property line for a fourth dwelling unit, and the conversion of a storage structure in the rear yard into a fifth dwelling unit. The Project includes one one-bedroom unit, three two-bedroom units, and one three-bedroom unit. The units range in size from 796 to 2,379 square feet. The Project includes approximately 1,850 square-feet of usable open space in the rear yard, and a bicycle locker for six bicycles. The second floor contains a private 36 square-foot balcony. Enlargement of an existing dormer on the pitched roof of the front building, and the addition of a matching dormer on the other side of the pitch, is also proposed. Two dormers are also proposed to be added to the main rear structure.

REQUIRED COMMISSION ACTION

In order for the Project to proceed, the Commission must grant Conditional Use Authorization to allow five dwelling units on a lot located in an RH-3 (Residential, House – Three-Family) Zoning District, pursuant to Planning Code Sections 207, 209.1, and 303. With Conditional Use Authorization, one dwelling unit is permitted per 1,000 square feet of lot area in an RH-3 Zoning District. The subject lot is 4,652 total square feet.

ISSUES AND OTHER CONSIDERATIONS

- **Public Comment & Outreach.** The Department has not received any public comment on the proposed Project.
- **Rear Yard Variance:** As proposed, the Project requires a rear yard variance per Planning Code Section 134.

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 and 3 categorical exemption.

BASIS FOR RECOMMENDATION

The Department finds that the Project is, on balance, consistent with the Objectives and Policies of the General Plan. The Project will allow the conversion of two existing structures into four dwelling units, with the addition of one dwelling unit in a new structure, on a property with a design that is sensitive to the surrounding properties. The Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

ATTACHMENTS:

Draft Motion – Conditional Use Authorization with Conditions of Approval
Exhibit B – Plans and Renderings for Front Building
Exhibit C – Plans and Renderings for Rear Building
Exhibit D – Environmental Determination
Exhibit E – Land Use Data
Exhibit F – Maps and Context Photos
Exhibit G - Project Sponsor Brief



SAN FRANCISCO PLANNING DEPARTMENT

Planning Commission Draft Motion

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ADOPTING FINDINGS RELATING TO CONDITIONAL USE AUTHORIZATION, PURSUANT TO PLANNING CODE SECTIONS 207, 209.1, AND 303, FOR RESIDENTIAL DENSITY OF ONE UNIT PER 1,000 SQUARE FEET OF LOT AREA TO PERMIT FIVE DWELLING UNITS AT THE PROPERTY LOCATED AT 740 CLAYTON STREET, LOT 039 IN ASSESSOR'S BLOCK 1254, WITHIN AN RH-3 (RESIDENTIAL, HOUSE – THREE-FAMILY) ZONING DISTRICT AND A 40-X HEIGHT & BULK DISTRICT.

PREAMBLE

On November 9, 2018, Amir Afifi of SIA Consulting Corp. (hereinafter "Project Sponsor") filed Application No. 2018-015446CUAVAR (hereinafter "Application") with the Planning Department (hereinafter "Department") for Conditional Use Authorization to allow five dwelling units (hereinafter "Project") at 740 Clayton Street, Lot 039 in Assessor's Block 1254 (hereinafter "Project Site").

On December 12, 2019, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2018-015446CUAVAR.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and 3 Categorical Exemption.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2018-015446CUAVAR is located at 1650 Mission Street, Suite 400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2018-015446CUAVAR, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Project Description.** The Project includes the conversion of a church and single-family dwelling into a three-family dwelling. The Project includes a rear addition at the third floor, and a three-story side addition along the south property line for a fourth dwelling unit, and the conversion of a storage structure in the rear yard into a fifth dwelling unit. The Project includes one one-bedroom unit, three two-bedroom units, and one three-bedroom unit. The units range in size from 796 to 2,379 square feet. The Project includes approximately 1,850 square-feet of usable open space in the rear yard, and a bicycle locker for six bicycles. The second floor contains a private 36 square-foot balcony. Enlargement of an existing dormer on the pitched roof of the front building, and the addition of a matching dormer on the other side of the pitch, is also proposed. Two dormers are also proposed to be added to the main rear structure.
3. **Site Description and Present Use.** The Project Site is located on the east side of Clayton Street between Waller and Frederick Streets, Lot 039 in Assessor's Block 1254, in an RH-3 (Residential, House – Three-Family) Zoning District and 40-X Height & Bulk District. The Project Site is in the Haight Ashbury neighborhood and Supervisorial District 5. The Project Site is approximately 4,650 square feet in size, and contains two structures. The structure at the front of the lot is authorized for use as a church and single-family dwelling. The structure at the rear of the lot is authorized for use as an accessory storage structure. The church has been vacant since 2016. The dwelling unit is currently vacant.
4. **Surrounding Properties and Neighborhood.** The Project Site is located within both an RH-3 Zoning District in Haight Ashbury neighborhood. The lots adjacent to the Project Site are predominantly zoned RH-2 and RH-3, with the buildings generally being conforming three- or four-story low-density buildings. The Project Site is located approximately one block away from a the Haight Street Neighborhood Commercial District (NCD), which contains many necessary neighborhood necessities.

5. **Public Outreach and Comments.** The Department has not received any public comment on the proposed Project.
6. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Use.** Planning Code Section 209.1 states that Conditional Use Authorization is required in an RH-3 Zoning District to exceed the principally permitted density limit of three dwelling units per lot. One dwelling unit per 1,000 square feet of lot area is permitted with Conditional Use Authorization.

The Project Site is located in both an RH-3 Zoning District and has a lot area of 4,656 square feet. Based on the dwelling unit density calculation method in Planning Code Section 207, with Conditional Use Authorization, a maximum of five dwelling units are permitted. The Project proposes five dwelling units.

- B. **Rear Yard.** Planning Code Section 134 requires a rear yard equal to 45 percent of the total lot depth, at grade and above, for properties containing dwelling units in RH-3 Zoning Districts. Alternatively, the rear yard line may be averaged based on the two adjacent neighbors. The forward edge of the required rear yard shall be reduced to a line on the subject lot, parallel to the rear lot line of such lot, which is an average between the depths of the rear building walls of the two adjacent buildings.

The Project does not have a Code-compliant rear yard. While the rearmost edge of the front building does not extend past the average rear yard line of the two adjacent neighbors, the Project proposes to convert an accessory structure at the rear of the lot from storage to a dwelling unit. Therefore, the Project requires a rear yard variance.

- C. **Useable Open Space.** Planning Code Section 135 requires 100 square feet of useable open space for each dwelling unit if all private, or 133 square feet of common usable open space per unit in the RH-3 Zoning District.

The Project includes 1,854 square feet of usable open space in the rear yard, which is accessible in a Code-compliant manner by four of the five proposed dwelling units, meeting the requirements of the Planning Code. The fifth dwelling unit (proposed as "Unit 3") on the third and fourth floor of the front building does not have access to the rear yard. Instead, a private deck measuring 101 square feet is proposed at the rear of third floor, which meets the Planning Code requirements for private usable open space. Therefore, all five dwelling units have Code-complaint access to common or private usable open space.

- D. **Dwelling Unit Exposure.** Planning Code Section 140 requires that at least one room of all dwelling units face onto a public street or public alley at least 30 feet in width, a side yard at least 25 feet in width, a rear yard meeting the requirements of the Code or an open area,

whether an inner court or space between separate buildings on the same lot, that is no less than 25 feet in every horizontal dimension.

The Project proposes a large inner court between the five dwelling units, measuring approximately 1,500 square feet, exceeding 40 feet in every horizontal dimension.

- E. **Off-Street Parking.** Planning Code Section 151.1 permits a maximum of 1.5 off-street automobile parking spaces per dwelling unit.

The Project does not include any off-street automobile parking.

- F. **Bicycle Parking.** Planning Code Section 155.2 does not require bicycle parking when adding a dwelling unit if no off-street vehicle parking exists.

The Project Site does not currently have any off-street vehicle parking, nor is any proposed. While bicycle parking is not required, a bicycle locker with space for 10 bicycles is provided in the rear yard for tenants.

- G. **Height.** Planning Code Section 260 requires that all structures be no taller than the height prescribed in the subject height and bulk district. Section 260(a)(1)(B) states that where a lot is level with or slopes downward from a street at the centerline of the building or building step, such point shall be taken at curb level on such a street.

The subject property is located within a 40-foot height district. The Project proposes a maximum height of 39-feet, 9-inches.

- H. **Child Care Requirements for Residential Projects.** Planning Code Section 414A requires that any residential development project that results in at least one net new residential unit shall comply with the imposition of the Residential Child Care Impact Fee requirement.

The Project proposes to add four residential units. Therefore, the Project is subject to the Residential Child Care Impact Fee and must comply with the requirements of Planning Code Section 414A

7. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The Project Site is larger than what is typical for residential lots in the Haight Ashbury neighborhood, such that the Planning Code allows increased dwelling unit density at a rate of one dwelling unit per

1,000 square feet of lot area. The five dwelling units proposed are necessary and desirable in that the Project would add to the neighborhoods housing stock, while utilizing a currently vacant building whose last occupied use was not in conformity with the Planning Code. The design of the buildings are consistent with the Residential Design Guidelines, and compatible with the neighborhood.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The Project Site is larger than what is typical for the neighborhood, with an irregular shape that includes a portion of the lot at the rear extending north behind the adjacent neighbor to the north (commonly referred to as an "L-shaped lot."). Despite the larger than typical size of the lot, the front building is similar in size and shape to the surrounding neighborhood. Structures similar to the rear building, while not common, can be found sporadically in other residential districts in a comparable size. The addition proposed for the front building is modest and in keeping with the scale of the neighborhood, as are the dormers proposed on both buildings. The design of the buildings are consistent with the Residential Design Guidelines, and compatible with the neighborhood.

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Planning Code does not require parking or loading for residential uses, and the Project includes 10 bicycle parking spaces. The Project will not significantly affect traffic patterns in the immediate area.

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

As the proposed project is residential in nature, unlike commercial or industrial uses, the proposed use is not expected to produce noxious or offensive emissions. Safeguards will be used during construction to mitigate any impact to the neighborhood.

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The Project is residential in nature and will be landscaped accordingly. Features such as screening, parking and loading areas, service areas, and lighting and signs are not necessary.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Use District.

The proposed project is consistent with the stated purposes of the RH-3 Zoning District, which are devoted to one-, two-, and three-family buildings, and generally do not exceed three or four stories. The Project proposes five dwelling units on a larger than typical lot, which is allowed with Conditional Use Authorization.

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1:

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.10

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

The Project does not include off-street automobile parking, but includes ten bicycle parking spaces for five dwelling units, and is located near numerous Muni transit lines. These features will ensure that households can easily rely on alternate methods to the private automobile for their transit needs.

OBJECTIVE 3:

PROTECT THE AFFORDABILITY OF THE EXISTING HOUSING STOCK, ESPECIALLY RENTAL UNITS.

Policy 3.1:

Preserve rental units, especially rent controlled units, to meet the City's affordable housing needs.

Policy 3.3:

Maintain balance in affordability of existing housing stock by supporting affordable moderate ownership opportunities.

Policy 3.4:

Preserve “naturally affordable” housing types, such as smaller and older ownership units.

The Project maintains an existing single-family dwelling and provides a net increase of four dwelling units, resulting in an increase in the density of the property. The majority of the construction will be interior renovations and remodeling, which will allow the new dwelling units to seamlessly fit into the existing character of the building and neighborhood.

OBJECTIVE 4:

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1

Develop new housing, and encourage the remodeling of existing housing, for families with children.

The Project maintains an existing single-family dwelling and provides a net increase of four dwelling units, resulting in an increase in the density of the property. There will be one one-bedroom unit, two two-bedroom units, and one three-bedroom unit.

OBJECTIVE 11:

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2

Ensure implementation of accepted design standards in project approvals.

Policy 11.3

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.4:

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

Policy 11.6

Foster a sense of community through architectural design, using features that promote community interaction.

Policy 11.8

Consider a neighborhood's character when integrating new uses, and minimize disruption caused by expansion of institutions into residential areas.

The Project has been designed in conformity with Residential Design Guidelines, which ensure that existing residential neighborhood character is respected and unimpacted, to the extent possible. The development utilizes existing structures, with the majority of construction being interior renovations and remodeling. The focus on re-purposing existing structures will prevent adverse impacts to existing residential neighborhood character.

URBAN DESIGN ELEMENT

Objectives and Policies

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.2:

Recognize, protect and reinforce the existing street pattern, especially as it is related topography.

Policy 1.3:

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

The Project proposes five dwelling units across three structures. The structure at the front of the property contains four dwelling units. The rear structure contains one dwelling unit, and, while not typical, is of a size and shape that blends in within the neighborhood. Overall, the Project furthers a sense of image, purpose, and orientation that the neighborhood currently maintains.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:
 - A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The project site does not possess any neighborhood-serving retail uses. The Project provides four new dwelling units, which will enhance the nearby retail uses by providing new residents, who may patron and/or own these businesses.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The project site does contains one existing dwelling unit, which is proposed to retention. The Project would also provide four new dwelling units, thus resulting in an overall increase in the neighborhood housing stock. The Project maintains a height and scale compatible with the surrounding neighborhood and is consistent with the Residential Design Guidelines.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project does include any existing or proposed affordable housing; however, the five proposed single-family dwellings are small to moderately sized, making them naturally more affordable, and will be added to the City's housing stock.

- D. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking.

The Project Site is served by nearby public transportation options. The Project is located along several Muni transit lines, including the 6-Haight/Parnassus, 7-Haight/Noriega, 37-Corbett, and 43-Masonic bus route. Additionally, the Project is near the N-Judah light rail route. Additionally, the Project provides bicycle parking for residents of the dwellings. Muni transit service and the neighborhood streets will not be overburdened by the Project.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project will not displace any service or industry establishment. The Project will not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by this Project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and will be constructed to conform to the structural and seismic safety requirements of the Building Code. This proposal will not impact the property's ability to withstand an earthquake.

G. That landmarks and historic buildings be preserved.

Currently, the Project Site does not contain any City Landmarks or historic buildings.

H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project will have no negative impact on existing parks and public open spaces.

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2018-015446CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated November 26, 2019, and stamped "EXHIBIT B" & "EXHIBIT C", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on December 12, 2019.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: December 12, 2019

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to allow authorization for five dwelling units at 740 Clayton Street, Lot 039 within Assessor's Block 1254, pursuant to Planning Code Sections **207, 209.1. and 303** within an RH-3 (Residential, House – Three Family) Zoning District and a 40-X Height and Bulk District; in general conformance with plans, dated **November 26, 2019**, and stamped "EXHIBIT B" and "EXHIBIT C" included in the docket for Record No. **2018-015446CUAVAR** and subject to conditions of approval reviewed and approved by the Commission on **December 12, 2019** under Motion No. **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **December 12, 2019** under Motion No. **XXXXXX**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN – COMPLIANCE AT PLAN STAGE

6. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

7. **Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

PARKING AND TRAFFIC

8. **Bicycle Parking.** The Project shall provide no fewer than **five** Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.2.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

9. **Parking Maximum.** Pursuant to Planning Code Section 151, the Project shall provide no more than **eight (8)** off-street parking spaces.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

PROVISIONS

10. **Residential Child Care Impact Fee.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

MONITORING - AFTER ENTITLEMENT

11. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section

176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

12. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL APPLICABLE CODES, LAWS, ORDINANCES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK. ALL CONTRACTORS SHALL HOLD HARMLESS THE ARCHITECT/ENGINEER AND THE OWNER FROM ALL DAMAGES AND/OR PENALTY ARISING OUT OF VIOLATION THEREOF.
- ALL ATTACHMENTS, CONNECTIONS OR FASTENING OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH THE BEST PRACTICE OF THE BUILDING INDUSTRY. DRAWINGS SHOWS ONLY SPECIAL REQUIREMENTS TO ASSIST THE CONTRACTOR AND DO NOT ILLUSTRATE EVERY DETAIL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS DIMENSIONS, AND MEASUREMENTS IN THE FIELD BEFORE BEGINNING WORK. ANY AND ALL DISCREPANCIES, UNUSUAL CIRCUMSTANCES, ERRORS OMISSIONS AND/OR CONFLICTS FUNDS SHALL BE REPORTED TO THE ARCHITECT/ENGINEER'S AND THE OWNER ATTENTION IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, FIRE PROTECTION, MECHANICAL, PLUMBING, AND ELECTRICAL. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH THE SAME DISCIPLINES.
- UNLESS OTHERWISE NOTED, ALL ANGLES SHALL BE RIGHT ANGLES, ALL LINES WHICH APPEAR PARALLEL SHALL BE PARALLEL, AND ALL ITEMS WHICH APPEAR CENTERED SHALL BE CENTERED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL LINES TRUE LEVEL, PLUMB AND SQUARE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND PROTECTION DURING CONSTRUCTION. ALL EXISTING IMPROVEMENTS TO REMAIN SHALL BE PROTECTED. ALL MATERIALS DELIVERED TO THE SITE SHALL BE PROPERLY STORED AND PROTECTED UNTIL INSTALLATION. ALL LUMBER SHALL BE PROTECTED FROM MOISTURE AND STORED ABOVE GROUND.
- DETAILED AND/OR LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL AND SMALLER SCALE DRAWINGS. FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS SHALL BE VERIFIED.
- ALL WORK SHALL BE DONE UNDER PERMIT. PLANS AND CALCULATIONS, IF REQUIRED, SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- NOTE THAT MECHANICAL, ELECTRICAL, FIRE PROTECTION, PLUMBING AND COMMUNICATIONS ARE DESIGN BUILD ITEMS. ARCHITECTURAL DRAWINGS SHOW DESIGN INTENT, CONTRACTOR TO CONFIRM ALL SYSTEM REQUIREMENTS WITH BUILDING OWNER AND ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR/SUBCONTRACTOR SHALL SUBMIT PLANS FOR THEIR RESPECTIVE WORK TO THE BUILDING DEPARTMENT AS REQUIRED FOR PLAN CHECK AND PERMIT ISSUANCE, INCLUDING PAYING FOR ALL PLAN CHECK AND PERMIT FEES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- VERIFY CLEARANCES FOR VENTS, CHASES, SOFFITS, FIXTURES BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
- UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING AND BRACING AS REQ'D FOR ALL NAILING OF INTERIOR TRIM AND FINISHES, AND SHALL COORDINATE AND PROVIDE ALL FRAMING, BACKING AND BRACING AS NECESSARY FOR INSTALLATION OF EQUIPMENT INDICATED ON THE DRAWINGS, PROVIDE BACKING PLATES AT ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
- INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND CODE REQUIREMENTS. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
- THERMAL AND SOUND INSULATING INSULATION SHALL COMPLY WITH CBC SEC. 719.
- ALL WALL AND CEILING FINISHES SHALL COMPLY WITH CBC CHAPTER 8.
- ALL NEW SMOKE DETECTORS TO E HARD WIRED.

NOTE: WATERPROOFING OF BUILDING ENVELOPE IS NOT UNDER THE SCOPE OF THIS PERMIT. OWNER IS TO HIRE A WATERPROOFING EXPERT TO PROVIDE WATERPROOFING DETAILS

ABBREVIATION

#	POUND OR NUMBER	H.C.	HANDICAPPED
&	AND	HI	HIGH
AT	AREA DRAIN	HM	HOLLOW METAL
ABV	ABOVE	HP	HIGH POINT
ACT	ACOUSTIC CEILING TILE	HR	HOUR
AD	AREA DRAIN	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
AFF	ABOVE FINISHED FLOOR	IRGWB	IMPACT RESISTANT GYPSUM WALLBOARD
ALUM	ALUMINUM	ILO	IN LIEU OF
APPROX	APPROXIMATE	INSUL	INSULATED
ANOD	ANODIZED	INT	INTERIOR
ASPH	ASPHALT	LO	LOW
BD	BOARD	MAX	MAXIMUM
BLDG	BUILDING	MECH	MECHANICAL
BLKG	BLOCKING	MEMBR	MEMBRANE
BOT	BOTTOM	MIN	MINIMUM
BSMT	BASEMENT	MO	MASONRY OPENING
BST	BOTTOM OF STAIRS	MTL	METAL
BYND	BEYOND	(N)	NEW
CIP	CAST IN PLACE	NIC	NOT IN CONTRACT
CHNL	CHANNEL	NO	NUMBER
CJ	CONTROL JOINT	NOM	NOMINAL
CLG	CEILING	N.T.S.	NOT TO SCALE
CLO	CLOSET	O.C.	ON CENTER
CLR	CLEAR	OFF	OFFICE
CNTR	COUNTER	OH	OPPOSITE HAND
CMU	CONCRETE MASONRY UNIT	OZ	OUNCE
COL	COLUMN	PCC	PRE-CAST CONCRETE
COMPR	COMPRESSIBLE	P.L.	PROPERTY LINE
CONC	CONCRETE	PLUMB	PLUMBING
CONT	CONTINUOUS	PLYD	PLYWOOD
CORR	CORRIDOR	PT	PRESSURE TREATED
CPT	CARPET	PNT	PAINT/PAINTED
CT	CERAMIC TILE	PVC	POLYVINYL CHLORIDE
CTR	CENTER	RBR	RUBBER
CTYD	COURTYARD	RCP	REFLECTED CEILING PLAN
DBL	DOUBLE	RD	ROOF DRAIN
DEMO	DEMOLISH	RDWD	REDWOOD
DET	DETAIL	REQD	REQUIRED
D.F.	DRINKING FOUNTAIN	RM	ROOM
DIA	DIAMETER	S.F.	SQUARE FOOT
DIMS	DIMENSIONS	SIM	SIMILAR
DN	DOWN	SPEC	SPECIFIED OR SPECIFICATION
DR	DOOR	SPK	SPRINKLER
DWG	DRAWING	SSTL	STAINLESS STEEL
(E)	EXISTING	STC	SOUND TRANSMISSION COEFFICIENT
EA	EACH	STD	STANDARD
EL	ELEVATION	STL	STEEL
ELEC	ELECTRICAL	STRUCT	STRUCTURAL
ELEV	ELEVATOR/ELEVATION	SQ	SQUARE
EQ	EQUAL	T&G	TONGUE AND GROOVE
EXT	EXTERIOR	TC	TOP OF CURB
EXP JT	EXPANSION JOINT	TELE	TELEPHONE
EXT	EXTERIOR	TLT	TOILET
F.D.	FLOOR DRAIN	TO	TOP OF
FEC	FIRE EXTINGUISHER CABINET	TOC	TOP OF CONCRETE
FIXT	FIXTURE	TOS	TOP OF STEEL
FLR	FLOOR	TP	TOILET PAPER DISPENSER
FLUOR	FLUORESCENT	TID	TELEPHONE/DATA
FM	FILLED METAL	TST	TOP OF STAIRS
FND	FOUNDATION	TYP	TYPICAL
FO	FACE OF	U.N.O.	UNLESS NOTED OTHERWISE
F.O.F.	FACE OF FINISH	UIS	UNDERSIDE
FURR	FURRING	V.I.F.	VERIFY IN FIELD
GA	GAUGE	VP	VISION PANEL
GALV	GALVANIZED	W	WITH
G.B.	GRAB BAR	WD	WOOD
GND	GROUND	W.H.	WATER HEATER
GRP	GROUP		
GWB	GYPSUM WALL BOARD		
GYP	GYPSUM		

SCOPE OF WORK

PROPOSED CHANGE OF USE FROM EXISTING ONE DWELLING & A CHURCH TO MULTI-DWELLING UNITS BLDG. WORKS INCL. HORIZONTAL ADDITION TO ACCOMMODATE 4 DWELLING UNITS, & ADD NEW DORMERS ON THE (E) ROOF

NOTE:
BLDG. TO BE FULLY SPRINKLERED PER NFPA 13-D, UNDER SEPARATE PERMIT.

PROJECT DATA

PLANNING DATA
ADDRESS: 740 CLAYTON STREET
LOTS AREA: 4,656 ± SF
BLOCK / LOT: 1254 / 039
ALLOWED BUILDING HEIGHT: 40-X
ZONING: RH-3

REAR YARD OPEN SPACE
REQUIRED: 1,164 SF (25% OF LOT AREA: 4,656 SF x 0.25)
PROVIDED: 1,854 SF (40% OF LOT AREA)

GROSS FLOOR AREA - PER PLANNING CODE
(E) FRONT HOUSE FLOOR AREA:
1ST FLOOR: 1,181 ± SF
2ND FLOOR: 1,392 ± SF
3RD FLOOR: 1,176 ± SF
ATTIC FLOOR: 471 ± SF

GROSS BUILDING AREA: 4,220 ± SF

(N) FRONT HOUSE FLOOR AREA:
1ST FLOOR: 1,873 ± SF
2ND FLOOR: 1,873 ± SF
3RD FLOOR: 1,800 ± SF
ATTIC FLOOR: 579 ± SF

GROSS BUILDING AREA: 6,125 ± SF
TOTAL OF NEW ADDITION: 1,905 ± SF

UNIT FLOOR AREA BREAKDOWN:
UNIT 1: 1,345 ± SF (1ST FLOOR)
UNIT 2: 1,165 ± SF (2ND FLOOR)
UNIT 3: 2,379 ± SF (3RD FLOOR & ATTIC)
UNIT 4: 1,391 ± SF (NEW ADDITION)

PARKING SUMMARY
CAR PARKING: 1 CAR PARKING
CLASS I BICYCLE PARKING: 5 BICYCLE PARKING (REQ'D ONE PER DWELING)
CLASS II BICYCLE PARKING: 1 CLASS II @ SIDE WALK (REQ'D ONE PER 20 UNITS)

BUILDING CODE SUMMARY
OF STORIES: 3 WITH ATTIC (NO CHANGE)
CONSTRUCTION TYPE: TYPE "V-A"
BUILDING HEIGHT: 40'-0" ± (NO CHANGE)
(E) OCCUPANCY GROUP: A / B
(N) OCCUPANCY GROUP: R-2

PROJECT NAME
740 Clayton Street
San Francisco, CA 94117
(FRONT BUILDING)

SIA consulting
SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292 / FAX: (415) 849.1252

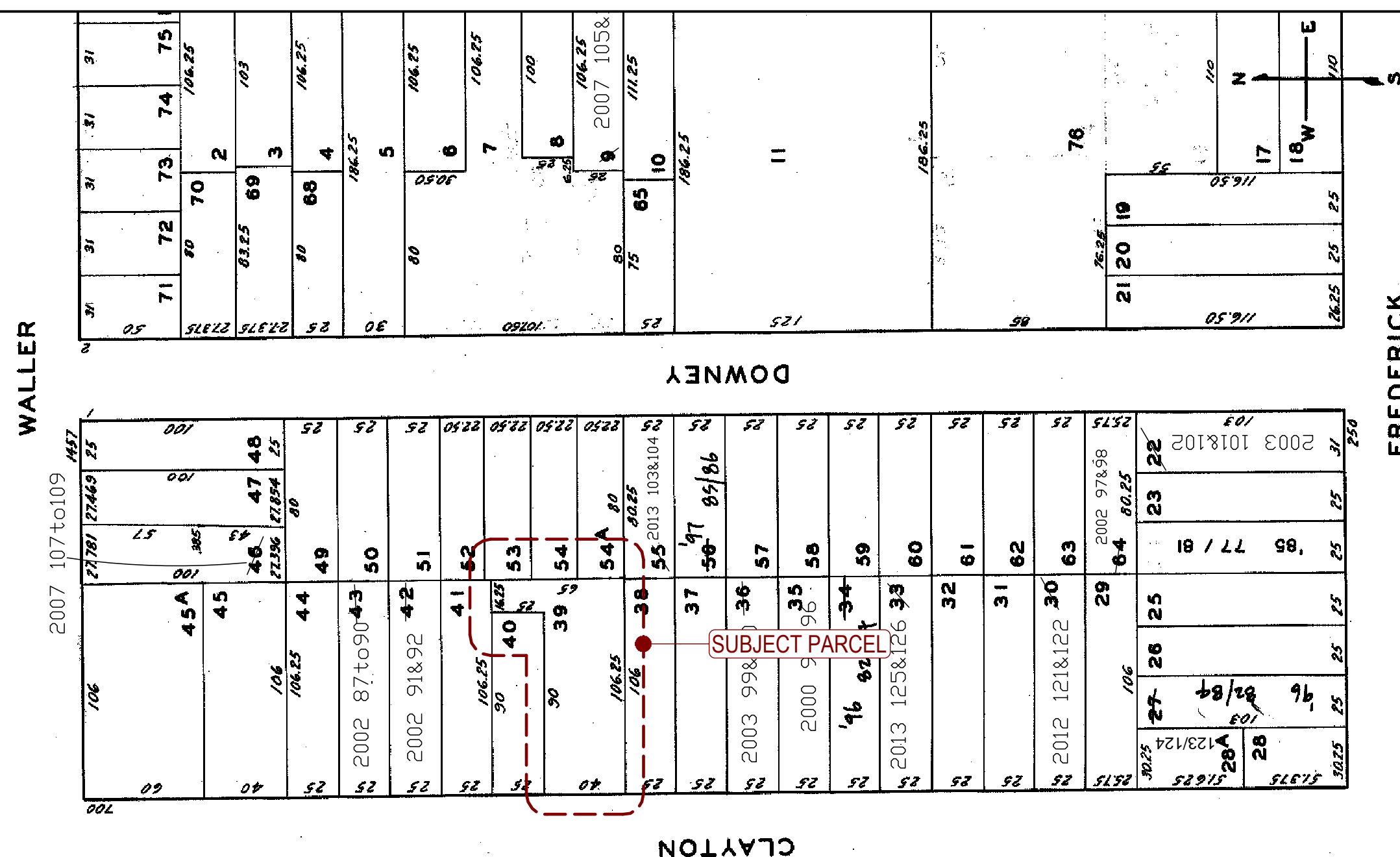
SHEET TITLE

Cover Sheet

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ASSESSOR'S MAP



BULK STUDY



DRAWING INDEX

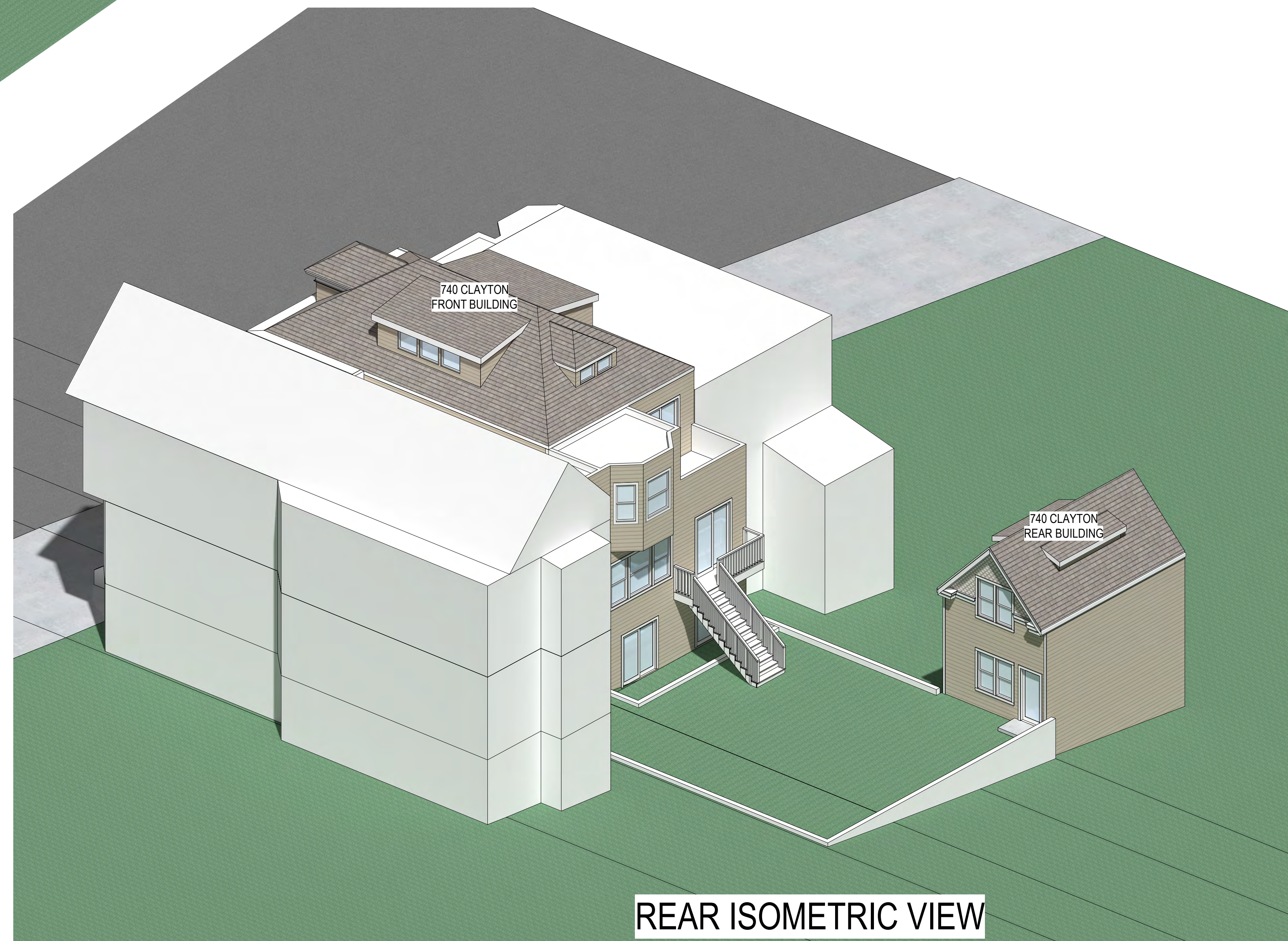
ARCHITECTURAL	
A-0.1	COVER SHEET
A-0.2	RENDERING IMAGES
A-1.1	SITE PLANS
A-2.1	(E) & (N) FIRST FLOOR PLANS
A-2.2	(E) & (N) SECOND FLOOR PLANS
A-2.3	(E) & (N) THIRD FLOOR PLANS
A-2.4	(E) & (N) ATTIC FLOOR PLANS
A-2.5	(E) & (N) ROOF PLANS
A-3.1	BUILDING ELEVATION (SOUTH)
A-3.2	BUILDING ELEVATION (NORTH)
A-3.3	BUILDING ELEVATION (WEST)
A-3.4	BUILDING ELEVATION (EAST)
A-4.1	BUILDING SECTIONS
A-5.1	TYPICAL DETAILS
A-5.2	TYP. WINDOW DETAILS
C-0.1	SURVEY
G-0.1	GREEN BUILDING CHECKLIST

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SHEET NO.

A-0.1



REAR ISOMETRIC VIEW



REAR ISOMETRIC VIEW

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SHEET TITLE

Rendering Images

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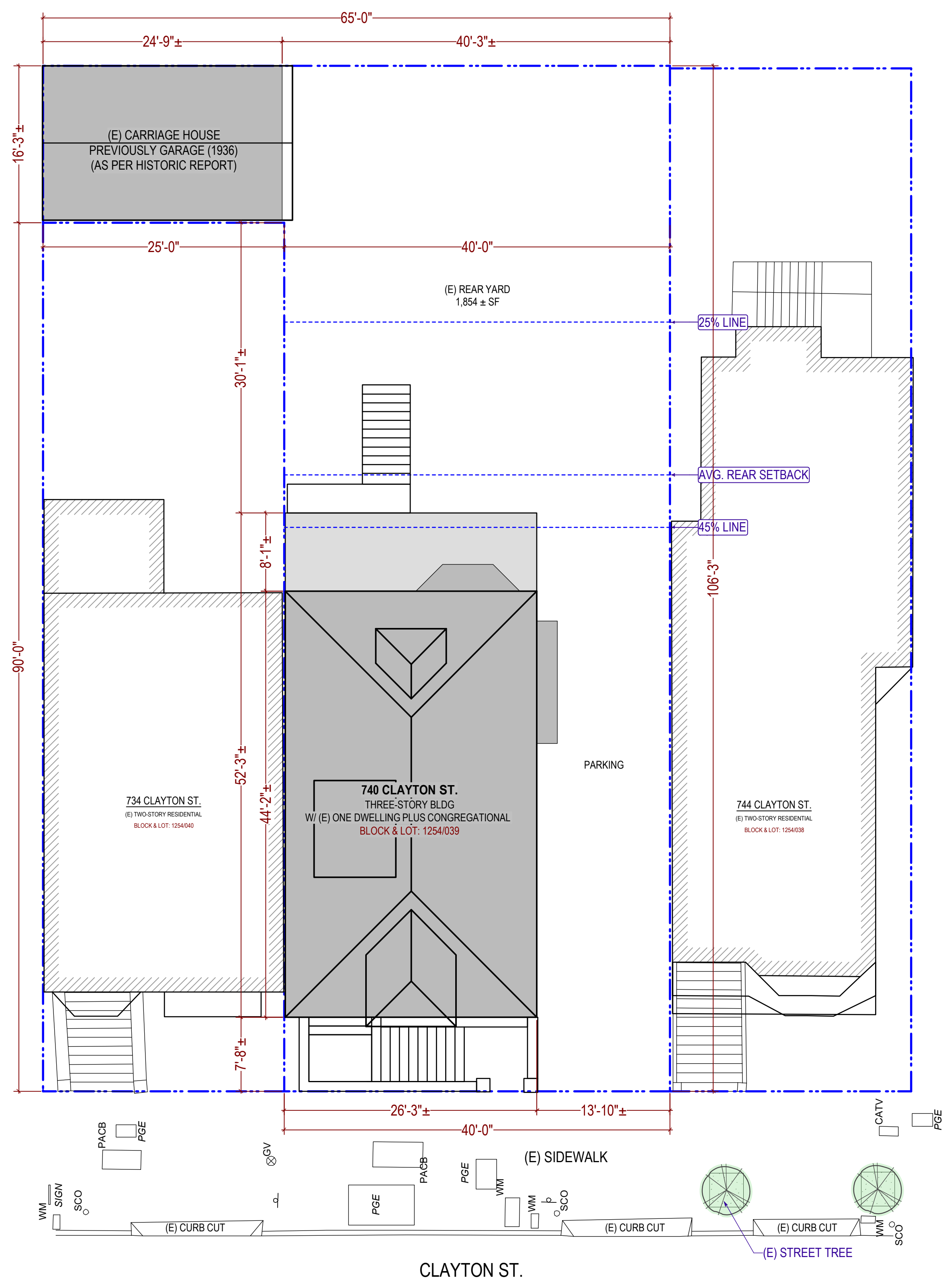
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A-0.2

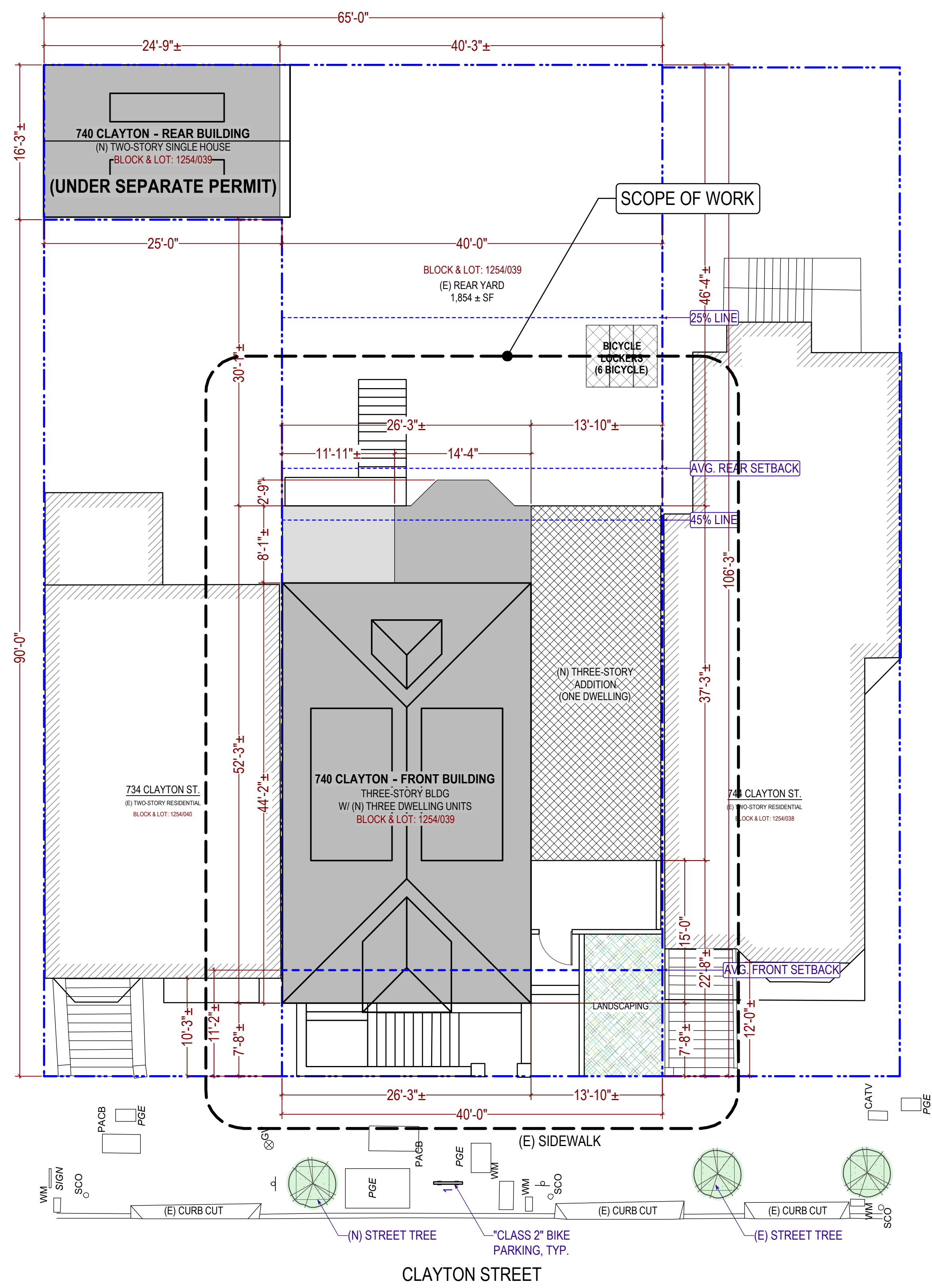
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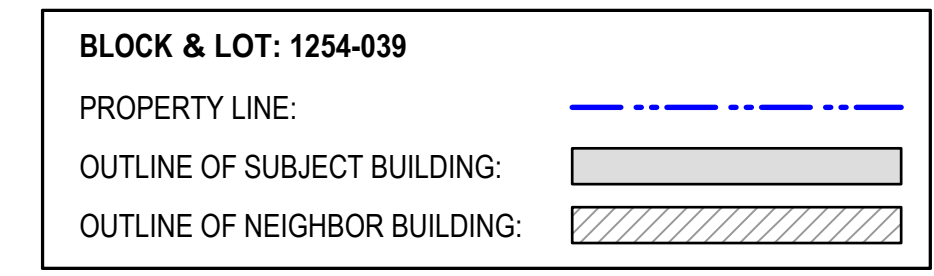
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Existing Site Plan
1/8" = 1'-0"



Proposed Site Plan
1/8" = 1'-0"

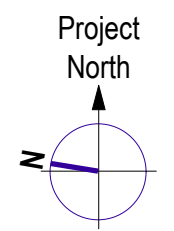


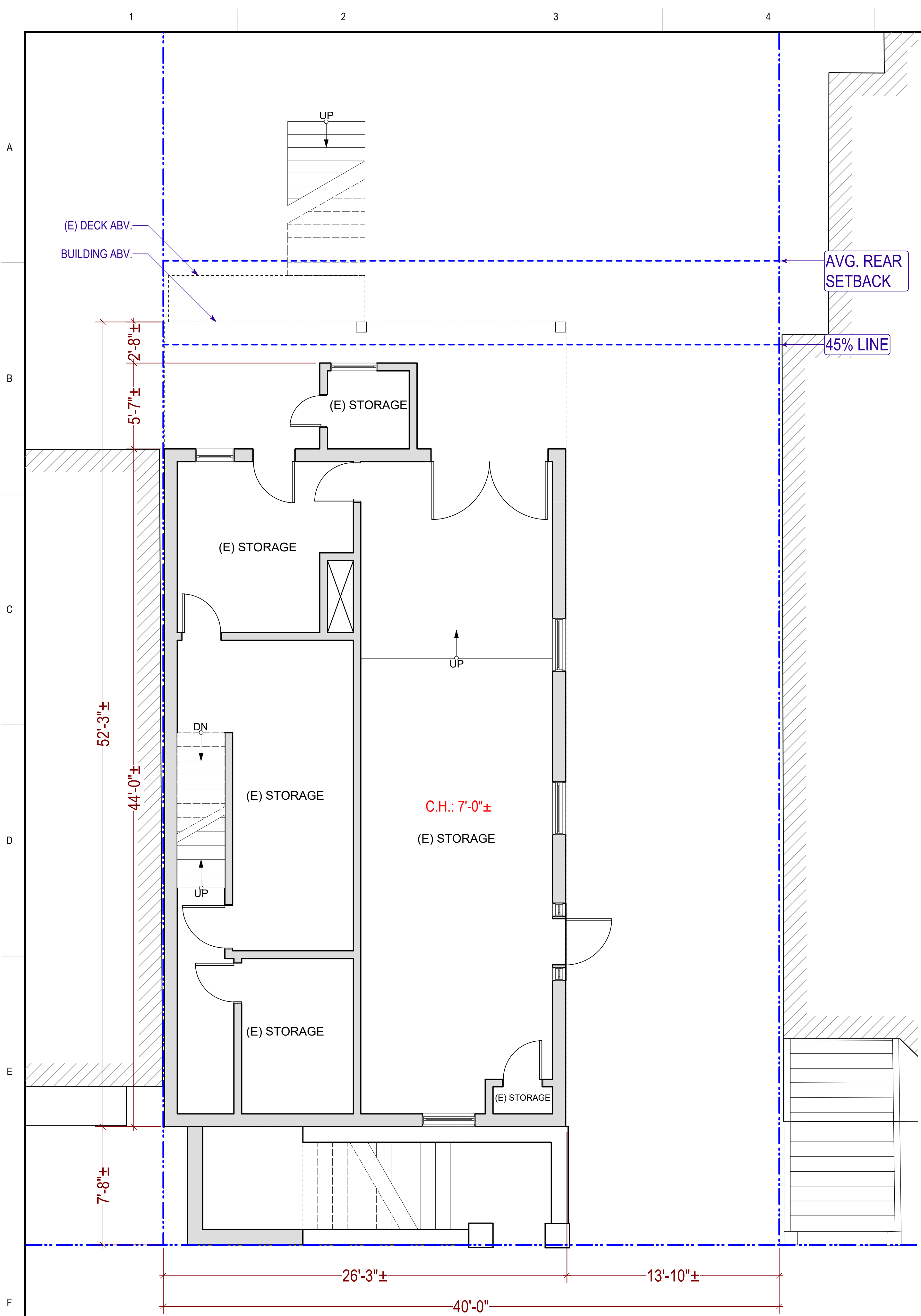
BLOCK & LOT: 1254-039

PROPERTY LINE:

OUTLINE OF SUBJECT BUILDING:

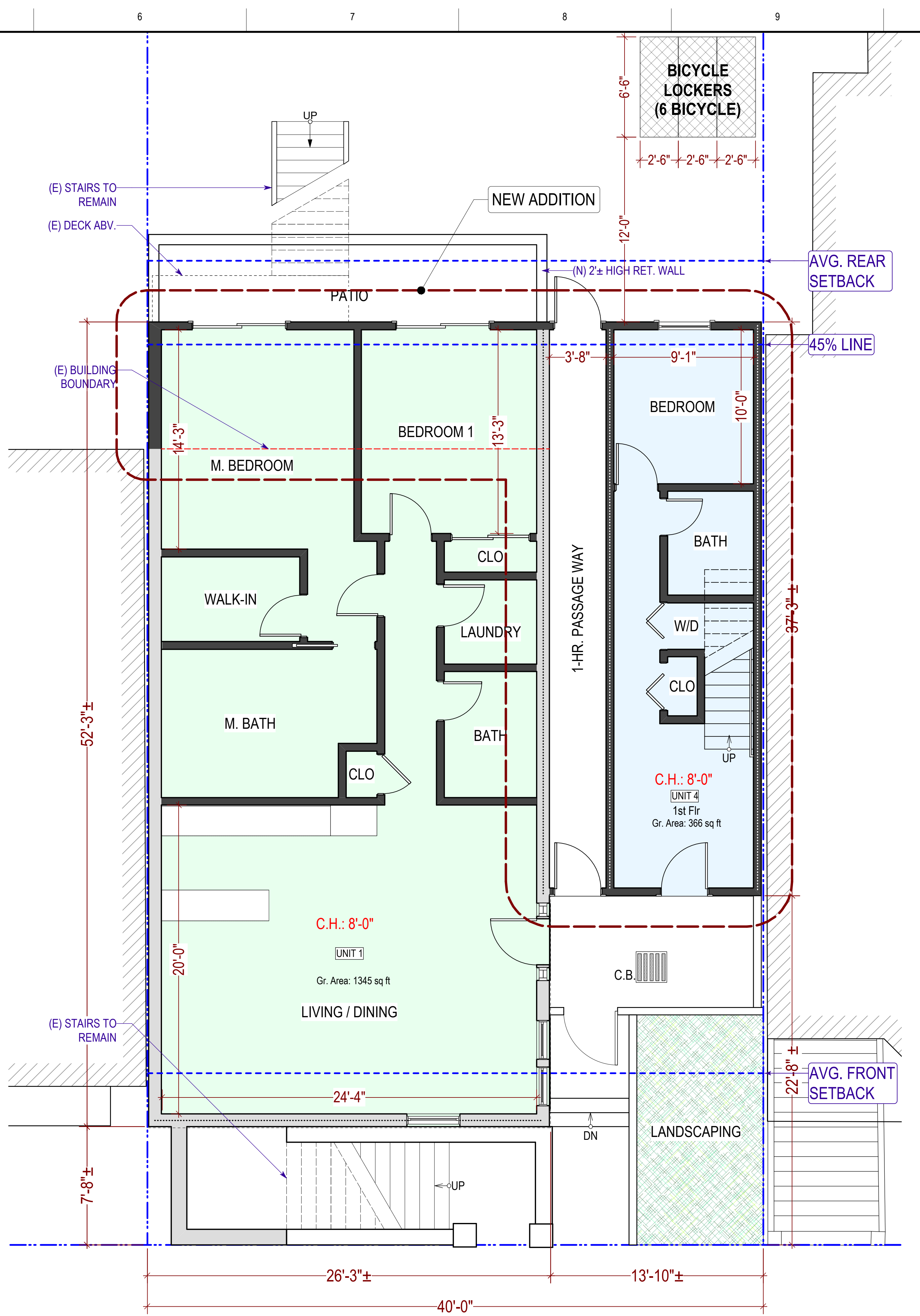
OUTLINE OF NEIGHBOR BUILDING:





Existing 1st Floor Plan

1/4" = 1'-0"



Proposed 1st Floor Plan

1/4" = 1'-0"

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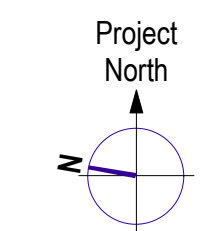
SHEET TITLE
(E) & (N) First
Floor Plans

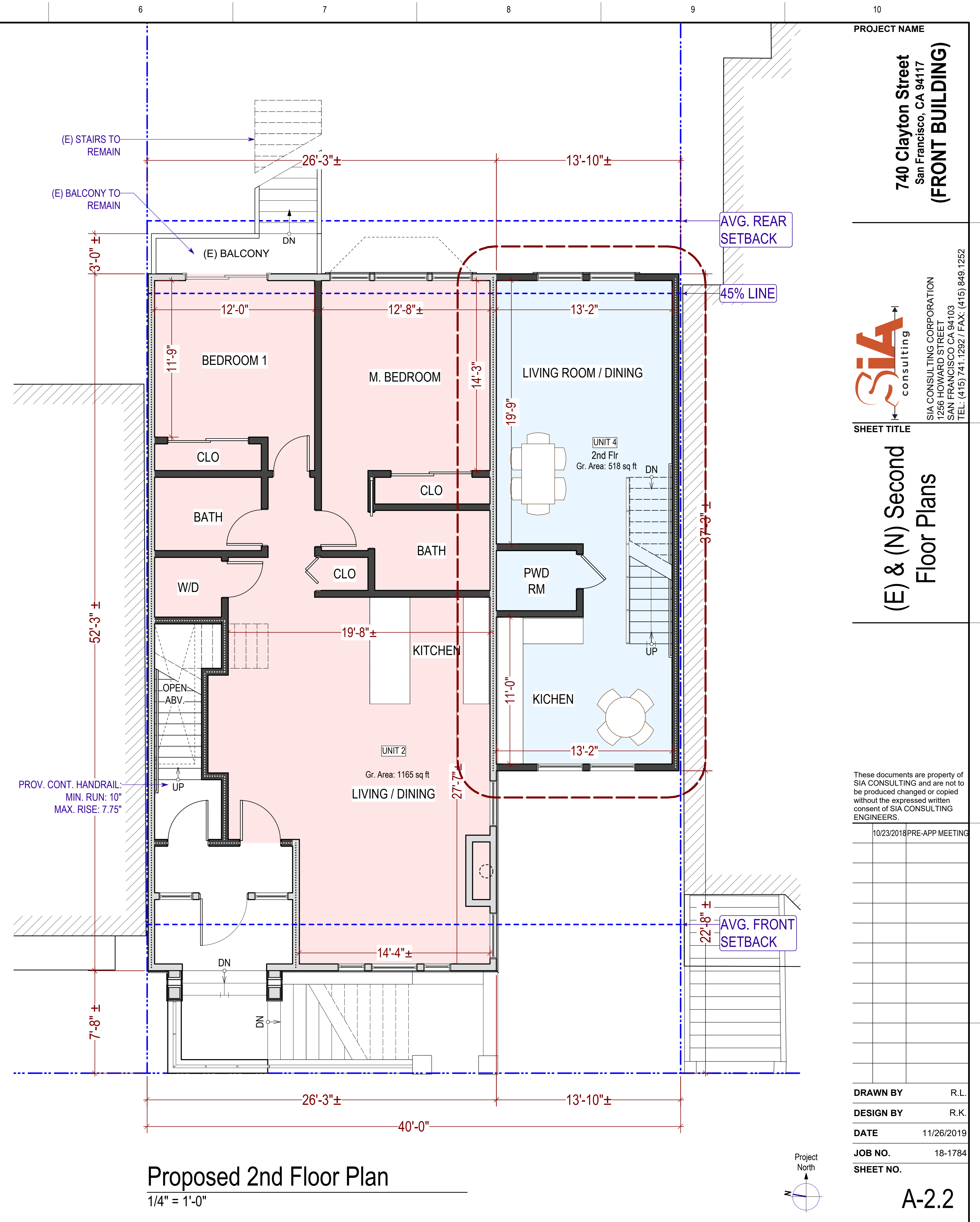
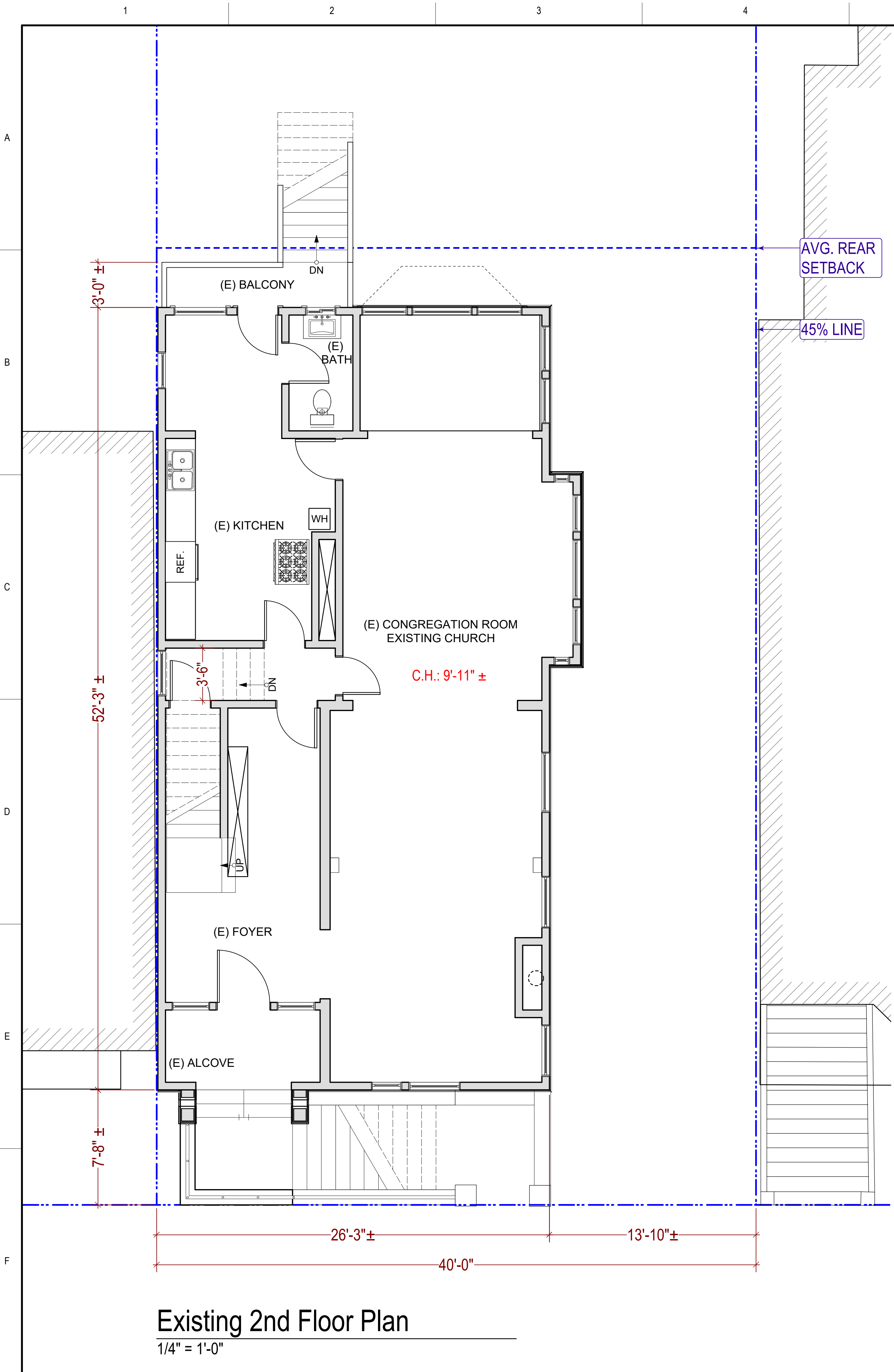
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A-2.1





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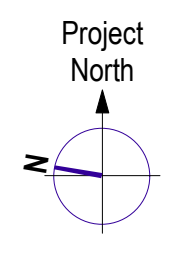
SHEET TITLE
(E) & (N) Second Floor Plans

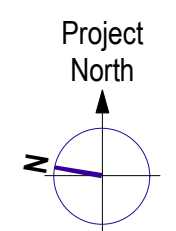
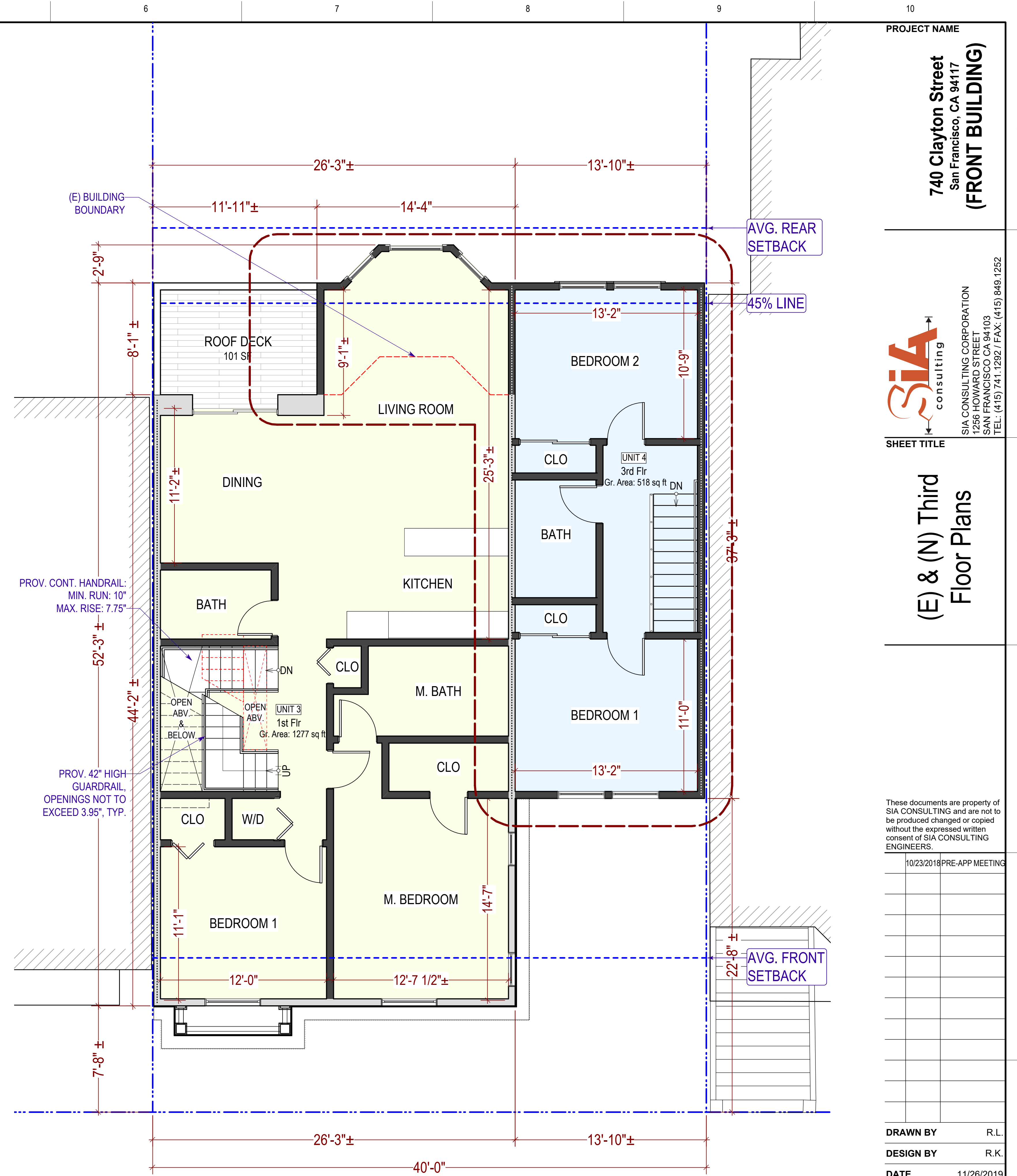
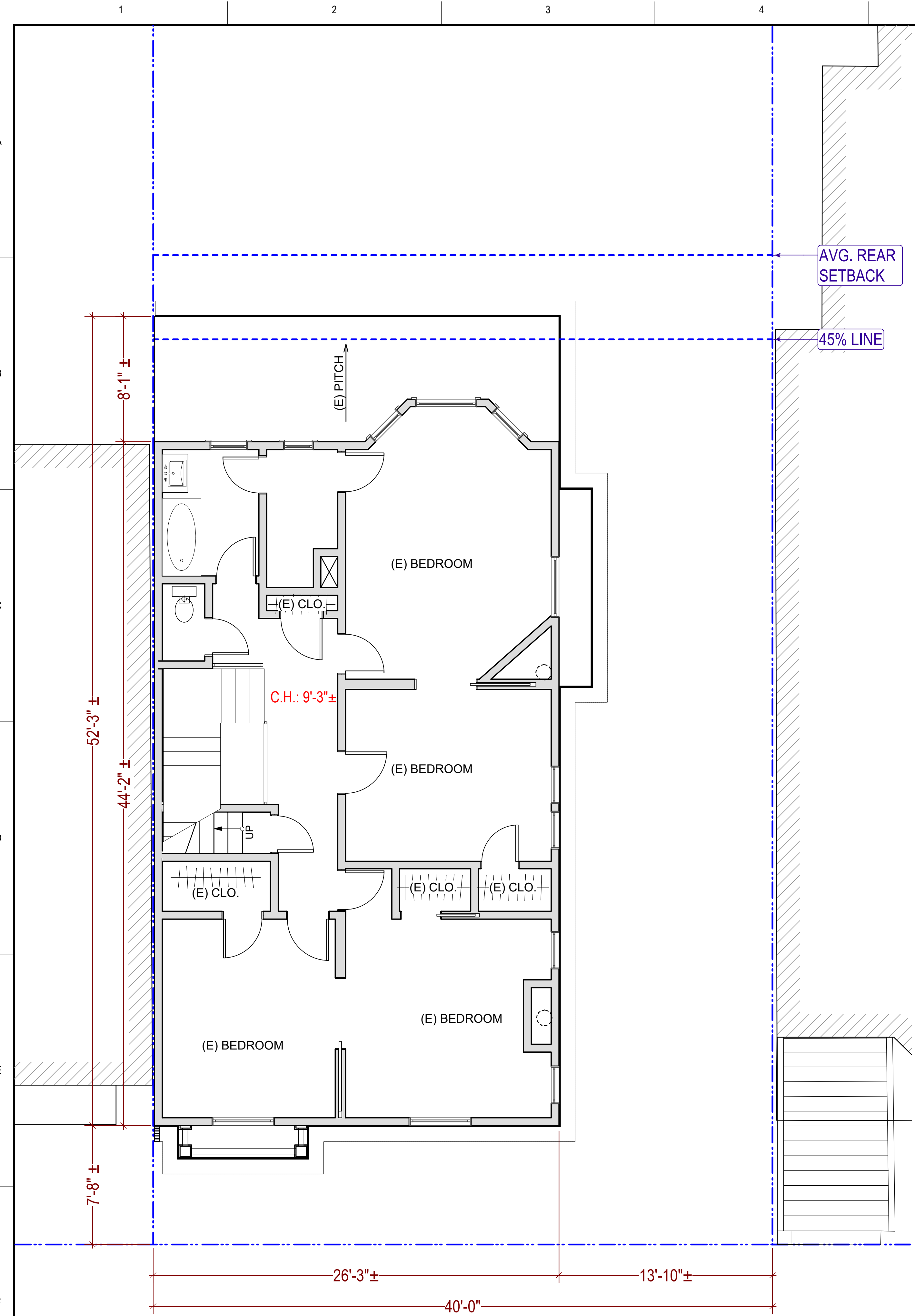
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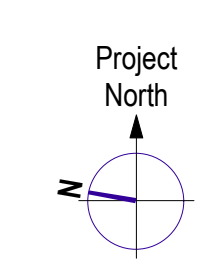
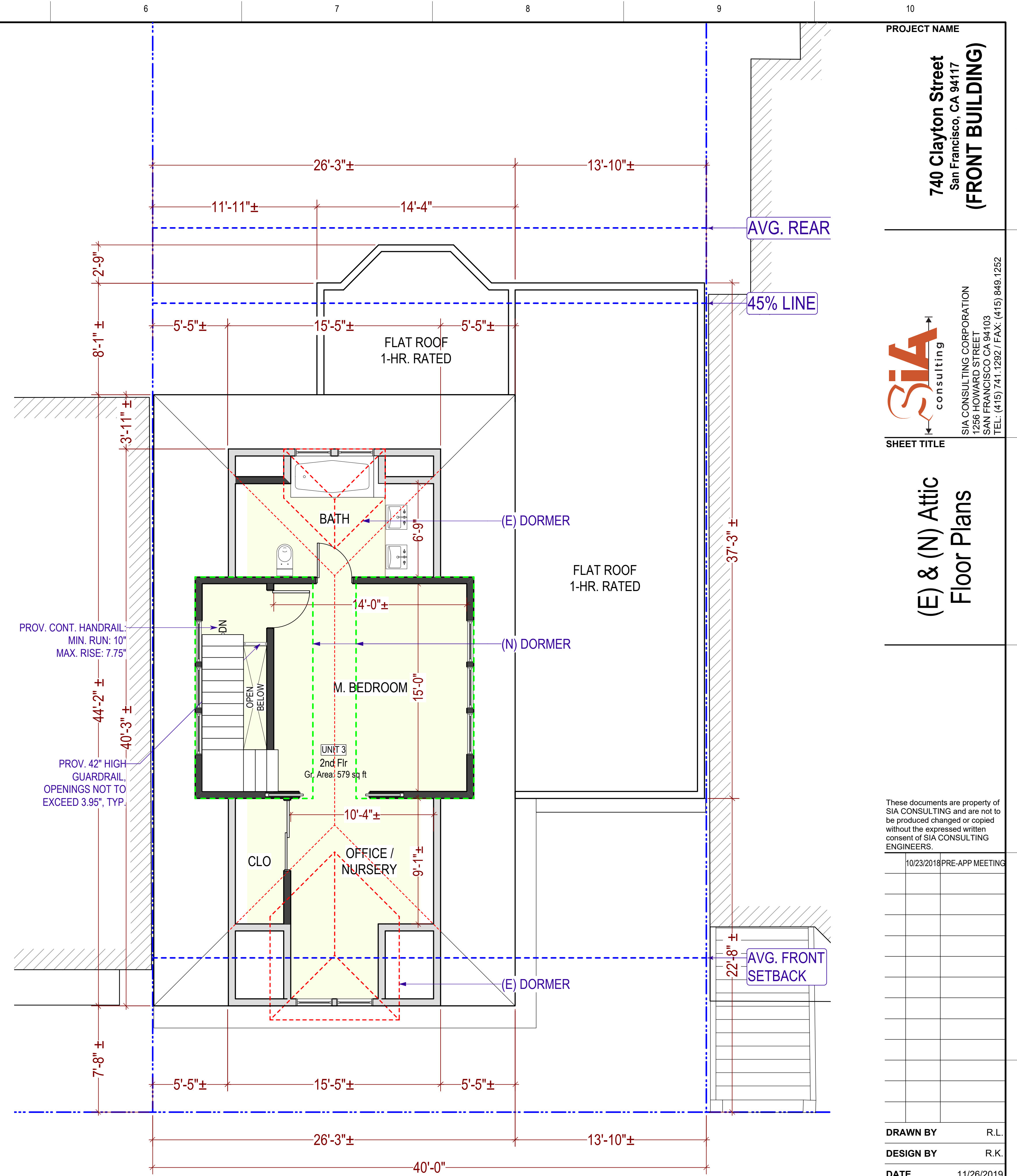
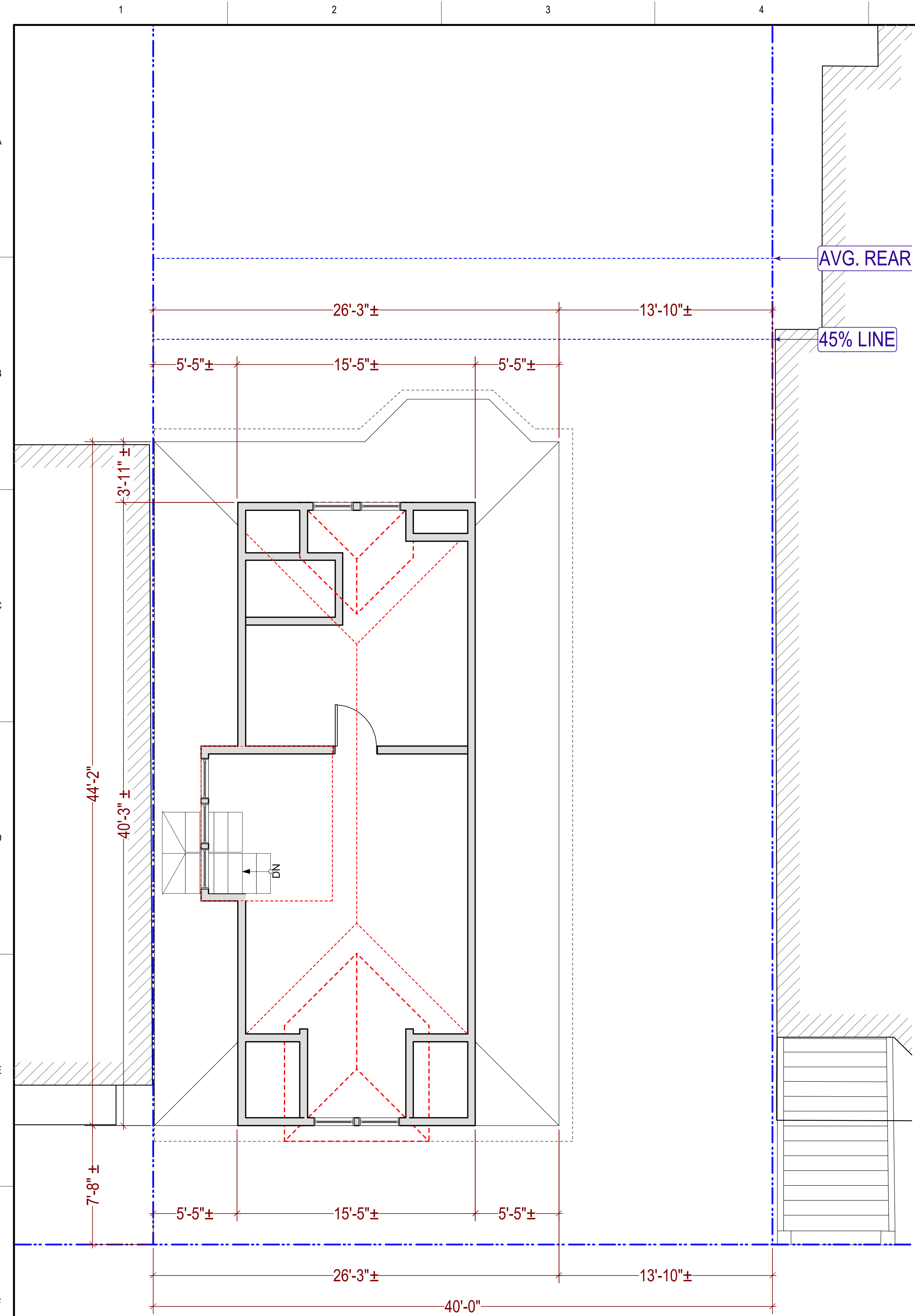
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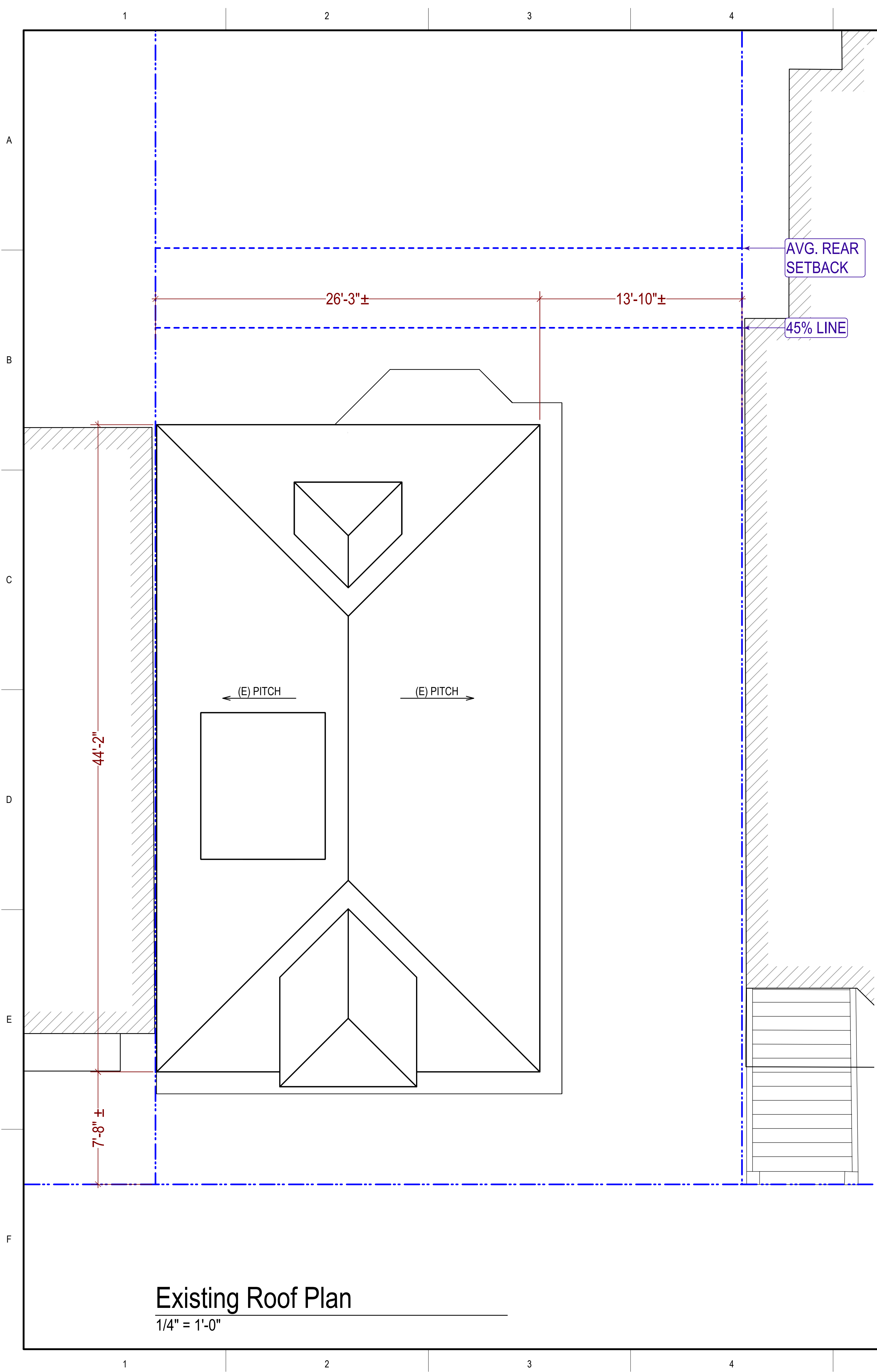
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A-2.2



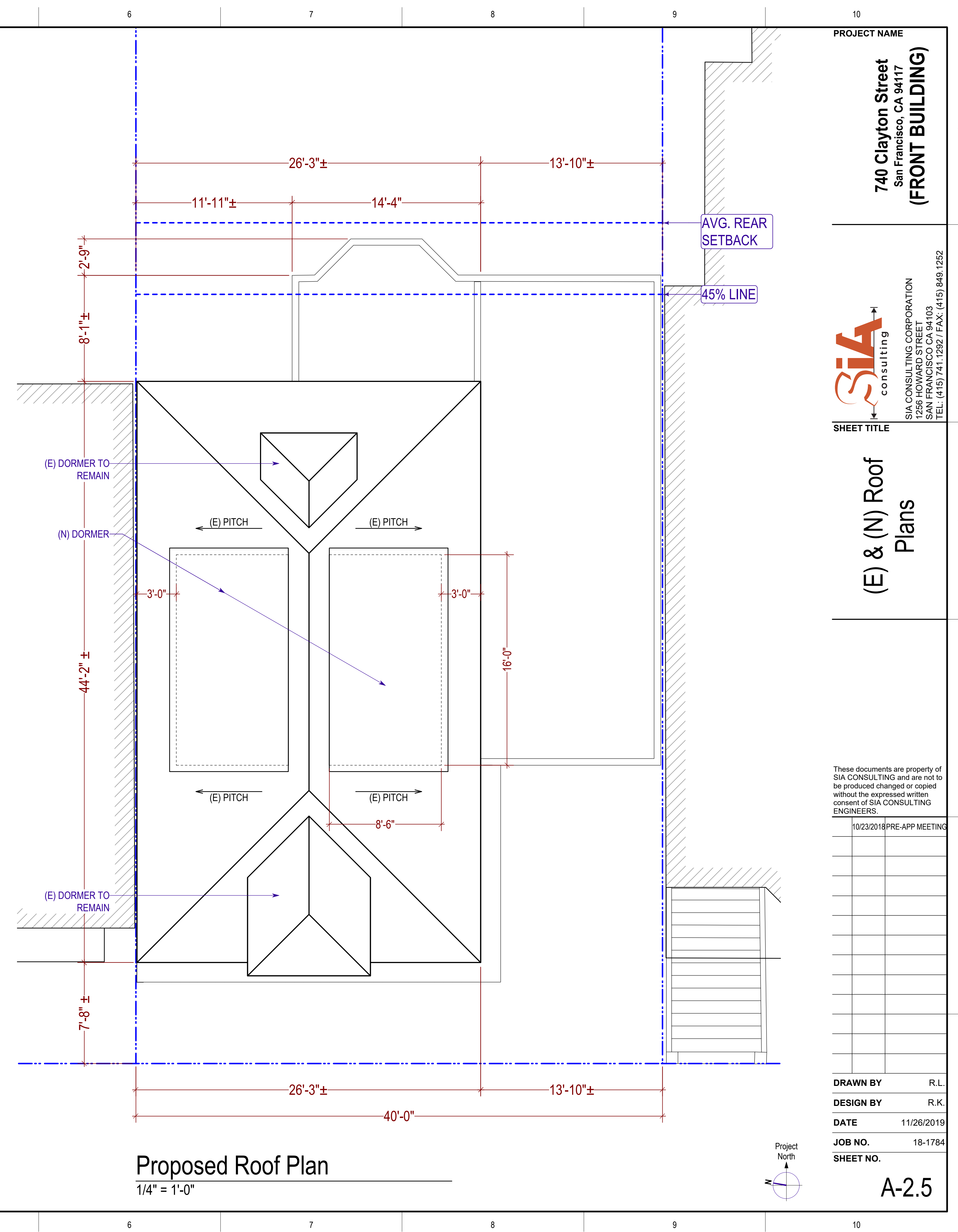






Existing Roof Plan

1/4" = 1'-0"



Proposed Roof Plan

1/4" = 1'-0"

PROJECT NAME

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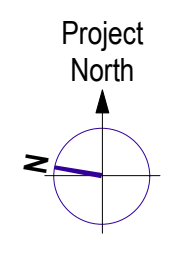
**(E) & (N) Roof
Plans**

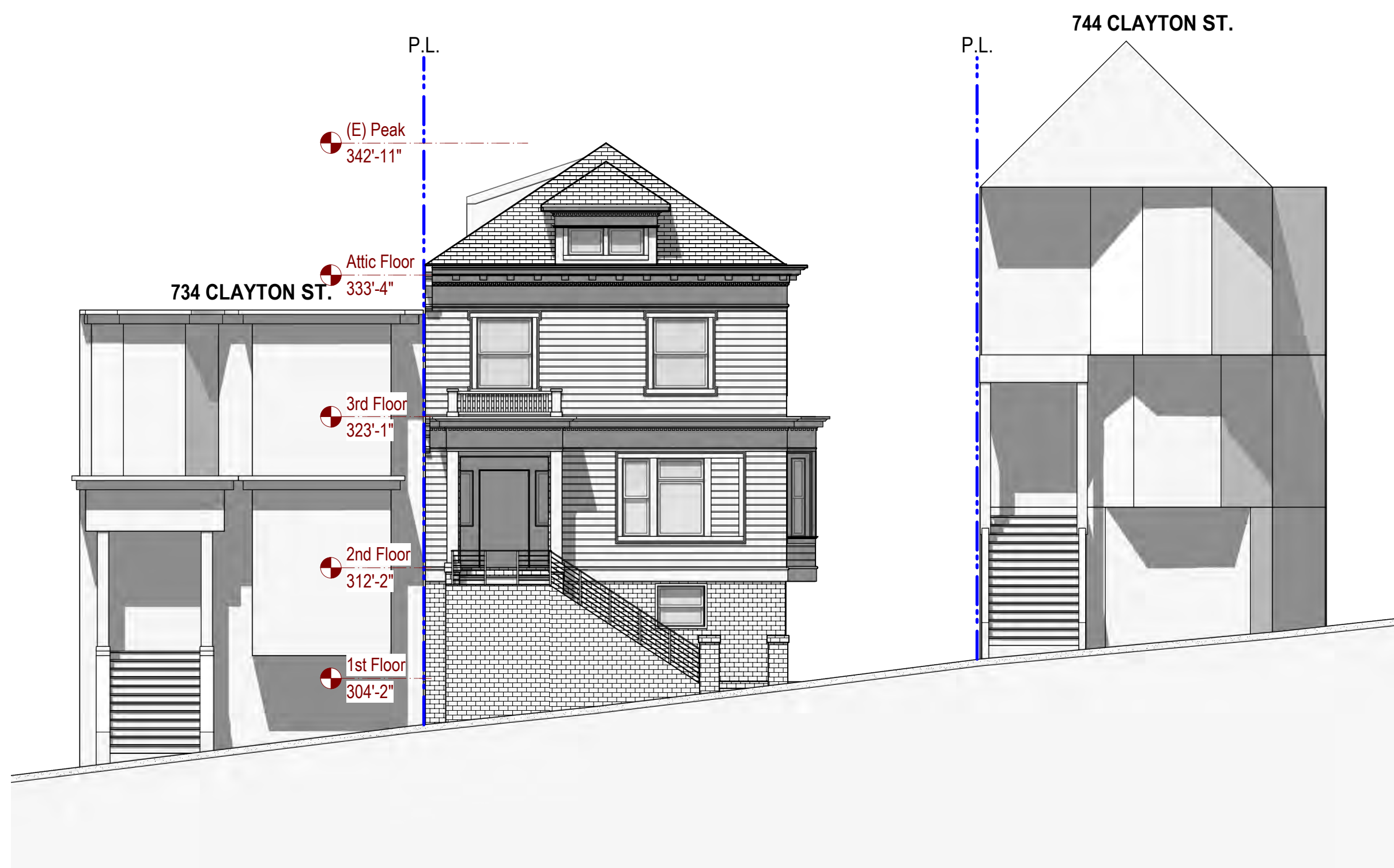
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A-2.5





Existing Front Elevation (South)

1/8" = 1'-0"



Proposed Front Elevation (South)

1/4" = 1'-0"

ELEVATION NOTES:

- SIERRA PACIFIC WOOD CARMEL DOUBLE HUNG WINDOWS ON THE FRONT FACADE. (FOR ALL NEW & REPLACED WINDOWS.)
- RUSTIC SIDING ON THE FRONT FACADE, BOTH EXISTING & NEW.

1 2 3 4 5 6 7 8 9 10

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SHEET TITLE

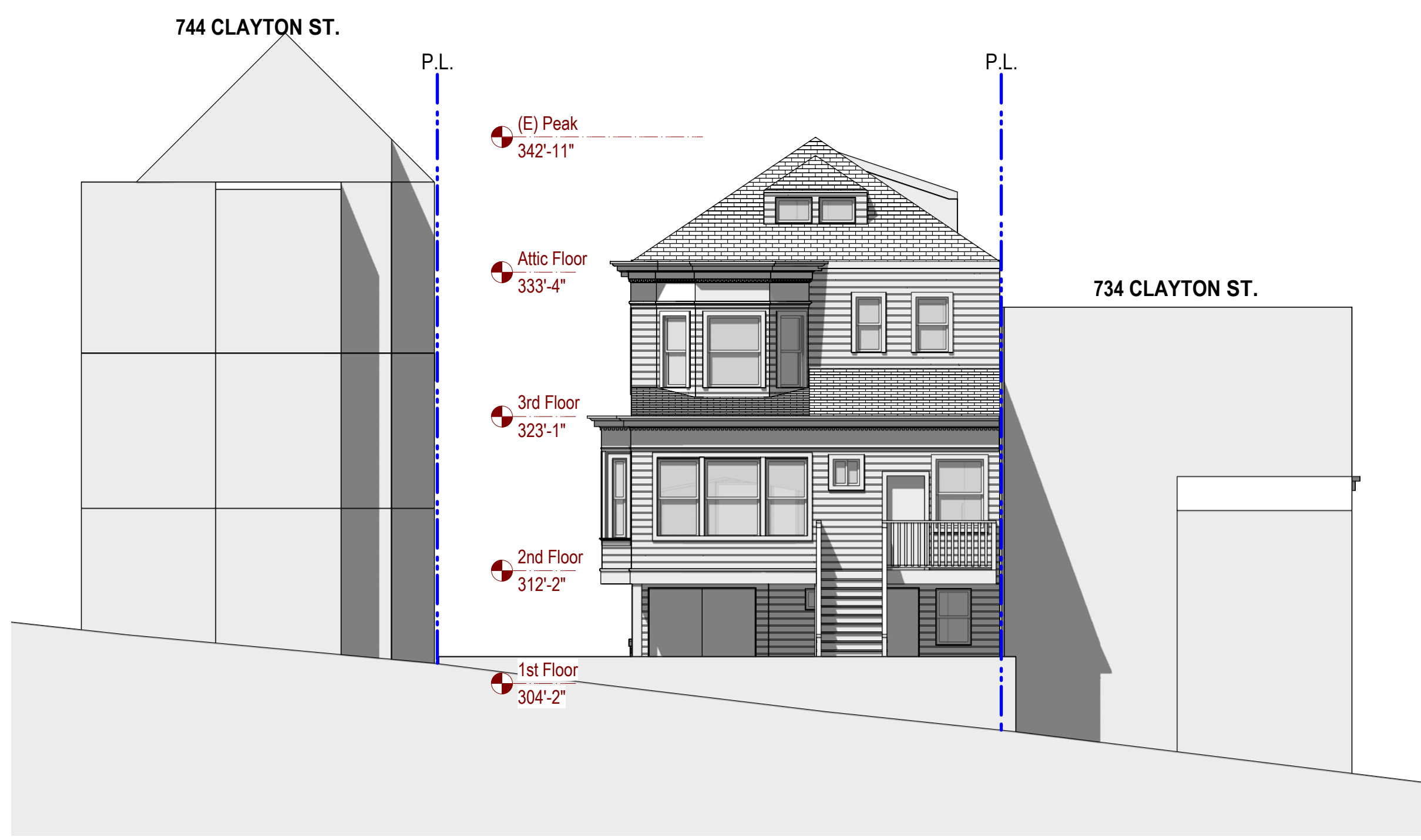
Rear Elevations
(North)

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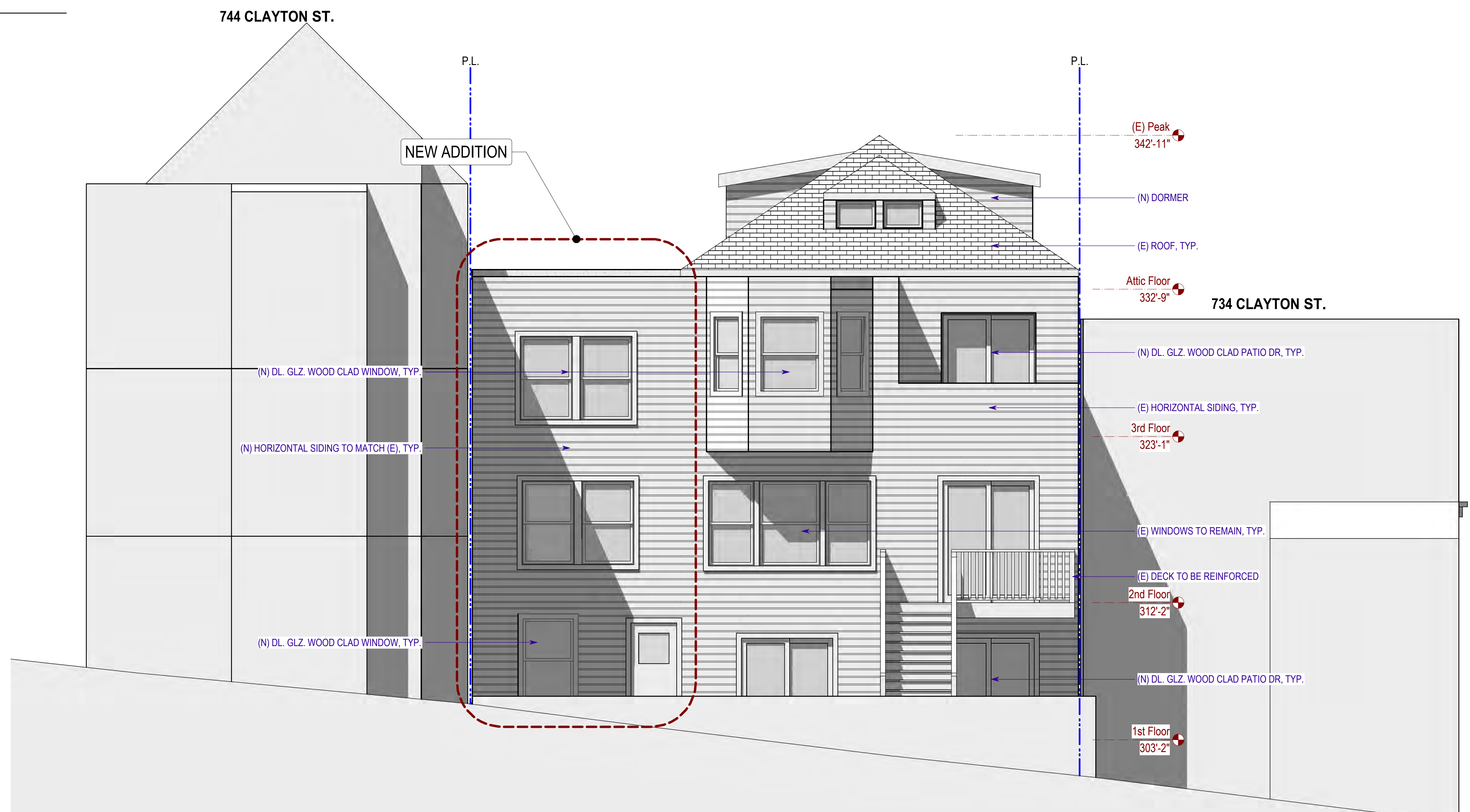
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A-3.2



Existing Rear Elevation (North)
1/8" = 1'-0"



Proposed Rear Elevation (North)
1/4" = 1'-0"

1 2 3 4 5 6 7 8 9 10

A
B
C
D
E
F

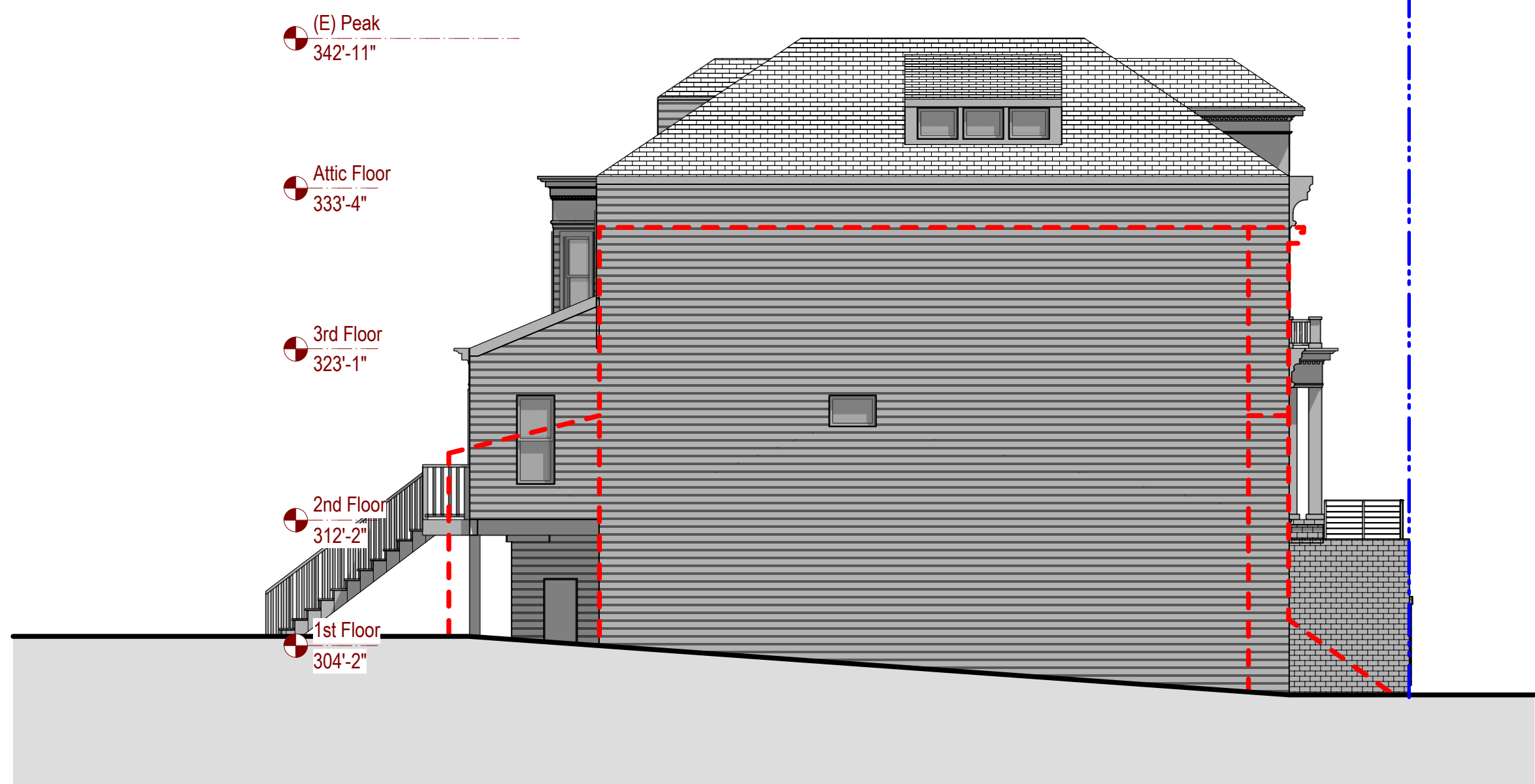
A
B
C
D
E
F

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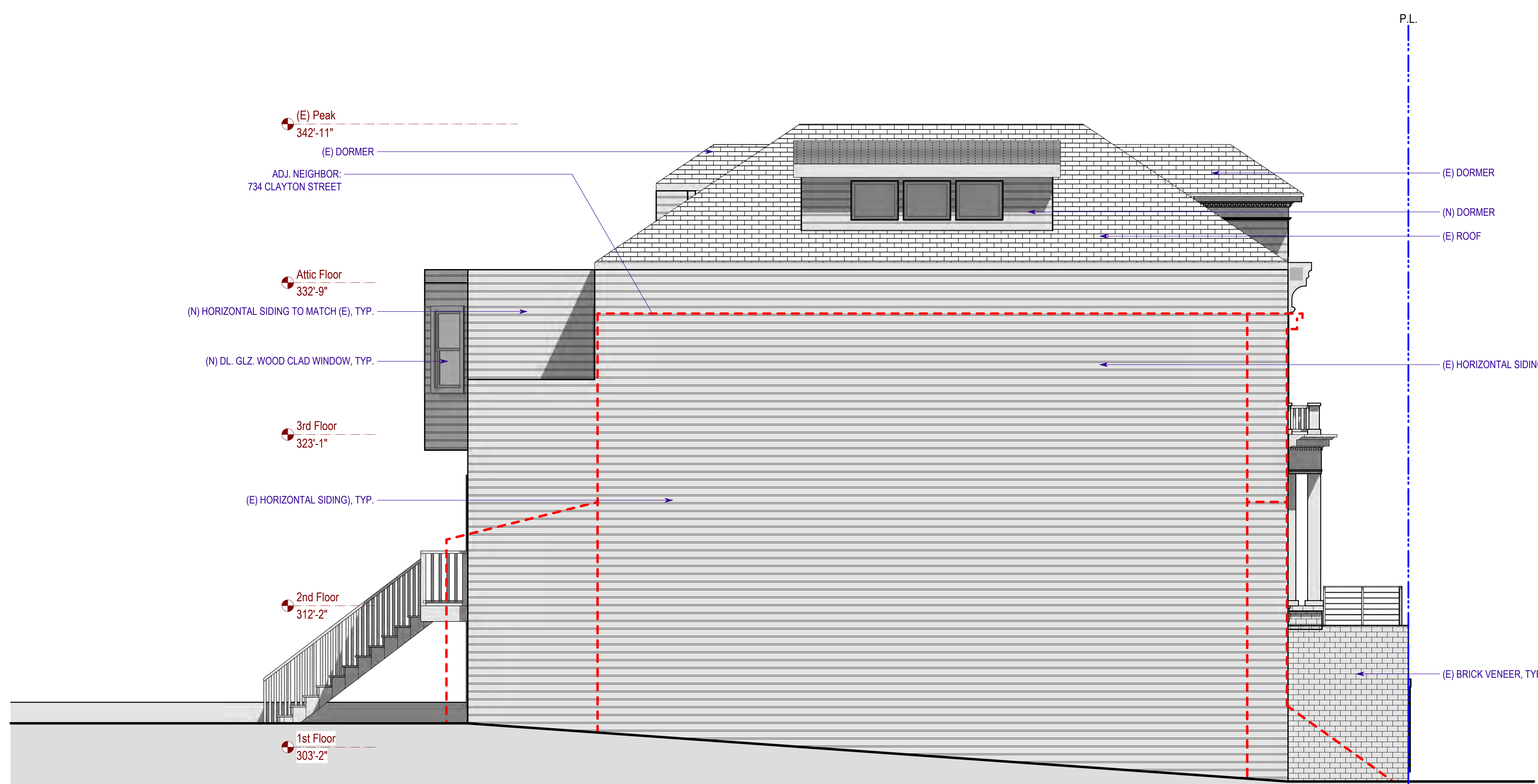
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A
B
C
D
E
F



Existing Left Elevation (West)

1/8" = 1'-0"



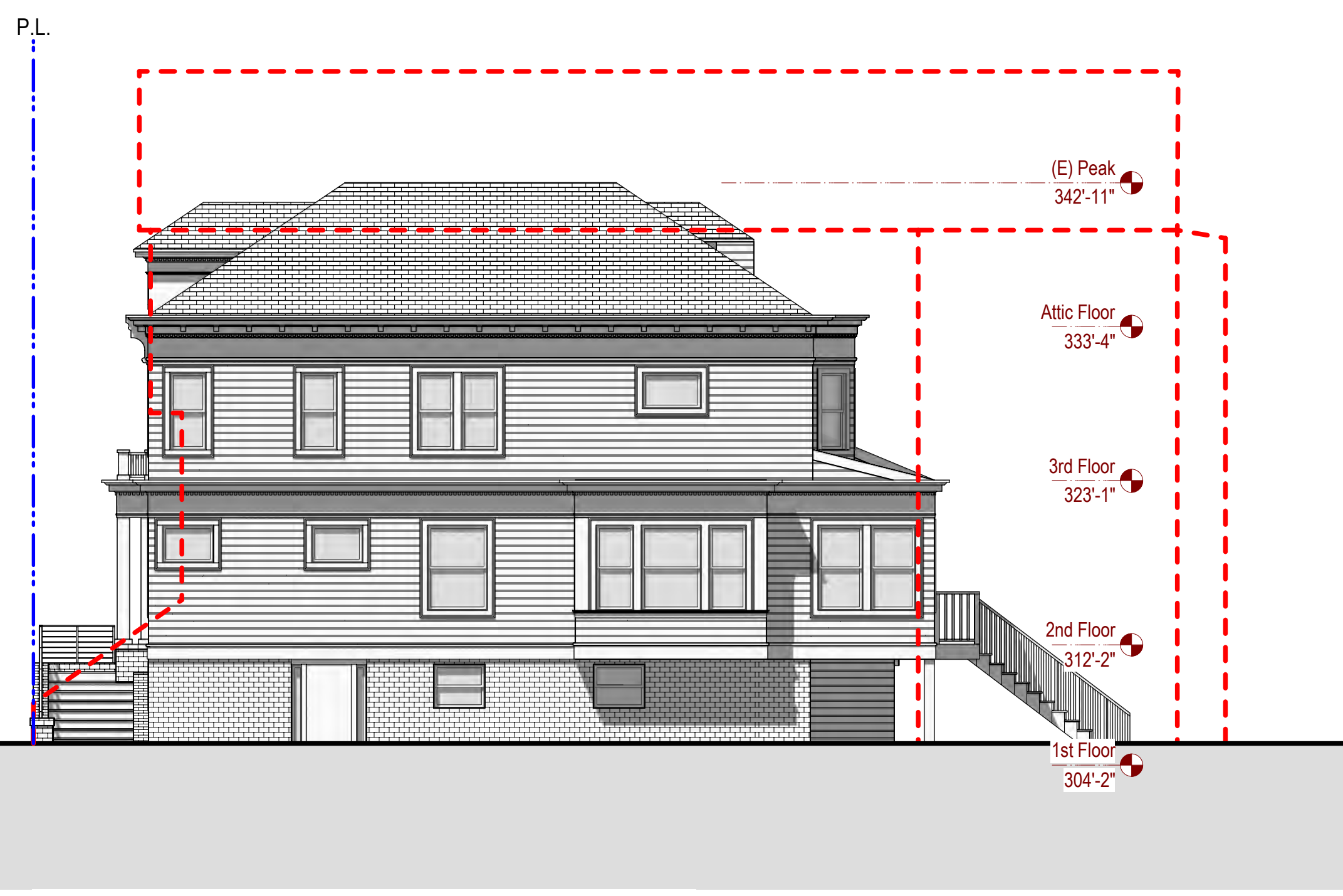
Proposed Left Elevation (West)

1/4" = 1'-0"

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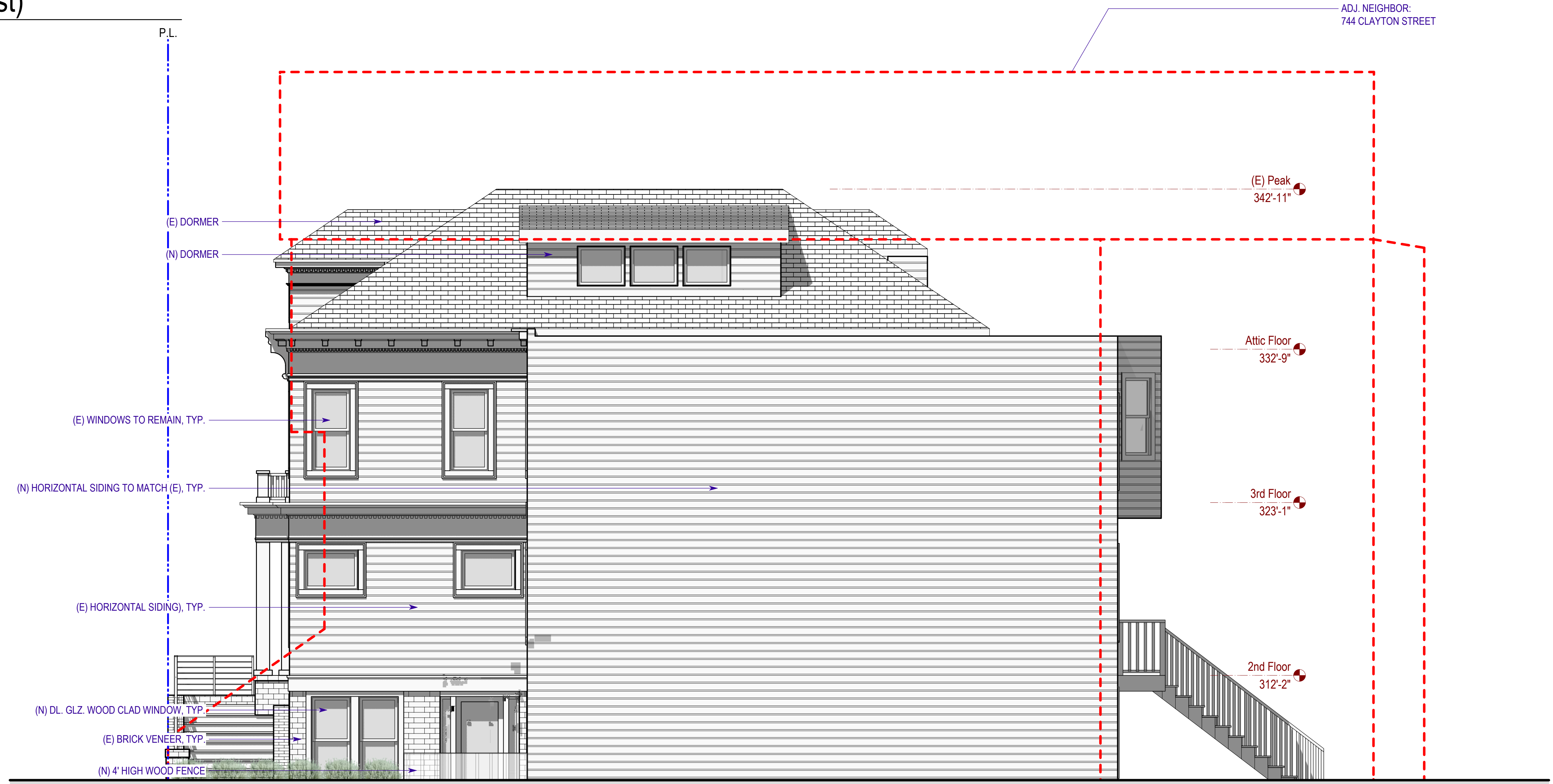
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Existing Right Elevation (East)

1/8" = 1'-0"



Proposed Right Elevation (East)

1/4" = 1'-0"



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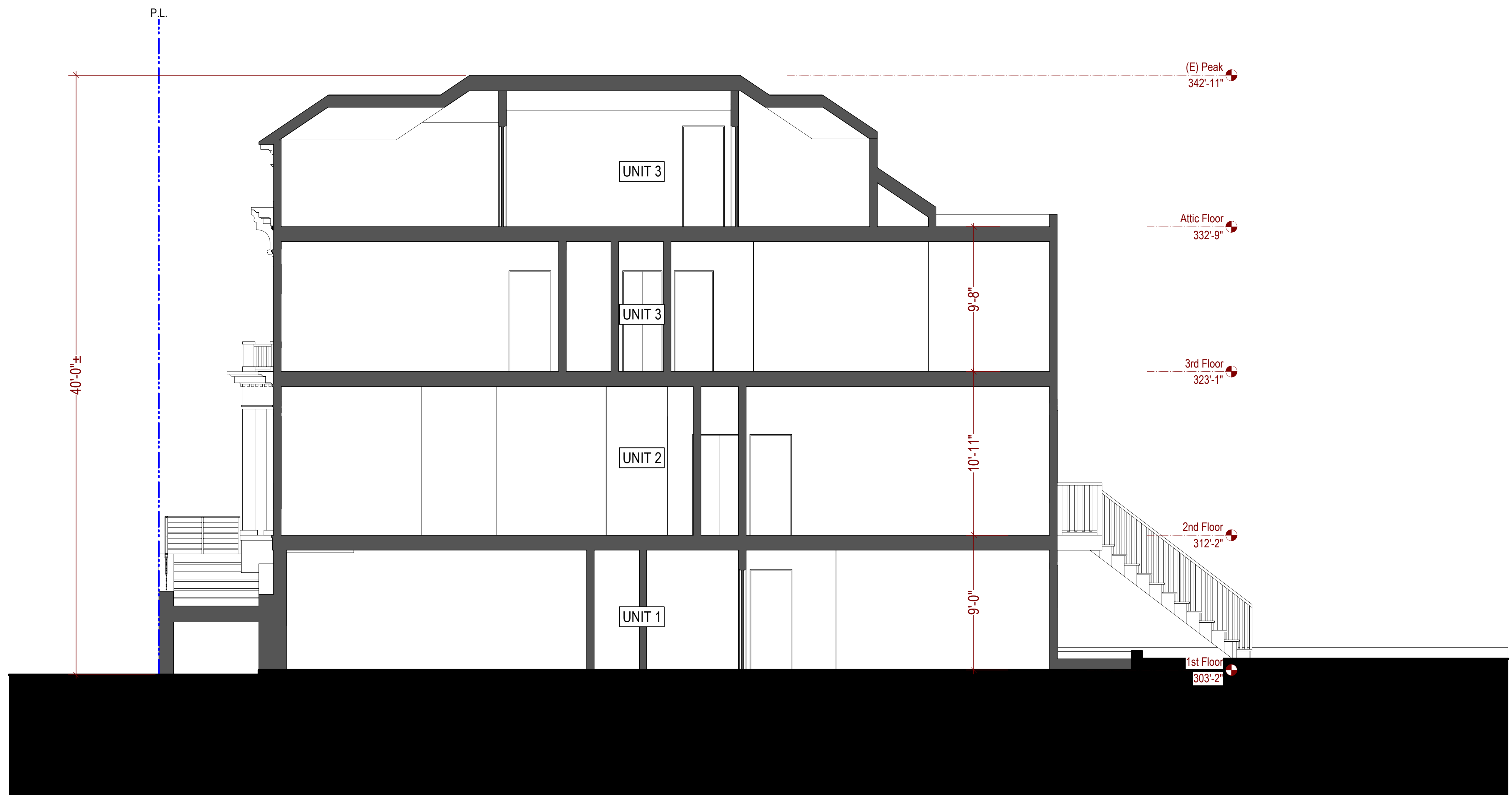
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Existing Section

1/8" = 1'-0"



Proposed Section

1/4" = 1'-0"

W-1	(E) WALLS AND PARTITIONS, WOOD-FRAMED TO BE UPGRADED	1 HOUR FIRE
<p>(E) EXTERIOR FINISH (E) 2 X STUD 2-LAYER 5/8" GYPSUM BOARD, TYPE X</p>		
W-2	(E) WALLS AND PARTITIONS, WOOD-FRAMED TO BE UPGRADED	1 HOUR FIRE
<p>(E) EXTERIOR FINISH (E) 2 X STUD W/ ROCK-WOOL BATTS INSULATION - DENSITY OF 1LB/SF 2-LAYER 5/8" GYPSUM BOARD, TYPE X</p>		
W-3	EXTERIOR WALLS, WOOD-FRAMED	
SYSTEM DESCRIPTION GA FILE NO. WP 8105 GENERIC		SKETCH AND DESIGN DATA 1 HOUR FIRE
GYPSUM WALLBOARD, GYPSUM SHEATHING, WOOD STUDS EXTERIOR SIDE: One layer 48" wide 5/8" type X gypsum sheathing applied parallel to 2 x 4 wood studs 24" o.c. with 1 1/4" galvanized roofing nails 4" o.c. at vertical joints and 7" o.c. at intermediate studs and top and bottom plates. Joints of gypsum sheathing may be left untreated. Exterior cladding to be attached through sheathing to studs. INTERIOR SIDE: One layer 5/8" type X gypsum wallboard, water-resistant gypsum backing board, or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails, 17/8" long, 0.0915" shank, 1/4" heads, 7" o.c. (LOAD-BEARING)		 Thickness: Varies Approx. Weight: 7 psf Fire Test: See WP 3510 (UL R3501-47, -48, 9-17-65, UL Design U309; UL R1319-129, 7-22-70, UL Design U314)
W-4	WALLS & INTERIOR PARTITIONS, WOOD-FRAMED	
SYSTEM DESCRIPTION GA FILE NO. WP 3243 GENERIC		SKETCH AND DESIGN DATA 1 HOUR FIRE 50 to 54 STC SOUND
GYPSUM WALLBOARD, RESILIENT CHANNELS, MINERAL OR GLASS FIBER INSULATION, WOOD STUDS Resilient channels 24" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 24" o.c. with 1 1/4" Type S drywall screws. One layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to channels with 1" Type S drywall screws 8" o.c. with vertical joints located midway between studs. 3" mineral or glass fiber insulation in stud space. OPPOSITE SIDE: One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to studs with 6d cement coated nails, 17/8" long, 0.0915" shank, 1/4" heads, 7" o.c. Vertical joints staggered 24" on opposite sides. (LOAD-BEARING)		 Thickness: 5 3/4" Approx. Weight: 7 psf Fire Test: Based on UL R14196, 05NK05371, 2-15-05, UL Design U309 Sound Test: NRCC TL-93-103, IRC-IR-761, 3/98

C-1	(E) FLOOR-CEILING SYSTEMS, WOOD-FRAMED	
SYSTEM DESCRIPTION GA FILE NO. FC 5105 PROPRIETARY*		SKETCH AND DESIGN DATA 1 HOUR FIRE 55 to 59 STC SOUND
GYPSUM WALLBOARD, RESILIENT CHANNELS, WOOD JOISTS One layer 1/2" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 60" long with screws at 12" o.c. Resilient channels applied at right angles to 2 x 10 wood joists 16" o.c. with 6d common nails. Wood joists supporting 1 1/2" plywood and 1" proprietary sanded gypsum underlayment. STC rated with 3 1/2" glass fiber insulation in joist spaces and with carpet and pad. Second layer of 1/2" or 5/8" type X gypsum wallboard required to achieve 1 hour fire resistance rating when glass fiber insulation is used.		 Approx. Ceiling Weight: 2 psf Fire Test: UL R6352, 4-21-71, UL Design L502 Sound Test: G&H BW-10 MT, 10-13-70 IIC & Test: G&H BW-10 MT, 10-13-70
PROPRIETARY GYPSUM BOARD CertainTeed Gypsum Inc. - 1/2" CertainTeed® Type C Gypsum Board CertainTeed Gypsum Canada Inc. - 1/2" CertainTeed® Type C Gypsum Board Georgia Pacific Gypsum LLC - 1/2" ToughRock® Fireguard C® Gypsum Board Lafarge North America Inc. - 1/2" Firecheck® Type C National Gypsum Company PABCO Gypsum - 1/2" Gold Bond® Brand FIRE-SHIELD C™ Gypsum Board Temple-Inland - 1/2" FLAME CURB® Super C™ TG-C		
C-2	ROOF-CEILING, WOOD FRAME	
SYSTEM DESCRIPTION GA FILE NO. RC 2601 GENERIC		SKETCH AND DESIGN DATA 1 HOUR FIRE
GYPSUM WALLBOARD, WOOD JOISTS, ROOF COVERING Base layer 5/8" type X gypsum wallboard applied at right angles to 2 x 10 wood joists 24" o.c. with 1 1/4" Type W or S drywall screws 24" o.c. Face layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to joists with 17/8" Type W or S drywall screws 12" o.c. at joints and intermediate joists and 1 1/2" Type G drywall screws 12" o.c. placed 2" back on either side of end joints. Joints offset 24" from base layer joints. Wood joists supporting 1/2" plywood with exterior glue applied at right angles to joists with 8d nails. Appropriate roof covering. Ceiling provides one hour fire resistance protection for framing, including trusses.		 Approx. Ceiling Weight: 5 psf Fire Test: FM FC 172, 2-25-72; ITS, 8-6-98
C-3	TJI: FLOOR-CEILING / ROOF-CEILING, WOOD FRAME	
SYSTEM DESCRIPTION GA FILE NO. FC 5011 PROPRIETARY*		SKETCH AND DESIGN DATA 1 HOUR FIRE 60 to 64 STC SOUND
WOOD I-JOISTS, WOOD STRUCTURAL PANELS, GYPSUM FLOOR TOPPING, RESILIENT CHANNELS, GLASS FIBER BATT OR LOOSE FILL INSULATION, GYPSUM WALLBOARD Base layer 1/2" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. (16" o.c. when insulation is used) with 1" Type S drywall screws 16" o.c. Gypsum board end joints located midway between continuous channels and attached with screws 8" to additional pieces of channel 60" long located 3" back on either side of end joint. Resilient channels applied at right angles to minimum 10" deep wood I joists spaced a maximum of 19" o.c. with 1 1/4" Type S drywall screws. Face layer 1/2" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 1 1/2" Type S drywall screws 8" o.c. and 1 1/2" Type G screws 8" o.c. at the butt joints located mid-span between the resilient channels. Glass fiber insulation secured to subfloor or loose fill insulation applied directly over gypsum board. Wood I joists supporting 1 1/2" wood structural panel subfloor applied at right angles to joists with construction adhesive and 6d ring shank nails 12" o.c. Minimum 1/2" proprietary gypsum floor topping applied over subfloor. STC rated with I joists spaced 24" o.c., 3 1/2" glass fiber insulation in joist spaces, 1/4" proprietary gypsum floor topping poured over 1/4" proprietary sound reduction mat, and with finish flooring of sheet vinyl, engineered wood laminate, and ceramic tile. (STC 64 when sheet vinyl or engineered wood laminate is applied to floor; STC 66 when tested with ceramic tile applied to floor.)		 Approx. Ceiling Weight: 3 psf Fire Test: UL R1319, 05NK04569, 2-4-05; UL R1319, 05NK09496, 3-31-05; UL Design L570 Sound Test: RAL OT03-05, 4-22-03; RAL OT03-07, 4-29-03; RAL OT03-09, 6-18-03 (58 sheet vinyl); RAL OT03-06, 4-22-03; (62 engineered wood laminate) RAL OT03-08, 4-29-03; (54 ceramic tile) RAL OT03-10, 6-18-03 IIC & Test:
PROPRIETARY GYPSUM COMPONENTS United States Gypsum Company - 1/2" SHEETROCK® Brand FIRECODE® C Core Gypsum Panels - LEVELROCK® Brand Floor Underlayment		

DOOR/WINDOW FLASHING NOTES:

SECTION 1707(B), UNIFORM BUILDING CODE. CALLS FOR FLASHING OF ALL EXTERIOR OPENINGS EXPOSED TO WEATHER TO MAKE THEM WEATHERPROOF. SINCE UBC DOES NOT OUTLINE PROCEDURES FOR WINDOW FLASHING, TECHNIQUES SHOWN HERE ARE RECOMMENDED.

-FOR FLASHING MATERIAL USE 15LB. ASPHALT SATURATED FELT, SELF HEALING BITUTHENE MEMBRANE, OR DUPONT "FLEXWRAP"

-FOR MOISTURE BARRIER USE "TYVEK" OR EQUIVALENT HOUSEWRAP

-CAULK BACK OF WINDOW FRAMES BEFORE SETTING. USE WINDOWS THAT ARE WATERTIGHT.

ATTACH A FILL STRIP OF ASPHALT-SATURATED ROOFING FELT PAPER AT LEAST 9" WIDE WITH THE TOP EDGE EVEN WITH THE TOP EDGE OF THE ROUGH SILL. EXTEND THIS SILL STRIP AT LEAST 8" BEYOND THE EDGE OF THE ROUGH OPENING FOR WINDOW. ATTACH FELT WITH GALVANIZED ROOFING NAILS OR RUST-RESISTANT STAPLES.

AFTER SILL STRIP IS IN PLACE, ATTACH JAMB STRIPS (SIDE OF OPENING) AT LEAST 9" SIDE WITH INSIDE EDGE OF FELT EVEN WITH EDGE OF WINDOW OPENING. START JAMB STRIPS 1" BELOW THE SILL STRIP AND EXTEND JAMB STRIPS 4" ABOVE THE LOWER EDGE OF THE LINTEL (TOP OF WINDOW OPENING).

FLASHING TO BE 15LB. ASPHALT SATURATED FELT, SELF HEALING BITUTHENE MEMBRANE, OR DUPONT "FLEXWRAP" - TYP.

APPLY A BEAD OF CAULKING TO THE BACK SURFACES OF THE WINDOW, THEN PLACE THE WINDOW INTO THE ROUGH OPENING, WITH FLANGES OVER THE INSTALLED FLASHING FELT STRIPS. AFTER WINDOW IS PLACED, INSTALL THE HEAD FLASHING OVER THE WINDOW FLANGE. THIS IS A STRIP OF BITUMINOUS MEMBRANE AT LEAST 9" WIDE.

FOR MOISTURE BARRIER USE "TYVEK" OR EQUIVALENT HOUSEWRAP

STARTING AT THE BOTTOM OF THE WALL (SILL PLATE), LAY WATER-RESISTANT PAPER UNDER THE SILL STRIP. CUT ANY EXCESS WATER-RESISTANT PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE ON EACH SIDE OF THE OPENING. (SHOWN IN DIAGRAM AS SHORT DASHED LINES). INSTALL SUCCEEDING COURSES OF WATER-RESISTANT PAPER (B, C, ETC.) OVER JAMB AND HEAD FLANGES IN SHINGLE-BOARD FASHION.

PROJECT NAME
740 Clayton Street
San Francisco, CA 94117
(FRONT BUILDING)

SIA consulting
SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292 / FAX: (415) 849.1252

SHEET TITLE
Typ Details

BEDROOM EGRESS WINDOW DETAIL
N.T.S.
MIN. 24" MIN. 20" MIN. 20" MIN. 24" MIN. 44" FINISH FLOOR
**MIN. OPENABLE AREA TO BE 5.7 S.F.

HANDRAIL DETAIL
N.T.S.
1-1/4" TO 1-1/2" 1-1/2"
HANDRAIL TO BE LOCATED BETWEEN 34" TO 38" FROM THE NOISING OF THE THREADS AND LANDING END SHALL BE RETURNED

STAIRS DETAIL
N.T.S.

ROOFING DETAIL
Dex-O-Tex flashing (terminates in reglet or counter-flashing)
Dex-O-Tex Rubber-Cement Traffic Surface
Dex-O-Tex Slip Sheet
Dex-O-Tex Waterproof Latex Membrane (fabric-reinforced)
Substrate (concrete, concrete topping over insulation, plywood, or Dex-O-Tex underlayment)

DOOR/WINDOW WATER PROOFING & INSTALLATION DETAILS

WATERPROOFING & PROTECTION LAYERS
DRAIN COMPOSITE
SHINGLE FLAP OVER SPLICE
LOWER FLAP TURNED BACK
HARD PLASTIC OVERLAPPED (GAP BETWEEN DIMPLES 1 INCH MAX)
SET FLAPS IN GLUE OR TAPE

NOTES:
1. SET DOWN STREAM DRAIN COMPOSITE WITH SEAM FLAP TURNED BACK.
2. SET UPPER DRAIN COMPOSITE WITH HARD PLASTIC PLACED ONTO LOWER COMPOSITE.
3. EXTEND FLAP OF UPSTREAM COMPOSITE OVER LOWER COMPOSITE.
4. GLUE OR TAPE FLAPS INTO POSITION UNTIL OVERBURDEN IS INSTALLED IS COMPLETED.

1" MAX 2" MIN

MD-10A MIRADRAIN SPLICE **CARLISLE**
© 2007 CARLISLE CORPORATION

RETAINING WALL
WRAP FILTER FABRIC BEHIND CCW MIRADRAIN CORE AT TOP AND BOTTOM EDGE
WEEP HOLE WITH GRATE/SCREEN
CONCRETE FOOTING
CUT BACK OF BLACK PLASTIC ON CCW MIRADRAIN TO MATCH SIZE OF WEEP HOLE. DO NOT CUT FILTER FABRIC
GALVANIZED OR ALUMINUM PLATE EXTENDING 3 DIMPLES ALL DIRECTIONS FROM WEEP HOLE EDGE

MD-1 RETAINING WALL DETAIL **CARLISLE**
© 1998 CARLISLE CORPORATION

ROOF SHEATHING
CARRYING ROOFING OVER FLASHING RING, TYP.
ROOF DRAIN WITH DOME STRAINER
PROVIDE SUMP RECEIVER PLATE (FLASHING RING FROM 24 GA. G.I.)
OVERFLOW DRAIN W/ DOME STRAINER
UNDER DECK CLAMP
ROOF DRAIN PIPE
2X3 & 2X4 DRAIN SUPPORTS AS REQUIRED
3" CANT.

ROOF & OVER FLOW DRAIN
N.T.S.

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10/23/2018 PRE-APP MEETING

DRAWN BY R.L.
DESIGN BY R.K.
DATE 11/26/2019
JOB NO. 18-1784
SHEET NO.



Typ Window
Details

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10/23/2018 PRE-APP MEETING

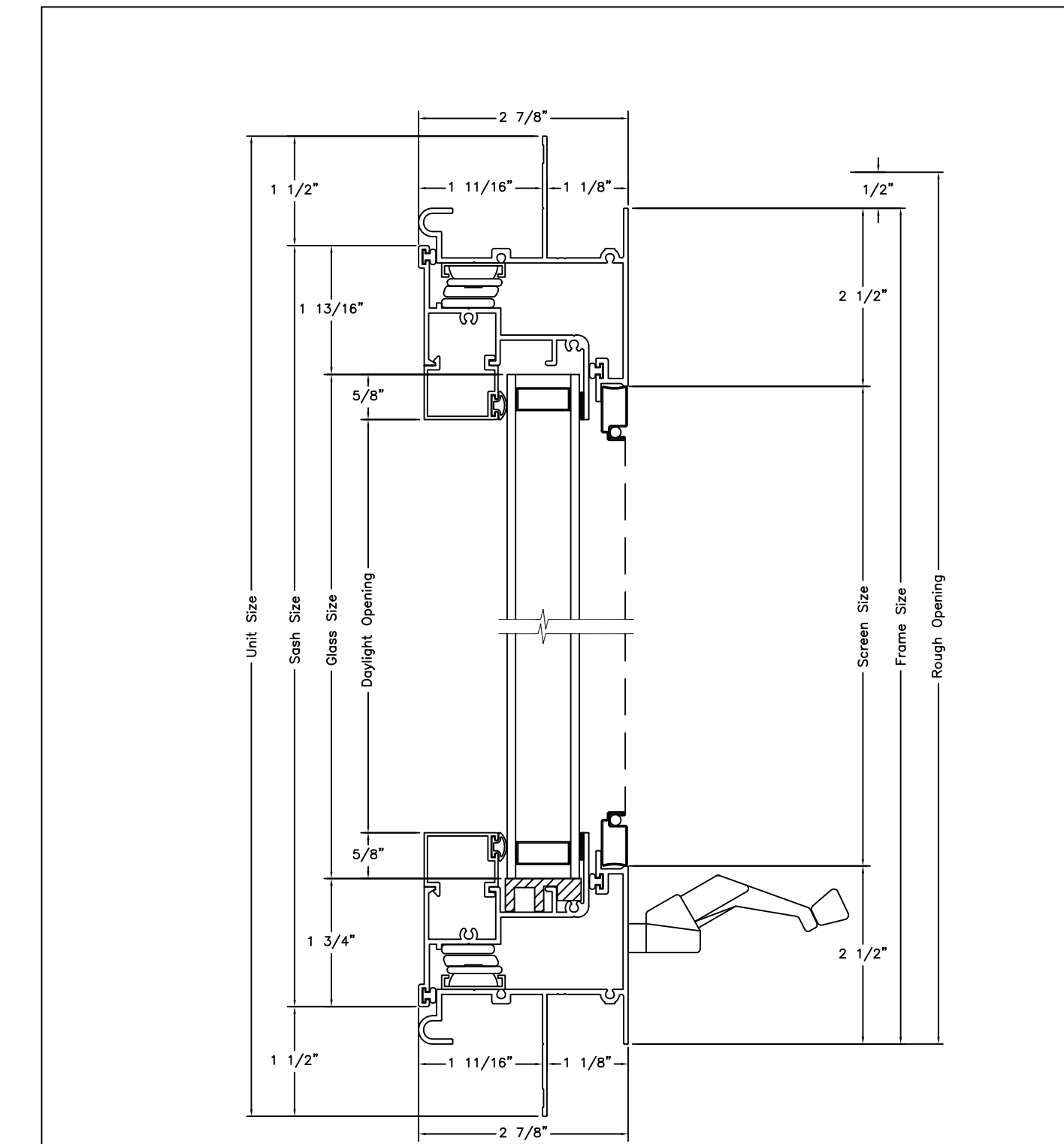
DRAWN BY R.L.
DESIGN BY R.K.
DATE 11/26/2019
JOB NO. 18-1784
SHEET NO.

A-5.2



PREMIUM ALUMINUM
CASEMENT WINDOW
VERTICAL SECTION

Scale 1:2



Vertical Section

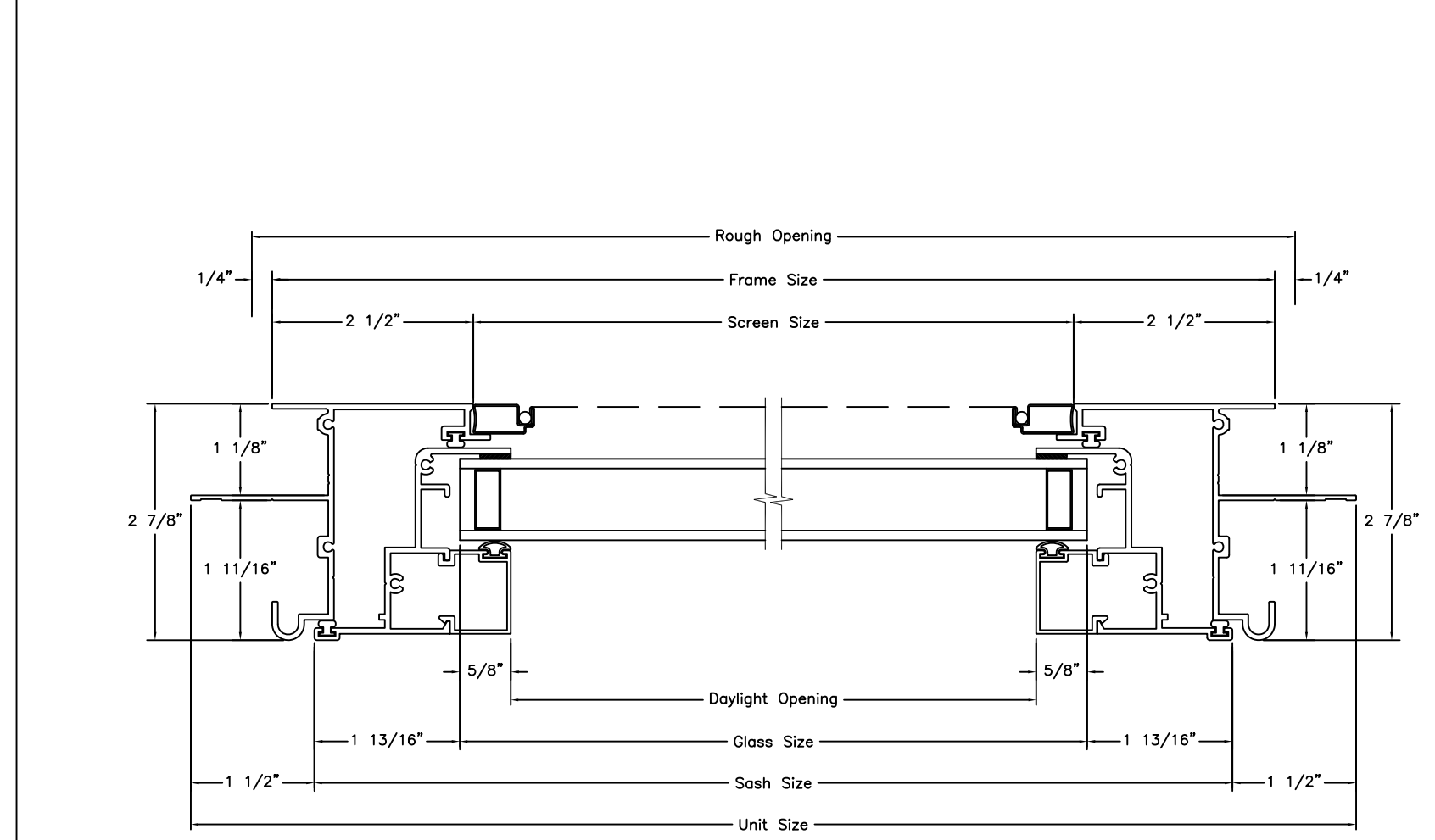
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PREMIUM ALUMINUM
CASEMENT WINDOW
HORIZONTAL SECTION

Scale 1:2

Page 2



Horizontal Section

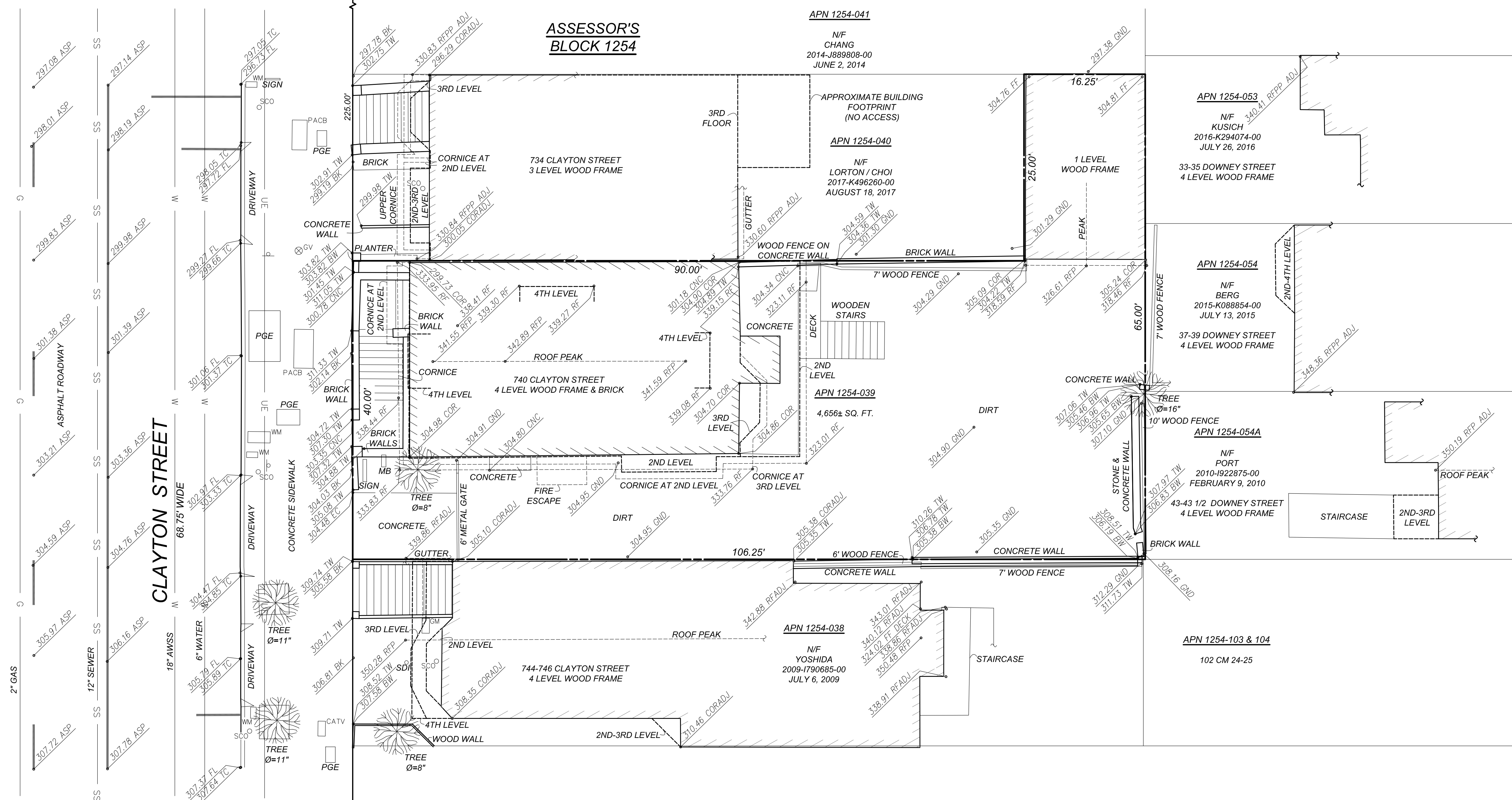
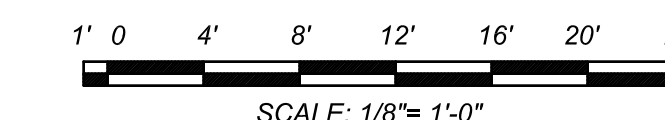
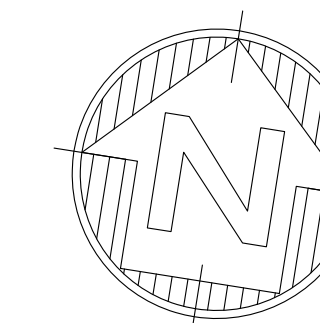
JELD-WEN reserves the right to change specifications without notice.

Wood Clad Window Detail, Typ.
N.T.S.

WALLER STREET

68.75' WIDE

ASSESSOR'S BLOCK 1254



BOUNDARY NOTES:

PROPERTY AND RIGHT-OF-WAY LINES SHOWN HEREON ARE PREDICATED ON AN ANALYSIS OF EXISTING IMPROVEMENTS, RECORD DATA, FIELD TIES AND ASSESSOR'S PARCEL MAPS. IT IS NOT THE INTENT OF THIS MAP TO PROVIDE A FORMAL BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY SHOWN HEREON. SAID RESOLUTION WOULD REQUIRE THE SETTING OF PROPERTY CORNERS AND THE FILING OF A RECORD OF SURVEY UNDER CALIFORNIA STATE LAW. BOUNDARY INFORMATION SHOWN HEREON IS FOR PLANNING PURPOSES ONLY.

ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED

ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.

DATE OF FIELD SURVEY:

TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY FREDERICK T. SEHER & ASSOCIATES INC. ON JULY 23, 2018.

SURVEY REFERENCE:

THE SURVEY HEREON IS BASED ON THE LEGAL DESCRIPTION DESCRIBED IN THE FOLLOWING GRANT DEED: APN 1254-039; RECORDED MARCH 21, 2018 DOCUMENT NUMBER 2018-K591999-00.

UTILITY NOTE:

UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THEREFORE, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

PROJECT BENCHMARK - DESCRIPTION:

ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A GROUP OF CITY BENCHMARKS, LOCATED AT THE INTERSECTION OF FREDERICK AND CLAYTON STREETS, ELEVATIONS ARE BASED ON CITY AND COUNTY OF SAN FRANCISCO DATUM. SE CORNER 3' E. + CUT ASW W SIDE GATE ENT. ELEVATION = 345.977'

GENERAL NOTE:

THE FOLIAGE LINES OF ALL TREES PLOTTED HEREON ARE SHOWN IN A GRAPHICAL FORM ONLY, AND ARE NOT INTENDED TO REPRESENT ACTUAL DRIPLINES THEREOF.

LEGEND

ADJ	ADJACENT BUILDING	G	GAS LINE
ASP	ASPHALT	S	SANITARY SEWER LINE
AWSS	AUXILIARY WATER SUPPLY SYSTEM	UE	UNDERGROUND ELECTRIC LINE
BK	BACK OF WALK	W	WATER LINE
BW	BOTTOM OF WALL	Ø	DIAMETER
CNC	CONCRETE	—	PAINT STRIPE
COR	CORNER	—	SIGN
EF	EDGE OF CONCRETE	—	SPOT ELEVATION
FF	FINISHED FLOOR	—	TREE
FL	FLOW LINE		
GND	GROUND		
GV	GAS VALVE		
MB	MAILBOX		
PACB	PACIFIC BELL		
PGE	PACIFIC GAS & ELECTRIC		
RF	ROOF		
RFP	ROOF PEAK		
RFP	ROOF PARAPET		
SDI	STORM DRAIN INLET		
SCO	SANITARY SEWER CLEAN OUT/VENT		
TC	TOP OF CURB		
TW	TOP OF WALL		
WM	WATER METER		
APN	ASSESSOR'S PARCEL NUMBER		
N/F	NOW OR FORMERLY		

NOTE: TO ANYONE HAVING ANY TYPE OF INTEREST IN THIS MAP PLEASE BE ADVISED AS FOLLOWS:

1. THAT ALL TITLE INFORMATION HEREON INCLUDING EASEMENTS WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR CLIENT'S OR HIS AGENT'S REQUIREMENTS AND TITLE INFORMATION SUPPLIED TO FREDERICK T. SEHER & ASSOCIATES, INC., FURTHERMORE, WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITY ON THIS JOB.
2. NO PRELIMINARY TITLE REPORT WAS REVIEWED IN CONJUNCTION WITH THIS MAPPING. IT IS RECOMMENDED THAT A TITLE REPORT BE RECEIVED FROM THE OWNER TO VERIFY THE EXISTENCE OF ANY ADDITIONAL EASEMENTS OF RECORD OR LOT LINE ADJUSTMENTS THAT MAY HAVE ALTERED THE INFORMATION SHOWN HEREON PRIOR TO ANY DESIGN AND/OR CONSTRUCTION.
3. THAT THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OF SERVICE FOR PAOLO IANTORNO AND THAT IT REMAINS THE PROPERTY OF FREDERICK T. SEHER & ASSOCIATES, INC. WHETHER THE PROJECT (IF ANY PROPOSED) ON THIS SITE IS CONSTRUCTED OR NOT.
4. THAT ANY INFORMATION ON THIS MAP AND ANY DOCUMENT(S) PREPARED BY FREDERICK T. SEHER & ASSOCIATES, INC. IN RELATION HEREOF SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR: BUILDING PERMIT. FURTHERMORE, THE USE OF THIS MAP FOR ANY OTHER PURPOSES WHATSOEVER INCLUDING ENGINEERING DESIGNS OF OFFSITE OR ONSITE IMPROVEMENTS IS BEYOND THIS MAP'S PURPOSES, INTENT & CONTRACT. LIABILITY SHALL REST UPON THE PARTY USING OUR INFORMATION BEYOND THE ESTABLISHED LIMITATION ABOVE, IN WHICH CASE FREDERICK T. SEHER & ASSOCIATES, INC. DISCLAIMS ANY AND ALL RESPONSIBILITY.
5. THAT ANY IMPROVEMENT CHANGES WITHIN THIS SITE OR THE ADJACENT SITE THEREOF AS WELL AS TITLE TRANSFERS OF THE PROPERTY IN QUESTION (EXCEPT FOR ALTA MAPS) AND/OR THE LAPSE OF 3 OR MORE YEARS FROM THE DATE OF THE MAP (WHICHEVER COMES FIRST) SHALL VOID ALL INFORMATION, HEREON UNLESS A RE-SURVEY IS ORDERED TO RECTIFY, UPDATE OR RE-CERTIFY THIS MAP.
6. THAT THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING UNLESS STATED IN ITEM NO. 4 ABOVE.
7. THAT THE USE OF THIS MAP BY OTHER CONSULTANTS OR CONTRACTORS ON BEHALF OF OUR CLIENT SHALL PROMPT THE IMMEDIATE FULFILLMENTS OF ALL CLIENT'S OBLIGATIONS TO FREDERICK T. SEHER & ASSOCIATES, INC. UNLESS OTHERWISE AGREED TO.
8. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.
9. THIS MAP WILL BE PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. A SIGNED PRINT DELIVERED TO THE CLIENT OR CLIENT REPRESENTATIVE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.

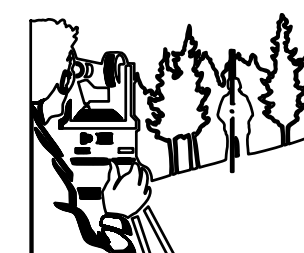
SURVEYOR'S STATEMENT:

THIS MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.

DATE: _____ FREDERICK T. SEHER, PLS
LICENSE NO. 6216

**PRELIMINARY
FOR REVIEW PURPOSES
ONLY**

DATE:	AUGUST, 2018			
SCALE:	1" = 8'			
DRAWN BY:	FC			
DRAWING NAME:	2151-18			
SURVEYED BY:	FTS			
CHECKED BY:	EF			
CHECKED BY:				
	NO.	BY	DATE	REVISIONS



FREDERICK T. SEHER & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
SURVEYING & MAPPING
841 LOMBARD STREET, SAN FRANCISCO, CA 94133
(415) 921-7690 FAX (415) 921-7655

ARCHITECTURAL SITE SURVEY
ASSESSOR'S PARCEL NUMBER: 1254-039
740 CLAYTON STREET, SAN FRANCISCO, CA

SHEET	1
OF	1
JOB NO.:	2151-18
SHEETS	

Green Building: Site Permit Checklist

BASIC INFORMATION:

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Project Name 740 Clayton Street	Block/Lot 1254 / 039	Address 740 Clayton Street
Gross Building Area 7,000 S.F. ±	Primary Occupancy R-2	Design Professional/Applicant: Sign & Date Bahman Ghassemzadeh
# of Dwelling Units 4	40'-0"	4

Instructions:

under San Francisco Building Code Chapter 13C, California Title 24 Part 11, and related local codes. **Attachment C3, C4, or C5 will be due with the applicable addendum.** To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply.

AND

(b) number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but such tools are strongly recommended to be used.

Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. This form is a summary; see San Francisco Building Code Chapter 13C for details.

ALL PROJECTS, AS APPLICABLE	
Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	●
Stormwater Control Plan: Projects disturbing ≥5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines	●
W Projects that include ≥ comply with the SFPUC W Ordinance.	●
Construction Waste Management – Comply with the San Francisco Construction & Demolition Debris Ordinance	●
Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. See Administrative Bulletin 088 for details.	●

GREENPOINT RATED PROJECTS	
Proposing a GreenPoint Rated Project (Indicate at right by checking the box.)	●
Base number of required Greenpoints:	75
Adjustment for retention / demolition of historic features / building:	
Final number of required points (base number +/- adjustment)	
GreenPoint Rated (i.e. meets all prerequisites)	●
Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6.	●
Meet all California Green Building Standards Code requirements (CalGreen measures for residential projects have been integrated into the GreenPoint Rated system.)	●

Notes

- 1) New residential projects of 75' or greater must use the "New Residential High-Rise" column. New residential projects with >3 may choose to apply the LEED for Homes Mid-Rise rating system; if so, you must use the "New Residential Mid-Rise" column.
- 2) LEED for Homes Mid-Rise projects must meet the "Silver" standard, including all prerequisites. The number of points required to achieve Silver depends on unit size. See LEED for Homes Mid-Rise Rating
- 3) Requirements for additions or alterations apply to applications received on or after July 1, 2012.

LEED PROJECTS	New Large Commercial	New Residential Mid-Rise ¹	New Residential High-Rise ¹	Commercial Interior	Commercial Alteration	Residential Alteration
	Type of Project Proposed (Indicate at right)					
Overall Requirements:						
(includes prerequisites):	GOLD	SILVER	SILVER	GOLD	GOLD	GOLD
Base number of required points:	60	2	50	60	60	60
Adjustment for retention / demolition of historic features / building:				n/a		
Final number of required points (base number +/- adjustment)				50		
(n/r indicates a measure is not required)						
Construction Waste Management – 75% Diversion AND comply with San Francisco Construction & Demolition Debris Ordinance LEED MR 2, 2 points	●	●	●	●	Meet C&D ordinance only	●
15% Energy Reduction Compared to Title-24 2008 (or ASHRAE 90.1-2007) LEED EA 1, 3 points	●	●	●	●	LEED prerequisite only	
Effective 1/1/2012: Generate renewable energy on-site ≥1% of total annual energy cost (LEED EA2), OR Demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR total electricity use (LEED EA6).	●	n/r	n/r	n/r	n/r	n/r
Enhanced Commissioning of Building Energy Systems LEED EA 3	●	Meet LEED prerequisites				
Water Use - 30% Reduction LEED WE 3, 2 points	●	n/r	●	Meet LEED prerequisites		
Enhanced Refrigerant Management LEED EA 4	●	n/r	n/r	n/r	n/r	n/r
Indoor Air Quality Management Plan LEED IEQ 3.1	●	n/r	n/r	n/r	n/r	n/r
Low-Emitting Materials LEED IEQ 4.1, 4.2, 4.3, and 4.4	●	n/r	●	●	●	●
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEED credit SSC4.2. (13C.5.106.4)	●	n/r See San Francisco Planning Code 155		●	n/r	n/r
Designated parking: Mark 8% of total parking stalls (13C.5.106.5)	●			●	n/r	n/r
Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq. ft. (13C.5.303.1)	●	n/r	n/r	n/r	n/r	n/r
Air Filtration: Provide at least MERV occupied spaces of mechanically ventilated buildings (or LEED credit IEQ 5). (13C.5.504.5.3)	●	n/r	n/r	●	n/r	n/r
Air Filtration: Provide MERV air-quality hot-spots (or LEED credit IEQ 5). (SF Health Code Article 38 and SF Building Code 1203.5)	n/r	●	●	n/r	n/r	n/r
Acoustical Control: wall and roof-ceilings STC 50, exterior (7.4)	●	See CBC 1207		●	n/r	n/r

OTHER APPLICABLE NON-RESIDENTIAL PROJECTS		
Requirements below only apply when the measure is applicable to the project. Code references below are applicable to New Non-Residential buildings. Corresponding requirements for additions and alterations can be found in Title 24 Part 11, Division 5.7. Requirements for additions or alterations apply to applications received July 1, 2012 or after. ³	Other New Non-Residential	Addition >2,000 sq ft OR Alteration >\$500,000 ³
Type of Project Proposed (Check box if applicable)		
Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6. (13C.5.201.1.1)	●	n/r
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater (or LEED credit SSC4.2). (13C.5.106.4)	●	●
Provide stall marking for spaces. (13C.5.106.5)	●	●
Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day, or >100 gal/day if in buildings over 50,000 sq. ft.	●	●
Indoor W Reduce overall use of potable water within the building by 20% for showerheads, lavatories, kitchen faucets, wash fountains, water closets, and urinals. (13C.5.303.2)	●	●
Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements. (13C.5.410.2) OR for buildings less than 10,000 square feet, testing and adjusting of systems is required.	●	● (Testing & Balancing)
Protect duct openings and mechanical equipment during construction (13C.5.504.3)	●	●
Adhesives, sealants, and caulks: Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives. (13C.5.504.4.1)	●	●
Paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. (13C.5.504.4.3)	●	●
Carpet: All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program 2. California Department of Public Health Standard Practice for the testing of VOCs 3. NSF/ANSI 140 at the Gold level AND Carpet cushion must meet CRI Green Label, AND Carpet adhesive must not exceed 50 g/L VOC content. (13C.5.504.4.4)	●	●
Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood (13C.5.504.4.5)	●	●
in the 2009 Collaborative the Resilient Floor Covering Institute (RFCI) FloorScore program. (13C.5.504.4.6)	●	●
Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows. (13C.5.504.7)	●	●
Air Filtration: Provide at least MERV mechanically ventilated buildings. (13C.5.504.5.3)	●	Limited exceptions. See CA T24 Part 11 Section 5.714.6
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party	●	● See CA T24 Part 11 Section 5.714.7
CFCs and Halons: Do not install equipment that contains CFCs or Halons. (13C.5.508.1)	●	●
Additional Requirements for New A, B, I, OR M Occupancy Projects 5,000 - 25,000 Square Feet		
Construction Waste Management – Divert 75% of construction and demolition debris AND comply with San Francisco Construction & Demolition Debris Ordinance.	●	Meet C&D ordinance only
Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total annual energy cost (LEED EA2), OR demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR total electricity use (LEED EA6).	●	n/r

PROJECT NAME

740 Clayton Street
San Francisco, CA 94117
(FRONT BUILDING)

SIA consulting
SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292 / FAX: (415) 846.1252

SHEET TITLE

Green Point
Checklist

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10/23/2018 PRE-APP MEETING

DRAWN BY R.L.
DESIGN BY R.K.
DATE 11/26/2019
JOB NO. 18-1784
SHEET NO.

G-1.0

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL APPLICABLE CODES, LAWS, ORDINANCES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK. ALL CONTRACTORS SHALL HOLD HARMLESS THE ARCHITECT/ENGINEER AND THE OWNER FROM ALL DAMAGES AND/OR PENALTY ARISING OUT OF VIOLATION THEREOF.
- ALL ATTACHMENTS, CONNECTIONS OR FASTENING OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH THE BEST PRACTICE OF THE BUILDING INDUSTRY. DRAWINGS SHOWS ONLY SPECIAL REQUIREMENTS TO ASSIST THE CONTRACTOR AND DO NOT ILLUSTRATE EVERY DETAIL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS DIMENSIONS, AND MEASUREMENTS IN THE FIELD BEFORE BEGINNING WORK. ANY AND ALL DISCREPANCIES, UNUSUAL CIRCUMSTANCES, ERRORS OMISSIONS AND/OR CONFLICTS FUNDS SHALL BE REPORTED TO THE ARCHITECT/ENGINEER'S AND THE OWNER ATTENTION IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, FIRE PROTECTION, MECHANICAL, PLUMBING, AND ELECTRICAL. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH THE SAME DISCIPLINES.
- UNLESS OTHERWISE NOTED, ALL ANGLES SHALL BE RIGHT ANGLES, ALL LINES WHICH APPEAR PARALLEL SHALL BE PARALLEL, AND ALL ITEMS WHICH APPEAR CENTERED SHALL BE CENTERED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL LINES TRUE LEVEL, PLUMB AND SQUARE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND PROTECTION DURING CONSTRUCTION. ALL EXISTING IMPROVEMENTS TO REMAIN SHALL BE PROTECTED. ALL MATERIALS DELIVERED TO THE SITE SHALL BE PROPERLY STORED AND PROTECTED UNTIL INSTALLATION. ALL LUMBER SHALL BE PROTECTED FROM MOISTURE AND STORED ABOVE GROUND.
- DETAILED AND/OR LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL AND SMALLER SCALE DRAWINGS. FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS SHALL BE VERIFIED.
- ALL WORK SHALL BE DONE UNDER PERMIT. PLANS AND CALCULATIONS, IF REQUIRED, SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- NOTE THAT MECHANICAL, ELECTRICAL, FIRE PROTECTION, PLUMBING AND COMMUNICATIONS ARE DESIGN BUILD ITEMS. ARCHITECTURAL DRAWINGS SHOW DESIGN INTENT, CONTRACTOR TO CONFIRM ALL SYSTEM REQUIREMENTS WITH BUILDING OWNER AND ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR/SUBCONTRACTOR SHALL SUBMIT PLANS FOR THEIR RESPECTIVE WORK TO THE BUILDING DEPARTMENT AS REQUIRED FOR PLAN CHECK AND PERMIT ISSUANCE, INCLUDING PAYING FOR ALL PLAN CHECK AND PERMIT FEES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- VERIFY CLEARANCES FOR VENTS, CHASES, SOFFITS, FIXTURES BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
- UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING AND BACKING AS REQ'D FOR ALL NAILING OF INTERIOR TRIM AND FINISHES, AND SHALL COORDINATE AND PROVIDE ALL FRAMING, BACKING AND BRACING AS NECESSARY FOR INSTALLATION OF EQUIPMENT INDICATED ON THE DRAWINGS, PROVIDE BACKING PLATES AT ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
- INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND CODE REQUIREMENTS. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
- THERMAL AND SOUND INSULATING INSULATION SHALL COMPLY WITH CBC SEC. 719.
- ALL WALL AND CEILING FINISHES SHALL COMPLY WITH CBC CHAPTER 8.
- ALL NEW SMOKE DETECTORS TO E HARD WIRED.

NOTE: WATERPROOFING OF BUILDING ENVELOPE IS NOT UNDER THE SCOPE OF THIS PERMIT. OWNER IS TO HIRE A WATERPROOFING EXPERT TO PROVIDE WATERPROOFING DETAILS

ABBREVIATION

#	POUND OR NUMBER	H.C.	HANDICAPPED
&	AND	HI	HIGH
AT	AREA DRAIN	HM	HOLLOW METAL
@	ABOVE	HP	HIGH POINT
ABV	ACOVE CEILING TILE	HR	HOUR
ACT	ACOVE DRAIN	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
AD	ABOVE FINISHED FLOOR	IRGWB	IMPACT RESISTANT GYPSUM WALLBOARD
AFF	ALUMINUM	ILO	IN LIEU OF
ALUM	ALUMINUM	INSUL	INSULATED
APPROX	APPROXIMATE	INT	INTERIOR
ANOD	ANODIZED	LO	LOW
ASPH	ASPHALT	MAX	MAXIMUM
BD	BOARD	MECH	MECHANICAL
BLDG	BUILDING	MEMBR	MEMBRANE
BLKG	BLOCKING	MIN	MINIMUM
BOT	BOTTOM	MO	MASONRY OPENING
BSMT	BASEMENT	MTL	METAL
BST	BOTTOM OF STAIRS	(N)	NEW
BYND	BEYOND	NIC	NOT IN CONTRACT
CIP	CAST IN PLACE	NO	NUMBER
CHNL	CHANNEL	NOM	NOMINAL
CJ	CONTROL JOINT	N.T.S.	NOT TO SCALE
CLG	CEILING	O.C.	ON CENTER
CLO	CLOSET	OFF	OFFICE
CLR	CLEAR	OH	OPPOSITE HAND
CNTR	COUNTER	OZ	OUNCE
CMU	CONCRETE MASONRY UNIT	PCC	PRE-CAST CONCRETE
COL	COLUMN	P.L.	PROPERTY LINE
COMPR	COMPRESSIBLE	PLUMB	PLUMBING
CONC	CONCRETE	PLYD	PLYWOOD
CONT	CONTINUOUS	PT	PRESSURE TREATED
CORR	CORRIDOR	PNT	PAINT/PAINTED
CPT	CARPET	PVC	POLYVINYL CHLORIDE
CT	CERAMIC TILE	RBR	RUBBER
CTR	CENTER	RCP	REFLECTED CEILING PLAN
CTYD	COURTYARD	RD	ROOF DRAIN
DBL	DOUBLE	RDWD	REDWOOD
DEMO	DEMOLISH	REQD	REQUIRED
DET	DETAIL	RM	ROOM
D.F.	DRINKING FOUNTAIN	S.F.	SQUARE FOOT
DIA	DIAMETER	SIM	SIMILAR
DIMS	DIMENSIONS	SPEC	SPECIFIED OR SPECIFICATION
DN	DOWN	SPK	SPRINKLER
DR	DOOR	SSTL	STAINLESS STEEL
DWG	DRAWING	STC	SOUND TRANSMISSION COEFFICIENT
(E)	EXISTING	STD	STANDARD
EA	EACH	STL	STEEL
EL	ELEVATION	STRUCT	STRUCTURAL
ELEC	ELECTRICAL	SQ	SQUARE
ELEV	ELEVATOR/ELEVATION	T&G	TONGUE AND GROOVE
EQ	EQUAL	TC	TOP OF CURB
EXT	EXTERIOR	TELE	TELEPHONE
EXP JT	EXPANSION JOINT	TLT	TOILET
EXT	EXTERIOR	TO	TOP OF
F.D.	FLOOR DRAIN	TOC	TOP OF CONCRETE
FEC	FIRE EXTINGUISHER CABINET	TOS	TOP OF STEEL
FIXT	FIXTURE	TP	TOILET PAPER DISPENSER
FLR	FLOOR	TID	TELEPHONE/DATA
FLUOR	FLUORESCENT	TST	TOP OF STAIRS
FM	FILLED METAL	TYP	TYPICAL
FND	FOUNDATION	U.N.O.	UNLESS NOTED OTHERWISE
FO	FACE OF	UIS	UNDERSIDE
F.O.F.	FACE OF FINISH	V.I.F.	VERIFY IN FIELD
FURR	FURRING	VP	VISION PANEL
GA	GAUGE	W/	WITH
GALV	GALVANIZED	WD	WOOD
G.B.	GRAB BAR	W.H.	WATER HEATER
GND	GROUND		
GRP	GROUP		
GWB	GYPSUM WALL BOARD		
GYP	GYPSUM		

SCOPE OF WORK

PROPOSED CHANGE OF USE FROM RECTORIES TO SINGLE FAMILY HOME, & ADD SECOND FLOOR WITHIN EXISTING BOUNDARY & HEIGHT OF THE BUILDING

NOTE:
BLDG. TO BE FULLY SPRINKLERED PER NFPA 13-D, UNDER SEPARATE PERMIT.

PROJECT DATA

PLANNING DATA
ADDRESS: 740 CLAYTON STREET
LOTS AREA: 4,656 ± SF
BLOCK / LOT: 1254 / 039
ALLOWED BUILDING HEIGHT: 40-X
ZONING: RH-3

REAR YARD OPEN SPACE
REQUIRED: 1,164 SF (25% OF LOT AREA: 4,656 SF x 0.25)
PROVIDED: 1,854 SF (40% OF LOT AREA)

GROSS FLOOR AREA - PER PLANNING CODE
(E) REAR BUILDING FLOOR AREA:
1ST FLOOR: 398 ± SF

(N) REAR BUILDING FLOOR AREA:
1ST FLOOR: 398 ± SF
2ND FLOOR: 398 ± SF

GROSS BUILDING AREA: 796 ± SF

PARKING SUMMARY
CAR PARKING: 1 CAR PARKING (SHARE WITH FRONT BUILDING)
CLASS I BICYCLE PARKING: 1 BICYCLE PARKING (REQ'D ONE PER DWELING)
CLASS II BICYCLE PARKING: 1 CLASS II @ SIDE WALK (REQ'D ONE PER 20 UNITS)

BUILDING CODE SUMMARY
(E) # OF STORIES: 1
(N) # OF STORIES: 2
CONSTRUCTION TYPE: TYPE "V-A"
BUILDING HEIGHT: 22'-1" ± (NO CHANGE)
OCCUPANCY GROUP: R-3

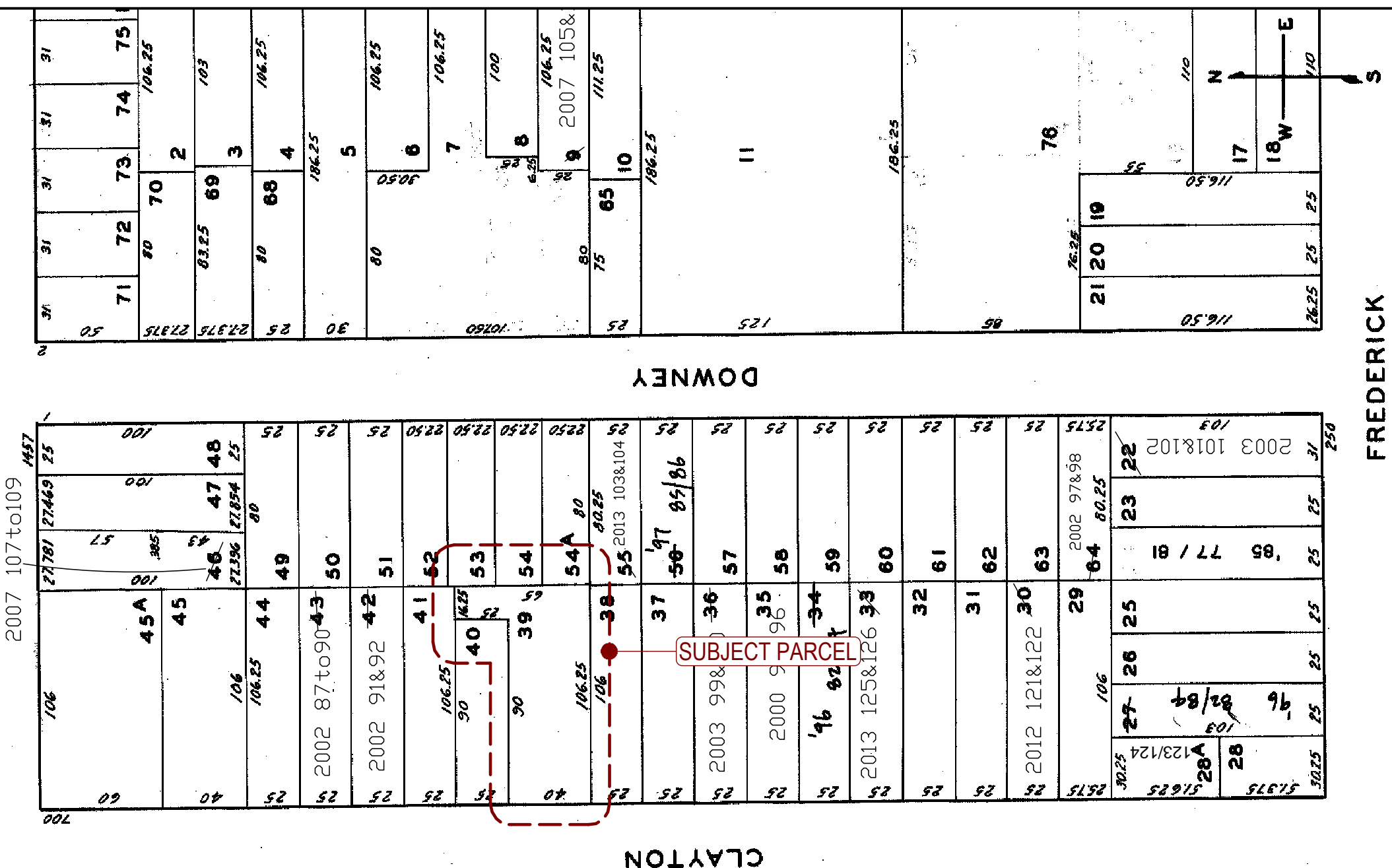
PROJECT NAME
740 Clayton Street
San Francisco, CA 94117
(REAR BUILDING)

SIA consulting
SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292 / FAX: (415) 849.1252

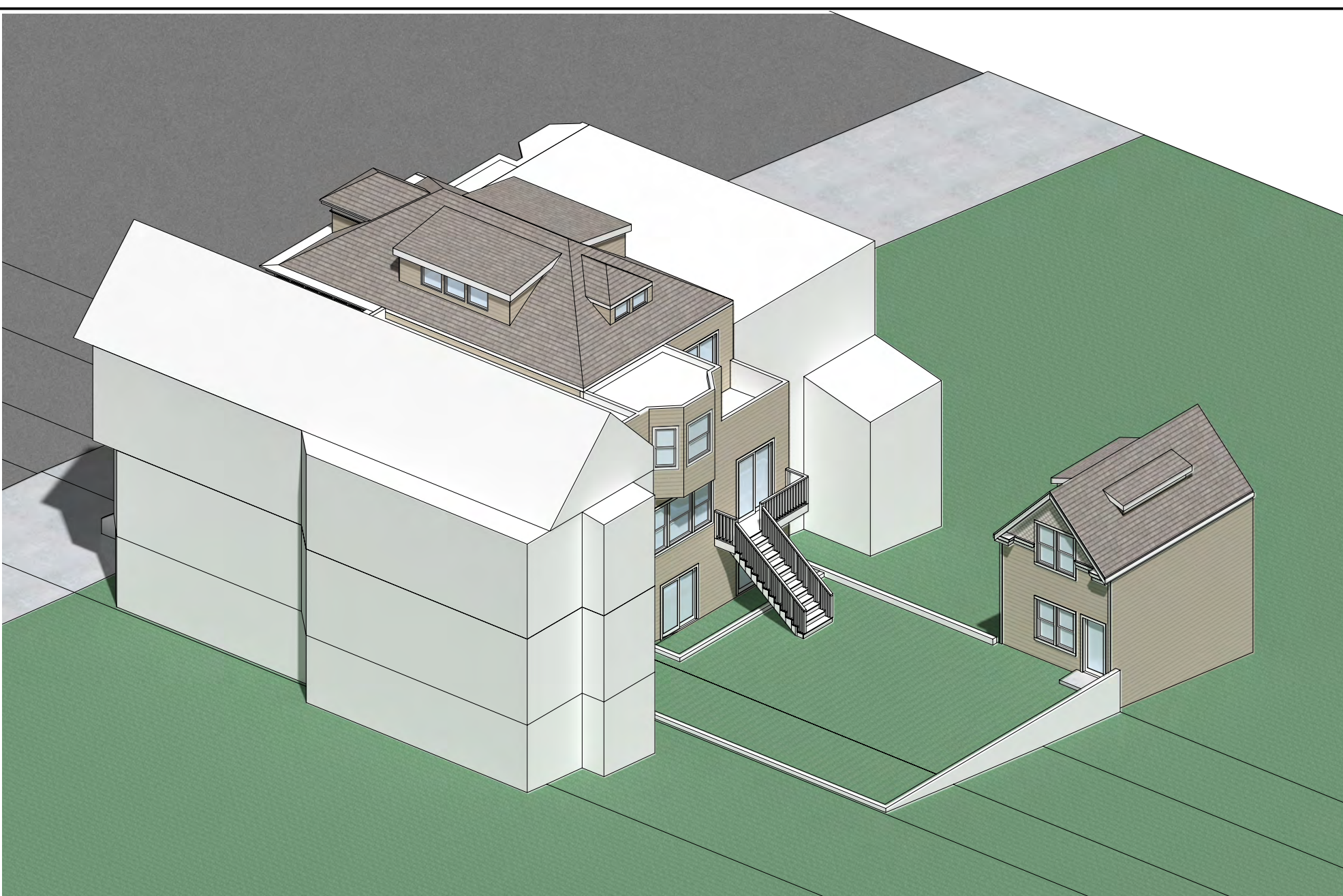
SHEET TITLE
Cover Sheet

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ASSESSOR'S MAP



BULK STUDY



DRAWING INDEX

ARCHITECTURAL

A-0.01	COVER SHEET
A-0.02	RENDERING IMAGES
A-1.01	(E) & (N) SITE PLANS
A-2.01	(E) & (N) FLOOR, ROOF PLANS & SECTIONS
A-3.01	(E) & (N) BUILDING ELEVATIONS
A-4.01	TYPICAL DETAILS
A-4.02	TYP. WINDOW DETAILS
C-1.1	SURVEY
G-1.1	GREEN BUILDING CHECKLIST

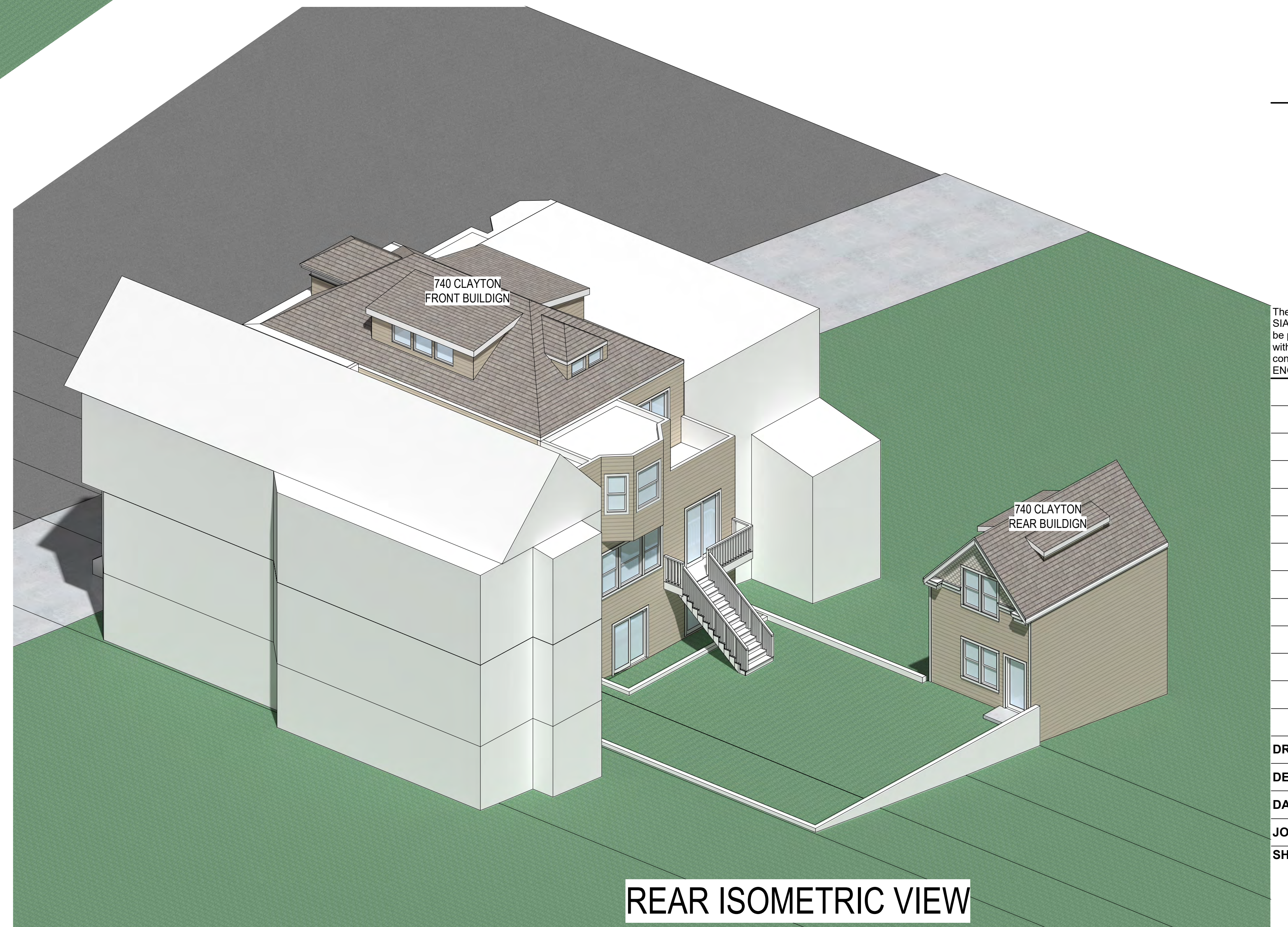
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DESIGN BY R.K.
DATE 06/13/2019
JOB NO. 18-1784
SHEET NO.

A-0.01



REAR ISOMETRIC VIEW



REAR ISOMETRIC VIEW

PROJECT NAME

740 Clayton Street
San Francisco, CA 94117
(REAR BUILDING)



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SHEET TITLE

Rendering Images

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10/23/2018 PRE-APP MEETING

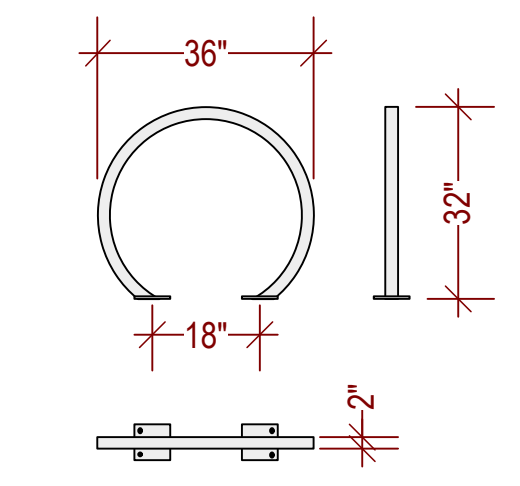
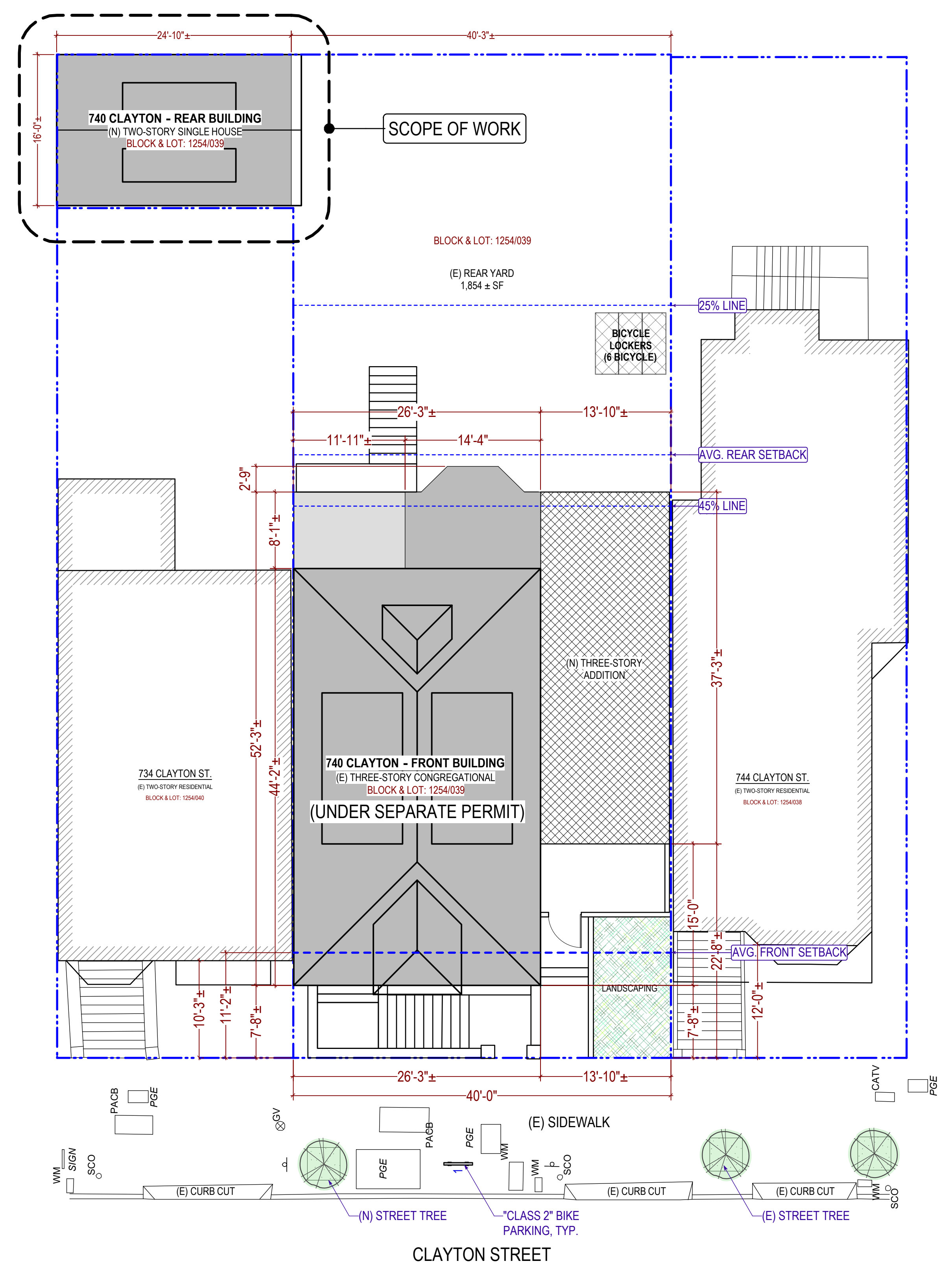
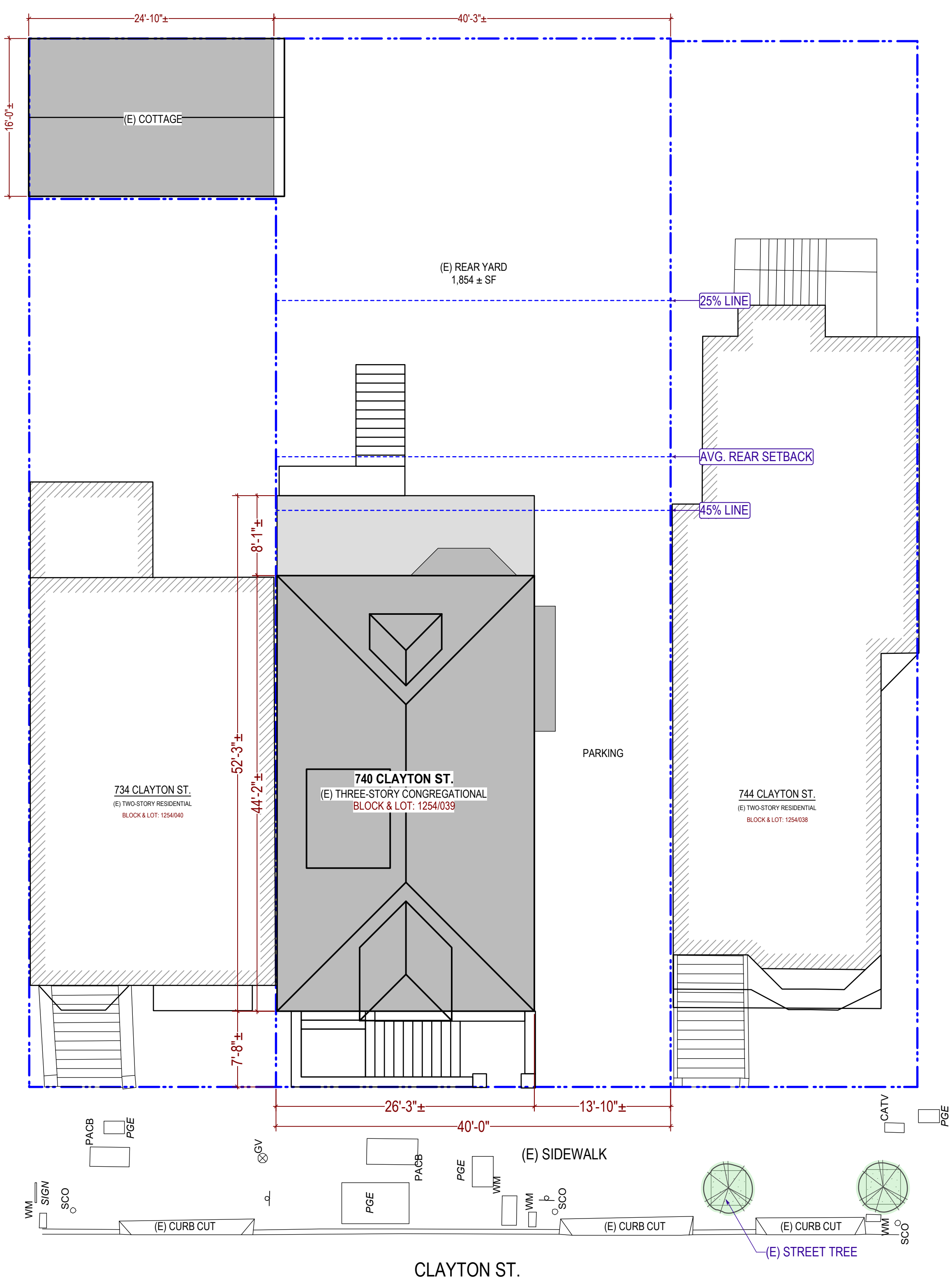
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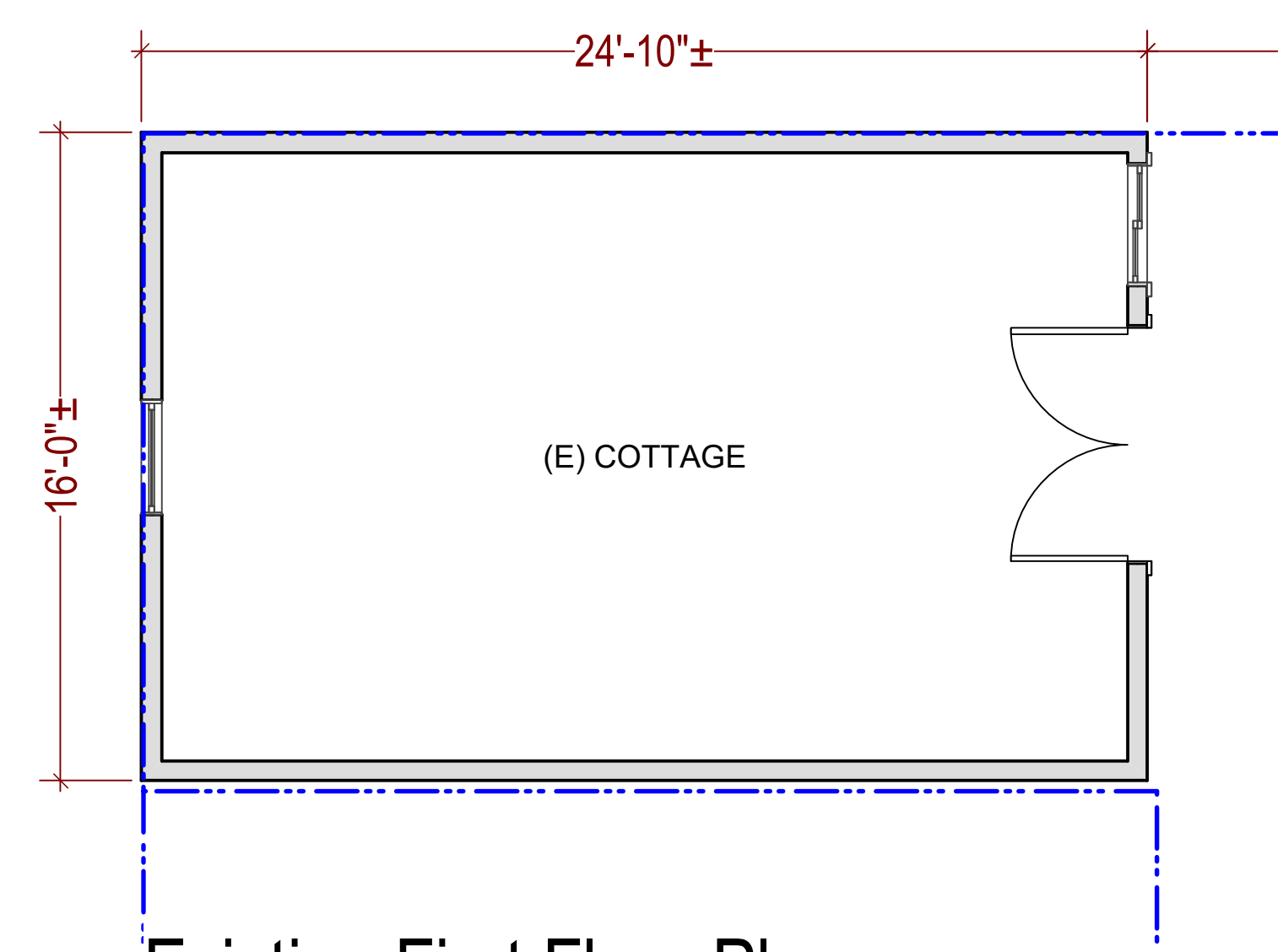
BLOCK & LOT: 1254-039

PROPERTY LINE:

OUTLINE OF SUBJECT BUILDING:

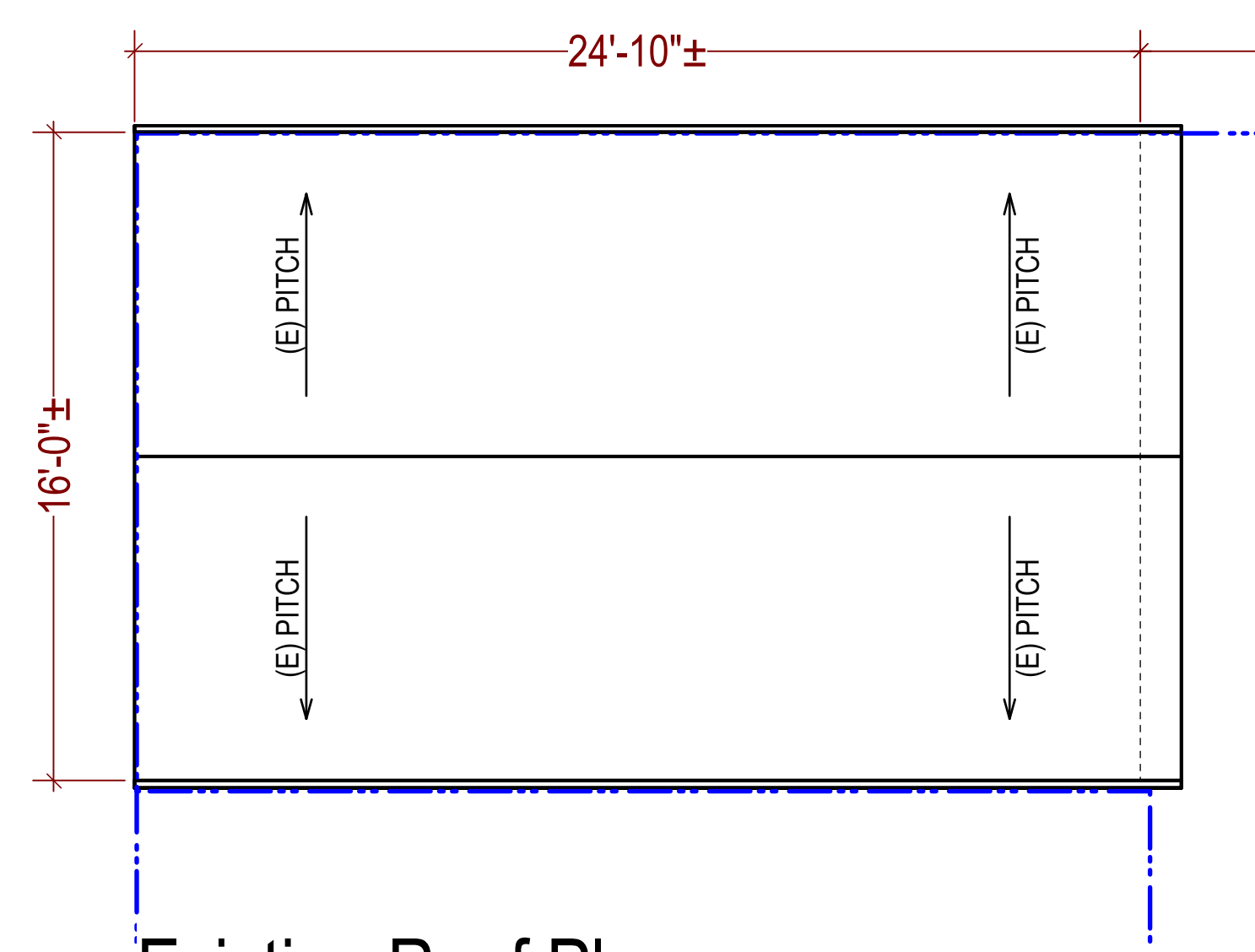
OUTLINE OF NEIGHBOR BUILDING:

Project North



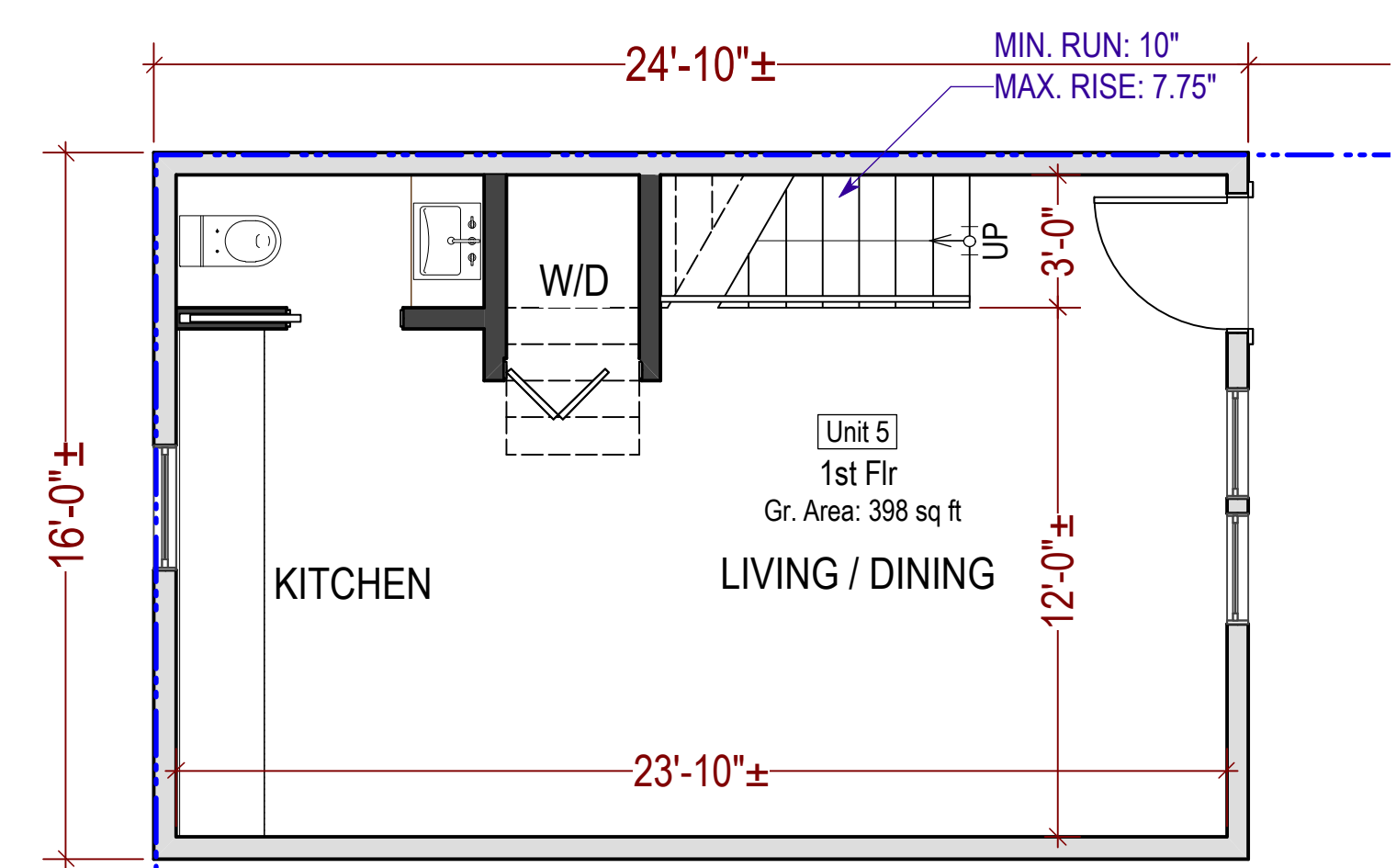
Existing First Floor Plan

1/4"=1'-0"



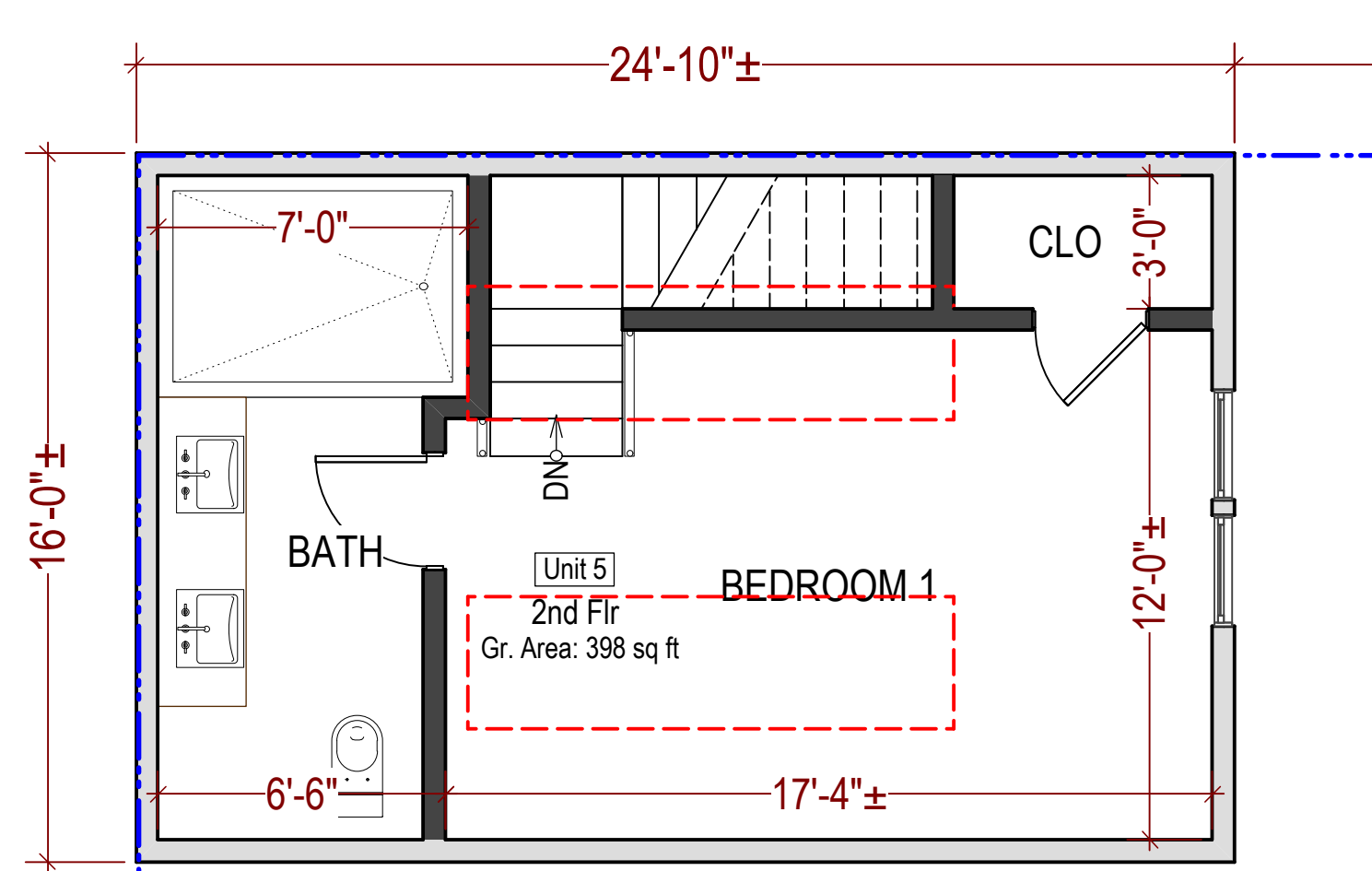
Existing Roof Plan

1/4"=1'-0"



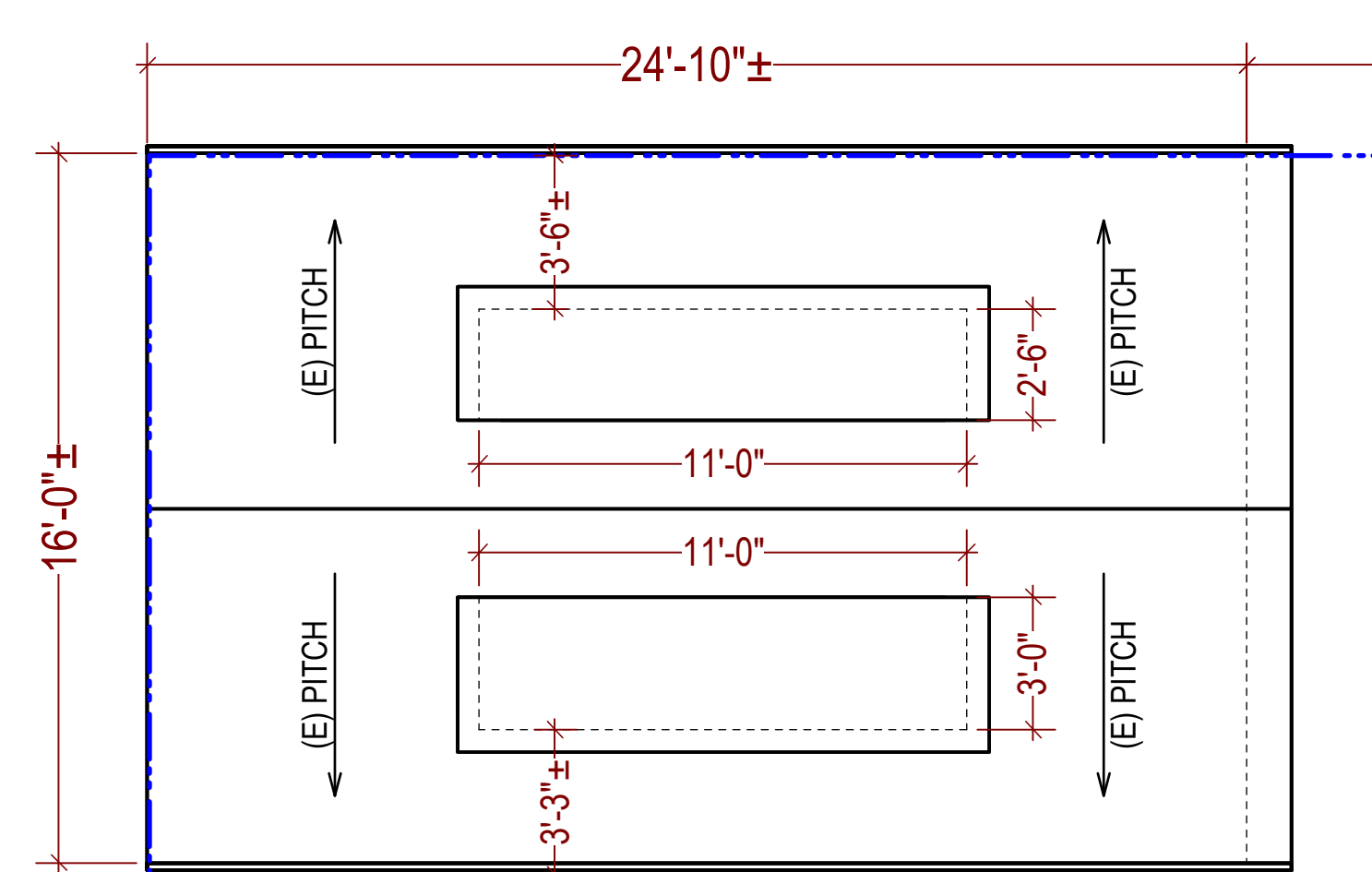
Proposed First Floor Plan

1/4"=1'-0"



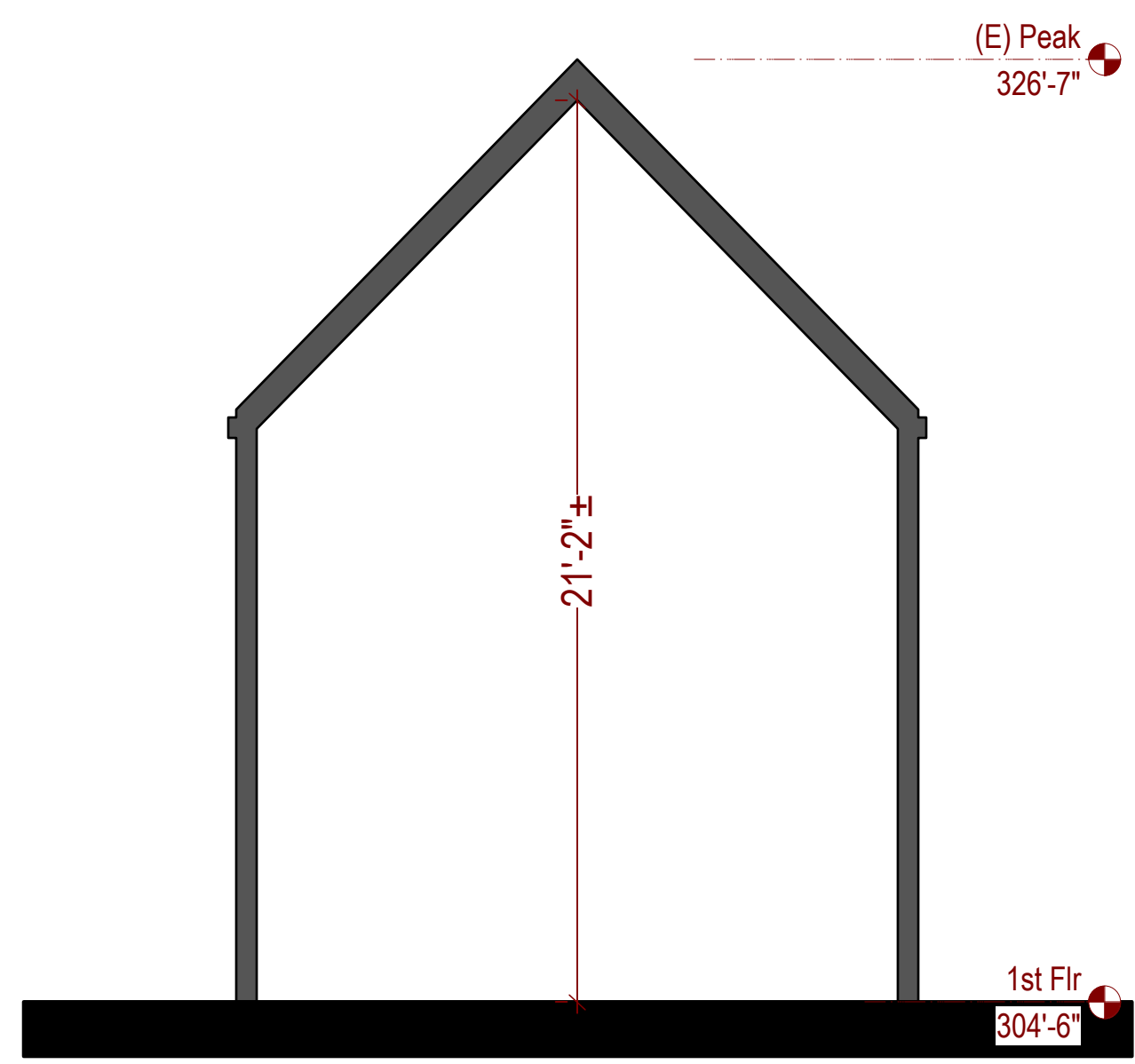
Proposed Second Floor Plan

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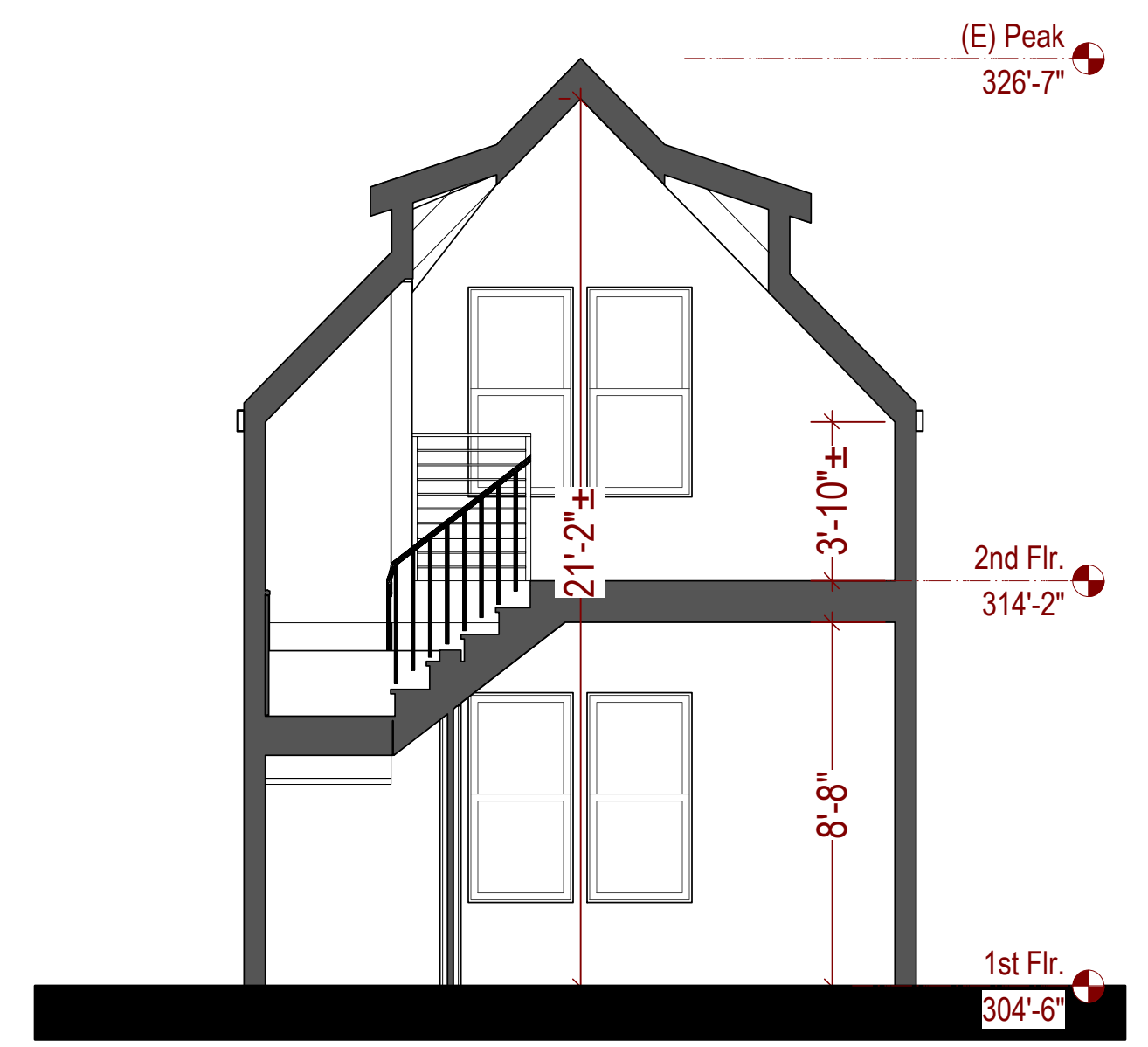
Proposed Roof Plan

1/4"=1'-0"



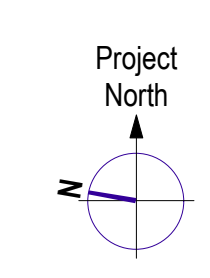
Existing Section

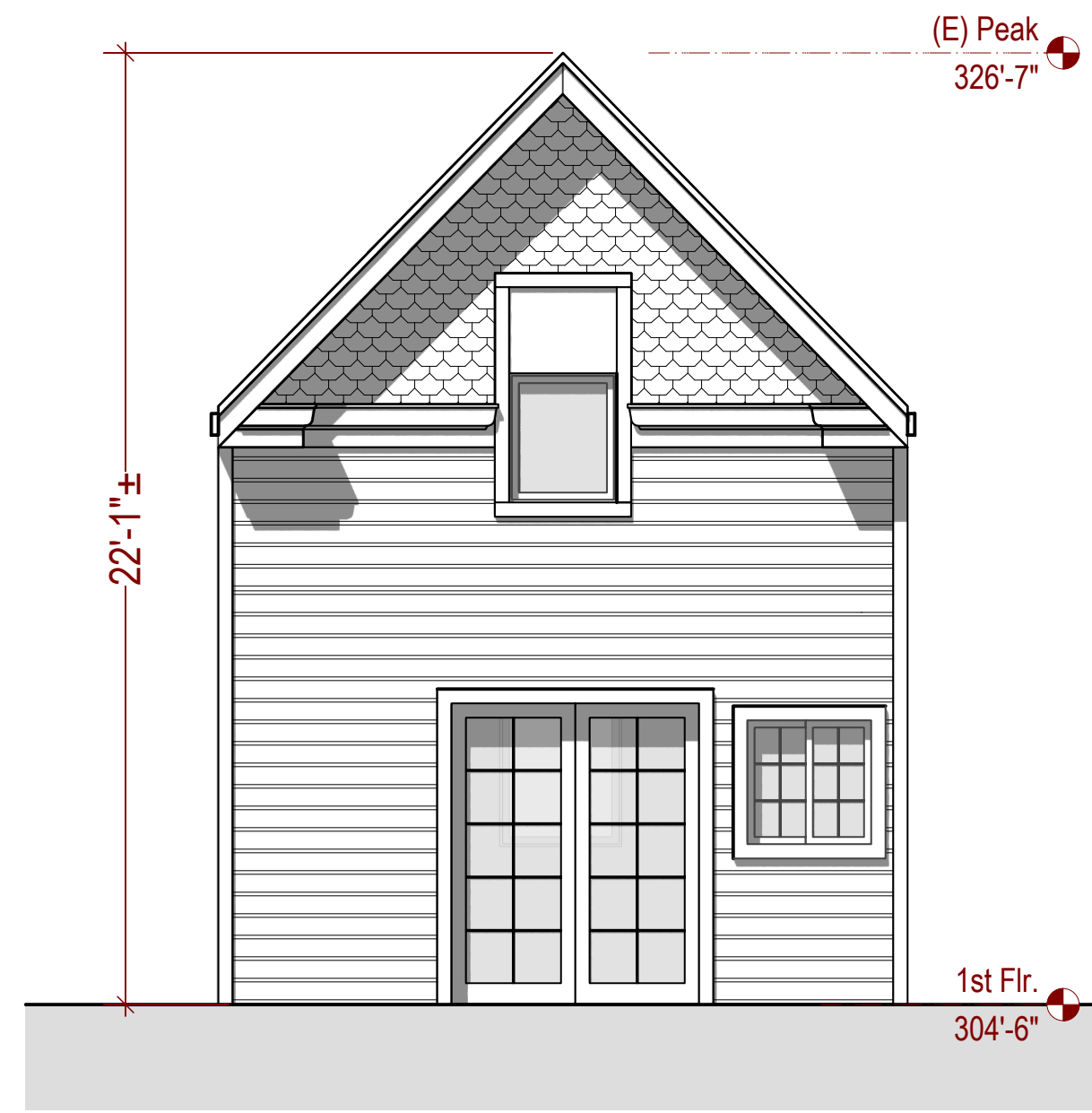
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Proposed Section

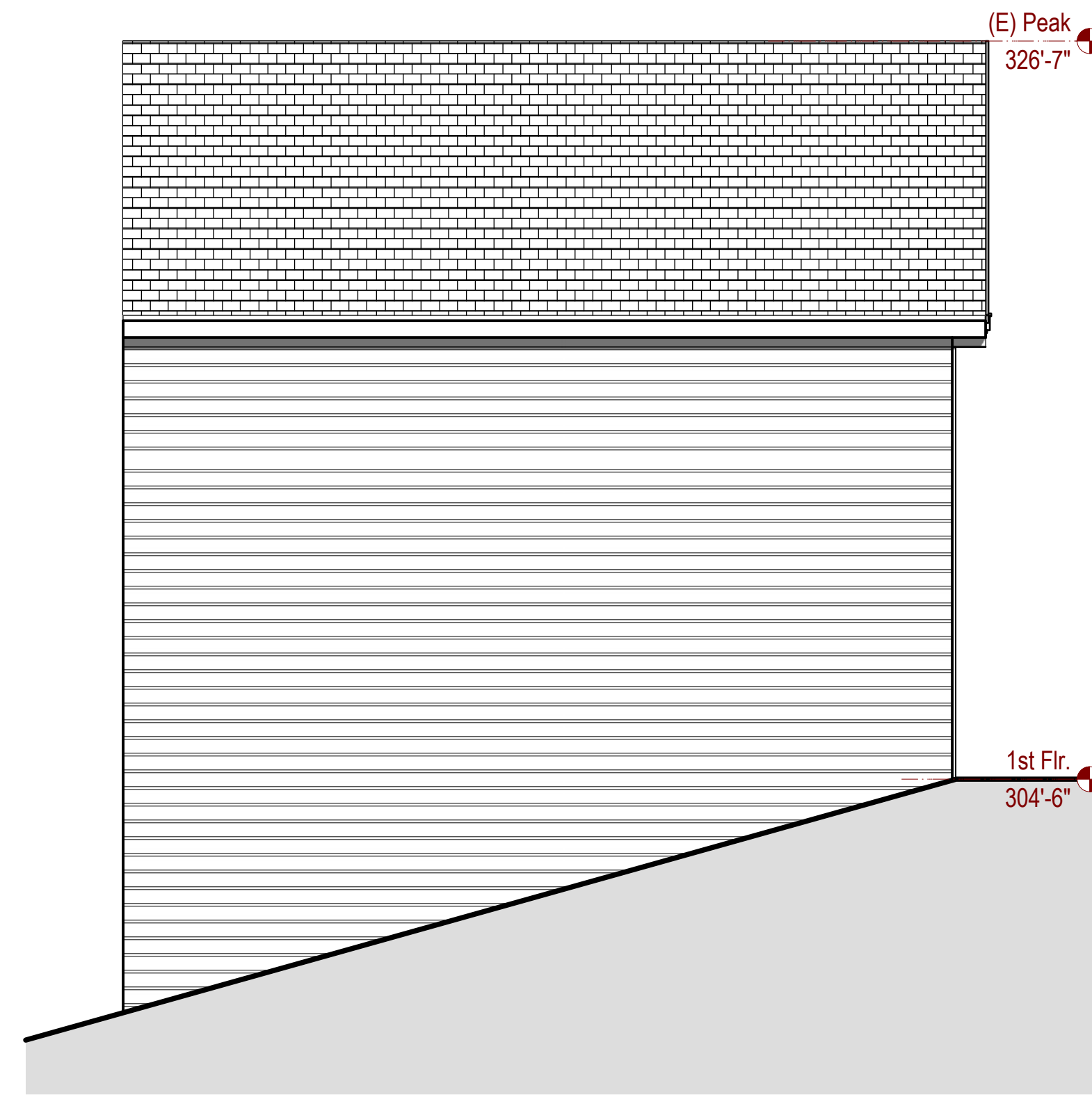
1/4"=1'-0"





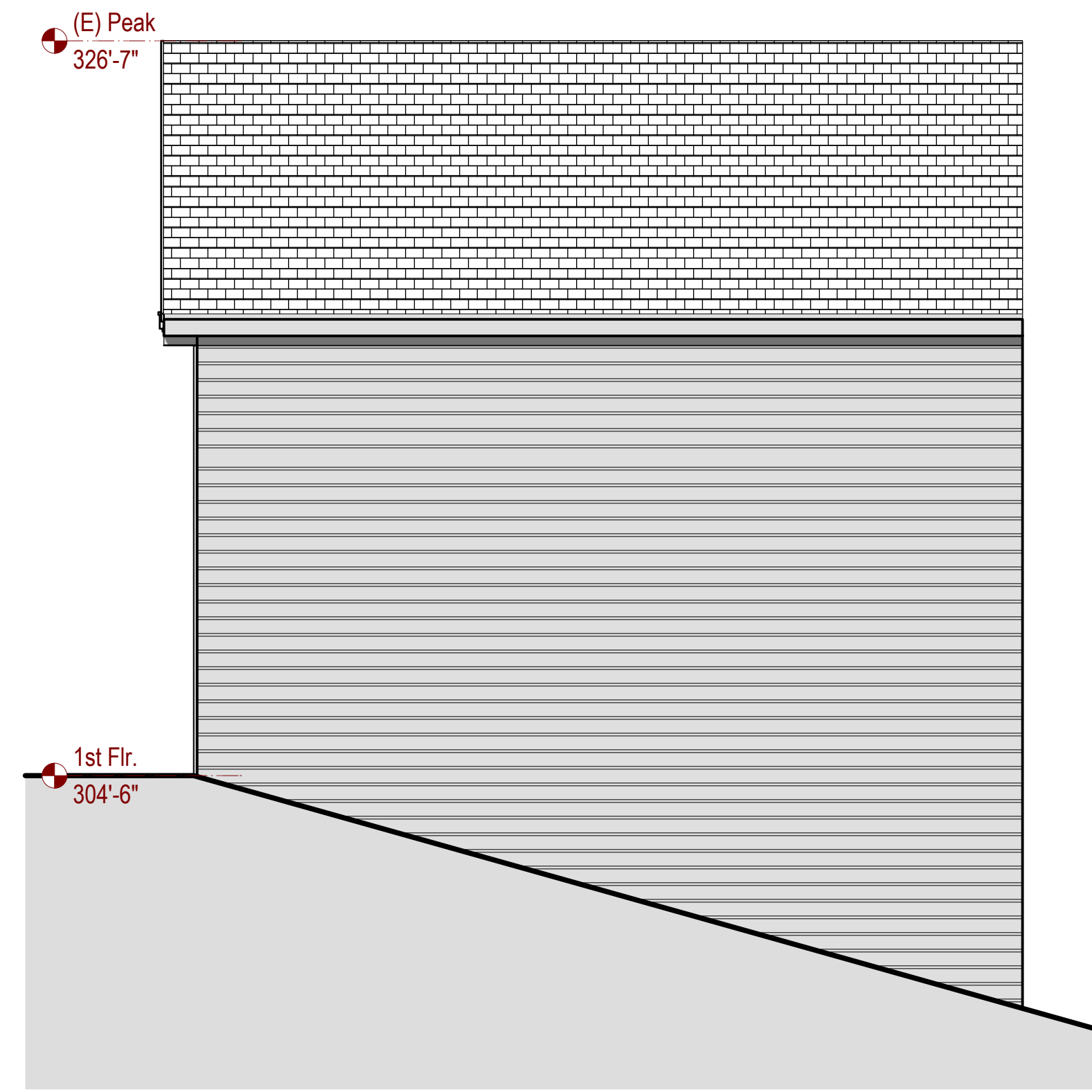
Existing East Elevation

1/4" = 1'-0"



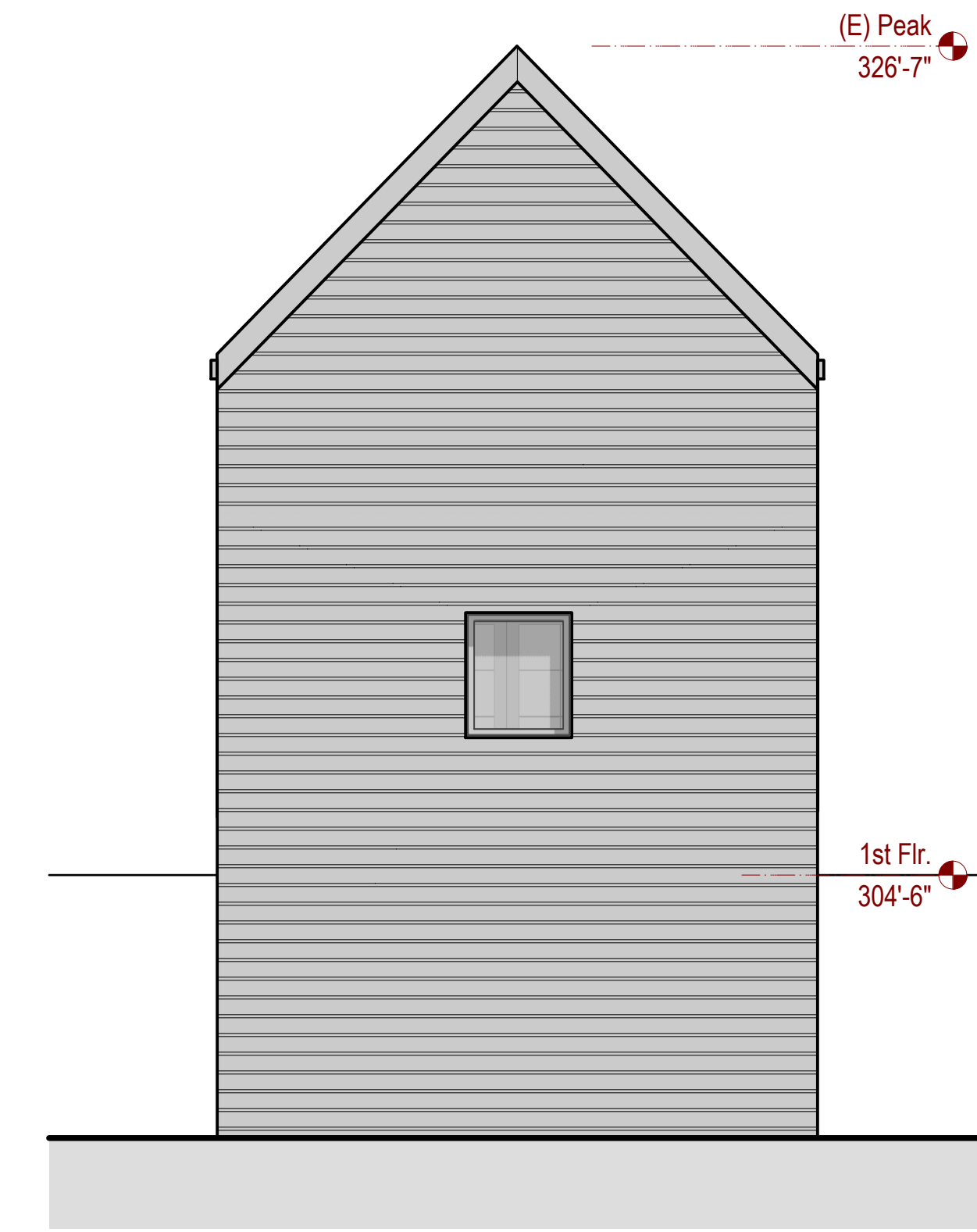
Existing South Elevation

1/4" = 1'-0"



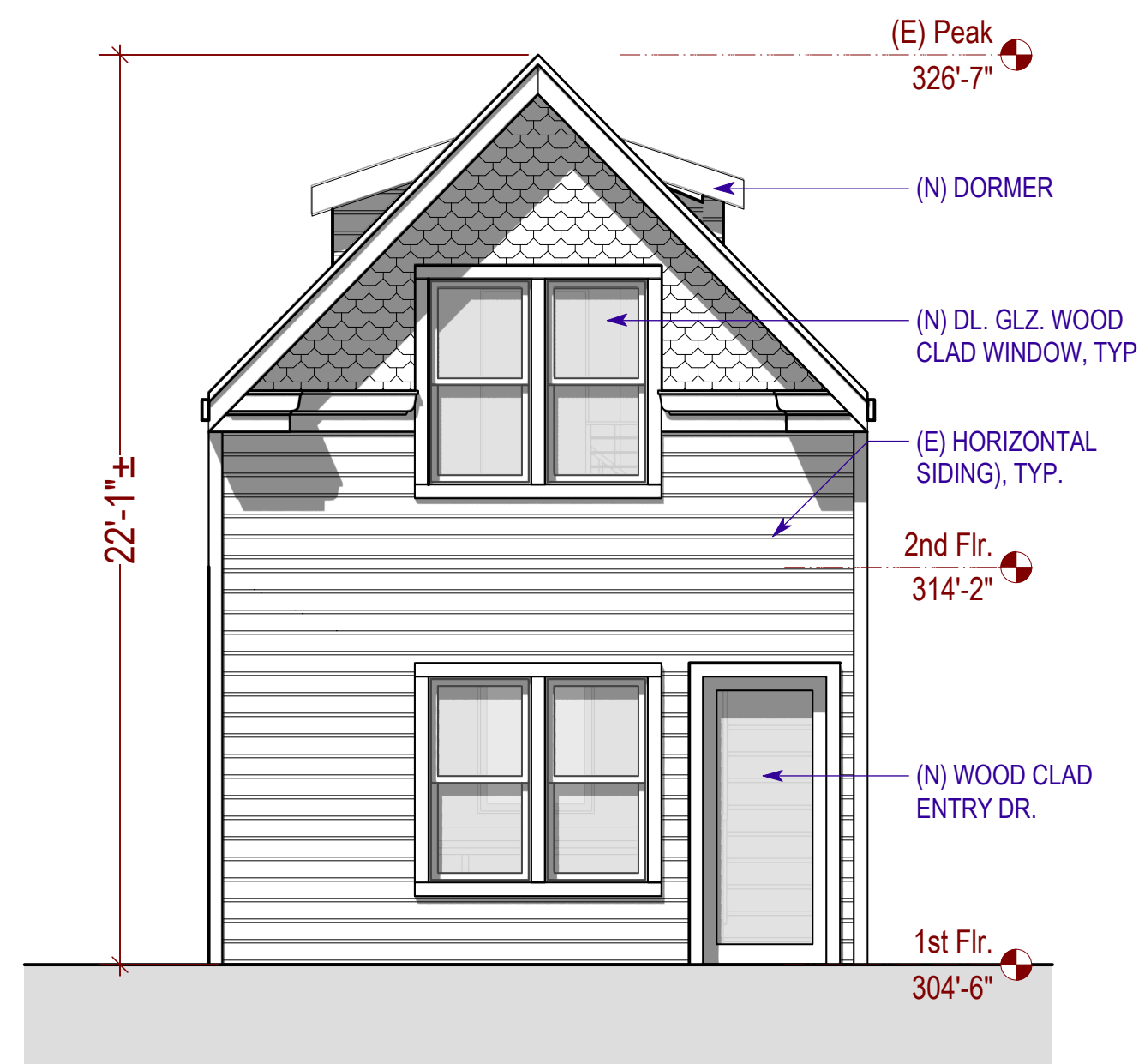
Existing North Elevation

1/4" = 1'-0"



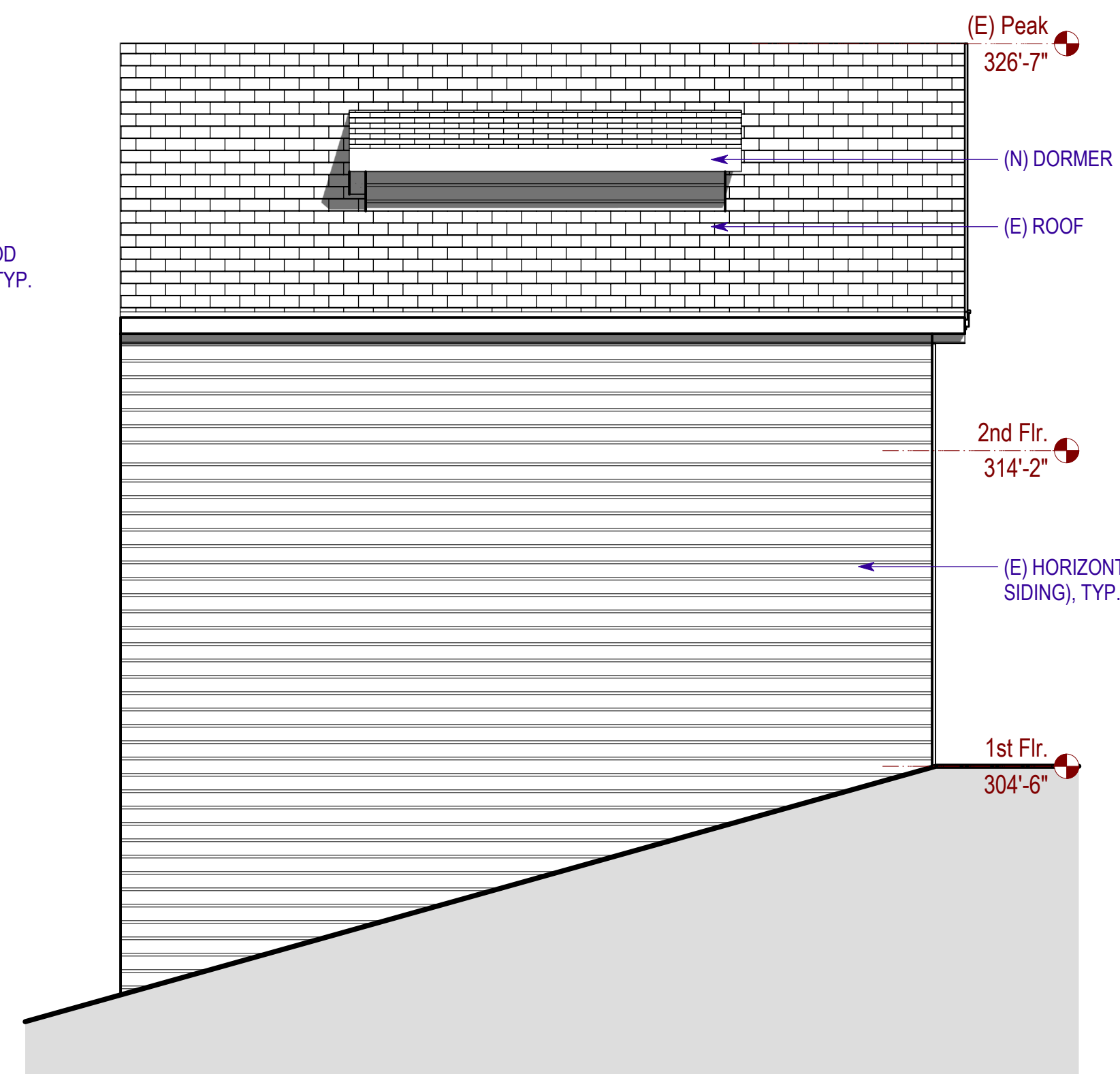
Existing West Elevation

1/4" = 1'-0"



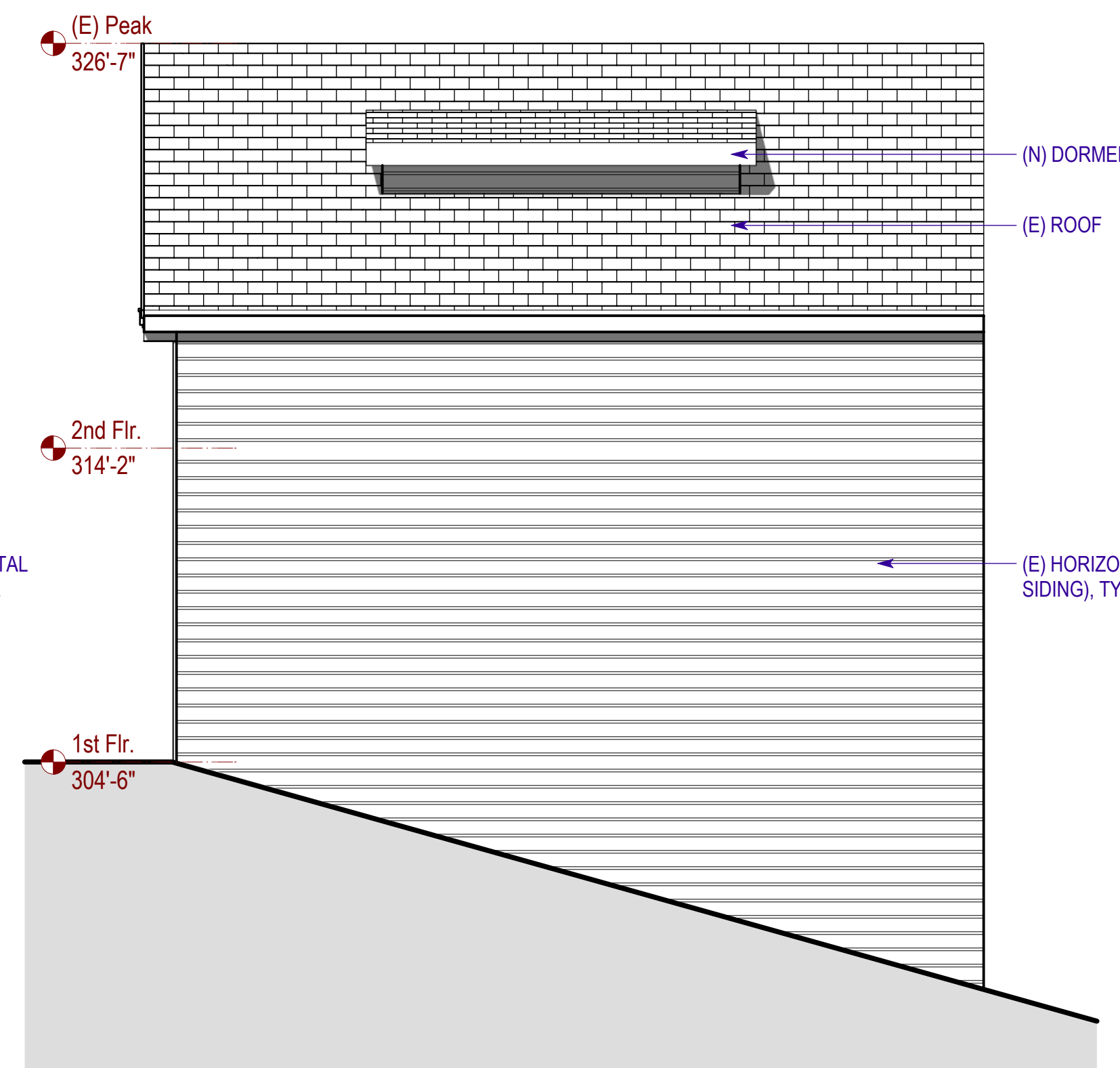
Proposed East Elevation

1/4" = 1'-0"



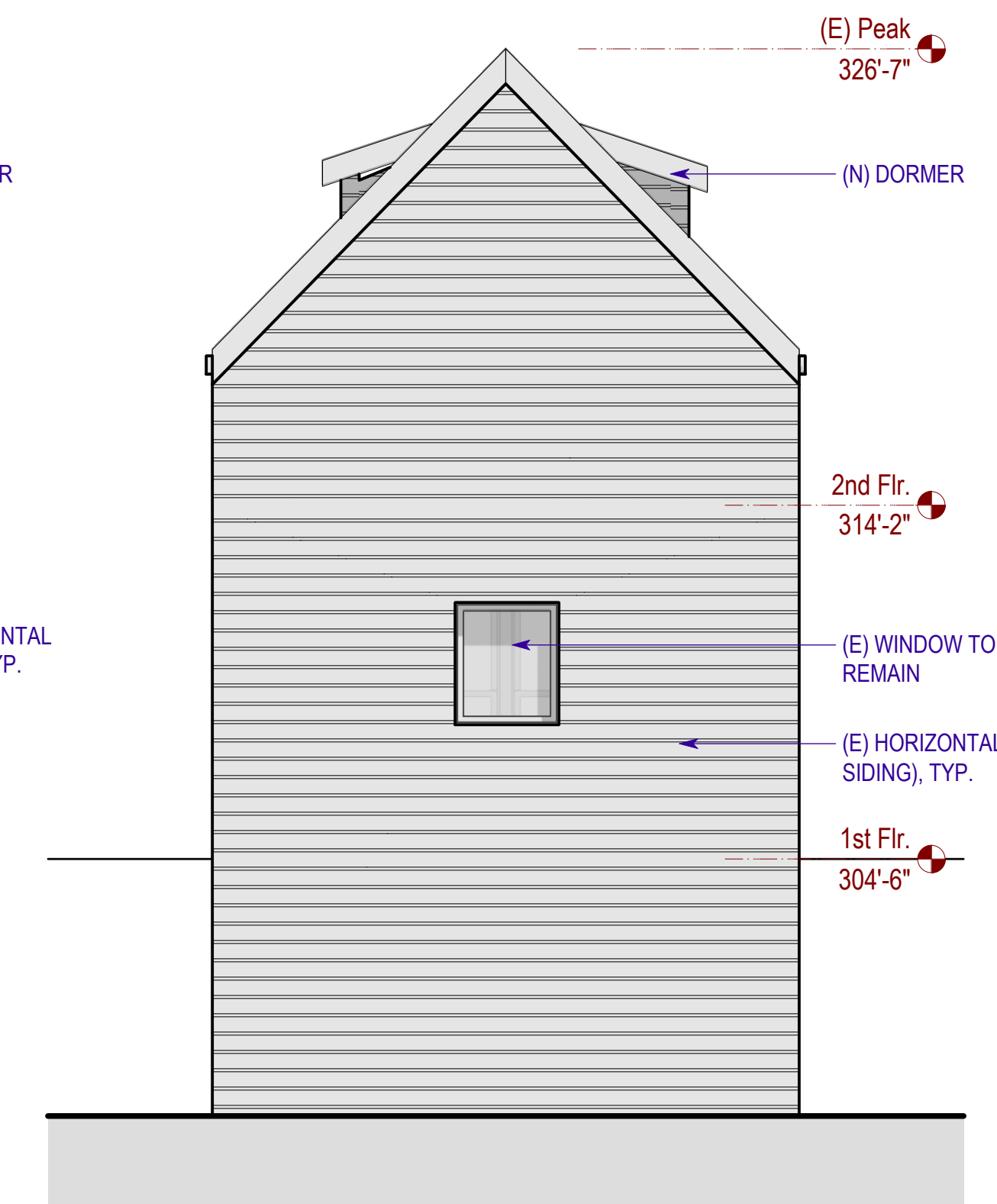
Proposed South Elevation

1/4" = 1'-0"



Proposed North Elevation

1/4" = 1'-0"



Proposed West Elevation

1/4" = 1'-0"

W-1 (E) WALLS AND PARTITIONS, WOOD-FRAMED TO BE UPGRADED 1 HOUR FIRE

(E) EXTERIOR FINISH
(E) 2 X STUD (E) 2 X STUD
2-LAYER 5/8" GYPSUM BOARD, TYPE X

W-2 (E) WALLS AND PARTITIONS, WOOD-FRAMED TO BE UPGRADED 1 HOUR FIRE

(E) EXTERIOR FINISH
(E) 2 X STUD (E) 2 X STUD
W/ ROCK-WOOL BATTS INSULATION, DENSITY OF 1LB/SF
2-LAYER 5/8" GYPSUM BOARD, TYPE X

W-3 EXTERIOR WALLS, WOOD-FRAMED

SYSTEM DESCRIPTION

GA FILE NO. WP 8105 **GENERIC**

GYPSUM WALLBOARD, GYPSUM SHEATHING, WOOD STUDS

EXTERIOR SIDE: One layer 48" wide 5/8" type X gypsum sheathing applied parallel to 2 x 4 wood studs 24" o.c. with 1 1/2" galvanized roofing nails 4" o.c. at vertical joints and 7" o.c. at intermediate studs and top and bottom plates. Joints of gypsum sheathing may be left untreated. Exterior cladding to be attached through sheathing to studs.

INTERIOR SIDE: One layer 5/8" type X gypsum wallboard, water-resistant gypsum backing board, or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails, 17/8" long, 0.0915" shank, 1/4" heads, 7" o.c. (LOAD-BEARING)

SKETCH AND DESIGN DATA

1 HOUR FIRE

Thickness: Varies
Approx. Weight: 7 psf
Fire Test: See WP 3510 (UL R3501-47, -48, 9-17-65, UL Design U309; UL R1319-129, 7-22-70, UL Design U314)

W-4 WALLS & INTERIOR PARTITIONS, WOOD-FRAMED

SYSTEM DESCRIPTION

GA FILE NO. WP 3243 **GENERIC**

GYPSUM WALLBOARD, RESILIENT CHANNELS, MINERAL OR GLASS FIBER INSULATION, WOOD STUDS

Resilient channels 24" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 24" o.c. with 1 1/2" Type S drywall screws. One layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to channels with 1" Type S drywall screws 8" o.c. with vertical joints located midway between studs. 3" mineral or glass fiber insulation in stud space.

OPPOSITE SIDE: One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to studs with 6d cement coated nails, 17/8" long, 0.0915" shank, 1/4" heads, 7" o.c.

Vertical joints staggered 24" on opposite sides. (LOAD-BEARING)

SKETCH AND DESIGN DATA

1 HOUR FIRE **50 to 54 STC SOUND**

Thickness: 5/8"
Approx. Weight: 7 psf
Fire Test: Based on UL R14196, 05NK05371, 2-15-05, UL Design U309, NRCC TL-93-103, IRC-IR-761, 3/98
Sound Test:

MD-10A MIRADRAIN SPLICE

NOTES:

- SET DOWN STREAM DRAIN COMPOSITE WITH SEAM FLAP TURNED BACK.
- SET UPPER DRAIN COMPOSITE WITH HARD PLASTIC PLACED ONTO LOWER COMPOSITE.
- EXTEND FLAP OF UPSTREAM COMPOSITE OVER LOWER COMPOSITE.
- GLUE OR TAPE FLAPS INTO POSITION UNTIL OVERBURDEN IS INSTALLED IS COMPLETED.

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C-1 (E) FLOOR-CEILING SYSTEMS, WOOD-FRAMED

SYSTEM DESCRIPTION

GA FILE NO. FC 5105 **PROPRIETARY***

GYPSUM WALLBOARD, RESILIENT CHANNELS, WOOD JOISTS

One layer 1/2" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 60" long with screws at 12" o.c. Resilient channels applied at right angles to 2 x 10 wood joists 16" o.c. with 6d common nails. Wood joists supporting 1 1/2" plywood and 1" proprietary sanded gypsum underlayment.

STC rated with 3 1/2" glass fiber insulation in joist spaces and with carpet and pad. **Second layer of 1/2" or 5/8" type X gypsum wallboard required to achieve 1 hour fire resistance rating when glass fiber insulation is used.**

SKETCH AND DESIGN DATA

1 HOUR FIRE **55 to 59 STC SOUND**

Approx. Ceiling Weight: 2 psf
Fire Test: UL R6352, 4-21-71, UL Design L502
Sound Test: G&H BW-10 MT, 10-13-70
IIC & Test: G&H BW-10 MT, 10-13-70

C-2 ROOF-CEILING, WOOD FRAME

SYSTEM DESCRIPTION

GA FILE NO. RC 2601 **GENERIC**

GYPSUM WALLBOARD, WOOD JOISTS, ROOF COVERING

Base layer 5/8" type X gypsum wallboard applied at right angles to 2 x 10 wood joists 24" o.c. with 1 1/2" Type W or S drywall screws 24" o.c. Face layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to joists with 17/8" Type W or S drywall screws 12" o.c. at joints and intermediate joists and 1 1/2" Type G drywall screws 12" o.c. placed 2" back on either side of end joints. Joints offset 24" from base layer joints. Wood joists supporting 1/2" plywood with exterior glue applied at right angles to joists with 8d nails. Appropriate roof covering. **Ceiling provides one hour fire resistance protection for framing, including trusses.**

SKETCH AND DESIGN DATA

1 HOUR FIRE

Approx. Ceiling Weight: 5 psf
Fire Test: FM FC 172, 2-25-72; ITS, 8-6-98

C-3 TJI: FLOOR-CEILING / ROOF-CEILING, WOOD FRAME

SYSTEM DESCRIPTION

GA FILE NO. FC 5011 **PROPRIETARY***

WOOD I-JOISTS, WOOD STRUCTURAL PANELS, GYPSUM FLOOR TOPPING, RESILIENT CHANNELS, GLASS FIBER BATT OR LOOSE FILL INSULATION, GYPSUM WALLBOARD

Base layer 1/2" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. (16" o.c. when insulation is used) with 1" Type S drywall screws 16" o.c. Gypsum board end joints located midway between continuous channels and attached with screws 8" to additional pieces of channel 60" long located 3" back on either side of end joint. Resilient channels applied at right angles to minimum 10" deep wood I joists spaced a maximum of 19" o.c. with 1 1/4" Type S drywall screws. Face layer 1/2" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 1 1/2" Type S drywall screws 8" o.c. and 1 1/2" Type G screws 8" o.c. at the butt joints located mid-span between the resilient channels. Glass fiber insulation secured to subfloor or loose fill insulation applied directly over gypsum board. Wood I joists supporting 1 1/2" wood structural panel subfloor applied at right angles to joists with construction adhesive and 6d ring shank nails 12" o.c. Minimum 1/2" proprietary gypsum floor topping applied over subfloor.

STC rated with I joists spaced 24" o.c., 3 1/2" glass fiber insulation in joist spaces, 1/4" proprietary gypsum floor topping poured over 1/4" proprietary sound reduction mat, and with finish flooring of sheet vinyl, engineered wood laminate, and ceramic tile. (STC 64 when sheet vinyl or engineered wood laminate is applied to floor; STC 66 when tested with ceramic tile applied to floor.)

SKETCH AND DESIGN DATA

1 HOUR FIRE **60 to 64 STC SOUND**

Approx. Ceiling Weight: 3 psf
Fire Test: UL R1319, 05NK04569, 2-4-05; UL R1319, 05NK09496, 3-31-05; UL Design L570
Sound Test: RAL OT03-05, 4-22-03; RAL OT03-07, 4-29-03; RAL OT03-09, 6-18-03 (58 sheet vinyl); RAL OT03-06, 4-22-03; (62 engineered wood laminate) RAL OT03-08, 4-29-03; (54 ceramic tile) RAL OT03-10, 6-18-03
IIC & Test:

MD-1 RETAINING WALL DETAIL

RETAINING WALL
WRAP FILTER FABRIC BEHIND CCW MIRADRAIN CORE AT TOP AND BOTTOM EDGE
WEEP HOLE WITH GRATE/SCREEN
CUT BACK OF BLACK PLASTIC ON CCW MIRADRAIN TO MATCH SIZE OF WEEP HOLE. DO NOT CUT FILTER FABRIC
CONCRETE FOOTING
GALVANIZED OR ALUMINUM PLATE EXTENDING 3 DIMPLES ALL DIRECTIONS FROM WEEP HOLE EDGE
BACKFILL
CCW MIRADRAIN

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DOOR/WINDOW FLASHING & INSTALLATION DETAILS

DOOR/WINDOW FLASHING NOTES:
SECTION 1707(B), UNIFORM BUILDING CODE, CALLS FOR FLASHING OF ALL EXTERIOR OPENINGS EXPOSED TO WEATHER TO MAKE THEM WEATHERPROOF. SINCE UBC DOES NOT OUTLINE PROCEDURES FOR WINDOW FLASHING, TECHNIQUES SHOWN HERE ARE RECOMMENDED.

-FOR FLASHING MATERIAL USE 15LB. ASPHALT SATURATED FELT, SELF HEALING BITUTHENE MEMBRANE, OR DUPONT "FLEXWRAP"

-FOR MOISTURE BARRIER USE "TYVEK" OR EQUIVALENT HOUSEWRAP

-CAULK BACK OF WINDOW FRAMES BEFORE SETTING. USE WINDOW THAT ARE WATERTIGHT.

FLASHING TO BE 15LB. ASPHALT SATURATED FELT, SELF HEALING BITUTHENE MEMBRANE, OR DUPONT "FLEXWRAP" - TYP.

FOR MOISTURE BARRIER USE "TYVEK" OR EQUIVALENT HOUSEWRAP

STARTING AT THE BOTTOM OF THE WALL (SILL PLATE), LAY WATER-RESISTANT PAPER UNDER THE SILL STRIP. CUT ANY EXCESS WATER-RESISTANT PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE ON EACH SIDE OF THE OPENING. (SHOWN IN DIAGRAM AS SHORT DASHED LINES). INSTALL SUCCEEDING COURSES OF WATER-RESISTANT PAPER (B, C, ETC.) OVER JAMB AND HEAD FLANGES IN SHINGLE-BOARD FASHION.

ATTACH A FILL STRIP OF ASPHALT-SATURATED ROOFING FELT PAPER AT LEAST 9" WIDE WITH THE TOP EDGE EVEN WITH THE TOP EDGE OF THE ROUGH SILL. EXTEND THIS SILL STRIP AT LEAST 8" BEYOND THE EDGE OF THE ROUGH OPENING FOR WINDOW. ATTACH FELT WITH GALVANIZED ROOFING NAILS OR RUST-RESISTANT STAPLES.

AFTER SILL STRIP IS IN PLACE, ATTACH JAMB STRIPS (SIDE OF OPENING) AT LEAST 9" SIDE WITH INSIDE EDGE OF FELT EVEN WITH EDGE OF WINDOW OPENING. START JAMB STRIPS 1" BELOW THE SILL STRIP AND EXTEND JAMB STRIPS 4" ABOVE THE LOWER EDGE OF THE LINTEL (TOP OF WINDOW OPENING).

APPLY A BEAD OF CAULKING TO THE BACK SURFACES OF THE WINDOW, THEN PLACE THE WINDOW INTO THE ROUGH OPENING, WITH FLANGES OVER THE INSTALLED FLASHING FELT STRIPS. AFTER WINDOW IS PLACED, INSTALL THE HEAD FLASHING OVER THE WINDOW FLANGE. THIS IS A STRIP OF BITUMINOUS MEMBRANE AT LEAST 9" WIDE.

1
2
3
4

BEDROOM EGRESS WINDOW DETAIL N.T.S.

MIN. 24"
MIN. 20"
MIN. 20"
MIN. 24"
MIN. 24"
MIN. 24"
MIN. 44"
FINISH FLOOR
*MIN. OPENABLE AREA TO BE 5.7 S.F.

HANDRAIL DETAIL N.T.S.

STAIRS DETAIL N.T.S.

1-1/4" TO 1-1/2"
1-1/2"
SEE PLANS
SEE PLANS
HANDRAIL TO BE LOCATED BETWEEN 34" TO 38" FROM THE NOISING OF THE THREADS AND LANDING END SHALL BE RETURNED

PROJECT NAME
740 Clayton Street
San Francisco, CA 94117
(REAR BUILDING)

SIA consulting
SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292 / FAX: (415) 849.1252

SHEET TITLE
Typ Details

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10/23/2018 PRE-APP MEETING

DRAWN BY R.L.
DESIGN BY R.K.
DATE 06/13/2019
JOB NO. 18-1784
SHEET NO.

A-4.01



Typ Window
Details

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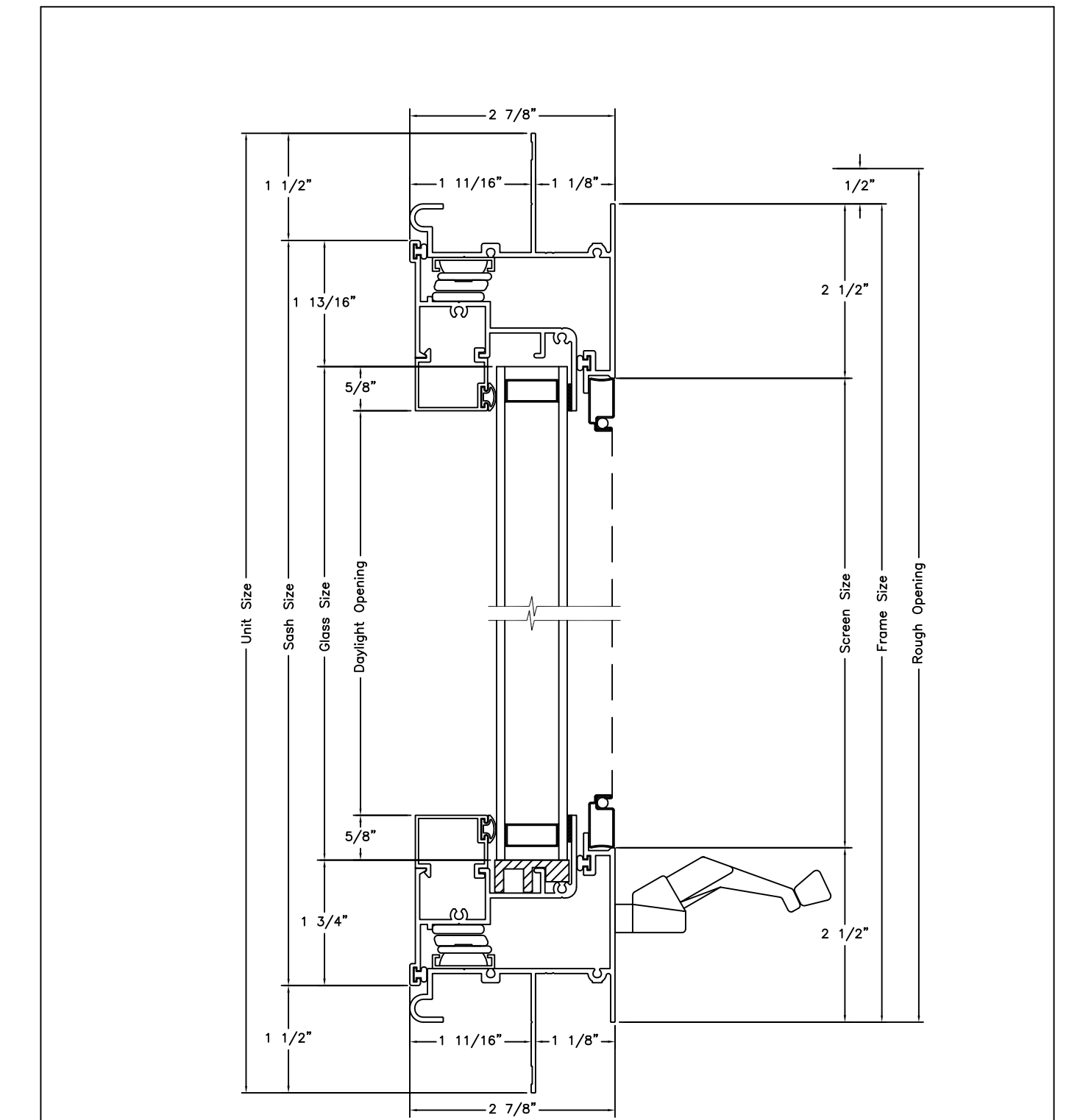
10/23/2018 PRE-APP MEETING

DRAWN BY R.L.
DESIGN BY R.K.
DATE 06/13/2019
JOB NO. 18-1784
SHEET NO.

A-4.02



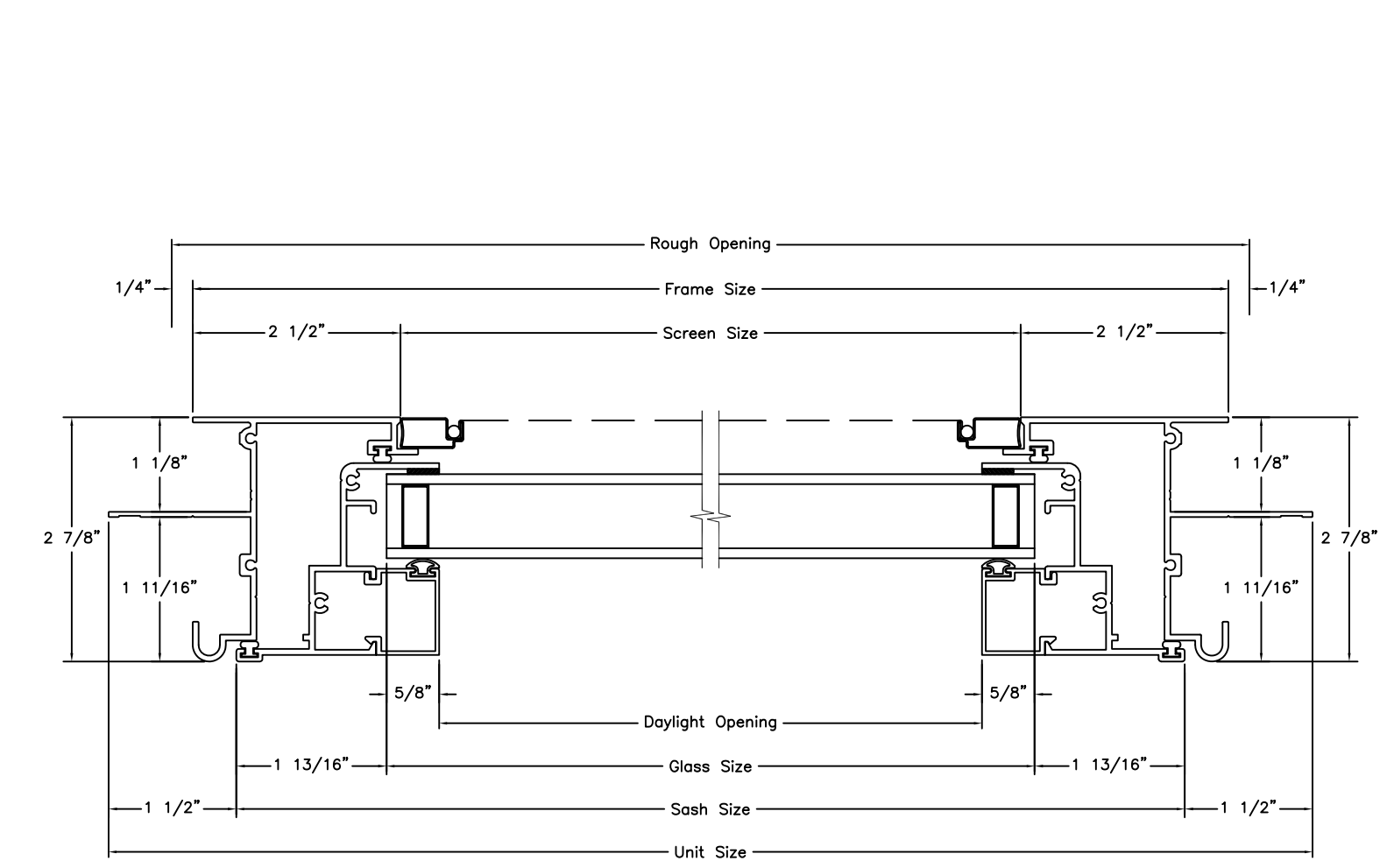
PREMIUM ALUMINUM
CASEMENT WINDOW
VERTICAL SECTION



Vertical Section



PREMIUM ALUMINUM
CASEMENT WINDOW
HORIZONTAL SECTION



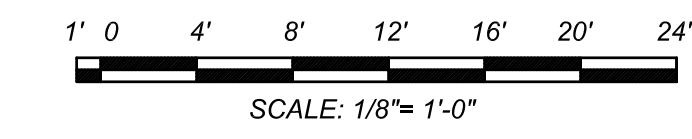
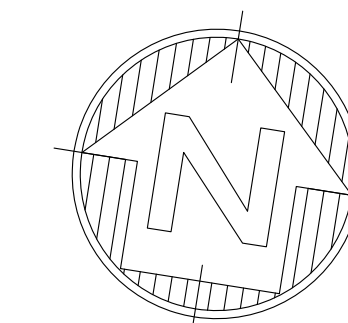
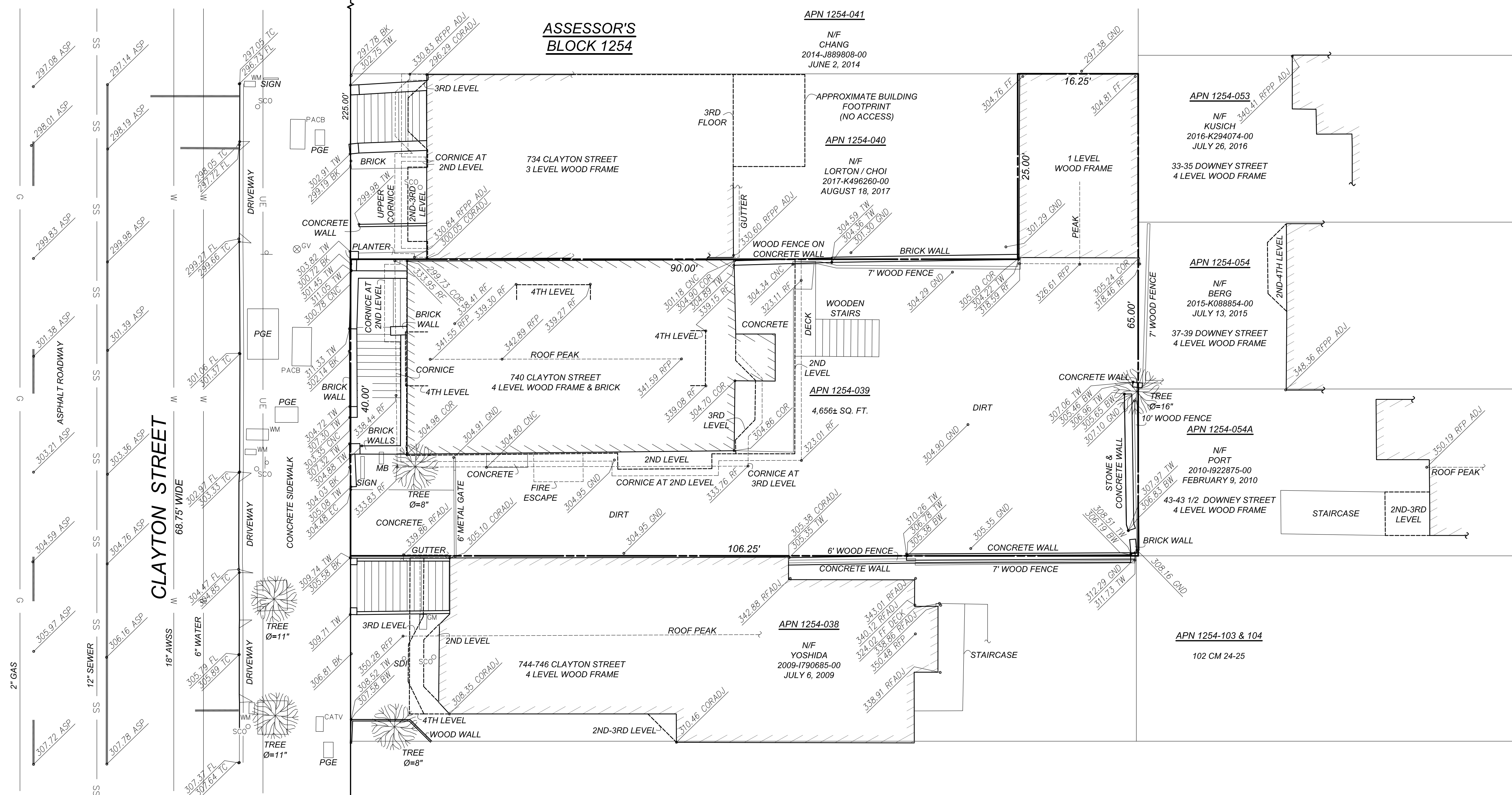
Horizontal Section

Wood Clad Window Detail, Typ.
N.T.S.

WALLER STREET

68.75' WIDE

ASSESSOR'S BLOCK 1254



BOUNDARY NOTES:

PROPERTY AND RIGHT-OF-WAY LINES SHOWN HEREON ARE PREDICATED ON AN ANALYSIS OF EXISTING IMPROVEMENTS, RECORD DATA, FIELD TIES AND ASSESSOR'S PARCEL MAPS. IT IS NOT THE INTENT OF THIS MAP TO PROVIDE A FORMAL BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY SHOWN HEREON. SAID RESOLUTION WOULD REQUIRE THE SETTING OF PROPERTY CORNERS AND THE FILING OF A RECORD OF SURVEY UNDER CALIFORNIA STATE LAW. BOUNDARY INFORMATION SHOWN HEREON IS FOR PLANNING PURPOSES ONLY.

ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED
ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.

DATE OF FIELD SURVEY:

TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY FREDERICK T. SEHER & ASSOCIATES INC. ON JULY 23, 2018.

SURVEY REFERENCE:

THE SURVEY HEREON IS BASED ON THE LEGAL DESCRIPTION DESCRIBED IN THE FOLLOWING GRANT DEED:
APN 1254-039: RECORDED MARCH 21, 2018 DOCUMENT NUMBER 2018-K591999-00.

UTILITY NOTE:

UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THEREFORE, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

PROJECT BENCHMARK - DESCRIPTION:

ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A GROUP OF CITY BENCHMARKS, LOCATED AT THE INTERSECTION OF FREDERICK AND CLAYTON STREETS, ELEVATIONS ARE BASED ON CITY AND COUNTY OF SAN FRANCISCO DATUM. SE CORNER 3' E. + CUT ASW W SIDE GATE ENT. ELEVATION = 345.977'

GENERAL NOTE:

THE FOLIAGE LINES OF ALL TREES PLOTTED HEREON ARE SHOWN IN A GRAPHICAL FORM ONLY, AND ARE NOT INTENDED TO REPRESENT ACTUAL DRIPLINES THEREOF.

LEGEND

ADJ	ADJACENT BUILDING	G	GAS LINE
ASP	ASPHALT	S	SANITARY SEWER LINE
AWSS	AUXILIARY WATER SUPPLY SYSTEM	UE	UNDERGROUND ELECTRIC LINE
BK	BACK OF WALK	W	WATER LINE
BW	BOTTOM OF WALL	Ø	DIAMETER
CNC	CONCRETE	—	PAINT STRIPE
COR	CORNER	—	SIGN
EF	EDGE OF CONCRETE	—	SPOT ELEVATION
FF	FINISHED FLOOR	—	TREE
FL	FLOW LINE		
GND	GROUND		
GV	GAS VALVE		
MB	MAILBOX		
PACB	PACIFIC BELL		
PGE	PACIFIC GAS & ELECTRIC		
RF	ROOF		
RFP	ROOF PEAK		
RFPP	ROOF PARAPET		
SDI	STORM DRAIN INLET		
SCO	SANITARY SEWER CLEAN OUT/VENT		
TC	TOP OF CURB		
TW	TOP OF WALL		
WM	WATER METER		
APN	ASSESSOR'S PARCEL NUMBER		
N/F	NOW OR FORMERLY		

NOTE: TO ANYONE HAVING ANY TYPE OF INTEREST IN THIS MAP PLEASE BE ADVISED AS FOLLOWS:

1. THAT ALL TITLE INFORMATION HEREON INCLUDING EASEMENTS WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR CLIENT'S OR HIS AGENT'S REQUIREMENTS AND TITLE INFORMATION SUPPLIED TO FREDERICK T. SEHER & ASSOCIATES, INC., FURTHERMORE, WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITY ON THIS JOB.
2. NO PRELIMINARY TITLE REPORT WAS REVIEWED IN CONJUNCTION WITH THIS MAPPING. IT IS RECOMMENDED THAT A TITLE REPORT BE RECEIVED FROM THE OWNER TO VERIFY THE EXISTENCE OF ANY ADDITIONAL EASEMENTS OF RECORD OR LOT LINE ADJUSTMENTS THAT MAY HAVE ALTERED THE INFORMATION SHOWN HEREON PRIOR TO ANY DESIGN AND/OR CONSTRUCTION.
3. THAT THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OF SERVICE FOR PAOLO IANTORNO AND THAT IT REMAINS THE PROPERTY OF FREDERICK T. SEHER & ASSOCIATES, INC. WHETHER THE PROJECT (IF ANY PROPOSED) ON THIS SITE IS CONSTRUCTED OR NOT.
4. THAT ANY INFORMATION ON THIS MAP AND ANY DOCUMENT(S) PREPARED BY FREDERICK T. SEHER & ASSOCIATES, INC. IN RELATION HEREOF SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR: BUILDING PERMIT. FURTHERMORE, THE USE OF THIS MAP FOR ANY OTHER PURPOSES WHATSOEVER INCLUDING ENGINEERING DESIGNS OF OFFSITE OR ONSITE IMPROVEMENTS IS BEYOND THIS MAP'S PURPOSES, INTENT & CONTRACT. LIABILITY SHALL REST UPON THE PARTY USING OUR INFORMATION BEYOND THE ESTABLISHED LIMITATION ABOVE, IN WHICH CASE FREDERICK T. SEHER & ASSOCIATES, INC. DISCLAIMS ANY AND ALL RESPONSIBILITY.
5. THAT ANY IMPROVEMENT CHANGES WITHIN THIS SITE OR THE ADJACENT SITE THEREOF AS WELL AS TITLE TRANSFERS OF THE PROPERTY IN QUESTION (EXCEPT FOR ALTA MAPS) AND/OR THE LAPSE OF 3 OR MORE YEARS FROM THE DATE OF THE MAP (WHICHEVER COMES FIRST) SHALL VOID ALL INFORMATION, HEREON UNLESS A RE-SURVEY IS ORDERED TO RECTIFY, UPDATE OR RE-CERTIFY THIS MAP.
6. THAT THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING UNLESS STATED IN ITEM NO. 4 ABOVE.
7. THAT THE USE OF THIS MAP BY OTHER CONSULTANTS OR CONTRACTORS ON BEHALF OF OUR CLIENT SHALL PROMPT THE IMMEDIATE FULFILLMENTS OF ALL CLIENT'S OBLIGATIONS TO FREDERICK T. SEHER & ASSOCIATES, INC. UNLESS OTHERWISE AGREED TO.
8. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.
9. THIS MAP WILL BE PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. A SIGNED PRINT DELIVERED TO THE CLIENT OR CLIENT REPRESENTATIVE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.

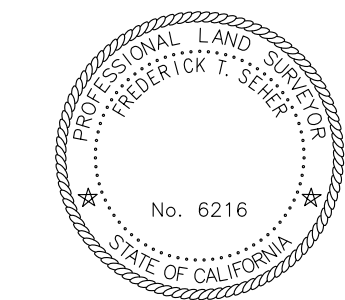
SURVEYOR'S STATEMENT:

THIS MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.

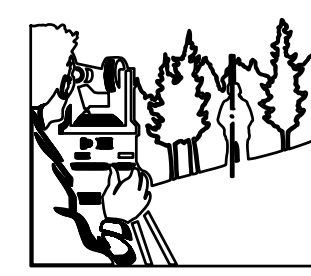
DATE: 2/11/19

Frederick T. Seher

FREDERICK T. SEHER, PLS
LICENSE NO. 6216



DATE:	AUGUST, 2018		
SCALE:	1" = 8'		
DRAWN BY:	FC		
DRAWING NAME:	2151-18		
SURVEYED BY:	FTS		
CHECKED BY:	EF		
CHECKED BY:			
NO.	BY	DATE	REVISIONS



FREDERICK T. SEHER & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
SURVEYING & MAPPING
841 LOMBARD STREET, SAN FRANCISCO, CA 94133
(415) 921-7690 FAX (415) 921-7655

ARCHITECTURAL SITE SURVEY
ASSESSOR'S PARCEL NUMBER: 1254-039
740 CLAYTON STREET, SAN FRANCISCO, CA

SHEET	1
OF	1
JOB NO.:	2151-18
SHEETS	

Green Building: Site Permit Checklist

BASIC INFORMATION:

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Project Name 740 Clayton Street	Block/Lot 1254 / 039	Address 740 Clayton Street
Gross Building Area 796 SF ±	Primary Occupancy R-3	Design Professional/Applicant: Sign & Date Bahman Ghassemzadeh
# of Dwelling Units 1	22'-1"	2

Instructions:

under San Francisco Building Code Chapter 13C, California Title 24 Part 11, and related local codes. **Attachment C3, C4, or C5 will be due with the applicable addendum.** To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply.

AND

(b) number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but such tools are strongly recommended to be used.

Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. This form is a summary; see San Francisco Building Code Chapter 13C for details.

ALL PROJECTS, AS APPLICABLE	
Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	●
Stormwater Control Plan: Projects disturbing ≥5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines	●
W Projects that include ≥ comply with the SFPUC W Ordinance.	●
Construction Waste Management – Comply with the San Francisco Construction & Demolition Debris Ordinance	●
Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. See Administrative Bulletin 088 for details.	●

LEED PROJECTS						
Type of Project Proposed (Indicate at right)	New Large Commercial	New Residential Mid-Rise ¹	New Residential High-Rise ¹	Commercial Interior	Commercial Alteration	Residential Alteration
Overall Requirements: (includes prerequisites):	GOLD	SILVER	SILVER	GOLD	GOLD	GOLD
Base number of required points:	60	2	50	60	60	60
Adjustment for retention / demolition of historic features / building:				n/a		
Final number of required points (base number +/- adjustment)				50		
(n/r indicates a measure is not required)						
Construction Waste Management – 75% Diversion AND comply with San Francisco Construction & Demolition Debris Ordinance LEED MR 2, 2 points	●	●	●	●	Meet C&D ordinance only	●
15% Energy Reduction Compared to Title-24 2008 (or ASHRAE 90.1-2007) LEED EA 1, 3 points	●	●	●	●	LEED prerequisite only	
Effective 1/1/2012: Generate renewable energy on-site ≥1% of total annual energy cost (LEED EA2), OR Demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR total electricity use (LEED EA6).	●	n/r	n/r	n/r	n/r	n/r
Enhanced Commissioning of Building Energy Systems LEED EA 3	●	Meet LEED prerequisites				
Water Use - 30% Reduction LEED WE 3, 2 points	●	n/r	●	Meet LEED prerequisites		
Enhanced Refrigerant Management LEED EA 4	●	n/r	n/r	n/r	n/r	n/r
Indoor Air Quality Management Plan LEED IEQ 3.1	●	n/r	n/r	n/r	n/r	n/r
Low-Emitting Materials LEED IEQ 4.1, 4.2, 4.3, and 4.4	●	n/r	●	●	●	●
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEED credit SSc4.2. (13C.5.106.4)	●	n/r See San Francisco Planning Code 155		●	n/r	n/r
Designated parking: Mark 8% of total parking stalls (13C.5.106.5)	●					
Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq. ft. (13C.5.303.1)	●	n/r	n/r	n/r	n/r	n/r
Air Filtration: Provide at least MERV occupied spaces of mechanically ventilated buildings (or LEED credit IEQ 5). (13C.5.504.5.3)	●	n/r	n/r	●	n/r	n/r
Air Filtration: Provide MERV air-quality hot-spots (or LEED credit IEQ 5). (SF Health Code Article 38 and SF Building Code 1203.5)	n/r	●	●	n/r	n/r	n/r
Acoustical Control: wall and roof-ceilings STC 50, exterior (7.4)	●	See CBC 1207		●	n/r	n/r

GREENPOINT RATED PROJECTS	
Proposing a GreenPoint Rated Project (Indicate at right by checking the box.)	<input type="checkbox"/>
Base number of required Greenpoints:	75
Adjustment for retention / demolition of historic features / building:	<input type="checkbox"/>
Final number of required points (base number +/- adjustment)	<input type="checkbox"/>
GreenPoint Rated (i.e. meets all prerequisites)	●
Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6.	●
Meet all California Green Building Standards Code requirements (CalGreen measures for residential projects have been integrated into the GreenPoint Rated system.)	●

Notes

1) New residential projects of 75' or greater must use the "New Residential High-Rise" column. New residential projects with >3

may choose to apply the LEED for Homes Mid-Rise rating system; if so, you must use the "New Residential Mid-Rise" column.

2) LEED for Homes Mid-Rise projects must meet the "Silver" standard, including all prerequisites. The number of points required to achieve Silver depends on unit size. See LEED for Homes Mid-Rise Rating

3) Requirements for additions or alterations apply to applications received on or after July 1, 2012.

OTHER APPLICABLE NON-RESIDENTIAL PROJECTS		
Requirements below only apply when the measure is applicable to the project. Code references below are applicable to New Non-Residential buildings. Corresponding requirements for additions and alterations can be found in Title 24 Part 11, Division 5.7. Requirements for additions or alterations apply to applications received July 1, 2012 or after. ³	Other New Non-Residential	Addition >2,000 sq ft OR Alteration >\$500,000 ³
Type of Project Proposed (Check box if applicable)		
Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6. (13C.5.201.1.1)	●	n/r
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater (or LEED credit SSc4.2). (13C.5.106.4)	●	●
Provide stall marking for spaces. (13C.5.106.5)	●	●
Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day, or >100 gal/day if in buildings over 50,000 sq. ft.	●	●
Indoor W Reduce overall use of potable water within the building by 20% for showerheads, lavatories, kitchen faucets, wash fountains, water closets, and urinals. (13C.5.303.2)	●	●
Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements. (13C.5.410.2) OR for buildings less than 10,000 square feet, testing and adjusting of systems is required.	●	● (Testing & Balancing)
Protect duct openings and mechanical equipment during construction (13C.5.504.3)	●	●
Adhesives, sealants, and caulks: Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives. (13C.5.504.4.1)	●	●
Paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. (13C.5.504.4.3)	●	●
Carpet: All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program 2. California Department of Public Health Standard Practice for the testing of VOCs 3. NSF/ANSI 140 at the Gold level AND Carpet cushion must meet CRI Green Label, AND Carpet adhesive must not exceed 50 g/L VOC content. (13C.5.504.4.4)	●	●
Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood (13C.5.504.4.5)	●	●
in the 2009 Collaborative the Resilient Floor Covering Institute (RFCI) FloorScore program. (13C.5.504.4.6)	●	●
Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows. (13C.5.504.7)	●	●
Air Filtration: Provide at least MERV mechanically ventilated buildings. (13C.5.504.5.3)	●	Limited exceptions. See CA T24 Part 11 Section 5.714.6
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party	●	● See CA T24 Part 11 Section 5.714.7
CFCs and Halons: Do not install equipment that contains CFCs or Halons. (13C.5.508.1)	●	●
Additional Requirements for New A, B, I, OR M Occupancy Projects 5,000 - 25,000 Square Feet		
Construction Waste Management – Divert 75% of construction and demolition debris AND comply with San Francisco Construction & Demolition Debris Ordinance.	●	Meet C&D ordinance only
Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total annual energy cost (LEED EA2), OR demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR total electricity use (LEED EA6).	●	n/r

PROJECT NAME

740 Clayton Street
San Francisco, CA 94117
(REAR BUILDING)



SHEET TITLE

Green Point Checklist

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10/23/2018 PRE-APP MEETING

DRAWN BY R.L.
DESIGN BY R.K.
DATE 06/13/2019
JOB NO. 18-1784
SHEET NO.

G-1.1



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
740 CLAYTON ST		1254039
Case No.		Permit No.
2018-015446ENV		201811014805
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval.</p> <p>Front bldg: proposed change of use from church to dwelling units, horizontal addition to accommodate 4 dwelling units & add new dormers on the roof.</p> <p>Rear bldg: proposed change of use from rectories to single family home & addition of a second floor within the existing boundary & height of the building.</p>		

STEP 1: EXEMPTION CLASS

The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?</p> <p><i>if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i></p>
<input type="checkbox"/>	<p>Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography). If yes, Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Slope = or > 25%: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.</p>
<p>Comments and Planner Signature (optional): Laura Lynch</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input checked="" type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input checked="" type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments): Addition will be minimally visible. If a historic district is identified in the future, this building would still contribute.
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <input type="checkbox"/> Reclassify to Category A a. Per HRER or PTR dated <input type="checkbox"/> Reclassify to Category C (attach HRER or PTR) b. Other (specify):
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Justin Greving	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Building Permit	Signature: Justin Greving
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	10/15/2019
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.		

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
740 CLAYTON ST		1254/039
Case No.	Previous Building Permit No.	New Building Permit No.
2018-015446PRJ	201811014805	
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.	
Planner Name:	Date:



SAN FRANCISCO PLANNING DEPARTMENT

Land Use Information

PROJECT ADDRESS: 740 CLAYTON ST
RECORD NO.: 2018-015446PRJ

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

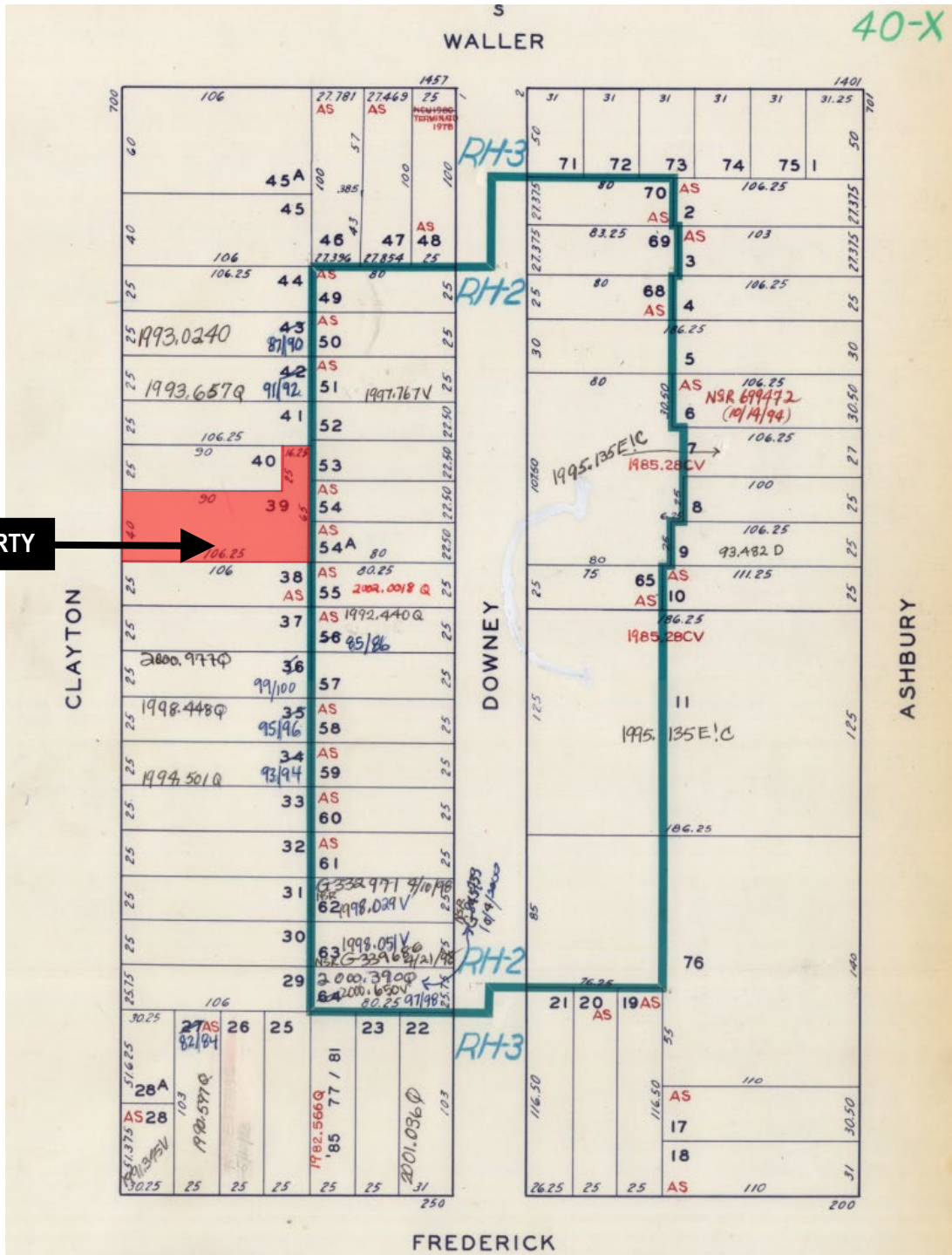
Fax:
415.558.6409

Planning
Information:
415.558.6377

	EXISTING	PROPOSED	NET NEW
GROSS SQUARE FOOTAGE (GSF)			
Parking GSF	0	0	0
Residential GSF	1,383	6,125	4,742
Institutional GSF	2,837	0	-2,837
Usable Open Space	1,900	2,001	101
Rear Structure Storage GSF	398	0	-398
Rear Structure Residential GSF	0	796	796
TOTAL GSF	6,518	8,922	2,404
	EXISTING	NET NEW	TOTALS
PROJECT FEATURES (Units or Amounts)			
Dwelling Units - Affordable	0	0	0
Dwelling Units - Market Rate	1	4	5
Dwelling Units - Total	1	4	5
Hotel Rooms	0	0	0
Number of Buildings	2	0	2
Number of Stories	4	0	4
Parking Spaces	3	-3	0
Loading Spaces	0	0	0
Bicycle Spaces	0	10	10
Car Share Spaces	0	0	0

	EXISTING	PROPOSED	NET NEW
LAND USE - RESIDENTIAL			
Studio Units	0	0	0
One Bedroom Units	0	1	1
Two Bedroom Units	0	2	2
Three Bedroom (or +) Units	1	2	1
Group Housing - Rooms	0	0	0
Group Housing - Beds	0	0	0
SRO Units	0	0	0
Micro Units	0	0	0
Accessory Dwelling Units	0	0	0

Parcel Map

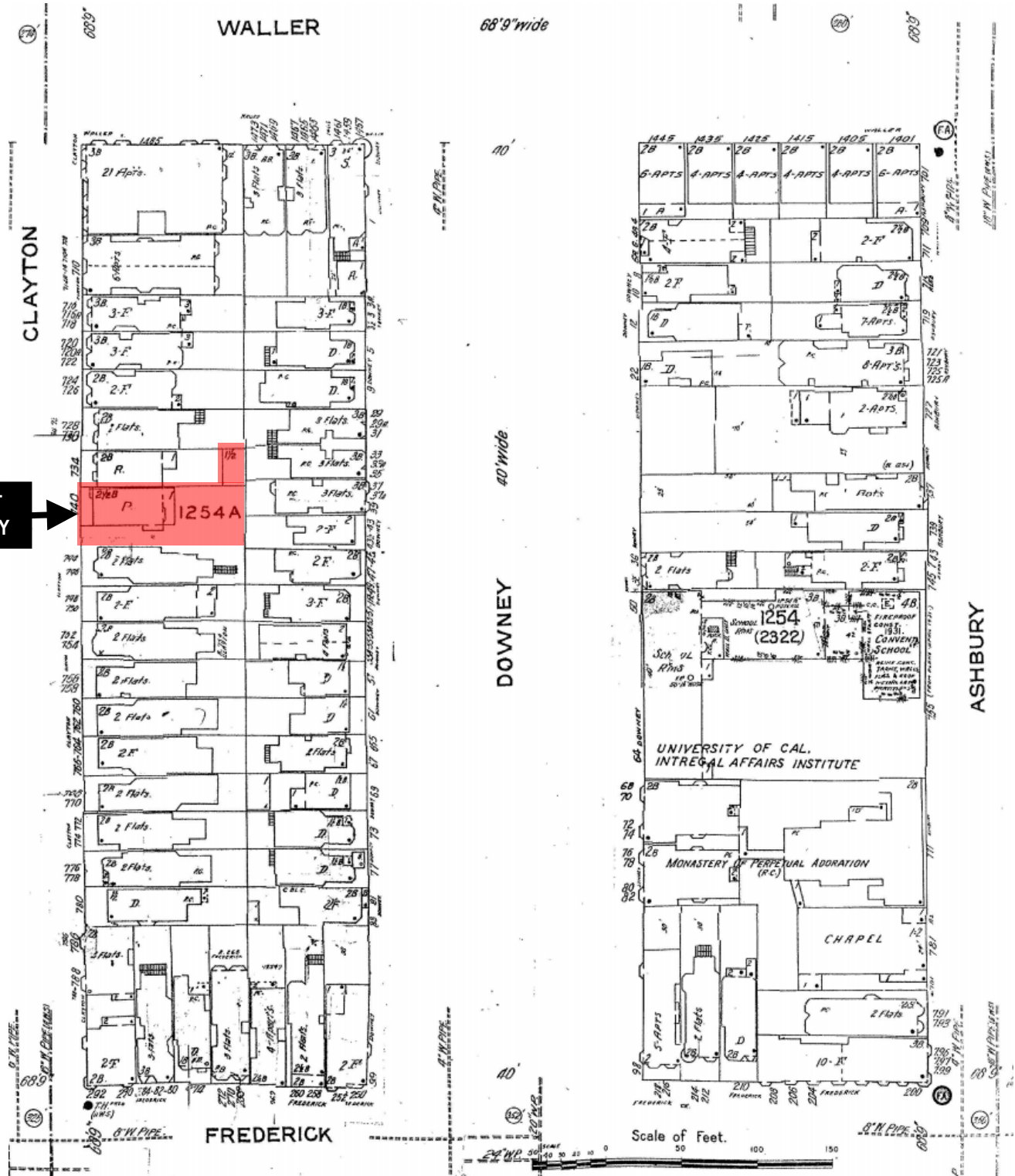


SUBJECT PROPERTY

Conditional Use Authorization
 Case Number 2018-015446CUA
 740 Clayton Street
 December 12, 2019



Sanborn Map*



SUBJECT PROPERTY

*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Conditional Use Authorization
 Case Number 2018-015446CUA
 740 Clayton Street
 December 12, 2019

Aerial Photo – View 1

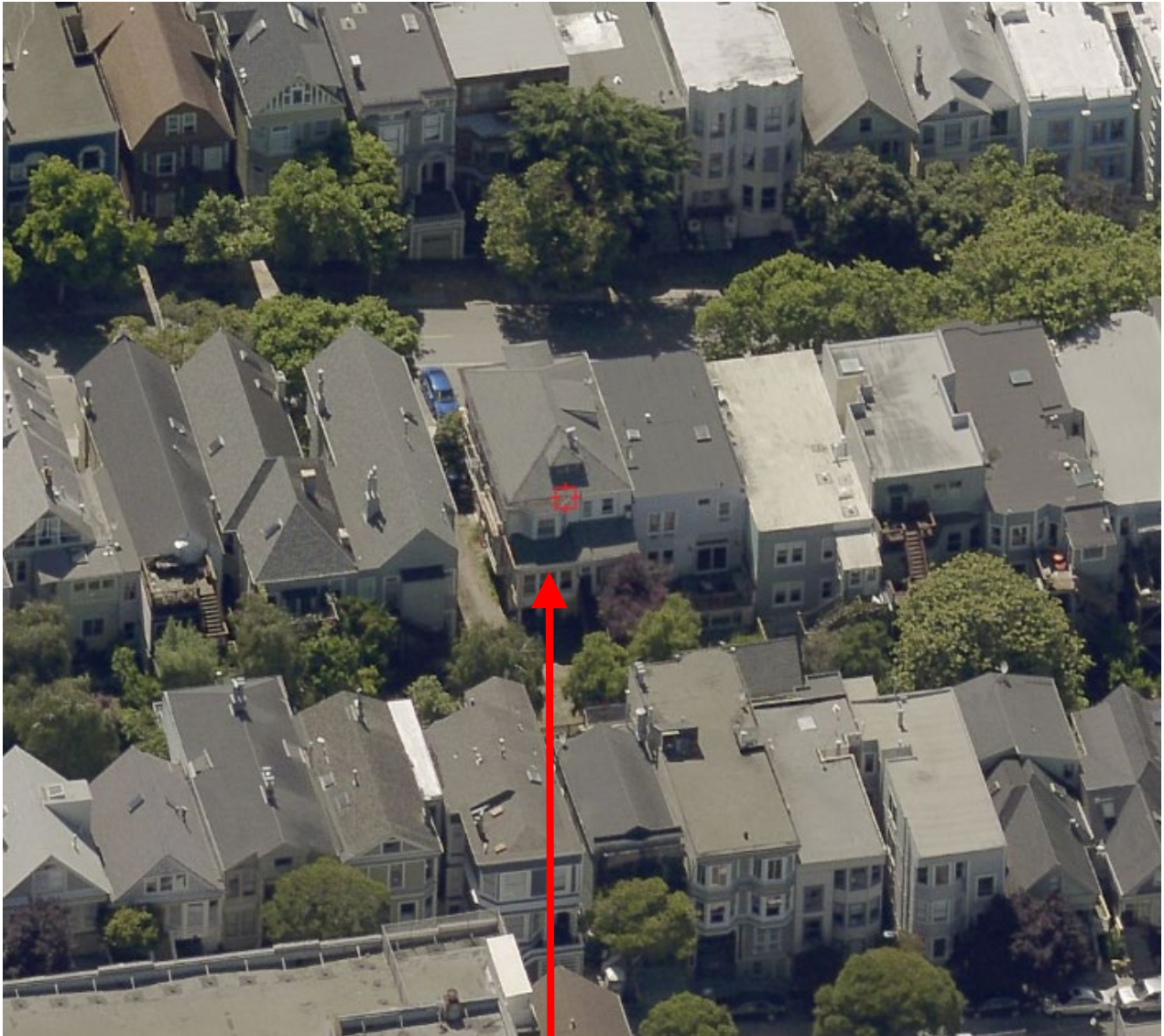


SUBJECT PROPERTY



Conditional Use Authorization
Case Number 2018-015446CUA
740 Clayton Street
December 12, 2019

Aerial Photo – View 1

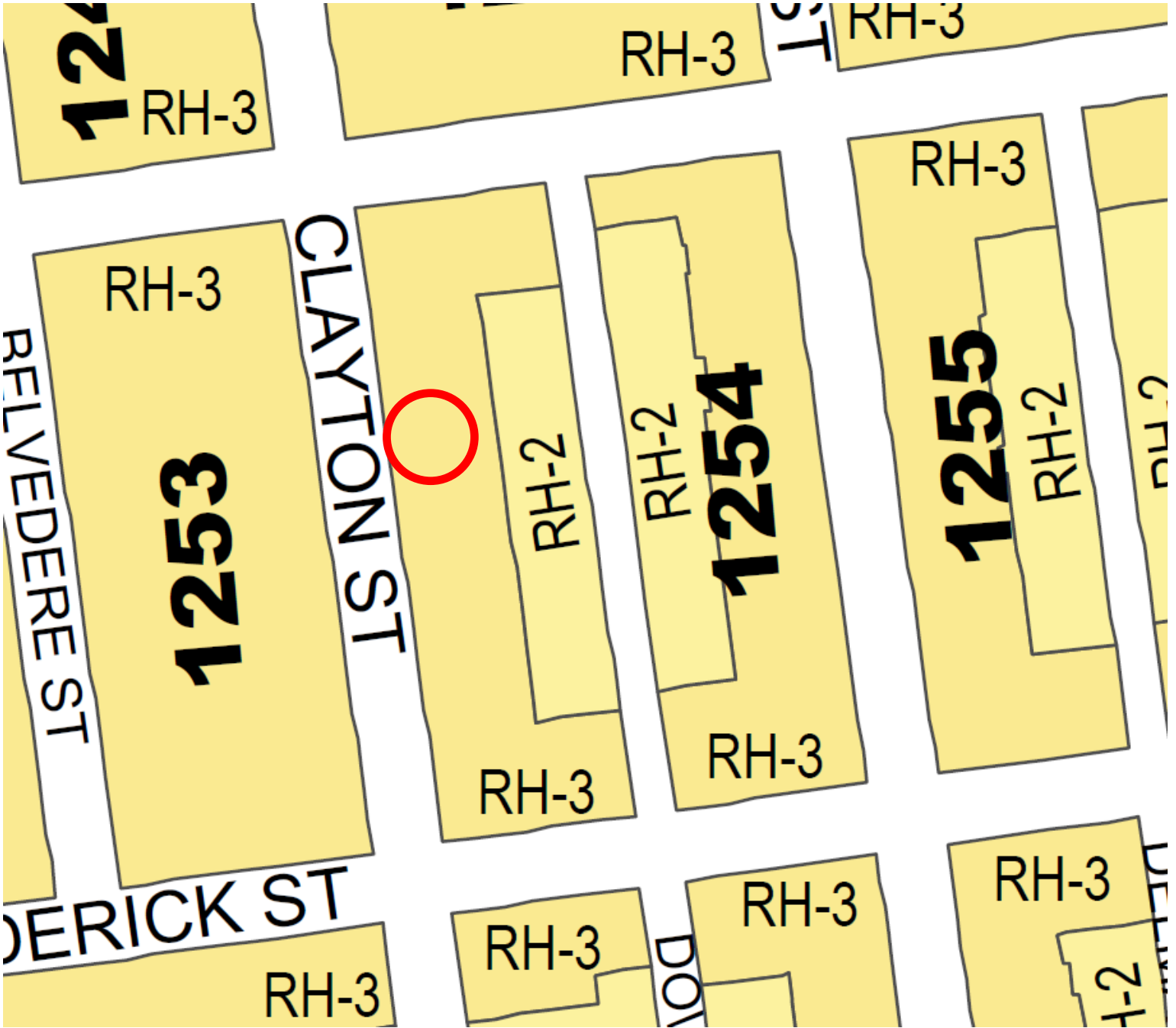


SUBJECT PROPERTY



Conditional Use Authorization
Case Number 2018-015446CUA
740 Clayton Street
December 12, 2019

Zoning Map



Conditional Use Authorization
Case Number 2018-015446CUA
740 Clayton Street
December 12, 2019

Site Photo



Conditional Use Authorization
Case Number 2018-015446CUA
740 Clayton Street
December 12, 2019

REUBEN, JUNIUS & ROSE, LLP

Mark Loper
mloper@reubenlaw.com

November 21, 2019

Delivered Via Email (matthew.dito@sfgov.org)

President Myrna Melgar
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103
Attn: Matt Dito, Planner

Re: 740 Clayton Street – Case No. 2018-015446CUA
Hearing Date: December 12, 2019

Dear President Melgar and Commissioners,

Our office represents Golden Properties LLC, the owner and sponsor of a five-unit residential project (the “Project”) at 740 Clayton Street (the “Property”). The Project proposes to convert a vacant church with an associated dwelling unit into a three-unit building featuring family-sized condominiums; convert a rear carriage house into a dwelling unit; and construct a horizontal addition to the church building for a three-bedroom unit. Modest in size and scale, the Project is an appropriate and contextual reuse and addition in a neighborhood that does not have many opportunities for new housing.

A. Background on Existing Conditions and Project

The Property is an “L”-shaped lot in the Haight-Ashbury neighborhood, between Waller and Frederick Street and a block and a half from Haight Street. It is currently improved with a two and a half story wood-frame building constructed in 1905, with a smaller two-story frame carriage house at the rear. From the mid-1950s until 1970, it served as a home for Russian immigrant women. Starting in the early 1970s it was used as a church, with the church’s pastor and his family living in a dwelling unit on the second floor until he passed away in 2016. The pastor and his family owned the Property until this time, as well.

The Project will convert the existing main building into three separate condos: two 2-bedroom units and one 3-bedroom unit. The existing rear carriage house will be converted into an approximately 800-square foot 1-bedroom unit. And finally, a three-story, 3-bedroom unit will be added on the footprint of the approximately 14-foot wide driveway. This horizontal addition is set back from the street, and a ground floor passageway between the addition and the existing building allows ingress and egress to the carriage house unit.

San Francisco Office
One Bush Street, Suite 600, San Francisco, CA 94104
tel: 415-567-9000 | fax: 415-399-9480

Oakland Office
827 Broadway, 2nd Floor, Oakland, CA 94607
tel: 510-527-5589

www.reubenlaw.com

In total, the Project will provide a range of units affordable to families with children, as well as a smaller unit comfortable for singles or a couple:

<i>Unit</i>	<i>Bedrooms</i>	<i>Size</i>
Front building, 1 st floor	2	1,345 sf
Front building, 2 nd floor	2	1,165 sf
Front building, 3 rd floor and attic	3	2,379 sf
New addition	3	1,391 sf
Rear building	1	796 sf

B. Desirability of Project

The Property is in the RH-3 zoning district. It principally permits three dwelling units. With a Conditional Use, up to one unit per 1,000 square feet of lot area is allowed. At 4,656 square feet in size, up to five units are permitted.¹

The Project is necessary and desirable for several different reasons. For the most part, the Project reactivates and changes the use of two existing buildings, creating four dwelling units—three of which are family size. It replaces an attic, second floor sleeping areas, a first floor kitchen and congregation hall, and ground-floor storage area with three residential units. Carriage houses—like traditional attached garages—are ideal for conversion into single-family bedrooms.

It also proposes a modest addition. The addition will create another unit of family housing and complete the street wall. It replaces a driveway, which is not necessary because the Project will convert the carriage house and eliminate car parking. The Property is larger than most other lots on the block, so it is a natural location for more housing.

In total, the Project creates four new dwelling units with two to three bedrooms, ideal for families in a neighborhood that is more fully built out with residential uses than many others. Families will be able to walk to grocery stores, restaurants, shops, and other daily needs retail options in both the Haight and Cole Valley. The N Judah light rail stop at Carl and Cole Streets is two blocks to the south, and MUNI lines along Haight and Fulton further to the north provide similar connectivity to San Francisco’s major employment centers.

Additionally, the Project cannot feasibly add more housing while still maintaining the same number of two- or three-bedroom units, striking a balance between creating new housing and ensuring that housing is attractive to families. It maxes out permitted residential density with the CU, leaving ADUs as the only remaining option to create more than five units. The main house is proposed to be divided into three units, with the first and second units occupying the first and second floors, respectively, and the third unit on the third floor and attic. All of these have two or

¹ Fractions are rounded to the closest whole number.
I:\R&A\101628\Planning Commission\Ltr - PC - 740 Clayton Street (11-21-19).docx

three bedrooms; further dividing the building would require changing at least one of those units into a studio or one-bedroom. Also, the new construction unit is relatively narrow, so creating more than one unit would likely require building circulation space that would make one-bedroom or studio units even smaller. Finally, any additional expansion of the carriage house would require further variances from the Planning Code in a sensitive location in the middle of the block. The Project sponsor wants to be mindful of neighbors with adjacent backyards.

Finally, the existing structures on the site are age-eligible to be considered historic resources. The Planning Department's historic preservation specialists confirmed that the Project complies with the *Secretary of the Interior's Standards for Treatment of Historic Properties*. The Project sponsor worked with the Planning Department to design the addition so it is subordinate to and consistent with the existing structure, and so that the Project will not damage the adjacent Cole Valley Historic District if its boundaries were expanded.

C. Conclusion

The Project is a sensitive and contextual change of use to a church and carriage house, and a modest horizontal addition. It is consistent with the City's policy to provide more housing and will add much-needed family sized units within walking distance of neighborhood retail and public transit. We request you approve this project.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP



Mark Loper