



EXECUTIVE SUMMARY CONDITIONAL USE

HEARING DATE: DECEMBER 2, 2021

Record No.: 2018-015061CUA
Project Address: 1016 Pierce Street
Zoning: RM-3 (Residential-Mixed, Medium Density) Zoning District
40-X Height and Bulk District
Block/Lot: 0754/011
Project Sponsor: Colin Schmidt
1016 Pierce Street
San Francisco, CA 94115
Property Owner: Same as above
Staff Contact: Laura Ajello – (628) 652-7353
laura.ajello@sfgov.org

Recommendation: Disapproval

Project Description

The Project proposes to legalize the merger of two residential flats on the second and third floors and add one new Accessory Dwelling Unit at the basement level. The proposed project would authorize the interior modifications and fenestration changes at the side and rear of the building that resulted in the creation of one unit on the second and three floors. No further exterior changes are proposed.

The project includes proposed new work to create an Accessory Dwelling Unit (ADU). The proposed 546 square foot studio ADU would convert living space originally approved in 2014 as an addition to the second-floor level unit. The ADU faces a non-conforming 6-foot-deep rear yard.

Required Commission Action

In order for the Project to proceed with the Department's recommendation, the Commission must disapprove the Conditional Use Authorization, pursuant to Planning Code Sections 209.2, 303 and 317 to allow the legalization of a one dwelling unit removal and addition of an Accessory Dwelling Unit via conversion of basement level living area within the RM-3 Zoning District and the 40-X Height and Bulk District.

Issues and Other Considerations

- **Conditional Use Authorization:** The proposed project would legalize work done without City permits which resulted in the combination of two dwelling units. The Project eliminates tenant-occupied housing and is not maximizing density (three units are permitted by right based on total lot area). Per the Housing Element of the General Plan, the proposed residential merger does not retain the existing housing by controlling the merger nor does it protect the affordability of the existing housing stock.
- **Residential Merger:** Per Planning Code Section 317, a residential merger is defined as “...the combining of two or more legal Residential Units, resulting in a decrease in the number of Residential Units within a building, or the enlargement of one or more existing units while substantially reducing the size of others by more than 25% of their original floor area, even if the number of units is not reduced.”

A 2014 building permit application (#201408153918 approved by Planning over the counter and issued by the Department of Building Inspection on November 5, 2014) has been included in the Commission packet as Exhibit C to show the previous conditions and authorized building layout. This permit added 425 square feet of additional living space to the two-bedroom unit located on the second floor by creating rooms at the basement level. No changes were proposed for the one-bedroom unit located on the third floor. Contrary to this permit, the flats on the second and third floors were merged into and the basement rooms was developed as a separate unit and used as a short-term rental.

- **Public Comment & Outreach:**
 - **Public Comment:** To date, the Department has received four emailed comments from neighbors in support of the Project because the owners are good neighbors.
 - **Outreach:** The Sponsor was not required to host a pre-application meeting within the community for this project.
- **Tenant History:**
 - The subject property is entirely owner-occupied. The property owner purchased the building in 2001. No tenants have resided in the unit that was removed since “prior to 2005” per the Dwelling Unit Removal Supplemental Application (Exhibit E).
 - No tenants have been evicted within the past 10 years nor have there been any tenant buyouts within the past 10 years. See Exhibit G for Eviction History documentation.
- **Enforcement History:** A complaint was filed regarding the dwelling unit merger on November 2, 2018. See Exhibit H for the Report of Residential Building Record (3-R Report) and Notice of Violation letter, which contains a detailed case summary timeline.
- **Disapproval:** The Department recommends disapproval of the proposal to legalize the merger of two dwelling units. If the Commission disapproves the Project, the Project Sponsor would be required to restore the existing residence to two dwelling units. Separately from the restoration of the two units, the Project Sponsor could seek to add an additional dwelling unit or ADU to the existing building.

Environmental Review

The Project is not defined as a project under the California Environmental Quality Act Guidelines (“CEQA”) Sections 15378 and 15060(c)(2) because it does not result in a physical change in the environment.

Basis for Recommendation

The Department finds that the Project is, on balance, inconsistent with the Objectives and Policies of the General Plan. The project removes a naturally affordable dwelling unit and does not maximize allowable residential density of the subject property in a time when San Francisco is facing a severe housing shortage. The proposed new studio ADU has no access to conforming open space and has limited access to light and air. The Department does not find the project to be necessary, desirable, and compatible with the surrounding neighborhood, and vicinity.

Attachments:

Draft Motion – Conditional Use Authorization (Exhibit A)
Exhibit B – Project Plans
Exhibit C – Department Approved 2014 Building Permit Plans (showing pre-existing and authorized layout)
Exhibit D – Land Use Data
Exhibit E – Dwelling Unit Merger Application
Exhibit F – Maps and Context Photos
Exhibit G – Eviction History
Exhibit H – 3-R Report and Notice of Violation Dated October 29, 2019



PLANNING COMMISSION DRAFT MOTION

HEARING DATE: DECEMBER 2, 2021

Record No.: 2018-015061CUA
Project Address: 1016 PIERCE STREET
Zoning: RM-3 (Residential-Mixed, Medium Density) Zoning District
40-X Height and Bulk District
Block/Lot: 0754/011
Project Sponsor: Colin Schmidt
1016 Pierce Street
San Francisco, CA 94115
Property Owner: Same as above
Staff Contact: Laura Ajello – (628) 652-7353
laura.ajello@sfgov.org

ADOPTING FINDINGS RELATING TO THE DISAPPROVAL OF A CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 209.2, 303 AND 317 OF THE PLANNING CODE TO LEGALIZE A DWELLING UNIT MERGER OF TWO RESIDENTIAL FLATS AND THE ADDITION OF ONE ACCESSORY DWELLING UNIT TO THE BASEMENT LEVEL AT 1016 PIERCE STREET IN ASSESSOR'S BLOCK 0754, LOT 011 WITHIN THE RM-3 (RESIDENTIAL-MIXED, MEDIUM DENSITY) ZONING DISTRICT AND THE 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On December 6, 2019, Colin Schmidt (hereinafter "Project Sponsor") filed Application No. 2018-015061CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization to legalize the merger of two residential flats and add one Accessory Dwelling Unit on the basement level (hereinafter "Project") at 1016 Pierce Street, Block 0754 Lot 011 (hereinafter "Project Site").

The Project is not defined as a project under the California Environmental Quality Act Guidelines ("CEQA") Sections 15378 and 15060(c)(2) because it does not result in a physical change in the environment.

On December 2, 2021, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2018-015061CUA.

The Planning Department Commission Secretary is the Custodian of Records; the File for Record No. 2018-015061CUA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby disapproves the Conditional Use Authorization as requested in Application No. 2018-015061CUA, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

- 1. The above recitals are accurate and constitute findings of this Commission.**
- 2. Project Description.** The Project includes legalization of a residential merger of two dwelling units into one 2,045 square foot single-family dwelling. The proposed project would authorize interior modifications that resulted in the merger of two dwelling units located on the second and third floors. The project includes proposed new work to create an Accessory Dwelling Unit (ADU). The proposed 546 square foot basement level studio ADU would convert living space originally approved in 2014 as an addition to the second-floor level unit. The ADU faces a non-conforming 6-foot-deep rear yard.
- 3. Site Description and Present Use.** The Project is located on 1,298 square foot lot that measures 20 feet by 65 feet. The Project Site contains a three-story residential building with two approximately 1,023 square foot flats. The two dwelling units were merged by the current owner to create a single-family home and ground floor rooms were developed for short-term rental use.
- 4. Surrounding Properties and Neighborhood.** The Project Site is located within the RM-3 Zoning District. The immediate context is mixed in character with residential and institutional uses. The immediate neighborhood includes three-to-four-story residential development. Laurel Apartments is located to the north. Gateway Middle School and Creative Arts School to the west. Other zoning districts in the vicinity of the Project Site include: RM-1, RM-2, RH-2, and P (Public) Zoning Districts.
- 5. Public Outreach and Comments.** The Sponsor was not required to host a pre-application meeting within the community for this project. The Department received four emailed comments from neighbors in support of the Project because the owners are good neighbors.
- 6. Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. Dwelling Unit Density.** In the RM-3 Zoning District, pursuant to Planning Code Section 209.2, three dwelling units are principally permitted per lot or one unit per 400 square feet of lot area.

As previously configured the subject two-family building was conforming in regard to density. As proposed, the project would legalize the merger of two authorized dwelling units within the building and add a new ADU but would remain in conformity with the Planning Code.
 - B. Rear Yard Requirement.** Planning Code Section 134 requires the subject property maintain a rear yard equivalent to 25% of the lot depth or 15 feet, whichever is greater.

The subject lot measures 20 feet wide by 65 feet deep. A rear yard measuring 16'-3" is required based on the lot depth. The building encroaches into the rear yard and has a 6'-4" setback from the rear property line. However, the existing building footprint is considered legal nonconforming per Sanborn records and plans on file with the Department of Building Inspection.

- C. **Residential Usable Open Space.** Accessory Dwelling Units that meet current State Program regulations are not subject to Planning Code requirements for Usable Open Space.

The Proposed Accessory Dwelling Unit does not have access to Usable Open Space, which is allowable per current state regulations.

- D. **Dwelling Unit Exposure.** Accessory Dwelling Units that meet current State Program regulations are not subject to Planning Code requirements for Dwelling Unit Exposure.

The Proposed Accessory Dwelling Unit faces a non-conforming six-foot-deep rear yard, which is allowable per current state regulations.

- E. **Residential Merger – Section 317.** Pursuant to Planning Code Section 317, Conditional Use Authorization is required for applications proposing to merge Residential Units. This Code Section establishes a checklist of criteria that delineate the relevant General Plan Policies and Objectives.

As the project requires Conditional Use Authorization per the requirements of Section 317, the additional criteria specified under Section 317 have been incorporated as findings as part of this Motion. See Item 8 “Additional Findings pursuant to Section 317” below.

7. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The Project seeks to legalize the unwarranted merger of two dwelling units into one dwelling unit. The resulting single-family building is compatible with the surrounding neighborhood. However, as the merging of the aforementioned units resulted in one larger unit that would be much less affordable, the Project is not considered to be necessary or desirable for the neighborhood or the community. Housing is a top priority for the City and County of San Francisco. The Project would reduce the number of housing units on a project site without maximizing the amount of available residential density—the project site is capable of holding up to three dwelling units per the RM-3 Zoning District.

Additionally, the Project proposes converting living area located on the basement level (approved by the Planning Department in 2014 as additional floor area for the two-bedroom dwelling unit on the second floor) into an ADU. The ADU meets current State regulations but is not considered desirable because it lacks access to conforming Open Space and Exposure.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and

arrangement of structures;

The Project to legalize work previously completed without permit. The height and bulk of the existing building will remain the same and will not alter the existing appearance or character of the project vicinity.

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Project does not trigger any off-street parking or loading requirements and would not increase the volume of vehicle traffic to the area.

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The Project would reduce the number of residential units by legalizing construction previously completed without benefit of a permit and would not create any additional noise, glare, dust, or odor.

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The Project seeks to legalize construction completed without permit and does not require any additional landscaping, screening, or open space and does not propose any new exterior changes.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project does not comply with all requirements and standards of the Planning Code and is not consistent with objectives and policies of the General Plan as detailed below.

- D. That use or feature as proposed will provide development that is in conformity with the stated purpose of the applicable Use District.

The Project would remain in conformity with the stated purpose of the RM-3 Zoning District, as the building will retain one residential unit where three residential units are permitted per lot.

- 8. Residential Merger – Section 317(g)(2).** This Section also establishes the criteria below for the Planning Commission to consider when reviewing applications to merge residential units under Section 317(g)(2). On balance, the Project does not comply with said criteria in that:

- A. Whether the removal of the units would eliminate only owner-occupied housing, and if so, for how long the units proposed to be removed have been owner occupied;

The proposed Project would legalize the previous removal of a tenant-occupied unit. The authorized use of the building is two dwelling units per the Residential Building Record Report (3-R). The remaining dwelling unit is occupied by the property owner.

- B. Whether removal of the units and the merger with another is intended for owner occupancy;

The merged 2,045 square foot single-family dwelling proposed for legalization is currently owner-occupied.

- C. That the removal of the unit will remove an affordable housing unit as defined in Section 401 of this Code or housing subject to the Residential Rent Stabilization and Arbitration Ordinance;

Per the Residential Building Record Report (3-R) the original use is unknown, and the authorized use is two-family. The Planning Department assumes that every unit is subject to the Residential Rent Stabilization and Arbitration Ordinance unless we receive information from an appropriate agency or body to the contrary.

- D. If removal of the unit removes an affordable housing unit as defined in Section 401 of this Code or units subject to the Residential Rent Stabilization and Arbitration Ordinance, whether replacement housing will be provided which is equal or greater in size, number of bedrooms, affordability, and suitability to households with children to the units being removed;

Per the 3-R, the building was legally converted to two-family use in 1936. The current property owner purchased the building in 2001 and merged two dwelling units at an unspecified date. Although Department staff does not have the authority to make the final determination, it is assumed that the units that were merged are subject to the Residential Rent Stabilization and Arbitration Ordinance. The Project does not change the number of bedrooms but reduces the natural affordability of the authorized dwelling units.

The proposed new studio ADU is not considered a replacement unit to the two-bedroom flat that was removed. The ADU per State Program regulations is not subject to Usable Open Space, Dwelling Unit Exposure requirements or the Residential Rent Stabilization and Arbitration Ordinance.

- E. How recently the unit being removed was occupied by a tenant or tenants;

The original Planning Department complaint for the dwelling unit merger dates from November 2018. According to the application submittal, the second unit was last rented "prior to 2005." The actual date of the residential merger is not specified. Department staff were able to determine that the property owner rented out the basement level as a short-term rental prior to the Notice of Violation. Basement level rooms were approved under an issued building permit in 2014 (authorized layout) but the permit was not completed by the applicant.

- F. Whether the number of bedrooms provided in the merged unit will be equal to or greater than the number of bedrooms in the separate units;

According to the proposed Project plans, the merged unit has three bedrooms (two nested bedrooms on the second floor and one bedroom on the third floor). The proposed ADU has no bedrooms whereas the authorized layout had a two-bedroom unit and a one-bedroom unit with living spaces labeled office and family room. The authorized layout does not contain any nested bedrooms.

- G. Whether removal of the unit is necessary to correct design or functional deficiencies that cannot be corrected through interior alterations;

The proposed Project is not required to correct design or functional deficiencies with the existing building.

- 9. General Plan Compliance.** The Project is, on balance, not consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 2:

RETAIN EXISTING HOUSING UNITS, AND PROMOTE SAFETY AND MAINTENANCE STANDARDS, WITHOUT JEOPARDIZING AFFORDABILITY.

Policy 2.2

Retain existing housing by controlling the merger of residential units, except where a merger clearly creates new family housing.

OBJECTIVE 3

PROTECT THE AFFORDABILITY OF THE EXISTING HOUSING STOCK, ESPECIALLY RENTAL UNITS.

OBJECTIVE 4

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Legalization of the merger will officially remove one residential unit from the City's housing stock. The Project merged two dwelling units originally located on the second and third floors into one dwelling unit. The merged three-bedroom unit replaced one one-bedroom and one two-bedroom flats that were naturally affordable because of their sizes and age. The proposed new studio ADU converts basement level rooms approved as an expansion of the second-floor unit in 2014. While technically a unit, an ADU cannot be sold a separate unit and is not subject to rent control. Therefore, the proposed legalization does not retain the former housing unit count, nor does it protect the affordability of the existing housing stock.

- 10. Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does not comply with all of these policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The Project Site does not possess any neighborhood-serving retail uses. The Project Site is currently used as a single-family residence and if the Project is denied, it will be required to revert to the former two-family use per the authorized 2014 Department approved building permit layout.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The Project does not conserve existing housing or preserve economic diversity because it would legalize the merger of two dwelling units into one dwelling unit and add a new ADU, thus, does not result in any net new housing. Therefore, the proposed project does affect existing housing and the economic diversity of the surrounding neighborhood by legalizing the removal of a rent-controlled dwelling unit without benefit to the larger City.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project does not comply because it would legalize the merger of two residential flats to create a larger unit that would be less affordable than the legally authorized units, thus reducing the City's supply of affordable housing. The ADU is substandard to the legally permitted layout, as it is located solely on the partially subterranean basement level, lacks usable open space and access to light and air.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project is not expected to create additional traffic or parking demand as there is no increase in number of units.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project proposes to legalize the merger and relocation of residential units; therefore, the Project would not affect industrial, or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses would not be affected by the Project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will conform to the requirements of the San Francisco Building Code.

- G. That landmarks and historic buildings be preserved.

The existing circa 1886 building is not located in a historic district but is designated as a historic resource. The proposed dwelling unit merger will not affect the exterior of the building; no exterior changes are proposed.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The proposed project will not affect any existing parks and open spaces. The Project proposes to legalize a dwelling unit merger with no exterior changes.

11. The Project is not consistent with and would not promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would not contribute to the character and stability of the neighborhood and would not constitute a beneficial development.
12. The Commission hereby finds that disapproval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **DISAPPROVES Conditional Use Authorization Application No. 2018-015061CUA** pursuant to Planning Code Sections 209.2, 303 and 317 to allow the legalization of a dwelling unit merger of a two-bedroom, two-bath dwelling unit located on the second floor with one-bedroom, one bath dwelling third floor unit to create one 2,045 square foot, two-bedroom and two-bath dwelling single-family dwelling and reallocate basement level rooms as a new 546 square foot studio ADU within the RM-3 (Residential, Mixed, Medium Density) Zoning District and the 40-X Height and Bulk District.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on December 2, 2021.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

RECUSE:

ADOPTED: December 2, 2021

Exhibit B

Current project plans

ABBREVIATIONS

| | |
|----------|--------------------------------------|
| @ | AT |
| ° | CENTERLINE |
| # | NUMBER |
| ° | DEGREE(S) |
| ± | DIAMETER |
| ± | PLUS or MINUS |
| ABV | ABOVE |
| A/C | AIR CONDITIONING |
| ACOUS. | ACOUSTICAL |
| AD | AREA DRAIN |
| ADJ. | ADJACENT |
| ADJUS. | ADJUSTABLE |
| A.F.F. | ABOVE FINISH FLOOR |
| ALT. | ALTERNATE |
| A.M.S.L. | ABOVE MEAN SEA LEVEL |
| APPROX. | APPROXIMATE |
| ARCH. | ARCHITECT |
| BD | BOARD |
| BET. | BETWEEN |
| BLDG | BUILDING |
| BLK | BLOCK |
| BLKG | BLOCKING |
| BM | BEAM |
| BOT. | BOTTOM |
| B.U. | BUILT UP |
| CAB. | CABINET |
| CER. | CERAMIC |
| CIRC. | CIRCLE |
| CLG | CEILING |
| CLR. | CLEARANCE |
| CLOS. | CLOSET |
| CNTR | COUNTER |
| COL. | COLUMN |
| CONC. | CONCRETE |
| CONST. | CONSTRUCTION |
| CONT. | CONTINUOUS |
| CONTR. | CONTRACTOR |
| CPT | CARPET |
| C.T. | CERAMIC TILE |
| CTR | CENTER |
| DBI | DOUBLE |
| DEMO. | DEMOLITION |
| DET. | DETAIL |
| DF | DOUGLAS FIR |
| DIA. | DIAMETER |
| DIM. | DIMENSION |
| DN | DOWN |
| DS | DOWN SPOUT |
| DR | DOOR |
| DW | DISHWASHER |
| DWG | DRAWING |
| DWR | DRAWER |
| EA | EACH |
| ELEC. | ELECTRICAL |
| EL | ELEVATOR |
| ELEV. | ELEVATION |
| ENCL. | ENCLOSURE |
| EQ. | EQUAL |
| EQUIP. | EQUIPMENT |
| EST. | ESTIMATE |
| EXH. | EXHAUST |
| (E) | EXISTING |
| EXP. | EXPANSION |
| EXT. | EXTERIOR |
| FAU | FORCED AIR UNIT |
| FIN. | FINISHED |
| F.F. | FINISH FLOOR |
| FLR. | FLOOR |
| FLUOR. | FLUORESCENT |
| F.O.S. | FACE OF STUD(S) |
| F.O.C. | FACE OF CONCRETE |
| F.O.F. | FACE OF FINISH |
| FP | FIREPLACE |
| FT | FOOT/FEET |
| FTG | FOOTING |
| FURR. | FURRED/FURRING |
| FUT. | FUTURE |
| GA | GAGE |
| G.C. | GENERAL CONTRACTOR |
| GEN. | GENERAL |
| G.F.I. | GROUND FAULT INTERRUPT |
| GL | GLASS/GLAZING |
| GYP. | GYPSONUM |
| H.C. | HOLLOW CORE |
| HD | HEAD |
| HDR | HEADER |
| HDWR. | HARDWARE |
| HORIZ. | HORIZONTAL |
| HGT. | HEIGHT |
| HV.A.C. | HEATING VENTILATING AIR CONDITIONING |
| INSUL. | INSULATION |
| INT. | INTERIOR |
| JT | JOINT |
| KT | KITCHEN |
| KPL | KICKPLATE |
| LAM. | LAMINATED |
| LVR. | LOUVER |
| MAX. | MAXIMUM |
| MECH. | MECHANICAL |
| MEMB. | MEMBRANE |
| MET. | METAL |
| MFR | MANUFACTURE(R) |
| MIN. | MINIMUM |
| MISC. | MISCELLANEOUS |
| MTD | MOUNTED |
| MULL. | MULLION |
| (N) | NEW |
| N.C. | NOT IN CONTRACT |
| NO. | NUMBER |
| N.T.S | NOT TO SCALE |
| O.A. | OVERALL |
| O.C. | ON CENTER |
| O.D. | OUTSIDE DIAMETER |
| O.H. | OVERHEAD |
| OPPOSITE | OPPOSITE |
| P.BD | PARTICLE BOARD |
| P-LAM | PLASTIC LAMINATE |
| PLY WD | PLYWOOD |
| PNL | PANEL |
| REF. | REFERENCE |
| REFL. | REFLECTED |
| REFR | REFRIGERATOR |
| REG. | REGISTER |
| REINF. | REINFORCING |
| REQ. | REQUIRED |
| REV. | REVISION |
| RM | ROOM |
| R.O. | ROUGH OPENING |
| R.T.W. | RETAINING WALL |
| S.C. | SOLID CORE |
| S.E. | STRUCTURAL ENGINEERING |
| SECT. | SECTION |
| SF | SQUARE FOOT |
| SHT | SHEET |
| SKL | SKYLIGHT |
| SKYLT | SKYLIGHT |
| SPEC. | SPECIFICATION |
| SQ. | SQUARE |
| STD | STANDARD |
| STL. | STEEL |
| STOR. | STORAGE |
| STRUCT. | STRUCTURAL |
| SUSP. | SUSPENDED |
| T.B.D. | TO BE DETERMINED |
| TEL. | TELEPHONE |
| TEMP. | TEMPERED |
| T&G | TONGUE & GROOVE |
| THK. | THICKNESS |
| THRESH. | THRESHOLD |
| T.O. | TOP OF |
| T.V. | TELEVISION |
| TYP. | TYPICAL |
| UNFIN. | UNFINISHED |
| U.O.N. | UNLESS OTHERWISE NOTED |
| VCT | VINYL COMPOSITE TILE |
| VEN. | VENEER |
| VERT. | VERTICAL |
| V.J.F. | VERIFY IN FIELD |
| W. | WITH |
| WC | WATER CLOSET |
| WH | WATER HEATER |
| W.P. | WATER PROOF |
| WR | WATER RESISTANT |
| WD | WOOD |
| WT | WEIGHT |

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS TO COORDINATE WITH EXISTING BUILDING CONDITIONS. ANY VARIANCES AND / OR DISCREPANCIES THAT ARISE IN THE ABOVE REVIEW SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
3. DISCREPANCIES IN DIMENSION OR LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.
4. DO NOT SCALE DRAWINGS!
5. DESIGN AND CONSTRUCTION SHALL CONFORM TO ALL GOVERNMENT CODES AND ORDINANCES: 2016 CALIFORNIA & SAN FRANCISCO CODES, INCLUDING BUILDING, ELECTRICAL, MECHANICAL, PLUMBING, ENERGY, AND PLANNING.
6. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, ADJUSTED, AND CONDITIONED AS DIRECTED BY THE MANUFACTURER UNLESS HEREIN SPECIFIED TO THE CONTRARY.
7. ALL MATERIALS SHALL BE NEW AND UNUSED, UNLESS OTHERWISE NOTED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT. ALL WORK SHALL BE DONE IN A THOROUGH, WORKMANLIKE MANNER COMPLYING WITH ALL APPLICABLE CODES AND ORDINANCES. WORKMANSHIP SHALL BE EQUAL TO THE BEST STANDARDS OF PRACTICE.
8. ALL DIMENSIONS NOTED "VERIFY" SHALL BE CHECKED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND REPORTED TO THE ARCHITECT.
9. FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF SAME CHARACTER AS SHOWN FOR SIMILAR CONDITIONS.
10. ELECTRICAL SUBCONTRACTOR SHALL FURNISH AND INSTALL, COMPLETE, ALL MATERIALS, EQUIPMENT AND LABOR AS SHOWN AND IS NECESSARY FOR A COMPLETE WORKABLE SYSTEM, ALL MATERIALS SHALL BE NEW AND FREE FROM ANY DEFECTS. ALL ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE LISTED BY UNDERWRITERS LABORATORIES.
11. EXHAUST SYSTEM SHALL CONFORM TO ALL GOVERNMENT CODES AND ORDINANCES.
12. MECHANICAL SUBCONTRACTOR SHALL PERFORM ALL TESTING REQUIRED BY CODES.
13. ELECTRICAL AND PLUMBING CONTRACTORS ARE RESPONSIBLE FOR THE FILING OF THEIR OWN PERMITS.
14. THE BUILDING, ITS GROUNDS AND THE NEIGHBORING BUILDINGS, PROPERTIES AND STREET SHALL BE PROTECTED FROM ANY DAMAGE THAT MAY OCCUR DUE TO THIS WORK. ANY DAMAGES THAT OCCUR ARE THE FINANCIAL RESPONSIBILITY OF THE GENERAL CONTRACTOR.
15. ALL WASTE AND REFUSE CAUSED BY THE WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE CONTRACTOR, THE PREMISES SHALL BE LEFT CLEAN AND CLEAR TO THE SATISFACTION OF THE ARCHITECT.
16. GENERAL CONTRACTOR GUARANTIES ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION.

CAL GREEN BUILDING STANDARDS CODE

- CAL GREEN REQUIRED MEASURES - THE CA GREEN BUILDING CODE (TITLE 24 PART 11) REQUIRES:
1. INDOOR AIR QUALITY MANAGEMENT DURING CONSTRUCTION - DUCT OPENINGS AND AIR DISTRIBUTION COMPONENT OPENINGS MUST COVERED DURING ALL PHASES OF CONSTRUCTION, TAPE, PLASTIC, SHEET METAL OR OTHER ACCEPTABLE METHODS MAY BE USED TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS ENTERING THE SYSTEM.
 2. SMART IRRIGATION CONTROLLER - AUTOMATICALLY ADJUST IRRIGATION BASED ON WEATHER AND SOIL MOISTURE, CONTROLLERS MUST HAVE EITHER AN INTEGRAL OR SEPARATE RAIN SENSORS THAT CONNECTS OR COMMUNICATES WITH THE CONTROLLER.
 3. INDOOR WATER EFFICIENCY - PLUMBING FIXTURES AND FITTINGS SHALL COMPLY WITH THE FOLLOWING: WATER CLOSETS < 1.28 GAL/FLUSH; URINALS < 0.5 GAL/FLUSH, SHOWERHEADS < 2.0 GPM @ 80 PSI; RESIDENTIAL LAVATORY FAUCET < 1.5 GPM; LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS < 0.5 GPM @ 80 PSI; METERING FAUCETS < 0.25 GAL/CYCLE; AND KITCHEN FAUCETS < 1.8 GPM @ 80 PSI (TEMPORARY INCREASE TO 2.2 GPM ALLOWED, BUT MUST DEFAULT TO < 1.8 GPM).
 4. BATHROOM EXHAUST FANS - MUST BE ENERGY STAR COMPLIANT, DUCTED TO TERMINATE OUTSIDE THE BUILDING, AND CONTROLLED BY HUMIDISTAT OR CAPABILITY OF ADJUSTMENT BETWEEN RELATIVE HUMIDITY OF LESS THAN 50% TO MAXIMUM OF 80%. HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT FROM THE EXHAUST FAN.
 5. LOW-VOC WALL/CEILING PAINTS - CARB VOC LIMITS (CAL GREEN TABLE 4.504.3)
 6. LOW-VOC AEROSOL PAINTS AND COATING - MEET BAAQMD VOC LIMITS (REGULATION 8, RULE 49) AND PRODUCT-WEIGHTED MIR LIMITS FOR ROC (CCR TITLE 17, SECTION 94520)
 7. LOW-VOC CAULKS, CONSTRUCTION ADHESIVES, AND SEALANTS - MEET SCAQMD RULE 1168, SEE CAL GREEN TABLES 4.504.1 AND 4.504.2.
 8. LOW-EMITTING COMPOSITE WOOD - MEET CALIFORNIA AIR RESOURCES BOARD AIRBORNE TOXIC CONTROL MEASURE FORMALDEHYDE LIMITS FOR COMPOSITE WOOD. SEE CAL GREEN TABLE 4.504.5
 9. LOW-EMITTING FLOORING: ALL CARPET SYSTEMS, CARPET CUSHION, CARPET ADHESIVE, AND AT LEAST 80% OF RESILIENT FLOORING MUST BE LOW-EMITTING.
 10. OPERATIONS AND MAINTENANCE MANUALS AND TRAINING - PROVIDE O&M MANUAL TO BUILDING MAINTENANCE STAFF DUE AT THE TIME OF FINAL INSPECTION.
 11. SURFACE DRAINAGE; CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE SURFACE WATER FLOWS.
 12. PEST PROTECTION - ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY, OR A SIMILAR METHOD ACCEPTABLE TO DBI FOR PROTECTION AGAINST RODENTS.
 13. FIREPLACES AND WOODSTOVES - INSTALL ONLY DIRECT-VENT OR SEALED-COMBUSTION APPLIANCES; COMPLY WITH US EPA PHASE II LIMITS.
 14. CAPILLARY BREAK FOR CONCRETE SLAB ON GRADE - CONCRETE SLAB ON GRADE FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER MUST ALSO HAVE A CAPILLARY BREAK INCLUDING AT LEAST ONE OF THE FOLLOWING: 1) A 4" THICK BASE OF 12" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING SHALL BE USED, FOR ADDITIONAL INFORMATION, SEE AMERICAN CONCRETE INSTITUTE, ACI 302.2R06, 2) A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL.
 15. MOISTURE CONTENT OF BUILDING MATERIALS - VERIFY WALL AND FLOOR FRAMING DOES NOT EXCEED 19% MOISTURE CONTENT PRIOR TO ENCLOSURE, MATERIALS WITH VISIBLE SIGNS OF MOISTURE DAMAGE SHALL NOT BE INSTALLED, MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING: 1) MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR A CONTACT-TYPE MOISTURE METER, EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS IN SECTION 101.8, 2) MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET TO 4 FEET FROM GRADE-STAMPED END OF EACH PIECE TO BE VERIFIED, 3) AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING, INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES, MANUFACTURERS' DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.
 16. HVAC INSTALLER QUALIFICATIONS - HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS, SUCH AS VIA A STATE CERTIFIED APPRENTICESHIP PROGRAM, PUBLIC UTILITY TRAINING PROGRAM (WITH CERTIFICATION AS INSTALLER QUALIFICATION), OR OTHER PROGRAM ACCEPTABLE TO THE DEPARTMENT OF BUILDING INSPECTION.
- SAN FRANCISCO GREEN BUILDING CODE**
1. CONSTRUCTION AND DEMOLITION DEBRIS DIVERSION - 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY A REGISTER HAULER TO A REGISTER FACILITY AND BEROCESSED FOR RECYCLING.
 2. RECYCLING BY OCCUPANTS: PROVIDE ADEQUATE SPACE AND EQUAL ACCESS FOR STORAGE, COLLECTION AND LOADING OF COMPOSTABLE, RECYCLABLE AND LANDFILL MATERIALS.
 3. CONSTRUCTION SITE RUNOFF POLLUTION PREVENTION - PROVIDE A CONSTRUCTION SITE STORMWATER POLLUTION PREVENTION PLAN AND IMPLEMENT SFPUC BEST MANAGEMENT PRACTICES.
 4. STORMWATER CONTROL PLAN - PROJECTS DISTURBING > 5,000 SF OF GROUND SURFACE MUST IMPLEMENT A STORMWATER CONTROL PLAN MEETING SFPUC STORMWATER DESIGN GUIDELINES.
 5. WATER EFFICIENT IRRIGATION - PROJECTS THAT INCLUDE 1,000 SF OR MORE OF NEW OR MODIFIED LANDSCAPE MUST COMPLY WITH THE SAN FRANCISCO WATER EFFICIENT IRRIGATION ORDINANCE.

LEGEND

| | | | |
|--|-----------------------------|--|--------------------------------|
| | EXISTING WALL TO REMAIN | | REFERENCE GRID LINE |
| | EXISTING WALL TO BE REMOVED | | SECTION REFERENCE SHEET NUMBER |
| | PROPOSED WALL | | DETAIL REFERENCE SHEET NUMBER |
| | DOOR SYMBOL | | |
| | WINDOW SYMBOL | | |
| | REVISION | | |
| | PROPERTY LINE | | |

PROJECT DATA

| | |
|----------------------------|---|
| OWNER: | COLIN SCHMIDT & JENNY GRIFFIN 1016 PIERCE ST SAN FRANCISCO, CA 94115 415-377-3887 |
| ARCHITECT: | LEVY ART & ARCHITECTURE INC 2501 BRYANT AVE SAN FRANCISCO, CA 94110 415-641-7320 FAX: 415-641-1710 |
| PROJECT ADDRESS: | 1010 PIERCE ST SAN FRANCISCO, CA 94115 |
| ASSESSOR'S BLOCK: | 0754 LOT 011 |
| ZONING: | RM-3 |
| OCCUPANCY: | R3 |
| TYPE CONSTRUCTION: | V B |
| ALLOW, BLDG HGT: | 3 STORIES PER TABLE 503 OF THE 2016 CBC |
| ALLOW, BLDG AREA: | UNLIMITED |
| EXIST STORY / BASEMENT: | 3 STORY |
| PROPOSED STORY / BASEMENT: | 3 STORY |
| NO. OF UNITS: | EXISTING = 2 / PROPOSED = 2 |

PROJECT DESCRIPTION:

LEGALIZE RESTORATION OF UPPER FLOORS AS A SINGLE DWELLING AND CREATION OF A NEW ADU AT THE LOWER LEVEL

GROSS BUILDING AREA:

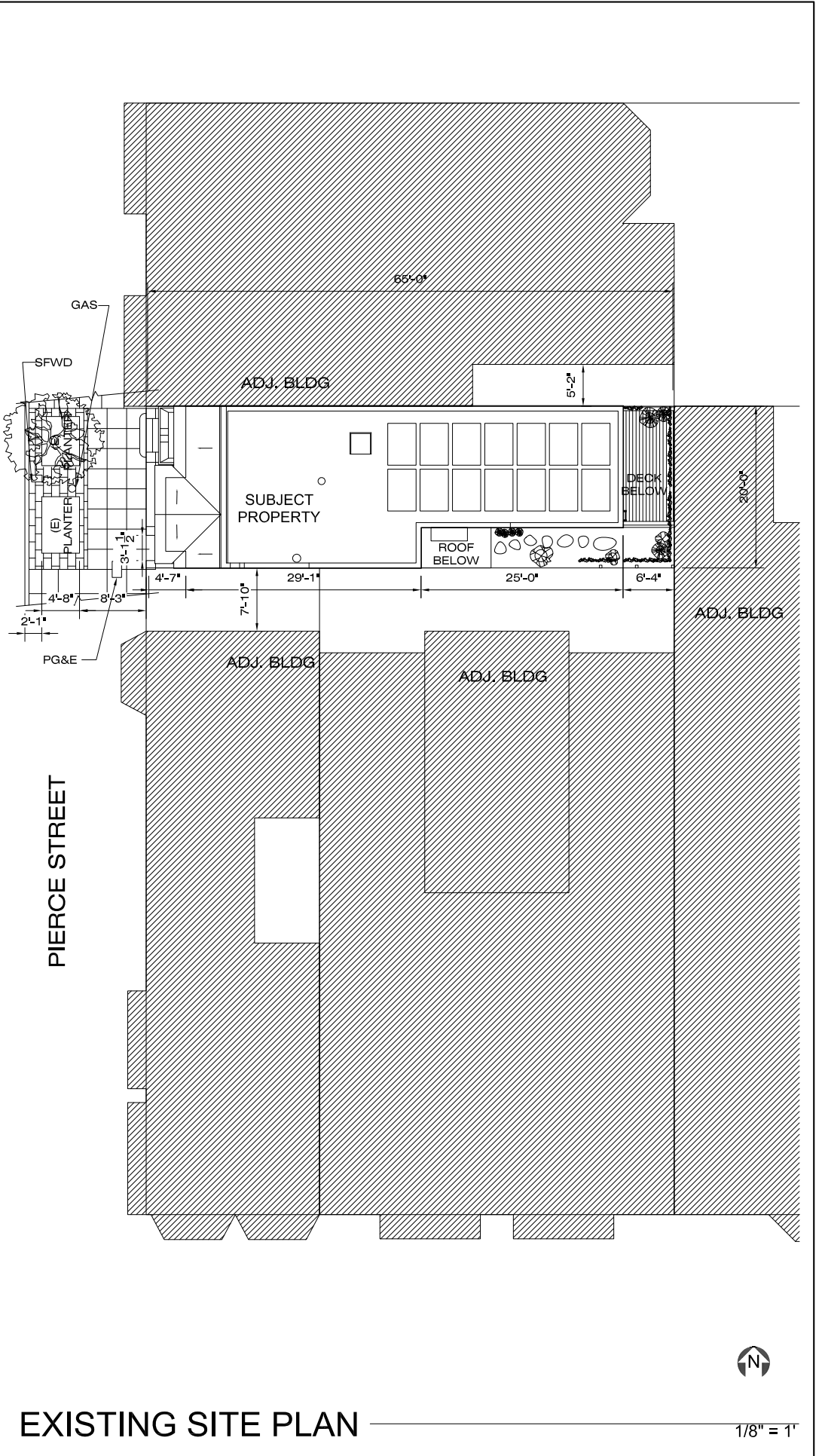
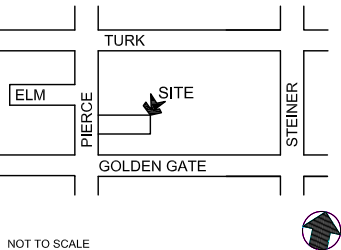
| CONDITIONED AREA | EXISTING | PROPOSED |
|------------------|----------|----------|
| UPPER UNIT: | | |
| FIRST FLOOR: | 69 SF | 69 SF |
| SECOND FLOOR: | 1007 SF | 1007 SF |
| THIRD FLOOR: | 979 SF | 979 SF |
| UP UNIT TOTAL | 2045 SF | 2045 SF |
| FIRST FLOOR: | 546 SF | 546 SF |
| BLDG TOTAL: | 2591 | 2591 |
| SHARED SPACES | | |
| TRASH/MECH/STOR | 218 SF | 218 SF |
| BREEZEWAY | 133 SF | 133 SF |
| OUTDOOR OPEN: | 252 SF | 252 SF |

SHEET INDEX

ARCHITECTURAL

| | |
|------|------------------------------------|
| A0.1 | PROJECT DATA & NOTES, & SITE PLAN |
| A1.1 | PRE-EXISTING 1ST & 2ND FLOOR PLANS |
| A1.2 | PRE-EXISTING 3RD & ROOF PLANS |
| A2.1 | EXISTING 1ST & 2ND FLOOR PLANS |
| A2.2 | EXISTING 3RD & ROOF PLANS |
| A3.1 | PROPOSED 1ST & 2ND FLOOR PLANS |
| A3.2 | PROPOSED 3RD & ROOF PLANS |
| A4.1 | EXISTING ELEVATIONS |
| A4.2 | EXISTING ELEVATIONS |

VICINITY MAP



| REVISIONS | BY |
|-----------|----|
| | |
| | |
| | |
| | |
| | |
| | |



LEVY
ART + ARCHITECTURE

2501 BRYANT AVE.
SAN FRANCISCO, CA 94110
415.641.7320
levyaa.com



SCHMIDT - GRIFFIN RESIDENCE
1016 PIERCE ST.
SAN FRANCISCO, CA 94115
BLOCK #0754 LOT #011

| | |
|-------------|-------------|
| Description | TITLE SHEET |
| Date: | 3.11.2020 |
| Scale: | AS NOTED |
| Drawn: | MA-BB |
| Job | SCHMDT |
| Sheet | |

A0.1

ABBREVIATIONS

| | |
|----------|------------------------|
| @ | AT |
| ° | CENTERLINE |
| # | NUMBER |
| ° | DEGREE(S) |
| ± | DIAMETER |
| ± | PLUS or MINUS |
| ABV | ABOVE |
| A/C | AIR CONDITIONING |
| ACOUS. | ACOUSTICAL |
| AD | AREA DRAIN |
| ADJ. | ADJACENT |
| ADJUS. | ADJUSTABLE |
| A.F.F. | ABOVE FINISH FLOOR |
| ALT. | ALTERNATE |
| A.M.S.L. | ABOVE MEAN SEA LEVEL |
| APPROX. | APPROXIMATE |
| ARCH. | ARCHITECT |
| BD | BOARD |
| BET. | BETWEEN |
| BLDG | BUILDING |
| BLK | BLOCK |
| BLKG | BLOCKING |
| BM | BEAM |
| BOT. | BOTTOM |
| B.U. | BUILT UP |
| CAB. | CABINET |
| CER. | CERAMIC |
| CIRC. | CIRCLE |
| CLG | CEILING |
| CLR. | CLEARANCE |
| CLOS. | CLOSET |
| CNTR | COUNTER |
| COL. | COLUMN |
| CONC. | CONCRETE |
| CONST. | CONSTRUCTION |
| CONT. | CONTINUOUS |
| CONTR. | CONTRACTOR |
| CPT | CARPET |
| C.T. | CERAMIC TILE |
| CTR | CENTER |
| DBI | DOUBLE |
| DEMO. | DEMOLITION |
| DET. | DETAIL |
| DF | DOUGLAS FIR |
| DIA. | DIAMETER |
| DIM. | DIMENSION |
| DN | DOWN |
| DS | DOWN SPOUT |
| DR | DOOR |
| DW | DISHWASHER |
| DWG | DRAWING |
| DWR | DRAWER |
| EA | EACH |
| ELEC. | ELECTRICAL |
| EL | ELEVATOR |
| ELEV. | ELEVATION |
| ENCL. | ENCLOSURE |
| EQ. | EQUAL |
| EQUIP. | EQUIPMENT |
| EST. | ESTIMATE |
| EXH. | EXHAUST |
| (E) | EXISTING |
| EXP. | EXPANSION |
| EXT. | EXTERIOR |
| FAU | FORCED AIR UNIT |
| FIN. | FINISHED |
| F.F. | FINISH FLOOR |
| FLR. | FLOOR |
| FLUOR. | FLUORESCENT |
| F.O.S. | FACE OF STUD(S) |
| F.O.C. | FACE OF CONCRETE |
| F.O.F. | FACE OF FINISH |
| FP | FIREPLACE |
| FT | FOOT/FEET |
| FTG | FOOTING |
| FURR. | FURRED/FURRING |
| FUT. | FUTURE |
| GA | GAGE |
| G.C. | GENERAL CONTRACTOR |
| GEN. | GENERAL |
| G.F.I. | GROUND FAULT INTERRUPT |
| GL | GLASS/GLAZING |
| GYP. | GYPSONUM |
| H.C. | HOLLOW CORE |
| HD | HEAD |
| HDR | HEADER |
| HDWR. | HARDWARE |
| HORIZ. | HORIZONTAL |
| HGT. | HEIGHT |
| HV.A.C. | HEATING VENTILATING |
| INSUL. | INSULATION |
| INT. | INTERIOR |
| JO | JOINT |
| JOIST | JOIST |
| KIT. | KITCHEN |
| KPL | KICKPLATE |
| LAM. | LAMINATED |
| LVR. | LOUVER |
| MAX. | MAXIMUM |
| MECH. | MECHANICAL |
| MEMB. | MEMBRANE |
| MET. | METAL |
| MFR | MANUFACTURE(R) |
| MIN. | MINIMUM |
| MISC. | MISCELLANEOUS |
| MTD | MOUNTED |
| MULL. | MULLION |
| (N) | NEW |
| N.C. | NOT IN CONTRACT |
| NO. | NUMBER |
| N.T.S | NOT TO SCALE |
| O.A. | OVERALL |
| O.C. | ON CENTER |
| O.D. | OUTSIDE DIAMETER |
| O.H. | OVERHEAD |
| OPPOSITE | OPPOSITE |
| P.BD | PARTICLE BOARD |
| P-LAM | PLASTIC LAMINATE |
| PLY WD | PLYWOOD |
| PNL | PANEL |
| REF. | REFERENCE |
| REFL. | REFLECTED |
| REFR | REFRIGERATOR |
| REG. | REGISTER |
| REINF. | REINFORCING |
| REQ. | REQUIRED |
| REV. | REVISION |
| RM | ROOM |
| R.O. | ROUGH OPENING |
| R.T.W. | RETAINING WALL |
| S.C. | SOLID CORE |
| S.E. | STRUCTURAL ENGINEERING |
| SECT. | SECTION |
| SF | SQUARE FOOT |
| SHT | SHEET |
| SKL | SKYLIGHT |
| SKYLT | SKYLIGHT |
| SPEC. | SPECIFICATION |
| SQ. | SQUARE |
| STD | STANDARD |
| STL. | STEEL |
| STOR. | STORAGE |
| STRUCT. | STRUCTURAL |
| SUSP. | SUSPENDED |
| T.B.D. | TO BE DETERMINED |
| TEL. | TELEPHONE |
| TEMP. | TEMPERED |
| T&G | TONGUE & GROOVE |
| THK. | THICKNESS |
| THRESH. | THRESHOLD |
| T.O. | TOP OF |
| T.V. | TELEVISION |
| TYP. | TYPICAL |
| UNFIN. | UNFINISHED |
| U.O.N. | UNLESS OTHERWISE NOTED |
| VCT | VINYL COMPOSITE TILE |
| VEN. | VENEER |
| VERT. | VERTICAL |
| V.F. | VERIFY IN FIELD |
| W. | WITH |
| WC | WATER CLOSET |
| WH | WATER HEATER |
| W.P. | WATER PROOF |
| WR | WATER RESISTANT |
| WD | WOOD |
| WT | WEIGHT |

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS TO COORDINATE WITH EXISTING BUILDING CONDITIONS. ANY VARIANCES AND / OR DISCREPANCIES THAT ARISE IN THE ABOVE REVIEW SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
3. DISCREPANCIES IN DIMENSION OR LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.
4. DO NOT SCALE DRAWINGS!
5. DESIGN AND CONSTRUCTION SHALL CONFORM TO ALL GOVERNMENT CODES AND ORDINANCES: 2016 CALIFORNIA & SAN FRANCISCO CODES, INCLUDING BUILDING, ELECTRICAL, MECHANICAL, PLUMBING, ENERGY, AND PLANNING.
6. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, ADJUSTED, AND CONDITIONED AS DIRECTED BY THE MANUFACTURER UNLESS HEREIN SPECIFIED TO THE CONTRARY.
7. ALL MATERIALS SHALL BE NEW AND UNUSED, UNLESS OTHERWISE NOTED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT. ALL WORK SHALL BE DONE IN A THOROUGH, WORKMANLIKE MANNER COMPLYING WITH ALL APPLICABLE CODES AND ORDINANCES. WORKMANSHIP SHALL BE EQUAL TO THE BEST STANDARDS OF PRACTICE.
8. ALL DIMENSIONS NOTED "VERIFY" SHALL BE CHECKED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND REPORTED TO THE ARCHITECT.
9. FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF SAME CHARACTER AS SHOWN FOR SIMILAR CONDITIONS.
10. ELECTRICAL SUBCONTRACTOR SHALL FURNISH AND INSTALL, COMPLETE, ALL MATERIALS, EQUIPMENT AND LABOR AS SHOWN AND IS NECESSARY FOR A COMPLETE WORKABLE SYSTEM, ALL MATERIALS SHALL BE NEW AND FREE FROM ANY DEFECTS. ALL ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE LISTED BY UNDERWRITERS LABORATORIES.
11. EXHAUST SYSTEM SHALL CONFORM TO ALL GOVERNMENT CODES AND ORDINANCES.
12. MECHANICAL SUBCONTRACTOR SHALL PERFORM ALL TESTING REQUIRED BY CODES.
13. ELECTRICAL AND PLUMBING CONTRACTORS ARE RESPONSIBLE FOR THE FILING OF THEIR OWN PERMITS.
14. THE BUILDING, ITS GROUNDS AND THE NEIGHBORING BUILDINGS, PROPERTIES AND STREET SHALL BE PROTECTED FROM ANY DAMAGE THAT MAY OCCUR DUE TO THIS WORK. ANY DAMAGES THAT OCCUR ARE THE FINANCIAL RESPONSIBILITY OF THE GENERAL CONTRACTOR.
15. ALL WASTE AND REFUSE CAUSED BY THE WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE CONTRACTOR, THE PREMISES SHALL BE LEFT CLEAN AND CLEAR TO THE SATISFACTION OF THE ARCHITECT.
16. GENERAL CONTRACTOR GUARANTIES ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION.

CAL GREEN BUILDING STANDARDS CODE

- CAL GREEN REQUIRED MEASURES - THE CA GREEN BUILDING CODE (TITLE 24 PART 11) REQUIRES:
1. INDOOR AIR QUALITY MANAGEMENT DURING CONSTRUCTION - DUCT OPENINGS AND AIR DISTRIBUTION COMPONENT OPENINGS MUST COVERED DURING ALL PHASES OF CONSTRUCTION, TAPE, PLASTIC, SHEET METAL OR OTHER ACCEPTABLE METHODS MAY BE USED TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS ENTERING THE SYSTEM.
 2. SMART IRRIGATION CONTROLLER - AUTOMATICALLY ADJUST IRRIGATION BASED ON WEATHER AND SOIL MOISTURE, CONTROLLERS MUST HAVE EITHER AN INTEGRAL OR SEPARATE RAIN SENSORS THAT CONNECTS OR COMMUNICATES WITH THE CONTROLLER.
 3. INDOOR WATER EFFICIENCY - PLUMBING FIXTURES AND FITTINGS SHALL COMPLY WITH THE FOLLOWING: WATER CLOSETS < 1.28 GAL/FLUSH; URINALS < 0.5 GAL/FLUSH, SHOWERHEADS < 2.0 GPM @ 80 PSI; RESIDENTIAL LAVATORY FAUCET < 1.5 GPM; LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS < 0.5 GPM @ 80 PSI; METERING FAUCETS < 0.25 GAL/CYCLE; AND KITCHEN FAUCETS < 1.8 GPM @ 80 PSI (TEMPORARY INCREASE TO 2.2 GPM ALLOWED, BUT MUST DEFAULT TO < 1.8 GPM).
 4. BATHROOM EXHAUST FANS - MUST BE ENERGY STAR COMPLIANT, DUCTED TO TERMINATE OUTSIDE THE BUILDING, AND CONTROLLED BY HUMIDISTAT OR CAPABILITY OF ADJUSTMENT BETWEEN RELATIVE HUMIDITY OF LESS THAN 50% TO MAXIMUM OF 80%. HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT FROM THE EXHAUST FAN.
 5. LOW-VOC WALL/CEILING PAINTS - CARB VOC LIMITS (CAL GREEN TABLE 4.504.3)
 6. LOW-VOC AEROSOL PAINTS AND COATING - MEET BAAQMD VOC LIMITS (REGULATION 8, RULE 49) AND PRODUCT-WEIGHTED MIR LIMITS FOR ROC (CCR TITLE 17, SECTION 94520)
 7. LOW-VOC CAULKS, CONSTRUCTION ADHESIVES, AND SEALANTS - MEET SCAQMD RULE 1168, SEE CAL GREEN TABLES 4.504.1 AND 4.504.2.
 8. LOW-EMITTING COMPOSITE WOOD - MEET CALIFORNIA AIR RESOURCES BOARD AIRBORNE TOXIC CONTROL MEASURE FORMALDEHYDE LIMITS FOR COMPOSITE WOOD. SEE CAL GREEN TABLE 4.504.5
 9. LOW-EMITTING FLOORING: ALL CARPET SYSTEMS, CARPET CUSHION, CARPET ADHESIVE, AND AT LEAST 80% OF RESILIENT FLOORING MUST BE LOW-EMITTING.
 10. OPERATIONS AND MAINTENANCE MANUALS AND TRAINING - PROVIDE O&M MANUAL TO BUILDING MAINTENANCE STAFF DUE AT THE TIME OF FINAL INSPECTION.
 11. SURFACE DRAINAGE; CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE SURFACE WATER FLOWS.
 12. PEST PROTECTION - ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY, OR A SIMILAR METHOD ACCEPTABLE TO DBI FOR PROTECTION AGAINST RODENTS.
 13. FIREPLACES AND WOODSTOVES - INSTALL ONLY DIRECT-VENT OR SEALED-COMBUSTION APPLIANCES; COMPLY WITH US EPA PHASE II LIMITS.
 14. CAPILLARY BREAK FOR CONCRETE SLAB ON GRADE - CONCRETE SLAB ON GRADE FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER MUST ALSO HAVE A CAPILLARY BREAK INCLUDING AT LEAST ONE OF THE FOLLOWING: 1) A 4" THICK BASE OF 12" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING SHALL BE USED, FOR ADDITIONAL INFORMATION, SEE AMERICAN CONCRETE INSTITUTE, ACI 302.2R06, 2) A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL.
 15. MOISTURE CONTENT OF BUILDING MATERIALS - VERIFY WALL AND FLOOR FRAMING DOES NOT EXCEED 19% MOISTURE CONTENT PRIOR TO ENCLOSURE, MATERIALS WITH VISIBLE SIGNS OF MOISTURE DAMAGE SHALL NOT BE INSTALLED, MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING: 1) MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR A CONTACT-TYPE MOISTURE METER, EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS IN SECTION 101.8, 2) MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET TO 4 FEET FROM GRADE-STAMPED END OF EACH PIECE TO BE VERIFIED, 3) AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING, INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES, MANUFACTURERS' DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.
 16. HVAC INSTALLER QUALIFICATIONS - HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS, SUCH AS VIA A STATE CERTIFIED APPRENTICESHIP PROGRAM, PUBLIC UTILITY TRAINING PROGRAM (WITH CERTIFICATION AS INSTALLER QUALIFICATION), OR OTHER PROGRAM ACCEPTABLE TO THE DEPARTMENT OF BUILDING INSPECTION.
- SAN FRANCISCO GREEN BUILDING CODE**
1. CONSTRUCTION AND DEMOLITION DEBRIS DIVERSION - 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY A REGISTER HAULER TO A REGISTER FACILITY AND BEROCESSED FOR RECYCLING.
 2. RECYCLING BY OCCUPANTS: PROVIDE ADEQUATE SPACE AND EQUAL ACCESS FOR STORAGE, COLLECTION AND LOADING OF COMPOSTABLE, RECYCLABLE AND LANDFILL MATERIALS.
 3. CONSTRUCTION SITE RUNOFF POLLUTION PREVENTION - PROVIDE A CONSTRUCTION SITE STORMWATER POLLUTION PREVENTION PLAN AND IMPLEMENT SFPUC BEST MANAGEMENT PRACTICES.
 4. STORMWATER CONTROL PLAN - PROJECTS DISTURBING > 5,000 SF OF GROUND SURFACE MUST IMPLEMENT A STORMWATER CONTROL PLAN MEETING SFPUC STORMWATER DESIGN GUIDELINES.
 5. WATER EFFICIENT IRRIGATION - PROJECTS THAT INCLUDE 1,000 SF OR MORE OF NEW OR MODIFIED LANDSCAPE MUST COMPLY WITH THE SAN FRANCISCO WATER EFFICIENT IRRIGATION ORDINANCE.

LEGEND

| | | | |
|--|-----------------------------|--|--------------------------------|
| | EXISTING WALL TO REMAIN | | REFERENCE GRID LINE |
| | EXISTING WALL TO BE REMOVED | | SECTION REFERENCE SHEET NUMBER |
| | PROPOSED WALL | | DETAIL REFERENCE SHEET NUMBER |
| | DOOR SYMBOL | | |
| | WINDOW SYMBOL | | |
| | REVISION | | |
| | PROPERTY LINE | | |

PROJECT DATA

| | |
|----------------------------|---|
| OWNER: | COLIN SCHMIDT & JENNY GRIFFIN 1016 PIERCE ST SAN FRANCISCO, CA 94115 415-377-3887 |
| ARCHITECT: | LEVY ART & ARCHITECTURE INC 2501 BRYANT AVE SAN FRANCISCO, CA 94110 415-641-7320 FAX: 415-641-1710 |
| PROJECT ADDRESS: | 1010 PIERCE ST SAN FRANCISCO, CA 94115 |
| ASSESSOR'S BLOCK: | 0754 LOT 011 |
| ZONING: | RM-3 |
| OCCUPANCY: | R3 |
| TYPE CONSTRUCTION: | V B |
| ALLOW, BLDG HGT: | 3 STORIES PER TABLE 503 OF THE 2016 CBC |
| ALLOW, BLDG AREA: | UNLIMITED |
| EXIST STORY / BASEMENT: | 3 STORY |
| PROPOSED STORY / BASEMENT: | 3 STORY |
| NO. OF UNITS: | EXISTING = 2 / PROPOSED = 2 |

PROJECT DESCRIPTION:

LEGALIZE RESTORATION OF UPPER FLOORS AS A SINGLE DWELLING AND CREATION OF A NEW ADU AT THE LOWER LEVEL

GROSS BUILDING AREA:

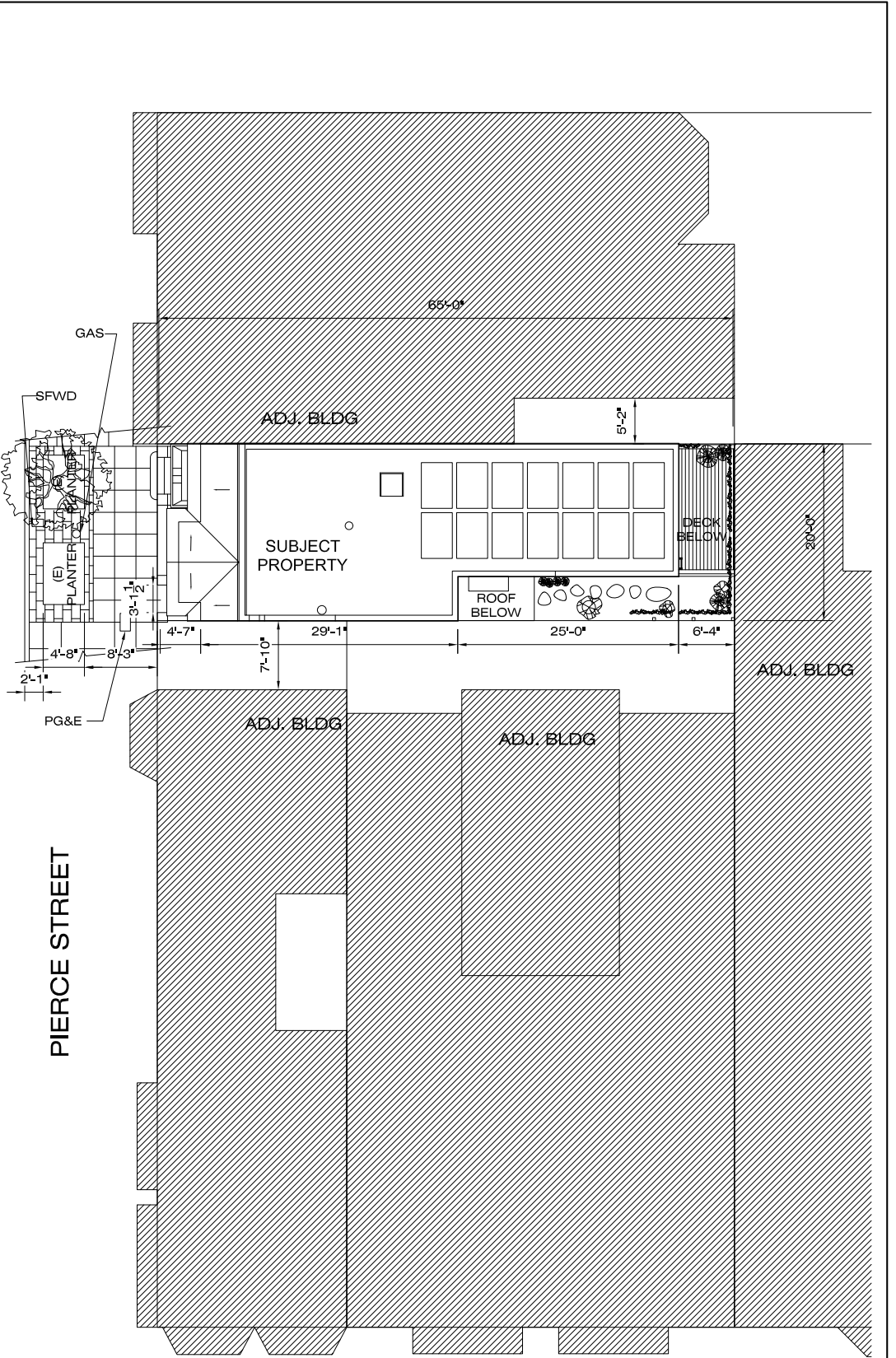
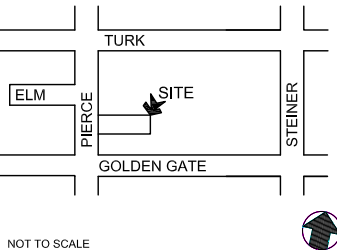
| CONDITIONED AREA | EXISTING | PROPOSED |
|------------------|----------|----------|
| UPPER UNIT: | | |
| FIRST FLOOR: | 69 SF | 69 SF |
| SECOND FLOOR: | 1007 SF | 1007 SF |
| THIRD FLOOR: | 979 SF | 979 SF |
| UP UNIT TOTAL | 2045 SF | 2045 SF |
| FIRST FLOOR: | 546 SF | 546 SF |
| BLDG TOTAL: | 2591 | 2591 |
| SHARED SPACES | | |
| TRASH/MECH/STOR | 218 SF | 218 SF |
| BREEZEWAY | 133 SF | 133 SF |
| OUTDOOR OPEN: | 252 SF | 252 SF |

SHEET INDEX

ARCHITECTURAL

| | |
|------|------------------------------------|
| A0.1 | PROJECT DATA & NOTES, & SITE PLAN |
| A1.1 | PRE-EXISTING 1ST & 2ND FLOOR PLANS |
| A1.2 | PRE-EXISTING 3RD & ROOF PLANS |
| A2.1 | EXISTING 1ST & 2ND FLOOR PLANS |
| A2.2 | EXISTING 3RD & ROOF PLANS |
| A3.1 | PROPOSED 1ST & 2ND FLOOR PLANS |
| A3.2 | PROPOSED 3RD & ROOF PLANS |
| A4.1 | EXISTING ELEVATIONS |
| A4.2 | EXISTING ELEVATIONS |

VICINITY MAP



EXISTING SITE PLAN

1/8" = 1'

| REVISIONS | BY |
|-----------|----|
| | |
| | |
| | |
| | |
| | |
| | |
| | |



LEVY
ART + ARCHITECTURE

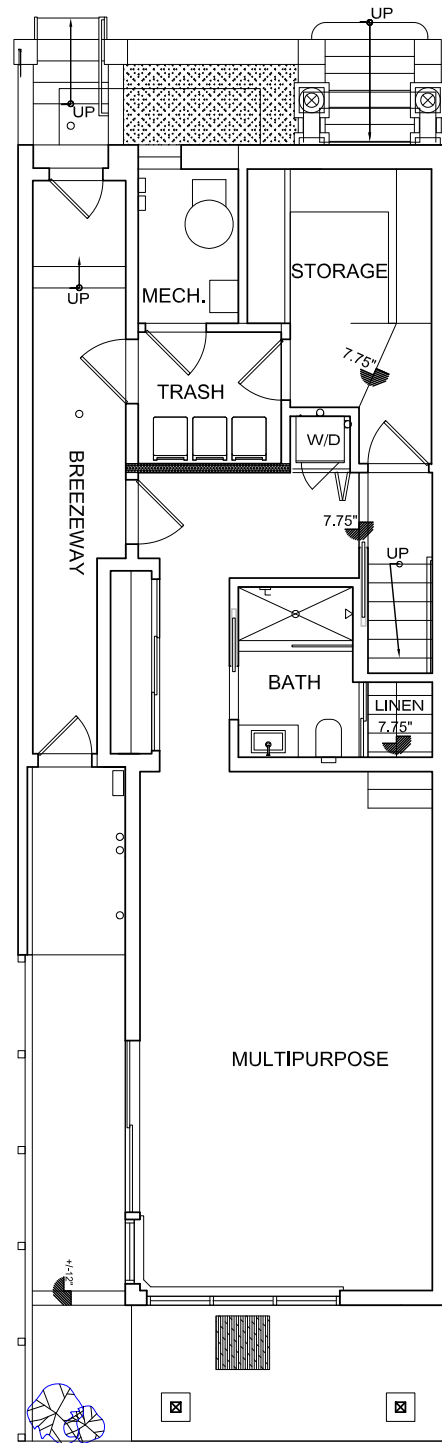
2501 BRYANT AVE.
SAN FRANCISCO, CA 94110
415.641.7320
levyaa.com



SCHMIDT - GRIFFIN RESIDENCE
1016 PIERCE ST.
SAN FRANCISCO, CA 94115
BLOCK #0754 LOT #011

| | |
|-------------|-------------|
| Description | TITLE SHEET |
| Date: | 3.11.2020 |
| Scale: | AS NOTED |
| Drawn: | MA-BB |
| Job | SCHMDT |
| Sheet | |

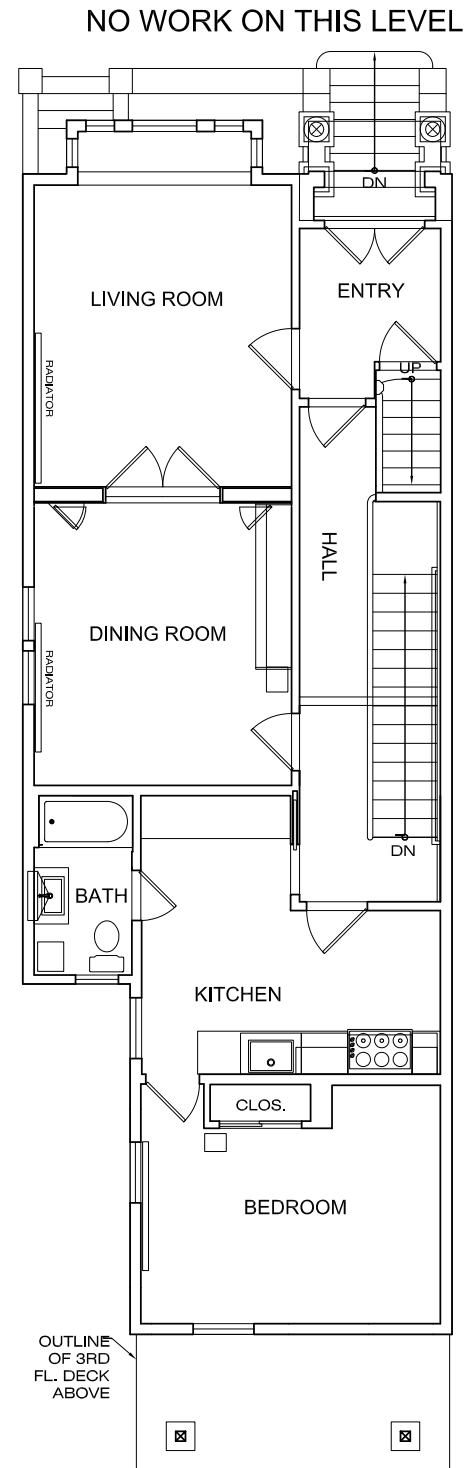
A0.1



PRE-EXISTING 1ST FLOOR PLAN



1/4" = 1'

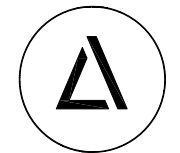


PRE-EXISTING 2ND FLOOR PLAN



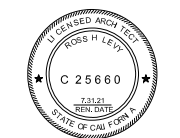
1/4" = 1'

| REVISIONS | BY |
|-----------|----|
| | |
| | |
| | |
| | |
| | |



LEVY
ART + ARCHITECTURE

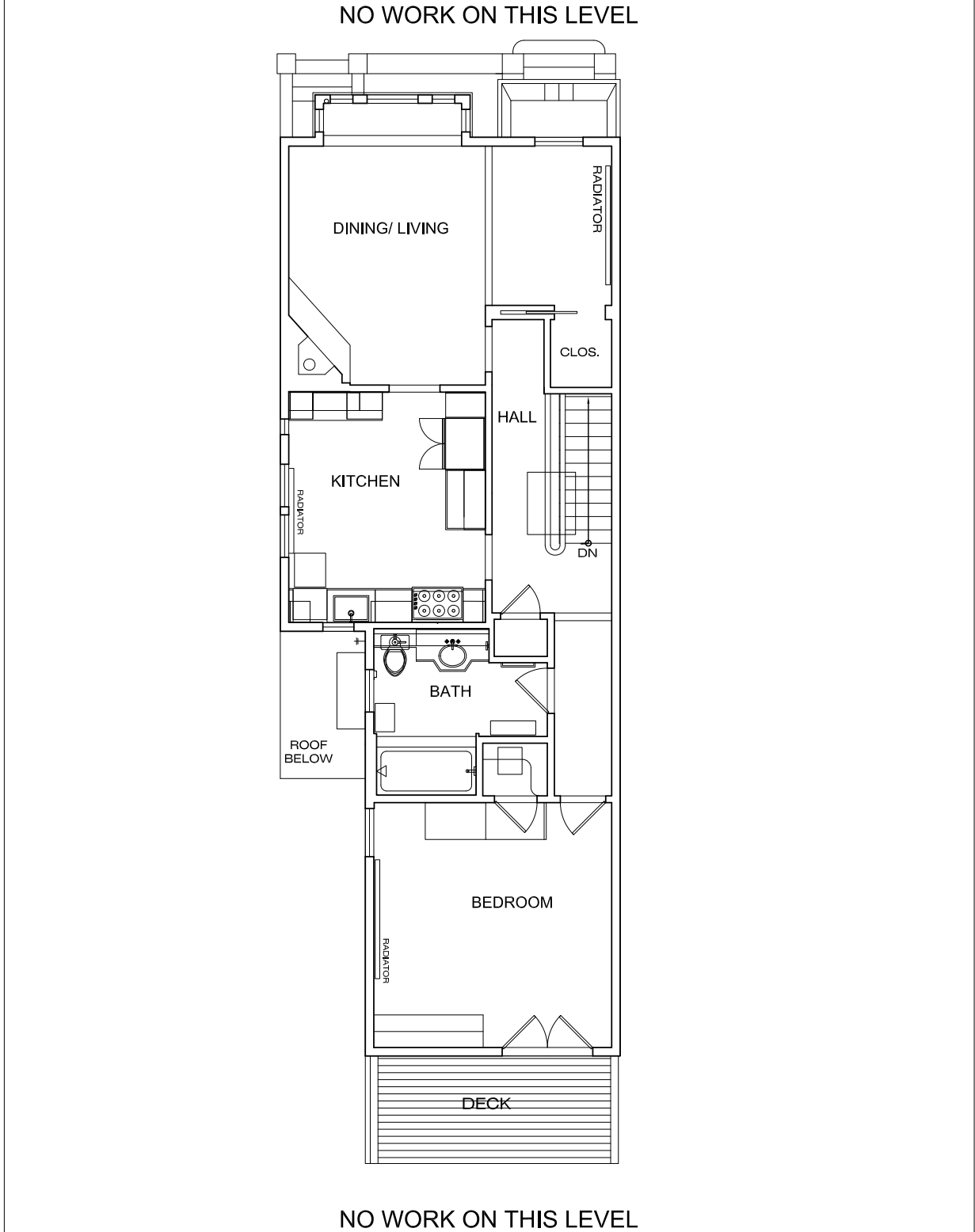
2501 BRYANT AVE.
SAN FRANCISCO, CA 94110
415.641.7320
levyaa.com



SCHMIDT - GRIFFIN RESIDENCE
1016 PIERCE ST.
SAN FRANCISCO, CA 94115
BLOCK #0754 LOT #011

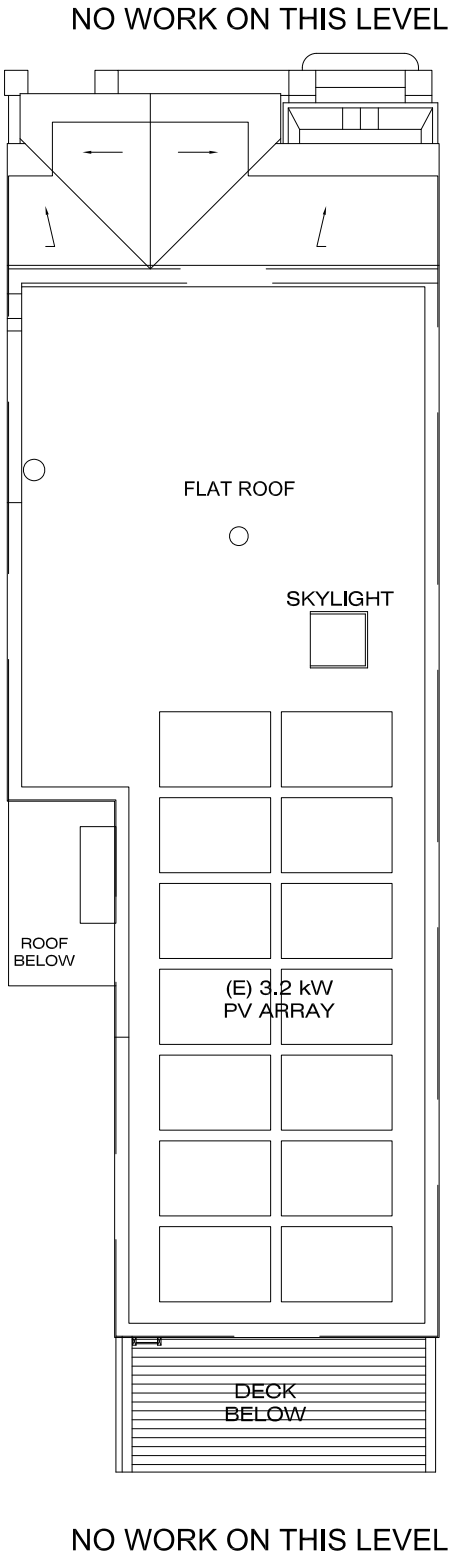
| | |
|-------------|--------------------|
| Description | PRE-EXISTING PLANS |
| Date: | 3.11.2020 |
| Scale: | AS NOTED |
| Drawn: | MA-BB |
| Job | SCHMIDT |
| Sheet | |

A1.1



PRE-EXISTING 3RD FLOOR PLAN

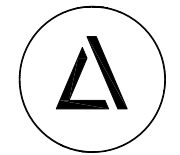
1/4" = 1'



PRE-EXISTING ROOF PLAN

1/4" = 1'

| REVISIONS | BY |
|-----------|----|
| | |
| | |
| | |
| | |
| | |



LEVY
ART + ARCHITECTURE

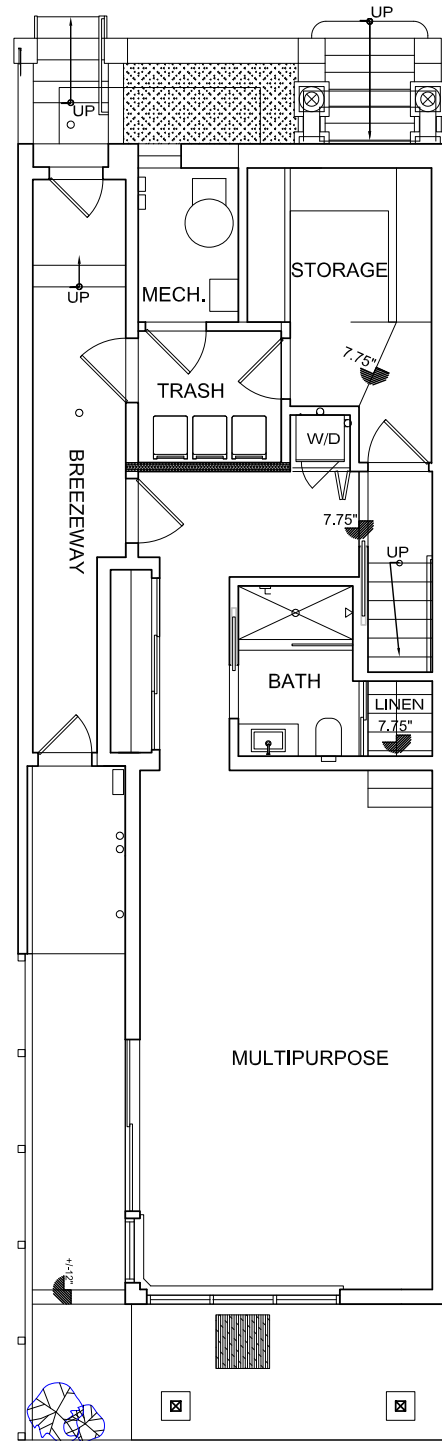
2501 BRYANT AVE.
SAN FRANCISCO, CA 94110
415.641.7320
levyaa.com



SCHMIDT - GRIFFIN RESIDENCE
1016 PIERCE ST.
SAN FRANCISCO, CA 94115
BLOCK #0754 LOT #011

| | |
|-------------|--------------------|
| Description | PRE-EXISTING PLANS |
| Date: | 3.11.2020 |
| Scale: | AS NOTED |
| Drawn: | MA-BB |
| Job | SCHMDT |
| Sheet | |

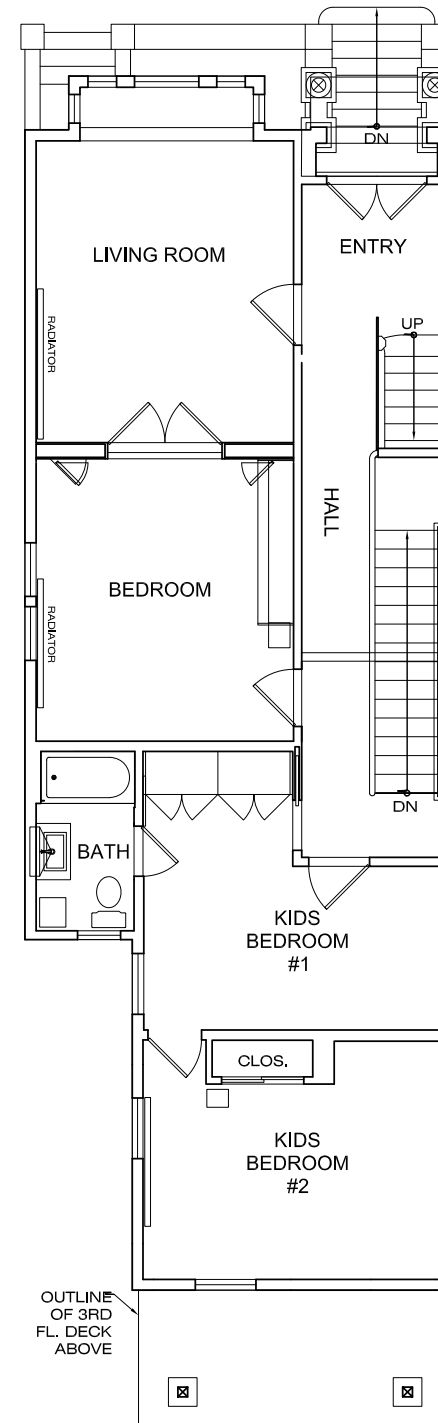
A1.2



EXISTING 1ST FLOOR PLAN



1/4" = 1'

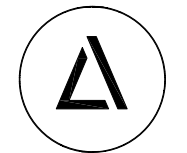


EXISTING 2ND FLOOR PLAN



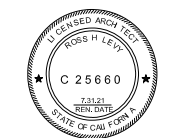
1/4" = 1'

| REVISIONS | BY |
|-----------|----|
| | |
| | |
| | |
| | |
| | |



LEVY
ART + ARCHITECTURE

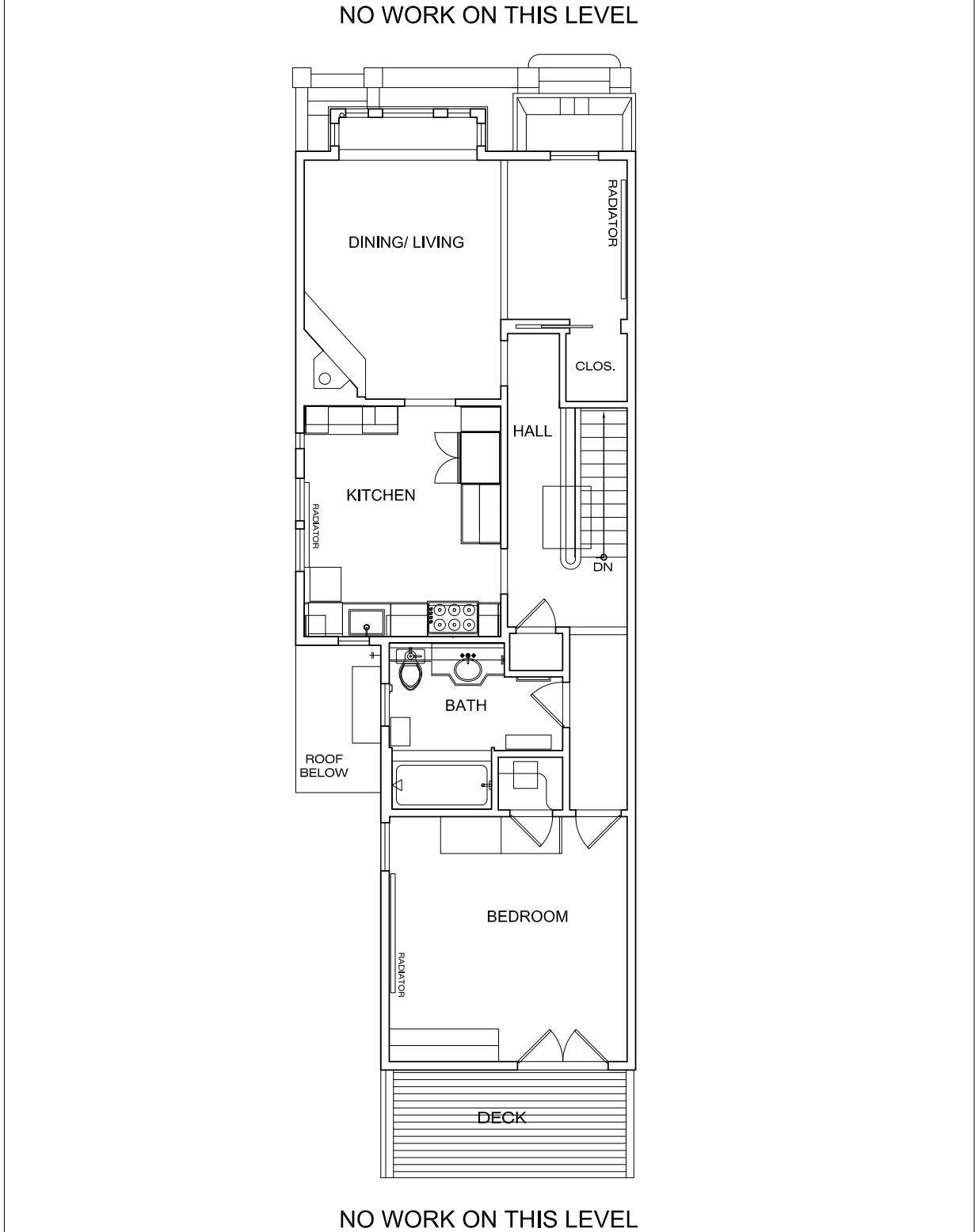
2501 BRYANT AVE.
SAN FRANCISCO, CA 94110
415.641.7320
levyaa.com



SCHMIDT - GRIFFIN RESIDENCE
1016 PIERCE ST.
SAN FRANCISCO, CA 94115
BLOCK #0754 LOT #011

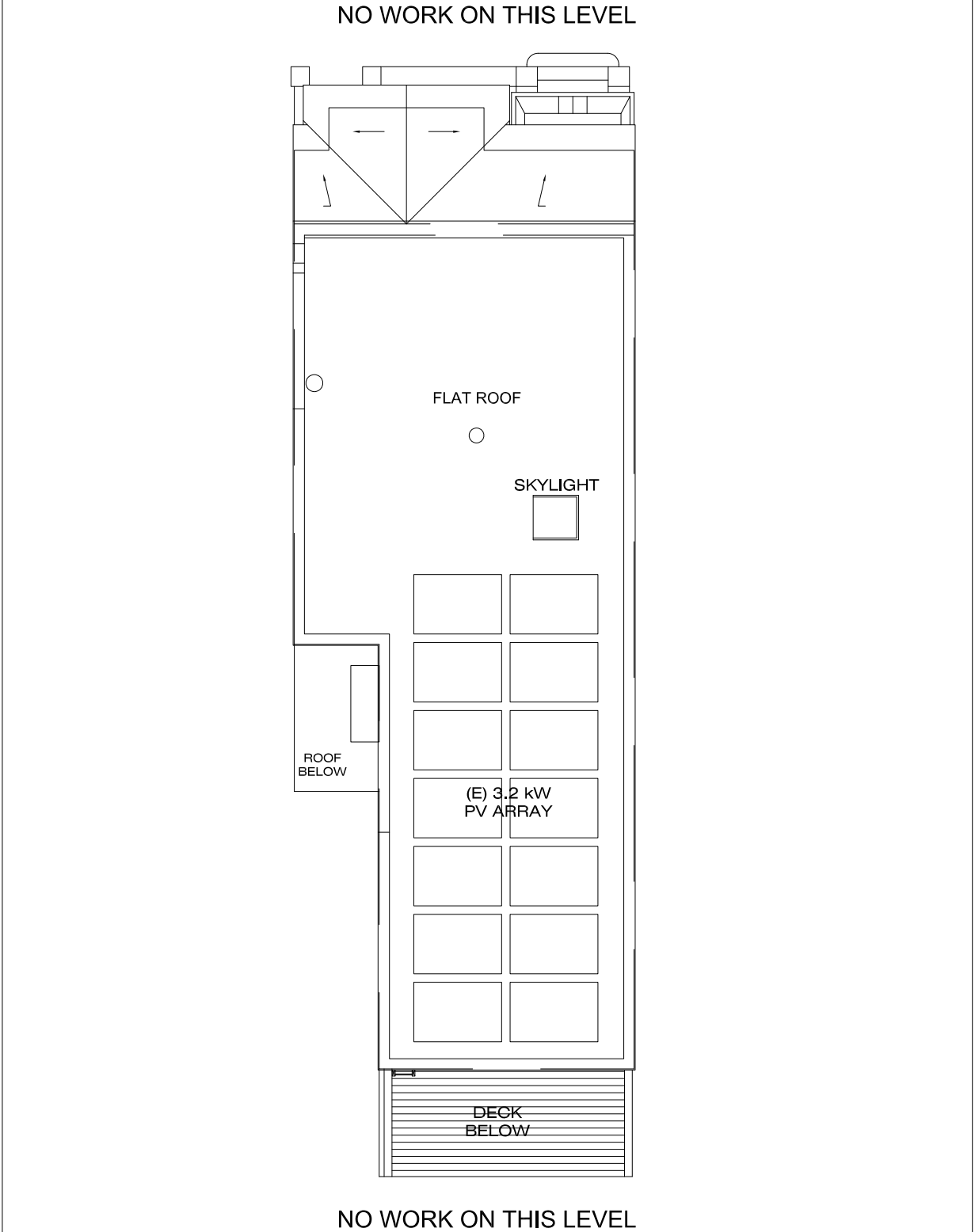
| | |
|-------------|----------------|
| Description | EXISTING PLANS |
| Date: | 3.11.2020 |
| Scale: | AS NOTED |
| Drawn: | MA-BB |
| Job | SCHMIDT |
| Sheet | |

A2.1



EXISTING 3RD FLOOR PLAN

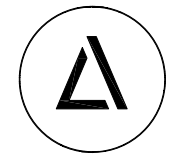
1/4" = 1'



EXISTING ROOF PLAN

1/4" = 1'

| REVISIONS | BY |
|-----------|----|
| | |
| | |
| | |
| | |
| | |



LEVY
ART + ARCHITECTURE

2501 BRYANT AVE.
SAN FRANCISCO, CA 94110
415.641.7320
levyaa.com



SCHMIDT - GRIFFIN RESIDENCE
1016 PIERCE ST.
SAN FRANCISCO, CA 94115
BLOCK #0754 LOT #011

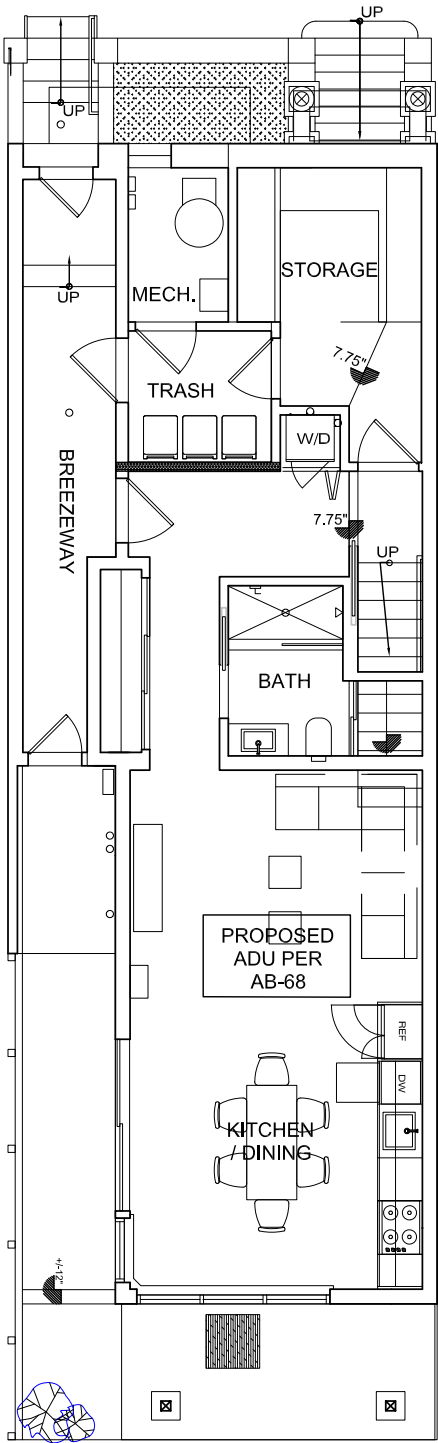
| | |
|-------------|----------------|
| Description | EXISTING PLANS |
| Date: | 3.11.2020 |
| Scale: | AS NOTED |
| Drawn: | MA-BB |
| Job | SCHMIDT |
| Sheet | |

A2.2

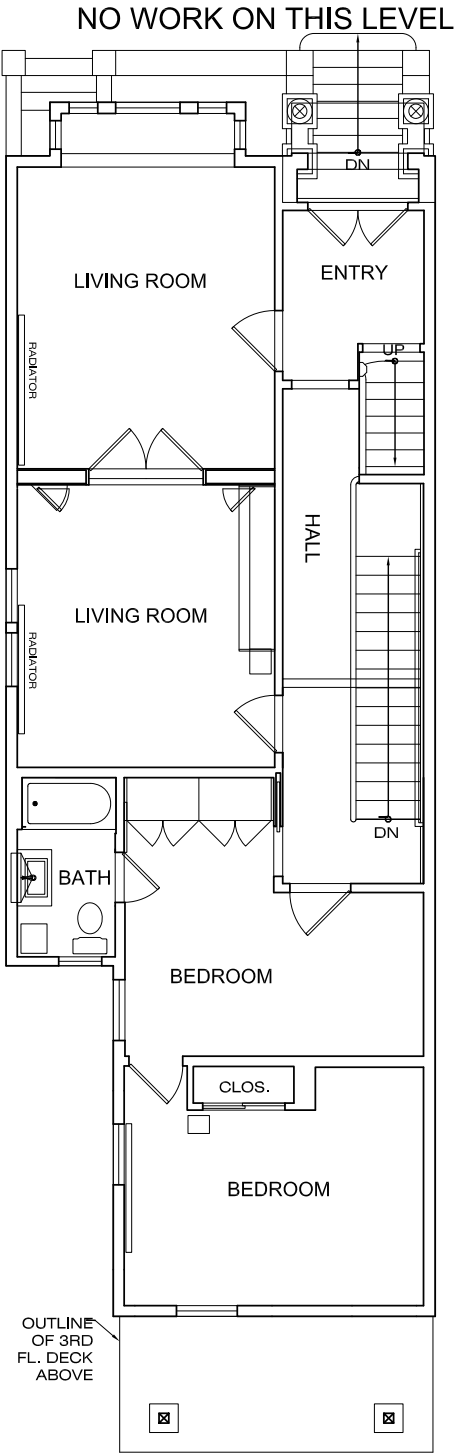
PROPOSED 1ST FLOOR PLAN



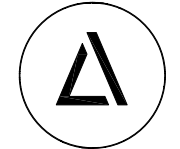
1/4" = 1'



PROPOSED 2ND FLOOR PLAN



| REVISIONS | BY |
|-----------|----|
| | |
| | |
| | |
| | |
| | |



LEVY
ART + ARCHITECTURE

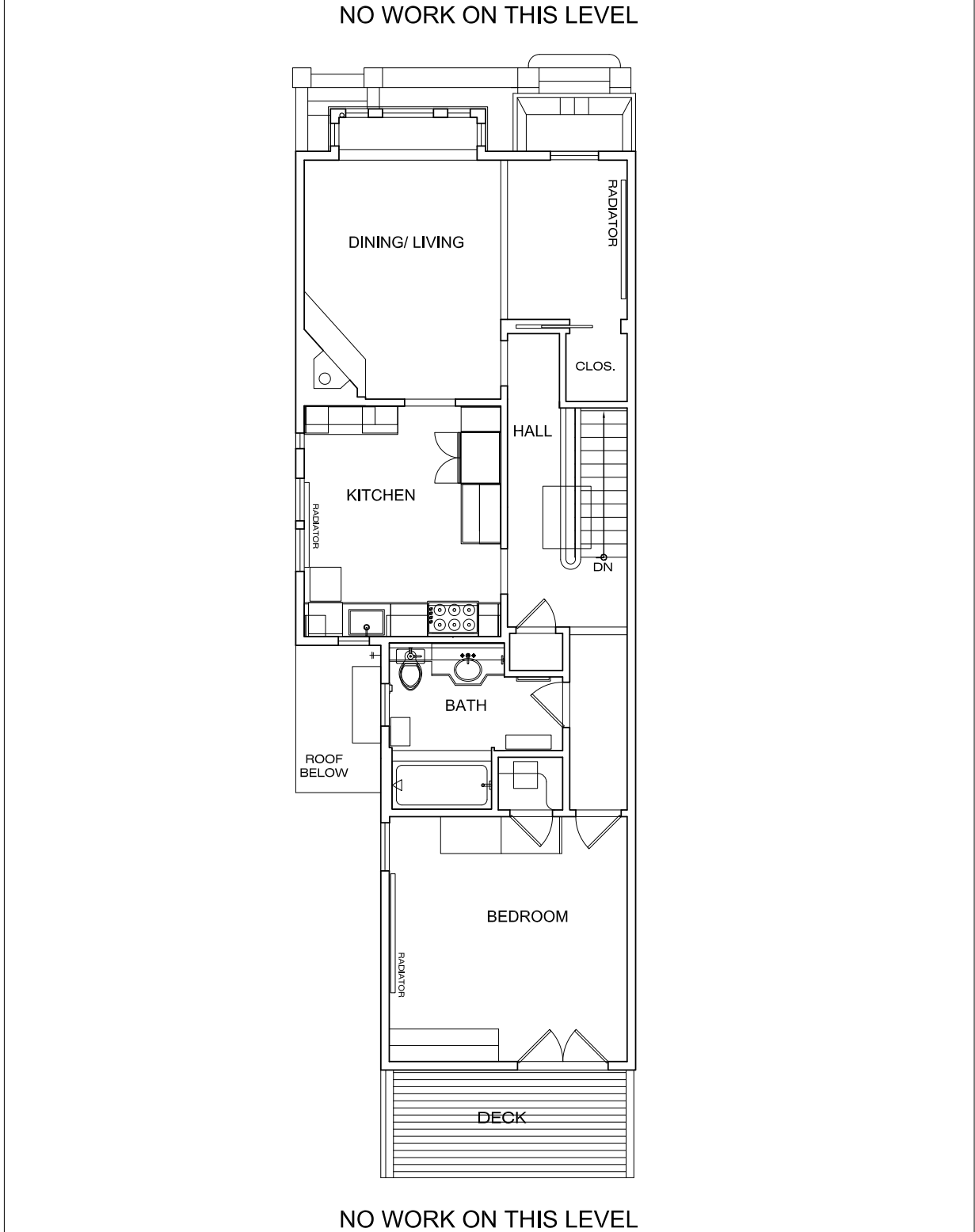
2501 BRYANT AVE.
SAN FRANCISCO, CA 94110
415.641.7320
levyaa.com



SCHMIDT - GRIFFIN RESIDENCE
1016 PIERCE ST.
SAN FRANCISCO, CA 94115
BLOCK #0754 LOT #011

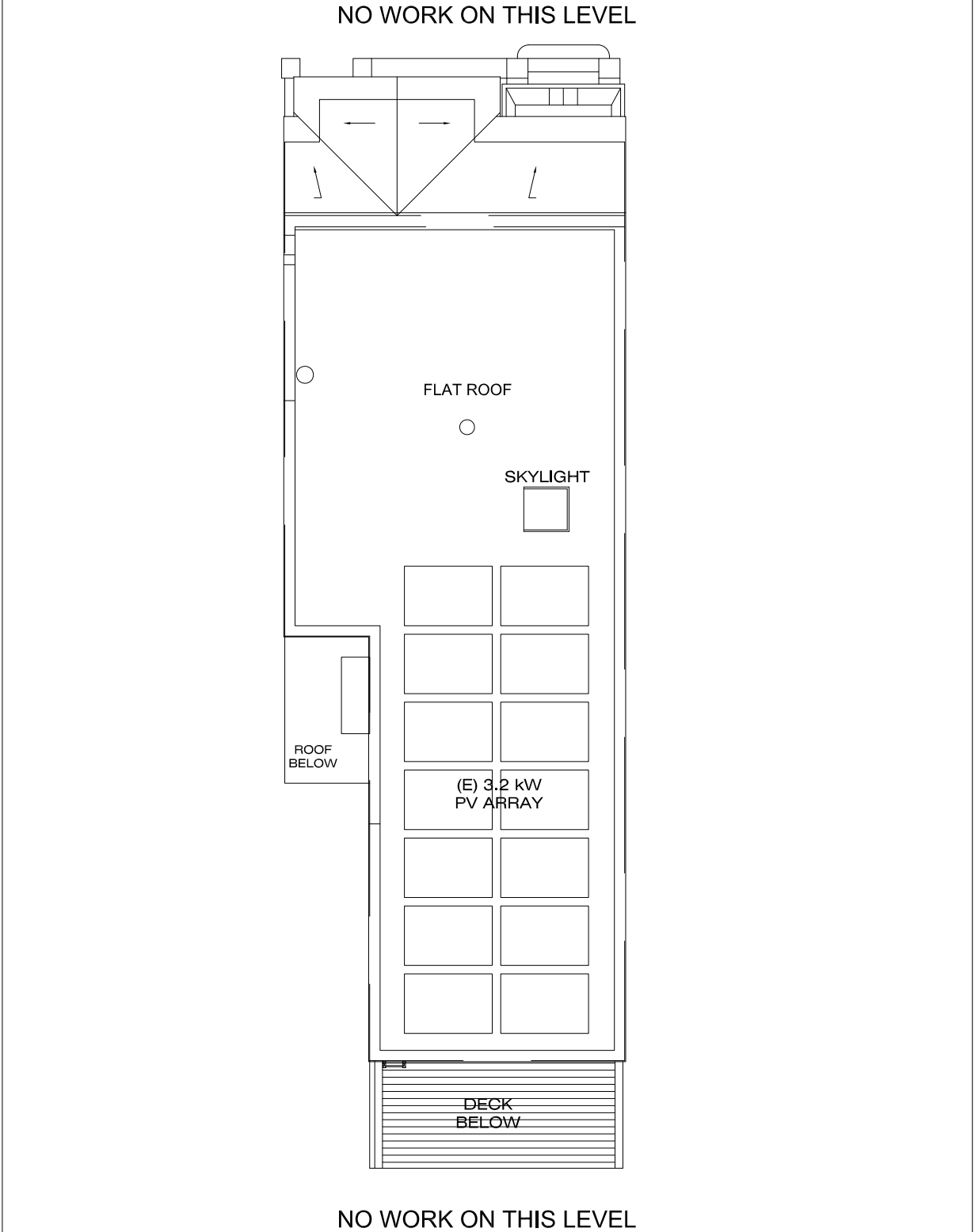
| | |
|-------------|----------------|
| Description | PROPOSED PLANS |
| Date: | 3.11.2020 |
| Scale: | AS NOTED |
| Drawn: | MA-BB |
| Job | SCHMIDT |
| Sheet | |

A3.1



PROPOSED 3RD FLOOR PLAN

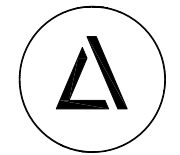
1/4" = 1'



PROPOSED ROOF PLAN

1/4" = 1'

| REVISIONS | BY |
|-----------|----|
| | |
| | |
| | |
| | |
| | |



LEVY
ART + ARCHITECTURE

2501 BRYANT AVE.
SAN FRANCISCO, CA 94110
415.641.7320
levyaa.com



SCHMIDT - GRIFFIN RESIDENCE
1016 PIERCE ST.
SAN FRANCISCO, CA 94115
BLOCK #0754 LOT #011

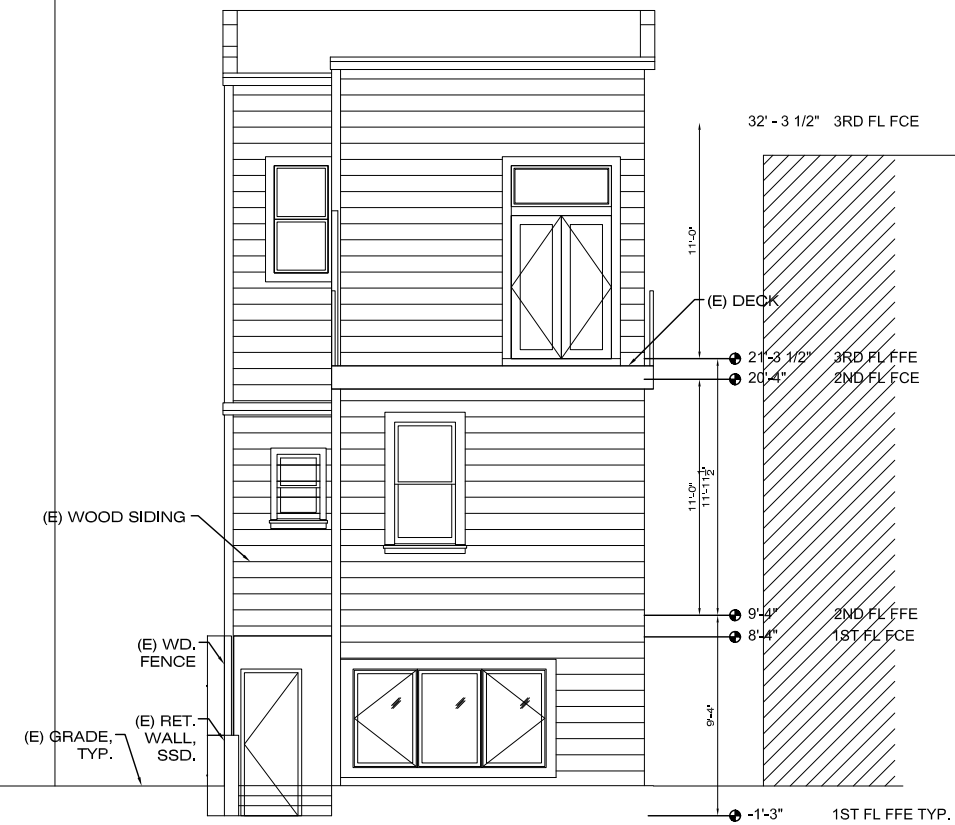
| | |
|-------------|----------------|
| Description | PROPOSED PLANS |
| Date: | 3.11.2020 |
| Scale: | AS NOTED |
| Drawn: | MA-BB |
| Job | SCHMIDT |
| Sheet | |

A3.2



EXISTING NORTH ELEVATION

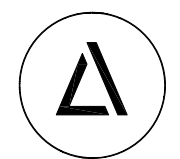
NO CHANGES



EXISTING EAST (REAR) ELEVATION

NO CHANGES

| REVISIONS | BY |
|-----------|----|
| | |
| | |
| | |
| | |
| | |



LEVY
ART + ARCHITECTURE

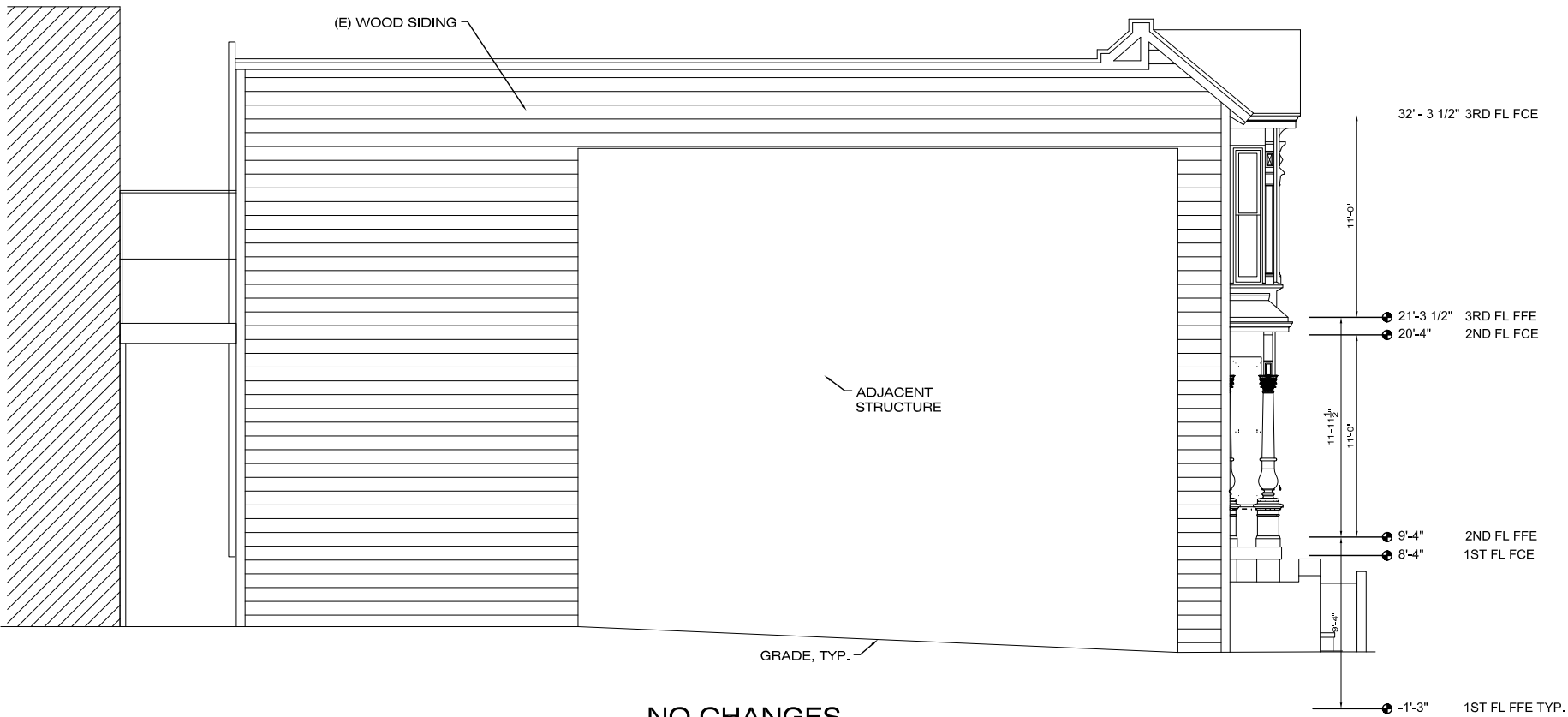
2501 BRYANT AVE.
SAN FRANCISCO, CA 94110
415.641.7320
levyaa.com



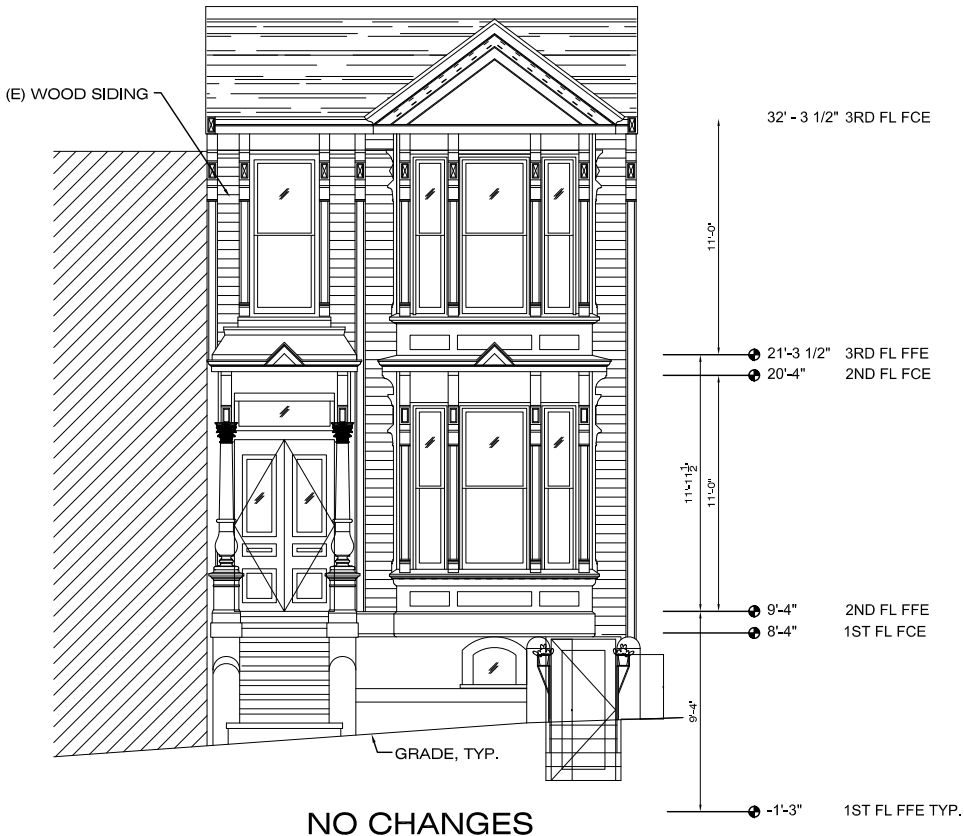
SCHMIDT - GRIFFIN RESIDENCE
1016 PIERCE ST.
SAN FRANCISCO, CA 94115
BLOCK #0754 LOT #011

| | |
|-------------|---------------------|
| Description | EXISTING ELEVATIONS |
| Date: | 3.11.2020 |
| Scale: | AS NOTED |
| Drawn: | MA-BB |
| Job | SCHMIDT |
| Sheet | |

A4.1

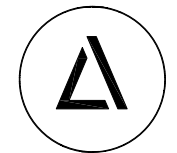


EXISTING SOUTH ELEVATION



EXISTING WEST (FRONT) ELEVATION

| REVISIONS | BY |
|-----------|----|
| | |
| | |
| | |
| | |
| | |



LEVY
ART + ARCHITECTURE

2501 BRYANT AVE.
SAN FRANCISCO, CA 94110
415.641.7320
levyaa.com



SCHMIDT - GRIFFIN RESIDENCE
1016 PIERCE ST.
SAN FRANCISCO, CA 94115
BLOCK #0754 LOT #011

| | |
|-------------|---------------------|
| Description | EXISTING ELEVATIONS |
| Date: | 3.11.2020 |
| Scale: | AS NOTED |
| Drawn: | MA-BB |
| Job | SCHMIDT |
| Sheet | |

A4.2

Exhibit C

**Copy of Approved 2014 Building Permit Plans
(showing pre-existing and authorized layout)**

This page intentionally left blank.

ABBREVIATIONS

| | |
|----------------------------|------------------------------|
| # - NUMBER OR POUND | ID - INSIDE DIAMETER |
| & - AND | IN - INCH |
| (B) - EXISTING | INSUL - INSULATION |
| @ - AT | INT - INTERIOR |
| +/- - PLUS OR MINUS | ISO - ISOLATION |
| < - LESS THAN | JAN - JANITOR |
| > - GREATER THAN | JB - JUNCTION BOX |
| AB - ANCHOR BOLT | JST - JOIST |
| ABV - ABOVE | JT - JOINT |
| AC - ASPHALTED CONCRETE | LAV - LAVATORY |
| AC - ACoustical CLG TILE | LB - POUND |
| AD - AREA DRAIN | LBS - POUNDS (WEIGHT) |
| ADD - ADDENDUM | LIN - LINEAR |
| ADDL - ADDITIONAL | LOC - LOCATION OR LOCATE |
| ADJ - ADJUSTABLE | LT - LIGHT |
| ADJ - ADJACENT | LTD - LIGHTING |
| ADMIN - ADMINISTRATION | M - MIDDLE |
| AFF - ABOVE FINISH FLOOR | MAN - MANUAL |
| ALT - ALTERNATE | MATL - MATERIAL |
| ALUM - ALUMINUM | MAX - MAXIMUM |
| AMEND - AMENDMENT | MECH - MECHANICAL |
| AP - ACCESS PANEL | MEMB - MEMBRANE |
| APPROX - APPROXIMATE | MEZZ - MEZZANINE |
| ARCH - ARCHITECT | MFR - MANUFACTURER |
| AUTO - AUTOMATIC | MIN - MINIMUM |
| BFE - BOTTOM FOOTING ELEV | MIR - MIRROR |
| BIT - BITUMINOUS | MISC - MISCELLANEOUS |
| BKT - BRACKET | MONO - MONOLITHIC |
| BLDG - BUILDING | MTD - MOUNTED |
| BLKS - BLOCKING | MTL - METAL |
| BLW - BELOW | MULL - MULLION |
| BM - BEAM | NA - NOT APPLICABLE |
| BO - BY OWNER | NIC - NOT IN CONTRACT |
| BOT - BOTTOM | NO - NUMBER |
| BSMT - BASEMENT | NOM - NOMINAL |
| BTWN - BETWEEN | NRC - NOISE REDUCTION COEF. |
| CAB - CABINET | NT - NOTE |
| CANTL - CANTILEVER | NTS - NOT TO SCALE |
| CCTV - CLOSED CIRCUIT TV | OC - ON CENTER |
| CJT - CONTROL JOINT | OD - OUTSIDE DIAMETER |
| CL - CENTER LINE | OFF - OFFICE |
| CLG - CEILING | OH - OVERHEAD |
| CLR - CLEAR | OPP - OPPOSITE |
| CO - CASED OPENING | PART - PARTITION |
| COL - COLUMN | PEDESTAL |
| CONC - CONCRETE | PL - PROPERTY LINE |
| CONF - CONFERENCE | PLAM - PLASTIC LAMINATE |
| CONSTR - CONSTRUCTION | PLT - PLATE |
| CONT - CONTINUOUS | PLWD - PLYWOOD |
| CONTR - CONTRACTOR | PRELIM - PRELIMINARY |
| COORD - COORDINATE | PRESS - PRESSURE |
| CPT - CARPET | PT - PAINT |
| CTK - CERAMIC TILE | PVC - POLYVINYL CHLORIDE |
| CW - COUNTER-SUNK/SINK | R - RADIUS |
| D - DEPTH OR DEEP | REC - RECESSED |
| DEG - DEGREES | REF - REFERENCE |
| DEMO - DEMOLITION | REFR - REFRIGERATOR |
| DEPT - DEPARTMENT | REG - REGISTER |
| DF - DRINKING FOUNTAIN | REIN - REINFORCE/ED-ING |
| DIA - DIAMETER | RET - RETAINING |
| DIAG - DIAGONAL | REV - REVISE/REVISION |
| DIM - DIMENSION | RM - ROOM HATCH |
| DIST - DISTRIBUTION | RO - ROOM |
| DN - DOWN | RO - ROUGH OPENING |
| DR - DOOR | RS - RISER |
| DS - DOWNSPOUT | RWL - RAIN WATER LEADER |
| DW - DISHWASHER | SCHED - SCHEDULE |
| DWG - DRAWING | SD - SHOWER DRAIN |
| EA - EACH | SECT - SECTION |
| EJ - EXPANSION JOINT | SECTY - SECRETARY |
| ELEC - ELECTRICAL | SF - SQUARE FOOT |
| ELEV - ELEVATION | SHT - SHEET |
| EMERG - EMERGENCY | SHTG - SHEATHING |
| EQ - EQUAL | SHWR - SHOWER |
| EQUIP - EQUIPMENT | SM - SIMILAR |
| EXT - EXTERIOR | SLNT - SEALANT |
| FA - FIRE ALARM | SM - SURFACE MOUNTED |
| FD - FLOOR DRAIN | SPEC - SPECIFICATIONS |
| FDN - FOUNDATION | SQ - SQUARE |
| FE - FIRE EXTINGUISHER | SS - STAINLESS STEEL |
| FI - FIRE HOSE | ST - STREET |
| FIN - FINISH | STO - SOUND TRANSMISSION |
| FLT - FLOOR | STD - STANDARD |
| FLASH - FLASHING | STL - STEEL |
| FLUOR - FLUORESCENT | STN - STONE |
| FRMG - FRAMING | STOR - STORAGE |
| FRN - FURNACE | STRUT - STRUCTURAL |
| FT - FOOT/FEET | SUPV - SUPERVISOR |
| FTG - FOOTING | SUSP - SUSPENDED |
| FURN - FURNITURE | SW - SWITCH |
| FURR - FURRING | SWD - SOFTWOOD |
| FUTR - FUTURE | SYM - SYMMETRICAL |
| GA - GAUGE | TAN - TANGENT |
| GAL - GALLONS | TEL - TELEPHONE |
| GALV - GALVANIZED | TEMP - TEMPERATURE |
| GB - GRAB BAR | TG - TONGUE & GROOVE |
| GEN - GENERAL | THRES - THRESHOLD |
| QL - GLASS | TR - TREAD |
| GRL - GUARD RAIL | TRANS - TRANSFORMER |
| QWB - GYPSUM WALL BOARD | TV - TELEVISION |
| H - HEIGHT/HIGH | TYP - TYPICAL |
| HB - HOSE BIB | UNO - UNLESS NOTED OTHERWISE |
| HO - HOLLOW CORE | UTIL - UTILITY |
| HODP - HANDICAP | VENT - VENTILATION |
| HDR - HEADER | VERT - VERTICAL |
| HDW - HARDWARE | VEST - VESTIBULE |
| HM - HOLLOW METAL | W - WIDTH/WIDE |
| HORIZ - HORIZONTAL | WI - WROUGHT IRON |
| HR - HANDRAIL | WO - WITHOUT |
| HT - HEIGHT | WC - WATER CLOSET |
| HTR - HEATER | WD - WOOD |
| HVAC - HEATING/VENTILATING | WH - WATER HEATER |
| HW - HOT WATER | WIN - WINDOW |
| HWD - HARDWOOD | WT - WEIGHT |
| | YD - YARD |

GENERAL NOTES

- GENERAL NOTES
1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF LOCAL BUILDING CODES, ZONING CODES, THE NATIONAL ELECTRICAL CODE, N.E.P.A., AND ALL OTHER APPLICABLE CODES, RULES, AND REGULATION IN THEIR LATEST ADDED EDITION. THE CONTRACTOR IS RESPONSIBLE TO ENFORCE THESE REQUIREMENTS WITH ALL SUBCONTRACTORS.
 2. THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE PROJECT AS IT RELATES TO THE PLANS AND SPECIFICATIONS AND ALL SCOPE OF WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPORT TO THE ARCHITECT ANY ERRORS, OMISSIONS OR DISCREPANCIES THAT MAY AFFECT THE WORK. THE ARCHITECT WILL PROVIDE APPROPRIATE CLARIFICATIONS AS NECESSARY. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE AT THE CONTRACTOR'S RISK AND BE REPLACED OR REPAIRED AT THE CONTRACTOR'S EXPENSE AS DIRECTED BY THE ARCHITECT.
 3. DETAILS ARE USUALLY KEPT ONCE ON THE PLANS OR ELEVATIONS, AND ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT.
 4. ALL WORK SHALL BE PROPERLY PROTECTED AT ALL TIMES. THE CONTRACTOR SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER THE WORK. HE SHALL REPAIR AT HIS OWN COST ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION.
 5. ALL PERMITS, INSPECTIONS, APPROVALS, ETC. SHALL BE APPLIED FOR AND PAID FOR BY THE CONTRACTOR. HE SHALL BE RESPONSIBLE FOR THE COORDINATION OF INSPECTIONS AND APPROVALS OF THE WORK.
 6. BEFORE COMMENCING WITH ANY WORK, THE CONTRACTOR SHALL SEND THE OWNER CURRENT INSURANCE CERTIFICATES IN THE AMOUNT REQUESTED BY THE OWNER FOR WORKMAN'S COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE.
 7. ALL SUBCONTRACTORS SHALL SUBMIT SHOP DRAWINGS TO THE CONTRACTOR FOR APPROVAL. THE CONTRACTOR SHALL SUBMIT ANY MATERIAL SUBSTITUTIONS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.
 8. ALL THERMAL AND ACOUSTIC INSULATION SHALL COMPLY WITH THE 1997 UNIFORM BUILDING CODE.
 9. THE ARCHITECT SHALL HAVE ACCESS TO THE PROJECT AT ALL TIMES. ANY INFERIOR MATERIAL OR WORKMANSHIP SHALL BE REMOVED AS DIRECTED BY THE ARCHITECT, AND RECONSTRUCTED TO MEET THE ARCHITECT'S APPROVAL.
 10. A COPY OF THE AGENCY APPROVED CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOB SITE AT ALL TIMES FOR REVIEW BY THE ARCHITECT.
 11. THE CONTRACTOR SHALL GUARANTEE IN WRITING ALL LABOR, MATERIAL, AND WORKMANSHIP INSTALLED BY HIM FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR AFTER DATE OF ACCEPTANCE OF THE WORK BY THE OWNER. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO COST TO THE OWNER.
 12. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES AND PROMPTLY CLEAN UNKEMPT AREAS WHEN DIRECTED BY THE OWNER OR THE ARCHITECT.
 13. ALL FURNITURE IS SHOWN FOR REFERENCE ONLY, U.N.O.
 14. COORDINATE THE TRADES, CRAFTS, AND SUBCONTRACTS AS REQUIRED TO PROVIDE CORRECT AND ACCURATE CONNECTION OF ABUTTING, ADJOINING, OVERLAPPING AND RELATED WORK. PROVIDE ANCHORS, FASTENERS, BLOCKING, ACCESSORIES, APPURTENANCES, CAULKING AND SEALING AND INCIDENTAL ITEMS AS REQUIRED TO COMPLETE THE WORK PROPERLY, FULLY, AND CORRECTLY IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 15. THE CONTRACTOR SHALL BE IN CHARGE OF THIS CONTRACT WITHIN THE LIMITS OF THE SITE AND ACCESS TO AND FROM THE SITE. HE SHALL DIRECT, SCHEDULE AND MONITOR THE WORK. FINAL RESPONSIBILITY FOR PERFORMANCE, INTERFACE AND COMPLETION OF THE WORK AND THE PROJECT SHALL BE THE CONTRACTOR'S.
 16. ALL MATERIALS AND FINISHES USED ON THE PROJECT SHALL BE NEW AND FREE OF DEFECTS OR DAMAGE, U.N.O.
 17. ITEMS OF EQUIPMENT, FIXTURES, SIZE, CAPACITY, MODEL, STYLE AND MATERIALS NOT DEFINITELY SPECIFIED HEREIN OR INDICATED ON THE DRAWINGS, BUT NECESSARY FOR THE COMPLETION OF THE WORK, SHALL BE PROVIDED. SUCH ITEMS SHALL MEET APPLICABLE CODE REQUIREMENTS AND BE THE TYPE AND QUALITY SUITABLE FOR THE SERVICE REQUIRED AND COMPARABLE TO ADJACENT OR SIMILAR ITEMS IN THE PROJECT. WHERE THESE ARE VISIBLE IN THE FINAL WORK, OBTAIN ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH THE WORK.
 18. DIMENSIONING STANDARDS:
A. HORIZONTAL DIMENSIONS ARE SHOWN FROM FACE OF WALL AND DO NOT INCLUDE FINISH MATERIALS, U.N.O.
B. DIMENSIONS NOTED AS CLEAR OR "CLR" MUST BE PRECISELY MAINTAINED AND SHALL INCLUDE APPLIED FINISH MATERIALS.
C. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ACCEPTANCE BY THE ARCHITECT, UNLESS NOTED AS +/-.
D. VERTICAL DIMENSIONS ARE FROM THE TOP OF THE FINISHED FLOOR SLAB DATUM LINE, ESTABLISHED BY THE CONTRACTOR SUBJECT TO THE ACCEPTANCE OF THE OWNER OR ARCHITECT, U.N.O.
E. DIMENSIONS MARKED AS "A.F.F." ARE ABOVE FINISHED FLOOR MATERIALS. IN CARPETED AREAS, THE TOP OF SLAB IS CONSIDERED TO BE THE FINISHED FLOOR.
F. DO NOT SCALE DRAWINGS, IF DIMENSIONS, LAYOUT, OR ITEMS OF WORK CANNOT BE LOCATED, DO NOT PROCEED WITH THE WORK WITHOUT THE CLARIFICATION AND CONSENT OF THE ARCHITECT.
 23. THE CONTRACTOR IS RESPONSIBLE FOR COOPERATING AND COORDINATING WITH OTHERS AS IT EFFECTS THE PROJECT.
 24. DRAWINGS AND SPECIFICATIONS ARE INTENDED FOR ASSISTANCE AND GUIDANCE, BUT EXACT DIMENSIONS AND CLEARANCES SHALL BE VERIFIED BY THE CONTRACTOR. CHECK LEVELS AND LINES INDICATED BEFORE COMMENCING WITH THE WORK. THE ARCHITECT SHOULD BE NOTIFIED OF ANY DISCREPANCIES FOR ADJUSTMENTS, CORRECTIONS OR CLARIFICATIONS.
 25. INSTALL WORK PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT. PERFORM ALL THE WORK IN A WORKMANLIKE AND WELL MANNER.
 26. DO NOT SUBSTITUTE, REVISE, OR CHANGE THE WORK WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 27. THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING FOR ALL WALL AND CEILING MOUNTED ACCESSORIES AND HARDWARE.
 28. THE CONTRACTOR SHALL PROVIDE SUBMITTALS FOR LIGHTING, PLUMBING, TILE, AND STONE TO THE ARCHITECT FOR REVIEW AND APPROVAL.

SHEET SYMBOLS

- DETAIL REFERENCE
- EXTERIOR ELEVATIONS
- INTERIOR ELEVATIONS
- BUILDING/ WALL SECTION
- ROOM DESCRIPTION
- PARTITION TYPE
- ENLARGED REFERENCE
- WINDOW TYPE
- REVISION
- DOOR NUMBER
- ELEVATION ABOVE DATUM
- SHEET NOTE
- KEY NOTE
- GRID LINES
- FLOOR FINISH
- LEVEL CHANGE
- POINT OF EGRESS

LEGEND

- WALL TO REMAIN
- WALL TO BE DEMOLISHED
- NEW WALL
- DOOR TO REMAIN
- DOOR TO BE REMOVED
- NEW DOOR OPENING
- WINDOW TO REMAIN
- WINDOW TO BE REMOVED
- NEW WINDOW OPENING

APPLICABLE CODES

PROJECT SHALL COMPLY WITH 2013 CBC, CMC, CEC, CPC AS AMENDED BY THE CITY OF SAN FRANCISCO

PROJECT SHALL COMPLY WITH 2012 TITLE 24 ENERGY REQUIREMENTS AND ALL MANDATORY MEASURES

PROJECT INFO.

| | |
|--------------------|---|
| PROJECT ADDRESS | 1016 PIERCE STREET SAN FRANCISCO, CA 94115 |
| ASSESSORS PARCEL # | BLOCK 0754 / LOT 011 |
| OCCUPANCY/ZONING | R-3 / RM-3 |
| CONSTRUCTION TYPE | V-B |

INDEX

- ARCHITECTURAL
- A0.0 - GENERAL NOTES / INDEX
- A2.1 - EXISTING/DEMOLITION FLOOR PLANS
- A2.2 - PROPOSED FIRST & SECOND FLOOR PLANS AND DOOR & WINDOW SCHEDULES
- A3.1 - REFLECTED CEILING PLANS
- A4.1 - EXISTING EXTERIOR ELEVATIONS
- A4.2 - PROPOSED EXTERIOR ELEVATIONS
- A4.3 - EXISTING & PROPOSED SECTIONS
- AEN-1 - TITLE 24 CALCULATIONS
- AEN-2 - TITLE 24 CALCULATIONS
- A0.0 - GREEN BUILDING CHECKLIST
- STRUCTURAL
- S1 - GENERAL NOTES & TYPICAL DETAILS
- S2 - FOUNDATION PLAN & STRUCTURAL DETAILS
- S3 - SECOND & THIRD FLOOR FRAMING PLAN
- S4 - STRUCTURAL DETAILS

CONTACT INFO.

ARCHITECT
BOOR BRIDGES ARCHITECTURE, INC.
921 LARKIN STREET
SAN FRANCISCO, CA 94109
BECKY LAM: (415) 241-7160 x106

OWNER
JENNIFER GRIFFIN & COLIN SCHMIDT
1016 PIERCE STREET
SAN FRANCISCO, CA 94115
JENNIFER GRIFFIN: (415) 377-6519

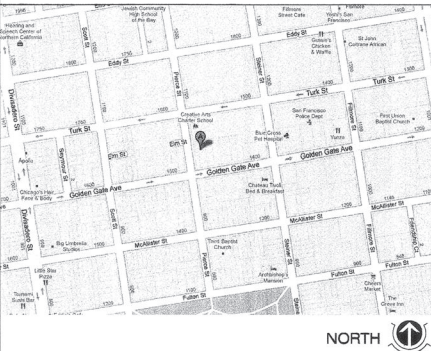
CONTRACTOR

STRUCTURAL ENGINEER
DOUBLE D ENGINEERING
72 OTIS STREET
SAN FRANCISCO, CA 94103
(415) 551-5150

SCOPE OF WORK

- FOUNDATION REPLACEMENT
- REMODEL 1ST (GROUND) FLOOR
- NEW INTERNAL STAIRCASE FROM 1ST (GROUND) FLOOR TO 2ND FLOOR
- REMODEL BATHROOM ON 2ND FLOOR
- NO CHANGE IN OCCUPANCY; NO CHANGES ON 3RD FLOOR; NO CHANGES TO ROOF
- MINOR SIDEWALK ENCROACHMENT @ (E) 1ST FLOOR ENTRY

VICINITY MAP

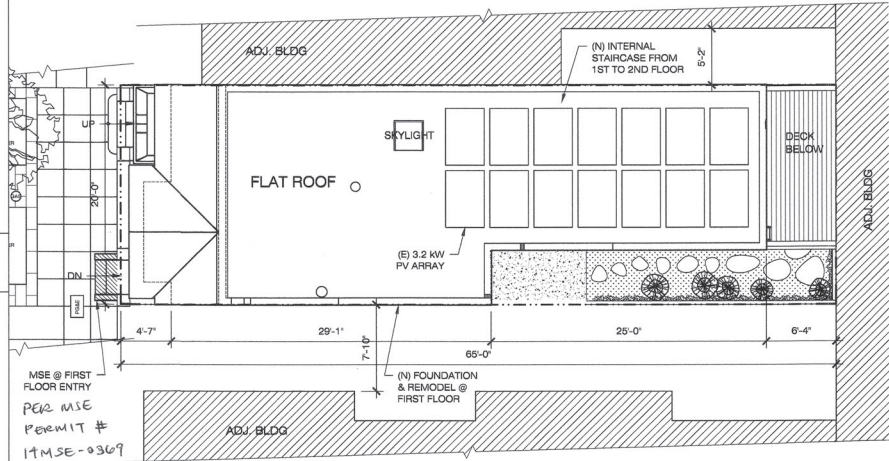


Pierce Ground Floor

1016 Pierce Street

San Francisco, CA 94115

2014/08/11 Building Permit Set



1 SITE PLAN & ROOF PLAN
1/8" = 1'-0"

David Pang, DBI
SEP 18 2014

APPROVED
Dept. of Building Insp.

NOV 5 - 2014

Tom C. Hui, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

ATTACHED
SPECIAL INSPECTIONS AND
TESTS ARE REQUIRED AS PER
BUILDING CODE SECTION 1701

RECEIVED

AUG 15 2014

DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
ACCEPTED

DPW/BSM SIGN OFF ON JOB CARD
REQUIRED PRIOR TO DBI FINAL
CALL 554-7149 TO SCHEDULE

SUBJECT TO ALL CONDITIONS OF DPW/BSM:
Minor Encroachment Permit: 14MSE-0369
Street Improvement Permit:
Inspection Conformity:
Special Sidewalk Permit:
Other:

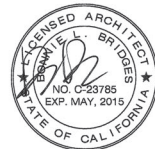
By: Grace Lau 11/5/14
Grace Lau, DPW/BSM

APPROVED
PER PLANS AND APPLICATION
S. Calogianone 8/14/14
CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW
Class 1

Jeff Lai, DBI
SEP 30 2014

BOOR
BRIDGES
ARCHITECTURE

MAIL 921 Larkin Street
San Francisco, CA 94109
TEL 415 241 7160
FAX 415 241 7164
WWW boorbridges.com



ISSUE
2014/08/11 Building Permit Set

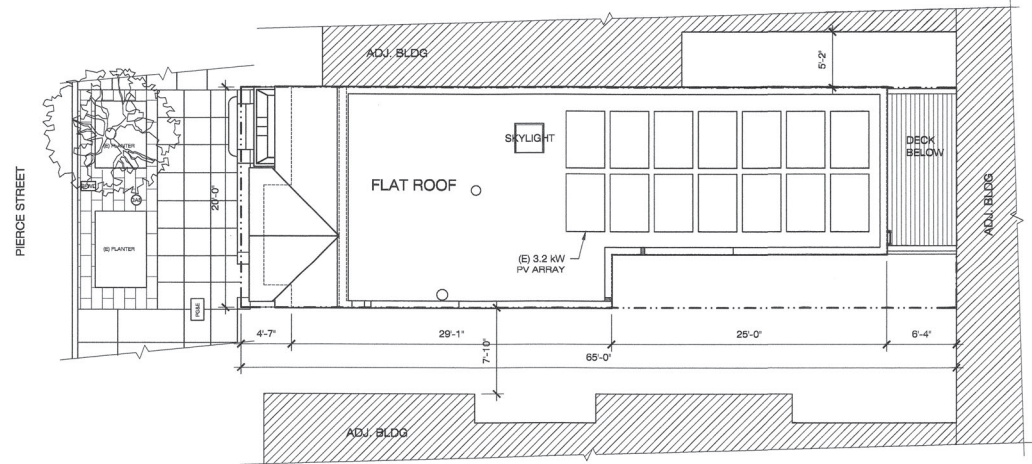
PROJECT Pierce Ground Floor
1016 Pierce Street
San Francisco, CA 94115

NUMBER 201419

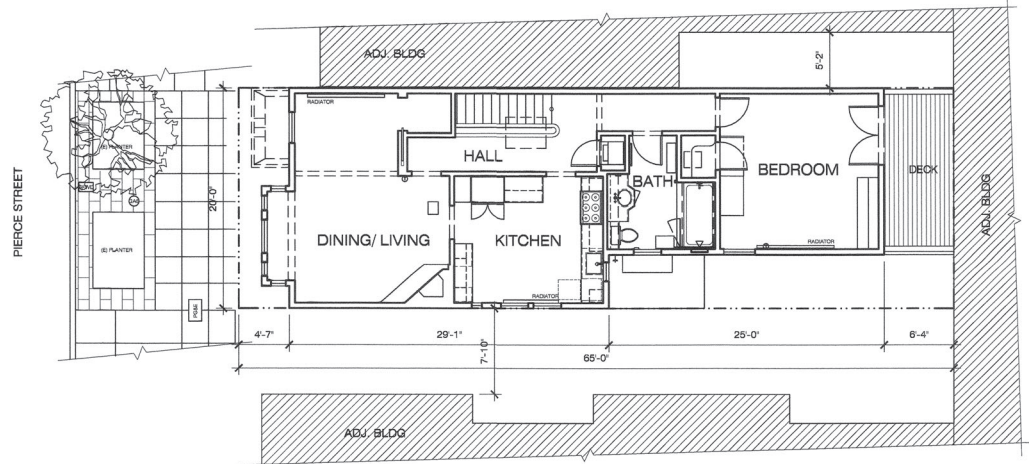
CONTACT Bonnie Bridges - 415 241 7161

Ao.o

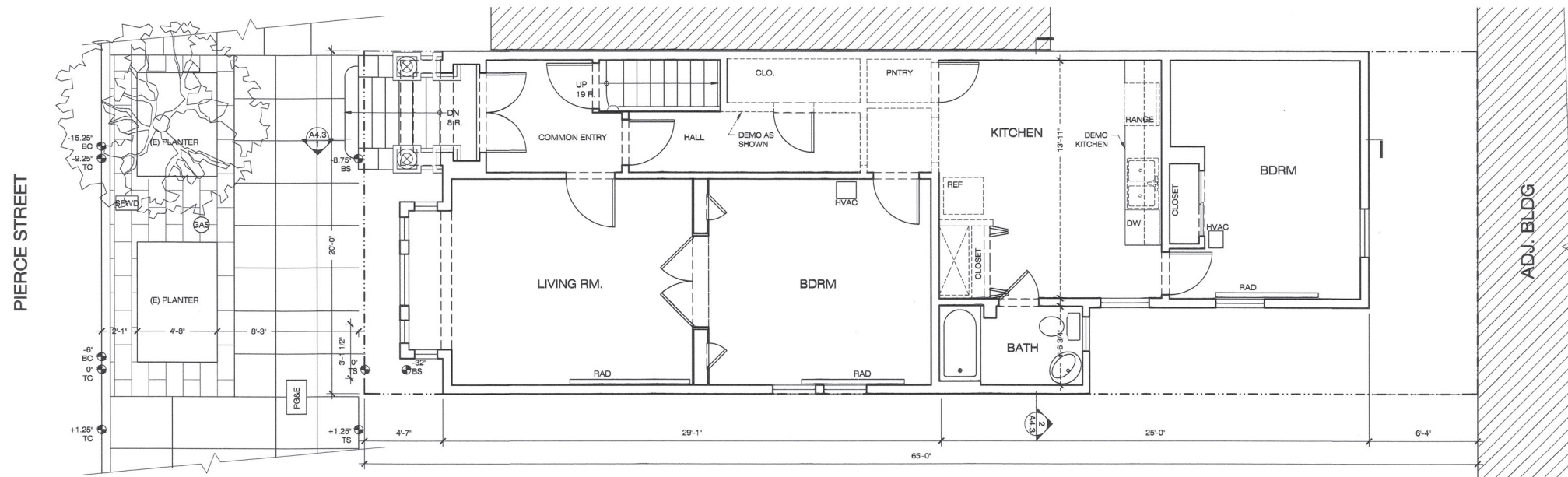
8/14/2014 Z:\Projects\2014\19-Pierce Ground Floor\Drawings\A2.1 - (E) FLOOR PLANS.dwg BECKY LAM



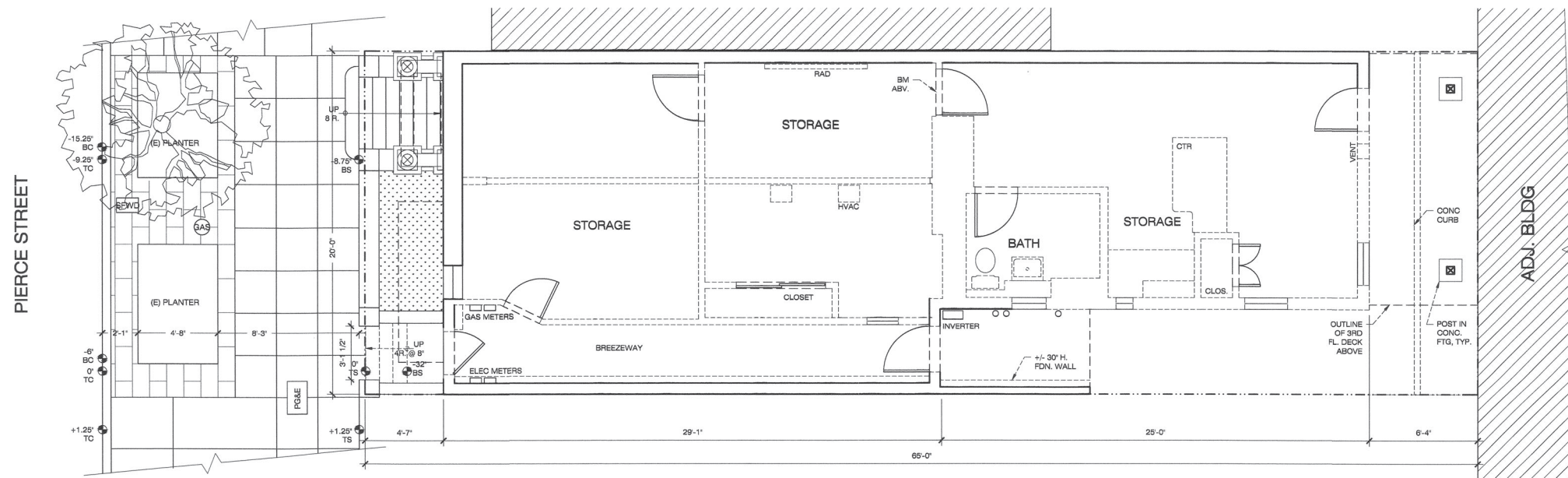
4 ROOF PLAN: NO CHANGE; FOR REFERENCE ONLY
1/8" = 1'-0"



3 3RD FLOOR PLAN: NO CHANGE; FOR REFERENCE ONLY
1/8" = 1'-0"



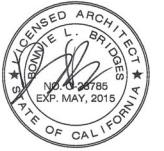
2 2ND FLOOR PLAN: EXISTING/DEMOLITION
1/4" = 1'-0"



1 1ST FLOOR PLAN: EXISTING/DEMOLITION
1/4" = 1'-0"

BOOR BRIDGES ARCHITECTURE

MAIL 921 Larkin Street
San Francisco, CA 94109
TEL 415 241 7160
FAX 415 241 7164
WWW boorbridges.com



APPROVED
Dept. of Building Insp.
NOV 5 - 2014
TOM C. HUI
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

RECEIVED
AUG 15 2014
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
ACCEPTED

David Pang, DBI
SEP 18 2014

APPROVED
PER PLANS AND APPLICATION
SIC 8/15/14
PLANNING DEPARTMENT

ISSUE
2014/08/11 Building Permit Set

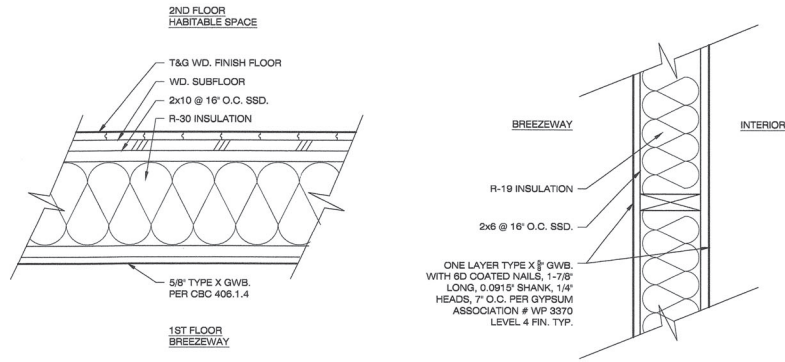
All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used, or disclosed without written consent of the Architect.
© 2013 Boor Bridges Architecture, Inc.

PROJECT Pierce Ground Floor
1016 Pierce Street
San Francisco, CA 94115

NUMBER 201419
CONTACT Bonnie Bridges - 415 241 7161

FLOOR PLANS:
EXISTING / DEMOLITION

A2.1

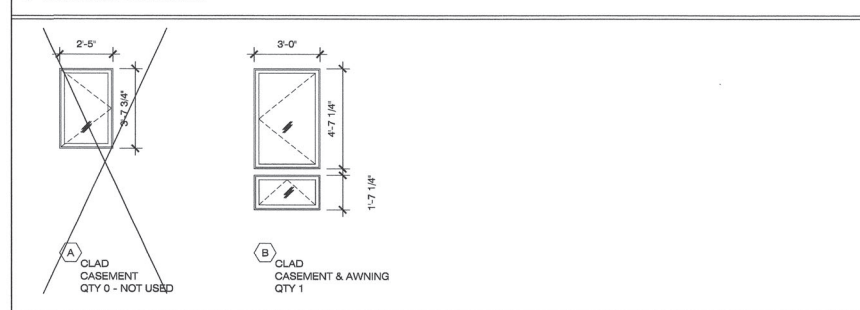


4 1-HR FIRE-RATED CEILING DETAIL
1-1/2" = 1'-0"

3 1-HR FIRE-RATED WALL DETAIL
1-1/2" = 1'-0"

WINDOW SCHEDULE

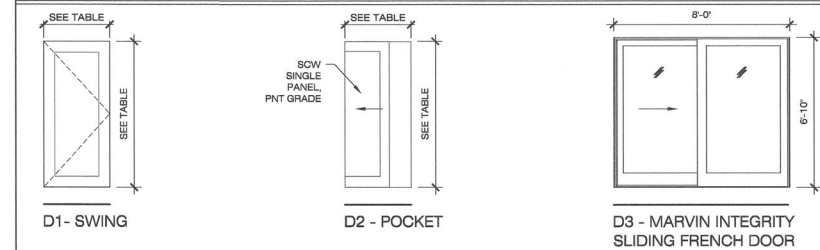
WINDOW NOTES:
1. DIMENSIONS ARE WINDOW SIZES; CONTRACTOR TO VERIFY ROUGH OPENING.
2. WINDOWS MARKED "CLAD" ARE MARVIN INTEGRITY - STD. SIZES; STONE WHITE EXTERIOR, PRIMED INTERIOR, LOW E GLAZING (U.N.O.), SATIN NICKEL WINDOW HARDWARE FINISH; STD. SASH LOCK.
3. HEAD HEIGHT PER ELEVATIONS



DOOR SCHEDULE

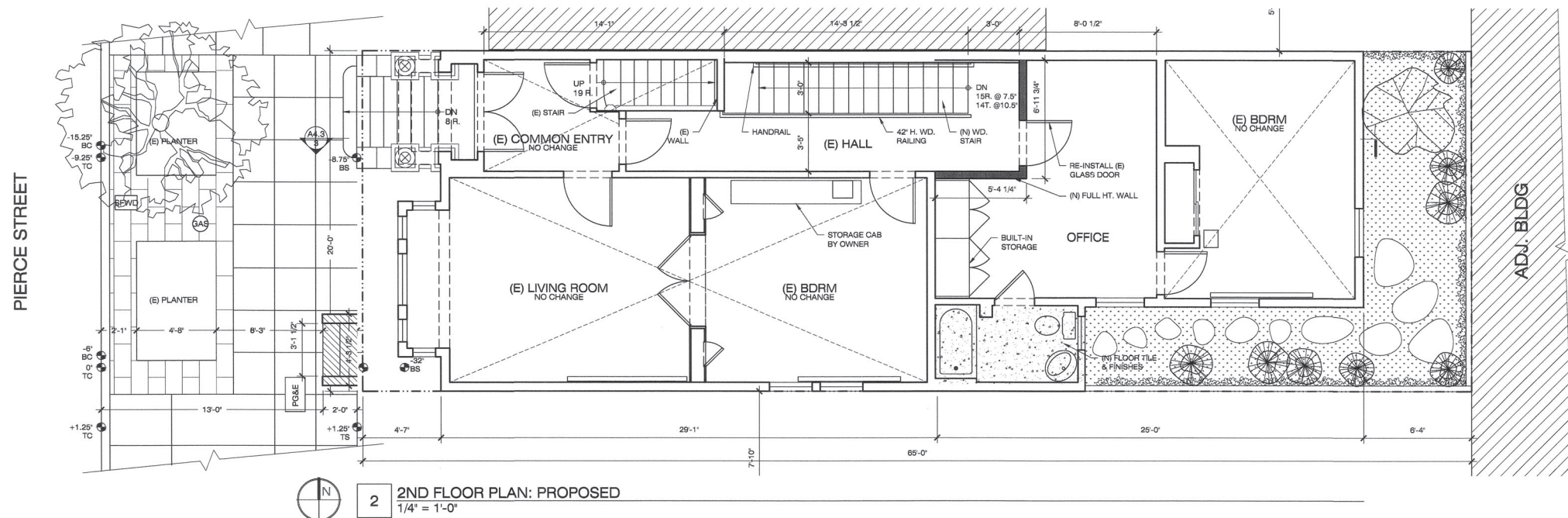
| OPENING | | DOOR TYPE | | | | FRAME TYPE | | | | HARDWARE | | |
|-------------|-----------|-----------|-------------|--------|------|------------------|--|--|--|----------|-----|------------------------------|
| No. | SIZE | FIRE | TYPE THICK. | MATRL. | FIN. | TYPE MATRL. FIN. | | | | GRP. | KEY | NOTES |
| FIRST FLOOR | | | | | | | | | | | | |
| 101A | 36" X 78" | NR | D1 | 1-3/4" | SCW | | | | | EMTEK | | |
| 101B | 30" X 80" | NR | D1 | 1-3/8" | SCW | | | | | EMTEK | | |
| 102A | 34" X 80" | 20MIN | D1 | 1-3/4" | SCW | | | | | EMTEK | | |
| 103A | 34" X 80" | 20MIN | D1 | 1-3/4" | SCW | | | | | EMTEK | | |
| 103B | 34" X 80" | NR | D1 | 1-3/8" | SCW | | | | | EMTEK | | |
| 104A | 30" X 80" | NR | D1 | 1-3/8" | SCW | | | | | EMTEK | | |
| 105A | 36" X 80" | 20MIN | D1 | 1-3/4" | SCW | | | | | EMTEK | | |
| 105B | 32" X 80" | NR | D2 | 1-3/8" | SCW | | | | | EMTEK | | |
| 105C | 50" X 80" | NR | D2 | 1-3/8" | SCW | | | | | EMTEK | | |
| 107A | 30" X 80" | NR | D2 | 1-3/8" | SCW | | | | | EMTEK | | |
| 109A | 96" X 82" | NR | D3 | GLWD | | | | | | EMTEK | | MARVIN INTEGRITY ISFD8068 XO |
| 109B | 96" X 82" | NR | D3 | GLWD | | | | | | EMTEK | | MARVIN INTEGRITY ISFD8068 OX |

DOOR TYPES

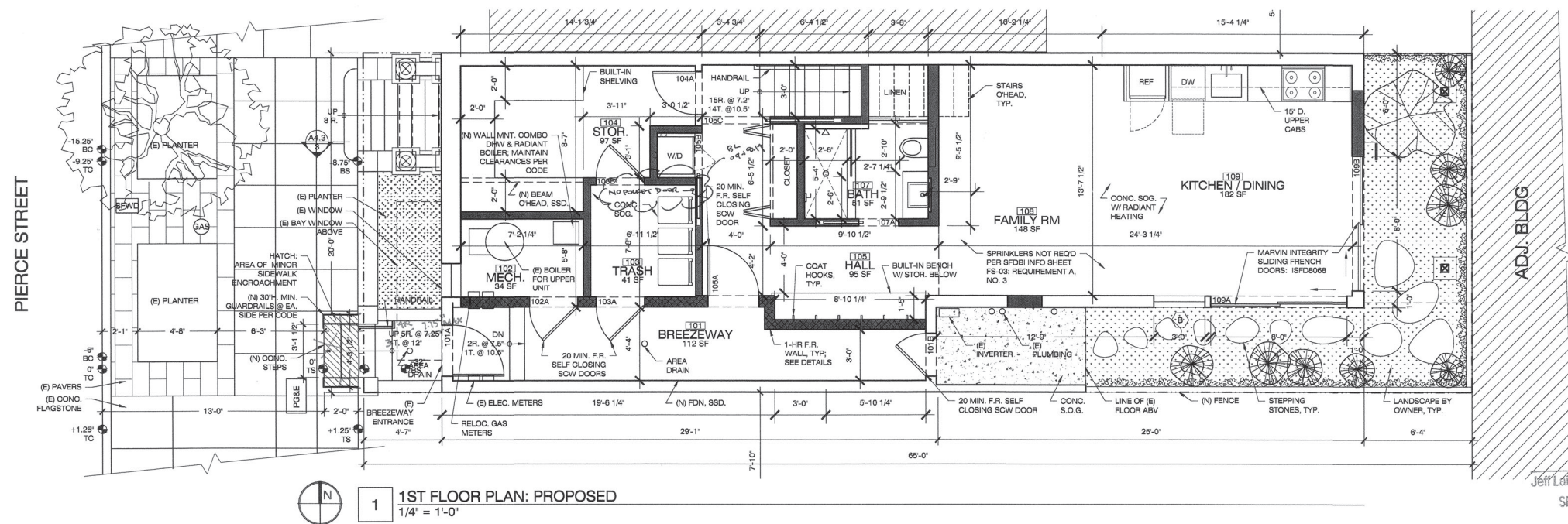


NOTES

1. CONTRACTOR TO VERIFY FRAME DIMENSION AND ROUGH OPENING SIZE PRIOR TO ORDERING AND INSTALLATION.



2 2ND FLOOR PLAN: PROPOSED
1/4" = 1'-0"



1 1ST FLOOR PLAN: PROPOSED
1/4" = 1'-0"

APPROVED
Dept. of Building Insp.
NOV 5 - 2014
TOM C. HULS
DIRECTOR
DEPT. OF BUILDING INSPECTION

David Pang, DBI
SEP 18 2014

RECEIVED
SEP 18 2014
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR IMAGING
ACCEPTED

APPROVED
PER PLANS AND APPLICATION
SEP 18 2014
PLANNING DEPARTMENT

**BOOR
BRIDGES**
ARCHITECTURE

MAIL 921 Larkin Street
San Francisco, CA 94109
TEL 415 241 7160
FAX 415 241 7164
WWW boorbridges.com



ISSUE
2014/08/11 Building Permit Set

All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used, or disclosed without written consent of the Architect.
© 2013 Boor Bridges Architecture, Inc.

PROJECT **Pierce Ground Floor**
1016 Pierce Street
San Francisco, CA 94115

NUMBER 201419

CONTACT Bonnie Bridges - 415 241 7161

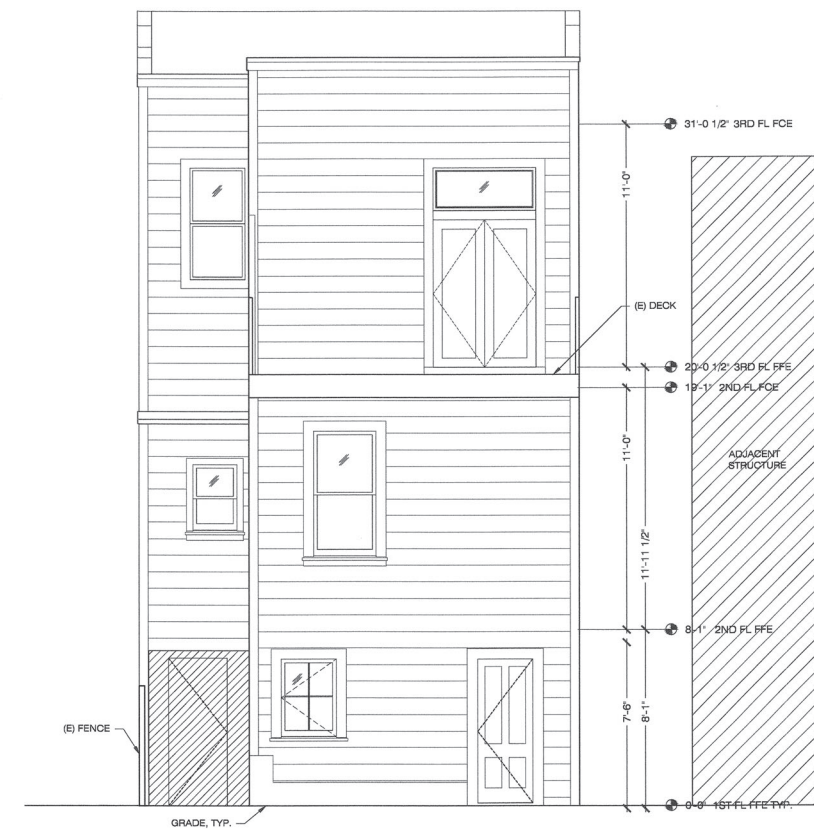
1ST & 2ND FLOOR PLANS:
PROPOSED

A2.2

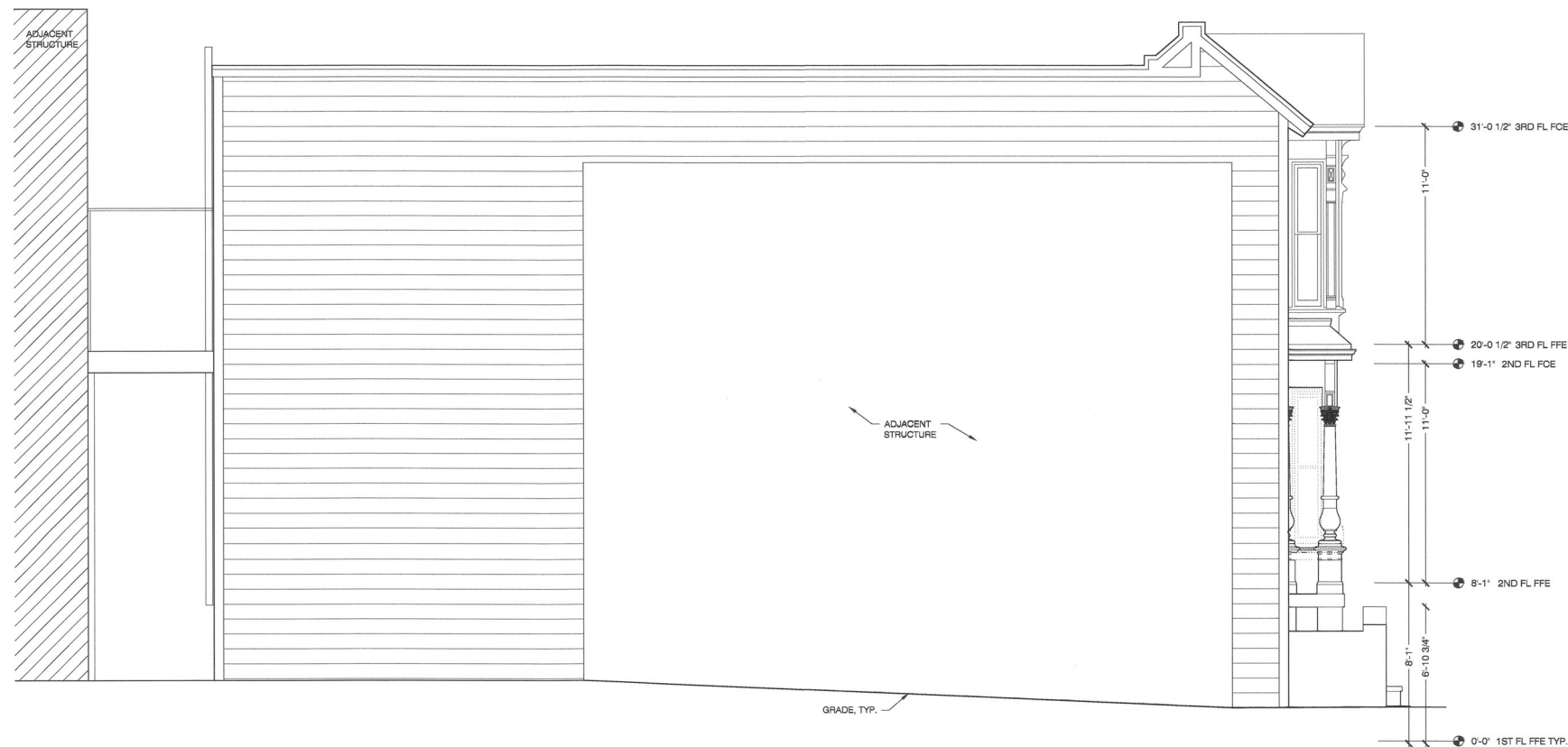
8/14/2014 Z:\Projects\2014\19-Pierce Ground Floor\Drawings\A4.1 - (E) EXT ELEVATIONS.dwg BECKY LAM



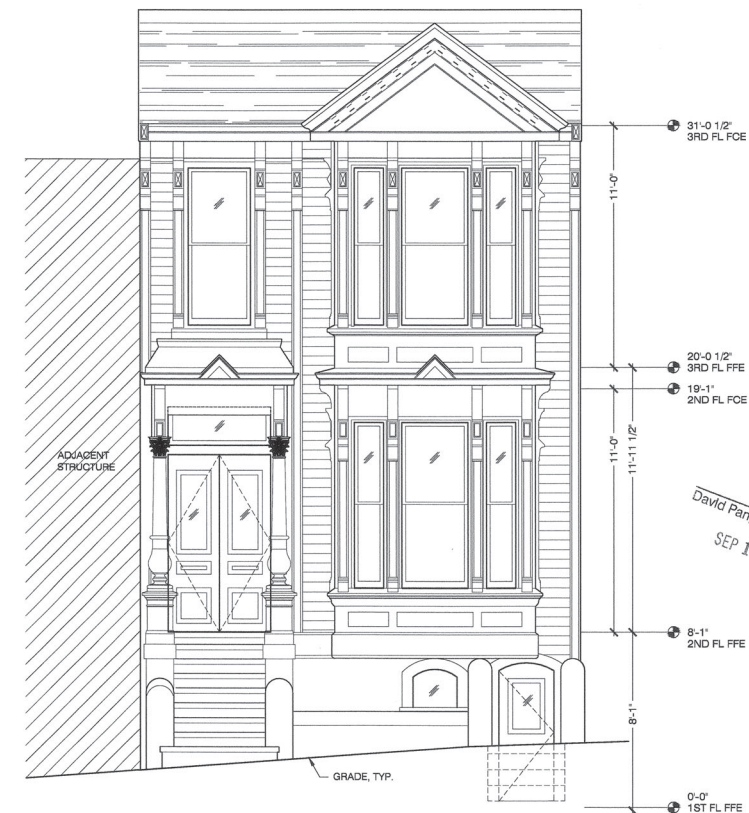
1 EXISTING NORTH ELEVATION
1/4" = 1'-0"



2 EXISTING EAST (REAR) ELEVATION
1/4" = 1'-0"



3 EXISTING SOUTH ELEVATION
1/4" = 1'-0"



4 EXISTING WEST (FRONT) ELEVATION
1/4" = 1'-0"

**BOOR
BRIDGES**
ARCHITECTURE

MAIL 921 Larkin Street
San Francisco, CA 94109
TEL 415 241 7160
FAX 415 241 7164
WWW boorbridges.com



NOT FOR CONSTRUCTION

APPROVED
Dept. of Building Insp.
NOV 5 - 2014
Tom C. Hui
DIRECTOR
DEPT. OF BUILDING INSPECTION

RECEIVED
AUG 15 2014
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
ACCEPTED

ISSUE
2014/08/11 Building Permit Set

PROJECT **Pierce Ground Floor**
1016 Pierce Street
San Francisco, CA 94115

NUMBER 201419
CONTACT Bonnie Bridges - 415 241 7161

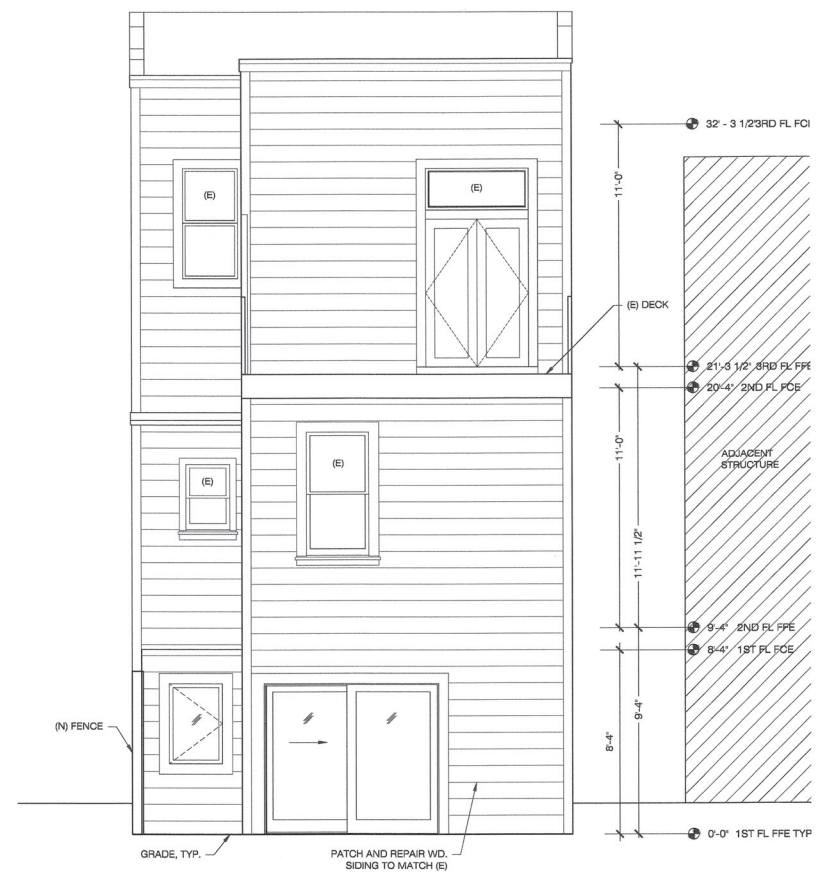
EXTERIOR ELEVATIONS:
EXISTING

A4.1

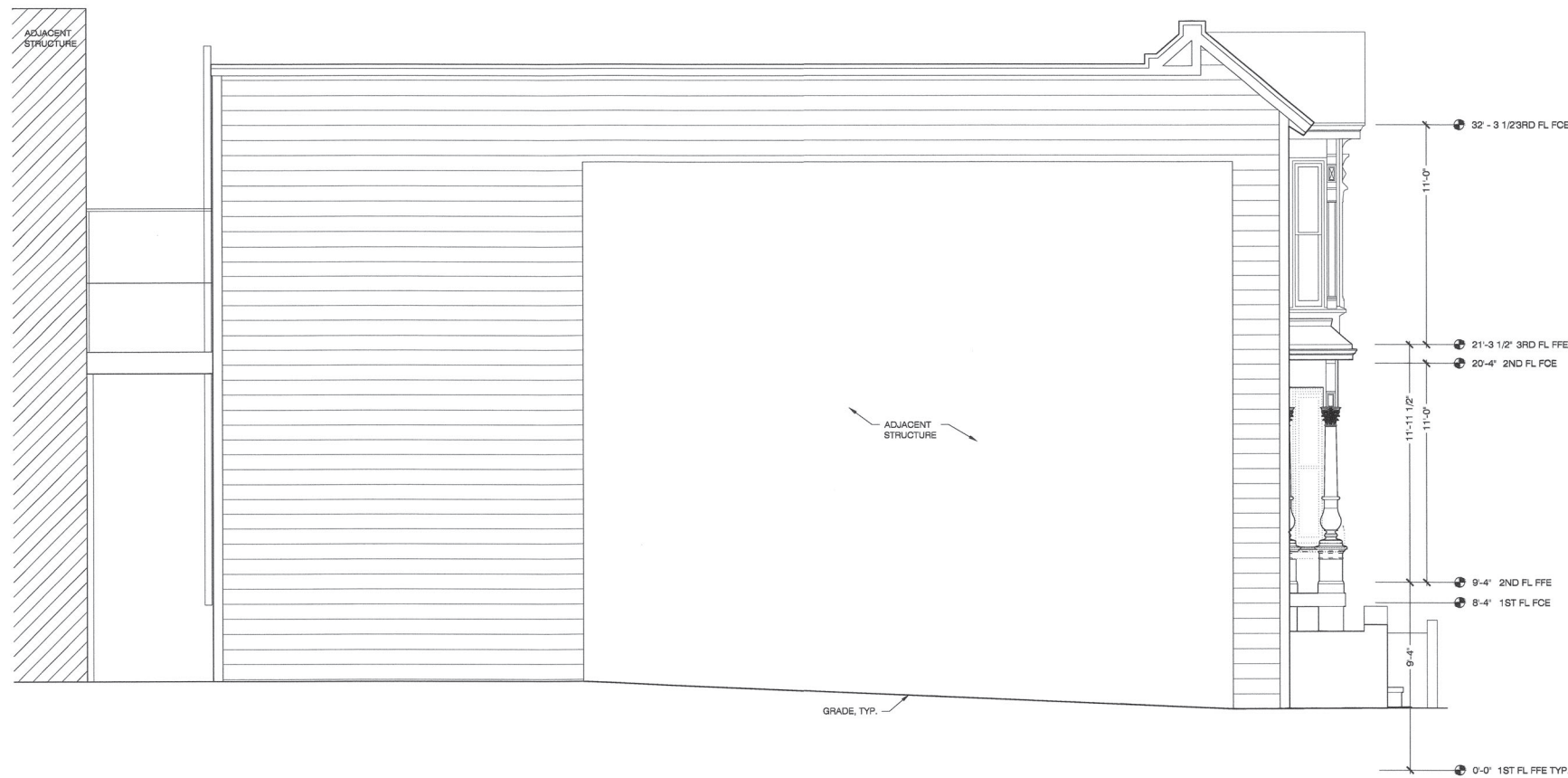
8/14/2014 Z:\Projects\2014\Pierce Ground Floor\Drawings\A4.2 - (N) EXT ELEVATIONS.dwg BECKY LAM



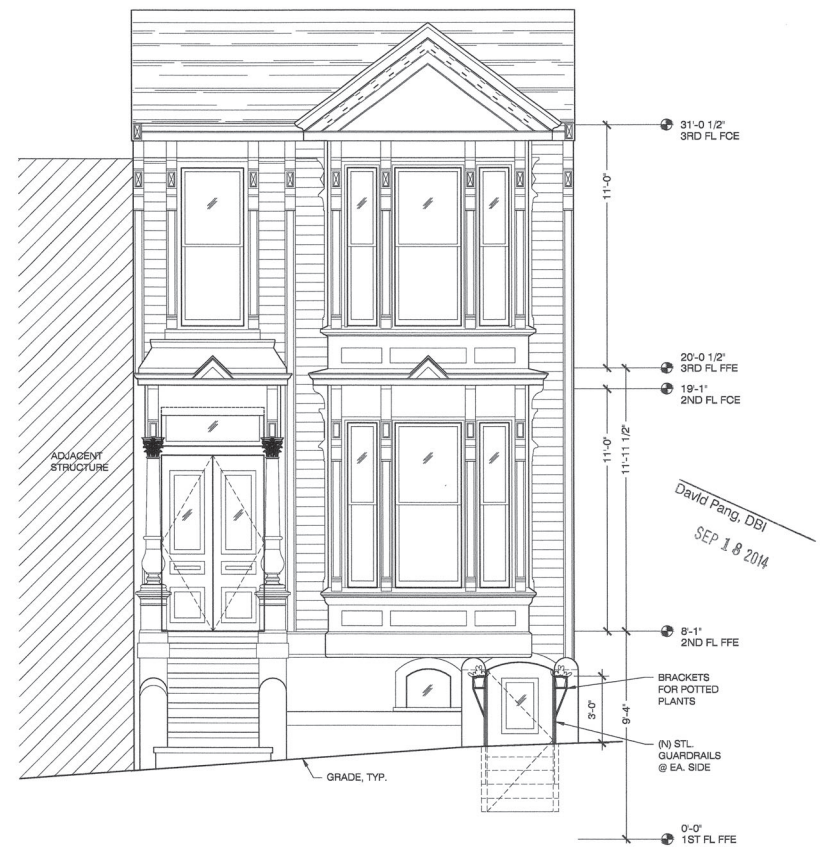
1 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



2 PROPOSED EAST (REAR) ELEVATION
1/4" = 1'-0"



3 PROPOSED SOUTH ELEVATION - NO CHANGE; FOR REFERENCE ONLY
1/4" = 1'-0"



Jeff Lai, DBI
SEP 3 0 2014

4 PROPOSED WEST (FRONT) ELEVATION
1/4" = 1'-0"

**BOOR
BRIDGES**
ARCHITECTURE

MAIL 921 Larkin Street
San Francisco, CA 94109
TEL 415 241 7160
FAX 415 241 7164
WWW boorbridges.com



NOT FOR CONSTRUCTION

APPROVED
Dept. of Building Insp.
NOV 5 - 2014
Tom C. Hill, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

RECEIVED
AUG 15 2014
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
ACCEPTED

ISSUE
2014/08/11 Building Permit Set

David Pang, DBI
SEP 18 2014

All drawings and written material appearing herein
constitute original and unpublished work of the
architect and may not be duplicated, used, or
disclosed without written consent of the Architect.
© 2013 Boor Bridges Architecture, Inc.

PROJECT **Pierce Ground Floor**
1016 Pierce Street
San Francisco, CA 94115

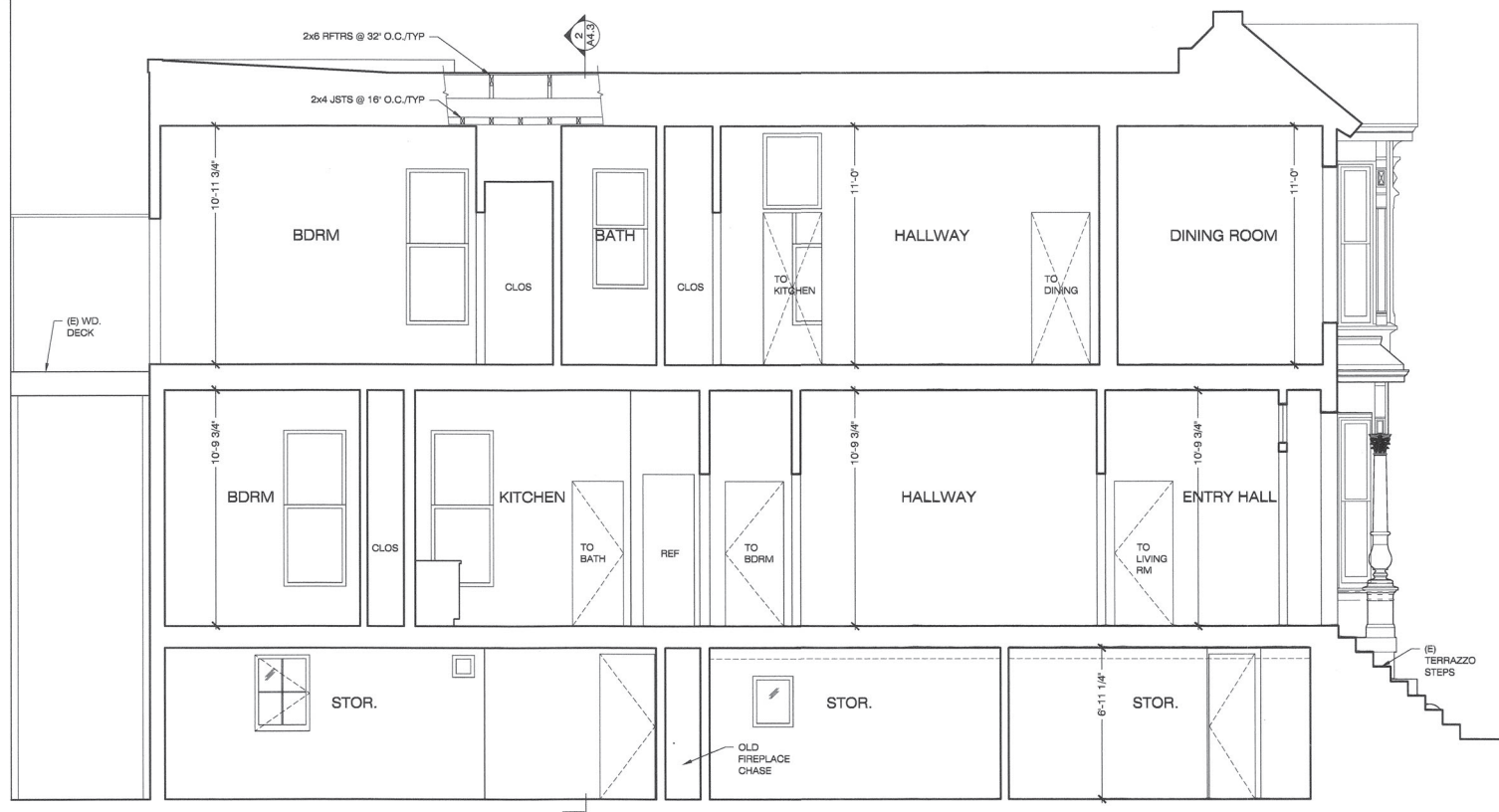
NUMBER 201419

CONTACT Bonnie Bridges - 415 241 7161

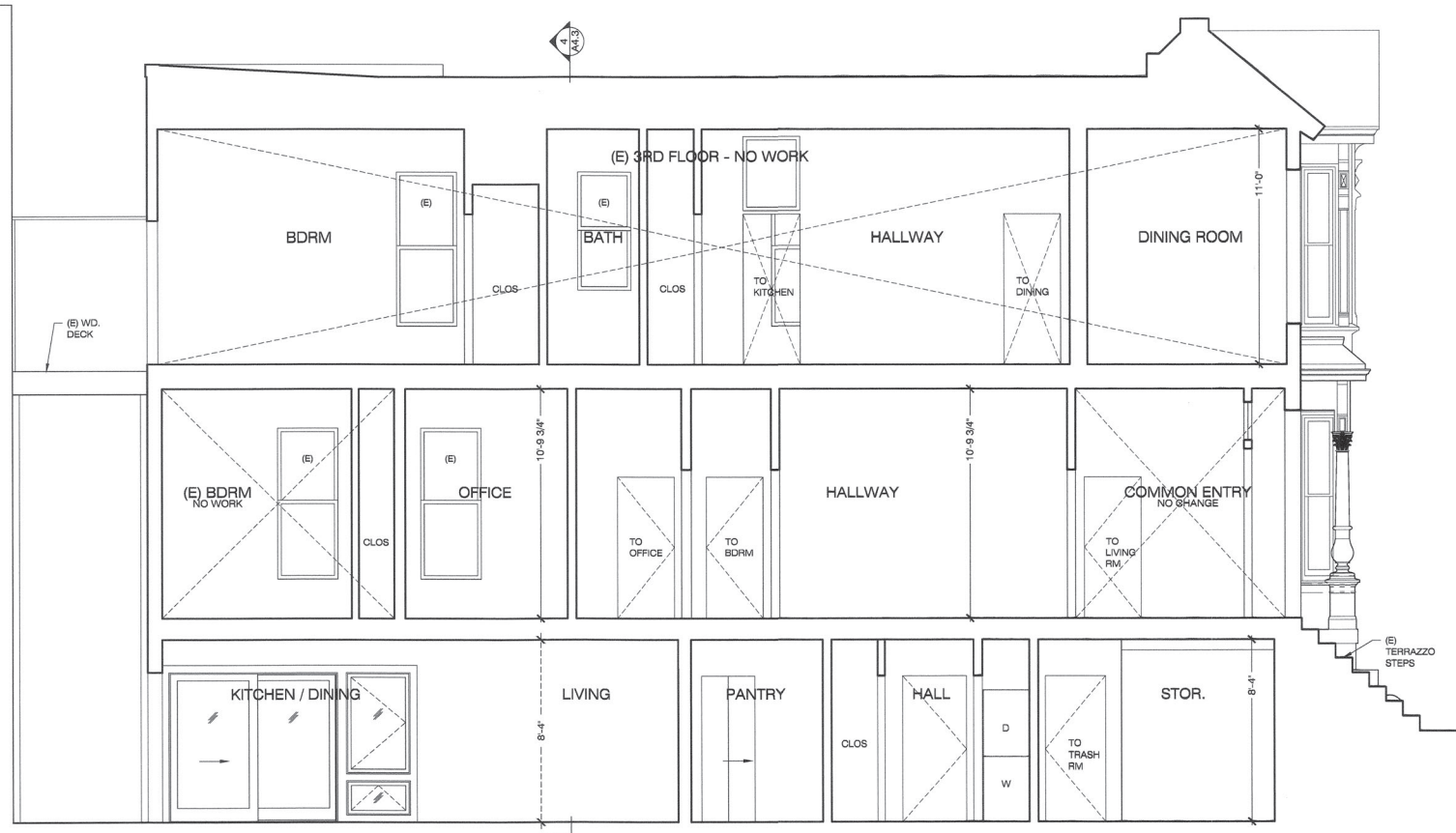
EXTERIOR ELEVATIONS:
PROPOSED

A4.2

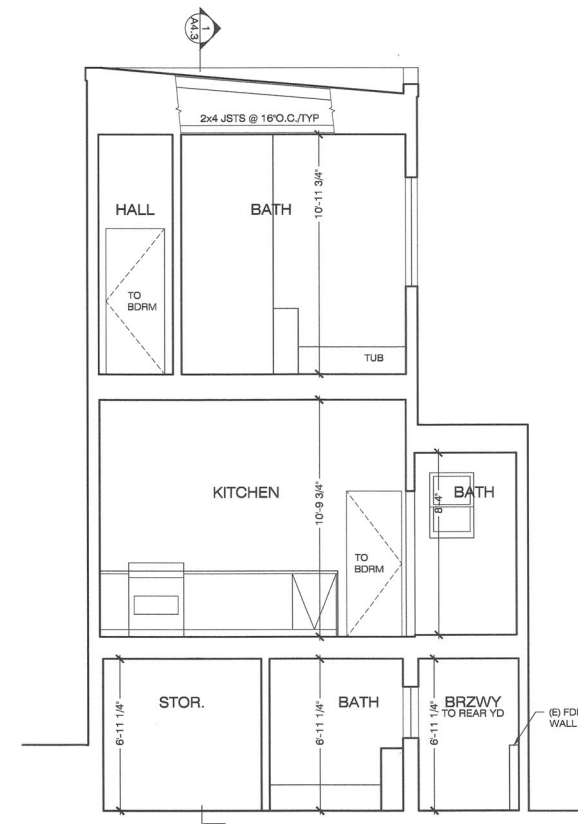
8/14/2014, Z:\Projects\2014\19-Pierce Ground Floor\Drawings\A4.3 - (E) & (N) SECTIONS.dwg BECKY LAM



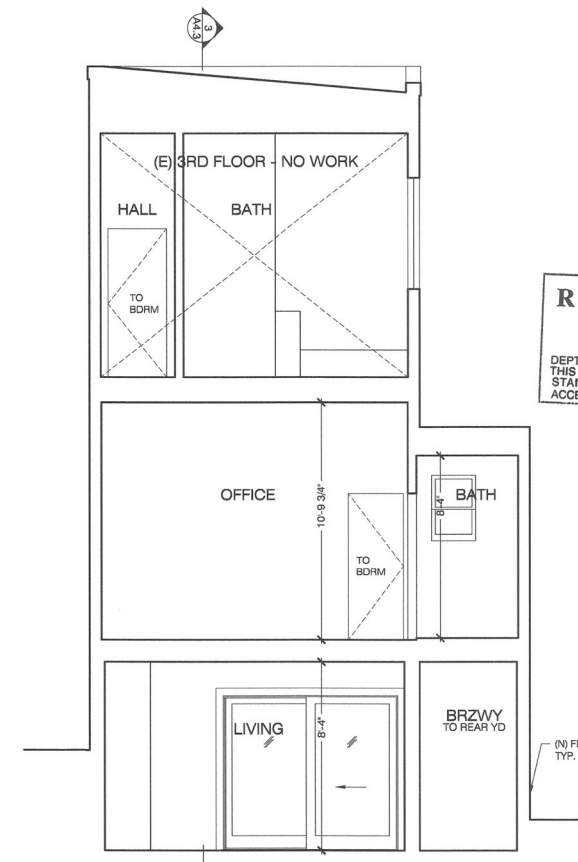
1 EXISTING SECTION LOOKING SOUTH
1/4" = 1'-0"



3 PROPOSED SECTION LOOKING SOUTH
1/4" = 1'-0"



2 EXISTING SECTION LOOKING EAST
1/4" = 1'-0"



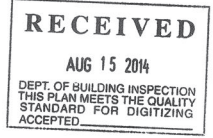
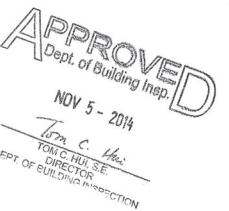
4 PROPOSED SECTION LOOKING EAST
1/4" = 1'-0"

BOOR BRIDGES ARCHITECTURE

MAIL 921 Larkin Street
San Francisco, CA 94109
TEL 415 241 7160
FAX 415 241 7164
WWW boorbridges.com



NOT FOR CONSTRUCTION



David Pang, DBI
SEP 18 2014

| | | |
|-------|------------|---------------------|
| ISSUE | 2014/08/11 | Building Permit Set |
| | | |
| | | |
| | | |
| | | |

All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used, or disclosed without written consent of the Architect.
© 2013 Boor Bridges Architecture, Inc.

PROJECT **Pierce Ground Floor**
1016 Pierce Street
San Francisco, CA 94115

NUMBER 201419
CONTACT Bonnie Bridges - 415 241 7161

SECTIONS: EXISTING
& PROPOSED

A4.3

Exhibit D

PROJECT AND LAND USE TABLES

| | | Existing | Proposed |
|------------------|--|----------|----------|
| General Land Use | Parking GSF | 0 | 0 |
| | Residential GSF | 2045 | 2045 |
| | Retail/Commercial GSF | | |
| | Office GSF | | |
| | Industrial-PDR | | |
| | Medical GSF | | |
| | Visitor GSF | | |
| | CIE (Cultural, Institutional, Educational) | | |
| | Useable Open Space GSF | 254 | 254 |
| | Public Open Space GSF | | |

| | | | |
|------------------|------------------------------|---|---|
| Project Features | Dwelling Units - Affordable | | |
| | Dwelling Units - Market Rate | 2 | 1 |
| | Dwelling Units - Total | 2 | 1 |
| | Hotel Rooms | | |
| | Number of Building(s) | 1 | 1 |
| | Number of Stories | 3 | 3 |
| | Parking Spaces | 0 | 0 |
| | Loading Spaces | | |
| | Bicycle Spaces | 0 | 0 |
| | Car Share Spaces | 0 | 0 |
| | Other: _____ | | |

| | | | |
|------------------------|--|---|-------------------|
| Land Use - Residential | Studio Units | 0 | |
| | One Bedroom Units | 2 | 0 |
| | Two Bedroom Units | 0 | 0 |
| | Three Bedroom (or +) Units | 0 | 1 |
| | Group Housing - Rooms | | |
| | Group Housing - Beds | | |
| | SRO Units | | |
| | Micro Units | | |
| | Accessory Dwelling Units For ADUs, list all ADUs and include unit type (e.g. studio, 1 bedroom, 2 bedroom, etc.) and the square footage area for each unit. | 0 | 1 Studio 546sq ft |

Exhibit E



DWELLING UNIT REMOVAL: MERGER, CONVERSION OR DEMOLITION

SUPPLEMENTAL APPLICATION

Property Information

Project Address: 1016 Pierce Street

Block/Lot(s): 0754011

Project Details

| UNITS | EXISTING: | PROPOSED: | NET CHANGE: |
|--------------------------------|-----------|-----------|-------------|
| Owner-occupied Units: | 2 | 1 | -1 |
| Rental Units: | 0 | 1 | +1 |
| Total Units: | 2 | 2 | 0 |
| Units subject to Rent Control: | 0 | 1 | +1 |
| Vacant Units: | | | |

| BEDROOMS | EXISTING: | PROPOSED: | NET CHANGE: |
|-----------------------------------|-----------|-----------|-------------|
| Owner-occupied Bedrooms: | 2 | 3 | 0 |
| Rental Bedrooms: | 0 | 1 | +1 |
| Total Bedrooms: | 2 | 4 | +1 |
| Bedrooms subject to Rent Control: | 0 | 1 | +1 |

Unit Specific Information

| | UNIT NO. | NO. OF BEDROOMS | GSF | OCCUPANCY | ADDITIONAL CRITERIA (check all that apply) |
|----------|----------|-----------------|-----|--|---|
| EXISTING | a | 1 | | <input checked="" type="checkbox"/> OWNER OCCUPIED <input type="checkbox"/> RENTAL | <input type="checkbox"/> ELLIS ACT <input type="checkbox"/> VACANT <input type="checkbox"/> RENT CONTROL |
| PROPOSED | | 2 | | <input type="checkbox"/> OWNER OCCUPIED <input type="checkbox"/> RENTAL | |
| EXISTING | b | 1 | | <input checked="" type="checkbox"/> OWNER OCCUPIED <input type="checkbox"/> RENTAL | <input type="checkbox"/> ELLIS ACT <input type="checkbox"/> VACANT <input type="checkbox"/> RENT CONTROL |
| PROPOSED | | 1 | | <input type="checkbox"/> OWNER OCCUPIED <input type="checkbox"/> RENTAL | |
| EXISTING | | | | <input type="checkbox"/> OWNER OCCUPIED <input type="checkbox"/> RENTAL | ELLIS ACT <input type="checkbox"/> VACANT <input type="checkbox"/> RENT CONTROL |
| PROPOSED | c | 1 | | <input type="checkbox"/> OWNER OCCUPIED <input checked="" type="checkbox"/> RENTAL | |

RESIDENTIAL MERGER

(SUPPLEMENTAL INFORMATION)

Pursuant to Planning Code Section 317(c), any application that would result in the removal of one or more residential units or unauthorized units is required to obtain a Conditional Use Authorization. In addition to filing a Conditional Use Authorization application, this Dwelling Unit Removal application, along with responses to the specific conditional use criteria listed below, as described in Planning Code Section 317(g)(2), must be submitted to the Planning Department.

Please note that pursuant to Planning Code Section 317(g)(2), the Planning Commission shall not approve an application for residential merger if any tenant has been evicted pursuant to Administrative Code Sections 37.9(a)(9) through 37.9(a)(14) where the tenant was served with a notice of eviction after December 10, 2013 if the notice was served within 10 years prior to filing the application for merger. Additionally, the Planning Commission shall not approve an application for residential merger if any tenant has been evicted pursuant to Administrative Code Section 37.9(a)(8) where the tenant was served with a notice of eviction after December 10, 2013 if the notice was served within five (5) years prior to filing the application for merger.

Please answer the following questions to determine how the project does or does not meet the Planning Code requirements:

| DWELLING UNIT MERGER CRITERIA: | | YES | NO |
|--------------------------------|--|-------------------------------------|-------------------------------------|
| 1 | Does the removal of the unit(s) eliminate only owner-occupied housing? If yes, for how long was the unit(s) proposed for removal owner-occupied? _____ months or years (check one) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2 | Is the removal of the unit(s) and the merger with another intended for owner occupancy? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3 | Will the removal of the unit(s) remove an affordable housing unit as defined in Section 401 of the Planning Code or housing subject to the Rent Stabilization and Arbitration Ordinance? If yes, will replacement housing be provided which is equal or greater in size, number of bedrooms, affordability, and suitability to households with children to the units being removed? <input type="checkbox"/> YES <input type="checkbox"/> NO | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4 | If the unit(s) proposed for removal was occupied by a tenant or tenants, please specify the date of when it was last occupied: Prior to 2005 _____ | | |
| 5 | Will the number of bedrooms provided in the merged unit be equal to or greater than the number of bedrooms in the separate units? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6 | Is the removal of the unit(s) necessary to correct design or functional deficiencies that cannot be corrected through interior alterations? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 7 | If the merger does not involve an unauthorized unit, what is the appraised value of the least expensive unit to be merged? Unappraised _____ Please include an attachment of the appraisal dated within six months of filing this application. | | |

RESIDENTIAL CONVERSION (SUPPLEMENTAL INFORMATION)

Pursuant to Planning Code Section 317(g) (3), the conversion of residential dwelling units to a non-residential use is required to obtain a Conditional Use Authorization.

In reviewing proposals for the conversion of residential dwelling units to other forms of occupancy, the Planning Commission will review the criteria below.

Please answer the following questions to inform the Planning Commission as to how the project does or does not meet the following criteria:

| DWELLING UNIT CONVERSION CRITERIA: | | YES | NO |
|------------------------------------|--|-------------------------------------|-------------------------------------|
| 1 | <p>Will the conversion of the unit(s) eliminate only owner occupied housing?</p> <p>If yes, for how long was the unit(s) proposed for removal owner-occupied?</p> <p>15 _____ months or years (check one)</p> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2 | <p>Will the conversion of the unit(s) provide desirable new non-residential use(s) appropriate for the neighborhood and adjoining district(s)?</p> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3 | <p>Is the property located in a district where Residential Uses are not permitted?</p> <p>If yes, will the Residential Conversion bring the building closer into conformance with the uses permitted in the zoning distirt?</p> <p><input type="checkbox"/> YES <input type="checkbox"/> NO</p> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4 | <p>Will the conversion of the unit(s) be detrimental to the City's housing stock?</p> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5 | <p>Is the conversion of the unit(s) necessary to eliminate design, functional, or habitability deficiencies that cannot otherwise be corrected?</p> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6 | <p>Will the Residential Conversion remove Affordable Housing, or unit(s) subject to the Rent Stabilization and Arbitration Ordinance?</p> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

DWELLING UNIT DEMOLITION (SUPPLEMENTAL INFORMATION)

Pursuant to Planning Code Section 317(d), residential demolition is subject to a Conditional Use Authorization or will qualify for administrative approval.

Administrative approval only applies to:

- (1) single-family dwellings in RH-1 and RH-1(D) Districts proposed for Demolition that are not affordable or financially accessible housing (valued by a credible appraisal dated within the past six months to be greater than 80% of combined land and structure value of single-family homes in San Francisco); **OR**
- (2) residential buildings of two units or fewer that are found to be unsound housing.

Please see the Department's website under Publications for "Dwelling Unit Removal: Current Numerical Values" and the "Zoning Controls on Dwelling Unit Removal Implementation" documents..

The Planning Commission will consider the following criteria in the review of residential demolitions Please answer the following questions to inform the Planning Commission as to how the project does or does not meet the following criteria, as described in Planning Code Section 317(g)(5):

| EXISTING VALUE AND SOUNDNESS | | YES | NO |
|------------------------------|---|--------------------------|--------------------------|
| 1 | Is the value of the existing land and structure of the single-family dwelling affordable or financially accessible housing (below the 80% average price of single-family homes in San Francisco, as determined by a credible appraisal within six months)? If no, submittal of a credible appraisal dated within the past six months is required with the application or if administrative approval (as outlined above) is being sought. | <input type="checkbox"/> | <input type="checkbox"/> |
| 2 | Has the housing been found to be unsound at the 50% threshold (applicable to one- and two-family dwellings)? | <input type="checkbox"/> | <input type="checkbox"/> |
| 3 | Is the property free of a history of serious, continuing code violations? | <input type="checkbox"/> | <input type="checkbox"/> |
| 4 | Has the housing been maintained in a decent, safe, and sanitary condition? | <input type="checkbox"/> | <input type="checkbox"/> |
| 5 | Is the property a <i>historical resource</i> under CEQA? | <input type="checkbox"/> | <input type="checkbox"/> |
| RENTAL PROTECTION | | YES | NO |
| 6 | Does the Project convert rental housing to other forms of tenure or occupancy? | <input type="checkbox"/> | <input type="checkbox"/> |
| 7 | Does the Project remove rental units subject to the Rent Stabilization and Arbitration Ordinance or affordable housing? | <input type="checkbox"/> | <input type="checkbox"/> |
| PRIORITY POLICIES | | YES | NO |
| 8 | Does the Project conserve existing housing to preserve cultural and economic neighborhood diversity? | <input type="checkbox"/> | <input type="checkbox"/> |
| 9 | Does the Project conserve neighborhood character to preserve neighborhood cultural and economic diversity? | <input type="checkbox"/> | <input type="checkbox"/> |
| 10 | Does the Project protect the relative affordability of existing housing? | <input type="checkbox"/> | <input type="checkbox"/> |
| 11 | Does the Project increase the number of permanently affordable units as governed by Section 415? | <input type="checkbox"/> | <input type="checkbox"/> |

RESIDENTIAL DEMOLITION

(SUPPLEMENTAL INFORMATION CONTINUED)

| REPLACEMENT STRUCTURE | | YES | NO |
|-----------------------|---|--------------------------|--------------------------|
| 12 | Does the Project locate in-fill housing on appropriate sites in established neighborhoods? | <input type="checkbox"/> | <input type="checkbox"/> |
| 13 | Does the Project increase the number of family-sized units on-site? | <input type="checkbox"/> | <input type="checkbox"/> |
| 14 | Does the Project create new supportive housing? | <input type="checkbox"/> | <input type="checkbox"/> |
| 15 | Is the Project of superb architectural and urban design, meeting all relevant design guidelines, to enhance the existing neighborhood character? | <input type="checkbox"/> | <input type="checkbox"/> |
| 16 | Does the Project increase the number of on-site dwelling units? | <input type="checkbox"/> | <input type="checkbox"/> |
| 17 | Does the Project increase the number of on-site bedrooms? | <input type="checkbox"/> | <input type="checkbox"/> |
| 18 | Does the Project maximize density on the subject lot? | <input type="checkbox"/> | <input type="checkbox"/> |
| 19 | If the building is not subject to Rent Stabilization and Arbitration Ordinance or affordable housing, will the Project replace all of the exiting units with new dwelling units of similar size and with the same number of bedrooms? | <input type="checkbox"/> | <input type="checkbox"/> |

REMOVAL OF UNAUTHORIZED UNIT(S) (SUPPLEMENTAL INFORMATION)

The Planning Commission will consider the following criteria in the review of applications for removal of unauthorized units, pursuant to Planning Code Section 317 (g)(6). Please fill out answers to the criteria below:

| DWELLING UNIT REMOVAL OF UNAUTHORIZED UNIT(S) CRITERIA: | | YES | NO |
|---|--|--------------------------|--------------------------|
| 1 | Is it financially feasible to legalize the unauthorized unit(s)? If no, please provide the cost to legalize the unauthorized unit(s) _____ | <input type="checkbox"/> | <input type="checkbox"/> |
| 2 | What is the appraised value of the building with the unauthorized unit(s)? _____ Please include an attachment of the appraisal dated within six months of filing this application. | | |
| 3 | What is the appraised value of the building with the unit(s) legalized? _____ Please include an attachment of the appraisal dated within six months of filing this application. | | |

APPLICANT'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

- a) The undersigned is the owner or authorized agent of the owner of this property.
- b) The information presented is true and correct to the best of my knowledge.
- c) Other information or applications may be required.

Signature

agent

Relationship to Project
(i.e. Owner, Architect, etc.)

415-552-1888

Phone

Jeremy Paul

Name (Printed)

jeremy@quickdrawsf.com

Email

APPLICANT'S SITE VISIT CONSENT FORM

I herby authorize City and County of San Francisco Planning staff to conduct a site visit of this property, making all portions of the interior and exterior accessible.

Signature

12/5/19

Date

Jeremy Paul

Name (Printed)

For Department Use Only

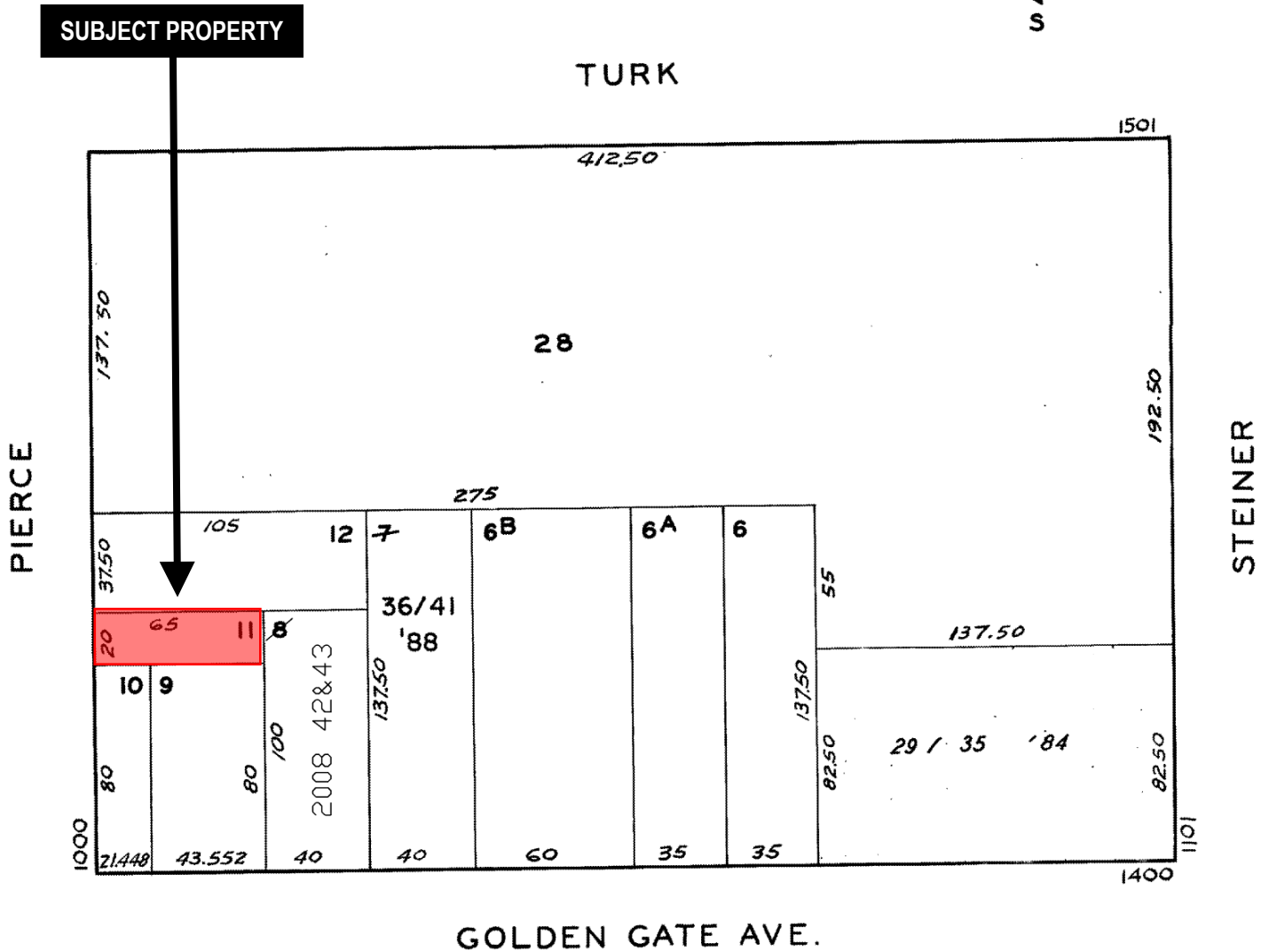
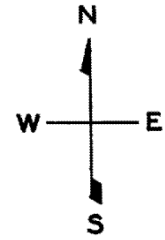
Application received by Planning Department:

By: _____

Date: _____

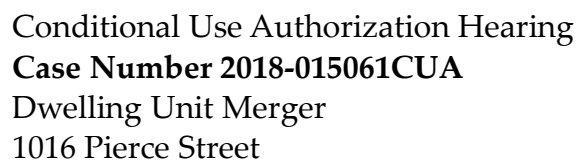
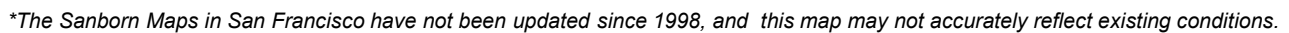
Exhibit F

Parcel Map

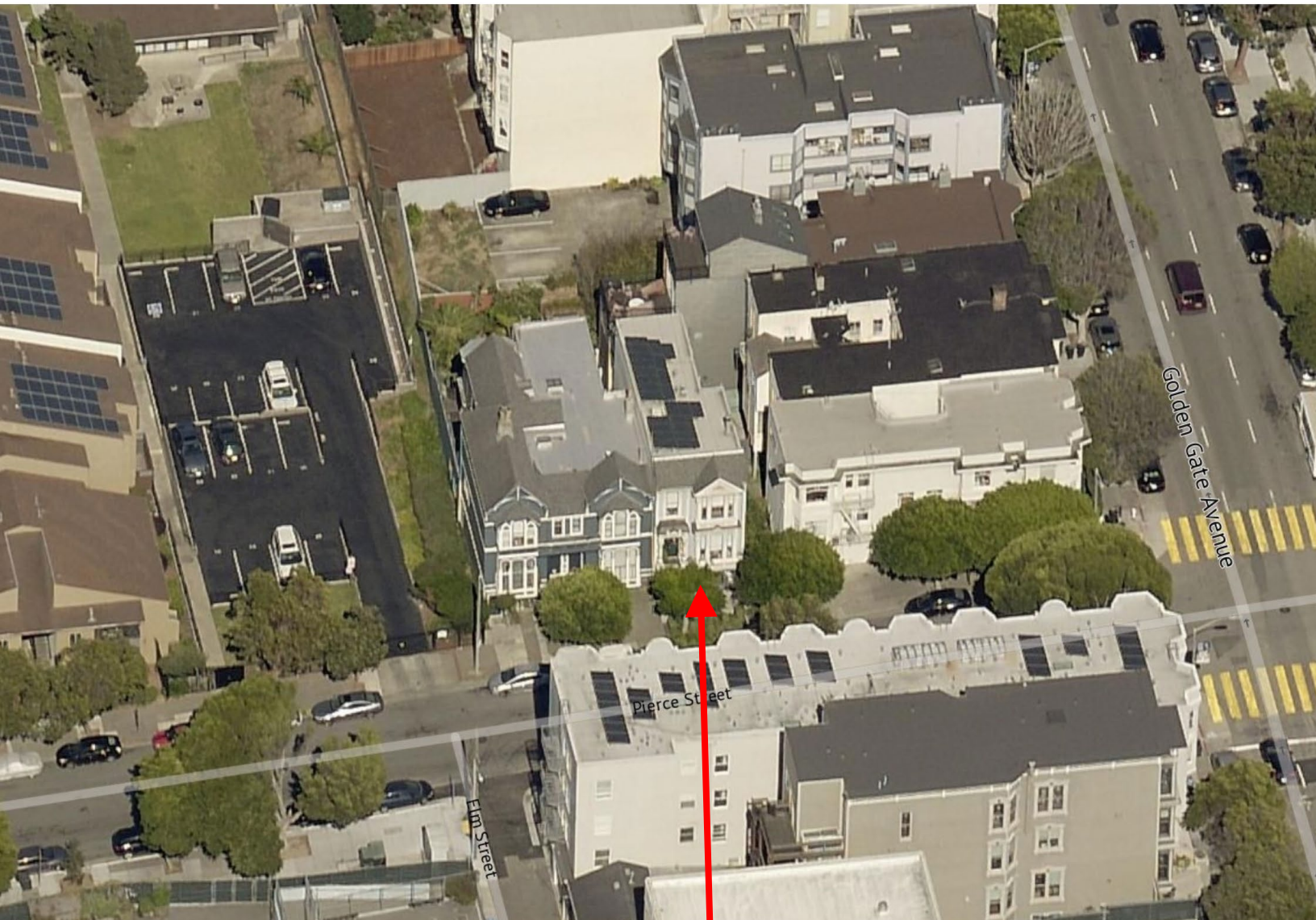


Conditional Use Authorization Hearing
Case Number 2018-015061CUA
Dwelling Unit Merger
1016 Pierce Street

STEINER



Aerial Photo – View 1



SUBJECT PROPERTY



SAN FRANCISCO
PLANNING DEPARTMENT

Conditional Use Authorization Hearing
Case Number 2018-015061CUA
Dwelling Unit Merger
1016 Pierce Street

Aerial Photo – View 2

SUBJECT PROPERTY



Aerial Photo – View 3

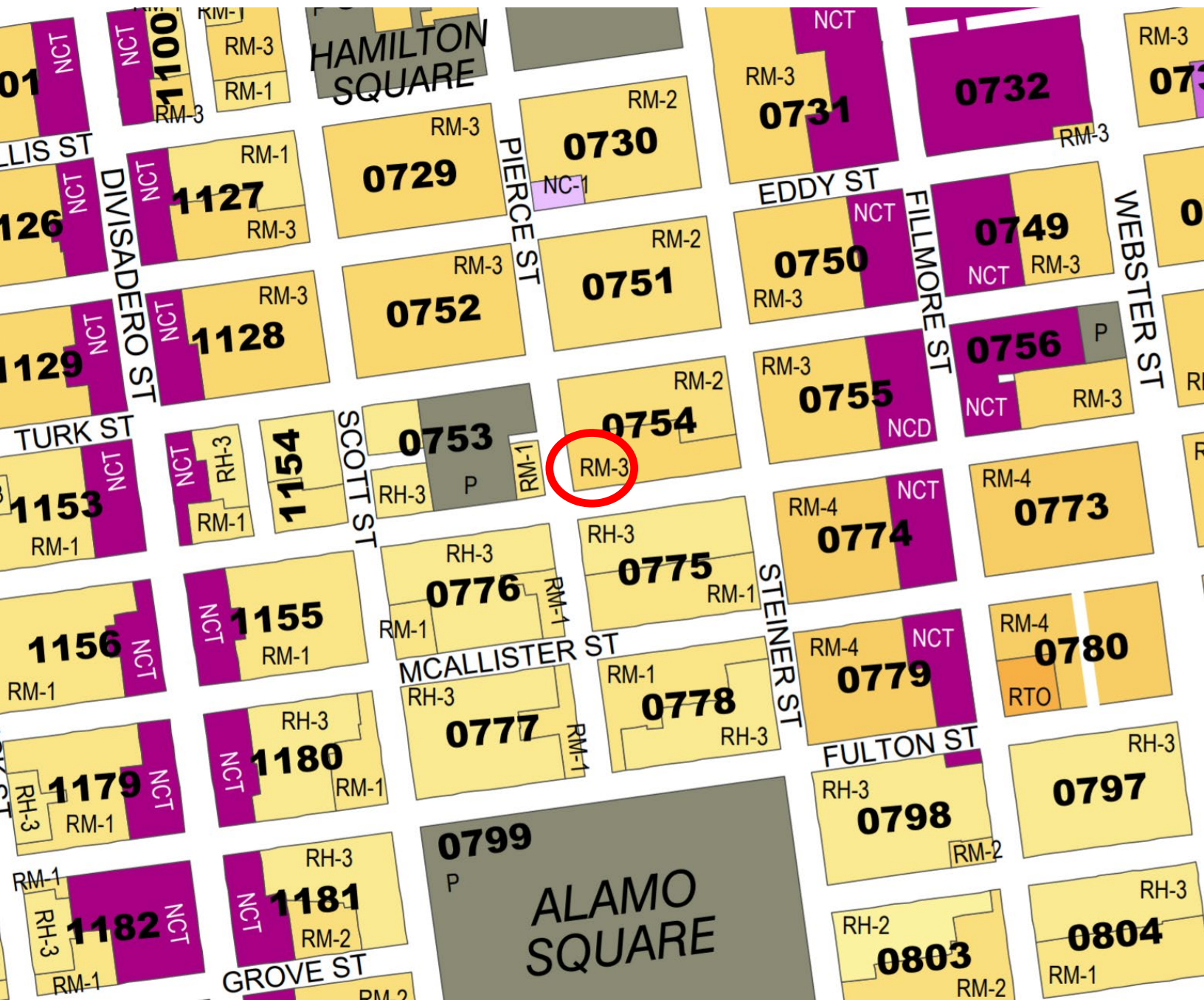


SUBJECT PROPERTY



Conditional Use Authorization Hearing
Case Number 2018-015061CUA
Dwelling Unit Merger
1016 Pierce Street

Zoning Map



Conditional Use Authorization Hearing
Case Number 2018-015061CUA
Dwelling Unit Merger
1016 Pierce Street

Site Photo



Conditional Use Authorization Hearing
Case Number 2018-015061CUA
Dwelling Unit Merger
1016 Pierce Street

Exhibit G

Rent Board Response to Request for Planning Department Records Search

Re: 1016 Pierce

This confirms that the undersigned employee of the San Francisco Rent Board has reviewed its database records pertaining to the above-referenced unit(s) to provide records that may demonstrate evidence of residential use. All searches are based on upon the street addresses provided.

☒ No database records were identified.

There are no Rent Board records in our database related to your search request for the property address requested. However, it is important to note that the absence of records for some or all of the residential units at a property does not mean there is or has been no residential use. Property owners are not required by law to provide any information or file any documents with the Rent Board, unless they are seeking to take a certain action such as an eviction, a rent increase, or a buyout. Thus, there are many properties and many residential units for which the Rent Board has no records.

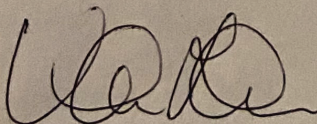
☐ Yes, the following records were identified:

☐ See attached documents.

Pursuant to your request, we have searched the Rent Board's database for records related to the property requested. Attached are some Rent Board records resulting from our search. These records can be used as evidence of prior and/or current residential use of the property. However, it is important to note that the absence of records for some or all of the residential units at a property does not mean there is or has been no residential use. Property owners are not required by law to provide any information or file any documents with the Rent Board, unless they are seeking to take a certain action such as an eviction, a rent increase, or a buyout. Thus, there are many properties and many residential units for which the Rent Board has no records.

Regarding the records provided, please note that the data in the "# of units" field was imported from another department's database in 2002 and might not be accurate. It does not represent a determination by the Rent Board of the number of units at the property.

Signed:



Dated:

7-2-20

Van Lam

The Rent Board is the originating custodian of these records; the applicability of these records to Planning permit decisions resides with the Planning Department.

Exhibit H



Report of Residential Building Record (3R)
(Housing Code Section 351(a))

BEWARE: This report describes the current legal use of this property as compiled from records of City Departments. There has been no physical examination of the property itself. This record contains no history of any plumbing or electrical permits. The report makes no representation that the property is in compliance with the law. Any occupancy or use of the property other than that listed as authorized in this report may be illegal and subject to removal or abatement, and should be reviewed with the Planning Department and the Department of Building Inspection. Errors or omissions in this report shall not bind or stop the City from enforcing any and all building and zoning codes against the seller, buyer and any subsequent owner. The preparation or delivery of this report shall not impose any liability on the City for any errors or omissions contained in said report, nor shall the City bear any liability not otherwise imposed by law.

Address of Building 1016 PIERCE ST

Block 0754

Lot 011

Other Addresses

1. A. Present authorized Occupancy or use: TWO FAMILY DWELLING
- B. Is this building classified as a residential condominium? Yes ☐ No ☒
- C. Does this building contain any Residential Hotel Guest Rooms as defined in Chap. 41, S.F. Admin. Code? Yes ☐ No ☒
2. Zoning district in which located: RM-3
3. Building Code Occupancy Classification R-3
4. Do Records of the Planning Department reveal an expiration date for any non-conforming use of this property? Yes ☐ No ☒
If Yes, what date? The zoning for this property may have changed. Call Planning Department, (628) 652-7300, for the current status.
5. Building Construction Date (Completed Date): UNKNOWN
6. Original Occupancy or Use: UNKNOWN
7. Construction, conversion or alteration permits issued, if any:

| Application # | Permit # | Issue Date | Type of Work Done | Status |
|---------------|----------|--------------|--|--------|
| 26381 | 26381 | Oct 21, 1909 | SHINGLE THE FRONT PART OF ROOF | N |
| 80429 | 80429 | Feb 14, 1918 | TEAR OUT WOODEN STEPS AND BUTTRESS AND BUILD NEW STEPS OF TERRAZZO AND INSTALL STONE BUTTRESS. ALSO CHANGE MINOR PARTITION AND WINDOW FRAMES | N |
| 17613 | 18805 | Mar 23, 1936 | CONVERT FROM ONE TO TWO FAMILY DWELLING | C |
| 323470 | 289091 | Dec 21, 1965 | REPAIR FIRE DAMAGE | C |
| 418533 | 375476 | Mar 30, 1973 | RAISED APPROXIMATELY SIXTEEN FEET OF FOUNDATION. RELOCATE LOWER UNIT BATHROOM DOOR. REPLACE LOWER UNIT BATHROOM SUBFLOOR. REPLACE S STUDWALL ON LOWER BATHROOM. REPAIR REAR STAIRS AND PROVIDE PIERS | X |
| 432039 | 375476 | Mar 18, 1974 | RAISED APPROXIMATELY SIXTEEN FEET OF FOUNDATION. RELOCATE LOWER UNIT BATHROOM DOOR. REPLACE LOWER UNIT BATHROOM SUBFLOOR. REPLACE S STUDWALL ON LOWER BATHROOM. REPAIR REAR STAIRS AND PROVIDE PIERS | X |
| 462392 | 412925 | Jul 30, 1976 | LEGALIZE WORK DONE AS PER REDEVELOPMENT RECOMMENDATION | C |
| 201009070357 | 1221311 | Sep 15, 2010 | KITCHEN REMODEL ON SECOND FLOOR. DEMOLISH EXISTING CABINETRY, FINISHES AND PANTRY. MOVE ONE EXISTING FRAMED OPENING IN NON BEARING WALL. INSTALL ONE NEW WINDOW, NOT VISIBLE FROM STREET. INSTALL NEW CABINETRY, FINISHES, PLUMBING AND ELECTRICAL FOR KITCHEN | C |
| 201009231539 | 1221979 | Sep 24, 2010 | REROOFING | C |
| 201105065527 | 1237332 | May 06, 2011 | BATHROOM REMODEL ON LEVEL TWO | C |
| 201408153918 | 1340901 | Nov 05, 2014 | FOUNDATION REPLACEMENT - REMODEL FIRST (GROUND) FLOOR FROM BASEMENT INTO HABITABLE CONDITIONED SPACE INCLUDING ONE BATH, ONE FAMILY ROOM AND RELOCATION KITCHEN FROM SECOND FLOOR; | I |

Address of Building 1016 PIERCE ST

Block 0754

Lot 011

Other Addresses

| Application # | Permit # | Issue Date | Type of Work Done | Status |
|--|----------|--------------|---|----------|
| 201507070778 | 1363016 | Jul 14, 2015 | NEW INTERNAL STAIR FROM FIRST FLOOR TO SECOND FLOOR; NO CHANGES TO THIRD FLOOR OR ROOF, MODIFY EXISTING FRONT ENTRY TO FIRST FLOOR REVISION TO PREVIOUSLY APPROVED APPLICATION #201408153918 FOR FIELD CONDITIONS. COMPLY WITH COMPLAINT #201555922, REVISED DETAIL AT NORTH PROPERTY LINE. EXCAVATIONS TO EXTEND 1'-0" BELOW NEIGHBOR'S FOUNDATION, THEREFORE EXCAVATIONS TO BE SLOPED AWAY FROM PROPERTY LINE TO PROTECT NEIGHBOR'S BUILDING | I |
| 8. A. Is there an active Franchise Tax Board Referral on file? | | | | Yes No ✓ |
| B. Is this property currently under abatement proceedings for code violations? | | | | Yes No ✓ |
| 9. Number of residential structures on property? 1 | | | | |
| 10. A. Has an energy inspection been completed? Yes ✓ No | | | | |
| B. If yes, has a proof of compliance been issued? | | | | Yes ✓ No |
| 11. A. Is the building in the Mandatory Earthquake Retrofit of Wood-Frame Building Program? Yes | | | | |
| B. If yes, has the required upgrade work been completed? | | | | Yes No ✓ |
| 12. Is the building located within the flood risk zone boundaries delineated on the San Francisco Public Utilities Commission's 100-Year Storm Flood Risk Map dated July 01, 2019? | | | | |
| | | | | Yes No ✓ |

Date of Issuance: 18 OCT 2021

Date of Expiration: 18 OCT 2022

By: BETTY LEE

Report No: 202110126852

Patty Herrera, Manager
Records Management Division

THIS REPORT IS VALID FOR ONE YEAR ONLY.

The law requires that, prior to the consummation of the sale or exchange of this property, the seller must deliver this report to the buyer and the buyer must sign it.

(For Explanation of terminology, see attached)

EXPLANATION OF TERMS USED IN REPORT OF RESIDENTIAL RECORDS (3R REPORT)

Residential Building: A residential building is a building or a portion thereof containing one or more dwelling units but not including hotels containing 30 or more guest rooms, or motels.

1A. Present Authorized Occupancy or Use: Number of units presently found to be legal based on the building permits on file. If the Department is unable to establish the authorized occupancy of the building based on permits on file "UNKNOWN" will be indicated.

1B. Condominiums: Refers to the type of ownership of the building.

1C. Residential Hotel Guest Rooms: Certain hotels are regulated as to use and occupancy if they contain Residential Guest Rooms. Call **Housing Inspection Services** at (628) 652-3700 for information.

2. Zoning District: The main uses of property permitted by the Planning Code in each zoning district are as follows:

| | |
|---------|--|
| P | (Public Use) district |
| RH-1(D) | (House, One-Family, Detached Dwellings) district |
| RH-1 | (House, One-Family) district |
| RH-1(S) | (House, One-Family with Minor Second Unit) district |
| RH-2 | (House, Two-Family) district |
| RH-3 | (House, Three-Family) district |
| RM-1 | (Mixed Residential, Low Density) district |
| RM-2 | (Mixed Residential, Moderate Density) district |
| RM-3 | (Mixed Residential, Medium Density) district |
| RM-4 | (Mixed Residential, High Density) district |
| RC-1 | (Residential-Commercial Combined, Low Density) district |
| RC-2 | (Residential-Commercial Combined, Moderate Density) district |
| RC-3 | (Residential-Commercial Combined, Medium Density) district |
| RC-4 | (Residential-Commercial Combined, High Density) district |
| C-1 | (Neighborhood Shopping) district |
| C-2 | (Community Business) district |
| C-3-0 | (Downtown Office) district |
| C-3-R | (Downtown Retail) district |
| C-3-G | (Downtown General Commercial) district |
| C-3-S | (Downtown Support) district |
| C-M | (Heavy-Commercial) district |
| M-1 | (Light Industrial) district |
| M-2 | (Heavy Industrial) district |
| NC-1 | (Neighborhood Commercial Cluster) district |
| NC-2 | (Small-Scale Neighborhood Commercial) district |
| NC-3 | (Moderate-Scale Neighborhood Commercial) district |
| NC-5 | (Neighborhood Commercial Shopping Center) district |

Chinatown Mixed Use Districts

| | |
|---------|--|
| CCB | (Chinatown Community Business) district |
| (CR)/NC | (Chinatown Residential/Neighborhood Commercial) district |
| CRV | (Chinatown Visitor Retail) district |

South of Market Mixed Use Districts

| | |
|-----|---|
| MUR | Mixed Use Residential district |
| RED | (Residential Enclave) district |
| SPD | (South Park) district |
| RSD | (Residential Service) district |
| SLR | (Service/Light Industrial/Residential) district |
| SLI | (Service/Light Industrial) district |
| SSO | (Service/Secondary Office) district |

Mission Bay Districts

| | |
|---------|--|
| MB-R-1 | (Mission Bay Lower Density Residential) district |
| MB-R-2 | (Mission Bay moderate Density Residential) district |
| MB-R-3 | (Mission Bay High Density Residential) district |
| MB-NC-2 | (Mission Bay Small Scale Neighborhood Commercial) district |
| MB-NC-3 | (Mission Bay Moderate Scale Neighborhood Commercial) district |
| MB-NC-S | (Mission Bay Neighborhood Commercial Shopping Center) district |
| MB-O | (Mission Bay Office) district |
| MB-CI | (Mission Bay Commercial-Industrial) district |
| MB-H | (Mission Bay Hotel) district |
| MB-CF | (Mission Bay Community Facilities) district |
| MB-OS | (Mission Bay Open Space) district |

All buildings are subject to certain standards concerning dwelling unit density, lot coverage, off street parking, building height and bulk, etc., which vary according to zoning district. Call the **Planning Department** at (415) 558-6377 or go to their website at <http://www.sf-planning.org/> for additional information.

3. Building Code Occupancy Classification: Present classification of building in accordance with Building Code reference.

| | |
|-----------|--|
| Class I | Institutional |
| Class B | Business |
| Class R-1 | Residential – Transient Hotels & Motels |
| Class R-2 | Residential – Apartments and Condominiums with 3 or more units, Residential Hotels |
| Class R-3 | 1 or 2 family dwellings, including housekeeping rooms |

4. Non-conforming Use: When a use is located in a district preceding the one for which the use is first listed above, this may indicate illegal status or legal non-conforming status. Any date at which legal non-conforming status is scheduled to expire will be stated on the face of this report. You are advised to inquire in these cases and in any other questionable cases at the Zoning Division of the **Planning Department** at (415) 558-6377.

5. Building Construction Date: The year the building was constructed.

6. Original Occupancy or Use: The number of residential unit(s) when the building was constructed.

7. Permit Application: Shows all issued building permit applications for this property, the date issued and the description of work.

Status: It indicates the status of the permit application:

| | |
|-----------------------|--|
| C = COMPLETED | The work has been completed |
| X = EXPIRED | The permit has expired (work not started or not completed) |
| I = ISSUED | Permit has been issued |
| N = NO INFO | No information available at DBI |
| R = REINSTATED | The permit has been reinstated |
| S = SUSPENDED | The permit has been suspended |
| CFC | Certificate of Final Completion |
| FD | Family Dwelling |
| LIV/WK | Live-Work |
| HK | Housekeeping |

8A. Franchise Tax Board Referral: The City will advise the State Franchise Tax Board to deny all deductions being claimed on income property by an owner, when that owner fails to comply in a timely manner with a notice(s) of violation issued by the Department of Building Inspection. For additional information please call **Housing Inspection Services** at (628) 652-3700

8B. Abatement Proceedings: The legal action taken to have a property brought into code compliance. This includes holding hearings, recording orders of abatement against the property, and City Attorney action. The City may also perform the work and place a lien against the property. Call **Housing Inspection Services** at (628) 652-3700 or Code Enforcement at (628) 652-3730 for additional information.

9. Number of residential structures on property: The number of legal residential structures on one lot.

10. Energy Conservation Ordinance: Compliance with this ordinance is required before an owner sells a property. Questions should be directed to **Housing Inspection Services** at (628) 652-3700.

Additional Terms

| | |
|-------------|---|
| BBI | Bureau of Building Inspection |
| BFP | Bureau of Fire Prevention |
| DAHI | Division of Apartment and Hotel Inspections |
| DCP | Department of City Planning |
| EWO | Emergency Work Only |
| FACE | Federal Assisted Code Enforcement |
| PCD | Property Conservation Division |
| RAP | Rapid Assistance Program |
| SFFD | San Francisco Fire Department |
| UR | Urban Renewal |



SAN FRANCISCO PLANNING DEPARTMENT

NOTICE OF VIOLATION

October 29, 2019

Property Owner

Colin E Schmidt/Jennifer L Griffin 2014
1016 Pierce St
San Francisco, CA 94115

Site Address: 1016 Pierce Street

Assessor's Block/Lot: 0754/011

Zoning District: RM-3, Residential, Mixed, Medium Density

Complaint Number: 2018-015061ENF

Code Violation: Section 317, Dwelling Unit Merger without Conditional Use Authorization

Administrative Penalty: Up to \$250 Each Day of Violation

Response Due: Within 15 days from the date of this Notice

Staff Contact: Ada Tan, (415) 558-6354, ada.tan@sfgov.org

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

The Planning Department has determined that the above referenced property is in violation of the Planning Code. As the owner of the subject property, you are a responsible party to bring the above property into compliance with the Planning Code. Details of the violation are discussed below:

DESCRIPTION OF VIOLATION

Our records indicate that the subject property is currently authorized as a two-family dwelling designed as two full floor flats. The violation pertains to the Residential Merger of these two flats into a single-family dwelling unit without the benefit of a Conditional Use Authorization, as required by Planning Code Section 317(c)(1).

Pursuant to Planning Code Section 317(b)(7), a "Residential Merger" shall mean the combining of two or more Residential or Unauthorized Units, resulting in a decrease in the number of Residential Units and Unauthorized Units within a building, or the enlargement of one or more existing units while substantially reducing the size of others by more than 25% of their original floor area, even if the number of units is not reduced. The merging of the two units has resulted in the loss of one independent dwelling unit, which constitutes as a violation of the Planning Code.

Pursuant to Planning Code Section 171, structures and land in any zoning district shall be used only for the purposes listed in the Planning Code as permitted in that district, and in accordance with the regulations established for that district. Further, pursuant to Planning Code Section 174, every condition, stipulation, special restriction, and other limitation under the Planning Code shall be complied with in the development and use of land and structures. Failure to comply with any Planning Code provision constitutes a violation of the Planning Code and is subject to an enforcement process under Code Section 176.

www.sfplanning.org

TIMELINE OF INVESTIGATION

On November 6, 2018, Planning Department staff (Tina Tam and Erika Jackson) conducted a site visit and confirmed the violation. The original two flats were combined and the ground floor space is being used as a separate unit with direct access to the street.

On January 22, 2019, you submitted your Conditional Use Application, however, your application was deemed incomplete.

On January 25, 2019, Planner Technician (Keisha Calmese) sent an email to Jeremy Paul (Consultant) with Permit Consulting requesting additional documentation to complete your application submission. The Planning Department never received a response with the missing documents. As a result, your application was removed from the active project list on March 7, 2019.

On April 16, 2019, the Planning Department sent you a Notice of Enforcement informing you about the violation and the abatement process. In that notice, you were advised to take corrective actions and provide evidence of compliance to the Planning Department within fifteen (15) days from April 16, 2019. You did not respond to this notice.

HOW TO CORRECT THE VIOLATION

The Planning Department requires that you immediately proceed to abate the violation by:

- 1) File a Building Permit application to restore the building to its previous condition as a two-family dwelling with full floor flats, or
- 2) Re-submit your Conditional Use Authorization Application with all the required materials. If the Conditional Use Authorization is granted, you will also need to obtain a building permit

Should you wish to legalize the ground floor unit as a separate and third dwelling unit on the property, please visit the ADU (Accessory Dwelling Unit) Counter at 1660 Mission Street. The responsible party will need to provide adequate evidence to demonstrate that either no violation exists or that the violation has been abated. Please provide evidence such as an approved building permit, dimensioned plans, photos, etc. A site visit may also be required to verify compliance.

Please contact the Department of Building Inspection (DBI), 1660 Mission Street, San Francisco, CA 94103, telephone: (415) 558-6088, website: www.sfgov.org/dbi, regarding the Building Permit Application process. Please visit the Planning Information Counter located at the first floor of 1660 Mission Street, telephone: (415) 558-6377, or website: www.sfplanning.org for any questions regarding the planning process.

TIMELINE TO RESPOND

The responsible party has **fifteen (15) days from the date of this notice** to either;

- 1) Correct the violation as noted above; or
- 2) Appeal this Notice of Violation as noted below.

The corrective actions shall be taken as early as possible. Please contact the enforcement staff as noted above to submit evidence of correction. Any unreasonable delays in abatement of the violation in the timeline set forth above will result in both the accrual of administrative penalties and further enforcement action by the Planning Department.

APPEAL PROCESSES

If the responsible party believes that this order to remove violation of the Planning Code is an abuse of discretion by the Zoning Administrator, the following appeal processes are available **within fifteen (15) days from the date of this notice:**

- 1) The responsible party may request a Zoning Administrator Hearing under Planning Code Section 176 to show cause why this Notice of Violation is issued in error and should be rescinded by submitting the Request for Zoning Administrator Hearing Form and supporting evidence to the Planning Department. The Zoning Administrator shall render a decision on the Notice of Violation within 30 days of such hearing. The responsible party may appeal the Zoning Administrator's decision to the Board of Appeals within 15 days from the date of the decision.
- 2) The responsible or any interested party may waive the right to a Zoning Administrator Hearing and proceed directly to appeal the Notice of Violation to the Board of Appeals located at 1650 Mission Street, Room 304, San Francisco, CA 94103, telephone: (415) 575-6880, website: www.sfgov.org/bdappeal. The Board of Appeals may not reduce the amount of penalty below \$100 per day for each day the violation continues unabated, excluding the period of time the matter has been pending either before the Zoning Administrator or before the Board of Appeals.

ADMINISTRATIVE PENALTIES

If any responsible party does not request any appeal process and does not take corrective action to abate the violation **within the 15-day time limit** as noted above, this Notice of Violation will become final. Beginning on the following day, administrative penalties of up to **\$250 per day** to the responsible party will start to accrue for each day the violation continues unabated. The penalty amount shall be paid **within 30 days** from the issuance date of a Notice of Penalty. After 30 days, the Planning Department may forward the matter to the Bureau of Delinquent Revenue for collection as authorized by Article V, Section 10.39 of the San Francisco Administrative Code. Please note that you will also be required to pay 25% commission on the penalty amount for the BDR services. Please be advised that payment of penalty does not excuse failure to correct the violation or bar further enforcement action. Additional penalties will continue to accrue until a corrective action is taken to abate the violation.

ENFORCEMENT TIME AND MATERIALS FEE

Pursuant to Planning Code Section 350(g)(1), the Planning Department shall charge for 'Time and Materials' to recover the cost of correcting the Planning Code violations. Accordingly, the responsible party is currently subject to a fee of **\$1618.01** for 'Time and Materials' costs associated with the Code Enforcement investigation. **Please submit a check payable to 'San Francisco Planning Department' for Code Enforcement within 15 days from the date of this notice.** Additional fees will continue to

accrue until the violation is abated. This fee is separate from the administrative penalties described above and is not appealable.

OTHER APPLICATIONS UNDER CONSIDERATION

The Planning Department requires that any pending violations be resolved prior to the approval and issuance of any new applications that you may wish to pursue in the future. Therefore, any applications not related to abatement of the violation on the subject property will be placed on hold until the violation is corrected. You may contact the enforcement planner as noted above for any questions.

Sincerely,



Tina Tam
Acting Zoning Administrator

Enc.: Notice of Enforcement, dated April 16, 2019

Cc: Jeremy Paul, Permit Consulting, 584 Castro Street, San Francisco, CA 94114



SAN FRANCISCO PLANNING DEPARTMENT

NOTICE OF ENFORCEMENT

April 16, 2019

Property Owner

Colin E Schmidt/Jennifer L Griffin 2014
1016 Pierce Street
San Francisco, CA 94115

Site Address: 1016 Pierce Street
Assessor's Block/Lot: 0754/ 011
Zoning District: RM-3, Residential- Mixed, Medium Density
Complaint Number: 2018-015061ENF
Code Violation: Section 171; Compliance of Uses
Section 207.3; Unauthorized Dwelling Unit
Administrative Penalty: Up to \$250 Each Day of Violation
Response Due: Within 15 days from the date of this Notice
Staff Contact: David Brosky, (415) 575-8727 / david.brosky@sfgov.org

The Planning Department has received a complaint that a Planning Code violation exists at 1016 Pierce Street (the "subject property") that needs to be resolved. As the owner of the subject property, you are the responsible party. The purpose of this notice is to inform you about the Planning Code Enforcement process so you can take appropriate action to bring your property into compliance with the Planning Code. Details of the violation are discussed below:

DESCRIPTION OF VIOLATION

The violation pertains to the unauthorized dwelling unit located at the subject property. Planning Code Section 317, defines an unauthorized dwelling unit as "one or more rooms within a building that have been used, without the benefit of a building permit, as a separate and distinct living or sleeping space independent from residential units on the same property."

Pursuant to Planning Code Section 171 structures and land in any zoning district shall be used only for the purposes listed in this Code as permitted in that district, and in accordance with the regulations established for that district. Further, pursuant to Planning Code Section 174, every condition, stipulation, special restriction, and other limitation under the Planning Code shall be complied with in the development and use of land and structures. Failure to comply with any of Planning Code provisions constitutes a violation of Planning Code and is subject to enforcement process under Code Section 176.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

HOW TO CORRECT THE VIOLATION

The Planning Department requires that you immediately proceed to abate the violation by making a good faith effort to file and complete a Building Permit Application to legalize the unit through the Unit Legalization Program or the Accessory Dwelling Unit Program, OR applying for and obtaining a Conditional Use Application to remove the unauthorized dwelling unit.

The Conditional Use Authorization Application is available from the Planning Department's website at <http://www.sf-planning.org>. If the Conditional Use Authorization is granted, you will also need to obtain a Building Permit.

The responsible party will need to provide adequate evidence to demonstrate that either no violation exists or that the violation has been abated. Please provide evidence including approved plans. A site visit may also be required to verify compliance.

Please contact the Department of Building Inspection (DBI), 1660 Mission Street, San Francisco, CA 94103, telephone: (415) 558-6088, website: www.sfgov.org/dbi, regarding the Building Permit Application process. Please visit the Planning Information Counter located at the first floor of 1660 Mission Street or website: www.sf-planning.org for any questions regarding the planning process.

TIMELINE TO RESPOND

The responsible party has **fifteen (15) days from the date of this notice** to contact the staff planner noted at the top of this notice and submit evidence to demonstrate that the corrective actions have been taken to bring the subject property into compliance with the Planning Code. A site visit may also be required to verify the authorized use at the above property. The corrective actions shall be taken as early as possible. Any unreasonable delays in abatement of the violation may result in further enforcement action by the Planning Department.

PENALTIES AND APPEAL RIGHTS

Failure to respond to this notice by abating the violation or demonstrating compliance with the Planning Code **within fifteen (15) days from the date of this notice** will result in issuance of a **Notice of Violation** by the Zoning Administrator. Administrative penalties of up to **\$250 per day** will also be assessed to the responsible party for each day the violation continues thereafter. The Notice of Violation provides appeal processes noted below.

- 1) Request for Zoning Administrator Hearing. The Zoning Administrator's decision is appealable to the Board of Appeals.
- 2) Appeal of the Notice of Violation to the Board of Appeals. The Board of Appeals may not reduce the amount of penalty below \$100 per day for each day the violation exists, excluding the period of time the matter has been pending either before the Zoning Administrator or before the Board of Appeals.

ENFORCEMENT TIME AND MATERIALS FEE

Pursuant to Planning Code Section 350(g)(1), the Planning Department shall charge for 'Time and Materials' to recover the cost of correcting Planning Code violations and violations of Planning Commission and Planning Department's Conditions of Approval. Accordingly, the responsible party may be subject to an amount of \$1,395.00 plus any additional accrued time and materials cost for Code Enforcement investigation and abatement of violation. This fee is separate from the administrative penalties as noted above and is not appealable.

OTHER APPLICATIONS UNDER CONSIDERATION

The Planning Department requires that any pending violations be resolved prior to the approval and issuance of any new applications that you may wish to pursue in the future. Therefore, any applications not related to abatement of the violation on the subject property will be placed on hold until the violation is corrected. We want to assist you in ensuring that the subject property is in full compliance with the Planning Code. You may contact the enforcement planner as noted above for any questions.