



DISCRETIONARY REVIEW ABBREVIATED ANALYSIS

HEARING DATE: December 10, 2020

Record No.: 2018-014950DRP
Project Address: 492 45th Avenue
Permit Applications: 2018.1022.3827
Zoning: RH-1 [Residential House, One-Family]
40-X Height and Bulk District
Block/Lot: 1491 / 001D
Project Sponsor: Hawk N. Lee
1609 Noriega
San Francisco, CA 94122
Staff Contact: David Winslow – (628) 652-7335
david.winslow@sfgov.org

Recommendation: Take DR and Approve as Modified

Project Description

The project proposes to construct a second story vertical addition and a front horizontal addition to an existing 1-story, single family house. The project also proposes the demolition of the attached one-story structure in the rear yard at the north east corner of the lot.

Site Description and Present Use

The site is a 38' wide x 96'-0" corner lot with a 10' wide front setback facing 45th Avenue and a 20' wide area behind the sidewalk of Geary Boulevard. The site contains an existing 1-story, one-family home. The existing building is a Category 'C' – No potential historic resource built in 1919.

Surrounding Properties and Neighborhood

The buildings on fronting this block of 45th Avenue are Geary Boulevard are a mix of - to 2- story houses setback from the street. The immediate mid-block open space is defined by a relatively consistent alignment of buildings.

Building Permit Notification

Type	Required Period	Notification Dates	DR File Date	DR Hearing Date	Filing to Hearing Date
311 Notice	30 days	September 1, 2020– September 30, 2020	9.30.2020	12.10.2020	91 days

Hearing Notification

Type	Required Period	Required Notice Date	Actual Notice Date	Actual Period
Posted Notice	20 days	November 20, 2020	November 20, 2020	20 days
Mailed Notice	20 days	November 20, 2020	November 20, 2020	20 days
Online Notice	20 days	November 20, 2020	November 20, 2020	20 days

Public Comment

	Support	Opposed	No Position
Adjacent neighbor(s)	0	0	0
Other neighbors on the block or directly across the street	0	0	0
Neighborhood groups	0	0	0

Environmental Review

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

DR Requestor

1. Adrien Treuille and Regan Carey of 486 45th Avenue, adjacent neighbors to the north.

DR Requestor’s Concerns and Proposed Alternatives

DR requestor Is concerned that the proposed vertical addition deprives the neighbors light and air.

Proposed alternatives:

1. The top floor should be set back or reduced from the north property line.

See attached *Discretionary Review Application*, dated September 30, 2020.

Project Sponsor’s Response to DR Application

The project is proposing to provide a greater side setback to the neighbor by moving the second floor 3’ further to the southern property line as exhibited in revised plans dated 11.8.2020.

See attached Response to Discretionary Review, dated November 8, 2020

Department Review

The Planning Department’s review of this proposal confirms support for this Code-conforming project as it also conforms to the Residential Design Guidelines. The revised plans differ from the original 311 plans, by moving the footprint of the proposed second floor vertical addition 3 feet to the south (toward Geary in order to provide more space between the neighbors’ building, maintains the appropriate scale relationship with the predominant 2-story context. The corner site can easily accommodate the scale of a two-story structure. The mid-block open space condition is being improved by removing the existing non-complying structure at the north east rear portion of the rear yard.

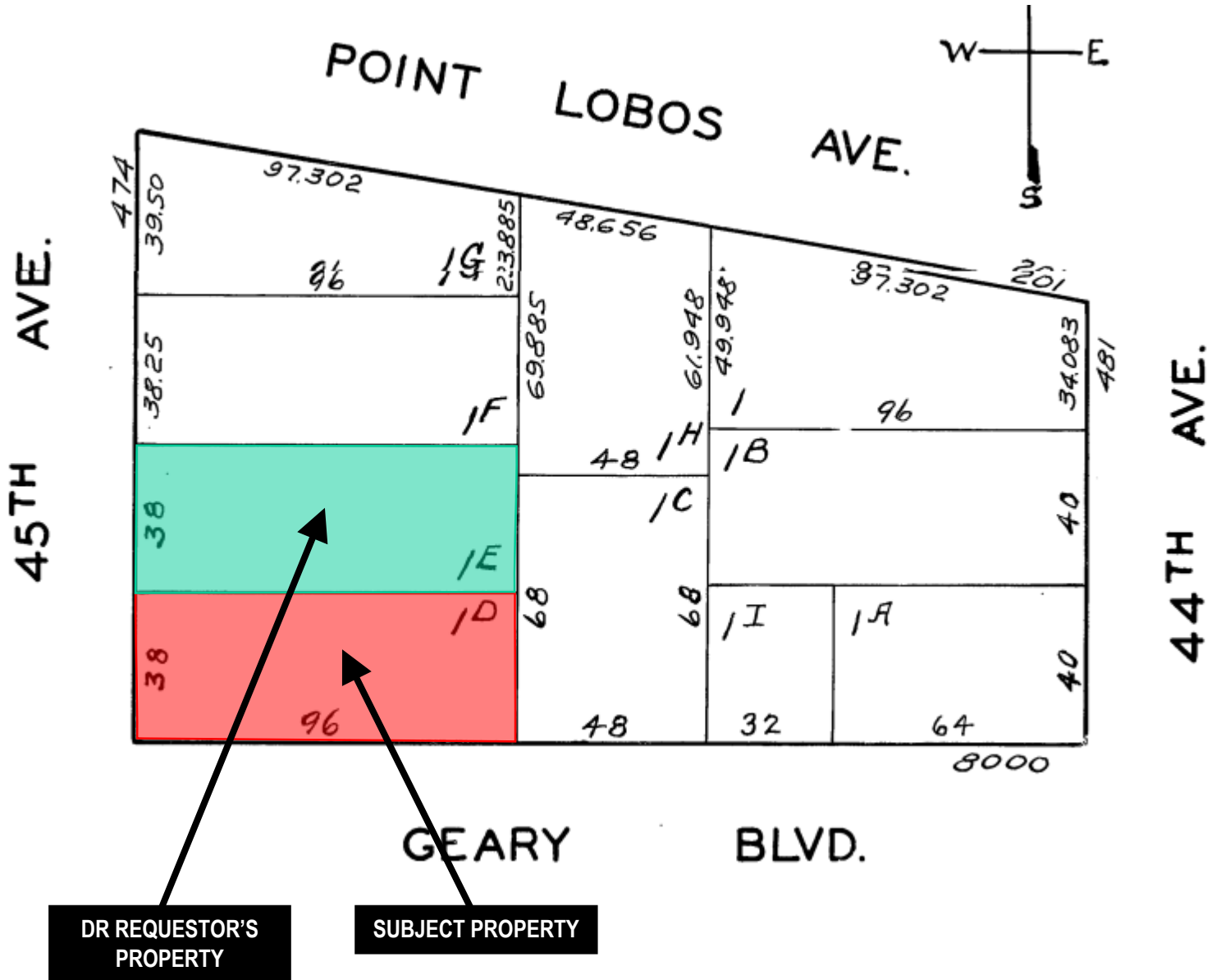
Recommendation: Take DR and Approve as Modified

Attachments:

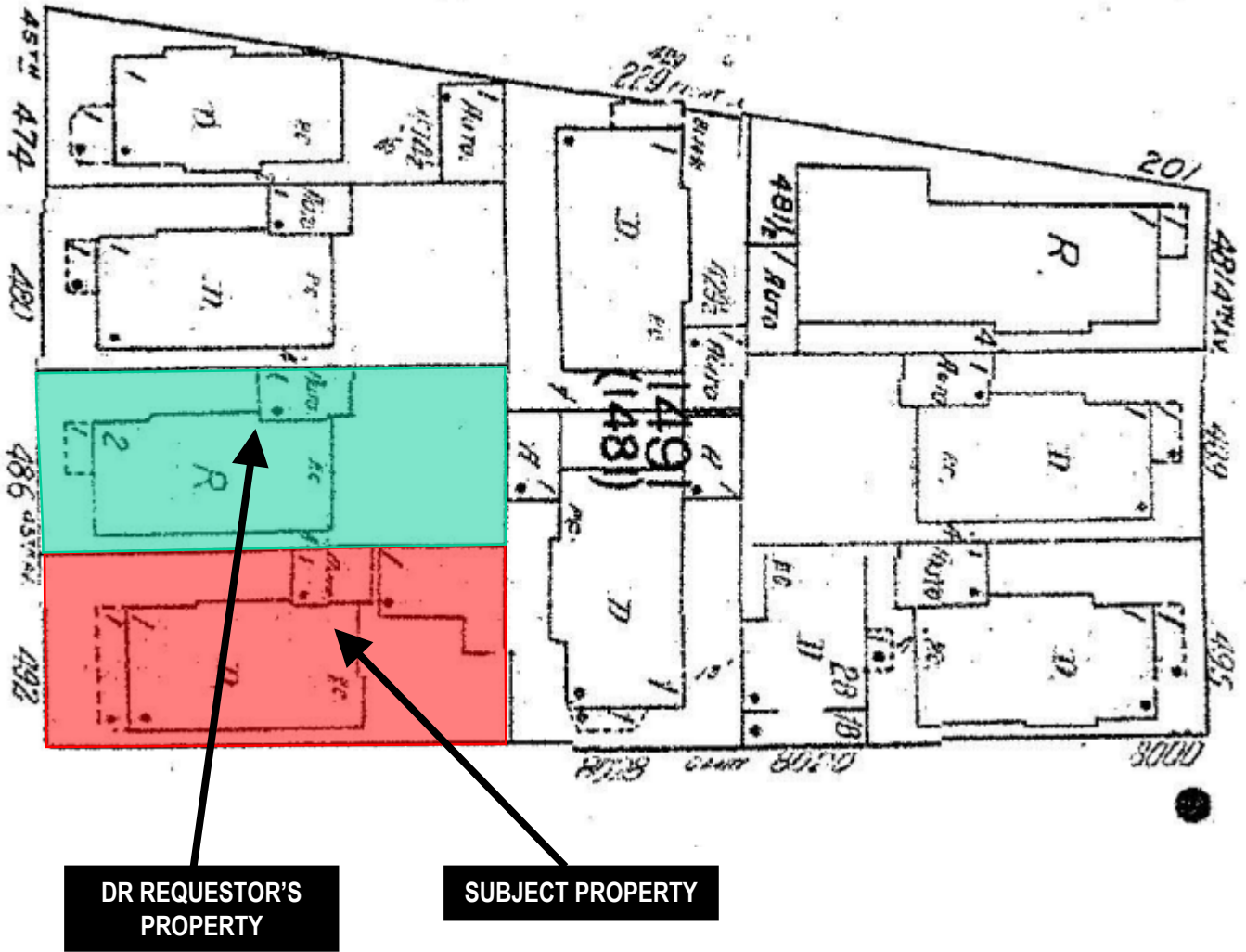
- Block Book Map
- Sanborn Map
- Zoning Map
- Aerial Photographs
- Context Photographs
- Section 311 Notice
- CEQA Determination
- DR Application
- 311 plans
- Response to DR Application: Revised plans dated 11.8.2020

Exhibits

Parcel Map



Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Zoning Map



Discretionary Review Hearing
Case Number 2018-014950DRP
492 45th Avenue

Aerial Photo



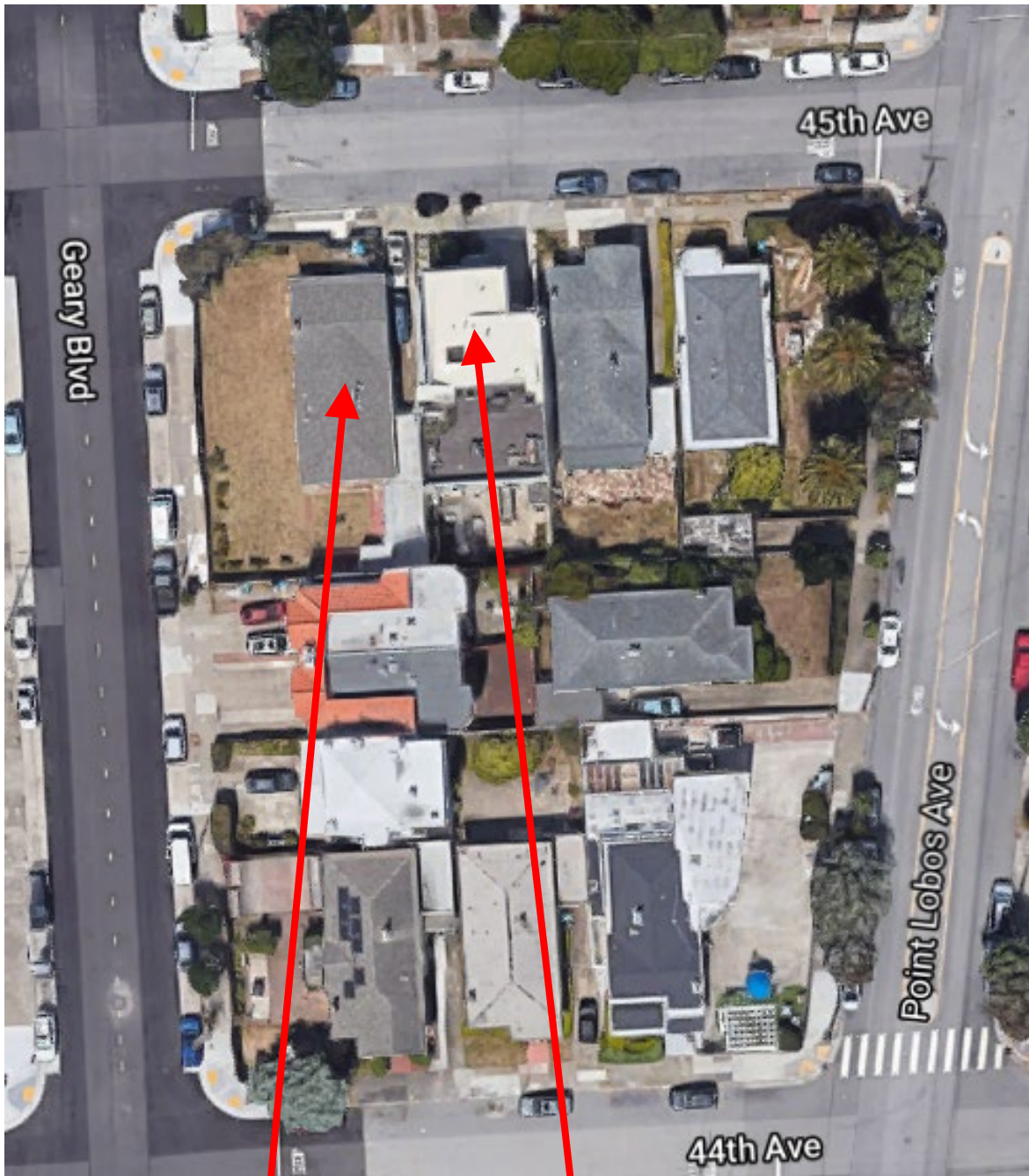
**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-014950DRP
492 45th Avenue

Aerial Photo



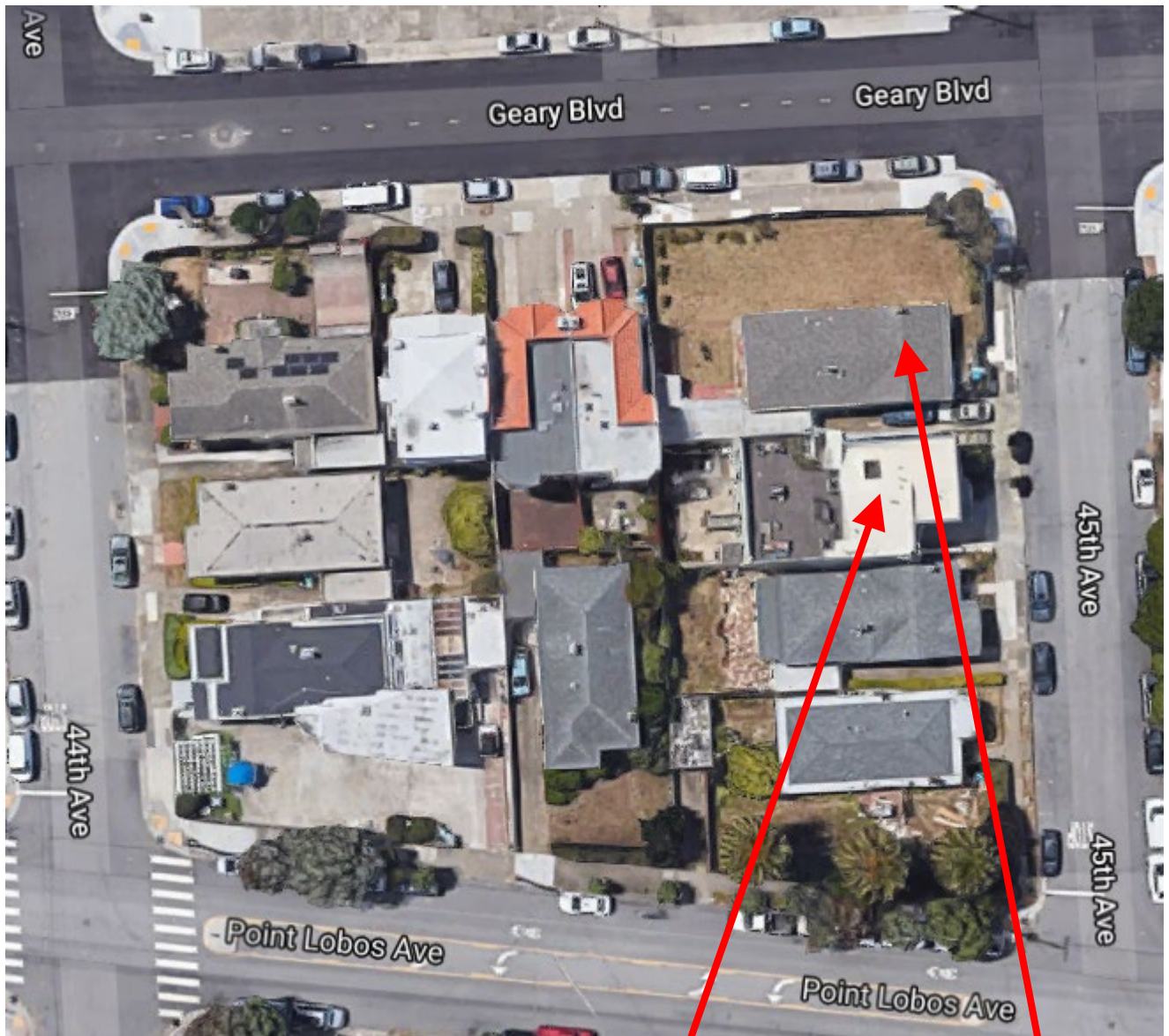
SUBJECT PROPERTY

**DR REQUESTOR'S
PROPERTY**



Discretionary Review Hearing
Case Number 2018-014950DRP
492 45th Avenue

Aerial Photo



**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-014950DRP
492 45th Avenue

Aerial Photo



**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-014950DRP
492 45th Avenue

Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2018-014950DRP
492 45th Avenue



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **October 22, 2018**, Building Permit Application No. **201810223827** was filed for work at the Project Address below.

Notice Date: September 1, 2020

Expiration Date: September 30, 2020

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	492 45th Avenue	Applicant:	Hawk N. Lee
Cross Streets:	Geary Blvd. and Point Lobos Ave.	Address:	1609 Noriega Street
Block/Lot No.:	1491/001D	City, State:	San Francisco, CA 94122
Zoning District:	RH-1 / 40-X	Telephone:	(415) 681-6325
Record Number:	2018-014950PRJ	Email:	hawklee@yahoo.com

You are receiving this notice as an owner or occupant of property within 150 feet of the proposed project. **You are not required to take any action.** For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request that the Planning Commission review this application at a public hearing for Discretionary Review. Requests for a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown above, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No change
Front Setback	± 10'-0"	No change
Side Setbacks	± 3'-6" and 0	No change
Building Depth	± 62'-0" width; 24'-0" deep attached structure	± 62'-0"
Rear Yard	± 24'-0"	No change
Building Height	± 14'-0"	± 27'-6"
Number of Stories	1	2
Number of Dwelling Units	1	No change
Number of Parking Spaces	1	2
PROJECT DESCRIPTION		
<p>The project includes the construction of a second-story vertical addition to an existing one-story single family residential building. The project also proposes various exterior alterations and the demolition of an existing one-story attached structure in the northeast corner of the property. See attached plans.</p> <p>The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.</p>		

To view plans or related documents, visit sf-planning.org/notices and search the Project Address listed above. Once the property is located, click on the dot(s) to view details of the record number above, its related documents and/or plans.

For more information, please contact Planning Department staff:
Sylvia Jimenez, 628-652-7348, sylvia.jimenez@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES DURING COVID-19 SHELTER-IN-PLACE ORDER

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice. If you have general questions about the Planning Department's review process, contact the Planning Information Center (PIC) via email at pic@sfgov.org.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Contact the project Applicant to get more information and to discuss the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects that conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review ("DR"). If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a DR Application prior to the Expiration Date shown on the front of this notice.**

To file a DR Application, you must:

1. Create an account or be an existing registered user through our Public Portal (<https://accsf.accela.com/ccsf/Default.aspx>).
2. Complete the Discretionary Review PDF application (<https://sfplanning.org/resource/drp-application>) and email the completed PDF application to CPC.Intake@sfgov.org. You will receive follow-up instructions via email on how to post payment for the DR Application through our Public Portal.

To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. The Board of Appeals is accepting appeals via e-mail. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Board of Supervisors at bos.legislation@sfgov.org, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



SAN FRANCISCO PLANNING DEPARTMENT

Affidavit of Mailing

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

I, _____ **Monica Huggins** _____ have mailed the attached document
(please print name)

- ___ Notification of Project Receiving Environmental Review (Neighborhood Notice)
- ___ Notice of Availability of Environmental Review Document (NOA)
- ___ Notice of Scoping Meeting for an Environmental Impact Report
- ___ Notice of Preparation of an Environmental Impact Report
- ___ Notice of Availability of Draft Environmental Impact Report
- ___ Preliminary Negative Declaration (PND) and Standard Neg Dec Cover Letter
- ___ Mitigated Negative Declaration (FMND)
- ___ Notice of Availability of Preliminary Negative Declaration
- ___ Notice of Hearing on Appeal After Initial Evaluation of a Project
- Certificate of Determination of Exemption/Exclusion From Environmental Review
- ___ Other : _____

On 5/17/2019 Project File No. & Title 2018-014950ENV-492 45TH AVE
(Date)

Also attached is a copy of the mailing list/ mailing labels to which the document was mailed.

_____ **Monica Huggins** _____
(Signature)

_____ 5/17/2019 _____
(Date)

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Revised 04/24/07



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
492 45TH AVE		1491001D
Case No.		Permit No.
2018-014950ENV		201810223827
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval. HORIZONTAL & 2ND FL ADDITION TO EXISTING SINGLE FAMILY. ADD 2ND FL:2 BEDS & 2 BATHS, LIVING & DINING, KITCHEN WITH CONNECTING STAIRS.REMODEL GROUND FL ENTRY, FAMILY ROOM & ADD BATHROOM & ELEVATOR</p>		

STEP 1: EXEMPTION CLASS

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Class _____

STEP 2: CEQA IMPACTS
TO BE COMPLETED BY PROJECT PLANNER

<p>If any box is checked below, an <i>Environmental Evaluation Application</i> is required.</p>	
<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i></p>
<input type="checkbox"/>	<p>Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)</p>
<input type="checkbox"/>	<p>Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required.</p>
<input type="checkbox"/>	<p>Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.</p>
<input type="checkbox"/>	<p>Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.</p>
<p>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <i>Environmental Evaluation Application</i> is required, unless reviewed by an Environmental Planner.</p>	
<p>Comments and Planner Signature (optional): Laura Lynch</p>	

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input checked="" type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <input type="checkbox"/> Reclassify to Category A <input type="checkbox"/> Reclassify to Category C a. Per HRER dated (attach HRER) b. Other (specify):
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature:	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 - CEQA Impacts <input type="checkbox"/> Step 5 - Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.				
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.				
<table border="1" style="width: 100%;"> <tr> <td style="width: 60%;">Project Approval Action: Building Permit</td> <td style="width: 40%;">Signature: Katherine Wilborn</td> </tr> <tr> <td>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</td> <td>05/17/2019</td> </tr> </table>		Project Approval Action: Building Permit	Signature: Katherine Wilborn	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	05/17/2019
Project Approval Action: Building Permit	Signature: Katherine Wilborn				
If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	05/17/2019				
<p>Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.</p>					

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
492 45TH AVE		1491/001D
Case No.	Previous Building Permit No.	New Building Permit No.
2018-014950PRJ	201810223827	
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Date:



SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Preservation Team Meeting Date: 04/17/2019	Date of Form Completion 04/26/2019
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PROJECT INFORMATION:		
Planner:	Address:	
Katherine Wilborn	492 45th Avenue	
Block/Lot:	Cross Streets:	
1491/001D	45th and Geary Avenues	
CEQA Category:	Art. 10/11:	BPA/Case No.:
B	N/A	2018-014950ENV

PURPOSE OF REVIEW:			PROJECT DESCRIPTION:	
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input checked="" type="radio"/> Alteration	<input type="radio"/> Demo/New Construction

DATE OF PLANS UNDER REVIEW: n/a
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PROJECT ISSUES:	
<input checked="" type="checkbox"/>	Is the subject Property an eligible historic resource?
<input type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
Submitted: Historic Resource Supplemental prepared by applicant, February 2019.	

PRESERVATION TEAM REVIEW:				
Historic Resource Present		<input type="radio"/> Yes	<input checked="" type="radio"/> No *	<input type="radio"/> N/A
Individual		Historic District/Context		
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:		
Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 2 -Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 -Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Period of Significance:	<input type="text"/>	Period of Significance:	<input type="text"/>	
		<input type="radio"/> Contributor <input checked="" type="radio"/> Non-Contributor		

Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Needs More Information:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Defer to Residential Design Team:	<input checked="" type="radio"/> Yes	<input type="radio"/> No	

* If No is selected for Historic Resource per CEQA, a signature from Senior Preservation Planner or Preservation Coordinator is required.

PRESERVATION TEAM COMMENTS:
<p>According to the Historic Resource Supplemental (2/27/2019) and information accessed by Planning Department staff, the subject property at 492 45th Avenue was built in 1919 and is one-story, wood frame, plaster-clad, Mediterranean Revival style residential building in the Outer Richmond neighborhood. The roof is a low-pitched cross-gable with a hip at the rear (east) façade, a kick at the primary (west) façade, and a surround of projecting eaves with exposed rafter tails. The 45th Avenue (west) façade contains a single double-hung window, a recessed main entry within a porch, and a fixed picture window. The Geary Boulevard (south) façade features a brick chimney and three slider windows. To the north, at the property's rear, is a 1927 addition which includes a 12 x 30-foot garage and several wood windows with ogee lugs. The building retains moderate integrity as several, minimal exterior alterations have taken place since the 1930s; however, these minor alterations have cumulatively impacted the structure's overall retention of original material and form.</p> <p>Based on review by Department Preservation staff, 492 45th Avenue does not appear to be individually eligible for the California Register under Criteria 1 (Events), 2 (Persons), or 3 (Architecture). The property is not associated with any historic trends or events in the area. The subject building was constructed in 1919 by master architect Edward Eyestone Young for the first owner, Henrietta L.B. Sutro. Despite the modest dwelling's predominant architect and first owner, the structure is a modest example of early twentieth century residential architecture, has been repeatedly altered, and is not representative of the architect's work. Edward E. Young (1870-1934) moved to San Francisco in 1902 and obtained his State Architectural license in 1905. Young completed nearly 600 designs within the city during his 30-year career, until his death in 1935. His work is most notably large, residential structures in the Pacific Heights, Presidio Heights, and Lake Street-fronting areas, often in clusters directly adjacent to one another, such as 2235-2255 Octavia Street and 46-68 Presidio Avenue. Many of his constructions were Edwardian-style multi-family apartment buildings, such as: 2153 Sacramento (1916), 2157 Jackson and 2107 Pierce (1917), 2155 Buchanan (1919), 155 Dolores (1919), 159 Dolores (1921), 2105 Buchanan (1921), 2241 Sacramento (1922), 2790 Green (1922, formerly apartments and then the Russian Consulate), 2265 Broadway and 2230 Steiner (1923), 2000 California (1924), 1896 Pacific (1924), 1100 Sacramento (1924, known as the Park Lane Apartments), 2298 Pacific (1926), and 2001 California (1931), adjacent to his architectural practice at 2002 California (1923).</p> <p>(continued)</p>

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
Allison K. Vanderslice Digitally signed by Allison K. Vanderslice <small>Date: 2019.05.16 19:37:31 -07'00'</small>	

(continued)

Aside from his extensive residential development, Young's commercial developments are notable in their own right; including the Francisa Club (595 Sutter, 1919), Hotel Californian (403 Taylor, 1923), and exterior Art Deco renovation of Glide Memorial Church (330 Ellis, 1929). Despite Edward E. Young being a master architect, the structure at 495 45th Avenue does not portray his typical construction type, an outstanding construction type, nor is it within a tract of significant development associated with this architect.

The structure's first owner, Henrietta L.B. Sutro, lived in the residence from 1919-1921, shortly after her legal separation from Edgar Ernest Sutro, youngest son to Mayor Adolph Sutro, and heir to Sutro Baths. The divorced couple had one child, Adolph Gilbert Sutro, named after his predominant grandfather. From public records, it appears Adolph G. Sutro and his mother moved and resided together at various locations until Henrietta's death (1977). Adolph G. Sutro was a significant contributor to history in his own right, having been the first licensed water plane pilot in the United States and designing the La Avandada Mountain Villa, where Sutro Tower now stands. However, despite Henrietta and Adolph G. Sutro's connection to local, state, and national history, they resided at this residence for only two years before moving to 1199 Stanyan in 1921, and then La Avandada in 1935. Therefore, the occupancy of the subject building does not appear to be significantly related to their known contributions. Furthermore, none of the later owners or occupants have been identified as sufficiently important to history to justify a finding of individual eligibility under Criteria 2 (Persons).

492 45th Avenue does not appear to be individually eligible for the California Register under Criteria 1 (Events), 2 (Persons), or 3 (Architecture). The property is not associated with any historic trends or events in the area or at the subject property; although Adolph G. Sutro is considered a person of significance, the Subject Property does not reflect the appropriate time period or association with his achievements; and while the subject property is the work of master builder, it does not demonstrate the architect's style and is largely considered to be devoid of design intent. Additionally, the later additions do not possess architectural significance in their own right. Therefore, the subject building is not individually eligible under Criterion 3. Additionally, Planning staff finds that the subject building does not embody a rare construction type and therefore does not appear individually eligible for Criterion 4 as it applies to buildings and structures (the potential archeological significance of the site is not addressed in this document).

Planning staff finds that the subject building is not located in a historic district. For the Subject Property to be considered within a district, the surrounding properties must possess a significant continuity, united historically or aesthetically. The surrounding properties vary in construction date, style, and functionality, and therefore do not constitute eligibility of a district. Therefore, the subject building is not eligible for listing in the California Register of Historic Resource either individually or as a contributor to a historic district.



Figure 1 - 492 45th Avenue, West Facade. Google Maps, 2017



Figure 2 - 492 45th Avenue, South Facade. Google Maps, 2017

**HISTORICAL RESOURCE DISTRIBUTION LIST
UPDATED 1-24-2019**

Courtney Damkroger
2626 Hyde Street
San Francisco, CA 94109
cdamkroger@hotmail.com
415-923-0920

Gerald D. Adams
San Francisco Towers
1661 Pine Street, #1028
San Francisco, CA 94109

Mary Miles
Coalition for Adequate Review
364 Page Street, #36
San Francisco, CA 94102

Lucinda Woodward
State Office of Historic Preservation
Local Government Unit
1725 – 23rd Street, Suite 100
Sacramento, CA 95816

Sue Hestor
870 Market Street, #1128
San Francisco, CA 94102
hestor@earthlink.net
415-846-1021

Karin Flood
Union Square Business Improvement District (BID)
323 Geary Street, Suite 203
San Francisco, CA 94102
Karin@unionsquarebid.com
415-781-7880

The Art Deco Society of California
525 Bellevue Ave, Suite 311
Oakland, CA 94610
zelda1927@artdecosociety.org
(Prefer to be notified via email)

Andrew Wolfram
1420 Sutter Street, 2nd Floor
San Francisco, CA 94109

Anthony Veerkamp

National Trust for Historic Preservation

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San Francisco, CA 94102

Courtney S. Clarkson
3109 Sacramento Street
San Francisco, CA 94115

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San Francisco, CA 94133

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One South Van Ness Ave, 5th Floor
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San Francisco, CA 94104

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San Francisco, CA 94103

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Commission President

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Kate Black,
Commissioner
SEAT 6 Real Estate Professional
San Francisco Planning Department
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kate.black@sfgov.org



DISCRETIONARY REVIEW PUBLIC (DRP)

APPLICATION PACKET

Pursuant to Planning Code Section 311, the Planning Commission may exercise its power of Discretionary Review over a building permit application.

For questions, you can call the Planning counter at 628.652.7300 or email pic@sfgov.org where planners are able to assist you.

Please read the [Discretionary Review Informational Packet](#) carefully before the application form is completed.

WHAT TO SUBMIT:

- Two (2) complete applications signed.
- A Letter of Authorization from the DR requestor giving you permission to communicate with the Planning Department on their behalf, if applicable.
- Photographs or plans that illustrate your concerns.
- Related covenants or deed restrictions (if any).
- A digital copy (CD or USB drive) of the above materials (optional).
- Payment via check, money order or debit/credit for the total fee amount for this application. (See [Fee Schedule](#)).

HOW TO SUBMIT:

To file your Discretionary Review Public application, please email the completed application to cpc.intake@sfgov.org.

Español: Si desea ayuda sobre cómo llenar esta solicitud en español, por favor llame al 628.652.7550. Tenga en cuenta que el Departamento de Planificación requerirá al menos un día hábil para responder.

中文：如果您希望獲得使用中文填寫這份申請表的幫助，請致電628.652.7550。請注意，規劃部門需要至少一個工作日來回應。

Filipino: Kung gusto mo ng tulong sa pagkumpleto ng application na ito sa Filipino, paki tawagan ang 628.652.7550. Paki tandaan na mangangailangan ang Planning Department ng hindi kukulangin sa isang araw na pantrabaho para makasagot.



DISCRETIONARY REVIEW PUBLIC (DRP)

APPLICATION

Discretionary Review Requestor's Information

Name: _____ and Regan Carey

Email Address: _____

Address: _____ Telephone: (206) 409-8246

Information on the Owner of the Property Being Developed

Name: _____

Company/Organization: _____

Email Address: _____

Address: _____ Telephone: _____

Property Information and Related Applications

Project Address: _____

Block/Lot(s): _____

Building Permit Application No(s): _____

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?	X	
Did you discuss the project with the Planning Department permit review planner?	X	
Did you participate in outside mediation on this case? (including Community Boards)		
Changes Made to the Project as a Result of Mediation. If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes that were made to the proposed project.		

Please see Attachment A.

DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

-
2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

-
3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

DISCRETIONARY REVIEW REQUESTOR'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

a) The undersigned is the DR requestor or their authorized representation.

deborah holley

Signature

Name (Printed)

Relationship to Requestor
(i.e. Attorney, Architect, etc.)

Phone

Email

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

492 45th AVENUE DR ATTACHMENT A

Question 1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

The Treuille family – Adrien, Regan, and their two children, Cullan (eight years old) and Emer (four months) -- moved into 486 45th Avenue, the home next door to the proposed project, just two weeks ago on September 12, 2020. This is the first home they have owned and they were dismayed to see the 311 Notice posted and in their mail notifying them that that the home next door at 492 45th Avenue would be adding a second story and would move six feet closer to them, substantially changing the conditions of their home. September 12 was the first time they became aware of the proposed plans.

Because the project would have significant impacts on the Treuille's home, they are requesting Discretionary Review of the proposed project. *Figures 1 and 2* show the locations of the project site and the Treuille's home next door at 486 45th Avenue, which was built in 1919, with additions made in 1984.



Figure 1. Locations of Project Site (492 45th Avenue) and DR Requestor's Home (482 45th Avenue) – Aerial View



Figure 2. Locations of DR Requestor’s Home and Project Site and– Street View

As proposed, the project does not protect the family’s light and air and therefore conflicts with a key element of the Residential Design Guidelines. A Principle Residential Design Guideline is to:

Maintain light to adjacent properties by providing adequate setbacks. (page 5)

The exceptional circumstances in this case that justify DR are as follows:

- a. *The project does not provide adequate setbacks and would adversely impact the neighbors’ light and air.*** Please see the discussion of the specifics of this impact under question 2 in the next section below.

- b. *The Treuilles just moved to their new home next door to the proposed project, were not informed of the vertical and horizontal expansion that would adversely affect them before purchasing the home, and were not afforded the opportunity to participate in any meetings with the project sponsors to voice their concerns.*** They just became aware of the project two weeks ago and have not had an opportunity to meet with the owners of 492 45th until two days ago on September 28, 2020 when the owners responded to their email. The owners have offered to meet with the Treuilles and we hope but do not yet know if they are willing to modify the project. While we have reached out to the Planning Department and the architect, the original planner, Sylvia Jimenez, is on maternity leave and the planner we spoke with now assigned, Mary Woods, did not have

access to the full plan set, the Pre-Application Meeting documentation, or other materials such as 3-d images or shadow studies that would help us better understand the full impacts of the project. These items are not posted online on the PIM, and the architect has not provided them to date. We request that these materials be sent to us.

Question 2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others, or the neighborhood would be adversely affected, please state who would be affected, and how.

The project would reduce access to light and air on the south side of the neighbor's home. The project has been insensitively designed. As show in in *Figures 3* through *4*, the proposed second story would be expanded horizontally six feet over the existing first story to the north towards the Treuille's home. A 13'-6" second story would be constructed over the existing 14' first story. As shown in *Figure 5*, the second story would tower approximately 7' above the top of the Treuille's south-facing second story windows, which would significantly reduce light to these windows. The placement of the proposed solar panels could further impact their light.



Figure 3. Proposed Horizontal and Vertical Addition

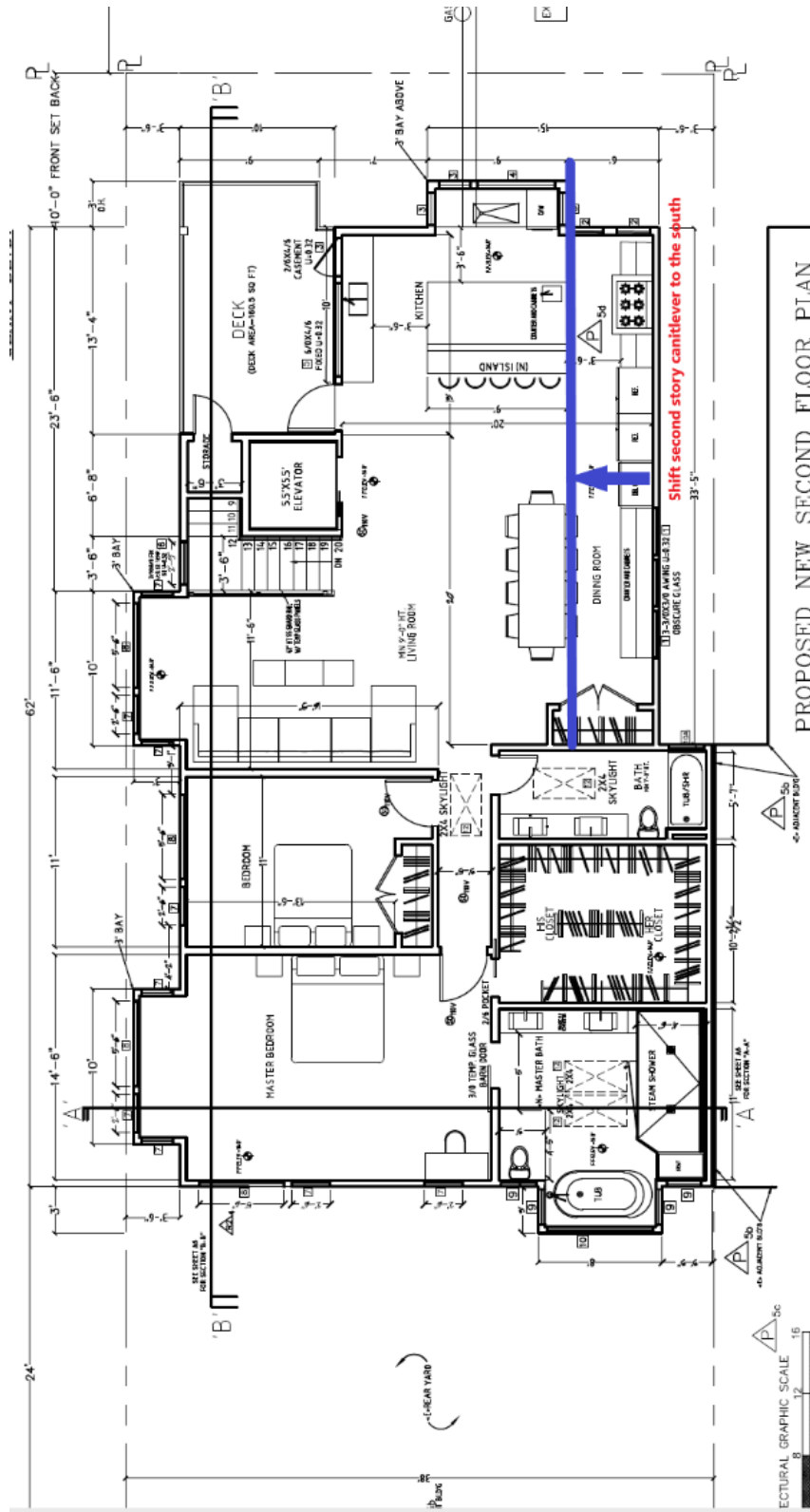


Figure 4. Proposed New Second Floor Plan

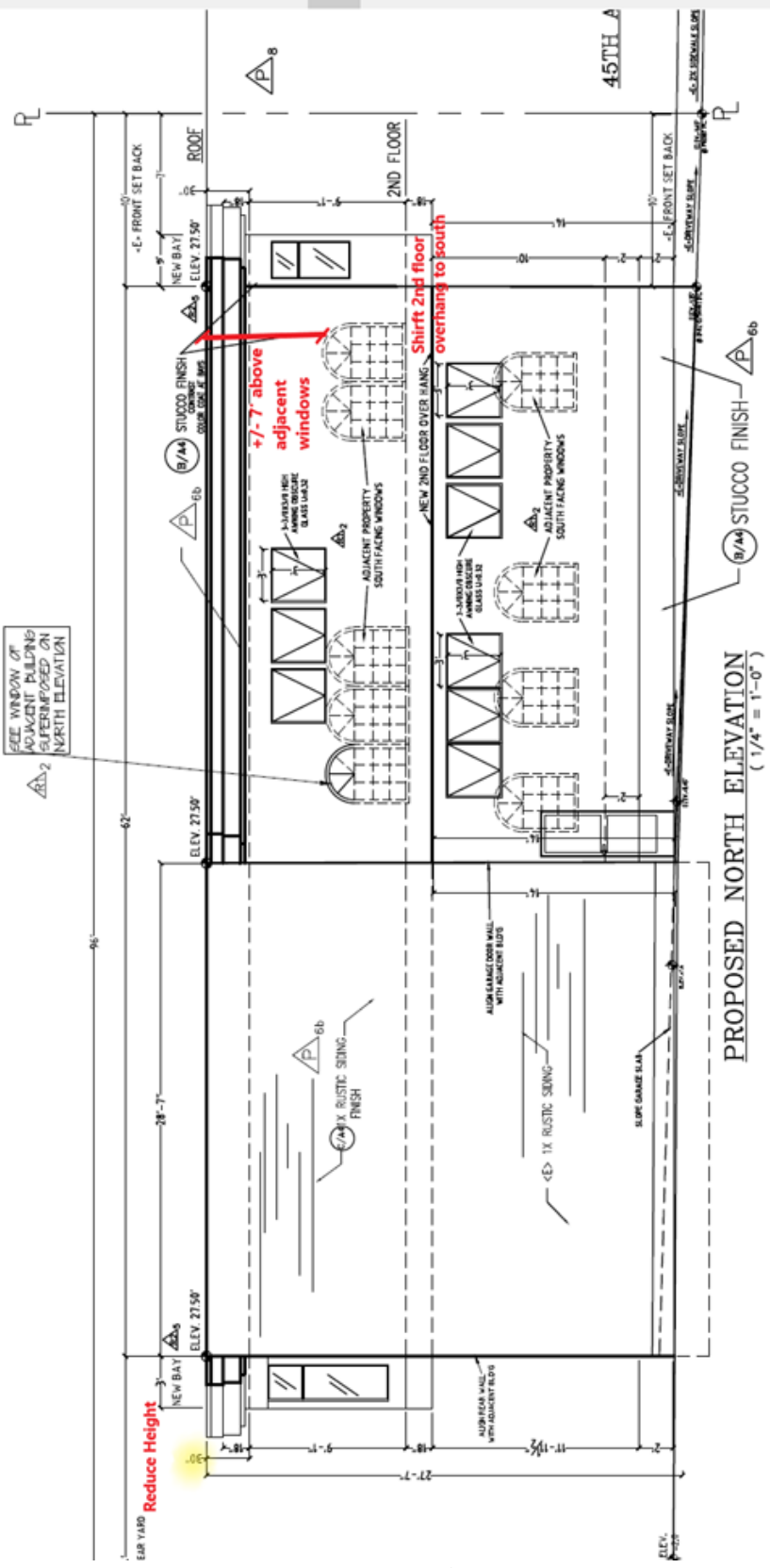


Figure 5. Proposed New North Elevation

Increasing the height and width of the building would drastically reduce the light and air that the neighbors currently enjoy from the south-facing windows of their home. Most importantly, it would adversely affect the family room where the children and their parents will be spending the bulk of their time during the day. (At present, the Treuilles are still unpacking.) **Figure 6** is a photograph of Cullan Treuille in the playroom. You can see the light that currently comes in the window and the existing first story home at 492 45th. Now imagine a second floor that is six feet closer to the playroom (**Figures 3 and 4**) and rises 13 ½ feet higher (**Figures 3 and 5**).



Figure 6. Treuille Family Playroom

We respectfully request that the Planning Commission protect the Treuille family by requiring modifications to the project. (See the answer to the following question below regarding reasonable changes that could be made to the proposed project to protect the neighbor's light and air.)

Question 3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

The project should be modified to reduce the proposed horizontal and vertical addition at the second floor. The overall height of the project, which is 27'-6" – 14' at the first floor and 13'-6" at the second floor could be reduced and the horizontal extension of 6' cantilevering over the first story towards the Treuille's home could be shifted to the other side of the property and/or reduced in size. *Figure 4* shows the portion of the proposed addition that could be shifted to reduce impacts. *Figure 5* shows that the extensive height of the project could be reduced by 3' or more to reduce impacts. Additionally, the table below and the floor plan in *Figure 4* demonstrate that there is ample room to modify the project to lessen the impacts on their neighbors.

AREA ANALYSIS MATRIX FORMAT						
MARK	INDICATE		EXISTING	PROPOSED NEW	TOTAL	SPACE ID
A	# STORIES		ONE	TWO	TWO	
B	BUILDING AREA PER FLOOR	<E>GARAGE	543.6 SQ FT	326.4 SQ FT	870.0 SQ FT	GARAGE
		<E>GRD FLOOR	932 SQ FT	60.5 SQ FT	992.5 SQ FT	<E>LIVABLE
C	FLOOR	<N>2ND FLOOR	-0- SQ FT	1973 SQ FT	1973 SQ FT	<N>LIVABLE
						<N>LIVABLE
C	BUILDING AREA		1,475.6	2,359.9	2965.5 SQFT	TOTAL LIVABLE
D	OCCUPANT LOAD	200 SQ FT PER OCCUPANT	4.6	10.2	14.8	

Total proposed SF = 3,835.5

Source: 311 plans (notes added in red)

San Francisco Planning Department
49 South Van Ness Avenue, Suite 1400
San Francisco, CA 94103

Re: Letter of Authorization – 486 45th Avenue Discretionary Review Application

Dear Sir or Madam:

I am the owner of 486 45th Avenue in San Francisco.

By this letter, I authorize Deborah Holley of Holley Consulting and Scott Emblidge of Moscone Emblidge & Rubens, to communicate with the Planning Department on my behalf.

Thank you,

A handwritten signature in black ink, appearing to read 'Adrien Treuille', written over a horizontal line.

Adrien Treuille
486 45th Avenue
San Francisco, CA 94121

1a BUILDING DATA:

ADDRESS: 492 45TH AVENUE
SAN FRANCISCO, CA 94121
STORIES: 2 STORIES - NON SPRINKLER
OCCUPANCY: SINGLE FAMILY
R3/U1(GARAGE)

TYPE: 5B
ZONING: RH1 HEIGHT: 40X
BLOCK: 1491 LOT: 001D
OWNERS: IVAN AND ARLENE LEE
PHONE: 1 415 518-5771
E-MAIL: datoufut@gmail.com

1a AREA ANALYSIS MATRIX FORMAT

MARK	INDICATE	EXISTING	PROPOSED	TOTAL	SPACE ID
A	# STORIES	ONE	TWO	TWO	
B	BUILDING AREA PER FLOOR	<E>GARAGE 543.6 SQ FT <E>GRD FLOOR 932 SQ FT <N>2ND FLOOR -0- SQ FT	326.4 SQ FT 60.5 SQ FT 1973 SQ FT	870.0 SQ FT 992.5 SQ FT 1973 SQ FT	GARAGE <E>LIVABLE <N>LIVABLE
C	BUILDING AREA			2965.5 SQFT	TOTAL LIVABLE
D	OCCUPANT LOAD	200 SQ FT PER OCCUPANT	4.6	10.2	14.8

ABBREVIATIONS:

A/C	AIR CONDITIONING	FIN.	FINISH
ADJ.	ADJUSTABLE	FL.	FLOOR
A.F.F.	ABOVE FINISH FLR.	FLOUR.	FLOURESCENT
ALUM.	ALUMINUM	F.O.F.	FACE OF FINISH
ALT.	ALTERNATE	F.O.S.	FACE OF STUD
APPROX.	APPROXIMATELY	GA.	GAUGE
ARCH.	ARCHITECTURAL	G.C.	GEN. CONTRACTOR
BLDG.	BUILDING	GYP. BD.	GYP. BOARD
BLKG.	BLOCKING	H.B.	HOSE BIB
BM.	BEAM	H.C.	HANDICAP
CAB.	CABINET	HDWR.	HARDWARE
CAR.	COLD AIR RETURN	HP	HIGH POINT
CL.	CENTER LINE	H.W.	HOT WATER
CLG.	CEILING	INSUL.	INSULATION
CLOS.	CLOSET	INT.	INTERIOR
CLR.	CLEAR	L.P.	LOW POINT
COL.	COLUMN	MECH.	MECHANICAL
CONC.	CONCRETE	MTL.	METAL
CONST.	CONSTRUCTION	(N)	NEW
C.T.	CERAMIC TILE	N.I.C.	NOT IN CONTRACT
CTR.	CENTER	NO.	NUMBER
DET.	DETAIL	O.C.	ON CENTER
D.F.	DRINKING FOUNTAIN	OPP.	OPPOSITE
DIA.	DIAMETER	P-LAM	PLASTIC LAMINATE
DIM.	DIMENSION	PLYWD.	PLYWOOD
DN.	DOWN	R.D.	ROOF DRAIN
DR.	DOOR	R.O.	ROUGH OPENING
D/S	DOWN SPOUT	S.C.	SOLID CORE
DWG.	DRAWING	STOR.	STORAGE
(E)	EXISTING	SHT.	SHEET
EA.	EACH	T + G	TONGUE & GROOVE
EL.	ELEVATION	TYP.	TYPICAL
ELEC.	ELECTRICAL	U.O.N.	UNLESS OTHERWISE NOTED
EQ.	EQUAL	WD.	WOOD
EQUIP.	EQUIPMENT	W.P.	WATERPROOF
EXP.	EXPANSION		
EXPOS.	EXPOSED		
EXT.	EXTERIOR		
	FLOOR DRAIN		

CODE REQUIREMENTS:

ALL CONSTRUCTION WORK SHALL COMPLY WITH THE 2016 CALIFORNIA EXISTING BUILDING CODE; 2016 CALIFORNIA BUILDING CODE (CBC); 2016 CALIFORNIA PLUMBING CODE (CPC); 2016 CALIFORNIA MECHANICAL CODE (CMC); 2016 CALIFORNIA ELECTRICAL CODE (CEC); 2016 CALIFORNIA ENERGY CODE (2016 BUILDING ENERGY EFFICIENCY STANDARDS); CAL GREEN BUILDING CODE STANDARDS; 2016 CALIFORNIA FIRE CODE; AND 2016 M BUILDING CODE.

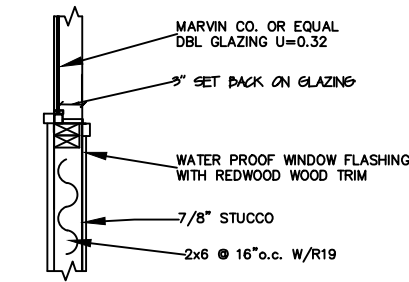
BY USE OF THESE PLANS THE OWNER AND THE GENERAL CONTRACTOR HAVE AGREED TO INDEMNIFY THE ENGINEER FOR ALL LEGAL COST ASSOCIATED WITH ANY OWNER AND CONTRACTOR DISPUTES AND HOLD ENGINEER HARMLESS. THE ENGINEERS LIABILITY IS LIMITED TO FEES RECEIVED FOR SERVICES RENDERED.

SCOPE OF WORK:

HORIZONTAL AND SECOND FLOOR ADDITION TO EXISTING SINGLE FAMILY RESIDENCE:
ADD 2ND FLOOR: TWO BEDROOMS, TWO BATHROOMS, LIVING AND DINING ROOM PLUS KITCHEN WITH CONNECTING STAIRS
REMODEL GROUND FLOOR ENTRY, FAMILY ROOM AND ADD BATHROOM AND ELEVATOR

INDEX:

- 1. A1.0 SITE & LOCATION PLAN
- 2. A2.0 <E> SITE PLAN, EXISTING FRONT & REAR ELEVATIONS
- 3. A2.1 <E> NORTH & SOUTH ELEVATIONS
- 4. A2.2 <E> GROUND FLOOR PLAN
- 5. A2.3 <E> GROUND DEMOLITION FLOOR PLAN
- 6. A3.0 <N> NORTH AND SOUTH ELEVATIONS
- 7. A3.1 <N> FRONT & REAR ELEVATIONS WITH ADJACENT BUILDING
- 8. A4.0 <N> GROUND FLOOR PLAN
- 9. A4.1 <N> SECOND FLOOR PLAN
- 10. A4.2 <N> ROOF PLAN
- 11. A5. SECTION 'A-A', SECTION 'B-B'
- 12. E1.0 GROUND FLOOR ELECTRICAL PLAN
- 13. E2.0 2ND FLOOR ELECTRICAL PLAN
- 14. S1. FOUNDATION PLAN
- 15. S1.1 FOUNDATION DETAILS
- 16. S2. 1ST FLOOR FRAMING PLAN
- 17. OS2.1 2ND FLOOR FRAMING PLAN
- 18. S2.2 ROOF FRAMING PLAN
- 19. S3. SPECIFICATIONS & DETAILS
- 20. S4. WOOD FRAMING DETAILS
- 21. T1. TITLE 24 COMPUTER ENERGY COMPLIANCE
- 22. T1.1 MANDATORY MEASURES
- 23. T1.2 TITLE 24 COMPLIANCE FORMS
- 24. GS5. S. F. GREEN BUILDING REQUIREMENTS



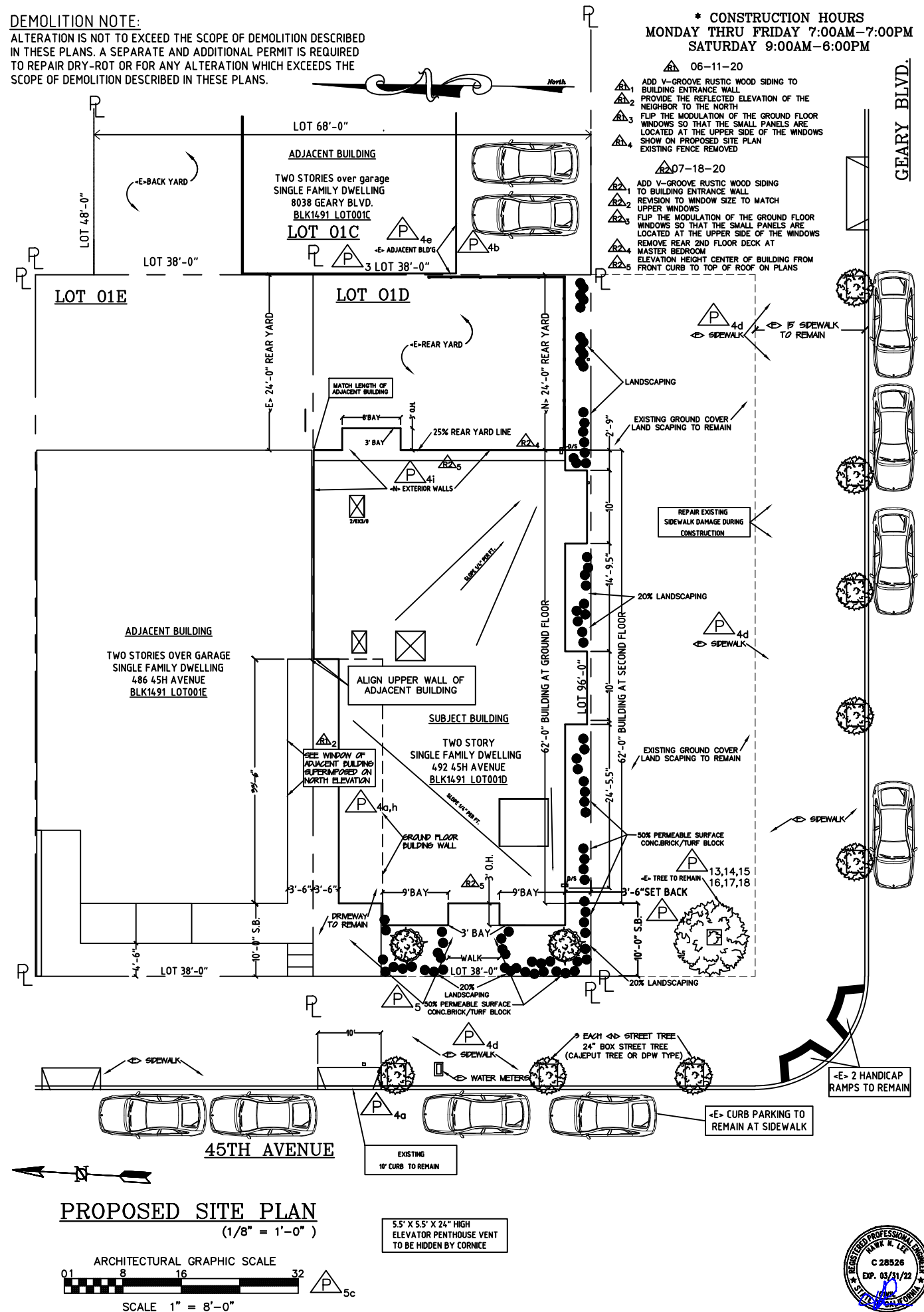
A WINDOW SILL DETAIL
SCALE 3/4" = 1'-0"

S.F.P.D. COMPLIANCE REQUIREMENTS:
(S. F. FIRE DEPARTMENT NOTES)

- × MAINTAIN FIRE RATED CONSTRUCTION IN THE AREA OF WORK (HOT WORK REQUIRES A FIRE WATCH)
- × SEAL ALL PENETRATIONS WITH APPROVED METHODS AND MATERIALS (EQUAL TO THE FIRE RATED CONSTRUCTION)
- × MAINTAIN ALL REQUIREMENTS FOR EGRESS AT ALL TIMES (LIFE SAFETY AND FIRE SPRINKLES)

DEMOLITION NOTE:

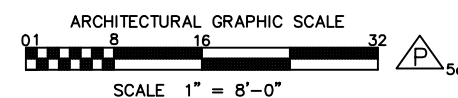
ALTERATION IS NOT TO EXCEED THE SCOPE OF DEMOLITION DESCRIBED IN THESE PLANS. A SEPARATE AND ADDITIONAL PERMIT IS REQUIRED TO REPAIR DRY-ROT OR FOR ANY ALTERATION WHICH EXCEEDS THE SCOPE OF DEMOLITION DESCRIBED IN THESE PLANS.



*** CONSTRUCTION HOURS**
MONDAY THRU FRIDAY 7:00AM-7:00PM
SATURDAY 9:00AM-6:00PM

- 06-11-20 ADD V-GROOVE RUSTIC WOOD SIDING TO BUILDING ENTRANCE WALL. PROVIDE THE REFLECTED ELEVATION OF THE NEIGHBOR TO THE NORTH.
- 07-18-20 ADD V-GROOVE RUSTIC WOOD SIDING TO BUILDING ENTRANCE WALL. REVISION TO WINDOW SIZE TO MATCH UPPER WINDOWS. FLIP THE MODULATION OF THE GROUND FLOOR WINDOWS SO THAT THE SMALL PANELS ARE LOCATED AT THE UPPER SIDE OF THE WINDOWS. SHOW ON PROPOSED SITE PLAN. EXISTING FENCE REMOVED.
- 07-18-20 ADD V-GROOVE RUSTIC WOOD SIDING TO BUILDING ENTRANCE WALL. REVISION TO WINDOW SIZE TO MATCH UPPER WINDOWS. FLIP THE MODULATION OF THE GROUND FLOOR WINDOWS SO THAT THE SMALL PANELS ARE LOCATED AT THE UPPER SIDE OF THE WINDOWS. REMOVE REAR 2ND FLOOR DECK AT MASTER BEDROOM. ELEVATION HEIGHT CENTER OF BUILDING FROM FRONT CURB TO TOP OF ROOF ON PLANS.

PROPOSED SITE PLAN
(1/8" = 1'-0")



2018 1022 3827/R3

REVISIONS	BY
08-13-18	
5-22-19	HL
10-8-19	HL
06-11-20	HL
07-18-20	HL

HAWK N. LEE, P. E.
Consulting Engineer
1609 Noriega Street
San Francisco, California 94122
(415) 681-6325 fax (415) 681-1012

LOT 001D
BLOCK 1491
492 45TH AVENUE
SAN FRANCISCO, CALIFORNIA

HORIZONTAL AND VERTICAL
ADDITION TO RESIDENCE

2018 1022 3827
2018-014950FRJ
Date: 02-15-18
Scale: AS SHOWN
Drawn: H. LEE
Job: 492-45A
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Of 24 Sheet



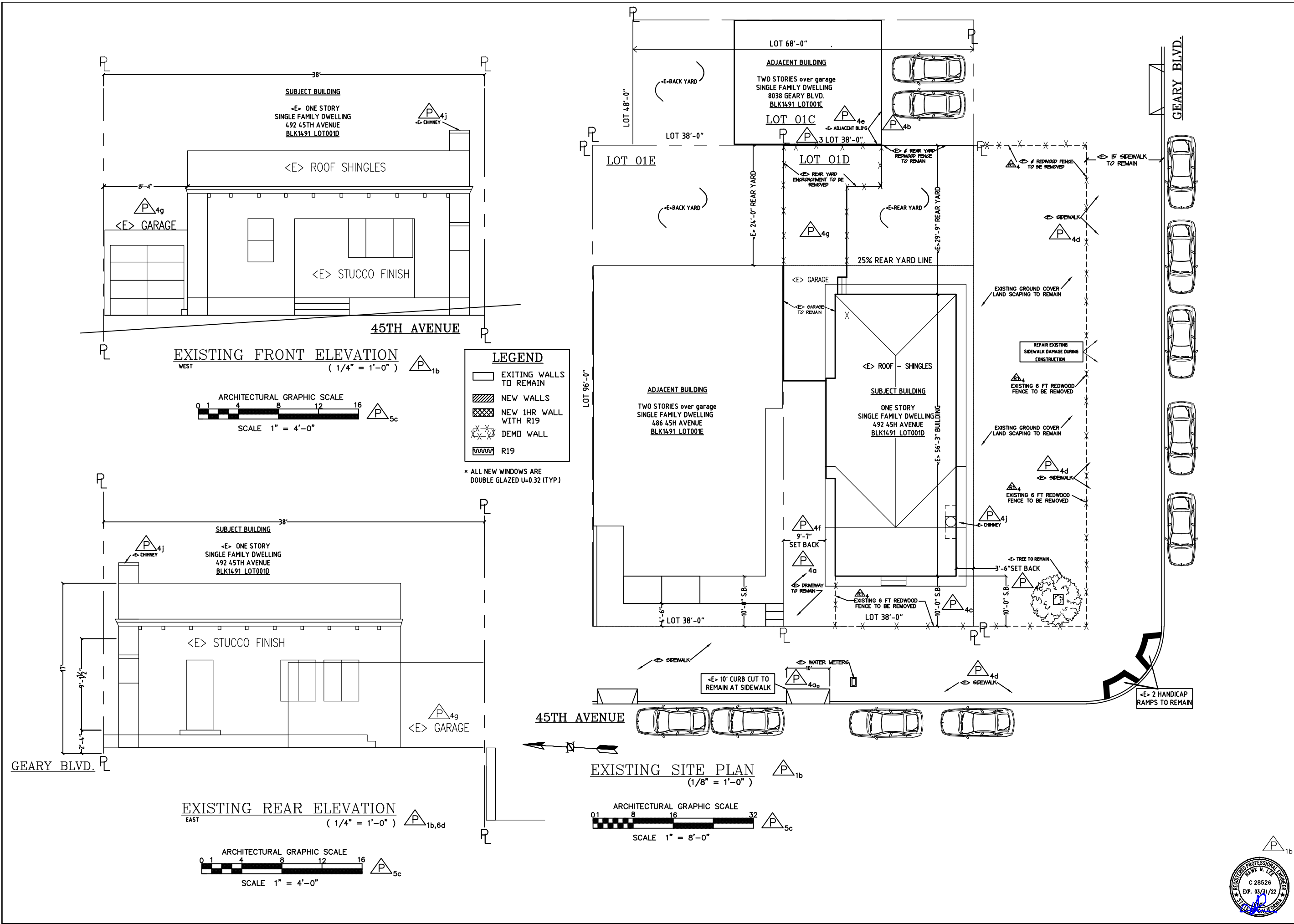
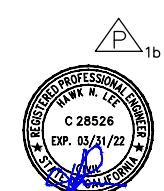
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A5-22-19	HL
A6-11-20	HL
A7-18-20	HL

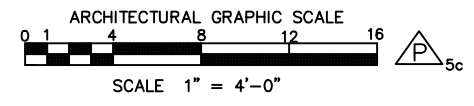
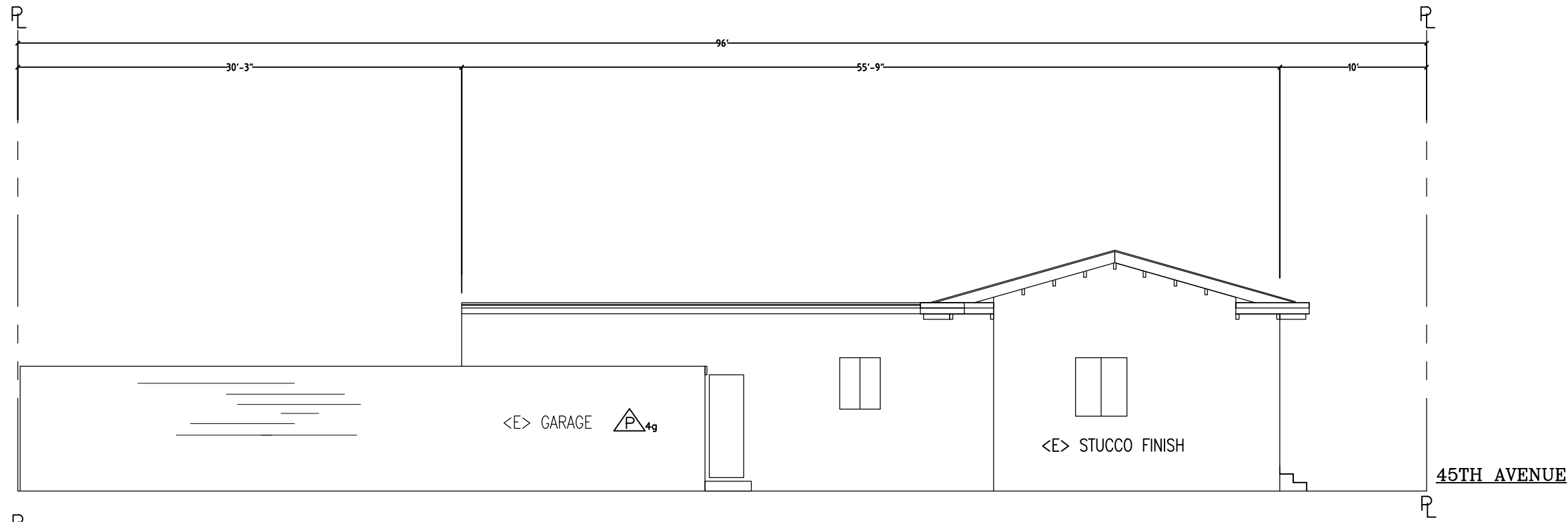
HAWK N. LEE, P. E.
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BLOCK 1491 LOT 001D
 492 45TH AVENUE
 SAN FRANCISCO, CALIFORNIA

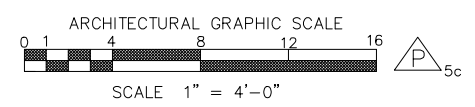
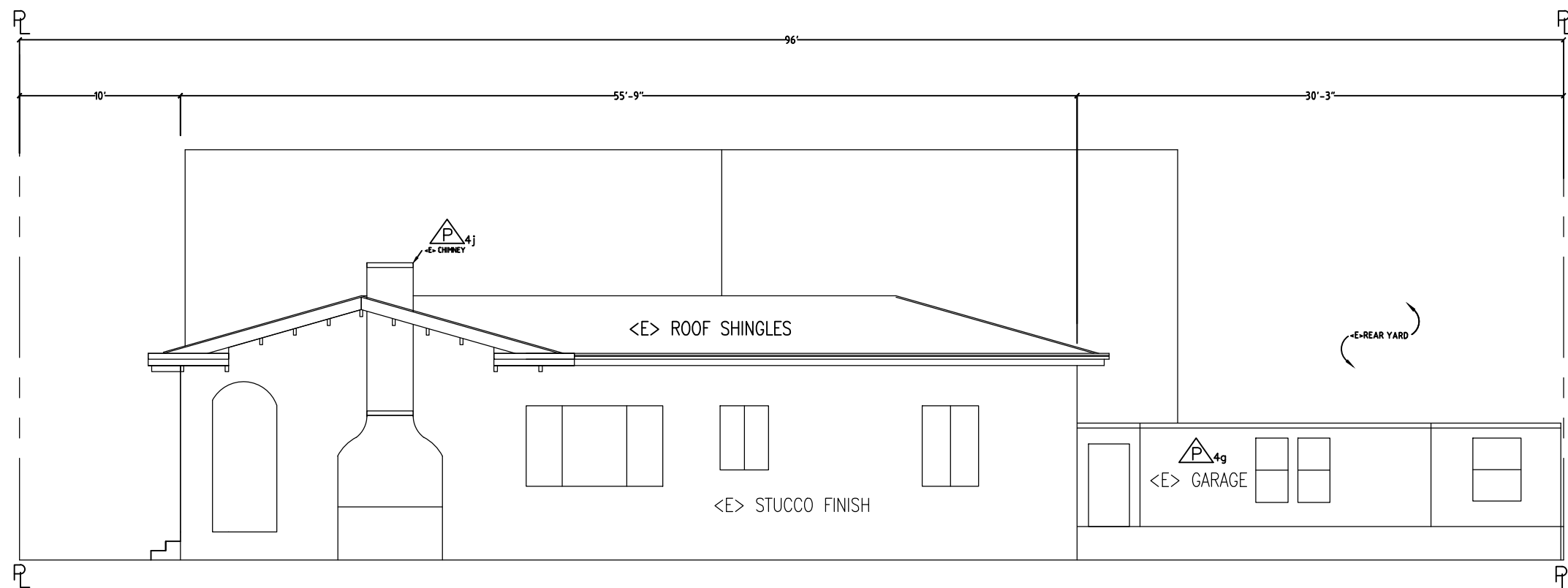
HORIZONTAL AND VERTICAL
 ADDITION TO RESIDENCE

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 Of 24 Sheet





EXISTING NORTH ELEVATION
(1/4" = 1'-0")



EXISTING SOUTH ELEVATION
GEARY BLVD.
(1/4" = 1'-0")

REVISIONS	BY
A-5-22-19	HL
A-06-11-20	HL
A-07-18-20	HL

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BLOCK 1491 LOT 001D
492 45TH AVENUE
SAN FRANCISCO, CALIFORNIA

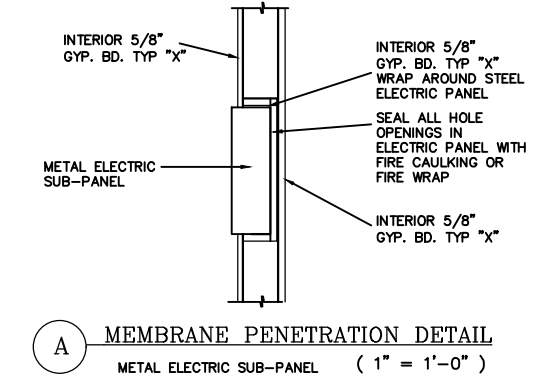
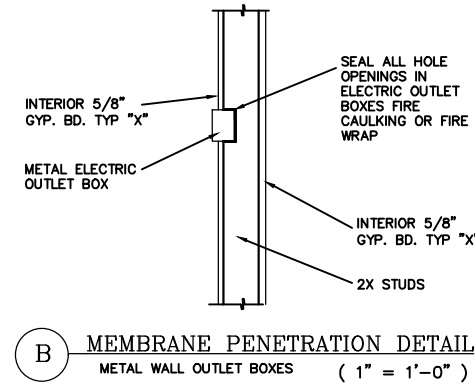
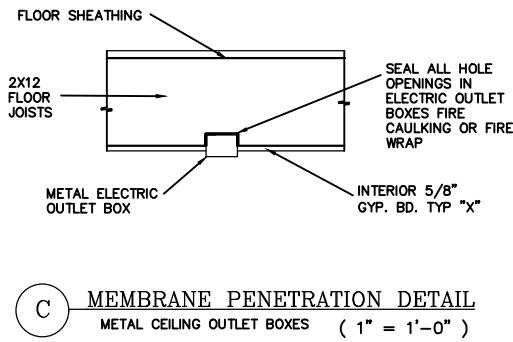
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ADDITION TO RESIDENCE

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Of 24 Sheet



CAL-GREEN REQUIREMENTS:

1. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED (4.304.1).
2. MINIMUM 50% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4.
3. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1).
4. COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENING DURING CONSTRUCTION (4.404.1).
5. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1).
6. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2).
7. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR RDC AND OTHER TOXIC COMPOUNDS (4.504.2.3) VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
8. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.3).
9. PARTICALBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (4.504.5).
10. INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (4.505.2).
11. CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALLS AND FLOOR FRAMING BEFORE ENCLOSURE (4.505.3).
12. PROVIDE INSULATED LOUVERS/COVERS (MIN R=4.2) WHICH CLOSE WHEN THE FAN IS OFF FOR THE WHOLE HOUSE EXHAUST FANS (4.507.1).



REVISIONS	BY
05-2-18	
5-22-19	HL
06-11-20	HL
07-18-20	HL

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BLOCK 1491 LOT 001D
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SAN FRANCISCO, CALIFORNIA

HORIZONTAL AND VERTICAL
ADDITION TO RESIDENCE

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Of 24 Sheet

LEGEND

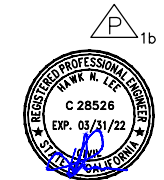
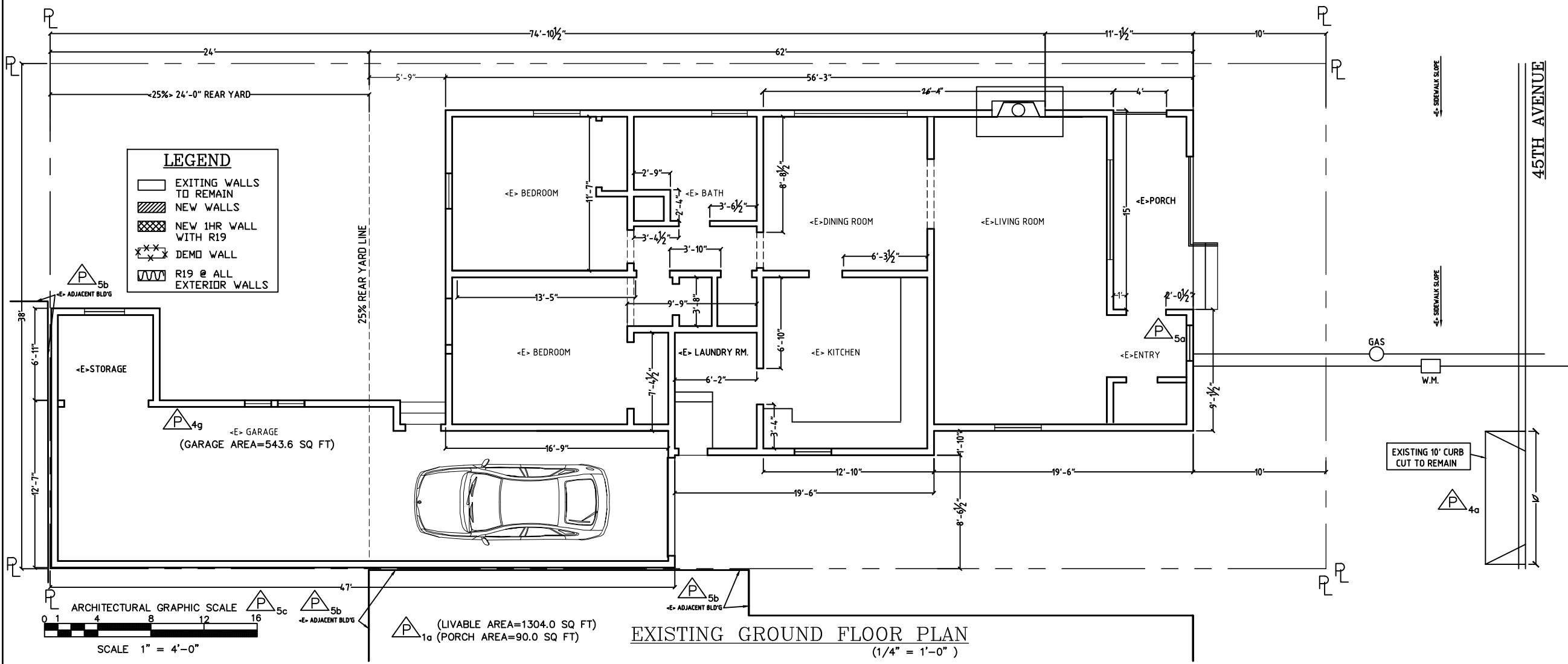
- EXITING WALLS TO REMAIN
- ✕✕✕✕ DEMO WALL

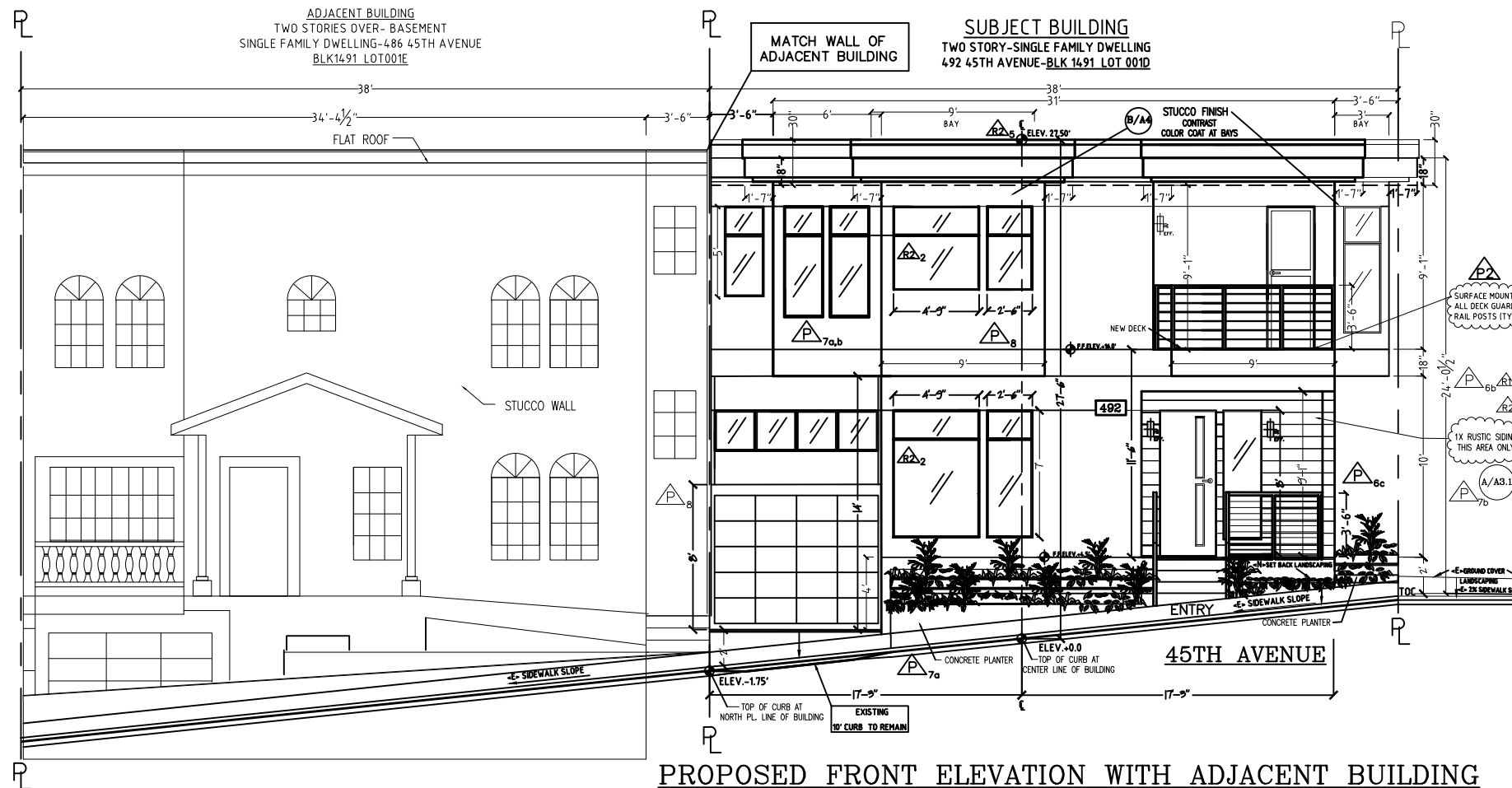
COMPLY WITH CONSTRUCTION AND DEMOLITION REUSE AND RECYCLING REQUIREMENT BY THE CITY. GRADING AND NO-HAULING WILL BE REQUIRE FOR THIS PROJECT.

EXHAUST FAN IN KITCHEN AREA FOR LOCAL VENTILATION INDOOR AIR QUALITY REQUIREMENTS PER 2016 CALIFORNIA ENERGY CODE SECTION AND ASHRAE 62.2. SHALL HAVE A CAPACITY OF 100 CFM MINIMUM.

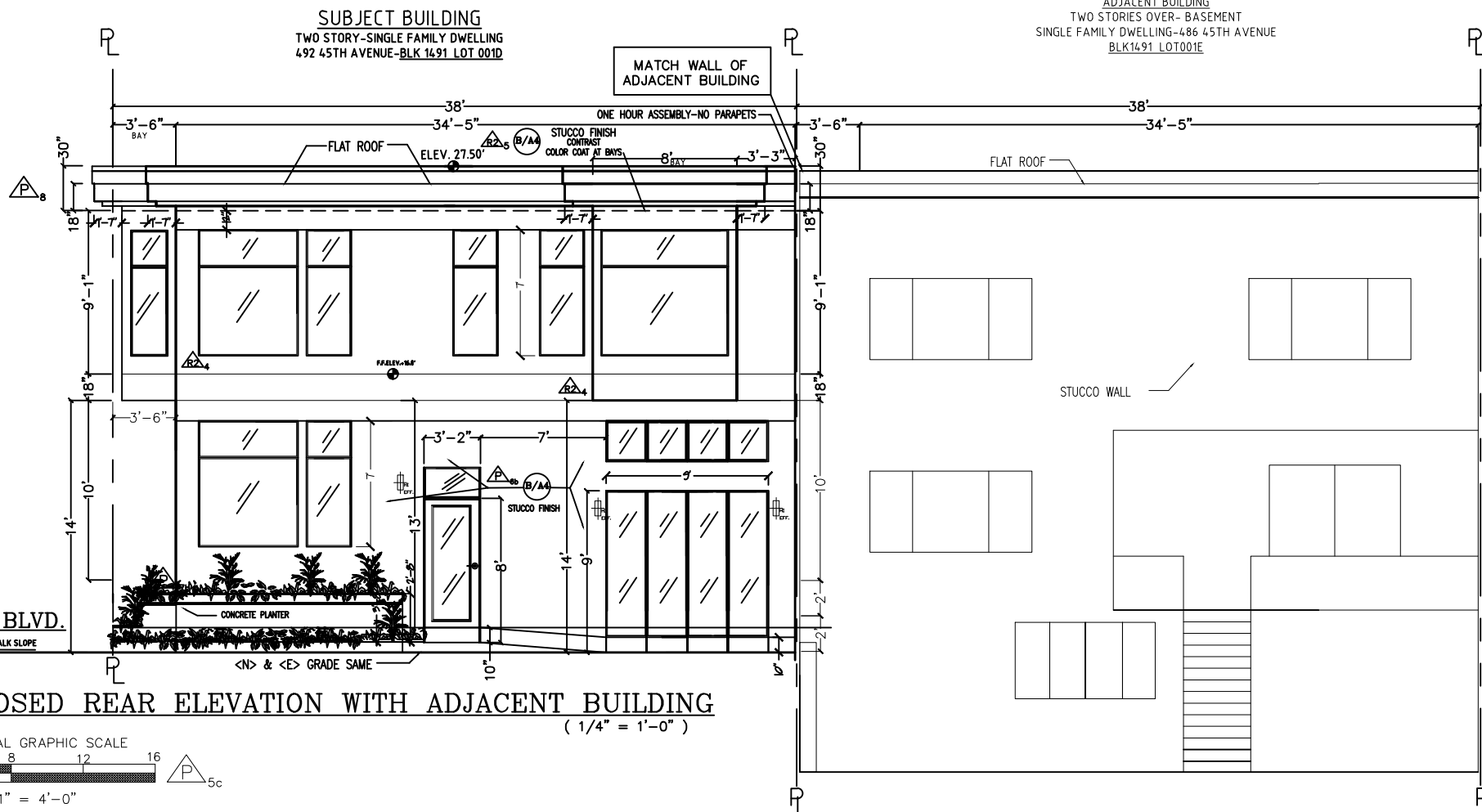
DOOR HEIGHT = 78" MINIMUM HEIGHT FOR ALL INTERIOR AND EXTERIOR DOORS TYPICAL

ALL 125V, 15-AND 20 AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC

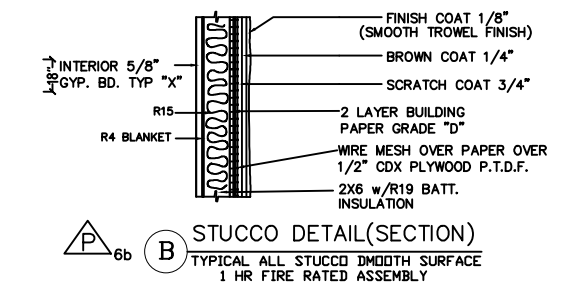
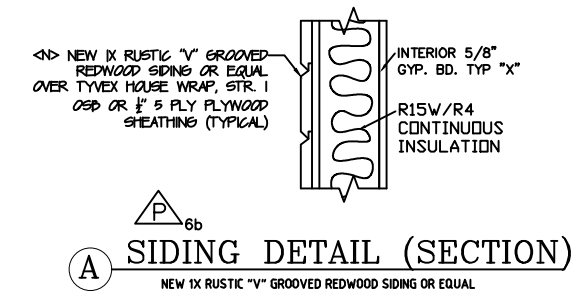
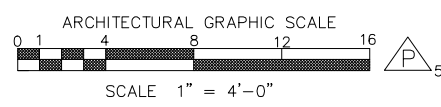




PROPOSED FRONT ELEVATION WITH ADJACENT BUILDING
(1/4" = 1'-0")



PROPOSED REAR ELEVATION WITH ADJACENT BUILDING
(1/4" = 1'-0")



NOTES:

- MINIMUM CEILING HEIGHT OF PROPOSED BATHROOM COMPARTMENTS THAT SHALL NOT BE LESS THAN 7'-0".
- INTERIOR FINISH MATERIALS SHALL HAVE SMOOTH, HARD NON-ABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CONCRETE, CERAMIC TILE OR OTHER APPROVED MATERIALS THAT EXTEND TO A HEIGHT NOT LESS THAN 70 INCHES ABOVE THE DRAIN INLET.
- NO PLASTIC PLUMBING PIPES ARE ALLOWED FOR DOMESTIC WATER SUPPLY AND SANITARY WASTE SYSTEM.
- WATER CLOSET SHALL HAVE A MAXIMUM 1.28 GALLONS PER FLUSH.
- SHOWER HEADS SHALL NOT EXCEED A WATER SUPPLY FLOW RATE OF 2.0 GALLONS PER MINUTE.
- SHOWER SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING TYPE VALVE.
- PROVIDE A 30-INCH MINIMUM CLEAR WIDTH WHERE THE WATER CLOSET IS LOCATED.
- STRAP WATER HEATER WITHIN THE UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSION. STRAP AT THE LOWER POINT SHALL BE INSTALLED 4 INCHES ABOVE WATER HEATER CONTROLS. RAISE THE WATER HEATER TO 18" FROM THE GARAGE FLOOR TO THE FLAME. ANY WATER HEATER W/ AN ENERGY FACTOR LESS THAN 0.59 MUST BE EXTERNALLY WRAPPED W/ INSULATION. HAVING A THERMAL RESISTANCE OF R-12 OR GREATER. THE MINIMUM CAPACITY FOR WATER HEATERS SHALL BE IN ACCORDANCE W/ THE FIRST HOUR RATING LISTED IN TABLE 5-1. THE FIRST HOUR RECOVERY RATE SHALL BE 8- GALLONS.
- BATHROOM OUTLET SHALL BE ON A DEDICATED 20-AMPERE CIRCUIT.
- PROVIDE AT LEAST ONE GFCI PROTECTED OUTDOOR OUTLET.
- PROVIDE AT LEAST ONE WALL SWITCHED-CONTROLLED LIGHTING OUTLET OR A LIGHT IN EACH PROPOSED ROOM.
- PROVIDE A LIGHTING OUTLET AT THE STAIRWAY CONTROLLED BY A WALL SWITCH AT EACH LEVEL.
- PROVIDE ONE SWITCH-CONTROLLED OUTDOOR LIGHT OUTLET AT THE EXTERIOR SIDE OF THE OUTDOOR ENTRANCE OR EXIT AT THE MASTER BEDROOM.
- UPGRADE THE EXISTING ELECTRICAL SERVICE TO AT LEAST 100 AMPERES DUE TO ADDITIONAL LOAD CREATED BY THE ADDITION.
- PROVIDE AT LEAST ONE FLUORESCENT LIGHT FIXTURE OR APPROVED HIGH EFFICIENCY LAMPS OF 40 LUMENS PER WATT OR GREATER FOR THE BATHROOM.
- ELECTRICAL OUTLETS INSTALLED IN BEDROOMS SHALL BE PROTECTED WITH AN ARC FAULT CIRCUIT INTERRUPTER.
- DUCT CONNECTION AND OPENING SHALL BE SEALED WITH PRESSURE SENSITIVE DUCT TAPE TESTED AND LABELED UL 181, UL 181 A OR UL 181 B.
- PROVIDE A MINIMUM 26 GAUGE GALVANIZED SHEET METAL HEATING SUPPLY DUCTS BETWEEN (E) MECHANICAL AND (N) BEDROOMS.
- EXHAUST DUCT DISCHARGE TO THE OUTSIDE OF THE BUILDING LOCATED AT LEAST 3 FEET FROM ANY OPENINGS INTO THE BUILDING.
- DOMESTIC CLOTHES DRYER EXHAUST DUCT SHALL TERMINATE OUTSIDE OF THE BUILDING AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING.
- THE MINIMUM CAPACITY FOR WATER HEATERS SHALL BE IN ACCORDANCE WITH THE FIRST HOUR RATING USED IN TABLE 5-1.
- KITCHEN FAUCET MAXIMUM 1.8 GALLONS PER MINUTE.
- DISHWASHER SHALL BE ENERGY STAR QUALIFIED.

REVISIONS	BY
A-5-22-19	HL
10-8-19	HL
A-06-11-20	HL
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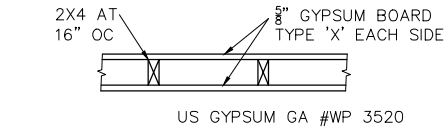
**HORIZONTAL AND VERTICAL
ADDITION TO RESIDENCE**

Date: 02-15-18
Scale: 1/4" = 1'-0"
Drawn: H. LEE
Job: 492-45A
Sheet
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Of 24 Sheet

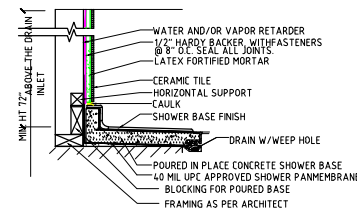


CalGreen REQUIREMENTS:

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12. PROVIDE INSULATED LOUVERS/COVERS (MIN R-4.2) WHICH CLOSE WHEN THE FAN IS OFF FOR THE WHOLE HOUSE EXHAUST FANS (4.507.1).



A 1HR WALL ASSEMBLY
(1/4" = 1'-0")



B SHOWER SECTION

PAINING SPECIFICATION:

PRODUCTS SPECIFIED ARE AS MANUFACTURED BY SINCLAIR PAINT CO., UNLESS OTHERWISE INDICATED. EQUIVALENT PRODUCTS MANUFACTURED BY SHERWIN-WILLIAMS, DUNN-EDWARDS, FULLER-O'BRIEN, OR GLIDDEN IN CONFORMANCE WITH MATERIALS LIST ARE ACCEPTABLE.

MATERIALS SELECTED FOR COATING SYSTEMS FOR EACH TYPE SURFACE SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER.

- INTERIOR PAINTING:**
 FLAT FINISH ON GYPSUM WALLBOARD
 1 COAT #7
 1 COAT #6
- SEMIGLOSS FINISH ON GYPSUM WALLBOARD
 1 COAT #7
 1 COAT #4
 1 COAT #9

- EXTERIOR PAINTING:**
 FLAT FINISH ON CEMENT PLASTER AND CONCRETE
 2 COATS #5

- MATERIALS LIST:**
1. RED OXIDE PRIMER
 2. ZINC DUST PRIMER
 3. SASH AND TRIM PRIMER
 4. ENAMEL UNDERCOATER
 5. ACRYLIC MASONRY PAINT
 6. FLAT LATEX WALL FINISH
 7. PVA SEALER
 8. LATEX ENAMEL UNDERCOATER
 9. ALKYD EGGSHELL ENAMEL

CALIFORNIA CODE REGULATIONS:
 TITLE 24, PART 6-ENERGY BUILDING REGULATION

PROVIDE AN INSULATION CERTIFICATE FORM (IC-1) ATTACHED TO PLANS (THIS FORM SHALL BE FILLED OUT BY THE INSULATION CONTRACTOR TO PROVIDE A COPY TO THE BUILDING DIVISION ON THE FINAL INSPECTION) (CEES STD 10-103.B.1).

"WATER HEATER SHALL BE WRAPPED WITH R-12 INSULATION"

ANY WATER HEATER WITH AN ENERGY FACTOR LESS THAN 0.58 MUST BE EXTERNALLY WRAPPED WITH INSULATION HAVING A THERMAL RESISTANCE OF R-12 OR GREATER (CEC 151 (F) 8).

PROVIDE A FLUORESCENT LIGHT FIXTURE OR APPROVED HIGH EFFICACY LAMPS OF NOT LESS THAN 40 LUMENS PER WATT FOR GENERAL LIGHTING IN THE KITCHEN. PROVIDE A WIRING LAYOUT SHOWING THE HIGH-EFFICACY LUMINARIES SHALL BE CONTROLLED BY A SWITCH AT THE ENTRANCE TO THE BATHROOM (CEC.STD.150-(K) 1)

REPLACEMENT WINDOWS & ALL NEW WINDOWS SHALL BE U-FACTOR OF 0.32 AT THE PROPOSED ADDITION AND EXISTING BUILDING, AS PER CF-IR SPECIFICATIONS. NFRC TEMPORARY LABELING ON NEW WINDOWS SHALL NOT BE REMOVED UNTIL INSPECTED BY THE ENFORCEMENT AGENCY (CEES.STD.11 (A) 2-B).

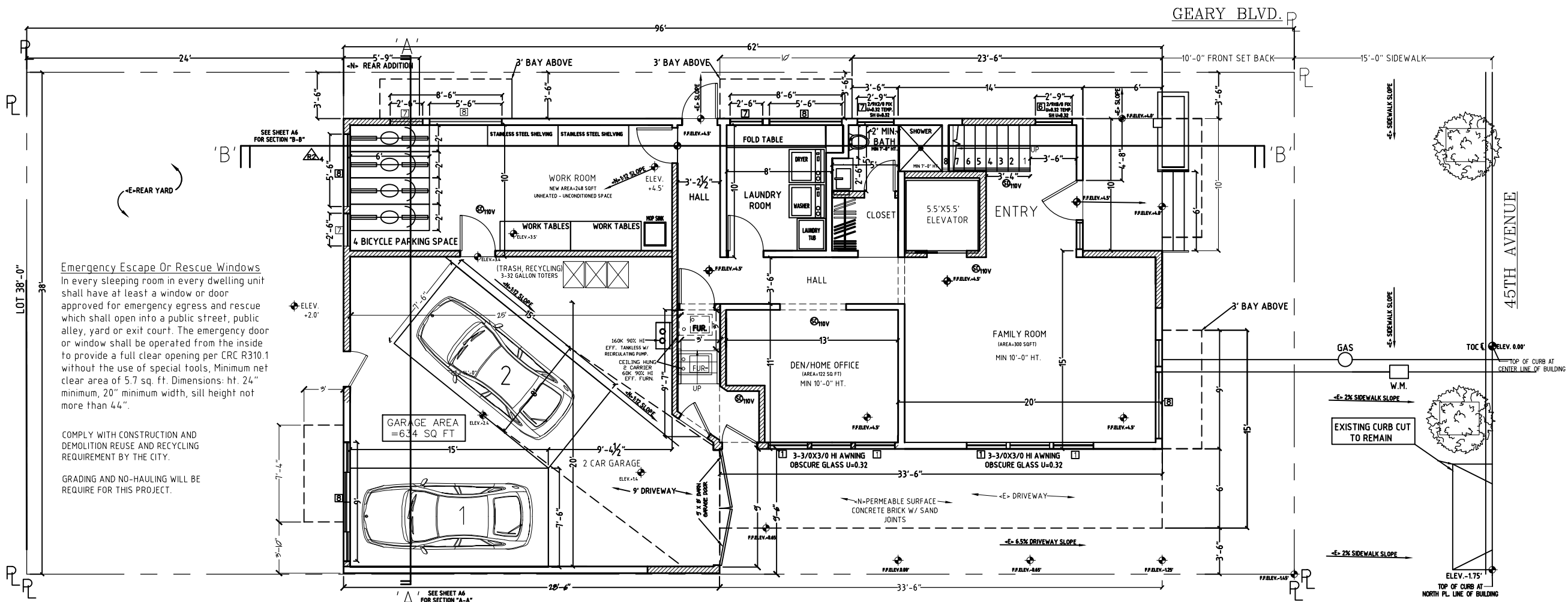
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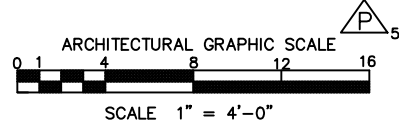
HORIZONTAL AND VERTICAL
 ADDITION TO RESIDENCE

Date: 02-15-18
 Scale: AS SHOWN
 Drawn: H. LEE
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 Sheet
 8 A4.0
 Of 24 Sheet



Emergency Escape Or Rescue Windows
 In every sleeping room in every dwelling unit shall have at least a window or door approved for emergency egress and rescue which shall open into a public street, public alley, yard or exit court. The emergency door or window shall be operated from the inside to provide a full clear opening per CRC R310.1 without the use of special tools. Minimum net clear area of 5.7 sq. ft. Dimensions: ht. 24" minimum, 20" minimum width, sill height not more than 44".

COMPLY WITH CONSTRUCTION AND DEMOLITION REUSE AND RECYCLING REQUIREMENT BY THE CITY.
 GRADING AND NO-HAULING WILL BE REQUIRE FOR THIS PROJECT.



(<N>+<E>) LIVABLE AREA=60+1061=1121 SQ FT<1304 SQ FT
 (PORCH ENTRY AREA=60.0 SQ FT)
 (GARAGE AREA=634 SQ FT)

PROPOSED NEW GROUND FLOOR PLAN
 (1/4" = 1'-0")



ARCHITECTURAL:

- DURING BIDDING AND NEGOTIATION PERIOD, THE GENERAL AND SUBCONTRACTOR(S) SHALL CONFIRM, IN WRITING, APPROXIMATE ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS, AND SHALL NOTIFY HAWK N. LEE, P.E. (ENGINEER) IN WRITING, ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF THE SPECIFIED PRODUCT.
- UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE GENERAL CONTRACTOR SHALL ALSO SUBMIT A SPECIFIC CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUB-CONTRACTORS AND GENERAL CONTRACTORS WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY, AND CONFIRMING THAT WORK IS BUILDABLE, AS SHOWN, BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM HAWK N. LEE, P.E. (ENGINEER) BEFORE PROCEEDING WITH WORK IN QUESTION, OR RELATED WORK.

- GENERAL CONTRACTOR SHALL APPLY FOR AND OBTAIN AT THE CONTRACTOR'S SOLE EXPENSE, ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY ALL APPLICABLE BUILDING CODES AND REGULATORY CITY AND STATE AGENCIES.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN ACCORDANCE WITH ALL LOCAL REGULATORY AGENCIES, APPLICABLE BUILDING CODES AND REQUIREMENTS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DEFECTS FOUND IN EXISTING BASE BUILDING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, UNEVEN SURFACES AND FINISHES AT PLASTER OR GYPSUM BOARD. THE GENERAL CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH ADJACENT ADJOINING SURFACES. ALIGN AND SAND SMOOTH.
- GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF ALL PORTIONING, DOORS, ELECTRICAL/TELEPHONE OUTLETS AND LIGHT SWITCHES WITH THE ENGINEER IN THE FIELD, BEFORE PROCEEDING WITH CONSTRUCTION.

- CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED.
- CONTRACTOR SHALL PROVIDE ALL EXISTING CONSTRUCTION AND FINISHES AND SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGES CAUSED BY HIM OR HIS SUBCONTRACTOR(S).
- GENERAL CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR EXISTING FINISH FLOOR, FURNISHINGS AND EXISTING FINISHES IN AREAS OF DEMOLITION AND CONSTRUCTION, AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGES CAUSED BY THE WORK OF THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR.
- ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS.

EMERGENCY ESCAPE OR RESCUE WINDOWS:

IN EVERY SLEEPING ROOM IN EVERY DWELLING UNIT SHALL HAVE AT LEAST A WINDOW OR DOOR APPROVED FOR EMERGENCY EGRESS AND RESCUE WHICH SHALL OPEN INTO A PUBLIC STREET, PUBLIC ALLEY, YARD OR EXIT COURT. THE EMERGENCY DOOR OR WINDOW SHALL BE OPERATED FROM THE INSIDE TO PROVIDE A FULL CLEAR OPENING PER CRC R310.1 WITHOUT THE USE OF SPECIAL TOOLS, MINIMUM NET CLEAR AREA OF 5.7 SQ. FT. DIMENSIONS: HT. 24" MINIMUM, 20" MINIMUM WIDTH, SILL HEIGHT NOT MORE THAN 44".

BATHROOM FAN REQUIREMENTS:

- FANS SHALL BE ENERGY STAR COMPLIANT
- CONTROLLED BY AN ACCESSIBLE HUMIDISTAT CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE BETWEEN 50 AND 80%

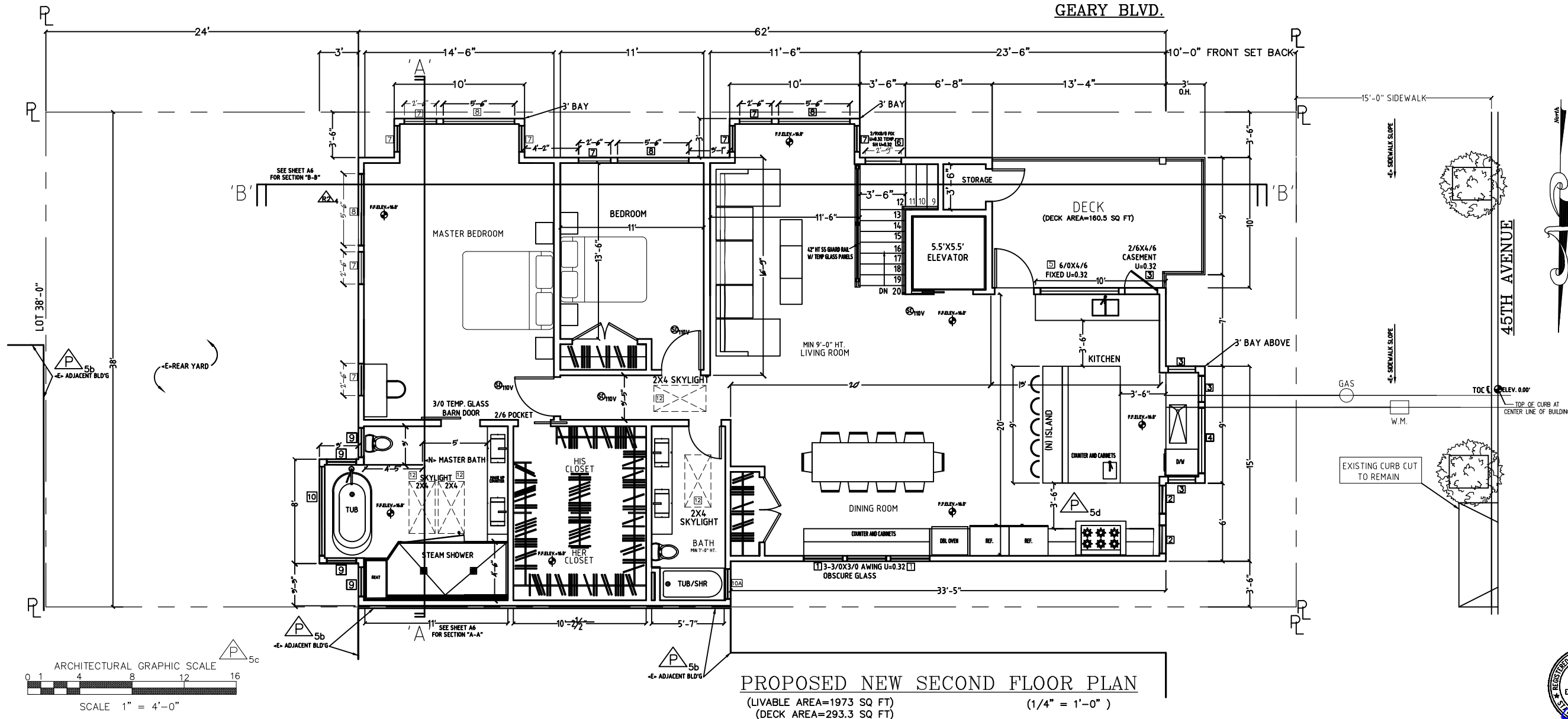
INTERIOR FINISH SCHEDULE ALL FLOORS				
ROOM	SUBFLOOR	FIN. FLR.	BASE	WALL AND CEILING
LIVING	WOOD	HARD WOOD	WOOD	5/8" GYPSUM WALL BOARDS
DINING	WOOD	HARD WOOD	WOOD	5/8" GYPSUM WALL BOARDS
KITCHEN	WOOD	TILE	WOOD	5/8" GYPSUM WALL BOARDS
BEDROOM	WOOD	CARPET	WOOD	5/8" GYPSUM WALL BOARDS
BATHS	WOOD	TILE	WOOD	5/8" GYPSUM WALL BOARDS WATERPROOF (TYP.)

GENERAL NOTES:

- GYPSUM BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY.
- PROVIDE 30" WIDE CLEAR SPACE AT THE WATER CLOSET, EXTENDING AT LEAST 24 INCHES IN FRONT OF THE WATER CLOSET.
- HORIZONTAL SIDING SHALL OVER LAP A MINIMUM OF 1 INCH, OR BE SHIP LAPPED OR BE Z FLASHED. VERTICAL JOINTS SHALL OCCUR OVER FRAMING MEMBERS.

GENERAL NOTES:

- CONTRACTOR TO PAINT INTERIOR OF ALL WORK, WHERE WORK IS PERFORMED.
- ALL WALLS, CEILINGS, & FLOORS WHERE ELECTRICAL, PLUMBING, OR MECHANICAL OCCURS SHALL BE TRIM & MATCH NEW FINISHES
- NEW ELECTRICAL & MECHANICAL WORK SHOWN ON PLANS REPRESENTS MINIMUM REQUIRED; UTILIZE ALL OUTLETS, LIGHT FIXTURES, ETC. IN COMBINATION WITH NEW, TO PROVIDE THE ELECTRICAL WORK AS SHOWN ON PLANS.
- STUB OFF AND RE-ROUTE ALL PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS AS REQUIRED TO COMPLETE THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL CONDITIONS, DIMENSIONS, ETC. AT SITE FOR DEMOLITION AND NEW CONSTRUCTION.
- CONTRACTOR SHALL PROTECT JOB SITE AT ALL TIMES.



REVISIONS	BY
5-22-19	HL
06-11-20	HL
07-18-20	HL

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BLOCK 1491 LOT 001D
 492 45TH AVENUE
 SAN FRANCISCO, CALIFORNIA

Date: 02-15-18
 Scale: AS SHOWN
 Drawn: H. LEE
 Job: 492-45A
 Sheet 9 of 24
A4.1
 Sheet



REVISIONS	BY
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HORIZONTAL AND VERTICAL
 ADDITION TO RESIDENCE

Date: 02-15-18
 Scale: AS SHOWN
 Drawn: H. LEE
 Job: 492-45A
 Sheet
 11 Of 24 A5 Sheet

GENERAL NOTES:

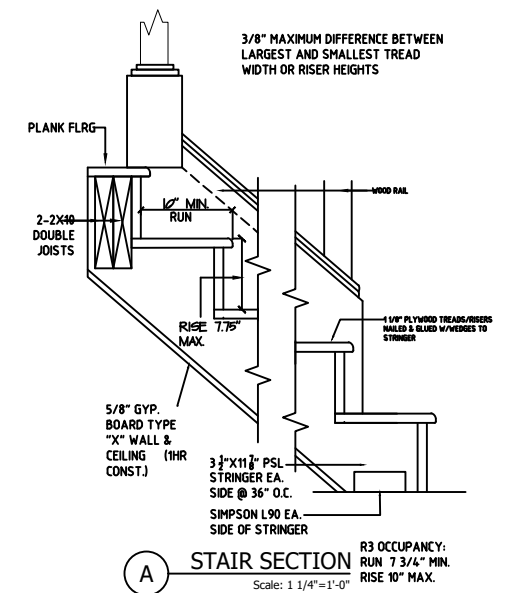
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6. CONTRACTOR SHALL PROTECT JOB SITE AT ALL TIMES.

SMOKE AND CARBON MONOXIDE NOTES:

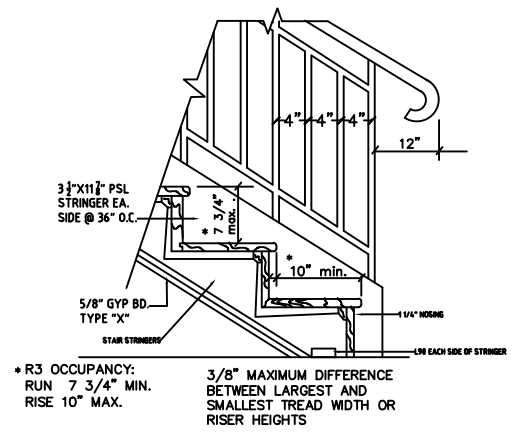
- A. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING SOURCE AND ARE EQUIPPED WITH 10 YEAR BATTERY LIFE BACK UP.
- B. PROVIDE SMOKE ALARMS AT THE FOLLOWING LOCATIONS IN ALL BEDROOMS, IN HALLWAYS LEADING TO BEDROOMS, ABOVE TOP OF STAIRS, AND AT LEAST ONE ON EVERY FLOOR.
- C. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING SOURCE AND ARE EQUIPPED WITH 10 YEAR BATTERY LIFE BACK UP.
- D. CARBON MONOXIDE ALARMS SHALL BE LOCATED IN THE IMMEDIATE VICINITY OF BEDROOMS, ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS FROM THE BUILDING WIRING SOURCE AND ARE EQUIPPED WITH 10 YEAR BATTERY LIFE BACK UP.

STAIRWAY REQUIREMENT:

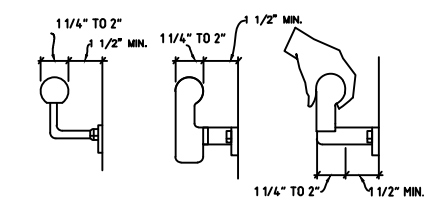
- * PROVIDE A MINIMUM 36" INCH WIDTH STAIRWAY (CBC 12003.3.3.2)
- * PROVIDE A MINIMUM 36" INCHES LANDING FOR THE STAIRWAY.
- * PROVIDE HANDRAILS FOR STAIRWAY. HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1-1/4 INCHES NOR MORE THAN 2 INCHES IN CROSS DIMENSION AND SHALL HAVE SMOOTH SURFACE WITH NO SHARP CORNERS (CBC 1003.3.3.6)
- * PROVIDE A 1 HOUR FIRE RESISTIVE CONSTRUCTION ON WALLS AND CEILING UNDER THE INTERIOR STAIRWAY (CBC 1003.3.3.9)



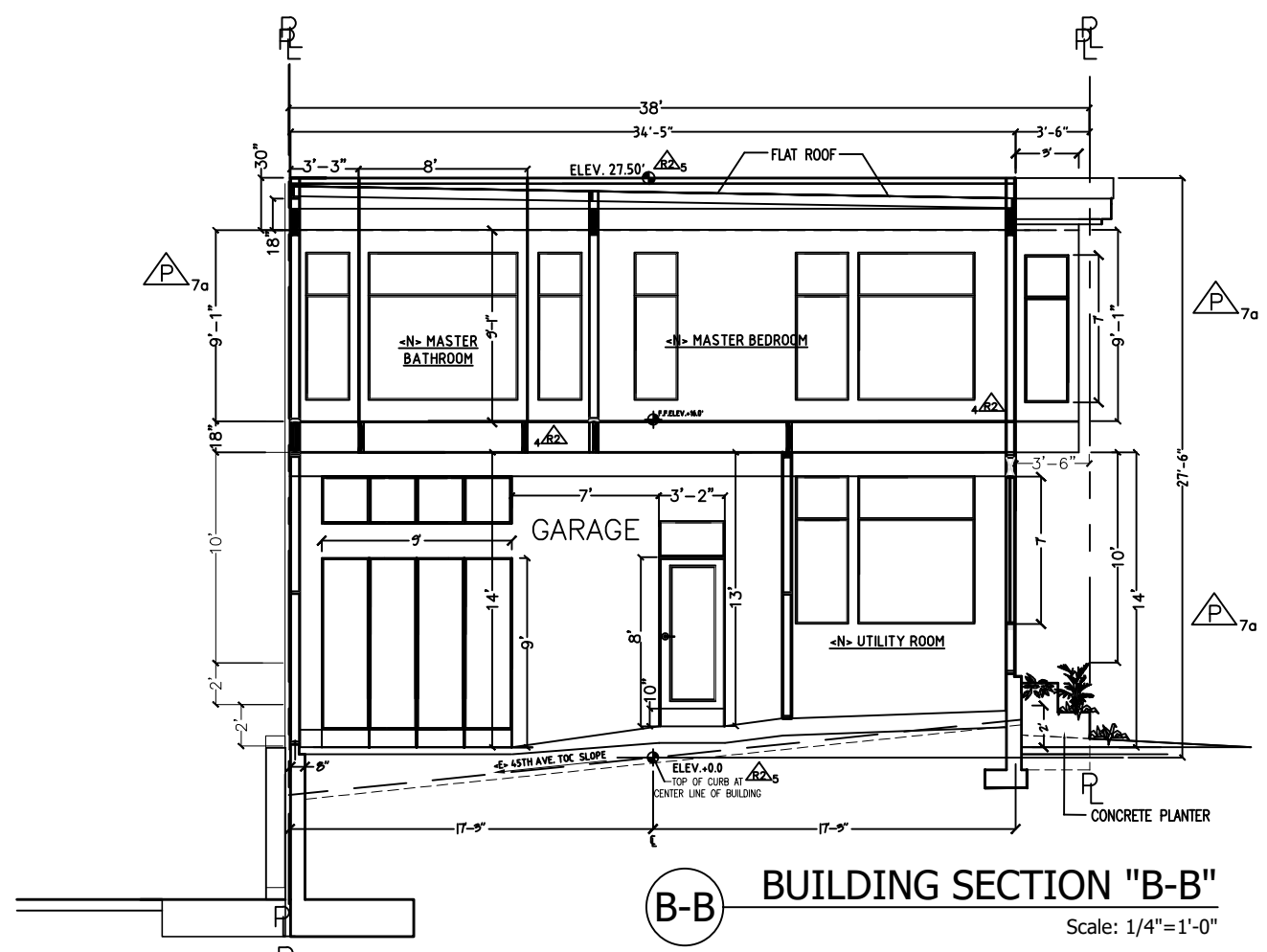
A STAIR SECTION
 Scale: 1 1/4"=1'-0"



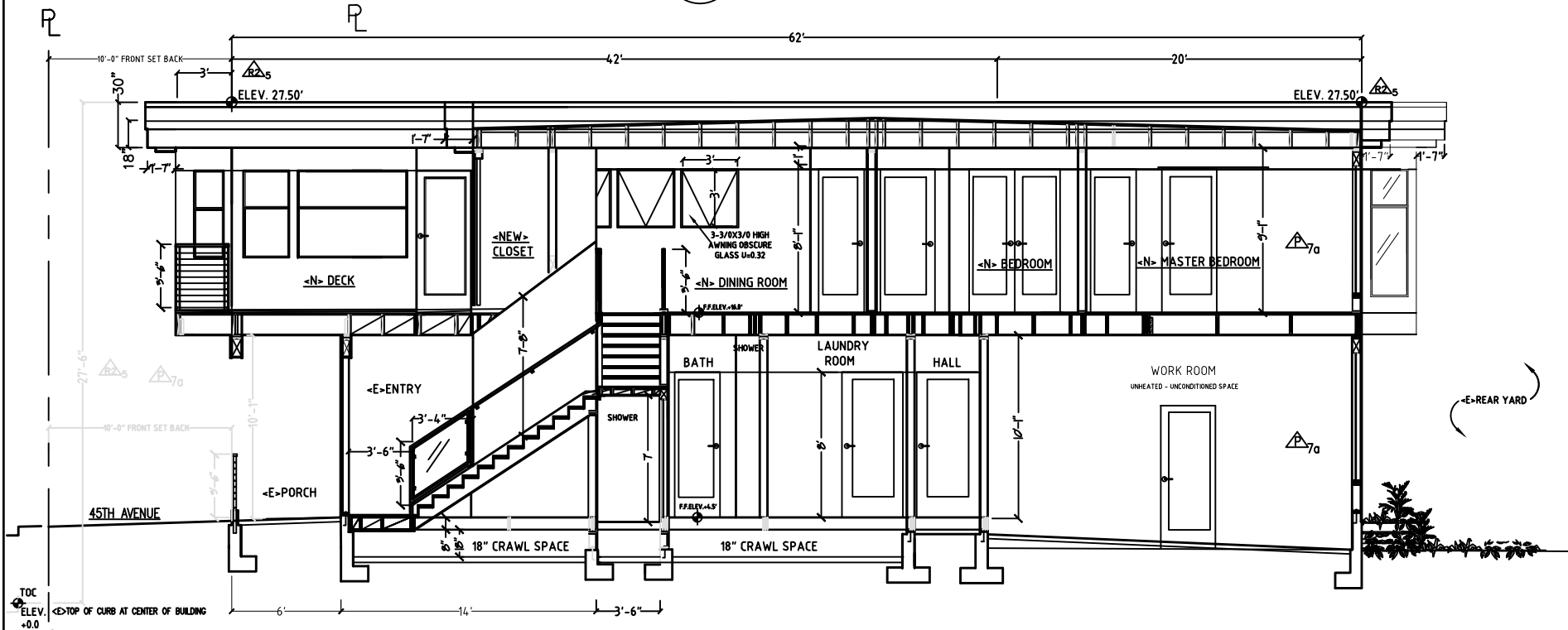
B STAIR DETAIL
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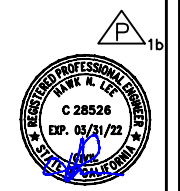
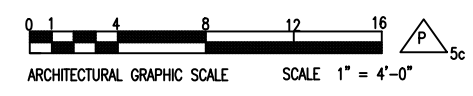
C HANDRAILS



B-B BUILDING SECTION "B-B"
 Scale: 1/4"=1'-0"

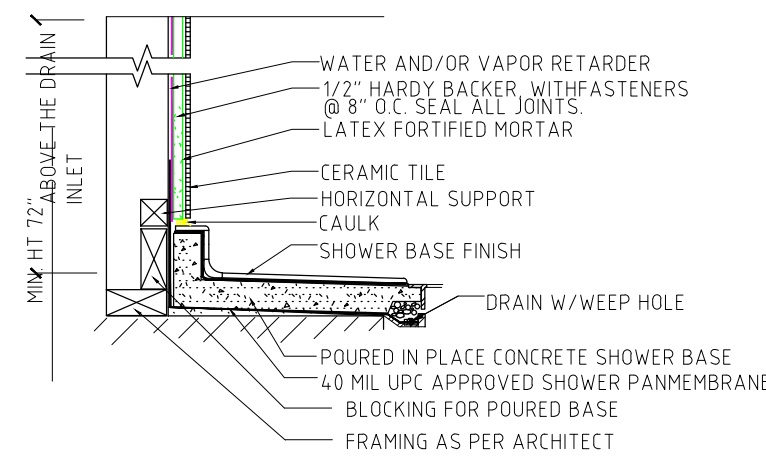


A-A BUILDING SECTION "A-A"
 Scale: 1/4"=1'-0"



CalGreen REQUIREMENTS:

1. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED (4.304.1).
2. MINIMUM 50% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4.
3. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1).
4. COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENING DURING CONSTRUCTION (4.404.1).
5. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1).
6. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2).
7. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS (4.504.2.3) VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
8. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.3).
9. PARTIALBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (4.504.5).
10. INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (4.505.2).
11. CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALLS AND FLOOR FRAMING BEFORE ENCLOSURE (4.505.3).
12. PROVIDE INSULATED LOUVERS/COVERS (MIN R-4.2) WHICH CLOSE WHEN THE FAN IS OFF FOR THE WHOLE HOUSE EXHAUST FANS (4.507.1).



(B) SHOWER SECTION

PAINTING SPECIFICATION:

PRODUCTS SPECIFIED ARE AS MANUFACTURED BY SINCLAIR PAINT CO., UNLESS OTHERWISE INDICATED. EQUIVALENT PRODUCTS MANUFACTURED BY SHERWIN-WILLIAMS, DUNN-EDWARDS, FULLER-O'BRIEN, OR GLIDDEN IN CONFORMANCE WITH MATERIALS LIST ARE ACCEPTABLE.

MATERIALS SELECTED FOR COATING SYSTEMS FOR EACH TYPE SURFACE SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER.

- INTERIOR PAINTING:**
 FLAT FINISH ON GYPSUM WALLBOARD
 1 COAT #7
 1 COAT #6
- SEMIGLOSS FINISH ON GYPSUM WALLBOARD
 1 COAT #7
 1 COAT #4
 1 COAT #9

- EXTERIOR PAINTING:**
 FLAT FINISH ON CEMENT PLASTER AND CONCRETE 2 COATS #5

- MATERIALS LIST:**
- | | |
|--------------------------|-----------------------------|
| 1. RED OXIDE PRIMER | 6. FLAT LATEX WALL FINISH |
| 2. ZINC DUST PRIMER | 7. PVA SEALER |
| 3. SASH AND TRIM PRIMER | 8. LATEX ENAMEL UNDERCOATER |
| 4. ENAMEL UNDERCOATER | 9. ALKYD EGGSHELL ENAMEL |
| 5. ACRYLIC MASONRY PAINT | |

CALIFORNIA CODE REGULATIONS:
 TITLE 24, PART 6-ENERGY BUILDING REGULATION

PROVIDE AN INSULATION CERTIFICATE FORM (IC-1) ATTACHED TO PLANS (THIS FORM SHALL BE FILLED OUT BY THE INSULATION CONTRACTOR TO PROVIDE A COPY TO THE BUILDING DIVISION ON THE FINAL INSPECTION) (CEES STD 10-103.B.1).

"WATER HEATER SHALL BE WRAPPED WITH R-12 INSULATION"

ANY WATER HEATER WITH AN ENERGY FACTOR LESS THAN 0.58 MUST BE EXTERNALLY WRAPPED WITH INSULATION HAVING A THERMAL RESISTANCE OF R-12 OR GREATER (CEC 151 (F) 8).

PROVIDE A FLUORESCENT LIGHT FIXTURE OR APPROVED HIGH EFFICACY LAMPS OF NOT LESS THAN 40 LUMENS PER WATT FOR GENERAL LIGHTING IN THE KITCHEN. PROVIDE A WIRING LAYOUT SHOWING THE HIGH-EFFICACY LUMINARIES SHALL BE CONTROLLED BY A SWITCH AT THE ENTRANCE TO THE BATHROOM (CEC.STD.150-(K) 1)

REPLACEMENT WINDOWS & ALL NEW WINDOWS SHALL BE U-FACTOR OF 0.32 AT THE PROPOSED ADDITION AND EXISTING BUILDING, AS PER CF-IR SPECIFICATIONS. NFRC TEMPORARY LABELING ON NEW WINDOWS SHALL NOT BE REMOVED UNTIL INSPECTED BY THE ENFORCEMENT AGENCY (CEES.STD.11 (A) 2-B).

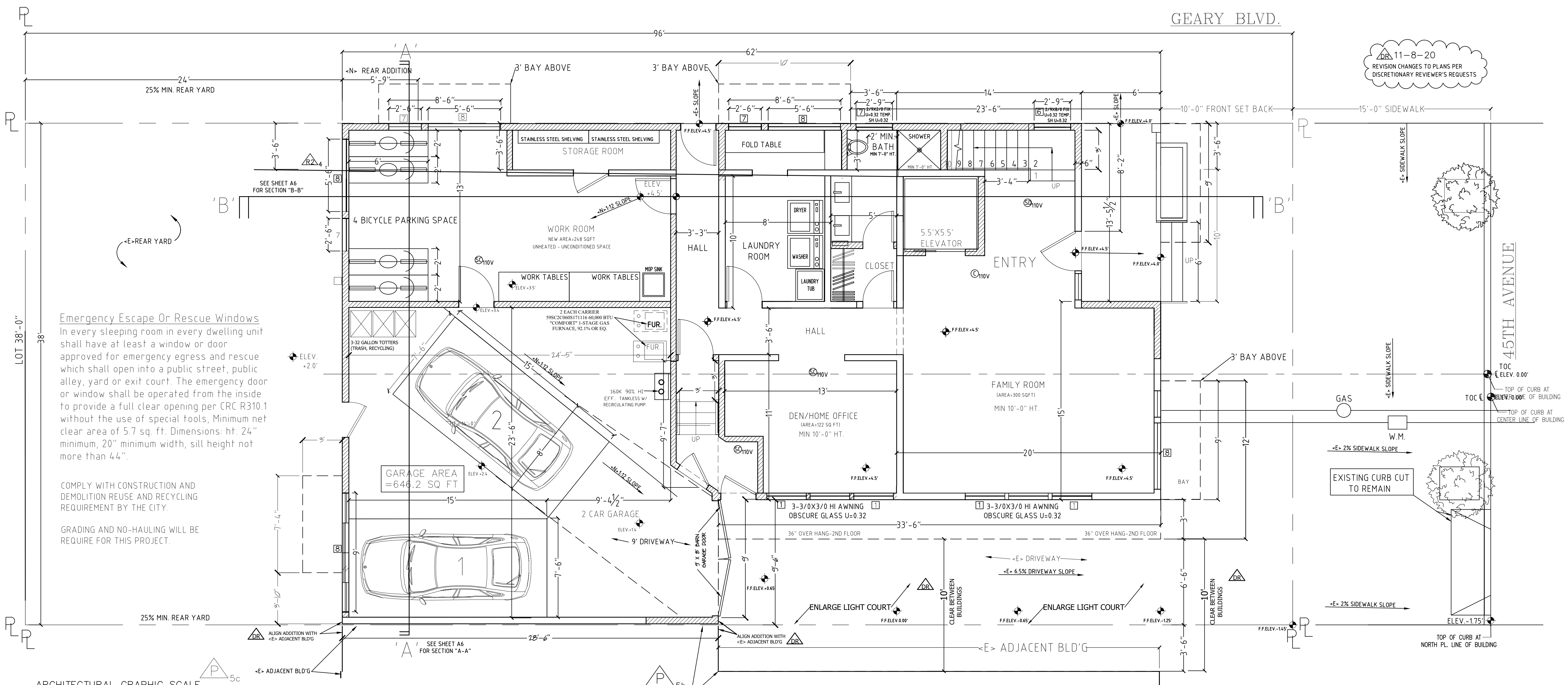
REVISIONS	BY
05-2-18	
5-22-19	HL
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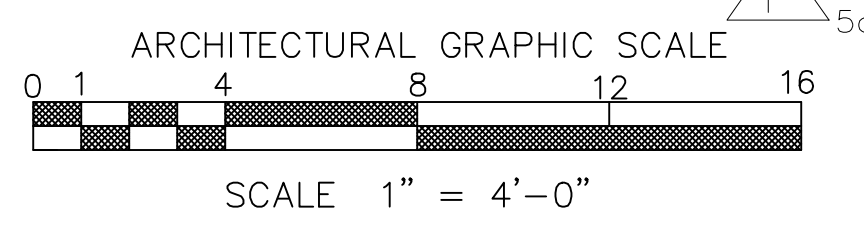
BLOCK 1491 LOT 001D
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HORIZONTAL AND VERTICAL
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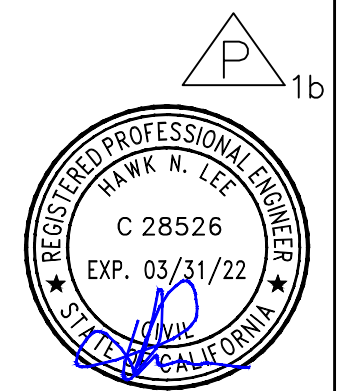
Date: 02-15-18
 Scale: AS SHOWN
 Drawn: H. LEE
 Job: 492-45A
 Sheet 8 of 24
A4.0
 Sheet



PROPOSED NEW GROUND FLOOR PLAN
 (1/4" = 1'-0")



(<N>+<E>) LIVABLE AREA=60+1061=1121 SQ FT<1304 SQ FT
 (PORCH ENTRY AREA=60.0 SQ FT)
 (GARAGE AREA=634 SQ FT)



ARCHITECTURAL:

- DURING BIDDING AND NEGOTIATION PERIOD, THE GENERAL AND SUBCONTRACTOR(S) SHALL CONFIRM, IN WRITING, APPROXIMATE ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS, AND SHALL NOTIFY HAWK N. LEE, P.E. (ENGINEER) IN WRITING, ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF THE SPECIFIED PRODUCT.
- UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE GENERAL CONTRACTOR SHALL ALSO SUBMIT A SPECIFIC CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUB-CONTRACTORS AND GENERAL CONTRACTORS WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY, AND CONFIRMING THAT WORK IS BUILDABLE, AS SHOWN, BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM HAWK N. LEE, P.E. (ENGINEER) BEFORE PROCEEDING WITH WORK IN QUESTION, OR RELATED WORK.

- GENERAL CONTRACTOR SHALL APPLY FOR AND OBTAIN AT THE CONTRACTOR'S SOLE EXPENSE, ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY ALL APPLICABLE BUILDING CODES AND REGULATORY CITY AND STATE AGENCIES.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN ACCORDANCE WITH ALL LOCAL REGULATORY AGENCIES, APPLICABLE BUILDING CODES AND REQUIREMENTS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DEFECTS FOUND IN EXISTING BASE BUILDING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, UNEVEN SURFACES AND FINISHES AT PLASTER OR GYPSUM BOARD. THE GENERAL CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH ADJACENT ADJOINING SURFACES. ALIGN AND SAND SMOOTH.
- GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF ALL PORTIONING, DOORS, ELECTRICAL/TELEPHONE OUTLETS AND LIGHT SWITCHES WITH THE ENGINEER IN THE FIELD, BEFORE PROCEEDING WITH CONSTRUCTION.

- CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED.
- CONTRACTOR SHALL PROVIDE ALL EXISTING CONSTRUCTION AND FINISHES AND SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGES CAUSED BY HIM OR HIS SUBCONTRACTOR(S).
- GENERAL CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR EXISTING FINISH FLOOR, FURNISHINGS AND EXISTING FINISHES IN AREAS OF DEMOLITION AND CONSTRUCTION, AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGES CAUSED BY THE WORK OF THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR.
- ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS.

EMERGENCY ESCAPE OR RESCUE WINDOWS:

IN EVERY SLEEPING ROOM IN EVERY DWELLING UNIT SHALL HAVE AT LEAST A WINDOW OR DOOR APPROVED FOR EMERGENCY EGRESS AND RESCUE WHICH SHALL OPEN INTO A PUBLIC STREET, PUBLIC ALLEY, YARD OR EXIT COURT. THE EMERGENCY DOOR OR WINDOW SHALL BE OPERATED FROM THE INSIDE TO PROVIDE A FULL CLEAR OPENING PER CRC R310.1 WITHOUT THE USE OF SPECIAL TOOLS, MINIMUM NET CLEAR AREA OF 5.7 SQ. FT. DIMENSIONS: HT. 24" MINIMUM, 20" MINIMUM WIDTH, SILL HEIGHT NOT MORE THAN 44".

BATHROOM FAN REQUIREMENTS:

- FANS SHALL BE ENERGY STAR COMPLIANT
- CONTROLLED BY AN ACCESSIBLE HUMIDISTAT CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE BETWEEN 50 AND 80%

INTERIOR FINISH SCHEDULE ALL FLOORS				
ROOM	SUBFLOOR	FIN. FLR.	BASE	WALL AND CEILING
LIVING	WOOD	HARD WOOD	WOOD	5/8" GYPSUM WALL BOARDS
DINING	WOOD	HARD WOOD	WOOD	5/8" GYPSUM WALL BOARDS
KITCHEN	WOOD	TILE	WOOD	5/8" GYPSUM WALL BOARDS
BEDROOM	WOOD	CARPET	WOOD	5/8" GYPSUM WALL BOARDS
BATHS	WOOD	TILE	WOOD	5/8" GYPSUM WALL BOARDS WATERPROOF (TYP.)

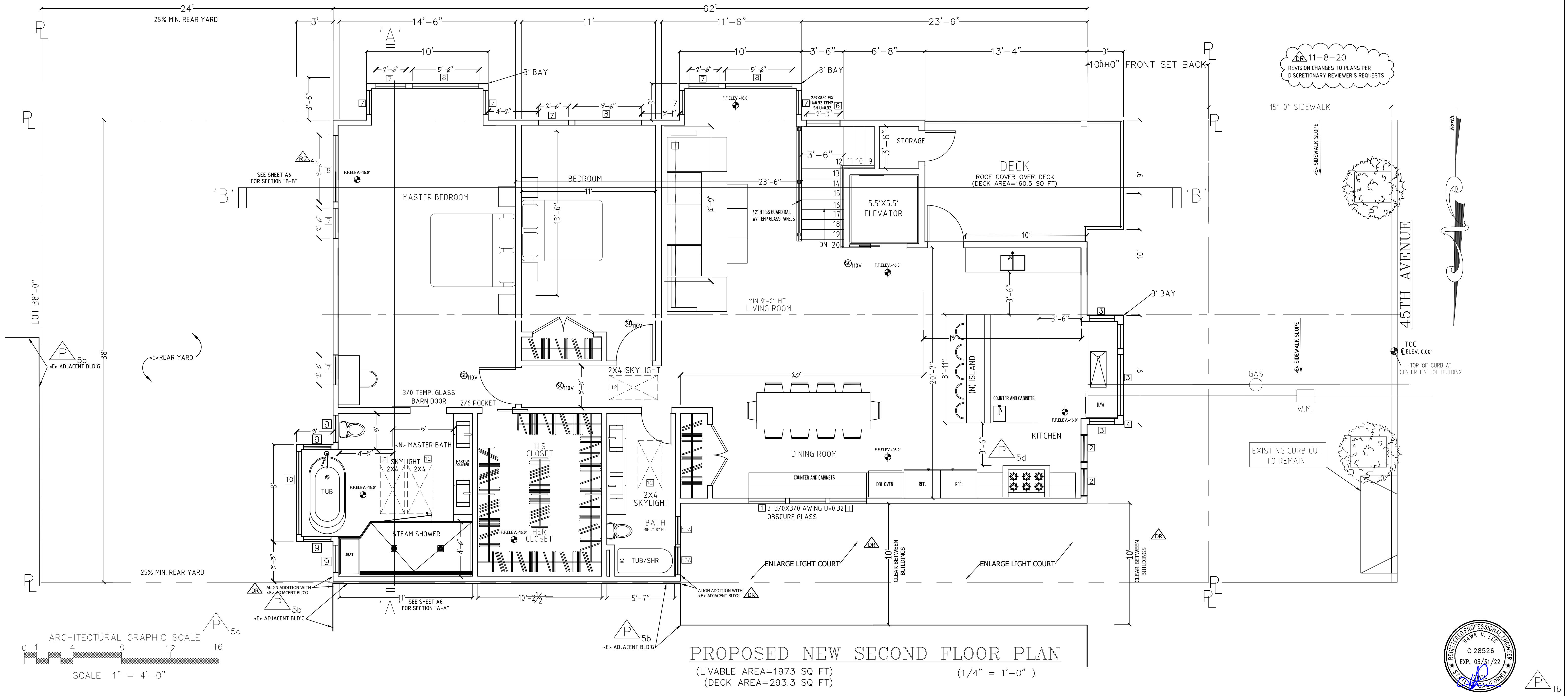
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GEARY BLVD.



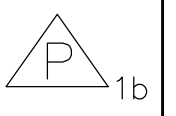
REVISIONS	BY
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07-18-20	HL
11-8-20	HL

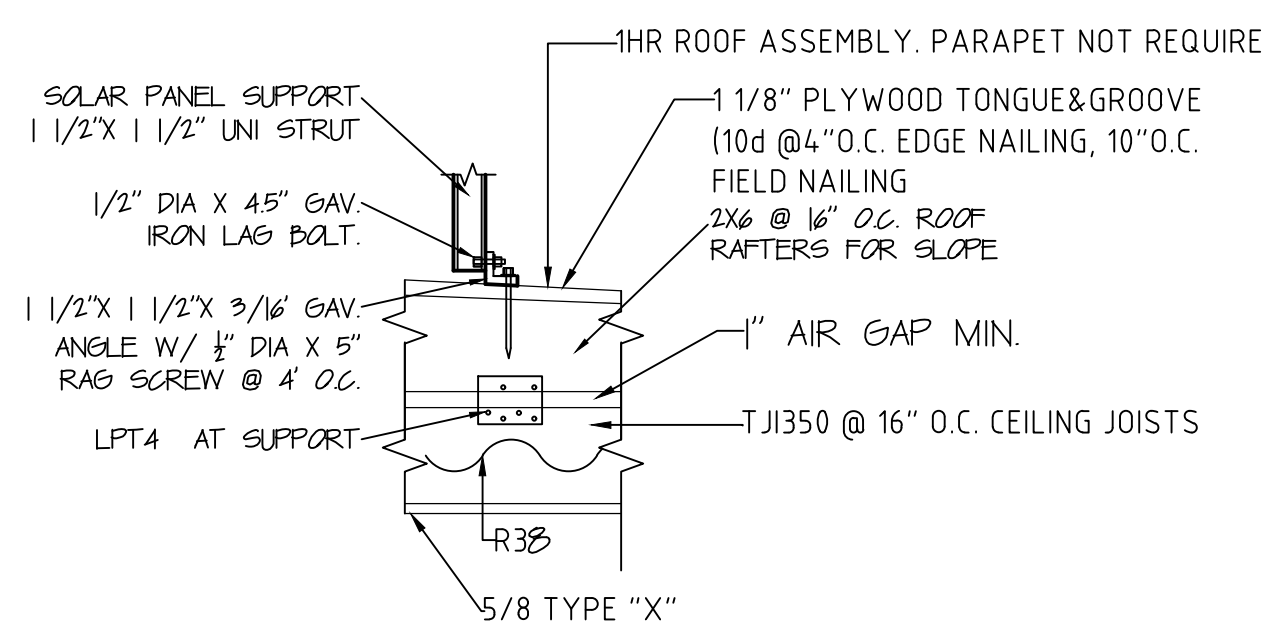
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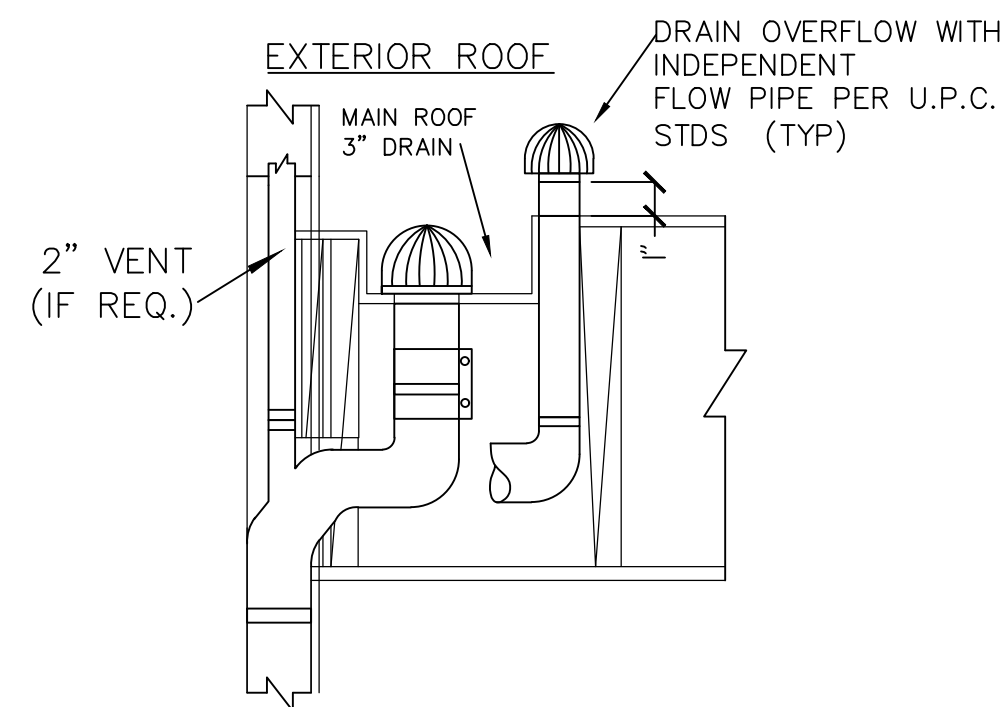
HORIZONTAL AND VERTICAL
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 Sheet 9 of 24
A4.1
 Sheet

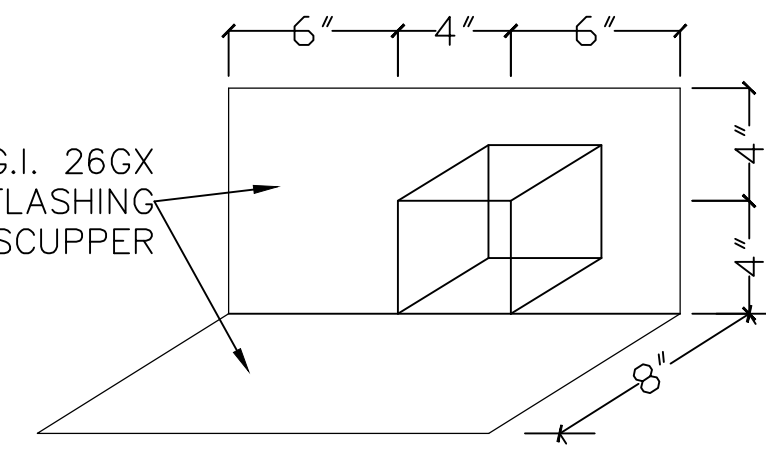




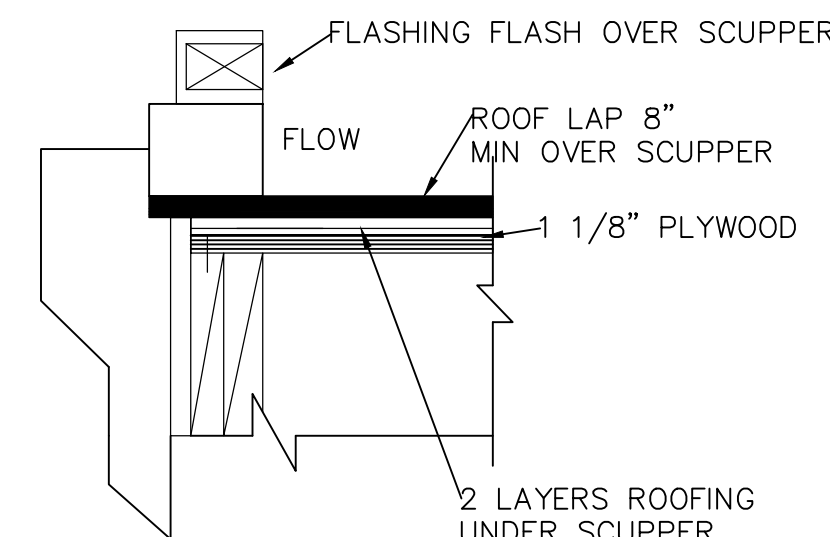
E SOLAR ROOF ATTACHMENT DETAIL
Scale: 1"=1'-0"



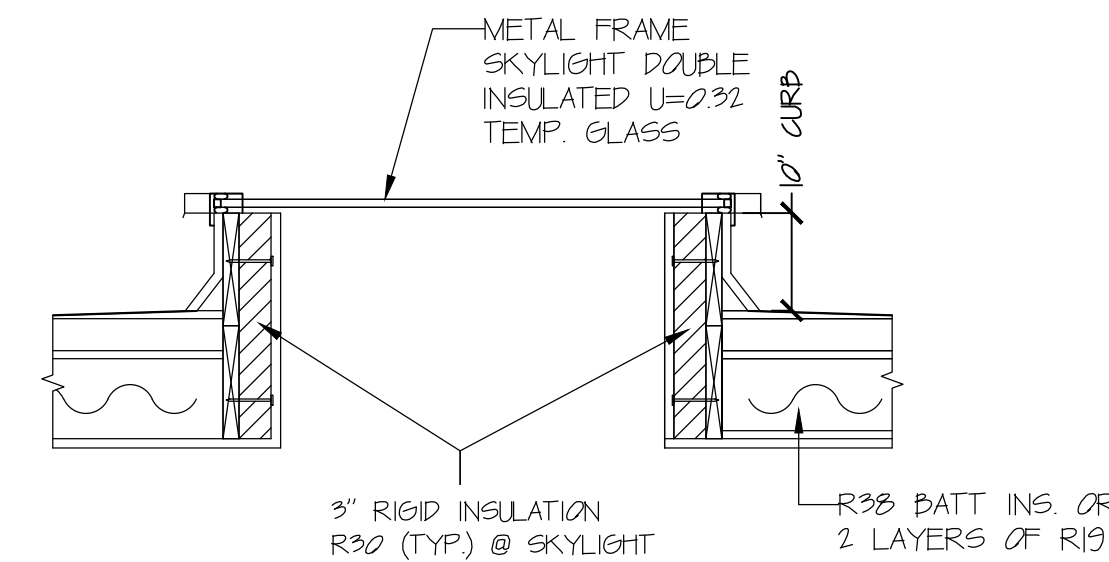
D ROOF DRAIN



C SCUPPER DETAIL

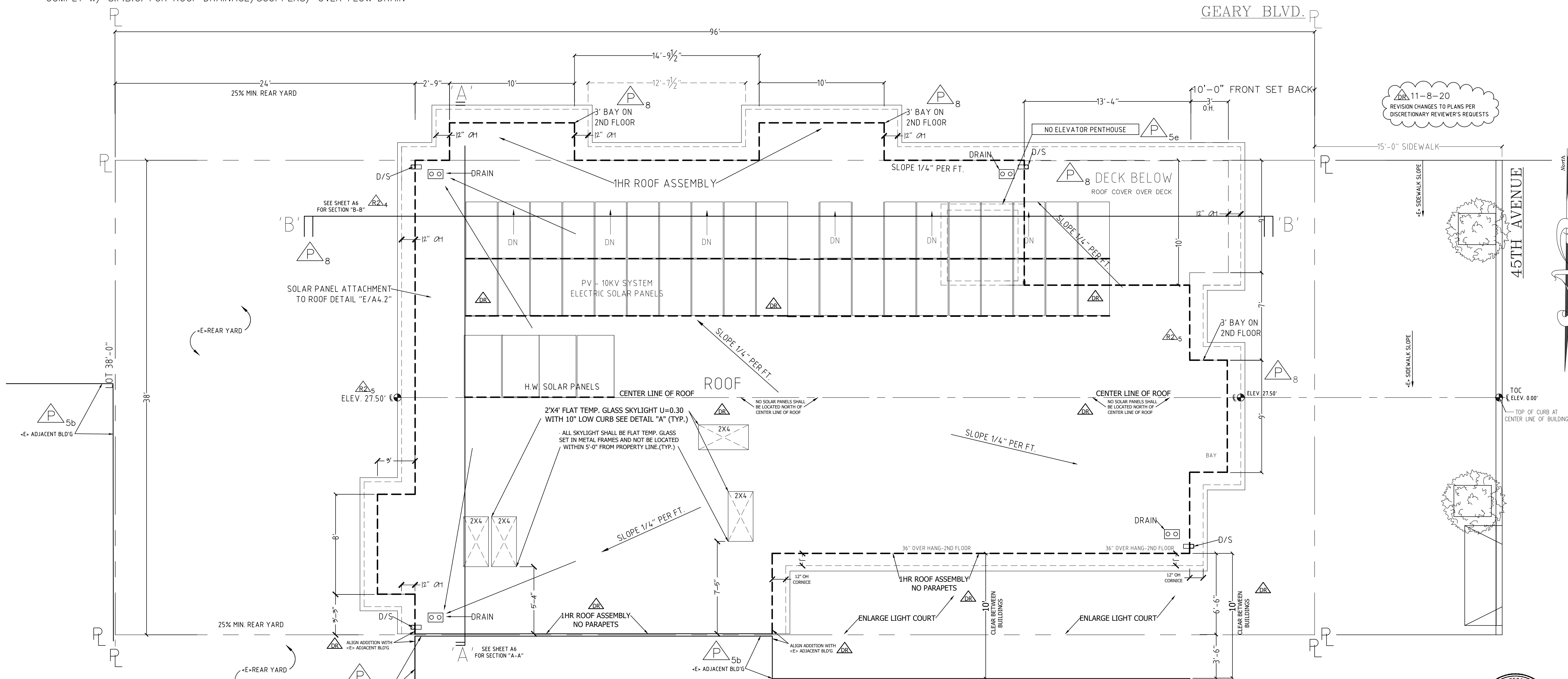


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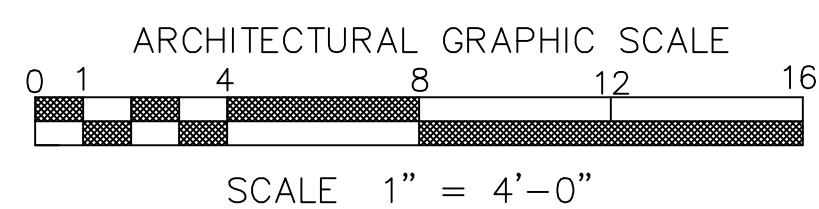


A SKYLIGHT CURB
Scale: 1/2"=1'-0"

ROOF SPECIFICATION: ROOFING SHALL BE CLASS A OR B 2 PLY TORCH ON MEMBRANE ROOF, SLOPE 1/4" PER FT. TO DRAIN
COMPLY W/ S.F.B.C. FOR ROOF DRAINAGE/SCUPPERS/ OVER FLOW DRAIN



PROPOSED ROOF PLAN
(1/4" = 1'-0")



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Of 24 Sheet

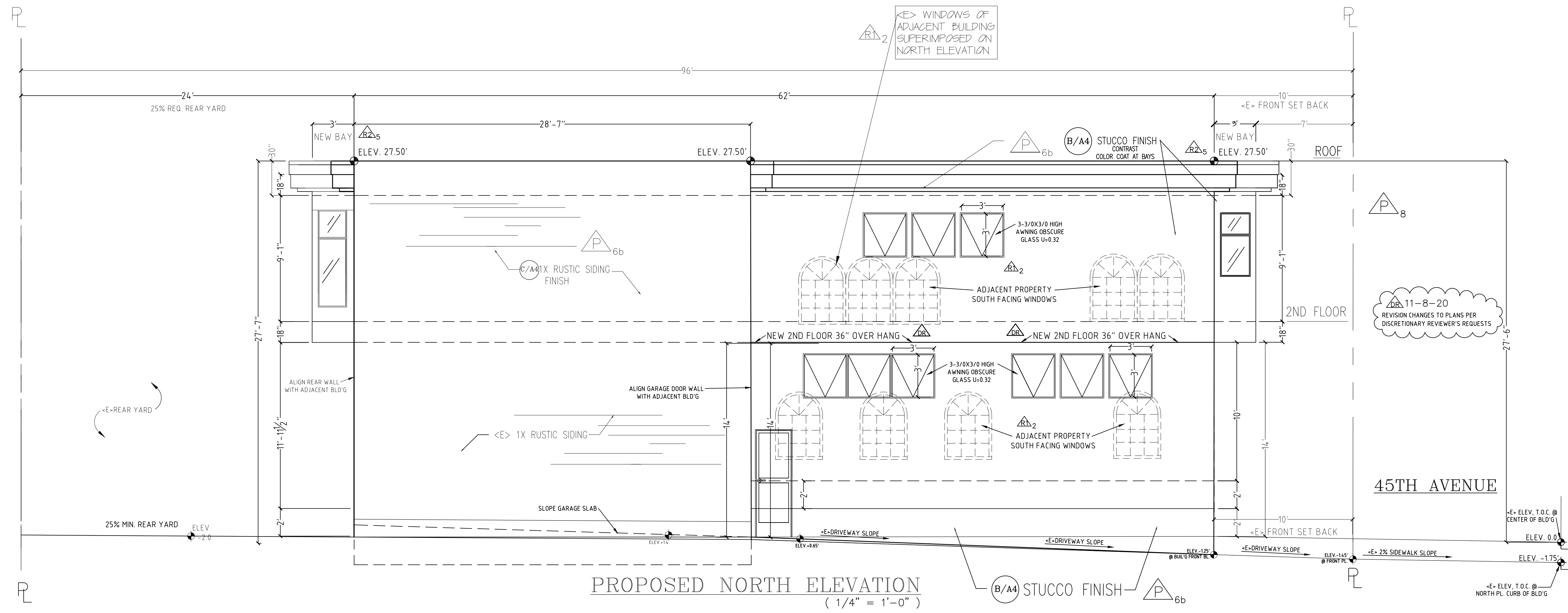
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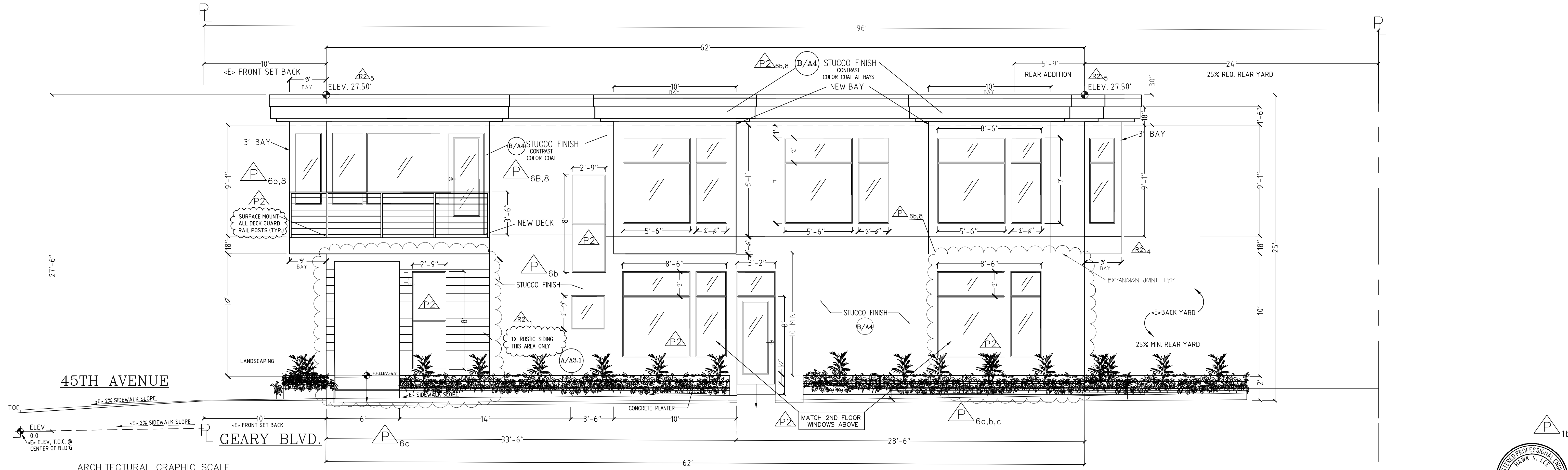
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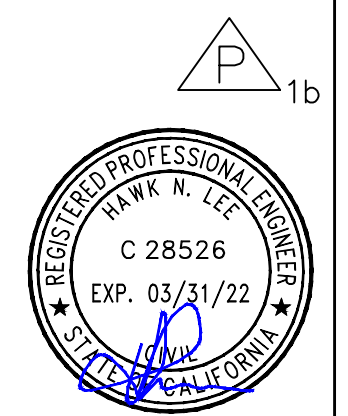
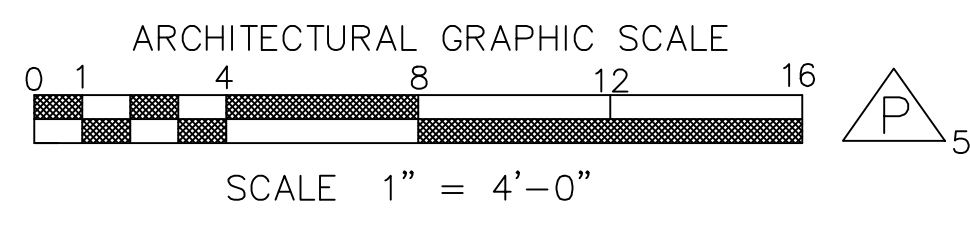
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 Sheet 6 of 24
 3.0 Sheet

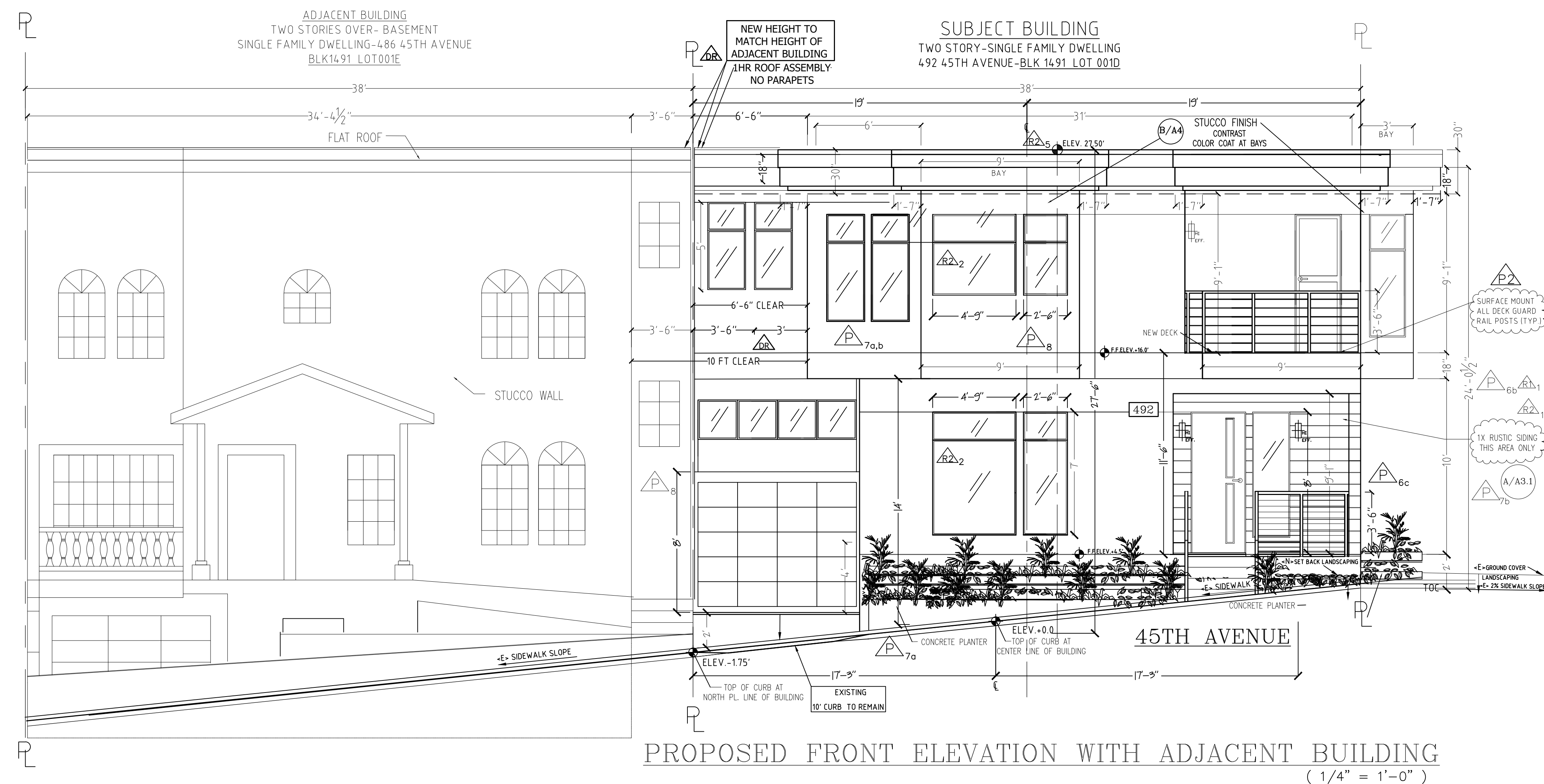


PROPOSED NORTH ELEVATION
 (1/4" = 1'-0")

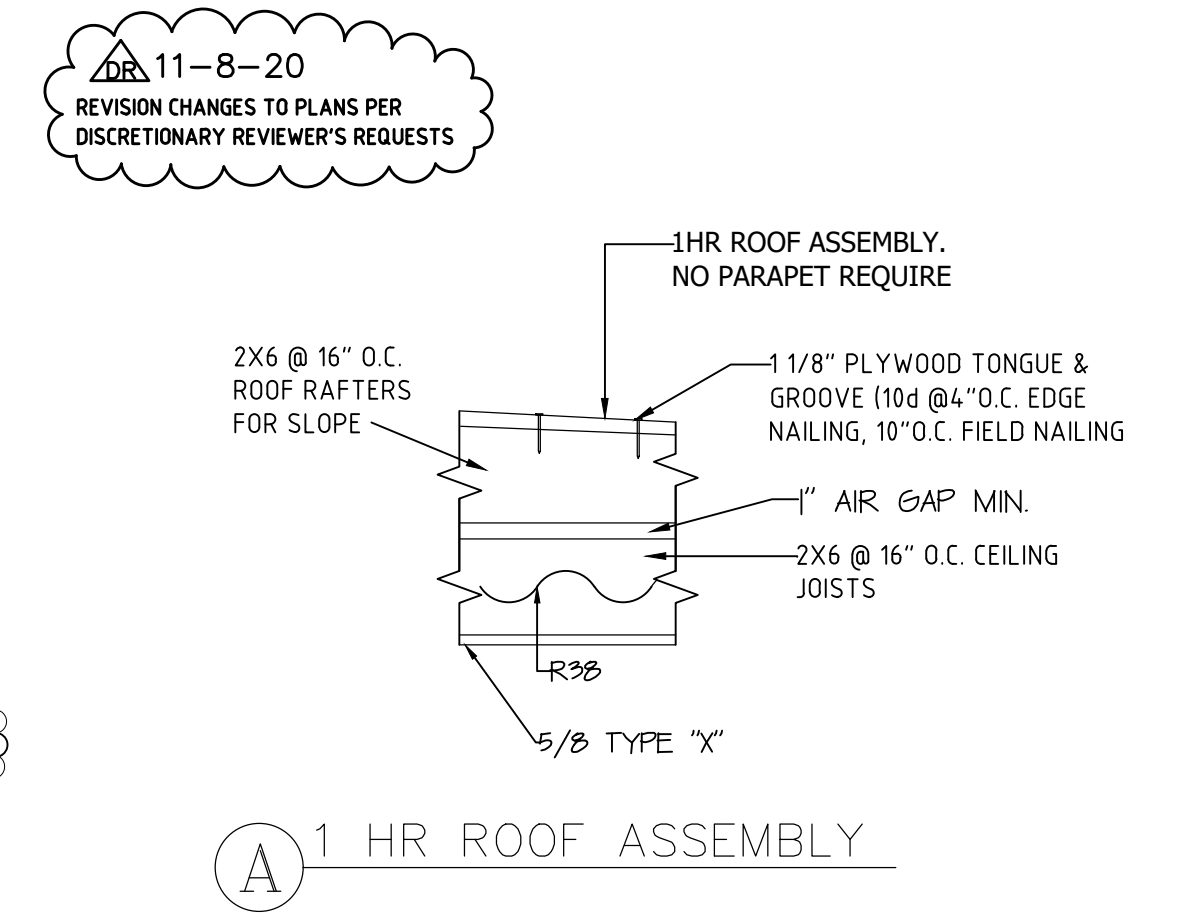


PROPOSED SOUTH ELEVATION
 GEARY BLVD.
 (1/4" = 1'-0")

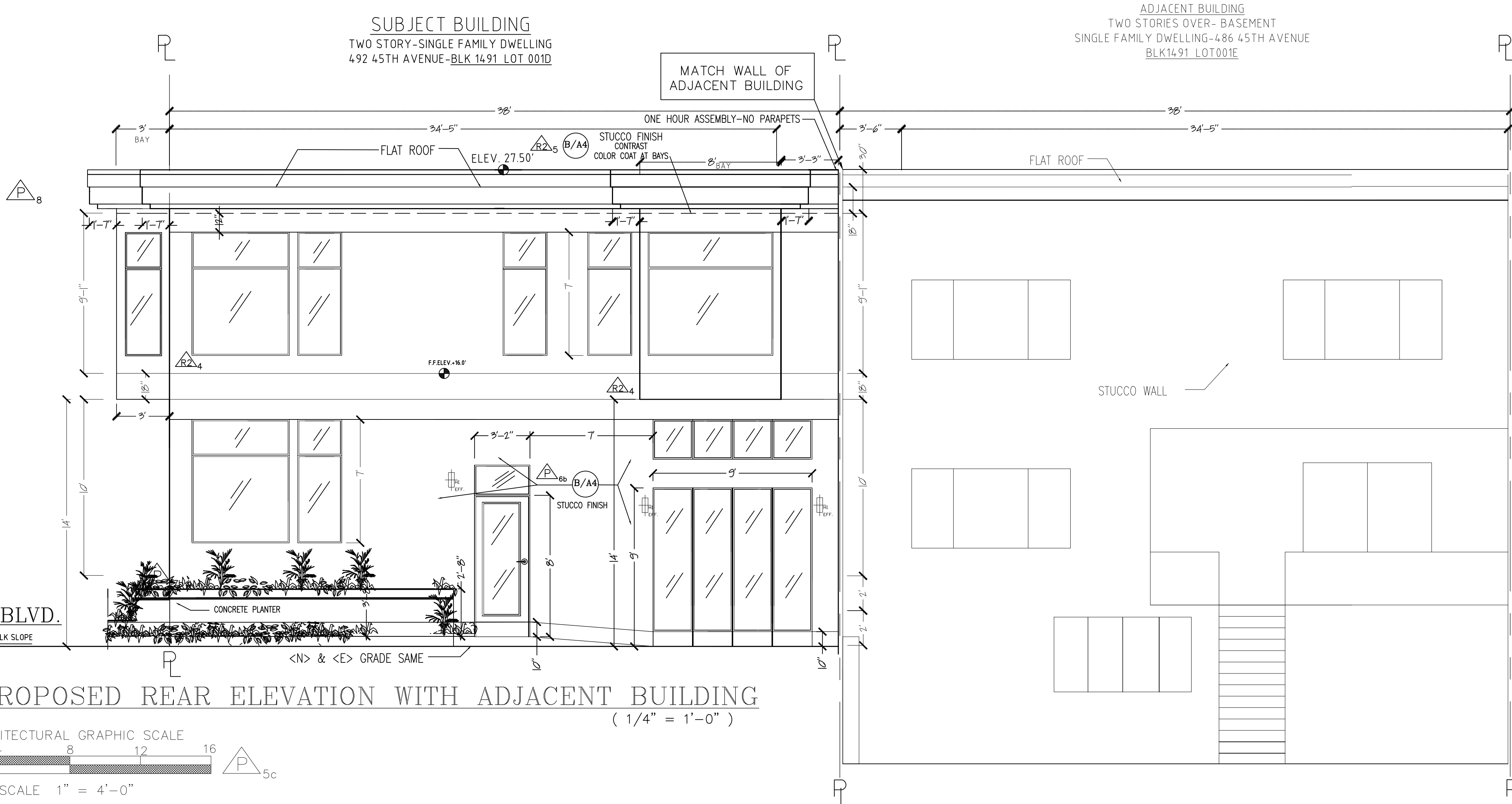




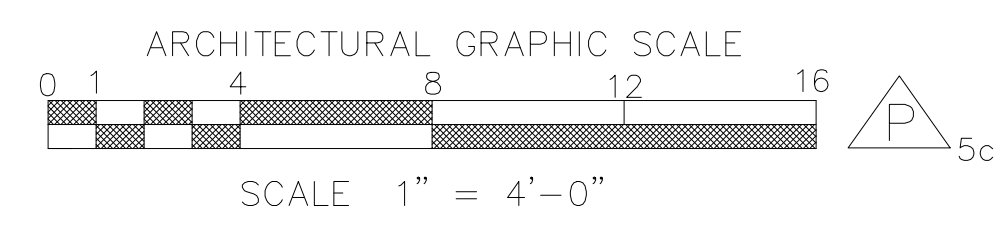
PROPOSED FRONT ELEVATION WITH ADJACENT BUILDING
(1/4" = 1'-0")



1 HR ROOF ASSEMBLY



PROPOSED REAR ELEVATION WITH ADJACENT BUILDING
(1/4" = 1'-0")



REVISIONS	BY
5-22-19	HL
10-8-19	HL
06-11-20	HL
07-18-20	HL
11-8-20	HL

HAWK N. LEE, P. E.
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(415) 681-6325 fax (415) 681-1012

BLOCK 1491 LOT 001D
492 45TH AVENUE
SAN FRANCISCO, CALIFORNIA

HORIZONTAL AND VERTICAL
ADDITION TO RESIDENCE

Date: 02-15-18
Scale: 1/4" = 1'-0"
Drawn: H. LEE
Job: 492-45A
Sheet
7 of 24
A3.1
Sheet

