



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis HEARING DATE: JANUARY 30, 2020

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: January 20, 2020
Case No.: **2018-014127DRP**
Project Address: **2643 31st Avenue**
Permit Application: 2018.0814.7292
Zoning: RH-1 [Residential House, One Family]
 40-X Height and Bulk District
Block/Lot: 2464A / 007
Project Sponsor: Weihong Yang
 PO box 390695
 Mountain View, CA 94039
Staff Contact: David Winslow – (415) 575-9159
David.Winslow@sfgov.org
Recommendation: **Take DR and Approve**

PROJECT DESCRIPTION

The project consists of an 849 sq. ft. 3rd-story vertical addition to a two-story single-family house, with a front 196 sq. ft. roof deck and 29 sq. ft. rear balcony.

SITE DESCRIPTION AND PRESENT USE

The site is a 25' x 87' down sloping lot with an approximate 8' front setback and a 25' -9" deep rear yard. The existing 2-story single family residence was built in 1936 and is classified as a category 'B' – an age eligible potential historical resource.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

This block of 31st Avenue is a narrow street with 2-story, Mediterranean style, single-family residences built around the same time. There is a slightly staggered, but consistent alignment of rear building walls at the rear, that due to the adjoining key lot on Esclota Way, comprise a constrained mid-block open space.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	July 9, 2019 – August 8, 2019	8.8.2019	1.30. 2020	175 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	20 days	January 10, 2020	January 10, 2020	20 days
Mailed Notice	20 days	January 10, 2020	January 10, 2020	20 days
Online Notification	20 days	January 10, 2020	January 10, 2020	20 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	0	0
Other neighbors on the block or directly across the street	0	0	0
Neighborhood groups	0	0	0

DR REQUESTORS

DR requestor #1:

Pauson Yun of 2649 31st Avenue, adjacent neighbor to the South of the proposed project.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

DR requestor #1:

1. Scale of the proposed addition is out of character and is out of scale with the street face and block.
2. The addition will impact light and privacy.

See attached *Discretionary Review Application*, dated August 8, 2019.

Proposed alternatives:

Set back and reduce the size of the addition.

Remove the front deck.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

The project sponsor has not affirmatively responded to the DR requestor.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

DEPARTMENT REVIEW

The Department's Residential Design Advisory Team (RDAT) review found that:

1. The size and location of the front and rear decks were not seen as intrusive nor excessive to privacy or noise. The front deck is set back approximately 14' from the building front.
2. Though not within the purview of the Planning Department, the property line windows indicated on the North elevation of the proposed addition as 45-minute fire-rated assemblies should not be aluminum clad wood windows.
3. With respect to character of the neighborhood, the proposed 3rd-story addition is located over the existing building footprint at the sides and rear and set back approximately 24'-0" from the front building wall. As such, the building scale at the street from the 31st Avenue is maintained. There are similar 3rd story additions to 2-story houses on this block where a deep setback retains the scale at the street.
4. However, the existing building extends nearly to the minimum required rear yard and is set against other minimally sized rear yards of buildings fronting Escolta Way. Additional massing at the rear should therefore be minimized with a sensitivity toward maintaining scale and light to these adjoining rear yards.

Therefore, Staff recommends taking Discretionary Review and reducing the massing by limiting the floor-to-ceiling height of the addition to 9'-0".

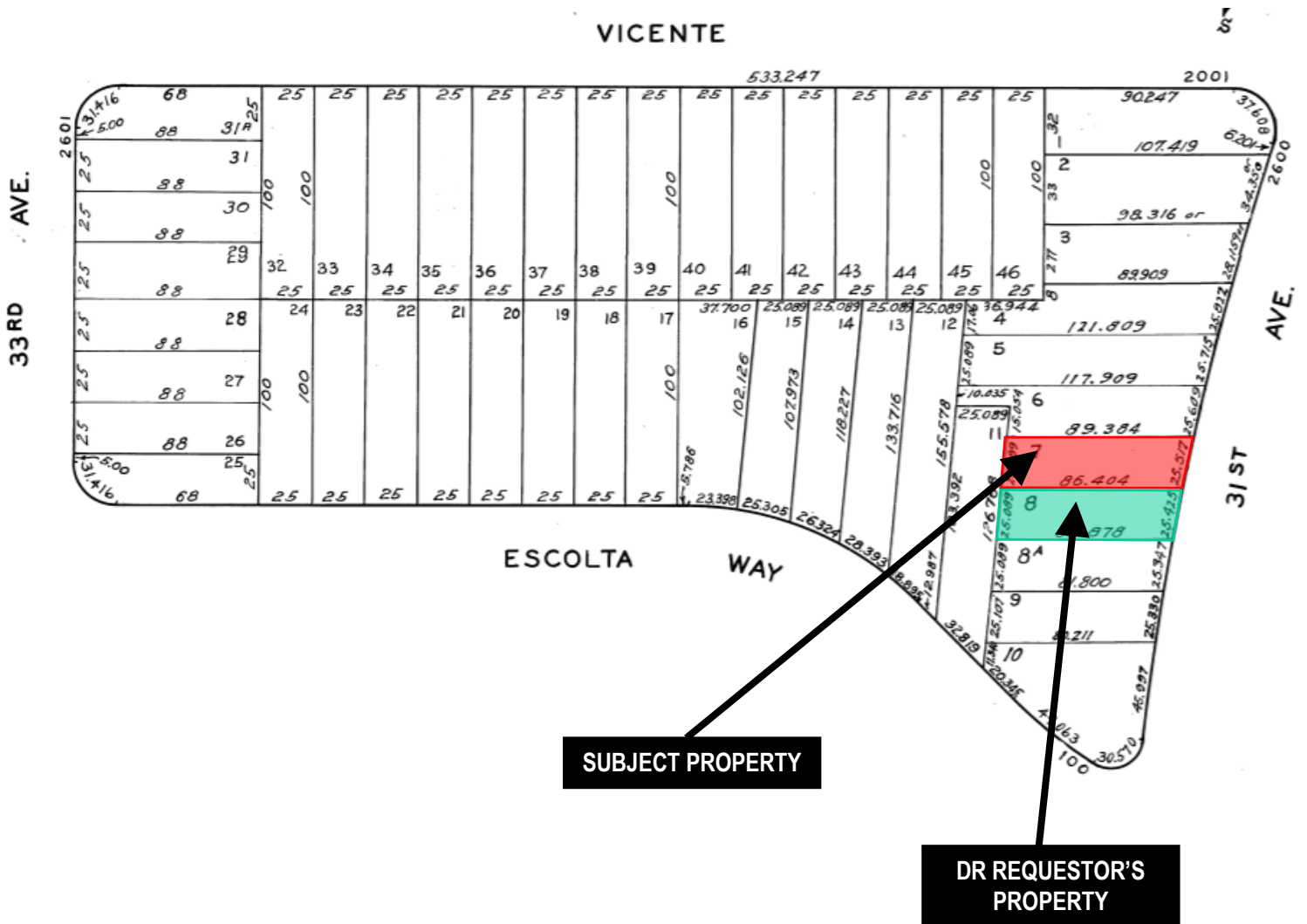
RECOMMENDATION: Take DR and Approve

Attachments:

Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photographs
Section 311 Notice
CEQA Determination
DR Application
Reduced Plans

Exhibits

Parcel Map



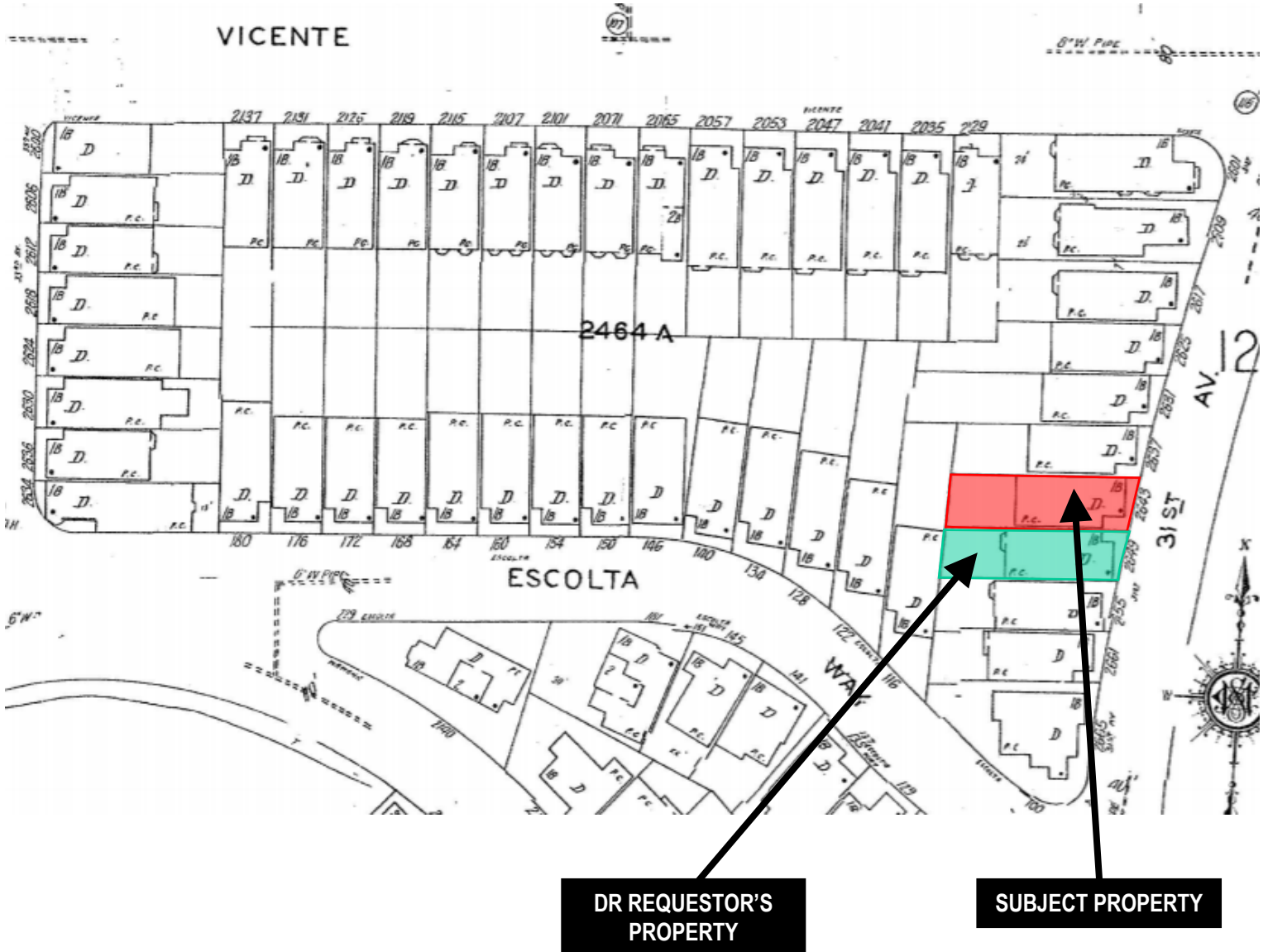
SUBJECT PROPERTY

DR REQUESTOR'S PROPERTY



Discretionary Review Hearing
 Case Number 2018-014127DRP
 2643 31st Avenue

Sanborn Map*

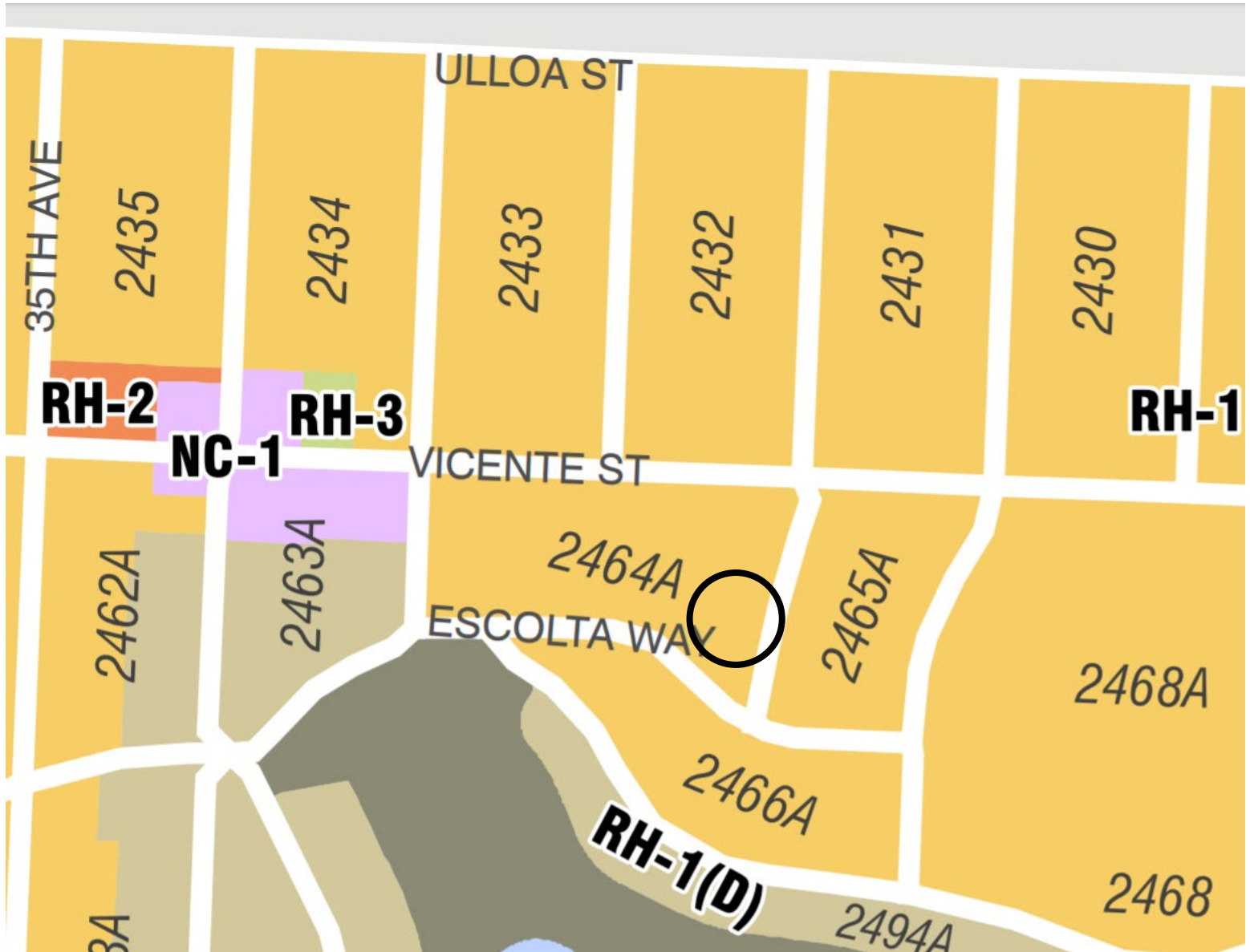


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



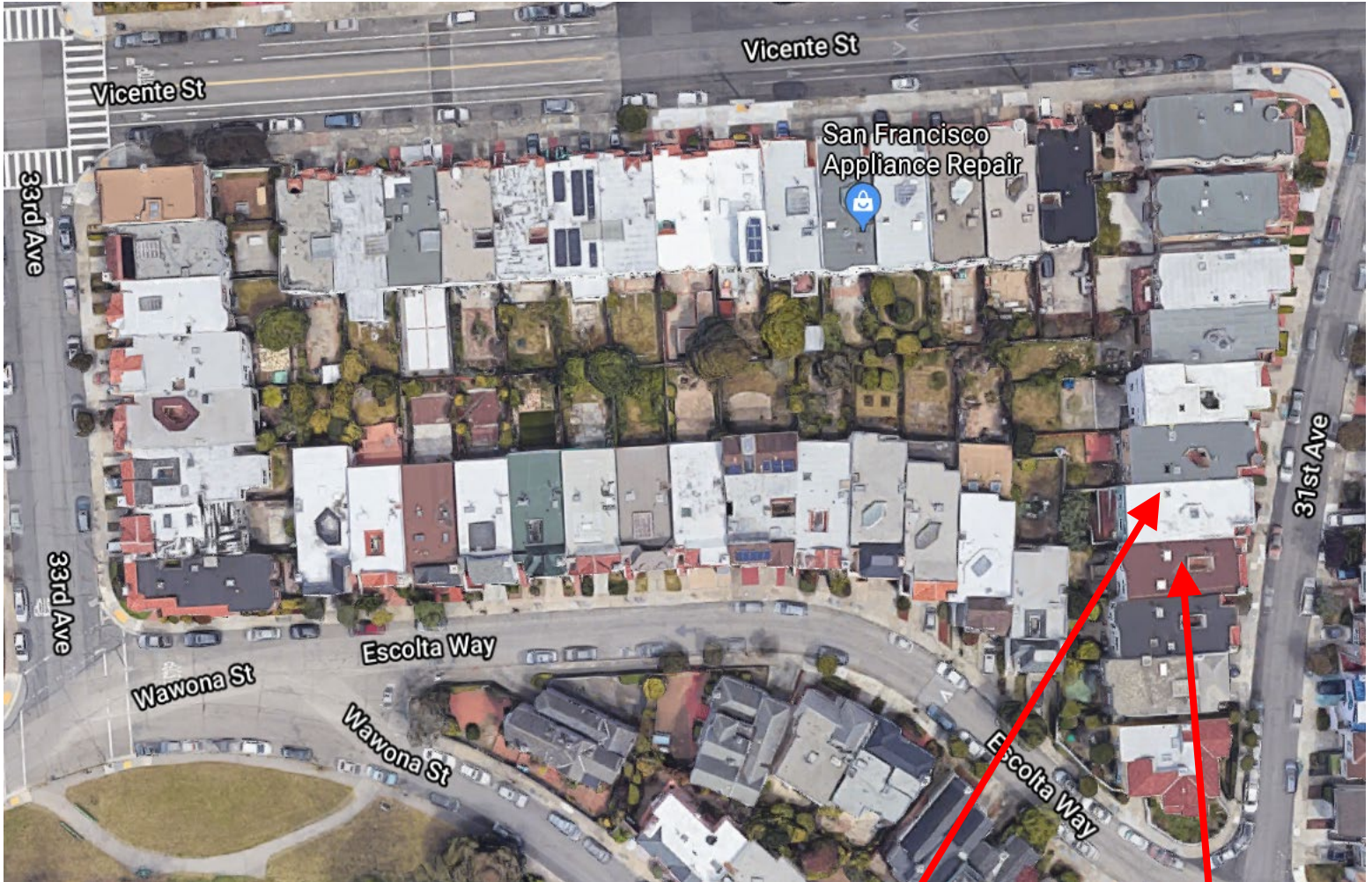
Discretionary Review Hearing
Case Number 2018-014127DRP
2643 31st Avenue

Zoning Map



Discretionary Review Hearing
Case Number 2018-014127DRP
2643 31st Avenue

Aerial Photo



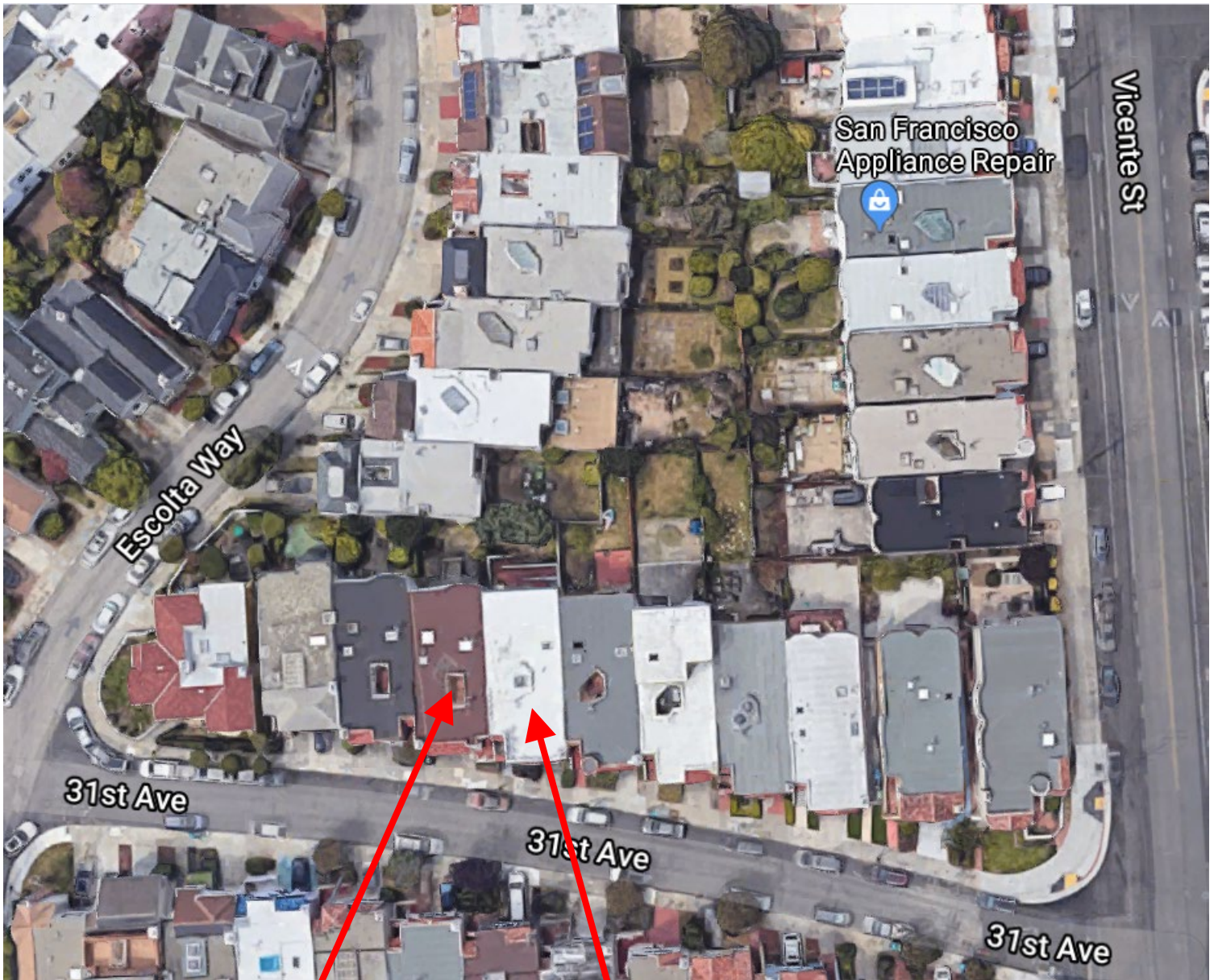
SUBJECT PROPERTY

DR REQUESTOR'S PROPERTY



Discretionary Review Hearing
Case Number 2018-014127DRP
2643 31st Avenue

Aerial Photo



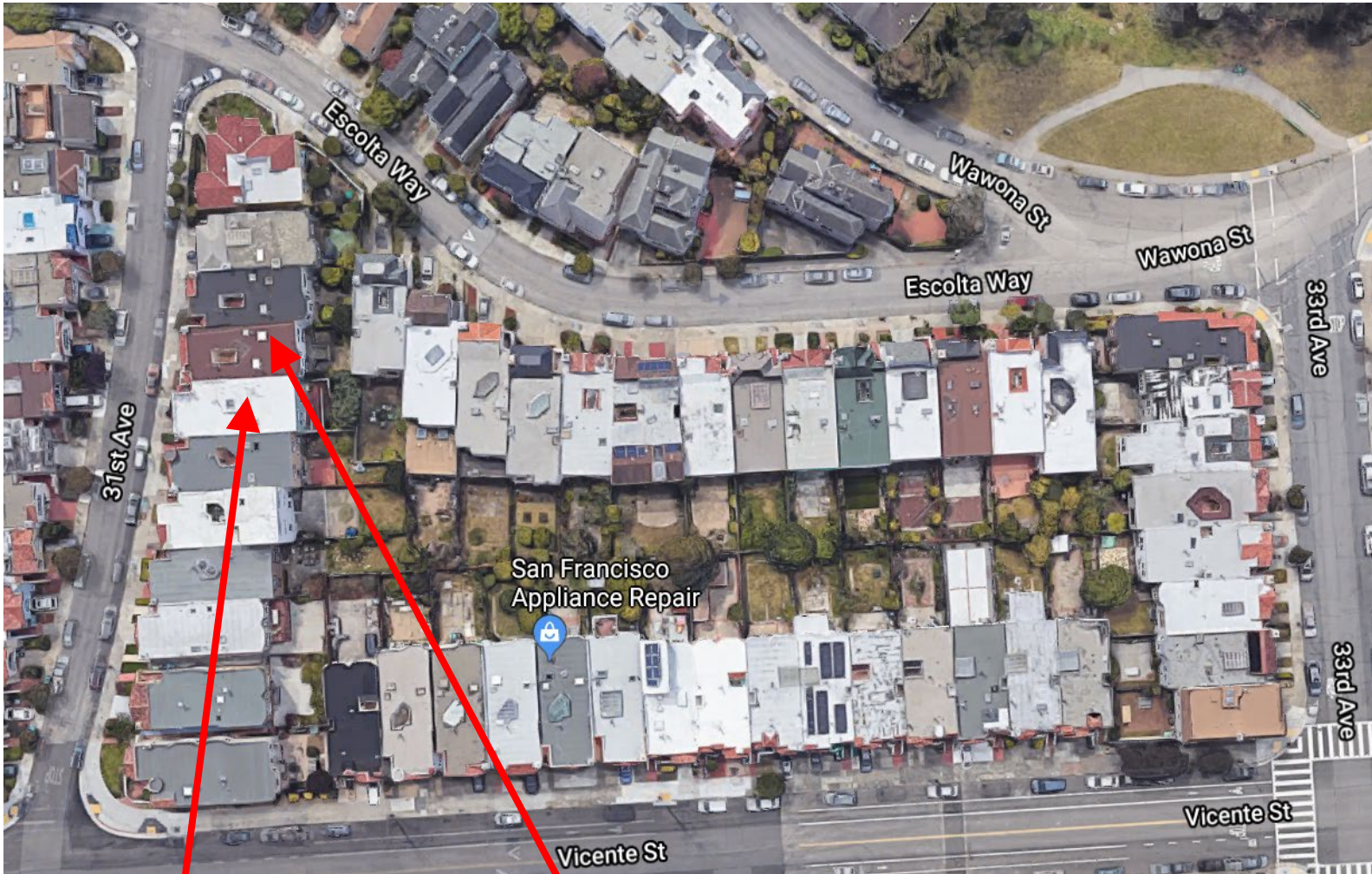
**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-014127DRP
2643 31st Avenue

Aerial Photo

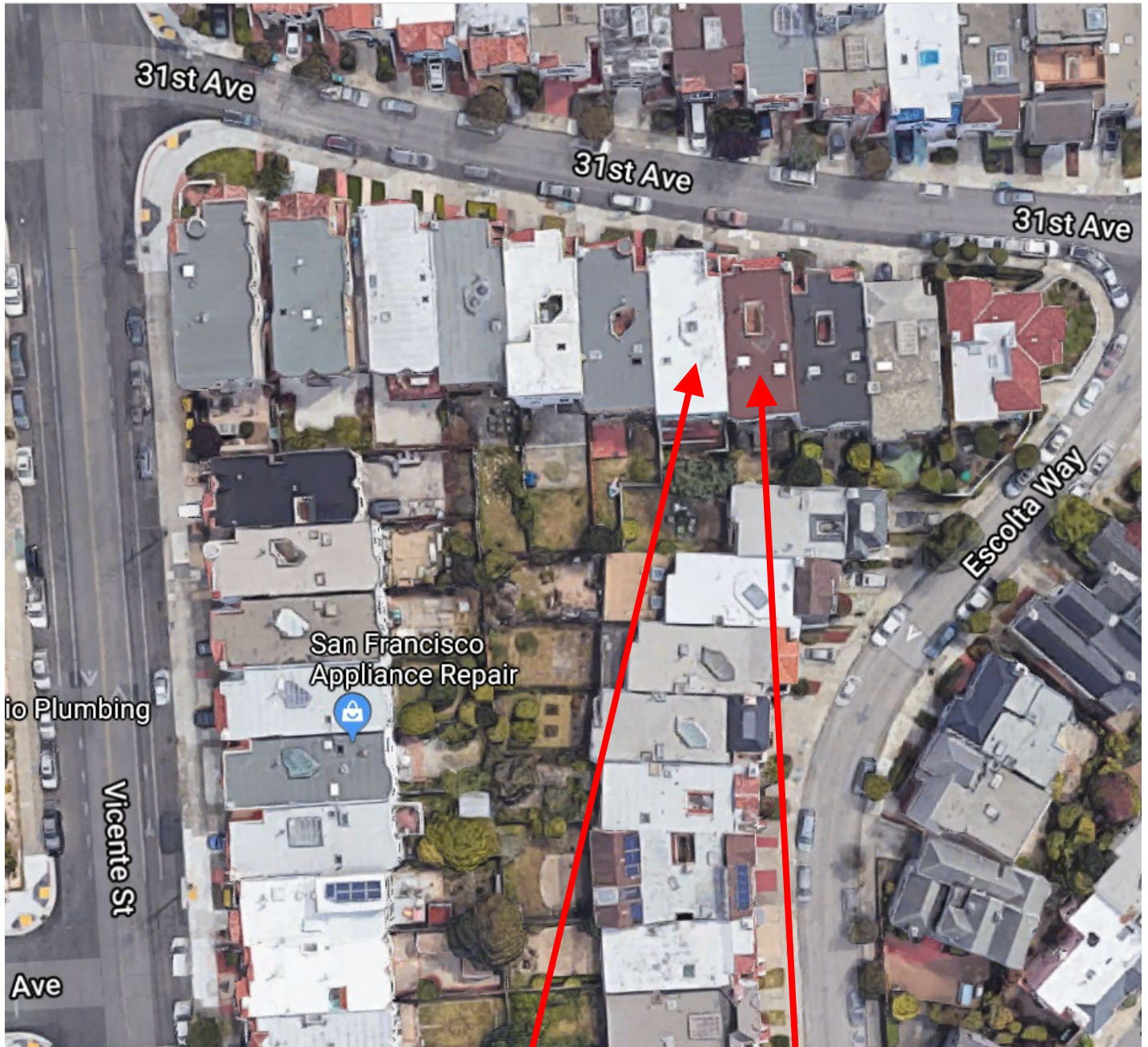


SUBJECT PROPERTY

**DR REQUESTOR'S
PROPERTY**



Aerial Photo



SUBJECT PROPERTY

DR REQUESTOR'S PROPERTY



Discretionary Review Hearing
Case Number 2018-014127DRP
2643 31st Avenue

Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2018-014127DRP
2643 31st Avenue



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **August 14, 2018**, Building Permit Application No.201808147292 was filed for work at the Project Address below.

Notice Date: July 9th, 2019

Expiration Date: August 8th, 2019

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	2643 31ST AVE	Applicant:	Weihong Yang
Cross Street(s):	Vicente St and Escolta Way	Address:	PO BOX 390695
Block/Lot No.:	2464A / 007	City, State:	Mountain View, CA 94039
Zoning District(s):	RH-1 /40-X	Telephone:	408-329-8787
Record Number:	2018-014127PRJ	Email:	w.h.yang@hotmail.com

You are receiving this notice as an owner or occupant of property within 150 feet of the proposed project. **You are not required to take any action.** For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request that the Planning Commission review this application at a public hearing for Discretionary Review. Requests for a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown above, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	Residential
Front Setback	3'9 3/4"-8'9 5/8"	No Change
Side Setbacks	N/A	No Change
Building Depth	56'9"	No Change
Rear Yard	23'8 5/16"-25'9 13/16"	No Change
Building Height	21' 11 5/16"	29' 3/4"
Number of Stories	2	3
Number of Dwelling Units	1	No Change
Number of Parking Spaces	1	No change
PROJECT DESCRIPTION		
The project includes a verticle addition to an existing two story single family dwelling. It also includes a roofdeck above the 2 nd floor and cantilevered rear deck.		
The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.		

To view plans or related documents, visit sf-planning.org/notices and search the Project Address listed above. Once the property is located, click on the dot(s) to view details of the record number above, its related documents and/or plans.

For more information, please contact Planning Department staff:
Cathleen Campbell, 415-575-8732, Cathleen.Campbell@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, contact the Planning Information Center (PIC) at 1660 Mission Street, 1st Floor (415) 558-6377 or pic@sfgov.org. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. **You must submit the application in person** at the Planning Information Center (PIC), with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
2643 31ST AVE		2464A007
Case No.		Permit No.
2018-014127PRJ		201808147292
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval. ADD 849sf ON TOP OF (E) ROOF & CONVERT (E) 2-STORY INTO A 3-STORY BLDG. ADD 266.7sf ROOF TOP DECK IN THE FRONT. ADD 75 sf CANTILEVER BALCONY AT THE BACK.</p>		

STEP 1: EXEMPTION CLASS

The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?</p> <p><i>if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i></p>
<input type="checkbox"/>	<p>Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography). If yes, Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Slope = or > 25%: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.</p>
<p>Comments and Planner Signature (optional): Cathleen Campbell</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input checked="" type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input checked="" type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input checked="" type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input checked="" type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category A a. Per HRER or PTR dated b. Other (specify): </div> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category C (attach HRER or PTR) </div> </div>
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Cathleen Campbell	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Building Permit	Signature: Cathleen Campbell
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	06/26/2019
<p>Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action.</p> <p>Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.</p>		

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
2643 31ST AVE		2464A/007
Case No.	Previous Building Permit No.	New Building Permit No.
2018-014127PRJ	201808147292	
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.	
Planner Name:	Date:



RECEIVED

AUG 08 2019

CITY & COUNTY OF S.F. PLANNING DEPARTMENT PIC

DISCRETIONARY REVIEW APPLICATION

Property Owner's Information

Name: Ricky Jong and Wan Ling Siow-Jong

Address: 2643-31st Avenue

Email Address: rvjong@gmail.com

Telephone: (415) 613-1976

Applicant Information (if applicable)

Name: Pauson and Antonetta Yun

Same as above []

Company/Organization:

Address: 2649-31st Avenue

Email Address: pxy@comcast.net

Telephone: (415) 205- 1090

Please Select Billing Contact:

[] Owner

[x] Applicant

[] Other (see below for details)

Name: Pauson Yun

Email: pxy@comast.net

Phone: (415) 205-1090

Please Select Primary Project Contact:

[] Owner

[x] Applicant

[] Billing

Property Information

Project Address: 2643-31st Avenue

Block/Lot(s): 2464A/007

Plan Area: RH-1 Zoning

Project Description:

Please provide a narrative project description that summarizes the project and its purpose.

The project sponsor is proposing to add a third story, which would be an additional 849 square feet on top, along with a 313 square foot roof top in the front of the house, and 30 square feet in the back of the house for a balcony. The existing home is currently two stories.

Project Details:

- Change of Use New Construction Demolition Facade Alterations ROW Improvements
 Additions Legislative/Zoning Changes Lot Line Adjustment-Subdivision Other _____

Estimated Construction Cost: _____

- Residential:** Special Needs Senior Housing 100% Affordable Student Housing Dwelling Unit Legalization
 Inclusionary Housing Required State Density Bonus Accessory Dwelling Unit

- Non-Residential:** Formula Retail Medical Cannabis Dispensary Tobacco Paraphernalia Establishment
 Financial Service Massage Establishment Other: _____

Related Building Permits Applications

Building Permit Applications No(s): 201808147292

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

In reviewing applications for Certificate of Appropriateness the Historic Preservation Commission, Department staff, Board of Appeals and/or Board of Supervisors, and the Planning Commission shall be governed by *The Secretary of the Interior's Standards for the Treatment of Historic Properties* pursuant to Section 1006.6 of the Planning Code. Please respond to each statement completely (Note: Attach continuation sheets, if necessary). Give reasons as to *how* and *why* the project meets the ten Standards rather than merely concluding that it does so. IF A GIVEN REQUIREMENT DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?		✓
Did you discuss the project with the Planning Department permit review planner?	✓	
Did you participate in outside mediation on this case? (including Community Boards)		✓

CHANGES MADE TO THE PROJECT AS A RESULT OF MEDIATION

If you have discussed the project with the applicant, planning staff or gone through mediation, please attach a summary of the result, including any changes that were made to the proposed project.

Please see attached sheets.

DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

Please see attached sheets.

-
2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

Please see attached sheets.

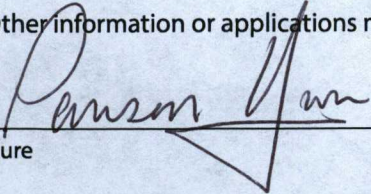
-
3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

Please see attached sheets.

APPLICANT'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

- a) The undersigned is the owner or authorized agent of the owner of this property.
- b) The information presented is true and correct to the best of my knowledge.
- c) Other information or applications may be required.



Signature

Pauson Yun

Name (Printed)

Neighbor Next Door

Relationship to Project
(i.e. Owner, Architect, etc.)

(415) 205-1090

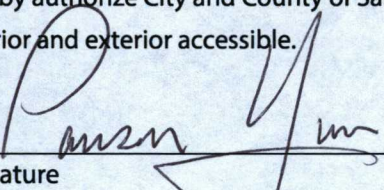
Phone

pxy@comcast.net

Email

APPLICANT'S SITE VISIT CONSENT FORM

I hereby authorize City and County of San Francisco Planning staff to conduct a site visit of this property, making all portions of the interior and exterior accessible.



Signature

Pauson Yun

Name (Printed)

8/5/2019

Date

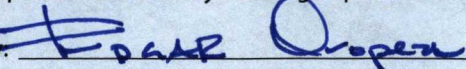
RECEIVED

AUG 08 2019

Date: **CITY & COUNTY OF S.F.**
PLANNING DEPARTMENT
PIC

For Department Use Only

Application received by Planning Department:

By: 

Project Address – 2643-31st Avenue, SF
Request for Discretionary Review

If you have discussed this project with the applicant, planning staff or gone through mediation, please attach a summary of the result, including any changes that were made to the proposed project.

On Friday, October 12, 2018, the project sponsors held a neighborhood meeting at their house at 2643-31st Avenue, which is the site of the project. My wife and I live at 2649 31st Ave., which is next door to the proposed project. We were out of town that day, so we were not able to attend the meeting. Our neighbors across the street at 2636-31st Avenue and 2666-31st Avenue attended the meeting. They reviewed the plans for the third story addition and they voiced their concerns to the project sponsors and their architect about the massive third story addition.

Our block is a very small and narrow street, and a full third story addition along with the proposed front and rear decks do not match the surrounding homes on the street or any of the homes on the block. This third story addition would be completely out of proportion and out of scale and it would ruin the unique characteristics of this special street. The project sponsor and their architect did not bother addressing any of the concerns of the neighbors, and a few days later they submitted their plans to the city. At that meeting, the architect told the neighbors that they are not required to address any of the concerns of the neighbors.

As a result, no significant changes were made to the proposed plans for the third story addition.

Question 1:

What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the Project? How does the project conflict with the City’s General Plan or the Planning Code’s Priority Policies or Residential Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

Several neighbors are in opposition to the project for the following reasons:

- 1) In the San Francisco Residential Guidelines, Page 9, Under Section II, “Neighborhood Character,” it states, “In areas with a defined visual character, design buildings to be compatible with the patterns and architectural features of surrounding buildings.” “Buildings must be designed to be compatible in scale, patterns and architectural features of surrounding buildings, drawing from elements that are common to the block.”**

Project Address – 2643-31st Avenue, SF
Request for Discretionary Review

The 2600 block of 31st Avenue is a unique street and it is the most coveted street in the Parkside neighborhood. It is a very small, narrow, curvy street that is full of charm and character. Many homeowners who purchased their homes on this block have paid a much more significant amount of money to live on this block because it is so unique and it stands out from all the other streets in Parkside. Only one car can pass through the street because it is a very tight street.

This proposed massive third story addition at 2643-31st Avenue is completely out of proportion and it does not match the homes on either side, nor does it match any of the other homes on the block. The homes on each side of the proposed project are both two stories, and a third story addition would be very conspicuous and pronounced, since this street is so narrow and compact. In addition, a front deck would not blend in with the street at all and would ruin the beautiful Spanish Mediterranean characteristics of the homes on this street. There are no homes on this block that have a front deck. **Unlike detached homes in other areas, the homes on this street are connected so a large addition like this will have a noticeable negative impact on the immediate neighbors.**

- 2) In the San Francisco Residential Guidelines, on Page 24 of the guidelines, it states, “Design the height and depth of the building to be compatible with the existing building scale at the street.” “...If a new floor is being added to an existing building, it may be necessary to modify the building height or depth to maintain the existing scale at the street. By making these modifications, the visibility of the upper floor is limited from the street, and the upper floor appears subordinate to the primary façade. The key is to design a building that complements other buildings on the block and does not stand out, even while displaying an individual design.”

On page 29 of the San Francisco Residential Guidelines, it states, “Design the building’s proportions to be compatible with those found on surrounding buildings.” “...Building features must be proportional not only to other features on the building, but also to the features found in surrounding buildings.”

Both homes on each side of the proposed project are two story homes. This proposed massive third story addition and the proposed front deck at 2643-31st Avenue, located in the middle of the block, will stick out and it will completely change the look and feel of this small block. On my side of the street, there is one home located at 2631-31st Avenue that has a very small third story towards the back of their house. This third story is approximately 250 square feet and it is original to the home. It only consists of one bedroom and it is not noticeable when you are standing in front of the house on the street.

Project Address – 2643-31st Avenue, SF
Request for Discretionary Review

On the other side of our street, diagonally across from us, there are two other homes located at 2654-31st Avenue and 2672-31st Avenue and they also have a very small third story towards the back of their home, which is approximately 250 square feet and it only consists of one bedroom.

All three of the homes that have a small third story are set back substantially at about 18 feet. The third story on these homes are all not noticeable, unlike the massive proposed third story addition at 2643-31st Avenue, which is approximately 1,200 square feet. All of the homes on this street are approximately 1,300 to 2,000 square feet. The project site at 2643-31st Avenue currently consists of 1,900 square feet and it has 4 bedrooms and 3 bathrooms. Therefore, an expanded house that would have over 3,100 square feet, 3 stories, 5 bedrooms, and 4 bathrooms would be grossly out of character with the rest of the maximum 2,000 square feet, 2 story homes on the block.

- 3) On page 6 of the San Francisco Residential Guidelines, it states that applicants are encouraged to discuss projects with Planning Department staff and adjacent neighbors early in the design process to identify specific issues that may affect the design.

The project sponsors and their architect are unwilling to take the neighbors' suggestions and they have disregarded all of the comments of concerned neighbors on this block. **Eighteen homeowners on this block have signed a petition in objection to these plans. Several of these homeowners have lived on the block for several decades. Many of these homeowners have written letters to the Planning Department in objection to this massive third story addition.**

Question 2:

The Residential Design Guidelines assume some impacts to be reasonable and expected as part of the construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

I live right next door and if this proposed third story addition was built, I believe this massive third story addition and front deck would affect both my sunlight and affect my privacy and the privacy of the surrounding neighbors.

Project Address – 2643-31st Avenue, SF
Request for Discretionary Review

Reducing and minimizing impacts on light and privacy are express requirements under the San Francisco Residential Guidelines, see pages 16-17. This proposed project only has negative impacts on our light and privacy, and the project sponsors have done little or nothing to reasonably address these concerns.

In addition, this home will be completely out of character with the neighborhood and a large number of residents are strongly opposed to these changes to the roofline. This would change the original atmosphere of this neighborhood and it will negatively impact the residents in this unique community.

Question 3:

What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce adverse effects noted above in question #1?

We would like the project sponsor to scale back their third story and to reduce the size to match the other homes on the block that currently have a third story. The other homes on the block are 2631-31st Avenue, 2654-31st Avenue, and 2672-31st Avenue. They each have a third story that is approximately 250-300 square feet in the upper level. These third stories are set back substantially about 18 feet from the front of the home.

We also propose that the project sponsors eliminate the front deck, since there are no homes on this block that have a front deck, and so that we can preserve the unique characteristics of this special street.

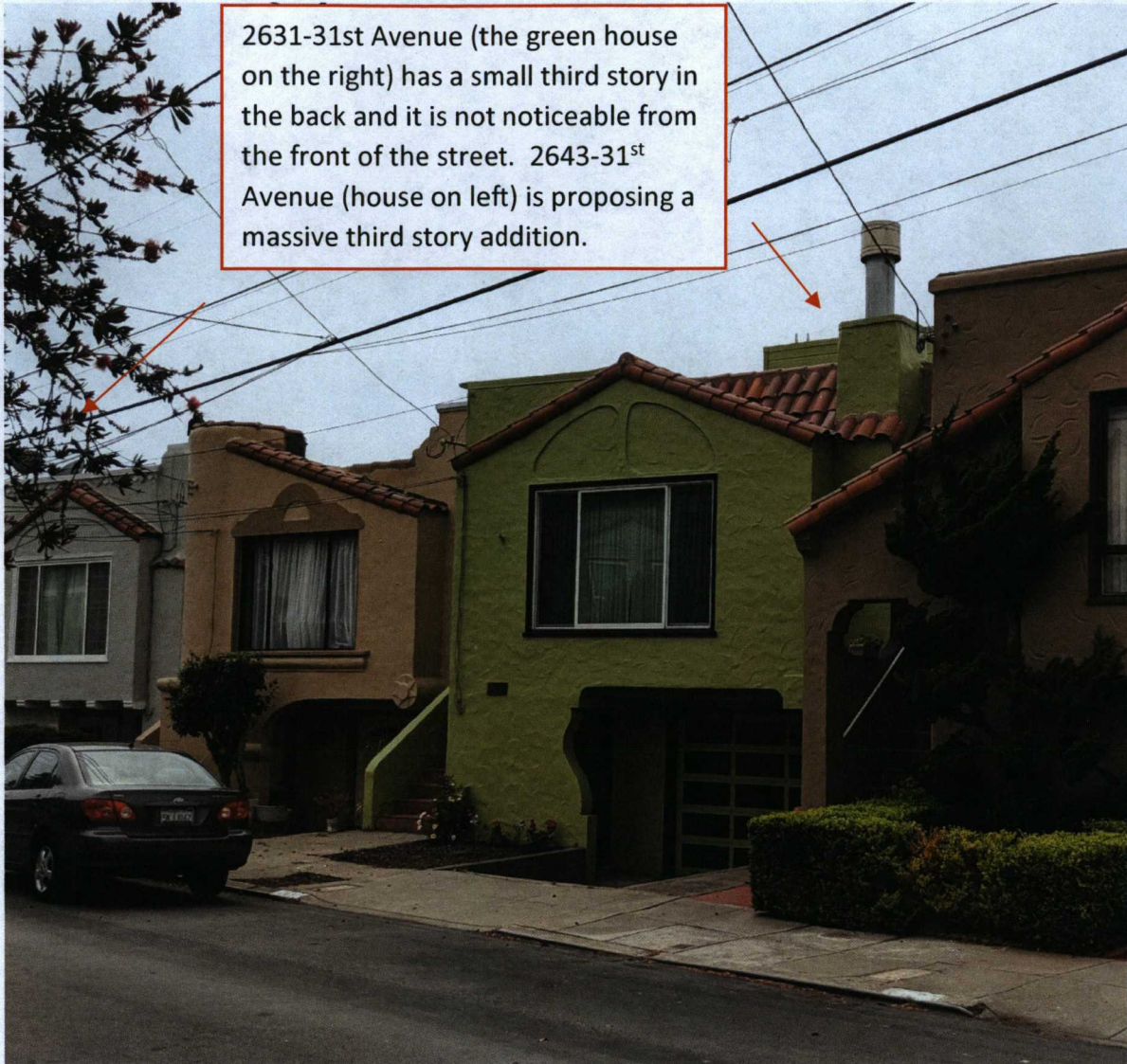
**Project Address – 2643-31st Avenue, SF
Request for Discretionary Review**

Examples of existing 3rd floor additions on 31st Avenue which are barely noticeable and roof lines.



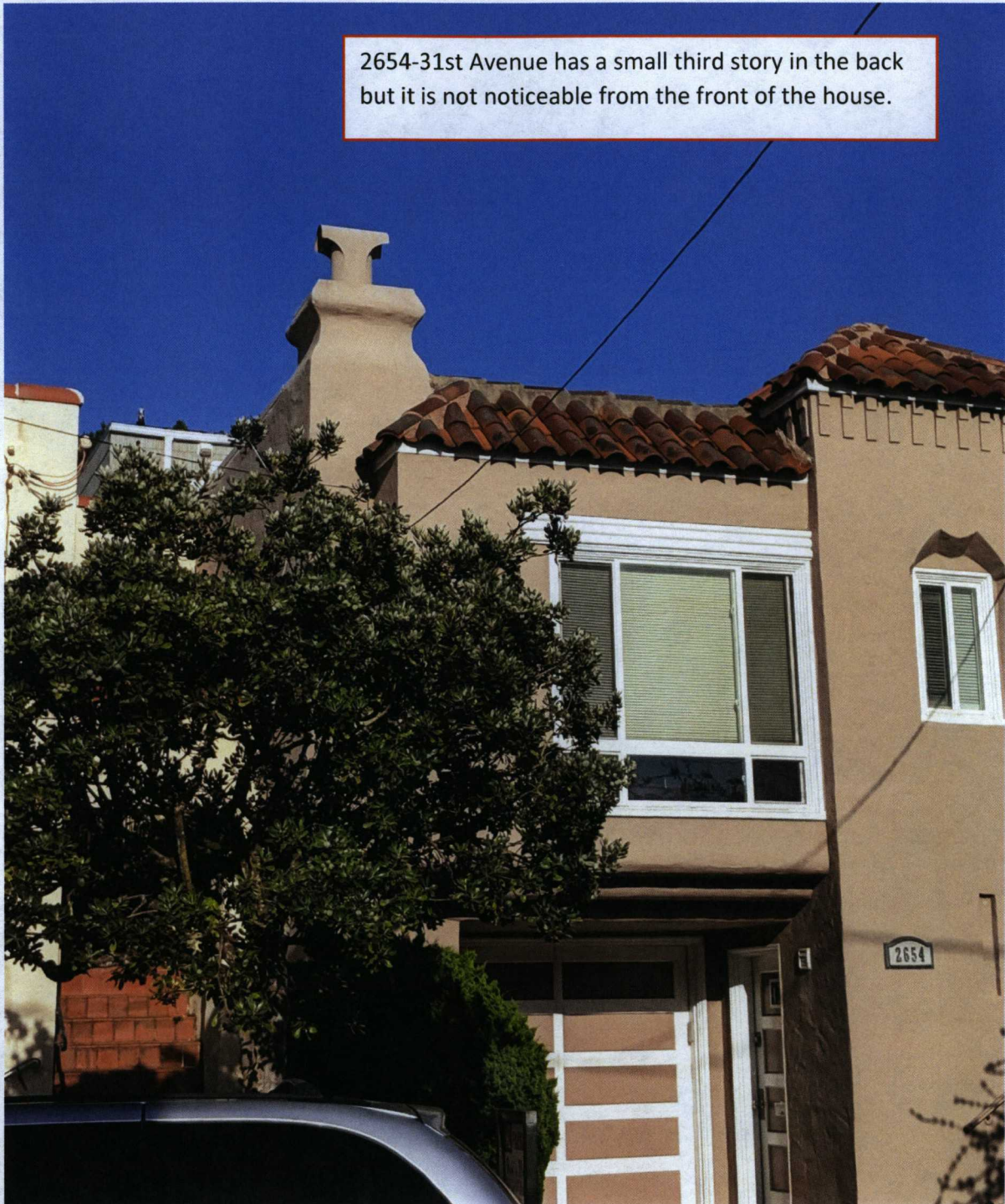
**Project Address – 2643-31st Avenue, SF
Request for Discretionary Review**

2631-31st Avenue (the green house on the right) has a small third story in the back and it is not noticeable from the front of the street. 2643-31st Avenue (house on left) is proposing a massive third story addition.



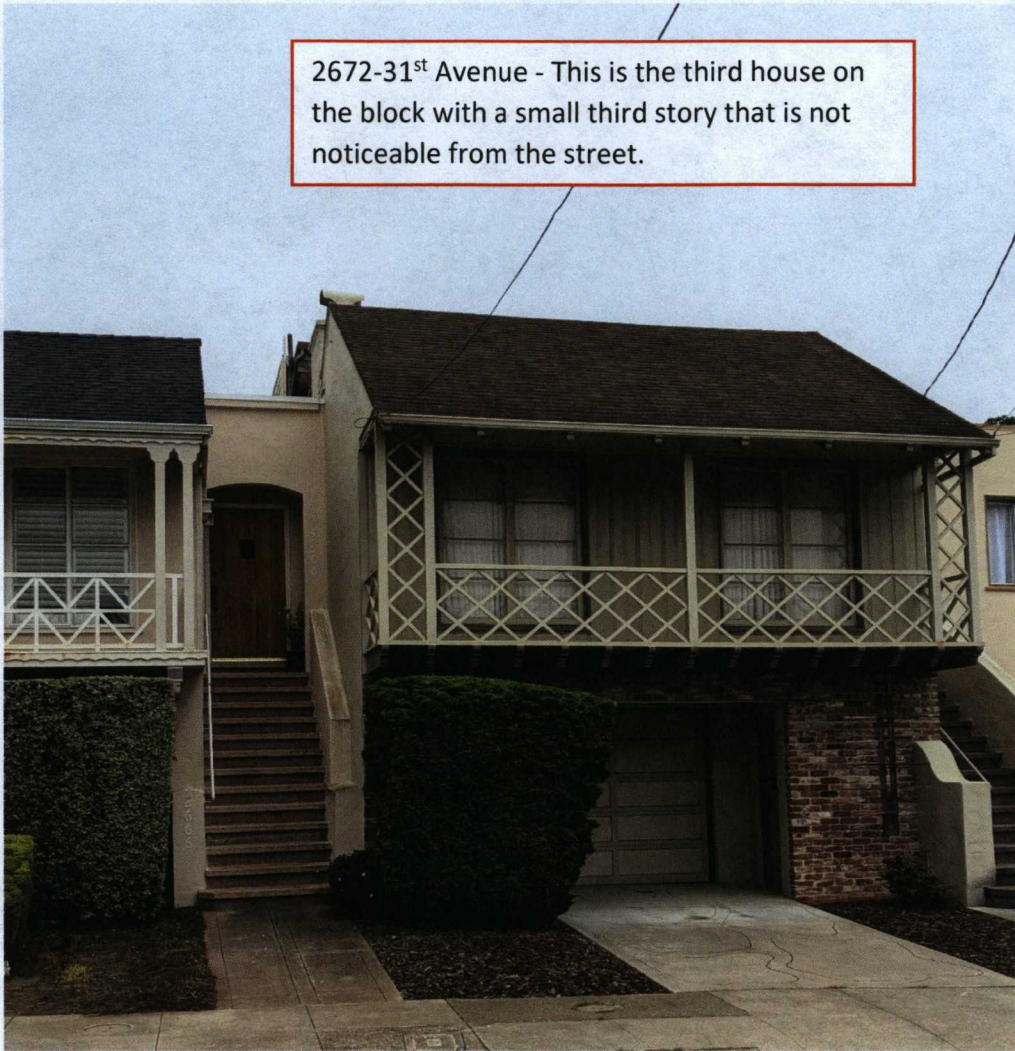
**Project Address – 2643-31st Avenue, SF
Request for Discretionary Review**

2654-31st Avenue has a small third story in the back but it is not noticeable from the front of the house.



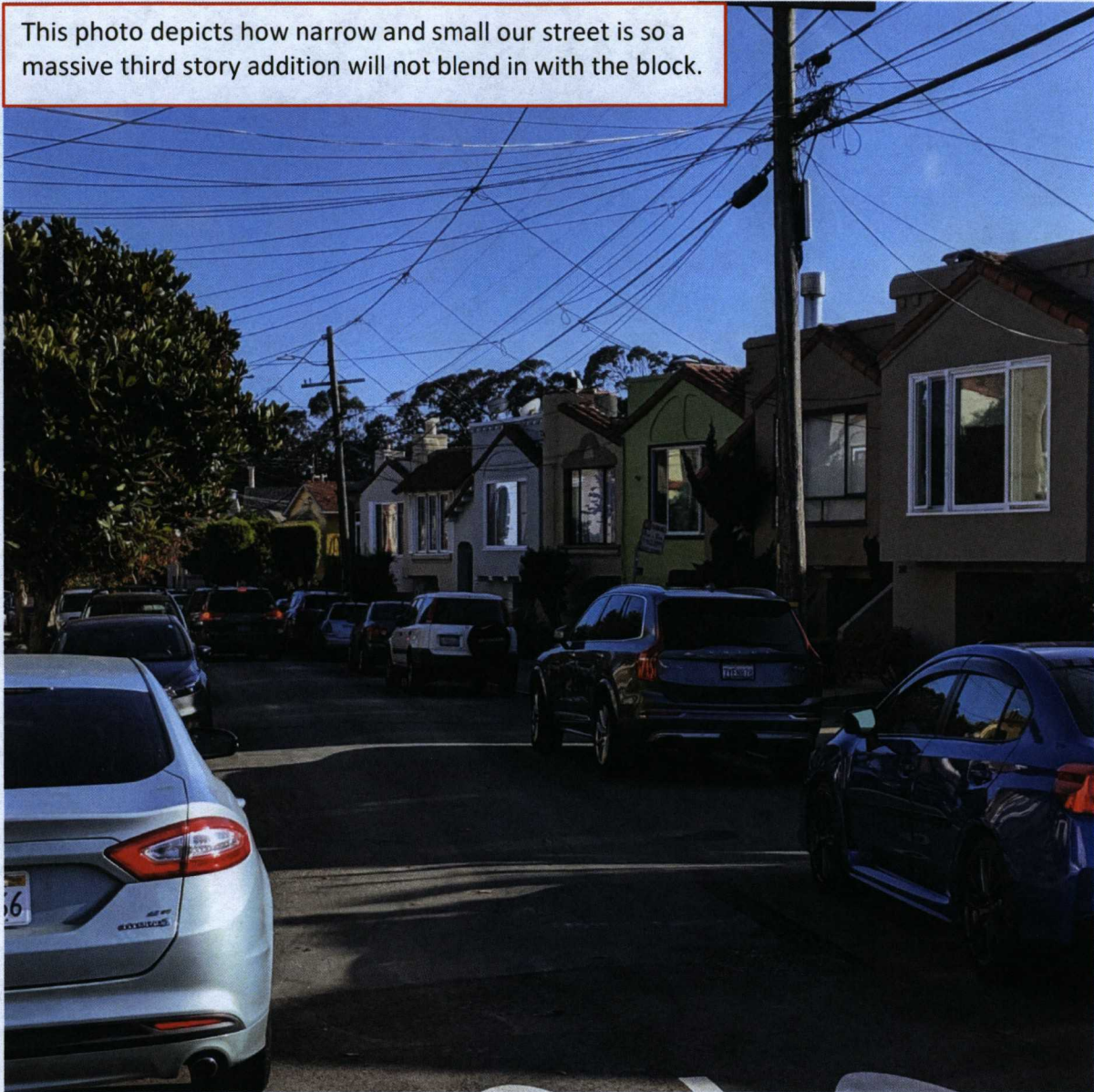
**Project Address – 2643-31st Avenue, SF
Request for Discretionary Review**

2672-31st Avenue - This is the third house on the block with a small third story that is not noticeable from the street.



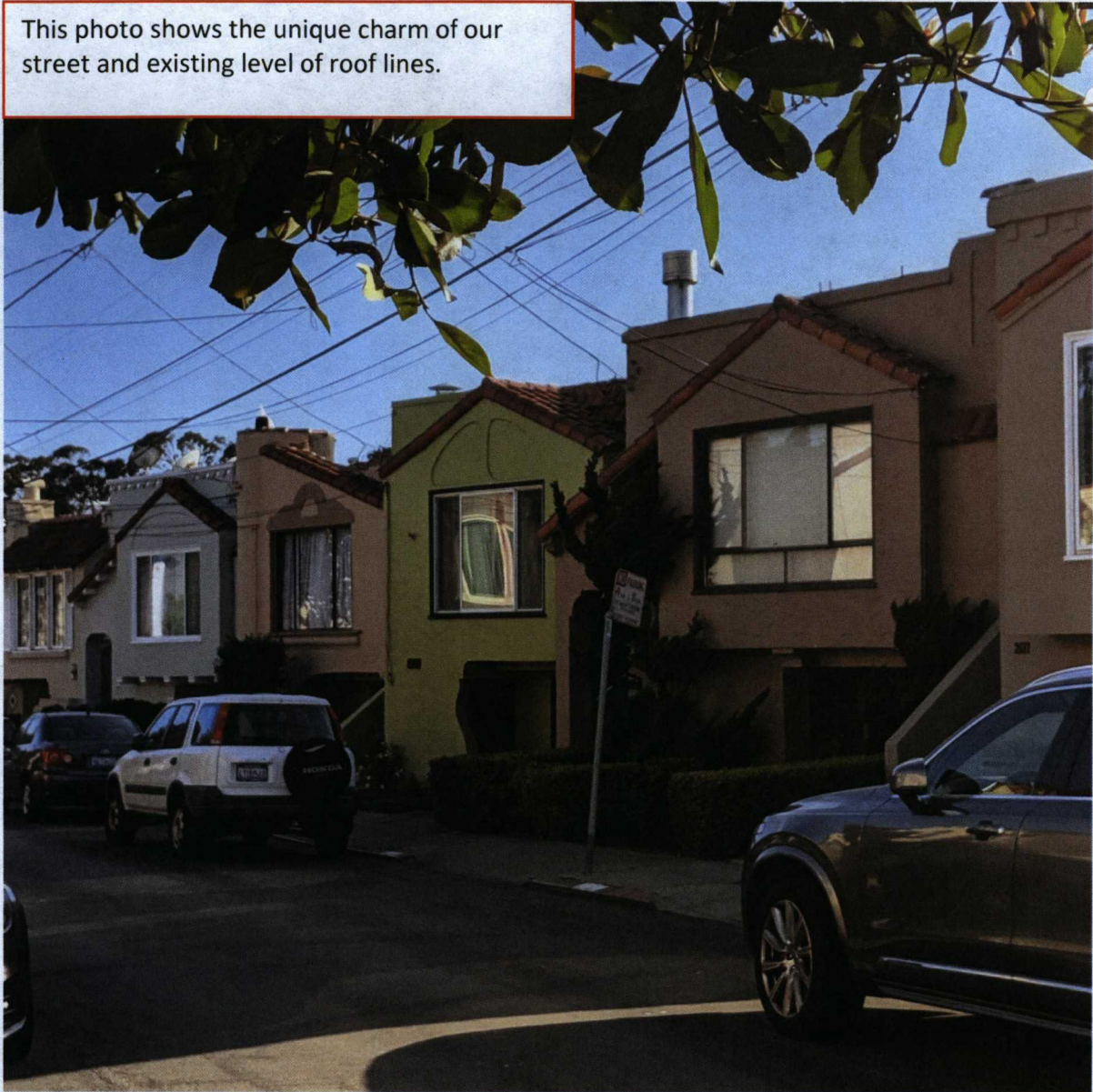
Project Address – 2643-31st Avenue, SF
Request for Discretionary Review

This photo depicts how narrow and small our street is so a massive third story addition will not blend in with the block.



Project Address – 2643-31st Avenue, SF
Request for Discretionary Review

This photo shows the unique charm of our street and existing level of roof lines.



Project Address – 2643-31st Avenue, SF
Request for Discretionary Review

This photo shows another view of the unique character of our street and how adding the massive 3rd story will have a big impact on our street.



**Project Address – 2643-31st Avenue, SF
Request for Discretionary Review**

This photo shows another shot of the existing level of roof lines and the tranquil flow with the sky.



**Project Address – 2643-31st Avenue, SF
Request for Discretionary Review**

This photo shows the view of the roof lines from the opposite angle.



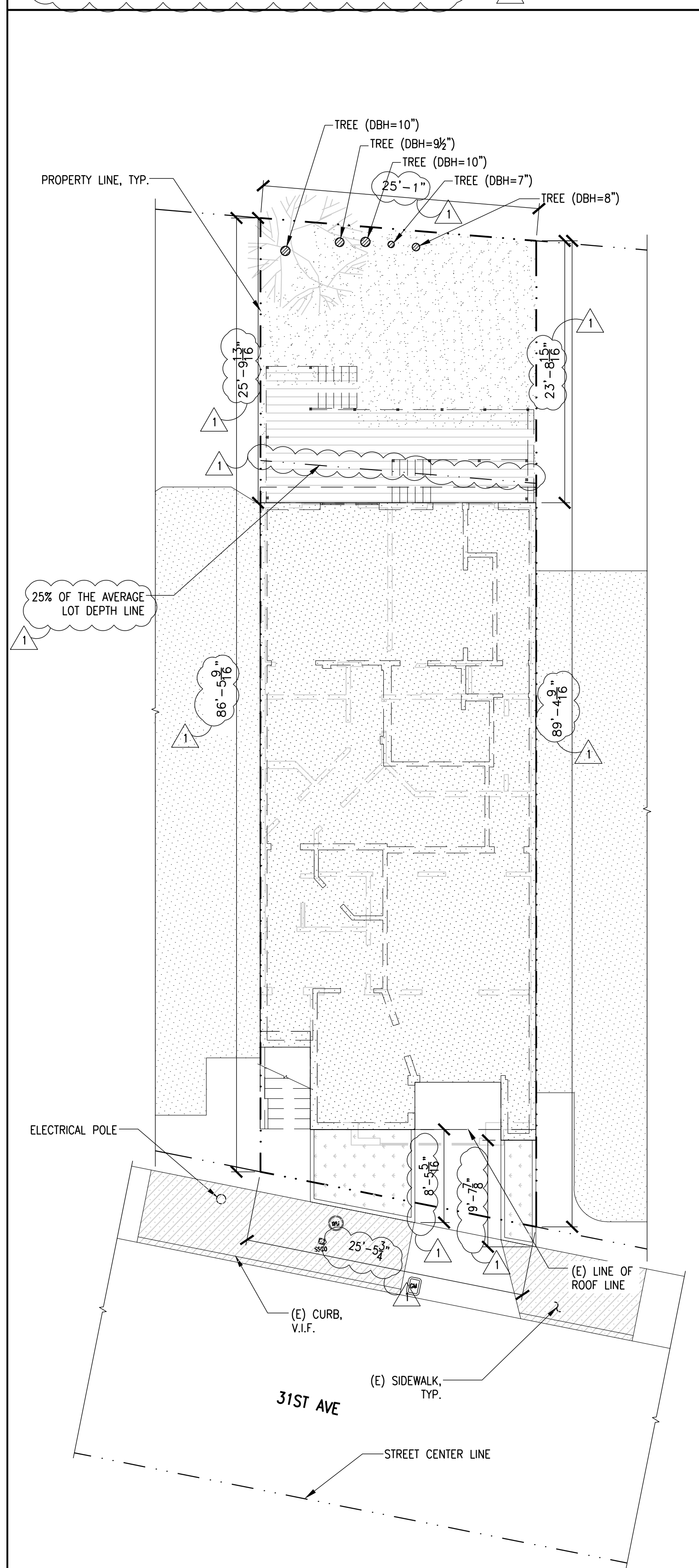
PROJECT SUMMARY		
ADDRESS	2643 31ST AVE	
SCOPE OF WORKS	(1) ADD 849 SF ON TOP OF EXISTING ROOF AND CONVERT EXISTING TWO-STORY BUILDING INTO A THREE STORY BUILDING (2) ADD 196 SF ROOF TOP DECK IN THE FRONT (3) ADD 30 SF ROOF TOP DECK IN THE REAR YARD	
PROJECT INFORMATION		
APN NUMBER	EXISTING	PROPOSAL
2464A/007	2464A/007	2464A/007
CONSTRUCTION TYPE	V-B (WOOD AND STEEL FRAME)	V-B (WOOD AND STEEL FRAME)
STORIES	2	3
SPRINKLERS	NO	NO
OCCUPANCY	R-3 (DWELLING)	R-3 (DWELLING)
ZONING	RH-1	RH-1
AVERAGE SLOPE	< 10%	< 10%
LOT AREA SQ.FT.	2,195.0	2,195.0
RESIDENCE FOOTPRINT SQ.FT.		
	EXISTING	PROPOSAL
3RD FLOOR LIVING AREA SQ.FT.	1,386.5	1,386.5
3RD FLOOR FRONT DECK SQ.FT.	N/A	848.4
3RD FLOOR BACK BALCONY SQ.FT.	N/A	195.8
2ND FLOOR LIVING AREA SQ.FT.	N/A	30.0
1ST FLOOR LIVING AREA SQ.FT.	1,383.0	1,383.0
1ST FLOOR GARAGE AREA SQ.FT.	1,067.3	1,067.3
1ST FLOOR GARAGE AREA SQ.FT.	285.7	285.7
TOTAL LIVING SPACE SQ.FT.	2,450.3	3,298.7
LOT COVERAGE	63.2%	63.2%
MAX. ALLOWABLE LOT COVERAGE	0.0%	0.0%
CODE ENFORCEMENT JURISDICTION		
2016 CALIFORNIA BUILDING CODE, VOLS 1 & 2		
2016 CALIFORNIA RESIDENTIAL CODE		
2016 CALIFORNIA MECHANICAL CODE		
2016 CALIFORNIA PLUMBING CODE		
2016 CALIFORNIA ELECTRICAL CODE		
2016 CALIFORNIA FIRE CODE		
2016 CALIFORNIA GREEN BUILDING CODE		
2016 ENERGY EFFICIENCY STANDARDS (TITLE 24)		

CALCULATION FOR FRONT SETBACK PERMEABILITY

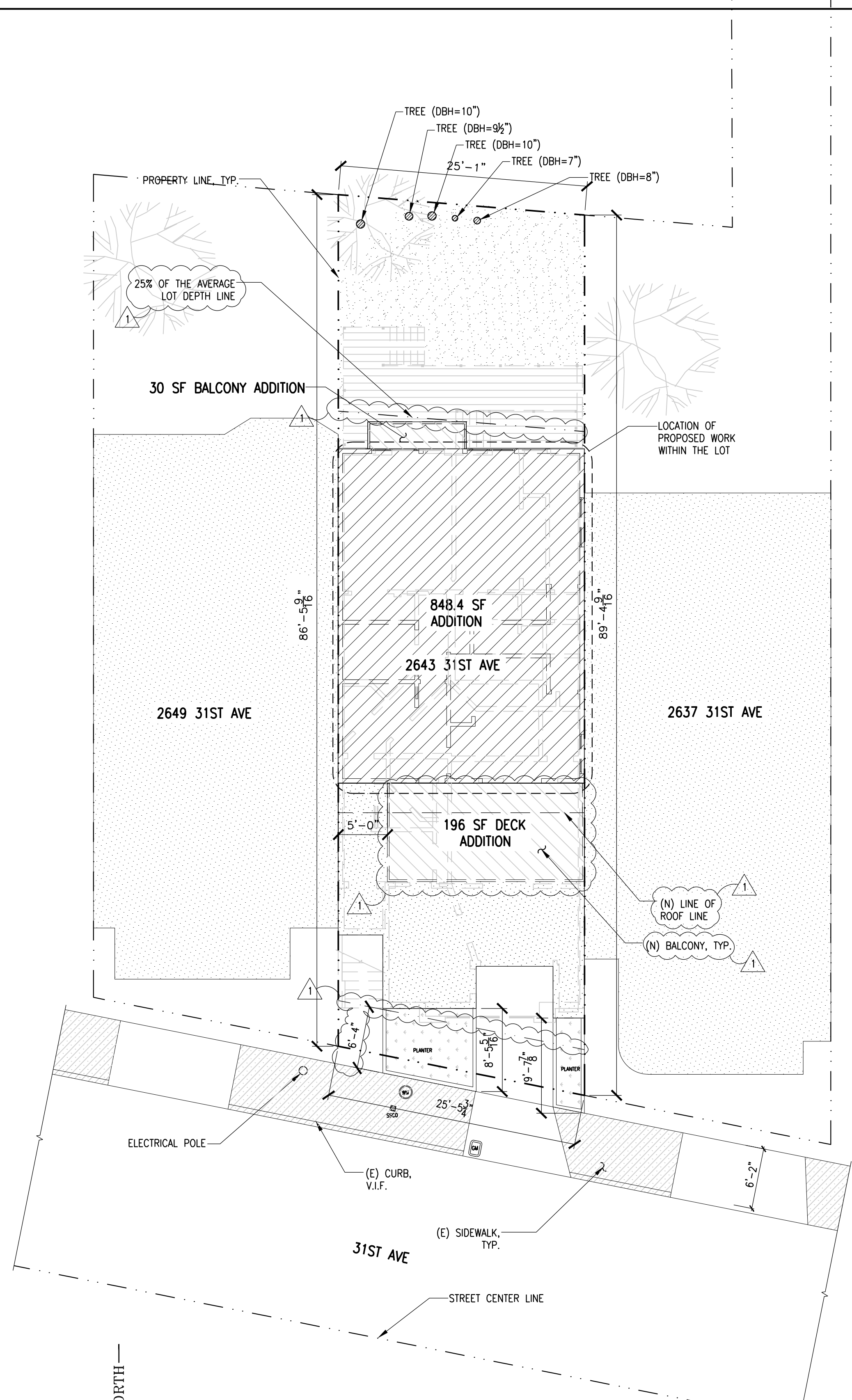
TOTAL FRONT SETBACK LANDSCAPE AREA:	161.29 S.F.
TOTAL FRONT LANDSCAPE AREA:	81.75 S.F.
TOTAL CONCRETE AREA:	79.54 S.F.
TOTAL 50.7% PERMEABLE INCLUDING PLANTED	

LEGEND

	EXIST HOUSE		CONCRETE PAVEMENT OR DRIVE WAY		PROPOSED NEW ADDITION		PROPERTY LINE
	BRICK PAVEMENT		GRASS		GRAVEL PAVEMENT		BALCONY



2 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"



1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

LIST OF DRAWING SHEETS		
DRAWING TYPE	SHEET #	SHEET TITLE
ARCHITECTURAL	A1.0	PROJECT SUMMARY, EXISTING SITE PLAN AND PROPOSED SITE PLAN
	A2.1	EXISTING 1ST FLOOR/DEMOLITION PLAN & PROPOSED 1ST FLOOR PLAN
	A2.2	EXISTING 2ND FLOOR/DEMOLITION PLAN & PROPOSED 2ND FLOOR PLAN
	A2.3	PROPOSED 3RD FLOOR & ROOF PLAN & WINDOW & EXTERIOR DOOR SCHEDULE
	A2.4	EXISTING ROOF PLAN & NOTES
	A3.1	EXISTING & PROPOSED EAST ELEVATIONS
	A3.2	EXISTING & PROPOSED WEST ELEVATIONS
	A3.3	EXISTING & PROPOSED NORTH ELEVATIONS
	A3.4	EXISTING & PROPOSED SOUTH ELEVATIONS
	A4.1	2ND FLOOR ELECTRICAL & POWER PLAN
	A4.2	3RD FLOOR ELECTRICAL & POWER PLAN
	A4.3	EXISTING AND PROPOSED BUILDING SECTION
	A4.4	PROPOSED 3D VIEWS
	A4.5	SITE PHOTOS
	STRUCTURAL	

STRUCTURAL ENGINEER:
W. H. YANG
STRUCTURAL ENGINEERING SERVICE
PO BOX 390695
MOUNTAIN VIEW
CALIFORNIA
94039-0695
P. 408.329.8787
F. 408.228.5176
EMAIL: W.H.YANG@HOTMAIL.COM



RESIDENCE ADDITION & REMODEL
2643 31ST AVE, SAN FRANCISCO, CA 94116

DATE: 09/04/18 ISSUE: PERMIT SET
01/15/20 REVISION

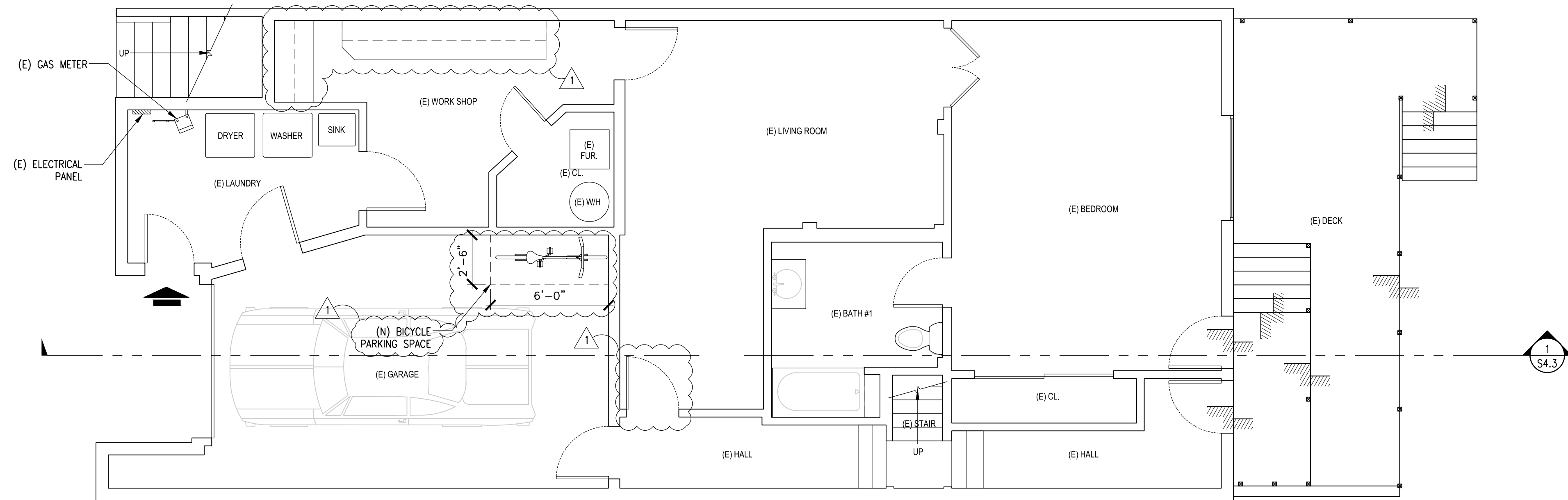
REVISION:

SHEET TITLE:
PROJECT SUMMARY, SITE PLAN AND SITE PHOTOS

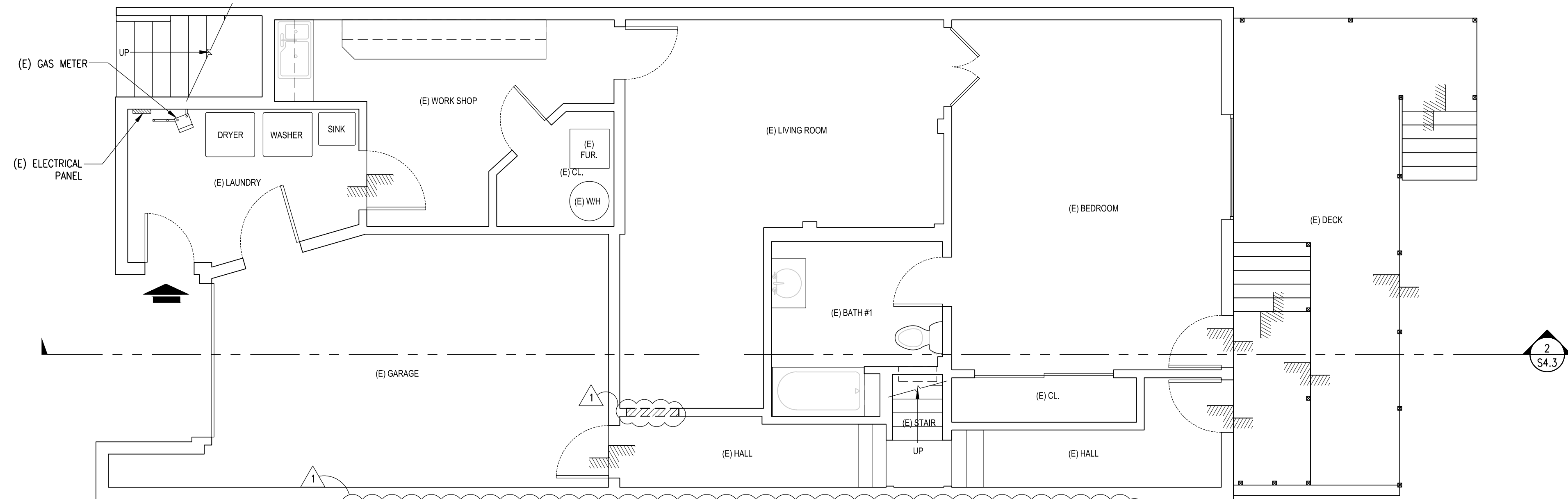
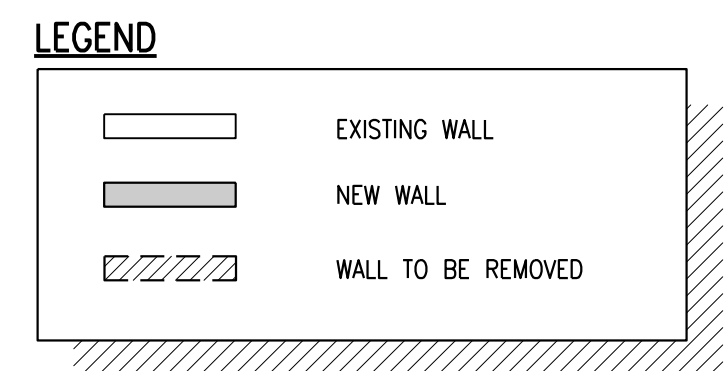
JOB NO.: 1821
SCALE: AS NOTED
SHEET:

A1.0

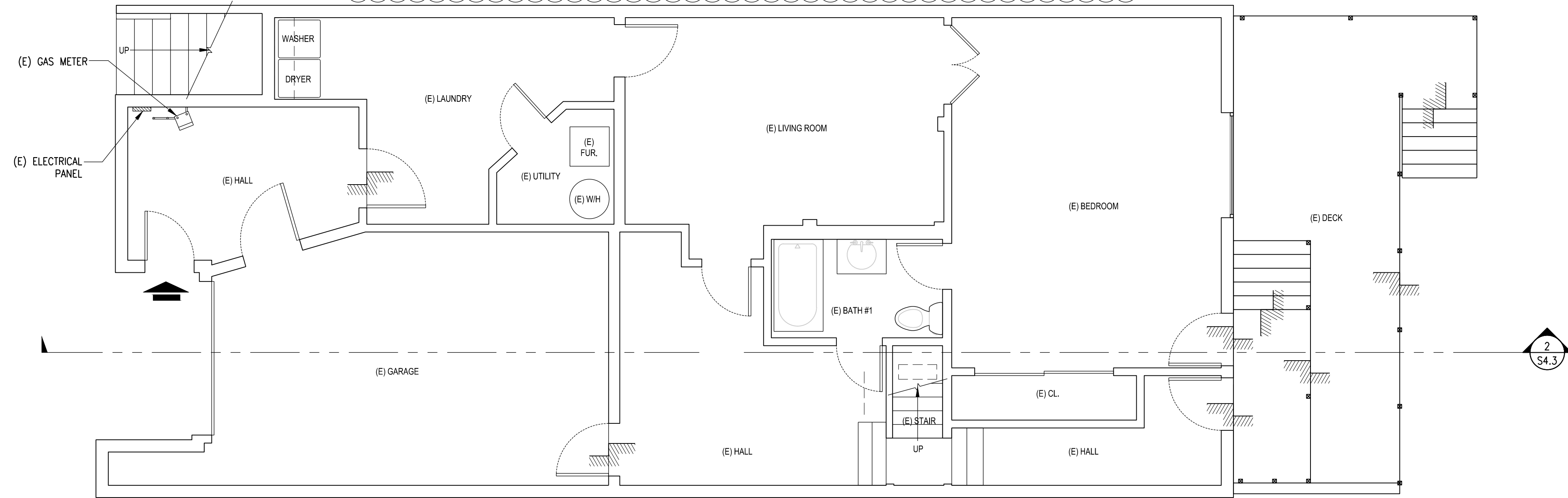
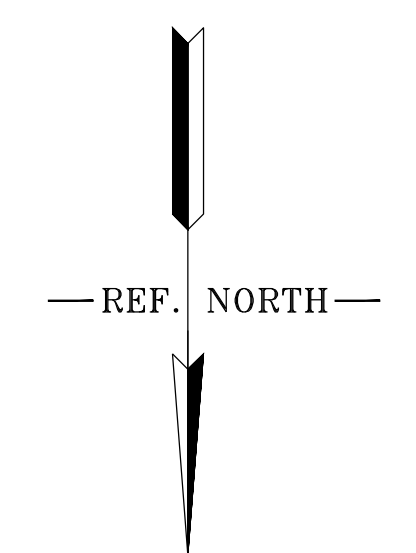
NOTE: THIS SHEET SHOULD BE 24"x36"



2 PROPOSED 1ST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1 AS-BUILT 1ST FLOOR/DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"



1 EXISTING 1ST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

CONSTRUCTION WASTE MANAGEMENT

RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH ONE OF THE FOLLOWING:

1. COMPLY WITH A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE;
2. A CONSTRUCTION WASTE MANAGEMENT PLAN; SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN CONFORMANCE WITH ITEMS 1 THROUGH 5 FROM SECTION 4.408.2
3. WASTE MANAGEMENT COMPANY, APPROVED BY THE ENFORCING AGENCY, WHICH CAN PROVIDE VERIFIABLE DOCUMENTATION THAT DIVERTED CONSTRUCTION AND DEMOLITION WASTE MATERIALS MEET THE REQUIREMENTS:
 EXCAVATED SOIL AND LAND-CLEARING DEBRIS.
 ALTERNATIVE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL ENFORCING AGENCIES IF DIVERSION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO THE JOBSITE.
 THE ENFORCING AGENCY MAY MAKE EXCEPTIONS TO THE REQUIREMENTS OF THIS SECTION WHEN ISOLATED JOB SITES ARE LOCATED IN AREAS BEYOND THE HAUL BOUNDARIES OF THE DIVERSION FACILITY.
4. THE WASTE STREAM REDUCTION ALTERNATIVE, PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED IN LANDFILLS, WHICH DO NOT EXCEED 3.4 POUNDS PER SQUARE FOOT OF THE BUILDING AREA SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1.

(REFERENCE: 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 4.408)

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**RESIDENCE ADDITION
 & REMODEL**
 2643 31ST AVE. SAN FRANCISCO,
 CA 94116

DATE:	ISSUE:
09/04/18	PERMIT SET
01/15/20	REVISION

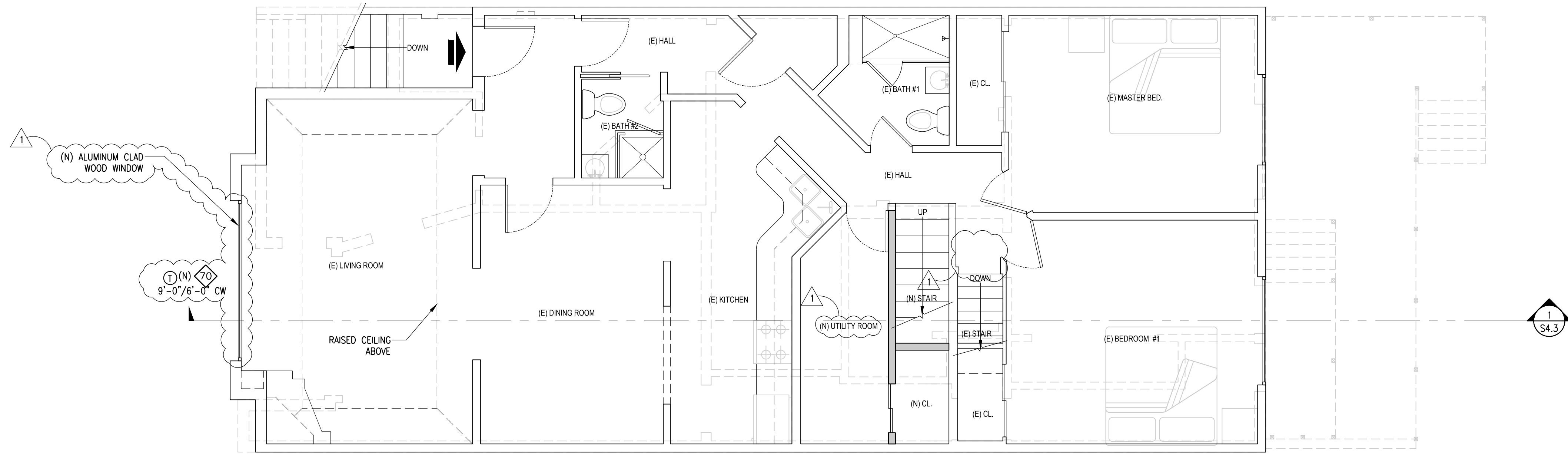
REVISION:

SHEET TITLE:
**EXISTING 1ST
 FLOOR PLAN &
 PROPOSED 1ST
 FLOOR PLAN**

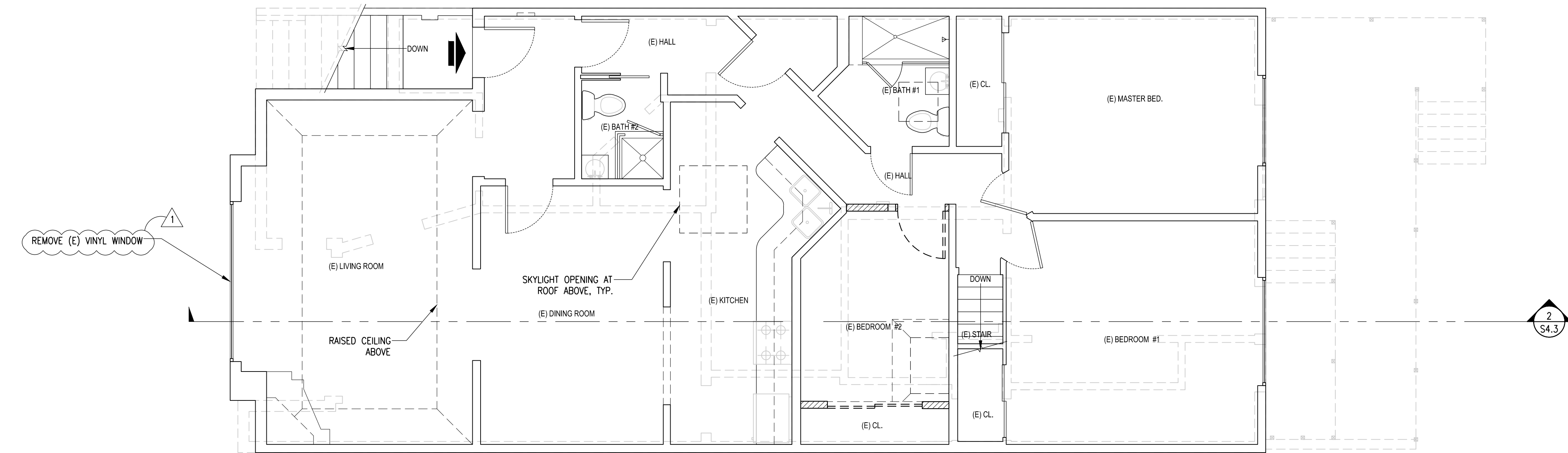
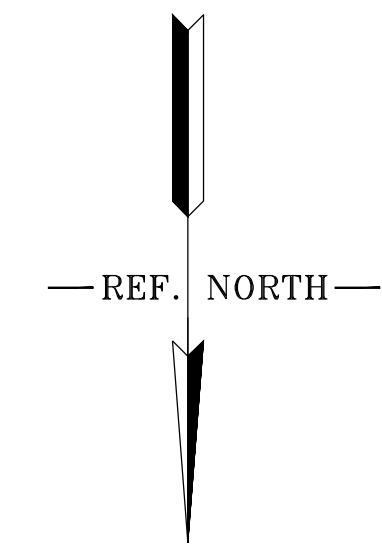
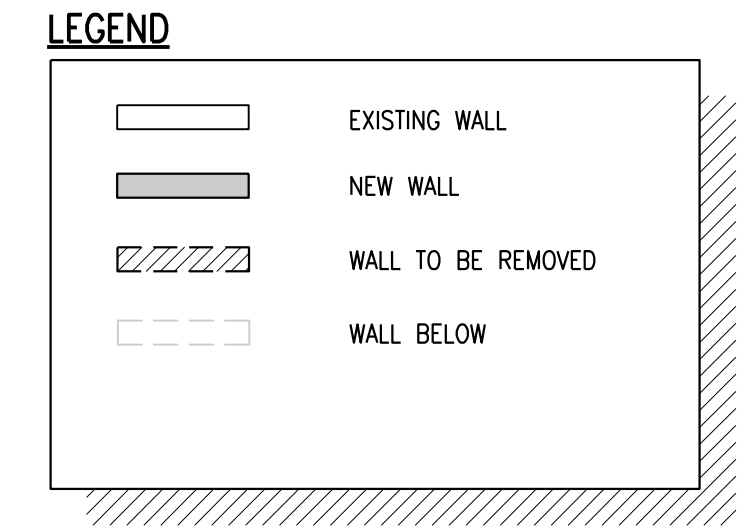
JOB NO.: 1821
 SCALE: AS NOTED
 SHEET:

A2.1

NOTE: THIS SHEET SHOULD BE 24"x36"



2 PROPOSED 2ND FLOOR PLAN
 0 5' 10'
 SCALE: 1/4" = 1'-0"



1 EXISTING 2ND FLOOR/DEMOLITION PLAN
 0 5' 10'
 SCALE: 1/4" = 1'-0"

STRUCTURAL ENGINEER:
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**RESIDENCE ADDITION
 & REMODEL**
 2643 31ST AVE. SAN FRANCISCO,
 CA 94116

DATE:	ISSUE:
09/04/18	PERMIT SET
01/15/20	REVISION

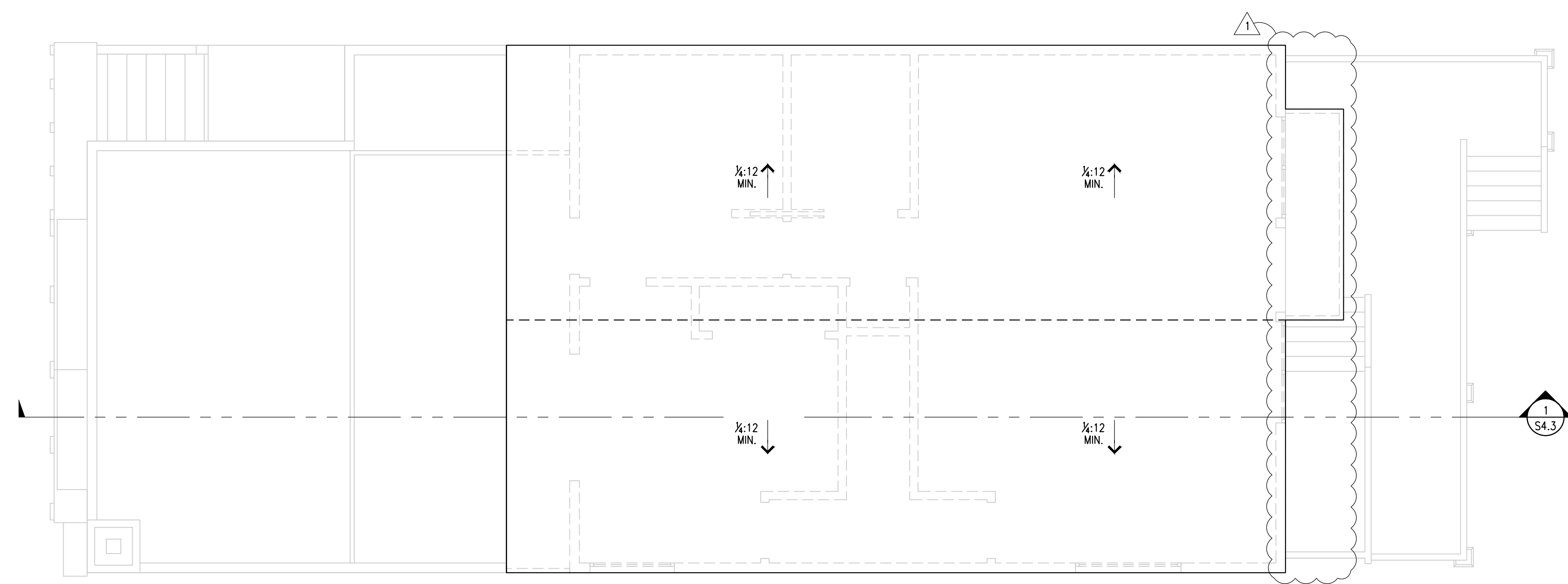
REVISION:

SHEET TITLE:
EXISTING 2ND FLOOR/DEMOLITION PLAN & PROPOSED 2ND FLOOR PLAN

JOB No.: 1821
 SCALE: AS NOTED
 SHEET:

A2.2

NOTE: THIS SHEET SHOULD BE 24"x36"



2 PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"

NOTES OF WATER EFFICIENCY AND CONSERVATION

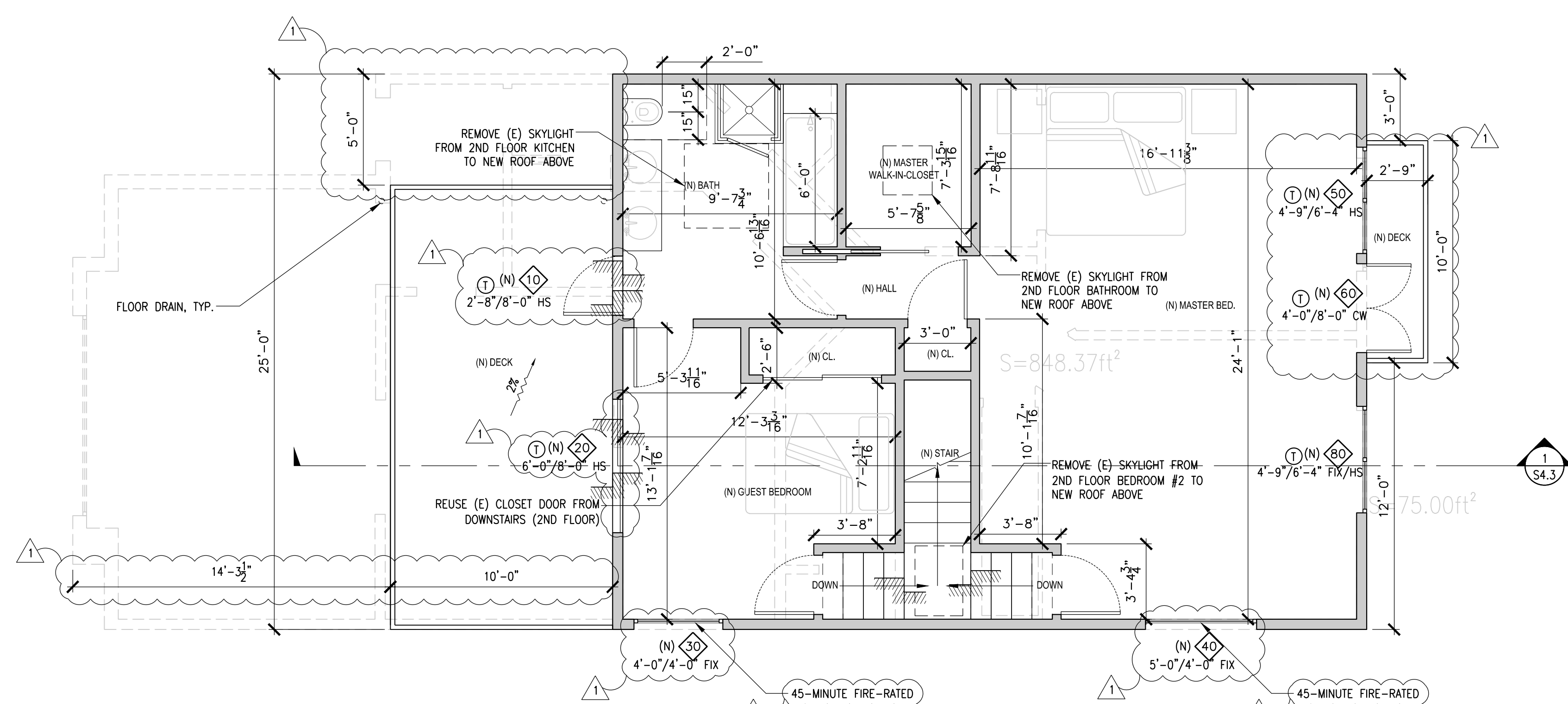
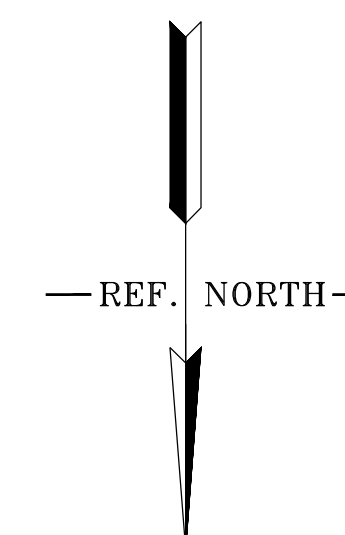
1. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GPF. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.
2. THE EFFECTIVE FLUSH VOLUME OF URINALS SHALL NOT EXCEED 0.5 GPF
3. SHOWERHEADS SHALL HAVE A MAX. FLOW RATE OF NOT MORE THAN 1.8 GPM AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.
4. THE MAX FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GPM AT 60 PSI. THE MIN. FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GPM AT 20 PSI.
5. THE MAX. FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GPM AT 60 PSI.

NOTES OF SHOWER:

1. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NON ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE THE FLOOR PER CRC R307.2.
2. CONTROL VALVES AND SHOWER HEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENT OR OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY PER CPC 408.9.

LEGEND

	NEW WALL
	WALL BELOW
	EXISTING ROOF LINE
	NEW ROOF LINE



1 PROPOSED 3RD FLOOR PLAN
 SCALE: 1/4" = 1'-0"

WINDOW AND EXTERIOR DOOR SCHEDULE

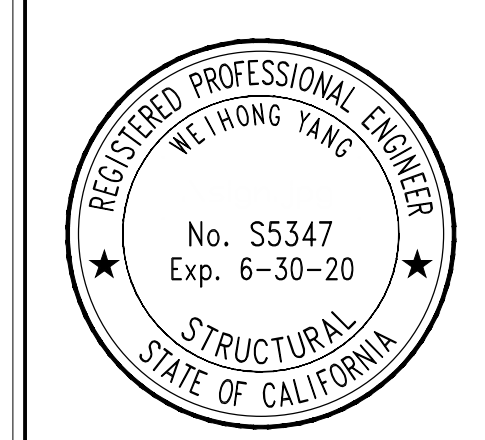
TYPE	LOCATION	MINIMUM ROUGH OPENING (W x H)	TYPE	MATERIAL TYPE
(N) 10	BATHROOM	2'-8" x 8'-0"	HS	WOOD
(N) 20	BEDROOM	6'-0" x 8'-0"	HS	WOOD
(N) 30	BEDROOM	4'-0" x 4'-0"	FIX	ALUMINUM CLAD WOOD
(N) 40	BEDROOM	5'-0" x 4'-0"	FIX	ALUMINUM CLAD WOOD
(N) 50	BEDROOM	4'-9" x 6'-4"	HS	ALUMINUM CLAD WOOD
(N) 60	BEDROOM	4'-0" x 8'-0"	CW	WOOD
(N) 70	LIVING ROOM	9'-0" x 6'-0"	CW	ALUMINUM CLAD WOOD
(N) 80	BEDROOM	4'-9" x 6'-4"	FIX/HS	ALUMINUM CLAD WOOD

- NOTE: 1. "HS" INDICATE HORIZONTAL SLIDER
 2. "VH" INDICATE DOUBLE AND SINGLE-HUNG WINDOW
 3. "T" INDICATE TEMPERED GLASS
 4. "E" INDICATE EGRESS REQUIRED
 5. "CW" INDICATE CASEMENT DOOR & WINDOW
 6. "FIX" INDICATES HORIZONTAL SLIDER

NOTES:

1. SIMPLE WOOD WINDOW & DOOR SURROUNDS FOR WINDOWS ON WOOD SIDING FOR CONSISTENCY WITH STYLE AND SURROUNDING HOMES
2. PROPERTY LINE WINDOWS ARE NOT ALLOWED TO BE OPERABLE AND ARE REQUIRED TO BE 45-MINUTE FIRE-RATED ASSEMBLIES.

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**RESIDENCE ADDITION
 & REMODEL**
 2643 31ST AVE. SAN FRANCISCO,
 CA 94116

DATE: 09/04/18 ISSUE: PERMIT SET
 01/15/20 REVISION

REVISION:

SHEET TITLE:
**PROPOSED 3RD
 FLOOR PLAN &
 ROOF PLAN &
 WINDOW &
 EXTERIOR DOOR
 SCHEDULE**

JOB NO.: 1821
 SCALE: AS NOTED
 SHEET:

A2.3

NOTE: THIS SHEET SHOULD BE 24"x36"

NOTES OF ENVIRONMENTAL QUALITY:

	CHECKLIST #
1. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION	(4.504.1)
2. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS PER TABLE 4.504.1 & 4.504.2	(4.504.2.1)
3. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS PER TABLE 4.504.3	(4.504.2.2)
4. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(A)(2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTION 94522(E)(1) AND (F)(1) OF THE CCR, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT SHALL ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.	(4.504.2.3)
5. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.	(4.504.2.4)
6. CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF 1 OF THE FOLLOWING: 1) CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM 2) CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350) 3) NSF/ANSI 140 AT THE GOLD LEVEL 4) SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE™GOLD	(4.504.3)
7. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING: 1) PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE 2) PRODUCTS CERTIFIED UNDER UL GREENGUARD GOLD (FORMERLY THE GREENGUARD CHILDREN & SCHOOLS PROGRAM) 3) CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFC) FLOORSCORE PROGRAM 4) MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350)	(4.504.4)
8. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD (MDF) USED ON INTERIOR OR EXTERIOR OF THE BUILDING SHALL COMPLY WITH FORMALDEHYDE EMISSION LIMITS PER TABLE 4.504.5. ON SHEET A2.4	(4.504.5)
9. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL NOT EXCEED 19% BEFORE ENCLOSURE. IMITATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE.	(4.505.3)
10. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING: 1) FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING. 2) UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL. A) HUMIDITY CONTROLS SHALL BE CAPABLE OF MANUAL OR AUTOMATIC ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF LESS THAN 50% TO A MAXIMUM OF 80%. B) A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL OR BUILT-IN.	(4.506.1)
11. HEATING AND AIR CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED, AND EQUIPMENT SELECTED USING THE FOLLOWING METHODS: 1) THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J - 2011 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. 2) DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D - 2014 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. 3) SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S - 2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. EXCEPTION: USE OF ALTERNATE DESIGN TEMPERATURES NECESSARY TO ENSURE THE SYSTEMS FUNCTIONS ARE ACCEPTABLE.	(4.507.2)

NOTES OF WALL COVERING:

- HORIZONTAL LAP SIDING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WHERE THERE ARE NO RECOMMENDATIONS THE SIDING SHALL BE LAPPED NOT LESS THAN 1 INCH (25 MM), OR 1/2 INCH (12.7 MM) IF RABBETED, AND SHALL HAVE THE ENDS CAULKED, COVERED WITH A BATTEN OR SEALED AND INSTALLED OVER A STRIP OF FLASHING.
- WOOD SHAKES OR SHINGLES SHALL BE APPLIED EITHER SINGLE COURSE OR DOUBLE COURSE OVER NOMINAL 1/2" WOOD-BASED SHEATHING OR TO FURRING STRIPS OVER 1/2" NOMINAL NONWOOD SHEATHING. A WATER-RESISTIVE BARRIER SHALL BE PROVIDED OVER ALL SHEATHING, WITH HORIZONTAL OVERLAPS IN THE MEMBRANE OF NOT LESS THAN 2" AND VERTICAL OVERLAPS OF NOT LESS THAN 6". WHERE HORIZONTAL FURRING STRIPS ARE USED, THEY SHALL BE 1" BY 3" OR 1" BY 4" AND SHALL BE FASTENED TO THE STUDS WITH MINIMUM 7D OR 8D BOX NAILS AND SHALL BE SPACED A DISTANCE ON CENTER EQUAL TO THE ACTUAL WEATHER EXPOSURE OF THE SHAKES OR SHINGLES, NOT TO EXCEED THE MAXIMUM EXPOSURE SPECIFIED IN TABLE R703.6.1. WHEN INSTALLING SHAKES OR SHINGLES OVER A NONPERMEABLE WATER-RESISTIVE BARRIER, FURRING STRIPS SHALL BE PLACED FIRST VERTICALLY OVER THE BARRIER AND IN ADDITION, HORIZONTAL FURRING STRIPS SHALL BE FASTENED TO THE VERTICAL FURRING STRIPS PRIOR TO ATTACHING THE SHAKES OR SHINGLES TO THE HORIZONTAL FURRING STRIPS. THE SPACING BETWEEN ADJACENT SHINGLES TO ALLOW FOR EXPANSION SHALL BE 1/8" TO 1/4" APART, AND BETWEEN ADJACENT SHAKES SHALL BE 1/8" TO 1/2" APART. THE OFFSET SPACING BETWEEN JOINTS IN ADJACENT COURSES SHALL BE NOT LESS THAN 1/2".
- 2 LAYERS OF GRADE "D" PAPER UNDER CEMENT PLASTER COVERING WHEN APPLIED OVER WOOD SHEATHING.
- PROVIDE WEEP SCREED AT THE BOTTOM OF STUCCO WALLS AT A LOCATION A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS.
- THE STUCCO IS TO BE APPLIED WITH A 3-COAT APPLICATION WHEN APPLIED OVER METAL LATH OR WIRE LATH

**TABLE 4.504.5
FORMALDEHYDE LIMITS¹**
(MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION)

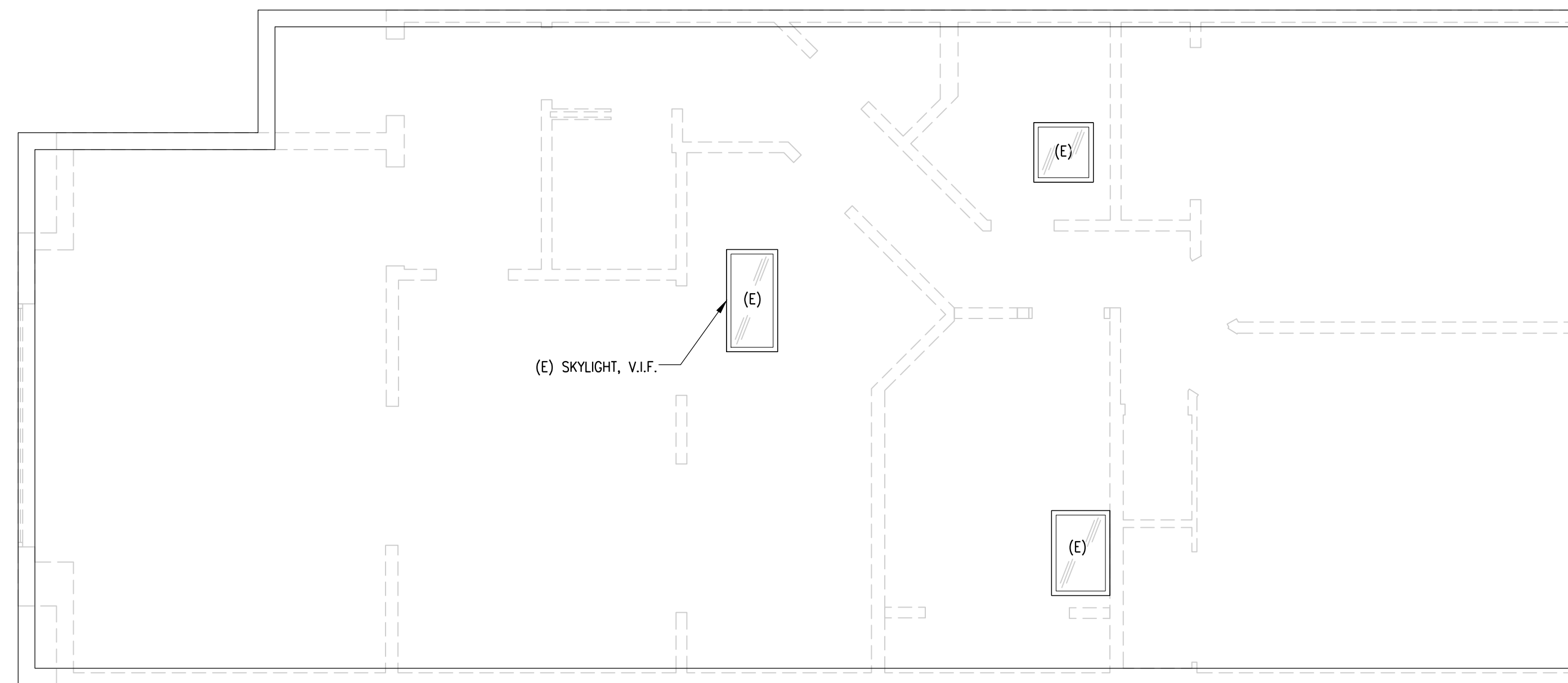
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLEBOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD ²	0.13

- VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E1333. FOR ADDITIONAL INFORMATION, SEE CALIFORNIA CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.
- THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 3/16 INCH (8 mm).

**TABLE R703.6.1
MAXIMUM WEATHER EXPOSURE FOR WOOD SHAKES AND SHINGLES ON EXTERIOR WALLS^{a,b,c}**
(DIMENSIONS ARE IN INCHES)

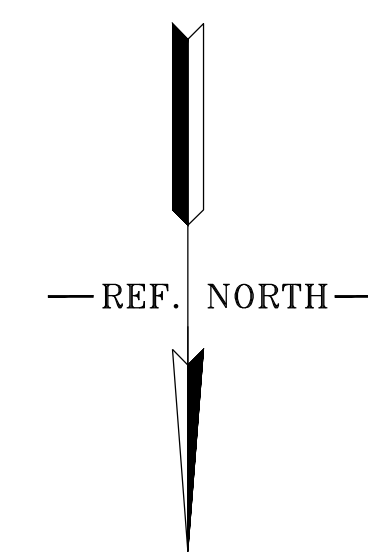
LENGH	EXPOSURE FOR SINGLE COURSE	EXPOSURE FOR DOUBLE COURSE
SHINGLES ^d		
16	7	12 ^b
18	8	14 ^c
24	10 1/2	16 ^d
SHAKES ^d		
18	8	14
24	10 1/2	18

- DIMENSIONS GIVEN ARE FOR NO. 1 GRADE.
- A MAXIMUM 9-INCH EXPOSURE IS PERMITTED FOR NO.2 GRADE.
- A MAXIMUM 10-INCH EXPOSURE IS PERMITTED FOR NO.2 GRADE.
- A MAXIMUM 14-INCH EXPOSURE IS PERMITTED FOR NO.2 GRADE.



LEGEND

- 2ND FLOOR WALL
- 1ST FLOOR WALL
- EXISTING ROOF LINE



1 EXISTING ROOF PLAN

0 5' 10'

SCALE: 1/4" = 1'-0"

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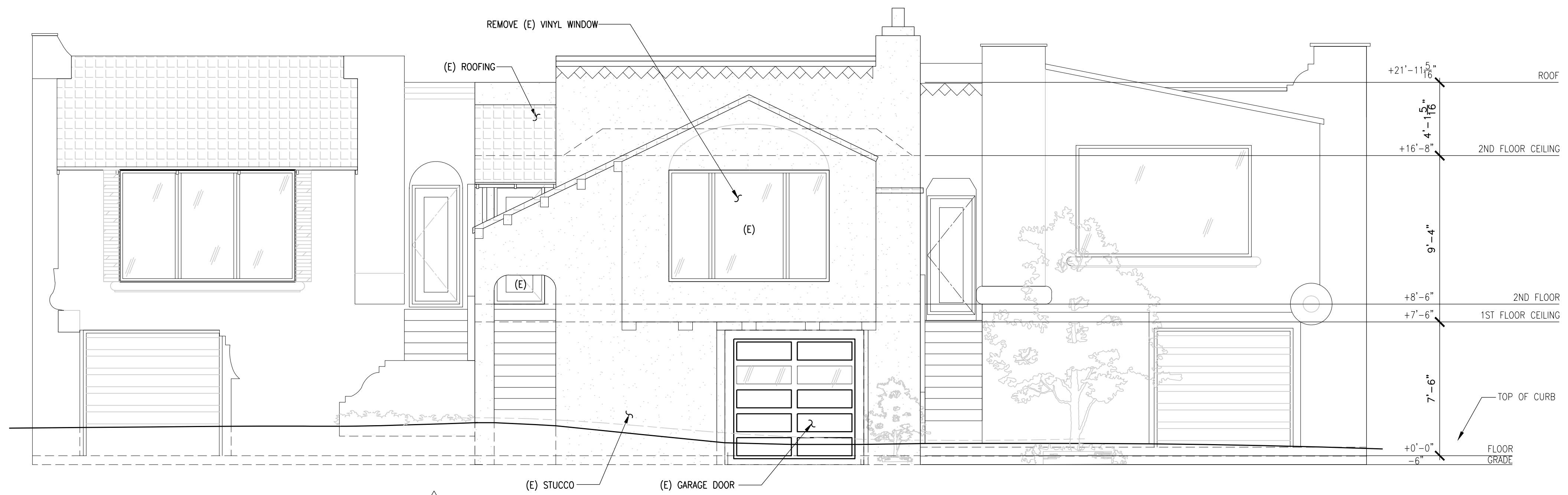
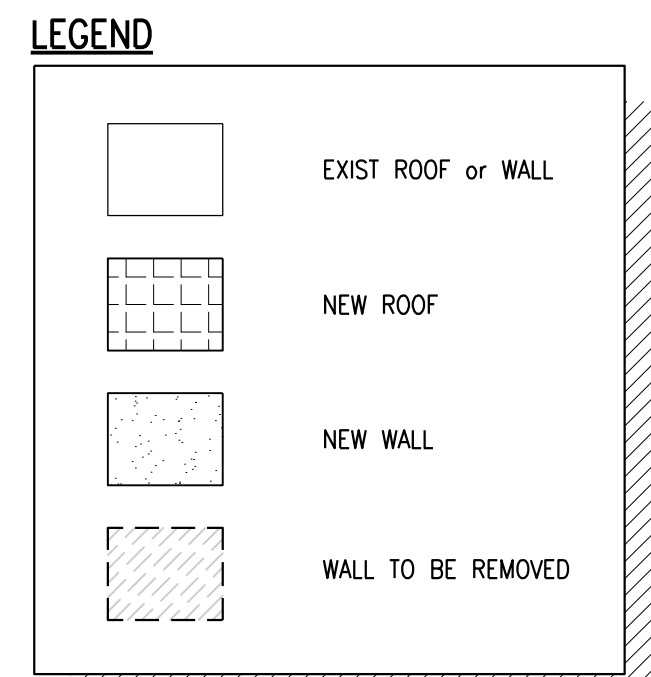
REVISION:

SHEET TITLE:
EXISTING ROOF PLAN

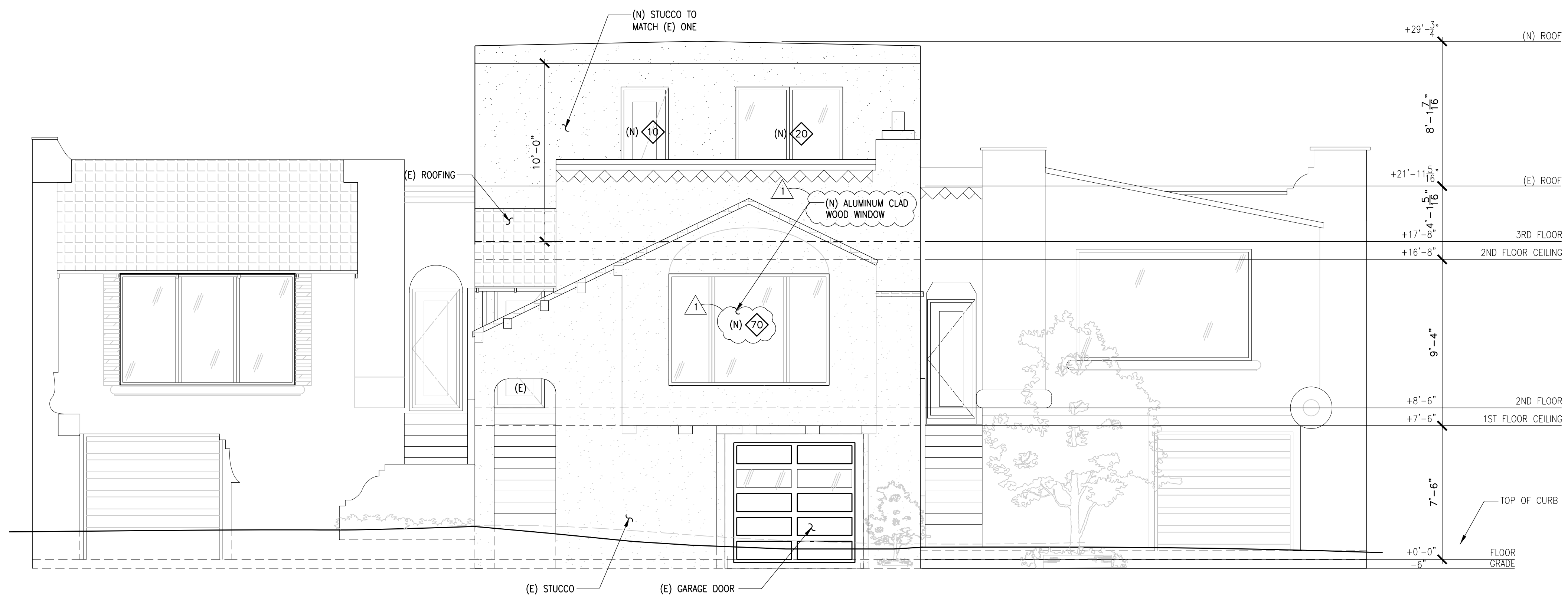
JOB NO.: 1821
SCALE: AS NOTED

SHEET: **A2.4**

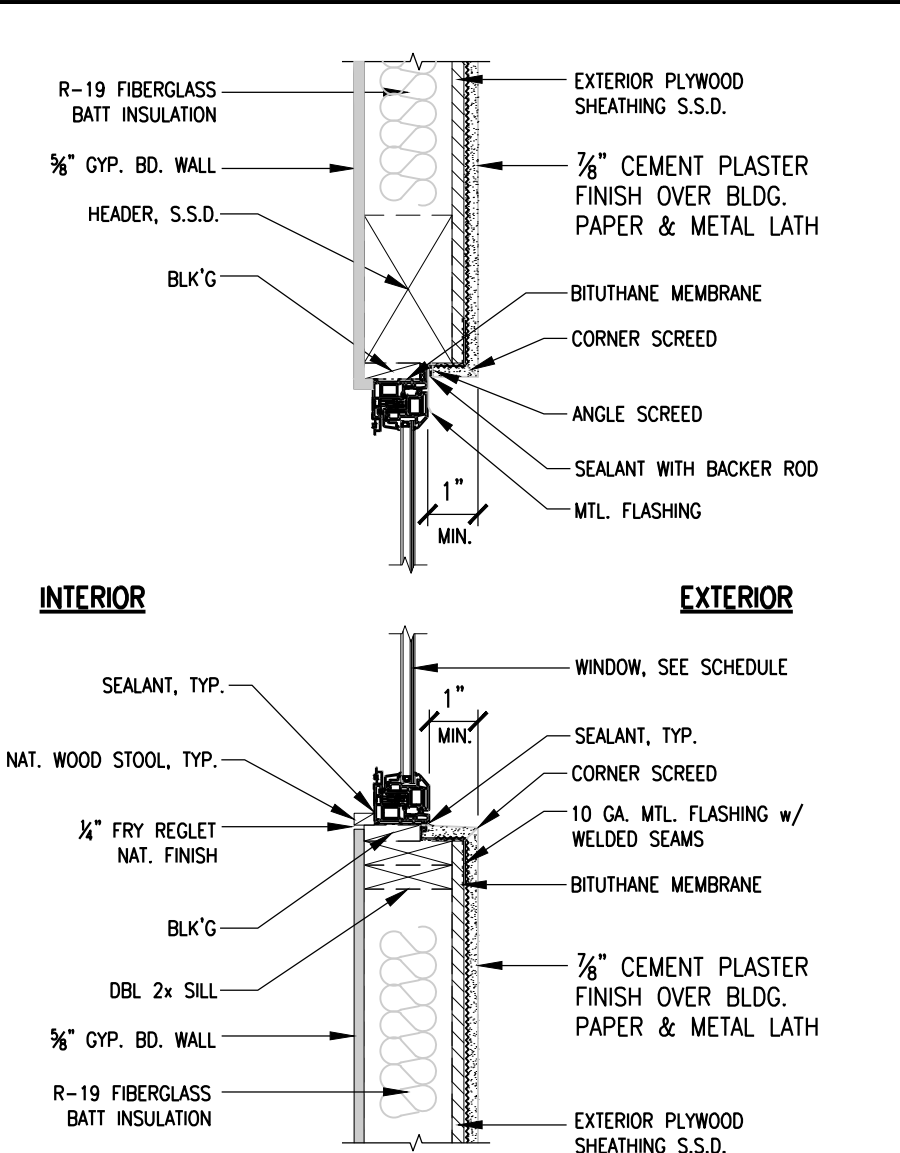
NOTE: THIS SHEET SHOULD BE 24"x36"



2 EXISTING EAST ELEVATION
 SCALE: 1/4" = 1'-0"



1 PROPOSED EAST ELEVATION
 SCALE: 1/4" = 1'-0"



3 DETAIL: OPENABLE WINDOW CASEMENT
 SCALE: 1" = 1'-0"

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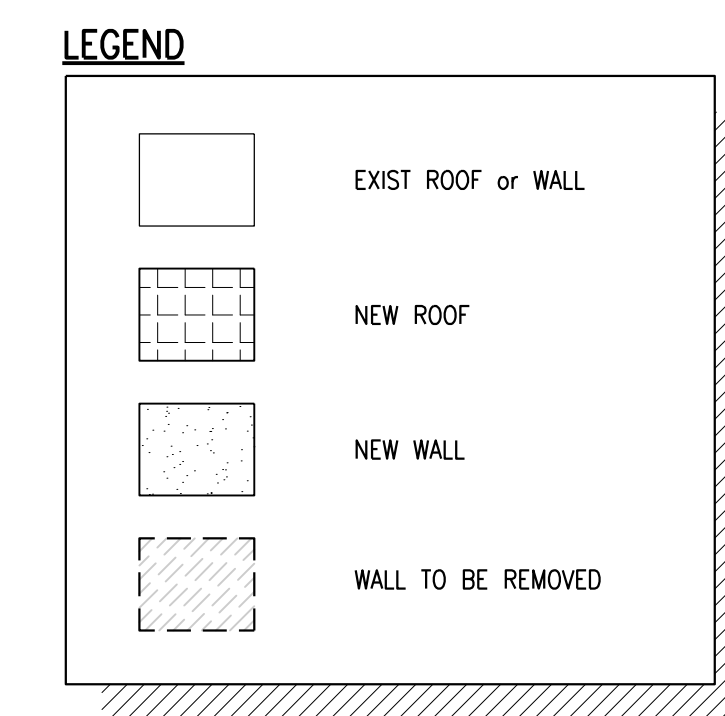
SHEET TITLE:
EXISTING & PROPOSED EAST ELEVATIONS

JOB NO.: 1821
 SCALE: AS NOTED
 SHEET:

A3.1
 NOTE: THIS SHEET SHOULD BE 24"x36"

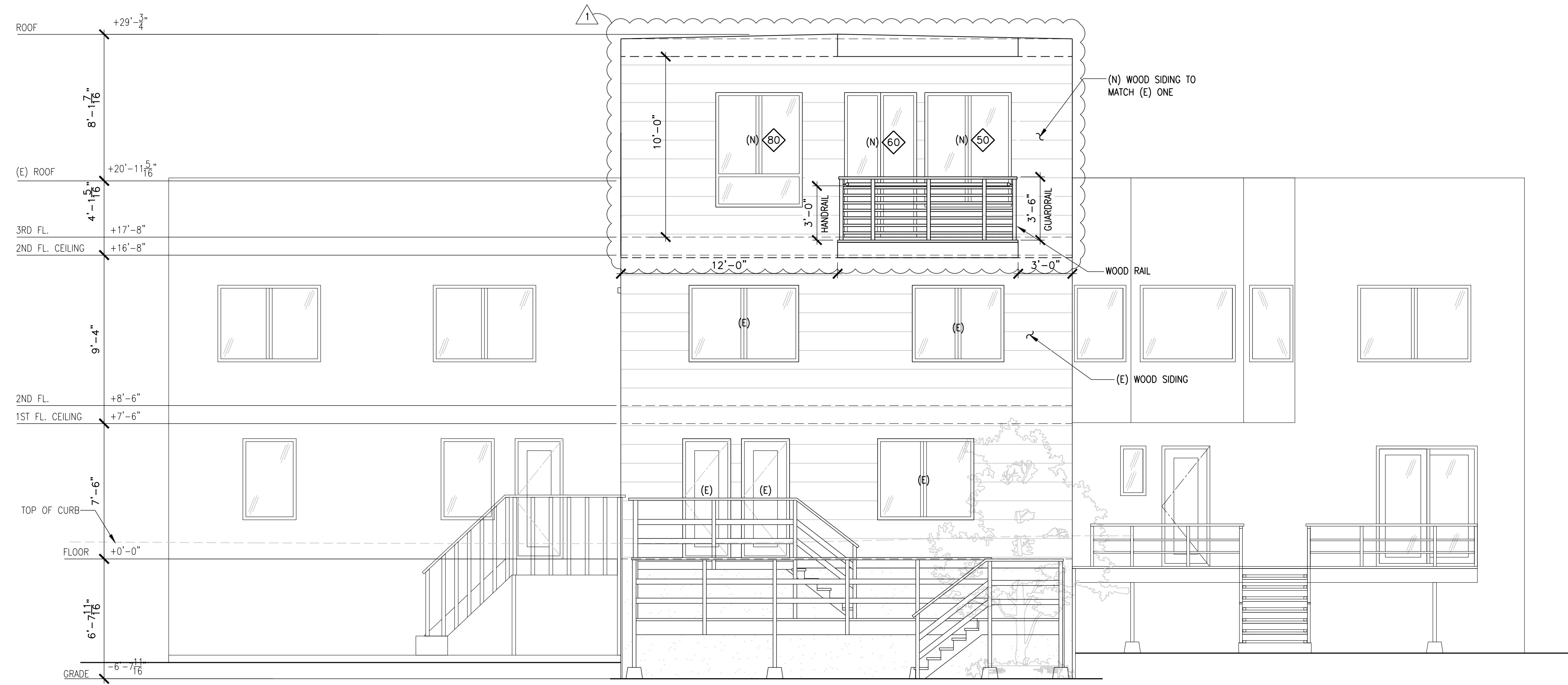


2 EXISTING WEST ELEVATION
 SCALE: 1/4" = 1'-0"



- NOTES OF GUARDRAIL:**
- GUARDRAIL SHALL NOT BE LESS THAN 42" IN HEIGHT PER CRC R312.1.2.
 - OPENINGS IN GUARDRAIL SHALL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH PER CRC R312.1.3.
 - PROVIDE STRUCTURAL CALCULATIONS FOR THE BOTTOM CONNECTION OF THE GUARDRAIL TO SHOW THE CONNECTION IS CAPABLE OF RESISTING 200 LBS LOAD APPLIED ON TOP OF THE RAIL IN ANY DIRECTION.

- NOTES OF HANDRAIL:**
- HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, SHALL NOT BE LESS THAN 34" OR MORE THAN 38" PER CRC R311.7.8.1.
 - HANDGRIPS WITH A CIRCULAR CROSS-SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4", AND NOT GREATER THAN 6 1/4" WITH A MAXIMUM CROSS SECTION OF DIMENSION 2 1/4". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01" PER CRC R311.7.8.3.
 - OPENINGS IN HANDRAIL SHALL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH PER CRC R312.1.3.



1 PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"

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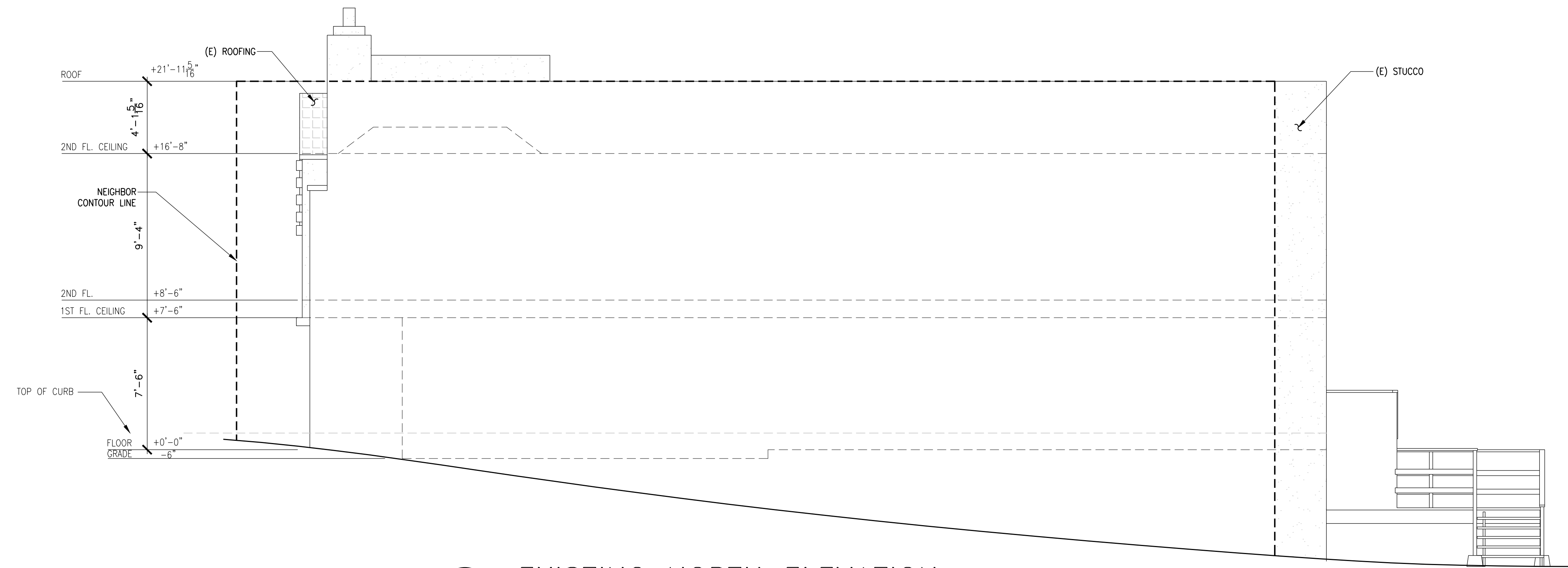
REVISION:

SHEET TITLE:
**EXISTING &
 PROPOSED WEST
 ELEVATIONS**

JOB NO.: 1821
 SCALE: AS NOTED
 SHEET:

A3.2

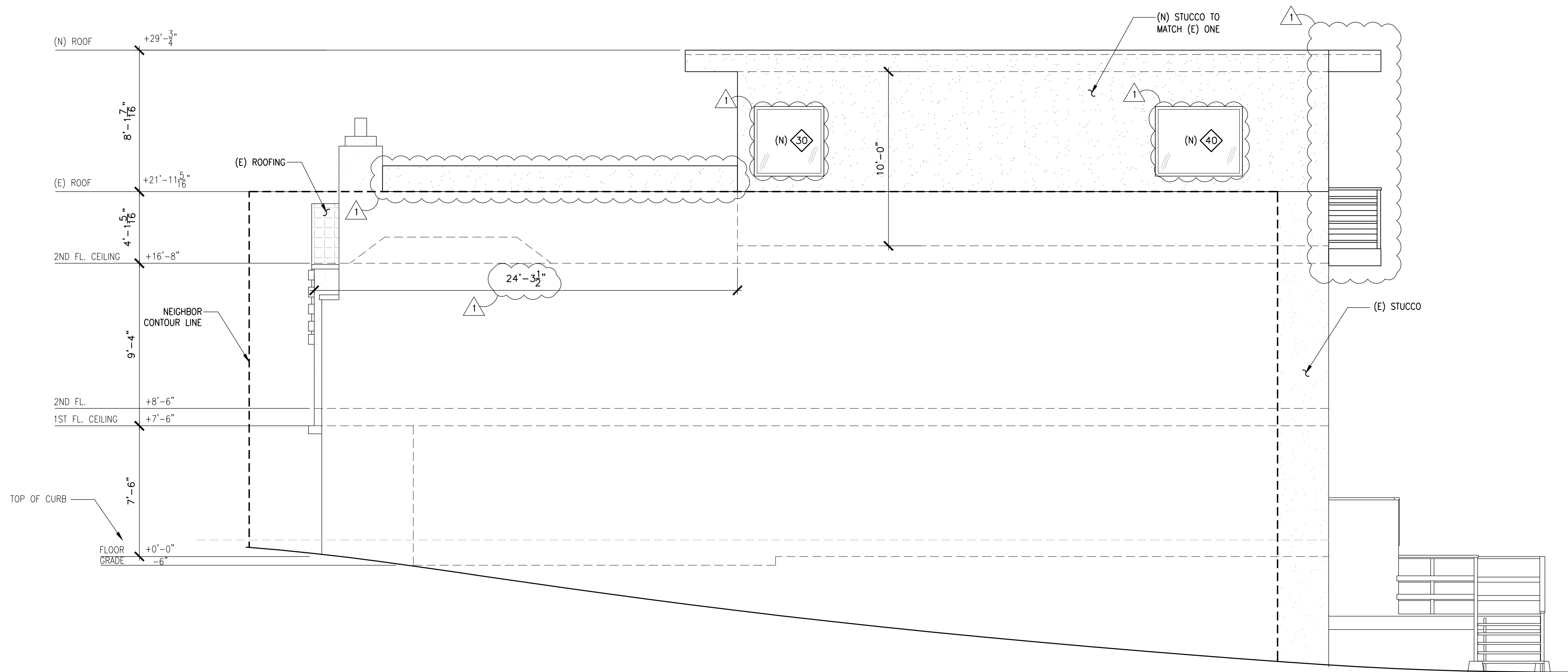
NOTE: THIS SHEET SHOULD BE 24"x36"



2 EXISTING NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

LEGEND

- EXIST ROOF or WALL
- NEW ROOF
- NEW WALL
- WALL TO BE REMOVED



1 PROPOSED NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

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SHEET TITLE:
**EXISTING &
 PROPOSED NORTH
 ELEVATIONS**

JOB NO.: 1821
 SCALE: AS NOTED
 SHEET:

A3.3

NOTE: THIS SHEET SHOULD BE 24"x36"

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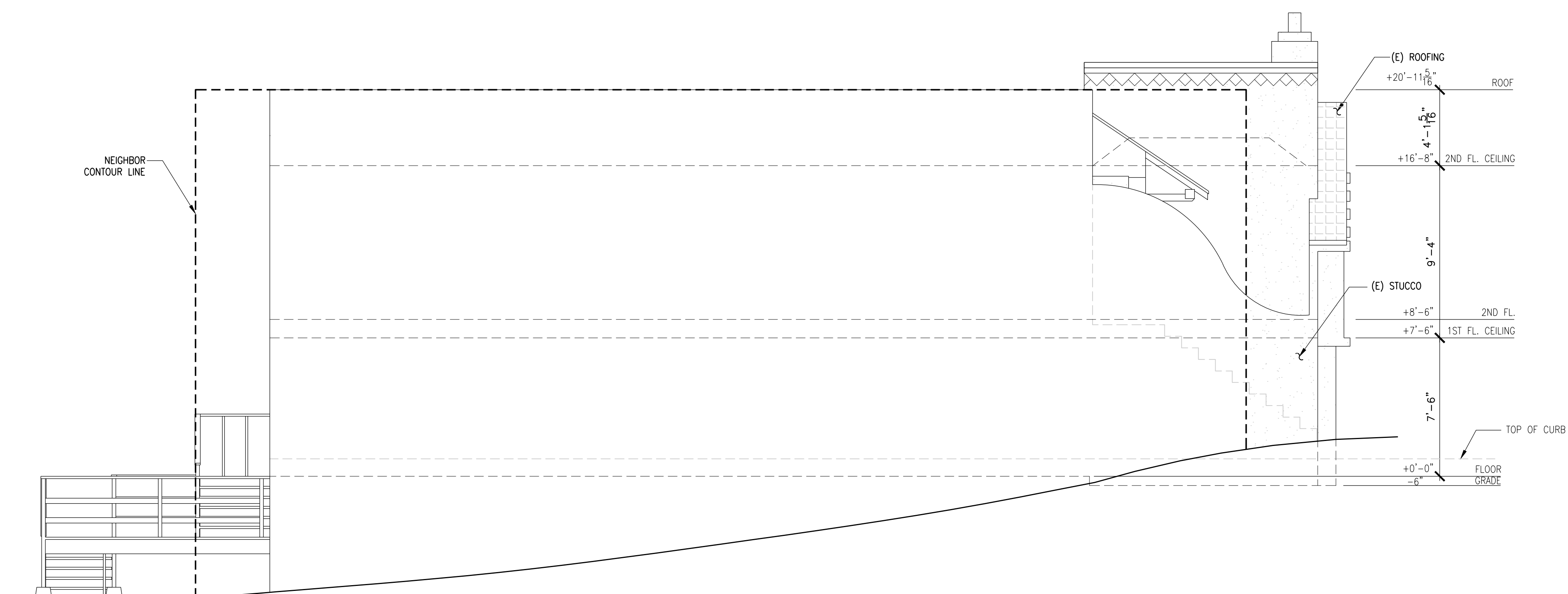
REVISION:

SHEET TITLE:
**EXISTING &
 PROPOSED SOUTH
 ELEVATIONS**

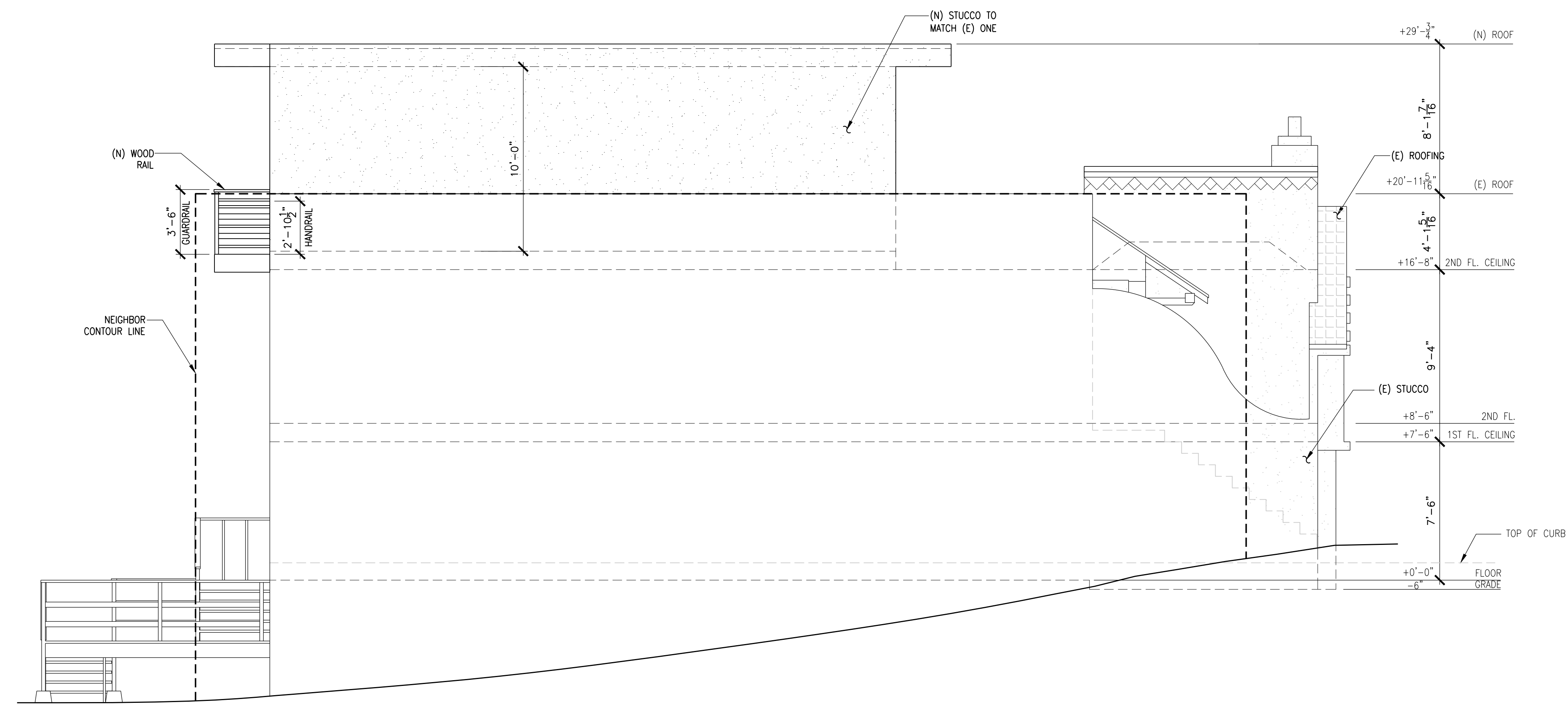
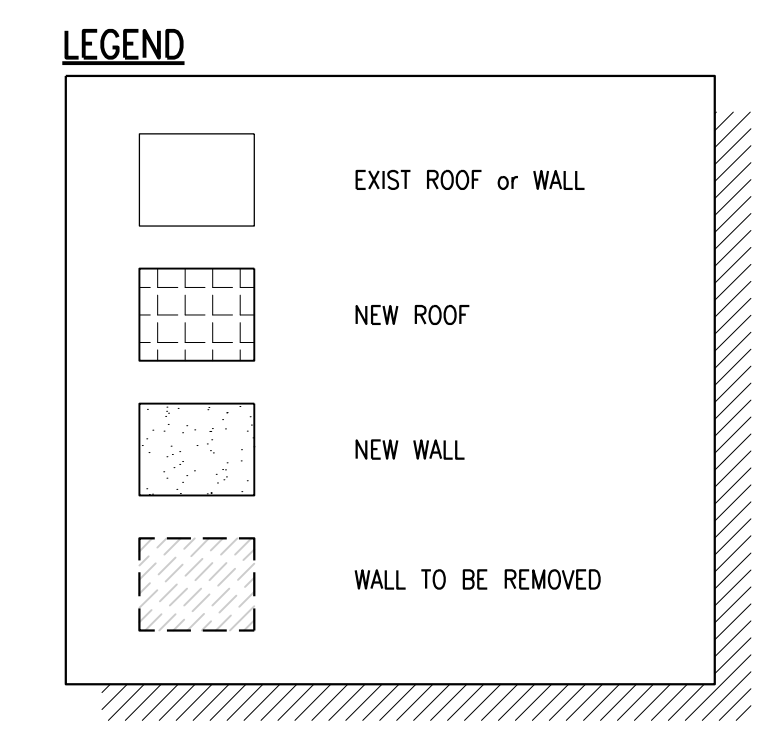
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A3.4

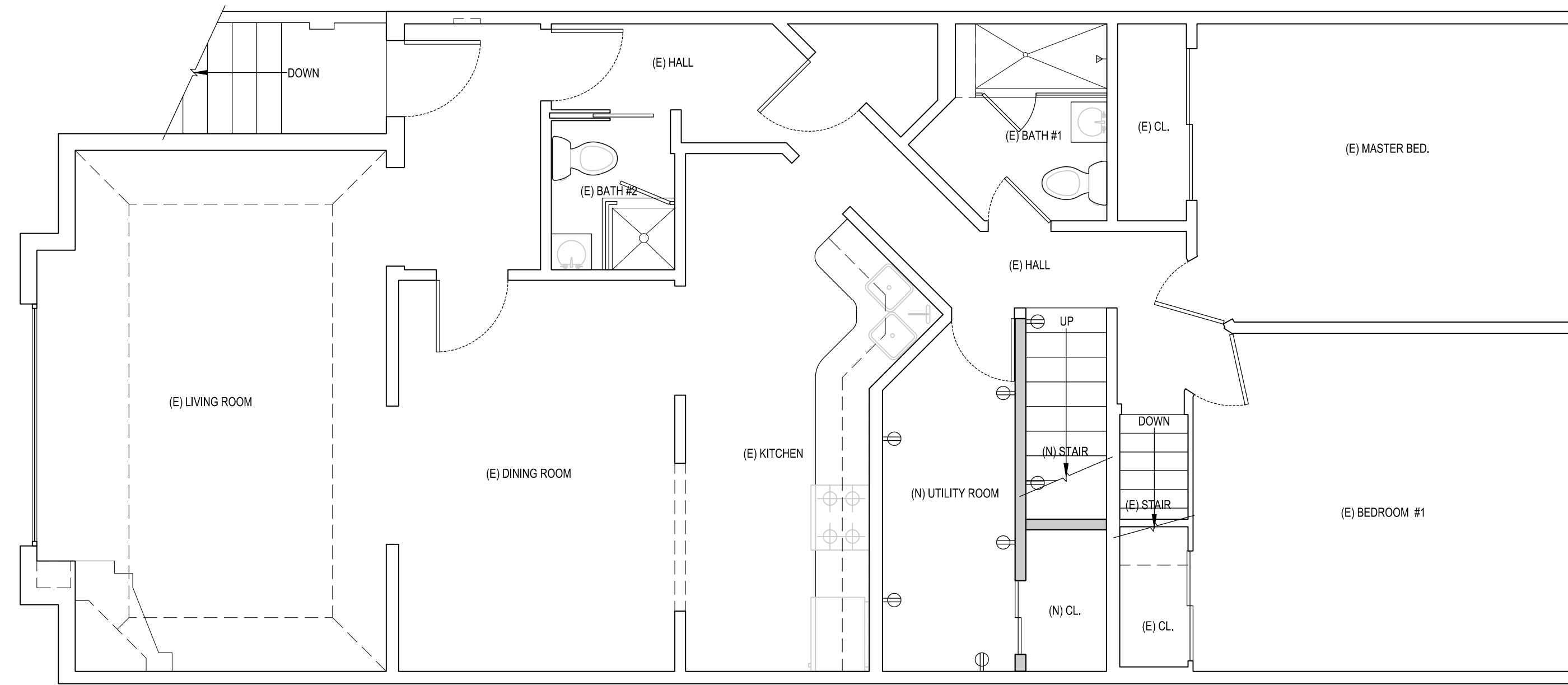
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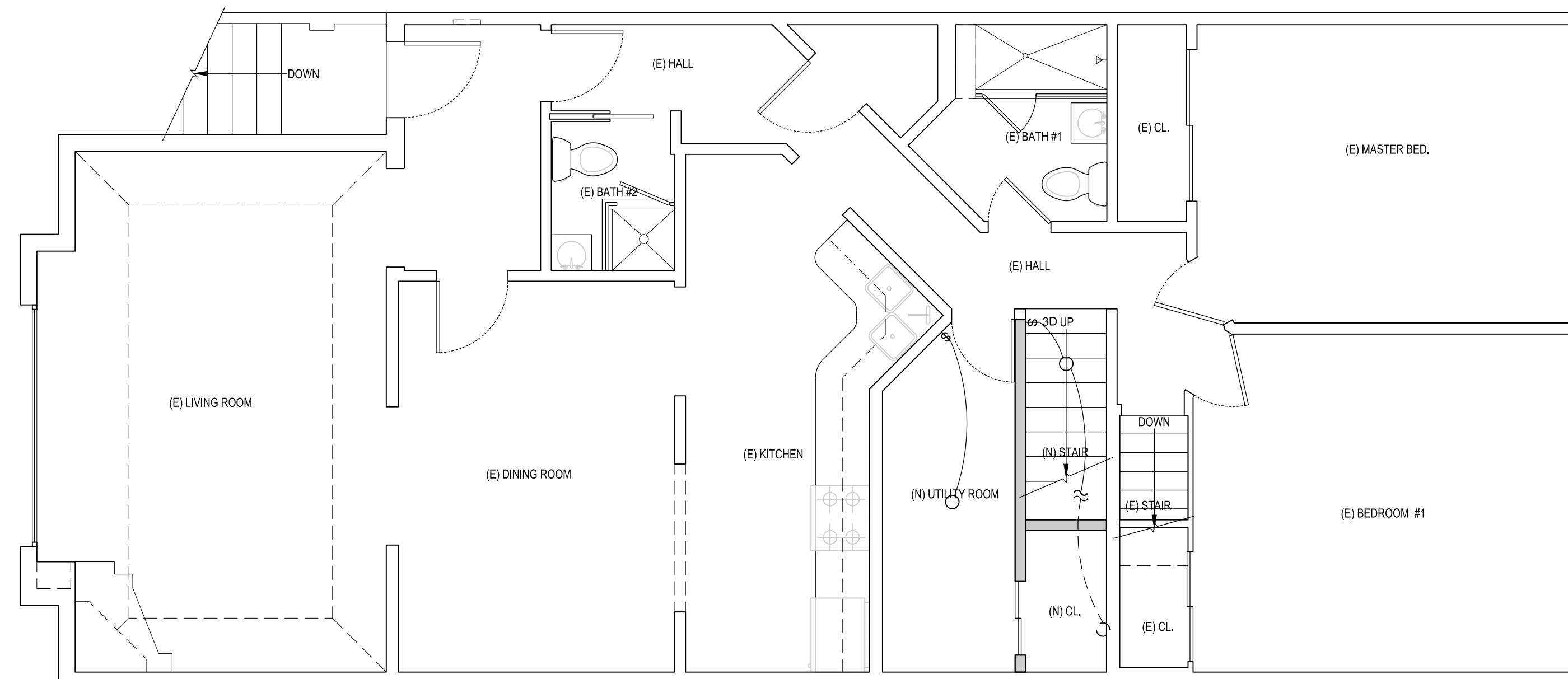
2 EXISTING SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



1 PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



2 2ND FLOOR POWER PLAN
 SCALE: 1/4" = 1'-0"



1 2ND FLOOR ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND

GRAPHIC	TYPE	GRAPHIC	TYPE
\$D	SWITCH, D DENOTES DIMMER	Ⓜ	120 V ARCH FAULT INTERRUPT RECEPTACLE (AFCI)
\$3D	3-WAY SWITCH, D DENOTES DIMMER	Ⓜ GFCI	120 V GROUND FAULT INTERRUPT RECEPTACLE
\$OS	SWITCH, OC DENOTES OCCUPANCY SENSOR	Ⓞ	4" RECESSED LED LIGHT W/ FROSTED GLASS TRIM
○	4" RECESSED LOW VOLTAGE LIGHT	Ⓞ SD	SMOKE DETECTOR
Ⓜ WLP	WALL MOUNTED LIGHT WET LOCATION	Ⓞ SD	SMOKE DETECTOR AND CARBON MONOXIDE SENSOR HADWIRE & INTERCONNECT
Ⓜ WLP GFCI	120 V GROUND FAULT INTERRUPT RECEPTACLE WET LOCATION WITH WEATHER-PROOF COVER	Ⓜ	RECESSED EXHAUST FAN

NOTES OF INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS:

	CHECKLIST #
1. HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.	(4.702.1)
2. SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.	(4.702.2)
3. VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.	(4.703.1)

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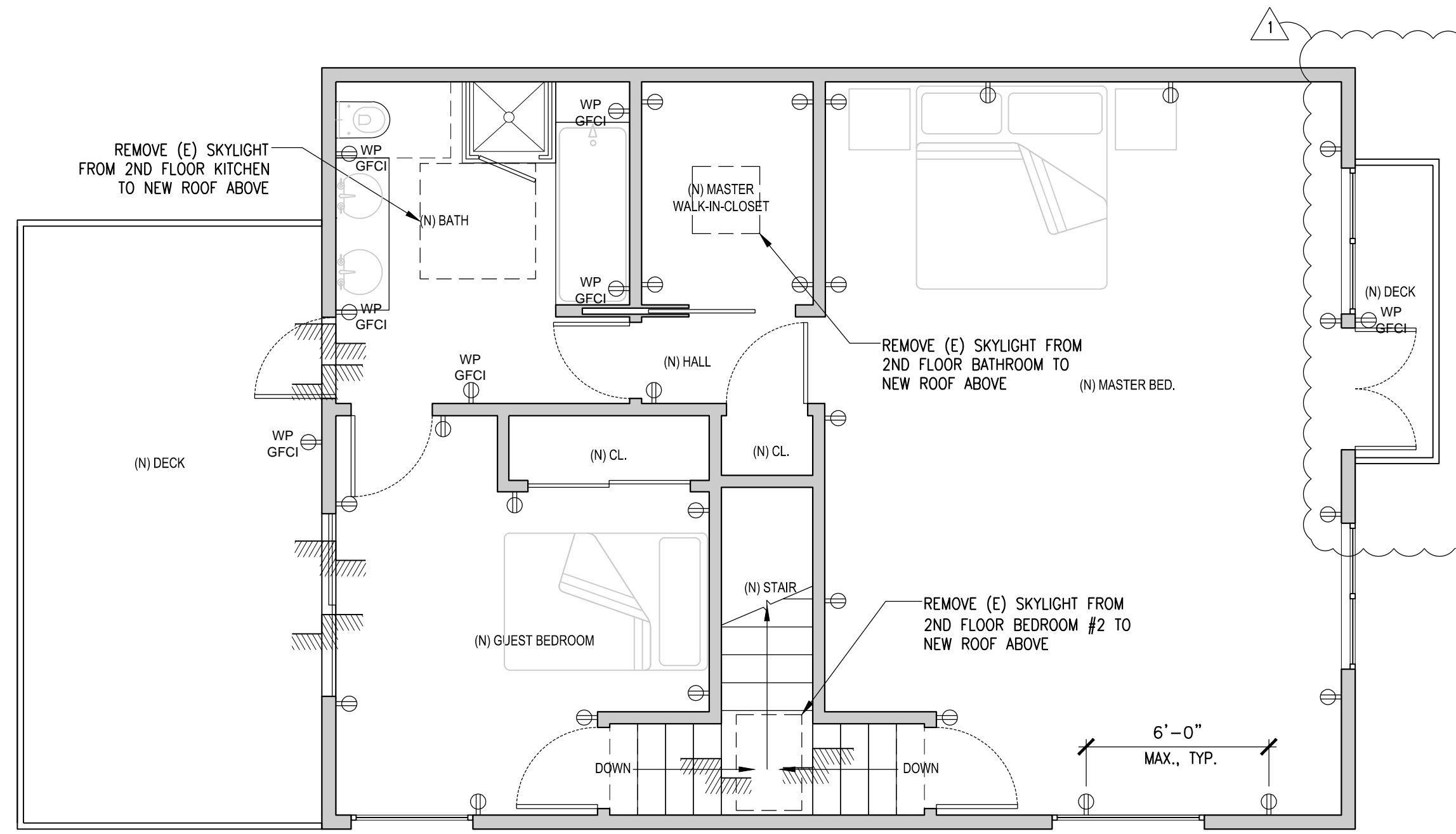
REVISION:

SHEET TITLE:
**2ND FLOOR
 ELECTRICAL &
 POWER PLAN**

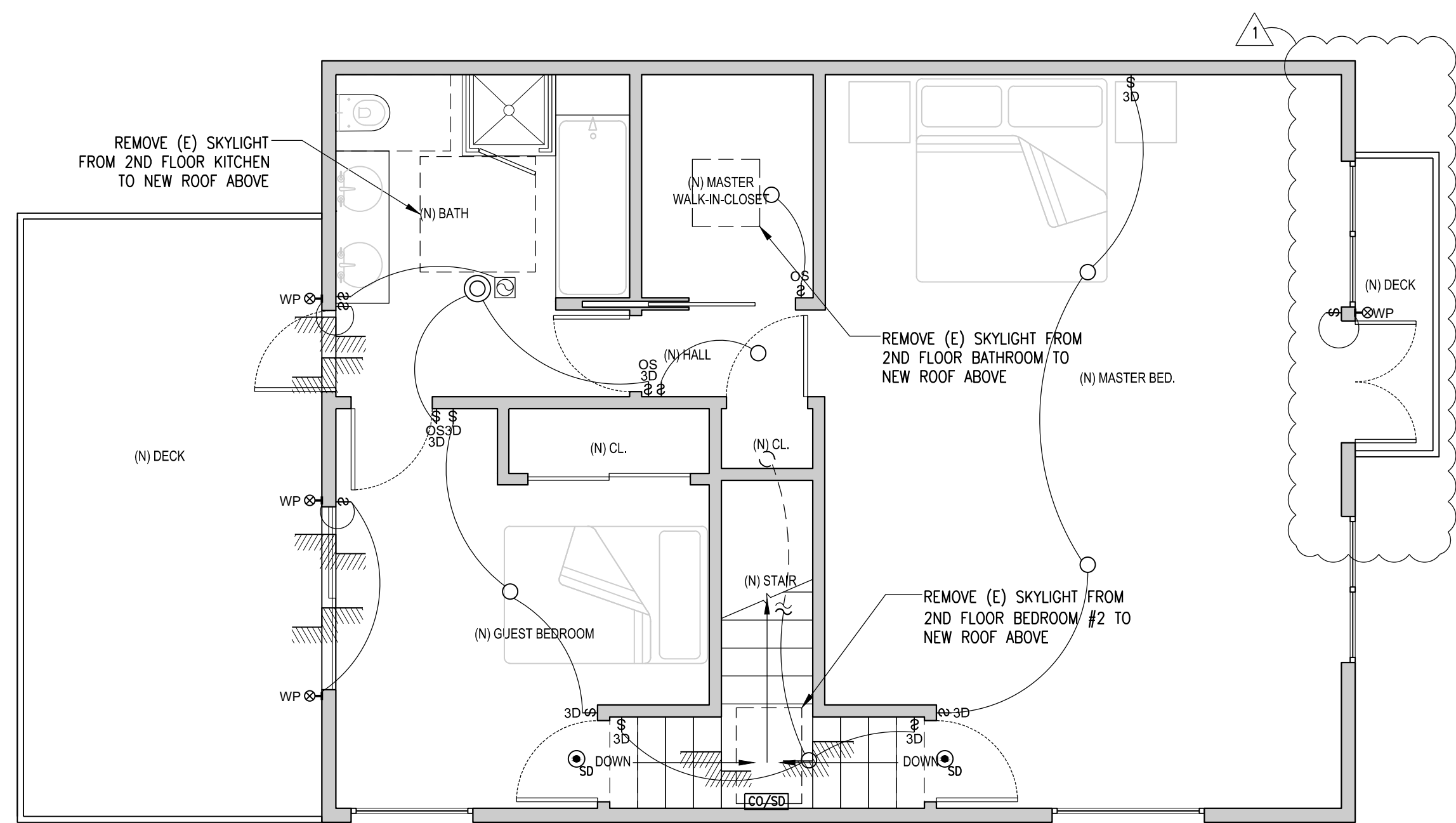
JOB No.: 1821
 SCALE: AS NOTED
 SHEET:

A4.1

NOTE: THIS SHEET SHOULD BE 24"x36"



2 3RD FLOOR POWER PLAN
 SCALE: 1/4" = 1'-0"



1 3RD FLOOR ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND

GRAPHIC	TYPE	GRAPHIC	TYPE
\$D	SWITCH, D DENOTES DIMMER	⊕	120 V ARCH FAULT INTERRUPT RECEPTACLE (AFCI)
\$3D	3-WAY SWITCH, D DENOTES DIMMER	⊕ GFCI	120 V GROUND FAULT INTERRUPT RECEPTACLE
\$OS	SWITCH, OC DENOTES OCCUPANCY SENSOR	⊙	4" RECESSED LED LIGHT W/ FROSTED GLASS TRIM
○	4" RECESSED LOW VOLTAGE LIGHT	⊙ _{SD}	SMOKE DETECTOR
⊕ WP	WALL MOUNTED LIGHT WET LOCATION	⊕ CO/SD	SMOKE DETECTOR AND CARBON MONOXIDE SENSOR HADWIRE & INTERCONNECT
⊕ WP GFCI	120 V GROUND FAULT INTERRUPT RECEPTACLE WET LOCATION WITH WEATHER-PROOF COVER	⊕	RECESSED EXHAUST FAN

NOTE:

- ALL NEW SMOKE ALARMS ARE 110V WITH BATTERY BACKUP, AND ARE AUDIBLE IN ALL SLEEPING AREAS.
- ALL NEW CARBON MONOXIDE ARE 110V WITH BATTERY BACKUP, AND ARE AUDIBLE IN ALL SLEEPING AREAS.
- RESTROOM LIGHTS SHALL BE ON OCCUPANCY SENSORS.
- THERE SHALL BE A GFCI PROTECTED RECEPTACLE ADJACENT TO EACH BATHROOM LAVATORY.

NOTES OF EXHAUST FAN:

- FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
- UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 - A. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 5; 50 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.
 - B. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E., BUILT-IN).

ELECTRICAL NOTES:

- ALL ELECTRICAL SHALL BE INSTALLED PER ELECTRICAL CODE AND CITY ORDINANCES CURRENTLY IN USE.
- VERIFY WITH SERVING UTILITY COMPANIES THE LOCATION OF ALL UTILITY METERS, TRANSFORMERS, PULL-STATIONS, BOXES, ETC. FOR LOCATIONS SHOWN.
- MAIN GROUND WIRE SHALL CONNECT FOUNDATION REBAR TO MAIN WATER SERVICE. GEC CONTINUOUS, NO SPLICES, PER NEC 250-91A.
- ALL INTERIOR METALLIC WATER PIPING WHICH MAY BECOME ENERGIZED SHALL BE BONDED TOGETHER AND MADE ELECTRICALLY CONTINUOUS.
- MAIN PANEL MUST BE LARGE ENOUGH TO CARRY ADDITIONAL LOAD.
- PROVIDE AT LEAST TWO 20 AMPERE SMALL APPLIANCE CIRCUITS IN THE KITCHEN, DINING AND FAMILY ROOM AREAS.
- PROVIDE A SEPARATE 20 AMPERE LAUNDRY CIRCUIT.
- PROVIDE GROUND FAULT CIRCUIT INTERRUPTER PROTECTION (GFI) ON ALL OUTDOOR, BATHROOM AND GARAGE RECEPTACLES.
- RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET HORIZONTALLY FROM AN OPENING AND MAX. DISTANCE BETWEEN RECEPTACLES TO BE 12'-0". INCLUDING SLIDING PANELS.
- IN KITCHEN AND DINING AREAS A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH COUNTER SPACE WIDER THAN 12".
- PROVIDE DUPLEX OUTLETS FOR BROILER OF 220 V, OVEN OF 220 V, DRYER OF 220 V, COMPACTOR AND REFRIGERATOR.
- CLOTHES DRYER LOADS SHALL BE DETERMINED ON A LOAD OF 5000 WATTS OR NAMEPLATE RATING, WHICHEVER IS LARGER.
- FEEDER OVER CURRENT DEVICE SHALL BE RATED NOT LESS THAN 125% OF CONTINUOUS LOAD; CONDUCTORS MUST BE SIZED ON THE SAME BASIS TO ASSURE EFFECTIVE PROTECTION.
- RESIDENCE TO HAVE LIMITED USE OF FLEXIBLE CONDUIT FOR GROUNDING.
- AT LEAST ONE RECEPTACLE OUTLET IN ADDITION TO ANY PROVIDED FOR LAUNDRY EQUIPMENT SHALL BE INSTALLED IN EACH GARAGE, AND ALSO OUTDOORS.
- ALL 125-VOLT, 15-AND 20-AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTED RECEPTACLES SHALL BE INSTALLED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS.

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**RESIDENCE ADDITION
 & REMODEL**
 2643 31ST AVE. SAN FRANCISCO,
 CA 94116

DATE: 09/04/18 ISSUE: PERMIT SET
 01/15/20 REVISION

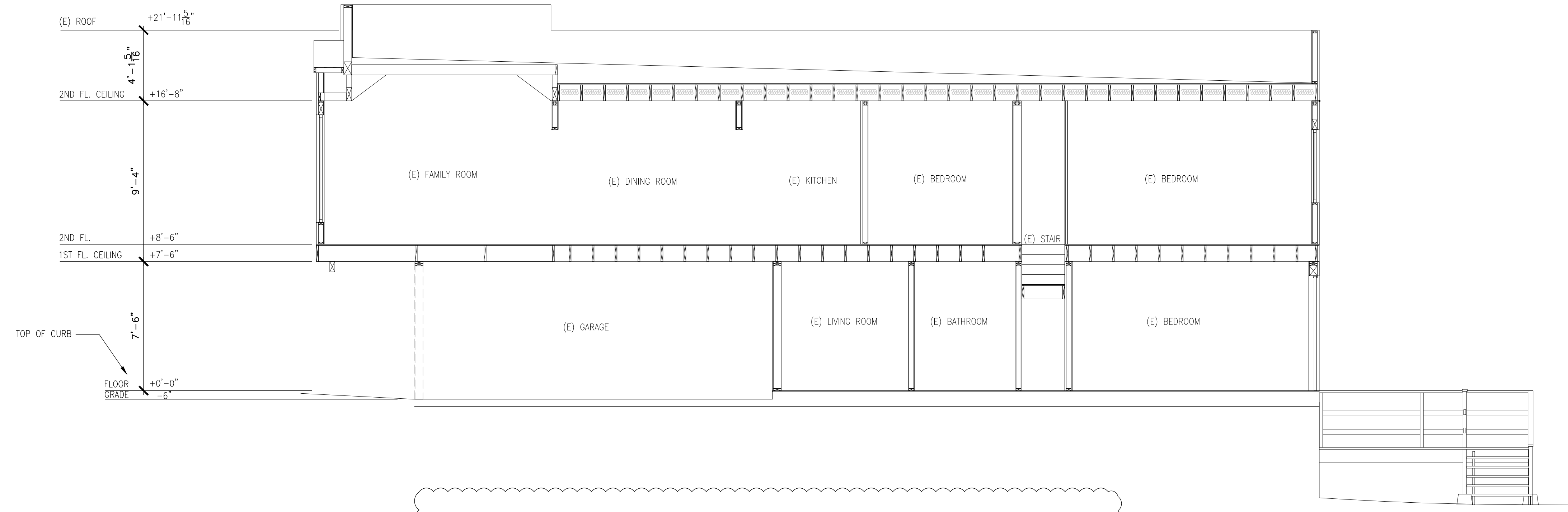
REVISION:

SHEET TITLE:
**3RD FLOOR
 ELECTRICAL &
 POWER PLAN**

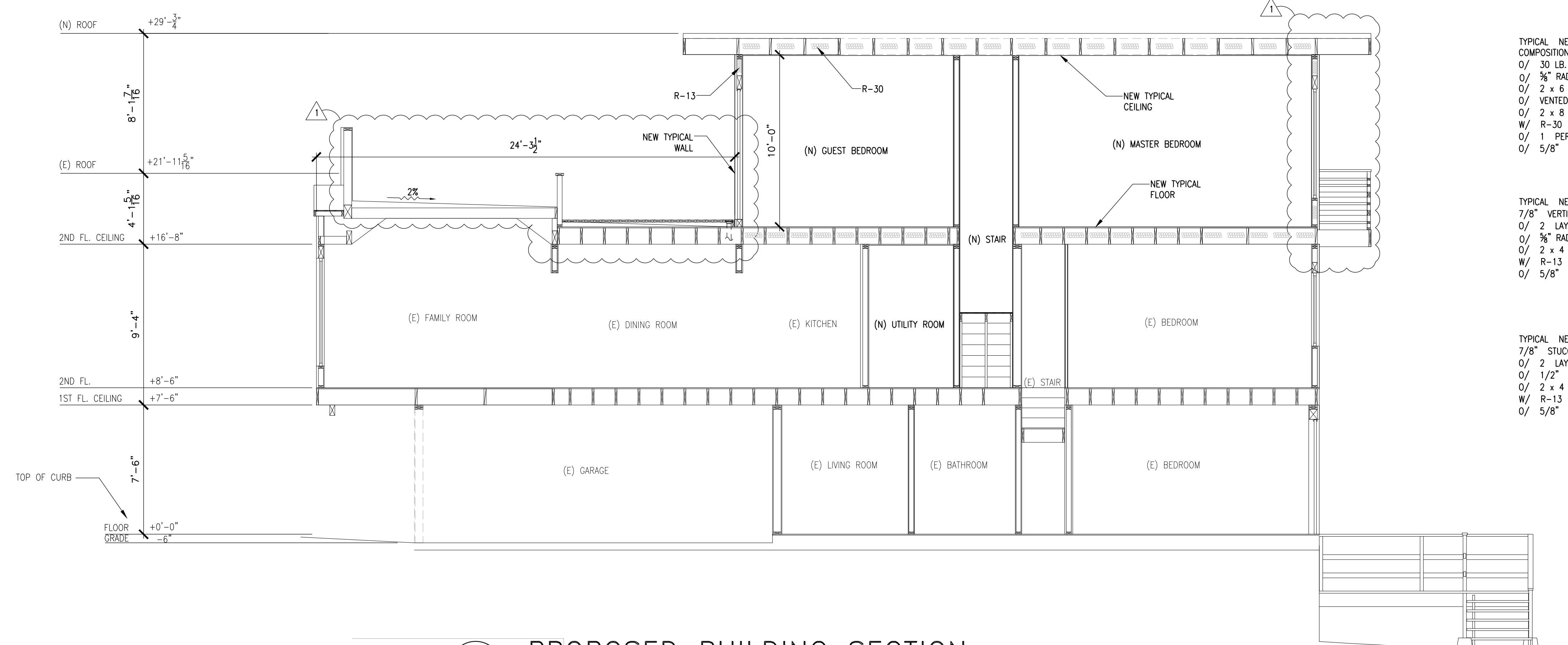
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 SCALE: AS NOTED

SHEET:
A4.2

NOTE: THIS SHEET SHOULD BE 24"x36"



2 EXISTING BUILDING SECTION
 SCALE: 1/4" = 1'-0"



1 PROPOSED BUILDING SECTION
 SCALE: 1/4" = 1'-0"

TYPICAL NEW ROOF AT FLAT CEILING:
 COMPOSITION SHINGLES ROOF
 O/ 30 LB. BUILDING PAPER
 O/ 3/8" RADIAN BARRIER PLYWOOD ROOF SHEATHING
 O/ 2 x 6 AT 24" O.C. FOR SIDING RAFTERS
 O/ VENTED ATTIC SPACE
 O/ 2 x 8 AT 16" O.C. CEILING JOISTS
 W/ R-30 BLOW-IN INSULATION
 O/ 1 PERM MAX. VAPOR BARRIER
 O/ 5/8" GYPSUM BOARD

TYPICAL NEW FEAR WALL:
 7/8" VERTICAL WOOD SIDING
 O/ 2 LAYERS GRADE 'D' BUILDING PAPER
 O/ 3/8" RADIAN BARRIER PLYWOOD ROOF SHEATHING
 O/ 2 x 4 AT 16" O.C. STUDS
 W/ R-13 INSULATION
 O/ 5/8" GYPSUM BOARD

TYPICAL NEW FRONT WALL:
 7/8" STUCCO (3 COATS)
 O/ 2 LAYERS GRADE 'D' BUILDING PAPER
 O/ 1/2" CDX PLYWOOD
 O/ 2 x 4 AT 16" O.C. STUDS
 W/ R-13 INSULATION
 O/ 5/8" GYPSUM BOARD

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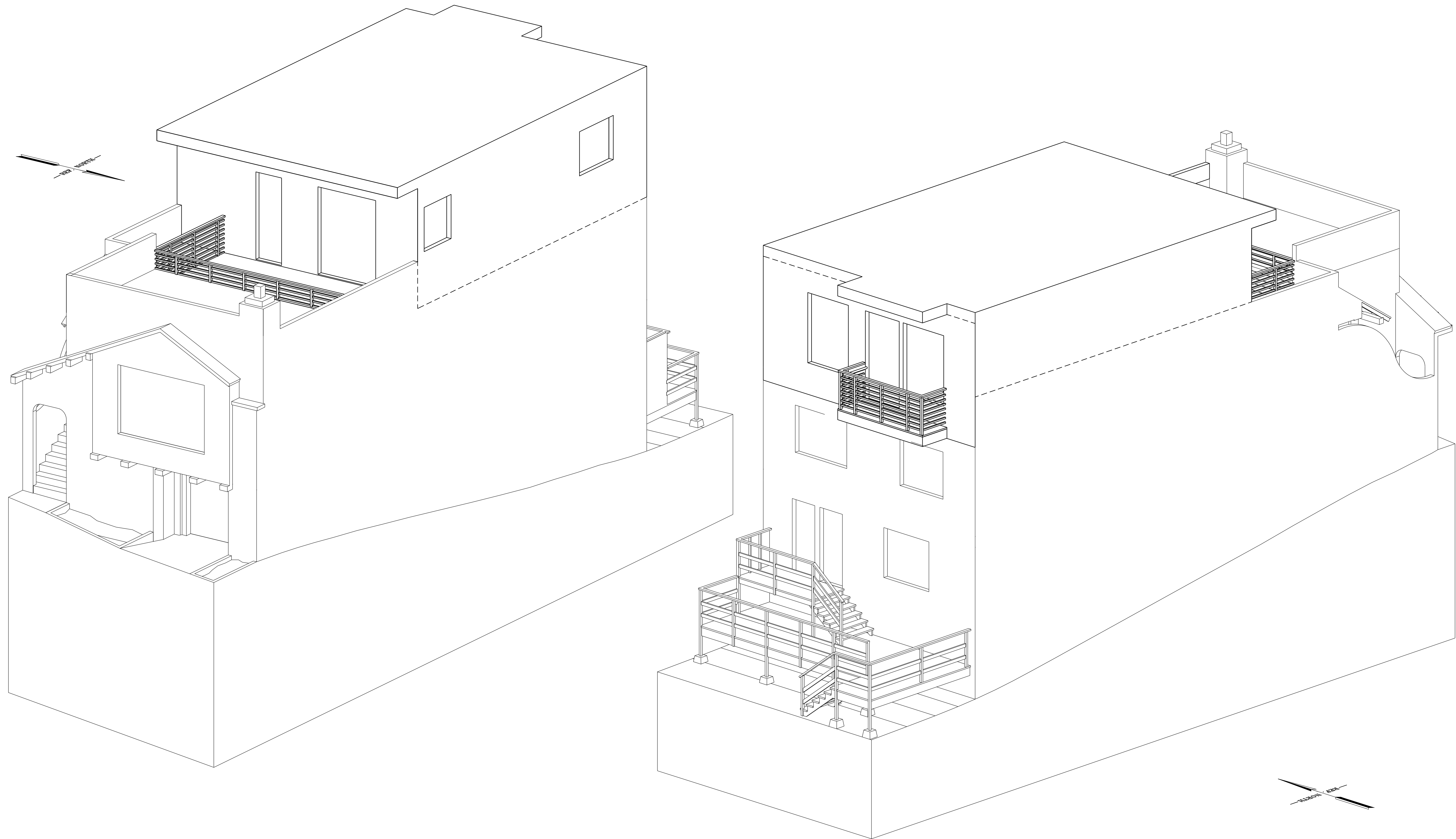
REVISION:

SHEET TITLE:
**EXISTING & PROPOSED
 BUILDING SECTION**

JOB NO.: 1821
 SCALE: AS NOTED

SHEET:
A4.3

NOTE: THIS SHEET SHOULD BE 24"x36"



2 PROPOSED 3D VIEW II

1 PROPOSED 3D VIEW I

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SHEET TITLE:
**PROPOSED 3D
 VIEWS**

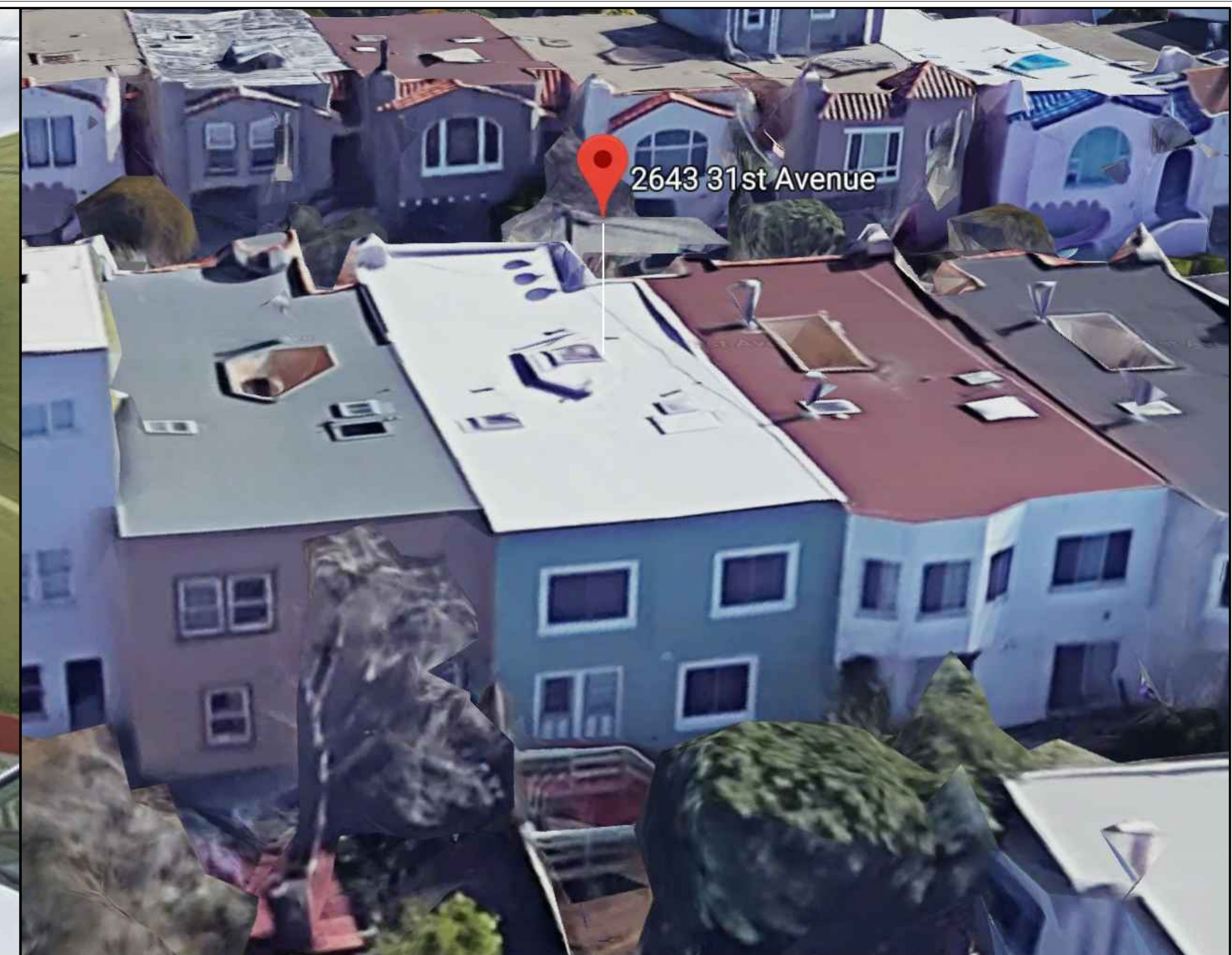
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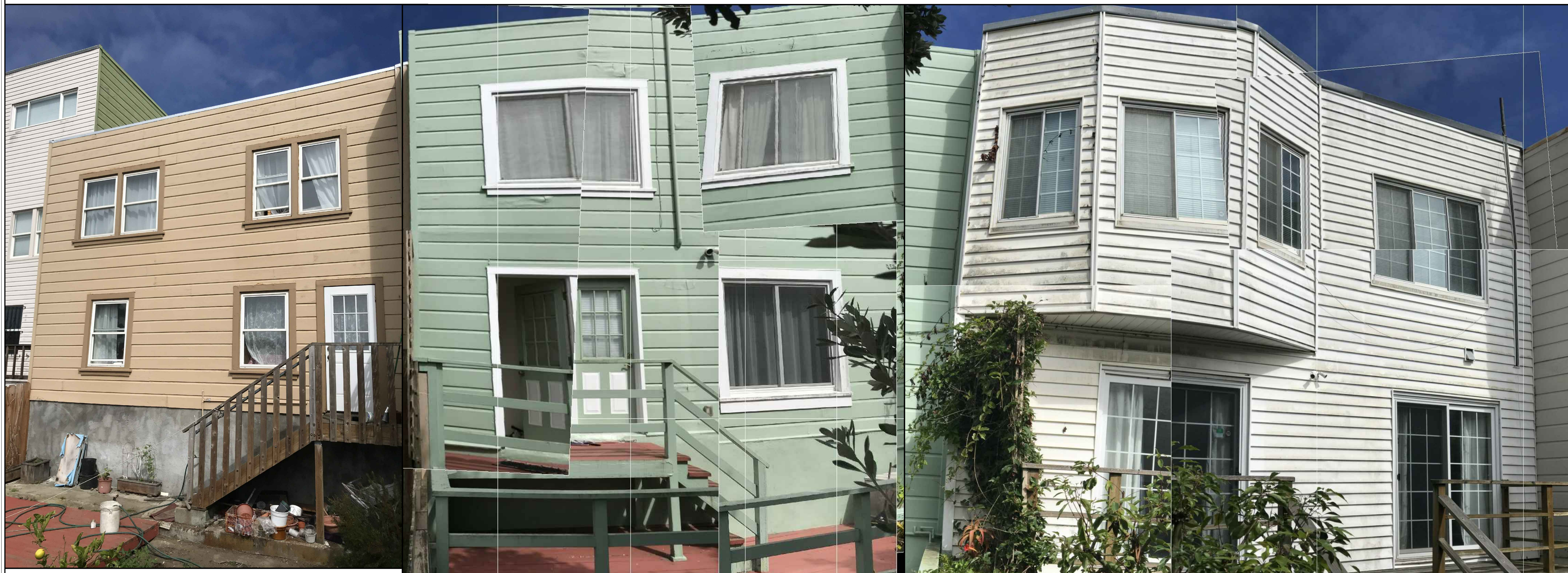
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3 FRONT ELEVATION PHOTOS



1 3-D REAR VIEW



2 REAR ELEVATION PHOTOS

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REVISION:

SHEET TITLE:
SITE PHOTOS

JOB NO.: 1821
 SCALE: AS NOTED
 SHEET:

A4.5

NOTE: THIS SHEET SHOULD BE 24"x36"