



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review

Abbreviated Analysis

HEARING DATE: JUNE 25, 2020

CONTINUED FROM APRIL 30, 2020

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: June 18, 2020
Case No. **2018-013422DRP**
Project Address: **1926 Divisadero Street**
Permit Application: 2018.0808.6813
Zoning: NC-2 [Neighborhood Commercial, Small-Scale]
40-X Height and Bulk District
Block/Lot: 1027 / 024
Project Sponsor: Brian Villavicencio
The Kastrop Group
160 Birch Street, Suite B
Redwood City, CA 94062
Staff Contact: David Winslow – (415) 575-9159
David.Winslow@sfgov.org
Recommendation: **Do Not Take DR and Approve**

PROJECT DESCRIPTION

The project proposes to construct an approximately 166 square foot rear addition at the second floor of the two-story over basement residential building. The proposed rear addition (approximately 10 feet 2 inches to 16 feet 6 inches wide to 14 feet 5 inches deep) will abut the north side property line and will be set back approximately 6 feet from the south property line. A portion of the proposed addition will encroach 1'-4" into the required rear yard and therefore a variance is requested. The variance was heard administratively.

SITE DESCRIPTION AND PRESENT USE

The site is a 16'-2" wide x 100'-0" deep lot with an existing 2-story over basement, one-family house built in 1900 and is categorized as an 'B' – Unknown -Age Eligible Resource present.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The buildings on this block of Divisadero Street, including the subject property and DR requestor are articulated with side setbacks at the rear and generally align to define a consistent an immediate mid-block open space. The DR requestor's building is two -stories. The open space at the rear faces East.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	October 30, 2019 – December 2, 2019	12.2.2019	4.2.2020 to 4.30.2020 to 6.25.2020	205 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	20 days	March 13, 2020	March 13, 2020	20 days
Mailed Notice	20 days	March 13, 2020	March 13, 2020	20 days
Online Notice	20 days	March 13, 2020	March 13, 2020	20 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	0	0
Other neighbors on the block or directly across the street	0	0	0
Neighborhood groups	0	0	0

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

DR REQUESTORS

Stephen Williams of 1934 Divisadero Street, adjacent neighbor to the North of the proposed project.

DR REQUESTOR’S CONCERNS AND PROPOSED ALTERNATIVES

DR requestor is concerned that the proposed addition:

1. Was not properly noticed;
2. Requires a rear yard variance;
3. Does not comply with the Residential design Guidelines to “Articulate building to minimize impact to light air and privacy”, and “Design the height and depth of the building to be compatible with the existing building scale at the mid-block open space”.

Proposed alternatives:

Provide a side setback and do not extend into the rear yard.

See attached *Discretionary Review Application*.

PROJECT SPONSOR’S RESPONSE TO DR APPLICATION

The project has been reviewed by Planning Department staff and found to be compliant with the Planning Code and Residential Design Guidelines. It has been designed with a lower roof so that it respects the adjacent properties to not adversely impact privacy, or access to light and air.

See attached *Response to Discretionary Review Application*, dated 2.7.20

DEPARTMENT REVIEW

As far as staff is aware, the project was noticed to comply with 311 noticing requirements.

The Department’s Residential Design Advisory Team (RDAT) re-reviewed this and found that the proposed addition does not create exceptional or extraordinary impacts to light and privacy to the adjacent property. Although 14’-5” of the proposed addition abuts the property line, a 3’-4” side setback that reciprocates with the adjacent neighbor’s side setback is maintained for most of their common length.

RDAT found that the mutual side setbacks in relation to the relative massing of the two buildings reasonably maintain the articulation of the buildings to preserve light and privacy. The massing of the rear addition is compatible with the scale of the immediate neighboring buildings.

Therefore, staff recommends not taking Discretionary Review.

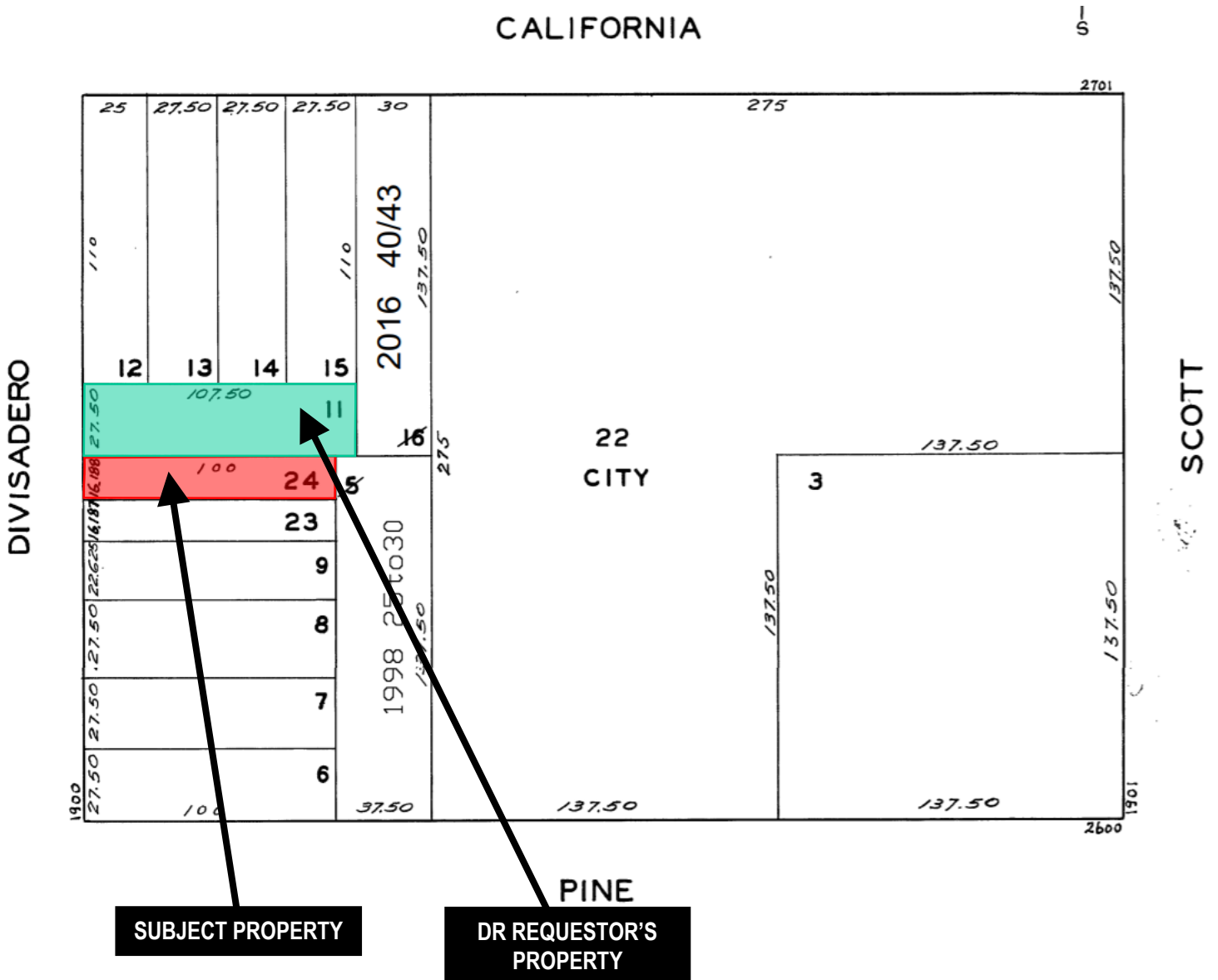
RECOMMENDATION: Do Not Take DR and Approve
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Attachments:

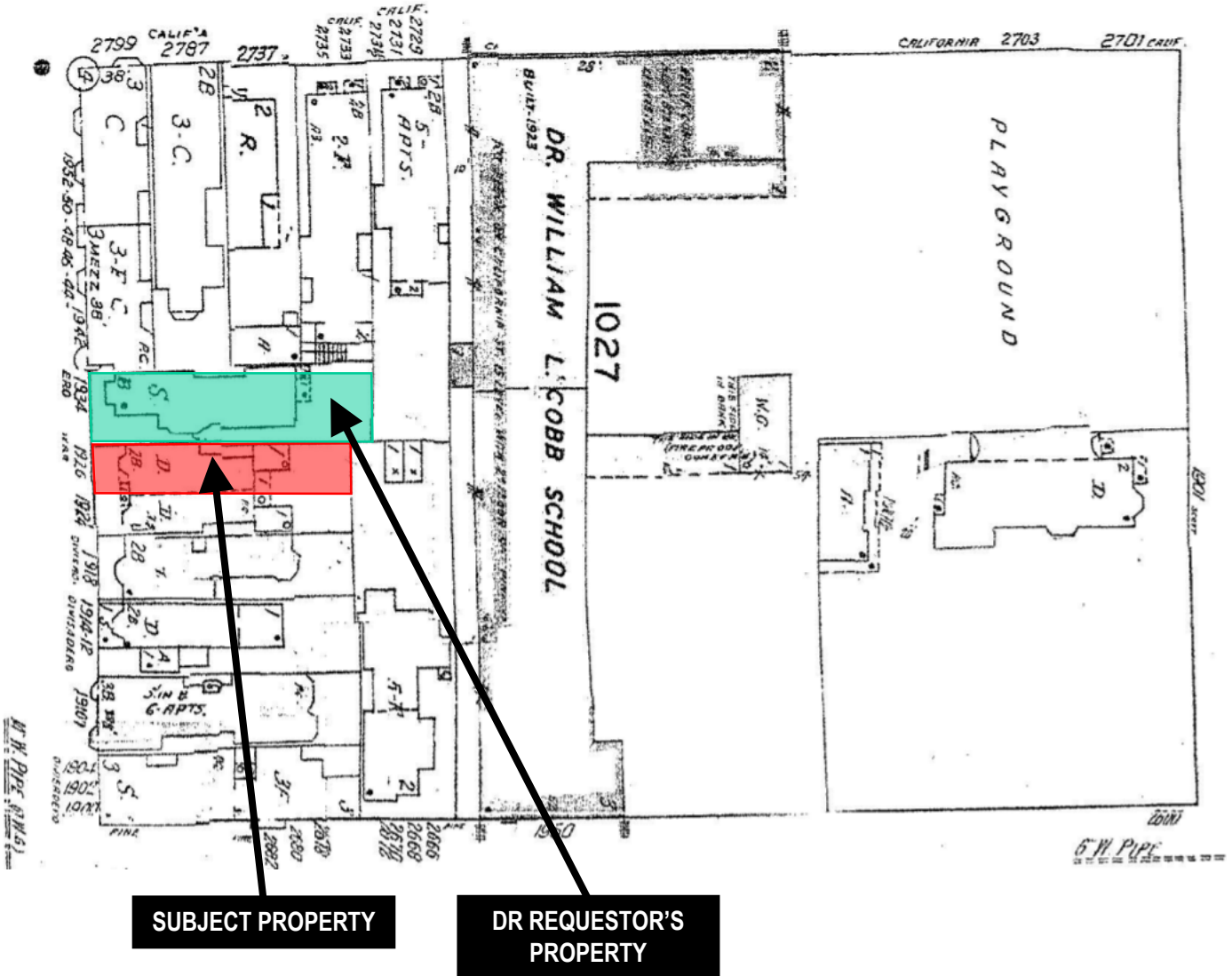
- Block Book Map
- Sanborn Map
- Zoning Map
- Aerial Photographs
- Context Photographs
- Section 311 Notice
- CEQA Determination
- DR Applications
- Response to DR Application dated 2.7.20
- 311 Notification plans dated 7.10.19

Exhibits

Parcel Map



Sanborn Map*

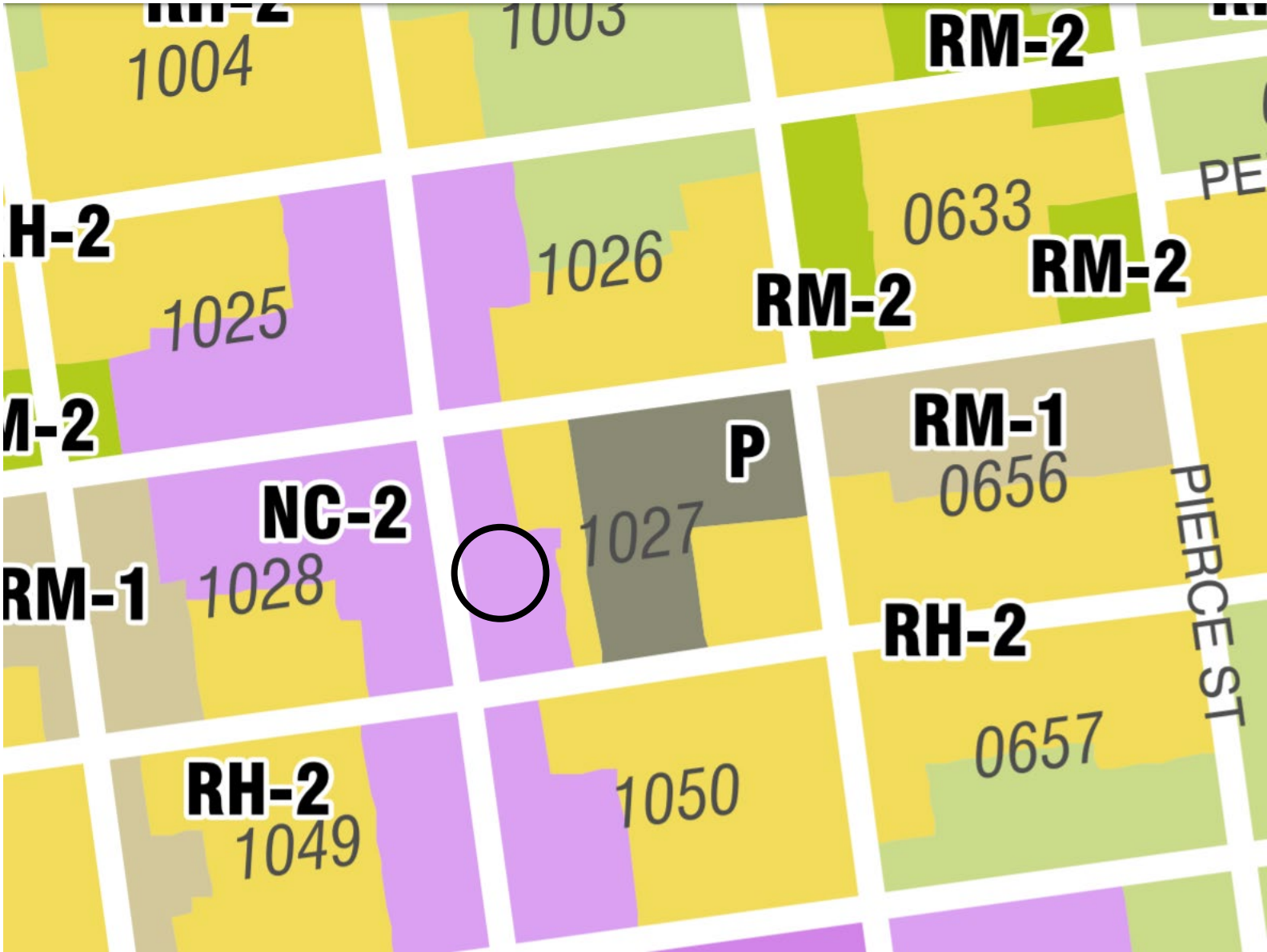


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing
Case Number 2018-013422DRP
1926 Divisadero Street

Zoning Map



Aerial Photo



SUBJECT PROPERTY

DR REQUESTOR'S PROPERTY



Discretionary Review Hearing
Case Number 2018-013422DRP
1926 Divisadero Street

Aerial Photo



SUBJECT PROPERTY

**DR REQUESTOR'S
PROPERTY**



Discretionary Review Hearing
Case Number 2018-013422DRP
1926 Divisadero Street

Aerial Photo



SUBJECT PROPERTY

**DR REQUESTOR'S
PROPERTY**



Discretionary Review Hearing
Case Number 2018-013422DRP
1926 Divisadero Street

Aerial Photo



**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-013422DRP
1926 Divisadero Street

Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2018-013422DRP
1926 Divisadero Street



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **August 8, 2018**, Building Permit Application No. **2018.08.08.6813** was filed for work at the Project Address below.

Notice Date: October 30th, 2019

Expiration Date: December 2nd, 2019

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	1926 Divisadero Street	Applicant (architect):	Brian Villavicencio, The Kastrop Group
Cross Street(s):	California Street / Pine Street	Address:	160 Birch Street, Suite B
Block/Lot No.:	1027 / 024	City, State:	Redwood City, CA
Zoning District(s):	NC-2 / 40-X	Telephone:	(650) 299-0303
Record Number:	2018-013422PRJ	Email:	brian@kastropgroup.com

You are receiving this notice as an owner or occupant of property within 150 feet of the proposed project. **You are not required to take any action.** For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request that the Planning Commission review this application at a public hearing for Discretionary Review. Requests for a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown above, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Facade Alteration (rear)	<input type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No Change
Front Setback	Approx. 11 feet	No Change
Building Depth	Approx. 65 feet 4 inches	Approx. 65 feet 4 inches
Rear Yard	Approx. 23 feet 8 inches	Approx. 23 feet 8 inches
Building Height	Approx. 32 feet 1 inches	Approx. 32 feet 1 inches to 30 feet
Number of Stories	2 over basement	No Change
Number of Dwelling Units	1	No Change
Number of Parking Spaces	1	No Change

PROJECT DESCRIPTION

The proposal is to construct an approximately 166 square foot rear addition at the second floor of the two-story over basement residential building. The proposed rear addition (approximately 10 feet 2 inches to 16 feet 6 inches wide to 14 feet 5 inches deep) will abut the north side property line and will be set back approximately 6 feet from the south property line. See attached plans. The subject property, with a lot depth of 100 feet, has a required rear yard of 25 feet. A portion of the proposed rear addition will extend approximately 1 foot 4 inches into the required rear yard (to align with the floors below), and requires an Administrative Variance from Planning Code Section 134, which the Zoning Administrator has jurisdiction to grant per Planning Code Section 305(c). This notice is your opportunity to comment on the proposed Variance (Case No. 2018-013422VAR) should you have any questions or concerns.

The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.

To view plans or related documents, visit sf-planning.org/notices and search the Project Address listed above. Once the property is located, click on the dot(s) to view details of the record number above, its related documents and/or plans.

For more information, please contact Planning Department staff:

Sharon M. Young, (415) 558-6346, sharon.m.young@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, contact the Planning Information Center (PIC) at 1660 Mission Street, 1st Floor (415) 558-6377 or pic@sfgov.org. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. **You must submit the application in person** at the Planning Information Center (PIC), with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
1926 DIVISADERO ST		1027024
Case No.		Permit No.
2018-013422PRJ		201808086813
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval. VERTICAL & HORIZONTAL ADDITION. A 2ND STORY ADDITION OF A MASTER BATHROOM & A CLOSET ON TOP OF THE EXISTING ROOF AT THE REAR OF THE HOUSE. A KITCHEN WINDOW WILL BE ENLARGED</p>		

STEP 1: EXEMPTION CLASS

The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?</p> <p><i>if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i></p>
<input type="checkbox"/>	<p>Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography). If yes, Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Slope = or > 25%: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.</p>
<p>Comments and Planner Signature (optional):</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <div style="display: flex; justify-content: space-between; align-items: flex-start;"> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category A a. Per HRER or PTR dated b. Other (specify): </div> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category C (attach HRER or PTR) </div> </div>
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature:	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Building Permit	Signature: Sharon Young
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	10/10/2019
<p>Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action.</p> <p>Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.</p>		

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
1926 DIVISADERO ST		1027/024
Case No.	Previous Building Permit No.	New Building Permit No.
2018-013422PRJ	201808086813	
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.	
Planner Name:	Date:



DISCRETIONARY REVIEW PUBLIC (DRP) APPLICATION

Discretionary Review Requestor's Information

Name: Stephen Williams
 Address: 1934 Divisadero Street, San Francisco, CA 94133
 Email Address: smw@stevewilliamslaw.com
 Telephone: 415-292-3656

Information on the Owner of the Property Being Developed

Name: Irina Shestakova
 Company/Organization: Baker & McKenzie
 Address: 1926 Divisadero Street, San Francisco, CA 94115
 Email Address: Irina.Shestakova@bakermckenzie.com
 Telephone: 650-299-0303

Property Information and Related Applications

Project Address: 1926 Divisadero Street, San Francisco, CA 94115
 Block/Lot(s): 1027/ 024
 Building Permit Application No(s): 2018.08.08.6813; 2018-013422VARIANCE

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case? (including Community Boards)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The project does not comply with the Planning Code as it requires a variance. It also was not properly noticed under the requirements of Section 311 and 333. The posting for the building permit application was not completed properly and so the public was not given notice under the Code. The posting of the property was not noticeable or legible from the public sidewalk as the posting was 8 1/2 by 11 inches in size and was placed inside the front door window at the top of the Victorian set of stairs some 20-25' feet from the sidewalk.

DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

The project does not comply with the minimum standards of the Planning Code as it requires a variance. The project does not meet the bare minimum standards of the Planning Code as it was not properly noticed under the requirements of Section 311 and 333. The posting for the building permit application was not completed properly and so the public was not given notice under the Code. The parcel is VERY substandard at 1600 s.f. so additions should be carefully crafted so as to reduce impacts to surrounding buildings. The proposal also does not meet the requirements of the Residential Design Guidelines as it blocks direct sunlight to the windows on the building to the north. The proposed addition is to be built directly on the north property line without a setback and therefore will cast shadows and block light and air to the building (1934 Divisadero Street) to the north. A setback should be incorporated into the design to allow light to the neighboring building.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

It is not reasonable to grant ANY variance which would block sunlight to a neighboring property. Violates numerous provisions of the Residential Design Guidelines including the Guidelines for Additions to Buildings of Potential Historic or Architectural Merit. "A addition to a new building should be articulated to minimize impacts on light and privacy to adjacent properties" (pages 16-17). "Design the height and depth of the building to be compatible with the existing building scale at the mid-block open space. (pages 25-26) Design the height and depth of the building to be compatible with the existing building scale at the street. (page 24). The Project is completely unreasonable on this block at this location. It will block direct sunlight and will cast shadows on the small buildings around it including the historic building and garden to the north at 1934 Divisadero Street.


3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

A reasonable project might be built without a variance and constructed on the second floor if it is setback from the north property line. However, it seems clear that ANY addition to this VERY substandard lot located on the north property line will have negative impacts because of the size and location of the subject lot. Adding additional square feet of living space to this small building at the mid-block is unreasonable given the lot size of 1,600 s.f. Adding a new room in order to expand and luxuriate the building with negative impacts on neighbors should be avoided. This lot was split in 1977 from its normal code compliant size and should not now be permitted to expand the building in such a way that negatively impacts the neighboring properties. If the original size had been maintained it could easily be setback.

DISCRETIONARY REVIEW REQUESTOR'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

- a) The information presented is true and correct to the best of my knowledge.
- b) Other information or applications may be required.



Signature

Stephen Williams

Name (Printed)

Adjacent Neighbor

415-292-3656

smw@stevewilliamslaw.com

Relationship to Project
(i.e. Owner, Architect, etc.)

Phone

Email

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

RESPONSE TO
DISCRETIONARY
REVIEW (DRP)



San Francisco
Planning

SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103-2479
MAIN: (415) 558-6378 SFPLANNING.ORG

Project Information

Property Address:

Zip Code:

Building Permit Application(s):

Record Number:

Assigned Planner:

Project Sponsor

Name:

Phone:

Email:

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)		
Occupied Stories (all levels with habitable rooms)		
Basement Levels (may include garage or windowless storage rooms)		
Parking Spaces (Off-Street)		
Bedrooms		
Height		
Building Depth		
Rental Value (monthly)		
Property Value		

I attest that the above information is true to the best of my knowledge.

Signature: 	Date:
Printed Name:	<input type="checkbox"/> Property Owner <input type="checkbox"/> Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

Bathroom Addition Project - 1926 Divisadero Street

Dear Commissioners,

In anticipation of the discretionary hearing requested by the owner of 1934 Divisadero office building (the "1934 Office Building"), we would like to provide you with additional information about the project and its non-impact on the 1934 Office Building.

We would like to make a modest addition to our living space for the following main reasons:

- the bathroom addition to the second floor that has 3 bedrooms and only one very small bathroom that can accommodate 1 person at a time will allow our adult daughter (29 year old) and her boyfriend to live with us;
- to keep the costs of construction reasonable and have a minimum impact on the neighbors, we followed the old plans for a much bigger project that was approved by the SF Planning Department (we are only planning on implementing one third of the original project). No aspect of our current project exceeds the boundaries of the old plans that were approved by the SF Planning Department; and,
- the addition of the bathroom will make our house more energy efficient resulting in energy savings.

The impact of our project on the 1934 Office Building is minimal for the following reasons:

- the 1934 Office Building is one story building hosting a law office plus a basement that was recently converted into an office space and was rented to an acupuncture. Each room on the north side of the 1934 Office Building has big windows that face our two story Victorian house;
- our respective buildings are several yards apart from each other;
- our project will not result in obstruction of any views because the windows of the 1934 Office Building already face our 2 story house;
- in the mornings and in the evenings when the sun is on the east and west, respectively, the new addition would have no impact on the 1934 Office Building. When the sun is in the south standing in the zenith, there is already now a minor degree of sun obstruction because our house is a two story building while the 1934 Office Building has only one story. Due to the angle of the sun rays, the shading from the addition on the 1934 Office Building will be very very small;
- on most days in our neighborhood in San Francisco, it is foggy and the shading is not a factor;
- relative significance of the shading is de minimums because all buildings in our neighborhood except for the 1934 Office Building have two or more stories including the four story apartment building adjacent to the 1934 Divisadero Building on the south side;

- we have discussed various alternatives to our project with our architect including the changes proposed by the owner of the 1934 Office Building. They are either prohibitively expensive or reduce the added living space disproportionately. And, they do not reduce the marginal shading on the 1934 Office Building. The changes to the project proposed by the owner of the 1934 Office Building would result in misalignment of the current structure and new addition, clash with the Victorian style of the house and would make it more difficult to make the addition energy efficient; and,
- we have met with the owner of the 1934 Office Building to discuss his concerns and to explain the project and its de minimus impact on the 1934 Office Building.

We would very much appreciate if you could please consider the foregoing factors and approve our project at the hearing.

Thank you for your consideration.

Best regards,

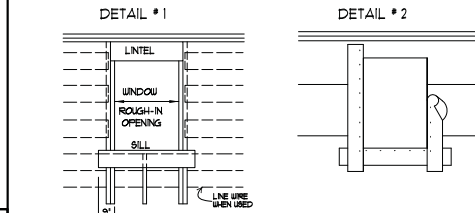
Irina & Lothar (1926 Divisadero St)

PENETRATION FLASHING NOTES

MATERIAL: MATERIAL FOR FLASHING SHALL BE BARRIER COATED REINFORCED FLASHING MATERIAL AND SHALL PROVIDE (4) FOUR HOUR MINIMUM PROTECTION FROM WATER PENETRATION WHEN TESTED IN ACCORDANCE WITH ASTM STANDARD D-719. FLASHING MATERIAL SHALL CARRY CONTINUOUS IDENTIFICATION. SEALANT SHALL BE BUTYL TO COMPLY WITH FEDERAL SPECIFICATION TT-9-1661.

APPLICATION: TO FLASH PENETRATIONS, A STRIP OF APPROVED FLASHING MATERIAL AT LEAST NINE INCHES WIDE MUST BE APPLIED IN WEATHERBOARD FASHION AROUND ALL OPENINGS. APPLY THE FIRST STRIP HORIZONTALLY IMMEDIATELY UNDERNEATH THE SILL, CUT IT SUFFICIENTLY LONG TO EXTEND PAST EACH SIDE OF THE WINDOW, DOOR, OR VENT, SO THAT IT PROJECTS BEYOND THE VERTICAL FLASHING TO BE APPLIED (DETAIL #1). FASTEN THE TOP EDGE OF THE FIRST STRIP TO THE WALL, BUT DO NOT SECURE THE BODY AND LOWER EDGE OF THE FIRST HORIZONTAL STRIP, SO THE WEATHER RESISTANT BUILDING PAPER APPLIED LATER MAY BE BLIPPED UP AND UNDERNEATH THE BOTTOM FLASHING IN WEATHERBOARD FASHION. IN THE CASE OF LOW-SEAT WINDOWS, APPLY APPROVED PAPER THE FULL HEIGHT FROM THE BOTTOM OF THE WINDOW SILL WHEN THE WINDOW IS FLASHED. IN THE CASE OF SLIDING GLASS DOORS, INSTALL LANSOL GUARD UNDER DOOR SILL AND OVER FLASHING PER MANUFACTURER'S INSTRUCTIONS.

NEXT, APPLY THE TWO VERTICAL SIDE SECTIONS SUFFICIENTLY LONG ENOUGH TO EXTEND THE WIDTH OF THE FLASHING ABOVE THE TOP OF THE WINDOW OR DOOR AND THE SAME DISTANCE BELOW. APPLY THE SIDE SECTIONS OVER THE BOTTOM STRIP OF FLASHING (DETAIL #2).



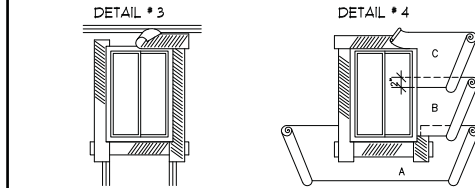
ON WINDOWS AND VENTS THE PENETRATING FIXTURE THEN IS INSTALLED BY PRESSING THE NAILING FLANGE INTO A CONTINUOUS BEAD OF SEALANT WHICH EXTENDS AROUND THE BOTTOM AND VERTICAL PERIMETER OF THE INSERTED FIXTURE.

NOTE: THE CONTINUOUS BEAD OF SEALANT THAT IS APPLIED TO THE UNDERSIDE OF THE NAILING FLANGE OF WINDOWS, DOORS, AND VENTS IS NOT TO BE CONSIDERED AS A SUBSTITUTE FOR FLASHING.

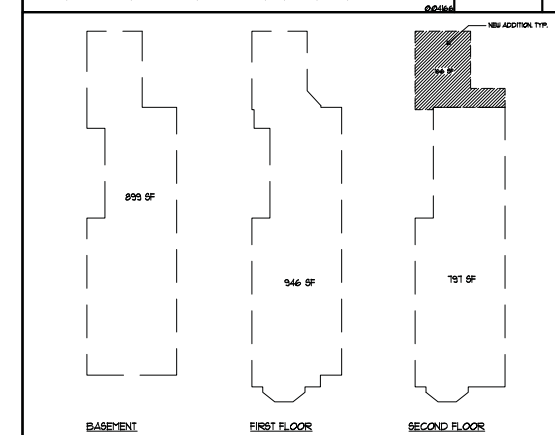
APPLY THE TOP HORIZONTAL SECTION OF FLASHING LAST, OVERLAPPING AND SEALED AGAINST THE FULL HEIGHT OF THE OUTER FACE OF THE TOP NAILING FLANGE WITH A CONTINUOUS BEAD OF SEALANT. CUT THE TOP PIECE OF FLASHING SUFFICIENTLY LONG SO THAT IT WILL EXTEND TO THE OUTER EDGE OF BOTH VERTICAL STRIPS OF SIDE FLASHING (DETAIL #3).

INSTALL EXTERIOR WEATHER RESISTANT PAPER UNDERLAYMENT TO COMPLETE ACCEPTABLE PENETRATION FLASHING.

COMMENCE AT THE BOTTOM OF THE WALL AND OVERLAPPING THE DEEP SCREED FLANGE LAY THE APPROVED WEATHER RESISTANT PAPER UP THE WALL, OVERLAPPING 2" MIN. IN WEATHERBOARD FASHION. BE SURE THAT 'A' IS PLACED UNDER THE SILL STRIP FLASHING (DETAIL #4).



TYPICAL WINDOW PENETRATION NTS C



EXISTING AREAS & NET ADDITIONS

EXISTING STRUCTURE:	AREA (#)
EXISTING BASEMENT:	946 #
EXISTING FIRST FLOOR:	946 #
EXISTING SECOND FLOOR:	791 #
TOTAL EXISTING FLOOR AREA:	2642 #

PROPOSED STRUCTURAL PROJECT AREAS:

PROPOSED STRUCTURAL PROJECT AREAS:	AREA (#)
BASEMENT:	0 #
FIRST FLOOR:	0 #
SECOND FLOOR:	166 #
PROPOSED STRUCTURAL PROJECT AREAS:	166 #

MAX. ALLOWABLE STRUCTURAL PROJECT AREA = 30% OF TOTAL EXISTING FLOOR AREA = 30 x 2642 = 793 SF

PROPOSED STRUCTURAL PROJECT AREA = 166 < 793 (OK)

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RESIDENTIAL REMODEL/ ADDITION
SHESTAKOVA + DETERMANN RESIDENCE
1926 DIVISADERO STREET
SAN FRANCISCO, CA 94115

ORIGINAL SIGNATURE IN BLUE INK



THESE DRAWINGS CONSTITUTE THE ORIGINAL WORK OF THE ARCHITECTS AND MAY NOT BE USED WITHOUT THEIR WRITTEN CONSENT.

SHEET TITLE:
PROPOSED SITE PLAN
FLOOR AREA DIAGRAM
DETAILS & SECTIONS
(E) SITE PLAN

DATE	ISSUE TITLE
4/2/18	EXISTING CONDITIONS
5/4/18	APPROVED DESIGN
8/1/18	ISSUE FOR PLAN CHECK
03/28/19	PLAN CHECK COMMENTS
07/10/19	VARIANCE APPLICATION

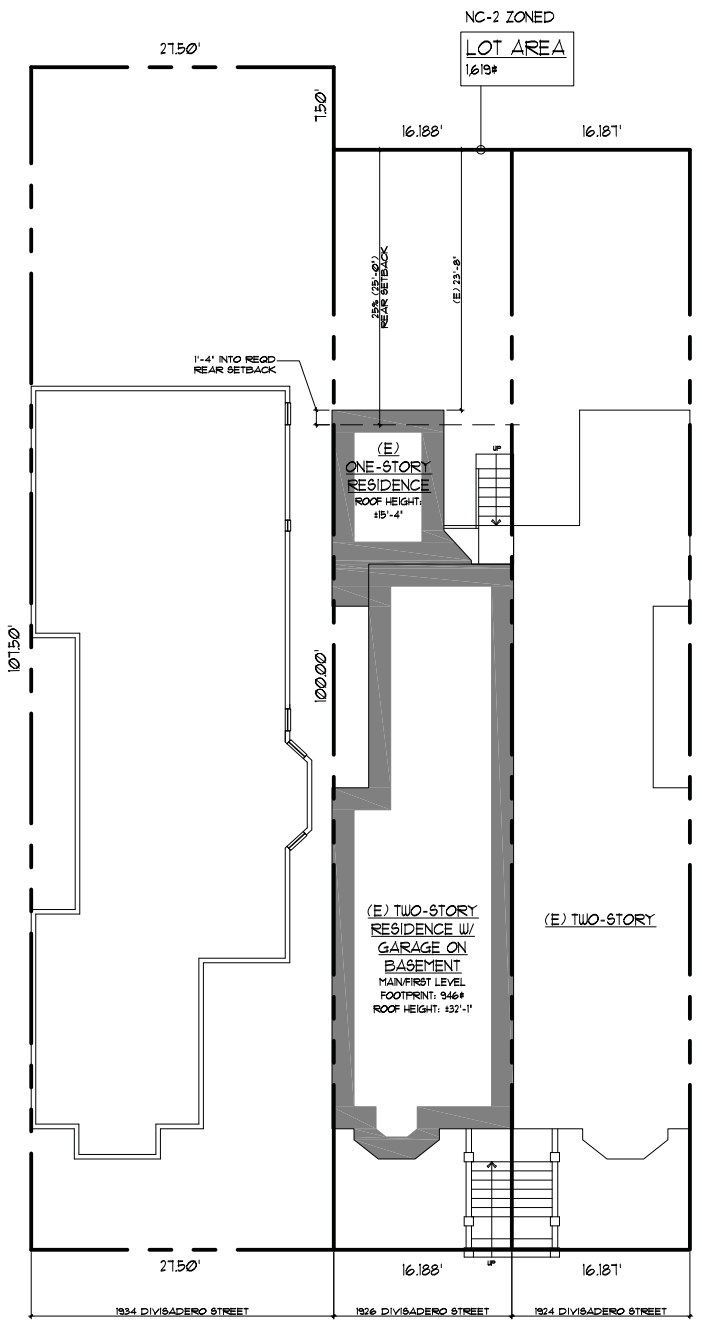
JOB NO: 18638
DRAWN: NS
CHECKED: DMK

SCALE: AS NOTED

A1.0
OF 20
BLDG PERMIT APP NO.

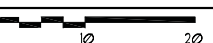
SITE PLAN NOTES:

1. PROPERTY LINE INFORMATION ON THE SITE PLAN ON THIS SET OF DOCUMENTS WAS TAKEN FROM THE ASSESSOR'S PARCEL MAP 1027024 ON FILE AT THE CITY OF SAN FRANCISCO. THIS SITE PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.

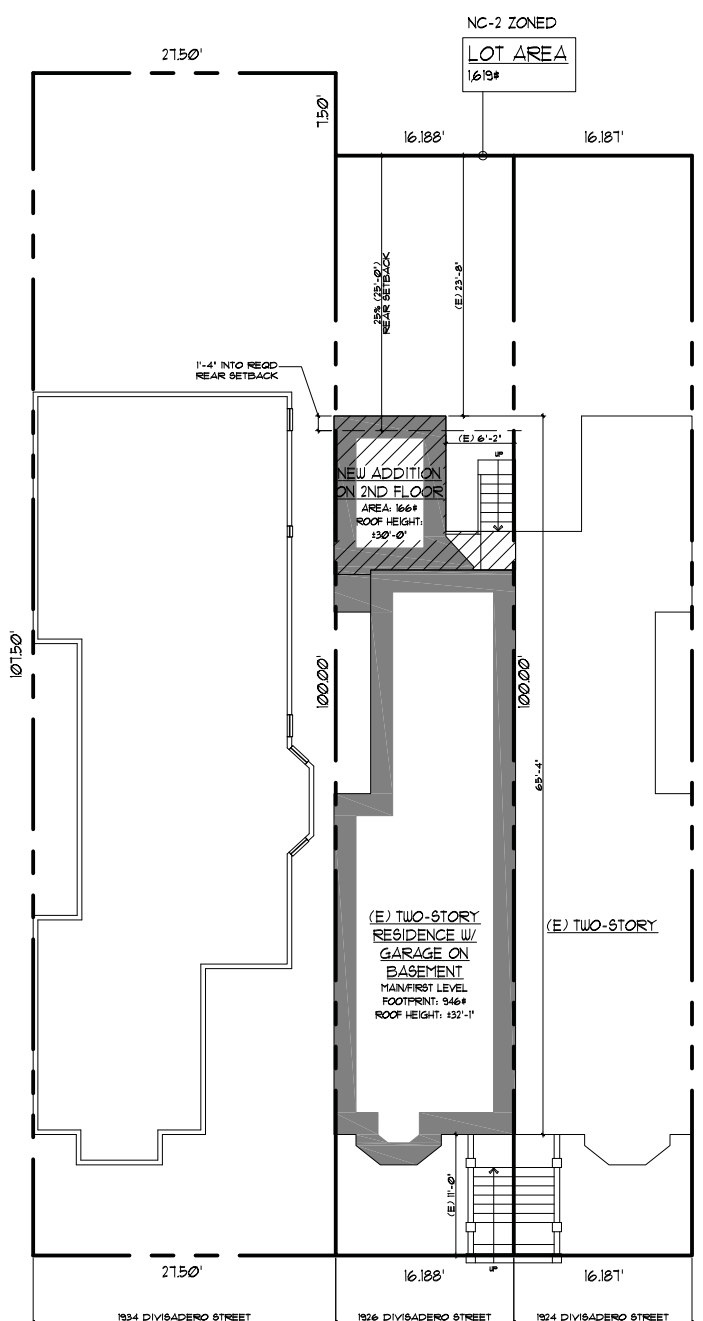


- DIVISADERO STREET -

EXISTING SITE PLAN



PROPOSED SITE PLAN



- DIVISADERO STREET -

PROPOSED SITE PLAN



STRUCTURAL SCOPE FLOOR AREA DIAGRAMS



STRUCTURAL SCOPE FLOOR AREA DIAGRAMS



1926 DIVISADERO STREET, SAN FRANCISCO, CA 94115

1. CONTRACTOR SHALL VERIFY FIELD CONDITIONS & NOTIFY ARCHITECT OF ALL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
 2. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE(S). PROVIDE & PLACE BRACING OR SHORING & BE RESPONSIBLE FOR SAFETY & SUPPORT OF STRUCTURE, ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE OR INJURY.
 3. CEASE OPERATIONS & NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
 4. PROVIDE, ERECT & MAINTAIN BARRICADES, LIGHTING & GUARD RAILS AS REQUIRED BY APPLICABLE REGULATORY ADVISORY TO PROTECT OCCUPANTS OF BUILDING & WORKERS.
 5. ARRANGE FOR DISCONNECTING, REMOVING & CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECT & STUB OFF. NOTIFY THE AFFECTED UTILITY COMPANY IN ADVANCE & OBTAIN APPROVAL BEFORE STARTING WORK.

6. CONTRACTOR TO INSPECT EXISTING CONDITIONS OF FURNACE PRIOR TO DEMOLITION & DETERMINE WHETHER ANY COMPRESSOR REFRIGERANT LINES ARE PRESENT THAT MUST BE PROPERLY DRAINED (TO EPA STANDARDS) PRIOR TO DEMOLITION.
 7. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES & CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
 8. EXCEPT WHERE NOTED OTHERWISE, MAINTAIN POSSESSION OF ANY MATERIALS TO BE REUSED.
 9. DEMOLISH IN AN ORDERLY & CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK, INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING. PROTECT EXISTING FOUNDATIONS & SUPPORTING STRUCTURAL MEMBERS. PHASE DEMOLITION IN ACCORDANCE WITH CONSTRUCTION SCHEDULE.
 10. PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.

11. REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED AT NO COST TO THE OWNER.
 12. BURNING OF MATERIALS ON SITE IS NOT PERMITTED.
 13. REMOVE DEMOLISHED MATERIALS, TOOLS & EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE IN A CONDITION ACCEPTABLE TO THE OWNER.
 14. PROTECT (E) SPACES THAT ARE N.I.C. & EXISTING FEATURES TO REMAIN FROM DUST & DAMAGE.
 15. COORDINATE DEMOLITION w/ CONSTRUCTION PLANS.

KEY NOTES:

- 1. REPLACE w/ TALLER WINDOW UP TO 4' MINIMUM ABOVE COUNTER. VIF. WIDTH TO NOT INCREASE

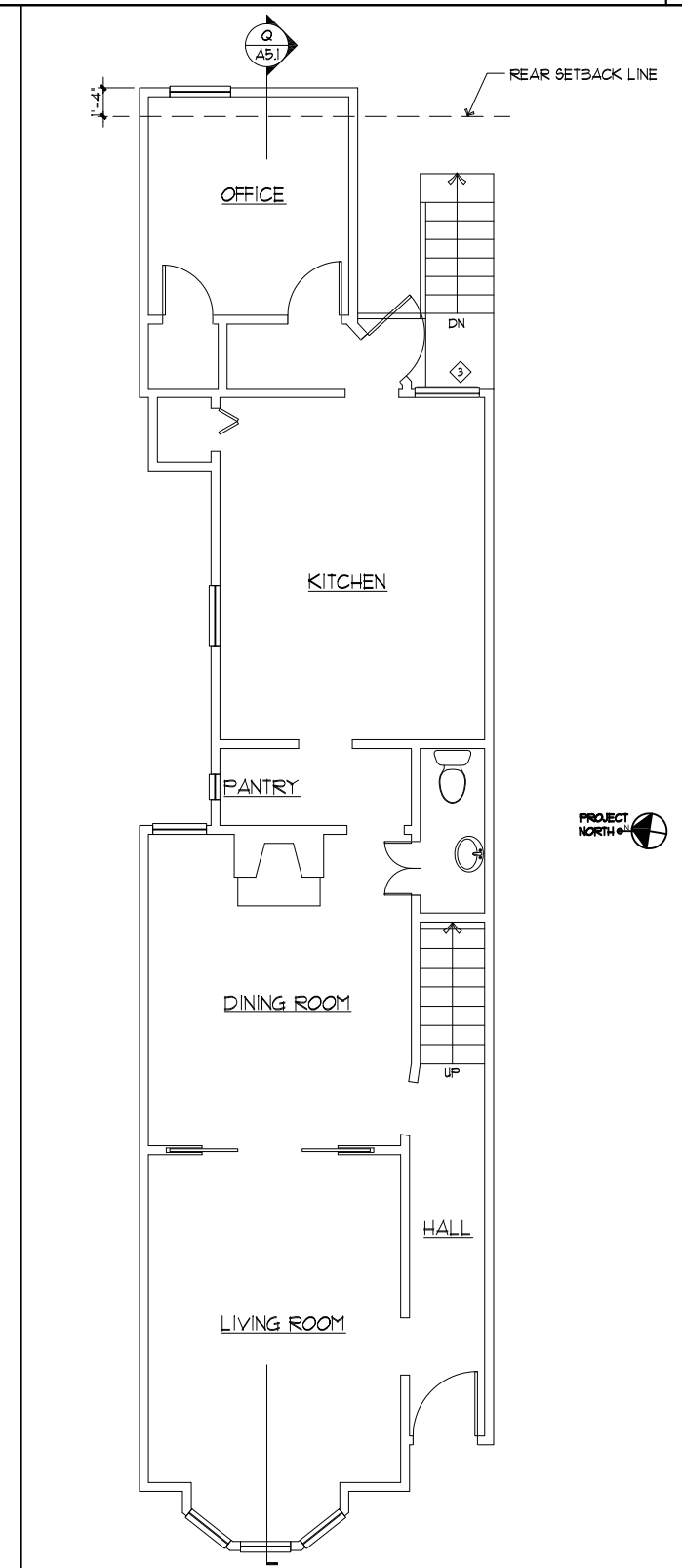
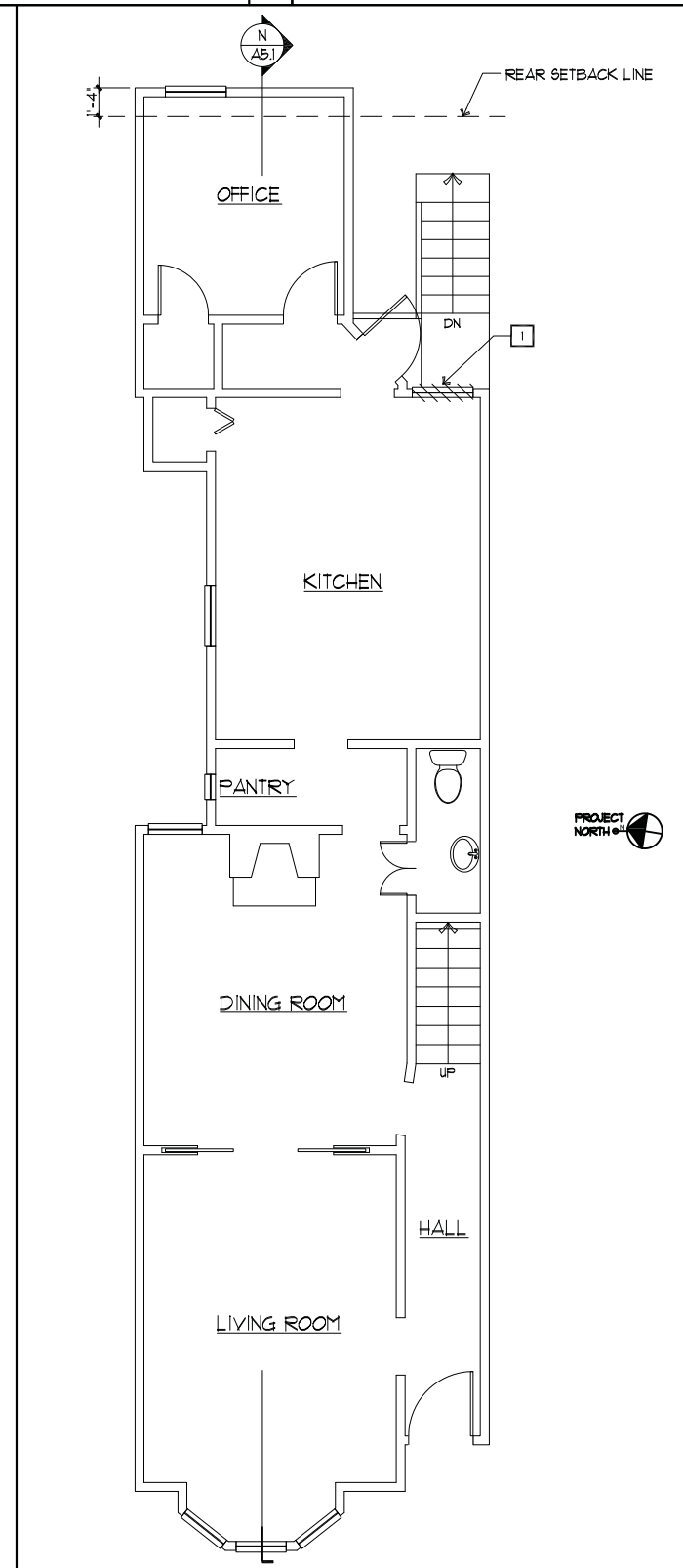
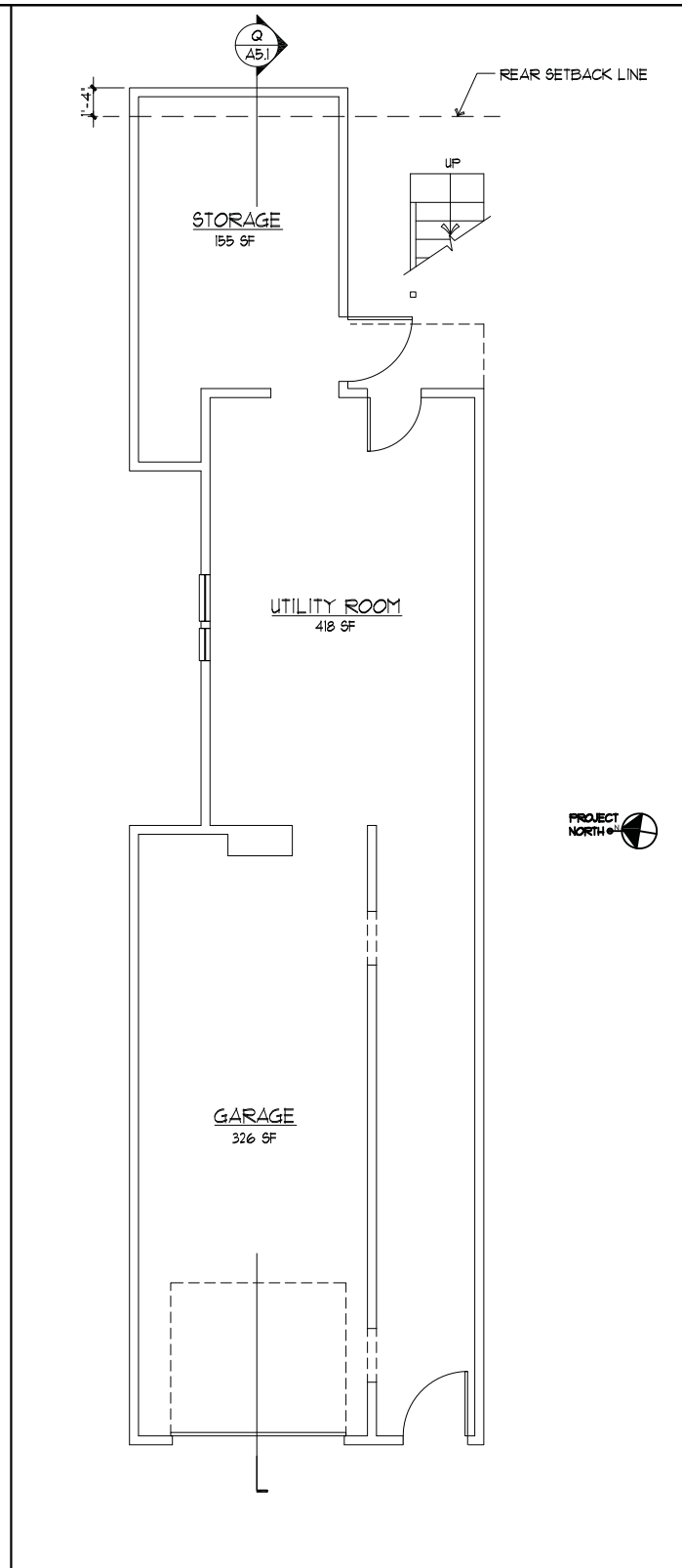
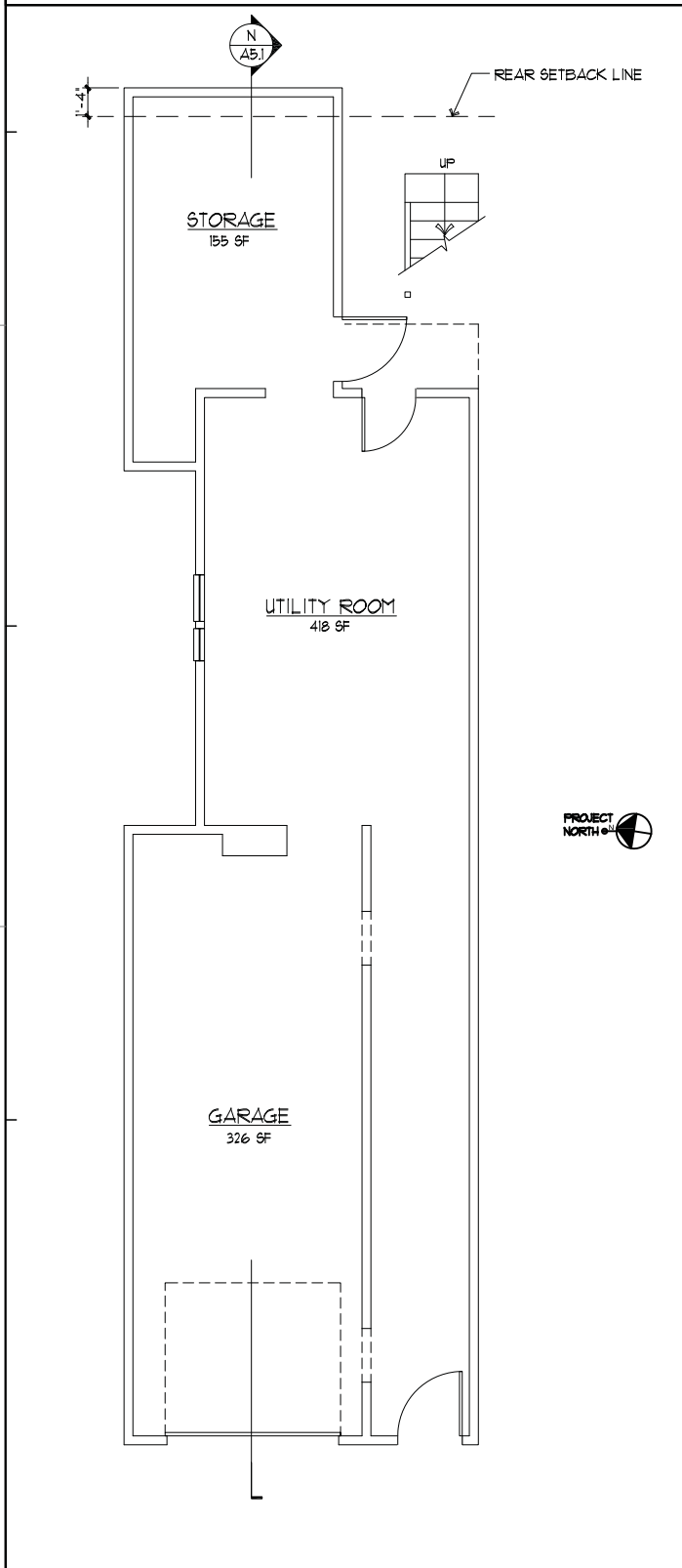
LEGEND:

- ⑤ DOOR TAGS - SEE DOOR & HARDWARE SCHEDULE
- ② KEY NOTE TAGS - SEE KEY NOTES & LEGEND THIS SHEET
- ⑥ WINDOW TAGS - SEE WINDOW SCHEDULE
- ONE-HOUR RATED WALL, 3" TYPE-X GYP BD, MUD & FIRE TAPE
- (8'-0") FINISHED CEILING HEIGHT
- ▨ AREA TO BE DEMOLISHED
- (E) WALLS TO REMAIN
- NEW WALLS

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 REDWOOD CITY, CA 94062
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DEMOLITION NOTES

M KEYNOTES & LEGEND



(E) BASEMENT PLAN

1/4"=1'-0" S

PROPOSED BASEMENT PLAN

1/4"=1'-0" N

(E) FIRST FLOOR PLAN

1/4"=1'-0" E

PROPOSED FIRST FLOOR PLAN

1/4"=1'-0" A

RESIDENTIAL REMODEL/ ADDITION
SHESTAKOVA + DETERMANN RESIDENCE
 1926 DIVISADERO STREET
 SAN FRANCISCO, CA 94115

ORIGINAL SIGNATURE IN BLUE INK



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SHEET TITLE:	
EXISTING BASEMENT PLAN	
PROPOSED BASEMENT PLAN	
EXISTING FIRST FLOOR PLAN	
PROPOSED FIRST FLOOR PLAN	
DEMOLITION NOTES	

DATE	ISSUE TITLE
4/2/18	EXISTING CONDITIONS
5/4/18	APPROVED DESIGN
8/1/18	ISSUE FOR PLAN CHECK
03/28/19	PLAN CHECK COMMENTS
07/10/19	VARIANCE APPLICATION

JOB NO: 18638
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 CHECKED: DMK
 SCALE: AS NOTED

A2.0
 OF 20
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SHESTAKOVA + DETERMANN RESIDENCE 1926 DIVISADERO STREET, SAN FRANCISCO, CA 94115

- LIGHT FIXTURE
- RECESSED LED LIGHT
- HANGING PENDANT LED
- DIRECTIONAL RECESSED LIGHT
- ⊕ EXTERIOR LIGHT FIXTURE, HIGH EFFICACY & MOTION DETECTOR & PHOTO CELL CONTROLLED
- ⊕ ELEC. SWITCH, WALL MOUNTED (42" HEIGHT UNO)
- ⊕ ELEC. SWITCH w/ 30 MINUTE VACANCY SENSOR
- ⊕ ELEC. SWITCH w/ DIMMER
- ⊕ OUTLET - 12" AFF UNLESS NOTED BY NUMBER
- ⊕ FLOOR MOUNTED OUTLET, OWNER TO FINALIZE LOCATION
- ⊕ FOURPLEX OUTLET

- ⊕ HEATING REGISTER, CEILING MOUNTED-MATCH (E)
- ⊕ SMOKE DETECTOR - INTERCONNECTED & POWERED BY 110 CURRENT w/ BATTERY BACK-UP
- ⊕ CARBON MONOXIDE DETECTOR
- ⊕ LED LIGHT FIXTURE OR ROPE LIGHT (ONE FOOT SEGMENTS)
- ⊕ WATERPROOF COMBINATION LIGHT/FAN - LIGHT SHALL BE FLUORESCENT
- ⊕ 4 PORT OUTLET (2: TV, 2: RJ-45), COORD w/ OWNER
- ⊕ COMPACT FLUORESCENT LIGHT, UNO
- ⊕ THERMOSTAT CONTROL
- ⊕ SOLAR TUBE w/ EXHAUST FAN & FLUORESCENT LIGHT FIXTURE

⊕ SOLAR TUBE w/ FLUORESCENT LIGHT FIXTURE

⊕ WALL OR CEILING MOUNTED SPEAKERS, COORD w/ OWNER

⊕ SURFACE MOUNTED COMBINATION CEILING FAN/ LIGHTING FIXTURE

LED LIGHTING SYSTEM & GU-24 LAMP HOLDER SHALL BE LISTED BY ENERGY COMMISSION & SHALL MEET THE REQUIREMENT OF TABLE 150-C

WATTS	LUMENS/ WATTS
5 OR LESS	30
5 TO 15	40
15 TO 40	50
OVER 40	60

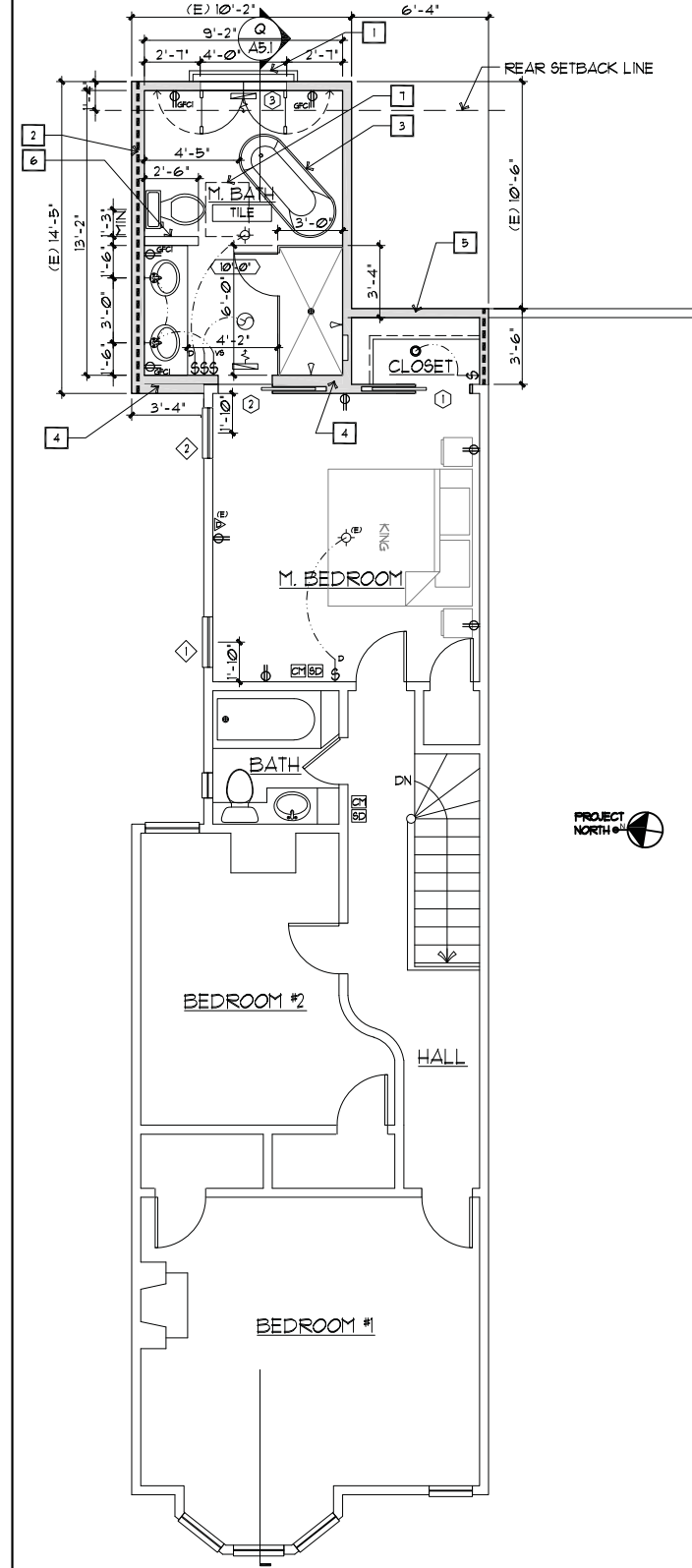
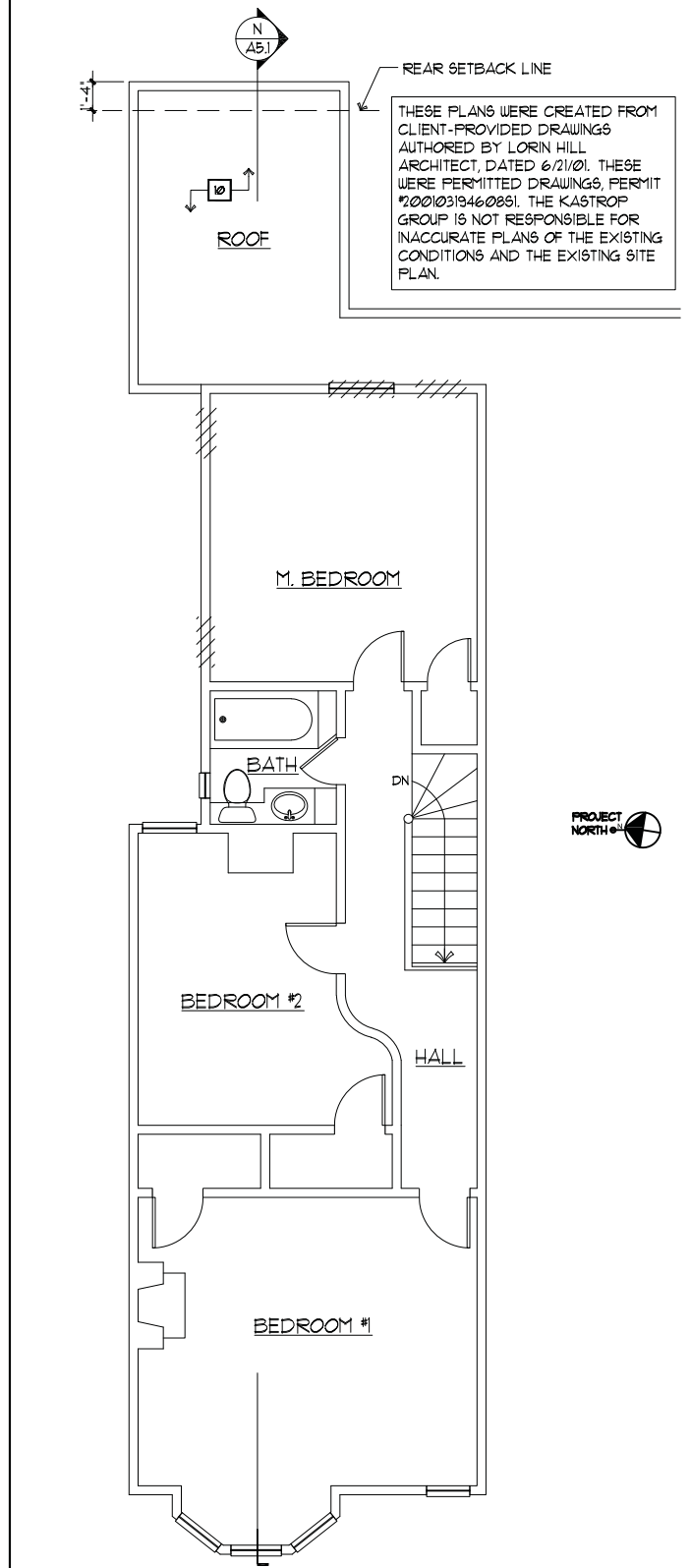
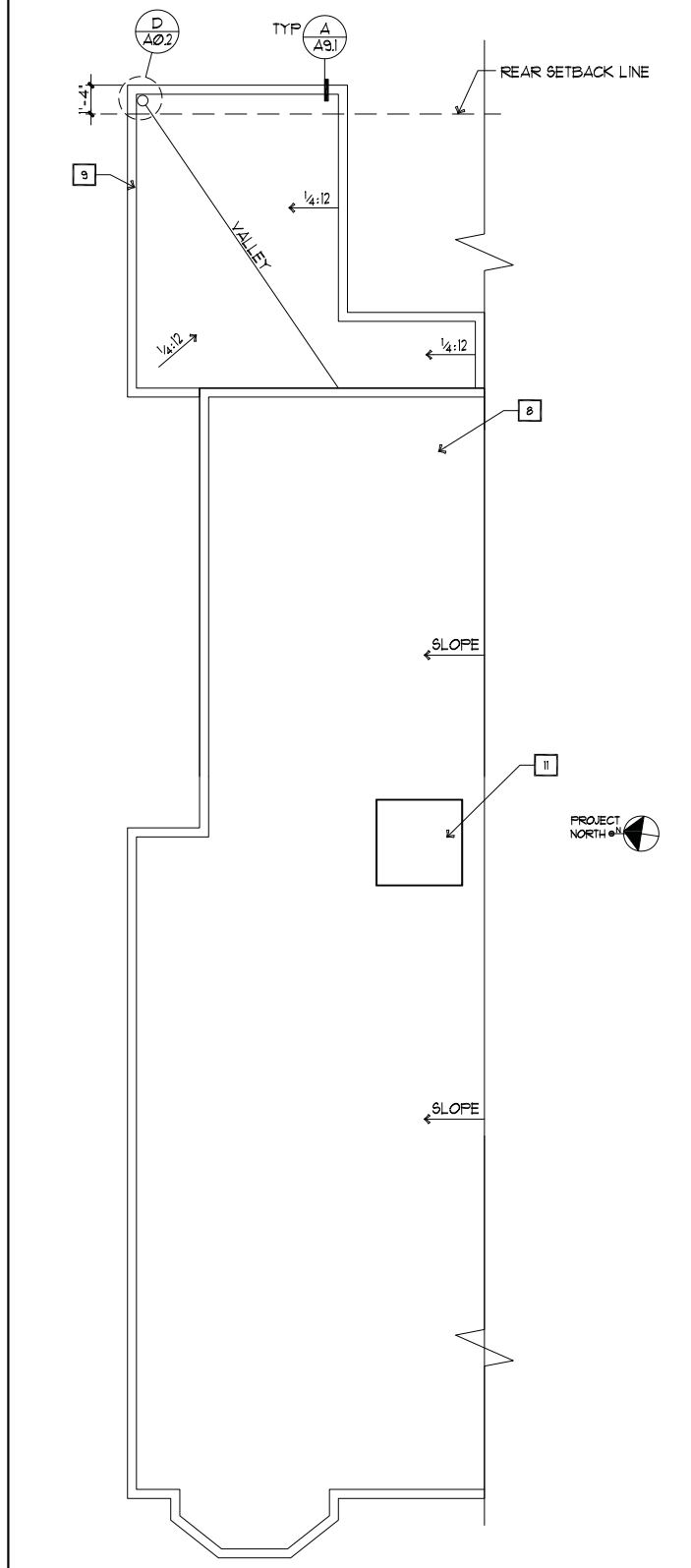
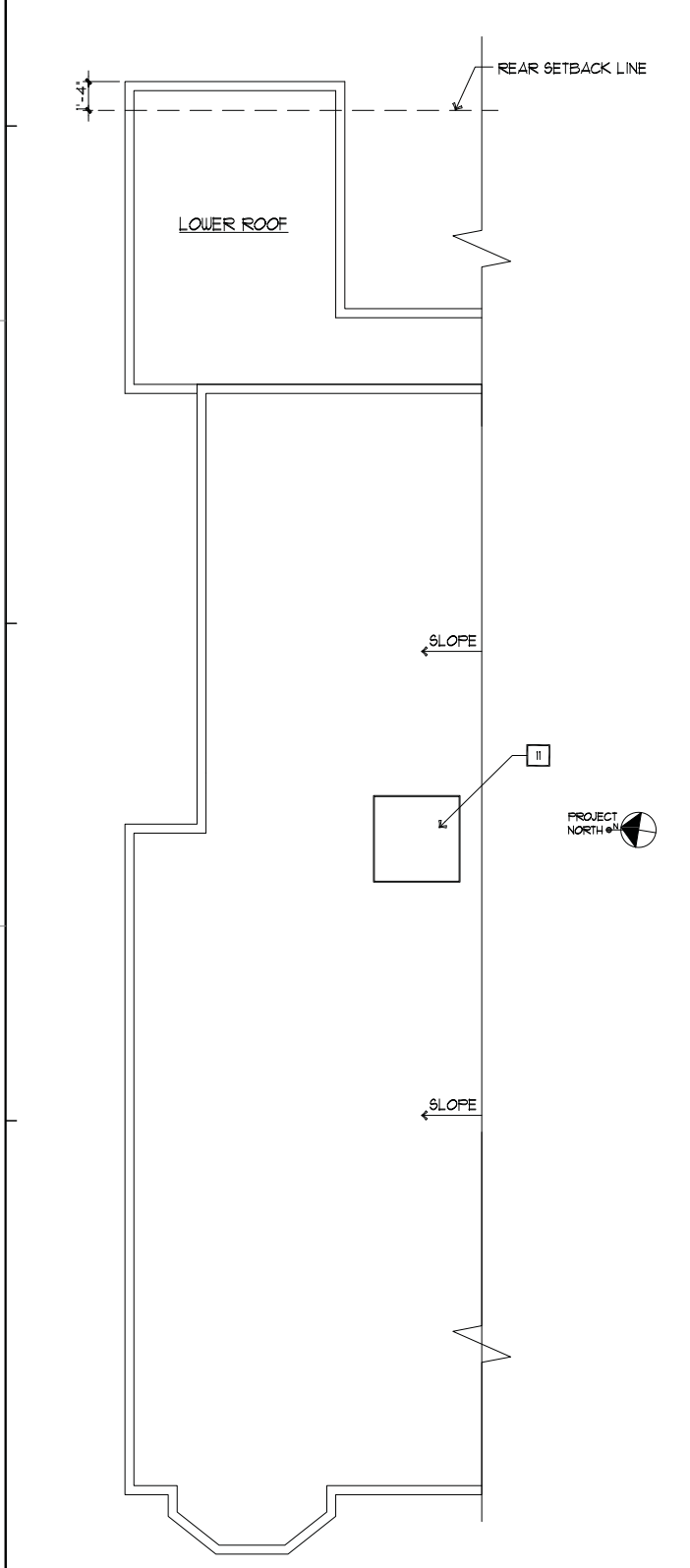
- KEY NOTES:**
1. ORNATE WROUGHT IRON 42" HIGH GUARDRAIL, NO OPENINGS SHALL BE MORE SO THAT A 4" SPHERE CAN PASS. COORDINATE FINAL DESIGN WITH OWNER.
 2. 2x6 PLUMBING WALL, ONE-HOUR RATED WALL D/A10
 3. COORDINATE FINAL LAYOUT OF TUB WITH SHOWER, TOILET & DOOR SWING
 4. FUR OUT WALL FOR PLUMBING & ELECTRICAL.
 5. ALIGN WITH WALL BELOW.
 6. TILED HALF WALL, COORDINATE WITH OWNER.
 7. 24" DEEP BY 30" WIDE CLEAR IN FRONT OF TOILET, COORDINATE WITH TUB.
 8. (E) ROOFING TO REMAIN, VIF IF ADDITIONAL DRAINAGE IS REQUIRED.
 9. ONE HOUR RATED WALL
 10. REMOVE ROOFING MATERIALS
 11. (E) SKYLIGHT

- LEGEND:**
- ⊕ DOOR TAGS - SEE DOOR & HARDWARE SCHEDULE
 - ⊕ KEY NOTE TAGS - SEE KEY NOTES & LEGEND THIS SHEET
 - ⊕ WINDOW TAGS - SEE WINDOW SCHEDULE
 - ONE-HOUR RATED WALL, 3" TYPE-X GYP BD, MUD & FIRE TAPE
 - (E)-0" FINISHED CEILING HEIGHT
 - /// AREA TO BE DEMOLISHED
 - (E) WALLS TO REMAIN
 - == NEW WALLS

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ELEC/ MECH LEGEND & NOTES

M KEYNOTES & LEGEND



THESE PLANS WERE CREATED FROM CLIENT-PROVIDED DRAWINGS AUTHORED BY LORIN HILL ARCHITECT, DATED 6/21/01. THESE WERE PERMITTED DRAWINGS, PERMIT 20010319460851. THE KASTROP GROUP IS NOT RESPONSIBLE FOR INACCURATE PLANS OF THE EXISTING CONDITIONS AND THE EXISTING SITE PLAN.

(E) ROOF PLAN

1/4"=1'-0" S

PROPOSED ROOF PLAN

1/4"=1'-0" N

(E) SECOND FLOOR PLAN

1/4"=1'-0" E

PROPOSED SECOND FLOOR PLAN

1/4"=1'-0" A

RESIDENTIAL REMODEL/ ADDITION

SHESTAKOVA + DETERMANN RESIDENCE

1926 DIVISADERO STREET
 SAN FRANCISCO, CA 94115

ORIGINAL SIGNATURE IN BLUE INK

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SHEET TITLE:
 EXISTING 2ND FLOOR PLAN
 PROPOSED 2ND FLOOR PLAN
 ELEC/ MECH LEGEND & NOTES

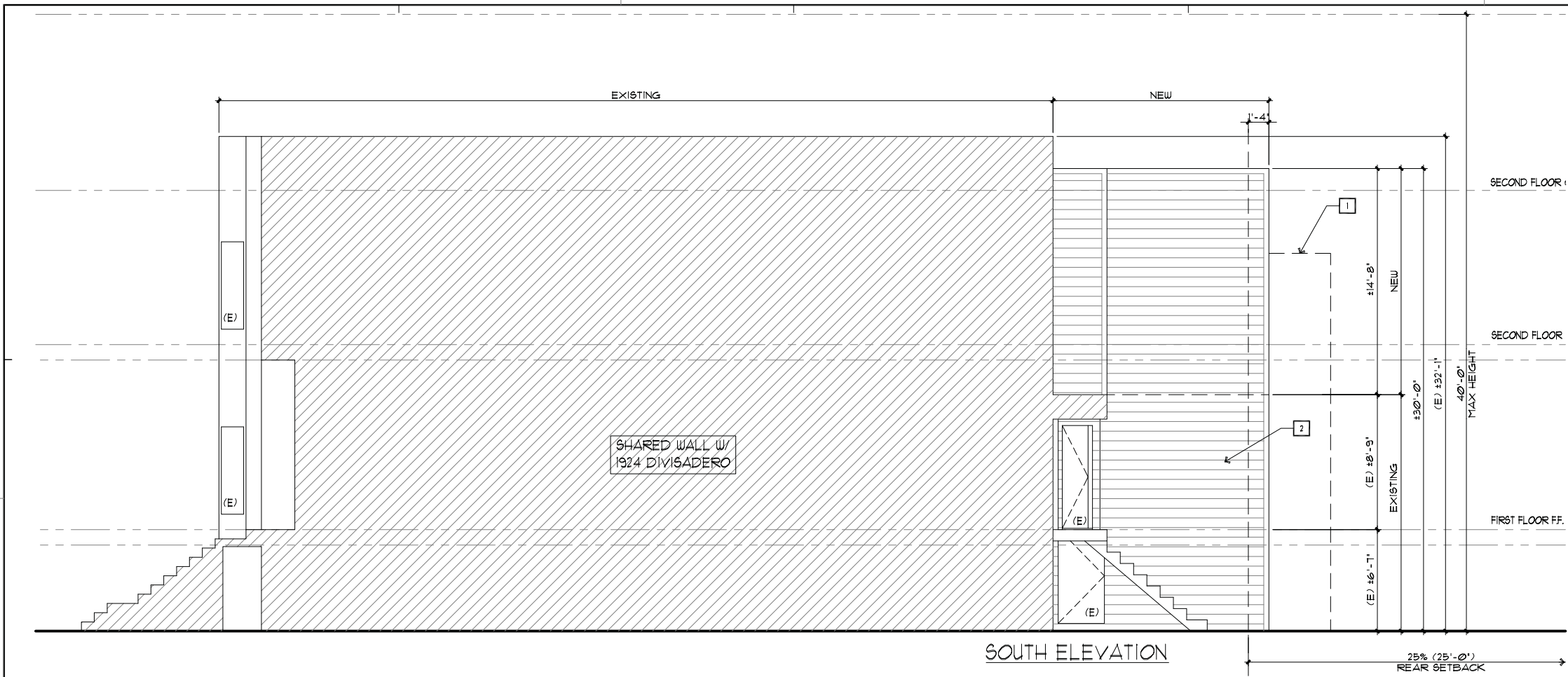
DATE	ISSUE TITLE
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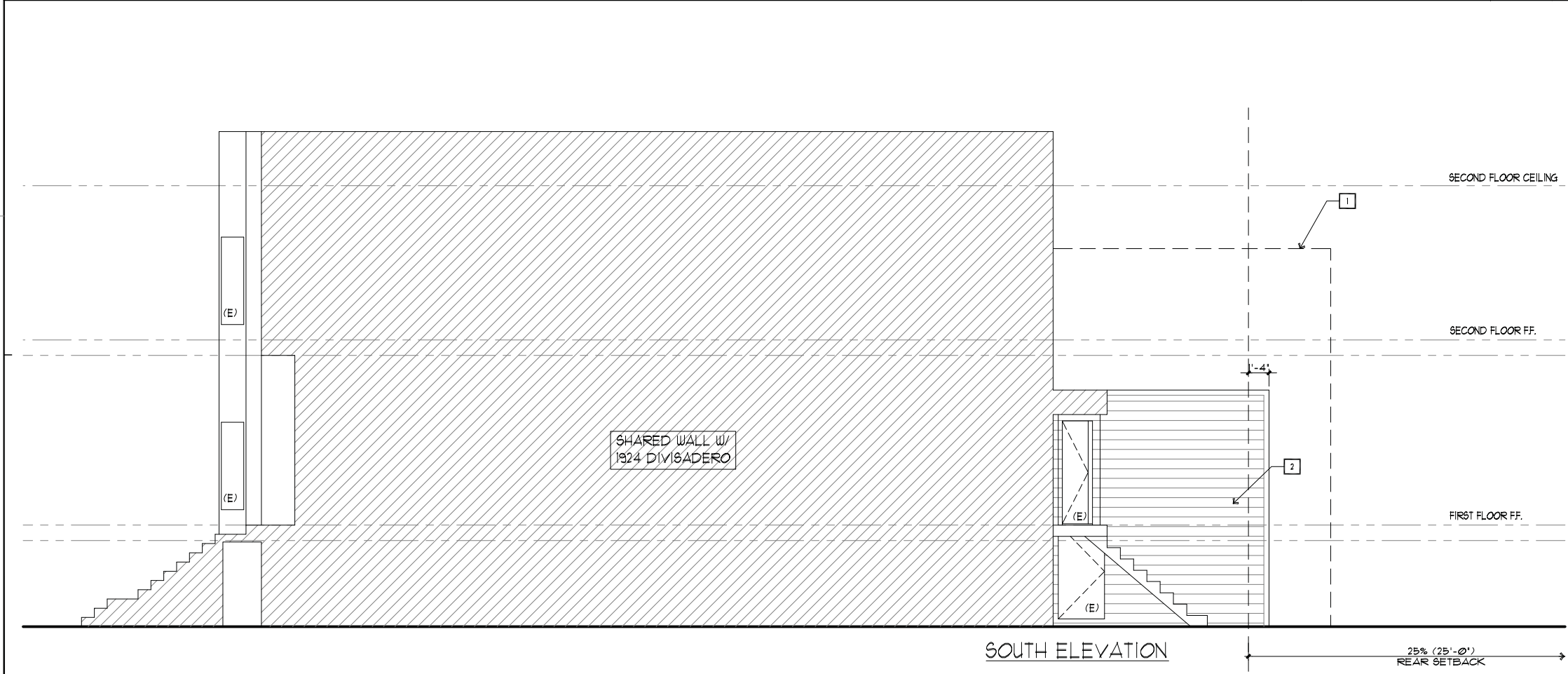
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OF 20

BLDG PERMIT APP NO.



PROPOSED SOUTH ELEVATION



(E) SOUTH ELEVATION

KEY NOTES:
 1. (E) LINE OF ADJACENT BUILDING (1934 DIVISADERO STREET)
 2. (E) SIDING

LEGEND:
 (S) DOOR TAGS - SEE DOOR & HARDWARE SCHEDULE
 (2) KEY NOTE TAGS - SEE KEY NOTES & LEGEND THIS SHEET
 (W) WINDOW TAGS - SEE WINDOW SCHEDULE
 --- ONE-HOUR RATED WALL, 3/8" TYPE-X GYP BD, MUD & FIRE TAPE
 (8'-0") FINISHED CEILING HEIGHT
 [Hatched Area] AREA TO BE DEMOLISHED
 (E) WALLS TO REMAIN
 [Solid Line] NEW WALLS

KEY NOTES & LEGEND

THE KASTROP GROUP, INC.
 ARCHITECTS
 160 BIRCH STREET, SUITE B
 REDWOOD CITY, CA 94062
 T: 650.299.0303
 www.kastropgroup.com

RESIDENTIAL REMODEL/ ADDITION
SHESTAKOVA + DETERMANN RESIDENCE
 1926 DIVISADERO STREET
 SAN FRANCISCO, CA 94115

ORIGINAL SIGNATURE IN BLUE INK

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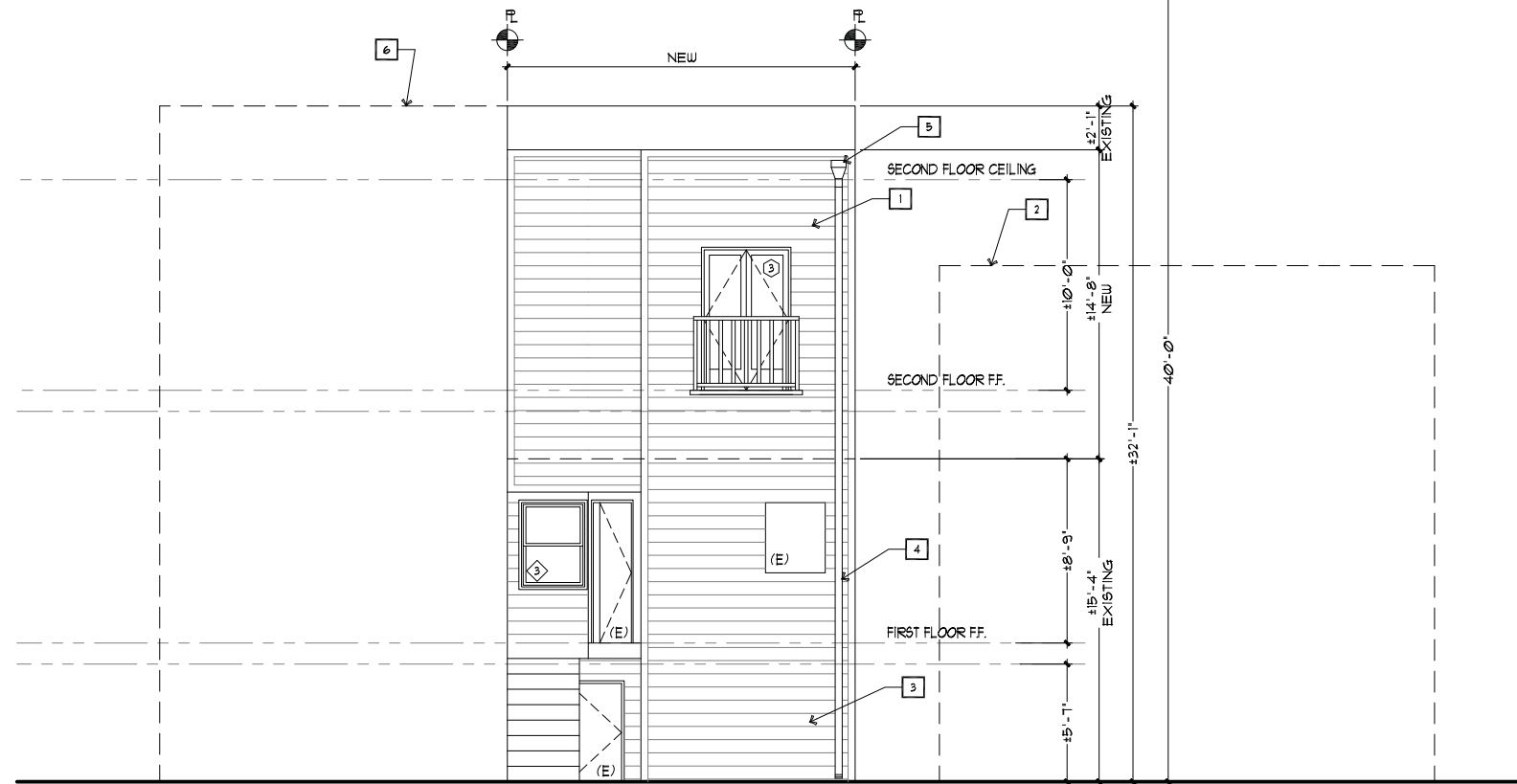
SHEET TITLE:
 PROPOSED SOUTH ELEVATION
 (E) SOUTH ELEVATION

DATE	ISSUE TITLE
4/2/18	EXISTING CONDITIONS
5/4/18	APPROVED DESIGN
8/1/18	ISSUE FOR PLAN CHECK
03/28/19	PLAN CHECK COMMENTS
07/10/19	VARIANCE APPLICATION

JOB NO: 18638
 DRAWN: NS
 CHECKED: DMK
 SCALE: AS NOTED

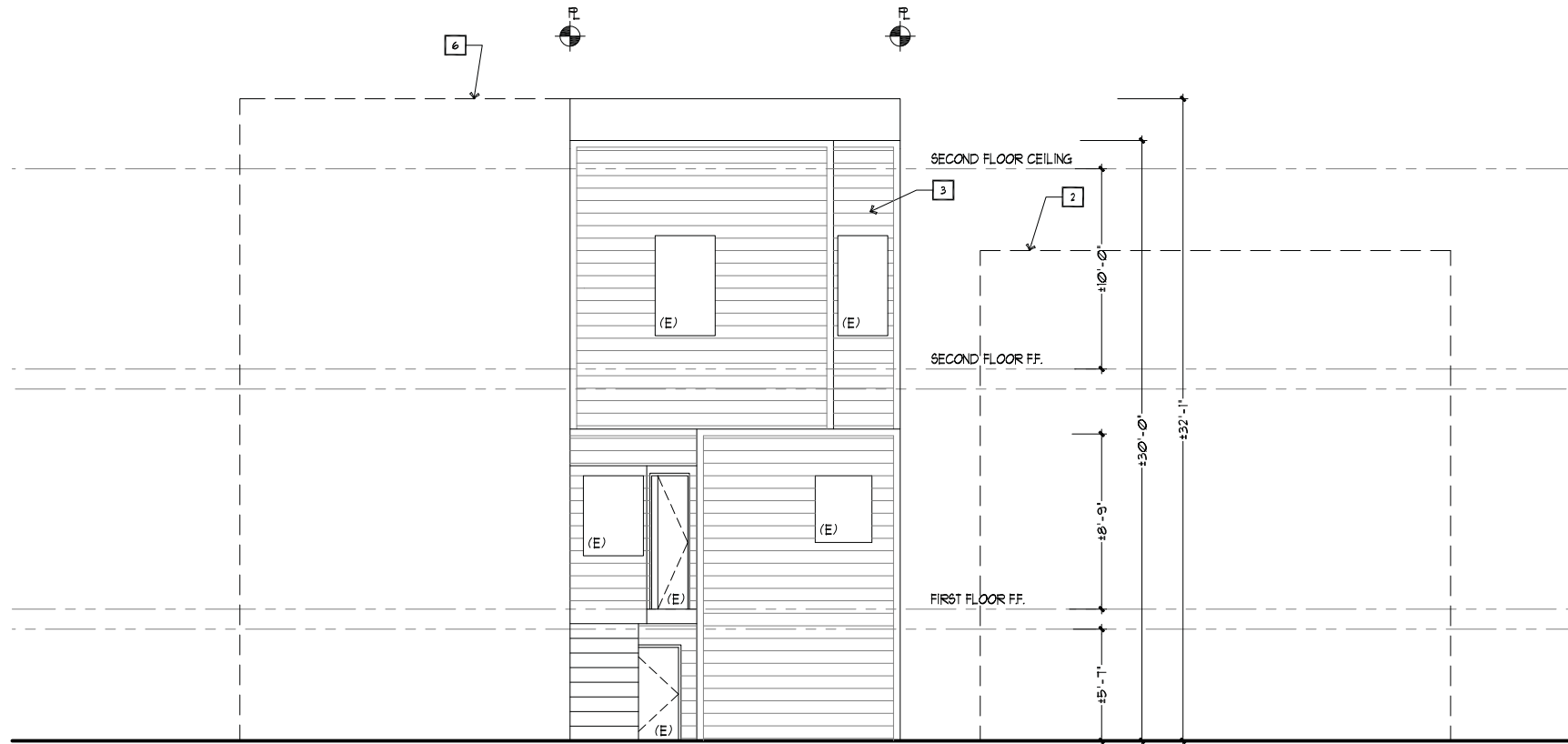
A5.0
 OF 20
 BLDG PERMIT APP NO.

1926 DIVISADERO STREET, SAN FRANCISCO, CA 94115



EAST ELEVATION

PROPOSED EAST ELEVATION



EAST ELEVATION

(E) EAST ELEVATION



KEY NOTES:

1. EXTERIOR WALL, 1/2" PAINTED REDWOOD SHIPLAP SIDING OVER 2 LAYERS OF TYPE "D" BUILDING PAPER, 1 LAYER OF 5/8" TYPE X GYP BOARD INSIDE.
2. (E) LINE OF ADJACENT BUILDING (1934 DIVISADERO STREET)
3. (E) SIDING
4. DOWNSPOUT TO 2'-0" LONG 6FLASH BLOCK, SWALE TOWARDS BACKYARD
5. SCUPPER
6. (E) LINE OF ADJACENT BUILDING (1924 DIVISADERO STREET)

LEGEND:

- Ⓢ DOOR TAGS - SEE DOOR & HARDWARE SCHEDULE
- 2 KEY NOTE TAGS - SEE KEY NOTES & LEGEND THIS SHEET
- Ⓢ WINDOW TAGS - SEE WINDOW SCHEDULE
- ONE-HOUR RATED WALL, 5/8" TYPE-X GYP BD, MUD & FIRE TAPE
- (8'-0") FINISHED CEILING HEIGHT
- ▨ AREA TO BE DEMOLISHED
- (E) WALLS TO REMAIN
- ▬ NEW WALLS

KEY NOTES & LEGEND

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 SAN FRANCISCO, CA 94115

ORIGINAL SIGNATURE IN BLUE INK



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SHEET TITLE:
 PROPOSED EAST ELEVATION
 (E) EAST ELEVATION

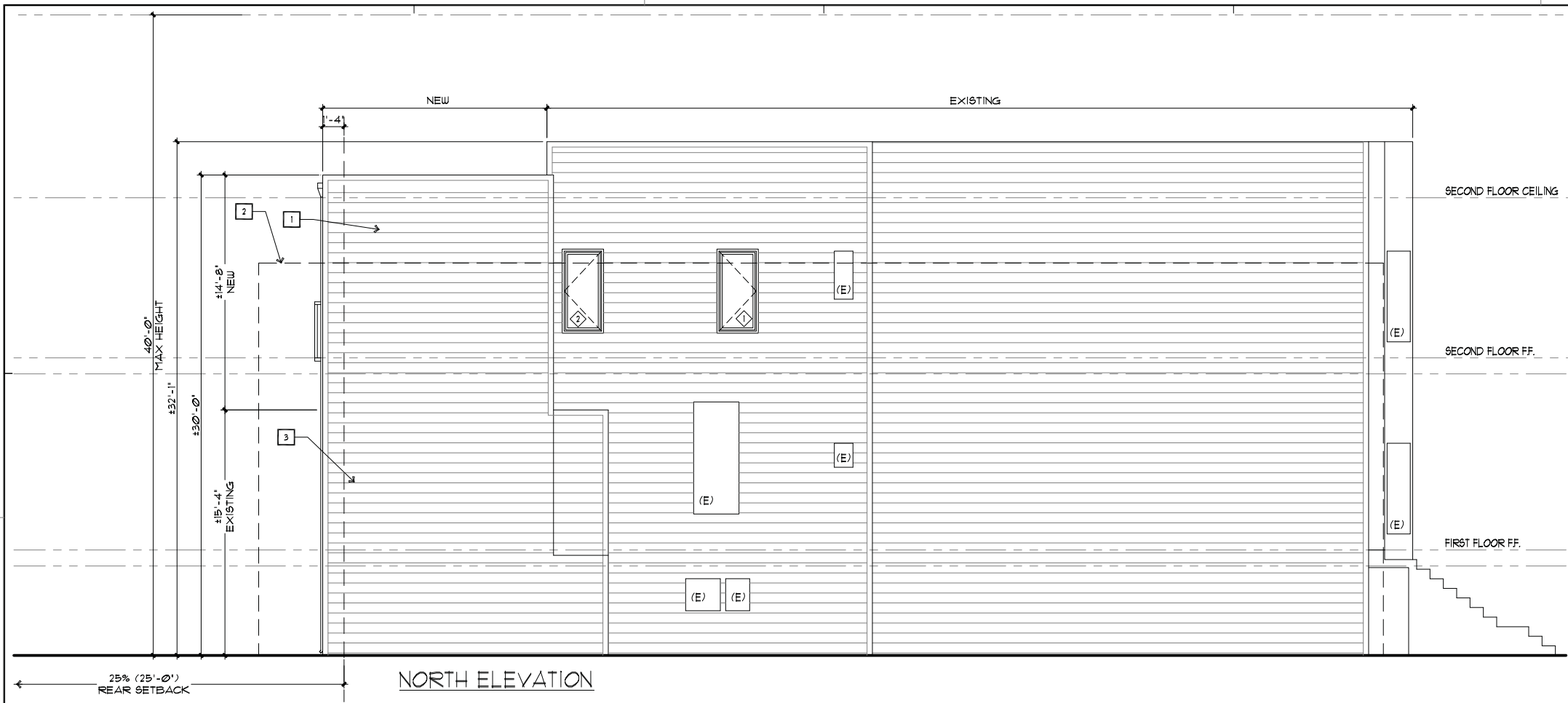
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4/2/18	EXISTING CONDITIONS
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8/1/18	ISSUE FOR PLAN CHECK
03/28/19	PLAN CHECK COMMENTS
07/10/19	VARIANCE APPLICATION

JOB NO: 18638
 DRAWN: NS
 CHECKED: DMK
 SCALE: AS NOTED

A5.1

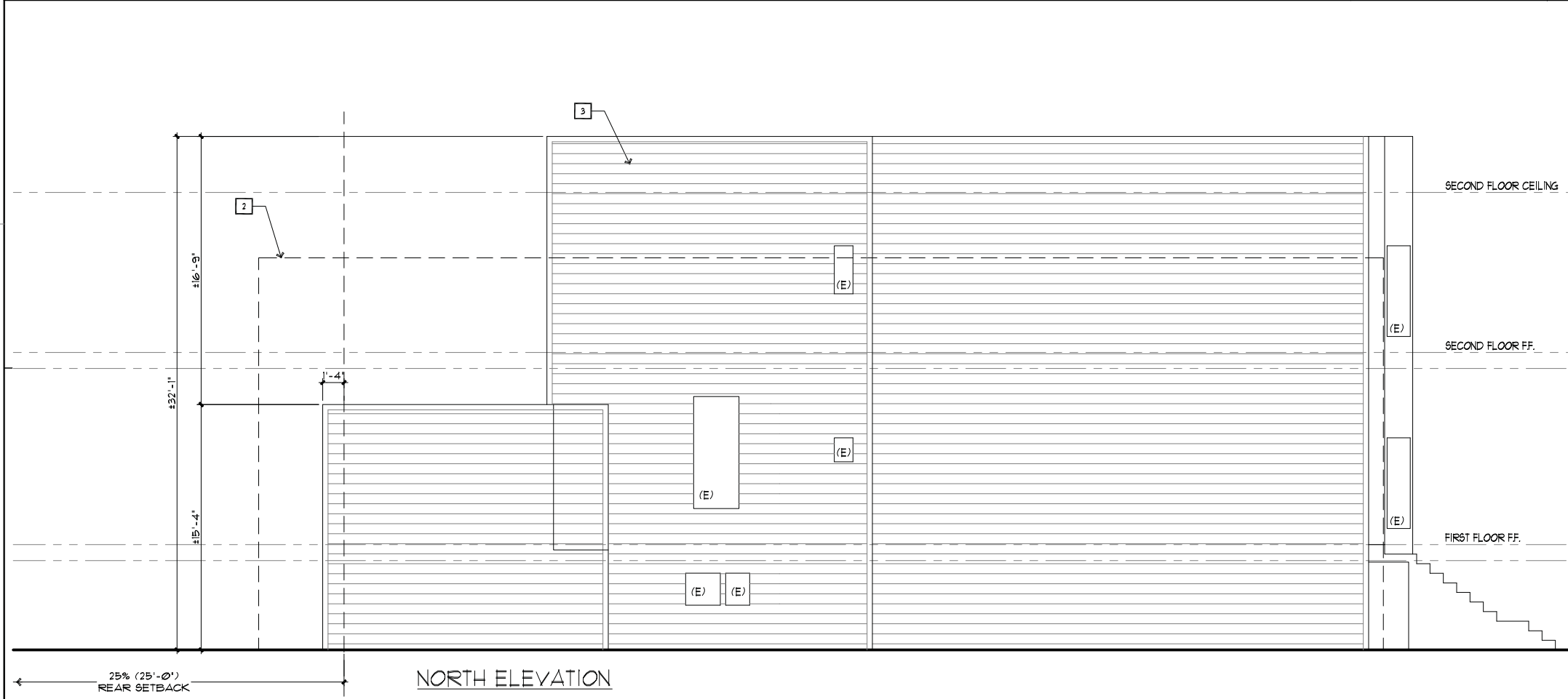
OF 20
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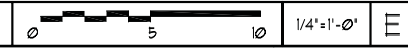
NORTH ELEVATION

PROPOSED NORTH ELEVATION



NORTH ELEVATION

(E) NORTH ELEVATION



KEY NOTES:

1. EXTERIOR WALL ONE HOUR RATED, 1/2" PAINTED REDWOOD SHIPLAP SIDING OVER 2 LAYERS OF TYPE "D" BUILDING PAPER, 2 LAYERS OF 5/8" TYPE X GYP BOARD, 1 LAYER EACH SIDE OF STUDS FOR NEW WALLS AT PROPERTY LINE.
2. (E) LINE OF ADJACENT BUILDING (1834 DIVISADERO STREET)
3. (E) SIDING

LEGEND:

- Ⓢ DOOR TAGS - SEE DOOR & HARDWARE SCHEDULE
- 2 KEY NOTE TAGS - SEE KEY NOTES & LEGEND THIS SHEET
- Ⓢ WINDOW TAGS - SEE WINDOW SCHEDULE
- ONE-HOUR RATED WALL, 5/8" TYPE-X GYP BD, MUD & FIRE TAPE
- Ⓢ FINISHED CEILING HEIGHT
- ▨ AREA TO BE DEMOLISHED
- (E) WALLS TO REMAIN
- ▬ NEW WALLS

KEY NOTES & LEGEND

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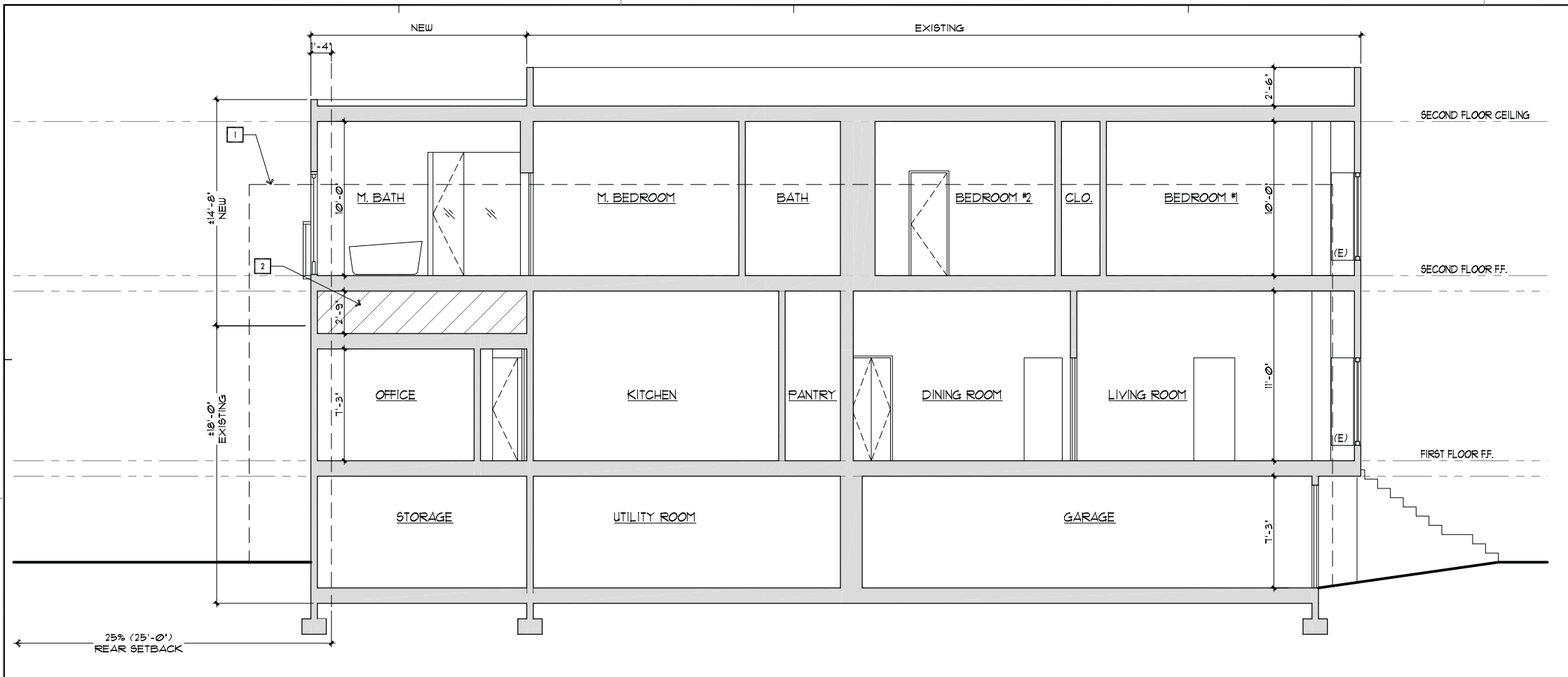
SHEET TITLE:
 PROPOSED NORTH ELEVATION
 (E) NORTH ELEVATION

DATE	ISSUE TITLE
4/2/18	EXISTING CONDITIONS
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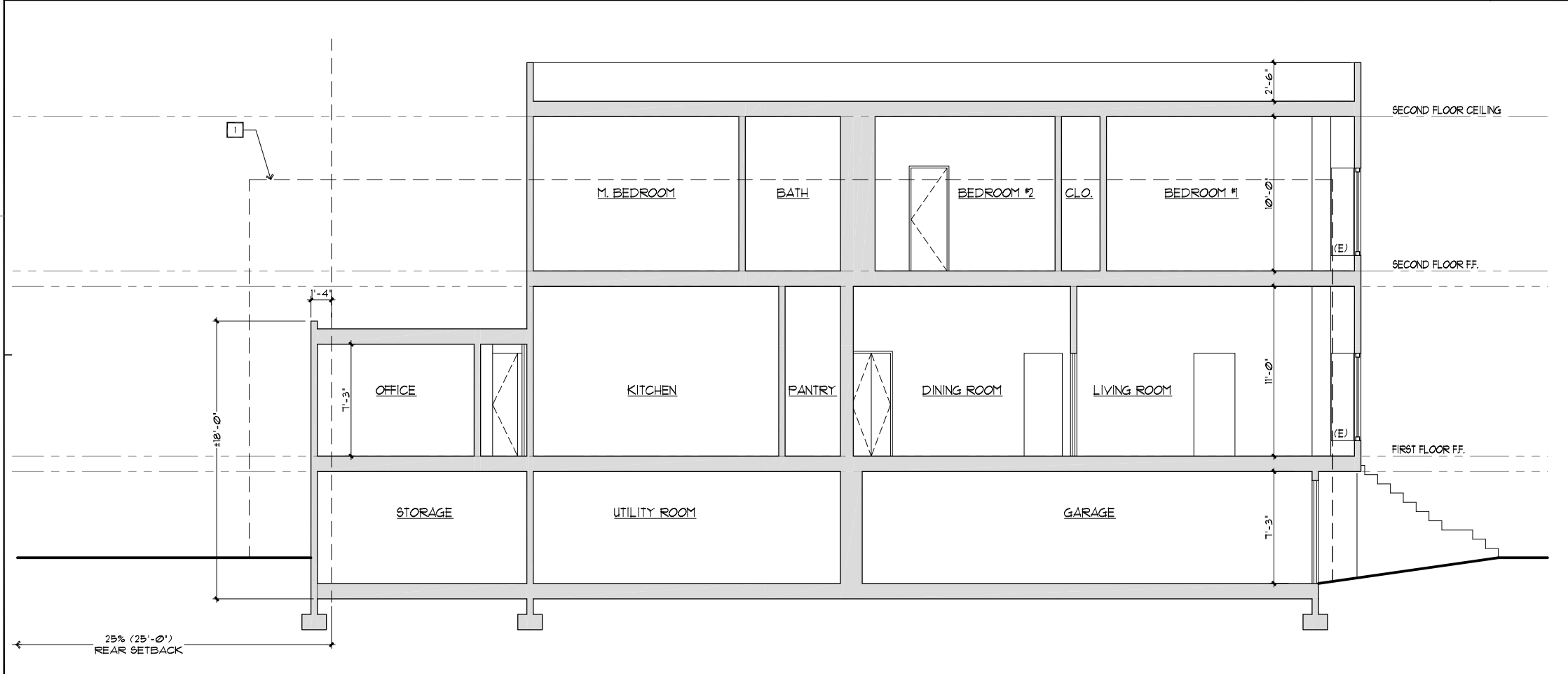
JOB NO: 18638
 DRAWN: NS
 CHECKED: DMK
 SCALE: AS NOTED

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 BLDG PERMIT APP NO.

1834 DIVISADERO STREET, SAN FRANCISCO, CA 94115



PROPOSED CROSS SECTION



(E) CROSS SECTION



KEY NOTES:
 1. (E) LINE OF ADJACENT BUILDING (1934 DIVISADERO STREET)
 2. ANCILLARY SPACE

- LEGEND:
- Ⓢ DOOR TAGS - SEE DOOR & HARDWARE SCHEDULE
 - 2 KEY NOTE TAGS - SEE KEY NOTES & LEGEND THIS SHEET
 - Ⓢ WINDOW TAGS - SEE WINDOW SCHEDULE
 - ONE-HOUR RATED WALL, 3/8" TYPE-X GYP BD, MUD & FIRE TAPE
 - (8'-0") FINISHED CEILING HEIGHT
 - ▨ AREA TO BE DEMOLISHED
 - (E) WALLS TO REMAIN
 - NEW WALLS

KEY NOTES & LEGEND

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SHEET TITLE:
 PROPOSED CROSS SECTION
 (E) CROSS SECTION

DATE	ISSUE TITLE
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A5.3
 OF 20
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