



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis HEARING DATE: SEPTEMBER 5, 2019

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: August 26, 2019
Case No.: **2018-013006DRP**
Project Address: **550 10th Avenue**
Permit Application: 2018.0927.1583
Zoning: RH-1(D) [Residential House, One-Family-Detached]
40-X Height and Bulk District
Block/Lot: 1552/035
Project Sponsor: Tom Tunny
Rueben Junius and Rose
1 Bush Street, suite 600
San Francisco, CA 94104
Staff Contact: David Winslow – (415) 575-9159
David.Winslow@sfgov.org
Recommendation: **Take DR and Approve with Modifications**

PROJECT DESCRIPTION

The project consists of legalizing the demolition and replacement of a legal non-complying 2-car garage under an expanded deck in the required rear yard. Planning Code Section 134 requires the subject property to maintain a rear yard of approximately 30 feet. The proposed work would replace and relocate an existing rear garage entirely within the rear yard with one that encroaches 5' into the rear yard below an existing stair and deck which would be expanded by approximately 5'.

SITE DESCRIPTION AND PRESENT USE

The site is a 4,678 s.f lot with an existing 3-story, 4,200 s.f. single-family house built in 1912. This appears to be one of five adjacent properties which have side yard drives that access structures in the rear yards, none of which appear to be used as garages. The building is a category 'A' historic resource.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

This block of 10th Avenue has a prevalent pattern of 3-story houses with side yards that access garages in the rear of the lots. As such, these non-complying garage structures limit the openness of the mid-block open space. The rear walls of the houses align fairly consistently with occasional small protrusions with decks.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	April 19, 2019 – May 20, 2019	5.20. 2019	9.5. 2019	108 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	20 days	August 16, 2019	August 16, 2019	20 days
Mailed Notice	20 days	August 16, 2019	August 16, 2019	20 days
Online Notice	20 days	August 16, 2019	August 16, 2019	20 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	0	0
Other neighbors on the block or directly across the street	0	0	0
Neighborhood groups	0	0	0

DR REQUESTOR

Trevor White of 540 10th Avenue, adjacent neighbor to the North of the proposed project.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

1. The proposed new location of garage structure and deck alter the prevailing pattern of the immediate properties and;
2. The proposed massing impacts the privacy and light to the rear yard;
3. The addition impacts access to mid-block open space from the neighboring yard.

See attached *Discretionary Review Application*, dated May 17, 2019.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

The sponsor has complied with the Residential Design Guideline (RDGs) enumerated below, in relation to building massing at the rear to address issues related to scale at the street and mid-block open space, light and privacy. The project complies with the Code and the Residential Design Guidelines.

See attached *Response to Discretionary Review*, dated August 20, 2019.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

DEPARTMENTAL REVIEW

TIMELINE OF EVENTS

2014

- Building Permit No. 201411040689 – Issued for interior remodel and sheetrock replacement.
- **Building Permit No. 201412304760** – Originally issued in 2014 to “convert existing storage to new garage, demo existing front wall for a new garage door”; SUSPENDED in 2018 due to **Complaint No. 201866980, Complaint No. 201870336, and Enforcement Case No. 2018-007729ENF.**

2015

- Building Permit No. 201511172851 – Issued for new gable, roof deck, 2nd story deck, replacement of shingle roof and windows (in-kind).
- Complaint No. 201522751 – Interior work without a permit – Case Closed in 2017; permit BPA #201412304760 on file for the work.
- Complaint No. 201542331 – Façade Changes, including the creation of a below-grade garage – Case Closed in 2017, deemed to be duplicative of the above complaint case.
- Complaint No. 201543351 – Interior work without a permit – Case Closed in 2017; renewal permit for original permit (BPA #201412304760).

2016

- Complaint No. 201634901 – Work without a permit on roof – Case Closed in 2016; Roof being constructed per plans.
- Complaint No. 201640901 – Garage demolished with no permit – Case Closed in 2016; Garage listed on plans as built “in-kind.”

2017

- Complaint No. 201778031 – Work beyond / without permit including roof deck railing not matching plans and a 2nd floor deck not built to plans – Case Closed in 2017; expired permits were renewed and site visit confirmed decks were built to plans.

2018

- Building Permit No. 201803143595 Issued for retaining wall and wood fence replacement “in-kind.”
- Complaint No. 201866984 – Work beyond scope of permit, including a “huge structure in back of house...appears to take most of yard and is quite tall” – Case Closed in 2018; deemed a duplicative complaint (see below, Complaint No. 201866980).
- Complaint No. 201866979 – Work without permit, including the removal of “(2) 35-foot pines” – Case Closed in 2018; deemed a duplicative complaint (see below, Complaint No. 201866980).
- Complaint No. 201866987 – Work without permit for a garage – Case Closed in 2018; deemed a duplicative complaint (see below, Complaint No. 201866980).
- Complaint No. 201866981 – Work Without permit for a garage – Case Closed in 2018; deemed a duplicative complaint (see below, Complaint No. 201866980).

- **Complaint No. 201866980** – Work without permit including an illegal residential unit in a large, new garage structure, demolition of previous garage, cut down tree, and a new garage much larger than previous garage – **ACTIVE COMPLAINT**.
- **Complaint No. 201870336** – Suspension Request / Complaint filed from the Planning Department to suspend any/all renewed permits for exceeding scope of work – **ACTIVE COMPLAINT / SUSPENSION**.
- **2018-007729ENF** – Enforcement case opened for exceeding the scope of work previously approved and demolishing a smaller structure for a much larger garage – **ACTIVE ENFORCEMENT CASE WHICH PROJECT/VARIANCE (below) IS SEEKING TO MITIGATE**.
- **2018-013006PRJ / VAR / DR** – Variance from the rear yard requirement to construct a two-car parking garage within the required rear yard and mitigate the enforcement case for illegal garage construction – **ACTIVE; COMMISSION HEARING**.

2019

- **Building Permit No. 201907105558** – For the work under 2018-013006PRJ/VAR/DR – TRIAGE until hearing results.

In light of the DR request, this project was reviewed by Residential Design Advisory Team which concluded that there unusual and extraordinary circumstances with respect to the project. Specifically:

1. Though the argument can be made that the proposed garage decreases the level of Code non-compliance from the original location of a storage structure / garage, the deck on top of it along the adjacent property line to the North creates additional mass and privacy impacts to the adjacent neighbor and DR requestor.
2. The impacts of the proposed deck structure with respect to impacting access to mid-block open space are compounded by the effect the adjacent property's rear structure.
3. Staff recommends a 3' set back from the North property line for both the deck and stair, thereby providing a reasonable buffer between neighboring properties and minimizing the additional height of a solid fire rated wall.

RECOMMENDATION: Take DR and Approve with Modifications

Attachments:

Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photographs
Section 311 Notice
CEQA Determination
DR Application
Response to DR Application dated August 20, 2019
Reduced Plans



SAN FRANCISCO PLANNING DEPARTMENT

Suspension Request

June 1, 2018

Tom Hui, CBO, SE
Director
Department of Building Inspection
1660 Mission Street
San Francisco, CA 94103

Building Application Nos.: 201509096433
Property Address: 550 10th Avenue
Block and Lot 1552/035
Zoning District: RH-1(D) (Residential, House, One-Family Detached)
Staff Contact: Natalia Kwiatkowska – (415) 575-9185
natalia.kwiatkowska@sfgov.org

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Dear Mr. Hui,

This letter is to request that the Department of Building Inspection (DBI) suspend **Building Permit Application No. 2015.09.09.6433** for the property at **550 10th Avenue**.

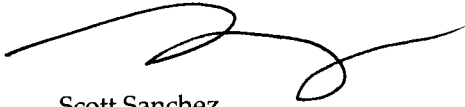
The Planning Department has received a complaint that the Permit Holder has reconstructed the garage structure at the rear of the subject property and exceeded the scope of work authorized under the subject permit. The garage structure is located within the required rear yard and its reconstruction would require a variance (to date, no variance has been issued for the subject work). In reviewing the subject permit, the permit description does not contain any reference to garage reconstruction and the Planning Department's approval of the permit does not contain any reference to garage reconstruction. Further, the scope of work stated on the subject plans does not include any reference to the reconstruction of the garage. This work is not described on the site plan, the legend on the floor and foundation plans clearly show all elements to remain, and the existing and proposed conditions both show the structure as "E" (existing). While the ground floor plan states "rotting garage to be rebuilt in kind" the combined permit and plans do not clearly or consistently depict or authorize such work. Further, such work would require a variance, which has not been obtained.

In light of this information, the Planning Department respectfully requests **suspension of Building Permit Application No. 2015.09.09.6433** and **all work on the garage structure** to allow the Permit Holder time to file a permit to address the unpermitted work at the subject property.

Tom Hui, Director DBI
Suspension Request
550 10th Avenue
June 1, 2018

APPEAL: Any aggrieved person may appeal this letter to the Board of Appeals within fifteen (15) days after the date of the issuance of this letter. For further information, please contact the Board of Appeals in person at 1650 Mission Street, Room 304, or call 575-6880.

Sincerely,

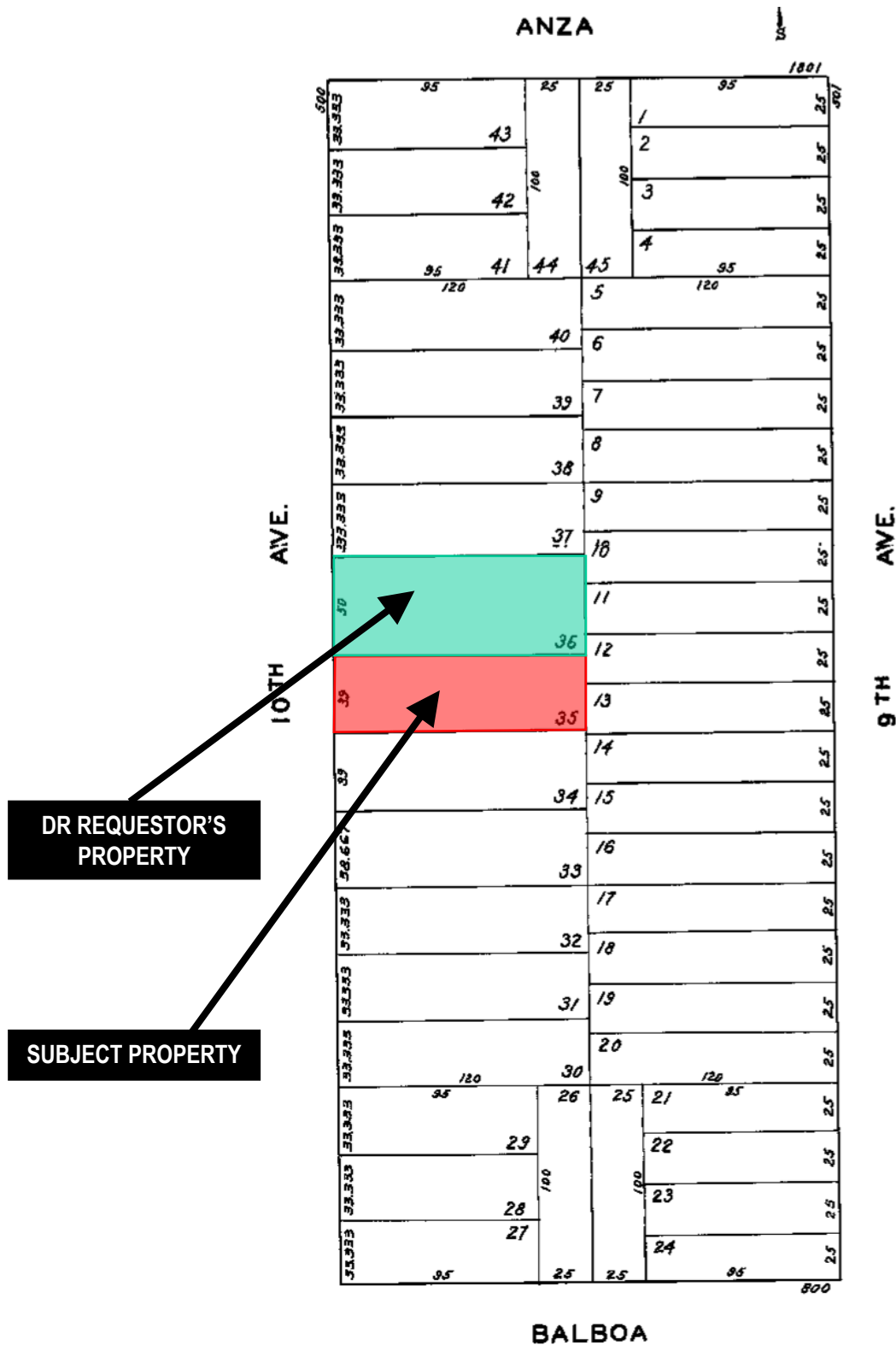
A handwritten signature in black ink, appearing to read 'Scott Sanchez', with a stylized, looping flourish extending to the right.

Scott Sanchez
Zoning Administrator

CC: Keith Goodman, 388 2nd Avenue, San Francisco, CA 94118 (property owner)
Tina Tam, Planning Department
Natalia Kwiatkowska, Planning Department

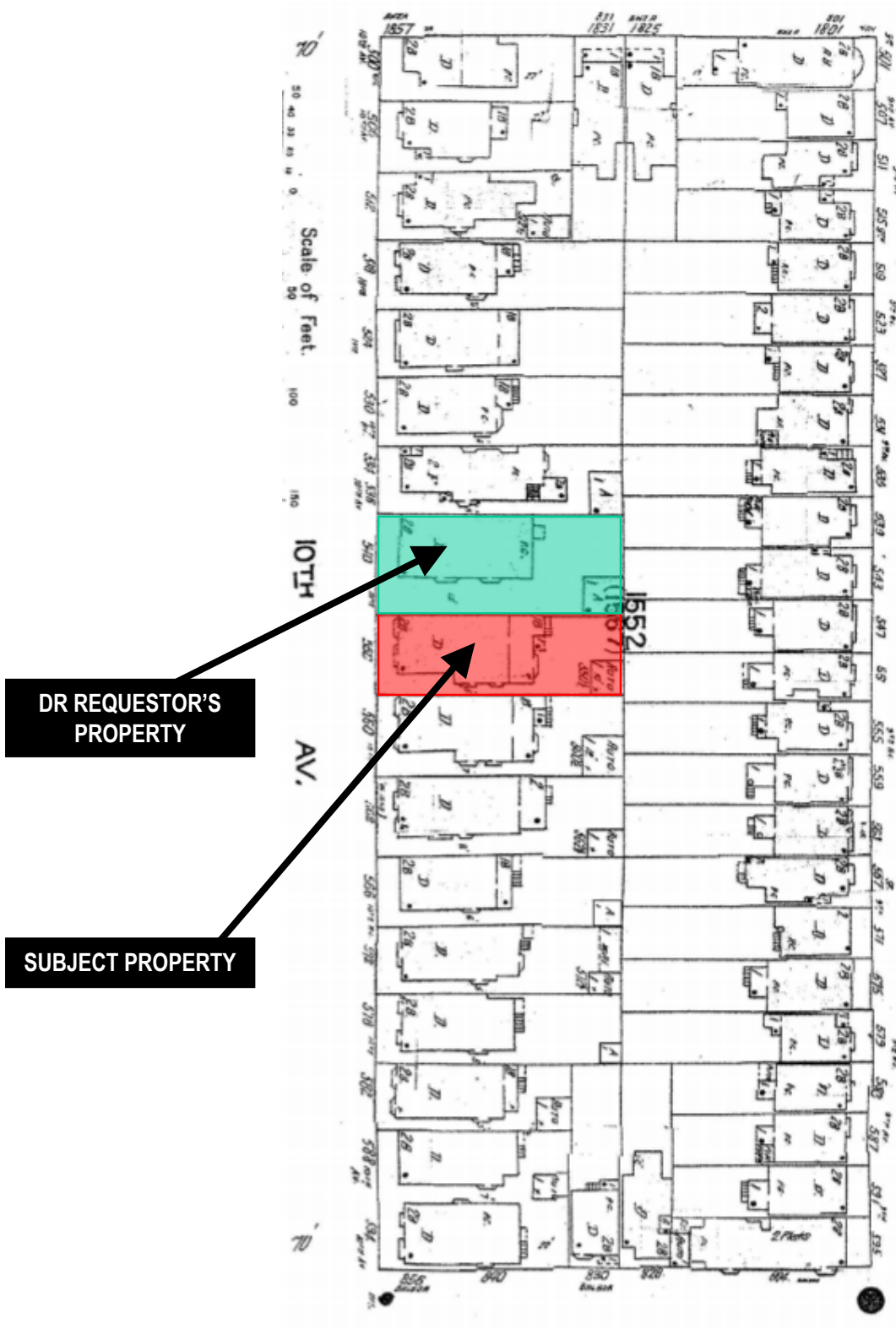
Exhibits

Parcel Map



Discretionary Review Hearing
Case Number 2018-013006DRP
550 10th Avenue

Sanborn Map*

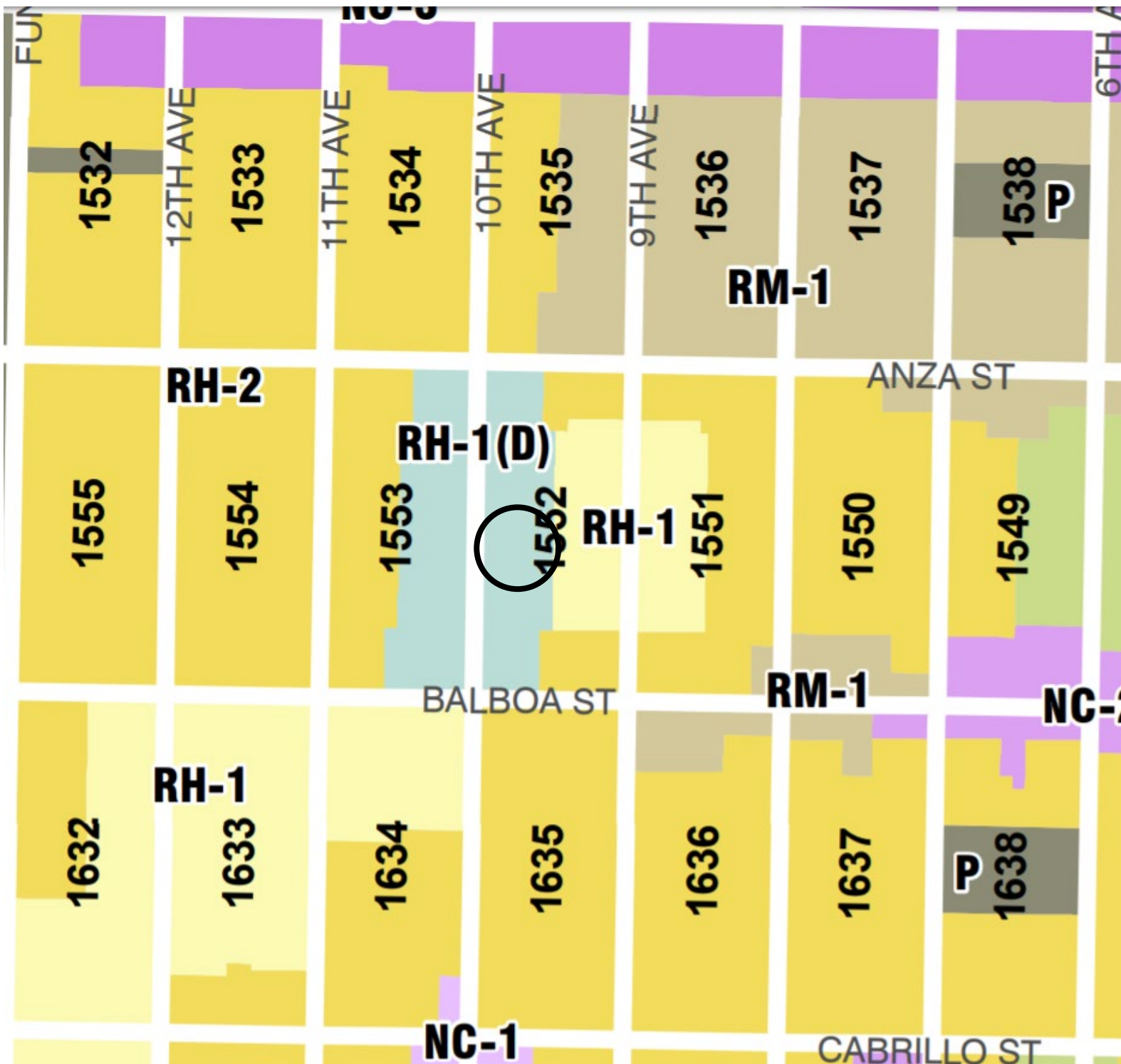


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



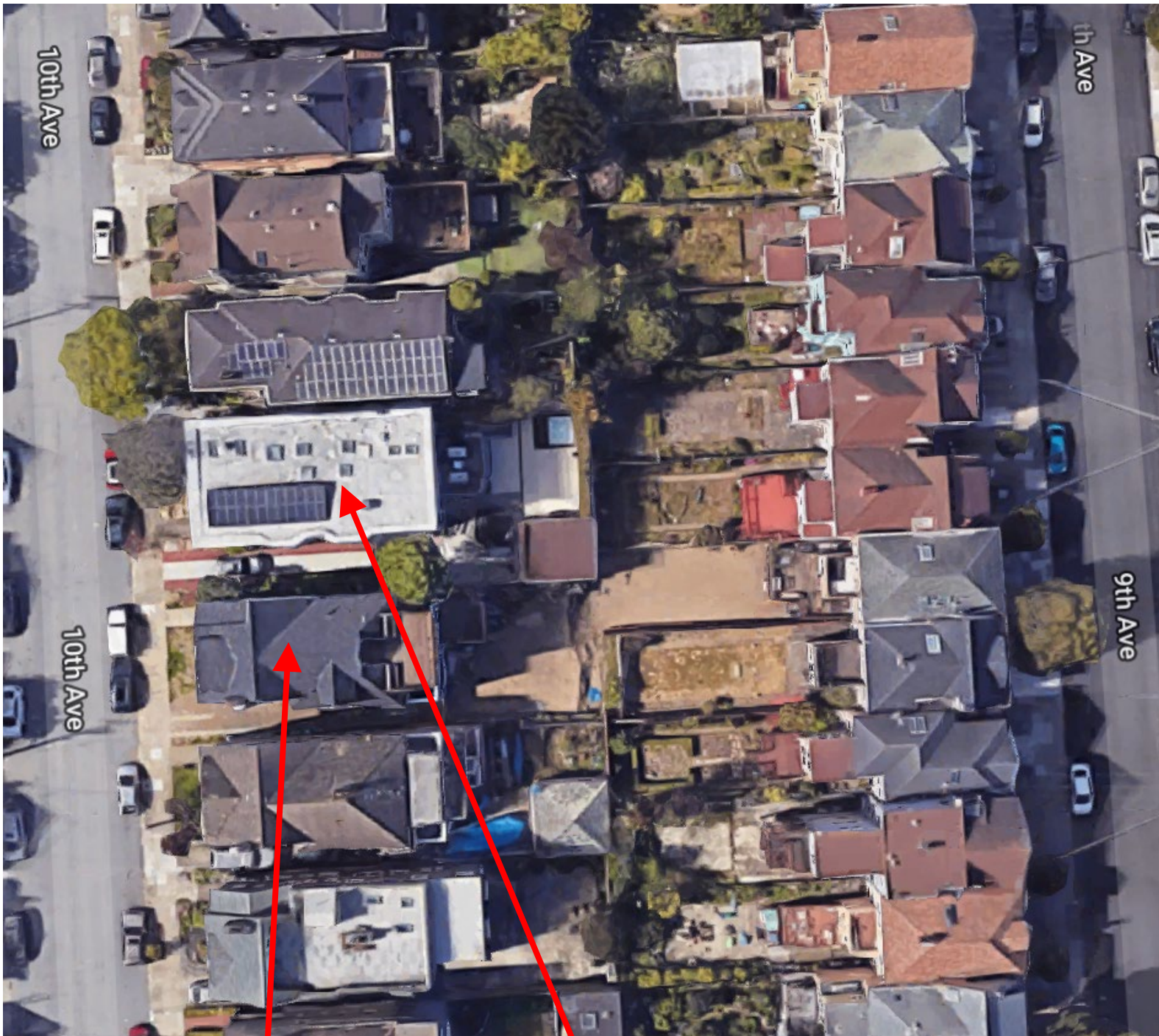
Discretionary Review Hearing
Case Number 2018-013006DRP
550 10th Avenue

Zoning Map



Discretionary Review Hearing
Case Number 2018-013006DRP
550 10th Avenue

Aerial Photo



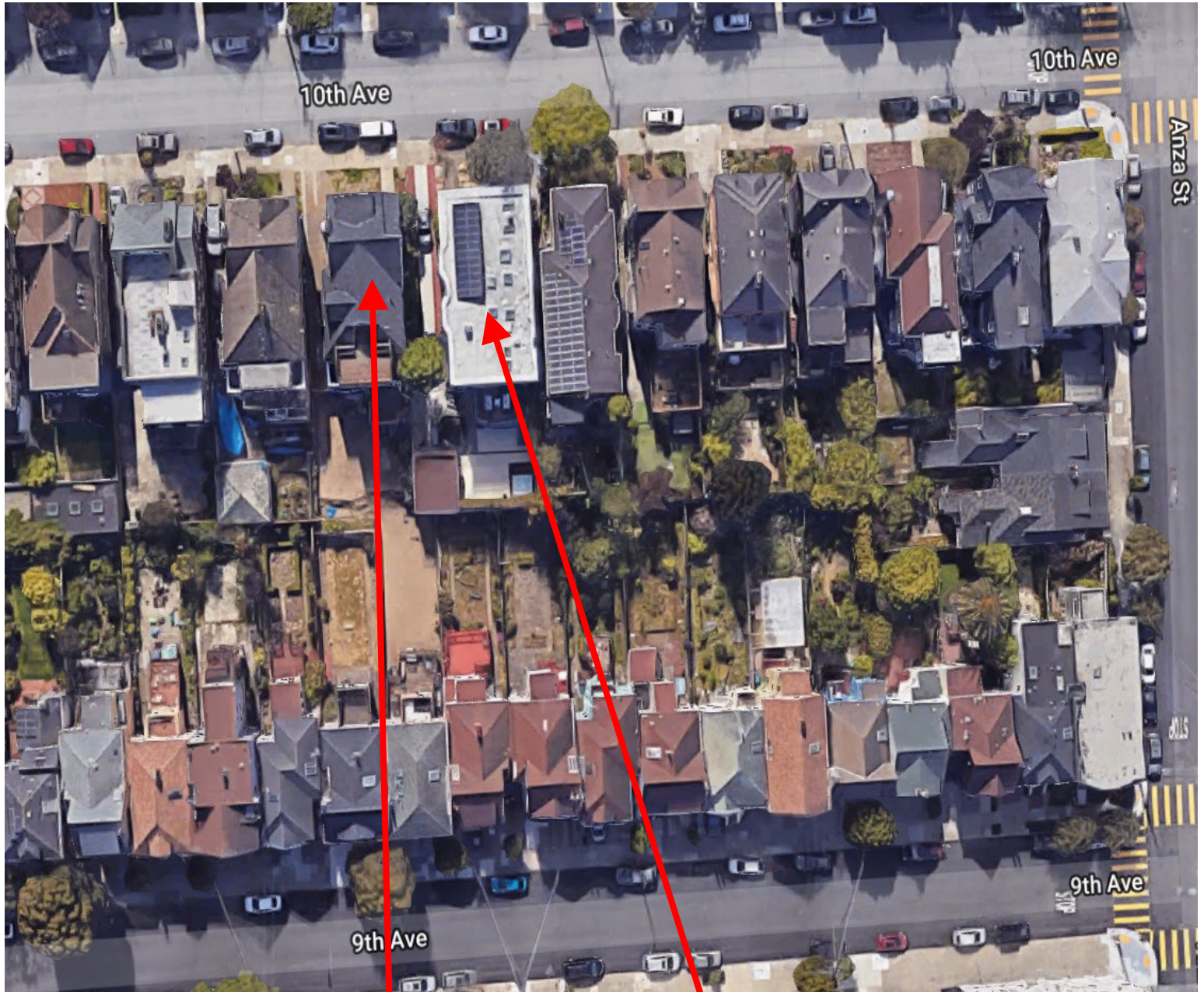
SUBJECT PROPERTY

**DR REQUESTOR'S
PROPERTY**



Discretionary Review Hearing
Case Number 2018-013006DRP
550 10th Avenue

Aerial Photo

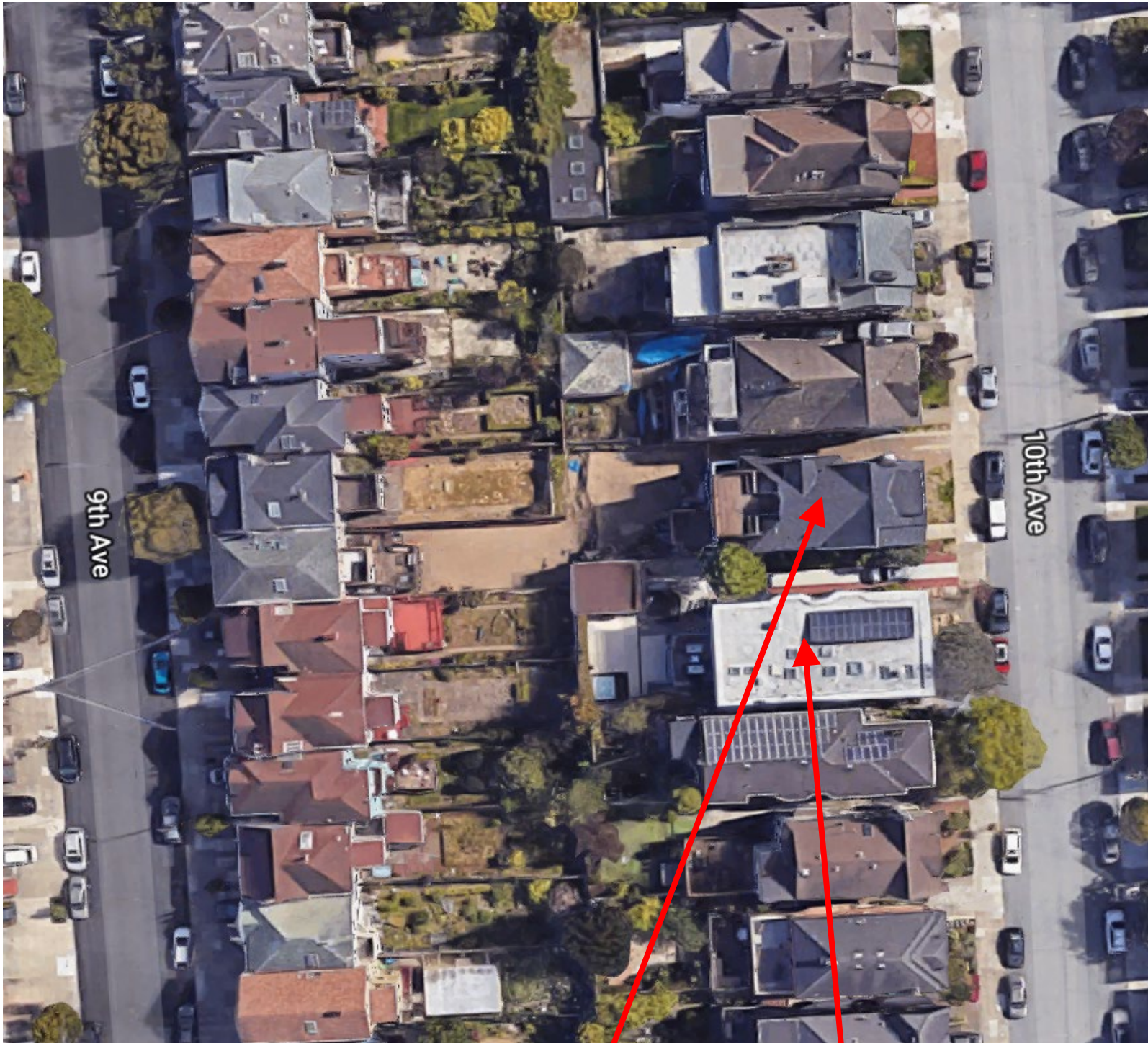


SUBJECT PROPERTY

**DR REQUESTOR'S
PROPERTY**



Aerial Photo



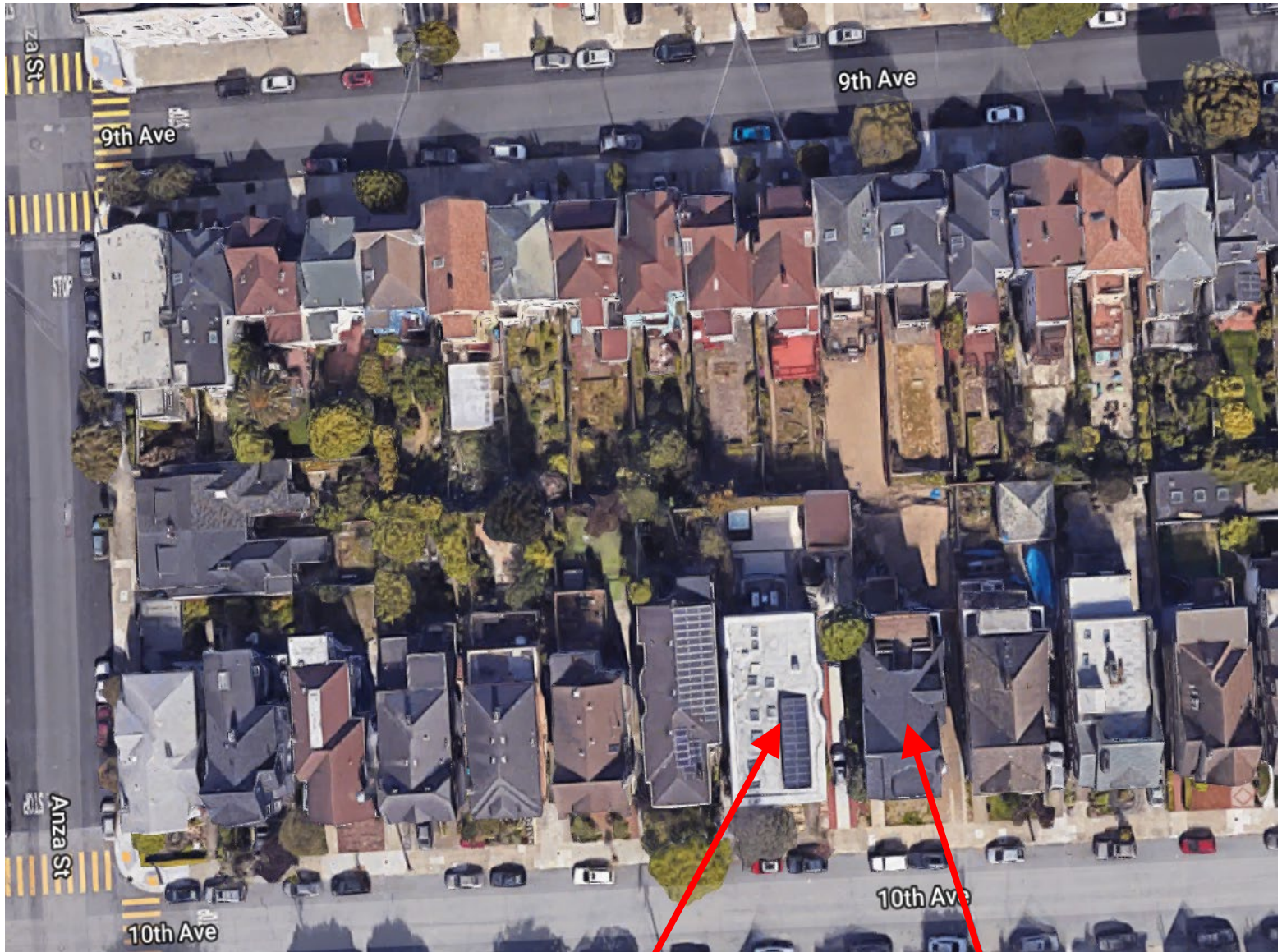
SUBJECT PROPERTY

DR REQUESTOR'S
PROPERTY



Discretionary Review Hearing
Case Number 2018-013006DRP
550 10th Avenue

Aerial Photo



DR REQUESTOR'S
PROPERTY

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-013006DRP
550 10th Avenue

Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2018-013006DRP
550 10th Avenue



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **09/21/2018**, Building Permit Application No. 201509096433 was filed for work at the Project Address below.

Notice Date: 4/19/2019

Expiration Date: 5/20/2019

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	550 10TH AVE	Applicant:	Thomas Tunny
Cross Street(s):	Balboa Street	Address:	1 Bush Street, Suite 600
Block/Lot No.:	1552 / 035	City, State:	San Francisco, CA 94104
Zoning District(s):	RH-1(D) /40-X	Telephone:	415-567-9000
Record Number:	2018-013006VAR	Email:	ttunny@reubenlaw.com

You are receiving this notice as an owner or occupant of property within 150 feet of the proposed project. **You are not required to take any action.** For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request that the Planning Commission review this application at a public hearing for Discretionary Review. Requests for a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown above, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input checked="" type="checkbox"/> Demolition	<input checked="" type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential, Single Family Dwelling	No Change
Front Setback	11'-2"	No Change
Side Setbacks	1'-4" to the West; 8'-1" to the East	No Change
Building Depth	Approx. 88 Feet	95 Feet
Rear Yard	Approx. 32 Feet	Approx. 22 Feet
Building Height	Approx. 35 feet	No Change
Number of Stories	3	No Change
Number of Dwelling Units	1	No Change
Number of Parking Spaces	2	No Change, just a new structure

PROJECT DESCRIPTION

The proposal seeks the demolition and replacement of a legal, nonconforming 2-car garage under an expanded deck and stair within the required rear yard. Planning Code Section 134 requires the subject property to maintain a rear yard of approximately 30 feet. The proposed work would replace and relocate an existing rear garage, and would lessen the encroachment within the required rear yard. The proposed garage would be relocated below an existing stair and deck, which would be extended approximately 5 feet into the required rear yard and result in a rear yard of approximately 25 feet. Therefore, a variance is required.

The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.

To view plans or related documents, visit sf-planning.org/notices and search the Project Address listed above. Once the property is located, click on the dot(s) to view details of the record number above, its related documents and/or plans.

For more information, please contact Planning Department staff:

Katherine Wilborn, 415-575-9114, Katherine.Wilborn@sfgov.org



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
550 10TH AVE		1552035
Case No.		Permit No.
2018-013006PRJ		201907105558
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
Project description for Planning Department approval. Variance from the rear yard requirement to legalize an existing two-car parking garage in the required rear yard. UDU Screening Completed.		

STEP 1: EXEMPTION CLASS

The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. FOR ENVIRONMENTAL PLANNING USE ONLY
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? <i>if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography). If yes, Environmental Planning must issue the exemption.
<input type="checkbox"/>	Slope = or > 25%: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.
Comments and Planner Signature (optional): Removal of illegal structure that was build without benefit of permits at the rear of the property and construct a more code-complaint garage structure directly behind the property, under an existing deck which will be expanded. Although this design is more compliant, it still requires a variance. Garage will not be visible from the public right of way.	

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map)	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input checked="" type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input checked="" type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): Removal of illegal structure that was build without benefit of permits at the rear of the property and construct a more code-complaint garage structure directly behind the property, under an existing deck which will be expanded. Although this design is more compliant, it still requires a variance. Garage will not be visible from the public right of way. <i>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</i>
<input type="checkbox"/>	10. Reclassification of property status. <i>(Requires approval by Senior Preservation Planner/Preservation)</i> <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category A a. Per HRER or PTR dated b. Other (specify): </div> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category C <i>(attach HRER or PTR)</i> </div> </div>
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional): <div style="height: 40px; border: 1px solid black;"></div>	
Preservation Planner Signature: Katherine Wilborn	

STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Building Permit	Signature: Katherine Wilborn
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	08/29/2019
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
550 10TH AVE		1552/035
Case No.	Previous Building Permit No.	New Building Permit No.
2018-013006PRJ	201907105558	
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.	
Planner Name:	Date:

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, contact the Planning Information Center (PIC) at 1660 Mission Street, 1st Floor (415) 558-6377 or pic@sfgov.org. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. **You must submit the application in person** at the Planning Information Center (PIC), with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.** **Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



DISCRETIONARY REVIEW PUBLIC (DRP)

APPLICATION

Discretionary Review Requestor's Information

Name: Trevor Wright
 Address: 540 10th Ave
 Email Address: trevorSWright@gmail.com
 Telephone: 415-850-8261

Information on the Owner of the Property Being Developed

Name: Keith Goodman // Thomas Tunny
 Company/Organization: Individual Developer // Reuben Law
 Address: 550 10th Ave
 Email Address: _____
 Telephone: _____

Property Information and Related Applications

Project Address: 550 10th Ave
 Block/Lot(s): 1552 / 035
 Building Permit Application No(s): 201 509 096 433

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?	/	
Did you discuss the project with the Planning Department permit review planner?	/	
Did you participate in outside mediation on this case? (including Community Boards)		/
Changes Made to the Project as a Result of Mediation. If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes that were made to the proposed project.		

DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

Please see attached
x Density + Height across property line
x 100 years of planning precedence
x Category A historical structure movement

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

Please see attached
x Unreasonable impact on neighbor. 20'10" x 13'9" wall running along the property line to adjoining 10'3" structure. Creating solid wall across the entire property line

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

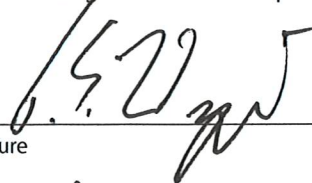
Please see attached
x Rebuild what previous structure was demolished.

- Please reference emails directly sent to Katherine Wilborn in Planning.
- Please reference voicemails left directly w/ Katherine Wilborn.

DISCRETIONARY REVIEW REQUESTOR'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

a) The undersigned is the DR requestor or their authorized representation.


Signature

Self
Relationship to Requestor
(i.e. Attorney, Architect, etc.)

415-850-8261
Phone

Trevor S. Wright
Name (Printed)

trevor.swright@gmail.com
Email

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____



Ts Wright <trevorswright@gmail.com>

Discretionary Review Request: Building Application 201509096433 _ 550 10th Ave**Trevor Wright** <trevorswright@gmail.com>

Fri, May 17, 2019 at 1:14 PM

To: katherine.wilborn@sfgov.org

Cc: "Tam, Tina (CPC)" <Tina.Tam@sfgov.org>, "Sanchez, Scott (CPC)" <Scott.Sanchez@sfgov.org>, "Kwiatkowska, Natalia (CPC)" <natalia.kwiatkowska@sfgov.org>

Katherine,

cc: Tina Tam, Natalia Kwiatkowska, Scott Sanchez

Thank you for your phone time. As requested, I'm submitting a discretionary review with written concerns, questions, and comments regarding the 550 10th Ave variance building application 201509096433.

Please acknowledge receipt and inform me if additional steps are required - per our conversation you informed me that emailing concerns is your recommendation.

History:

The 550 rear structure in question has been a moving target/definition on all submitted plans. The original plans submitted to PIC showed a main house and a structure labeled as a "cottage" in the rear. According to the Sanborn Map a structure/garage has been on that spot since development and that prevailing pattern exists for all houses on the block.

The former structure on the property was intact during construction. The owner hired a professional tree crew to cut down 3 trees: 2 - 100' redwood trees and one eucalyptus tree, presumably un-permitted.

While removing these trees the owner demolished and removed the existing garage also un-permitted.

The owner then built a larger structure on the same spot over a 4 day Memorial weekend, also un-permitted.

Now the owner is requesting a variance that alters 100 years of planning and permitting decisions for the 10th Ave between Anza and Balboa - a designated Category A Historic Resources of protected residences block including rear common historic characteristics built by developer/architect Joseph Leonard.

Furthermore, the variance creates additional undue negative impacts with major direct impacts on the neighbor to the North - 540 10th. Impacts highlighted below.

Attachment: Photo: "Original 550 structure" I attach a Google photo of the original historic structure with trees.

Concerns:**Density:**

The owner is proposing to extend the North side of the 550 house 19'6" plus an additional 3'4" staircase for a total of 20'10" from the rear of the existing home. Currently, there is an existing garage on the same lot line of the neighboring 540 10th Ave lot that sits in the SouthEast corner extending from the back of the lot.

The proposed variance would leave ONLY a 18" air gap on this lot line between existing 540 10th Ave garage and the new 550 structure. Essentially creating a structural wall across the entire shared side of the property line - from the front of 10th Ave to the rear of the lot - eliminating airspace and light.

Height:

The deck surface on the new structure is drawn as 10'3" plus a 42" railing or 13'9" height in total. The existing garage on 540 10th measures 11'6" in height. The result would be a 13'9" wall running across the lot - upto the 18" air gap -until the existing 11'6" garage on 540 10th. Essentially, a solid wall across the shared property line.

Moreover, my understanding is that the new structure would need to be fire rated which most likely triggers solid pony wall which eliminates light and airspace across the entire property line.

Additional Impact to 540 10th Ave:

The neighbor to the North of 540 currently has what is presumed to be a grandfathered house extension of 15' beyond the house line with an additional wooden deck that extends above ground to the end of the property.

If the 550 variance is granted, the end result would be limited light and airspace on both sides of the 540 property.

Whereas when 540 was remodeled the house could not be extended for these exact impacts on neighbors.

Neighborhood Impact to 10th Ave btwn Anza and Balboa:

A rear yard structure of some sort on 550 10th has been on that SouthEast spot for ~100 years according to the Sanborn map. All the structures on this 10th Ave block sit on the SouthEast corner of the lots as this is *the prevailing pattern and all the rear yards* were developed with this pattern in mind.

Why allow a variance for one home to alter the established sight lines, airspace, and light? It is these established rear locations that have been the lynchpin of all previous permitting decisions and allowing this variance invalidates all those previous historical permitting decisions which others have abided by.

It's unclear why the owner doesn't build where their existing structure was and where all other neighbors have their rear structure instead of superseding the prevailing block pattern for the entire block. The justification is just not aligned with precedence and unlocks a cascade effect.

Category A Historic Resources:

The 10th Ave block has the highest historical rating and the shared common historic characteristics include the location of the rear structures placed by developer/architect Joseph Leonard. This variance breaks a designated historical resource.

Conclusion:

Rebuilding the structure where it was maintains historical planning decisions and importantly is already accepted by the neighborhood as it's already existing. The variance unduly impacts the North neighbor, 540, with the a resulting solid wall across the entire property line.

As the owner of 540 10th Ave, I strongly disagree with this variance and the lopsided impact to one home.

As discussed, please pass on to the Variance department and I also will follow up with a phone call.

Additional Note

Written procedures "strongly urge" meeting with applicant or engaging a community board. However, both previous encounters with the applicant have been highly unsuccessful. The 1st encounter happened in City Hall where the applicant's expediter cussed and threatened physical violence(a proposed fistfight) to myself and another neighbor over our concerns.

The second encounter also proved unsuccessful and untrustworthy when the applicant was contacted via text and email regarding the Memorial weekend construction and the applicant swore in writing that they had permitting but then could not produce the permit # to experts in the planning department.

I would like to maintain the newly manufactured mutual relationship with the applicant and for this reason, I bring my concerns directly to the planning commission.



original 550 structure.jpeg
226K



Discretionary Review Request: Building Application 201509096433 _ 550 10th Ave

Jeffrey rosen <jdr@tailoredbenefits.com>

Mon, May 20, 2019 at 9:46 AM

To: "katherine.wilborn@sfgov.org" <katherine.wilborn@sfgov.org>

Cc: "Tina.Tam@sfgov.org" <Tina.Tam@sfgov.org>, "Scott.Sanchez@sfgov.org" <Scott.Sanchez@sfgov.org>, "natalia.kwiatkowska@sfgov.org" <natalia.kwiatkowska@sfgov.org>

Dear Team,

Good morning. I am writing as a concerned neighbor, 35 years in the Richmond District, 13 years on 10th Avenue, regarding the above referenced property and dispute. It comes down to this: How can you issue a variance to someone who has blatantly, with intention and purpose and malice forethought, disregarded every single rule in your handbook. Why would you issue a variance to someone who has flagrantly defied all the accepted rules and regulations promulgated by the planning commission? The subject owner, without approval, documentation, nor permits, and has taken a series of steps (see below) to serve his goals and objectives to the detriment of the neighbors.

Historically speaking:

* The owner hired a professional tree crew to cut down 3 trees: 2 - 100' redwood trees and one eucalyptus tree, presumably un-permitted. While removing these trees the owner demolished and removed the existing garage also un-permitted. The owner then built a larger structure on the same spot over a 4 day Memorial weekend, also un-permitted. Now the owner is **requesting a variance that alters 100 years of planning and permitting decisions for the 10th Ave between Anza and Balboa** - a designated Category A Historic Resources of protected residences block including rear common historic characteristics built by developer/architect Joseph Leonard. The variance creates additional undue negative impacts with major direct impacts on the neighbor to the North - 540 10th.

Seems like issuing the variance would only lend support and encourage others to defy the accepted rules and regulations imposed on all homeowners by The City. Approval of the variance would, in essence, and create a free for all system. I am not sure that is your intention. Thank you for your time and consideration in this matter. You may always reach me at 415-974-1114 or by email at jdr@tailorebenefits.com.

All the best,

Jeffrey Rosen
563 10th Avenue
SF, CA 94118



To: Wright <trevorswright@gmail.com>

Fwd: Discretionary Review Request: Building Application 201509096433

1 message

kira steifman <kirasteifman@comcast.net>
To: trevorswright@gmail.com

Mon, May 20, 2019 at 1:53 PM

Begin forwarded message:

From: kira steifman <kirasteifman@comcast.net>
Date: May 20, 2019 at 1:52:53 PM PDT
To: Katherine.Wilborn@sfgov.org
Subject: Discretionary Review Request: Building Application 201509096433

Hello,

My name is Kira Steifman and I live at 557 10th Avenue in San Francisco. I am writing regarding the proposed construction at 550 10th Avenue.

I am unclear as to how or why an owner would be permitted to alter the placement of the rear structure on a Category A historical block. The applicant's proposed project would supersede one hundred years of planning based on the prevailing pattern of surrounding homes. As an aside, I think the applicant's past disregard for the permitting process should be noted.

Thank you very much.

Sincerely,

Kira Steifman
557 10th Avenue
San Francisco, CA 94118
415.213.5768

Keith and Alison Goodman

August 20, 2019

San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: 550 10th Avenue
Opposition to Request for Discretionary Review
Hearing Date: September 5, 2019

Dear Planning Commission:

My wife, Alison, and I are the project sponsors at 550 10th Avenue, our family home. We bought our home in October 2014 while in the middle of undergoing fertility treatments to fulfill our dream of having a family. We remodeled the house, which needed a great deal of work, and moved in during the winter of 2017. One month later, we learned that we were expecting our daughter.

We are requesting the demolition and replacement of a legal nonconforming 2-car garage located entirely within the required rear yard with a new structure that encroaches in the rear yard 5 feet. The new garage would be located below an existing deck and staircase that would expand into the rear required setback by 5 feet. The project plans are attached as Exhibit A and property photos are attached as Exhibit B.

This is the culmination of a very long process that started with approved permits in December 2014 when we first sought to put the garage in the basement with a new garage door in the front of the house. We were granted permission from DPW to move the existing curb cut despite the DR requestor's objections at that hearing. Additionally, we were granted permission to do this from the city (DBI and Planning), paid the permit fees and commenced work, only to have the city then temporarily suspend the permit (pending a hearing) after receiving a complaint from a neighbor.

We were eager to complete our house, so we agreed to withdraw the permit to put the garage under the house and instead rebuild the existing garage located in the rear south/east corner of our lot. The DR requestor then objected to this proposal, as well.

We have now come up with the current (third) proposal, which Planning staff has preferred because it provides substantially more rear yard, removes the nonconforming structure, and only extends the deck minimally.

Three weeks before our daughter was born, we held a neighborhood pre-application meeting where only one neighbor, not the DR requestor, showed up. The neighbor said he was there to learn about the project, but did not voice any objections and did not request any changes. Our rear neighbors, JT and Mary Beth Cecchini, were unable to attend the meeting but have told us they have no objection to our plans. Our other neighbors, Alan and Adrienne Sroggie (534-536 10th Ave.), Lindsey and Brent Couchman (550 9th Ave.)

and Kirill Sapelkin (560 10th Ave.), have also voiced their support of our project with no objections.

We have reached out over a dozen times to the DR requestor since we first learned of the complaints about this proposal, but have rarely received any responses. We have offered to discuss this in our home, at a mutually convenient place such as a coffee shop, or anywhere else he would like to meet in an effort to resolve this issue and be neighborly. The one time the DR requestor met with me, I offered modifications and let him know I was open to his suggestions of any modification to the new plans in the hopes we could resolve the matter. He said he appreciated my thoughtfulness and would get back to me. I was under the impression we left this meeting on good footing, but unfortunately he has since decided not to respond. We have been at a loss as to what the specific complaint is about our garage. Planning staff offered a mediation meeting to which we agreed, but he has not responded to that either. Discretionary review is appropriate only where there are “exceptional and extraordinary” circumstances, and no such circumstances exists here. The rear deck and staircase already exists, and have caused no light, air or privacy impact to the DR requestor’s house. This is simply a 5-foot extension of the existing deck to the rear in order to accommodate a garage underneath. No new impacts are created. To the contrary, and as part of this proposal, we will remove the nonconforming structure in the rear yard.

The DR requestor asserts that the project creates “a wall running along the property line”, but no wall is proposed. The properties already have a shared property line fence that won’t be affected by the project, and the deck railing above the fence, which already exists, is slated to reduce its massing. The project merely extends the deck 5 feet further to the rear. His own fence on the north side of his property is taller than ours.

Our daughter will be turning one shortly and we have envisioned having her first birthday in our backyard. It is our hope that we will be able to move forward with completing our garage, thus being able to finish our backyard, and hold her birthday party there in early October.

We request that Planning Commission not take discretionary review and approve the project as proposed.

Thank you,

A handwritten signature in blue ink, appearing to read "Keith Goodman", written in a cursive style.

Keith and Alison Goodman

EXHIBIT A

GENERAL NOTES

1. ALL WORKS SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING CALIFORNIA CODES, REGARDLESS OF DETAILS OR PLANS:

2016 CALIFORNIA BUILDING CODE (CBC)
2016 CALIFORNIA ELECTRICAL CODE (NEC)
2016 CALIFORNIA MECHANICAL CODE (CMC)
2016 CALIFORNIA PLUMBING CODE (CPC)
2016 GREEN BUILDING CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA HISTORICAL BUILDING CODE
2016 CALIFORNIA EXISTING BUILDING CODE

WORKS SHALL ALSO COMPLY WITH THE FOLLOWING SAN FRANCISCO CODES AND AMENDMENTS:

2016 SAN FRANCISCO BUILDING CODE AMENDMENTS
2016 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS
2016 SAN FRANCISCO MECHANICAL CODE AMENDMENTS
2016 SAN FRANCISCO PLUMBING CODE AMENDMENTS
2016 SAN FRANCISCO GREEN BUILDING CODE AMENDMENTS
2016 SAN FRANCISCO HOUSING CODE
2016 SAN FRANCISCO PLANNING CODE
2016 SAN FRANCISCO FIRE CODE

AS WELL AS ANY AND ALL OTHER GOVERNING CODES AND ORDINANCES. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
2. DETAILS AND DIMENSIONS OF CONSTRUCTION SHALL BE VERIFIED AT THE SITE BY THE CONTRACTOR, AND DISCREPANCIES BETWEEN THE PLAN AND EXISTING CONDITIONS SHALL BE REPORTED PROMPTLY TO THE ENGINEER OF RECORD.
3. DO NOT SCALE THESE DRAWINGS
4. MERCURY ENGINEERING GROUP ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF CONSTRUCTION OR THE PROPER EXECUTION OF THE WORK SHOWN ON THESE DRAWINGS. SAFETY METHODS AND TECHNIQUES ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
5. THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING SITE/BUILDING CONDITIONS AND MAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICING. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH AN EXAMINATION.
6. THE GENERAL CONTRACTOR SHALL REPORT, IN WRITING, ANY AND ALL ERRORS, OMISSIONS, INCOMPLETE INFORMATION, OR CONFLICTS FOUND IN THE CONSTRUCTION DOCUMENTS TO THE OWNER, ARCHITECT, AND ENGINEER OF RECORD BEFORE PROCEEDING WITH THE WORK.
7. THE GENERAL CONTRACTOR SHALL HOLD RESPONSIBILITY FOR APPLYING FOR, AND OBTAINING, ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.
8. CONTRACTOR SHALL ENSURE THAT GUIDELINES SE FORTH IN THE DOCUMENTS ARE MAINTAINED DURING CONSTRUCTION, INSTALLATION, AND FINISHING OF ALL ASPECTS OF THIS PROJECT.
9. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
10. ALL ASSEMBLIES SHALL BE OF APPROVED CONSTRUCTION
11. INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF THE CODES. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
12. THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL SUFFICIENT BACKING/BLOCKING FOR ALL WALL-MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO THE WALLS
13. PROVIDE FIRE-BLOCKING AND DRAFTSTOPS AT ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AS PER 2013 CBC SEC 717
14. MECHANICAL, PLUMBING, ELECTRICAL, AND PENETRATIONS OF FLOOR, WALLS, CEILINGS SHALL BE SEALED AIRTIGHT W/ ACOUSTICAL SEALANT AND FIRESAFING AS REQ'D.
15. ALL SMOKE DETECTORS TO BE HARD WIRED
16. ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER CBC 2406.2
17. PROVIDE SAFETY GLAZING AT ALL HAZARDOUS LOCATIONS, INCLUDING, BUT NOT LIMITED TO GLAZING WITHIN 18 INCHES OF A WALKING SURFACE, GLAZING IN DOORS, AND WINDOWS ADJACENT TO DOORS IN ACCORDANCE WITH SECTION 2406.4
18. PROVIDE I.C.B.O. EVALUATION SERVICES INC. REPORT ON TEST DATA FOR ALL SKYLIGHTS.
19. ALL EXITS TO BE MAINTAINED DURING AND AFTER CONSTRUCTION. ALL FIRE RATINGS TO BE RESTORED AFTER CONSTRUCTION AND PENETRATIONS REPAIRED.
20. ALL FIRE & LIFE SAFETY SYSTEMS MUST BE MAINTAINED DURING CONSTRUCTION.



SCOPE OF WORK	REMOVAL OF EXISTING DETACHED GARAGE IN REAR OF PROPERTY. EXPANSION OF SECOND FLOOR REAR DECK. INFILL OF REAR DECK FOR NEW GARAGE.
FIRE SAFETY NOTES	-ALL EXITS TO BE MAINTAINED DURING AND AFTER CONSTRUCTION. -ALL FIRE RATINGS TO BE RESTORED AFTER CONSTRUCTION AND PENETRATIONS REPAIRED -ALL FIRE & LIFE SAFETY SYSTEMS MUST BE MAINTAINED DURING CONSTRUCTION
PARCEL ZONING DISTRICT OCCUPANCY NO. OF EXISTING UNITS NO. OF PROPOSED UNITS TOTAL UNIT COUNT CONSTRUCTION TYPE NUMBER OF STORIES NUMBER OF BASEMENTS	1552/035 RH-1(D) - RESIDENTIAL-HOUSE, ONE FAMILY (DETACHED) R-3 SINGLE FAMILY DWELLING 1 0 1 TYPE V-B 4 0
ARCHITECTURAL SHEET LIST A0.1 TITLE PAGE A1.1 EXISTING SITE PLAN A1.2 PROPOSED SITE PLAN A2.1 FIRST FLOOR PLANS A2.2 SECOND FLOOR PLANS A2.3 THIRD & FOURTH FLOOR PLANS A3.1 FRONT (WEST) ELEVATIONS A3.2 SIDE (SOUTH) ELEVATIONS A4.1 SECTION CUTS A6.1 ARCHITECTURAL DETAILS A6.2 DECK DETAILS	
OWNER: KEITH GOODMAN 415-515-4022 keithgoodman@gmail.com	ENGINEER: MERCURY ENGINEERING GROUP INC 12 GOUGH STREET, SUITE 100 SAN FRANCISCO, CA 94103 ATTN: JESSICA SCHELD / 510.415.3382 EMAIL: jessica@mercuryengineers.com
VICINITY MAP 	

Mercury Engineering Group
12 Gough Street, Ste 100
San Francisco, CA 94103
TEL: 415.992.3383

550 10TH AVENUE
BLOCK 1552, LOT 035
SAN FRANCISCO, CA 94118

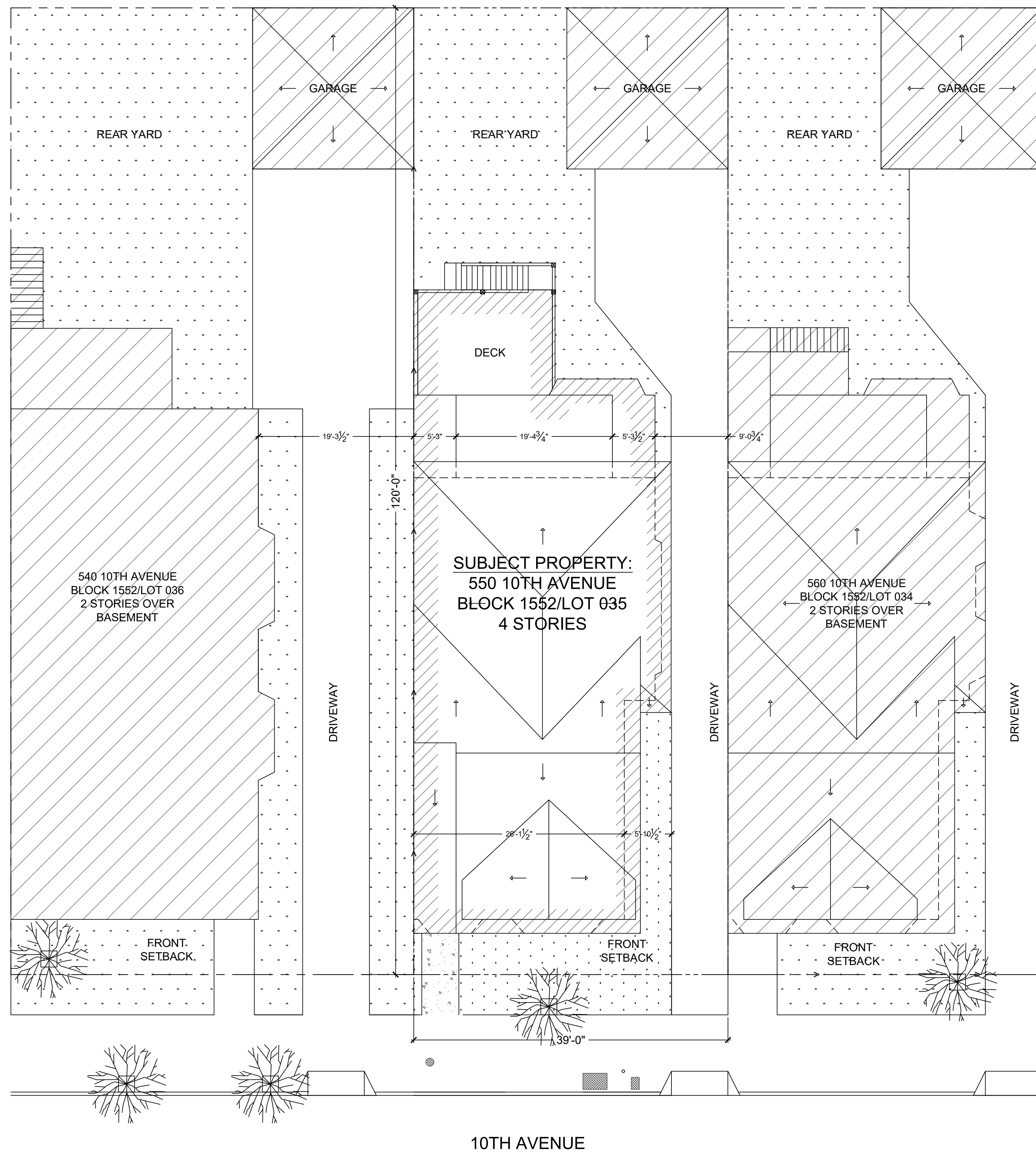
TITLE PAGE

DATE: 05/31/2019
DRAWN BY: J.S.
CHECKED BY: H.H.

A0.1

PROJECT ADDRESS

PERMIT NUMBER:



SCALE: 1/8" = 1'-0"

GENERAL NOTE

THESE DRAWINGS REPRESENT APPROXIMATIONS
OF EXISTING CONDITIONS. ALL CONDITIONS AND
DIMENSIONS ARE TO BE FIELD VERIFIED BY
CONTRACTORS PRIOR TO CONSTRUCTION.



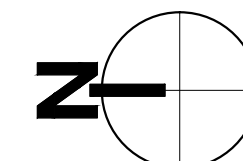
Mercury Engineering Group
12 Gough Street, Ste 100
San Francisco, CA 94103
TEL: 415.992.3383



550 10TH AVENUE
BLOCK 1552, LOT 035
SAN FRANCISCO, CA 94118

EXISTING SITE PLAN

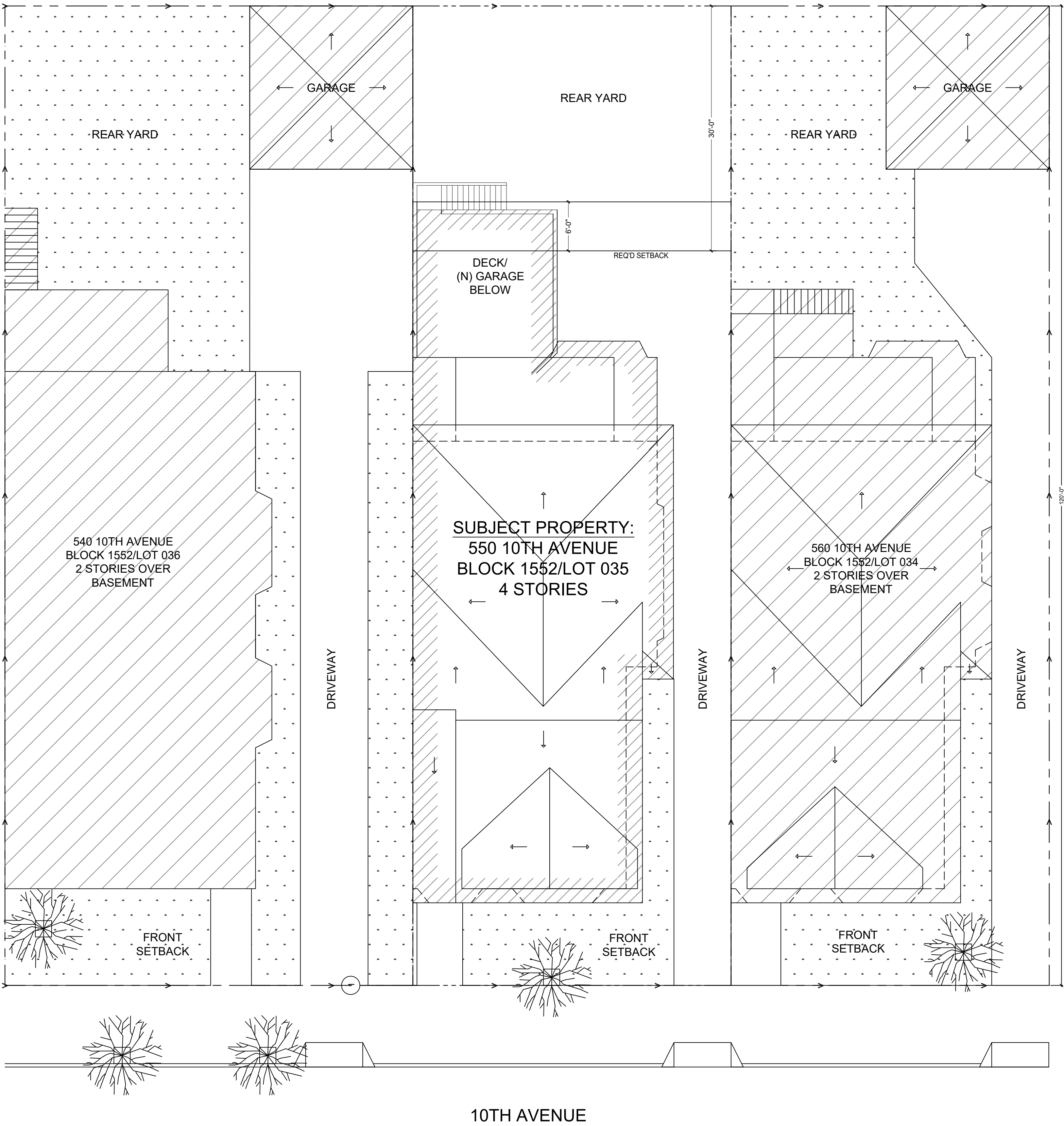
DATE: 05/31/2019
DRAWN BY: J.S.
CHECKED BY: H.H.

A1.1

----- PROPERTY LINE

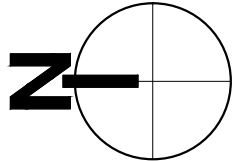
PROJECT ADDRESS

PERMIT NUMBER:



SCALE: 1/8" = 1'-0"

----- PROPERTY LINE



GENERAL NOTE

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TEL: 415.992.3383



550 10TH AVENUE
BLOCK 1552, LOT 035
SAN FRANCISCO, CA 94118

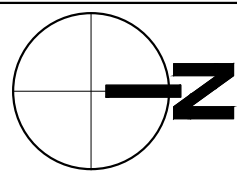
PROPOSED SITE PLAN

DATE: 05/31/2019
DRAWN BY: J.S.
CHECKED BY: H.H.

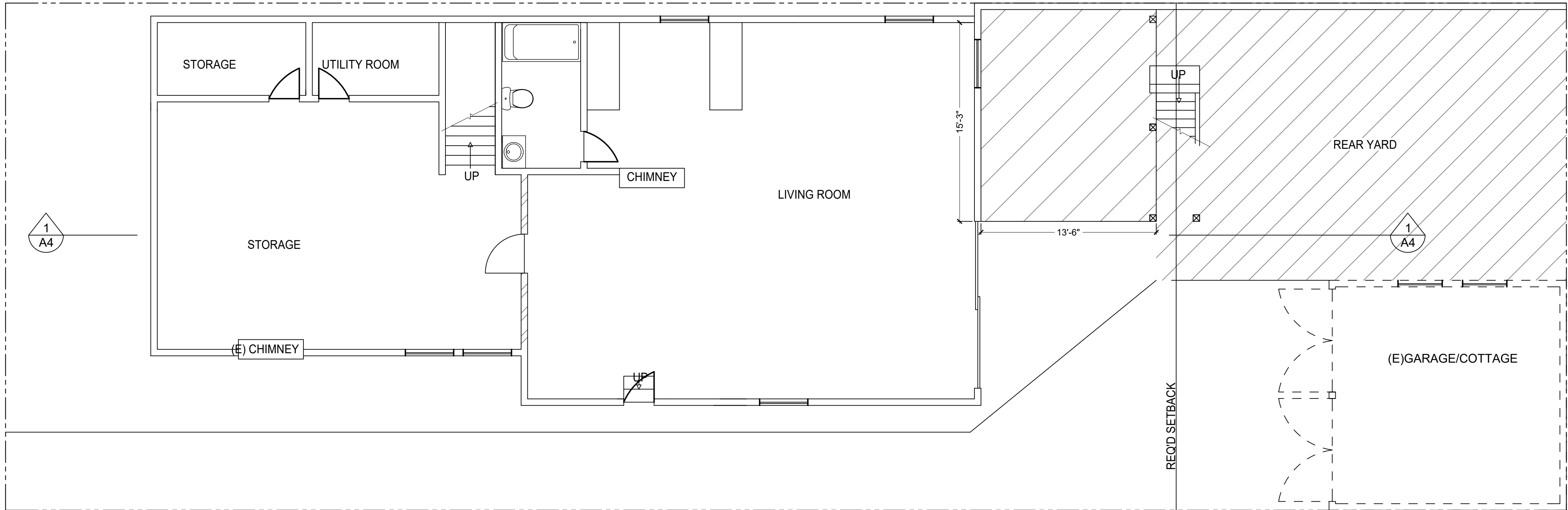
A1.2

PERMIT NUMBER:

PROJECT ADDRESS



10TH AVENUE

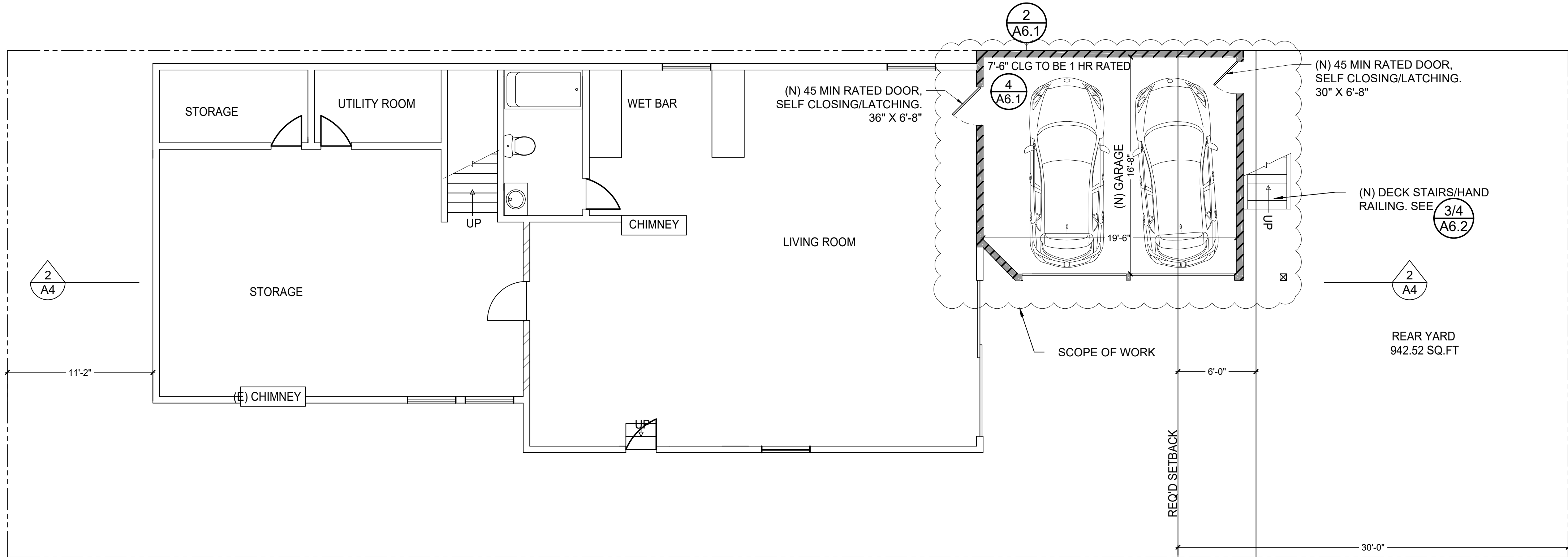


1

(N) FIRST FLOOR PLAN PER BPA #2015.11.17.2851

SCALE: 3/16" = 1'-0"

10TH AVENUE



3

(N) FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

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550 10TH AVENUE
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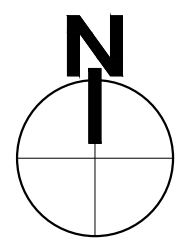
FIRST FLOOR PLANS

DATE: 05/31/2019
DRAWN BY: J.S.
CHECKED BY: H.H.

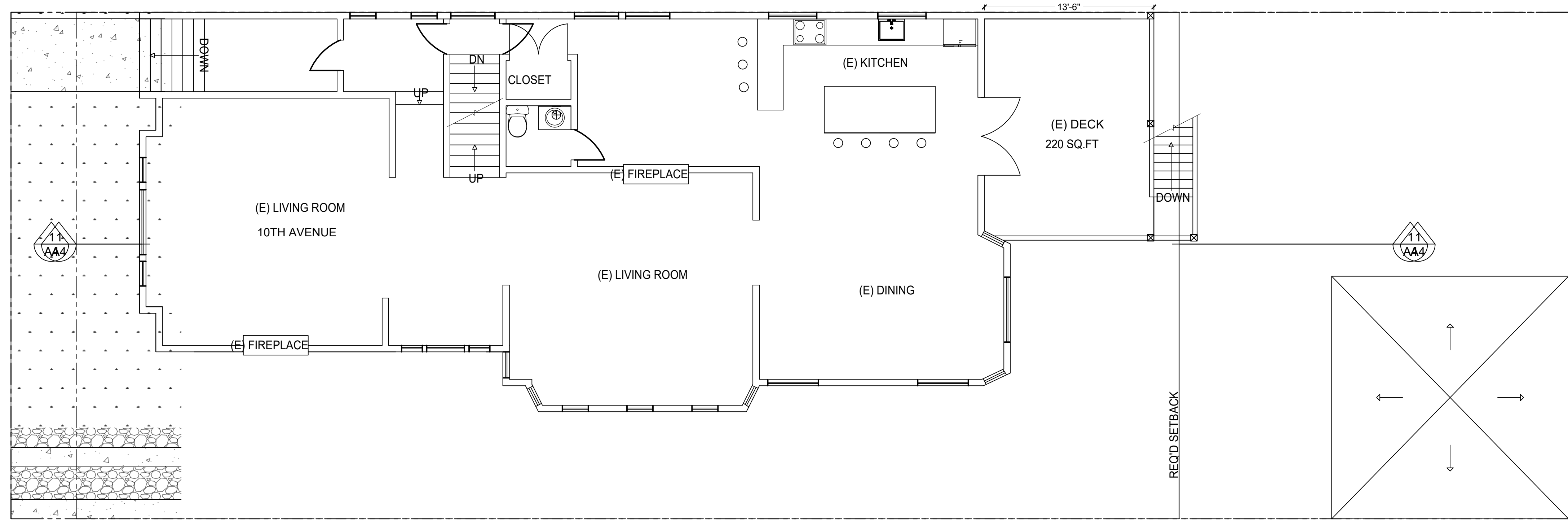
A2.1

PROJECT ADDRESS

PERMIT NUMBER:



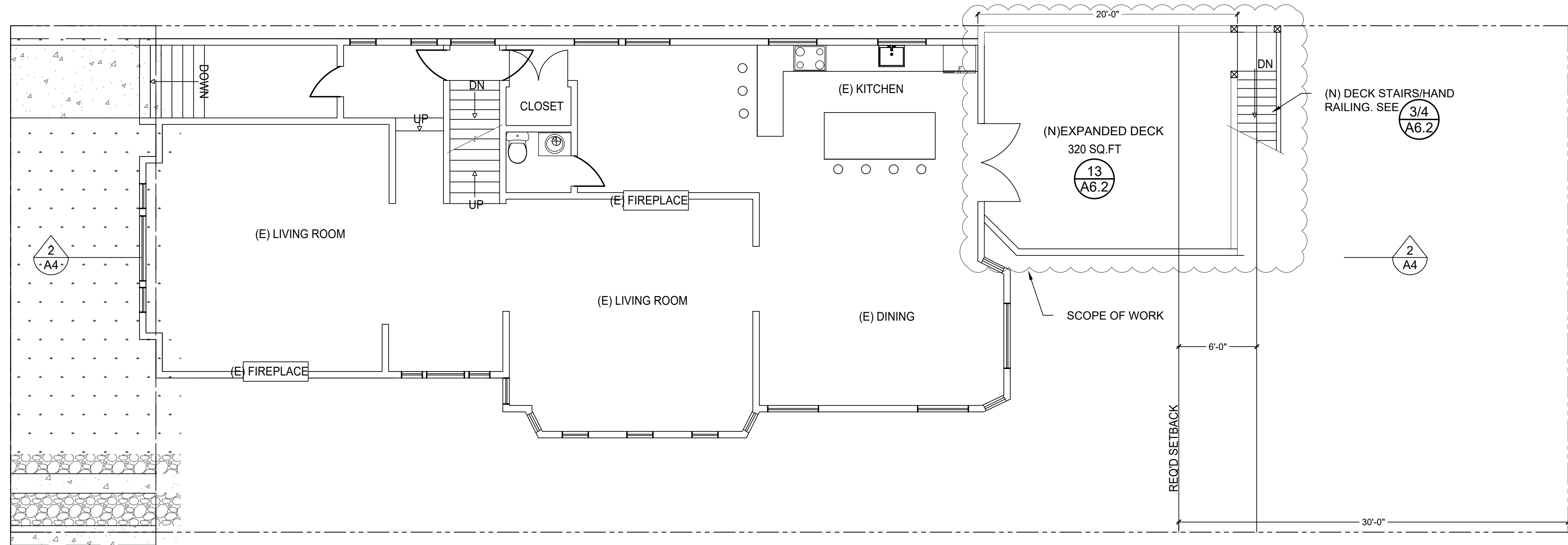
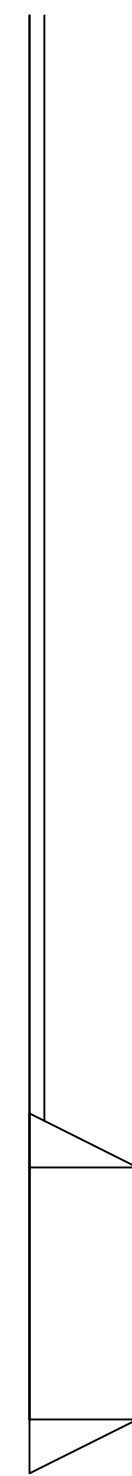
10TH AVENUE



1

(E) SECOND FLOOR PLAN PER BPA #2015.11.17.2851

SCALE: 3/16" = 1'-0"



2

(N) SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"



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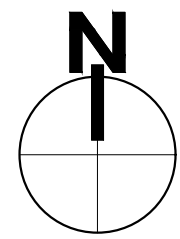
SECOND FLOOR PLANS

DATE: 05/31/2019
DRAWN BY: J.S.
CHECKED BY: H.H.

A2.2

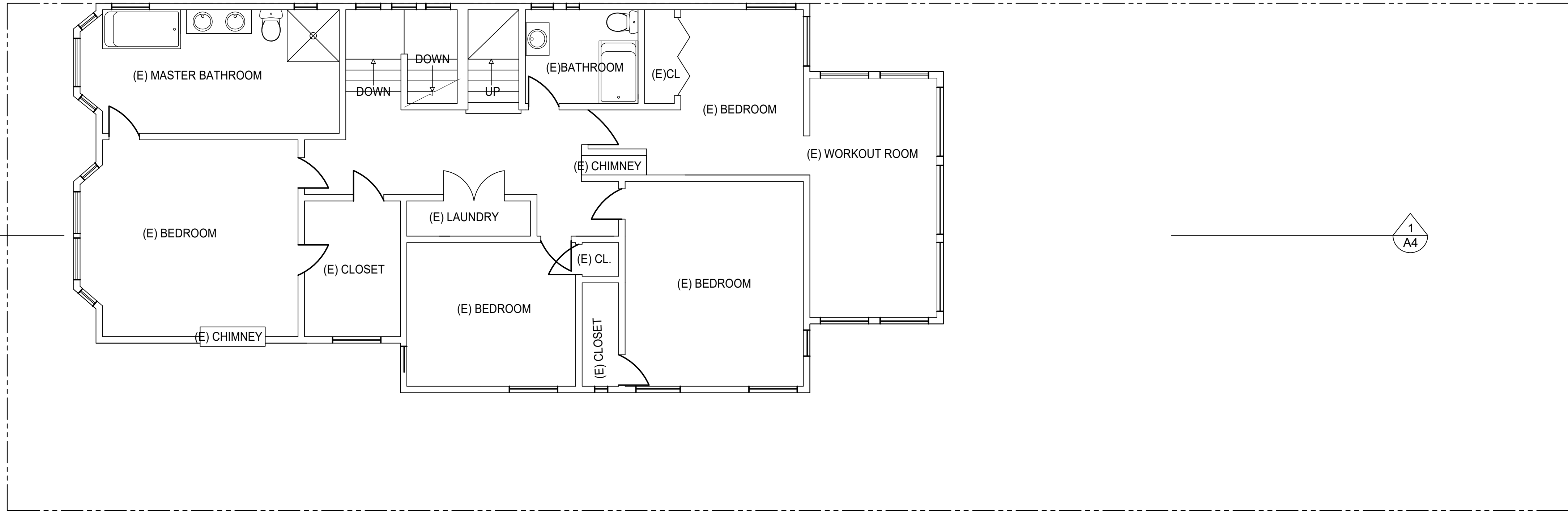
PROJECT ADDRESS

PERMIT NUMBER:



10TH AVENUE

1
A4



1
A4

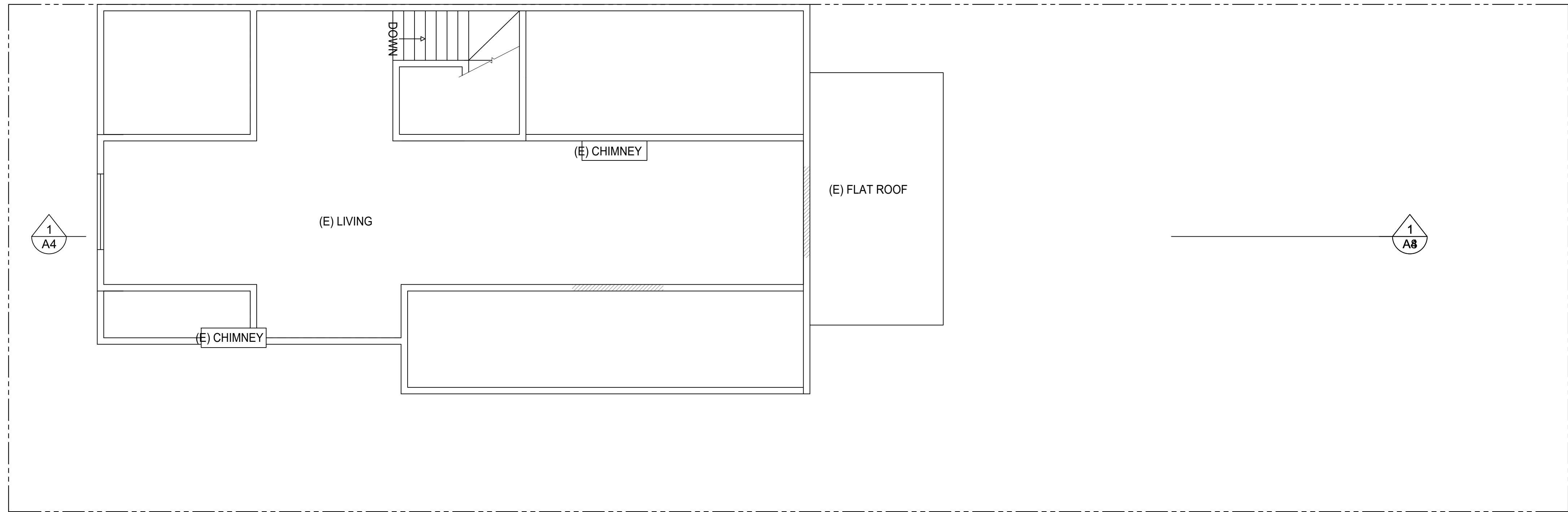
1

(E) THIRD FLOOR PLAN PER BPA #2015.11.17.2851 - NO CHANGE

SCALE: 3/16" = 1'-0"

10TH AVENUE

1
A4



1
A8

2

(E) FOURTH FLOOR PLAN PER BPA #2015.11.17.2851 - NO CHANGE

SCALE: 3/16" = 1'-0"



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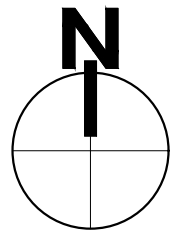
THIRD & FOURTH FLOOR PLANS

DATE: 05/31/2019
DRAWN BY: J.S.
CHECKED BY: H.H.

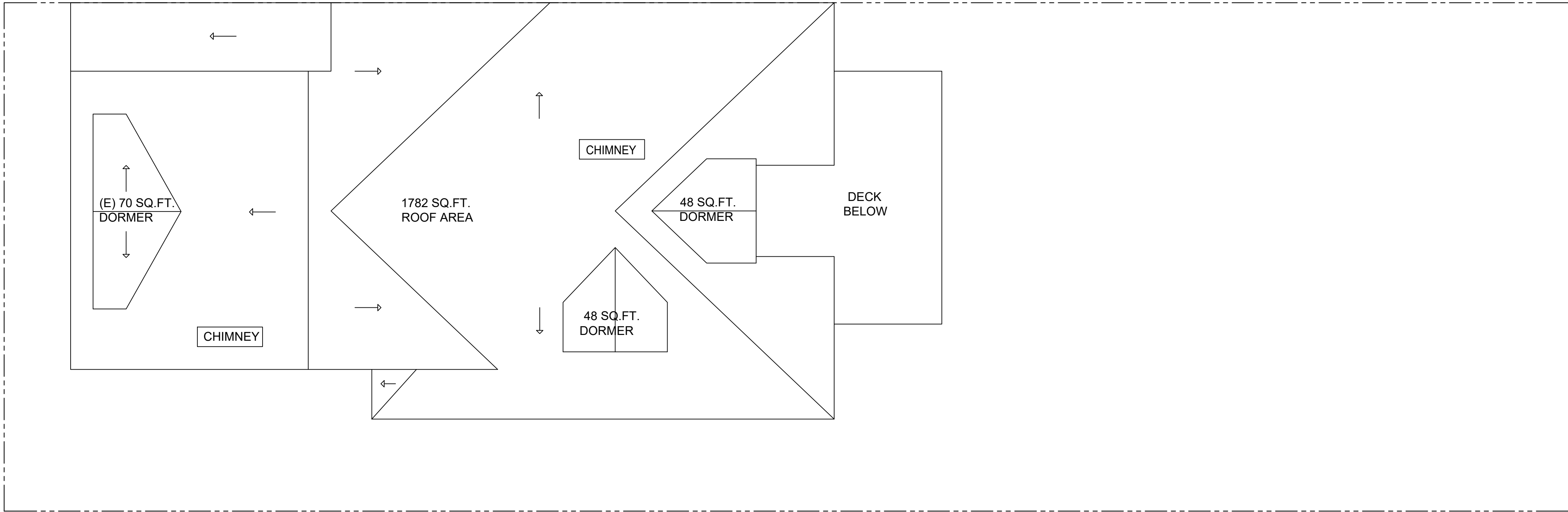
A2.3

PROJECT ADDRESS

PERMIT NUMBER:



10TH AVENUE



1

(E) ROOF PLAN PER BPA #2015.11.17.2851 - NO CHANGE

SCALE: 3/16" = 1'-0"



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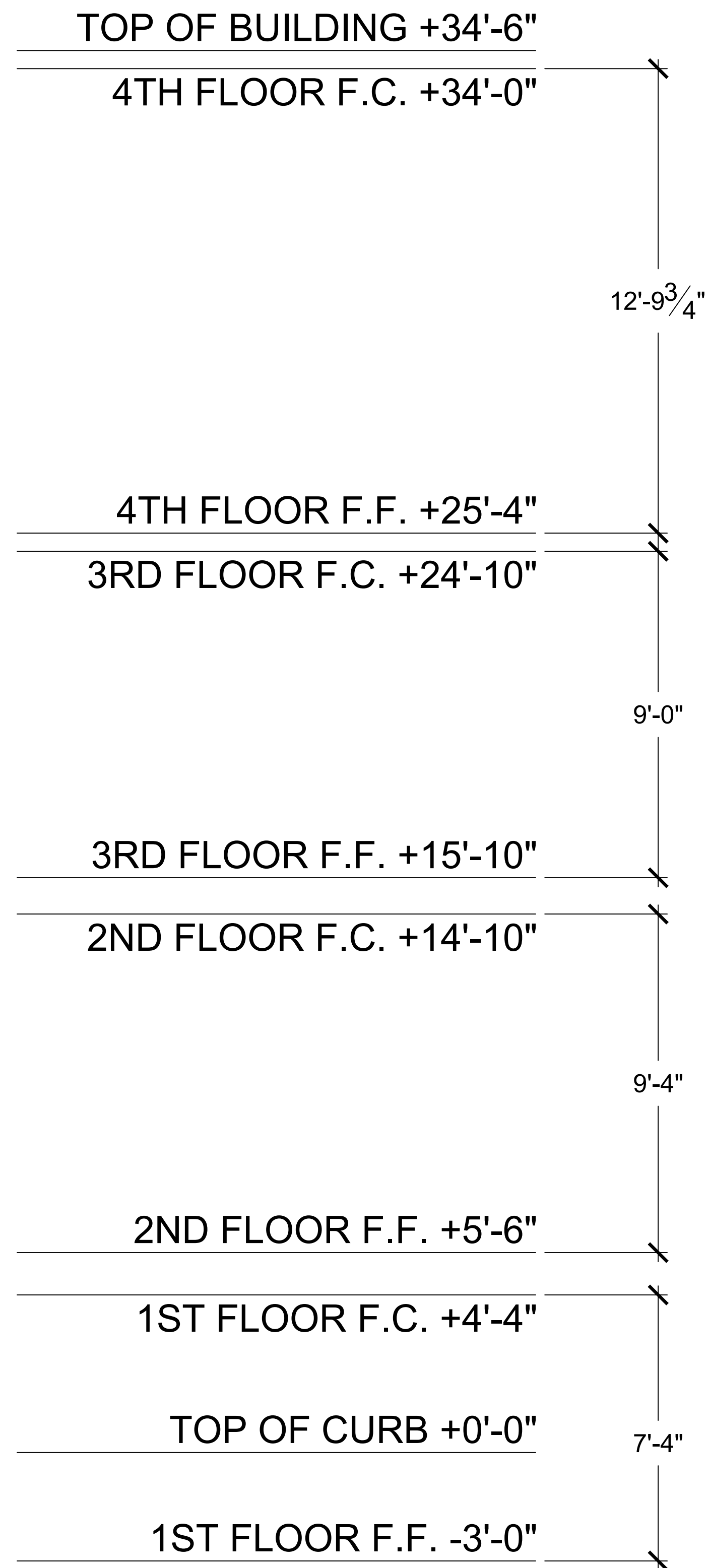
ROOF PLANS

DATE: 05/31/2019
DRAWN BY: J.S.
CHECKED BY: H.H.

A2.4

PERMIT NUMBER:

PROJECT ADDRESS



1 (E) FRONT (WEST) ELEVATION - NO CHANGE

SCALE: 3/8" = 1'-0"

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550 10TH AVENUE
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SAN FRANCISCO, CA 94118

FRONT (WEST) ELEVATION

DATE: 05/31/2019
DRAWN BY: J.S.
CHECKED BY: H.H.

A3.1

PROJECT ADDRESS

PERMIT NUMBER:



550 10TH AVENUE
BLOCK 1552, LOT 035
SAN FRANCISCO, CA 94118

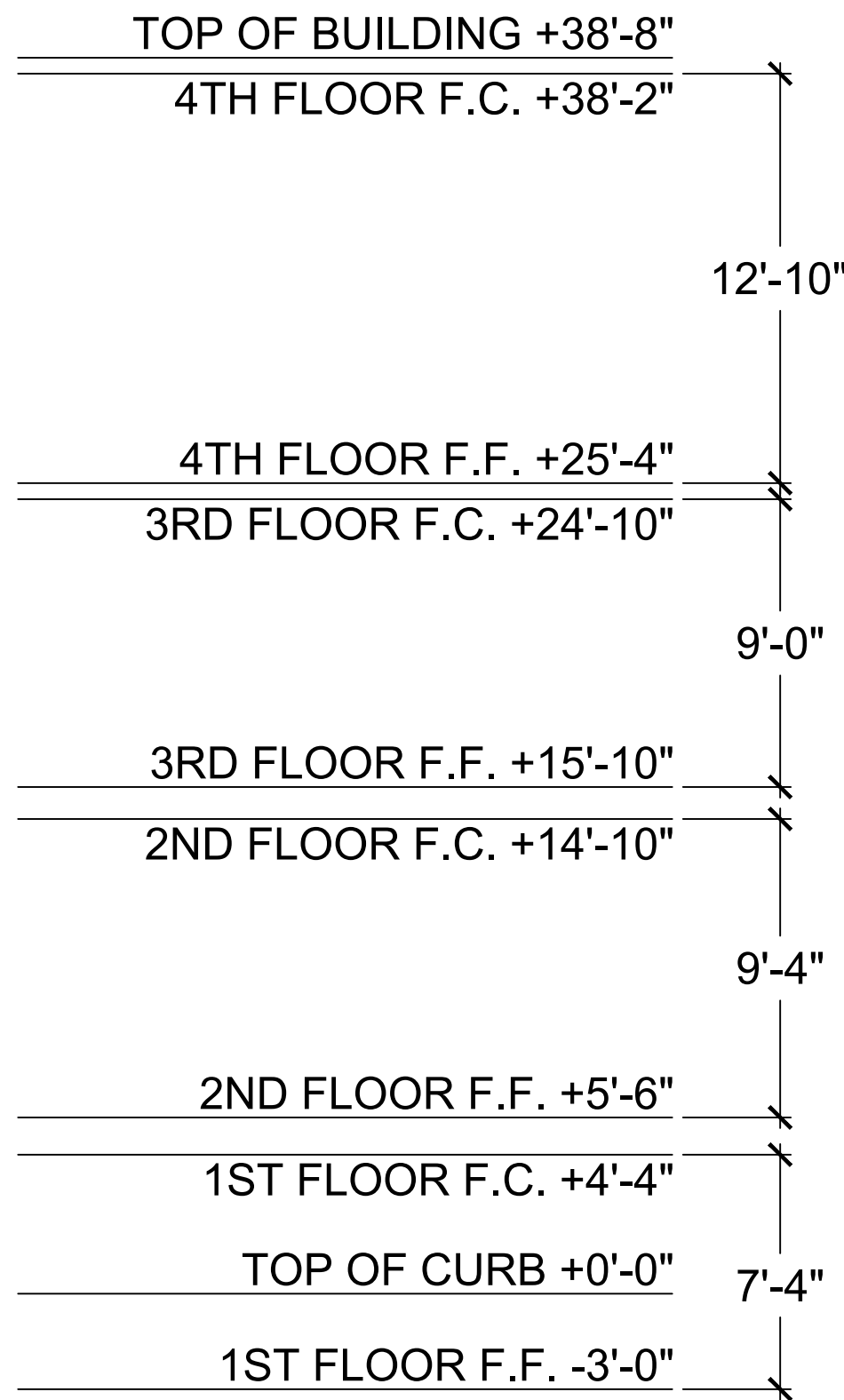
SIDE (SOUTH) ELEVATIONS

DATE: 05/31/2019
DRAWN BY: J.S.
CHECKED BY: H.H.

A3.2

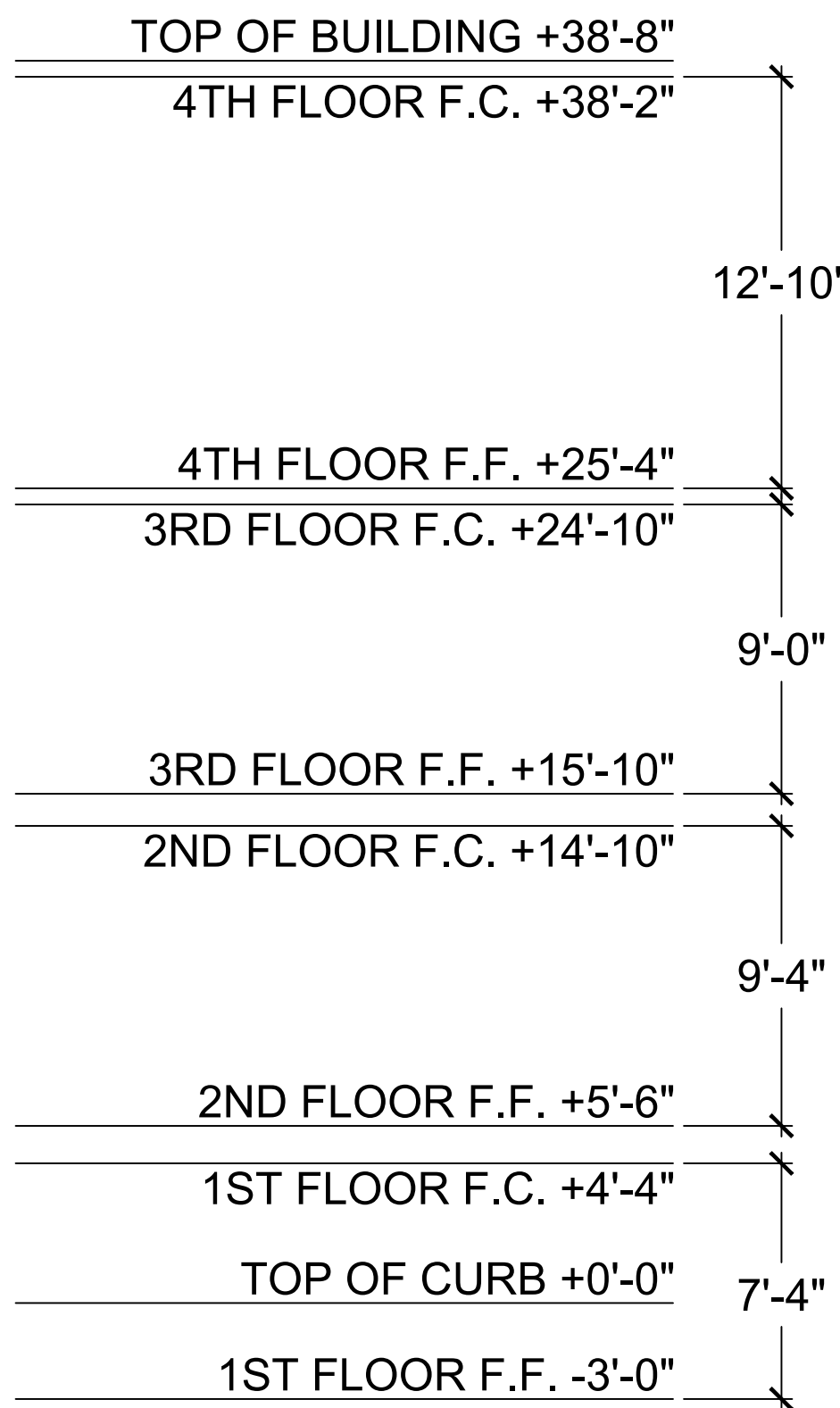
PROJECT ADDRESS

PERMIT NUMBER:



1 (E) SIDE (SOUTH) ELEVATION PER BPA #2015.11.17.2851

SCALE: 3/16" = 1'-0"

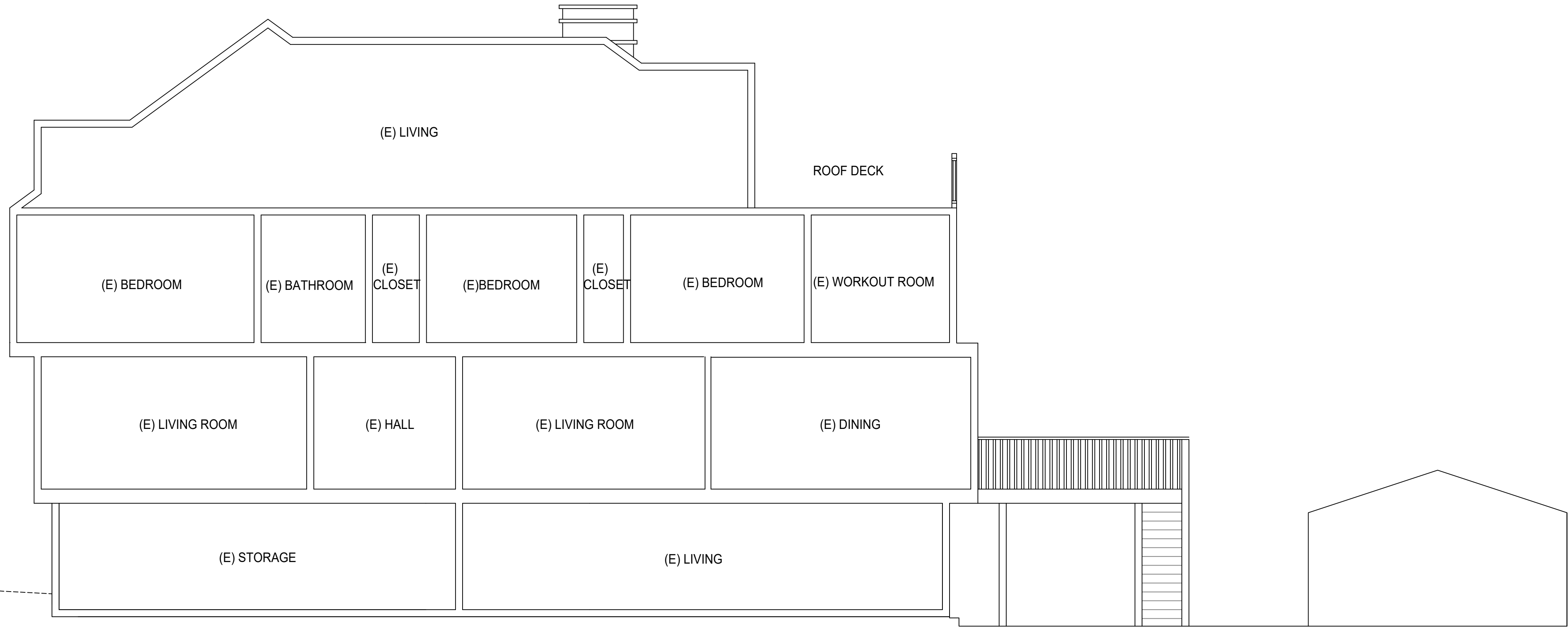


(N) GARAGE DOORS
8'-0" WIDE X 7'-0" H
200 SQ IN VENTS

2 (N) SIDE (SOUTH) ELEVATION

SCALE: 3/16" = 1'-0"

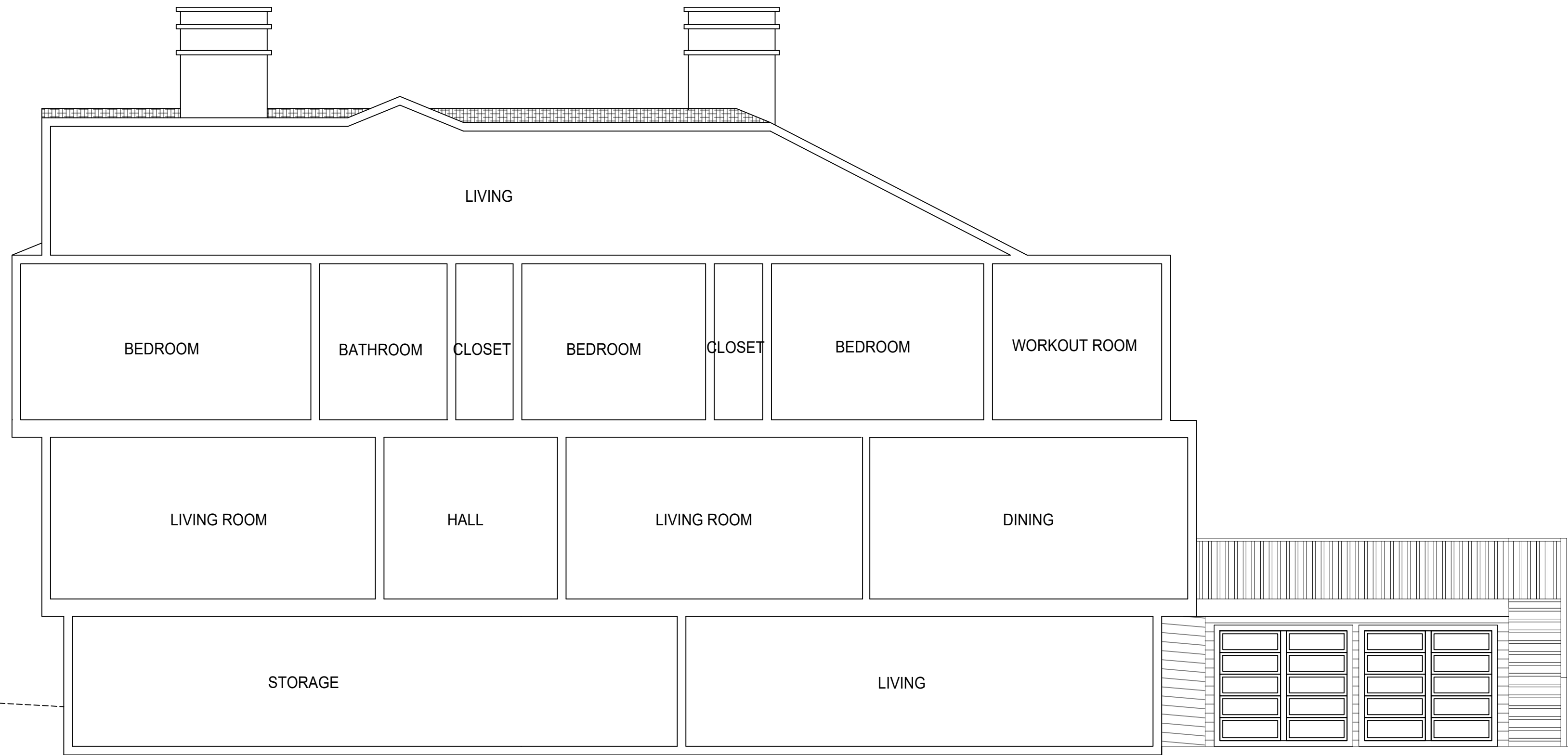
TOP OF BUILDING +34'-6"
FOURTH FLOOR F.C. +34'-0"
8'-6"
FOURTH FLOOR F.F. +25'-4"
THIRD FLOOR F.C. +24'-10"
9'-0"
THIRD FLOOR F.F. +15'-10"
SECOND FLOOR F.C. +14'-10"
9'-4"
SECOND FLOOR F.F. +5'-6"
FIRST FLOOR F.C. +4'-4"
7'-4"
TOP OF CURB +0'-0"
FIRST FLOOR F.F. -3'-0"



1 (E) SECTION PER BPA #2015.11.17.2851

SCALE: 3/16" = 1'-0"

TOP OF BUILDING +34'-6"
FOURTH FLOOR F.C. +34'-0"
8'-6"
FOURTH FLOOR F.F. +25'-4"
THIRD FLOOR F.C. +24'-10"
9'-0"
THIRD FLOOR F.F. +15'-10"
SECOND FLOOR F.C. +14'-10"
9'-4"
SECOND FLOOR F.F. +5'-6"
FIRST FLOOR F.C. +4'-4"
7'-4"
TOP OF CURB +0'-0"
FIRST FLOOR F.F. -3'-0"



2 (N) SECTION

SCALE: 3/16" = 1'-0"



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SECTIONS

DATE: 05/31/2019
DRAWN BY: J.S.
CHECKED BY: H.H.

A4.1

PROJECT ADDRESS

PERMIT NUMBER:

GA # WP 3646 -
GYPSUM WALLBOARD
WOOD STUDS

FIRE RATING: 1 HOUR

1 LAYER 5/8" TYPE X GYPSUM WALLBOARD
2x4 WOOD STUDS @16" O.C.

1 LAYER 5/8" TYPE X GYPSUM WALLBOARD

NOTES:

ONE LAYER 5/8" THICK PROPRIETARY TYPE X GYPSUM BOARD APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF 2X4 WOOD STUDS 16" O.C. WITH 6D COATED NAILS, 1 7/8" LONG, 0.0915" SHANK, 3/4" HEADS 7" O.C.

JOINTS STAGGERED 16" ON OPPOSITE SIDES. (LOAD BEARING)

PROPRIETARY GYPSUM PANEL PRODUCTS:
CERTAINTEED GYPSUM INC.
5/8" AIRRENEW GYPSUM BOARD

THICKNESS: 4 7/8"

APPROX. WEIGHT: 7 PSF

FIRE TEST: UL R15187, 02NKK31412, 7-17-02, UL DESIGN U305

GA # WP 8105 -
GYPSUM WALLBOARD GYPSUM
SHEATHING WOOD STUDS

FIRE RATING: 1 HOUR

EXTERIOR CLADDING TO BE
ATTACHED THROUGH
SHEATHING TO STUDS

1 LAYER 48" WIDE TYPE
X GYPSUM SHEATHING

2x4 WOOD STUD @16" O.C.

2 LAYER 5/8" TYPE X GYPSUM WALLBOARD

NOTES:

EXTERIOR SIDE:
ONE LAYER 48" WIDE 5/8" TYPE X GYPSUM SHEATHING APPLIED PARALLEL TO 2X4 WOOD STUDS 24" O.C. WITH 1 3/8" GALVANIZED ROOFING NAILS 4" O.C. AT VERTICAL JOINTS AND 7" O.C. AT INTERMEDIATE STUDS AND TOP AND BOTTOM PLATES. JOINTS OF GYPSUM SHEATHING MAY BE LEFT UNTREATED. EXTERIOR CLADDING TO BE ATTACHED THROUGH SHEATHING TO STUDS.

INTERIOR SIDE:
ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD, WATER RESISTANT GYPSUM BACKING BOARD, OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO STUDS WITH 6D COATED NAILS, 1 5/8" LONG, 0.0915" SHANK, 3/4" HEADS, 7" O.C. (LOAD BEARING)

THICKNESS: VARIES

APPROX. WEIGHT: 7 PSF

FIRE TEST: SEE WP 3510 (UL R3501-47, -48, 9-17-65, UL DESIGN U309; UL R1319-129, 7-22-70, UL DESIGN U314)

GA # FC 5120 -
WOOD JOISTS, GYPSUM WALLBOARD,
RESILIENT CHANNELS, GLASS FIBER INSULATION

FIRE RATING: 1 HOUR

50-54 STC SOUND

2x10 WOOD STUD @16" O.C.

1 LAYER 5/8" TYPE X GYPSUM WALLBOARD

HARDWOOD FLOORING
TNG SUBFLOOR

RESILIENT FURRING CHANNELS

50-54 STC SOUND

2x10 WOOD STUD @16" O.C.

1 LAYER 5/8" TYPE X GYPSUM WALLBOARD

CARPETING
HARDWOOD FLOORING
TNG SUBFLOOR

RESILIENT FURRING CHANNELS

NOTES:

ONE LAYER 3/4" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED AT RIGHT ANGLES TO RESILIENT FURRING CHANNELS 24" O.C. WITH 1" TYPE S DRYWALL SCREWS 8" O.C. AT ENDS AT 12" AT INTERMEDIATE FURRING CHANNELS. GYPSUM BOARD END JOINTS LOCATED MIDWAY BETWEEN CONTINUOUS CHANNELS AND ATTACHED TO ADDITIONAL PIECES OF CHANNEL 64" LONG WITH SCREWS 8" O.C. RESILIENT FURRING CHANNELS APPLIED AT RIGHT ANGLES TO 2X10 WOOD JOISTS 16" O.C. WITH 6D COATED NAILS, 1 5/8" LONG, 0.085" SHANK, 3/4" HEADS, TWO PER JOIST. WOOD JOISTS SUPPORTING 5/8" INTERIOR PLYWOOD WITH EXTERIOR GLUE SUBFLOOR AND 3/8" PARTICLE BOARD, 1.5 PSF. 3 1/2" GLASS FIBER INSULATION BATTS, 0.7 PCF, FRICTION FIT IN JOIST CAVITIES SUPPORTED ALTERNATELY EVERY 12" BY WIRE RODS AND RESILIENT FURRING CHANNELS. SOUND TESTED WITH CARPET AND PAD AND WITH INSULATION STAPLED TO JOISTS.

CEILING WEIGHT: ~2 PSF

FIRE TEST: FM FC-181, 8-31-72

SOUND TEST: G&H OC-3MT, 10-13-71

IIC & TEST: (73 C & P) G&H OC-3MT, 10-13-71

1

RATED INTERIOR WALL

SCALE: N.T.S.

2

RATED EXTERIOR WALL

SCALE: N.T.S.

4

1 HR RATED CEILING/FLOOR

SCALE: N.T.S.

PARTITION K

"2x" WOOD FRAMING - REFER STRUCTURAL

BATT INSULATION, STC 50 MIN.

SMOOTH WALL FINISH 5/8" GWB, PAINTED, FINISH LEVEL 5

2X Framing w/ GWB 2 Sides N.T.S.

11

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REGISTERED PROFESSIONAL ENGINEER
Philip E. Howe
C-17481
Exp. 05-31-2019
Civil
STATE OF CALIFORNIA

550 10TH AVENUE
BLOCK 1552, LOT 035
SAN FRANCISCO, CA 94118

DETAILS & FIXTURE LEGEND

DATE: 05/31/2019

DRAWN BY: J.S.

CHECKED BY: H.H.

A6.1

PROJECT ADDRESS

PERMIT NUMBER:

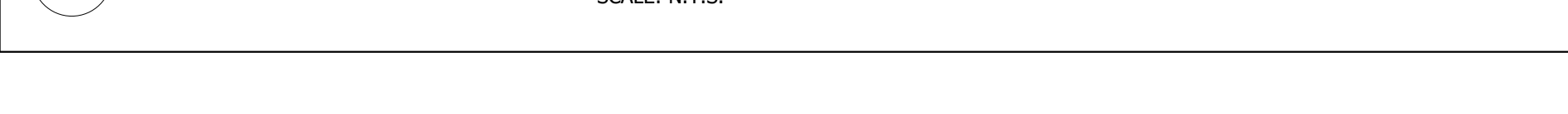
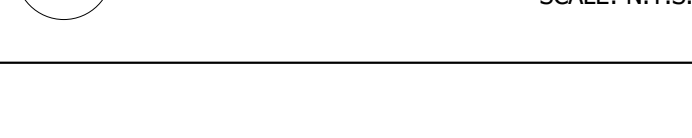
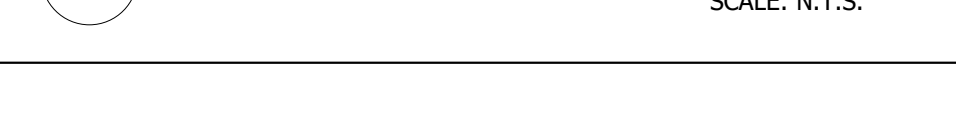
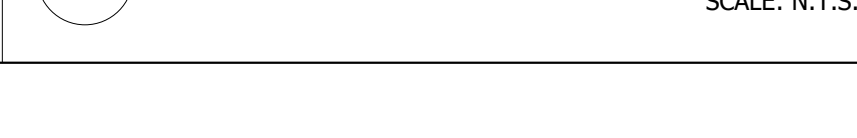
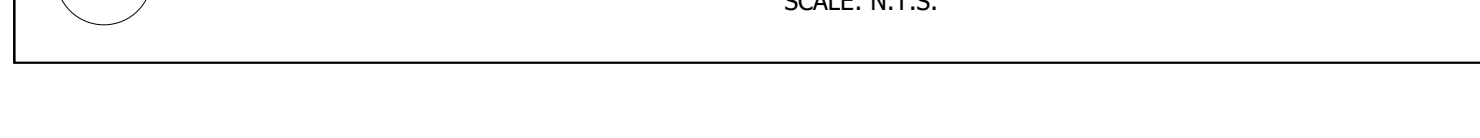
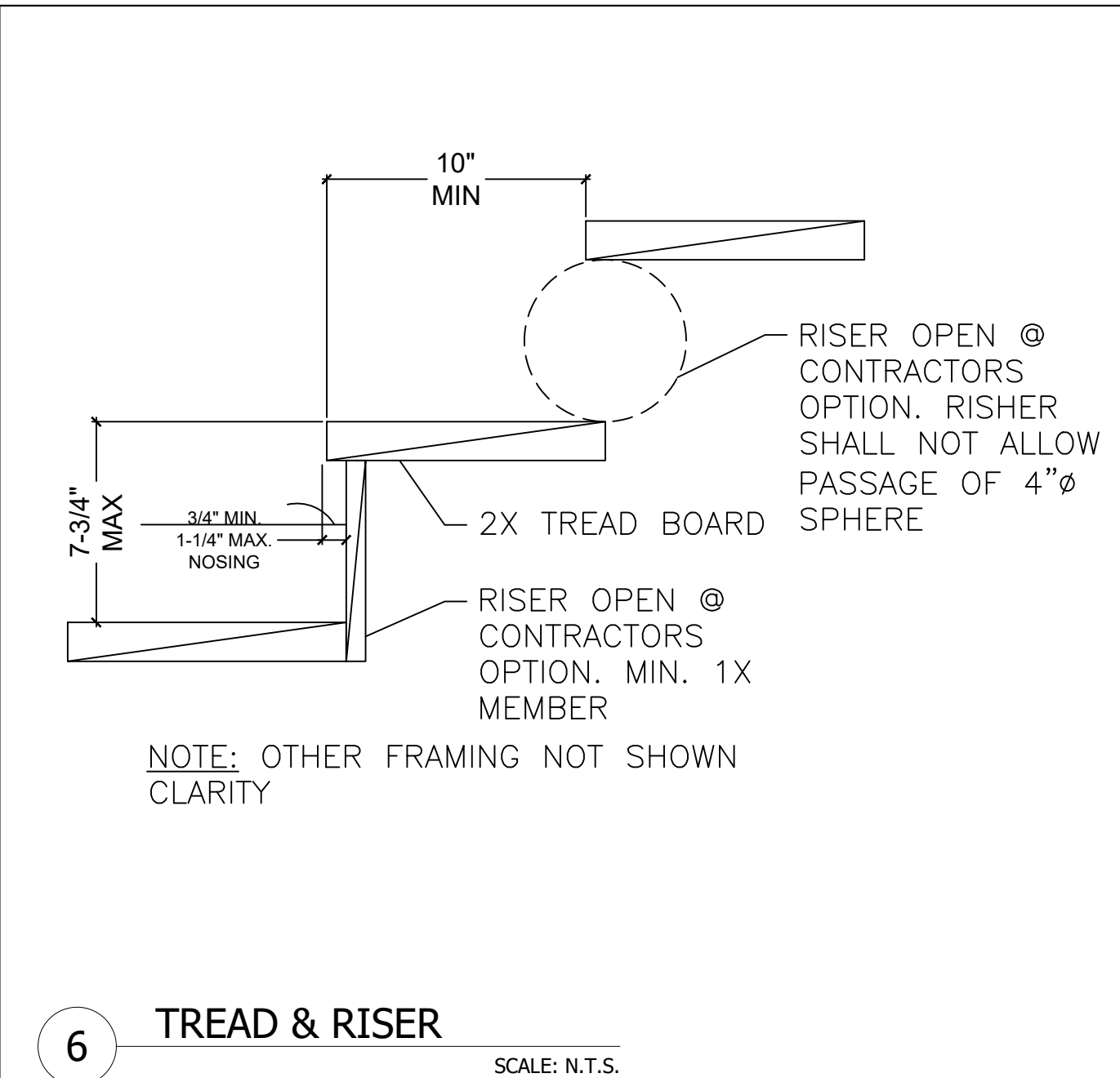
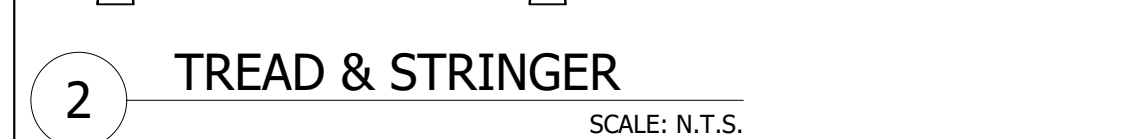


EXHIBIT B

550 10th Avenue
(Subject Property)

540 10th Avenue
(DR Requestor Property)

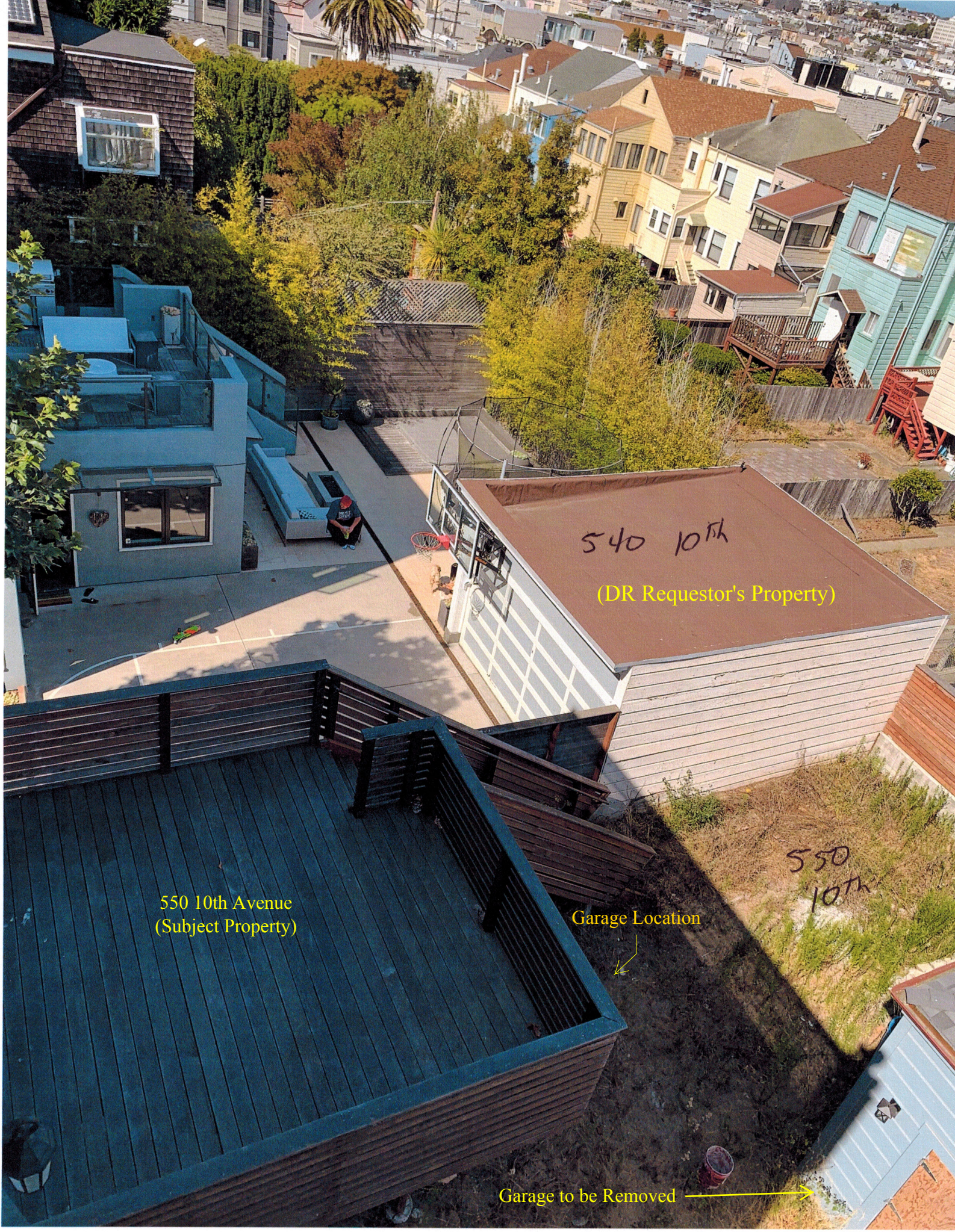


New Garage Location

Garage to be Removed

Existing garage to be removed





540 10th

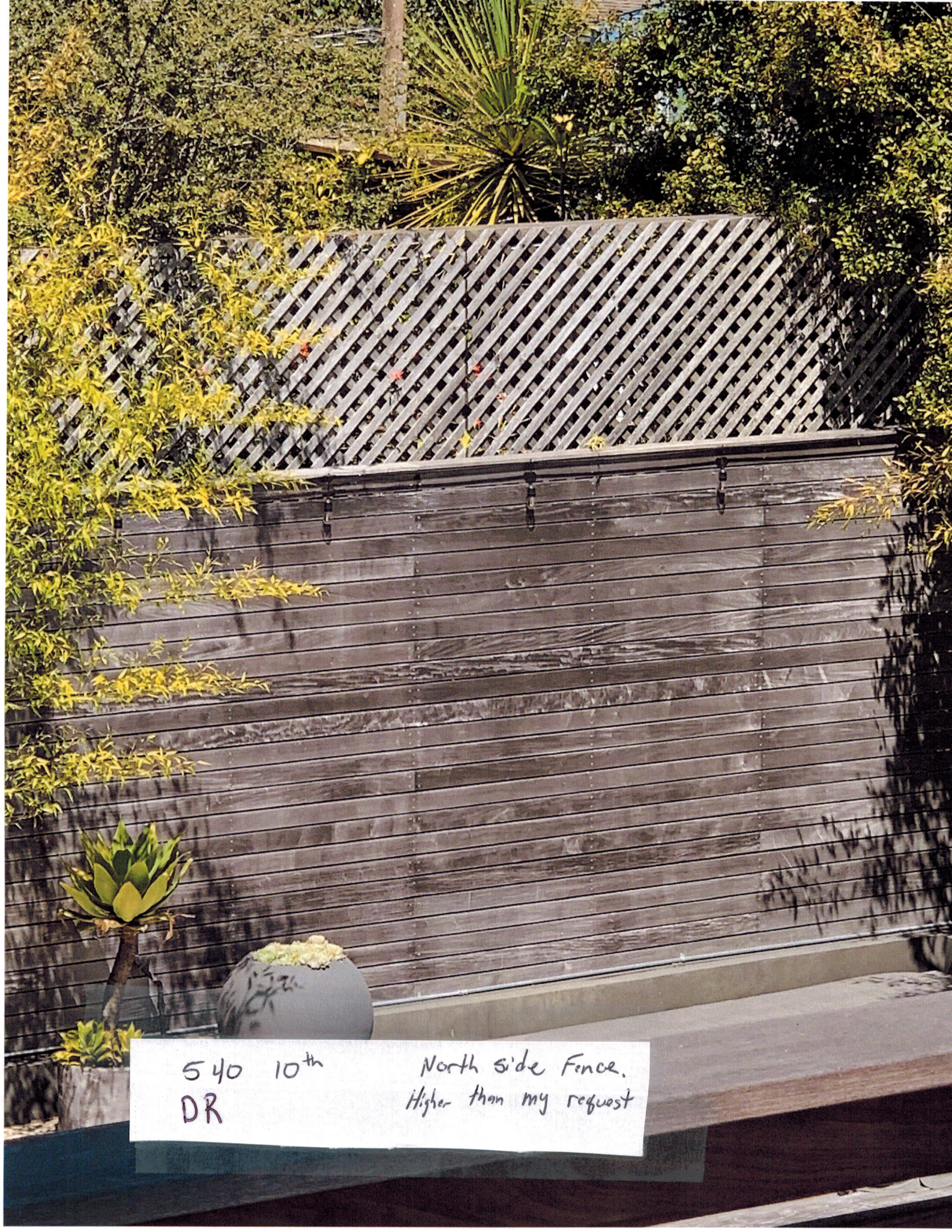
(DR Requestor's Property)

550 10th Avenue
(Subject Property)

550
10th

Garage Location

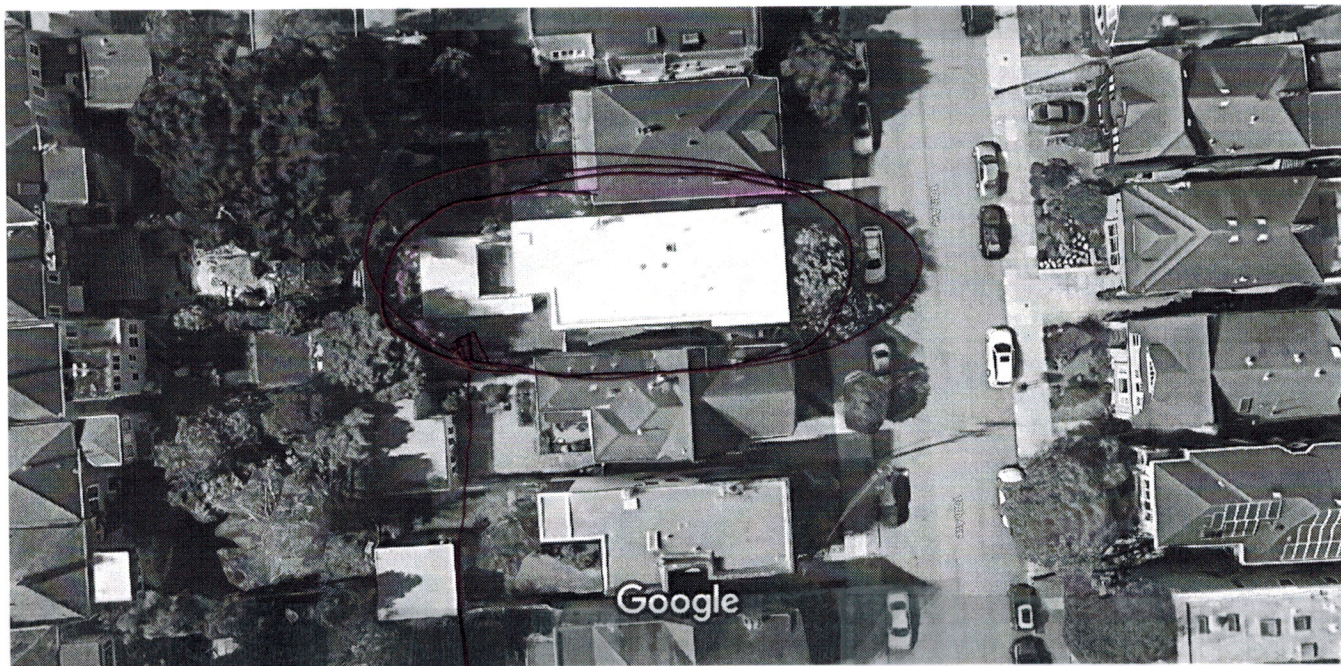
Garage to be Removed




540 10th
DR

North side Fence.
Higher than my request

519 10th



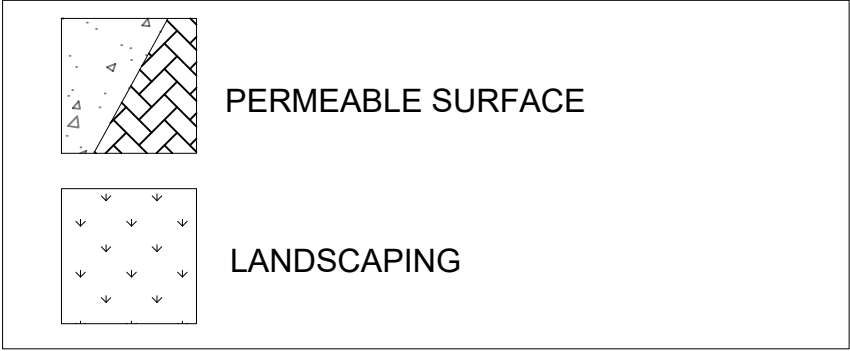
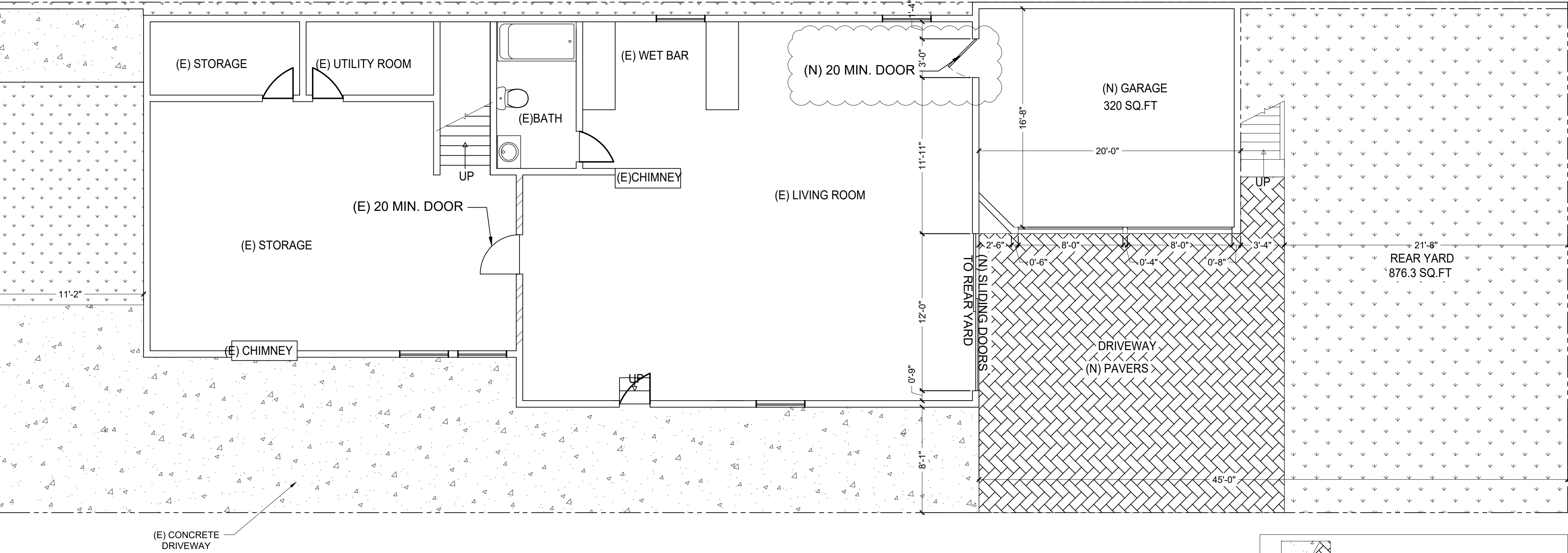
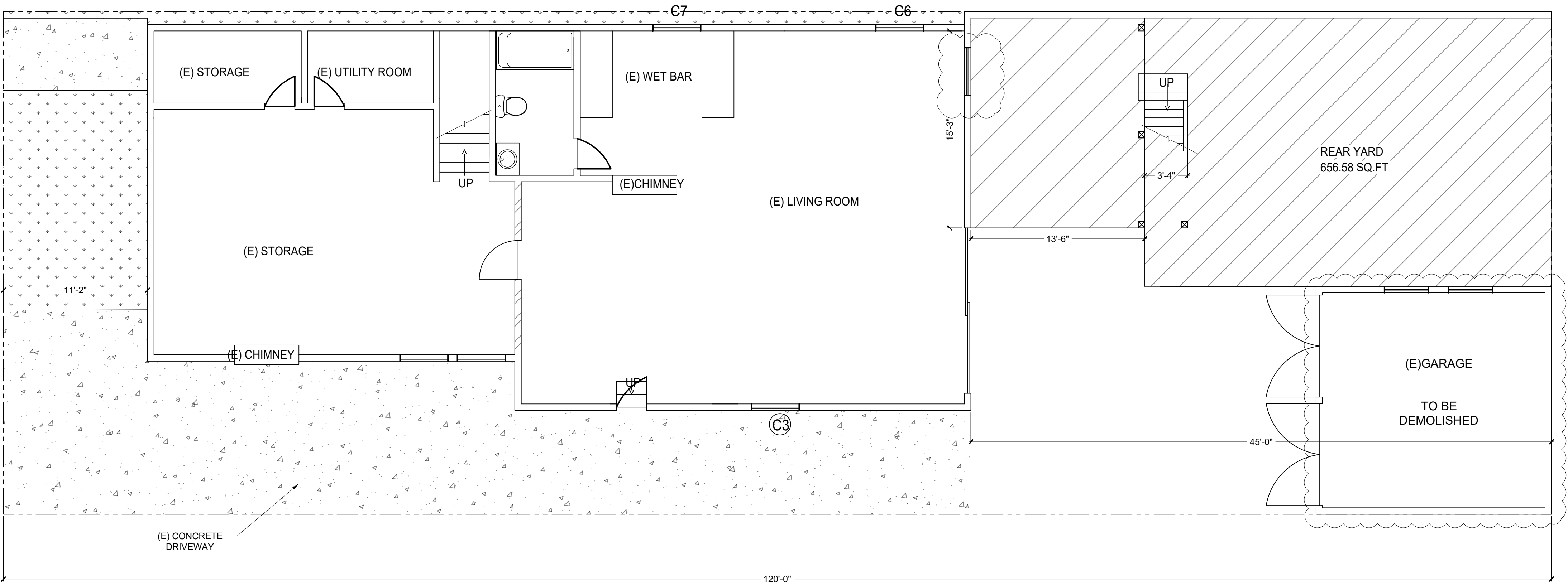
Shows a substantially larger rear encroachment

A photograph of a backyard. In the background, there is a shed with a dark roof and three skylights. A wooden lattice fence runs across the middle ground. To the right, a wooden deck with a railing is visible. In the foreground, there is a concrete patio area. A white rectangular box with handwritten text is overlaid on the image.

566 10th Rear Structure Full width
572 10th " "

560 10th AVE GARAGE





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FIRST FLOOR PLANS

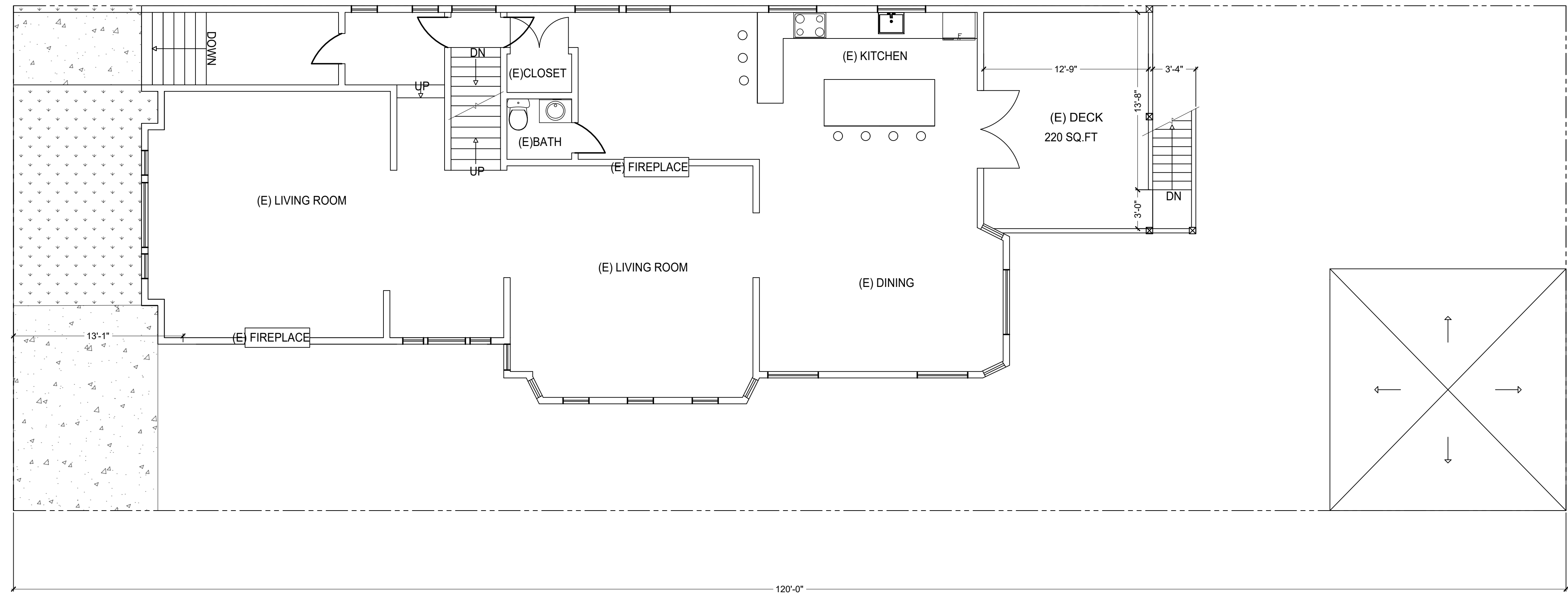
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CHECKED BY: ##

A2.1

PROJECT ADDRESS

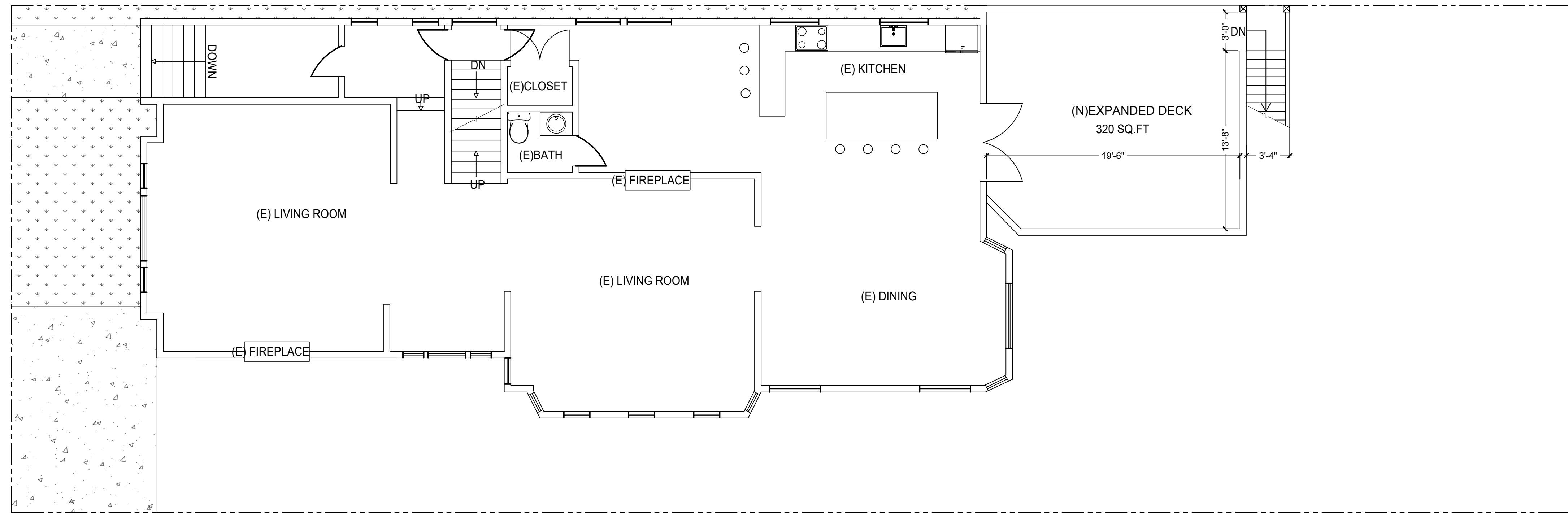
PERMIT NUMBER:

1 (E) SECOND FLOOR PLAN



SCALE: 1/4" = 1'-0"

2 (N) SECOND FLOOR PLAN



SCALE: 1/4" = 1'-0"



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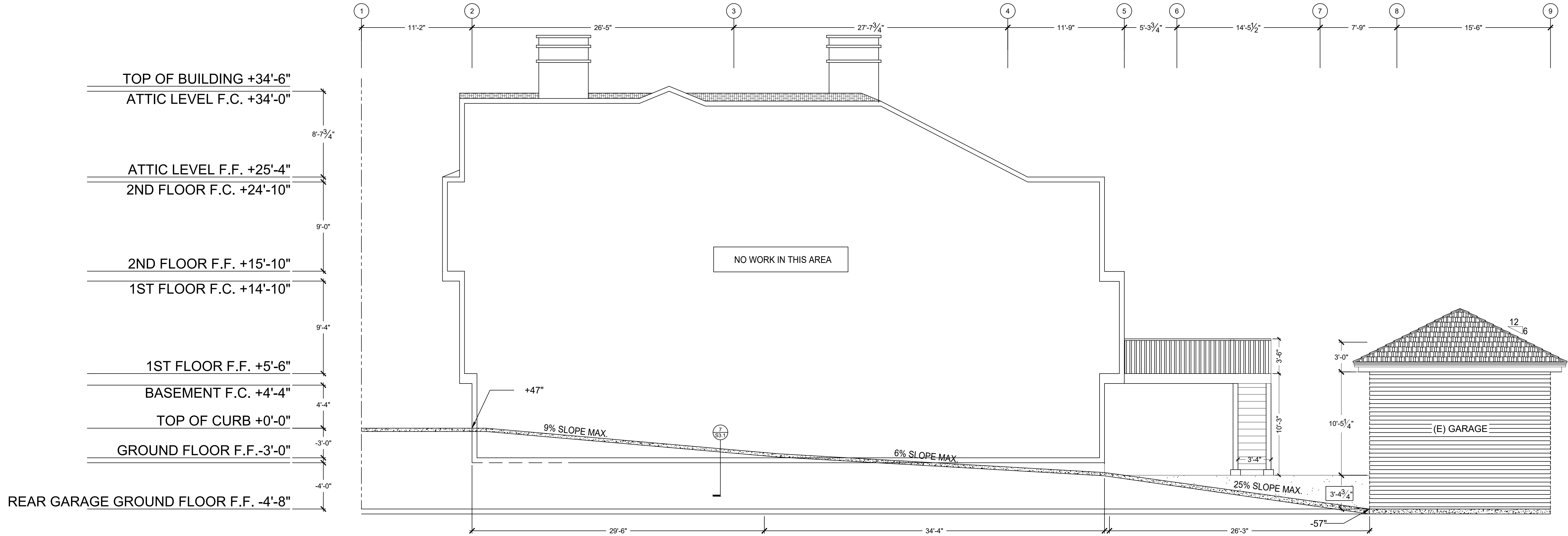
SECOND FLOOR PLANS

DATE: ##/##/####
DRAWN BY: ##
CHECKED BY: ##

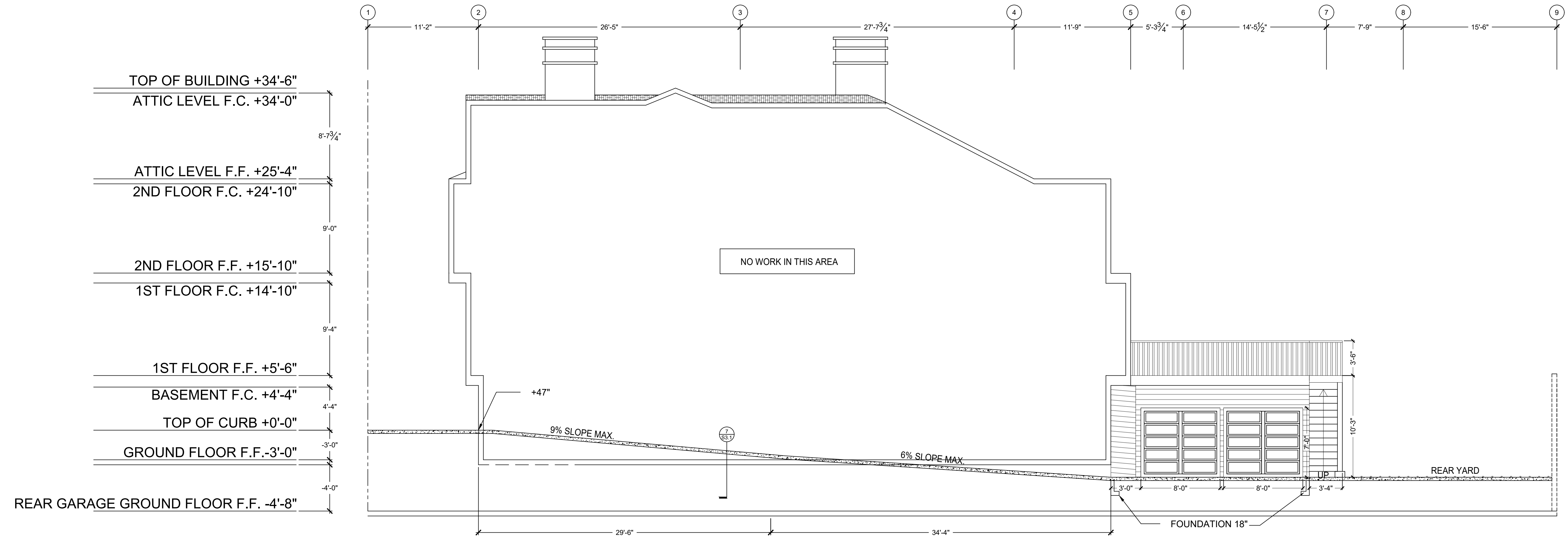
A2.2

PROJECT ADDRESS

PERMIT NUMBER:



1 (E) FRONT ELEVATION



2 (N) FRONT ELEVATION

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550 10TH AVENUE
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FRONT & REAR ELEVATIONS

DATE: ####/####
DRAWN BY: ##
CHECKED BY: ##

A3.1

PROJECT ADDRESS

PERMIT NUMBER: