



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis

HEARING DATE: AUGUST 29, 2019

CONTINUED FROM JUNE 27, 2019

Date: August 22, 2019
Case No.: 2018-011962DRP
Project Address: 869 ALVARADO STREET
Permit Application: 2018.0823.8143
Zoning: RH-2 (Residential House, Two-Family)
40-X Height and Bulk District
Block/Lot: 2802/037
Project Sponsor: Keli Cwynar
Level Design
1662 Grove Street
San Francisco, CA 94117
Staff Contact: David Winslow – (415) 575-9159
David.Winslow@sfgov.org
Recommendation: **Do not take DR and Approve**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The project proposes to construct a one-story attached garage in the existing side drive way at the east property line.

SITE DESCRIPTION AND PRESENT USE

The site is a 37'-6" wide x 118' deep lot with a circa 1900 three-story, single-family dwelling.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

This block of Alvarado Street consists predominantly of 2 to 3-story wood and stucco clad single-family homes with garages at the ground floor. This block includes a few multi-family properties, condominiums and homes with detached garages along Alvarado Street.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	20 days	February 19, 2019 – March 21, 2019	March 21, 2019	August 29, 2019	160 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	20 days	June 7, 2019	June 14, 2019	77 days
Mailed Notice	20 days	June 7, 2019	June 7, 2019	20/84 days
Online Notice	20 days	June 7, 2019	June 7, 2019	20/84 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	1	0	0
Other neighbors on the block or directly across the street	0	0	0
Neighborhood groups	0	0	0

DR REQUESTOR

Richard Nunez and Maria Pasos-Nunez, 861 Alvarado Street, adjacent neighbor to east.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

1. Project is not compatible with the neighborhood character;
2. Blockage of existing property line windows resulting in the reduction of light and ventilation as well as emergency egress;
3. Increased risk of fire as well as damage from possible earthquake;

Requested changes:

1. Propose a gate as an alternative of a garage structure.

See attached *Discretionary Review Application*, dated March 21, 2019.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

The sponsor has revised the project to comply with the Planning Code, Residential Design Guidelines, and concerns raised by the DR requestor. The project will not alter the character of the building or neighborhood, increase risk of fire or earthquake damage, or block required emergency escape windows. Some of the property line windows which the DR requestor wishes to protect are in a portion of their building which encroaches over the subject property line.

See attached *Response to Discretionary Review*, dated April 23, 2019.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

RDAT found that the scale and massing of the proposed new structure is compatible with adjacent buildings, and that the following issues raised by the DR requestor are not exceptional or extraordinary. Specifically:

1. The new single-story garage structure is designed in a compatible manner with the existing historic resource. The new structure is setback at least twenty feet from the front building façade, sited in an existing driveway on the property, which reduces its visibility from the street. The garage is clad in horizontal wood siding and has a flat roof that is visually separated from the existing bay window projection.
2. The proposed blockage or diminishment of light to existing windows are not exceptional or extraordinary; property line windows are not protected.

RECOMMENDATION: Do not take DR and Approve
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Attachments:

Block Book Map

Sanborn Map

Zoning Map

Aerial Photographs

Context Photographs

Section 311 Notice

CEQA Determination

DR Application

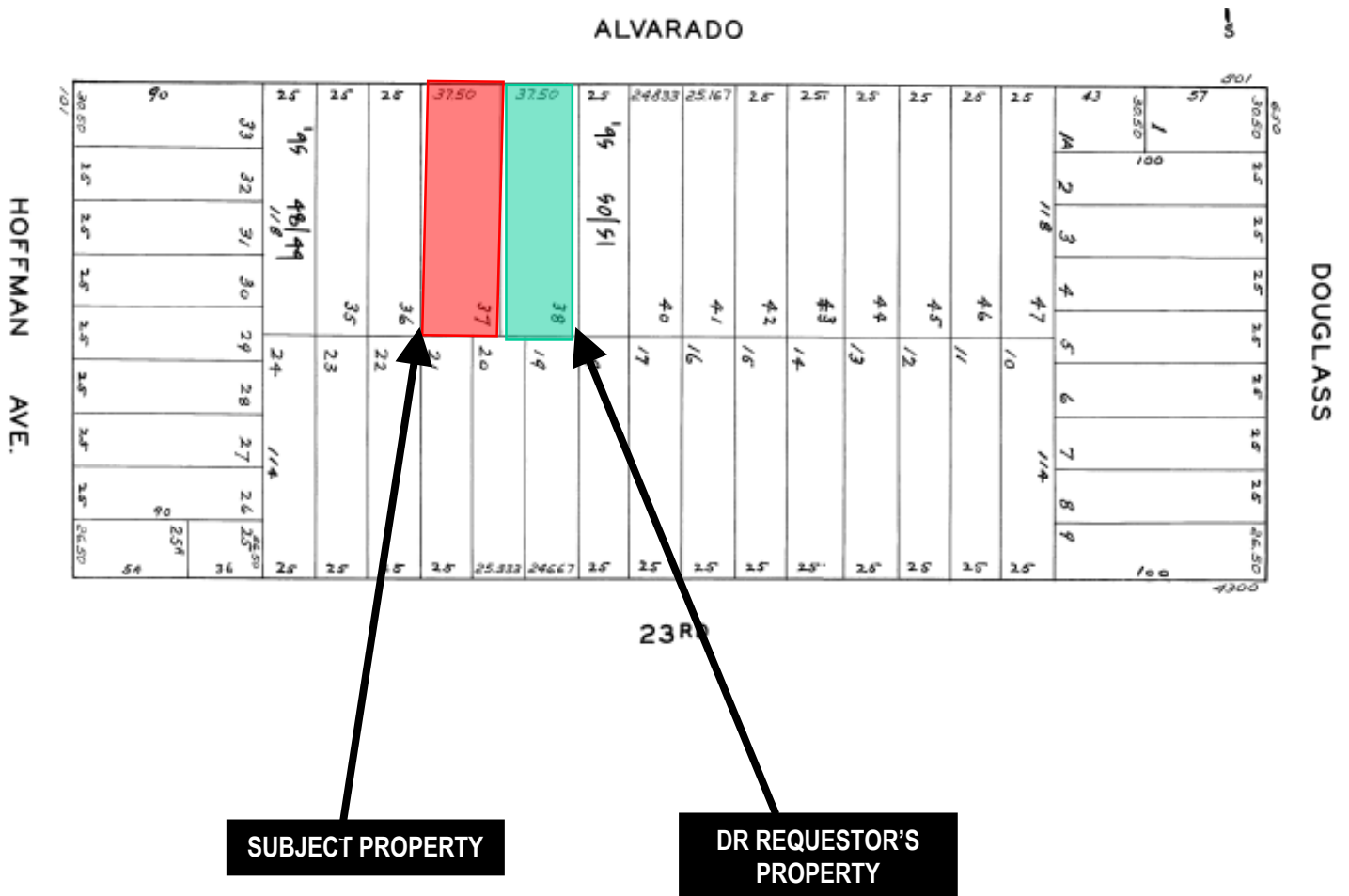
Response to DR Application dated April 23, 2019 with supporting documents titled "Exhibit 1"

Reduced Plans

Public Correspondence

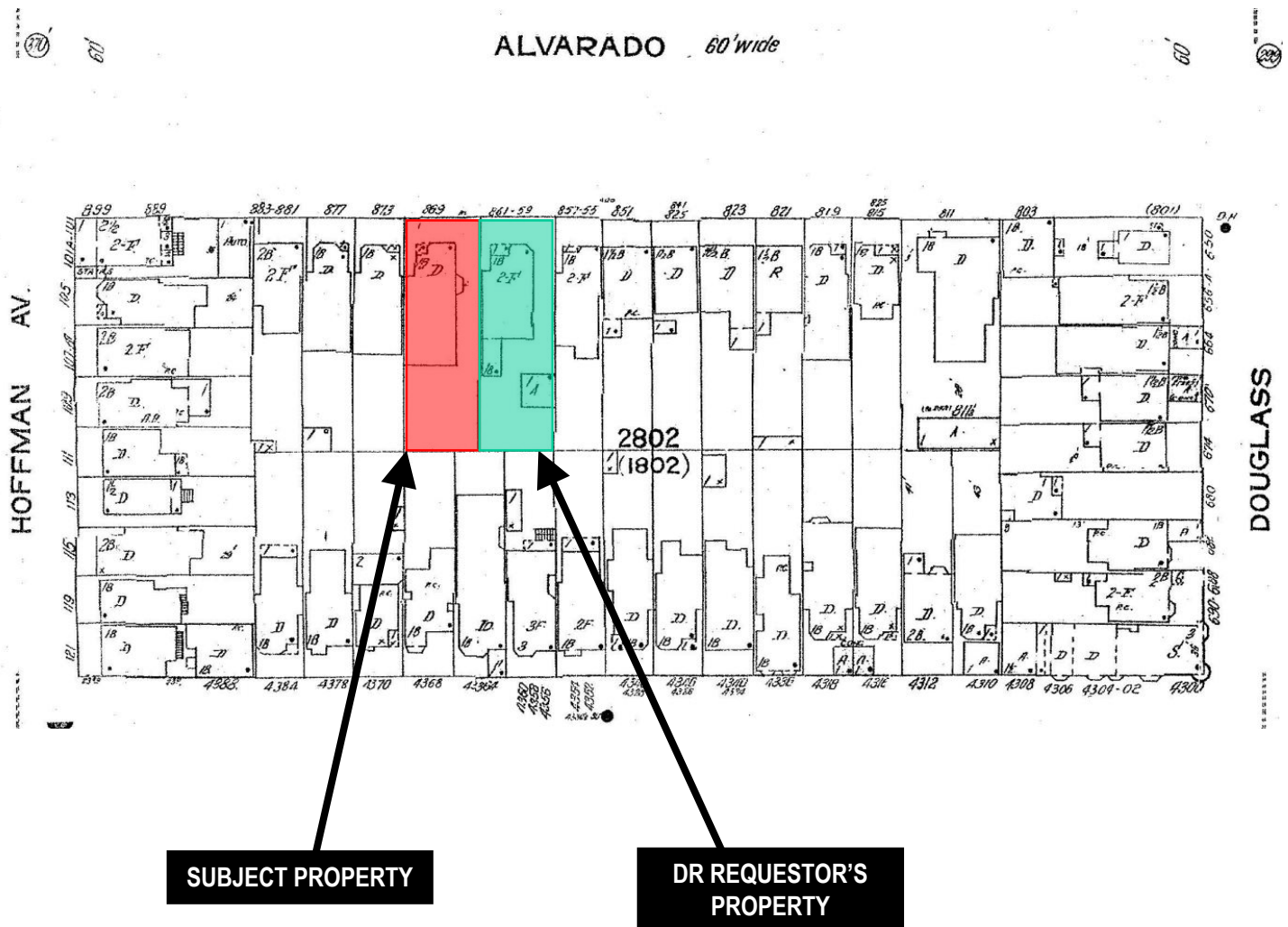
Exhibits

Parcel Map



Discretionary Review Hearing
Case Number 2018-011962DRP
869 Alvarado Street

Sanborn Map*

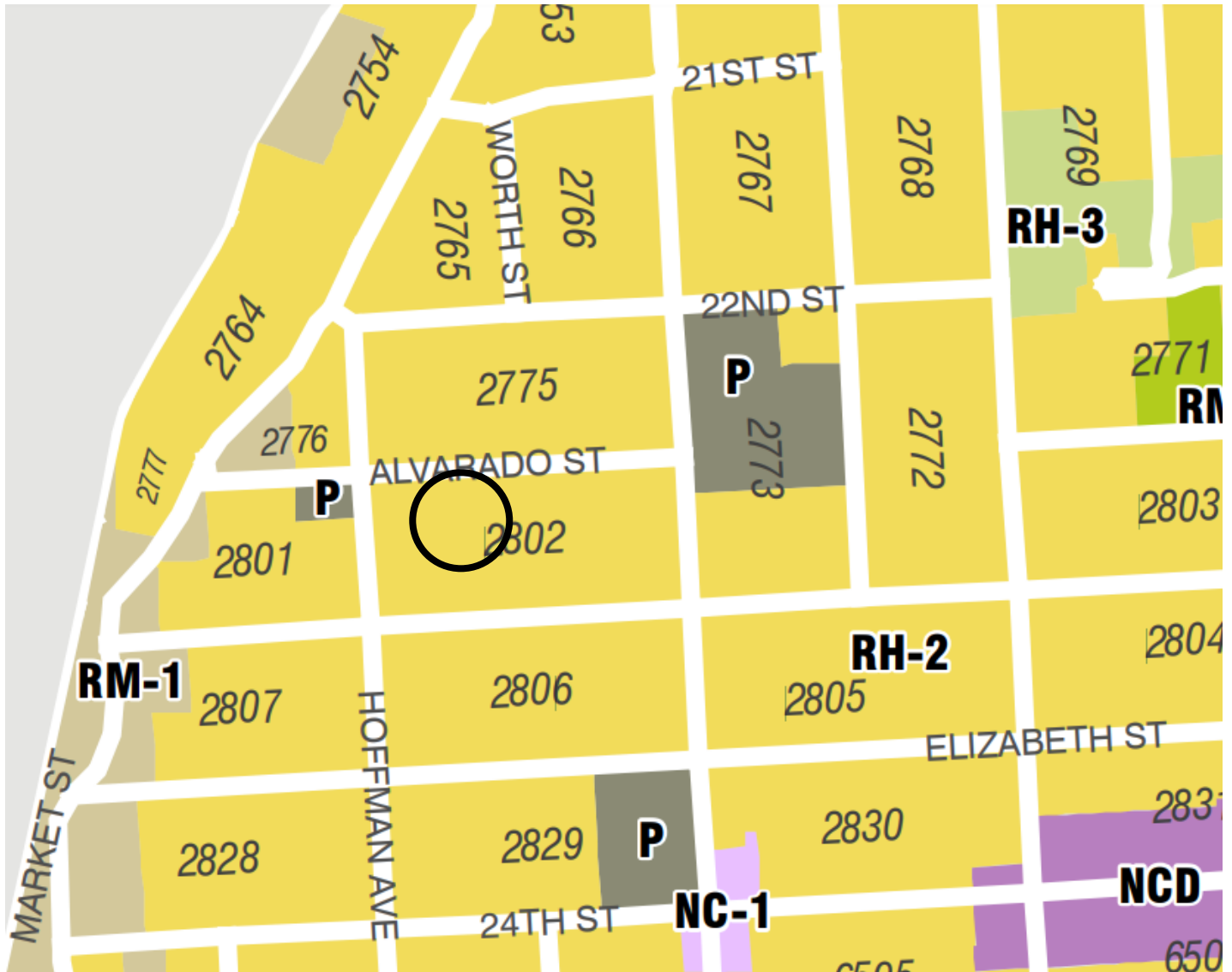


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing
Case Number 2018-011962DRP
869 Alvarado Street

Zoning Map



Discretionary Review Hearing
Case Number 2018-011962DRP
869 Alvarado Street

Aerial Photo



Aerial Photo



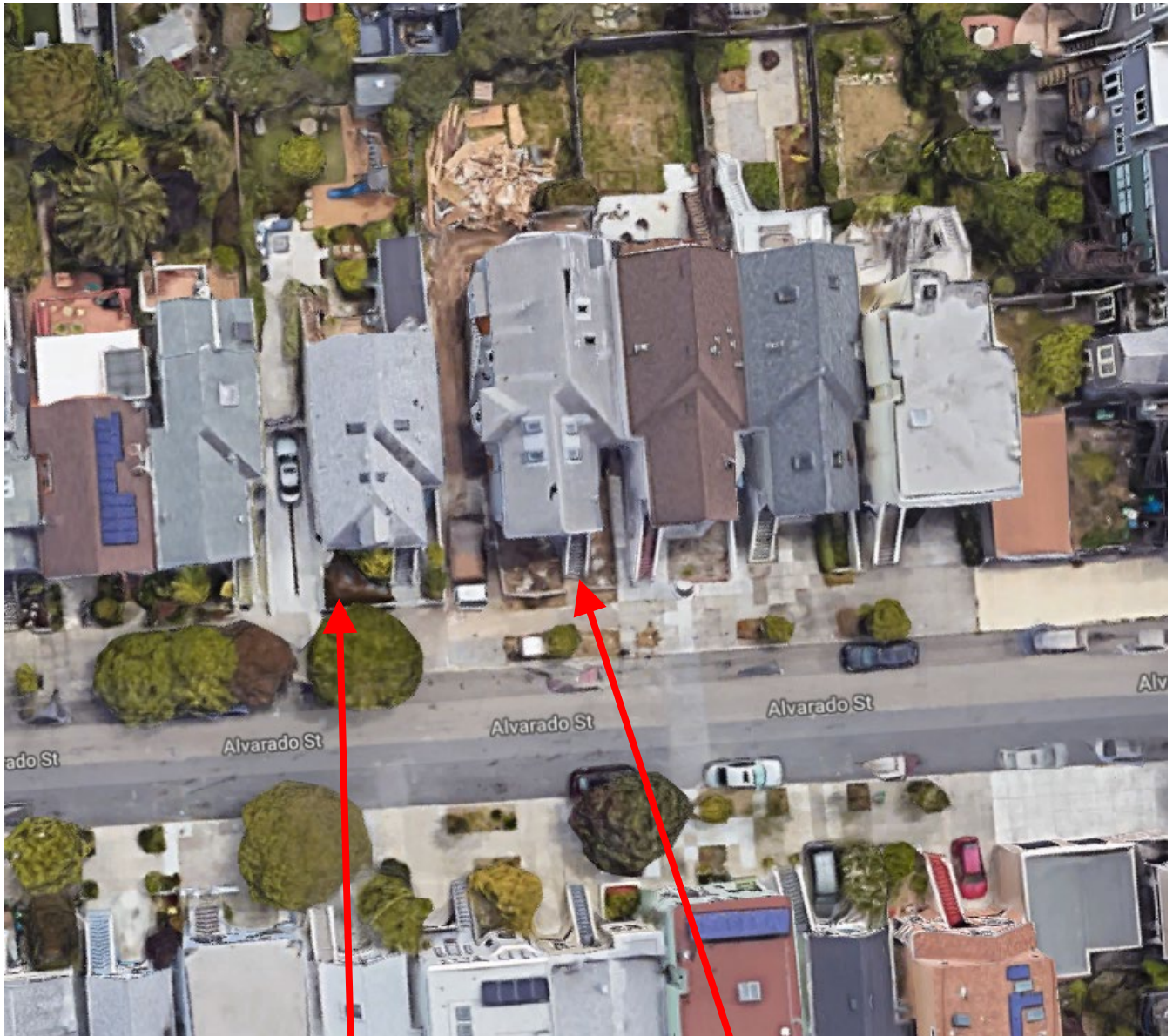
SUBJECT PROPERTY

**DR REQUESTOR'S
PROPERTY**



Discretionary Review Hearing
Case Number 2018-011962DRP
869 Alvarado Street

Aerial Photo



DR REQUESTOR'S
PROPERTY

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-011962DRP
869 Alvarado Street

Aerial Photo



**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-011962DRP
869 Alvarado Street

Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2018-011962DRP
869 Alvarado Street



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **August 30, 2018**, Building Permit Application No. **2018.08.23.8143S** was filed for work at the Project Address below.

Notice Date: February 19, 2019

Expiration Date: March 21, 2019

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	869 Alvarado Street	Applicant:	Keli Cwynar (Architect)
Cross Street(s):	Hoffman and Douglass Streets	Address:	1662 Grove Street
Block/Lot No.:	2802/037	City, State:	San Francisco, CA 94117
Zoning District(s):	RH-2/40-X	Telephone:	(415) 409-1290
Record Number:	2018-011962PRJ	Email:	kelicwynar@hotmail.com

You are receiving this notice as an owner or occupant of property within 150 feet of the proposed project. **You are not required to take any action.** For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request that the Planning Commission review this application at a public hearing for Discretionary Review. Requests for a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown above, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input checked="" type="checkbox"/> Side Addition	<input type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	Residential
Front Setback	13 feet - 7 inches	No Change
Side Setbacks	12 feet (east side)	0
Building Depth	49 feet - 6 inches	No Change
Rear Yard	36 feet	No Change
Building Height	28 feet	No Change
Number of Stories	3	No Change
Number of Dwelling Units	1	No Change
Number of Parking Spaces	0	1
PROJECT DESCRIPTION		
The proposal is to construct a one-story attached garage in existing side drive way on an existing three - story, single - family dwelling. See attached plans.		
The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code		

To view plans or related documents, visit sf-planning.org/notices and search the Project Address listed above. Once the property is located, click on the dot(s) to view details of the record number above, its related documents and/or plans.

For more information, please contact Planning Department staff:

Planner: Max Setyadi Putra

Telephone: (415) 575-9180 (Tuesday, Wednesday, Thursday)

Email Address: max.setyadi Putra@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, contact the Planning Information Center (PIC) at 1660 Mission Street, 1st Floor (415) 558-6377 or pic@sfgov.org. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. **You must submit the application in person** at the Planning Information Center (PIC), with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
869 ALVARADO ST		2802037
Case No.		Permit No.
2018-011962ENV		201808238143
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
Project description for Planning Department approval. Revised Scope: Construct a one-story attached garage in existing side drive way on an existing three-story, single-family dwelling. ONE STORY ATTACHED GARAGE ADJACENT TO RESIDENCE IN EXISTING SIDE DRIVEWAY(284-SF)NEW BALCONY & SPIRAL STAIR FROM 2ND FL DECK TO REAR YARD.		

STEP 1: EXEMPTION CLASS

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. FOR ENVIRONMENTAL PLANNING USE ONLY
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an *Environmental Evaluation Application* is required.

<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.

If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an *Environmental Evaluation Application* is required, unless reviewed by an Environmental Planner.

Comments and Planner Signature (optional): Max Putra
The proposal does not trigger any of the CEQA impacts listed above

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input checked="" type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <div style="display: flex; justify-content: space-between;"> <div> <input type="checkbox"/> Reclassify to Category A a. Per HRER dated b. Other (specify): </div> <div> <input type="checkbox"/> Reclassify to Category C (attach HRER) </div> </div>
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional): New single story garage structure proposed setback substantially from front façade, and massing distinguished from character-defining features. No obscuring of character-defining features. Materials and dimensions are	
Preservation Planner Signature: Marcelle Boudreaux	

STEP 6: CATEGORICAL EXEMPTION DETERMINATION

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 - CEQA Impacts <input type="checkbox"/> Step 5 - Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Building Permit If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	Signature: Max Putra 06/12/2019
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	



DISCRETIONARY REVIEW PUBLIC (DRP) APPLICATION

Discretionary Review Requestor's Information

Name:	Richard Nunez and Maria Pasos-Nunez		
Address:	861 Alvarado Street, SF, CA 94131	Email Address:	mariapasos@gmail.com
		Telephone:	415 9714831

Information on the Owner of the Property Being Developed

Name:	Bobbi Clemens & Mark Tacchi		
Company/Organization:	Private Residence		
Address:	869 Alvarado Street, SF CA 94131	Email Address:	bobbi@bobbi-clemens.com mta
		Telephone:	

Property Information and Related Applications

Project Address:	869 Alvarado Street, SF, CA 94131		
Block/Lot(s):	2802/037		
Building Permit Application No(s):	2018.08.23.8143S		

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Did you participate in outside mediation on this case? (including Community Boards)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Changes Made to the Project as a Result of Mediation.

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes that were made to the proposed project.

We discussed project with the applicants in March of 2018. We had the same concerns we do now.

DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

Per San Francisco's urban design guidelines, it's important that new development be compatible with and compliment the character of its surroundings. Good city building aims to enhance the human experience and our connection to the environment in which we live. The proposed project runs directly against those principles as specified below.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

1. The garage structure would cause substantial alternations to the character of the neighborhood and is not compatible with the historical architecture neither our house (861 Alvarado) nor that of 869 Alvarado Street. Both homes were built in the 1890's and provide an important connection to that period . This project would attach an unattractive garage to what is currently a beautiful historical home. Furthermore, there is no precedent for this type of garage structure on our block.
Continued (see Attached)

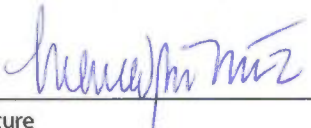
3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

If the safety of the car is the primary concern, it can be parked behind a gate.

DISCRETIONARY REVIEW REQUESTOR'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

a) The undersigned is the DR requestor or their authorized representation.


Signature

Self
Relationship to Requestor
(i.e. Attorney, Architect, etc.)

415 977 4831
415 990 1515
Phone

Maria Pasos-Nunez
Name (Printed)
maria.pasos@gmail.com
nnunez@xbratals.com
Email

RECEIVED

MAR 21 2019

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
PIC

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

Discretionary Review Application
Ref: 869 Alvarado Street
March 21, 2019

What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

Per San Francisco's urban design guidelines, it's important that new development be compatible with and compliment the character of its surroundings. Good city building aims to enhance the human experience and our connection to the environment in which we live. The proposed project runs directly against those principles as specified below.

The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

1. The garage structure would cause substantial alternations to the character of the neighborhood and is not compatible with the historical architecture neither our house (861 Alvarado) nor that of 869 Alvarado Street. Both homes were built in the 1890's and provide an important connection to that period. This project would attach an unattractive garage to what is currently a beautiful historical home.
2. The structure would cause significant reductions in light and ventilation: a) Our daughter's bedroom window would be blocked by the proposed structure drastically reducing critical light. b) The bathroom of our other bedroom will be blocked as well. It will lose both light and ventilation as well as a means to escape in the event of an emergency. c) It is not clear from the drawings if other windows would also be blocked including our kitchen window.
3. Increased risk of fire to our house which is currently a stand-alone house. The driveways on both sides of our house provides important protection from fire risk. This is a critical feature of our house in the event of an earthquake which gives us much peace of mind given the nature of earthquake damage. Additionally, our existing windows next to the proposed project are not fire rated.
4. The stand-alone nature of our home is one of the most important and valuable feature. We specifically looked for this feature because Maria is a survivor of an earthquake in Nicaragua which killed 10,000 people. We looked for a house with this feature for four years before we were able to find it.

5. There's no need to deliberately reduce the enjoyment, connection to natural light, ventilation, historical character, and safety of our house to accommodate a car. The existing driveway of 869 Alvarado accommodates 3 cars. Similarly, our driveway accommodates 3 cars and we have never had the need to build a garage structure.
6. If the proposed project were to be approved as is, all the windows on the 869 Alvarado side would need to be replaced with fire rated materials.

What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

If the safety of the car is the primary concern, it can be parked behind a gate.

Block / Lot : 2802/037
 Zoning: R-2
 Desc: R3 Single Family
 Construction: Type VB

Scope of Work: New one-story attached garage adjacent to residence in existing side driveway

(E & N) Total conditioned living space = 3332 sf

(N) Garage = 189 sf

General Notes

Codes: All construction shall be in accordance with the regulations set forth by the 2016 California Building Code, 2016 California Fire Code, 2016 California Mechanical Code, 2016 California Plumbing Code, 2016 California Energy Code, 2016 California Electrical Code and all codes and ordinances as adopted by the City of this job site location.

Verification: Contractor is to verify all existing conditions and field dimensions prior to the start of construction. Notify designer of any discrepancies or conflicts in location of new construction before proceeding with work in question. No fabrication of built-in items shall begin until field dimensions are verified.

Dimensions: These drawings are not to be scaled for any reason. Written dimensions shall always govern. The contractor shall not adjust any dimensions without approval from the designer. All dimensions shown are to finished face of surface, unless otherwise noted.

Accuracy: All work shall be done in a neat and accurate manner in accordance with the highest trade standards. All work shall be plumb, level, square and true to within 1/8" in 10 feet. The contractor shall not substitute any specified items without approval.

Responsibilities: The work contemplated in these drawings includes the furnishing of all labor, material, equipment and transportation required to complete all work in accordance with the intent of the drawings and specifications. The contractor shall be responsible for obtaining permits required to complete the project as described by these documents. The work site and surrounding areas shall be kept clean to ensure the least possible disruption of the client's lifestyle and preservation of existing facilities. Construction debris is to be entirely removed from the premises on a regular basis.

Details: Larger scaled drawings take precedence over smaller scaled drawings. Detail drawings take precedence over other information shown on plans.

Materials: The client is to be provided with left over paint (properly labeled), tile and for other material for future repair of touch up.

Mechanical Notes

- Gas vent termination shall meet the requirements of CMC 902.6 & SFMC 902.6.2
- Combustion air shall meet the requirements of CMC Chapter 7
- Environmental air ducts shall terminate 3 ft from the property line and 3 ft from openings in the building per CMC 504.5 and provide back draft dampers per CMC 504.1
- Domestic range hood vents shall meet the requirements of CMC 504.2 and comply with CMC Table 403.7
- All interior spaces intended for human occupancy shall be provided with space heating per CBC 1204.1
- Clothes dryer exhaust shall be a minimum of 4 inches, terminate to the outside of the building, shall be equipped with a back draft damper, and meet the requirements of CMC 504.3. Provide 100 sq inch minimum make-up air opening for domestic dryer.
- Direct vent appliances per CMC 902.2.4 (per manufacturer's instructions)
- Install 26 gauge ducts in garage

Demolition Notes:

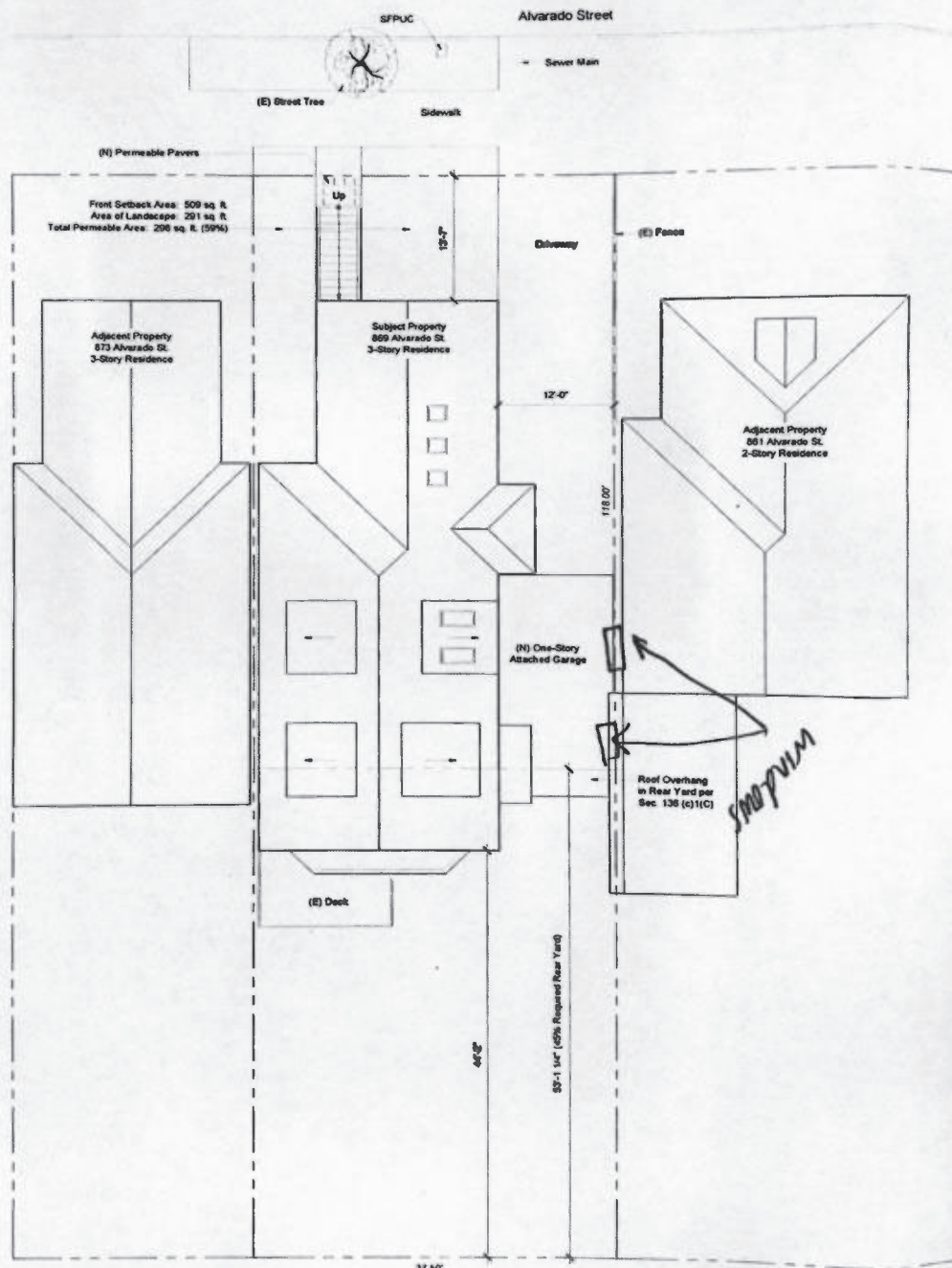
Remove existing partitions where shown dotted and dispose of off-site. Prevent movement or settlement of the structure. Provide and place bracing or shoring and be responsible for the safety and support of the structure.

Arrange and pay for disconnecting, removing and capping of utility services within areas of demolition. Place markers to indicate the location of disconnected services.

Remove existing doors, frames, and hardware as indicated. Reuse if noted. Remove existing cabinetry, carpet, tile and wallcovering as indicated and dispose of off-site. Remove all abandoned electrical switches, receptacles and panels.

Flash patch and / or provide new plywood sheathing over existing floor framing to receive new floor finishes for smooth consistent surface, as required.

Note:
 Verify smoke / carbon monoxide detectors in all bedrooms and adjoining hallways.









Alvarado
869

Alvarado
869

our daughter's
bed room
window



RESPONSE TO DISCRETIONARY REVIEW (DRP)



San Francisco
Planning

SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103-2479
MAIN: (415) 558-6378 SFPLANNING.ORG

Project Information

Property Address:

Zip Code:

Building Permit Application(s):

Record Number:

Assigned Planner:

Project Sponsor

Name:

Phone:

Email:

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)		
Occupied Stories (all levels with habitable rooms)		
Basement Levels (may include garage or windowless storage rooms)		
Parking Spaces (Off-Street)		
Bedrooms		
Height		
Building Depth		
Rental Value (monthly)		
Property Value		

I attest that the above information is true to the best of my knowledge.

Signature: 	Date:
Printed Name:	<input type="checkbox"/> Property Owner <input type="checkbox"/> Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

From: Setyadiputra, Max (CPC)
To: [Chandler, Mathew \(CPC\)](#)
Subject: FW: 869 Alvarado St - DR Request- PA 2018.08.23.81432
Date: Tuesday, May 14, 2019 2:32:33 PM
Attachments: [861 windows 2008.pdf](#)
[861 windows 2017.pdf](#)

FYI

Thanks
max

From: Keli Cwynar <kelicwynar@hotmail.com>
Sent: Thursday, March 28, 2019 1:24 PM
To: Setyadiputra, Max (CPC) <max.setyadiputra@sfgov.org>
Cc: Winslow, David (CPC) <david.winslow@sfgov.org>
Subject: Re: 869 Alvarado St - DR Request- PA 2018.08.23.81432

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Hi Max,

Thanks for sending this. Based on the neighbor's comments, I don't feel that she would be willing to compromise and withdraw the DR request. I think her comments are emotional and not based on Planning or Building code. I'm not sure if I should write a response to her comments.

I'm attaching some additional info on the neighbor's current windows that are referenced in her DR request. The photo from 2008 shows a different configuration of windows from what is current 2017. I've marked 4 windows on the 2017 photo with an X indicating the changes. These windows were changed when they remodeled in 2012. Because the windows were either changed in size or location (not grandfathered as "replacements in kind"), they should have been fire rated at the time of their remodel. And they should have filed an AB-009 property line window agreement with the Assessor's office which would have required them to close the openings if my client developed the adjacent driveway area.

Please discuss this case with your team manager and let me know what the next steps are.

Best,

Keli Cwynar
Level Design

From: Setyadiputra, Max (CPC) <max.setyadiputra@sfgov.org>
Sent: Wednesday, March 27, 2019 4:42 PM
To: Keli Cwynar
Cc: Winslow, David (CPC)

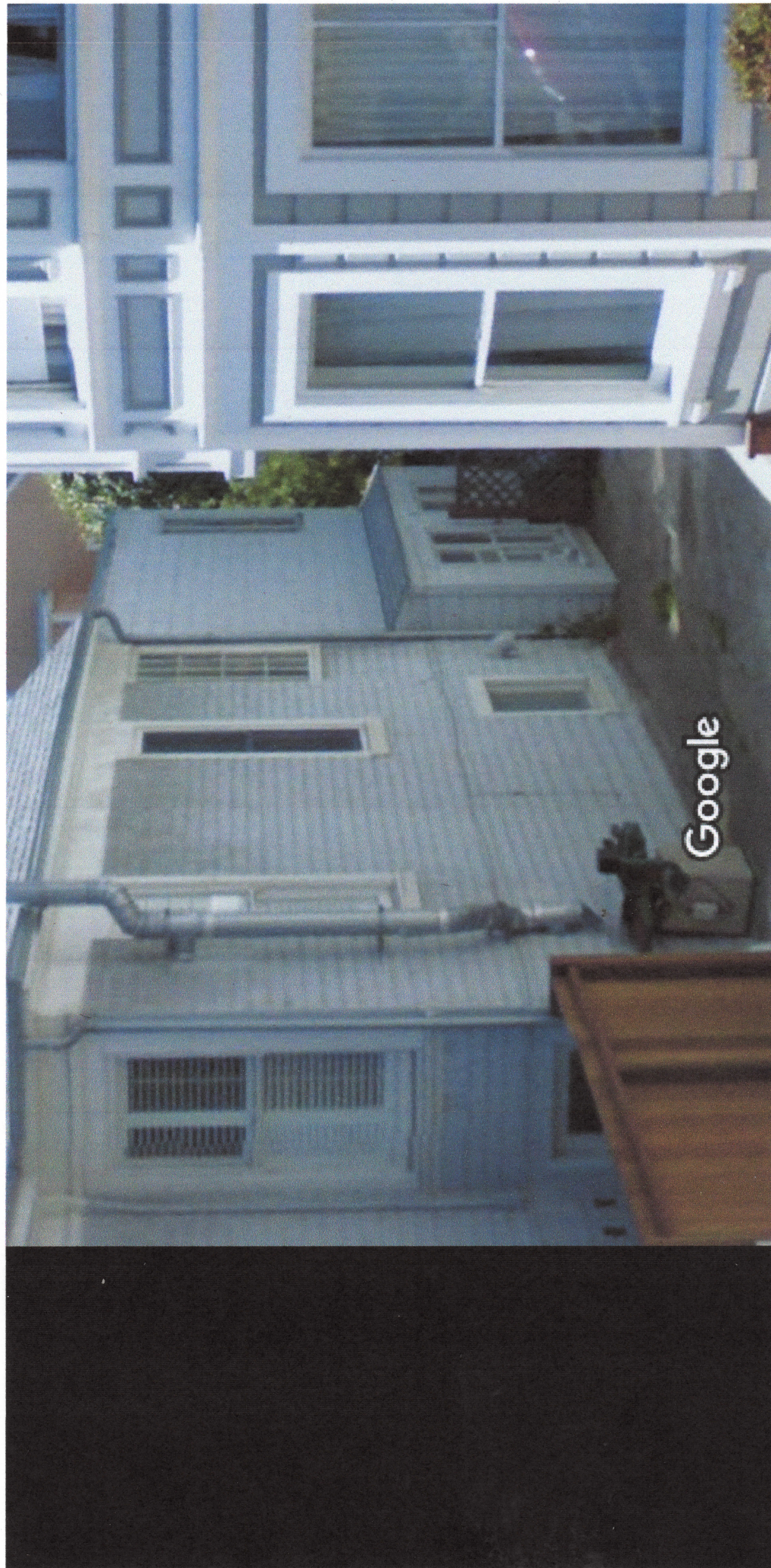


Image capture: Jun 2008

© 2019 Google

San Francisco, California



Street View - Jun 2008

EXHIBIT
1



Image capture: Nov 2017

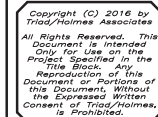
© 2019 Google

San Francisco, California



Street View - Nov 2017

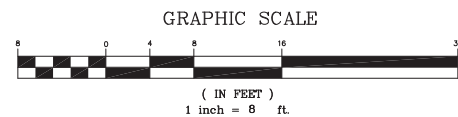
EXHIBIT
1


[illegible]


PREPARED FOR:
KANLER GROUP


TOPOGRAPHY SURVEY
869 ALVARADO ST
SAN FRANCISCO, CA


DATE	1/26/2017
SCALE	1" = 8'
DRAWN	MN
JOB NO.	09.1928
DWG	1
SHEET	1 OF 1

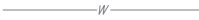


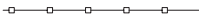

 PROPERTY LINE
 ADJACENT PROPERTY LINE

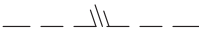

 CENTERLINE



 OVERHEAD UTILITIES


 SEWER LINE



 WATER LINE



 WOOD FENCE



 EDGE OF PAVEMENT



 SPOT ELEVATION

AC	ASPHALTIC CONCRETE
CONC.	CONCRETE
CO	CLEANOUT
EM	ELECTRIC METER
FT	FINISH FLOOR
GM	GAS METER
PP	POWER POLE
R/W	RIGHT OF WAY
WMB	WATER METER BOX


 HYDRANT


 UTILITY POLE


 CONCRETE


 TRUNK & DRIPLINE
 NOTE:
 ACTUAL TREE TRUNK LOCATIONS ARE SHOWN.
 DRIPLINES SHOWN ARE ONLY APPROXIMATE.
 DRIPLINES IN AREAS OF PROPOSED
 CONSTRUCTION SHOULD BE FIELD VERIFIED.

NOTES:

BENCHMARK:

ELEVATIONS ARE BASED ON NGVD 88 DATUM.
BENCHMARK IS THE FINISH FLOOR OF THE
EXISTING RESIDENCE AS SHOWN.
ELEVATION = 368.50'

SITE:

869 ALVARADO STREET
SAN FRANCISCO CA 94114-3115
APN-2802-037
4,425 sq.ft. 0.10 acres

OWNER:

CLEMENS-TACCHI TRUST

I HEREBY STATE THAT I AM A LICENSED SURVEYOR OF THE STATE OF CALIFORNIA, THAT THIS MAP CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION IN APRIL 2018, AND THAT PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND THAT THIS MAP DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON.

IF UNDERGROUND UTILITIES, ZONE, SETBACK AND STREET
WIDENING DATA ARE SHOWN HEREON, IT IS FOR
INFORMATION ONLY, HAVING BEEN OBTAINED FROM
AVAILABLE SOURCES NOT CONNECTED WITH THIS
CORPORATION. THEREFORE, NO GUARANTEE IS MADE AS
TO THE ACCURACY OR COMPLETENESS OF SAID
INFORMATION.



BEFORE EXCAVATING CALL U.S.A.

OWNER AND/OR CONTRACTOR ARE RESPONSIBLE FOR LOCATION AND VERIFICATION OF ALL EXISTING UNDERGROUND UTILITIES. UNDERGROUND SERVICE ALERT (USA) SHOULD BE NOTIFIED FOR ASSISTANCE IN THIS MATTER AT (800) 227-2600, 48 HOURS PRIOR TO ANY CONSTRUCTION.

THE (USA) AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.

LOCATION AND CHARACTER OF ANY UTILITIES SHOWN HEREON ARE APPROXIMATE, AND TAKEN FROM A COMBINATION OF SURFACE STRUCTURE OBSERVATION AND/OR THE RECORDS OF THE CONTROLLING AGENCY.

HUMANN COMPANY DOES NOT ASSUME RESPONSIBILITY FOR THE LOCATION OF ANY EXISTING UTILITIES OR OTHER UNDERGROUND FEATURES SUCH AS VAULTS, TANKS, BASEMENTS, BURIED OBJECTS, ,ETC.



Block / Lot : 2802/037
Zoning: RH2
Occ: R3 Single Family
Construction: Type VB

Scope of Work: New one-story attached garage adjacent to residence in existing side driveway.

(E & N) Total conditioned living space = 3332 sf

(N) Garage = 189 sf

General Notes

Codes: All construction shall be in accordance with the regulations set forth by the 2016 California Building Code, 2016 California Fire Code, 2016 California Mechanical Code, 2016 California Plumbing Code, 2016 California Energy Code, 2016 California Electrical Code and all codes and ordinances as adopted by the City of this job site location.

Verification: Contractor is to verify all existing conditions and field dimensions prior to the start of construction. Notify designer of any discrepancies or conflicts in location of new construction before proceeding with work in question. No fabrication of built in items shall begin until field dimensions are verified.

Dimensions: These drawings are not to be scaled for any reason. Written dimensions shall always govern. The contractor shall not adjust any dimensions without approval from the designer.
All dimensions shown are to finished face of surface, unless otherwise noted.

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Details: Larger scaled drawings take precedence over smaller scaled drawings. Detail drawings take precedence over other information shown on plans.

Materials: The client is to be provided with left over paint (properly labeled), tile and /or other material for future repair of touch up.

Mechanical Notes

- Gas vent termination shall meet the requirements of CMC 802.6 & SFMC 802.6.2
- Combustion air shall meet the requirements of CMC Chapter 7.
- Environmental air ducts shall terminate 3 ft from the property line and 3 ft from openings in the building per CMC 504.5 and provide back draft dampers per CMC 504.1
- Domestic range hood vents shall meet the requirements of CMC 504.2 and comply with CMC Table 403.7.
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- Clothes dryer exhaust shall be a minimum of 4 inches, terminate to the outside of the building, shall be equipped with a back draft damper, and meet the requirements of CMC 504.3. Provide 100 sq. inch minimum make-up air opening for domestic dryers.
- Direct vent appliances per CMC 802.2.4 (per manufacturer's instructions).
- Install 26 gauge ducts in garage.

Demolition Notes:

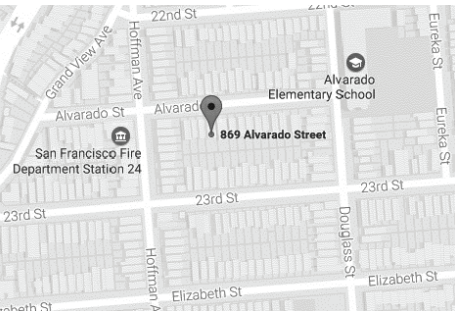
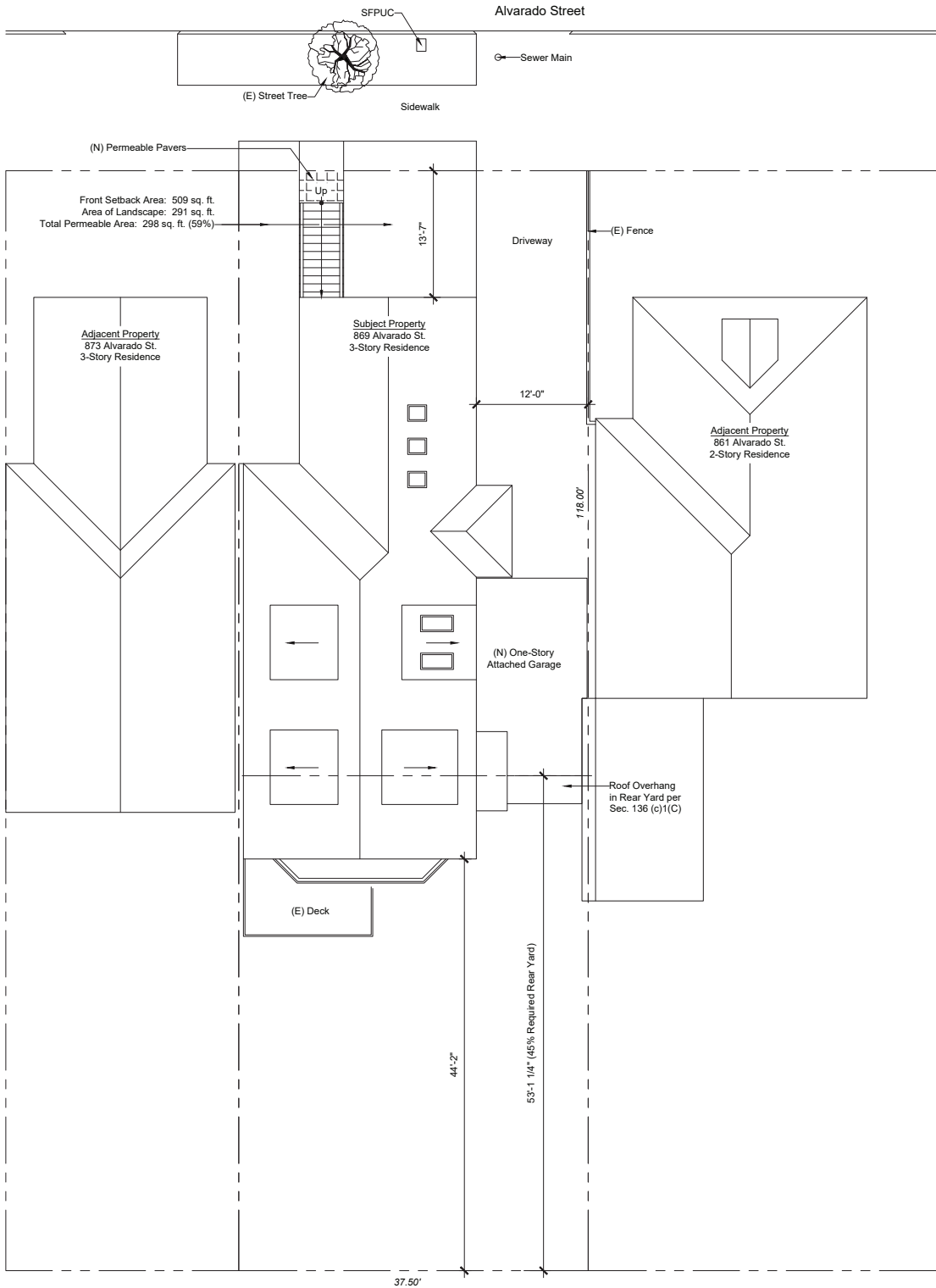
Remove existing partitions where shown dotted and dispose of off-site. Prevent movement or settlement of the structure. Provide and place bracing or shoring and be responsible for the safety and support of the structure.

Arrange and pay for disconnecting, removing and capping of utility services within areas of demolition. Place markers to indicate the location of disconnected services.

Remove existing doors, frames, and hardware as indicated. Reuse if noted. Remove existing cabinetry, carpet, tile and wallcovering as indicated and dispose of off-site. Remove all abandoned electrical switches, receptacles and panels.

Flash patch and / or provide new plywood sheathing over existing floor framing to receive new floor finishes for smooth consistent surface, as required.

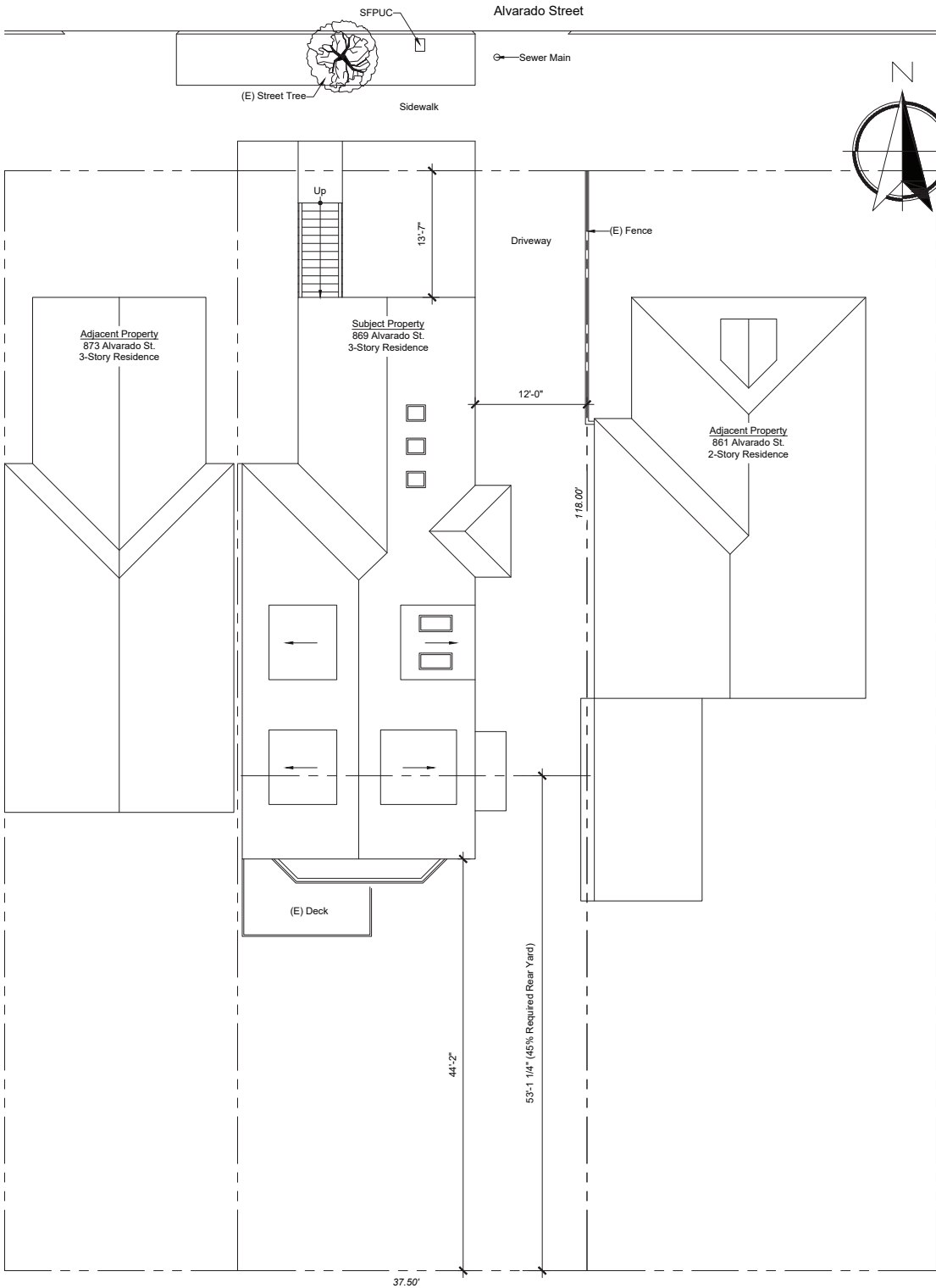
Note:
Verify smoke / carbon monoxide detectors in all bedrooms and adjoining hallways.



05 Location Map

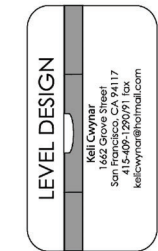
- A1.00 Title Sheet, Site Plan
A1.01 1st Floor Plans
A1.02 2nd Floor Plans
A1.03 3rd Floor Plans
A2.00 Exterior Elevations
A2.01 Exterior Elevations (Cont.)
A2.02 Exterior Elevations (Cont.)
A2.03 Exterior Elevations (Cont.)
A2.04 Section

04 Sheet Index



01 Site Plan: Existing

Revision:
01 2019-01-10



Clemens Residence
869 Alvarado St.
San Francisco, CA 94114

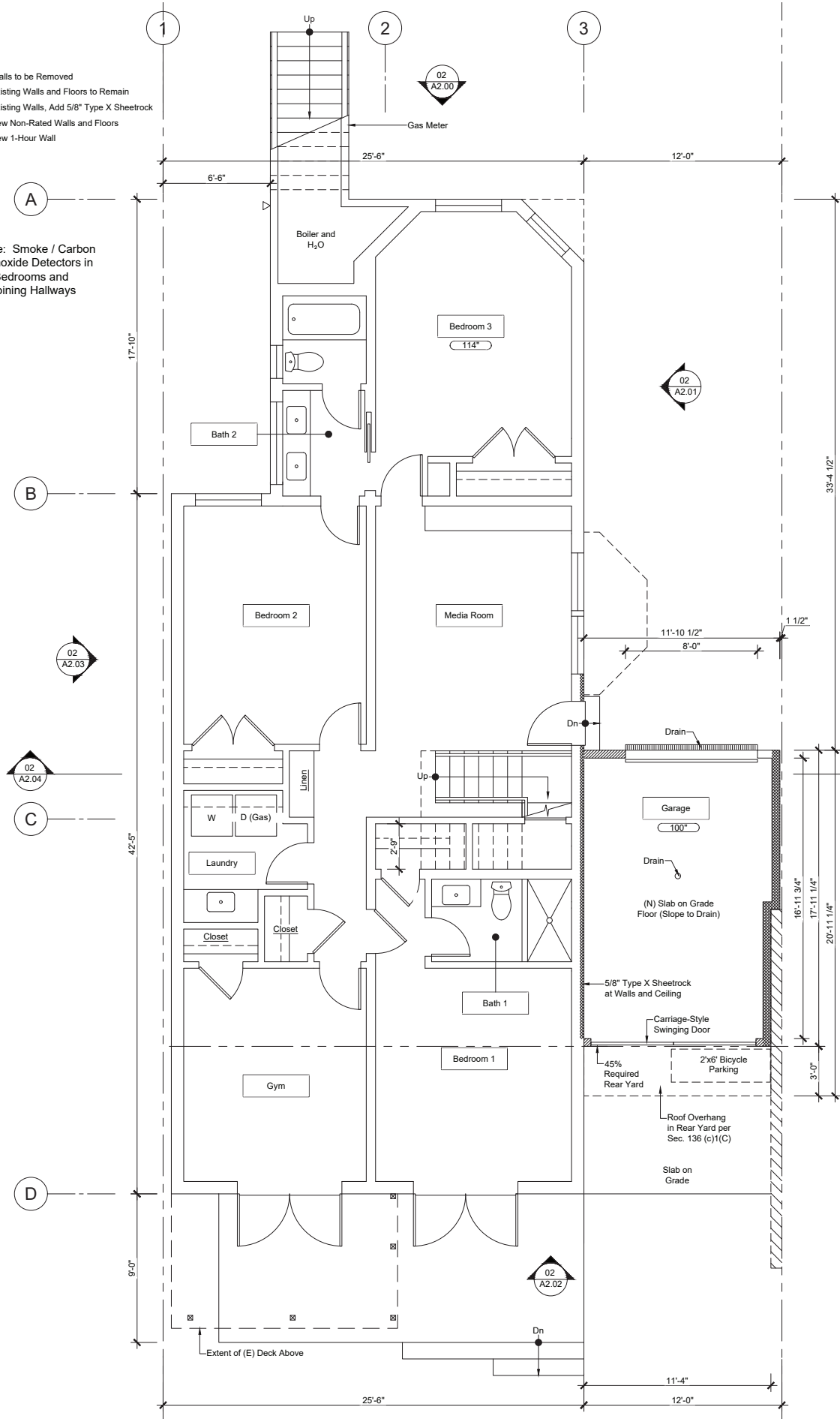
Title Sheet/
Site Plan

Date: 2018-08-20
Scale: Varies

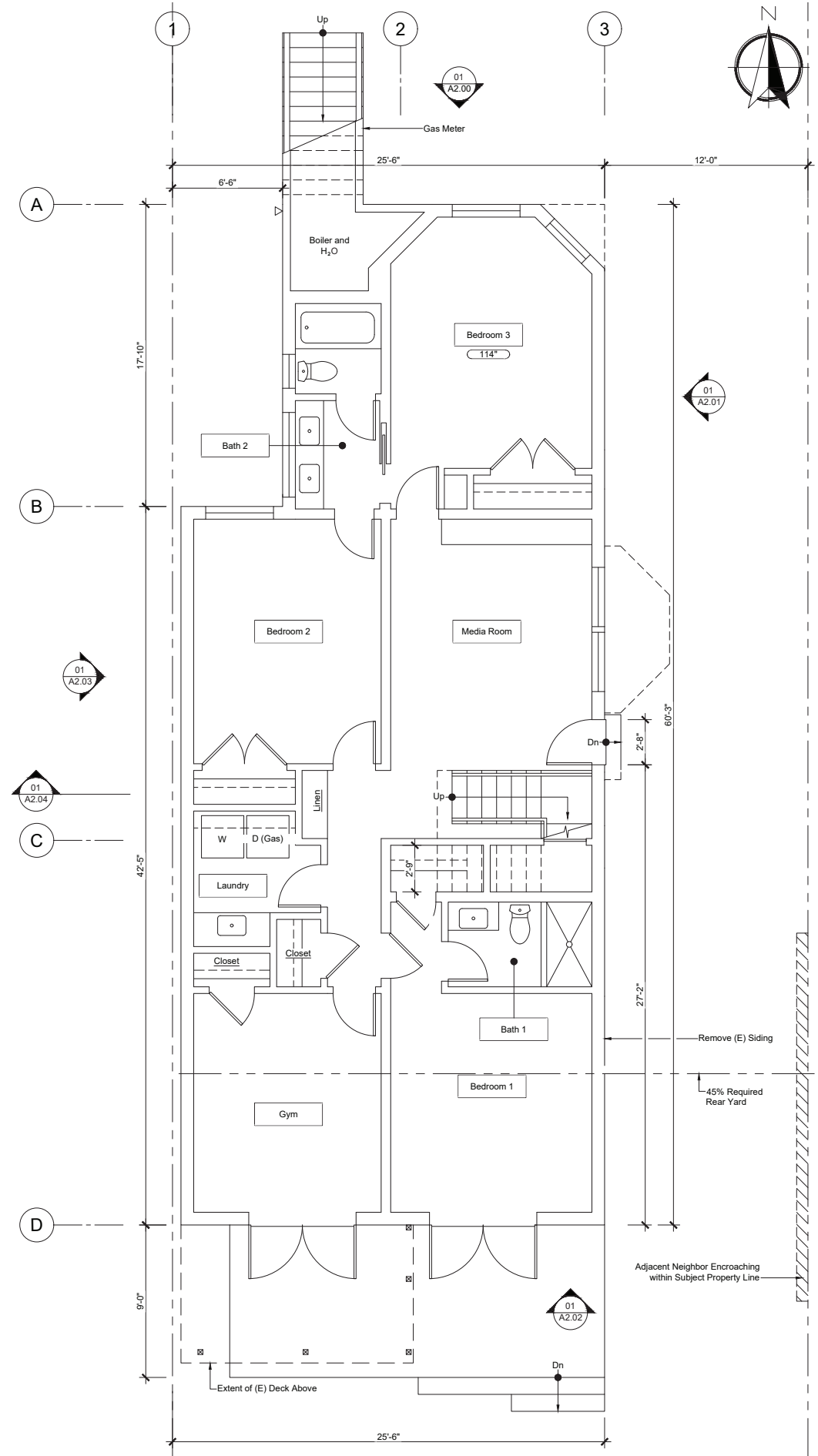
A1.00

- Legend**
- Walls to be Removed
 - Existing Walls and Floors to Remain
 - Existing Walls, Add 5/8" Type X Sheetrock
 - New Non-Rated Walls and Floors
 - New 1-Hour Wall

Note: Smoke / Carbon Monoxide Detectors in all Bedrooms and Adjoining Hallways



02 1st Floor: Proposed
1/4" = 1'-0"



01 1st Floor: Existing
1/4" = 1'-0"

Revision:	
01	2019-01-10

LEVEL DESIGN

Kell Cowpar
1662 Grove Street
San Francisco, CA 94117
415.398.8800
kellcowpar@hotmail.com

Clemens Residence
869 Alvarado St.
San Francisco, CA 94114

1st Floor
Plans

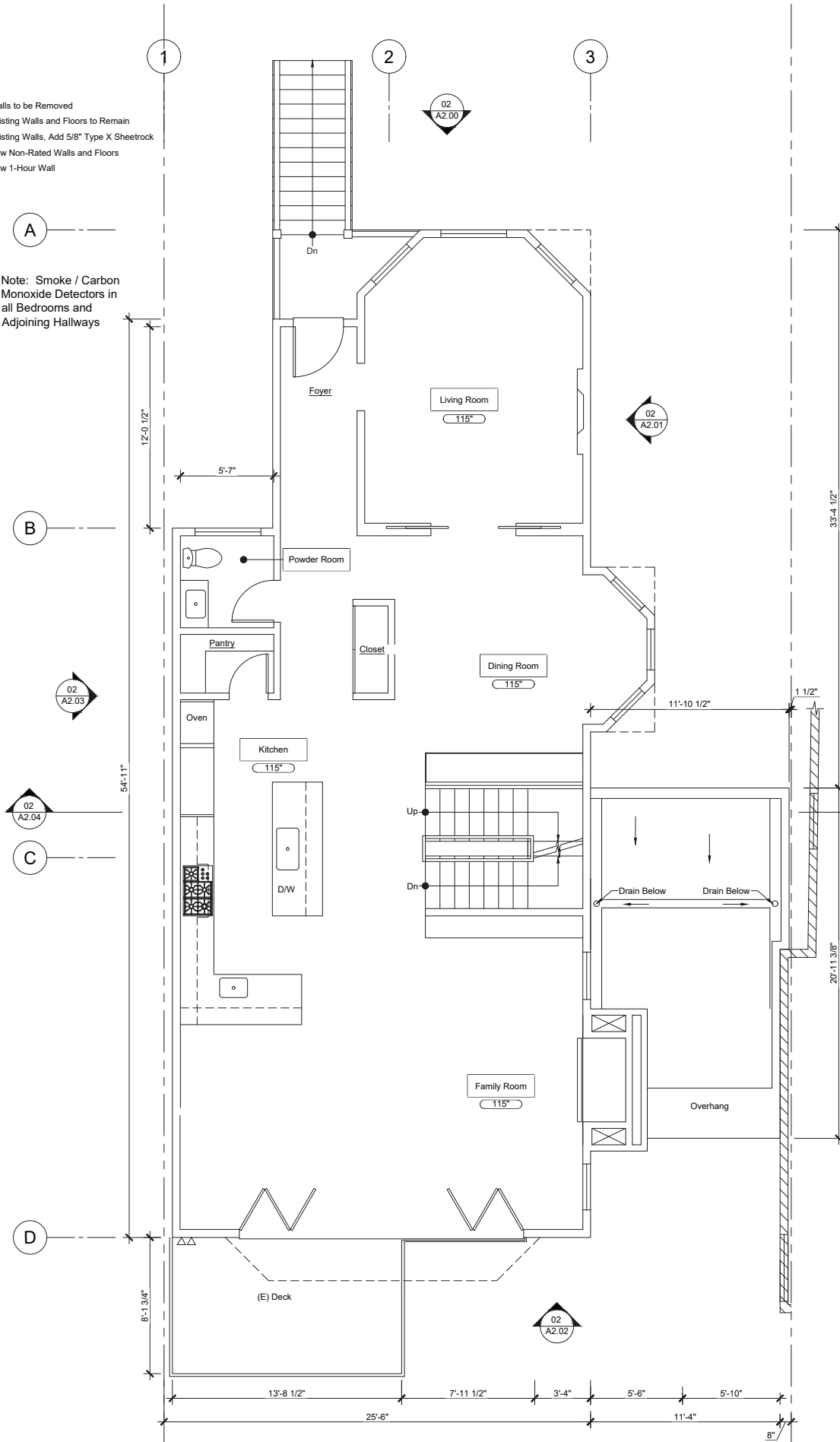
Date: 2018-08-20
Scale: 1/4" = 1'-0"

A1.01

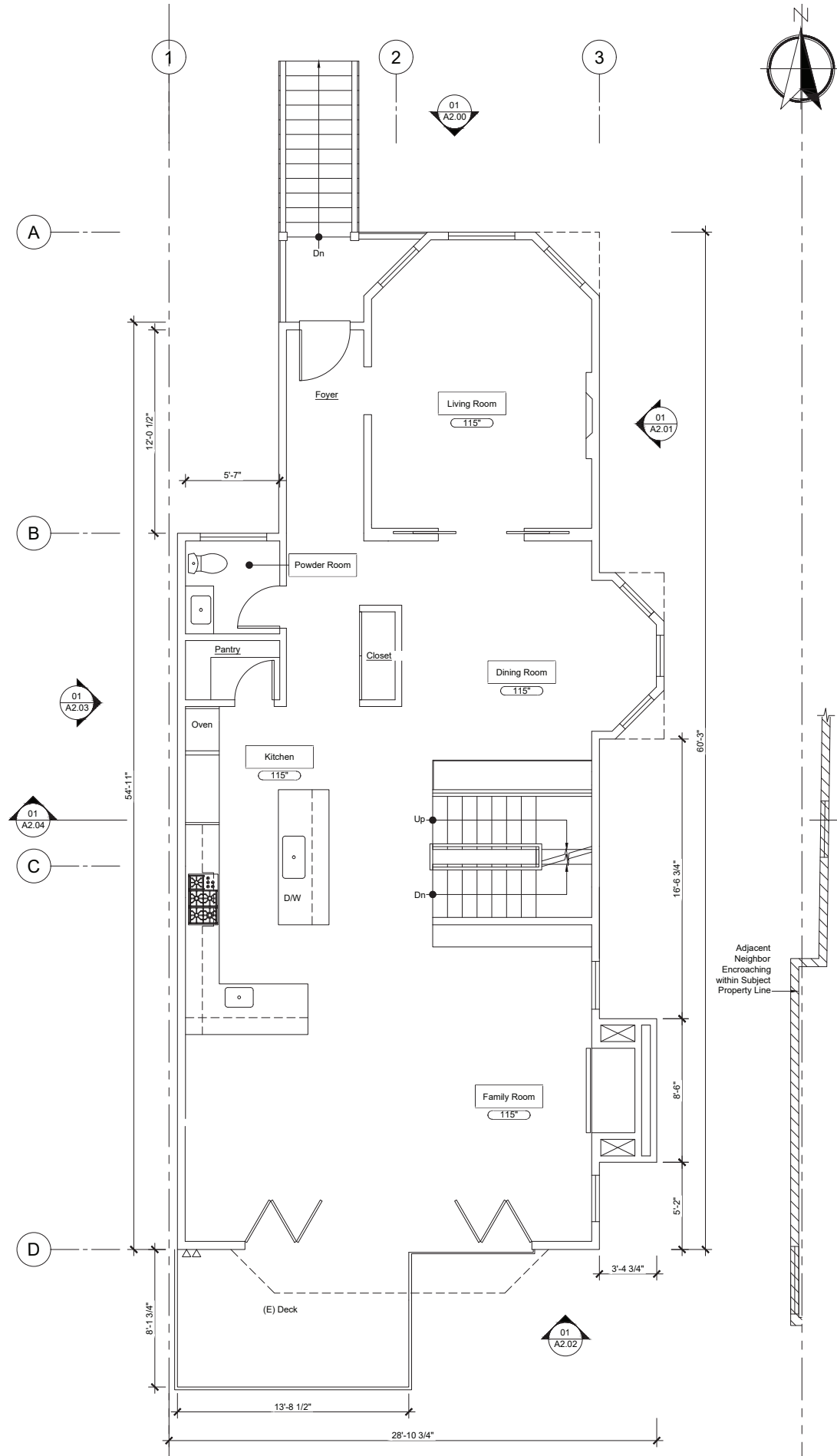
Legend

- Walls to be Removed
- Existing Walls and Floors to Remain
- Existing Walls, Add 5/8" Type X Sheetrock
- New Non-Rated Walls and Floors
- New 1-Hour Wall

Note: Smoke / Carbon Monoxide Detectors in all Bedrooms and Adjoining Hallways



02 2nd Floor: Proposed
1/4" = 1'-0"



01 2nd Floor: Existing
1/4" = 1'-0"

Revision:

01	2019-01-10

LEVEL DESIGN

Kell Cowgar
1662 Grove Street
San Francisco, CA 94117
kellcowgar@hotmail.com

Clemens Residence

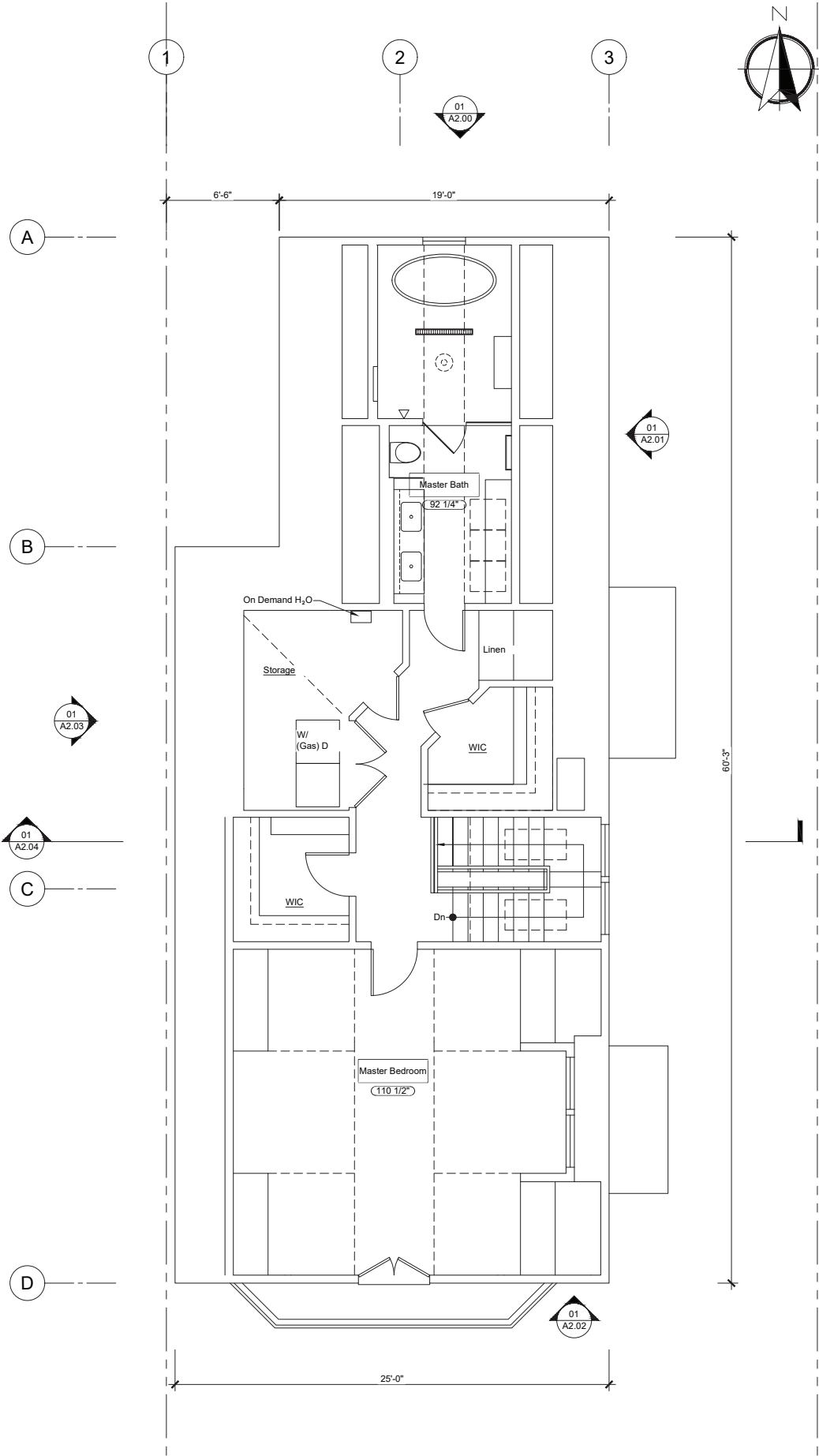
869 Alvarado St.
San Francisco, CA 94114

2nd Floor Plans

Date: 2018-08-20
Scale: 1/4" = 1'-0"

A1.02

Note: Smoke / Carbon
Monoxide Detectors in
all Bedrooms and
Adjoining Hallways



01 3rd Floor: Existing and Proposed (Reference Only)
1/4" = 1'-0"

Revision:	
01	2019-01-10

LEVEL DESIGN

Kell Cowpar
1662 Grove Street
San Francisco, CA 94117
kellcowpar@gmail.com

Clemens Residence
869 Alvarado St.
San Francisco, CA 94114

3rd Floor
Plans

Date:	2018-08-20
Scale:	1/4" = 1'-0"

A1.03



02 North Elevation: Proposed
1/4" = 1'-0"



01 North Elevation: Existing
1/4" = 1'-0"

Revision:	
01	2019-01-10

LEVEL DESIGN

Kell Cowpar
1662 Grove Street
San Francisco, CA 94117
kellcowpar@gmail.com

Clemens Residence
869 Alvarado St.
San Francisco, CA 94114

Exterior
Elevations

Date:	2018-08-20
Scale:	1/4" = 1'-0"

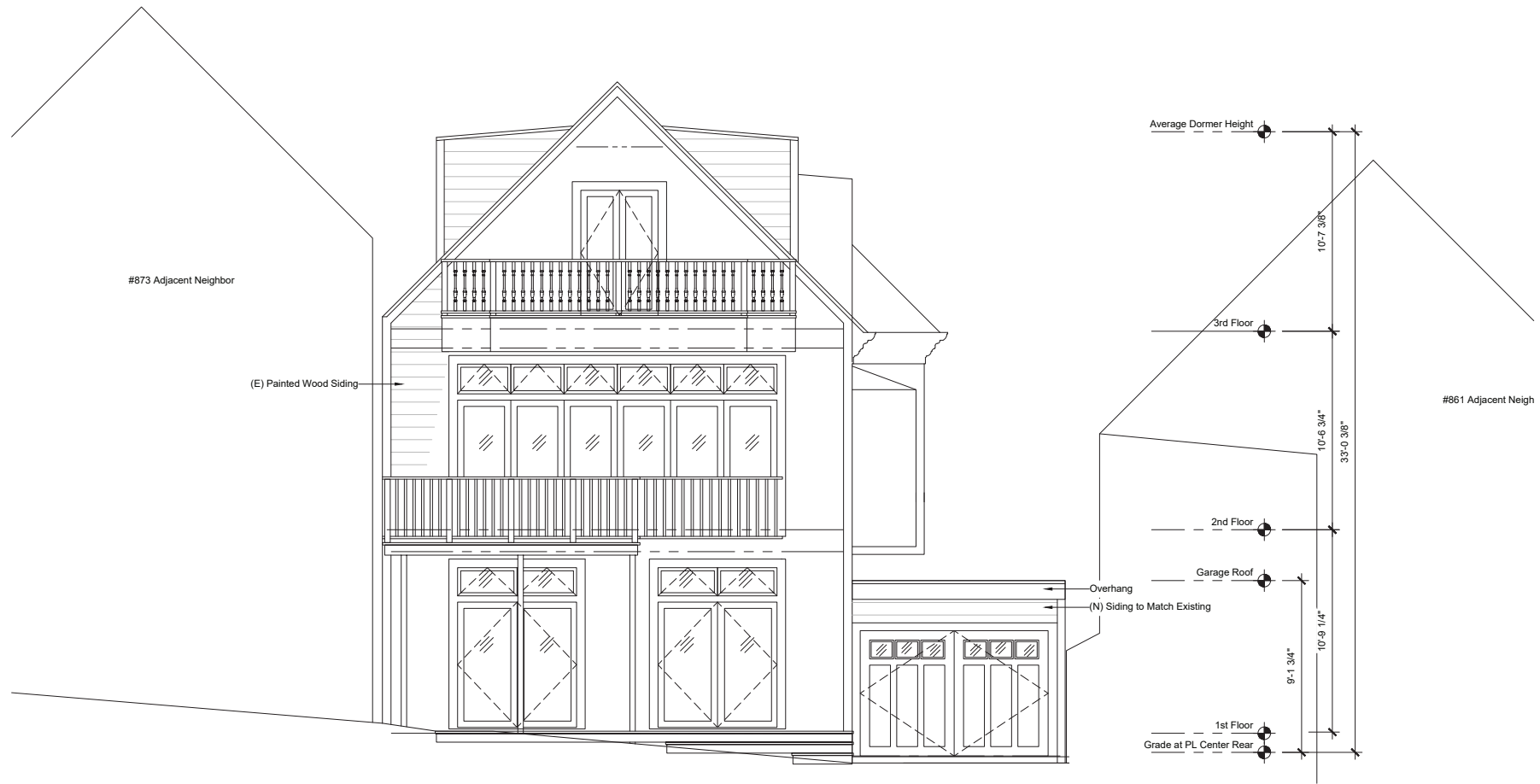
A2.01



02 East Elevation: Proposed
1/4" = 1'-0"



01 East Elevation: Existing
1/4" = 1'-0"



02 South Elevation: Proposed
1/4" = 1'-0"



01 South Elevation: Existing
1/4" = 1'-0"

Revision:	
01	2019-01-10

LEVEL DESIGN

Kell Cowpar
1662 Grove Street
San Francisco, CA 94117
kellcowpar@gmail.com

Clemens Residence
869 Alvarado St.
San Francisco, CA 94114

Exterior
Elevations

Date:	2018-08-20
Scale:	1/4" = 1'-0"

A2.02

Revision:	
01	2019-01-10

LEVEL DESIGN

Kell Cowpar

1662 Grove Street

San Francisco, CA 94117

415.398.8888

kellcowpar@hotmail.com

Clemens Residence

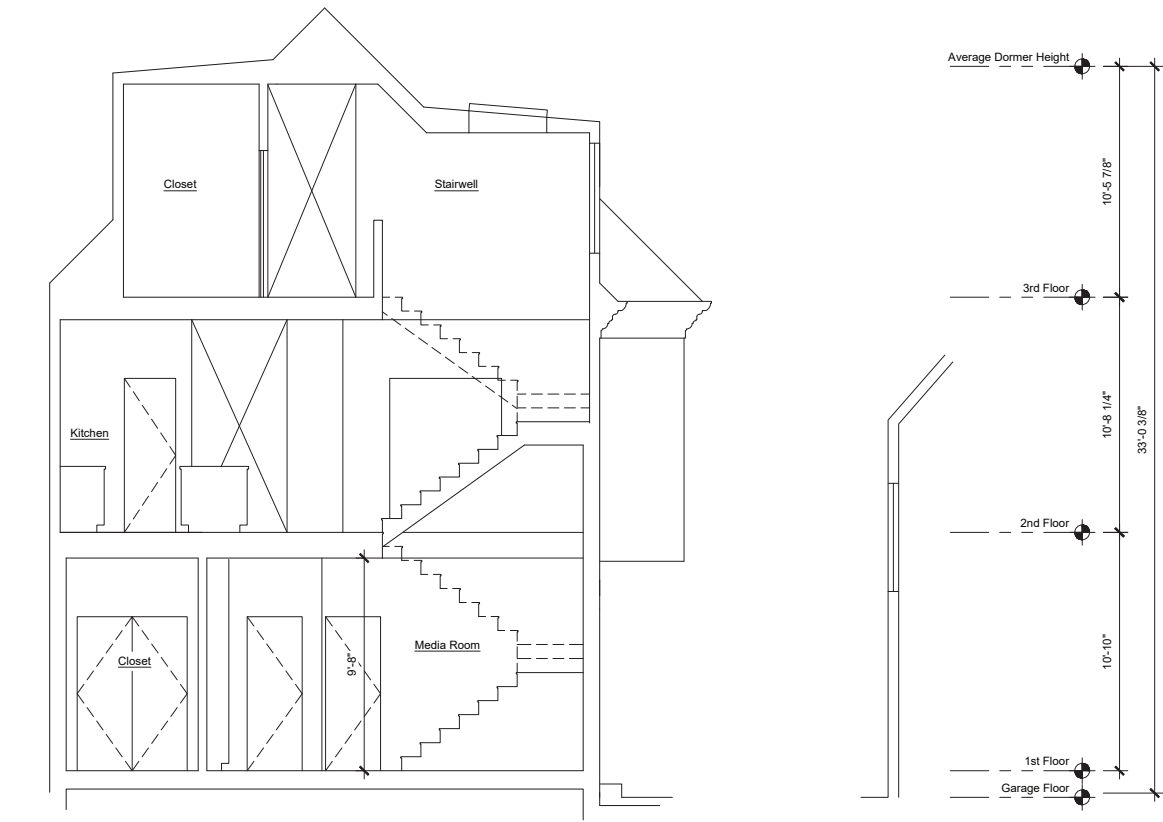
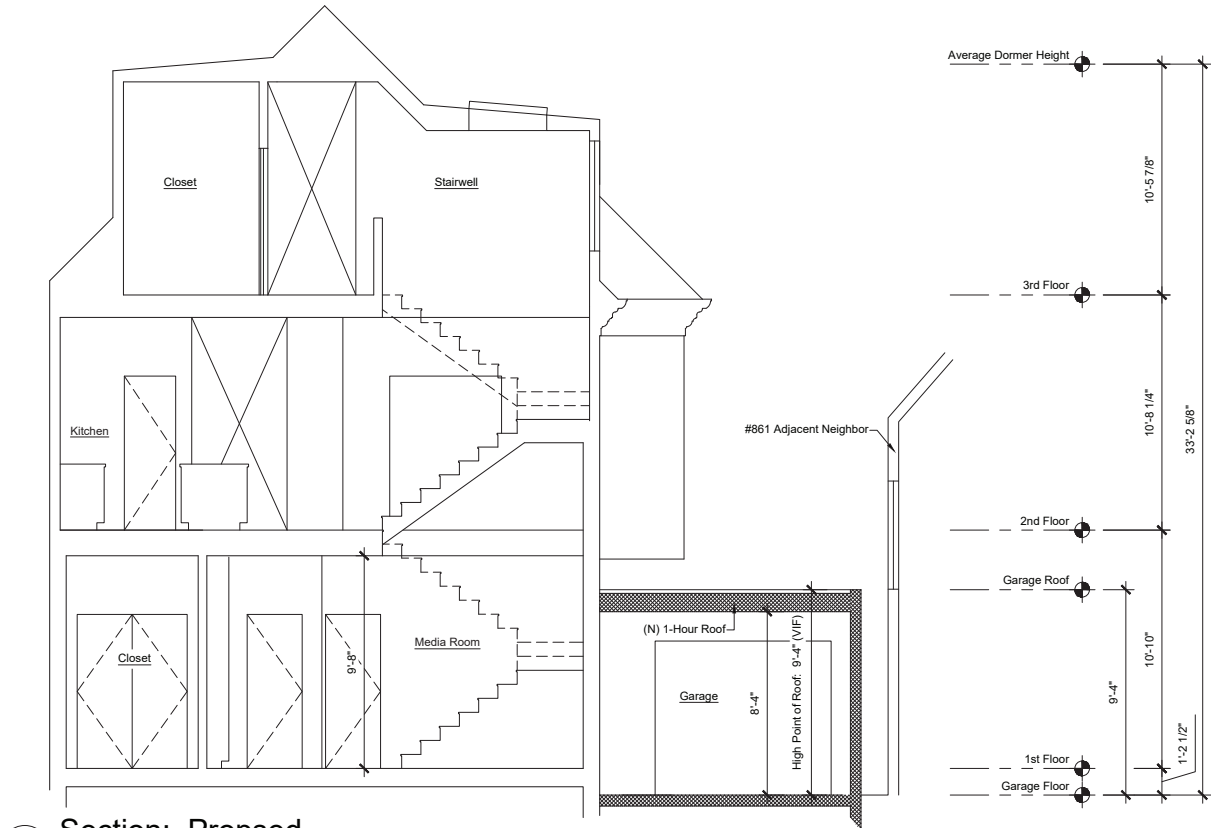
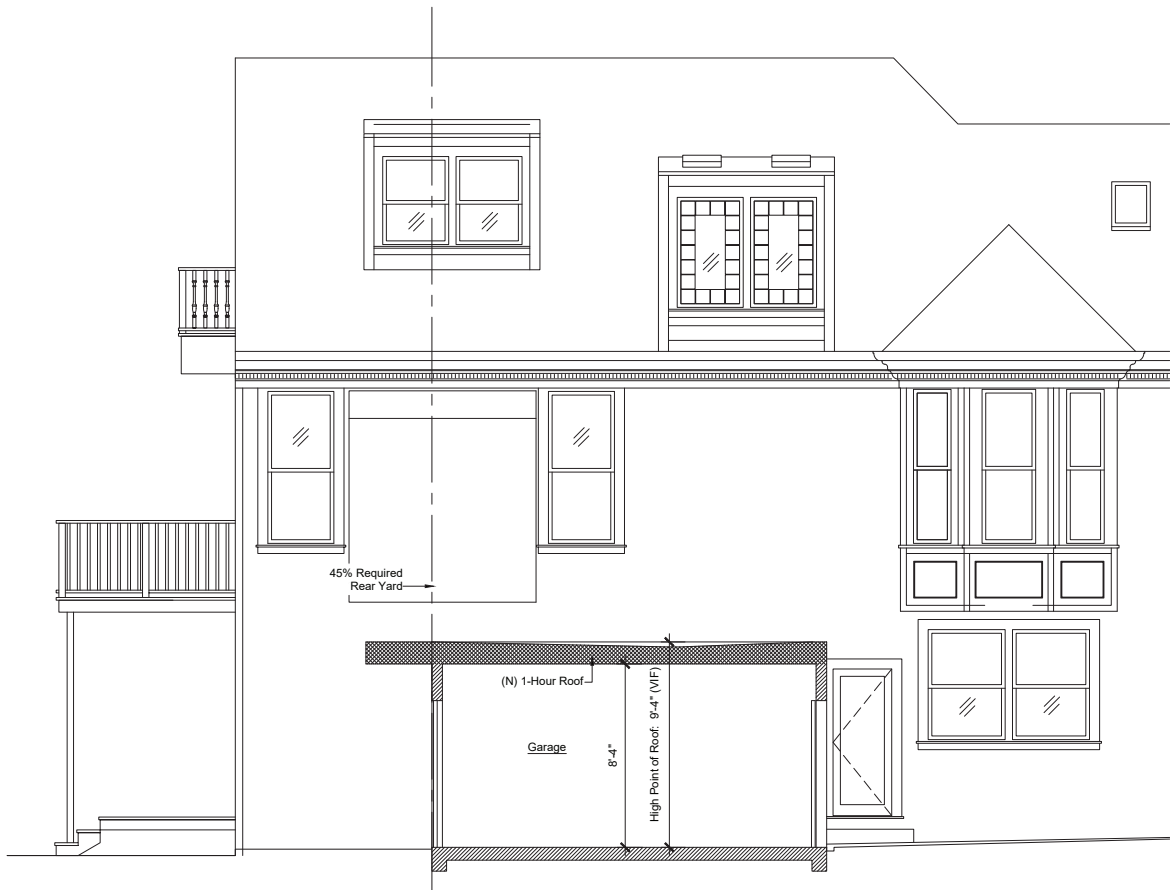
869 Alvarado St.

San Francisco, CA 94114

Exterior Elevations

Date:	2018-08-20
Scale:	1/4" = 1'-0"

A2.04



From: [john bodine](#)
To: [Chandler, Mathew \(CPC\)](#)
Subject: Hearing, 6-27-19, 869 Alvarado St, #2018-011962DRP
Date: Monday, June 24, 2019 11:00:28 AM

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Planner Mathew Chandler,

My address is 873 Alvarado St, and I am the neighbor and homeowner on the west side of the property at 869 Alvarado St.

I have reviewed the plans for permit # 2018.0823.8143, on the premises.

I fully approve of the plans, and I urge your approval as soon as possible.

Another garage on our street will help relieve the parking, and I much appreciate that, even though I myself do not drive.

Ms. Bobbi Clemons has already shown herself to be an excellent problem-solving neighbor. Last winter I was concerned about a puddle forming during the rain, and she immediately installed an automatic electric sump pump that completely took care of the problem.

I look forward to her family moving in and having her as my new neighbor!

Thankyou,
John Bodine
415-374-5363
evomek@ yahoo.co,
873 Alvarado St.
San Francisco CA. 94114