



# SAN FRANCISCO PLANNING DEPARTMENT

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## Executive Summary Conditional Use Authorization

HEARING DATE: JANUARY 24, 2019  
CONTINUED FROM DECEMBER 20, 2018  
CONSENT CALENDAR

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

*Record No.:* 2018-011935CUA  
*Project Address:* 2505 THIRD STREET  
*Zoning:* [PDR-1-G](#) (Production, Distribution & Repair -1 – General) Zoning District  
[Innovative Industries](#) Special Use District  
68-X Height and Bulk District  
*Block/Lot:* 4173/001  
*Applicant:* Dick Cantwell  
2505 Third Street  
San Francisco, CA 94107  
*Staff Contact:* Michael Christensen – 415-575-8742  
[Michael.christensen@sfgov.org](mailto:Michael.christensen@sfgov.org)  
*Recommendation:* **Approval with Conditions**

### PROJECT DESCRIPTION

The Project includes the conversion of approximately 3,382 square feet of space from an existing brewery to expand an existing Restaurant and Brewpub. The project would result in a Retail Sales and Service use with a total size of 6,798 square feet.

### REQUIRED COMMISSION ACTION

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization to authorize the establishment of a Retail Sales and Service use greater than 3,999 square feet in size within the PDR-1-G Zoning District and the Innovative Industries Special Use District.

### ISSUES AND OTHER CONSIDERATIONS

- **Public Comment & Outreach.** No comments have been received regarding this proposal.
- **Retention of PDR.** Although the project results in a reduction of 3,382 square feet of PDR use at the site, the space in question was last used as a Warehouse and the existing PDR tenant, Magnolia Brewing, will maintain brewing operations at the space after the Project.
- **Use Size.** The Conditional Use Authorization is required for the establishment of a Retail Sales and Service use greater than 3,999 square feet in size. The proposed use operating in conjunction with the existing production use at the site requires additional space than a typical Retail Sales and Service use.

## **BASIS FOR RECOMMENDATION**

The Department finds that the Project is, on balance, consistent with the Objectives and Policies of the General Plan. Although the Project results in a loss of PDR use, the Project supports the existing PDR tenant at the space, Magnolia Brewing. The Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

## **ATTACHMENTS:**

Draft Motion – Conditional Use Authorization  
Exhibit A – Conditions of Approval  
Exhibit B – Plans



# SAN FRANCISCO PLANNING DEPARTMENT

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## Planning Commission Draft Motion

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*Block/Lot:* 4173/001  
*Applicant:* Dick Cantwell  
2505 Third Street  
San Francisco, CA 94107  
*Property Owner:* American Industrial Center South  
2345 3<sup>rd</sup> Street  
San Francisco, CA 94107  
*Staff Contact:* Michael Christensen – 415-575-8742  
[Michael.christensen@sfgov.org](mailto:Michael.christensen@sfgov.org)

**ADOPTING FINDINGS RELATING TO A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 210.3, 249.37 AND 303, TO ALLOW THE ESTABLISHMENT OF A RETAIL SALES AND SERVICE USE GREATER THAN 3,999 SQUARE FEET IN SIZE AS PART OF A PROJECT THAT WOULD CONVERT APPROXIMATELY 3,382 SQUARE FEET OF SPACE IN AN EXISTING BREWERY AND WAREHOUSE TO EXPAND AN EXISTING RESTAURANT AND BREWPUB, LOCATED AT 2505 THIRD STREET, LOT 001 IN ASSESSOR'S BLOCK 4173, WITHIN THE PDR-1-G (PRODUCTION, DISTRIBUTION & REPAIR – 1 – GENERAL) ZONING DISTRICT, THE INNOVATIVE INDUSTRIES SPECIAL USE DISTRICT, AND A 68-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.**

### PREAMBLE

On October 15, 2018, Dick Cantwell of Magnolia Brewing Company (hereinafter "Project Sponsor") filed Application No. 2018-011935CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization to establish a 6,798 square foot Retail Sales and Service use (hereinafter "Project") at 2505 Third Street, Block 4173, Lot 001 (hereinafter "Project Site").

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2018-011935CUA is located at 1650 Mission Street, Suite 400, San Francisco, California.

On December 20, 2018 the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2018-011935CUA. At this public hearing, the Commission continued the Application to the public hearing on January 24, 2019.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption;

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2018-011935CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

## FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Project Description.** The Project includes the conversion of approximately 3,382 square feet of space from an existing brewery to expand an existing Restaurant and Brewpub. The project would result in a Retail Sales and Service use with a total size of 6,798 square feet.
3. **Site Description and Present Use.** The Project is located on a large, full block lot that is 160,161 square feet in size, developed with a three-story mixed-use industrial complex occupied by a mix of retail, PDR, and office uses, known as the American Industrial Center (AIC).
4. **Surrounding Properties and Neighborhood.** The Project Site is located within the PDR-1-G Zoning District in the Central Waterfront Area Plan. The immediate context is mixed in character with residential, industrial, and institutional uses. The immediate neighborhood includes two to three story residential and small commercial development to the west, industrial development to the north and south, and the Pier 70 Mixed-Use Project to the east.
5. **Public Outreach and Comments.** The Department has not received any comment on the proposed project.
6. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
  - A. **Use.** The proposed Restaurant and Bar uses are principally permitted as Retail Sales and Service uses. The existing brewery use is a principally permitted use of the property.
  - B. **Use Size.** Planning Code Section 249.37 states that Retail Sales and Service uses are subject to the use size limits of Planning Code Section 843.45 within the Innovative Industries Special Use District.



Planning Code Section 843.45 requires Conditional Use Authorization for the establishment of a Retail Sales and Service use greater than 3,999 square feet in size.

*The Project Sponsor proposes a 6,798 square foot Retail Sales and Service use at the site and thus has applied for a Conditional Use Authorization to permit the establishment of the use.*

- C. **Bicycle Parking.** Planning Code Section 155.2 requires one Class One bicycle parking space for each 7,500 square feet of occupied floor area for a Retail Sales and Service use. Additionally, the Section requires one Class Two bicycle parking space for each 2,500 square feet of occupied floor area for a Retail Sales and Service use.

*The Project will provide one Class One bicycle parking space and three Class Two bicycle parking spaces as required by the Section prior to approval of a building permit to establish the use.*

- D. **Eastern Neighborhoods Infrastructure Impact Fee.** Planning Code Section 423 requires payment of the Eastern Neighborhoods Infrastructure Impact Fee for projects which propose the addition of non-residential use in excess of 800 square feet within an existing structure.

*The Project will be assessed the Eastern Neighborhoods Infrastructure Impact Fee at the time of building permit approval.*

- E. **Transportation Sustainability Fee.** Planning Code Section 411A requires payment of the Transportation Sustainability Fee for projects which propose a Change or Replacement of Use, such that the rate charged for the new use is higher than the rate charged for the existing use, regardless of whether the existing use previously paid the TSF or TIDF.

*The Project will be assessed the Transportation Sustainability Fee at the time of building permit approval.*

7. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*The proposed use is in keeping with the Innovative Industries Special Use District and provides an eating and drinking venue which will provide a necessary and desirable use for the growing Dogpatch neighborhood. In addition, the proposed use incorporates both PDR and Non-Residential elements, thus maintaining consistency with the surrounding neighborhood.*

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that

could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The height and bulk of the existing building will remain the same and will not alter the existing appearance or character of the project vicinity. The proposed work will not affect the building envelope.*

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*The Planning Code does not require parking or loading for the proposed use in the PDR-1-G Zoning District, and the site is very well served by transit, being directly adjacent to the T-Third Street Light Rail Line. Thus, the project will not impact the accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading.*

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*The proposed use is subject to the standard conditions of approval for full-service restaurants as outlined in Exhibit A.*

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*The proposal does not include any exterior changes to the existing building.*

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.*

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Use District.

*While the PDR-1-G Zoning District generally limits the amount of Retail Sales and Service uses, the Innovative Industries Special Use District permits such uses to encourage the establishment of innovative businesses in the City. A combination of brewing production, storage, and Retail Sales and Service uses allows the existing tenant, Magnolia Brewing, to remain competitive and innovate in the City.*

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

## **COMMERCE AND INDUSTRY ELEMENT**

### **Objectives and Policies**

#### **OBJECTIVE 4**

IMPROVE THE VIABILITY OF EXISTING INDUSTRY IN THE CITY AND THE ATTRACTIVENESS OF THE CITY AS A LOCATION FOR NEW INDUSTRY.

#### **POLICY 4.2**

Promote and attract those economic activities with potential benefit to the City.

#### **POLICY 4.3**

Carefully consider public actions that displace existing viable industrial firms.

*The proposed use converts a portion of existing warehouse space to a Retail Sales and Service use. However, the use will continue to operate as a component part of Magnolia Brewing, which will continue PDR activities at the site including manufacturing and storage of products. As such, while the project reduces the amount of PDR use at the site, it does not displace an existing viable industrial firm and promotes the retention and success of an existing one.*

## **CENTRAL WATERFRONT AREA PLAN**

### **Objectives and Policies**

#### **OBJECTIVE 1.1**

ENCOURAGE THE TRANSITION OF PORTIONS OF THE CENTRAL WATERFRONT TO A MORE MIXED-USE CHARACTER, WHILE PROTECTING THE NEIGHBORHOOD'S CORE OF PDR USES AS WELL AS THE HISTORIC DOGPATCH NEIGHBORHOOD

#### **POLICY 1.1.2**

Revise land use controls in formerly industrial areas outside the core Central Waterfront industrial area, to create new mixed-use areas, allowing mixed-income housing as a principal use, as well as limited amounts of retail, office, and research and development, while protecting against the wholesale displacement of PDR uses.

#### **POLICY 1.1.9**

Permit and encourage greater retail uses on the ground floor on parcels that front 3rd Street to take advantage of transit service and encourage more mixed uses, while protecting against the wholesale displacement of PDR uses.

*The proposed use supports the transition of the Central Waterfront to a more mixed-use character by providing a necessary and desirable use that activates a key space directly along the Third Street corridor while retaining the PDR activity that is occurring at the site.*

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*The proposed use allows a neighborhood serving retail use to expand. The expansion of an existing local business will provide new opportunity for resident employment and ownership.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*The Project Site does possess any existing housing and does not impact existing housing in the area. The project does not change the exterior appearance of the existing building, conserving neighborhood character.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*The Project does not currently possess any existing affordable housing.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*The Project Site is very well served by MUNI transit service, being directly adjacent to the T-Third Street Light Rail Line.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The Project does not include commercial office development.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The Project will be designed and will be constructed to conform to the structural and seismic safety requirements of the Building Code. This proposal will not impact the property's ability to withstand an earthquake.*

- G. That landmarks and historic buildings be preserved.

*Currently, the Project Site does not contain any City Landmarks or historic buildings.*

H. That our parks and open space and their access to sunlight and vistas be protected from development.

*The project does not change the bulk or exterior of the existing building.*

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2018-011935CUA** subject to the following conditions attached hereto as “EXHIBIT A” in general conformance with plans on file, dated October 29, 2018, and stamped “EXHIBIT B”, which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

**Protest of Fee or Exaction:** You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission’s adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator’s Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on January 24, 2019.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

## EXHIBIT A

### AUTHORIZATION

This authorization is for a conditional use to allow the establishment of a Retail Sales and Service use greater than 3,999 square feet in size (d.b.a. **Magnolia Brewing**) located at 2505 Third Street, Block 4173, and Lot 001 pursuant to Planning Code Section(s) **210.3, 249.37, and 303** within the **PDR-1-G** District, the Innovative Industries Special Use District, and a **68-X** Height and Bulk District; in general conformance with plans, dated **October 29, 2018**, and stamped "EXHIBIT B" included in the docket for Record No. **2018-011935CUA** and subject to conditions of approval reviewed and approved by the Commission on **January 24, 2019** under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **January 24, 2019** under Motion No **XXXXXX**.

### PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

### SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

### CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

## Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## PARKING AND TRAFFIC

6. **Bicycle Parking.** Pursuant to Planning Code Sections 155.1 and 155.4, the Project shall provide no fewer than 1 Class 1 and 3 Class 2 bicycle parking spaces. SFMTA has final authority on the type, placement and number of Class 2 bicycle racks within the public ROW. Prior to issuance of first architectural addenda, the project sponsor shall contact the SFMTA Bike Parking Program at



[bikeparking@sfmta.com](mailto:bikeparking@sfmta.com) to coordinate the installation of on-street bicycle racks and ensure that the proposed bicycle racks meet the SFMTA's bicycle parking guidelines. Depending on local site conditions and anticipated demand, SFMTA may request the project sponsor pay an in-lieu fee for Class II bike racks required by the Planning Code.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## PROVISIONS

7. **Transportation Sustainability Fee.** The Project is subject to the Transportation Sustainability Fee (TSF), as applicable, pursuant to Planning Code Section 411A.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

8. **Eastern Neighborhoods Infrastructure Impact Fee.** The Project is subject to the Eastern Neighborhoods Infrastructure Impact Fee, as applicable, pursuant to Planning Code Section 423.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

## MONITORING - AFTER ENTITLEMENT

9. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

10. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## OPERATION

11. **Eating and Drinking Uses.** As defined in Planning Code Section 202.2, Eating and Drinking Uses, as defined in Section [102](#), shall be subject to the following conditions:

- A. The business operator shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Street and Sidewalk Maintenance Standards. In addition, the

operator shall be responsible for daily monitoring of the sidewalk within a one-block radius of the subject business to maintain the sidewalk free of paper or other litter associated with the business during business hours, in accordance with Article 1, Section 34 of the San Francisco Police Code.

*For information about compliance, contact the Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org>.*

- B. When located within an enclosed space, the premises shall be adequately soundproofed or insulated for noise and operated so that incidental noise shall not be audible beyond the premises or in other sections of the building, and fixed-source equipment noise shall not exceed the decibel levels specified in the San Francisco Noise Control Ordinance.

*For information about compliance of fixed mechanical objects such as rooftop air conditioning, restaurant ventilation systems, and motors and compressors with acceptable noise levels, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, [www.sfdph.org](http://www.sfdph.org).*

*For information about compliance with construction noise requirements, contact the Department of Building Inspection at 415-558-6570, [www.sfdbi.org](http://www.sfdbi.org).*

*For information about compliance with the requirements for amplified sound, including music and television, contact the Police Department at 415-553-0123, [www.sf-police.org](http://www.sf-police.org).*

- C. While it is inevitable that some low level of odor may be detectable to nearby residents and passersby, appropriate odor control equipment shall be installed in conformance with the approved plans and maintained to prevent any significant noxious or offensive odors from escaping the premises.

*For information about compliance with odor or other chemical air pollutants standards, contact the Bay Area Air Quality Management District, (BAAQMD), 1-800-334-ODOR (6367), [www.baaqmd.gov](http://www.baaqmd.gov) and Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

- D. Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

*For information about compliance, contact the Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org>.*

12. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>*

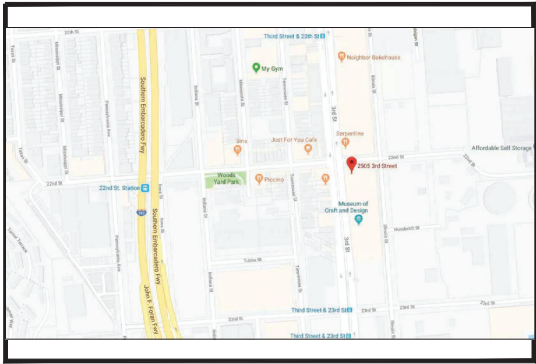
13. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the

issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

14. **Notices Posted at Bars and Entertainment Venues.** Notices urging patrons to leave the establishment and neighborhood in a quiet, peaceful, and orderly fashion and to not litter or block driveways in the neighborhood, shall be well-lit and prominently displayed at all entrances to and exits from the establishment.

*For information about compliance, contact the Entertainment Commission, at 415 554-6678, [www.sfgov.org/entertainment](http://www.sfgov.org/entertainment)*



VICINITY MAP

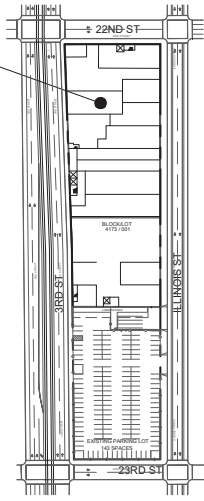
N.T.S.

# MAGNOLIA BREWERY

## C.U.P ADDITION OF EVENT SPACE & T.I.

### 2505 3RD STREET SAN FRANCISCO, CA

PROJECT SITE



SITE PLAN

N.T.S.

#### GENERAL REQUIREMENTS:

- THE A.I.A. DOCUMENT, A-201, LATEST EDITION "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" SHALL PREVAIL.
- SCOPE:
  - PROVIDE ALL MATERIAL, EQUIPMENT AND LABOR TO COMPLETE THE WORK AS INDICATED ON THE DRAWINGS.
  - IN GENERAL THE WORK INCLUDES BUT IS NOT LIMITED TO INSTALLATION OF INTERIOR KIOSK.

\* THE CONTRACTOR SHALL SUBMIT PROPOSED CONSTRUCTION SCHEDULE SEE SPECIAL CONDITIONS TO CONTRACT BASED ON THE WORK TIME REQUIREMENTS.
- DEMOLISH EXISTING STRUCTURES AS SHOWN OR NOTED.
  - ALTERATION TO ELECTRICAL, MECHANICAL AND PLUMBING WORKS.
  - PATCH TO MATCH FINISHES AFFECTED BY THE NEW CONSTRUCTION.
- CONTRACTOR SHALL VISIT THE SITE, CAREFULLY EXAMINE THE AREAS AFFECTED BY THE WORK AND FAMILIARIZE THEMSELVES OF THE CONDITIONS AND SHALL REPORT TO ARCHITECT ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE WORK PRIOR TO SUBMITTING BIDS.
- THE CONTRACTOR SHALL MAKE SURE THAT ALL TRADES WORK CONFORMS TO THE LATEST FEDERAL, STATE AND CITY CODES AND ORDINANCES.
- THE CONTRACTOR SHALL OBTAIN PERMITS BEFORE STARTING WORK AND OBTAIN APPROVALS OF ALL REGULATORY AGENCIES UPON COMPLETION.
- WHEN "APPROVED EQUAL," "EQUAL TO," OR OTHER GENERAL QUALIFYING TERMS ARE USED, IT SHALL BE BASED UPON THE REVIEW AND APPROVAL BY THE ARCHITECT PRIOR TO ANY PURCHASE OR INSTALLATION.
- THE CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS FOR APPROVAL TO THE ARCHITECT AND OWNER PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR TO SUBMIT CUTS, SAMPLE & FINISHES FOR WRITTEN APPROVAL PRIOR TO ORDERING OR FABRICATION. ALL SUBMITTALS SHALL BE IN TRIPlicate TO THE ARCHITECT. CONTRACTOR SHALL REVIEW SUBMISSIONS PRIOR TO SUBMITTAL AND SHALL NOTE HIS APPROVAL ON SAME. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT A MINIMUM OF TEN (10) WORKING DAYS TURNAROUND TO REVIEW SHOP DRAWINGS. TELEFAX SUBMISSIONS ARE NOT ACCEPTABLE.
- THE WORD "PROVIDE" SHALL MEAN TO FURNISH AND INSTALL ALL MATERIALS NECESSARY TO COMPLETE WORK IN ACCORDANCE WITH ACCEPTED CONSTRUCTION STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
- ALL ITEMS SPECIFIED ARE TO ESTABLISH QUALITY OF WORK. PRODUCTS OF OTHER MANUFACTURERS EQUAL IN DESIGN, COLOR AND QUALITY MAY BE SUBSTITUTED IF APPROVED BY THE ARCHITECT AS MEETING ESTABLISHED DESIGN AND FUNCTION CRITERIA. ANY PROPOSED SUBSTITUTIONS MUST BE QUALIFIED AT BID SUBMISSION.
- ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE BEST ACCEPTED TRADE PRACTICES AND AS PER MANUFACTURER'S RECOMMENDATIONS.
- A COPY OF THE LATEST SET OF CONSTRUCTION DRAWINGS, SPECIFICATIONS AND SHOP DRAWINGS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE ARCHITECT. THESE DRAWINGS SHALL BE UPDATED WITH THE LATEST REVISIONS.
- THE CONTRACTOR SHALL PREPARE AND UPDATE CONSTRUCTION SCHEDULE. COMPLETION DATE MAY NOT BE EXTENDED WITHOUT WRITTEN NOTICE.
- IF THE LOCATION OF THE WORK IS IN AN AREA THAT MUST CONTINUE IN OPERATION DURING THE PROGRESS OF THE WORK, THE CONTRACTOR IS TO PROVIDE MINIMUM INTERFERENCE WITH OPERATION.
- SPECIAL PRECAUTIONS AND TEMPORARY PARTITIONS SATISFACTORY TO THE OWNER AND ARCHITECT MUST BE PROVIDED TO PROTECT THE OCCUPANTS OF THE BUILDING AND THE PUBLIC FROM ACCIDENTS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL MAINTAIN FREE AND UNOBSTRUCTED ACCESS FROM ALL FLOOR AND ADJACENT SPACES TO OUTSIDE OF THE BUILDING AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIAL AND EQUIPMENT AS SHOWN UNLESS OTHERWISE NOTED BY ARCHITECT. ALL MATERIAL SHALL BE NEW AND OF THE BEST QUALITY.
- CONTRACTOR SHALL INCLUDE ALL CUTTING, DRILLING AND PATCHING REQUIRED TO PERMIT THE INSTALLATION OF HIS WORK AND HIS SUB-CONTRACTORS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUB-CONTRACTORS.
- ALL MATERIAL AND EQUIPMENT SHALL MEET APPLICABLE STANDARDS AS PUBLISHED BY ANSI AND NEMA AND SHALL BE LISTED BY U.L., WHERE REQUIRED, MEA NUMBERS MUST BE PROVIDED.
- ANY DAMAGES TO EXISTING PARTITIONS, FLOORS, CEILINGS OR ANY PART OF THE BUILDING OR EQUIPMENT CAUSED BY THE WORK OF THE CONTRACTOR SHALL BE MADE GOOD AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE FROM THE JOB SITE AND BROOM CLEAN DAILY.
- THE CONTRACTOR IS TO CONTROL CLEANING TO PREVENT DIRT OR DUST FROM LEAVING THE JOB SITE AND INFILTRATING AREAS NOT INVOLVED IN THE PROJECT.
- WHEN REMOVING AN EXISTING OUTLET, CABLES ARE TO BE REMOVED FROM ORIGINATING POINT AND A COVER PLATE TO BE INSTALLED AT THE WALL. IN CASE OF ELECTRIC OUTLETS, WIRES ARE TO BE REMOVED TO THE JUNCTION BOX AND CAPPED. COVER PLATE TO BE INSTALLED AT WALL. REMOVE ALL ABANDONED CONDUIT.
- ALL NEW, MODIFIED OR EXISTING OUTLETS ARE TO BE CIRCUITED TO CONFORM TO APPLICABLE ELECTRICAL BUILDING CODES.
- THE CONTRACTOR SHALL GUARANTEE THAT ALL WORK OF THIS CONTRACT IS FREE FROM ALL DEFECTS, AND IS AS SPECIFIED. SHOULD ANY DEFECTS, WHICH CANNOT BE PROVEN TO HAVE BEEN CAUSED BY IMPROPER USE, DEVELOP WITHIN THE PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF WORK, SUCH DEFECTS SHALL BE MADE GOOD BY THE CONTRACTOR, WITHOUT COST TO THE OWNER.
- ALL EQUIPMENTS PROVIDED SHALL HAVE A MINIMUM OF ONE (1) YEAR WARRANTY FROM DATE OF ACCEPTANCE OF WORK.

#### LIST OF SYMBOLS:

	LETTER USED FOR BUILDING SECTIONS OR FOR ELEVATIONS
	DRAWING NUMBER WHERE SECTION OR ELEVATION APPEARS
	DRAWING NUMBER WHERE DETAIL APPEARS
	NUMBER OR DETAIL
	DRAWING NUMBER WHERE DETAIL APPEARS
	AREA BEING ENLARGED DEFINED BY DOTTED LINE
	DETAIL LABEL
	WALL FLASHING
	SCALE: 1/2"=1'-0"
	DETAIL NUMBER WHERE ELEVATION APPEAR
	DRAWING NUMBERS
	DOOR NUMBER
	REVISION NUMBER
	EL. 452'-2"
	FINISHED ELEVATION
	SURFACE MATERIAL
	FINISH
	NOTE

#### PROJECT DATA:

ADDRESS:	2505 3RD STREET SAN FRANCISCO, CA 94107
BLOCK / LOT:	3707 / 063
ZONING:	PDR - 1G, LIGHT INDUSTRIAL
CONSTRUCTION TYPE:	II - FR
OCCUPANCY:	USE: EXISTING PROPOSED
EXISTING:	F-2 5,629 SF
PROPOSED:	A-2 3,382 SF F-2* 657 SF S-2 1,590 SF
STORIES:	4 FULLY
FIRE ALARM:	YES
OCCUPANCY CALCULATION	
AREA DESCRIPTION	AREA SQ. FT. (SF) OCCUPANCY LOAD
EVENT AREA:	
PREP/NO-SALES	481.19 S.F. @ 200 SF/OCC 2.40
STORAGE	135.93 S.F. @ 300 SF/OCC .45
SEATING	1,706.89 SF @ 15 SF/OCC 113.79
BAR SEATING	1,673* @ 18* LF/OCC 92.94
RESTROOM	308.95 SF ACCESSORY
EXITS PROVIDED EVENT:	2
ALL ADJACENT AREA OCCUPANCY CALCULATIONS PERMITTED IN:	PA# 2018-0522-9804
LEGAL JURISDICTION:	CITY & COUNTY OF SAN FRANCISCO
CODES:	
BUILDING:	2016 CALIFORNIA BUILDING CODE
MECHANICAL:	2016 CALIFORNIA MECHANICAL CODE
ELECTRICAL:	2016 CALIFORNIA ELECTRICAL CODE
PLUMBING:	2016 CALIFORNIA PLUMBING CODE
FIRE:	2016 CALIFORNIA FIRE CODE
ACCESSIBILITY:	2016 CALIFORNIA BUILDING CODE, TITLE 24
ENERGY:	2016 CALIFORNIA ENERGY CODE
GREEN BUILDING:	2016 CALIFORNIA GREEN BUILDING CODE
LOCAL AMENDMENTS:	SAN FRANCISCO MUNICIPAL CODE

#### CONSULTANTS:

<b>ARCHITECT</b>
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MARS ENGINEERING GROUP, INC. 22715 VICTORY BLVD., WEST HILLS, CA 91307 (818) 593-8999 PHONE (818) 230-7773 FAX CONTACT: MAJID AMIRI
<b>TENANT</b>
MAGNOLIA BREWERY 2505 3RD STREET SAN FRANCISCO, CA 94107 (415) 370-0349 PHONE CONTACT: BRIAN ACCOW
<b>LANDLORD</b>
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<b>STRUCTURAL ENGINEER</b>
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<b>CONTRACTOR</b>

#### LIST OF DRAWINGS:

T-1.0	COVER SHEET
T-2.0	PATH OF TRAVEL PLAN
T-3.0	ASSEMBLY PLAN, OCCUPANT LOAD
T-4.0	PRE-APPLICATION LETTER AND PLAN
T-5.0	GREEN BUILDING NOTES
A-0.0	SITE PLAN, D.A. CHECKLIST
A-0.1	EXISTING PLAN / REFERENCE DEMOLITION PLAN
A-0.2	DEMOLITION, CONSTRUCTION, RCP AND HEALTH NOTES
A-1.0	CONSTRUCTION FLOOR PLAN
A-1.1	DOOR SCHEDULE
A-2.0	REFLECTED CEILING PLAN
A-3.0	EQUIPMENT FLOOR PLAN
A-4.0	FINISH FLOOR PLAN
A-5.1	INTERIOR ELEVATIONS
A-6.0	ENLARGED RESTROOM FLOOR PLANS
A-6.1	ENLARGED RESTROOM ELEVATIONS
A-7.0	DETAILS
A-7.1	DETAILS

#### RESPONSIBILITIES:

	PROVIDED BY			INSTALLED BY		
	VENDOR	G.C.	OWNER	VENDOR	G.C.	OWNER
CONCRETE FILL		●			●	
CONCRETE SAW CUTTING		●			●	
METAL FRAMING		●			●	
DOOR & HARDWARE		●			●	
SHEATHING		●			●	
GWB		●			●	
STOREFRONTS		●			●	
BACKING & SUPPORT		●			●	
MILLWORK		●			●	
LIGHTING GENERAL		●			●	
PAINT / STAIN		●			●	
PLUMBING		●			●	
PLUMBING FIXTURES		●			●	
MECHANICAL COMPLETE		●			●	
ELECTRICAL COMPLETE		●			●	
INSULATION		●			●	
CEILING & GRID		●			●	
HVAC COMPLETE		●			●	
FLOOR SYSTEM		●			●	
RESTAURANT EQUIPMENT		●			●	
EQUIPMENT HARDWARE		●			●	
FLOORING MATERIAL		●			●	
SHELVING		●			●	
FURNITURE		●			●	
PLANTERS		●			●	
RAILINGS		●			●	
DATA (INCLUDING P.O.S. WIRING)	●			●		
SOUND WIRING & SPEAKERS	●			●		
FIRE ALARM SYSTEM	●			●		
ALARM SYSTEM COMPLETE	●			●		
FIRE SPRINKLERS	●			●		
SIGNAGE	●			●		
SIGNAGE POWER	●			●		
MENU BOARDS	●			●		
ART WORK	●			●		
SECURITY SYSTEM	●			●		

#### NOTES

- NOTE LL REQUIREMENTS FOR PLUMBER FOR UNDER SLAB PLUMBING
- COORDINATE W/ LL FOR PREFERRED ROOF SUBCONTRACTOR
- COORDINATE W/ LL FOR PREFERRED WATERPROOFING'S VENDOR /SUBCONTRACTOR.
- NOTE LL REQUIREMENT FOR PREFERRED SPRINKLER CONTRACTOR.
- COORDINATE W/ LL FOR PREFERRED LIFE SAFETY VENDOR.

#### GENERAL

IF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THESE REQUIREMENTS COORDINATE IN WRITING W/ CLIENT PROJECT MANAGER AND ARCHITECT PRIOR TO CONTRACT.

#### SCOPE OF WORK:

THE SCOPE OF WORK AT THE EXISTING F-2 SPACE WILL BE TO:

- CHANGE F-2 SPACE TO AN A-2 & S-2 OCCUPANCY PER APPROVED PRE-APP, SEE T-4.0
- DUE TO SEC. 943.45, AN AREA EXCEEDING 3,999 SF OF EACH OCCUPANCY MUST SUBMIT A CONDITIONAL USE PERMIT.
- T.I. OF AN EVENT SPACE, RESTROOMS, BAR AND ASSOCIATED M.E.P.

#### NOTES:

##### NOTE:

TENANT IS REQUIRED TO FIELD VERIFY ALL SITE CONDITIONS. ALL CONTRACTORS WORKING ON SITE MUST ABIDE BY LL RULES AND REGULATIONS DOCUMENT. THIS INCLUDES THE SUBCONTRACTING OF REQUIRED CONTRACTORS.

AT TIME OF FINAL INSPECTION, ACCESS KEYS SHALL BE PROVIDED TO THE FIRE DEPARTMENT PER CFC CODE SECTION 508.

ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND SANTA CLARA COUNTY FIRE DEPARTMENT SPECIFICATION SI-7 (CONSTRUCTION SITE FIRE SAFETY).

#### ABBREVIATIONS:

A.F.F.	ABOVE FINISH FLOOR	INS.	INSULATION
A.C. PL.	ACOUSTIC PLASTER	J.B.	JUNCTION BOX
A.C. T.	ACOUSTIC TILE	J.C.	JANITOR'S CLOSET
A.C.	AIR CONDITIONING	MAS.	MASONRY
AL.	ALUMINUM	MFG.	MANUFACTURING OR
BL.	BRICK	M.C.	MILLWORK CONTRACTOR
C.L.	CENTER LINE	N.I.C.	NOT IN CONTRACT
CEM.	CEMENT	N.T.S.	NOT TO SCALE
CL.	CLOSET	O.C.	ON CENTER
CLG.	CEILING	P.	POINT
CONC.	CONCRETE	PART.	PARTITION
CONST.	CONSTRUCTION	PL.	PLASTER-PLATE
CONT.	CONTINUOUS	R.A.	RETURN AIR
D.F.	DRINKING FOUNTAIN	REF.	REGISTER
D.O.	DOOR OPENING	REG.	RESILIENT TILE
DIM.	DIMENSION	RES.	ROOM
DN.	DOWN	R.O.	ROUGH OPENING
DTL.	DETAIL	S.A.	SUPPLY AIR
E.A.	ELEVATION	S.C.	SELF CLOSING
ELEC.	ELECTRIC	S.C.W.D.	SOLID CORE WOOD DOOR
ENCL.	ENCLOSURE	S.P.	STANDPIPE
EXIST.	EXISTING	S.S.	SERVICE SINK OR STAINLESS STEEL
E.C.	ELECTRICAL CONTRACTOR	STD.	STANDARD
F.A.I.	FRESH AIR INTAKE	STOR.	STORAGE
F.D.	FLOOR DRAIN	ST.	STEEL OR STREET OR STAIR
F.F.	FINISHED FLOOR	T.	TREAD OR TOILET
FIN.	FINISH	TEL.	TELEPHONE
F.P.S.C.	FIREPROOF SELF CLOSING	T.O.S.	TRIMMED OPENING
F.O.	FINISHED OPENING	TERR.	TERRAZZO
F.R.	FIRE RATED	T.O.W.	TOP OF WALL
GL.	GLASS	TYP.	TYPICAL
GYP. BD.	GYP. BOARD	UNFIN.	UNFINISHED
G.C.	GENERAL CONTRACTOR	U.O.N.	UNLESS OTHERWISE NOTED
H.M.	HOLLOW METAL	VEST.	VESTIBULE
H.V.A.C.	HEATING VENT & AIR	V.I.F.	VERIFY IN FIELD
H.CLG.	HUNG CEILING	V.T.	VINYL TILE
HGT.	HEIGHT		

#### BUILDING SQUARE FOOTAGE:

TOTAL BUILDING SQUARE FOOTAGE SUMMARY		
GROUP B - BUSINESS / OFFICE SPACE	13,000 SF	4%
GROUP E - EDUCATIONAL	65,000 SF	20%
GROUP F - FACTORY & INDUSTRIAL	133,000 SF	40%
GROUP M - MERCANTILE / RETAIL	1,200 SF	5%
GROUP S - STORAGE	26,000 SF	8%
GROUP U - UTILITY / RESTROOMS / CORRIDORS	44,000 SF	13.5%
VACANT (INCLUDING FUTURE SPACE FOR MAGNOLIA)	47,000 SF	14%
TOTAL	329,200 SF	100%

#### 2016 CALGREEN REQUIREMENT

THIS PROJECT SHALL COMPLY WITH APPLICABLE NON-RESIDENTIAL MANDATORY MEASURES AND 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE REQUIREMENTS:

- CONSTRUCTION WASTE MANAGEMENT:
  - A MINIMUM OF 50% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO RECYCLE OR SALVAGED PER SEC. 5.408.1.
  - SUBMIT A WASTE MANAGEMENT PLAN FOR APPROVAL BY ENFORCEMENT AGENCY PRIOR TO PERMIT ISSUANCE PER 5.408.1.1.
  - PROVIDE DOCUMENTATION DEMONSTRATING COMPLIANCE WITH WASTE MANAGEMENT PLAN PRIOR TO FINAL INSPECTION 5.408.1.4.

- ENVIRONMENTAL QUALITY:
  - ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC LIMITS PER SEC. 5.504.4.1.
  - PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS PER SEC. 5.504.4.3.
  - AEROSOL AND PAINT COATINGS SHALL BE COMPLIANT WITH PRODUCT-WEIGHTED MIR LIMITS FOR ROC, VOC, AND OTHER TOXIC COMPOUNDS PER SEC. 5.504.4.3.1.
  - HARDWOOD PLYWOOD, PARTICLE BOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR

- OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS PER SEC. 5.504.4.5.
- E. DOCUMENTATION SHALL BE PROVIDED TO ENFORCEMENT AGENCY VERIFYING COMPLIANCE OF APPLICABLE MATERIALS.
- F. FOR 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING, INSTALLED RESILIENT FLOORING SHALL MEET AT LEAST ONE OF THE FOLLOWING:
- CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORE PROGRAM;
  - COMPLIANT WITH THE VOC-EMISSION LIMITS AND TESTING REQUIREMENTS SPECIFIED IN THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S 2010 STANDARD METHOD FOR THE TESTING AND EVALUATION CHAMBERS, VERSION 1.1, FEB. 2010;
  - COMPLIANT WITH THE CALIFORNIA COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CA-CHPS) CRITERIA INTERPRETATION FOR EQ 2.2 DATED JULY 2012 AND LISTED IN THE CHPS HIGH PERFORMANCE PRODUCT DATABASE; OR
  - COMPLIANT WITH CDPH CRITERIA AS CERTIFIED UNDER THE GREENGUARD CHILDREN'S & SCHOOLS PROGRAM.

#### DEFERRED SUBMITTAL

FIRE SPRINKLERS UNDER SEPARATE PERMIT  
FIRE ALARM UNDER SEPARATE PERMIT  
SIGNAGE UNDER SEPARATE PERMIT

#### SUBMITTAL REQUIREMENT

ITEM	REVIEWED BY	COMMENTS
MILLWORK	OWNER	SUBMIT SHOP DRAWINGS AND SAMPLES
FINISHES	OWNER	SUBMIT SAMPLES
PLUMB. FIXT. & ACC.	OWNER	SUBMIT CUT SHEETS
LIGHTING	OWNER	SUBMIT CUT SHEETS



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F: 415 362 5044  
www.TECTA.com



ARCHITECTURAL PROJECT NO.: 2505-18

EVENT SPACE C.U.P. &amp; T.I.

MAGNOLIA BREWERY

2505 3RD STREET  
SAN FRANCISCO, CALIFORNIA

#### NOTICE OF CONSENT

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF TECTA ASSOCIATES AND SHALL NOT BE REPRODUCED OR USED IN ANY MANNER OR FOR ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH TECTA ASSOCIATES. WRITTEN CONSENT OF TECTA ASSOCIATES IS REQUIRED FOR ANY REPRODUCTION OR USE OF THESE DRAWINGS AND SPECIFICATIONS. ANY REPRODUCTION OR USE OF THESE DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF TECTA ASSOCIATES SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO TECTA ASSOCIATES. THESE DRAWINGS ARE PROVIDED FOR DESIGN PURPOSES ONLY AND NOT FOR CONSTRUCTION UNLESS APPROVED AS SUCH BY GOVERNING AUTHORITIES.

THESE PLANS ARE CORRECTED AND SUBJECT TO CORRECTION PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 100 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED. REVISIONS AND CHANGES TO THESE PLANS SHALL BE INDICATED BY A REVISION SYMBOL AND A REVISION NUMBER. THE PROTECTOR INCLUDES BUT IS NOT LIMITED TO THE DESIGN, CONSTRUCTION, AND COMPLETION OF THE PROJECT.

REVISIONS: DATE:

1	EVENT SPACE PERMIT SET	10/01/18
2	PCC #1	10/23/18
3		
4		
5		
6		
7		
8		
9		
10		

ISSUE DATE:	00/00/2017
SPACE PLAN DATE:	10/23/2018

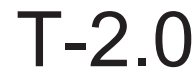
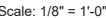
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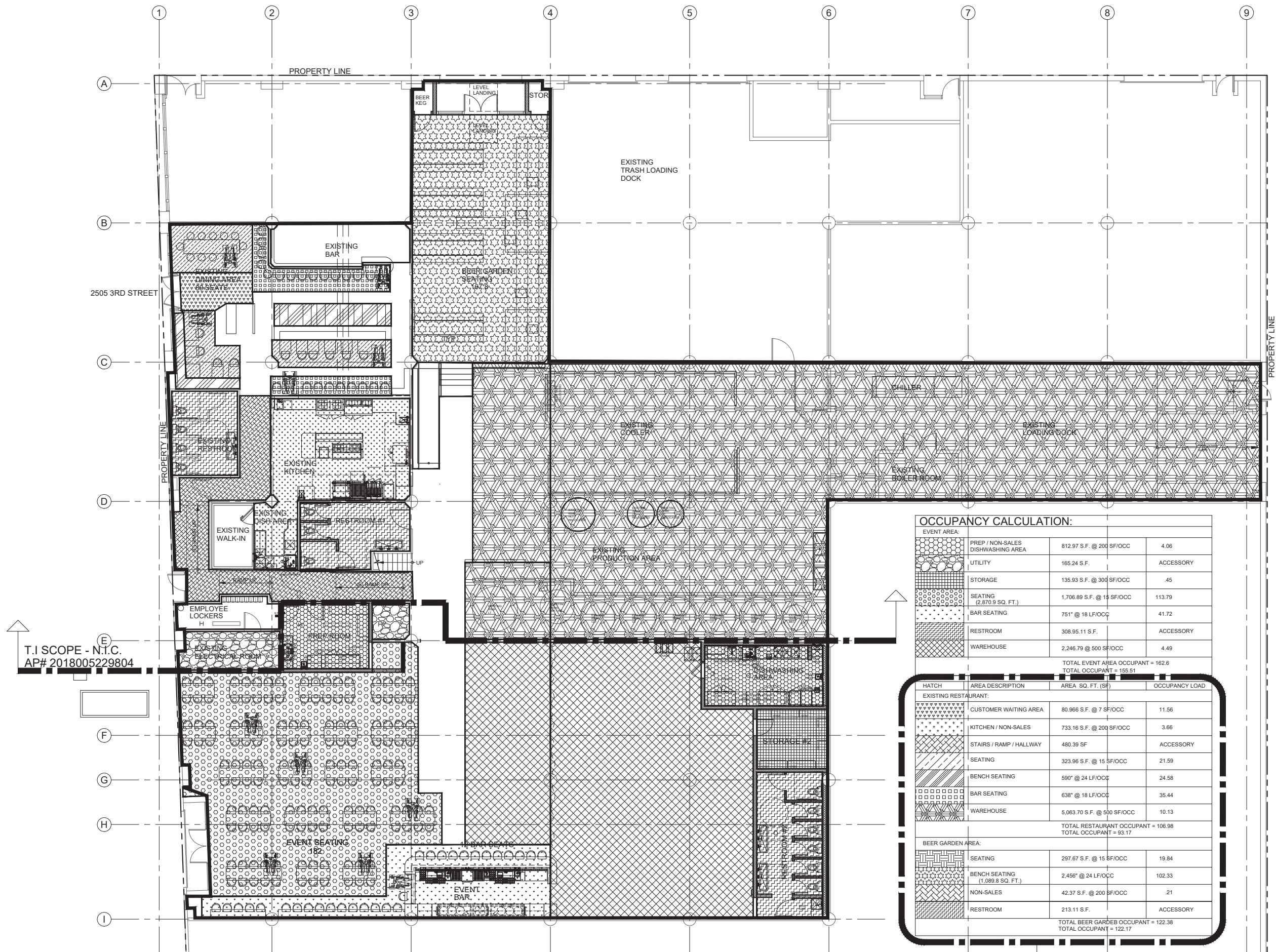
COVER SHEET

DRAWING NUMBER:

# T-1.0







T.I SCOPE - N.I.C.  
AP# 2018005229804

1 ASSEMBLY PLAN / OCCUPANT LOAD

Scale: 1/8" = 1'-0"

OCCUPANCY CALCULATION:			
EVENT AREA:			
	PREP / NON-SALES DISHWASHING AREA	812.97 S.F. @ 200 SF/OCC	4.06
	UTILITY	165.24 S.F.	ACCESSORY
	STORAGE	135.93 S.F. @ 300 SF/OCC	.45
	SEATING (2,870.9 SQ. FT.)	1,706.89 S.F. @ 15 SF/OCC	113.79
	BAR SEATING	751" @ 18 LF/OCC	41.72
	RESTROOM	308.95.11 S.F.	ACCESSORY
	WAREHOUSE	2,246.79 @ 500 SF/OCC	4.49
TOTAL EVENT AREA OCCUPANT = 162.6			
TOTAL OCCUPANT = 155.51			
HATCH	AREA DESCRIPTION	AREA SQ. FT. (SF)	OCCUPANCY LOAD
EXISTING RESTAURANT:			
	CUSTOMER WAITING AREA	80.966 S.F. @ 7 SF/OCC	11.56
	KITCHEN / NON-SALES	733.16 S.F. @ 200 SF/OCC	3.66
	STAIRS / RAMP / HALLWAY	480.39 SF	ACCESSORY
	SEATING	323.96 S.F. @ 15 SF/OCC	21.59
	BENCH SEATING	590" @ 24 LF/OCC	24.58
	BAR SEATING	638" @ 18 LF/OCC	35.44
	WAREHOUSE	5,063.70 S.F. @ 500 SF/OCC	10.13
TOTAL RESTAURANT OCCUPANT = 106.98			
TOTAL OCCUPANT = 93.17			
BEER GARDEN AREA:			
	SEATING	297.67 S.F. @ 15 SF/OCC	19.84
	BENCH SEATING (1,089.8 SQ. FT.)	2,456" @ 24 LF/OCC	102.33
	NON-SALES	42.37 S.F. @ 200 SF/OCC	.21
	RESTROOM	213.11 S.F.	ACCESSORY
TOTAL BEER GARDEN OCCUPANT = 122.38			
TOTAL OCCUPANT = 122.17			

T.I SCOPE - N.I.C.  
AP# 2018005229804



ARCHITECTURAL PROJECT NO.: 2018005229804

EVENT SPACE C.U.P. & TI  
MAGNOLIA BREWERY  
2505 3RD STREET SACRAMENTO ST.  
SAN FRANCISCO, CALIFORNIA

NOISE COMPLAINT	
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF TECTA ASSOCIATES AND SHALL NOT BE REPRODUCED IN ANY MANNER OR USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH TECTA ASSOCIATES. WRITTEN CONSENT IS REQUIRED FOR ANY REUSE OF THESE DRAWINGS AND SPECIFICATIONS. ANY REUSE OF THESE DRAWINGS AND SPECIFICATIONS WITHOUT WRITTEN CONSENT IS A VIOLATION OF THE PROFESSIONAL SEAL OF THE ARCHITECT AND MAY BE SUBJECT TO PROSECUTION. THESE DRAWINGS ARE INTENDED FOR DESIGN PURPOSES ONLY AND NOT FOR CONSTRUCTION UNLESS APPROVED AS SUCH BY GOVERNING AUTHORITIES.	
THESE PLANS ARE PREPARED AND SUBJECT TO COMPLAINT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE PROFESSIONAL ACT, 17 U.S.C. 1101, AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TECTA ASSOCIATES. ANY REUSE OF THESE DRAWINGS AND SPECIFICATIONS WITHOUT WRITTEN CONSENT IS A VIOLATION OF THE PROFESSIONAL SEAL OF THE ARCHITECT AND MAY BE SUBJECT TO PROSECUTION. THESE DRAWINGS ARE INTENDED FOR DESIGN PURPOSES ONLY AND NOT FOR CONSTRUCTION UNLESS APPROVED AS SUCH BY GOVERNING AUTHORITIES.	
NO.	REVISIONS:
1	EVENT SPACE PERMIT SET
2	
3	
4	
5	
6	
7	
8	
9	
10	

ISSUE DATE: 00/00/2017  
SPACE PLAN DATE: 06/11/2018

DRAWING TITLE:  
ASSEMBLY PLAN  
OCCUPANT LOAD

DRAWING NUMBER:

T-3.0





Project Description

MAGNOLIA BREWERY

Project Name

4173 / 001

Block/Lot

2505 THIRD STREET

Address

RESTAURANT

Primary Occupancy

Gross Building Area

INDOOR WATER EFFICIENCY

Each fixture must not exceed the maximum flow rates in CalGreen 5.303:

Fixture Type	Maximum Prescriptive Flow Rate
Showerheads²	2 gpm @ 80 psi
Lavatory faucets - nonresidential	0.5 gpm @ 60 psi
Kitchen faucets	1.8 gpm @ 60 psi default
Wash fountains	1.8 gpm/20 [rim space inches @ 60 psi]
Metering faucets	.20 gallons/cycle
Metering faucets for wash fountains	.20 gallons per cycle/ 20 [rim space inches @ 60 psi]
Tank-type water closets	1.28 gallons/flush¹ and EPA WaterSense Certified
Flushometer valve water closets	1.28 gallons/flush¹
Urinals	Wall mount: 0.125 gallons/flush Floor mount: 0.5 gallons/flush

Notes:  
1) For dual flush toilets, effective flush volume is defines as the average volume of two reduced flushes and one full flush. The referenced standard is ASME A112.19.14 and USEPA WaterSense Tank-Type High Efficiency Toilet Specification – 1.28 gal (4.8 L).  
2) The combined flow rate of all showerheads in one shower stall not exceed the maximum flow rate for one showerhead, or the shower shall be designed to allow only one showerhead to be in operation at a time (5.303.2.1).

EXISTING NONCOMPLIANT FIXTURES

All fixtures that are not compliant with the San Francisco Commercial Water Conservation Ordinance that serve or are located within the project area must be replaced with fixtures or fittings meeting the maximum flow rates and standards referenced above. For more information, see the Commercial Water Conservation Program Brochure, available at SFDbl.org. Noncompliant plumbing fixtures include:

- Any toilet manufactured for use more than 1.6 gallons of water per flush.
- Any urinal manufactured for use more than 1 gallon of water per flush.
- Any showerhead manufactured to have a flow capacity of more than 2.5 gallons of water per minute.
- Any interior faucet that emits more than 2.2 gallons of water per minute.

Exceptions to this requirement are limited to situations where replacement of fixture(s) would detract from the historic integrity of the building, as determined by the Department of Building Inspection pursuant to San Francisco Building Code Chapter 13A.

# City and County of San Francisco Green Building Submittal: For Interior Commercial Tenant Improvement

## Instructions:

- This form is for commercial tenant improvement projects with >\$200,000 project valuation that are limited to the interior of the building. Projects seeking LEED certification may voluntarily use the "LEED" submittal as an alternative to this form. An abbreviated summary of each requirement is included for reference.
- For each requirement that is applicable to the scope of the project, use the "Plan Set Location" column to indicate where in the submittal documents compliance with the requirement can be verified. (If items in the "Reference" column are not applicable, indicate "N/A.")
  - In the boxes at right, indicate which professional(s) are responsible for ensuring green building requirements are met.

FINAL COMPLIANCE VERIFICATION form will be required prior to Certificate of Completion.

Architecture		
Required Measure	Interior Alteration ≥\$200,000	Reference (Indicate Plan Set Sheet & Detail, or Specification, as applicable)
<b>Construction Waste Management</b> – 100% of mixed debris must be transported by a registered hauler to a registered facility and be processed for recycling, in compliance with the San Francisco Construction & Demolition Debris Ordinance.	●	
<b>Recycling by Occupants:</b> Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. See Administrative Bulletin 088.	●	
<b>Adhesives, sealants, and caulks:</b> Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives. (CalGreen 5.504.4.1)	●	
<b>Paints and coatings:</b> Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. (CalGreen 5.504.4.3.1)	●	SHEET A-4.0
<b>Carpet:</b> All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program, 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350), 3. NSF/ANSI 140 at the Gold level, 4. Scientific Certifications Systems Sustainable Choice, OR 5. California Collaborative for High Performance Schools EQ 2.2 and listed in the CHPS High Performance Product Database AND carpet cushion must meet Carpet and Rug Institute Green Label, AND indoor carpet adhesive & carpet pad adhesive must not exceed 50 g/L VOC content.	●	
<b>Composite wood:</b> Meet CARB Air Toxics Control Measure for Composite Wood including meeting the emission limits in CalGreen Table 5.504.4.5.	●	
<b>Resilient flooring systems:</b> For 80% of floor area receiving resilient flooring, install resilient flooring complying with: 1. Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program, 2. Compliant with the VOC-emission limits and testing requirements of California Department of Public Health 2010 Standard Method for the Testing and Evaluation Chambers v.1.1, 3. Compliant with the Collaborative for High Performance Schools (CHPS) EQ2.2 and listed in the CHPS High Performance Product Database, OR 4. Certified under the Greenguard Children & Schools Program to comply with California Department of Public Health criteria (CalGreen 5.504.4.4 and 5.504.4.6)	●	

I have been retained by the project sponsor to assure that approved construction documents and construction fulfill the requirements of San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, or if I am no longer the Green Building Compliance Professional of Record for the project.

**Green Building Compliance Professional of Record for Architectural Measures:**  
**AHMAD MOHAZAB**

Name  
**TECTA ASSOCIATES**  
Firm  
**C-17636**  
Architectural or Engineering License Number

Licensed Professional: Sign & Date  
Affix professional stamp:

Mechanical, Electrical, Plumbing		
Required Measures	Interior Alteration ≥\$200,000	Reference (Indicate Plan Set Sheet & Detail, or Specification, as applicable)
<b>Energy Efficiency:</b> Demonstrate compliance with California Energy Code, Title 24 Part 6 (2016).	●	SHEET E-4.0 TO E-4.3
<b>Testing and Adjusting:</b> (CalGreen 5.410.4 through 5.410.4.5.1) 1. Develop and implement a plan of procedures for testing and adjusting new systems, including (as applicable): HVAC; indoor and outdoor lighting and controls; water heating; renewable energy; landscape irrigation; and water reuse systems. 2. Balance new HVAC systems before operation for normal use. 3. Provide the Owner or representative with a final report of testing. 4. Provide the building representative with detailed operating and maintenance instructions and copies of all guarantees/warranties for each system.	●	SHEET M-1.0 CAL GREEN NOTES SHEET E-4.0 TO E-4.3
<b>Protect duct openings and mechanical equipment during construction.</b> Limit use of permanent HVAC during construction to conditioning necessary for material and equipment installation. If permanent HVAC is used during construction, install MERV-8 filters on returns, and replace all filters immediately prior to occupancy, or, if the building is occupied during alteration, at the conclusion of construction. (CalGreen 5.504.1.3 and 5.504.3)	●	SHEET M-1.0 CAL GREEN NOTES
<b>Air Filtration:</b> Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings. Installed filters must be clearly labeled by the manufacturer indicating the MERV rating, and filter specification shall be included in the operation and maintenance manual. (CalGreen 5.504.5.3 through 5.504.5.3.1)	●	SHEET M-1.0 CAL GREEN NOTES
<b>Indoor Water Efficiency:</b> Install compliant fixtures. Replace all noncompliant fixtures in project area. Fix leaks. (See "Indoor Water Efficiency" at left.)	●	SHEET P-1.0 CAL GREEN NOTES

I have been retained by the project sponsor to assure that approved construction documents and construction fulfill the requirements of San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, or if I am no longer the Green Building Compliance Professional of Record for the project.

**Green Building Compliance Professional of Record for Mechanical, Electrical, and Plumbing Measures:**  
**MAJID AMIRI-RAZAVIAN**

Name  
**MARS ENGINEERING, INC.**  
Firm  
**M31452**  
Architectural or Engineering License Number

Licensed Professional: Sign & Date  
Affix professional stamp:



ARCHITECTURAL PROJECT NO.: --/--

EVENT SPACE C.U.P & TI  
MAGNOLIA BREWERY  
2505 3RD STREET SACRAMENTO ST.  
SAN FRANCISCO, CALIFORNIA

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NO.	REVISIONS:	DATE:
1	EVENT SPACE PERMIT SET	08/30/18
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ISSUE DATE: 09/00/2017  
SPACE PLAN DATE: 06/11/2018

DRAWING TITLE:  
**GREEN BUILDING NOTES**

DRAWING NUMBER:

**T-5.0**



D.A. CHECKLIST (p. 1 of 2): The address of the project is: 2505 3RD STREET

For ALL tenant improvement projects in commercial use spaces, this checklist is required to be reproduced on the plan set and signed.

1. The proposed use of the project is RESTAURANT/BREWERY (e.g. Retail, Office, Restaurant, etc.)
2. Describe the area of remodel, including which floor: GROUND FLOOR, 4,252 SQ. FT.
3. The construction cost of this project excluding disabled access upgrades to the path of travel is \$ 149,799.00, which is; (check one) ☐ more than / ☒ less than the Accessibility Threshold amount of \$156,162.00 based on the "2013 ENR Construction Cost Index" (The cost index & threshold are updated annually).
4. Is this a City project and/or does it receive public funding? Check one: ☐ Yes / ☒ No  
Note: If Yes, then see Step 3 on the Instructions page of the Disabled Access Upgrade Compliance Checklist package for additional forms required

Conditions below must be fully documented by accompanying drawings.

5. Read A through D below carefully and check the most applicable boxes. Check one box only:

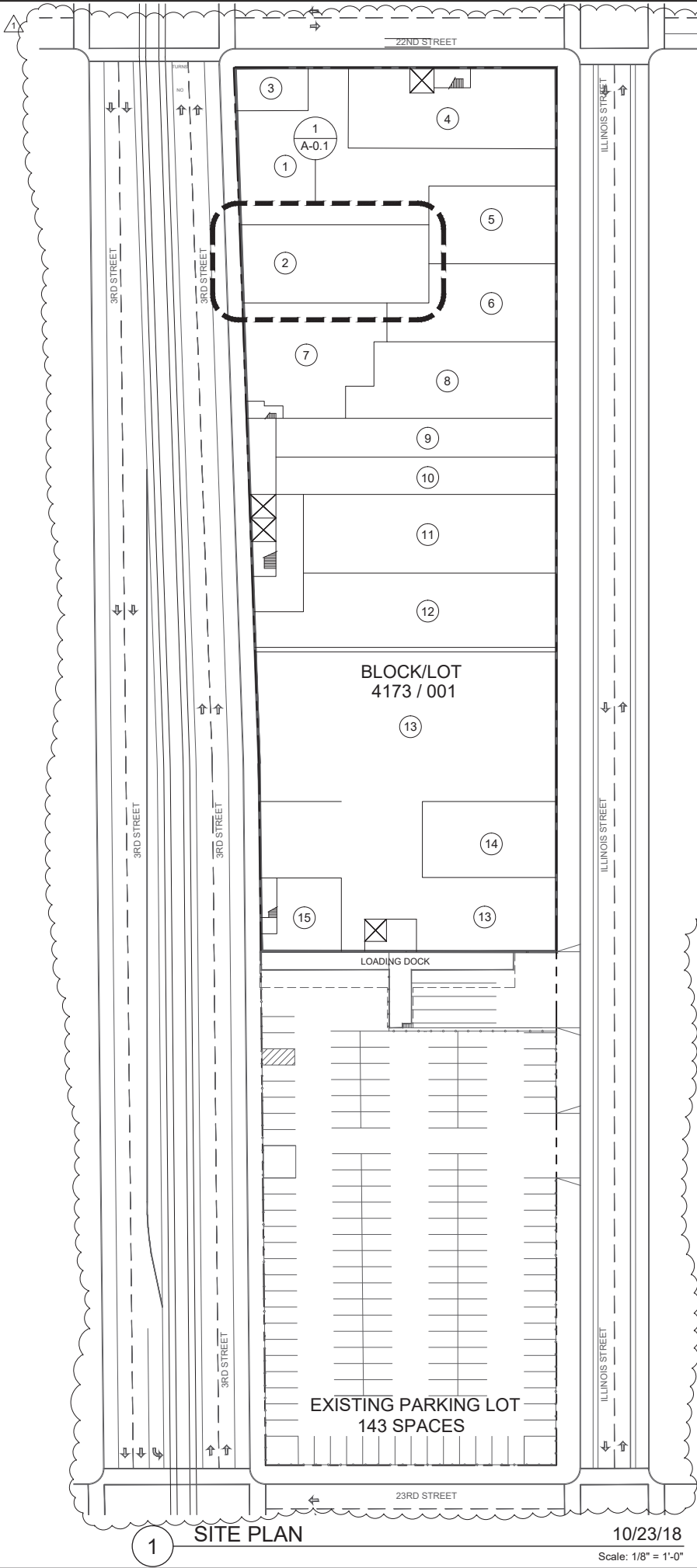
<input checked="" type="checkbox"/> <b>A:</b> All existing conditions serving the area of remodel fully comply with access requirements. No further upgrades are required. Fill out page 2 of D.A. checklist.
<input type="checkbox"/> <b>B:</b> Project Adjusted cost of construction si greater than the current valuation threshold: Fill out and attach page 2 of D.A. Checklist and any other required forms to plans
<input type="checkbox"/> <b>C:</b> Project Adjusted cost of construction is less than or equal to the current valuation threshold: Fill out page 2 of D.A. Checklist and attach Form C to plans
<input type="checkbox"/> <b>D:</b> Proposed project consists entirely of barrier removal: Fill out and attach Barrier removal form to Plans
<input type="checkbox"/> <b>E:</b> Proposed project is minor revision to previously approved permit drawings only. (Note : This shall NOT be used for new or additional work). Provide previously approved permit application here: . Description of revision:

D.A. CHECKLIST (p. 2 of 2)

Check all applicable boxes and specify where on the drawings the details are shown:

	Existing Fully Complying	Will be Up-graded to Full Compliance	Equivalent Facilitation will provide full access	Compliance is technically infeasible	Approved in compliance with immediately preseding code	Not required by Code (and/or none existing)	Non-complaint request URRH Must be ratified by AAC	Location of detail(s)-include detail no. & drawing sheet (do not leave this part blank!). Also clarification comments can be written here
Note: Upgrades below are listed in priority based on exception 8								
A. One accessible entrance entrance including: approach walk, vertical access, platform (landings), door / gate and hard hardware for door/gate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SHEET A-7.0 DETAIL 12
B. An accessible route to the area of remodel including: Parking/ access aisles and curb ramps	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Curb ramps and walks	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Corridors, hallways, floors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Ramps, Elevators, Lifts	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
C. At least one accessible restroom for each sex or a single unisex restroom serving the area of remodel	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SHEET A-6.0 DETAIL 1
D. Accessible public pay phone	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
E. Accessible drinking fountains	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
F. Additional accessible elements such as parking, stairways, storage, alarms and signage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SHEET A-1.0 SHEET A-5.1 SHEET A-6.1
See the requirements for additional forms listed below	1.	2.	3.	4.	5.	6.	7.	

1. No additional forms required.
2. No additional forms required.
3. Fill out Request for Approval of Equivalent facilitation form for each item checked and attach to plans.
4. Fill out Request for Approval of Technical infeasibility form for each item checked and attach to plans.
5. Provide details from a set of city approved reference drawings, provide its permit application number here and list reference drawing number on plans.
6. No additional forms required.
7. Fill out Request for an unreasonable Hardship form for each item checked and attach to plan. All UHR must be ratified by the Access Appeals Commission (see UHR form for details)



SITE PLAN LEGEND:

	ADDRESS	AREA (APPROX.)	(E) USE	(N) USE	NOTES
1	2505 3rd St	9,670 SQ.FT.	Assembly Industrial Storage		PA# 2017013976
2	2525 3rd St	5,599 SQ.FT.	Industrial Storage	Assembly (Event Space) Storage	
3	699 22nd St	1,196 SQ.FT.	Industrial		PA# 200912243817
4	601 22nd St	6,443 SQ.FT.	Industrial Storage		
5	1140 Illinois St	3,801 SQ.FT.	Industrial Storage		
6	1150 Illinois St	4,437 SQ.FT.	Industrial Storage		PA# 2017012779
7	2535 3rd St	5,341 SQ.FT.	Industrial Storage		PA# 201803234453
8	1160 Illinois St	5,700 SQ.FT.	Industrial Storage		
9	1170 Illinois St	4,185 SQ.FT.	Industrial Storage		
10	1176 Illinois St	4,004 SQ.FT.	Industrial Storage		
11	1178 Illinois St	7,633 SQ.FT.	Industrial Storage		
12	1180 Illinois St	7,877 SQ.FT.	Assembly (Museum)		PA# 201205220941
13	2575/2573 3rd St	26,492 SQ.FT.	Assembly (Gym)		PA# 20141146
14	1192 Illinois St	3,903 SQ.FT.	Industrial Storage		
15	2585 3rd St	2,266 SQ.FT.	Industrial Storage		



ARCHITECTURAL PROJECT NO.: 10250

EVENT SPACE C.U.P & TI  
MAGNOLIA BREWERY  
2505 3RD STREET  
SAN FRANCISCO, CALIFORNIA

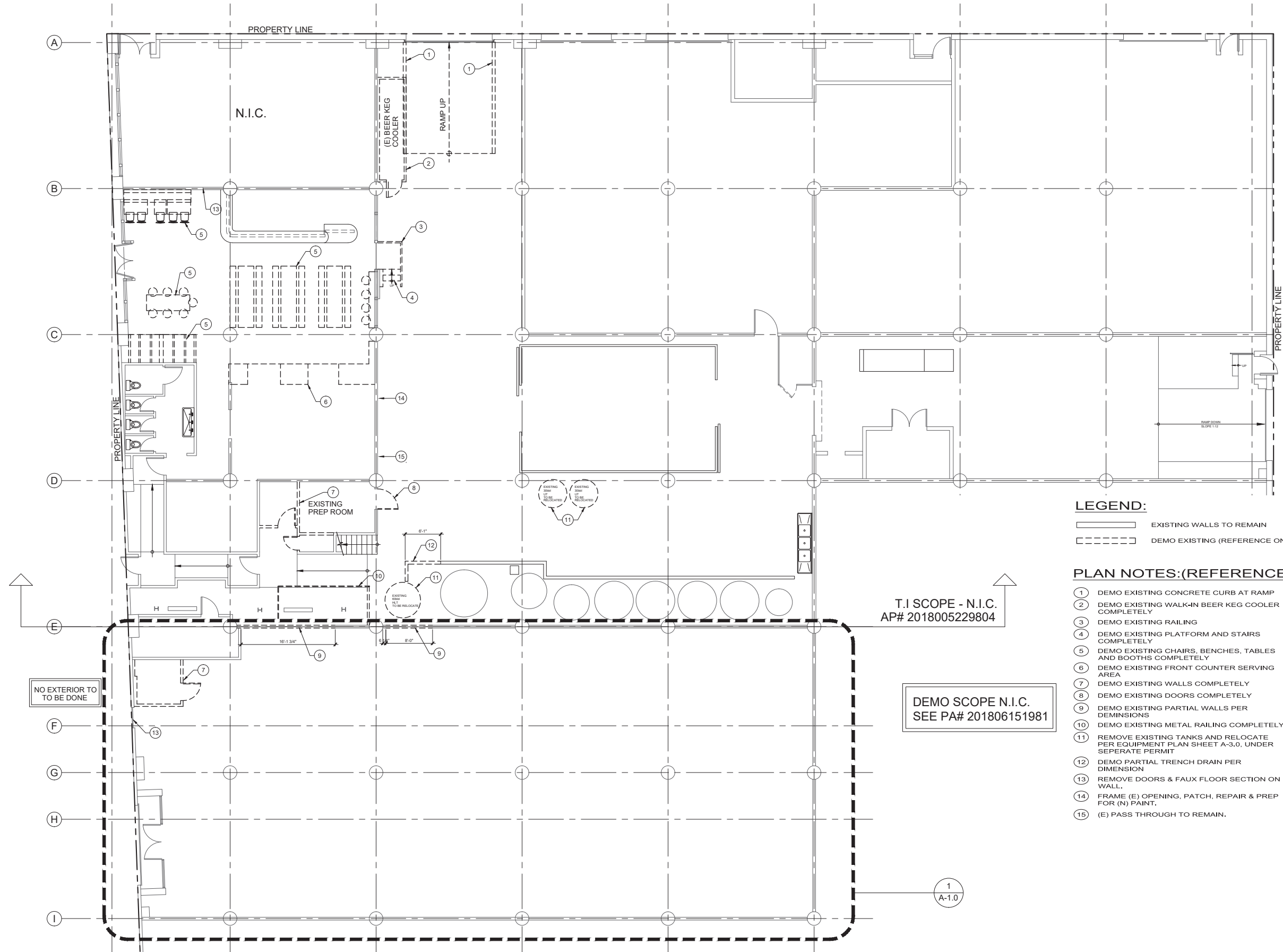
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NO.	REVISIONS:
1	EVENT SPACE PERMIT SET
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ISSUE DATE: 00/00/2017  
SPACE PLAN DATE: 10/23/2018

DRAWING TITLE:  
SITE PLAN  
D.A. CHECKLIST

DRAWING NUMBER:

A-0.0



- LEGEND:**
- EXISTING WALLS TO REMAIN
  - DEMO EXISTING (REFERENCE ONLY)

**PLAN NOTES:(REFERENCE ONLY)**

- 1 DEMO EXISTING CONCRETE CURB AT RAMP
- 2 DEMO EXISTING WALK-IN BEER KEG COOLER COMPLETELY
- 3 DEMO EXISTING RAILING
- 4 DEMO EXISTING PLATFORM AND STAIRS COMPLETELY
- 5 DEMO EXISTING CHAIRS, BENCHES, TABLES AND BOOTHS COMPLETELY
- 6 DEMO EXISTING FRONT COUNTER SERVING AREA
- 7 DEMO EXISTING WALLS COMPLETELY
- 8 DEMO EXISTING DOORS COMPLETELY
- 9 DEMO EXISTING PARTIAL WALLS PER DEMINIONS
- 10 DEMO EXISTING METAL RAILING COMPLETELY
- 11 REMOVE EXISTING TANKS AND RELOCATE PER EQUIPMENT PLAN SHEET A-3.0, UNDER SEPERATE PERMIT
- 12 DEMO PARTIAL TRENCH DRAIN PER DIMENSION
- 13 REMOVE DOORS & FAUX FLOOR SECTION ON WALL
- 14 FRAME (E) OPENING, PATCH, REPAIR & PREP FOR (N) PAINT.
- 15 (E) PASS THROUGH TO REMAIN.



ARCHITECTURAL PROJECT NO.: 2505-3

EVENT SPACE C.U.P. & TI  
MAGNOLIA BREWERY  
2505 3RD STREET SACRAMENTO ST.  
SAN FRANCISCO, CALIFORNIA

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ISSUE DATE: 00/00/2017  
SPACE PLAN DATE: 06/11/2018

DRAWING TITLE:  
EXISTING FLOOR PLAN  
REFERENCE DEMO PLAN

DRAWING NUMBER:

A-0.1

1 EXISTING FLOOR PLAN / REF. DEMOLITION FLOOR PLAN  
Scale: 1/8" = 1'-0"

HEALTH DEPARTMENT REQUIREMENTS

1. ALL FOOD SERVICE AND RELATED EQUIPMENT SHALL BE NATIONAL SANITATION FOUNDATION (N.S.F.) APPROVED AND IN CONFORMITY WITH LOCAL HEALTH REGULATIONS. INSTALLATION OF EQUIPMENT SHALL MEET SAME REQUIREMENTS.
2. ALL ADJOINING EQUIPMENT AND COUNTERS SHALL BE SEALED TOGETHER TO PREVENT THE ENTRANCE OF MOISTURE. ALL EQUIPMENT, INCLUDING SHELVING, SHALL BE SMOOTHLY SEALED TO WALL TO PREVENT THE ENTRANCE OF SPLASH AND DEBRIS. ALL PORTABLE OR FREE STANDING UNITS SHALL BE REMOVABLE AND EASILY ACCESSIBLE FOR CLEANING.
3. ALL WORKING SURFACES SHALL BE SMOOTH AND IMPERVIOUS.
4. ALL REFRIGERATION AND HOT STORAGE EQUIPMENT SHALL HAVE THERMOMETERS WHICH ARE EASILY READABLE IN PROPER WORKING CONDITION.
5. STORAGE SHELVING MUST BE SPECIFIED AS HAVING A NON-ABSORBENT FINISH. THE LOWEST SHELF SHOULD BE 6" INCHES ABOVE THE FLOOR.
6. AT LEAST ONE DOUBLE SINK COMPARTMENT SHALL BE AVAILABLE FOR FOOD PENETRATION. FOOD PENETRATION SINKS SHALL HAVE AN INDIRECT SEWER CONNECTION, I.E. FIXED IN - LINE AIR GAP OR DRAIN TO A FLOOR SINK THROUGH APPROVED AIR GAP.
7. A SEPERATE WALL MOUNTED HANDWASH BASIN IS REQUIRED WITHIN OR ADJACENT TO THE FOOD PREPARATION AND PACKAGING AREA. PROVIDE PERMANENTLY MOUNTED SINGLE SERVICE SOAP AND PAPER TOWEL DISPENSERS.
8. ALL SINKS TO BE PROVIDED WITH ADEQUATE HOT AND COLD WATER FROM MIXING FAUCETS.
9. ALL EXPOSED CONDUIT, PLUMBING, ETC., MUST BE INSTALLED AT LEAST 6" INCHES OFF THE FLOOR AND 1/2 INCH AWAY FROM WALLS. ALL EXPOSED FLEX CONDUIT IS TO BE SEAL TIGHT OR EQUIVALENT. VERIFY ADDITIONAL REQUIREMENTS ACCORDING TO SFA TIG STANDARDS.
10. THE JUNCTURE AT THE FLOOR AND WALL MUST HAVE A COVED BASE WITH AT LEAST A 3/8" INCH RADIUS AND EXTENDING AT LEAST 6" INCHES UP THE WALL. IF TOP SET COVING IS USED, IT MUST BE ADEQUATELY SEALED AT THE FLOOR WITH SILICONE SEALANT OR EQUIVALENT TO FORM WATERPROOF SEAL.
11. TWENTY FOOT CANDLES OF LIGHT SHALL BE PROVIDED FOR ALL FOOD PENETRATION AREAS. MINIMUM OF FIVE FOOT CANDLES IN STORAGE AREAS ADEQUATE LIGHTING SHALL BE USED OVER ALL COUNTERS, SINKS AND AVAILABLE FOR CLEAN-UP OF GENERAL PREMISES.
12. LIGHT FIXTURES IN AREAS WHERE FOOD IS PREPARED OR WHERE OPEN FOOD IS STORED OR WHERE UTENSILS ARE CLEANED MUST HAVE SHATTERPROOF SHIELDS AND SHALL BE READILY CLEANABLE.
13. REFUSE CONTAINERS SHALL BE MOISTURE AND VERMIN PROOF WITH TIGHT FITTING LIDS.
14. ALL COUNTERS AND CABINETS WILL HAVE INTEGRALLY COVED BASES.
15. FLOORS AND FLOORS ARE SMOOTH, DURABLE, NON-ABSORBENT AND EASILY CLEANABLE IN AREAS WHERE:  
- FOOD PREPARED, PACKAGED OR STORED  
- WHERE UTENSILS ARE CLEANED AND STORED  
- WHERE GARBAGE IS STORED  
- IN EMPLOYEE CHANGE AND STORAGE AREAS
16. WALLS AND CEILING FINISHES LIGHT COLORED IN FOOD PREPARATION, UTENSIL CLEANING AREAS, AND INSIDE WALK-IN REFRIGERATION UNITS.
17. SHELVING CALCULATION AS FOLLOWS:  
ITEM #26 SHELVING 6'-0" L x 1'-6" D x 5 SHELVES = 45.0 (30 LINEAR FEET)  
ITEM #27 SHELVING 4'-0" L x 1'-6" D x 5 SHELVES = 33.75 (22.5 LINEAR FEET)  
ITEM #28 SHELVING 4'-0" L x 1'-6" D x 5 SHELVES = 33.75 (22.5 LINEAR FEET)  
ITEM #10 SHELVING 3'-0" L x 1'-6" D x 5 SHELVES = 22.5 (15 LINEAR FEET)  
ITEM #54 SHELVING 5'-0" L x 1'-6" D x 5 SHELVES = 37.5 (25 LINEAR FEET)  
TOTAL SHELVING = 172.5 SQ. FT.  
(115 LINEAR FEET)

GENERAL NOTES:

ALL PLUMBING, ELECTRICAL AND REFRIGERATION ROUGH-IN WORK: FINAL CONNECTIONS TO ALL FOOD SERVICE EQUIPMENT AND FIXTURES, SINKS, TRAPS, MISC. FITTINGS, SWITCHES, WIRES, CONDUIT, OR FLEX, MAGNETIC STARTERS, DISCONNECTS, ELECTRICAL PANELS, THERMAL OVERLOAD PROTECTION, CORD AND PLUGS, ETC., SHALL BE PROVIDED BY APPROPRIATE SUBCONTRACTORS.

FIXTURES, ANY ADDITIONAL REQUIREMENTS SHALL BE SPECIFIED BY THE ARCHITECT, SUPPLIER, OWNER, OR G.C. ALL EXISTING EQUIPMENT AND N.I.C. (NOT IN CONTRACT) ITEMS, SHALL BE VERIFIED BY THE GENERAL, ELECTRICAL, AND PLUMBING CONTRACTORS FOR MECHANICAL REQUIREMENTS.

MECHANICAL ROUGH-IN AND FINAL HOOK-UP BY THE PLUMBING AND ELECTRICAL SUB-CONTRACTORS SHALL CONFORM TO LOCAL CODES.

ALL ROUGH-IN ARE SUBJECT TO CHANGE PENDING THE FINAL SELECTION OF EQUIPMENT AND LOCATION OF SAME.

MECHANICAL SYMBOLS SHOWN PLUS 15" (UP 15") DENOTES HEIGHT FROM FINISHED FLOOR (A.F.F.) TO CENTER LINE OF OUTLET, PIPE, ETC. IN WALL. SYMBOLS SHOWN (STUB) DENOTES TO TERMINATE ROUGH-INS APPROX. 4" A.F.F.

ALL DIMENSIONS SHOWN ARE FROM FINISH FACE OF WALLS, FLOORS, CEILINGS, OR CENTER LINE OF COLUMNS, UNLESS OTHERWISE NOTED.

ALL FINISHED BUILDING DIMENSIONS SHALL BE VERIFIED BEFORE FABRICATION AND/OR INSTALLATION OF EQUIPMENT AND FIXTURES.

GENERAL CONTRACTOR SHALL PROVIDE ALL CEILING, WALL AND FLOOR PENETRATIONS AND ALL SLEEVES FOR PLUMBING, ELECTRICAL, REFRIGERATION, CO2 LINES AND VENTILATION DUCTS AS REQUIRED.

ELECTRICAL SUB-CONTRACTOR TO PROVIDE POWER OUTLET(S) ON ROOF FOR HOOD EXHAUST FAN(S) AND MAKE UP AIR BLOWERS. HOOD LIGHTS TO BE WIRED BY ELECTRICAL CONTRACTOR.

GENERAL CONTRACTOR SHALL PROVIDE NON-COMBUSTIBLE WALLS BEHIND, ABOVE, AND ADJACENT TO COOKING EQUIPMENT. SHALL BE IN ACCORDANCE WITH LOCAL FIRE & BUILDING CODES.

PLUMBER TO SIZE, FURNISH AND LOCATE GREASE TRAP IF REQUIRED BY LOCAL CODE.

LAST DATE REVISION VOIDS ALL PREVIOUS DRAWINGS.

NOTE:

1. THE LISTED DIMENSIONS FOR CUSTOM FABRICATED WALK-IN BOXES, S/S EQUIPMENT, CABINETS, ETC., ARE NOMINAL. EACH FABRICATOR IS TO FIELD VERIFY EQUIPMENT ITEM SIZE AND TO PROVIDE SHOP DRAWINGS(S) BASED ON FIELD DIMENSIONS FOR APPROVAL PRIOR TO FABRICATION OR DELIVERY.
2. EACH SUPPLIER AND/OR FABRICATOR SHALL VERIFY WITH GC THE DELIVERY AND ACCESS OF HIS SPECIFIC EQUIPMENT INTO THE SPACE. IF NECESSARY MAKE ARRANGEMENTS WITH GC, LANDLORD AND/OR OWNER FOR ACCESS E.G. REMOVAL OF DOOR(S), WINDOW(S) AND/OR WALL(S).
3. ALL FAUCETS LEAD-FREE.
4. ALL DIMENSIONS SHOWN ON PLANS ARE FROM FINISHED WALLS, FLOORS CEILINGS OR CENTERLINE OF COLUMNS UNLESS OTHERWISE NOTED. THESE DIMENSIONS SHALL BE VERIFIED BY ALL TRADES AD SUB CONTRACTORS.
5. THE OWNER, VENDOR AND/OR FOOD SERVICE EQUIPMENT SUPPLIER SHALL NOTIFY THE GENERAL CONTRACTOR AND HIS SUBS OF ANY EQUIPMENT CHANGES FROM ITEMS LISTED ON DRAWINGS AND SPECIFICATIONS, SPECIFICALLY CHANGES TO UTILITY CONNECTIONS, LOADS, ETC. E.G. VOLTAGES, ETC.
6. WHEELCHAIR SEATING SPACES SHALL PROVIDE A TABLE OR COUNTER HEIGHT OF 28" TO 24" ABOVE FINISH FLOOR WITH A 27" HIGH x 30" WIDE x 19" DEEP KNEE SPACE UNDERNEATH, PER CBC 11B-902 AND 11B-306.3.3, EXCEPTION #2.
7. AT LEAST 50% OF SELF-SERVICE SHELVES LOCATED WITHIN REACH RANGE OF CBC 11B-308 AND 11B-227.4
8. GENERAL CONTRACTOR TO PROVIDE FIRE EXTINGUISHER TYPE 2A-10-B.C. THE EXACT LOCATION OF THE FIRE EXTINGUISHER TO BE VERIFIED BY THE FIRE PROTECTOR PRIOR.
9. GENERAL CONTRACTOR TO PROVIDE A "K" TYPE FIRE EXTINGUISHER WITHIN 30 FEET OF THE COOKING INVOLVING VEGETABLE OR ANIMAL OIL AND FATS (SUCH AS DEEP FRYERS) AS MEASURED ALONG AN UNOBSTRUCTED PATH OF TRAVEL.

NOTE:

COOKING EQUIPMENT IS SPACED AT LEAST 6" APART AND FROM ADJACENT WALLS, OR PROPERLY FLASHED TOGETHER AND TO THE WALLS, OR IS EQUIPPED WITH CASTERS (IF CASTERS ARE ALLOWED BY THE FIRE PROTECTION DISTRICT OR FIRE DEPARTMENT) AND APPROVED HEAVY DUTY QUICK DISCONNECT FLEXIBLE GAS LINES WITH RESTRAINING CABLES OR CHAINS.

THE LINES FROM SYRUP TANKS TO DRINK DISPENSER HEADS MUST BE ENCLOSED IN A CHASE, USE A RIGID MATERIAL, I.E. PLASTER, FOAM, ETC., TO SEAL THE OPENINGS THROUGH WHICH THE BEVERAGE CONDUIT LINES PASS.

COUNTERS AND CABINETS MUST HAVE AN APPROVED SMOOTH, NON-ABSORBENT, EASILY CLEANABLE FINISH ON TOPS AND ON UNDERSIDES OF COUNTER TOPS AND OTHER EXTERIOR SURFACES, SHELVES, AND INTERIOR SURFACES (ACCEPTABLE PLASTIC LAMINATE, STAINLESS STEEL, ETC.), PAINT, VARNISH, OR POLYURETHANE FINISHED WOOD IS NOT ACCEPTABLE.

PARTITIONS UNDER COUNTERS TO HAVE INTEGRAL COVE BASE.

ALL FLOOR SURFACE IN SERVICE AREAS, FOOD PREP AREAS AND RESTROOM MUST BE COVED AT FLOOR AND WALL W/ 3/8" RADIUS. FLOOR MATERIAL MUST CONTINUE UP WALL 6".

EQUIPMENT HEALTH NOTES

Scale: NONE

CONSTRUCTION GENERAL NOTES

1. THE WORK SHOWN IN THESE DRAWINGS INCLUDES, BUT IS NOT LIMITED TO, THE CONSTRUCTION AND INSTALLATION OF WALLS, WALL/FLOOR FINISH, LIGHT FIXTURES, PLUMBING FIXTURES, DOOR FRAME, MECHANICAL, ELECTRICAL AND PLUMBING, TO COMPLETE THE WORK.
2. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT OF ANY CONCEALED OR UNKNOWN CONDITIONS.
3. PERFORM DIMENSION VERIFICATION AFTER DEMOLITION AND NOTIFY ARCHITECT FOR ANY DISCREPANCIES AS SOON AS POSSIBLE.
4. ALL ADA REQUIRED CLEARANCES ARE DIMENSIONS FROM THE FACE OF FINISH (WALL/FLR/STRUCTURE/EXISTING OR NEW CONSTRUCTION) TO THE FACE OF FINISH (WALL/FLR/STRUCTURE/EXISTING OR NEW CONSTRUCTION). THIS ARE NOTED WITH "CLR," OR "CLEAR" AND/OR DIMENSIONS NOTED IN INCHES. THESE DIMENSIONS TAKES PRECEDENCE OVER ALL OTHER DIMENSION NOTED ON THIS DRAWINGS, DO NOT SCALE. DO NOT BLOCK REQUIRED EXIT WAYS, ERECT BARRICADES AND TEMPORARY LIGHTING AS REQUIRED TO MAINTAIN PATH OF TRAVEL.
6. CONTRACTOR(S) SHALL CONFORM WITH ANY AND ALL STANDARDS, RULES AND REGULATIONS OF THE BUILDING'S LANDLORD FOR ALL WORK, UNLESS IN CONFLICT WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES.
7. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATION PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
8. WORK MUST COMPLY WITH ANY AND ALL GREEN CODE AS REQUIRED BY LOCAL, STATE AND FEDERAL CODE.
9. NO STRUCTURAL WORK IS TO BE PERFORMED UNDER THIS DRAWING SET, DO NOT REMOVE ANY STRUCTURAL WALLS (LOAD BEARING OR SHEAR WALLS) OR OTHER STRUCTURAL ELEMENTS.
10. NO WORK WILL BE PERFORMED IN ANY AREA AFFECTING THE BUILDING'S OR AREA'S ALARMS, TELEPHONE, DATA, OR SECURITY SYSTEMS, WITHOUT 24-HOUR NOTIFICATION AND APPROVAL OF THE BUILDING'S PROPERTY MANAGER.
11. ALL NEW WORK SHALL CONFORM TO EXISTING ENERGY MANAGEMENT SYSTEM SPECIFICATIONS AND GUIDELINES, REQUEST FROM THE BUILDING'S PROPERTY MANAGER.
12. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES, IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
13. ALL WORK IS AS "EY" - EXISTING, UNLESS OTHERWISE NOTED.
14. CONTRACTOR SHALL VISIT SITE TO BECOME FAMILIAR WITH ALL FIELD CONDITIONS. CONTRACTOR TO NOTIFY OWNER AND ARCHITECT IMMEDIATELY OF ANY PROBLEMS OR CONFLICTS OR UNUSUAL CONDITIONS DISCOVERED. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS, IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
15. CONTRACTOR TO PATCH, REPAIR, AND PAINT WALLS, TYPICAL FOR NEW AND EXISTING WALLS.
16. ALL DIMENSIONS TO EXISTING SURFACES ARE TO FACE OF EXISTING FINISH UNLESS OTHERWISE NOTED. ALL DIMENSIONS LOCATING NEW WALLS ARE TO FACE OF FINISHED WALL UNLESS OTHERWISE NOTED.
17. FIRE EXTINGUISHERS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 10 AND THE LOCAL JURISDICTION REQUIREMENTS. USE BUILDING STANDARD WALL MOUNTED CABINETS IN SPACES VIEWABLE BY THE PUBLIC AND STANDARD EXTINGUISHER WALL BRACKETS IN AREAS NOT VIEWABLE BY THE PUBLIC.
18. ALL EXTERIOR GLAZING IS EXISTING UNLESS OTHERWISE NOTED.
19. PREP AND REPAINT ALL (E) PAINTED SURFACES AND THOROUGHLY CLEAN ENTIRE PROJECT AREA AT PROJECT COMPLETION.
20. FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIES AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY & PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING. SUCH IDENTIFICATION SHALL (2013 CBC, 703.7):
1. BE LOCATED INACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACES;
2. INCLUDE LETTERING NOT LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/8 INCH STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORKING, "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS" OR OTHER WORKING, (EXCEPTION: WALLS IN GROUP R-2 OCCUPANCIES THAT DO NOT HAVE A REMOVABLE DECORATIVE CEILING ACCESS TO THE CONCEALED SPACE.)

NOTE:  
WALLS AND CEILINGS OF ALL ROOMS SHALL BE DURABLE, SMOOTH, NONABSORBENT, WASHABLE AND LIGHT COLORED (LIGHT REFLECTANCE VALUE OF 70 PERCENT OR GREATER).

NOTE:  
EXIT SHALL MAINTAIN 1/2" MAX. THRESHOLD ABOVE ADJACENT FLOOR SURFACE & 10" KICK PLATE, HARDWARE TO BE SINGLE ACTION PLACED @ 3'-0" - 3'-4" A.F.F.

CONSTRUCTION NOTES

Scale: NONE

REFLECTED CEILING NOTES

1. ALL WORK IS NEW, UNLESS NOTED AS (E)=EXISTING OR (R)=RELOCATED EXISTING.
2. MECHANICAL, ELECTRICAL, AND PLUMBING MODIFICATIONS OR CHANGES BY MEP DRAWINGS.
3. FIRE LIFE SAFETY AND FIRE SPRINKLER MODIFICATIONS AND CHANGES BY DESIGN BUILD CONTRACTOR.
4. NEW ELECTRICAL WORK IS TO COMPLY WITH TITLE 24, ENERGY CODE.
5. ALL CONTROLS AND SWITCHES TO BE INSTALLED 48" MAXIMUM ABOVE FLOOR IN ALL ACCESSIBLE AREAS PER CBC 11B - 308.1.

- ELECTRICAL NOTES:
1. ALL FIXTURES TO BE ON DIMMERS
2. ALL FIXTURES / SWITCHES LISTED TO BE PROVIDED BY CONTRACTOR UNLESS NOTED 'FOIC' (FURNISHED BY OWNER INSTALLED BY CONTRACTOR)
3. ELECTRICIAN TO VERIFY MINIMUM SPACING OF CONVENIENCE OUTLETS
4. ELECTRICIAN TO VERIFY VOLTAGE / COMPATIBILITY OF ALL SWITCHES AND FIXTURES
5. ELECTRICIAN TO VERIFY ADEQUATE MOUNTING SPACE PER PRODUCT INFORMATION
6. CENTER ALL THERMOSTATS 12" ABOVE LIGHT SWITCH WHERE APPLICABLE
7. KITCHEN LIGHTING: AT LEAST 50% HIGH EFFICACY BY WATTAGE
8. PROVIDE SMOKE ALARMS PER 907.1.10.12
9. PROVIDE MOTION SENSORS IN ALL BATHROOMS WHERE APPLICABLE
10. SWITCHES TO BE LUTRON NOVA DIVA
11. ALL OUTLETS TO BE INSTALLED HORIZONTAL

NOTE:  
WALLS AND CEILINGS OF ALL ROOMS SHALL BE DURABLE, SMOOTH, NONABSORBENT, WASHABLE AND LIGHT COLORED (LIGHT REFLECTANCE VALUE OF 70 PERCENT OR GREATER), EXCEPT IN AREAS WHERE FOOD IS STORED ONLY IN UNOPENED ORIGINAL SHIPPING CONTAINERS.

NOTE:  
TENANT G.C. MUST FIELD VERIFY ALL CEILING CONDITIONS PRIOR TO CONSTRUCTION IN CASE OF DISCREPANCY INFORM ARCHITECT IMMEDIATELY.

REFLECTED CEILING NOTES

Scale: NONE

DEMO GENERAL NOTES:

1. CHECK FOR DISCREPANCIES BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY ARCHITECT OF ALL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
2. DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK. PROTECT SUPPORTING STRUCTURAL MEMBERS. PHASE DEMOLITION IN ACCORDANCE WITH CONSTRUCTION SCHEDULE.
3. PERFORM DEMOLITION IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION.
4. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATION PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
5. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE(S), DESIGN FOR, PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE, OR INJURY.
6. CEASE OPERATIONS AND NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE, DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
7. DO NOT ALLOW DEMOLISHED MATERIALS TO COLLECT AND CREATE A HAZARD. REMOVE FROM SITE ALL SUCH MATERIALS ON A REGULAR BASIS; DAILY IF REQUIRED.
8. DO NOT BLOCK REQUIRED EXITWAYS, ERECT BARRICADES AND TEMPORARY LIGHTING AS REQUIRED TO MAINTAIN EGRESS PATH OF TRAVEL., AND TO CONTROL NOISE, DUST AND CONSTRUCTION WORK.
9. NOTIFY ARCHITECT OF ANY HIDDEN CONDITONS THAT WILL BE DETERMENTAL TO THE PROJECT, BEFORE REMOVING.
10. COORDINATE WITH NEW CONSTRUCTION PLANS THE RELOCATION OF THE (E) ELECTRICAL AND DATA LINES TO REMAIN AT SAME RELATIVE LOCATION.
11. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES, IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
12. TYPICAL: REMOVE WIRING BACK TO POINT OF ORIGIN, TERMINATE PER LOCAL CODES.
13. REMOVE FROM WALLS, FLOORS, AND CEILING (SEE CEILING DEMOLITION PLAN) ANY MATERIALS OR FINISHES IN CONFLICT WITH SCHEDULED NEW FINISHES, PREPARE SURFACE TO RECEIVE NEW FINISHES.
14. FLOOR FINISHES SHOWN TO REMOVE ARE APPROXIMATE. THE GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING FLOOR FINISHES IN CONFLICT WITH THE NEW FLOOR COVERING AND NEW PARTITIONS. COORDINATE FLOOR PARTITION DEMOLITION PLAN WITH FLOOR COVERING PLAN AND FLOOR FIXTURE PLAN.
15. AFTER REMOVAL OF (E) PARTITIONS, CONTRACTOR SHALL V.I.F. LOCATIONS OF ALL VOIDS AND HOLES AND PATCH AND REPAIR AS REQUIRED.
16. PREPARE ALL EXISTING WALLS TO REMAIN AFFECTED BY DEMOLITION, TO RECEIVE NEW FINISHES. REFER TO ELEVATIONS FOR NEW FINISH. IF NOT SPECIFIED, MATCH TO ADJACENT FINISHES.
17. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT SHOWN IF REQUIRED TO PERFORM NEW WORK. RETURN REMAINING STRUCTURES AND SURFACES TO THE CONDITION EXISTING PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK.

2

DEMOLITION NOTES

Scale: NONE



ARCHITECTURAL PROJECT NO.: 100A-0.2

EVENT SPACE C.U.P & TI  
MAGNOLIA BREWERY  
2505 3RD STREET SACRAMENTO ST.  
SAN FRANCISCO, CALIFORNIA

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NO.	REVISIONS	DATE
1	EVENT SPACE PERMIT SET	08/30/18
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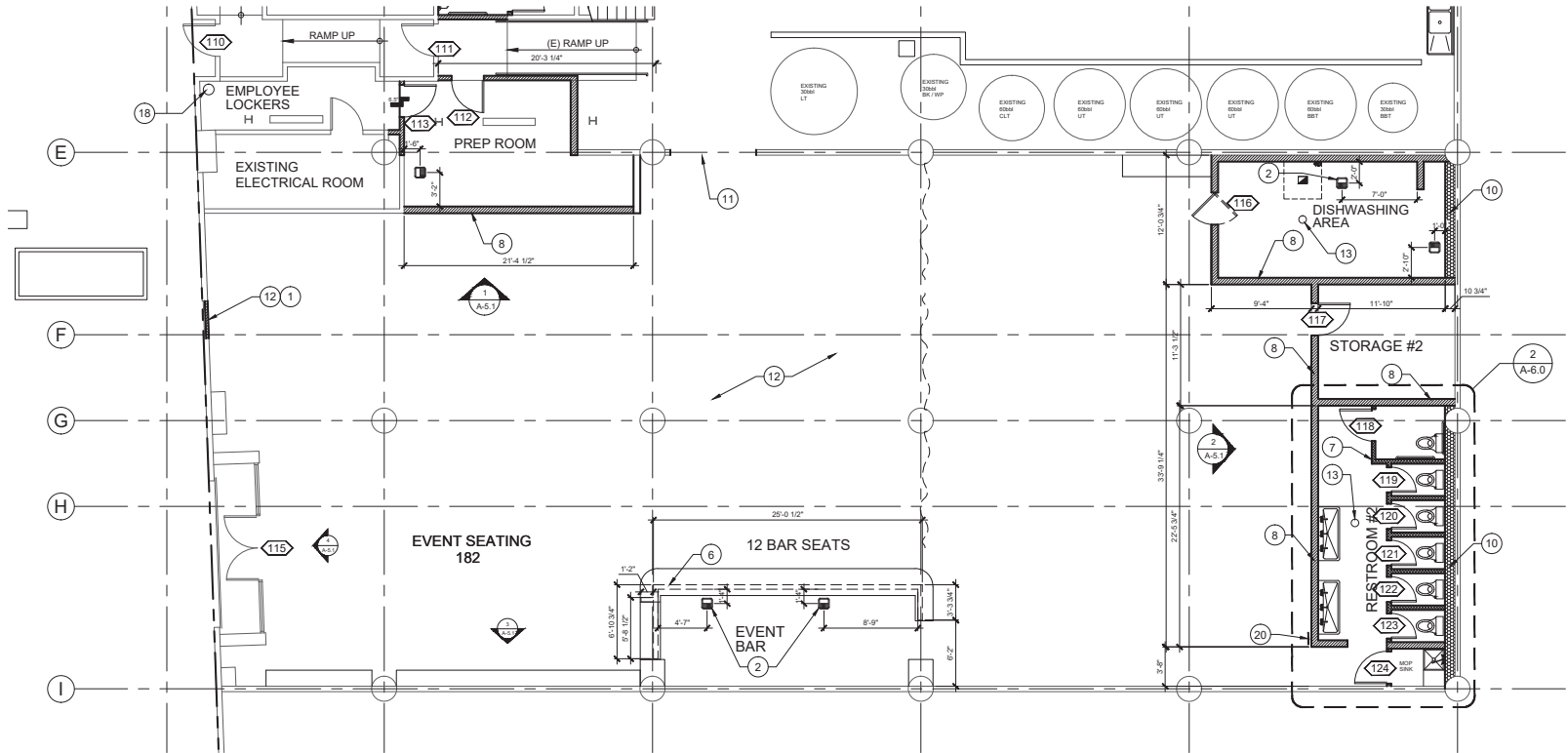
ISSUE DATE: 00/00/2017  
SPACE PLAN DATE: 06/11/2018

DRAWING TITLE:  
DEMOLITION,  
CONSTRUCTION AND  
RCP NOTES

DRAWING NUMBER:

A-0.2





1 CONSTRUCTION FLOOR PLAN

Scale: 1/8" = 1'-0"

WALL LEGEND:

- EXISTING WALLS
- NEW FULL HEIGHT PARTITION 6" METAL STUDS @ 16" O.C. W/ 5/8" GWB BOTH SIDES, SEE DETAIL ? SHEET A-7.0
- NEW FULL HEIGHT PARTITION 3 5/8" METAL STUDS @ 16" O.C. W/ 5/8" GWB BOTH SIDES, SEE DETAIL ? SHEET A-7.0
- NEW FURRED WALL PARTITION FROM FLOOR TO CEILING ABOVE 3 5/8" METAL STUDS @ 16" O.C., TYPICAL W/ 5/8" GWB ONE SIDES, U.O.N., SEE DETAIL ? SHEET A-7.0
- NEW LOW WALL PARTITION FROM FLOOR TO UNDERSIDE OF COUNTERTOP 3 5/8" METAL STUDS @ 16" O.C., TYPICAL W/ 5/8" GWB BOTH SIDES, U.O.N., SEE DETAIL ? SHEET A-7.0 SEE PLAN NOTE FOR HEIGHT

CONSTRUCTION PLAN NOTES:

- LOCK (E) DOOR, FUR OVER WITH 2 1/2" MTL STD OVER 5/8" GWB.
- NEW FLOOR SINK, SEE 4/A-7.0
- NOT USED
- NOT USED
- NOT USED
- NEW PARTIAL HEIGHT WALL 3 5/8" 20 GA METAL STUDS @ 16" O.C. W/ 5/8" GWB BOTH SIDES +42" SEE 2/A-7.0
- NEW FULL HEIGHT WALL 3 5/8" 20 GA METAL STUDS @ 16" O.C. W/ 5/8" GWB BOTH SIDES, SEE DETAIL 1 SHEET A-7.0
- NEW FULL HEIGHT WALL 6" 16 GA. METAL STUDS @ 16" O.C. WITH 5/8" GWB BOTH SIDES, SEE DETAIL 1 SHEET A-7.0
- NOT USED
- NEW FURRED WALL TO CEILING 3 5/8" 20 GA METAL STUDS @ 16" O.C. W/ 5/8" GWB ONE SIDE ONLY, SEE DETAIL 3 SHEET A-7.0
- NEW CASED OPENING 8'-0" WIDE x 12'-0" HIGH
- PATCH & REPAIR ALL WALLS TO LEVEL 4 SMOOTH, PREP FOR NEW PAINT.
- (N) FLOOR DRAIN, SEE 1/A-7.2
- NOT USED
- NOT USED
- NOT USED
- (E) FIRE RAISER.
- NOT USED
- UNISEX SIGNAGE, SEE 6/A-6.1

NOTE:  
SEE SHEET A-1.1 FOR DOOR SCHEDULE

NOTE:  
SEE SHEET A-0.2 FOR CONSTRUCTION NOTES



ARCHITECTURAL PROJECT NO.: ---

EVENT SPACE C.U.P. & TI  
MAGNOLIA BREWERY  
2505 3RD STREET SACRAMENTO ST.  
SAN FRANCISCO, CALIFORNIA

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NO.	REVISIONS:	DATE:
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ISSUE DATE: 00/00/2017  
SPACE PLAN DATE: 06/11/2018

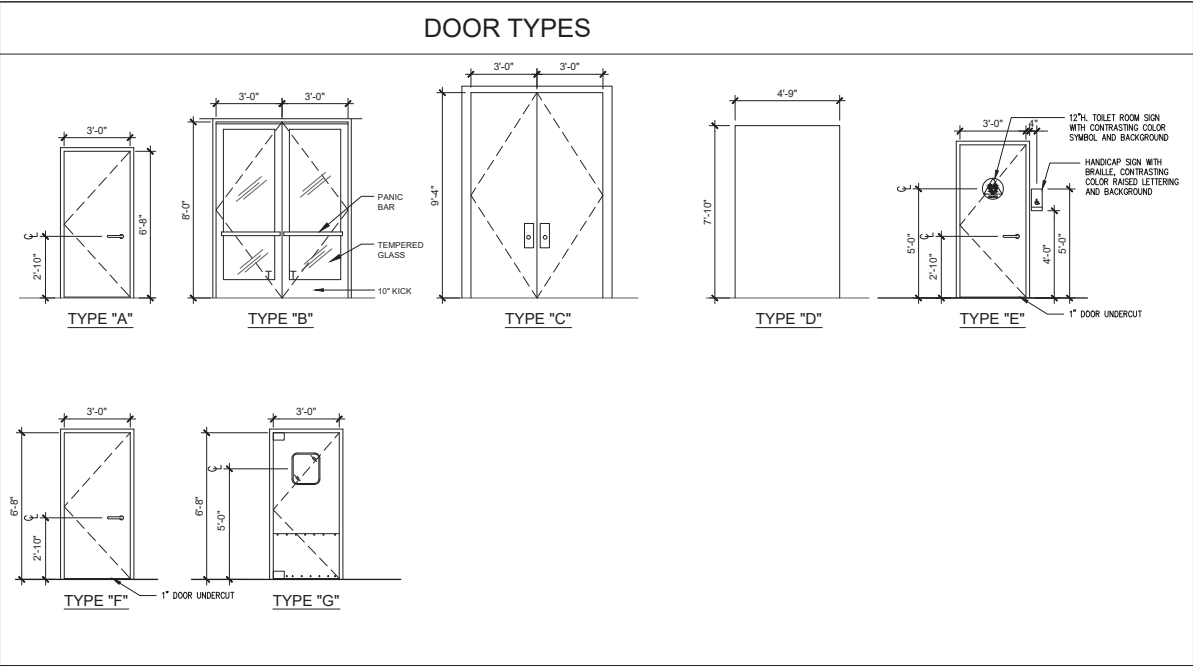
DRAWING TITLE:  
CONSTRUCTION FLOOR PLAN

DRAWING NUMBER:

A-1.0

HARDWARE SCHEDULE			
ITEM	MANUF.	MODEL #	DESCRIPTION
1			
(1) TYPE "C" DOORS			
1 1/2 PAIR BUTTS HINGES	MCKINNEY	STA2731 4-1/2 X 4	
1 PRIVACY SET	SCHLAGE	ND40S F76 RHO	
1 CLOSER	LCN	4010 SERIES	
1 KICKPLATE	TRIMCO	K0050 10 X 2 LDW	
3 SILENCERS	GLYNN JOHNSON	GJ64	
1 WALL STOP	GLYNN JOHNSON	WB60MXT	
DOOR HARDWARE NOTES			
NOTES: 1. ALL INTERIOR DOORS TO BE HOLLOW METAL, EXCEPT OTHER WISE NOTED ON DOOR SCHEDULE. 2. ALL HARDWARE SHALL BE OIL BRUSHED BRONZE. 3. ON DOORS INSTALLED AT 1/2" OFFSET LANDINGS. 4. ALL DOORS ARE EQUIPPED W/ SINGLE-EFFORT, NON GRASP HARDWARE (I.E., LEVEL) CENTERED BETWEEN 30" TO 44" A.F.F. 5. ALL LATCH AND LOCK SETS TO HAVE BRUSHED STAINLESS STEEL LEVER TYPE HANDLES. 6. ALL DOORS, ENTRYWAYS, THRESHOLDS, LEVEL FLOOR AREAS, RAMPS, ETC. SHALL COMPLY WITH LATEST LOCAL BUILDING CODES, ORDINANCES, AND 2013 ADA. 7. ALL PIN-TYPE HINGES WHICH ARE ACCESSIBLE FROM OUTSIDE THE SECURED AREA WHEN THE DOOR IS CLOSED SHALL HAVE NON-REMOVABLE HINGE PINS. IN ADDITION, THEY SHALL HAVE A MINIMUM 1/4" DIAMETER STEEL JAMB STUD WITH 1/4" MINIMUM PROJECTS UNLESS THE HINGES ARE SHAPED TO PREVENT REMOVAL OF THE DOOR IF THE HINGE PINS ARE REMOVED. 8. DEADBOLTS SHALL CONTAIN HARDENED INSERTS. 9. STRAIGHT DEADBOLTS SHALL HAVE A MINIMUM THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8". 10. A HOOD SHAPED OR AN EXPANDING LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". 11. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. 12. ALL KICKS PLATES TO BE OIL BRUSHED BRONZE. 13. PROVIDE SELF-CLOSERS WHERE INDICATED OR REQUIRED BY CODE. 14. ALL LOCKS, NEW OR EXISTING, TO BE KEYED ALIKE. REPLACE LOCKS IF REQUIRED. 15. HARDWARE SHALL BE SINGLE ACTION. 16. ALL DOOR HARDWARE TO BE OPERABLE WITH A MAXIMUM EFFORT OF 5 LBS. FOR EXTERIOR DOORS AND INTERIOR DOORS. 17. ALL WOOD DOORS SHALL RECEIVE TRANSPARENT FINISH, UNLESS OTHERWISE INDICATED. 18. REFER TO DETAIL 3 SHEET A-7.0 FOR PAINTING OF HOLLOW METAL DOOR FRAMES 19. DOOR CLOSERS SHALL BE MOUNTED ON PULL SIDE OF INTERIOR DOORS, EXCEPT AS OTHERWISE INDICATED. DOOR FRAME TO BE PREPARED TO MATCH. 20. GENERAL CONTRACTOR TO ADJUST ALL DOOR CLOSERS TO MEET ADA PRESSURE REQUIREMENTS. 21. DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT A KEY, SPECIFIC KNOWLEDGE OR EFFORT. 22. POSTED ABOVE DOOR "THESE DOORS TO REMAIN UNLOCKED DURING BUSINESS HOURS" 23. THRESHOLD 1/2" MAX FROM FINISH FLOOR @ EXTERIOR & INTERIOR 24. IF A DOOR HAS A CLOSER THEN THE SWEEP PERIOD OF A CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90-DEGRESS THE DOOR WILL TAKE A LEAST 5 SECONDS TO MOVE TO A POINT 12-DEGRESS FROM THE LATCH, CBC SECTION 11B-404.2.9			
DOOR SCHEDULE ABBREVIATIONS			
ALUM	ALUMINUM	HM	HOLLOW METAL
(E)	EXISTING	PLY	LAMINATE CLAD PLYWOOD
GL	GLASS		IMPACT DOOR - SEE SPECS
WD	SOLID CORE WOOD		DOOR - SEE SPECS
WSR	WOOD STYLE AND RAIL		DOOR

DOOR SCHEDULE										
DOOR NO.	DOOR PROPERTIES					DOOR FRAME			HARDWARE TYPE	REMARKS
	TYPE	SIZES (WIDTH x HEIGHT)	THICKNESS	MATERIAL	FINISH	MATERIAL	FINISH	LABEL		
112	C	3'-0" x 6'-8"	1 3/4"	HOLLOW METAL	PAINT	METAL	PAINT	-	-	PREP ROOM
113	C	3'-0" x 6'-8"	1 3/4"	HOLLOW METAL	PAINT	METAL	PAINT	-	-	PREP ROOM
114	C	3'-0" x 6'-8"	1 3/4"	HOLLOW METAL	PAINT	METAL	PAINT	-	-	UTILITY ROOM
115	C	(E) 3'-0" x 8'-0" PAIR	1 3/4"	ALUM GLASS	PAINT	METAL	CLEAR ANODIZED	-	(E)	(E) STOREFRONT DOORS
116	E	3'-0" x 6'-8"	1 3/4"	HOLLOW METAL	PAINT	METAL	PAINT	-	-	ELIASON DOUBLE SWING DOOR
117	C	3'-0" x 6'-8"	1 3/4"	HOLLOW METAL	PAINT	METAL	PAINT	-	-	STORAGE ROOM
118	C	3'-0" x 6'-8"	1 3/4"	WOOD	-	METAL	PAINT	-	-	HDCP TOILET STALL
119	C	2'-4" x 6'-8"	1 3/4"	WOOD	-	METAL	PAINT	-	-	TOILET STALL
120	C	2'-4" x 6'-8"	1 3/4"	WOOD	-	METAL	PAINT	-	-	TOILET STALL
121	C	2'-4" x 6'-8"	1 3/4"	WOOD	-	METAL	PAINT	-	-	TOILET STALL
122	C	2'-4" x 6'-8"	1 3/4"	WOOD	-	METAL	PAINT	-	-	TOILET STALL
123	C	2'-4" x 6'-8"	1 3/4"	WOOD	-	METAL	PAINT	-	-	TOILET STALL
124	C	3'-0" x 6'-8"	1 3/4"	HOLLOW METAL	-	METAL	PAINT	-	-	MOP SINK ROOM



ARCHITECTURAL PROJECT NO.: 17-000

EVENT SPACE C.U.P & TI  
MAGNOLIA BREWERY  
2505 3RD STREET SACRAMENTO ST.  
SAN FRANCISCO, CALIFORNIA

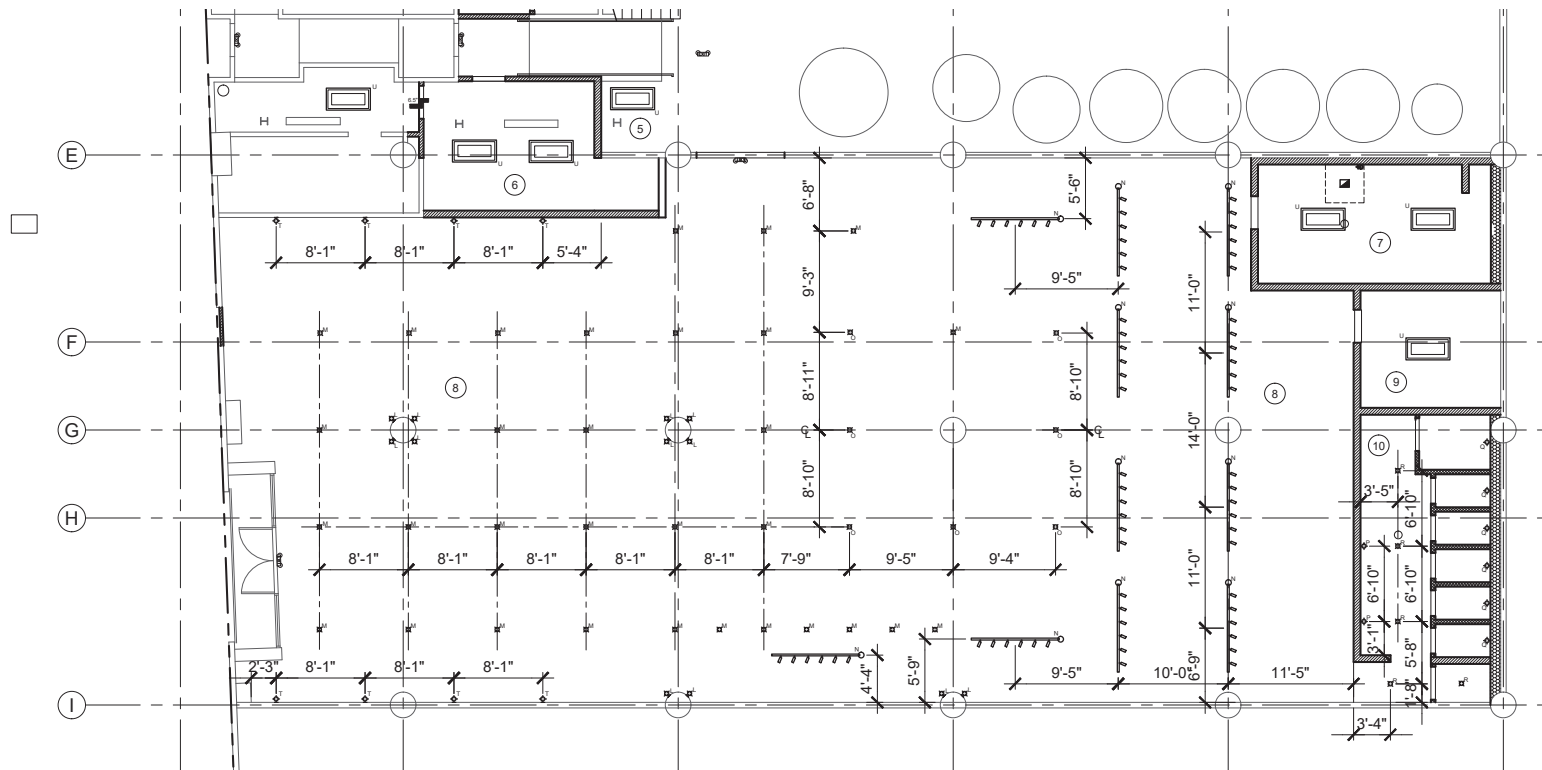
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ISSUE DATE:	00/00/2017
SPACE PLAN DATE:	06/11/2018

DRAWING TITLE:  
DOOR SCHEDULE  
AND NOTES

DRAWING NUMBER:

A-1.1



LIGHTING SPECIFICATIONS				
ID	TYPE	BULB	SIZE	CRI/CCT
A	DECORATIVE PENDANT	INCAND		
B	DECORATIVE PENDANT	INCAND		
C	DECORATIVE SCONCE	INCAND		
D	DECORATIVE SCONCE	INCAND		
E	DECORATIVE SCONCE	INCAND		
F	TRACK LIGHTING	LED	8' TRACK, 6 HEADS	90/2700K
G	DECORATIVE SCONCE	INCAND		
H	DECORATIVE PENDANT	INCAND		
I	DECORATIVE PENDANT	INCAND		
J	BAR MOUNTED LIGHT	INCAND		
K	DECORATIVE SCONCE	INCAND		
L	DECORATIVE SCONCE	INCAND		
M	DECORATIVE PENDANT	INCAND		
N	TRACK LIGHTING	LED	8' TRACK, 6 HEADS	2700K
O	DECORATIVE PENDANT	INCAND		
P	DECORATIVE SCONCE	INCAND		
Q	DECORATIVE SCONCE	INCAND		
R	DECORATIVE SURFACE MOUNT	INCAND		
S	DECORATIVE SCONCE	INCAND		
T	DECORATIVE SCONCE	INCAND		
U	2' x 4' LED PANEL	LED		2700K
V	4" CAN LIGHT	LED		2700K

RCP PLAN NOTES:

- 1 NOT USED
- 2 NOT USED
- 3 NOT USED
- 4 NOT USED
- 5 EXISTING CONCRETE CEILING +21'-7" A.F.F.
- 6 NEW A.C.T. CEILING +10'-0" A.F.F.
- 7 NEW A.C.T. CEILING +10'-0" A.F.F.
- 8 EXISTING CONCRETE CEILING +21'-9" A.F.F.
- 9 NEW A.C.T. CEILING +10'-0" A.F.F.
- 10 NEW A.C.T. CEILING +10'-0" A.F.F.

1 REFLECTED CEILING PLAN

Scale: 1/8" = 1'-0"

02/20/18

EVENT SPACE C.U.P. & TI  
MAGNOLIA BREWERY  
2505 3RD STREET SACRAMENTO ST.  
SAN FRANCISCO, CALIFORNIA



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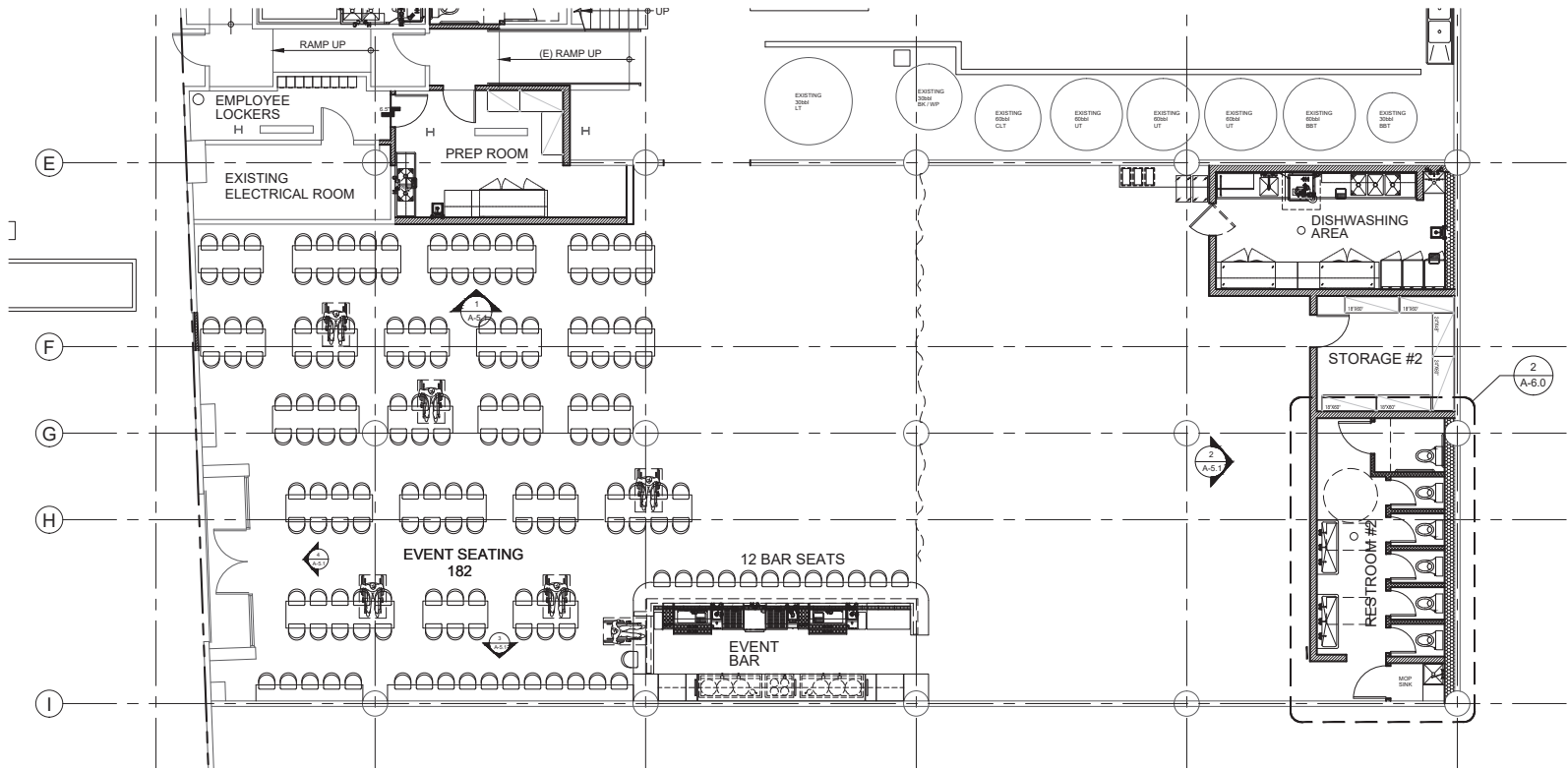
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ISSUE DATE: 00/00/2017  
SPACE PLAN DATE: 06/11/2018

DRAWING TITLE:  
REFLECTED CEILING PLAN

DRAWING NUMBER:

A-2.0



1 EQUIPMENT FLOOR PLAN

Scale: 1/8" = 1'-0"

SEE KITCHEN DRAWINGS  
SHEETS FS FOR EQUIPMENT  
NUMBERS AND SCHEDULE

02/20/18



ARCHITECTURAL PROJECT NO.: 18-0000

EVENT SPACE C.U.P. & TI  
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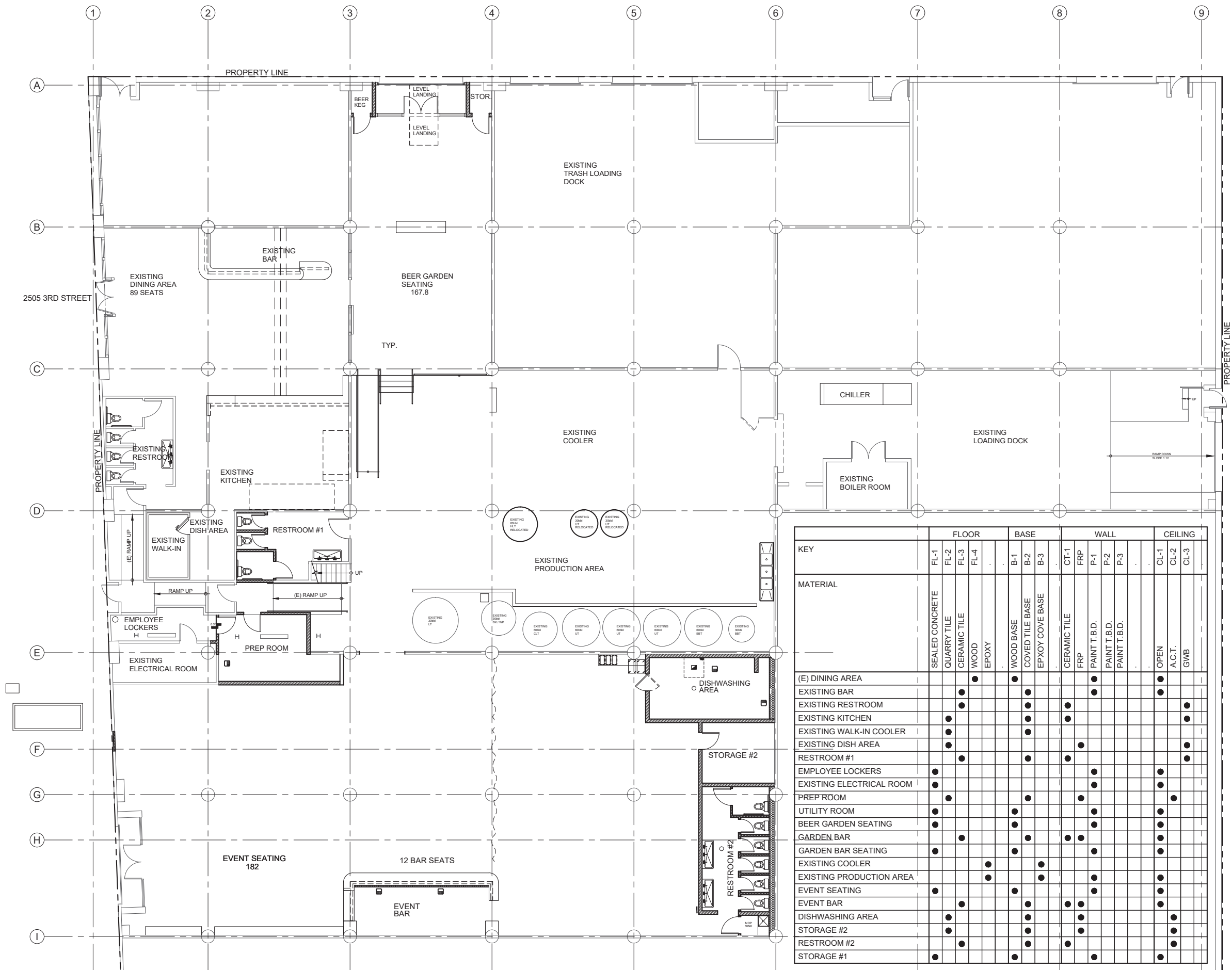
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ISSUE DATE: 00/00/2017  
SPACE PLAN DATE: 06/11/2018

DRAWING TITLE:  
PARTIAL OVERALL  
FLOOR PLAN

DRAWING NUMBER:

A-3.0



1 FINISH FLOOR PLAN

Scale: 1/8" = 1'-0"

02/20/18



ARCHITECTURAL PROJECT NO.: 18-001

EVENT SPACE C.U.P. & TI  
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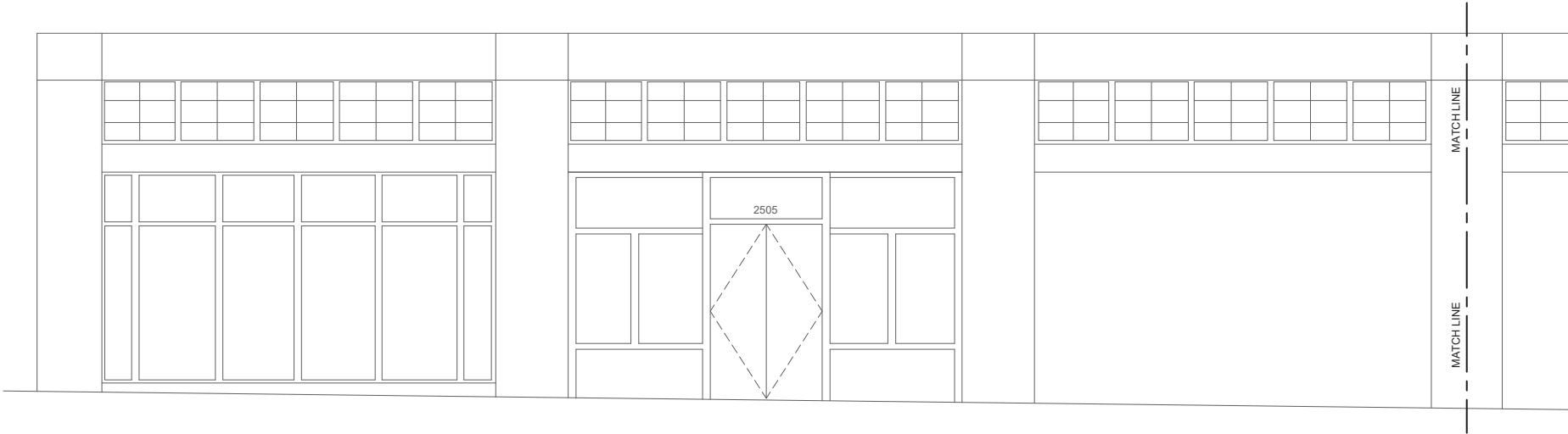
ISSUE DATE: 00/00/2017  
SPACE PLAN DATE: 06/11/2018

DRAWING TITLE:  
FINISH FLOOR  
PLAN

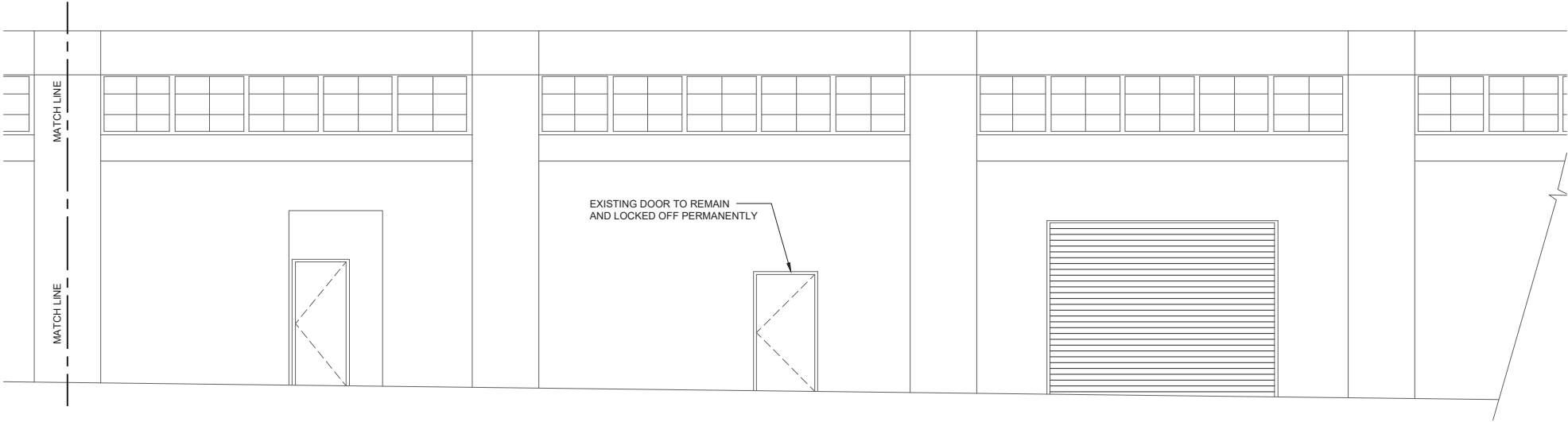
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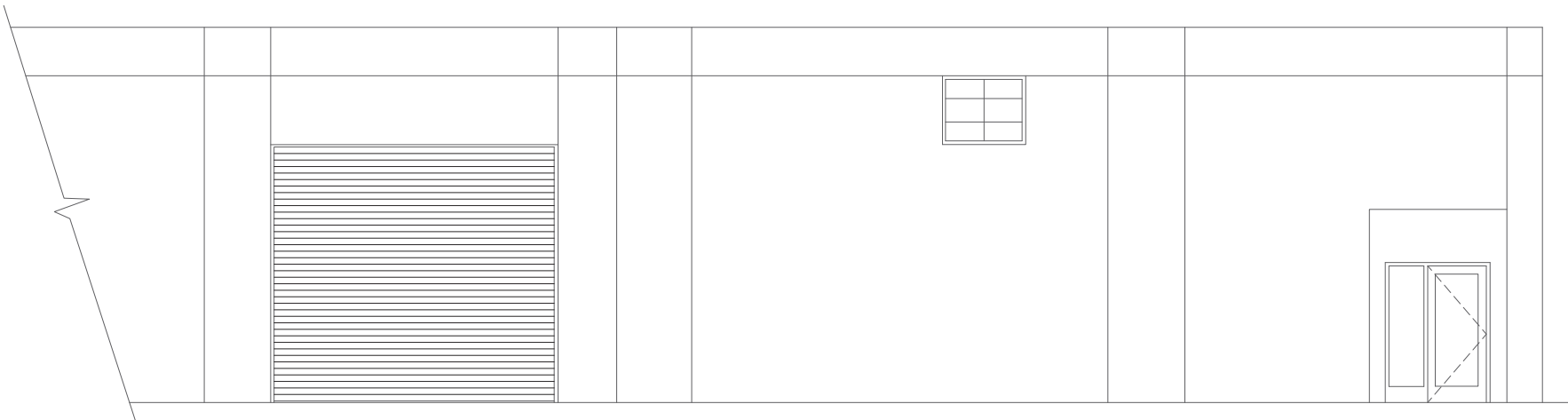




1 EXISTING EXTERIOR ELEVATION 3RD STREET  
Scale: 1/4"=1'-0"



2 EXISTING EXTERIOR ELEVATION 3RD STREET  
Scale: 1/4"=1'-0"



3 EXISTING EXTERIOR ELEVATION 22ND STREET  
Scale: 1/4"=1'-0"



ARCHITECTURAL PROJECT NO: ---

EVENT SPACE C.U.P. & TI  
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2505 3RD STREET SACRAMENTO ST.  
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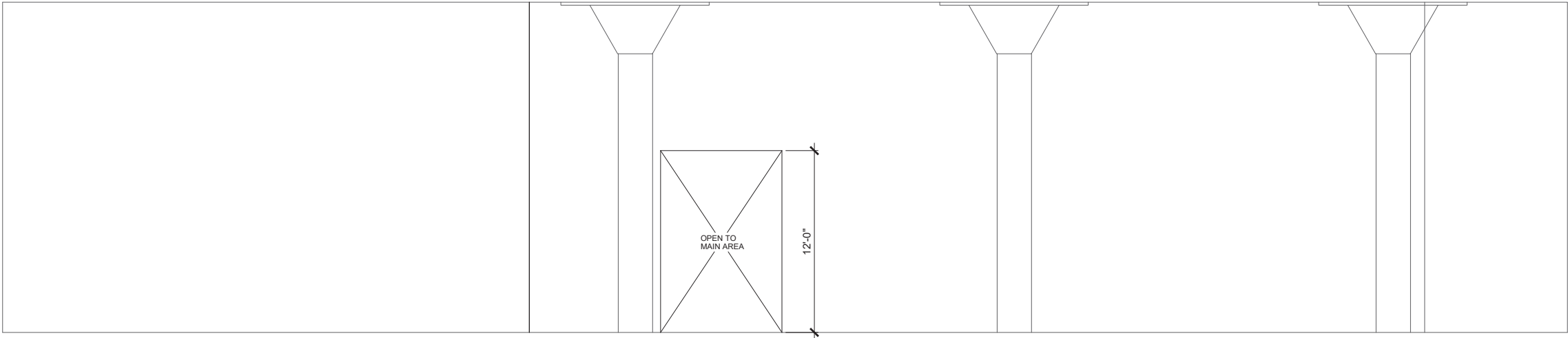
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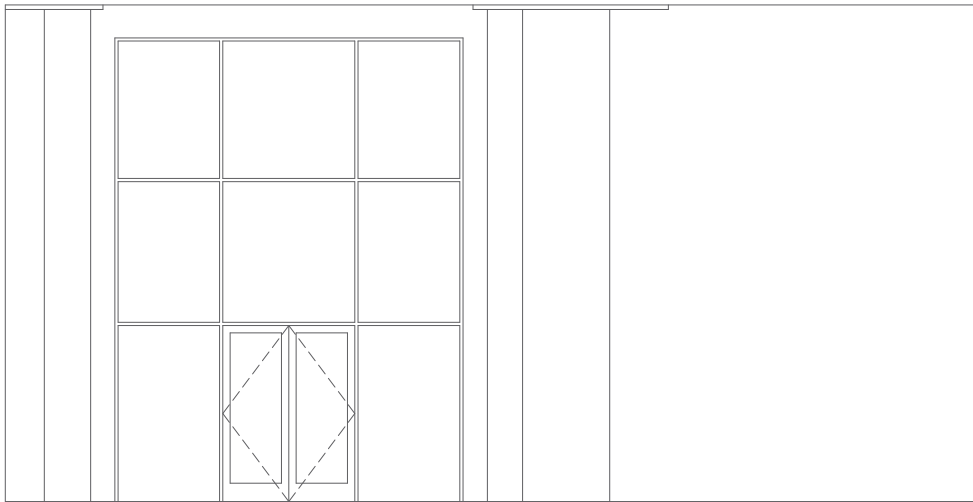
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EXISTING EXTERIOR ELEVATIONS

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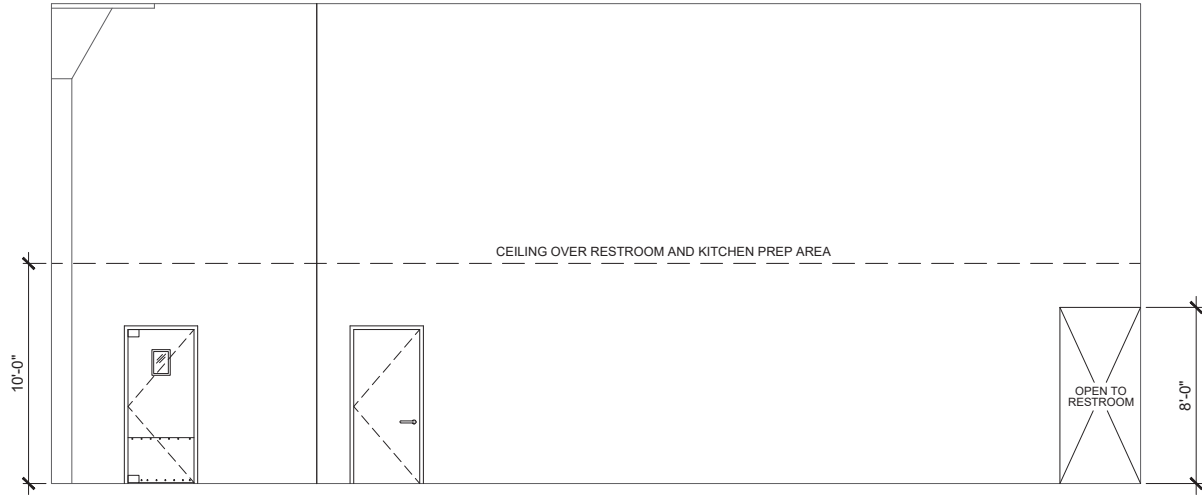
A-5.0



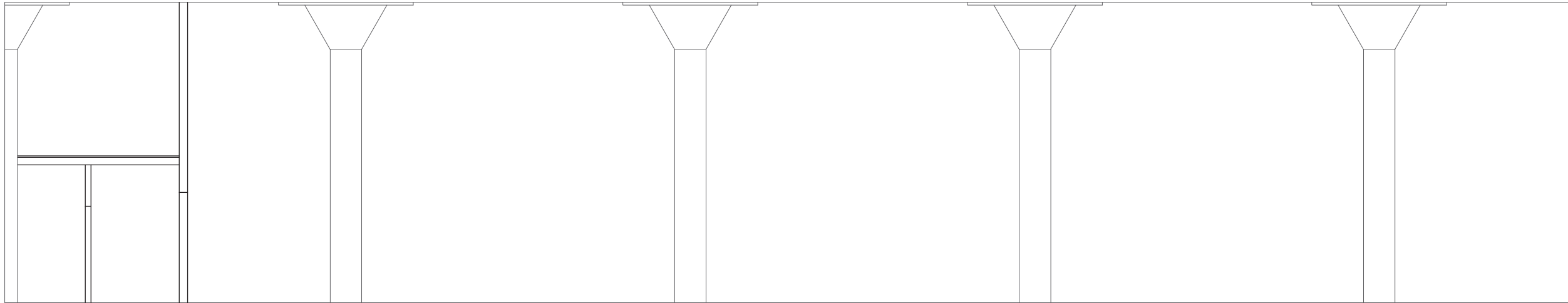
1 PROPOSED INTERIOR ELEVATION  
Scale: 1/4" = 1'-0"



4 PROPOSED INTERIOR ELEVATION  
Scale: 1/4" = 1'-0"



2 PROPOSED INTERIOR ELEVATION  
Scale: 1/4" = 1'-0"



3 PROPOSED INTERIOR ELEVATION  
Scale: 1/4" = 1'-0"



ARCHITECTURAL PROJECT NO: 2505

EVENT SPACE C.U.P. & TI  
MAGNOLIA BREWERY  
2505 3RD STREET SACRAMENTO ST.  
SAN FRANCISCO, CALIFORNIA

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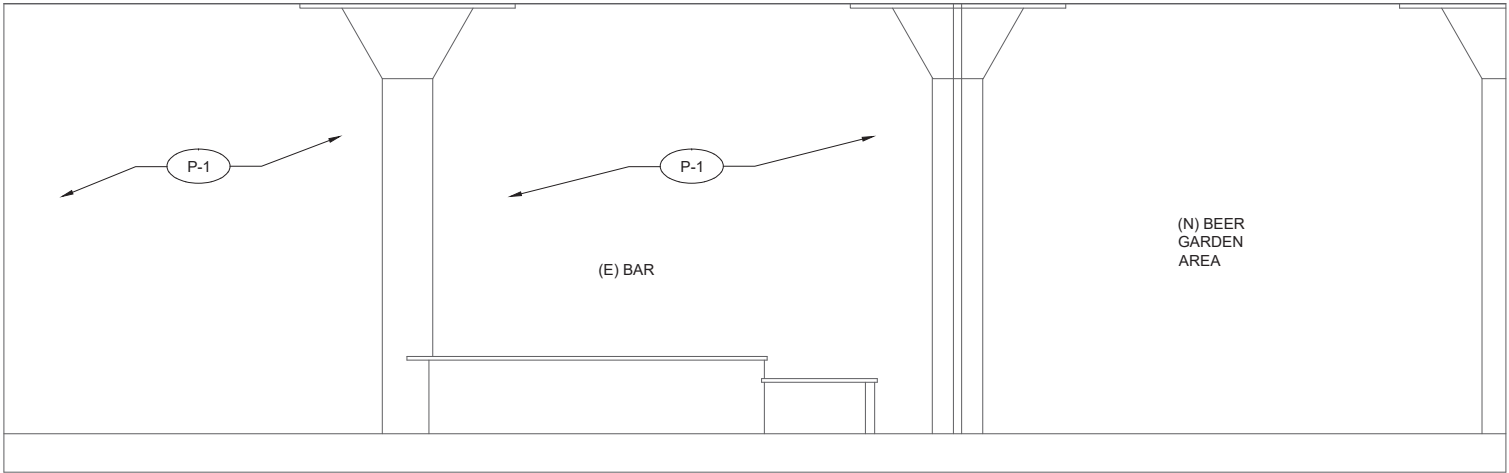
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SPACE PLAN DATE: 06/11/2018

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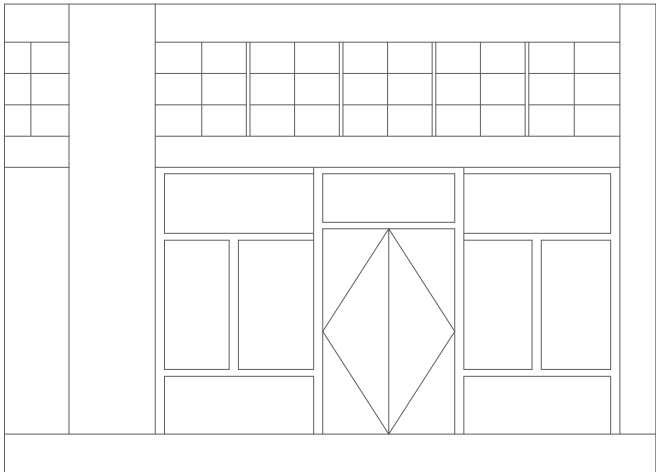
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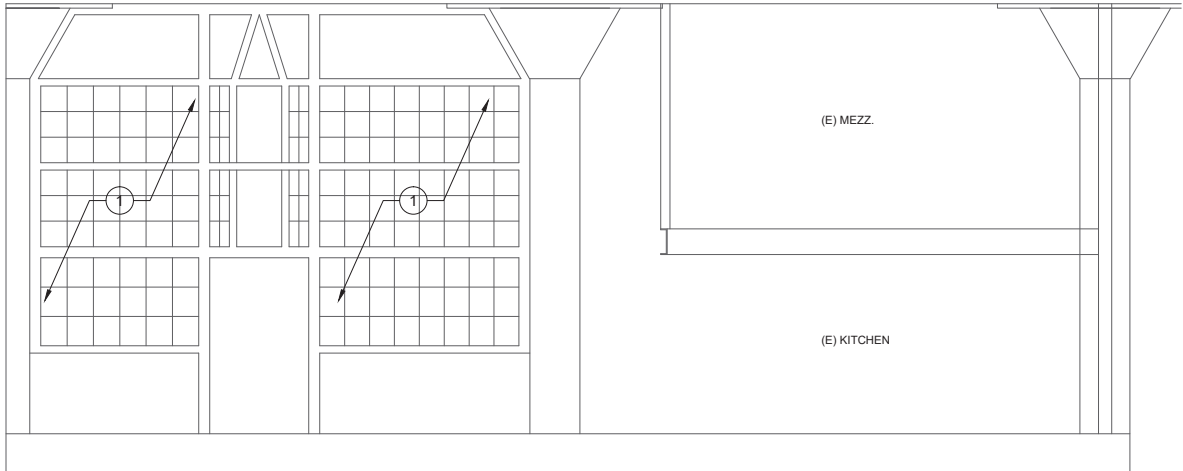
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Scale: 1/4" = 1'-0"



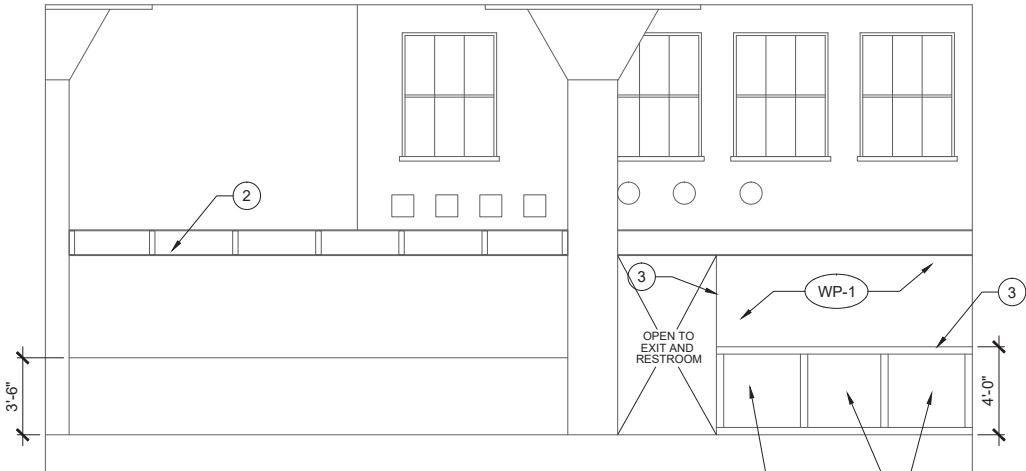
4 PROPOSED INTERIOR ELEVATION

Scale: 1/4" = 1'-0"



2 PROPOSED INTERIOR ELEVATION

Scale: 1/4" = 1'-0"



3 PROPOSED INTERIOR ELEVATION

Scale: 1/4" = 1'-0"

ELEVATION KEY NOTES

- 1 REFINISH (E) METAL STOREFRONT, FINISH TBD BY OWNER.
- 2 (E) AESTHETIC SCREEN TO BE RELOCATE. TBD ON SITE WITH OWNER.
- 3 (E) WALL TRIM TO REMAIN. ON WALL & DOWN HALLWAY, ALIGN MATERIALS OF HALLWAY TO MATCH WALL ELEVATION SHOWN / ADJACENT.



ARCHITECTURAL PROJECT NO.: 2505-3

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MAGNOLIA BREWERY  
2505 3RD STREET SACRAMENTO ST.  
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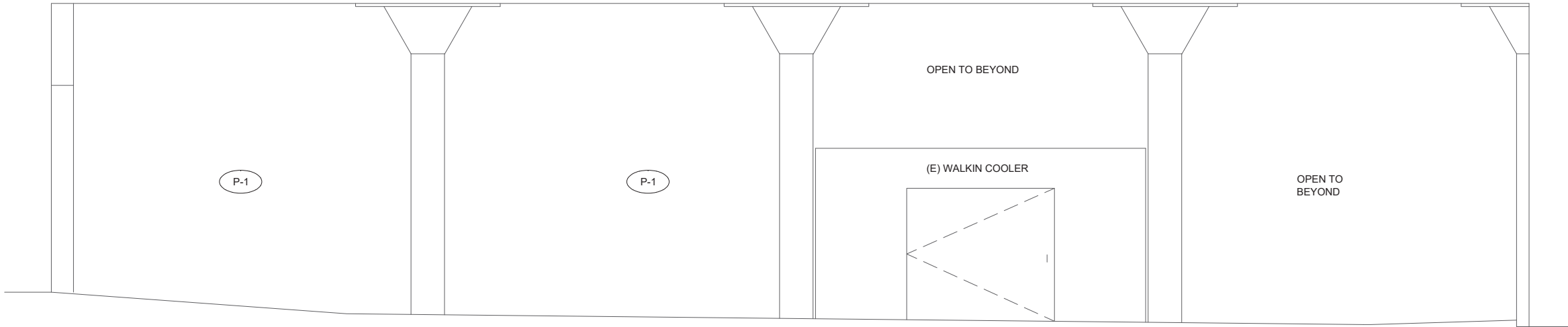
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INTERIOR ELEVATIONS

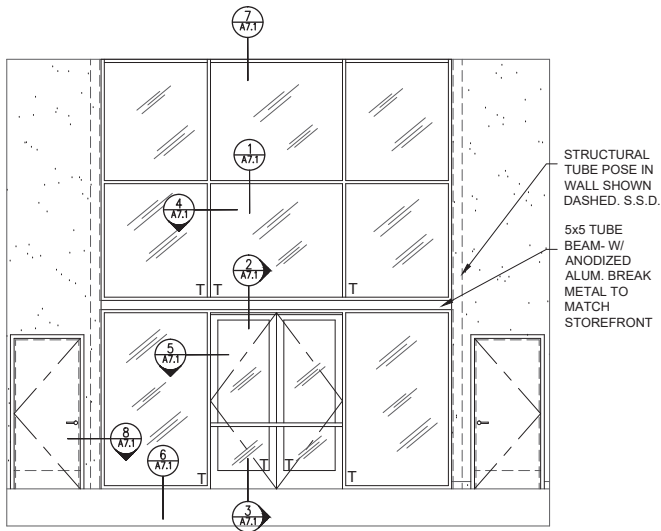
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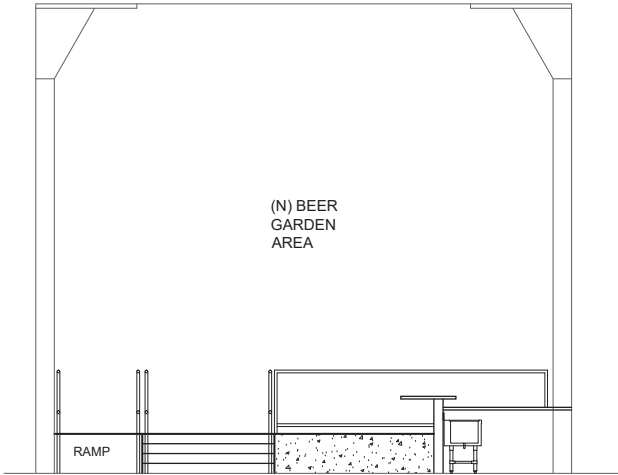
1 PROPOSED INTERIOR ELEVATION

Scale: 1/4" = 1'-0"



4 PROPOSED INTERIOR ELEVATION

Scale: 1/4" = 1'-0"

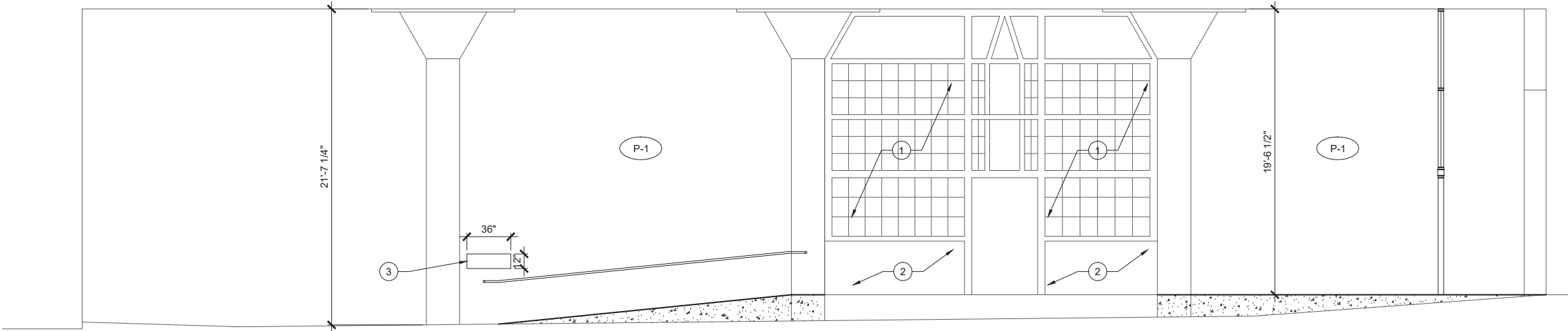


2 PROPOSED INTERIOR ELEVATION

Scale: 1/4" = 1'-0"

ELEVATION KEY NOTES

- 1 REFINISH (E) METAL STOREFRONT FINISH TBD BY OWNER.
- 2 (E) COPPER PANELS TO REMAIN, FINISH TBD BY OWNER.
- 3 (E) PASS THROUGH.



3 PROPOSED INTERIOR ELEVATION

Scale: 1/4" = 1'-0"



ARCHITECTURAL PROJECT NO: 17-000

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MAGNOLIA BREWERY  
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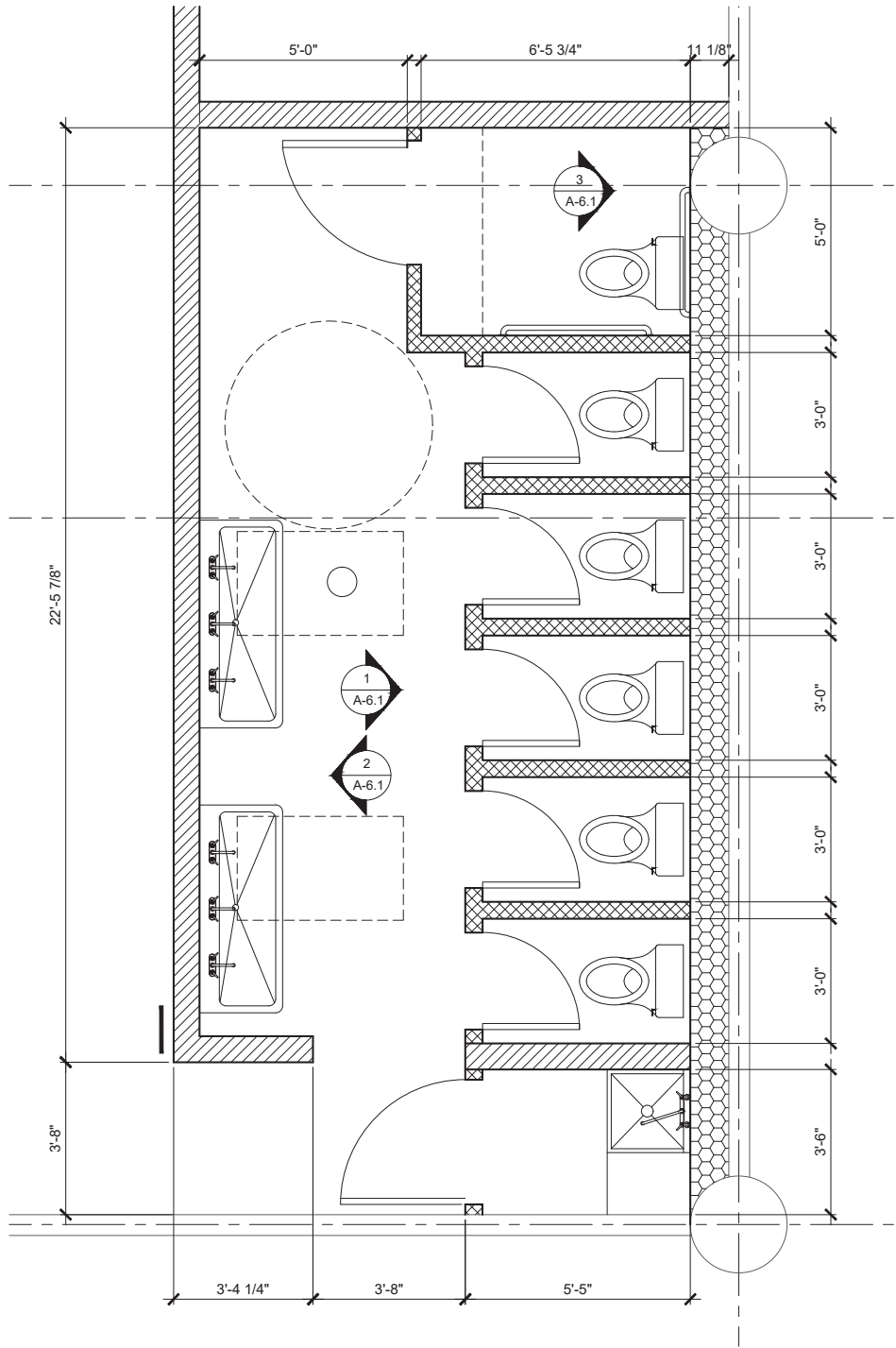
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DRAWING TITLE:  
INTERIOR ELEVATIONS

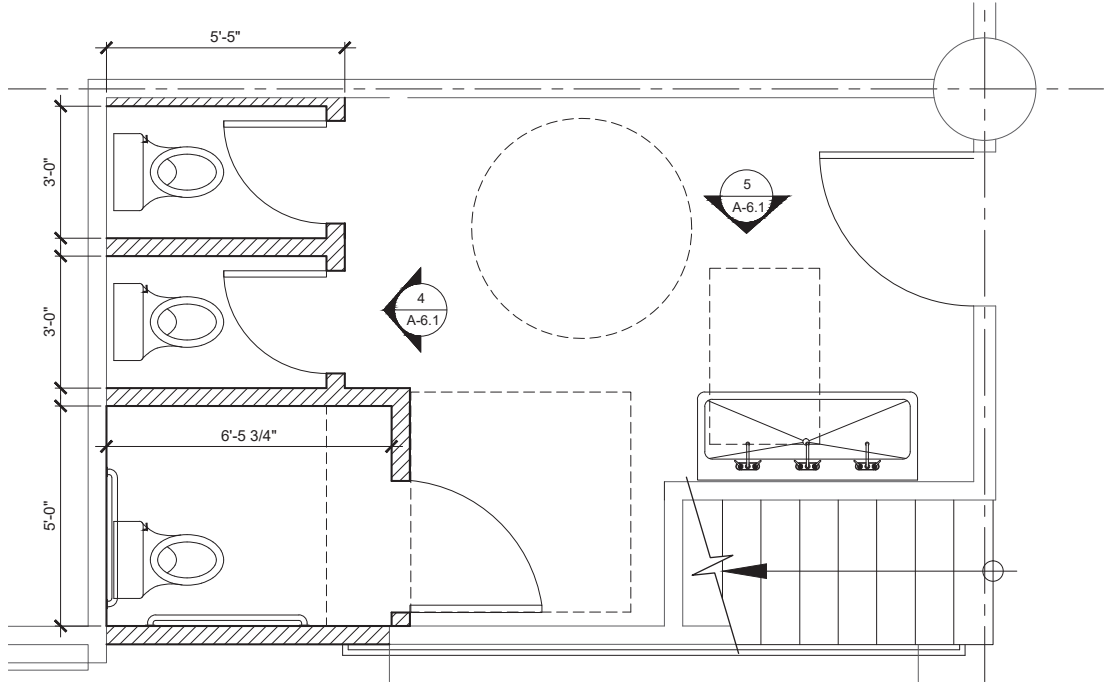
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A-5.3



2 ENLARGED RESTROOM PLAN

Scale: 1/2" = 1'-0"



1 ENLARGED RESTROOM PLAN

Scale: 1/2" = 1'-0"

### TYPICAL TOILET FIXTURE SCHEDULE

#### GRAB BAR:

LOCATE GRAB BARS ON EACH SIDE OF WATER CLOSET OR ONE ON SIDE AND ONE BEHIND WATER CLOSET. SIDE GRAB BARS ARE TO BE 3'-6" LONG WITH THE FRONT END 2'-0" IN FRONT OF WATER CLOSET. GRAB BARS AT THE BACK CANNOT BE LESS THAN 3'-0". GRAB BARS SHALL NOT ROTATE AND THERE ARE TO BE NO SHARP OR ABRASIVE ELEMENTS ON OR ADJACENT TO THEM. EDGES ARE TO HAVE A MINIMUM 1/8" RADIUS

#### SIGNAGE:

IDENTIFICATION SYMBOLS. DOORWAYS LEADING TO MEN'S SANITARY FACILITIES SHALL BE IDENTIFIED BY AN EQUILATERAL TRIANGLE 1/4" THICK W/ EDGES 12" LONG AND A VERTEX POINTING UPWARD. WOMEN'S SANITARY FACILITIES SHALL BE IDENTIFIED BY A CIRCLE, 1/4" THICK AND 12" IN DIAMETER. UNISEX SANITARY FACILITIES SHALL BE IDENTIFIED BY A CIRCLE 1/4" THICK, 12" IN DIAMETER W/ A 1/4" THICK TRIANGLE SUPERIMPOSED ON THE CIRCLE AND WITHIN THE 12" DIAMETER. THESE GEOMETRIC SYMBOLS SHALL BE CENTERED ON THE DOOR AT THE HEIGHT OF 60" AND THEIR COLOR AND CONTRASTS SHALL BE DISTINCTLY DIFFERENT FROM THE COLOR AND CONTRASTS OF THE DOOR

ALSO PROVIDE PERMANENT SIGNS IN RAISED (1/32 INCH MINIMUM) LETTERS OF SANS-SERIF UPPERCASE CHARECTERS ACCOMPANIED BY GRADE-2 BRAILLE. SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH OUTSIDE THE DOOR. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. (WALL BRAILLE SIGN MOUNTED @48" MIN. AFF MEASURED FROM THE BASELINE OF THE LOWEST LINE OF BRAILLE AND 60" MAX. AFF MEASURED FORM BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS. 2010 CBC SECTION 1117B.5.7.) MOUNTING LOCATION SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 3" OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF DOOR.

#### LAVATORIES:

2'-10" IS THE RECOMMENDED HEIGHT FROM THE FLOOR TO THE TOP OF THE LAVATORY. INSULATE OR COVER ALL HOT WATER AND DRAIN PIPES UNDER LAVATORY. NO SHARP OR ABRASIVE EDGES ALLOWED UNDER LAVATORY.

#### GENERAL:

FAUCET CONTROLS AND OPERATING MECHANISMS MUST BE EASILY OPERATED BY ONE HAND AND MUST NOT REQUIRE GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE NEEDED TO ACTIVATE CONTROLS SHALL NOT EXCEED 5 LBS. FOR LEVER OPERATED OR 15 LBS. FOR PUSH TYPE



ARCHITECTURAL PROJECT NO.: 17-0000

EVENT SPACE C.U.P. & TI  
MAGNOLIA BREWERY  
2505 3RD STREET SACRAMENTO ST.  
SAN FRANCISCO, CALIFORNIA

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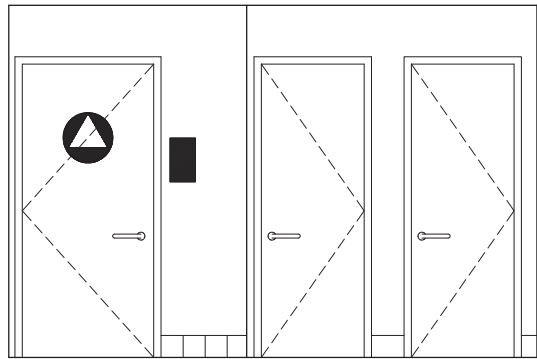
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ISSUE DATE: 00/00/2017  
SPACE PLAN DATE: 06/11/2018

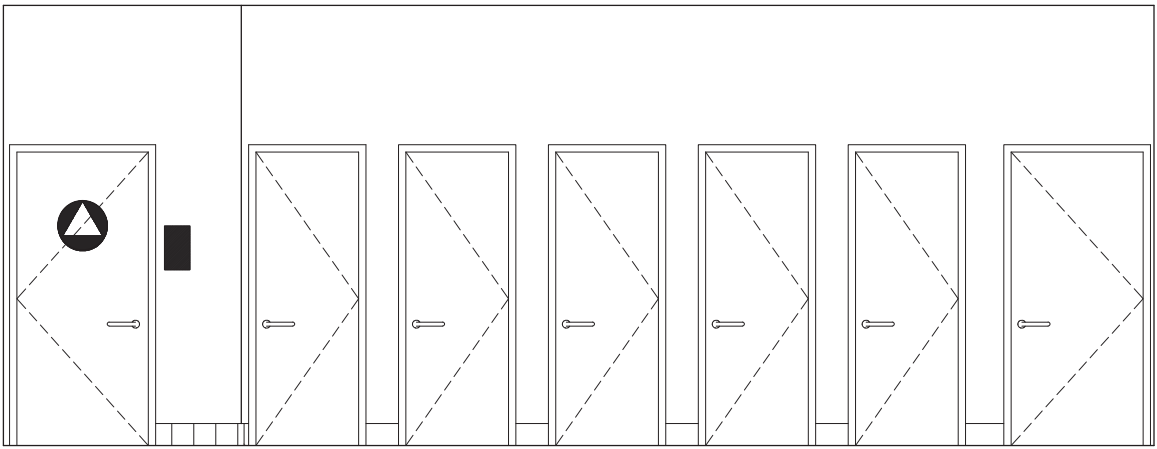
DRAWING TITLE:  
ENLARGED RESTROOM  
FLOOR PLANS

DRAWING NUMBER:

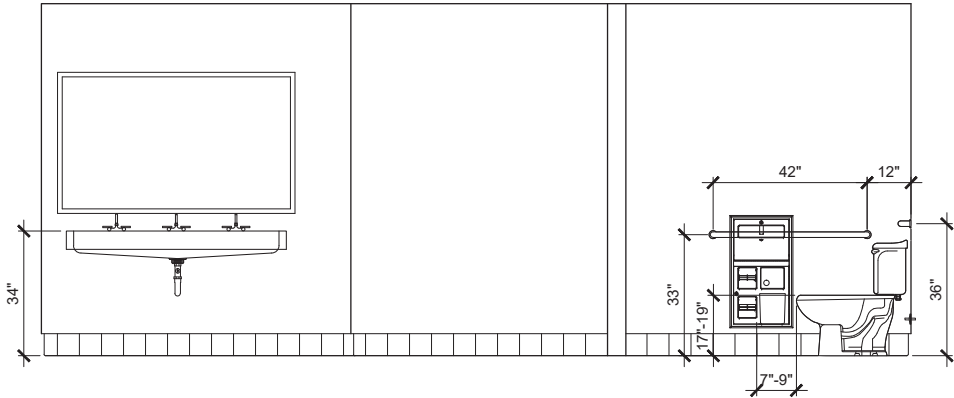
A-6.0



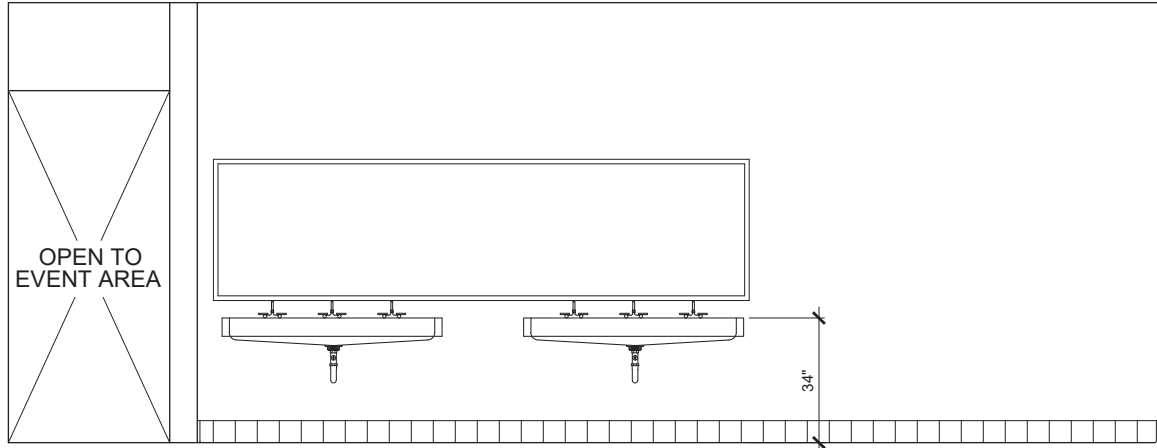
4 ENLARGED RESTROOM ELEVATION  
Scale: 1/2" = 1'-0"



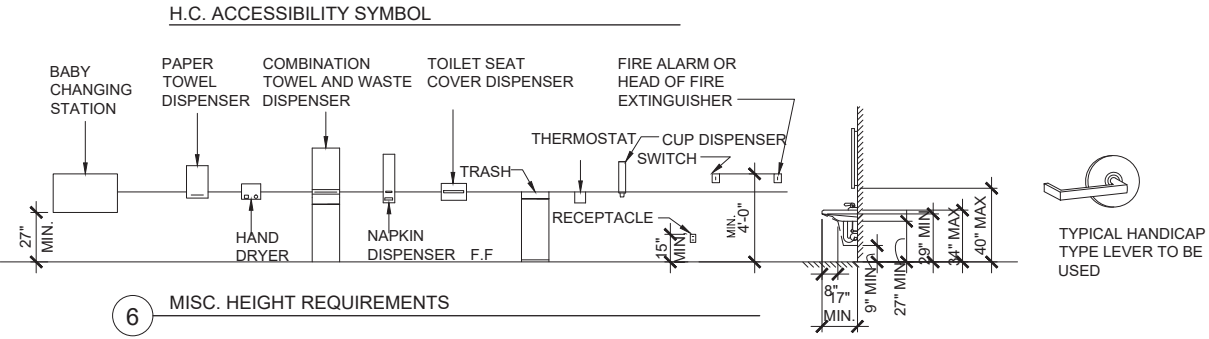
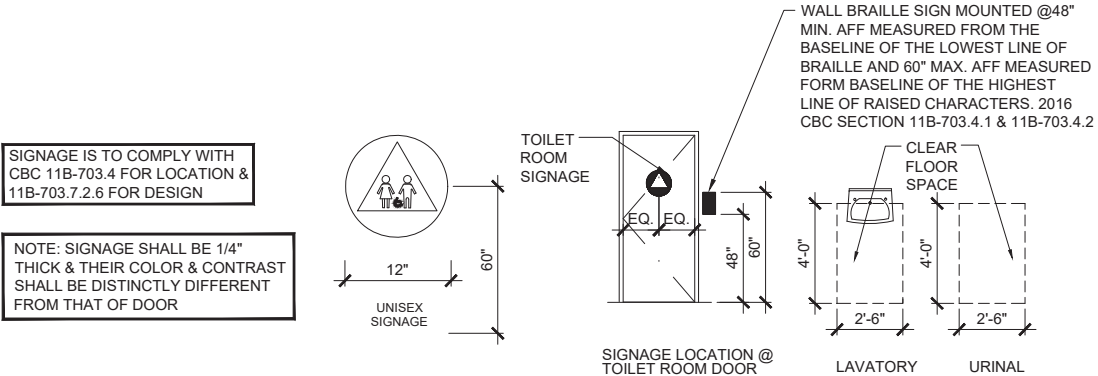
1 ENLARGED RESTROOM ELEVATION  
Scale: 1/2" = 1'-0"



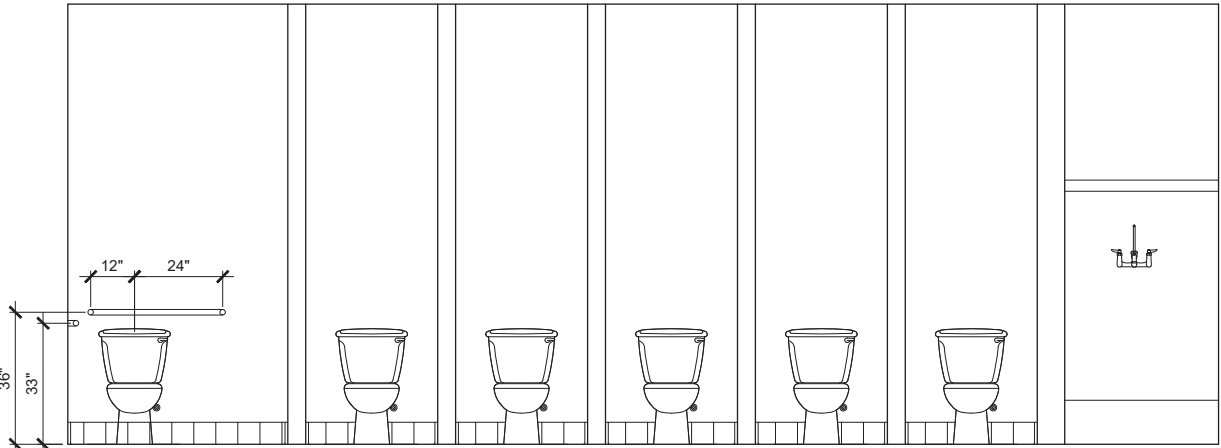
5 ENLARGED RESTROOM ELEVATION  
Scale: 1/2" = 1'-0"



2 ENLARGED RESTROOM ELEVATION  
Scale: 1/2" = 1'-0"



6 MISC. HEIGHT REQUIREMENTS



3 ENLARGED RESTROOM ELEVATION  
Scale: 1/2" = 1'-0"



ARCHITECTURAL PROJECT NO.: 11-111

EVENT SPACE C.U.P & TI  
MAGNOLIA BREWERY  
2505 3RD STREET SACRAMENTO ST.  
SAN FRANCISCO, CALIFORNIA

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ISSUE DATE: 00/00/2017  
SPACE PLAN DATE: 06/11/2018

DRAWING TITLE:  
ENLARGED RESTROOM ELEVATIONS

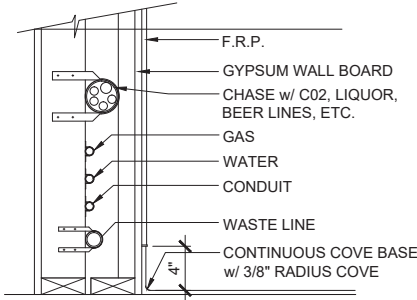
DRAWING NUMBER:

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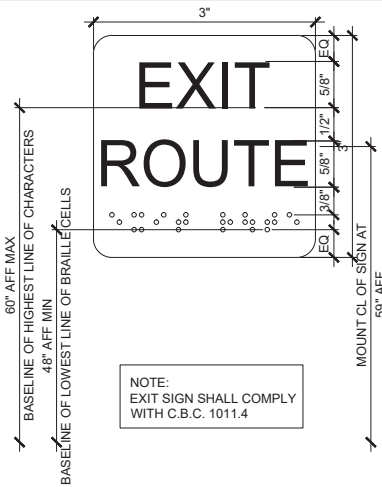


1. ALL FINAL FINISHES INCLUDING COLORS (SMOOTH WITH NO TEXTURE)
2. TYPE OF FLOOR COVERING EXTENDING UP THE WALL CONTINUOUSLY 4" WITH 3/8" RADIUS COVE.
3. CONDUIT, PIPES, AND WASTE LINES WITHIN THE WALL.
4. CHASES FOR: CO2, SYRUP, LIQUOR, BEER, SODA, WINE AND ETC.
5. VALVES MUST BE ACCESSIBLE.

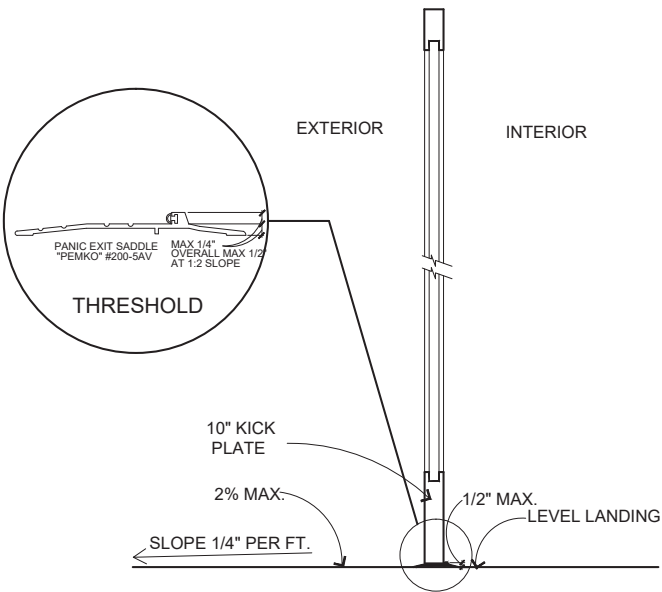
EXCEPTIONS WILL BE GRANTED ONLY IF SO STATED IN THE UMC, UPC, UBC, AND UEC. IF SOLID WALLS, SUCH AS CONCRETE BLOCK ARE ENCOUNTERED, FUR THE WALL OUT TO CONCEAL THE CONDUITS, PIPES, ETC.



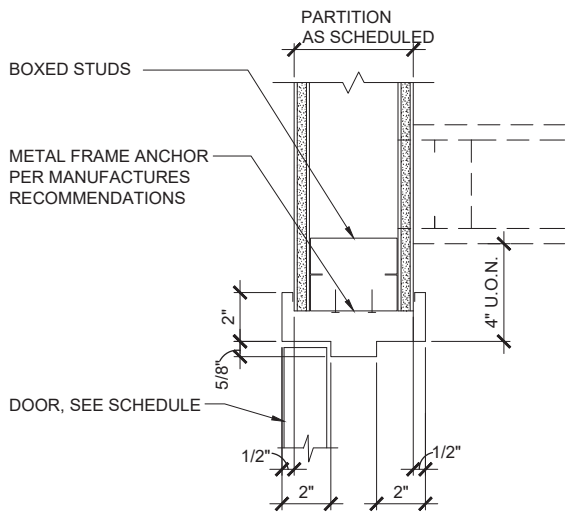
10 PIPE CHASE WALL DETAIL  
SCALE: 1 1/2"=1'-0"



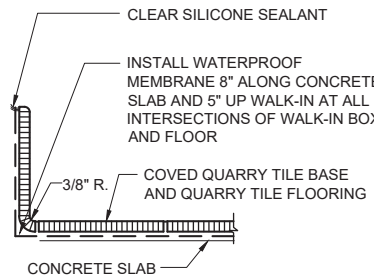
11 EXIT ROUTE SIGNAGE DETAIL  
SCALE: NONE



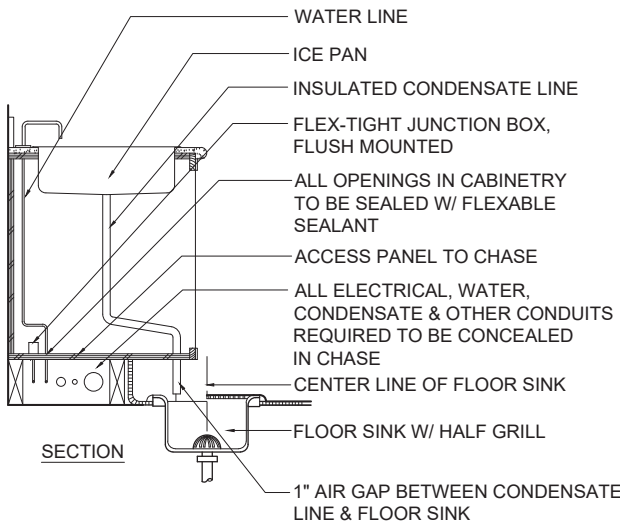
12 TYPICAL DOOR THRESHOLD DETAIL  
SCALE: NONE



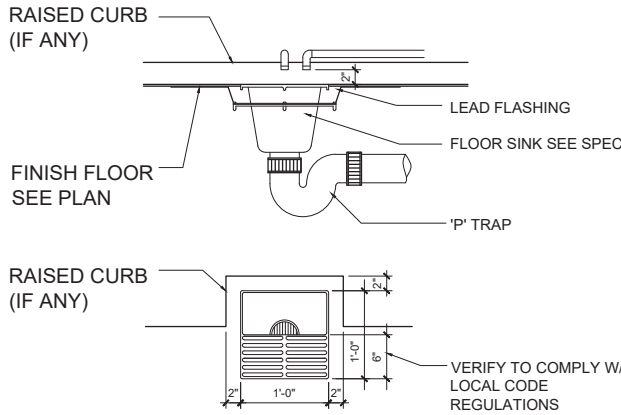
7 DOOR JAMB DETAIL  
SCALE: NONE



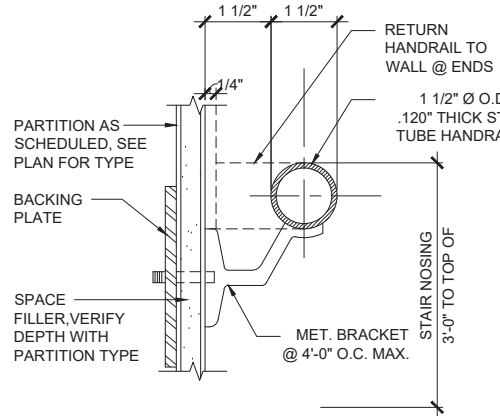
8 COVE BASE DETAIL  
SCALE: 3\"/>



9 FLOOR SINK CABINET DETAIL  
SCALE: NOT TO SCALE



4 FLOOR SINK  
SCALE: 1\"/>



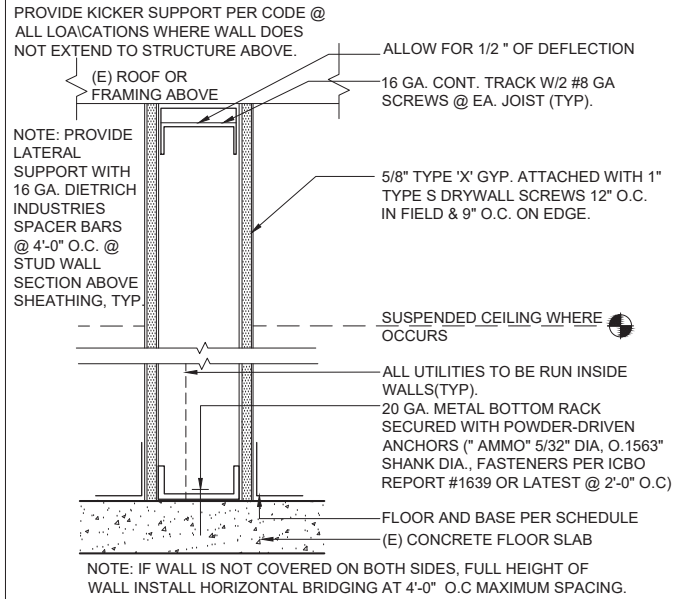
5 HANDRAIL DETAIL  
SCALE: NONE

METAL STUD A

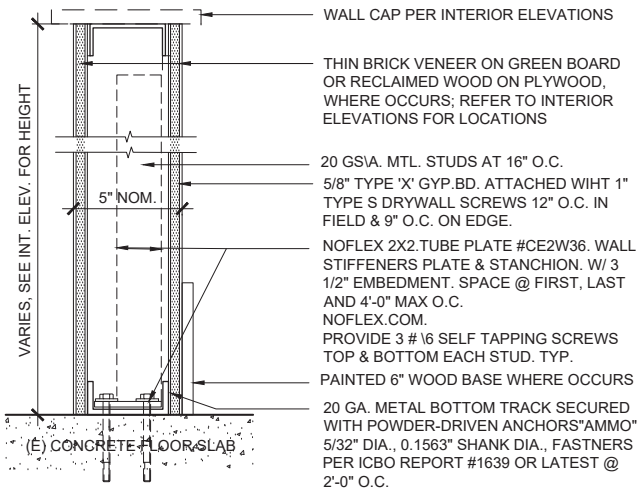
METAL STUD B

NOTE:  
PROVIDE CONTINUOUS G.S.M.  
BACKING AT ALL KITCHEN WALLS  
FROM 4' TO 8'.

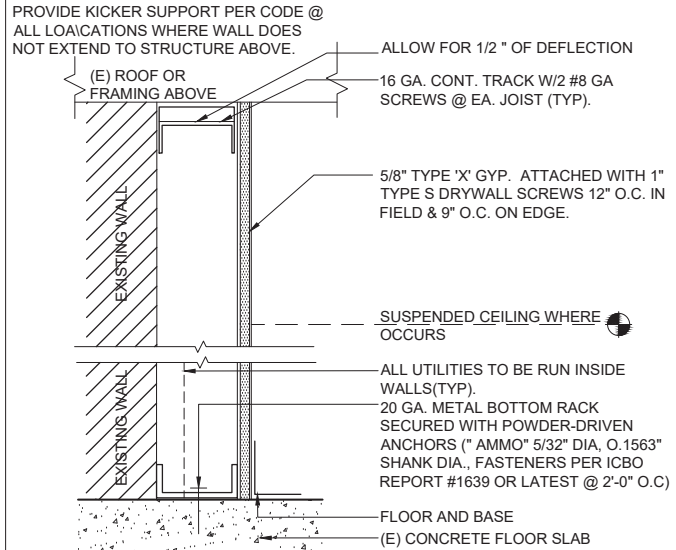
6 BACKING DETAIL  
SCALE: NONE



1 FULL HEIGHT WALL  
SCALE: 3/4\"/>



2 LOW WALL  
SCALE: 3/4\"/>



3 FURRED WALL DETAIL  
SCALE: 3/4\"/>



ARCHITECTURAL PROJECT NO.: 17-000

EVENT SPACE C.U.P & TI

MAGNOLIA BREWERY

2505 3RD STREET SACRAMENTO ST.  
SAN FRANCISCO, CALIFORNIA

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REVISIONS: NO. DATE: 08/30/18

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ISSUE DATE: 00/00/2017  
SPACE PLAN DATE: 06/11/2018

DRAWING TITLE:  
**DETAILS**

DRAWING NUMBER:

**A-7.0**

